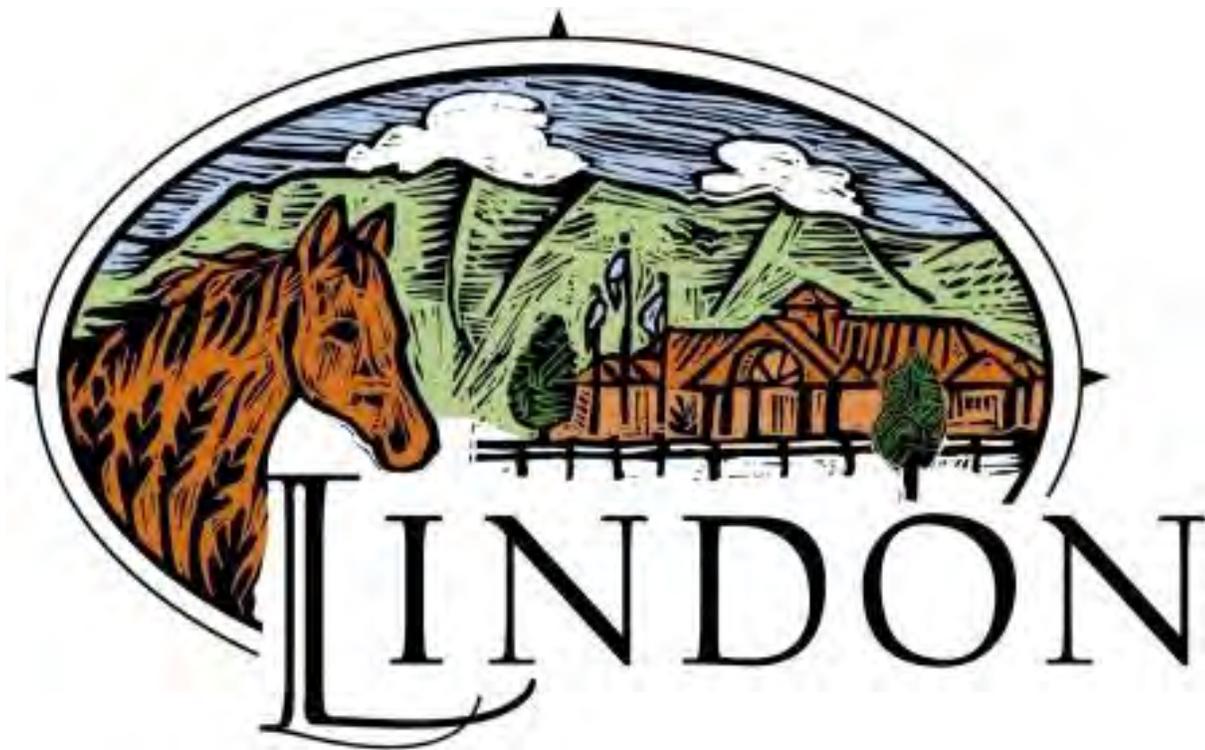


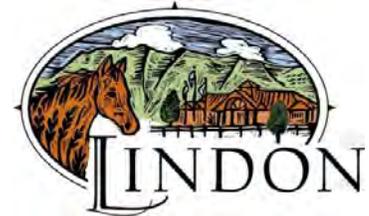
Lindon City Planning Commission Staff Report



May 13, 2014

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, May 13, 2014** in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **7:00 P.M.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following:

AGENDA

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. **Call to Order**
2. **Approval of minutes from April 8, 2014**
3. **Public Comment**
4. **Concept Review — White Horse Subdivision, Approx. 97 North 400 West** *(Review times are estimates only.)*
(20 minutes)
Matt Lepire, on behalf of DR Horton, requests review of a proposed 27-lot subdivision in the R1-20 zone at approximately 97 N. 400 W. The Commission will provide feedback on the layout of the subdivision prior to the submission of a final subdivision application to the City. No official motions will be made.
5. **Site Plan — Taco Bell Restaurant, 571 N. State St.** *(30 minutes)*
Desert De Oro Foods, Inc. requests site plan approval for a 2,111 square foot Taco Bell Restaurant in the General Commercial (CG-A) Zone. The new building will be located on a 0.74 acre lot.
6. **Site Plan — Woods Crane Service, 1550 West 20 South** *(30 minutes)*
KBR Construction requests site plan approval for a 14,900 square foot office/warehouse building in the Light Industrial (LI) Zone. The new building will be located on a 4.6 acre lot.
7. **New Business (Reports by Commissioners)**
8. **Planning Director Report**

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

Posted By: Hugh Van Wagenen
Time: ~11:00 am

Date: May 9, 2014
Place: Lindon City Center, Lindon Public Works, Lindon Community Center

WELCOME TO THE LINDON CITY PLANNING COMMISSION MEETING

Thank you for your participation and for your interest in the community! If you feel strongly about a public issue or a local concern, the Commission encourages you to share any relevant information at this meeting. The following guidelines will help us maintain order and conduct the meeting in a professional and timely manner.

Addressing the Commission - The following are explanations of various portions of the meeting during which citizen comments may be invited:

Public Comment: This portion of the meeting is typically agenda item #3 at the beginning of the meeting and provides time for comments on issues that are not identified on the agenda.

Agenda Items: Citizens may be invited to comment on specific agenda items at the discretion of the Planning Commission Chair.

Public Hearings: Public Hearings are publicly noticed and held for the specific purpose of receiving comments from citizens regarding a topic or issue. Citizens will be invited to comment on the specific item under consideration.

If you wish to address the Commission regarding an agenda item or to make a Public Comment, please raise your hand to be recognized by the Chair. When invited to speak, come to the table at the front of the room and state your name slowly and clearly for the record. Lengthy discussion will not be conducted during this time. We will try, however, to answer specific questions and follow up individually with citizens to provide additional information upon request. To allow an opportunity for everyone who wishes to address the Commission, each citizen's comment will be limited to about 3-5 minutes.

Whenever making comments, whether during a Public Comment period, at a public hearing, or on an informal basis, citizens are expected to address the issue - and not address individual Commissioners, City staff or the applicant. Please address the Commission as a whole – not an individual. It is expected that all interchanges will be courteous, respectful, and constructive. Citizens acting in an inappropriate manner will be invited to leave the meeting.

Discussion of particular items by the Commission will take place following any testimony and after the Commission closes the public hearing. The discussion period is solely for the Commission, unless citizens are specifically requested to speak to clarify an issue or answer a specific question. The Commission will make every effort to address concerns and questions raised by citizens during the comment period.

Planning Commission meetings are 'public meetings' that are recorded, and media representatives may also be present. *Citizens should be aware that any remarks may be quoted in the newspaper.* Written comments may be submitted to the City Recorder or City Planner at the front of the room. Please note whether your written comments address an agenda or public hearing item or are general in nature. Thank you for following these guidelines and for your interest in our community!

Item I – Call to Order

May 13, 2014 Planning Commission meeting.

Roll Call:

Ron Anderson
Sharon Call
DelRay Gunnell
Rob Kallas
Mike Marchbanks
Bob Wily

Item 2 – Approval of Minutes

Planning Commission – Tuesday, April 8, 2014.

Item 3 – Public Comment

1 - Subject _____
Discussion

2 - Subject _____
Discussion

3 - Subject _____
Discussion

Item 4: Concept Review — White Horse Subdivision Approx. 97 North 400 West

Presenting Staff: *Jordan Cullimore*

Applicant: *Matt Lepire of D.R. Horton*

Location: *~97 North 400 West*

Zone: *Single Family Residential (R1-20)*

Proposed Number of Lots: *27*

Summary: Matt Lepire, on behalf of DR Horton, requests review of a proposed 27-lot subdivision in the R1-20 zone at approximately 97 N. 400 W. The Commission will provide feedback on the layout of the subdivision prior to the submission of a final subdivision application to the City. No official motions will be made.



Community Development
Lindon City
APR 29 2014
RECEIVED

Item 5: Site Plan — Taco Bell Restaurant 571 N. State St.

Presenting Staff: *Jordan Cullimore*
Applicant: *Desert De Oro Foods, Inc.*
Zoning Designation: *CG-A*

Summary

Desert De Oro Foods, Inc. requests site plan approval for a 2,111 square foot restaurant in the General Commercial (CG-A) Zone. The new building will be located on a 32,440 square foot lot.





Analysis

Landscaping Requirements – LCC 17.48.030

- The landscaping plan complies with Commercial landscaping requirements.

Parking Requirements – LCC 17.18

- Parking spaces required: 21
 - Spaces provided: 34
- Bicycle stalls required: 4
 - Stalls provided: 6
- The proposed configuration for vehicle and bicycle parking meets Code requirements.

Commercial Design Guidelines

- Site Design
 - The design guidelines encourage buildings to be setback no more than 50. This building will be setback approximately 62 feet to accommodate a 2-way driveway that will facilitate traffic flow through the drive-thru. It is staffs opinion that this configuration satisfies the intent of the Design Guidelines by balancing site design with safety considerations.
- Building Materials
 - The design guidelines encourage brick, stone, and colored decorative concrete block as primary materials with stucco, wood/cement fiber siding and timbers as secondary materials.
 - The materials used on the building include earth-toned E.I.F.S (“synthetic stucco”), stone wall wainscoting, and a metal slat wall and valance.

Motion: I move to (approve, deny, continue) the request for site plan approval by Desert De Oro Foods, Inc., for a 2,111 square foot restaurant at 571 North State Street.

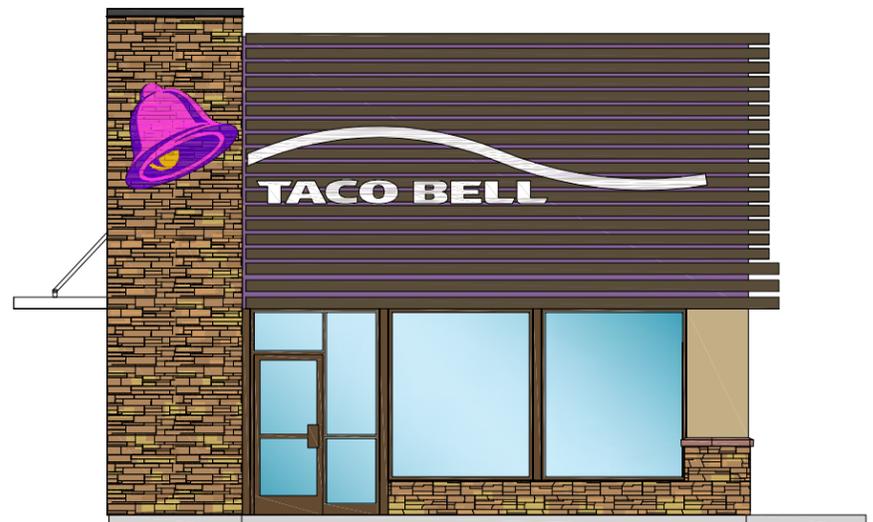


TACO BELL

5751 N. State Street
Lindon, UT



RIGHT SIDE ELEVATION



FRONT ELEVATION



Mark D. McCluggage, AIA, CCS
1525 E. Douglas Wichita, KS 67211
Tel: (316) 265-9367 Fax: (316) 265-5646
www.glmv.com



TACO BELL

5751 N. State Street
Lindon, UT



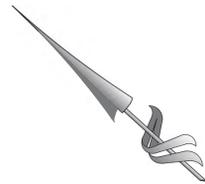
LEFT SIDE ELEVATION



REAR ELEVATION

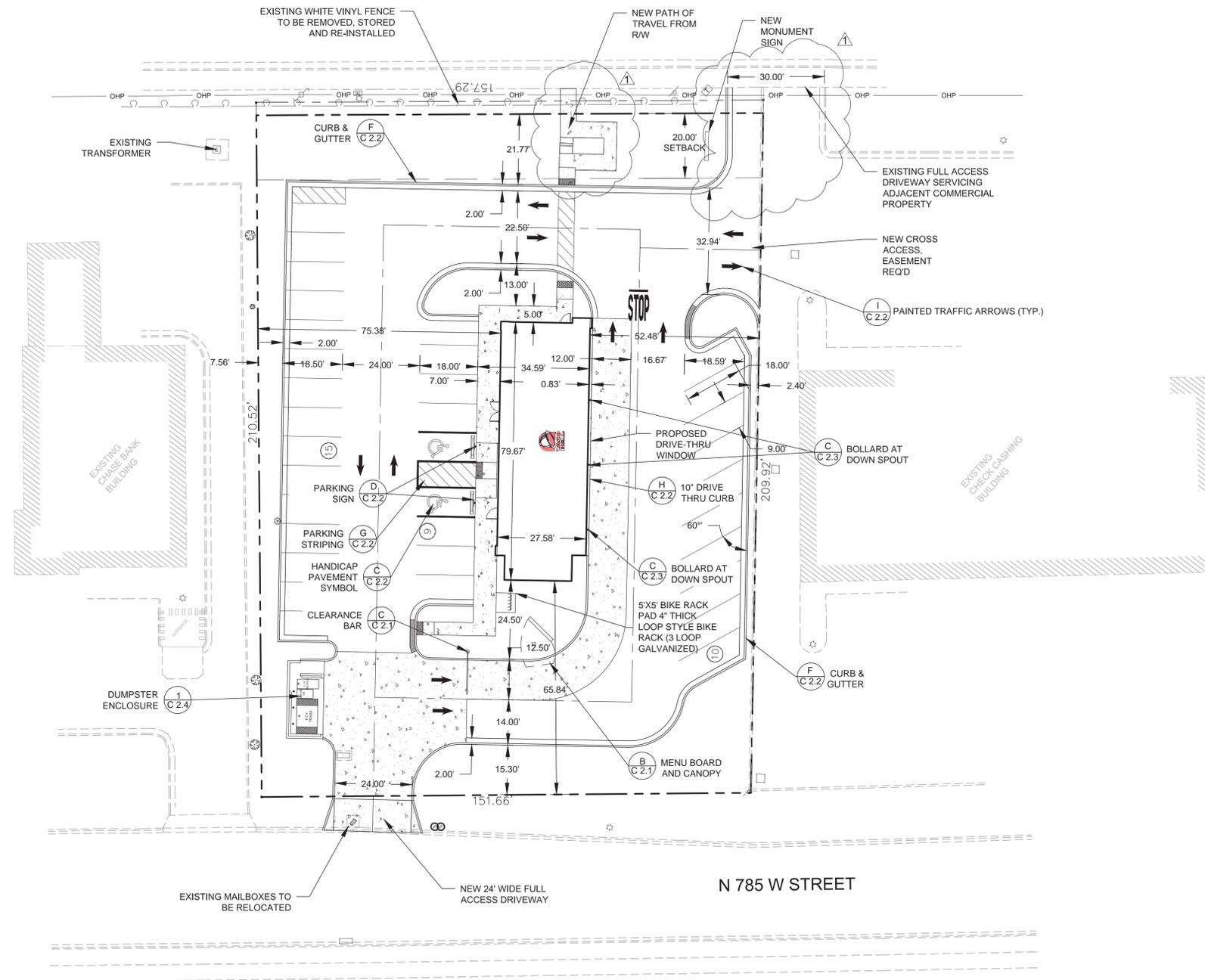


Mark D. McCluggage, AIA, CCS
1525 E. Douglas Wichita, KS 67211
Tel: (316) 265-9367 Fax: (316) 265-5646
www.glmv.com



SCALE: 1" = 20'

N. STATE STREET (HWY 89)



LEGEND

SS	EXISTING SEWER LINE
W	EXISTING WATERLINE
OHP	EXISTING OVER HEAD POWER
SD	EXISTING STORM DRAIN
G	EXISTING GAS LINE
T	EXISTING TELEPHONE LINE
SS	PROPOSED SEWER LINE
W	PROPOSED WATERLINE
UGP	PROPOSED UNDER GROUND POWER
	PROPOSED STORM DRAIN
G	PROPOSED GAS LINE
T	PROPOSED TELEPHONE LINE
---	PROPERTY LINE
- - -	CENTER LINE
□	LIMITS OF DISTURBANCE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
EG	EXISTING GRADE
TBC	TOP BACK OF CURB
GRATE	GRATE ELEVATION OF CATCH BASIN

NOTES:

- The applicant is responsible for compliance with all requirements of the "Americans with Disabilities Act" (ADA).
- All landscaped areas shall have an automatic, underground sprinkling system with a backflow prevention device and a backflow prevention device to the building, unless landscaping is served by the secondary water system.
- Water meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fenced areas or under covered parking.
- Lindon Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Lindon City and take precedence over other standards.
- Total Site Area: 32,452 s.f. Total Impervious / Landscaped Area: 10,421 s.f.

MARK D. MCCLUGGAGE AIA, CCS
 1558 E. Douglas Wichita, KS 67211
 Phone: (316) 855-5546
 www.dmv.com



13048.000

▲	CITY COMMENTS 4/8/14
▲	
▲	
▲	
▲	
▲	
▲	
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▲	

CONTRACT DATE:	03.21.2014
BUILDING TYPE:	LIVE MAS MED 54
PLAN VERSION:	March 2013-G
SITE NUMBER:	310422
STORE NUMBER:	XXXXX

TACO BELL
 571 N. STATE STREET
 LINDON, UT 84042

LIVE MAS
 MEDIUM54

WARNING
 CALL BLUE STAKES

SITE PLAN
100% REVIEW

C 1.1

PLOT DATE: 4-29-14

C:\Users\mcluggage\Documents\310422\TACO BELL LINDON - CIVIL PLANS.dwg Layer: C 1.1 SITE PLAN Plot Date: 4/29/14 Time: 4:22 PM



13048.000

▲	CITY COMMENTS 04/08/2014
▲	
▲	
▲	
▲	
▲	
▲	
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▲	

CONTRACT DATE: 03.21.2014
 BUILDING TYPE: LIVE MAS MED 54
 PLAN VERSION: March 2013-G
 SITE NUMBER: 310422
 STORE NUMBER: 427178

TACO BELL
 5751 N. STATE STREET
 LONDON, UT 84042



PLANTING PLAN AND DETAILS

LP101

PLANT DATE:

PLANTING LIST					
KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
TREES:					
RB	4	RIVER BIRCH	BETULA NIGRA (MULTI-STEM)	8' MIN./ MULTI-STEM	B & B
OM	3	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	8' MIN./ 2" CAL.	B & B
SHRUBS/GRASSES:					
SD	26	STELLA DE ORO DAYLILY	HERMERCALLIS 'STELLA DE ORO'	1 GAL.	CONT.
AJ	10	COMPACTA ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	5 GAL.	CONT.
DB	5	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	5 GAL.	CONT.
CB	20	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	3 GAL.	CONT.
FG	24	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	5 GAL.	CONT.
RY	15	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.	CONT.
RS	10	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	2 GAL.	CONT.

PLANTING NOTES

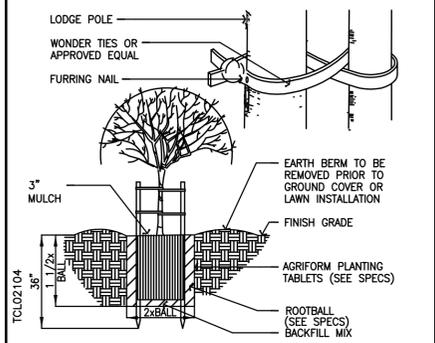
- NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT APPROVAL. QUANTITIES IN THE PLANT LIST ARE FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY.
- ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- EDGING SHALL BE STEEL PER SPEC, OR OWNER APPROVED EQUAL. INSTALL STAKES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
- THE PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- WEED BARRIER FABRIC, AS NOTED IN THE SPECIFICATIONS, SHALL BE INSTALLED IN ALL SHRUB PLANTING BEDS TO RECEIVE GRAVEL MULCH.
- TURF SHALL BE LOCALLY HARDY BLUEGRASS / FESCUE MIX SOD.
- WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL, SOIL SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE, I.E. ADDITION OF LIME, GYPSUM, ETC.
- ANY PLANTING BED ADJACENT TO WALKS OR CURBING SHALL HAVE THE GRADE LOWERED TO A SUFFICIENT DEPTH TO ALLOW THE TOP OF THE MULCH TO MATCH THE TOP OF WALK OR CURBING.
- MULCH SHALL BE GREY GRANITE 2 TO 3" AGGREGATE (OR APPROVED SUBSTITUTE IF NOT AVAILABLE)

LANDSCAPE CALCULATIONS

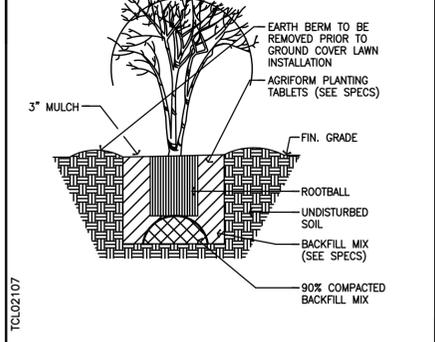
PARKING LOT LANDSCAPING REQUIRED: 40 S.F. PER STALL = 34 STALLS X 40 S.F. = 1,360 S.F.
 PARKING LOT LANDSCAPING PROVIDED: 1,605 S.F.

LEGEND

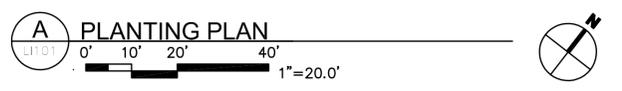
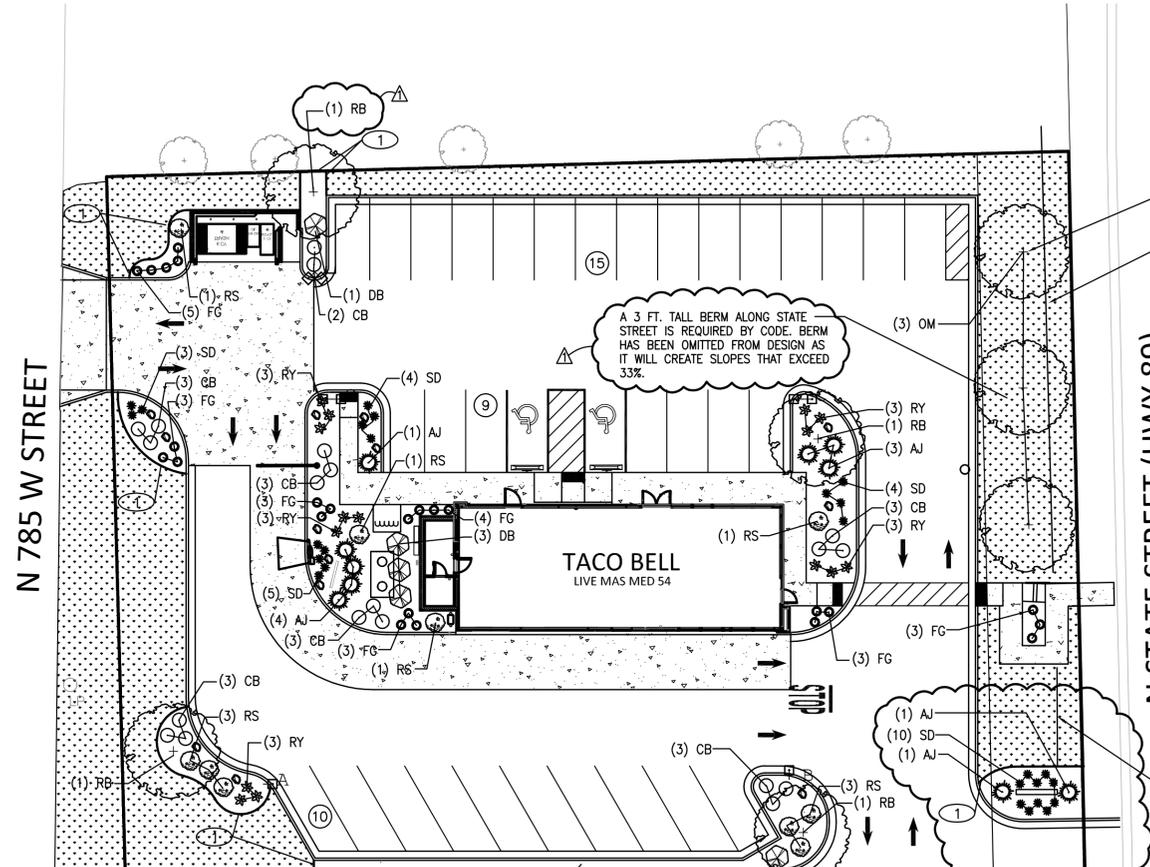
- PROPOSED TREE
- LIMITS OF SOD (LOCALLY GROWN BLUEGRASS / FESCUE MIX)
- 4" STEEL LANDSCAPE EDGING
- PROPOSED SHRUBS AND GRASSES
- 18" TO 36" GREY GRANITE BOULDERS (OR OWNER APPROVED SUBSTITUTE IF NOT AVAILABLE)



TREE PLANTING N.T.S. 1



SHRUB PLANTING N.T.S. 2



Item 6: Site Plan — Woods Crane Service 1550 West 20 South

Presenting Staff: *Hugh Van Wagenen*
Applicant: *Buck Robinson of KBR Construction*
Zoning Designation: *LI*

Summary: KBR Construction requests site plan approval for a 14,900 square foot office/warehouse building in the Light Industrial (LI) Zone. The new building will be located on a 4.6 acre lot.





Analysis

Landscaping Requirements – LCC 17.49.060

- The landscaping plan complies with LI zone landscaping requirements. The 20 foot landscape strip is being provided along the 1550 West frontage with associated trees planted every 30 feet on center. There is an existing storm water ditch along the 20 South frontage. Landscaping along that frontage will incorporate the existing ditch and trees will be planted in consideration of the open ditch.

Parking Requirements – LCC 17.18

- Parking spaces required: 10 stalls for warehouse, 5 for office: 15 Total
 - Spaces provided: 20
- Bicycle stalls required: 2
 - Stalls provided: 2
- The proposed configuration for vehicle and bicycle parking meets Code requirements.

Interior Parking Lot Landscaping Requirements – LCC 17.18.085

- 40 square feet of landscaping required for every stall; $20 * 40 = 800$ square feet
 - 850 square feet shown on plan. However, a portion shown on plan does not meet requirement to be considered interior parking lot landscaping. This can be remedied by increasing another area of landscaping on the plan or by reducing the number of parking stalls on-site. Either way, only a small modification will be required to meet code.

Architectural Design Guidelines – LCC 17.49.070

- Exterior
 - The Planning Commission may approve ribless, metal, flat-faced, stucco embossed, metal sandwich panel buildings when the Planning Commission finds that the building is aesthetically pleasing, adequately trimmed, contrasted with different colors, is proportioned, blends in with surrounding property and has a similar look to that achieved by 17.49.070(1). The exterior appearance of such buildings shall primarily be of earth tone colors.
 - The building elevations show a stucco embossed, flat-faced, metal sandwich panel building with a four foot exposed concrete foundation with a pattern. The color appears to be gray.

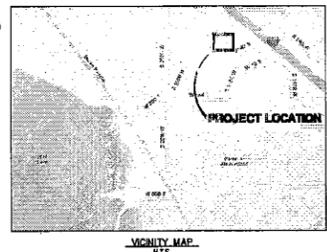
Motion: I move to (approve, deny, continue) the request for site plan approval a 14,900 square foot office/warehouse building in the Light Industrial (LI) Zone with the following conditions (if any):

LAND USE TABLE (ON-SITE)	
PHASE AREA	87,011 SQ.FT.
LANDSCAPE AREA**	5,996 SQ.FT.
INTERIOR LANDSCAPE	850*** SQ.FT.
ASPHALT/CONC. AREA	34,953 SQ.FT.
UNDISTURBED EXIST.	11,523 SQ.FT.
GRAVEL AREA	12,789 SQ.FT.
BUILDING AREA (ROOF)	14,500 SQ.FT.
FUTURE DEVEL. AREA	114,237 SQ.FT.
TOTAL IMPERVIOUS	201,248 SQ.FT.

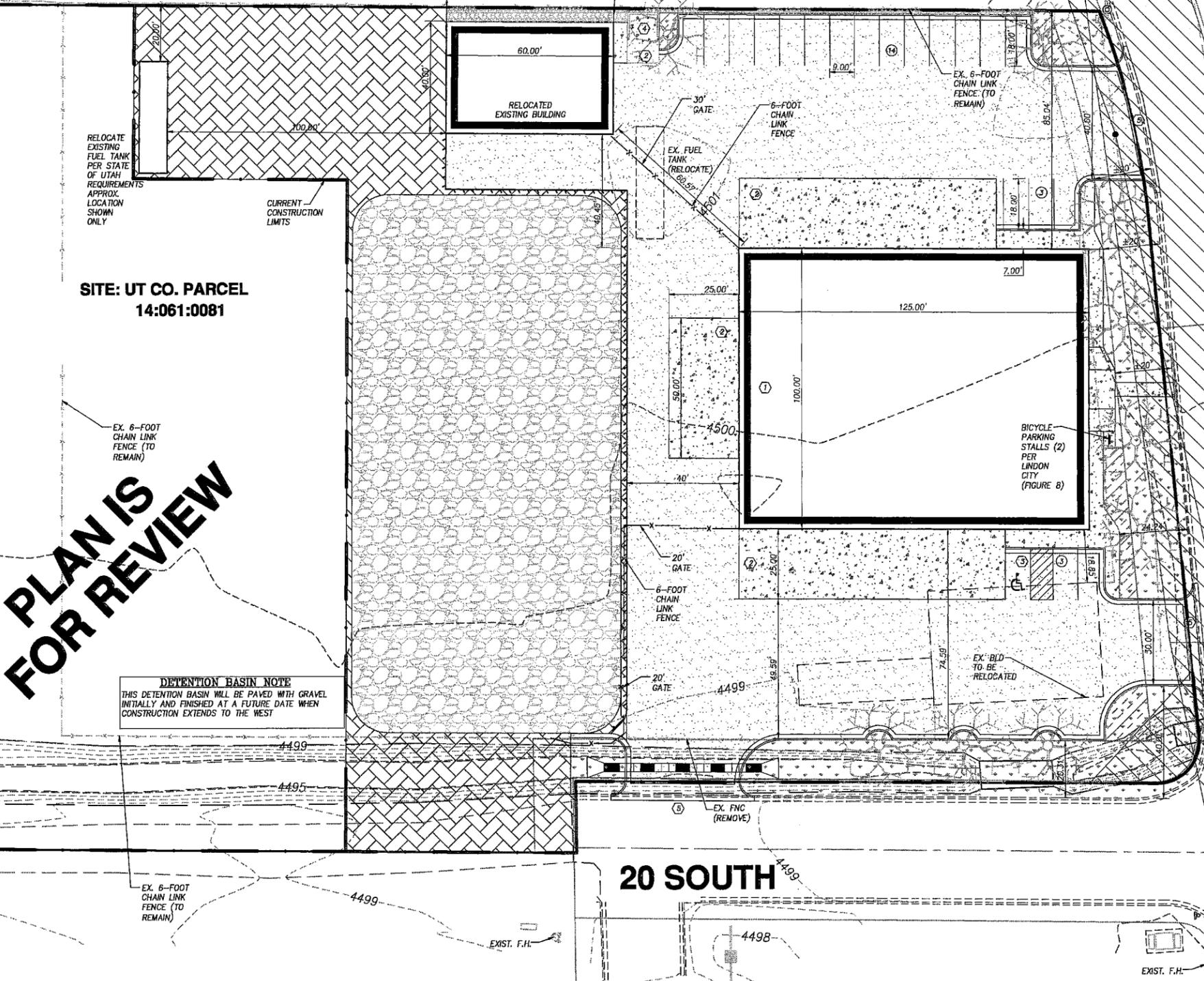
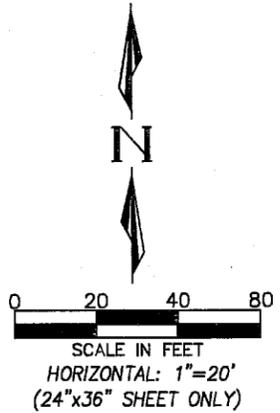
*OFF-SITE LANDS ALONG PUBLIC ROADS = 1,445 SQ. FT.
 **LANDSCAPE TOTAL ABOVE DOES NOT INCLUDE THE INTERIOR LANDSCAPE AREA
 ***INTERIOR LANDSCAPE AREA PER 17.18.085=850 SQ. FT.

- SPECIFICATIONS**
1. ALL SITE WORK AND BUILDING CONSTRUCTION SHALL COMPLY WITH LINDON CITY STANDARDS AND SPECIFICATIONS.
 2. AS A SECONDARY SPECIFICATION (FOR THOSE AREAS NOT COVERED BY LINDON CITY SPECIFICATIONS) ALL SITE WORK SHALL COMPLY WITH 2012 APWA STANDARDS AND SPECIFICATIONS.
 3. ALL IMPROVEMENTS SHOWN SHALL COMPLY WITH 2012 IBC.
 4. CONSTRUCTION SHALL COMPLY WITH GEOTECHNICAL REPORT COMPLETED BY IGES COMPLETED 2014.

- KEYED NOTES:**
1. SEE SOILS REPORT AND ARCHITECTURAL PLANS FOR RIGID (CONCRETE) PAVING RECOMMENDATIONS AT ENTRY POINTS (ENTRY RAMPS, DOOR STOPS (6"x6"), ETC.)
 2. PLACE HEAVY DUTY CONCRETE APPROACH SLAB
 3. AREA TO MEET ADA AND LOCAL ACCESSIBILITY REQUIREMENTS - SEE DETAIL SHEETS FOR LINDON CITY ADA DETAIL AND PAINTING INSTRUCTIONS - SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION IN THE ADA PARKING AREA OR 5% WITH A 2% CROSS-SLOPE IN ALL OTHER ADA PATH AREAS. (MUST MEET LINDON STANDARD ADA PARKING DIAGRAM) - PLACE VAN ACCESSIBLE STALL SIGN ON BUILDING - PLACE ZERO EXPOSURE CURB IN THIS AREA SO THAT A RAMP IS NOT NEEDED - BEGIN TO DEVELOP CURB BACK AFTER THE ADA ZONE (CORNER WILL ONLY HAVE A PARTIALLY EXPOSED CURB FACE).
 4. LINDON CITY STANDARD TRASH ENCLOSURE REQ'D PER LINDON CITY STANDARD DRAWING.
 5. DRIVE APPROACH PER APWA STD DWG 225 (INDUSTRIAL ENTRY - THICKENED CONCRETE)



ARCHITECTURAL PLAN COORDINATION
 CONTRACTOR SHALL VERIFY ALL DOOR, UTILITY, AND ROOF DRAINAGE LOCATIONS WITH FINAL ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION OF ANY SITE UTILITIES OR OTHER SITE IMPROVEMENTS



PLAN IS FOR REVIEW

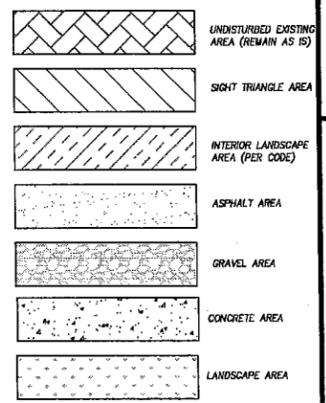
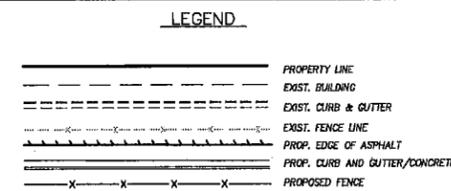
SITE: UT CO. PARCEL 14:061:0081

DETENTION BASIN NOTE
 THIS DETENTION BASIN WILL BE PAVED WITH GRAVEL INITIALLY AND FINISHED AT A FUTURE DATE WHEN CONSTRUCTION EXTENDS TO THE WEST

PARKING STALL NOTES:
 REQ'D PARKING = 20 STALLS @ 1 PER 1000 S.F. WAREHOUSE & 1 PER 350 S.F. OFFICE
 AUTOMOBILE PARKING PROVIDED = 20, BICYCLE PARKING PROVIDED = 2

GEOTECHNICAL NOTE:
 SEE SOILS REPORT - FOR RECOMMENDATIONS ON ALL SOILS AND STRUCTURAL ITEMS

LINDON CITY ZONING = LIGHT INDUSTRIAL



ABBREVIATION KEY

BTM STEP	FINISHED GRADE AT BOTTOM OF STEP
COVG	CLEAN OUT REQUIRED SET TO GRADE
EX	EXISTING
FL	FLOWLINE
FLWH	FLOWLINE OF WATERWAY
MATCH	MATCH EXISTING GRADE
RD FL	ROAD DRAIN FLOWLINE
SWALE	FINISHED GRADE ELEVATION OF SWALE
1 STEP	SINGLE 7" STEP REQUIRED
TA	TOP OF ASPHALT
LP	TOP OF ASPHALT AT LOW POINT
TC	TOP OF CONCRETE
TG	TOP OF GRAVEL

NOTES

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

WOODS CRANE SERVICE
2014 SITE ADDITION
 OFFICE - WAREHOUSE BUILDING

KBR-WEST BOCCE-INV SITE-2014 DRAWING FILE
 PROJECT NUMBER

PRELIMINARY NOT FOR CONSTRUCTION

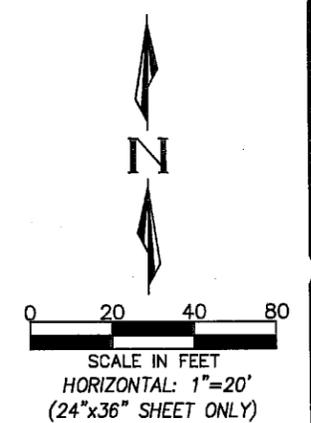
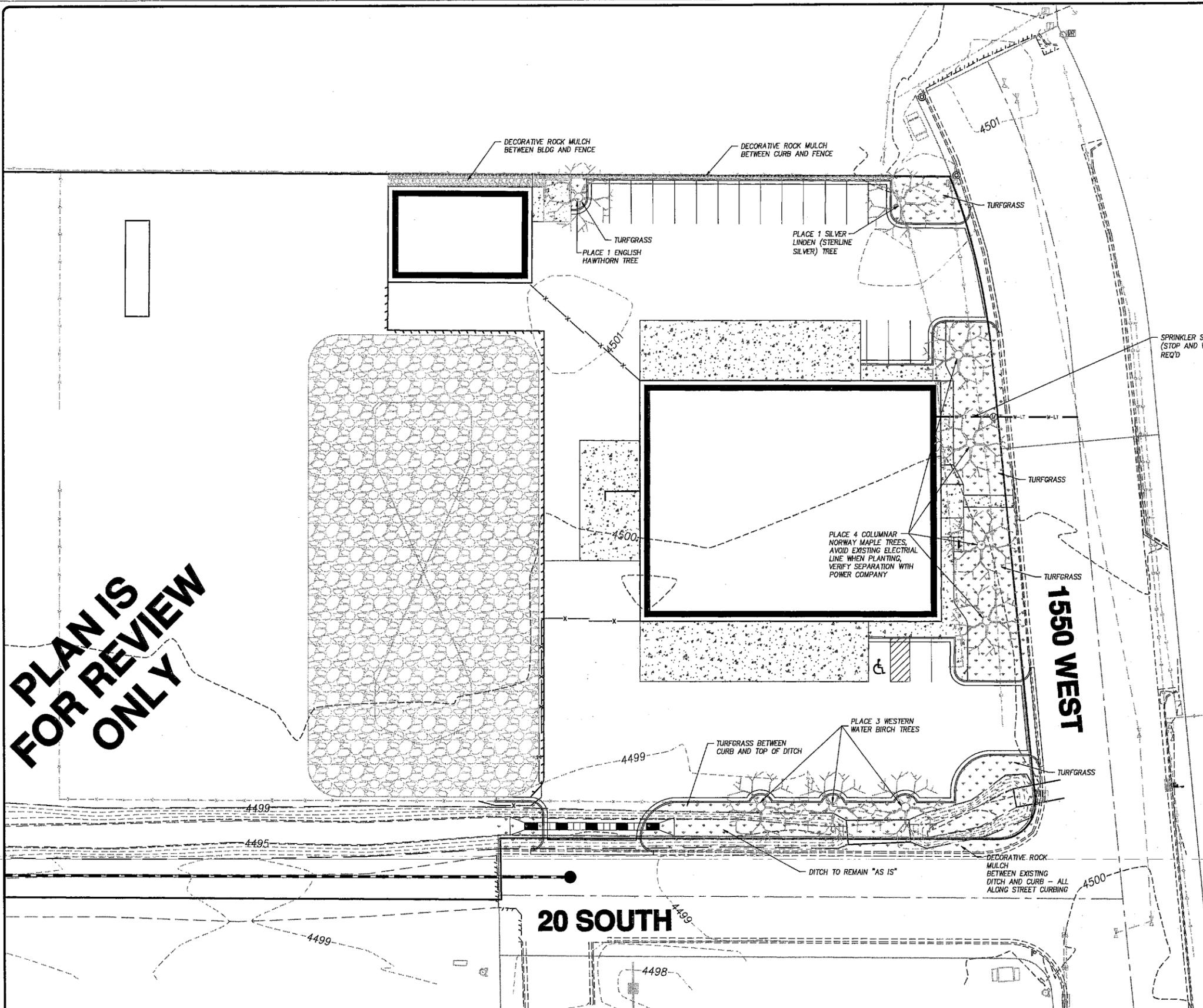
ALPINE CIVIL DESIGN
 154 NORTH 200 EAST
 ALPINE, UTAH 84004
 P.O. BOX 367-4387

PLOT DATE: 05-01-14

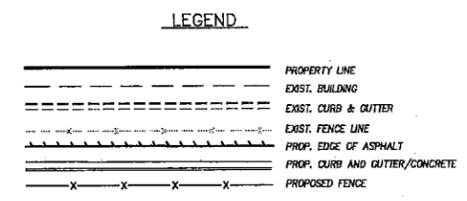
SITE PLAN C1

SHEET NO.

PLAN IS FOR REVIEW ONLY



- NOTES**
1. INTERIOR LANDSCAPE REQ'D = 800 SQ. FT., PROVIDED = 650 SQ. FT.
 2. INTERIOR TREES = 2 REQUIRED, PROVIDED = 2
 3. SITE SHALL HAVE AN AUTOMATIC SPRINKLER SYSTEM INSTALLED, DESIGN PROVIDED BY THE CONTRACTOR.
 4. ALL LANDSCAPE AND SPRINKLER INSTALLATION SHALL BE PER LINDON CITY STANDARD DRAWINGS 24A-24H
 5. 4-INCH TOPSOIL PER APWA SPECIFICATIONS REQUIRED FOR ALL TURFGRASS.
 6. PLANTING MULCH REQUIRED AT ALL TREES, PER LINDON CITY STANDARD DRAWINGS.
 7. WEED BARRIER FABRIC REQUIRED UNDER ALL ROCK MULCH.
 8. ROCK MULCH SHALL BE NEPHI SANDSTONE 1 1/2" OR APPROVED EQUAL.



NOTES

NO.	REVISIONS	DATE

WOODS CRANE SERVICE
2014 SITE ADDITION
OFFICE - WAREHOUSE BUILDING

LANDS-2014
 DRAWING FILE

154 NORTH 200 EAST
 ALPINE, UTAH 84004
 TEL: (801) 367-4387

PLOT DATE: 05-01-14

LANDS. PLAN
C4
 SHEET NO.



Woods Crane Service
Rather Architecture, P.C.

PROJECT

New Office/ Warehouse

OWNER

Woods Crane
Service



KBR Construction, Inc.
866 South Main
Pleasant Grove, UT 84062
Telephone (801) 701-0277
FAX (801) 701-0491

DATE PLOTTED
Wednesday, March 19, 2014
2:13 PM

DRAWN BY
JDR

CHECKED BY

PROJECT NUMBER
17638366

CADD FILE LOCATION
C:\Users\John\Dropbox\RatherArchitects\Shared\Woods Crane Rev J

DATE PROJECT BEGUN
18 Feb 2014

RA*ARC

Rather Architecture
Professional Corporation

307 West 299 South, Ste 3004
Salt Lake City, UT 84101

801.232-3638 | john@ratherarchitecture.com

SHEET TITLE

Elevations

REVISION

Original: 18 Feb 2014

Rev A: 3 March 2014, Owner changes

Rev B: 4 March 2014, Owner changes

Rev B3: 5 March 2014, Corrections

Rev C: 5 March 2014,

Rev D: 6 March 2014, Owner changes

Rev E: 11 March 2014, Owner changes

Rev F: 12 March 2014, Floor opening size added

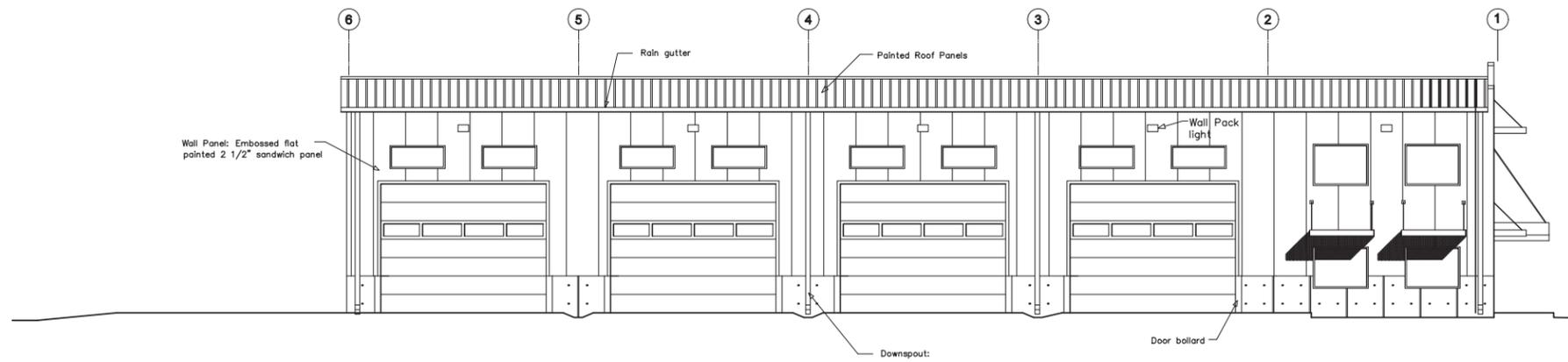
Rev G: 17 March 2014, Parapet added

Rev H: 18 March 2014, Canopy Deleted

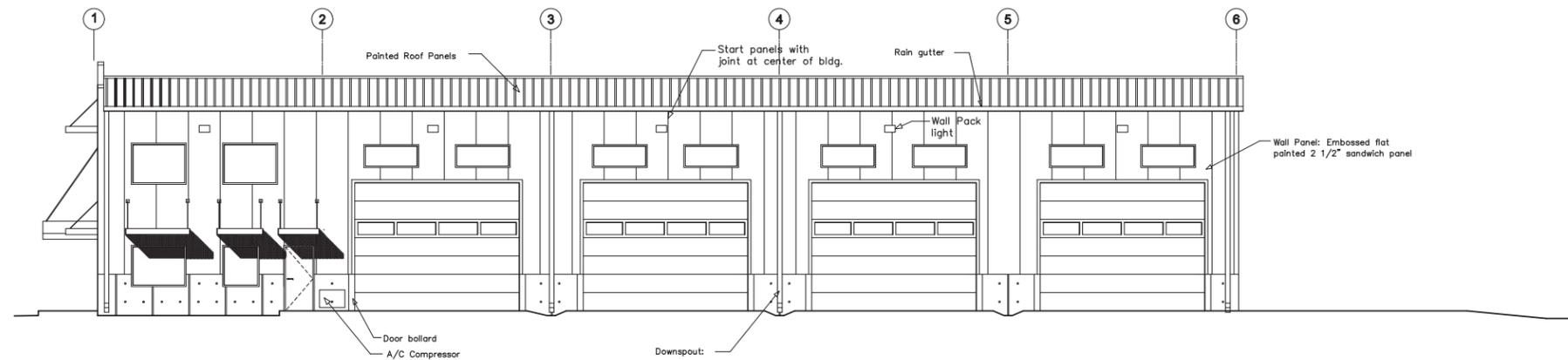
Rev J: 19 March 2014, Sun Shades added to Upper Floor

SHEET NUMBER

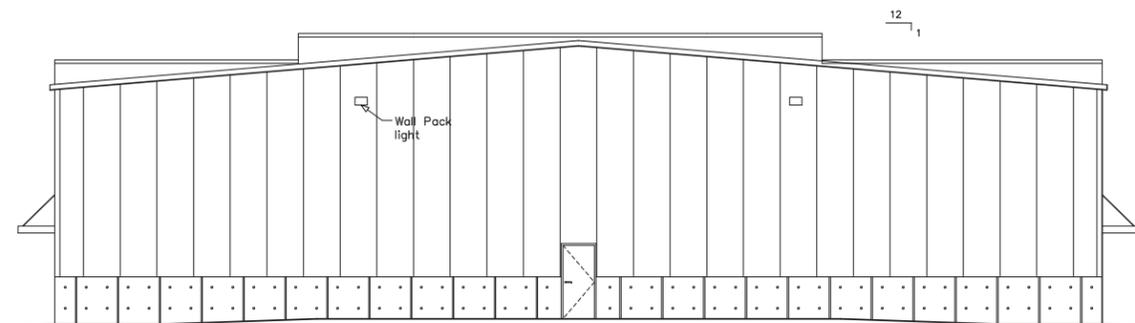
A2.01



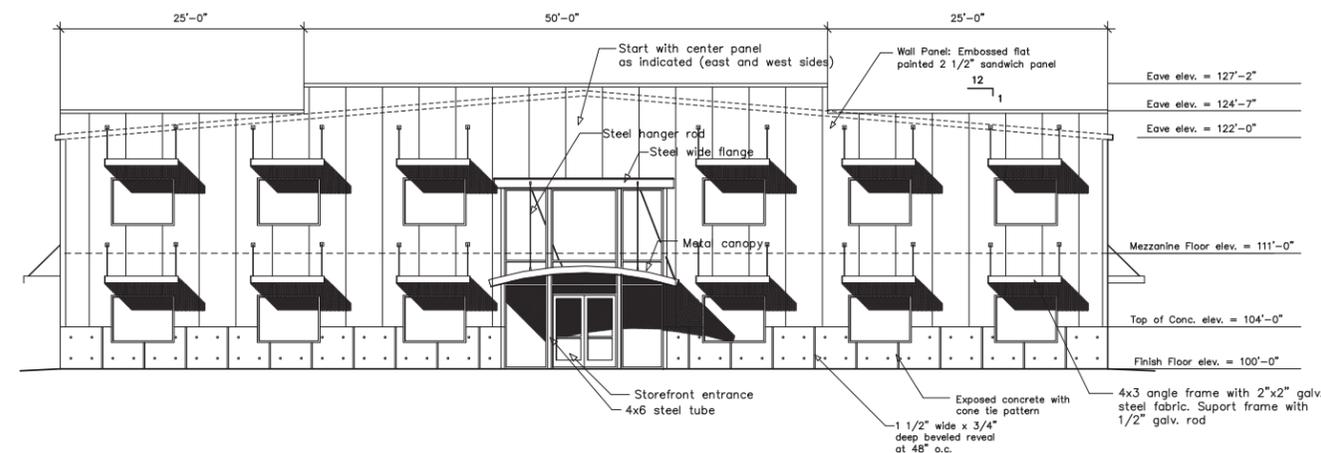
South Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"



West Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"

Item 7: New Business (Planning Commissioners Reports)

Item 1 -Subject _____
Discussion

Item 2 - Subject _____
Discussion

Item 3 - Subject _____
Discussion

Item 8: Planning Director Report

- 700 North; master plan? moratorium?
- Smaller lots in existing R1-20 zone?
- Bike plan update
- NUCTS update
- Del Ray leaving us!

Adjourn