

**CITY OF MOAB
PLANNING COMMISSION
PUBLIC HEARING**

The City of Moab Planning Commission will hold a Public Hearing on Thursday, September 24, 2015 at approximately 7:00 p.m. in the Council Chambers of the Moab City Offices at 217 East Center Street, Moab, Utah.

The purpose of this Public Hearing is to solicit public input on a proposed conditional use permit for Millcreek Housing located at approximately 1600 Millcreek Drive.

The proposed conditional use permit application is available for public review at the Moab City Planning Office located at 217 East Center Street and on the website at www.moabcity.org. Written public comment may be directed to the Planning Department at the listed address. To ensure that the Planning Commission has the opportunity to review written comments prior to the meeting, written comments will only be accepted until 5 pm the day prior to the public hearing.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the Planning Office at 217 East Center Street, Moab, Utah 84532; or phone (435) 259-5129 at least three (3) working days prior to the meeting.

/s/ Sommar Johnson
Zoning Administrator

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City of Moab Planning Department

PROJECT REVIEW SUMMARY

Request for approval of a conditional use permit for dwellings on the ground floor in the C-4 Zone on Property Located at 1780 Mill Creek Drive

Project Summary

The property is a 6.56-acre parcel in the C-4 Zone. It is undeveloped and the proposal is for a phased affordable housing project. Phase One will consist of 108 units with one bedroom studio units and two-bedroom units. Phase Two will consist of 72 two-bedroom units. The floor area for each of the structures is 13,226 square feet and Phase One will contain 79,356 square feet of floor area in six buildings.

Access will be from Mill creek Drive and a total of 180 parking spaces will be provided (108 for Phase One, and 72 for Phase Two). An acceptable number of ADA accessible spaces are shown on the plans.

Review of Submittal Requirements

The required submittal items for a Conditional Use application are contained in MMC 17.09.530, and 17.09.531.

The applicant shall file a complete application that shall include a title certificate from a licensed title company or attorney listing the name of the property owner(s) and all liens, easements and judgments of record affecting the subject property. *RECEIVED*

The application provided by the planning department shall also be accompanied by or show the following information:

1. The street address and legal description of the property affected; *RECEIVED*
2. Any and all plans, information, operating data and expert evaluation necessary to clearly explain the location, function and characteristics of any building or use proposed; *RECEIVED*
3. A filing fee to cover the cost of review in accordance with the fee schedule adopted by resolution of the city council; *RECEIVED*
4. Each applicant shall provide proof of delivery of written notice to all property owners adjacent to the property where the business is to be located. *RECEIVED*

Conditions of Approval. Both the Planning Commission and City Council shall use the following criteria in reviewing conditional use permit requests. It is specifically understood that certain criteria listed below may not apply to a particular application and that failure to meet one or more of the applicable criteria may be cause for denial.

1. The proposed conditional use and accessory uses are compatible with adjacent existing uses and other allowed uses in the zoning district. Such compatibility shall be expressed in terms of appearance, architectural scale and features, site design and scope, landscaping, as well as the control of adverse impacts including noise, vibration, smoke, fumes, gas, dust, odor, lighting, glare, traffic minimization or circulation, parking issues, or other undesirable or hazardous conditions.

The majority of the surrounding uses are located in unincorporated grand county and include single family residential uses on large lots, commercial uses, and undeveloped properties. A landscaped buffer area of fifteen feet will surround the property except where it is adjacent to the commercial uses. The possible impacts that will be generated will be those of any residential development and will be controlled by the management and if necessary, the police department.

2. The proposed conditional use has incorporated design features sufficient to protect adjacent uses including but not limited to: service areas, pedestrian and vehicular circulation, safety provisions, access ways to and from the site, buffering, fencing, and site building placement.
As noted, buffering is required and all lighting shall be a design that is downward directed, fully shielded and full cutoff. Internal pedestrian and vehicular circulation will be on internal drives and pedestrian paths. Improvements to mill creek drive will be constructed as required. A single entrance located approximately 700 feet from the intersection of mill creek drive with the hwy will serve as access. Building setbacks include thirty (30) feet in the front, fifteen (15) feet on the sides, and twenty (20) feet in the rear.
3. The proposed use is not detrimental to the public, health, safety and welfare through effective management or prohibition of outdoor storage, a required sewer connection, and proper disposal of waste.
The requirements of trash collection, drinking water, and sanitary sewer will be provided. Management will be responsible for maintenance of the property and cleanliness of the grounds.
4. Adequate public services such as streets, off-street parking, pedestrian facilities, water, sewer, gas, electricity, police, fire, and EMS protection must be available without the reduction of services to other existing uses.
These services will not be reduced in other areas.
5. Provisions for proper maintenance of the building, parking and loading areas, drives, lighting, signs, landscaping, etc. shall be provided.
As above, management will be responsible for these actions.
6. The proposed conditional use shall conform to all regulations of this code concerning adopted plans, hours of operation, polices and requirements for parking and loading, signs, highway access, and all other applicable regulations.
All regulations will be satisfied.
7. The use is consistent with the city of Moab general plan as amended.
Development of affordable housing is consistent with the City of Moab General Plan.
8. The applicant must demonstrate that site impacts within the property as well as adjoining properties have been fully mitigated appropriate to the topography of the site. The review of impacts include, at a minimum, slope retention, flood potential, and possible damage to riparian or hillside areas.
All plans will be reviewed for these items. Storm water will be handled as per the storm water plan and detention areas shall be consistent with an approved management plan.
9. After considering the public comment relating the criteria listed above in relation to the requested conditional use permit, the planning commission shall adopt a resolution stating their findings of the applicant's demonstrated ability to meet the criteria for a conditional use permit. Approval or denial of the application by the city council shall be memorialized in the minutes of the meeting. A determination that the applicant has not met one or more of the applicable criteria shall be sufficient to deny the request. The planning commission and the city council, respectively, may establish additional conditions of operation, location, arrangement and construction in the issuance of a conditional use permit if deemed to be in the public interest or to assure compliance with other aspects of the Moab Municipal Code.

Maximum Density. The maximum density allowed by a conditional use permit shall be no greater than that permitted in the underlying zone district.

There is no density requirement for residential uses in the c-4 zone.

17.09.531 Conditions for approval of specific conditional uses.

Dwellings in the C-4 Commercial Zone are subject to the following:

Minimum Setbacks for Residential Structures in the C-4 Zone

Front yard	30 feet
Side yard	15 feet
Rear yard	20 feet

Multi-Family Dwellings of Seven or More Units. All multi-family development of seven or more units shall be subject to the following requirements:

- A. Access. Vehicular access shall be provided to the property in such a way that it does not impeded traffic patterns on adjacent streets.
As noted above, an entrance that is approximately 700 feet north of the intersection of mill creek drive and Hwy 191 will serve as access. No traffic on adjacent streets will be impeded.
- B. Parking. Off-street parking shall be designed in such a way as to allow vehicles to pull forward into the on-street traffic flow.
Parking will be accessed via a private street. The number of parking spaces is not sufficient to meet the code. A special exception, based on the affordability of the project, is being requested.
- C. Garages or Carports. If provided, garages and carports shall not be located in the front yard and shall be setback from the front wall of the principal structure at least fifteen feet or be accessed from the rear or side of the property.
The parking is appropriately located.
- D. Landscaping. All off-street parking shall be landscaped and buffered from adjacent uses. A minimum of fifteen percent of the interior of the parking area shall be landscaped to provide shade and break up the expanse of asphalt.
The parking landscaping plan satisfies the code.
- E. Buffering. All adjacent uses shall be buffered by a distance of not less than fifteen feet and contain berms, shrubs, and other plantings. Buffering may be combined with screens, fences and hedges.
Landscaping is provided in accordance with this provision.
- F. Open space. Required open space/recreation areas shall be provided at a rate of 25% of the lot area for nine or more dwelling units apartments and developments with eight or less dwelling units shall designate fifteen percent of the lot to be developed into recreation, play or landscaped areas. The designated percentage shall exclude parking, driveways, dwellings and required setbacks.
Open space meets the 25% requirement and is in the center of the development. A play area is also located in the open space.

MILLCREEK HOUSING

1780 E. MILLCREEK DR. MOAB, UT. 84532



MILLCREEK HOUSING
PROP. I.D. 02-017-0174
1780 E. MILLCREEK DR. MOAB, UT. 84532

DESIGN PROFESSIONAL



2875 south decker lake drive, suite 275
salt lake city, utah 84119
phone: 801.746.0456 - fax: 801.575.6456
web page: aeurbia.com

GENERAL CONTRACTOR



940 N. 1250 W.
Centerville, UT 84014
Ph: 801-951-7000 Fax: 801-951-7100

DEVELOPER/OWNER

MILLCREEK DEVELOPMENT LLC

Ph: (801) 951-7000

email: mhogan@hoganconstruction.com

CIVIL ENGINEER



Civil Site Design
and Traffic Analysis
Moab, Utah; Durango Colorado
Ph: 970.403.5088
www.SETengineering.com

ELECTRICAL ENGINEER



ELECTRICAL MECHANICAL
2335 SOUTH STATE SUITE 225 PROVO, UTAH 84606
PHONE: 801.375.2228 FAX: 801.375.2676
ATTN: Joe Hutchings

MECHANICAL ENGINEER



ELECTRICAL MECHANICAL
2335 SOUTH STATE SUITE 225 PROVO, UTAH 84606
PHONE: 801.375.2228 FAX: 801.375.2676
ATTN: Mike McMillan

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GENERAL NOTES:

- VISITS TO THE JOB SITE BY REPRESENTATIVE OF THE ENGINEER DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS AND ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED.
- CONTRACTOR SHALL NOTIFY ENGINEER / ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND / OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED IN ALL CASES UNLESS OTHERWISE DIRECTED. THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC.. AT THE SITE AND SHALL COORDINATE WORK PERFORMED BY ALL TRADES. DO NOT SCALE DRAWINGS.
- SHOP DRAWINGS AND SUBMITTALS SHALL BE REVIEWED BY THE ENGINEER / ARCHITECT AND TENANT PRIOR TO FABRICATION OR ERECTION FOR ANY PREFABRICATED OR MANUFACTURED - DESIGNED COMPONENTS. SIZES, LOCATIONS, LOADS, AND ANCHORAGE OF EQUIPMENT SHALL BE VERIFIED IN THE FIELD WITH EQUIPMENT MANUFACTURERS (SUPPLIERS) PRIOR TO FABRICATION OR INSTALLATION OF SUPPORTING STRUCTURES. TEMPORARY BRACING SHALL BE PROVIDED WHERE NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY, OR UNTIL ALL THE STRUCTURAL ELEMENTS ARE COMPLETED. ALL BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DURING AND AFTER CONSTRUCTION THE CONTRACTOR AND / OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN LOAD.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE 2003 INTERNATIONAL BUILDING CODE, (OR LATEST ADOPTED CODE ADOPTED BY THE LOCAL BUILDING OFFICIALS), AND LOCAL ORDINANCES.
- ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE UNIFORM BUILDING CODE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND PAID BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.
- ALL PLUMBING WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE, AND LOCAL ORDINANCES. ALL PLUMBING WORK AND FIXTURES MUST MEET THE APPROVAL OF THE OWNER, CONTRACTOR, ARCHITECT/ENGINEER, TENANT AND THE BUILDING OFFICIAL.
- ALL HVAC WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE, AND LOCAL ORDINANCES. HVAC WORK, UNITS, AND CONTROLS, MUST MEET THE APPROVAL OF THE OWNER, CONTRACTOR, ARCHITECT/ENGINEER, TENANT, AND THE BUILDING OFFICIAL.
- CONSTRUCTION MUST BE IN COMPLIANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.
- CONSTRUCTION MUST BE IN COMPLIANCE WITH THE CURRENT INTERNATIONAL FIRE CODE.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE CODE ELECTRICAL CODE AND LOCAL ORDINANCES. ALL ELECTRICAL WORK, FIXTURES, SWITCHES, ETC... MUST MEET APPROVAL OF THE OWNER, CONTRACTOR, ARCHITECT / ENGINEER, TENANT AND BUILDING OFFICIAL.
- REST ROOMS, ETC... SHALL COMPLY WITH THE LATEST ADA REQUIREMENTS, NATIONAL AND LOCAL.
- ALL WORK MUST MEET THE APPROVAL OF THE BUILDING OWNERS, THE TENANT, THE DESIGNER, AND THE BUILDING DEPARTMENT. ALL FURNITURE, PLANTS, INTERIOR SIGNAGE, FILES / FILING CABINETS, APPLIANCES, OFFICE EQUIPMENT TO BE FURNISHED, INSTALLED AND PAID FOR BY THE TENANT.
- ANY AND ALL CHANGES OR VARIATIONS FROM THESE DOCUMENTS MUST BE APPROVED IN WRITING PRIOR TO MAKING THEM.

BUILDING CODES

ALL CONSTRUCTION IN ASSOCIATION WITH THIS PROJECT SHALL COMPLY WITH THE STATE ADOPTED CODES LISTED BELOW:

- 2012 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), INCLUDING APPENDIX J PROMULGATED BY THE INTERNATIONAL CODE COUNCIL EFFECTIVE JANUARY 1, 2007
- 2012 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) PROMULGATED BY THE NATIONAL FIRE PROTECTION ASSOCIATION EFFECTIVE JANUARY 1, 2008
- 2012 EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC) PROMULGATED BY THE INTERNATIONAL CODE COUNCIL EFFECTIVE JANUARY 1, 2007
- 2012 EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC) PROMULGATED BY THE INTERNATIONAL CODE COUNCIL EFFECTIVE JANUARY 1, 2007
- 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) PROMULGATED BY THE INTERNATIONAL CODE COUNCIL EFFECTIVE JANUARY 1, 2007
- 2012 EDITION OF THE INTERNATIONAL FUEL GAS CODE (IFGC) PROMULGATED BY THE INTERNATIONAL CODE COUNCIL EFFECTIVE JANUARY 1, 2007
- UTAH STATE AMENDMENTS TO THE ABOVE MENTIONED CODES.

BUILDING CODES

- DEFERRED SUBMITTALS ARE THOSE PORTIONS OF THE DESIGN AND OF THE PROJECT THAT ARE NOT SUBMITTED AT THE TIME OF THE BUILDING PERM APPLICATION, AND ARE TO BE SUBMITTED TO THE DESIGN PROFESSIONAL AND BUILDING OFFICIAL PRIOR TO DOING THE WORK.
- DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL (JM WILLIAMS AND ASSOCIATES, INC), WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE PROJECT. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- THE FOLLOWING ARE DEFERRED SUBMITTAL ITEMS:
A. WOOD ROOF TRUSS DESIGN
B. FIRE SPRINKLER SYSTEM (DESIGN MUST BE APPROVED BY THE BUILDING OFFICIAL AND FIRE MARSHAL PRIOR TO INSTALLATION)

GENERAL NOTES:

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD, CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO INTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE. DIMENSIONS TO INTERIOR GRID LINES REPRESENT CENTERLINE OF WALL.
- DO NOT SCALE DRAWINGS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
- PROVIDE CAULKING AND MIN. 9" COVER FLASHING AT ALL EXTERIOR WINDOWS AND DOORS.
- FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CONCRETE RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE ASSOCIATED RULES - SEE ADA CODES. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE 2012 INTERNATIONAL BUILDING CODE.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY. INCLUDING EXTERIOR DESIGN AND LIGHTING DRAWINGS, AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- FRAMING CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT THE PROJECT AS REQUIRED TO ACCOMMODATE WALL MOUNTED FURNISHINGS, ARTWORK, ETC. SEE ID DRAWINGS FOR LOCATIONS.
- DOORS SHALL BE LOCATED 4" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE.
- FRAMING CONTRACTOR SHALL BE RESPONSIBLE FOR FRAMING OF ALL LIGHT COVES, LIGHT WELLS, LIGHT NICHS, ETC. AS DETAIL IN INTERIOR DESIGN DRAWINGS, INCLUDING ALL RECD BACKING & BLOCKING.

DOOR SCHEDULE GENERAL NOTES:

- COORDINATE DOOR TYPES WITH INTERIOR DESIGN DRAWINGS AS NOTED. ANY DOOR TYPE DESIGNATED BY ID WHICH IS REQUIRED TO BE FIRE RATED SHALL HAVE A NARROW THROAT IN ORDER TO ALLOW FOR TRIM/CASING - SEE ID DOOR DETAILS.
- COORDINATE DOOR FRAME THROAT DEPTHS WITH INTERIOR WALL FINISHES.
- VERIFY ELEVATOR FIRE DOOR SIZE WITH ELEVATOR MANUFACTURER - PROVIDE VISION PANEL AS REQ'D BY FIRE DEPT.
- FRAMING CONTRACTOR SHALL PROVIDE ADDITIONAL CONTINUOUS SOLID BLOCKING AT THE HEADERS OF ALL DOORS OR OPENINGS IN A FIRE RATED WALL AS REQUIRED FOR FULL WIDTH OF WALL, REGARDLESS OF THE SIZE OF THE STRUCTURAL HEADER. SEE DETAIL: I/A103.
- ALL FIRE RATED ALUMINUM & GLASS DOORS SHALL HAVE 5" STILES AS REQ'D FOR RATED LATCHING HARDWARE.

STAIRS GENERAL NOTES:

- PROVIDE SHOP DRAWINGS FOR ARCHITECT/STRUCTURAL ENGINEER APPROVAL.
- FOR SHAR RISE STAIRS DETAILS SEE SHAR DETAILS SHEET.
- FOR HAND RAIL/GUARD RAIL DETAILS SEE STAIR DETAILS SHEETS.
- HAND RAILS WHERE APPLIED, MAKE HANDRAILS CONTINUOUS.
- PROVIDE SUBMITTALS FOR ALL FINISHES FOR APPROVAL.
- DOORS MAY BE BEYOND. MAKE NOTE OF SECTIONAL DIRECTION.

ROOF PLAN GENERAL NOTES:

- TYPICAL ROOF ASSEMBLY SHALL CONSIST OF: ROOF MEMBRANE OVER COVER BOARD OVER 4" RIGID INSULATION (30 MIN) OVER ROOF SHEATHING OVER ROOF JOISTS/TRUSSES.
- MEMBRANE SHALL SLOPE 1/4" PER FOOT MIN. (TAPER INSULATION AND/OR PROVIDE FRAMED CRACKS AS REQUIRED).
- EXTEND ROOF MEMBRANE OVER TOP OF ADJACENT PARAPET WALL AND BENEATH PARAPET CAP - TYP.
- PROVIDE WALKING PADS FROM ROOF ACCESS HATCH TO AND AROUND EACH MECHANICAL UNIT.
- SIZE AND LOCATIONS OF SCREEN WALLS SHALL BE DETERMINED BY LOCATION OF ROOF TOP UNITS - VERIFY REQUIRED CLEAR SPACE AROUND MECHANICAL EQUIPMENT WITH MANUFACTURER.
- AT HOODOO SHARP SLOPE TOP OF STRUCTURE TO PROVIDE POSITIVE DRAINAGE - WELD WEATHERED STEEL JOINS WATER TIGHT AND GRIND SMOOTH WHERE APPLICABLE. EXTEND STEEL UP BENEATH FINISH AT ADJACENT WALL TO SLOPE AS FLASHING.

SIGNAGE GENERAL NOTES:

- PROVIDE SIGNAGE IN STARWELL AT EACH FLOOR LEVEL LANDING TO:
- IDENTIFY THE LEVEL OF AND DIRECTION TO THE EXIT DISCHARGE
- AVAILABILITY OF ROOF ACCESS
- IDENTIFY THE CURRENT FLOOR LEVEL
- ALL SIGNAGE SHALL BE PLACED 4" AFF IN A LOCATION THAT IS VISIBLE WHEN DOORS ARE IN THE OPEN OR CLOSED POSITION.
- FLOOR LEVEL SIGNAGE SHALL BE PLACED ADJACENT TO THE DOOR LEADING TO THE CORRIDOR.
- PROVIDE SIGNAGE AT DOORS IN CORRIDOR TO STATE ENCLOSURE AT EACH FLOOR LEVEL TO INDICATE THE ENTRANCE TO STAIR ENCLOSURE.
- A SIGN STATING "EXIT" IN RAISED CHARACTERS AND BRILLES SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EXIT STARWELL, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

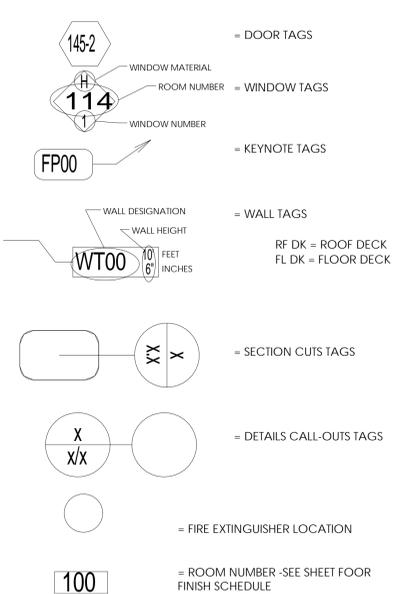
CEILING PLAN GENERAL NOTES:

- CEILING HEIGHTS, MATERIALS, COLORS AND FINISHES SHALL BE COORDINATED WITH INTERIOR DESIGN DRAWINGS. INTERIOR DESIGN DRAWINGS SHALL TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING MATERIALS OR BEGINNING THE WORK.
- ALL EXPOSED PIPES, DUCTWORK, ETC. SHALL BE PAINTED TO MATCH CEILING.
- TYPICAL CEILING SHALL BE PAINTED GYPSUM BOARD AT UNDERSIDE OF RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE. ALL FIXTURES SHALL BE CEILING-MOUNTED OR SHALL BE FIRE RATED FIXTURES. TYPICAL CEILING HEIGHTS SHALL BE:
BASEMENT: 10'-6 3/4"
MAIN LEVEL: 12'-8 3/4"
SECOND LEVEL: 11'-0 3/4"
THIRD LEVEL: 11'-0 1/2"
- ALL DROPPED GYPSUM BOARD CEILINGS SHALL BE ATTACHED TO UNDERSIDE OF STEEL CEILING MEMBERS BY FRAMING CONTRACTOR UNLESS OTHERWISE NOTED. THE REQUIREMENT FOR CEILING FRAMING MEMBERS SHALL BE ASSURED REGARDLESS OF THEIR INCLUSION IN SECTIONS, DETAILS, ETC. AT G.C.'S OPTION, CEILING FRAMING MAY BE 2x6 MEMBERS AT 16" O.C.
- LIGHTING DESIGN (NUMBER, TYPE AND LOCATION OF FIXTURES) SHALL BE COORDINATED WITH LIGHTING DRAWINGS AND INTERIOR DESIGN DRAWINGS. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL, INTERIOR DESIGN AND LIGHTING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING MATERIALS OR BEGINNING THE WORK.
- FIRE CAULK ALL PENETRATIONS AT FIRE RATED FLOOR/CEILING ASSEMBLIES - TYP.

WALL TYPES GENERAL NOTES:

- RATED WALLS SHALL EXTEND CONTINUOUS FROM RATED HORIZONTAL ASSEMBLY TO RATED HORIZONTAL ASSEMBLY (FIRE CAULK ALL PENETRATIONS). NON-RATED WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR ASSEMBLY ABOVE. COPR AT NON-RATED WALLS SHALL TERMINATE ABOVE FINISHED CEILING.
- RATED WALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FULL UL LISTING - SEE FIRE RATED ASSEMBLY SHEETS.
- PROVIDE 2x8 WALL FRAMING AT ALL WALLS AS REQUIRED TO FULLY CONCEAL GYPSUM BOARD WRAPPED STEEL COLUMNS - SEE STRUCTURAL AND FIRE RATED ASSEMBLY SHEETS - SEE ALSO FIRE RATED ASSEMBLY SHEETS.
- THE REQUIREMENT FOR BATT INSULATION IS DETERMINED BY THE WALL TYPE DETAIL - IF INSULATION IS SHOWN IN THE DETAIL AS A TYPICAL CONDITION, IT IS REQUIRED REGARDLESS OF ITS INDICATION ON THE PLANS.
- ALL WOOD LEDGERS, FRAMING, SILL AND PLATES TO COME IN CONTACT WITH CONCRETE OR CONCRETE TOPPING SLAB SHALL BE PRESSURE TREATED.
- ALL WALLS TO RECEIVE SOUND BATT INSULATION SHALL HAVE BASE PLATE SET IN DOUBLE ROW OF ACOUSTIC SEALANT.
- PROVIDE 5/8" WATER RESISTANT GYPSUM BOARD AT ALL WEI WALL LOCATIONS OR WALLS TO RECEIVE A PLUMBING FIXTURE AND AT ALL LOCATIONS TO RECEIVE CERAMIC TILE OR STONE FINISH (BER-CEMENT BACKER BOARD MAY BE SUBSTITUTED IN DRY LOCATIONS)

GENERAL NOTES:



SMALL STUDIO AREA CALCULATIONS:

LEVEL 1 - 4,450 SF
LEVEL 2 - 4,388 SF
LEVEL 3 - 4,388 SF

TOTAL - 13,226 SF

SMALL 2-BEDROOM AREA CALCULATIONS:

LEVEL 1 - 4,450 SF
LEVEL 2 - 4,388 SF
LEVEL 3 - 4,388 SF

TOTAL - 13,226 SF

NOTE: AREA CALCULATION AREA TAKEN FROM THE EXTERIOR OF PATIOS AND INCLUDE ALL UNITS, PATIOS AND COMMON AREAS.

SITE NOTES:

- PROJECT INCLUDES LOTS 41-43 PROPERTY ID 02-017-0174.
- APPLICABLE ZONING IS CITY OF MOAB ZONE C-4.
- ACCORDING TO FEMA MAPPING THE PROJECT IS OUTSIDE THE ANTICIPATED PACK CREEK BOISE 1% OR "100 YEAR" FLOOD PLAN.
- TYPE OF USE PROPOSED: LOW-INCOME EMPLOYEE HOUSING. UNITS CONSISTING OF (1) AND (2) BEDROOM UNITS.
- TOTAL ON-SITE PROJECT AREA = 6.33 ACRES.
- TOTAL FLOOR AREA OF EACH BUILDING 13,226 SF.
- TOTAL FLOOR AREA PHASE 1 = 79,356 SF.
- TOTAL FLOOR AREA PHASE 2 = 79,356 SF.
- TOTAL PROJECT FLOOR AREA = 158,712 SF.

SHEET INDEX:

G000	SHEET INDEX
ARCHITECTURAL	
APPROX	APPROXIMATE
ARCHX	ARCHITECTURAL
SMALL STUDIO	
A2.1.1	MAIN LEVEL FLOOR PLAN - SMALL STUDIO
A2.1.2	SECOND LEVEL FLOOR PLAN - SMALL STUDIO
A2.1.3	THIRD LEVEL FLOOR PLAN - SMALL STUDIO
A3.1.1	BUILDING ELEVATION - SMALL STUDIO
A3.1.2	BUILDING ELEVATION - SMALL STUDIO
LARGE STUDIO	
A2.2.1	MAIN LEVEL FLOOR PLAN - LARGE STUDIO
A2.2.2	SECOND LEVEL FLOOR PLAN - LARGE STUDIO
A2.2.3	THIRD LEVEL FLOOR PLAN - LARGE STUDIO
A3.2.1	BUILDING ELEVATIONS - LARGE STUDIO
A3.2.2	BUILDING ELEVATIONS - LARGE STUDIO
SMALL 2-BEDROOM	
A2.3.1	MAIN LEVEL FLOOR PLAN - SMALL 2-BEDROOM
A2.3.2	SECOND LEVEL FLOOR PLAN - SMALL 2-BEDROOM
A2.3.3	THIRD LEVEL FLOOR PLAN - SMALL 2-BEDROOM
A3.3.1	BUILDING ELEVATIONS - SMALL 2-BEDROOM
A3.3.2	BUILDING ELEVATIONS - SMALL 2-BEDROOM
LARGE 2-BEDROOM	
A2.4.1	MAIN LEVEL FLOOR PLAN - LARGE 2-BEDROOM
A2.4.2	SECOND LEVEL FLOOR PLAN - LARGE 2-BEDROOM
A2.4.3	THIRD LEVEL FLOOR PLAN - LARGE 2-BEDROOM
A3.4.1	BUILDING ELEVATIONS - LARGE 2-BEDROOM
A3.4.2	BUILDING ELEVATIONS - LARGE 2-BEDROOM
SWX	
C-001	COVER SHEET
C-101 - C-104	SITE PLAN
C-105	PHASE PLAN
C-106 - C-107	UTILITY PLAN
C-108 - C-109	SANITARY SEWER PROFILES
C-110 - C-115	GRADING AND DRAINAGE
C-501 - C-504	DETAILS

LARGE STUDIO AREA CALCULATIONS:

LEVEL 1 - 8,900 SF
LEVEL 2 - 8,776 SF
LEVEL 3 - 8,776 SF

TOTAL - 26,452 SF

LARGE 2-BEDROOM AREA CALCULATIONS:

LEVEL 1 - 8,900 SF
LEVEL 2 - 8,776 SF
LEVEL 3 - 8,776 SF

TOTAL - 26,452 SF

LEGEND OF ABBREVIATIONS:

AB	ANCHOR BOLTS	JT	JOINT
ABV	ABOVE	JST	JOIST
APPROX	APPROXIMATE	K	KIPS
ARCHX	ARCHITECTURAL	KLF	KIP PER FOOT
		KSF	KIP PER SQUARE FOOT
BLDG	BUILDING	LBS	POUNDS
BLX	BLOCKING	LF	LINEAL FOOT
BLW	BELOW	MIN	MINIMUM
BMX	BEAM	MISC	MISCELLANEOUS
B.NL	BOTTOM NAILING	MTL	METAL
BOT	BOTTOM	MAX	MAXIMUM
BRG	BEARING	MECH	MECHANICAL
BTWN	BETWEEN	MFR	MANUFACTURER
		MN	MINIMUM
		MSC	MISCELLANEOUS
C.J.	CONST/CONTROL JOINT	NTS	NOT TO SCALE
CLR	CLEAR	O.C.	ON CENTER
COL	COLUMN	O.F.	OUTSIDE FACE
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS		
CTR	CENTER	PCF	POUNDS PER CUBIC FT
CWX	CONCRETE WALL	PEP	POUNDS PER LINEAL FT
		PF	POUNDS PER SQ FOOT
DEL	DOUBLE	PSI	POUNDS PER SQ INCH
DIA	DIAMETER		
DM	DIMENSION		
DN	DOWN		
DWG	DRAWING		
EA	EACH	REIN	REINFORCEMENT
E.F.	EACH FACE	REQD	REQUIRED
E.J.	EXPANSION JOINT		
ELEC	ELECTRICAL	SBPX	STEEL BASE PLATE
ELEV	ELEVATION	SCX	STEEL COLUMN
EQ	EQUAL	SOPX	STEEL CAP PLATE
E.W.	EACH WAY	SI	SPECIAL INSPECTION
EXIST	EXISTING	SIM	SIMILAR
EXP	EXPANSION	SDG	SLAB ON GRADE
EXT	EXTERIOR	SO	SQUARE
		SWX	SHEAR WALL
FCX	CONTINUOUS FOOTING		
FDN	FOUNDATION	TAB	TOP AND BOTTOM
FIN	FINISHED	TEMP	TEMPERATURE
FLR	FLOOR	T.O.	TOP OF
FLX	FLOORING	TOF	TOP OF FOOTING
FSX	SQUARE FOOTING	TOW	TOP OF WALL
FT	FEET	TYP	TYPICAL
FTG	FOOTING		
HORZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
HT	HEIGHT	VERT	VERTICAL
IF.	INTERIOR FACE	W	WITH
IN	INCHES	WF	WIRE FENCE
INT	INTERIOR	WFF	WELODED WIRE FABRIC
		WWM	WELODED WIRE MESH

PROJECT LOCATION



VICINITY MAP
SCALE: NTS

REVISIONS: DATE:

AE2015.007

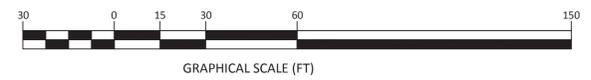
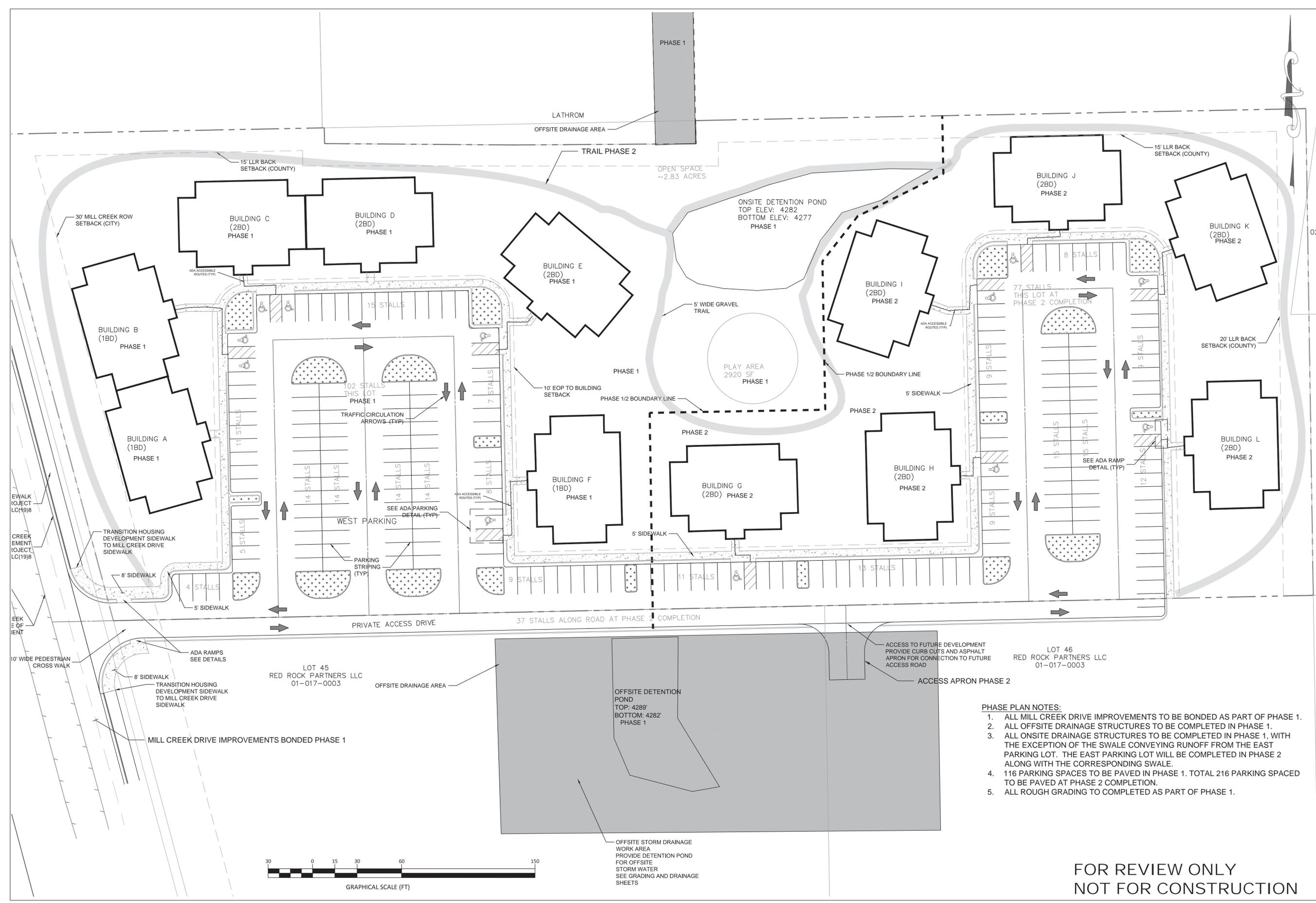
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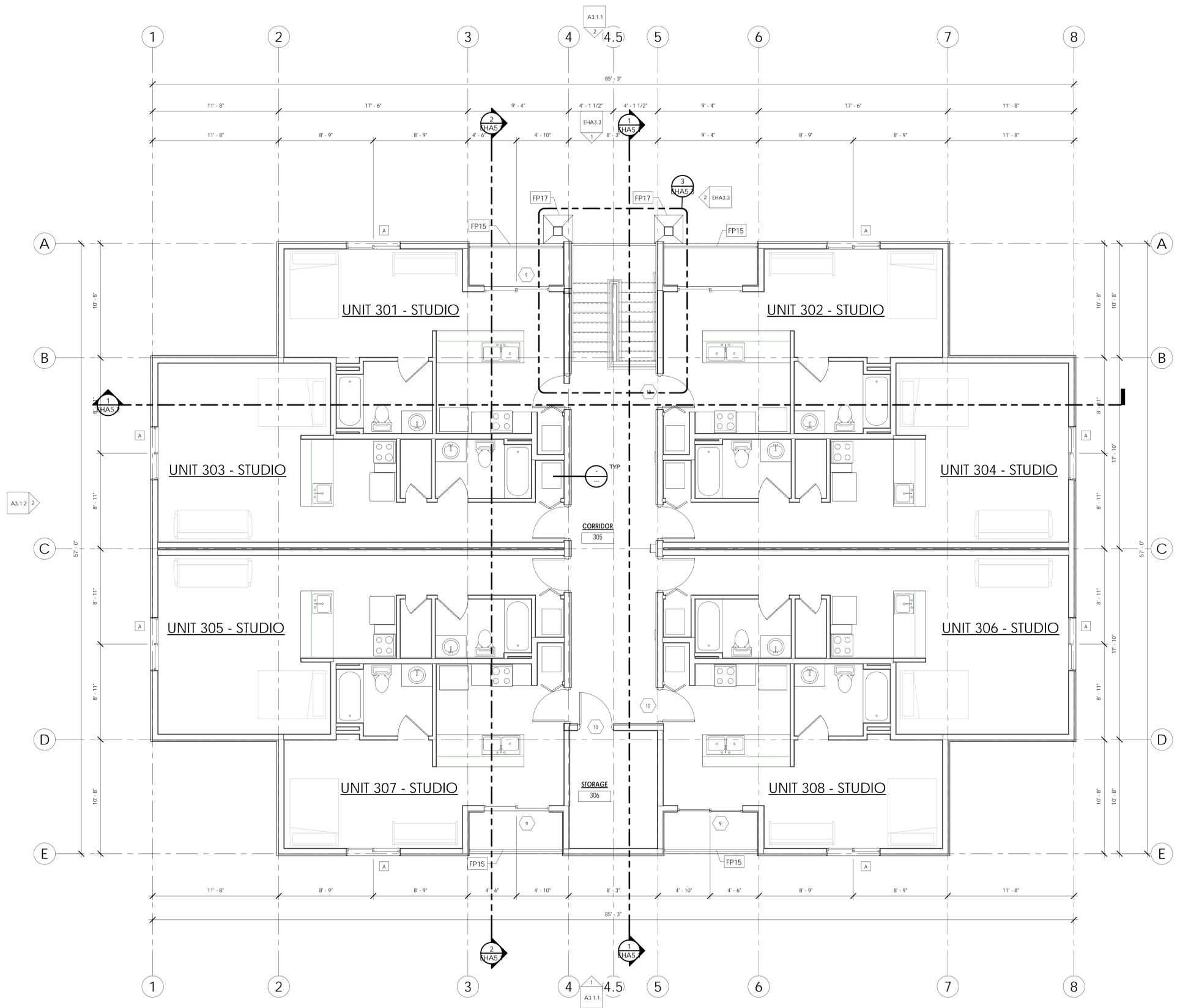


- PHASE PLAN NOTES:**
1. ALL MILL CREEK DRIVE IMPROVEMENTS TO BE BONDED AS PART OF PHASE 1.
 2. ALL OFFSITE DRAINAGE STRUCTURES TO BE COMPLETED IN PHASE 1.
 3. ALL ONSITE DRAINAGE STRUCTURES TO BE COMPLETED IN PHASE 1, WITH THE EXCEPTION OF THE SWALE CONVEYING RUNOFF FROM THE EAST PARKING LOT. THE EAST PARKING LOT WILL BE COMPLETED IN PHASE 2 ALONG WITH THE CORRESPONDING SWALE.
 4. 116 PARKING SPACES TO BE PAVED IN PHASE 1. TOTAL 216 PARKING SPACES TO BE PAVED AT PHASE 2 COMPLETION.
 5. ALL ROUGH GRADING TO COMPLETED AS PART OF PHASE 1.

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**



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 2013.11.15
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 WEBSITE: aeurbia.com



OVERALL FLOOR PLAN KEYNOTES	
Key Value	Keynote Text
FP01	METAL STAIRCASE W/ CONCRETE TREADS & HANDRAIL ON BOTH SIDES. SEE SHEET EHA3.3 FOR ENLARGED PLANS AND DETAILS
FP02	CONCRETE PATIO - SLOPE MIN. OF 1/4" PER FOOT
FP03	FIRE EXTINGUISHER (CABINET IN PUBLIC AREAS) - INSTALL SO THAT NO OPERABLE PORTION IS HIGHER THAN 48" AFF. FINAL RAING & LOCATION BY FIRE MARSHAL
FP04	FIRE RISER - PROVIDE MARKING ON DOOR SAYING "FIRE RISER" - INSTALL KNOX-BOX BY THE FIRE RISER DOOR
FP05	CABLE TV ENCLOSURE - SEE ELECT.
FP07	PROVIDE SIGNAGE W/ UNIT NUMBERING
FP08	ELECTRICAL METERS - SEE ELECT.
FP10	UTILITY METERS, SEE CIVIL AND MECHANICAL DRAWINGS
FP11	DOWNSPOUT FROM GUTTER, SEE ELEVATIONS
FP13	WASHER, SEE OWNER/REP. FOR TYPE AND STYLE
FP14	DRYER, SEE OWNER/REP. FOR TYPE AND STYLE
FP15	WROUGHT IRON METAL RAILING, SEE DETAIL 3/EHA6.1
FP16	ROOF BELOW
FP17	CONCRETE COLUMN CAP, SEE DETAIL 3/EHA3.3

Wall Schedule		
Type Mark	Description	Fire Rating
WT01	2x6 EXTERIOR WALL	30 MIN.
WT02	2x6 EXTERIOR CORRIDOR WALL	1 HOUR
WT03	2x6 INTERIOR WALL	1 HOUR
WT05	2x4 INTERIOR WALL	NON-RATED
WT06	2x6 EXTERIOR WALL	1 HOUR
WT08	2x6 EXTERIOR WALL	1 HOUR

1 THIRD LEVEL FLOOR PLAN
 A2.1.3 1/4" = 1'-0"



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Issue Schedule	
MARK	DESCRIPTION

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THIRD LEVEL FLOOR PLAN - SMALL STUDIO
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A2.1.3
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AREA CALCULATIONS:
 LEVEL 1 - 4,450 SF
 LEVEL 2 - 4,388 SF
 LEVEL 3 - 4,388 SF

TOTAL - 13,226 SF
 NOTE: AREA CALCULATION AREA TAKEN FROM THE EXTERIOR OF FRAMING AND INCLUDE ALL UNITS, PATIOS AND COMMON AREAS.

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AREA CALCULATIONS:

LEVEL 1 - 8,900 SF
LEVEL 2 - 8,776 SF
LEVEL 3 - 8,776 SF

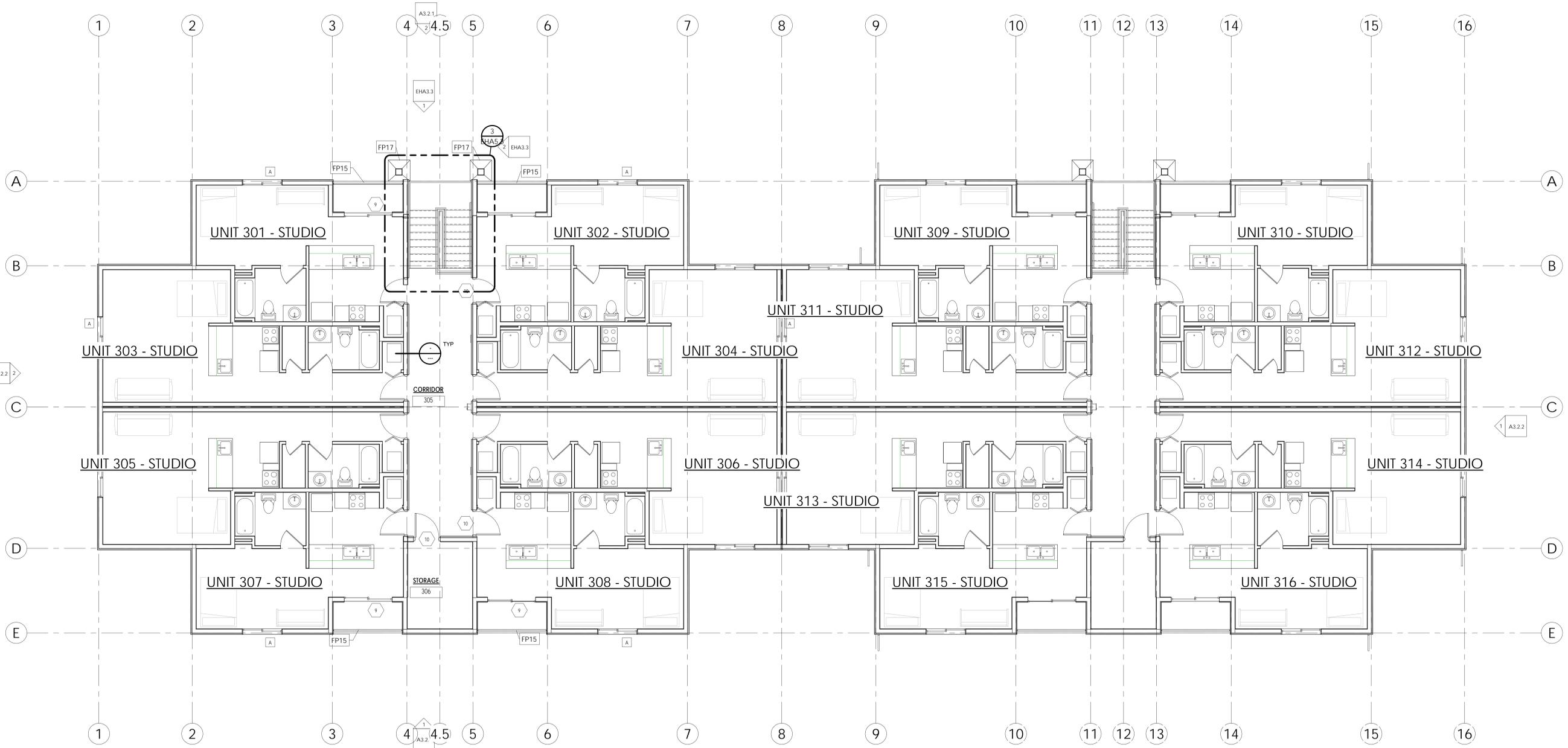
TOTAL - 26,452 SF

NOTE: AREA CALCULATION AREA TAKEN FROM THE EXTERIOR OF FRAMING AND INCLUDE ALL UNITS, PATIOS AND COMMON AREAS.

Wall Schedule		
Type Mark	Description	Fire Rating
WT01	2x6 EXTERIOR WALL	30 MIN.
WT02	2x6 EXTERIOR CORRIDOR WALL	1 HOUR
WT03	2x6 INTERIOR WALL	1 HOUR
WT05	2x4 INTERIOR WALL	NON-RATED
WT06	2x6 EXTERIOR WALL	1 HOUR
WT08	2x6 EXTERIOR WALL	1 HOUR

OVERALL FLOOR PLAN KEYNOTES	
Key Value	Keynote Text
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FP07	PROVIDE SIGNAGE W/ UNIT NUMBERING

OVERALL FLOOR PLAN KEYNOTES	
Key Value	Keynote Text
FP08	ELECTRICAL METERS - SEE ELECT.
FP10	UTILITY METERS, SEE CIVIL AND MECHANICAL DRAWINGS
FP11	DOWNSPOUT FROM GUTTER, SEE ELEVATIONS
FP13	WASHER, SEE OWNER/REP. FOR TYPE AND STYLE
FP14	DRYER, SEE OWNER/REP. FOR TYPE AND STYLE
FP15	WROUGHT IRON METAL RAILING, SEE DETAIL 3/EHA6.1
FP16	ROOF BELOW
FP17	CONCRETE COLUMN CAP, SEE DETAIL 3/EHA3.3



1 THIRD LEVEL FLOOR PLAN
A2.2.3 3/16" = 1'-0"

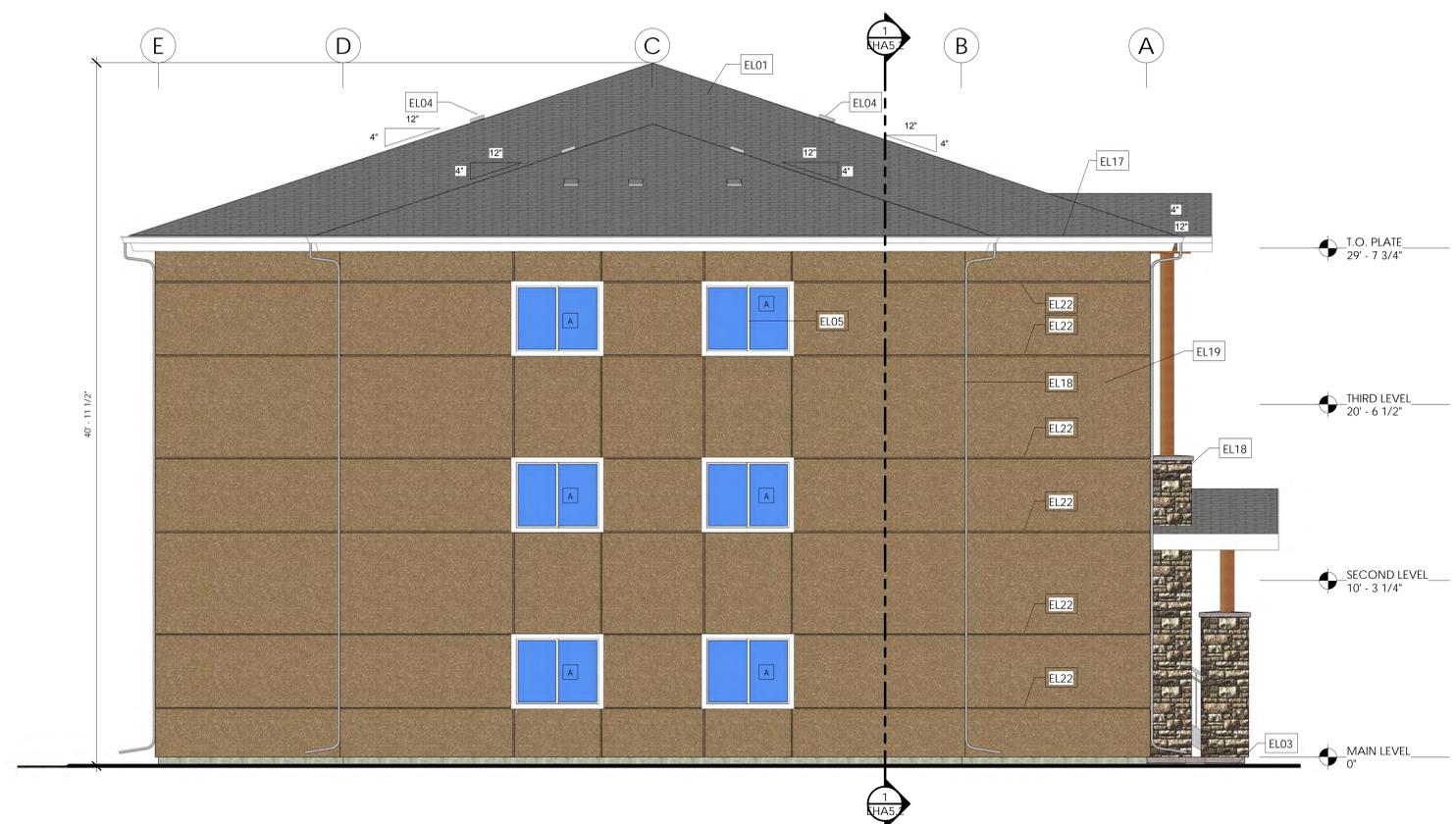
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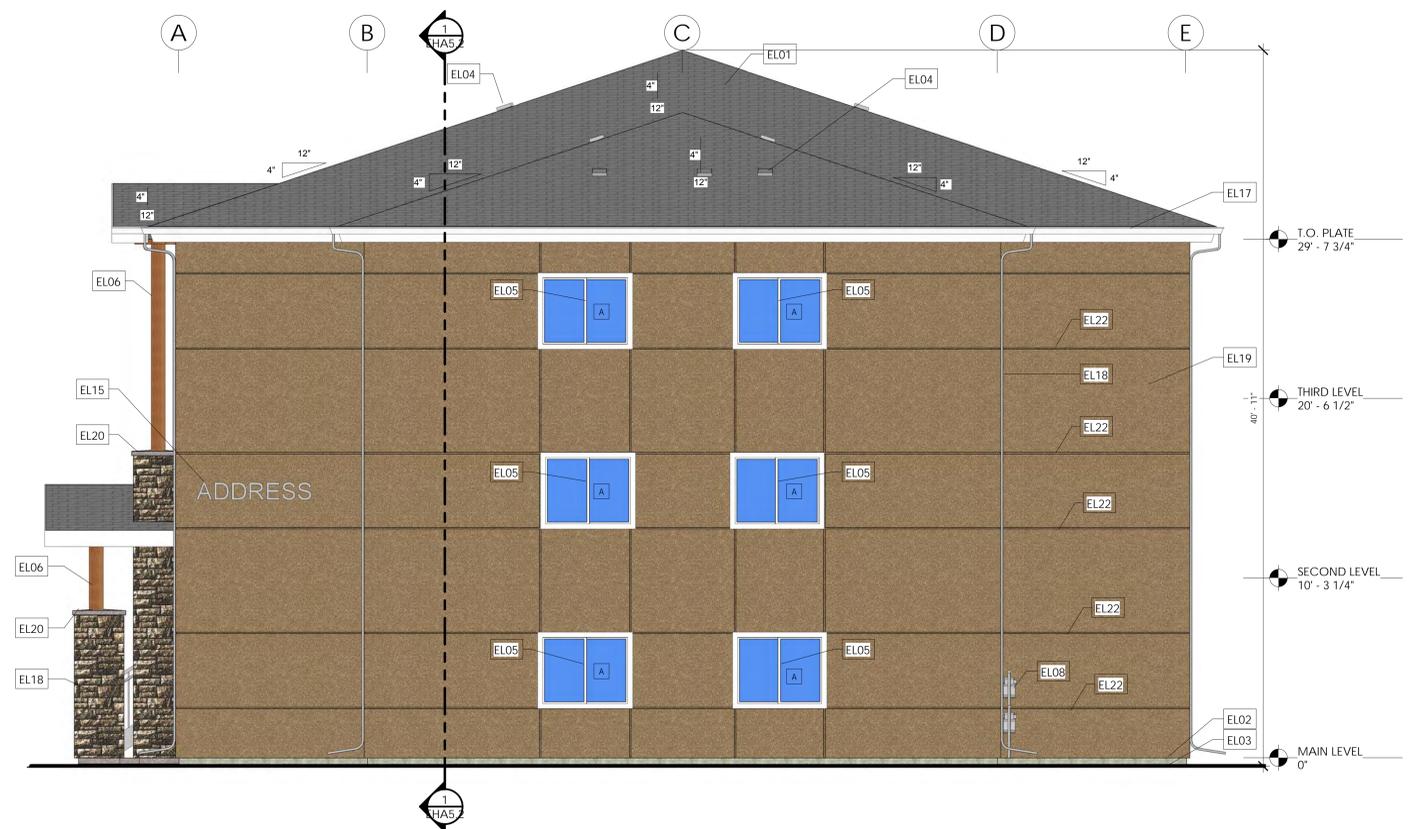
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1 BUILDING ELEVATION
 A3.3.2 1/4" = 1'-0"



2 BUILDING ELEVATION
 A3.3.2 1/4" = 1'-0"

ELEVATION KEYNOTES	
Key Value	Keynote Text
EL01	30 YEAR ARCHITECTURAL SHINGLES OVER 15 LB. FELT ON PLYWOOD SHEATHING PER STRUCT.
EL02	CONCRETE FOUNDATION WALL, SEE STRUCT.
EL03	FINISH GRADE
EL04	TURTLE VENT (OR EQUAL) - NEEDS TO SUPPLY AT LEAST 50 SQ. INCHES OF NET FREE AREA
EL05	VINYL WINDOW - SEE WINDOW SCHEDULE
EL06	WOOD COLUMN, SEE STRUCTURAL
EL08	GAS METER LOCATION, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
EL09	FIBERCEMENT SIDING - PAINT
EL10	FIBERCEMENT TRIM BOARD - PAINT
EL11	PRE-VENTILATED ALUMINUM SOFFIT
EL12	42" HIGH PAINTED STEEL GUARDRAIL, NOT TO ALLOW 4" SPHERE TO PASS THROUGH, SEE DETAIL
EL13	SLIDING GLASS DOOR, SEE SCHEDULE & DETAILS
EL14	PROVIDE FLASHING AT ALL TRANSITIONS BETWEEN EXTERIOR MATERIALS
EL15	ADDRESS NUMBERS: MIN. 4" TALL, MIN. STROKE WIDTH 0.5". VERIFY W/ FIRE MARSHALL ACTUAL ADDRESS BEFORE INSTALLATION
EL17	PRE-FINISHED METAL GUTTER WITH DOWNSPOUT
EL18	METAL GUTTER TO BE HARD PIPED INTO STORM DRAIN
EL19	EIFS SIDING SYSTEM
EL20	CONCRETE CAP
EL21	42" TALL WROUGHT IRON METAL RAILING
EL22	3/4" STUCCO REVEALS

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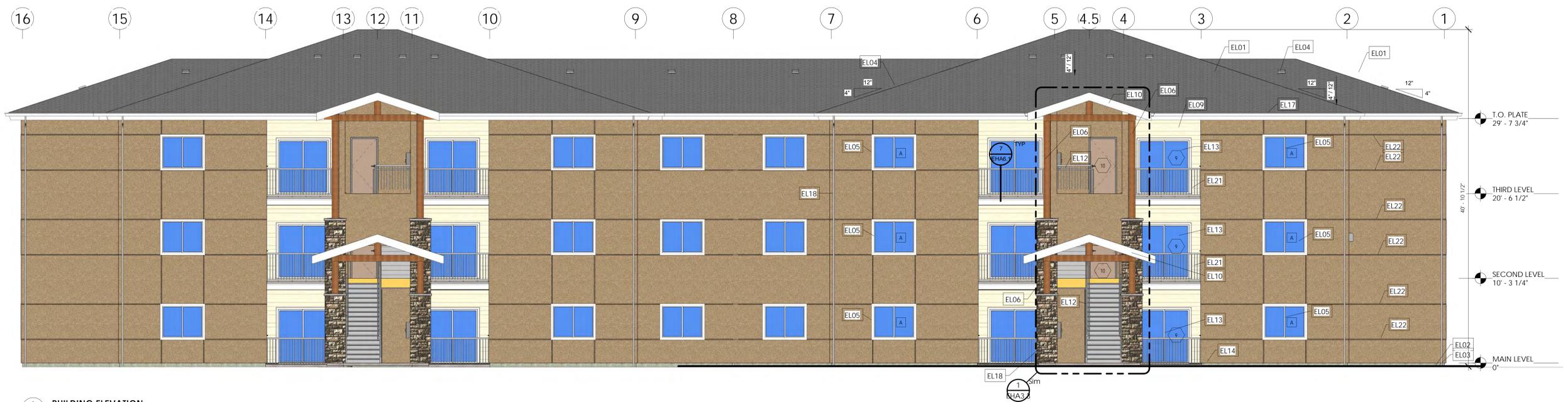


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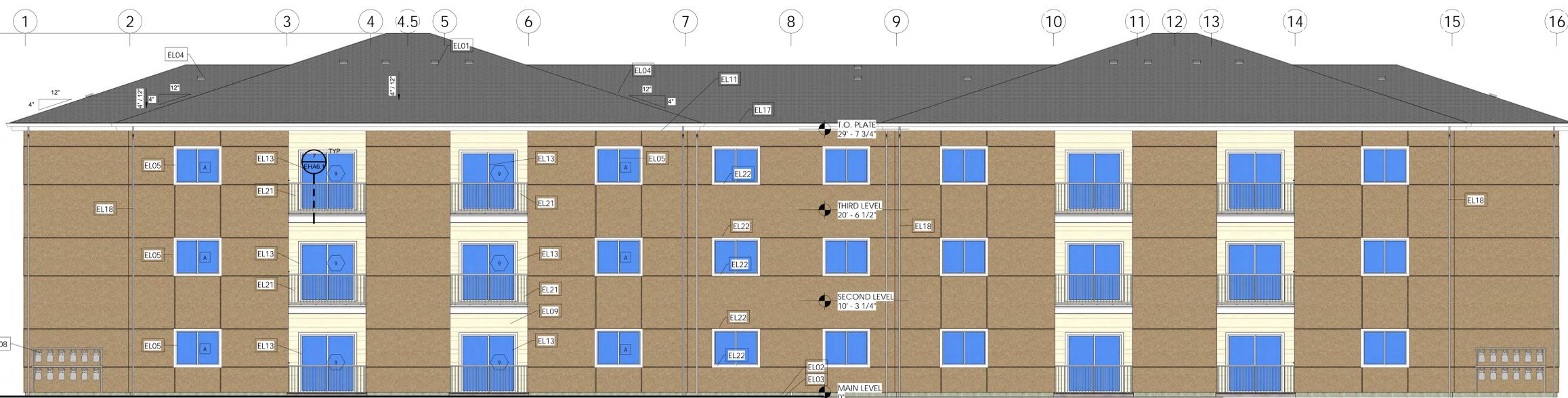
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BUILDING ELEVATIONS - SMALL 2-BEDROOM
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2 BUILDING ELEVATION
 A3.4.1 3/16" = 1'-0"



1 BUILDING ELEVATION
 A3.4.1 3/16" = 1'-0"

ELEVATION KEYNOTES	
Key Value	Keynote Text
EL01	30 YEAR ARCHITECTURAL SHINGLES OVER 15 LB. FELT ON PLYWOOD SHEATHING PER STRUCT.
EL02	CONCRETE FOUNDATION WALL, SEE STRUCT.
EL03	FINISH GRADE
EL04	TURTLE VENT (OR EQUAL) - NEEDS TO SUPPLY AT LEAST 50 SQ. INCHES OF NET FREE AREA
EL05	VINYL WINDOW - SEE WINDOW SCHEDULE
EL06	WOOD COLUMN, SEE STRUCTURAL
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EL22	3/4" STUCCO REVEALS

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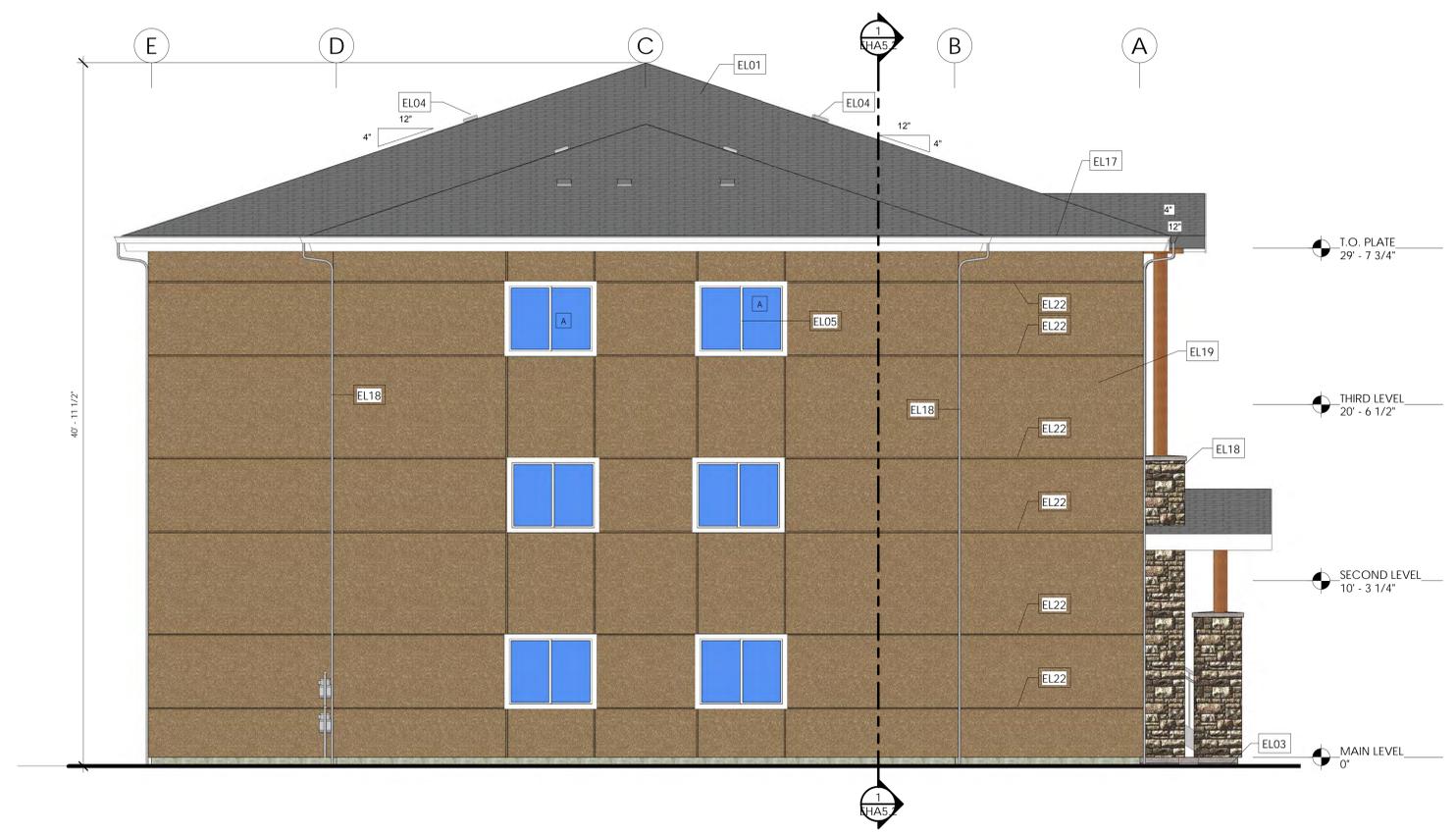


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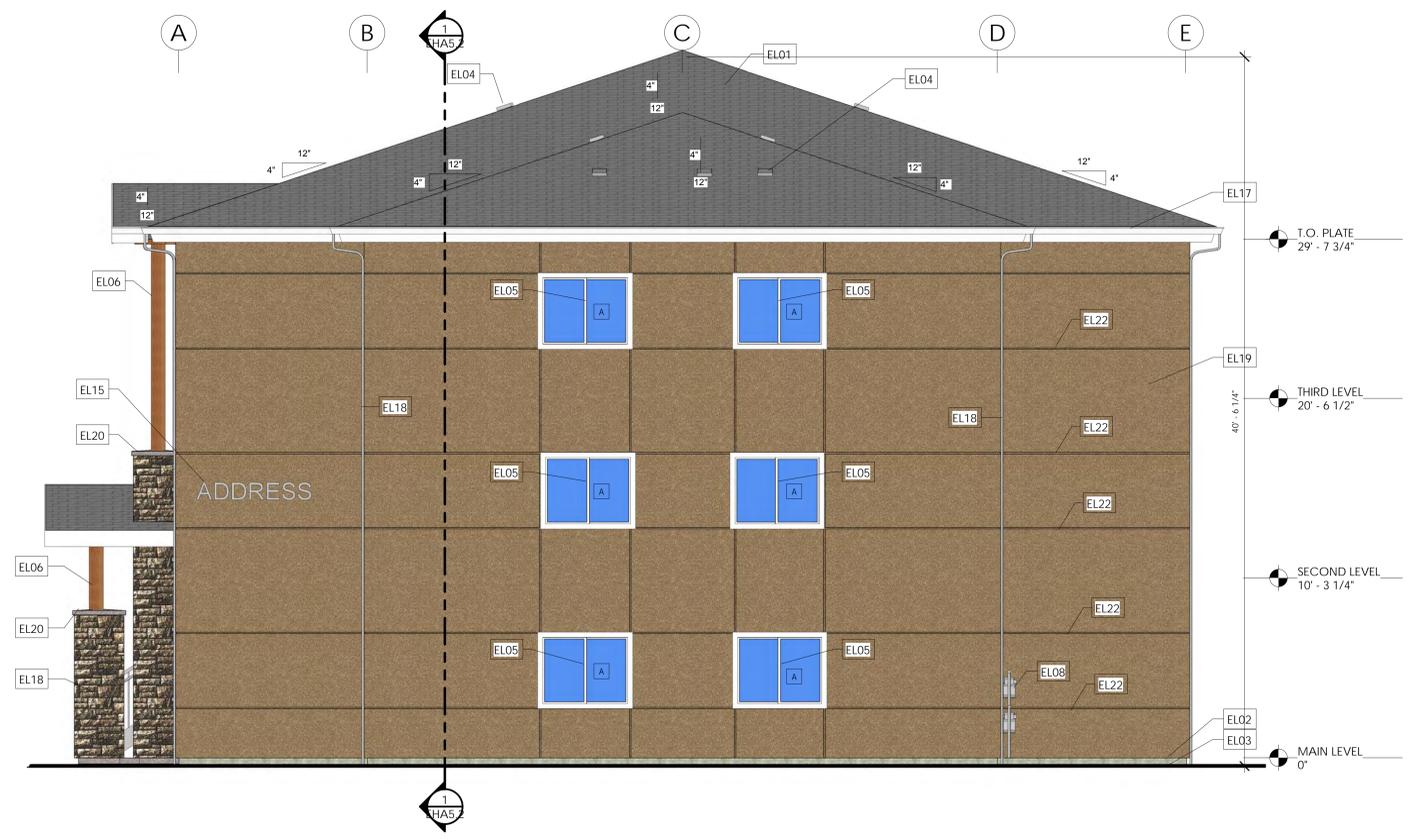
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1 BUILDING ELEVATION
 A3.4.2 1/4" = 1'-0"



2 BUILDING ELEVATION
 A3.4.2 1/4" = 1'-0"

ELEVATION KEYNOTES	
Key Value	Keynote Text
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Mill Creek AHU Phase 1 Landscape Plan

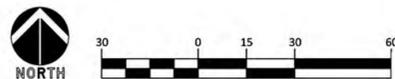


NOTES: ZONE LEGEND

-  HIGH TRAFFIC ZONE: To be mulched with 6" of Pine wood chip to suppress weeds. Wood chip is low cost and ideal for high water use decorative plants.
-  LOW TRAFFIC ZONE: To be mulched with 2" washed cobble over landscape fabric. Mulch to be no less than 3" deep and may have large cobble accents for added texture. Low traffic zone plants to be medium to large shrubs to soften the structures footprint on the surrounding landscape.
-  PARKING AREA PLANTERS: Parking planters to be mulched with 4"-8" cobble stone over landscape fabric. Larger cobble recommended to mitigate foot traffic and subsequent damage to landscape plantings.
-  REVEGETATION ZONE: Soil to be left raw earth. Native vegetation to be saved where possible during construction eliminating the expense of formal landscape and mulch. Where existing native plants exist contractor may forgo Landscape Plan plantings.

PLANT LEGEND:

	Size:	Quantity:
TREES:		
 Goldenrain Tree (<i>Koeleruteria paniculata</i>)	1.25'-2" Cal	17
 Common Hackberry (<i>Celtis occidentalis</i>)	1.25'-2" Cal	10
 Fruitless Mulberry (<i>Morus laba 'Fruitless'</i>)	1.25'-2" Cal	2
 Pinon Pine (<i>Pinus edulis</i>)	3'-4'	19
REVEGETATION PLANTS:		
 Big Basin Sage (<i>Artrmisia tridentata ssp.</i>)	#1	30
 Grasses. 1/3 Indian Rice, 1/3 Blue Gramma, 1/3 Sand dropseed	4"	55
 Globe Mallow (<i>Sphaeralcea</i>)	#1	44
 Paper Flower (<i>Psilostrophe cooperi</i>)	#1	44
 Rabbtbrush (<i>Ericamerica nauseosa</i>)	#1	49
 Squaw Bush (<i>Rhus trilobata</i>)	#1	38
 Saltbush (<i>Atriplex canescens</i>)	#1	31
 Threadleaf Sage (<i>Artemisia filifolia</i>)	#1	67
LANDSCAPE PLANTS:		
 Apache Plume (<i>Fillugia</i>)	#1	34
 Burning Bush (<i>Euonymus alatus</i>)	#1	12
 Blue Rug Juniper (<i>Juniperus 'Wiltonii'</i>)	#1	30
 Banana Yucca (<i>Yucca baccata</i>)	#1	33
 Gambel Oak (<i>Quercus gambeloo</i>)	#1	25
 Karl Foerster Grass (<i>Calamagrostis acutifolia</i>)	#1	40
 Mock Orange (<i>Philadelphus coronarius</i>)	#1	47
 Potentilla (<i>Potentilla fruticosa</i>)	#1	26
 Pawnee Buttes Sandcherry (<i>Prunus besseyi 'Pawnee Buttes'</i>)	#1	39
Russian Sage (<i>Perovskia atriplicifolia</i>)	#1	47
Snow In Summer (<i>Cerastium tomentosum</i>)	#1	58
Smoke Bush (<i>Cotinus coggygria</i>)	#1	23
Spirea 'BlueMist' (<i>Caryopteris clandonensis</i>)	#1	25



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 805.637.2228

MILL CREEK AHU
MOAB, UTAH 84532

Phase 1
Landscape Plan

Date:
 08/28/2015

Sheet No.
 L - 101