

NOTICE AND AGENDA
SOUTH OGDEN CITY PLANNING COMMISSION MEETING
Thursday, October 8, 2015

Notice is hereby given that the South Ogden City Planning Commission will hold a meeting October 8, 2015, beginning at 6:15 p.m. in the Council Chambers located at 3950 Adams Avenue, South Ogden, Utah.

A briefing session will be held at 5:30 pm in the conference room and is open to the public.

- I. **Call to Order and Overview of Meeting Procedures** - Chairman Todd Heslop

- II. **Zoning Hearing**
 - A. To Receive and Consider Comments on Amending the Zoning Ordinance to Allow Chickens in the City

- III. **Zoning Actions**
 - A. Discussion and Recommendation on Whether to Amend Zoning Ordinance to Allow Chickens

- IV. **Subdivision Actions**
 - A. Consideration of Application to Amend Hinckley Commons, A Commercial Subdivision Located in a CP-2 Zone

- V. **Commercial Site Plan Actions**
 - A. Consideration of Site Plan Application for Autozone, Located At Approximately 5663 Harrison Boulevard

- VI. **Special Items**
 - A. Discussion on Allowing and Regulating Food Trucks in the City

- VII. **Other Business**

VIII. Approval Of Minutes Of Previous Meeting

- A. Approval of September 10, 2015 Briefing Meeting Minutes
- B. Approval of September 10, 2015 Meeting Minutes

IX. Public Comments

X. Adjourn

Posted and emailed to the State of Utah Public Notice Website October 2, 2015

The undersigned, duly appointed city recorder, does hereby certify that a copy of the above notice and agenda was posted in three public places with the South Ogden City limits on October 2, 2015. These public places being City Hall (1st and 2nd floors), the city website (www.southogdencity.com), and emailed to the Standard-Examiner. Copies were also mailed to each commissioner.


Leesa Kapetanov, City Recorder

In compliance with the Americans with Disabilities Act, individuals needing special accommodations, including auxiliary communicative aids and services during the meeting should notify Leesa Kapetanov at 801-622-2709 at least 48 hours in advance.

FINAL ACTION MAY BE TAKEN ON ANY ITEM ON THIS AGENDA

ZONING ORDINANCE AMENDMENT

Applicant Name Kathi Benson ⁽⁸⁰¹⁾ Phone 608-6518 email KathiSBenson@hotmail.com

Address 3880 Madison Ave. City South Ogden State UT Zip 84403

Request: Allowance for 3-5 female chickens.
Liscence required for chickens. (yearly fee)
Coops 50 feet from residences.
No sale of eggs or meat.

Kathi Benson 9-3-15

Fee - Zoning Ordinance Amendment
\$100.00 plus advertising costs.



OFFICE USE

Scheduled for Planning Commission Agenda _____

Request for Recommendation sent to the following by copy and return of this form:

- City Engineer - Date _____ Received back - Date _____
- Fire Dept. - _____
- Public Works - _____
- Other - _____

RECOMMENDATION: (OR INCLUDE ATTACHMENT)

PLANNING COMMISSION ACTION:

APPROVED _____ DENIED _____ Date _____

CITY COUNCIL ACTION

APPROVED _____ DENIED _____ Date _____

Planning Commission Report



Subject: Proposal to Revise the Zoning Ordinance to Allow Chickens in Residential Zones (Title 10, Chapter 11 of South Ogden City Code)

Author: Mark Vlastic

Department: Planning & Zoning

Date: October 8, 2015

Background

This is an application to allow chickens in South Ogden City. While not addressed specifically in Title 10 (Zoning Regulations), chickens and other fowl are specifically prohibited in Title 4.1.2.K (Public Health and Safety – Specific Nuisances - Fowl Kept In Enclosure), which is defined as follows:

1. It shall be unlawful for any person to keep chickens, ducks, pigeons or other fowl in the city unless the same are at all times kept confined in proper pens or enclosures. All such pens or enclosures shall be kept in a clean and sanitary condition and shall not be placed or maintained within seventy five feet (75') of any dwelling.

2. Notwithstanding this provision, no fowl shall be maintained or kept within the city unless the area wherein the fowl are kept or to be kept is zoned so as to allow such keeping. (1970 Code § 14-18; amd. 2001 Code)

The second paragraph trumps the first, as fowl are only permitted in zones which allow such uses. The application does not specify which zone(s) the application refers to, although it is assumed that it is for residential purposes, and therefore residential zones. At present chickens are not allowed in any residential or commercial zones, but are permitted in manufacturing zones for the purpose of family food production. According to Title 10-14-6 ANIMALS AND FOWL of the zoning ordinance:

No barn, coop, pen or corral shall be maintained closer than one hundred feet (100') to any street, twenty five feet (25') to any lot line and seventy five feet (75') to any dwelling on an adjacent lot. (Ord. 673, 1-8-1980)

The application is very specific regarding the number and type of fowl to be allowed, as follows:

- 3-5 female chickens
- License required including a yearly fee
- Coops no closer than 50 feet from residences
- No selling of meat or eggs permitted

A similar application was heard by the South Ogden City Council in May 2011. According to the minutes of that meeting, Council Member Orr questioned whether the city would be able to allow chickens in the city and still be fair to the neighbors with the chickens. She was nervous about the rodents chickens attracted and also questioned whether the city would be able to maintain enforcement of the ordinance

if chickens were allowed. She also felt if the city allowed chickens, it would open the door to other small animals such as pigs, goats, rabbits, etc.

Council Member Bradley commented he was not against talking about the issue, and directed staff to study the issue further to see if they felt they wanted to change the zoning to allow chickens. He had not heard any arguments for or against allowing chickens in the city.

Council Member Benard felt he had not heard a good reason to change the ordinance. He had done a little research, and had found no compelling reason to allow chickens in predominantly residential neighborhoods. He felt although the council had heard from one or two citizens who wanted chickens in the city, the majority of the citizens would be opposed to the idea and would not want the city to waste taxpayer money for the time and effort to study the matter further. He said the city already had enough code enforcement issues in the upkeep of properties and should focus its limited resources on those issues and not chickens.

Council Member Smith added that if the city does consider allowing chickens, all citizens should have the opportunity for input. He was also aware of other communities that allowed chickens, and knew there would be additional costs to the city for code enforcement; chickens would wander into neighboring yards and would attract rats and raccoons. He stated he was not opposed to looking at the issue further, and would like some more information. He wanted to make sure all issues were addressed.

Council Member Porter commented that he had viewed some information stating both advantages and disadvantages in allowing chickens. He also was concerned with code enforcement. Although he was now aware of some more advantages to having chickens, he was also aware of many disadvantages,

Mayor Minster felt that the ordinance should be left as is-chickens should not be allowed. Council Member Porter moved to leave the ordinance as is in regards to chickens, which was approved unanimously.

Discussion

There are many benefits to raising chickens and harvesting one's own eggs. According to a recent article in the salt the Deseret News (*The downside of raising backyard chickens* by Flint Stephens, Deseret News. Friday, June 8 2012 2:00 p.m.), urban chicken proponents tend to understate many of the accompanying challenges. With growing interest in keeping backyard chickens, there are distinct pros and cons, negatives and challenges.

Debate tends to focus on things like noise and smell, but there are many others to consider, including the following:

Noise

While roosters crow early, loudly and often, hens also make a racket. Chickens squabble all day long, and plenty of cackling usually accompanies the activity.

Expense

Store-bought eggs are a bargain when compared to the cost of keeping a backyard flock. Setting up a coop with all the equipment can easily cost a few hundred dollars. Then an aspiring chicken rancher must feed and maintain the chicks for five or six months. Only then will he be

able to start collecting eggs. According to www.poultrykeeper.com, in the first 18 months of its life, an exceptional hen could lay up to 250 eggs. At a price of \$2 a dozen, that is \$42 worth. Multiplied by five chickens, that amounts to about \$210. That means it could take three or four years to break even on the initial investment, and that doesn't count labor or continuing costs for feed.

Garden damage

Chickens are living cultivators and rototillers. That can be a good thing when they are eating bugs and weeds. Unfortunately, chickens can't distinguish between weeds and newly emerging garden vegetables.

Smell and mess

Anyone who has been near a commercial chicken operation has undoubtedly experienced some unpleasant scents. Fortunately, keeping a few chickens at home is not comparable. One benefit of Utah's dry climate is that there is little smell or mess with properly maintained backyard chickens. Six chickens produce about the same waste as a medium-sized dog.

Culling

This is a reality every chicken owner must confront. Even when maintaining hens for eggs, there will eventually be old and unproductive hens. Sometimes chickens become injured or sick, and it makes little sense to spend lots of money taking them to a veterinarian. And when one buys baby chicks from a farm store, some turn out to be roosters — even when the signs on the cages promise they are pullets (young females). Killing chickens is not fun. One can give them away, but that just forces someone else to deal with the problem.

Another reality is that chickens allowed to roam or range are not very good to eat. Unlike the grocery store birds, free-range chickens have little or no fat. They are also tough — as in chewy. If one hopes to raise birds for the table, they need to be confined and eaten at a young age; otherwise, plan on chicken soup instead of fried chicken.

Predators

Even in urban areas, chickens attract predators. In Utah, the list includes raccoons, foxes, skunks, mink, weasels, hawks, magpies, dogs and cats. Some are primarily interested in eggs or young chickens. The prospect of eggs or a chicken dinner draws them all. If successful, they will return repeatedly. A sturdy enclosure and regular maintenance are necessary.

Constant care

Chickens need daily attention. They must have food and fresh water. They need to be let out in the mornings and put away at night. Eggs must be collected daily. Coops must be cleaned regularly (at least a couple times each month). Nesting and bedding materials must be provided and changed. Ignoring any of these tasks for even a day or two is irresponsible.

Staff also conducted a review of ordinances related to the keeping of chickens along the Wasatch Front indicates little consistency. As summarized below, both Salt Lake City and Salt Lake County allow chickens, although SLC allows chickens within residential zones while the county only allows chickens within agricultural zones. Both Ogden and Roy prohibit chickens, which has sparked protest in recent months.

1) Salt Lake City Utah Chicken Ordinance

Are Chickens Allowed in this location Yes

Max Chickens Allowed 15

Roosters Allowed No

Permit Required Yes

Coop Restrictions Chickens shall be confined within a secure outdoor enclosed area. 1. The enclosed area shall include a covered, ventilated, and predator-resistant chicken coop. a. The coop shall have a minimum floor area of at least two (2) square feet per chicken. b. If chickens are not allowed to roam within an enclosed area outside the coop, the coop shall have a minimum floor area of six (6) square feet per chicken. 2. The coop shall be located in a rear yard at least twenty-five (25) feet from any dwelling located on an adjacent lot. a. The coop and enclosed area shall be maintained in a neat and sanitary condition and shall be maintained as provided in Section 8.08.070 of this chapter.

2) Salt Lake County Utah Chicken Ordinance

Are Chickens Allowed in this location Yes

Max Chickens Allowed 50

Roosters Allowed No

Permit Required No

Coop Restrictions No closer than 40 feet to another dwelling

3) Ogden Utah Chicken Ordinance

Are Chickens Allowed in Ogden No

Max Chickens Allowed Unknown - (100 pigeons, no mention of chickens)

Roosters Allowed No

Permit Required N/A

Coop Restrictions N/A

Additional articles secure on the internet are located at the end of this report.

Recommendation:

Staff recommends that no change be made to the zoning ordinance to permit the keeping of female chickens as requested, as it has not been demonstrated that such a change is desired by the general populace of South Ogden City.

ADDITIONAL INFORMATION FROM THE INTERNET: ARTICLES AND SUMMARY OF KEY COMMUNITY ORDINANCES, INCLUDING

1- Ogden's ban on backyard chickens irks urban millennials

MONDAY, JUNE 01, 2015 - 9:56 AM

By Leia Larsen

Editor's note: This is the second in a two-part series about the urban chicken movement in northern Utah. [See story one](#) to see how chicken complaints in Ogden stack up against neighboring cities and to learn about the growing guerrilla movement for backyard chickens.

Jill Little and Wally Cromar work at the corporate headquarters of the Intermountain Farmers Association, or IFA, in Salt Lake City. They're both young, they're city-dwellers and they're [backyard chicken](#) fans. "I think for me, the benefit is a couple things. I'm an avid gardener, so having poultry is helpful not just for eggs, it's for fertilizer, it's for bugs," Cromar said, who works as IFA's category manager for feed and live animals. "They're great animals to have around if you're into gardening and producing your own things."

Cromar has three hens in the backyard of his house located in Salt Lake City's hip Ninth and Ninth district. Little, IFA's advertising coordinator, said she lives on a lot in Salt Lake that's too small for chickens, but she grew up on a farm in Morgan. When she wants fresh eggs, she takes a trip north to see her parents.

"It's not necessarily getting back to nature, but that concerned interest in where your food comes from and how it's produced, I think, that has really generated a lot of the interest in backyard chickens," Little said.

Among the half-dozen or so backyard chicken owners interviewed by the Standard-Examiner, IFA always comes up when discussing their birds. It's where they go to get their live hens, feed and supplies. They go to IFA to get advice on building and chick nutrition. Cromar and Little confirmed that for IFA, the chicken business is booming.

"The amount of chickens we've been selling has grown hand over fist as people get that comfort," Little said. "I think we are experts; we have the feed, the products and the knowledge."

Wally Cromar and Jessica Little stand near the live rabbits and chicks for sale at the corporate headquarters of the Intermountain Farmers Association in Salt Lake City on May 21, 2015. IFA got its start as the Utah Poultry & Farmers Cooperative in the 1920s, distributing Utah eggs throughout the nation. It changed its name in the 1960s and opened its first country stores in the 1970s.

They've got 19 Country Stores in Utah, and another five in four neighboring states. The IFA representatives didn't provide exact numbers, but the most urban of their stores, Salt Lake City, sells the most chickens, they said. The Ogden store, which is technically just over the city line in Marriott-Slaterville, is second.

"Our chicken business is a big business," Cromer said. "I think chickens enhance a community. It's a great way to have connection with your neighbors." Over the last five years or so, Utah cities from Brigham City to Salt Lake to Provo to St. George have adopted ordinances allowing hens in residential backyards. But a few cities have held out, Ogden being the largest.

Among their concerns is that this backyard poultry thing could just be a fad. If folks start taking on chickens in droves, then decide they're too much work, what does the city do with abandoned birds that can live up to 10 years? Even if the chicken crusade has staying power, city staffs have wondered, don't most people move to cities to get away from farm animals? Are the smaller, denser lots found in cities and diverse demographics conducive to keeping everyone happy?

Fad, fringe or something else?

As the backyard chicken movement has gained steam over the past decade, the news media has alternatively called it a "fad," "trend" and a "craze." It turns out, there isn't much research to add veracity to those claims. If urban chickens were just a "fad," it seems to follow that local animal shelters would be getting overrun by chickens as well, as poultry owners turned in their chickens or abandoned them after losing interest.

Inquiries with the Humane Society of Utah, however, suggested otherwise. They said they haven't found a noticeable increase in chicken calls since the state's various cities started adopting various ordinances. In Davis County, where nearly every large city allows urban chickens, Director of Animal Services Clint Thacker said he hasn't seen a significant influx of chickens coming to the shelter.

"If anything, this year has been low compared to previous years," he said. "It seems people know how to take care of them ... (and) we don't get very many loose chicken calls. It's nothing compared to dogs and cats."

Numbers suggest that backyard chickens don't seem to be much of a "craze," either. One of the few national urban poultry studies, conducted by the U.S. Department of Agriculture in 2013, looked at backyard chickens [in four cities](#) — Los Angeles, New York, Miami and Denver. It found that only between 0.2 and 1.7 percent of urban households have chickens.

2-Roy residents told to back off about chickens

TUESDAY, AUGUST 26, 2014 - 3:32 PM

By RACHEL J. TROTTER

Standard-Examiner correspondent

ROY — Roy leaders told chicken proponents to back off until further notice about having the fowl in all zones in the city. For the past few weeks, a group of residents has been petitioning the city to allow chickens in all zones. They came with a petition of names and several spoke during the last two city council meetings about their desire for chickens in residential zones. Many are from the same group that went the rounds with the city over the issue last year. Last year, the council declined the planning commission's recommendation to allow chickens in all zones, leaving them to be allowed only in agricultural zones.

"I guess I've been the fly in the ointment here," Mayor Willard Cragun said, referring to when he was on the council and discouraged chickens in all zones. "The problem is when you start, where do you stop? I have someone asking me for pigs every week." Cragun advised the residents to leave the issue alone and abide by the law as it stands, and that maybe in the future, the ordinance would be brought back. "Just abide by the law," Cragun said over and over again.

Two weeks ago, the council said it would think about bringing back discussion on the all-zones

ordinance, but at the most recent meeting, the answer was a firm no. At that, the pro-chicken residents said they were frustrated and said they have felt targeted by the city's code enforcement officer. Resident Gregory Sagun said several of his neighbors who have kept chickens in violation of the city ordinances have been cited in recent months, even though they were told that if no one complained about it, the code enforcement officer wouldn't investigate them. Another resident, Christee Kyte, said she also went the rounds with the city because her chickens are grandfathered in from an ordinance back in the 1970s because that's how long chickens have been at the residence.

"This all began because members of the community wanted this. I do feel I have been targeted because of my involvement," Kyte said. "I talked to all my neighbors and there hasn't been one complaint," Sagun said. "For the code enforcement officer to come down and say she has a complaint, that just makes no sense. I think we are being targeted," Sagun said. He added that he and his neighbors want to be heard by the council.

City Councilman John Cordova said the idea had been suggested to put the issue on the ballot. At that, acting City Manager Andy Blackburn said no other cities had done that. "Until a council member wants to put it on the agenda, it's a done deal, the ordinance stands as it is," Blackburn said. Kyte and Sagun both continued to bring up points with the council, pointing out how residents had done their due diligence to get the issue brought up to the council and that there is still a desire by many residents. At that, City Councilman Dave Tafoya put a stop to the conversation.

"Look, they are allowed in R-20 (agricultural) zones. Does anyone on the council want to change that?" No council members responded. "No. It's a done deal," Tafoya said. The council then moved on to the next item, but Sagun continued to quietly complain about the issue through the meeting, and Kyte walked out with several family members. Both said they will continue the process to get chickens in the future.

SUBDIVISION AMENDMENT PETITION

Designated Contact Person: JOSEPH H. FLORENCE
 Phone 801-525-3000 email JFLORENCE@COURT.COM
 Address 372 24TH ST SUITE 320 OGDEN State UT Zip 84201

Subdivision Name: HINCKLEY COMMONS Approx. Address: 56050 HAMILTON
 Existing Zone C-2 No. of Acres or Sq. Ft. 3434 SQ FT

A petition to amend an existing plat requires the name and address of each owner of record of the land contained in the entire plat, as well as their signatures if they consent to the petition (please see form on next page).

This petition must be accompanied by a pdf file of the proposed amended plat. The pdf file can be sent via email to lkapetanov@southogdencity.com. A paper copy of the proposed plat must also be submitted to Brad Jensen at Wasatch Civil Engineering, 5434 S. Freeway Park Drive, Riverdale UT 84405 (801-775-9191). Other information, as determined by staff, may be required.

All required documents must be submitted and the fee paid at least 20 days before the planning commission meeting at which you would like your item considered. The Planning Commission meets the second Thursday of every month.

Fee – Subdivision Amendment - \$75

OFFICE USE

Request for Recommendation sent to the following by copy and return of this form:

City Engineer -	Date _____	Received back - Date _____
Fire Dept. -	_____	_____
Public Works -	_____	_____
Other -	_____	_____

RECOMMENDATION: (INCLUDE ATTACHMENT)

PLANNING COMMISSION ACTION:

APPROVED _____ DENIED _____ Date _____
 Applicant notified - Date _____

Hinckley Commons Amended Amending Lot 1

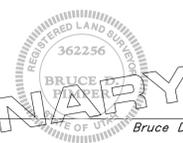
A part of the Southwest 1/4 of Section 15, and the Northwest 1/4 of Section 22,
T5N, R1W, SLB&M, U.S. Survey
South Ogden City, Weber County, Utah

SURVEYOR'S CERTIFICATE

I, Bruce D. Pimper, a Registered Professional Land Surveyor in the State of Utah, do hereby certify that this plat of Hinckley Commons Amended Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground.

Signed this day of , 20 .

362256
License No.



PRELIMINARY
Bruce D. Pimper

PROPERTY DESCRIPTION

A part of the Southwest Quarter of Section 15 and the Northwest Quarter of Section 22, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, in South Ogden City, Weber County, Utah:

Beginning at the Northeast Corner of Cross Point Shopping Center Subdivision on the Westerly Line of Harrison Boulevard as it exists at 50.00 foot half-width being 278.60 feet South 0°36'34" West along the Quarter Section Line and 141.49 feet North 89°23'26" West from the North Quarter Corner of said Section 22; and running thence Northwesterly along the arc of a 3769.80 foot radius curve to the left a distance of 166.37 feet (Center bears South 79°23'01" West, Central Angle equals 2°31'43" and Long Chord bears North 11°52'51" West 166.36 feet) along said Westerly Line of Harrison Boulevard to the Southeast Corner of Lot 2 of Hinckley Commons Subdivision; thence along the boundaries of said Lot 2 the following five courses: South 89°59'19" West 95.32 feet; South 30°41'53" West 28.29 feet; North 59°18'07" West 149.29 feet; North 30°00'41" West 45.53 feet; and North 30°41'53" East 183.81 feet to the Southerly Line of 5600 South Street; thence along said Southerly Line the following two courses: Northwesterly along the arc of a 1866.30 foot radius curve to the left a distance of 278.34 feet (Center bears South 31°57'59" West, Central Angle equals 8°32'42" and Long Chord bears North 62°18'22" West 278.08 feet) to a point of tangency; and North 66°34'43" West 155.35 feet to the Easterly Line of 1475 East Street as it exists on the ground; thence along said Easterly Line the following eight courses: South 23°27'43" West 27.17 feet to a point of curvature; Southwesterly along the arc of a 137.00 foot radius curve to the left a distance of 18.47 feet (Central Angle equals 7°43'33" and Long Chord bears South 19°35'56" West 18.46 feet) to a point of tangency; South 15°44'10" West 167.56 feet to a point of curvature; Southerly along the arc of a 137.00 foot radius curve to the left a distance of 133.34 feet (Central Angle equals 55°45'48" and Long Chord bears South 12°08'44" East 128.14 feet) to a point of reverse curvature; Southerly along the arc of a 223.00 foot radius curve to the right a distance of 240.33 feet (Central Angle equals 61°44'56" and Long Chord bears South 9°09'10" East 228.87 feet) to a point of reverse curvature; Southerly along the arc of a 77.00 foot radius curve to the left a distance of 50.24 feet (Central Angle equals 37°22'51" and Long Chord bears South 3°01'52" West 49.35 feet) to a point of tangency; South 15°39'33" East 9.00 feet; and South 74°20'27" West 14.68 feet to the Northerly Line of Cross Point Shopping Center Subdivision; thence along said Northerly Line the following seven courses: South 11°51'48" West 43.68 feet; South 89°30'26" East 438.50 feet; South 78°16'49" East 33.67 feet; North 57°24'05" East 88.09 feet to a point of curvature; Northeasterly along the arc of a 57.00 foot radius curve to the right a distance of 32.61 feet (Central Angle equals 32°46'48" and Long Chord bears North 73°47'29" East 32.17 feet) to a point of tangency; South 89°49'07" East 13.45 feet to a point of curvature; and Northeasterly along the arc of a 29.00 foot radius curve to the left a distance of 25.66 feet (Central Angle equals 50°41'44" and Long Chord bears North 64°50'01" East 24.83 feet) to the Westerly Line of Harrison Boulevard and the point of beginning.

Contains 261,803 sq. ft. or 6.010 ac.

NARRATIVE:

This Subdivision Amendment was requested to Subdivide the Original Lot 1 into two Lots.

A line between monuments found for North Quarter Corner and the Center of Section 22 was assigned the Weber County bearing of S 0°36'34" W as the Basis of Bearings.

OWNER'S DEDICATION

We, the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat, and name said tract Hinckley Commons Subdivision and hereby dedicate, grant and convey to South Ogden City, Weber County, Utah, all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and also dedicate to South Ogden City those certain strips as easements for public utility and drainage purposes as shown hereon, the same to be used for the installation, maintenance and operation of public utility service lines and drainage as may be authorized by South Ogden City.

Signed this day of , 20 .

Rafter H, L.L.C.

ACKNOWLEDGMENT

State of _____ County of _____ ss
On the _____ day of _____, 20____, personally appeared before me, _____, who being by me duly sworn did say that he is the Manager of Rafter H, L.L.C., and that said instrument was signed in behalf of said L.L.C. by a resolution of its Board of Directors acknowledged to me that said L.L.C. executed the same.

Residing at: _____ A Notary Public commissioned in Utah

Commission Expires: _____ Print Name _____

SOUTH OGDEN CITY APPROVAL

This is to certify that this plat and dedication of this plat along with the dedication of all streets, easements and Public Improvement Guarantee were duly approved and accepted by the City Council of South Ogden City this _____ day of _____, 20____.

Affest _____

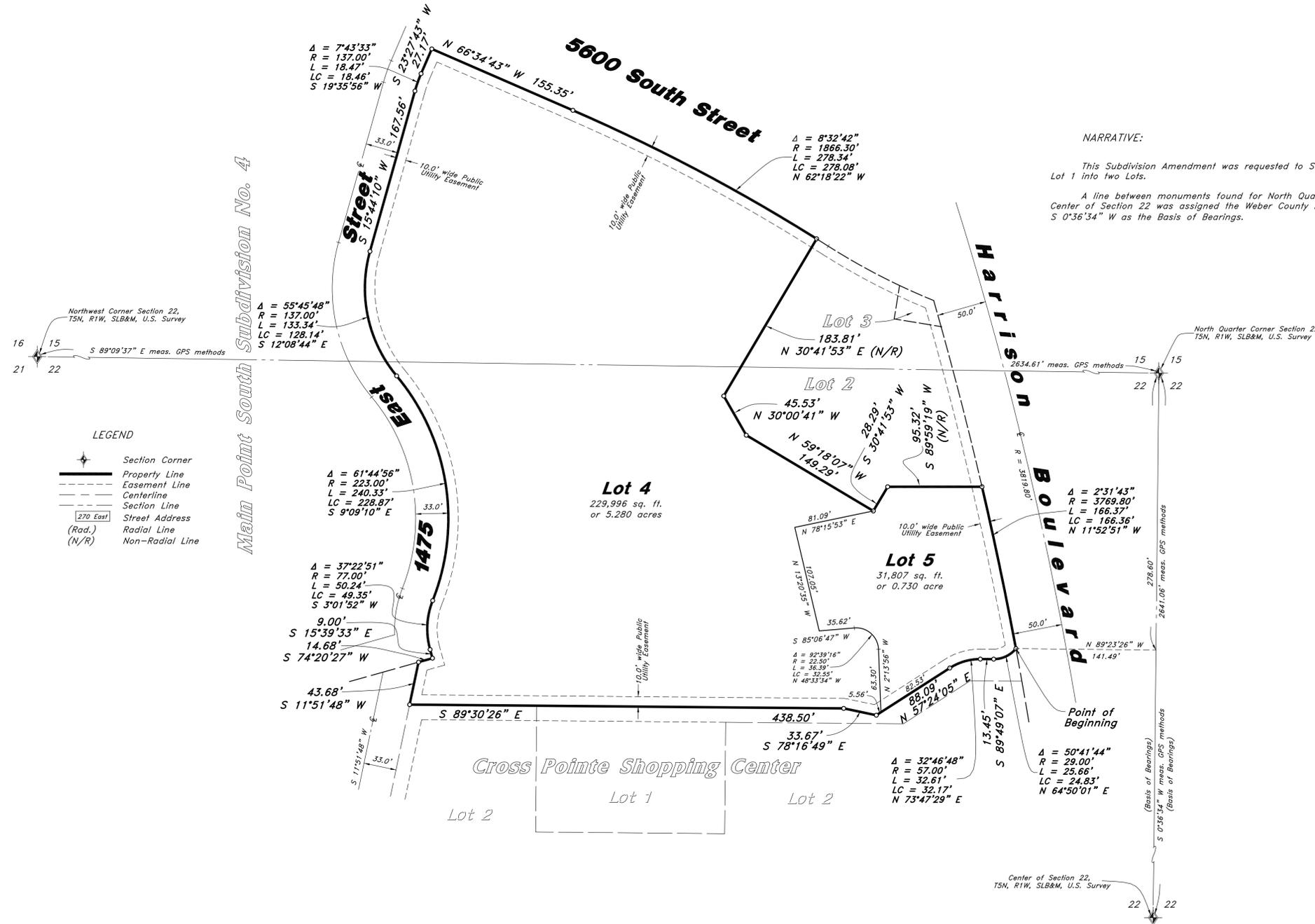
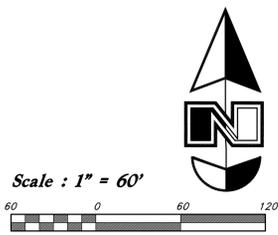
Title _____

Mayor _____

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND RECORDED _____ AT _____ IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____

WEBER COUNTY RECORDER
BY: _____ DEPUTY



LEGEND

	Section Corner
	Property Line
	Easement Line
	Centerline
	Section Line
	Street Address
	Radial Line
	Non-Radial Line

SOUTH OGDEN CITY ENGINEER
I hereby certify that the requirements of all applicable statutes and ordinances prerequisite to City Engineer approval of the foregoing plat ad dedication have been complied with.
Signed this _____ day of _____, 20____.

SOUTH OGDEN CITY ATTORNEY
I have examined the foregoing plat description of Hinckley Commons Subdivision and in my opinion it conforms with the City Ordinances applicable thereto and now in force and effect.
Signed this _____ day of _____, 20____.

SOUTH OGDEN CITY PLANNING COMMISSION APPROVAL
This is to certify that this subdivision plat was duly approved by the South Ogden Planning Commission on the _____ day of _____, 20____.

AWA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWEngineering.net

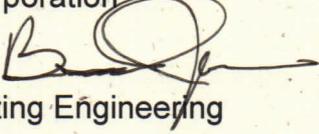
Signature _____

Signature _____

Chair _____



To: Leesa Kapatnov, City Recorder
South Ogden City Corporation

From: Brad C. Jensen, P.E. 
Wasatch Civil Consulting Engineering

Date: September 22, 2015

Subject: Hinckley Commons Amended, Plat Review

We have reviewed the plat for Hinckley Commons Amended. It appears that the plat has been prepared in accordance with South Ogden City Standards. Subject to comments by the Planning Commission, we recommend the amended plat be accepted.

If you have any questions, please call.

Planning Commission Report



Subject: Application for subdividing an existing lot located on the southwest corner of Hinckley Commons, 5600 South Harrison Boulevard

Author: Mark Vlastic

Department: Planning & Zoning

Date: October 8, 2015

Background

This is an application for subdivision of Lot 1 at Hinckley Commons , which is located at approximately 5600 South Harrison Boulevard on the southwest corner of the site. The application is to divide the existing property into two separate lots, both of which will retain the existing CP-2 zoning. The proposed subdivided lots are located at a partially-developed commercial center. The current Lot 1 is proposed to be subdivided into Lots 4 and 5.

Discussion/Analysis

The proposed subdivision meets minimum lot size and other planning requirements.

Recommendation

Staff recommends approval of the Subdivision Application, pursuant to review and positive recommendation by the City Engineer and receipt of all required signatures, as required.

The South Ogden Fire Department has reviewed the application, finds no issues, and recommends approval.

PRELIMINARY SITE PLAN APPROVAL APPLICATION

Required for all commercial and manufacturing uses, buildings, or construction

Owners Name RATER H. LLC
JOSEPH H. FLORENCE Phone 801-525-3000 Email J.FLORENCE@CORP.COM
OWNER/AGENT
Address 372 1/2 W STE. SUITE 920 City OGDEN State UT Zip 84403

Agents Name - All information will be sent to the Agent.
PHILLIP RECORD/AUTO ZONE Phone 901-455-8706 Email PHIL.P.RECORD@AUTOZONE.COM
Address 123 SO FRONT ST. City MEMPHIS State TN Zip 38103

Property Address: SW CORNER 5600 SOUTH & HANSON BLVD

Existing Zone C-2 No. of Acres or Sq. Ft. 31806 # Res. Units 0
Bldg. Sq. Ft. 6515 Building Height (stories & ft.) 21'

What Use is Requested?
NEW RETAIL - AUTO PARTS STORE

The P.C. action is subject to appeal to the City Council. Appeal must be filed with the City Recorder, by any interested party, within 10 days from the date of the P.C. decision.

Fee - Conditional Use Application

\$100.00 plus \$25.00 for each acre over one (1) to five (5) acres then \$10.00 for each additional acre or part thereof and \$100 for the City Engineer review. The Engineer fee is charged at a per hour rate and the balance over \$100 will be owing upon billing. The City collects these engineering hours on a project so the actual costs are recognized. As long as the project is under construction, the City engineer may incur costs that will be billed to the applicant.

OFFICE USE

Request for Recommendation sent to the following by copy and return of this form:

City Engineer - Date _____ Received back - Date _____
Fire Dept. - _____
Public Works - _____
Other - _____

RECOMMENDATION: (INCLUDE ATTACHMENT)

PLANNING COMMISSION ACTION:

APPROVED _____ DENIED _____ Date _____
Applicant notified - Date _____ Effective date (10) days from the P.C. meeting granting approval

APPLICANT'S AFFIDAVIT

State of UTAH
County of WEBER

I (we) JOSEPH H. FLORENCE, being duly sworn, depose and say I (we) am (are) the sole
Property Owner(s) or Agent of Owner
owner(s)/agent of the owner(s), of the property involved in this application, to-wit,
PART OF S.W. CORNER - SWOOD HARRISON BLVD
Property Address
and that the statements and answers contained herein, in
the attached plans and other exhibits, thoroughly and to the best of my ability, present the argument
in behalf of the application. Also, all statements and information are in all respects true and correct, to
the best of my knowledge and belief.

Dated this 2ND day of SEPTEMBER, 2015.

Signed: [Signature] Property Owner or Agent _____ Property Owner or Agent

Subscribed and Sworn before me this 2 day of September, 2015.

Notary Public: [Signature]



AGENT AUTHORIZATION

State of UTAH
County of WEBER

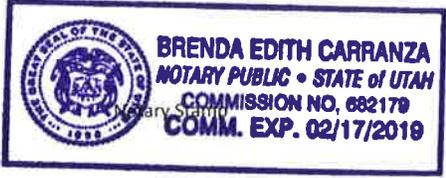
I (we) JOSEPH H. FLORENCE, the sole owner(s) of the real property located
Property Owner(s)
at S.W. CORNER - SWOOD HARRISON BLVD, South Ogden, Utah do hereby appoint
Property Address
AUTO ZONE, as my (our) agent to represent me (us) with
regard to this application affecting the above described real property, and to appear on my (our)
behalf before any city boards considering this application.

Dated this 2ND day of SEPTEMBER, 2015.

Signed: By [Signature] Property Owner _____ Property Owner

Subscribed and Sworn before me this 2 day of September, 2015.

Notary Public: [Signature]





AutoZone Store Development
Site Plan Submission
for:
AutoZone Store No. 3416
5600 SOUTH AND HARRISON BLVD.
SOUTH OGDEN, UT 84403

Owner:
AutoZone, Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
(901) 495-8717

Site Plans Prepared by:
Applicant / Developer / Lessee:
AutoZone, Inc.
c/o: PHILLIP PECORD
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
(901) 495-8706

Architect:
AutoZone, Inc.
c/o: PHILLIP PECORD
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
(901) 495-8706

Civil Engineering Plans Prepared by:
Civil Engineer:
Dominion Engineering
c/o: COLBY ANDERSON
5684 S. Green Street
Murray, UT 84123
(801) 713-3000

Plan Submittal Date:

AUGUST 27th, 2015

INDEX OF DRAWINGS	
	COVER SHEET
C1.0	SITE PLAN
C1.A	SITE DETAILS
C1.B	PARKING LOT LIGHT DETAILS
C1.1	GRADING & DRAINAGE PLAN
C1.2	UTILITY PLAN
C1.4	EROSION CONTROL PLAN
L1.0	LANDSCAPE PLAN

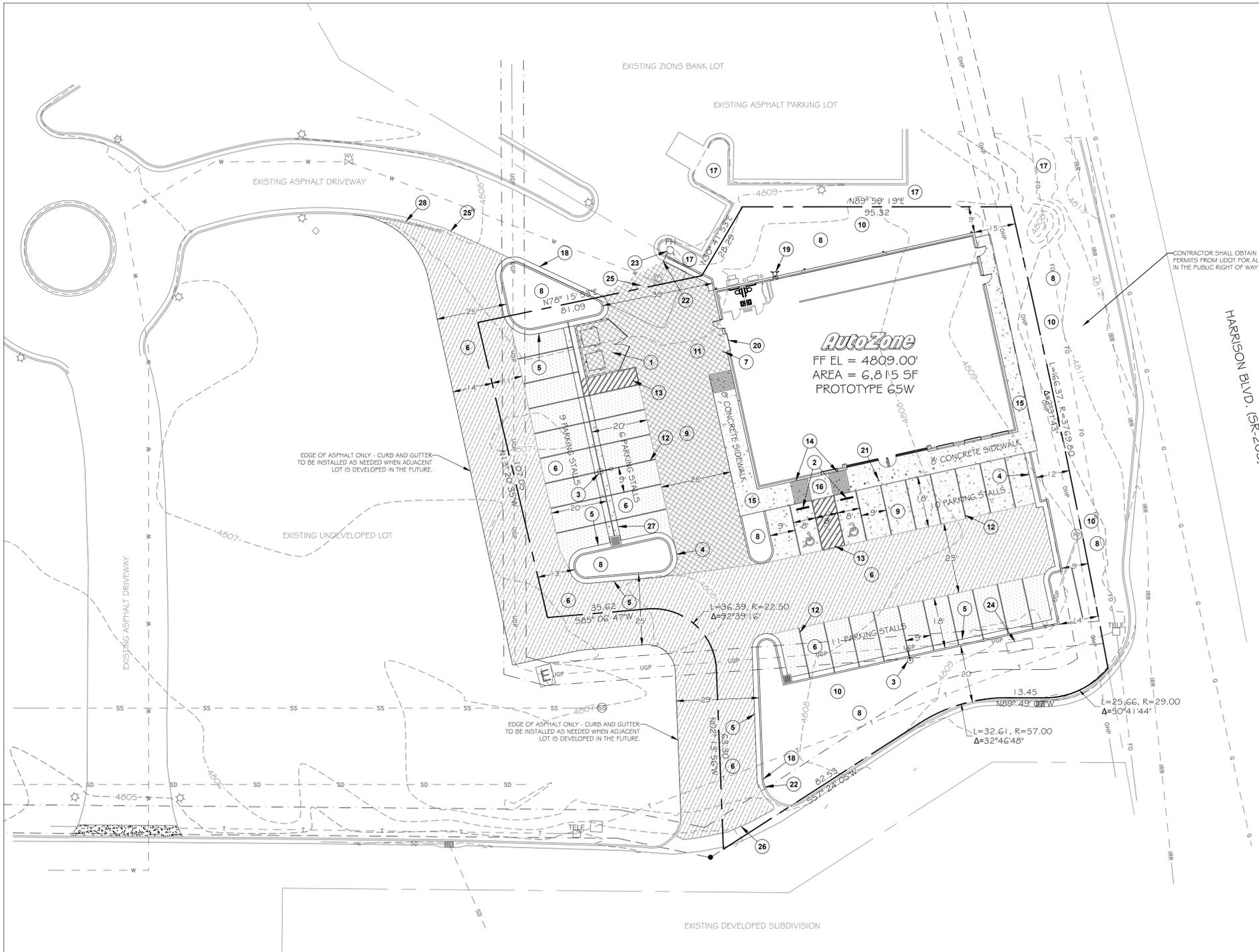
- | | | | |
|-----------------------|---|-----------------------|--|
| A. REGULATORY AGENCY: | SOUTH OGDEN CITY
3950 SOUTH ADAMS AVENUE
(801) 622-2700 | E. IRRIGATION WATER: | WEBER BASIN WATER CONSERVANCY DISTRICT
(801) 771-1677 |
| B. CITY ENGINEER: | WASATCH CIVIL ENGINEERING
5434 SOUTH FREEWAY PARK DRIVE
RIVERDALE, UT 84405
(801) 775-9191
CONTACT: BRAD JENSEN | F. POWER COMPANY: | ROCKY MOUNTAIN POWER
(800) 469-3981 |
| C. SEWER DISTRICT: | SOUTH OGDEN CITY
(801) 622-2700 | G. GAS COMPANY: | QUESTAR GAS
BOB COMEAU
(801) 395-6702 |
| D. WATER DISTRICT: | SOUTH OGDEN CITY
(801) 622-2700 | H. TELEPHONE COMPANY: | CENTURY LINK
(801) 974-8130 |
| | | I. FIBER OPTIC: | UDOT
(801) 887-3403
CENTURY LINK
(801) 974-8130 |

VICINITY MAP

(NOT TO SCALE)



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UTILITY NOTE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE UTILITY PLAN.
- THE OWNER IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE 'AMERICANS WITH DISABILITIES ACT (ADA).
- DETAILED FIRE PROTECTION PLANS SHALL BE SUBMITTED WITH THE BUILDING PLANS. ADDITIONAL REQ'S MAY BE IDENTIFIED DURING THE PLAN REVIEW BY THE FIRE DEPARTMENT, WHICH MAY BE MANDATED BY THE INTERNATIONAL FIRE CODE. PLAN REVIEWS MUST BE COMPLETED PRIOR TO THE BUILDING PERMIT BEING ISSUED.
- ALL LANDSCAPED AREAS SHALL HAVE AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
- A SAMPLING MANHOLE AND HOLDING TANK (GREASE TRAP) SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARDS AS REQUIRED BY THE CITY.
- WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCES OR UNDER COVERED PARKING.
- WARNING - HIGH GROUND WATER TABLE. PROPERTY OWNER SHALL VERIFY THE PRESENCE OF HIGH WATER TABLE PRIOR TO NEW CONSTRUCTION.

CONTRACTOR SHALL OBTAIN APPROVAL AND PERMITS FROM UDOT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY

HARRISON BLVD. (SR 203)

© COPYRIGHT 2009

OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103



AutoZone STORE DEVELOPMENT
 PREPARED FOR: AutoZone
 Store No.: 3416
 5600 SOUTH AND HARRISON BLVD.
 SOUTH OGDEN UT 84403
SITE PLAN

SCALE: 1" = 20'

REVISIONS

NO.	DATE	DESCRIPTION
1.	8-27-15	PROTOTYPE SIZE 65W
2.		
3.		
4.		
5.		
6.		
7.		

ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:
 DATE: 8-27-15
 PROTOTYPE SIZE: 65W



C1.0

SITE PLAN
AUTOZONE STORE
SOUTH OGDEN CITY, UTAH
 A PART OF SECTION 22
 T5N, R1W, SLB&M, U.S. SURVEY
 AUGUST 2015

SITE INFORMATION TABLE

BUILDING	6,815 SF	21.4%
PAVEMENT/WALKS	16,718 SF	52.6%
LANDSCAPING	8,273 SF	26.0%
TOTAL SITE AREA:	31,806 SF	100.0%
	(0.730 ACRES)	

PARKING STALLS PROVIDED: 36 SPACES
 PARKING STALLS REQUIRED: 34 SPACES
 (1 STALLS PER 200 SF OF BUILDING)

PROPERTY DESCRIPTION
 LOT 1 HINCKLEY COMMONS SUBDIVISION
 EXISTING ZONING - CP-2
 PARCEL NO. - TBD

SITE CONSTRUCTION KEYNOTES

- DUMPSTER LAYOUT - SEE DETAILS 8, 9, 10, & 11 / C.I.A
- CONCRETE WHEEL STOP - SEE DETAIL 26 / C.I.A
- LIGHT POLE - SEE SHEET C.I.B (MATCH EX SITE LIGHTING)
- CURB & GUTTER @ CONCRETE PAVING - SEE DETAIL 1 / C.I.A
- CURB & GUTTER @ ASPHALT PAVING - SEE DETAIL 2 / C.I.A
- ASPHALT PAVING - SEE DTL. 243/ C.I.A
- PIPE BOLLARD - SEE DETAILS 15, 16 / C.I.A. (TYP. ALL)
- NEW LANDSCAPE AREA - SEE SHEET L1.0 FOR LANDSCAPE DESIGN INFORMATION
- CONCRETE PAVING - SEE DTL. 144/ C.I.A. EXPANSION AND CONTROL JOINTS - SEE DTLS. 23 & 24/ C.I.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
- SLOPE GRADE FROM BACK OF NEW CURB TO BACK OF EXISTING CURB OR OTHER IMPROVED EXISTING FEATURES
- LOADING/UNLOADING AREA
- 4' WIDE PARKING STRIPE PAINTED WHITE (TYP. ALL)
- 4' WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. - SEE DTL. 6/ C.I.A
- HANDICAP PARKING SIGN - SEE DETAIL 12/ C.I.A PROVIDE ONE VAN ACCESSIBLE SIGN.
- CONCRETE SIDEWALK - SEE DETAILS 19 & 22 & 27 & 28/ C.I.A FOR SIDEWALKS AROUND BUILDING
- ADA ACCESSIBLE RAMP - SEE DETAIL C. 19 / C.I.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2.00%) TRUNCATED DOME TO BE A CONTRASTING COLOR.
- EXISTING LANDSCAPING TO REMAIN IN PLACE. ANY DISTURBED AREAS SHALL BE RESTORED TO PREVIOUS CONDITIONS OR BETTER.
- NEW OFFSITE CURB TO MATCH EXISTING OFFSITE CURB. TRANSITION OFFSITE CURB TO PROPOSED ONSITE CURB AT ACCESS LOCATIONS.
- FREEZELESS YARD HYDRANT
- SERVICE PLAN DOOR - SEE DETAIL 15 / C.I.A.
- PIPE BOLLARD - SEE DETAILS 14, 16/ C.I.A (TYP. ALL)
- EXISTING MONUMENT SIGN - PROTECT IN PLACE
- SAWCUT AND TACK COAT EXISTING ASPHALT PRIOR TO PLACEMENT OF NEW ASPHALT.
- TIE NEW ASPHALT TO EXISTING WATERWAY
- 4' CONCRETE WATERWAY - PER APWA PLAN NO. 211
- REMOVE EXISTING CURB AND GUTTER

LEGEND

- PROPOSED GAS
- PROPOSED TELEPHONE
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- PROPOSED POWER
- PROPOSED ROOF DRAIN
- PROPOSED IRRIGATION
- EXISTING TELEPHONE
- EXISTING CULINARY WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- EXISTING OVERHEAD POWER
- EX UNDERGROUND POWER
- EXISTING GAS
- EXISTING IRRIGATION
- EASEMENT
- PROPERTY LINE

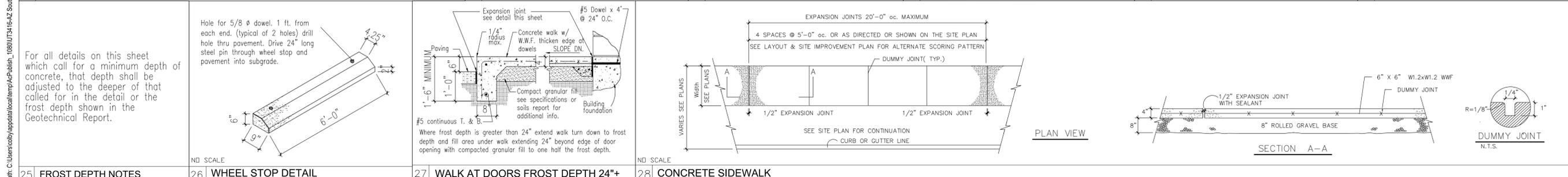
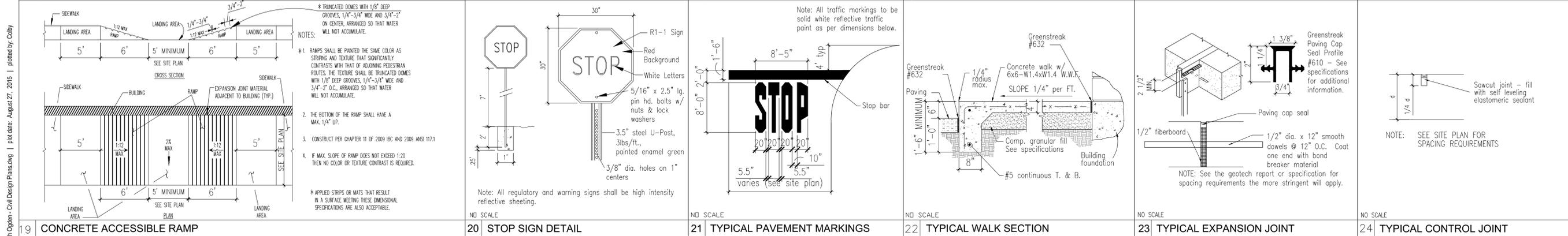
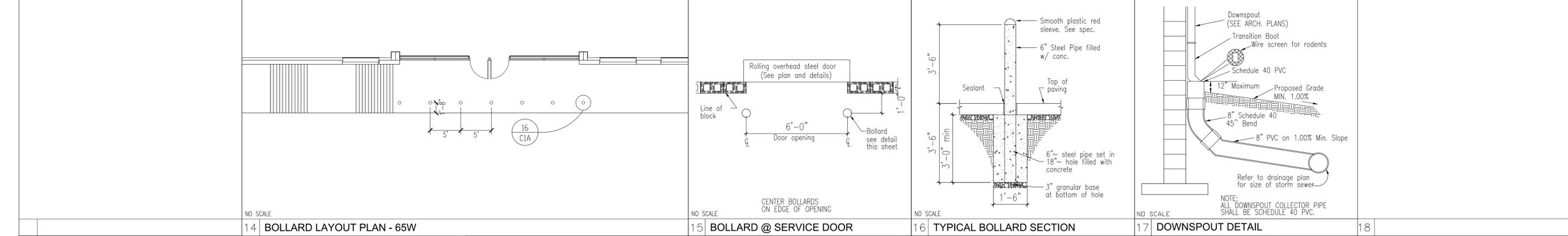
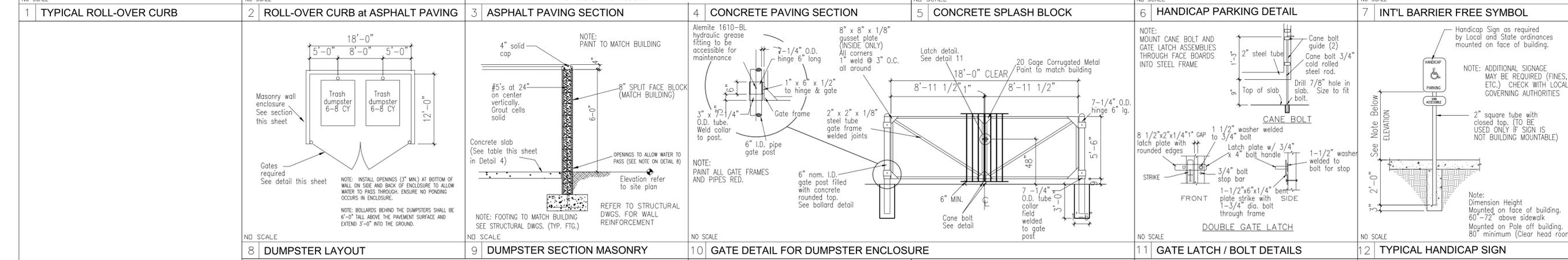
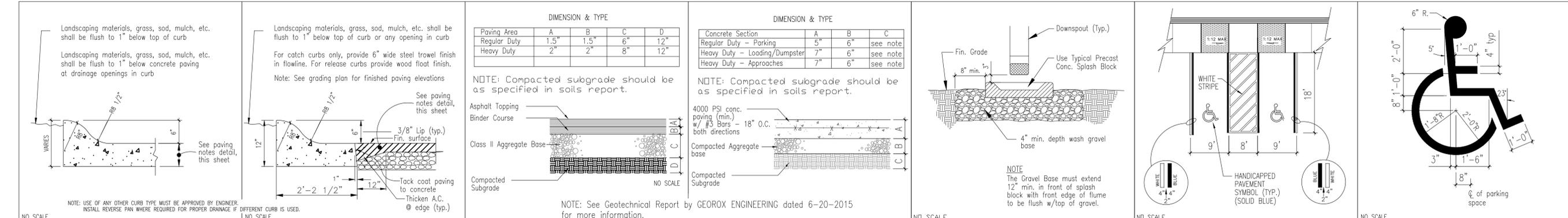
PAVING AREAS

- CONCRETE SIDEWALK
- REGULAR DUTY CONCRETE
- HEAVY DUTY CONCRETE
- REGULAR DUTY ASPHALT
- HEAVY DUTY ASPHALT
- CURB & GUTTER

ELEVATIONS KEY

EL 00.00' = EL 4800.00'
 EXAMPLE: 1.30' = 4801.30'
 (FOR CIVIL PLANS ONLY)

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SOUTH OGDEN CITY STANDARDS AND SPECIFICATIONS.



OWNER: **AutoZone, Inc.**
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 3416
5600 SOUTH AND HARRISON BLVD.
SOUTH OGDEN UT 84403

SCALE: 1" = 20'

REVISIONS

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ARCHITECT: **Colby Craig Anderson**
DRAFTSMAN:
CHECKED BY:
DATE: 8-27-15
PROTOTYPE SIZE: 65W

C1.A

MATCH EXISTING SITE LIGHTING

PARKING LOT LIGHT DETAILS

OWNER:
AutoZone, Inc.
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
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SCALE: 1" = 20'

REVISIONS

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ARCHITECT:

DRAFTSMAN:

CHECKED BY:

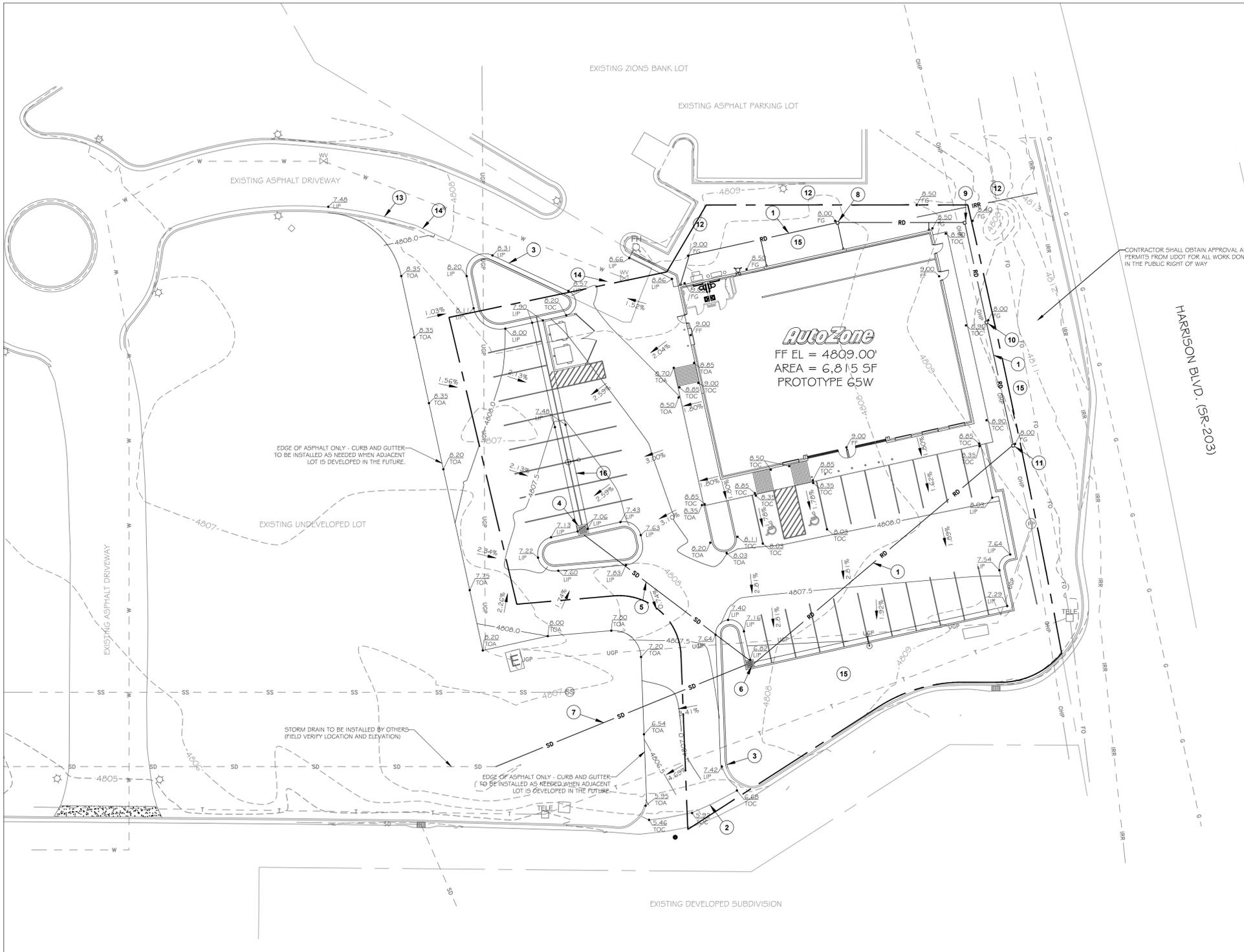
DATE
8-27-15

PROTOTYPE SIZE
65W



C1.B

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UTILITY NOTE
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OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103



PREPARED FOR: **AutoZone STORE DEVELOPMENT**
 Store No.: 3416
 5600 SOUTH AND HARRISON BLVD.
 SOUTH OGDEN UT 84403

GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'
REVISIONS

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7.	

ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:

DATE: 8-27-15
 PROTOTYPE SIZE: 65W



C1.1

GRADING AND DRAINAGE PLAN
AUTOZONE STORE
SOUTH OGDEN CITY, UTAH
 A PART OF SECTION 22
 T5N, R1W, SLB&M, U.S. SURVEY
 AUGUST 2015

- SITE CONSTRUCTION KEYNOTES**
- 1. CONNECT ROOF DRAINS TO STORM DRAIN USING 6" PVC PIPE WITH A MINIMUM COVER OF 1" (LANDSCAPE) AND 2" (HARD SURFACE) AND A MINIMUM SLOPE OF 1.0%. INSTALL CLEANOUTS AT EVERY BEND AND TEE LOCATION (SEE NOTE 4)
 - 2. TIE NEW ASPHALT TO EXISTING WATERWAY
 - 3. NEW OFFSITE CURB TO MATCH EXISTING OFFSITE CURB. TRANSITION OFFSITE CURB TO PROPOSED ONSITE CURB AT ACCESS LOCATIONS.
 - 4. 3X3' 5D CATCH BASIN WITH 1' SUMP - PER APWA PLAN NO. 332 (TOG=7.06, I.E. (S)=4.06)
 - 5. 12" CLASS III RCP 5D PIPE (SLOPE=0.50%, LENGTH=75.0')
 - 6. 2x2' 5D CATCH BASIN WITH 1' SUMP - PER APWA PLAN NO. 332 (TOG=6.82, I.E. (N,E,W)=3.69)
 - 7. 15" CLASS III RCP 5D PIPE (SLOPE=0.50%, LENGTH=100')
 - 8. 12" NYLOPLAST DRAIN BASIN (TOG=8.00 I.E.=6.35)
 - 9. 12" NYLOPLAST DRAIN BASIN (TOG=8.50 I.E.=5.90)
 - 10. 12" NYLOPLAST DRAIN BASIN (TOG=8.00 I.E.=5.54)
 - 11. 12" NYLOPLAST DRAIN BASIN (TOG=8.00 I.E.=5.09)
 - 12. MATCH GRADE AT EXISTING LANDSCAPING - EX LANDSCAPING TO REMAIN IN PLACE UNLESS CALLED OUT FOR REMOVAL
 - 13. REMOVE EXISTING CURB AS REQUIRED TO CONSTRUCT NEW ACCESS - SEE KEYNOTE 18
 - 14. SAWCUT AND TACK COAT EXISTING ASPHALT PRIOR TO PLACEMENT OF NEW ASPHALT.
 - 15. GRADE LANDSCAPE AREAS IN SUCH A WAY AS TO AVOID LOW SPOTS AND STANDING WATER FROM STORM EVENTS AND IRRIGATION WATERING (SEE NOTE 4)
 - 16. 4' CONCRETE WATERWAY - PER APWA PLAN NO. 211

GRADING NOTES

- REMOVE ALL PLANT MATERIALS AND TOPSOILS PRIOR TO PLACEMENT OF STRUCTURAL FILL. THE NON-ENGINEERED FILL MAY REMAIN UNDER PAVEMENTS IF PROPERLY PREPARED AS SPECIFIED BY GEOTECHNICAL ENGINEER (SCARIFIED, MOISTURE PREPARED, AND RECOMPACTED TO THE STRUCTURAL FILL REQUIREMENTS)
- CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS OF EXISTING IMPROVEMENTS PRIOR TO DOING ANY WORK. NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.
 NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SOUTH OGDEN CITY STANDARDS AND SPECIFICATIONS.

GENERAL CONSTRUCTION NOTES

- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- IF IT IS NECESSARY TO CUT THE EXISTING ASPHALT OR REMOVE ANY OTHER HARD SURFACES, ALL SURFACES WILL BE RESTORED PER CITY/SUBDIVISION REQUIREMENTS. CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL ON ENCROACHMENT PERMIT AND TRAFFIC CONTROL PLAN PRIOR TO COMMENCING WORK IN THE PUBLIC ROW. CONTRACTOR SHALL NOTIFY OWNER AND CITY PRIOR TO BEGINNING WORK.
- ALL SITE GRADING, MATERIALS AND IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE CITY, UTILITY OWNER AND/OR GEOTECHNICAL REPORT.
- CONTRACTOR SHALL GRADE LANDSCAPE AREAS IN SUCH A WAY THAT PONDING DOES NOT OCCUR. ENSURE LANDSCAPE DRAINS ARE PLACED IN THE FLOWLINES OF SWALES OR LOW POINTS OF AN AREA WHERE PONDING COULD OCCUR. IF DRAIN BOX LOCATIONS CHANGE FROM THIS PLAN, ADJUST LANDSCAPING AS WELL.

LEGEND

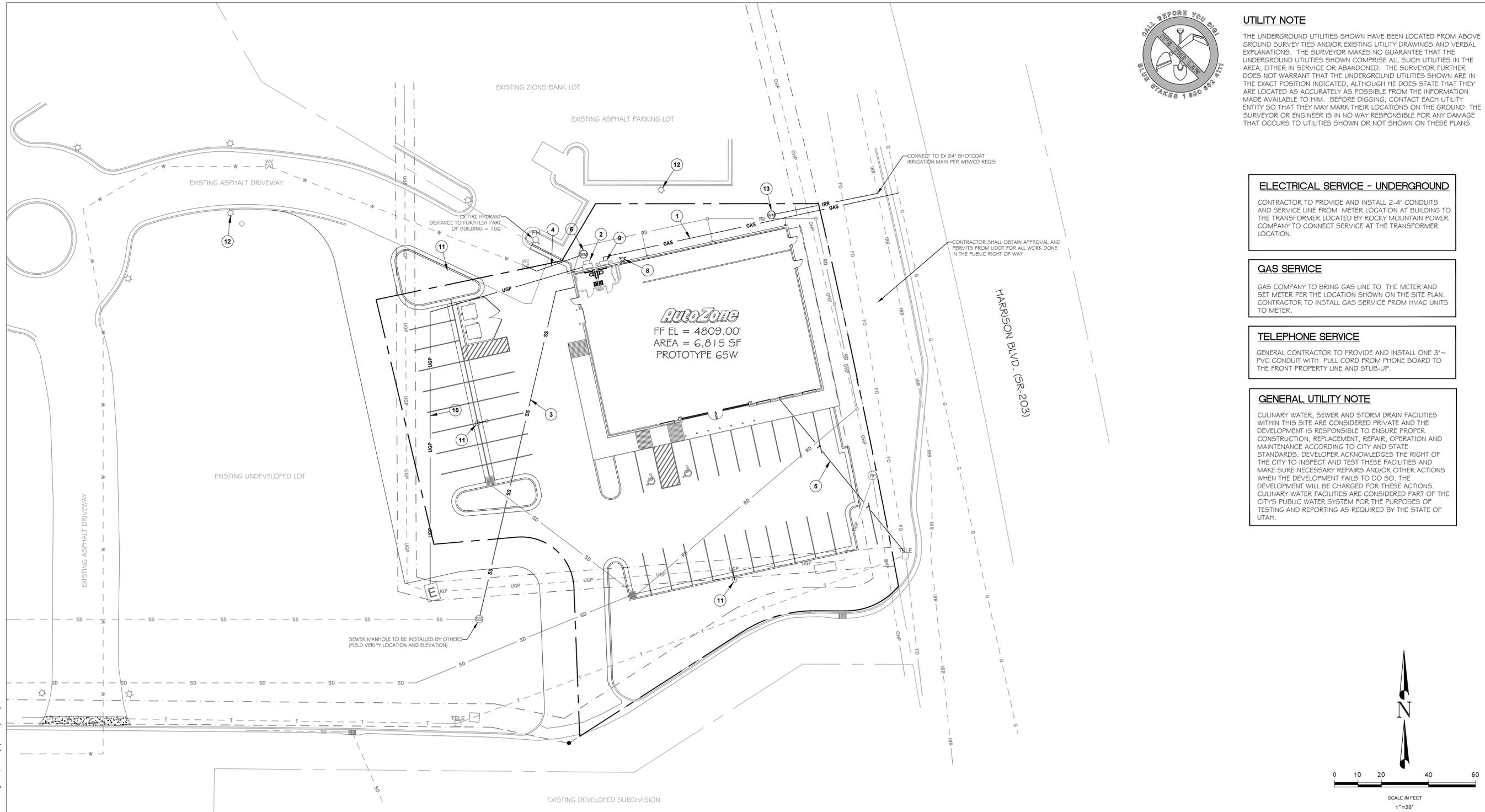
PROPOSED GAS	— GAS —
PROPOSED TELEPHONE	— T —
PROPOSED WATER	— W —
PROPOSED SEWER	— SS —
PROPOSED STORM DRAIN	— SD —
PROPOSED POWER	— P —
PROPOSED ROOF DRAIN	— RD —
PROPOSED IRRIGATION	— IRR —
EXISTING TELEPHONE	— T —
EXISTING CULINARY WATER	— W —
EXISTING SEWER	— SS —
EXISTING STORM DRAIN	— SD —
EXISTING OVERHEAD POWER	— OHP —
EX UNDERGROUND POWER	— UGP —
EXISTING GAS	— GAS —
EXISTING IRRIGATION	— IRR —
EASEMENT	— — —
PROPERTY LINE	— — —

LEGEND

DIRECTION OF DRAINAGE	→
TOP OF ASPHALT	TOA
LIP OF CURB	LIP
EXISTING GROUND	EG
FLOWLINE	FL
TOP BACK OF CURB	TBC
TOP OF GRATE	TOG
TOP OF WALL	TOW
TOP OF CONCRETE	TOC
LANDSCAPE	LS
FINISHED GRADE	FG
BACK OF WALK	BOW
EX EDGE OF ASPHALT	EEOA

ELEVATIONS KEY
 EL. 00.00' = EL. 4800.00'
 EXAMPLE: 1.30' = 4801.30'
 (FOR CIVIL PLANS ONLY)

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UTILITY NOTE

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ELECTRICAL SERVICE - UNDERGROUND

CONTRACTOR TO PROVIDE AND INSTALL 2-4" CONDUITS AND SERVICE LINE FROM METER LOCATION AT BUILDING TO THE TRANSFORMER LOCATED BY ROCKY MOUNTAIN POWER COMPANY TO CONNECT SERVICE AT THE TRANSFORMER LOCATION.

GAS SERVICE

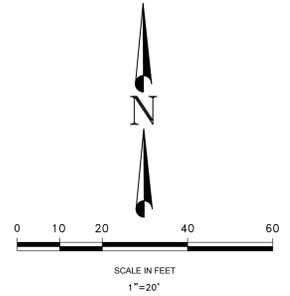
GAS COMPANY TO BRING GAS LINE TO THE METER AND SET METER PER THE LOCATION SHOWN ON THE SITE PLAN. CONTRACTOR TO INSTALL GAS SERVICE FROM HVAC UNITS TO METER.

TELEPHONE SERVICE

GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 3"~ PVC CONDUIT WITH FULL CORD FROM PHONE BOARD TO THE FRONT PROPERTY LINE AND STUB-UP.

GENERAL UTILITY NOTE

CULINARY WATER, SEWER AND STORM DRAIN FACILITIES WITHIN THIS SITE ARE CONSIDERED PRIVATE AND THE DEVELOPER IS RESPONSIBLE TO ENSURE PROPER CONSTRUCTION, REPLACEMENT, REPAIR, OPERATION AND MAINTENANCE ACCORDING TO CITY AND STATE STANDARDS. DEVELOPER ACKNOWLEDGES THE RIGHT OF THE CITY TO INSPECT AND TEST THESE FACILITIES AND MAKE SURE NECESSARY REPAIRS AND/OR OTHER ACTIONS WHEN THE DEVELOPMENT FAILS TO DO SO. THE DEVELOPMENT WILL BE CHARGED FOR THESE ACTIONS. CULINARY WATER FACILITIES ARE CONSIDERED PART OF THE CITY'S PUBLIC WATER SYSTEM FOR THE PURPOSES OF TESTING AND REPORTING AS REQUIRED BY THE STATE OF UTAH.



UTILITY PLAN

AUTOZONE STORE

SOUTH OGDEN CITY, UTAH

A PART OF SECTION 22
T5N, R1W, SLB&M, U.S. SURVEY
AUGUST 2015

- SITE CONSTRUCTION KEYNOTES**
- 1 PROPOSED GAS LINE - SEE NOTES 5 AND 6
 - 2 PROPOSED POWER METER LOCATION - SEE NOTES 5 AND 6
 - 3 PROPOSED SEWER LATERAL - SEE NOTE 3
 - 4 CULINARY WATER SERVICE LATERAL - SEE NOTE 4
 - 5 PROPOSED TELEPHONE LINE - SEE NOTES 5 AND 6
 - 6 1" CULINARY WATER METER - PER CITY REQUIREMENTS
 - 7
 - 8 FREEZELESS YARD HYDRANT - INSTALL 3/4" POLY LINE FOR YARD HYDRANT
 - 9 EXTERNAL GAS METER AND PRESSURE REGULATOR
 - 10 PROPOSED UNDERGROUND POWER
 - 11 LIGHT POLE - MATCH EXISTING SITE LIGHTING
 - 12 EXISTING SITE LIGHT - PROTECT IN PLACE (TYPICAL ALL)
 - 13 1-1/2" LANDSCAPE WATER METER - PER BWCD REQUIREMENTS

- GENERAL CONSTRUCTION NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
 2. IF IT IS NECESSARY TO CUT THE EXISTING ASPHALT OR REMOVE ANY OTHER HARD SURFACES, ALL SURFACES WILL BE RESTORED PER CITY/UDOT REQUIREMENTS. CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL ON ENCROACHMENT PERMIT AND TRAFFIC CONTROL PLAN PRIOR TO COMMENCING WORK IN THE PUBLIC ROW. CONTRACTOR SHALL NOTIFY OWNER, CITY AND/OR UDOT PRIOR TO BEGINNING WORK.
 3. 4" PVC SDR 35 SANITARY SEWER LINE WILL BE INSTALLED WITH A MINIMUM SLOPE OF 2.00%. CLEANOUTS REQUIRED EVERY 100'. CONTRACTOR TO FIELD VERIFY ELEVATIONS AND SLOPE. INSTALL SEWER A MINIMUM OF 1' BELOW FOOTING AT BUILDING. ESTIMATED USAGE IS 200 GPD. CONNECT TO EXISTING SEWER. VERIFY ELEVATION AND SLOPE OF EXISTING SEWER. NOTIFY ENGINEER IF LATERAL CANNOT BE INSTALLED AS SPECIFIED.
 4. INSTALL 1" TYPE "K" COPPER WATER LINE WITH ALL NECESSARY BENDS AND ELBOWS PER SOUTH OGDEN CITY STANDARDS AND SPECIFICATIONS. ESTIMATED CULINARY WATER USAGE IS 200 GPD.
 5. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY OWNERS PRIOR TO BEGINNING WORK.
 6. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS OF EXISTING IMPROVEMENTS PRIOR TO DOING ANY WORK. NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.

LEGEND

PROPOSED GAS	---	GAS
PROPOSED TELEPHONE	---	T
PROPOSED WATER	---	W
PROPOSED SEWER	---	SS
PROPOSED STORM DRAIN	---	SD
PROPOSED POWER	---	UGP
PROPOSED ROOF DRAIN	---	RD
PROPOSED IRRIGATION	---	IRR
EXISTING TELEPHONE	---	T
EXISTING CULINARY WATER	---	W
EXISTING SEWER	---	SS
EXISTING STORM DRAIN	---	SD
EXISTING OVERHEAD POWER	---	OHP
EX UNDERGROUND POWER	---	UGP
EXISTING GAS	---	GAS
EXISTING IRRIGATION	---	IRR
EASEMENT	---	E
PROPERTY LINE	---	PL

ELEVATIONS KEY

EL 00.00' = EL 4800.00'
EXAMPLE: 1.30' = 4801.30'
(FOR CIVIL PLANS ONLY)

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SOUTH OGDEN CITY STANDARDS AND SPECIFICATIONS.

© COPYRIGHT 2009

OWNER: **AutoZone, Inc.**
123 S. FRONT STREET, 3rd FLOOR
MEMPHIS, TENNESSEE 38103

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 3416
5600 SOUTH AND HARRISON BLVD.
SOUTH OGDEN UT 84403

UTILITY PLAN

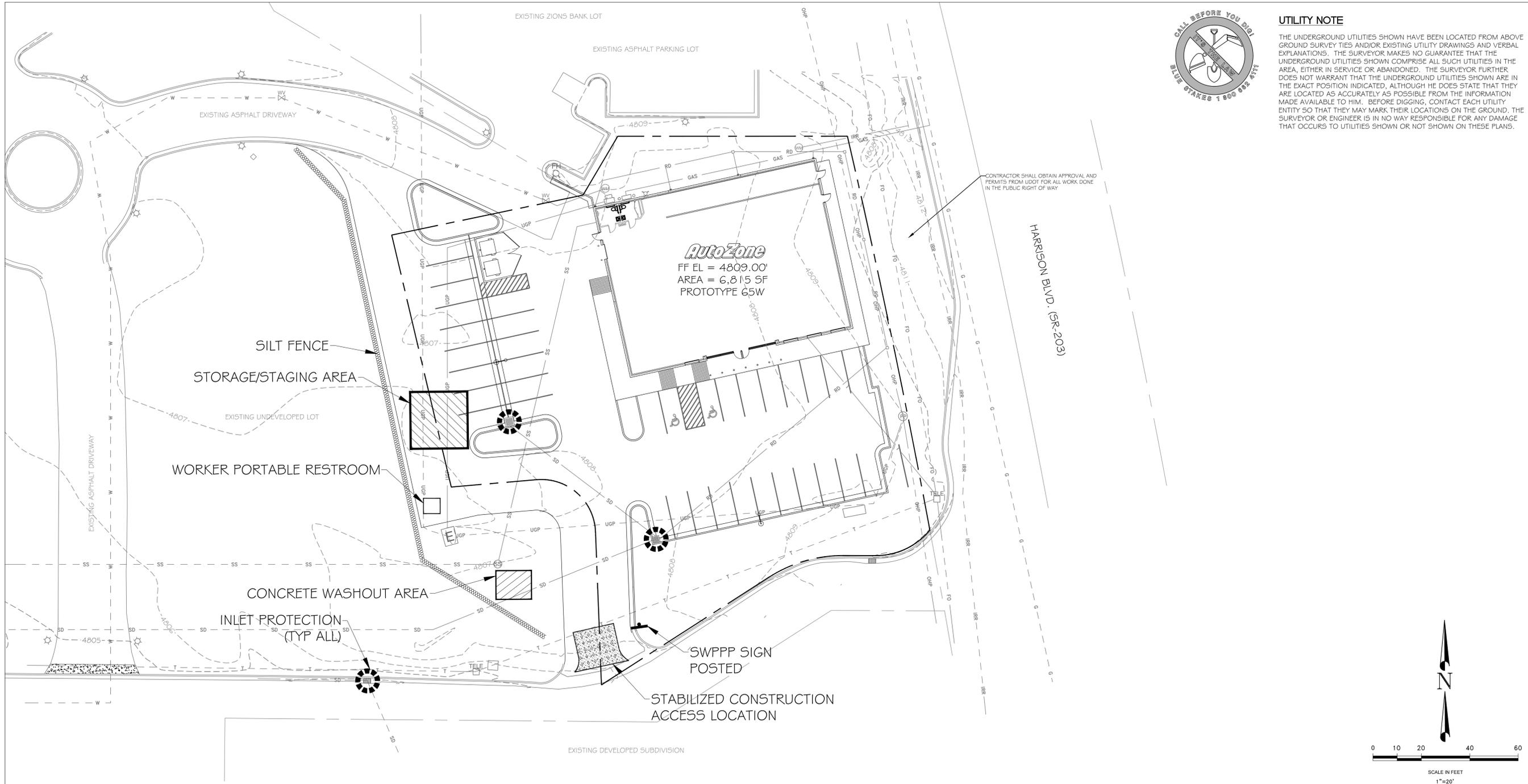
SCALE: 1" = 20'

NO.	REVISIONS
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ARCHITECT: _____
DRAFTSMAN: _____
CHECKED BY: _____
DATE: 8-27-15
PROTOTYPE SIZE: 65W

C1.2

Path: C:\Users\colby\appdata\local\temp\AutoZone_Civil Design Plans.dwg | plot date: August 27, 2015 | plotted by: Colby



UTILITY NOTE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

© COPYRIGHT 2009

OWNER:
AutoZone, Inc.
 123 S. FRONT STREET, 3rd FLOOR
 MEMPHIS, TENNESSEE 38103



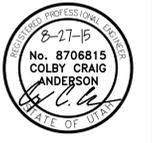
PREPARED FOR: **AutoZone STORE DEVELOPMENT**
 Store No.: 3416
 5600 SOUTH AND HARRISON BLVD.
 SOUTH OGDEN UT 84403

SCALE: 1" = 20'

REVISIONS

No.	Description
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7.	

ARCHITECT:
 DRAFTSMAN:
 CHECKED BY:
 DATE: 8-27-15
 PROTOTYPE SIZE: 65W



C1.4

EROSION CONTROL PLAN

AUTOZONE STORE

SOUTH OGDEN CITY, UTAH

STREET MAINTENANCE NOTES:

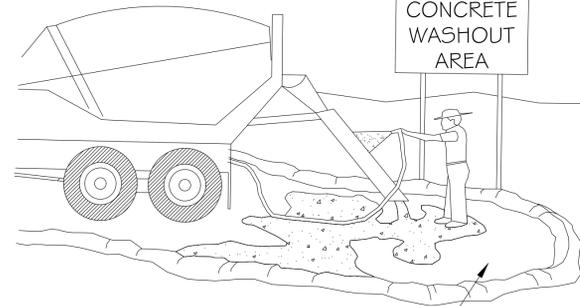
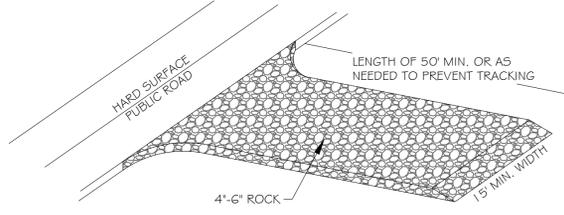
- REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

EROSION CONTROL NOTES

- SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
- AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
- STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
- THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.

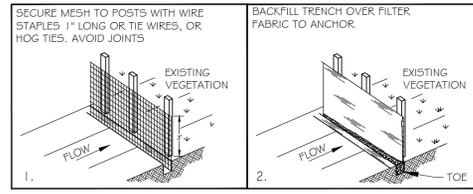
ENTRANCE STABILIZATION NOTES

- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - A MIN. 4'-6" COARSE AGGREGATE WITH A LENGTH OF 50' MIN., WIDTH OF 15' MIN. AND THICKNESS OF 8" MIN. OR AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
- ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
- ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

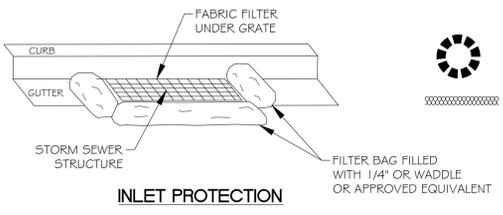
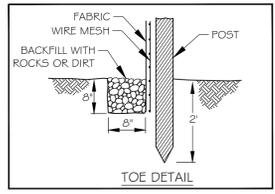


CONCRETE WASHOUT NOTES

- AN AREA CONTAINED BY A BERM OF WHICH SHALL BE NO LESS THAN 6" IN HEIGHT SHALL SERVE AS THE "CONCRETE WASHOUT AREA" AS SPECIFIED ON THESE PLANS. CONTRACTOR IS RESPONSIBLE TO PROVIDE SUFFICIENT VOLUME TO CONTAIN ALL CONCRETE AND LIQUID WASTE. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
- SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



SILT FENCE
(PER APWA PLAN 122)



INLET PROTECTION

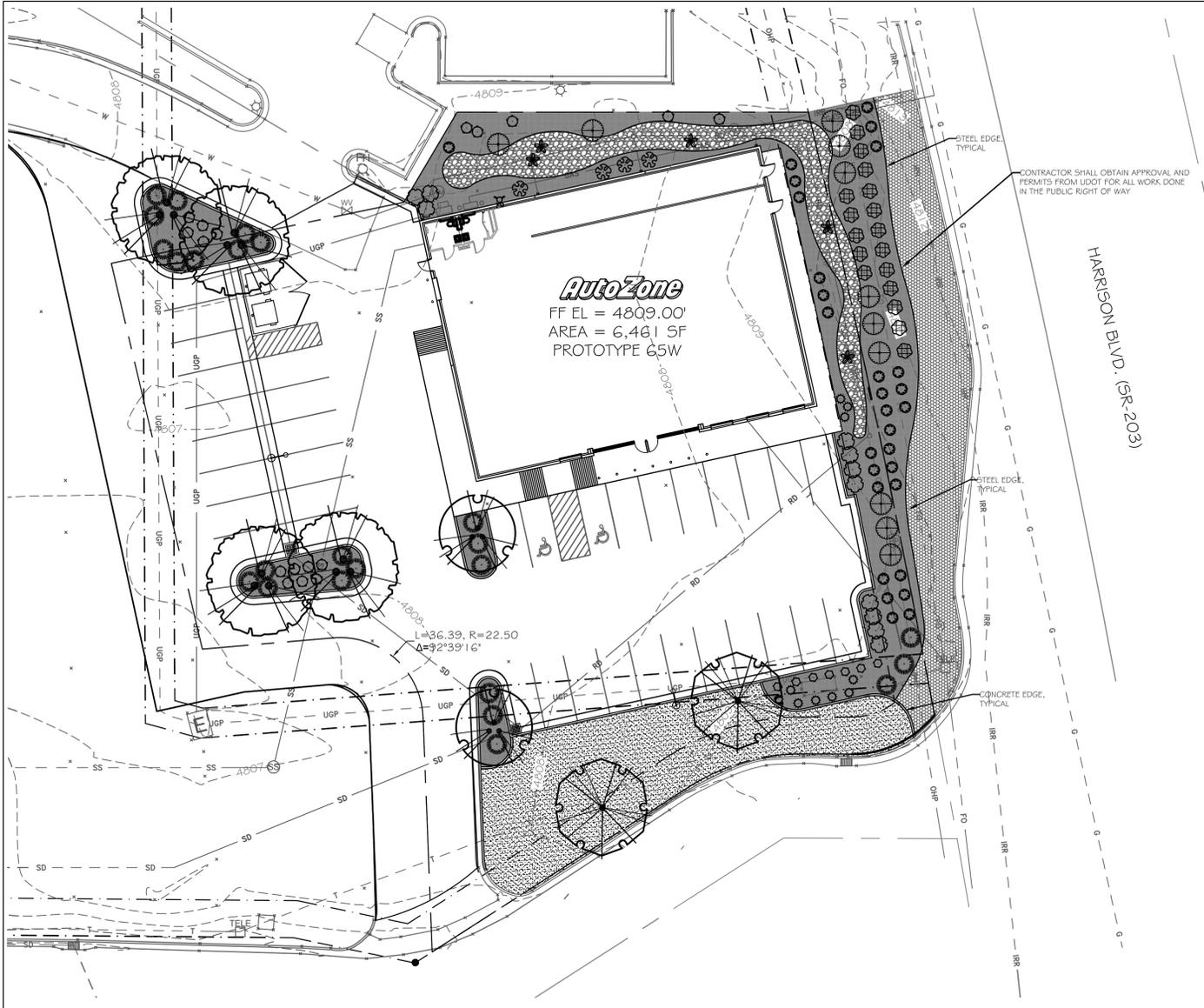
LEGEND



INLET PROTECTION
 (FILTER BAG AND FABRIC UNDER GRATE OR APPROVED EQUIVALENT)

SILT FENCE

NOTE: ALL CONSTRUCTION TO CONFORM TO APWA AND SOUTH OGDEN CITY STANDARDS AND SPECIFICATIONS.



GENERAL NOTES

All landscape areas to be sod common to region except where other plant material is called for.

Sod to extend from property lines to back of city sidewalks and/or curbs.

For any landscape area so designated to remain whether on or off site, remove weeds, rocks, construction items, etc., then scarify area, reseed, and fertilize. R.O.W. curbs and gutters are to be cleaned of debris.

Finished grades in landscape islands shall be installed so that they are 1" lower than the top of the surrounding curb.

Provide a weed mat for all planting areas.

PLANT SCHEDULE

TRFEES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	ACER CAMPESTRE / HEDGE MAPLE	B # B	2" CAL	2
	GLEDITSIA TRIACANTHOS 'SKYLINE' / 'SKYLINE' HONEY LOCUST	B # B	2" CAL	4
	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN	B # B	2" CAL	2
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	10	
	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER	5 GAL	11	
	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL	24	
	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL	4	
	PINUS MUGO 'COMPACTA' / DWARF MUGO PINE	5 GAL	11	
	POTENTILLA FRUTICOSA 'GOLD DROP' / GOLD DROP POTENTILLA	5 GAL	17	
	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIRAEA	5 GAL	18	
	YUCCA FILAMENTOSA 'BRIGHT EDGE' / ADAM'S NEEDLE	5 GAL	5	
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	HEMEROCALLIS X 'ICE CARNIVAL' / DAYLILY	1 GAL	7	
	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS	1 GAL	29	
GRASS / MULCH	COMMON NAME	QTY		
	BLUEGRASS SOD MIX BY CHANSHIRE SOD FARM	2,910 SF		
	6" LAYER OF 2"-4" WASHED RIVER COBBLE OVER WEED BARRIER	1,270 SF		
	4" LAYER OF 1" CRUSHED COLORED GRAVEL TO MATCH NEIGHBORING GRAVEL OVER WEED BARRIER	2,190 SF		
	4" LAYER OF LARGE BARK NUGGET MULCH OVER WEED BARRIER	5,115 SF		

**LANDSCAPE PLAN
AUTOZONE STORE
SOUTH OGDEN CITY, UTAH**

A PART OF SECTION 22
T5N, R1W, SLB&M, U.S. SURVEY
AUGUST 2015

PLANTING NOTES:

1. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
2. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
3. PLANT MATERIAL EXCAVATION, CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.
4. PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.
5. PREPARE SUBGRADE SOIL FOR TURF AND SHRUB / PERENNIAL PLANTER BEDS BY LOOSENING SUBGRADE TO A MINIMUM DEPTH OF 4". REMOVE STICKS, ROOTS, EXTRANEIOUS MATTER, AND STONES LARGER THAN 1". SPREAD TOPSOIL AND AMENDMENTS AND THOROUGHLY BLEND SOIL TO A MINIMUM DEPTH OF 6". SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. ALL SOD AREAS, SHRUB BEDS, AND PERENNIAL PLANTERS SHALL HAVE THE SOIL AMENDED.
6. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLOUDS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR INCHES (4") IN ALL SOD AREAS AND SIX INCHES (6") IN ALL SHRUB AREAS, FLOWERING ANNUAL BEDS, AND CONTAINERIZED GROUNDCOVER AREAS.
7. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.
8. ALL CONSTRUCTION TO CONFORM TO APWA STANDARDS AND SPECIFICATIONS.

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND. THE SURVEYOR OR ENGINEER IS IN NO WAY RESPONSIBLE FOR ANY DAMAGE THAT OCCURS TO UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

9. HARDWOOD BARK MULCH OR ROCK / COBBLE WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. PRIOR TO PLACING MULCH OR ROCK A PRE-EMERGENT SHALL BE APPLIED TO ALL AREAS, AND A LAYER OF DEWITT PRO 5 WEED BARRIER PLACED. MULCH OR ROCK SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM DEPTH NOTED. THE TOP OF ALL AREAS SHALL BE ONE INCH BELOW THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF CONCRETE.
10. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.
11. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL, MOWING, AND IRRIGATION RUN TIME ADJUSTMENTS. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.
12. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD WILL REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIED SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.
14. ALL SOD SHALL BE SEPARATED BY A 4" DEEP X 6" WIDE CONCRETE MOWSTRIP. ALL BARK MULCH SHALL BE SEPARATED FROM GRAVEL OR COBBLE BY STEEL EDGING.
15. ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

1 SHRUB PLANTING

NTS

2 TREE PLANTING

NTS

3 TREE STAKING AND GUYING

NTS

4 CONCRETE MOWSTRIP

NTS

5 STEEL EDGING BETWEEN MULCHES

NTS

STAKING/GUYING PLAN

NTS

STAKING DETAIL

NTS

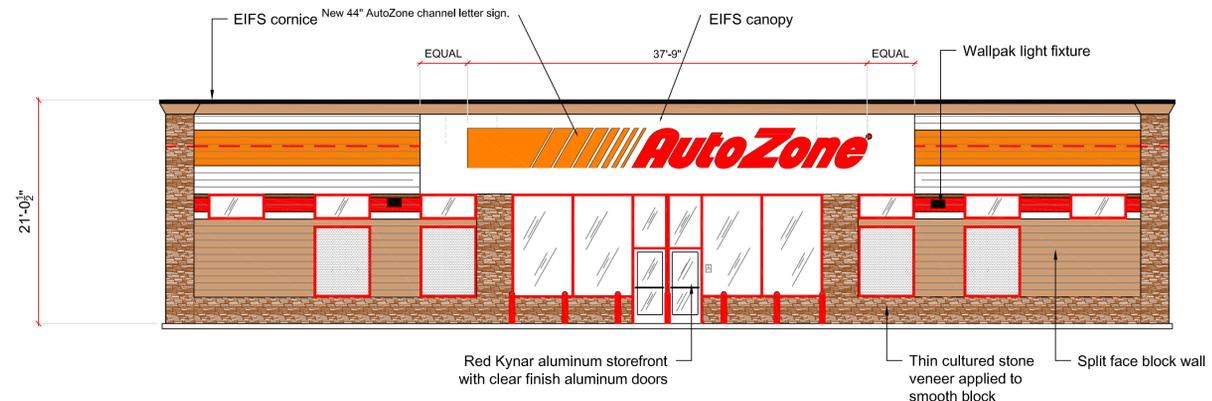
GUYING CABLE DETAIL

NTS

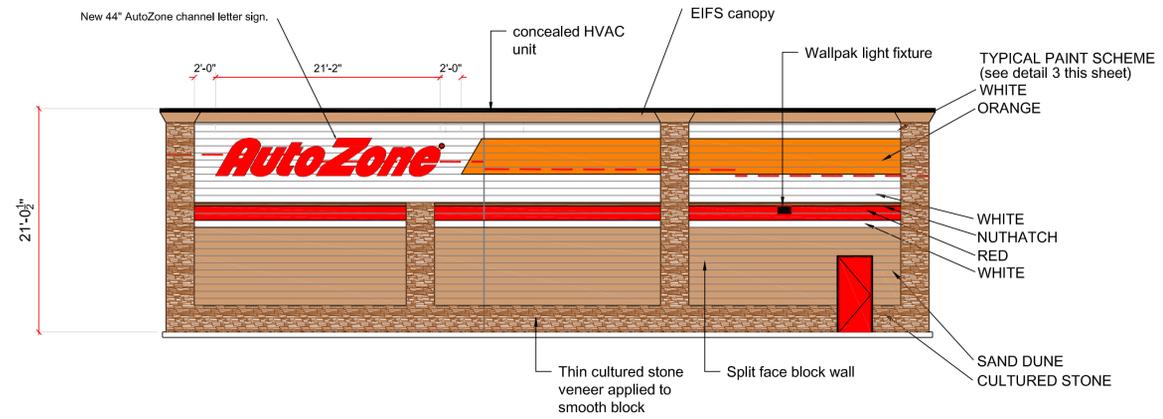
SCALE IN FEET

1" = 20'

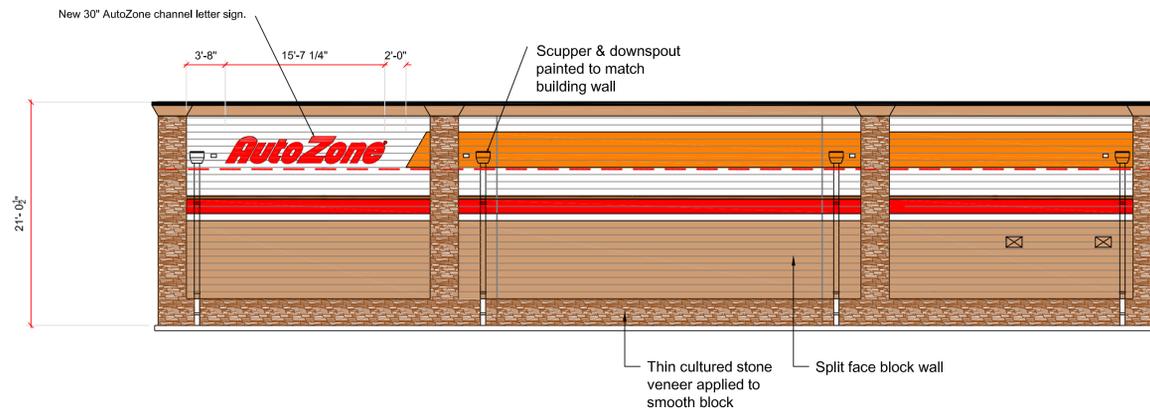
PREPARED FOR: AutoZone STORE DEVELOPMENT
 Store No.: 3416
 5600 SOUTH AND HARRISON BLVD.
 SOUTH OGDEN UT 84403
 LANDSCAPE PLAN
 ARCHITECT: DARRIN PERKES
 DRAFTSMAN:
 CHECKED BY:
 DATE: 8-26-15
 PROTOTYPE SIZE: 65W
 SCALE: 1" = 20'
 REVISIONS
 1.
 2.
 3.
 4.
 5.
 6.
 7.
 LICENSED LANDSCAPE ARCHITECT
 DARRIN PERKES
 No. 378426
 8-16-15
 STATE OF UTAH
 L1.0



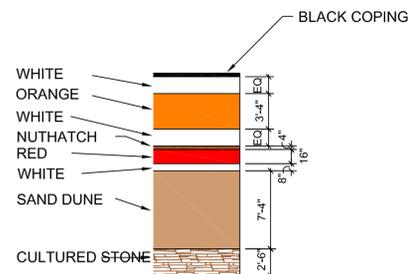
EXTERIOR ELEVATION - FRONT 1



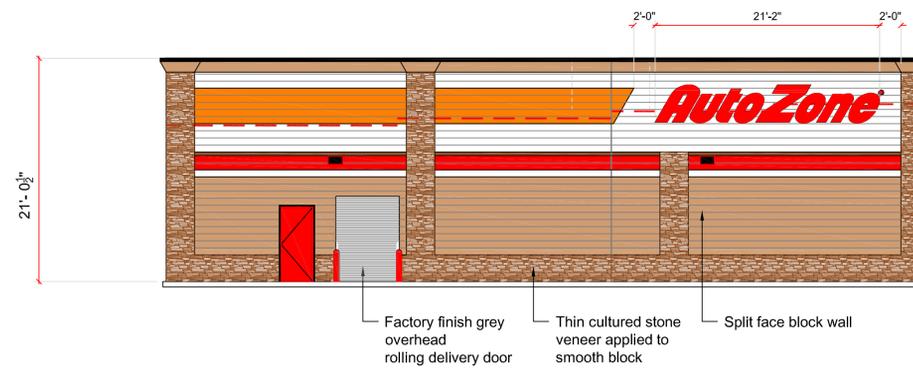
EXTERIOR ELEVATION - RIGHT SIDE 2



EXTERIOR ELEVATION - REAR 3



COLOR SCHEME DETAIL



EXTERIOR ELEVATION - LEFT SIDE 4

REVISIONS

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2		5
3		6

AutoZone Store No. 3416
HINKLEY COMMONS

SOUTH OGDEN UT 84403
COLOR ELEVATIONS

Architect: PHILLIP RECORD
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-8706 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
McGraw - Hill Construction Tel. 615-884-1017
www.construction.com

8/10/15

65W

CE-1



South Ogden Fire Department

*Cameron West
Fire Chief*

*Rick Rasmussen
Deputy Fire Chief*

Station 81
3950 South Adams Ave
South Ogden, UT 84403
Phone (801) 622-2750
Fax (801) 622-2755

Station 82
5635 S Wasatch Dr
South Ogden, UT 84403
Phone (801) 622-2766
Fax (801) 622-2772

I have reviewed the preliminary site plans for Autozone on 5600 S. Harrison Blvd.
There are no issues at this time and are thus far approved.

Respectfully,

Deputy Chief Rick Rasmussen



To: Leesa Kapenanov, City Recorder
South Ogden City Corporation

From: Brad C. Jensen, P.E. 
Wasatch Civil Consulting Engineering

Date: October 1, 2015

Subject: AutoZone Store No. 3416 - Site Plan Review

We have reviewed the plans for the proposed AutoZone Store No. 3416 and have the following comments:

1. The Site Plan indicates that there will be paving constructed on property that is not part of the subject parcel. It is the Developer's responsibility to ensure that appropriate agreements have been obtained from the owner(s) of the adjacent property.
2. Any work that takes place within the UDOT's right-of-way (Harrison Blvd.) must be covered under an encroachment permit obtained from UDOT Region 1.
3. The proposed sanitary sewer service and storm drain outfall pipe are shown being connected to lines that are noted on the plans "to be installed by others". It is not clear if these utilities are existing, or if they are to be constructed in the near future. If they are not existing, plans indicating how they will be construct should be submitted to our office. If they are existing, the notes should be changed accordingly.
4. The Developer must ensure the existing storm water detention pond has been constructed in accordance with a report prepared by Great Basin Engineering - South titled "Storm Water Calculations, Hinckley Commons, September 2006". He should also ensure the pond has an outlet control orifice and will function as designed.

If you have any questions or require additional information, feel free to call.

cc: Dominion Engineering, Colby Anderson

Planning Commission Report



Subject: Application for preliminary site plan approval for a new retail building (auto parts) at Hinckley Commons commercial center, approximately 5600 South Harrison Boulevard –

Author: Mark Vlastic

Department: Planning & Zoning

Date: October 8, 2015

Background

This is an application for preliminary site plan approval for a new Autozone retail building at the Hinckley Commons commercial center, which is zoned C-2 as are all of the surrounding uses. All requirements and drawings for preliminary site plan approval have been provided, including the following:

1. Dimensions and orientation of the parcel.
2. Locations of buildings and structures.
3. Location and layout of off street parking and loading facilities.
4. Location and size of points of entry and exit.
5. Preliminary grading and drainage information and preliminary utility connection information.
6. The location and design of walls and fences.
7. The height of buildings and structures.
8. The proposed use of buildings.
9. Location of exterior existing and proposed lighting standards and devices.
10. The location and height of any overhead power and communication and transmission lines and all utility easements.
11. Location and size of exterior, existing and proposed signs and outdoor advertising.
12. Meaningful landscaping and open space on the site of not less than ten percent (10%) of the area to be developed.

Discussion

Staff has reviewed the submission. The building is part of a planned commercial project. The preliminary submissions are more detailed than required, and meet or exceed all planning requirements, including coverage, parking, landscaping, etc.

Recommendation

Staff recommends that the application be approved contingent on a positive recommendation of the City Engineer. The South Ogden Fire Department had no issues and recommends approval

Planning Commission Report



Subject: Food Trucks
Author: Mark Vlastic
Department: Planning & Zoning
Date: October 8, 2015

Background

Mobile food vending is on the rise all over the country. When regulated appropriately, mobile food vending can bring real benefits to a community, including jobs, new businesses, fresh food, and vitality. At present there are no specific regulations either permitting or prohibiting food trucks from operating in South Ogden. Other nearby communities outright ban food trucks (Riverdale, for example) or control their use extensively (Ogden and Holladay). These differing approaches reflect varying ideas about the benefit that food trucks provide, and concern that they threaten brick-and-mortar restaurants.

Three articles have been reviewed in order to provide some perspective to this topic (see complete articles at the conclusion of this report), with the intent of helping the Planning Commission determine how/if zoning restrictions should be applied to such uses.

The following is a brief summary of some of the key findings from the three articles:

1. The first is a report *is Food Truck Feeding Frenzy: Making Sense of Mobile Food Vending*, which was prepared by the American Planning Association in 2013. This is a well-researched article that provides a broad perspective on the pros and cons of applying zoning regulations to control food trucks.

To summarize briefly, the article establishes the pros and cons of food trucks, then recommends that communities interested in regulating such uses should begin answering the following questions:

- Where in the community should such uses be permitted?
- How long should a food truck be permitted to stay in one location?
- Are these mobile units just for food sales, or can other goods be sold as well?
- Does the community want to increase activity?
- How can the zoning ordinance address upkeep and maintenance?
- When can food trucks operate?
- How are visitor parking and circulation accommodated?
- How are these uses reviewed and permitted?
- What do vendors and their customers want or need?
- How is signage for the mobile unit regulated?

- How is the site lit to ensure safety?

Before embarking on extensive zoning rewrites, the article suggests that community discussions be held to help anticipate and plan for appropriate ways to incorporate such uses in a reasonable manner.

2. The second document is a SLC Planning Commission Staff Report, which took extensive measure of public opinion, and ultimately recommending the creation of new ordinances to control food truck activities for the following three general categories.

- **Operation in the Public Right-of-Way** - Highlights of the proposed ordinance include:

- Submittal requirements for all businesses located on public or private property.
- Limit operations to Downtown, Manufacturing, and Gateway zones.
- Definitions.
- Business license requirements.
- Standards for operation in the public right-of-way.
- Design and operation standards, including limitations of intercourse between mobile and brick and mortar restaurants.
- Special event requirements.

- **Operation on Private Property** – the goal of the private property provisions has been to create a process in which mobile food businesses can operate successfully, while limiting the impacts of the business on adjacent property owners, business owners and citizens. Highlights of the proposed ordinance include:

- 1. Definitions
- Allowance of operation in various zones
- Requirement that the use be temporary with parking allowed for up to 12hours in a 24 hour period.
- Must be parked at least 100 feet from a brick and mortar restaurant unless they have received written permission from the owner of the business.
- Location and placement standards designed to limit impacts on adjacent properties.
- Design standards for individual trucks including parking, sales and operation requirements.
- Allowance of mobile food courts as a conditional use
- Creation of qualifying provisions for mobile food courts.

Central to the discussion for allowing these trucks to operate has been the issue of fairness. People have stated that the appeal of food trucks is the opportunity to open a new business with less capital, lower regulation and more flexibility than a traditional brick and mortar location. On the other hand there are a number of impacts that the trucks may have on surrounding businesses.

- **Mobile Food Courts** - the goal behind the mobile food courts is to create an opportunity for mobile food businesses to congregate, and take advantage of having multiple businesses located in the same location. Because the businesses are mobile, it may provide property owners with an opportunity to create a temporary use for a site prior to initiation of a permanent use. Highlights include:
 - Allowance of mobile food courts only in Downtown, Manufacturing, and Gateway zones.
 - Allowance as a conditional use.
 - Qualifying provisions for the conditional use.
 - A maximum of 10 spots per location.
 - A minimum of 2 spots per location.
 - Operation and management of the court is the responsibility of the property owner or designee.
 - Parking required at 2 spaces per business (4 truck spaces = 8 required stalls).
- 3. The final article addresses zoning revisions made in August 2014 in Ogden, whereby the city council voted to approve an ordinance that allows mobile food trucks to operate in commercial areas throughout Ogden, and most notably, the Central Business District, which is considered the area between 20th and 27th streets between Adams Avenue and the Union Pacific Railroad tracks. Prior to the ordinance being passed, food trucks were allowed only in manufacturing zones. The consideration to change the zoning law and allow food trucks downtown came from Roy owners of the Rocking Gourmet Grilled Cheese food truck. The new ordinance comes with a host of stipulations, which among other things include the following:
 - Food trucks must not be parked within 200 feet of an existing restaurant, food cart or church;
 - They are not allowed in The Junction or Historic 25th Street District;
 - Food trucks can operate only between 7 a.m. and 6 p.m.; and
 - Access is required to a permanent bathroom facility when a food cart is parked on private property.
 - Food carts in commercial zones will also be capped at five.

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**SOUTH OGDEN CITY
PLANNING COMMISSION BRIEFING MEETING MINUTES**

**September 10, 2015
Council Chambers, City Hall
5:30 P.M.**

PLANNING COMMISSION MEMBERS PRESENT

Vice Chair Mike Layton, Commissioners Raymond Rounds, Steve Pruess, Chris Hansen, and John Bradley

PLANNING COMMISSION MEMBERS EXCUSED

Commissioner Todd Heslop

STAFF PRESENT

City Planner Mark Vlastic and City Recorder Leesa Kapetanov

Vice Chair Mike Layton welcomed everyone and called for a motion to begin the meeting. Commissioner Pruess moved to open the briefing meeting, followed by a second from Commissioner Hansen. All present voted aye.

The vice chair then excused Chair Todd Heslop, who was unable to be present at the meeting that evening. Mr. Layton then reviewed the agenda and asked if there were any discussion concerning the Annexation Policy Plan. City Planner Mark Vlastic explained the only change to the Annexation Policy Plan was adding the wording as requested by Ogden City stating that there would be no impacts to Ogden when the property was developed. There were no questions or comments from the commissioners.

Vice Chair Layton then asked Mr. Vlastic to comment about the changes to Title 10, Chapter 15. Mr. Vlastic explained staff had reviewed the ordinance and corrected some minor typos and references. Commissioner Hansen asked if the attorney had a recommendation about whether a public hearing should be held for conditional uses or not. Vice Chair Layton read through the attorney's comment which stated it was a policy decision for the Planning Commission and City Council as to whether a public hearing should be held. Attorney Bradshaw suggested the wording "may hold a public hearing" be left in the draft version of the ordinance. There was discussion on the difficulty of discerning the difference between public clamor and relevant facts if a public hearing were held. City Recorder Leesa Kapetanov informed the commissioners it was their choice as to what they recommend to the City Council concerning whether public hearings should be held for conditional uses or not; they should discuss it in the planning commission meeting and decide.

Planner Vlastic then moved to discussion about the PRUD and Multiple Buildings on a Single Lot Ordinances. Staff had reviewed them and made minor corrections and the planning commission needed to determine whether they should be moved forward for a public hearing. Mr. Vlastic also pointed out the form based code was open for review and the commission could determine how they wanted to approach it. Commissioner Pruess stated he was concerned with the alleys allowed in the form based code. Alleys had often been a problem because they were not kept up and could become a place for junk and weeds to spring up. Ms. Kapetanov said the alleys in the new code were in commercial areas and Mr. Vlastic added they were meant to get the service areas for commercial uses off the main street. The alleys in the new code were also twenty feet wide, which was very wide for

51 alleys. Commissioner Pruess felt that some provisions needed to be put in the code to
52 ensure the alleys were well maintained and safe for people to walk down. He asked Mr.
53 Vlastic to research what methods other cities had put in place to make sure the alleys were
54 maintained. The commissioners discussed how best to review the form based code and
55 make their recommendation to the City Council. Planner Vlastic also indicated he felt he had
56 resolved the issue of the water-wise landscaping brought up by Commissioner Rounds in the
57 last meeting. He also had some other suggestions for the landscape chapter.
58 Commissioner Pruess suggested the commission inform staff of their concerns about the
59 form based code, and then staff come back with recommendations based on the concerns.
60 Commissioner Bradley also felt they should take it chapter by chapter, rather than tackling
61 the whole thing at once.
62 Commissioner Layton asked about the comments made on the chapter on signs. Ms.
63 Kapetanov said the comments had been made by the City Building Official Jeff Barfuss. He
64 had pointed out the difference between what the current sign ordinance allows and what is
65 being proposed in the form based code. One of the major differences was the proposed
66 sign code does not have any provision or restrictions on temporary signs such as banners.
67 Planner Vlastic then moved to discussion on the planning commission priority list. He
68 suggested that the water wise ordinance be moved up on the list since it related to the form
69 based code. Ms. Kapetanov also said food trucks needed to be added to the list.
70 There was no more discussion. Vice Chair Layton concluded the briefing meeting.

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96 I hereby certify that the foregoing is a true, accurate and complete record of the South Ogden City
97 Planning Commission Briefing Meeting held Thursday, September 10, 2015.

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Leesa Kapetanov, City Recorder

Date Approved by the Planning Commission

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**MINUTES OF THE
SOUTH OGDEN CITY PLANNING COMMISSION MEETING
Council Chambers, City Hall
Thursday, September 10, 2015 – 6:15 p.m.**

PLANNING COMMISSION MEMBERS PRESENT

Vice Chair Mike Layton, Commissioners Raymond Rounds, Chris Hansen, John Bradley and Dax Gurr

PLANNING COMMISSION MEMBERS EXCUSED

Commissioner Todd Heslop

STAFF PRESENT

City Planner Mark Vlastic, City Manager Matt Dixon and City Recorder Leesa Kapetanov

OTHERS PRESENT

Jerry Cottrell, Walt Bausman

I. CALL TO ORDER AND OVERVIEW OF MEETING PROCEDURES

Vice Chair Mike Layton called the meeting to order at 6:20 pm and called for a motion to open the meeting.

Commissioner Hansen moved to open the Planning Commission Meeting. The motion was seconded by Commissioner Rounds. Commissioners Hansen, Rounds, Bradley and Pruess all voted aye.

The Vice Chair read through the agenda and then called for a motion to open the public hearing.

Commissioner Bradley moved to close the planning commission meeting and move into a public hearing, followed by a second from Commissioner Rounds. The vote was unanimous in favor of the motion.

II. PUBLIC HEARINGS

To Receive and Consider Comments On the Following Items:

A. Proposed Amendments to the South Ogden City Annexation Policy Plan

Vice Chair Layton called on City Planner Vlastic to give some background on this item.

Mr. Vlastic said the amendment was to add Area 7, a parcel of land near the city's water tanks. The parcel was included in Ogden City's Annexation Policy Plan, but Ogden City was willing to remove it if we agreed to include certain language that protected them from any negative impacts. The language had been included in the current version of the Plan. Staff recommended approval of the Annexation Policy Plan.

Mr. Layton invited anyone in the audience who wished to comment on the Plan to come forward. There were no comments.

49 **B. Proposed Amendments To Title 10, Chapter 15 Of The City Code Having To Do With**
50 **Conditional Uses**
51 Mr. Vlastic reported the Planning Commission had discussed this item at the last few
52 meetings; staff had made some corrections and now felt it was ready to move forward. He
53 recommended it be approved.
54 Vice Chair Layton asked if there were any comments from the public on the ordinance.
55 No one came forward. Mr. Layton called for a motion to close the public hearing.
56

57 **Commissioner Pruess moved to close the public hearing and move back into the public**
58 **meeting. The motion was seconded by Commissioner Rounds. All present voted aye.**
59
60

61 **III. ZONING ACTIONS – Legislative**

62 **A. Discussion and Recommendation to City Council On Proposed Amendments To Title 10,**
63 **Chapter 15 Of The City Code Having To Do With Conditional Uses**

64 Commissioner Rounds pointed out that the definition of “substantial action” did not
65 appear in the second version of the ordinance and should be included. City Planner
66 Vlastic said the definition should be included in Chapter 2 of Title 10 where the other
67 definitions were located.

68 City Manager Dixon added that in 10-15-2 of the ordinance, the word “revoke” should be
69 added. It should read “The planning commission is authorized to approve, deny, or
70 revoke conditional use permits as provided in this chapter.” This would remove any
71 confusion in 10-15-14 that it is the planning commission who has the authority to revoke a
72 conditional use permit.

73 There was no further discussion on the conditional use ordinance. Vice Chair Layton
74 called for a motion.
75

76 **Commissioner Bradley moved to recommend to the City Council Title 10, Chapter 15 as**
77 **presented with the provision that the definition of “substantial action” as proposed by**
78 **Mr. Lindberg be incorporated and that Section 10-15-2 be changed to say “approve,**
79 **deny or revoke”. The motion was seconded by Commissioner Rounds. Vice Chair**
80 **Layton made a roll call vote:**

81		
82	Commissioner Bradley-	Aye
83	Commissioner Pruess-	Aye
84	Commissioner Hansen-	Aye
85	Commissioner Rounds-	Aye
86		

87 **The motion passed.**
88
89

90 **IV. SPECIAL ITEMS**

91 **A. Discussion and Recommendation to City Council on Proposed Annexation Policy Plan –**
92 **Legislative**

93 Mr. Layton called for discussion on this item. Commissioner Bradley pointed out the
94 changes to the plan requested by Ogden City at the last meeting had been incorporated
95 in the present version and he was fine with it. There was no more discussion.
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97 **Commissioner Rounds moved to approve the proposed Annexation Policy Plan.**
98 **Commissioner Bradley seconded the motion. The vice chair called the vote:**
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Commissioner Bradley- Aye
Commissioner Pruess- Aye
Commissioner Hansen- Aye
Commissioner Rounds- Aye

The motion stood.

B. Discussion on PRUD Ordinance – Legislative

Planner Mark Vlasic said staff had reviewed the ordinance since the last meeting and made some minor changes such as correcting numbering and typos. Staff recommended that this go forward for a public hearing. The commissioners discussed when the public hearing for this item should be held. It was determined that because neither Planner Vlasic nor Commissioner Rounds would be in attendance at the October meeting, the public hearing should be set for November 12.

Commissioner Rounds moved to set the date for the public hearing concerning the PRUD Ordinance for November 12, 2015, followed by a second from Commissioner Pruess. The vote was unanimous in favor of the motion.

C. Discussion on Multiple Buildings on Single Lot Ordinance – Legislative

Mr. Vlasic said staff had reviewed this ordinance and made corrections as they had done with the PRUD ordinance. Staff recommended that it move forward for a public hearing. Commissioner Bradley voiced his concern that the ordinance would allow someone to build a second home on some lots; that was not what the City wanted. Planner Vlasic pointed out some restrictions in the ordinance were such that it would not be allowed. Staff also reviewed the areas on a zoning map where multiple buildings on a single lot would be allowed. Mr. Bradley said his concerns had been addressed. There was no more discussion. Vice Chair Layton called for a motion for a public hearing.

Commissioner Bradley moved to set the date for a public hearing for November 12, 2015. The motion was seconded by Commissioner Rounds. All present voted aye.

D. Discussion on Form Based Commercial Zoning Ordinance – Legislative

Mr. Vlasic stated that since the last meeting, the city engineer as well as the building official had submitted comments concerning certain areas of the form based code. Staff was looking for guidance as to how the planning commissioners would like to proceed with the review of the ordinance in preparation for adoption. Commissioner Pruess said a section on temporary signs needed be added to the sign chapter of the ordinance. Commissioner Rounds stated that the landscaping chapter needed to be changed so as to allow a developer more latitude to use landscaping that did not need to use water, e.g. allow other methods to provide shade than just trees. Planner Vlasic pointed out staff had been working on a water wise landscaping ordinance that could be tied into the form based code to allow for minimum water usage. He suggested that staff have some recommendations for the sign, street and landscaping sections of the form based code ready for the meeting in November. The commissioners could also study those sections more to see if there were other areas of concern that needed to be addressed.

152 E. **Discussion on Planning Commission Priorities – Administrative**
153 City Recorder Leesa Kapetanov explained that some things on the priority list had been
154 completed; however, there were also items that needed to be added, such as food
155 trucks. The Planning Commission needed to forward a recommendation to the City
156 Council as to whether food trucks should be allowed in the City and how to regulate
157 them if they were allowed.
158 The commissioners reviewed the list and discussed the order of items that needed to be
159 completed. They determined that the form based code should move up to the #11
160 spot and the water wise plan should immediately follow it. Food trucks should then
161 follow the water wise plan.
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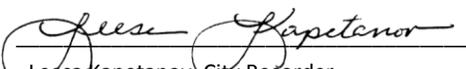
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164 V. **OTHER BUSINESS**
165 There was no other business.
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168 VI. **APPROVAL OF MINUTES OF PREVIOUS MEETINGS**
169 A. **Approval of August 13, 2015 Briefing Meeting Minutes**
170 Vice Chair Layton then called for a motion concerning the minutes.
171 **Commissioner Rounds moved to approve the August 13, 2015 briefing meeting**
172 **minutes, followed by a second from Commissioner Hansen. The vote was unanimous**
173 **to approve the minutes.**
174
175 B. **Approval of August 13, 2015 Meeting Minutes**
176 The Vice Chair called for a motion concerning the August 13, 2015 meeting minutes.
177
178 **Commissioner Rounds moved to approve the August 13, 2015 meeting minutes.**
179 **Commissioner Hansen seconded the motion. The voice vote was unanimous in favor**
180 **of the motion.**
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183 VII. **PUBLIC COMMENTS**
184 No one came forward for public comments.
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187 VIII. **ADJOURN**
188 Vice Chair Layton called for a motion to adjourn.
189
190 **Commissioner Pruess moved to adjourn, followed by a second from Commissioner Rounds.**
191 **All present voted aye.**
192
193 The meeting ended at 7:24 pm.
194

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197 I hereby certify that the foregoing is a true, accurate and complete record of the South Ogden City Planning Commission
198 Meeting held Thursday, September 10, 2015.
199

200 
201 Leesa Kapetanov, City Recorder

Date Approved by the Planning Commission