



STAFF REPORT

To: County Manager
From: Ray Milliner, County Planner
Date of Meeting: September 3, 2015
Type of Item: Canyons, Ski Maintenance Building – Public Hearing, Possible Action
Process: Administrative Review

Recommendation

Staff recommends that the County Manager review the proposed final site plan for a Ski Maintenance facility on Canyons Parcel WWD-4 of the West Willow Draw Development Area and approve it per the findings of fact, conclusions of law and conditions of approval in this staff report.

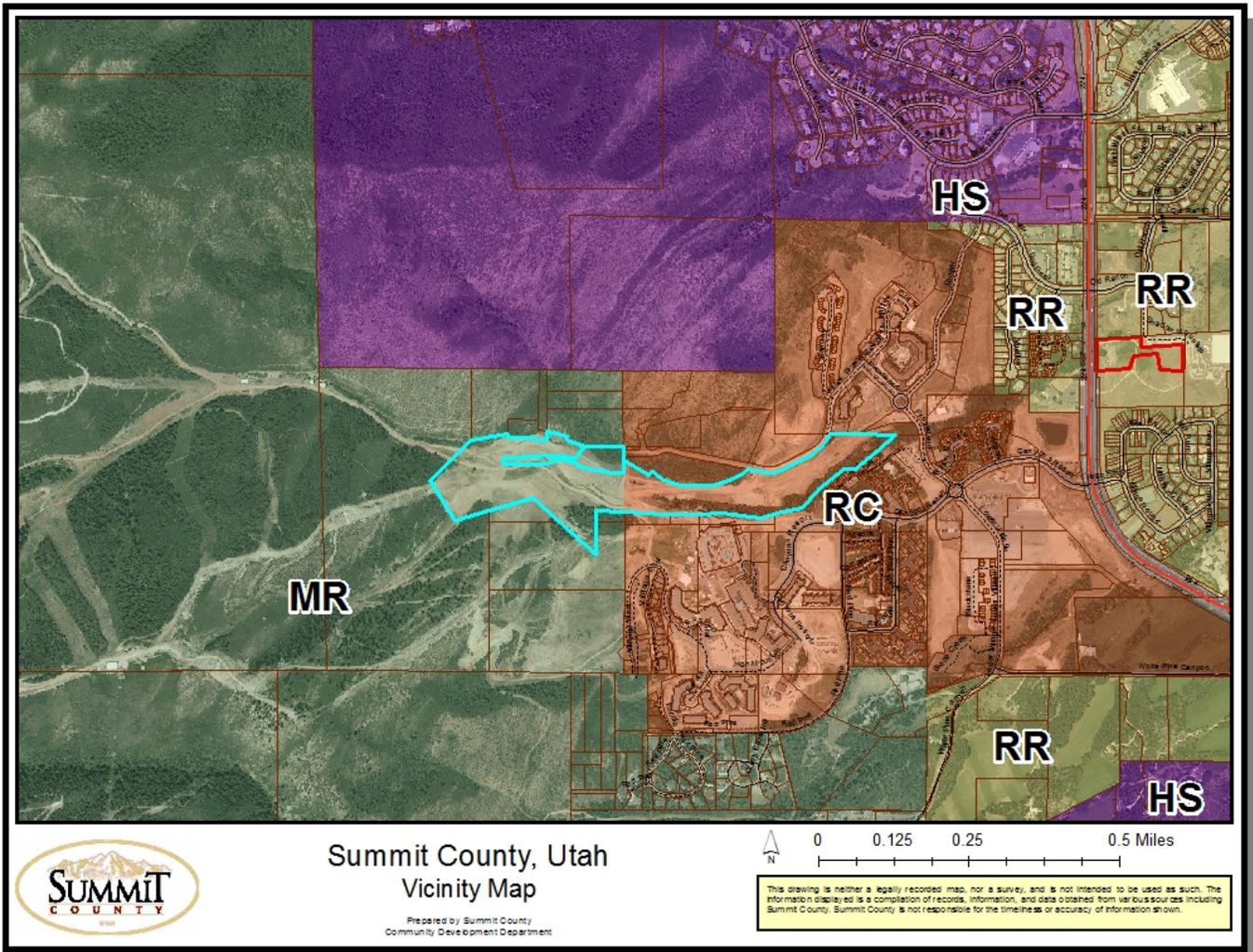
Project Description

Project Name: Canyons Ski Maintenance Building
Applicant(s): TCFC, Spencer White Representative
Property Owner(s): TCFC
Location: Parcel WWD-4 of the West Willow Draw Development Area
Zone District: Specially Planned Area (SPA)
Parcel Number and Size: Parcel # WWDAM-WWD4A, 2.70 Acres
Type of Process: Administrative
Final Land Use Authority: County Manager (final site plan) County Council (SPA amendment)

Proposal

The applicant is requesting a review of a 19,000 square foot maintenance facility with a 65 lot parking area, yard space to accommodate a fuel depot, food commissary, snow cat and snowmobile parking and miscellaneous lift and mountain operations equipment. Access to the site would be from Willow Draw Road.

Vicinity Map



Background

On May 1, 2015 the applicant applied for the development of a Ski Maintenance Building on Parcel WWD4 of the West Willow Draw Development Area. The proposed facility would be approximately 19,000 square feet in size. The site is located northwest of the Grand Summit Lodge near the end of Willow Draw Road. The applicant submitted the following applications:

1. An amendment to the Canyons SPA Development Agreement Land Use and Zoning Chart to allow for the use on site.
2. A Final Site Plan for the Canyons Ski Maintenance Facility.

3. An amendment to the West Willow Draw Area Master Plat to make minor adjustments to lot lines and include additional development parcels, and modify the alignment of West Willow Draw Road (**this application has been put on hold by the applicant**).

The proposal was reviewed by the Planning Commission as a work session item at the June 9, and July 14, 2015 meetings. At the time, no significant issues were raised. As a result, the Commission forwarded a positive recommendation to the County Manager for the Final Site Plan and a positive recommendation to the County Council for the SPA amendment. The Spa Amendment was reviewed by the County Council on August 19, 2015 and approved.

Analysis

The approval process for all final site plans within the Canyons SPA area are governed by the Canyons SPA Development Agreement. Section 2.7 provides the Development Approval Process for all Final Site Plans within the SPA. After reviewing the proposed Final Site Plan, the Planning Commission shall make a recommendation to the County Manager. The County Manger will then conduct a public hearing and make a final decision of approval, approval with conditions or denial of the Final Site Plan.

The Planning Commission review of the petition, based upon the information presented and with the recommendation of the Canyons DRC, indicates that the project generally complies with the Canyons Development Agreement and meets the minimum requirement for approval in the Snyderville Basin Development Code.

Code Requirement	Analysis	Finding
1. Environmental Criteria	Review by the Health Department indicates that the all necessary precautions have been taken to ensure that any byproducts from the site that would be harmful to the air, water or watershed quality of the Snyderville Basin have been taken. The Site has been designed to contain any fuel spills or leaks on site.	COMPLIES
2. Critical Areas	The proposed use is not located on or near a critical ridgeline, wetland, slope or flood plain	COMPLIES
3. Open Space	All open space within the Canyons SPA and DA is designated as each Master Plat is recorded or within the Resort Core, as each development site is platted.	COMPLIES
4. Water and Water Supply	Applicant will provide will-serve letters prior to final approval of the project.	COMPLIES
5. Sanitary Sewer	Staff received a letter from SBWRD indicating that the project is within the SBWRD service area and has the capacity to serve the site	COMPLIES
6. Fire Protection	Staff received comments from the Park City Fire	COMPLIES

	District indicating they have no concerns with the project.	
7. Loading and Unloading	Loading and unloading of the maintenance vehicles will take place on site.	COMPLIES
8. Parking Requirements	The applicant is proposing a 65 lot parking area. It will be used primarily as employee parking.	COMPLIES
9. Transportation Infrastructure and Access Design	The site was chosen for its location near the ski mountain. Access for snow cats to the slopes will be from the west entrance and for automobiles will be from the east entrance.	COMPLIES
10. Public Utilities	All necessary public utilities are available on site. Rocky Mt. Power and Questar will provided will-serve letters prior to final approval.	COMPLIES
11. Mail Delivery	Mail delivery will remain as is.	COMPLIES
12. Solid Waste and Recycling	An enclosed dumpster is provided on the north west side of the structure.	COMPLIES
13. Snow Removal and Storage	Numerous snow storage areas have been shown on the site plan and will comply with the Code	COMPLIES
14. Police and Security	There is sufficient access for both police and security personnel.	COMPLIES
15. Parks, Trails, and Trailheads	The project was reviewed by the Snyderville Basin Recreation District who indicated that it complies with all necessary criteria.	COMPLIES
16. ADA Access	The project will be reviewed by representatives from the building Department for compliance with all ADA requirements prior to the issue of a building permit.	COMPLIES
17. Special Site Design Requirements	Staff reviewed the petition for compliance with each of the special site design requirements and found that it meets the minimum required for approval.	COMPLIES
18. Architectural Regulations for All Structures	The proposed architecture has been reviewed by the Canyons DRC and is in compliance with the design guidelines. The façade shifts, color and materials are compatible with the standards of the Code.	COMPLIES
19. Landscape Regulations	As proposed, the landscaping meets the minimum standards of the Code. Prior to final recordation of the FSP, Staff must confirm that plant size, count and irrigation plans meet all standards of chapter 10-4-21.	COMPLIES as Conditioned
20. Lighting Regulations	A photometric plan has been submitted for verification of foot-candle compliance and the proposed fixtures and bulbs will be reviewed for compliance with the Code. Prior to the issuance	COMPLIES as CONDITIONED

	of a building permit, staff shall review the final photometric lighting plan for compliance with the fixture, bulb and foot-candle standards in 10-4-22 .	
21. Height Regulations	The maximum height is 35 feet. The Canyons SPA allows for a 3.5 story maximum. Per the DA, the structure is meeting the height standard.	COMPLIES

Recommendation

Staff recommends that the County Manager Review the proposed final site plan for a Ski Maintenance facility on Canyons Parcel WWD-4 of the West Willow Draw Development Area and approve it per the findings of fact, conclusions of law and conditions of approval in this staff report.

Findings of Fact:

1. The WWD4 parcel is within the West Willow Draw Development Area Master Plat, located off of West Willow Draw Road.
2. Access to the site will be from two points; one near the west corner of the lot and the second is the primary access on the east boundary that is shared with the adjacent parcel.
3. The WWD4 parcel is zoned Specially Planned Area (SPA) and is with the Canyons SPA boundaries.
4. The WWD4 parcel has a maximum density of 185,000 that can be utilized as Hotel/Lodging/Retail/Residential Multi-family/Commercial.
5. The maximum height on the parcel is 3.5 stories per the Canyons Development Agreement.
6. The proposed use is not located on or near a critical ridgeline, wetland, slope or flood plain.
7. The applicant is proposing a 65 lot parking area. It will be used primarily as employee parking.
8. The site was chosen for its location near the ski mountain.
9. Access for snow cats to the slopes will be from the west entrance and for automobiles will be from the east entrance.
10. The Planning Commission reviewed the final site plan application on July 14, 2015 and forwarded a positive recommendation to the County Manager.

Conclusions of Law:

1. The proposed Final Site Plan complies with all requirements of the Snyderville Basin Development Code and the Canyons DA.

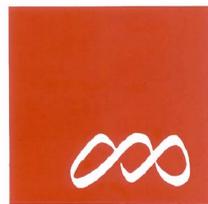
2. The proposed use, as conditioned, is consistent with the Snyderville Basin General Plan, as amended.
3. The use is not detrimental to public health, safety and welfare, as the roads and public services in the area are sufficient to accommodate the increase in intensity of the use.
4. The use is compatible with the existing neighborhood character and will not adversely affect surrounding land uses.

Conditions of Approval:

1. The proposed amendment to the Canyons SPA Development Agreement Land Use and Zoning Chart to allow for the use on site must be approved prior to the issue of a building permit on site. If the amendment is not approved, then this approval shall be considered null and void.
2. Staff shall review and approve all final landscaping plans for the site, including plant type, size, number, location and method of irrigation and verify that they are in compliance with the Canyons Development Agreement and the Snyderville Basin Development Code.
3. The Staff shall review and approve of a lighting plan for the site, including building, parking area, and street fixture type, number, location and cut sheets, and photometric information for complete compliance with Section 4.22 of the Code.
4. Staff shall review and approve any signs associated with the project prior to installation.
5. A detailed Development Improvement Agreement shall be submitted to the County Engineer and approved, along with sufficient bonding for all infrastructure improvements, landscaping and re-vegetation. This must also clearly denote triggers for landscaping and re-vegetation if the construction does commence within the specific allotted time frame. This agreement shall be recorded concurrently with the final site plan.
6. All necessary construction plan and inspections fees must be paid prior to issuance of any permits.
7. All service provider conditions shall be met.
8. All outstanding DRC items shall be completed prior to final approval of the Final Site Plan or prior to the issuance of any permits as outlined in the DRC recommendation letter.

Attachments

- Exhibit A – Site Plan and Elevations
- Exhibit B - Proposed Grading Plan
- Exhibit C – Canyons DRC Recommendation



TCFC FINANCE CO. LLC
CANYONS RESORT
KROFCHECK
SUMMIT COUNTY, UTAH

ski maintenance facility



ILLUSTRATIVE EXTERIOR RENDERINGS ONLY, REFER TO BUILDING ELEVATIONS SHEETS.

RVMA DRC 3
10 MARCH 2015

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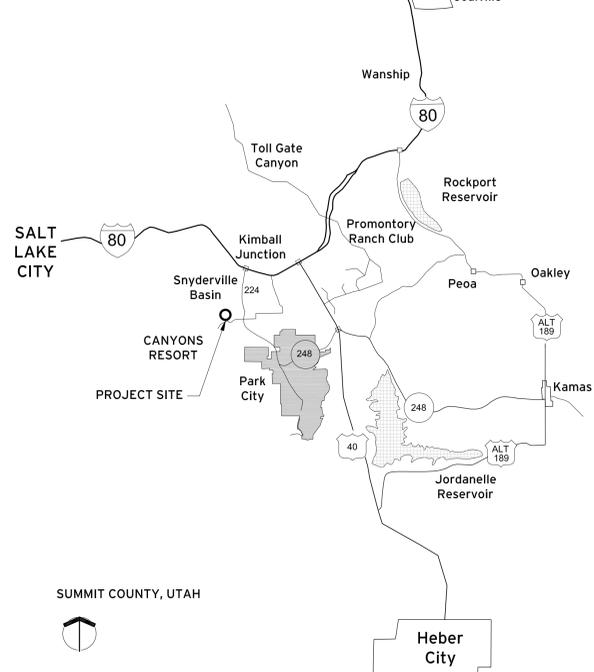
project team

<p>owner</p> <p>TCFC Finance Co. LLC 1840 Sun Peak Drive, Suite 201 Park City, Ut. 84098</p> <p>Spencer White swhite@tc-fc.com 801.647.0125</p> <p>civil engineer</p> <p>NVS 5217 South State Street, 300 Murray, Utah 84107 tel: 801.743.1379</p> <p>Rick Everson, PE rick.everson@nv5.com</p> <p>structural consultant</p> <p>MORTON + ASSOCIATES 2517 Desert Dusk Rd, Suite 102 Taylorsville, UT 84129 tel: 801.889.9187</p> <p>Jeff Morton, P.E., S.E. mandastruc@gmail.com</p> <p>electrical consultant</p> <p>Taft Engineering 8610 South Sandy Parkway #200 Sandy, Utah 84070 tel: 801.566.8012 cel: 801.971.3724</p> <p>Joseph Taft jtaft@tafteng.com</p>	<p>architect</p> <p>hoffman architects 1308 South 1700 East Salt Lake City, Utah 84108 tel: 801.583.3400 fax: 866.213.9895</p> <p>hans hoffman, AIA LEEDap NCARB hans@hoffman.com</p> <p>landscape architect</p> <p>Langvardt Design Group 1308 South 1700 East #202 Salt Lake City, Utah 84108 tel: 801.505.8090</p> <p>Eric Langvardt eric@langvardtdesigngroup.com</p> <p>mechanical consultant</p> <p>Advanced Concept Engineering, INC. 11851 Vista Glen Court Sandy, Utah 84092 tel: 801.572.3055 fax: 801.572.3075</p> <p>Chuck Lush P.E.</p> <p>general contractor</p> <p>To be determined.</p>
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basis of design

- APPLICABLE CODES:
- + 2012 EDITION OF THE INTERNATIONAL BUILDING CODE WITH UTAH AMENDMENTS.
 - + 2012 EDITION OF THE INTERNATIONAL PLUMBING CODE.
 - + 2012 EDITION OF THE INTERNATIONAL MECHANICAL CODE.
 - + 2011 EDITION OF THE NATIONAL ELECTRICAL CODE.
 - + 2012 EDITION OF THE INTERNATIONAL FIRE CODE.
 - + 2012 EDITION OF THE INTERNATIONAL FUEL GAS CODE.
 - + 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE

vicinity map



drawings index

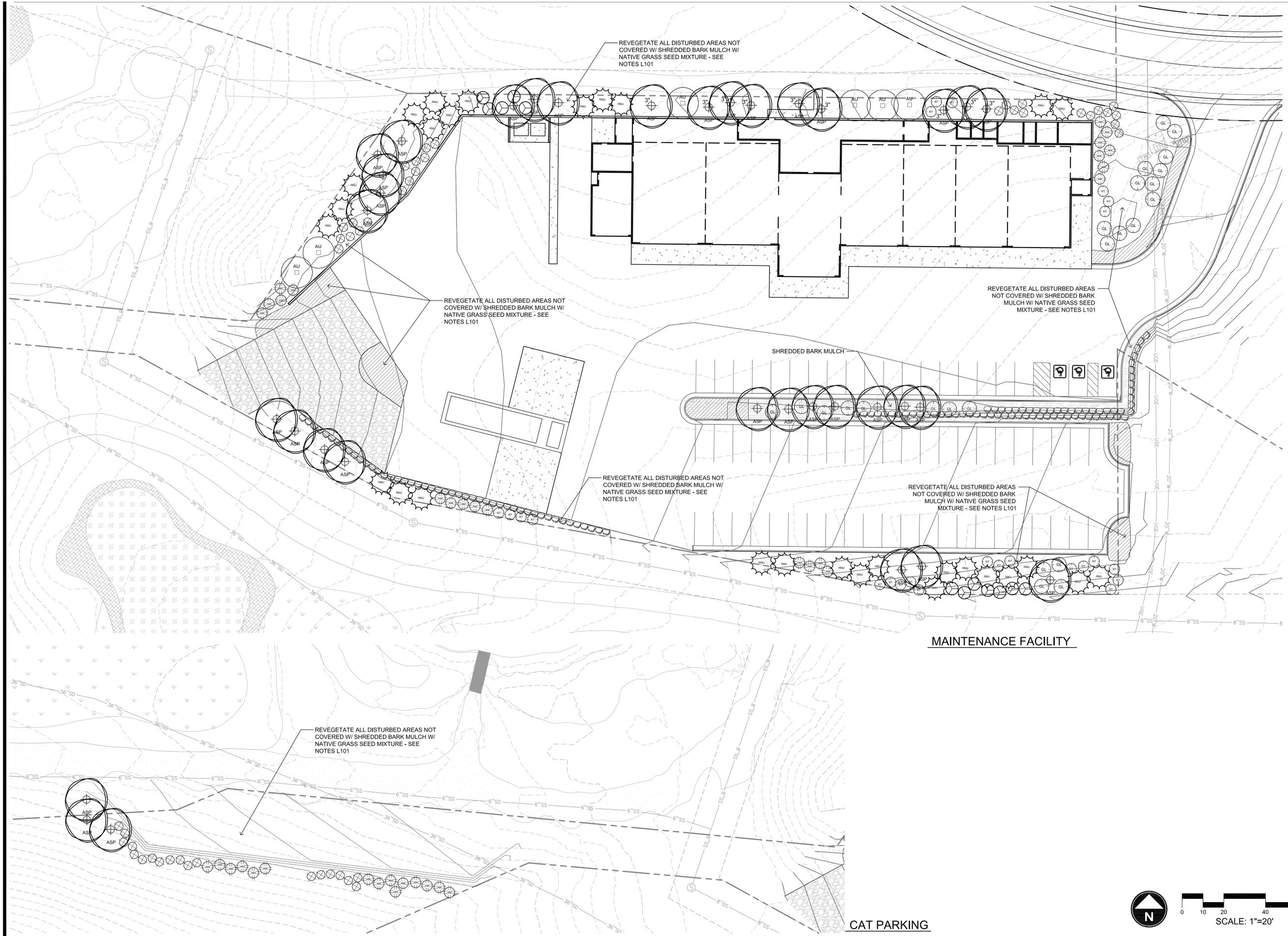
GENERAL	
G001	COVER SHEET
CIVIL	
C001	VICINITY MAP
C101	CIVIL SITE PLAN
C201	GRADING PLAN
C202	CUT FILL EXHIBIT
C203	CAT PARKING
C204	STORM DRAINAGE OUTFALL DITCH
C301	UTILITY PLAN
LANDSCAPE	
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
ARCHITECTURAL	
A001	ARCHITECTURAL SITE PLAN
A101	BUILDING FLOOR PLANS
A103	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR VIEWS
A300	SITE SECTIONS
A301	BUILDING SECTION
A401	MATERIALS BOARD
ELECTRICAL	
E100	SITE LIGHTING PLAN
E101	SITE PHOTOMETRIC PLAN

canyons
ski maintenance
facility



TCFC FINANCE CO. LLC
CANYONS RESORT
KROFCHECK
SUMMIT COUNTY, UTAH

the concepts, ideas, drawings and specifications herein are an original unpublished work and the property of hoffman architects, llc, and shall not be used on any other work, do not scale drawings, all conditions shall be brought to the attention of the architect before proceeding.



TCFC Park City

Ski Maintenance Facility

SUMMIT COUNTY, UT



DATE:	3.12.2015
PROJECT:	000.0000.00
DRAWN BY:	CH
REVIEW BY:	EL
VERSION:	PHASE 3 REVIEW
REVISIONS:	

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L100

EXHIBIT C

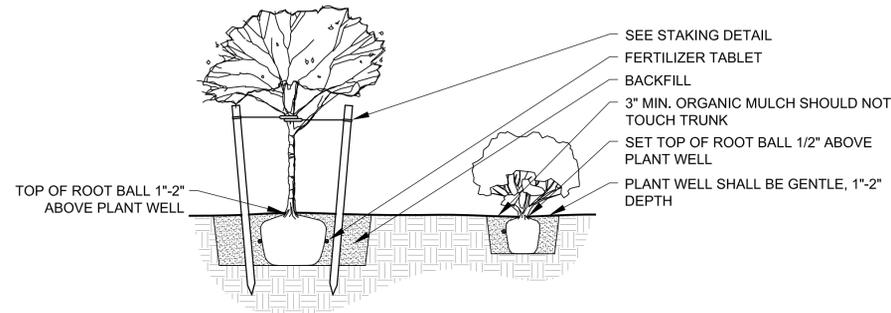
GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING AND PROPOSED UTILITIES, AND ALL SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE PROJECT MANAGER AND ALL OTHER CONTRACTORS WORKING ON THE SITE.
2. THE FINISH GRADE OF ALL PLANTING AREAS SHALL BE SMOOTH, EVEN AND CONSISTENT, FREE OF ANY HUMPS, DEPRESSIONS OR OTHER GRADING IRREGULARITIES. THE FINISH GRADE OF ALL LANDSCAPE AREAS SHALL BE GRADED CONSISTENTLY 3/4" BELOW THE TOP OF ALL SURROUNDING WALKS, CURBS, ETC.
3. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PLANTS FOR APPROVAL PRIOR TO PLANTING. TREES SHALL BE LOCATED EQUIDISTANT FROM ALL SURROUNDING PLANT MATERIAL, SHRUBS AND GROUND COVERS SHALL BE TRIANGULAR AND EQUALLY SPACED.
4. THE PLANT MATERIALS LIST IS PROVIDED AS AN INDICATION OF THE SPECIFIC REQUIREMENTS OF THE PLANTS SPECIFIED, WHEREVER IN CONFLICT WITH THE PLANTING PLAN, THE PLANTING PLAN SHALL GOVERN.
5. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE PROPER COMPLETION OF ALL LANDSCAPE WORK AS SPECIFIED AND SHOWN ON THE DRAWINGS.
6. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO PLANTING. THE OWNER/LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS. THE OWNER/LANDSCAPE ARCHITECTS DECISION WILL BE FINAL.
7. THE CONTRACTOR SHALL KEEP THE PREMISES, STORAGE AREAS AND PAVING AREAS NEAT AND ORDERLY AT ALL TIMES. REMOVE TRASH, SWEEP, CLEAN, HOSE, ETC. DAILY.
8. THE CONTRACTOR SHALL PLANT ALL PLANTS PER THE PLANTING DETAILS, STAKE/GUY AS SHOWN. TOP OF ROOT BALLS SHALL BE PLANTED FLUSH WITH FINISH GRADE.
9. THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE IN ANY WAY. THE CONTRACTOR SHALL ALWAYS MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING, WALLS, ETC.
10. THE CONTRACTOR SHALL MAINTAIN ALL WORK UNTIL ALL WORK IS COMPLETE AND ACCEPTED BY THE OWNER. UPON COMPLETION OF LANDSCAPE WORK AN INSPECTION FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT FOR SCHEDULING OF INSPECTION AT LEAST SEVEN (7) DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL MAINTAIN AND GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS. MAINTENANCE SHALL INCLUDE MOWING, WEEDING, FERTILIZING, CLEANING, INSECTICIDES, HERBICIDES, ETC.
12. NATIVE GRASS SEEDING AREAS TO BE THE CABIN BLEND MIXTURE:
CABIN BLEND GENERALLY CONTAINS: MOUNTAIN BROME (BROMUS MARINATES), SLENDER WHEATGRASS (ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS), SANDBERG BLUEGRASS (POA SECUNDA SSP. SANDBERGII), BIG BLUEGRASS (POA SECUNDA SSP. AMPLA), SHEEP FESCUE (FESTUCA OVINA), WESTERN WHEATGRASS (PASCOPYRUM SMITHII), AND BEARDLESS BLUEBUNCH WHEATGRASS (PSEUDOROEGNERIA SPICATA SSP. INERMIS)
SEEDING RATE: 35 LBS PLS/ACRE
13. ALL DISTURBED AREAS OUTSIDE MULCHED LANDSCAPE BEDS AND MAINTAINED LAWN AREAS ARE TO BE SEEDED WITH NATIVE GRASS MIXTURE.
14. ALL LANDSCAPE BEDS TO BE MULCHED PER THE PLANT SCHEDULE.

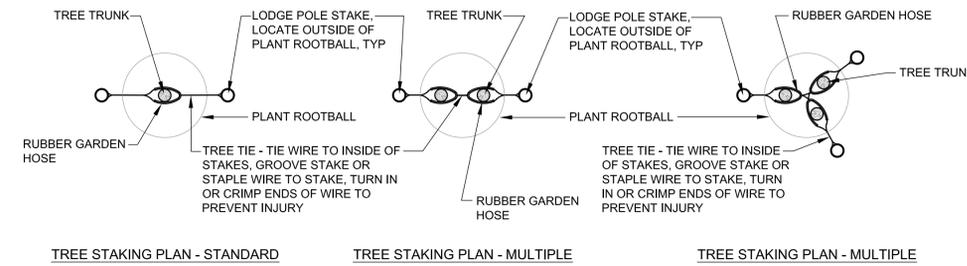
IRRIGATION NOTE:

1. ALL PLANT MATERIALS SHOWN ON THE DRAWING SHALL BE SERVICED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL SHRUB BED AREAS, INCLUDING TREES SHALL BE IRRIGATED WITH A LOW PRESSURE DRIP IRRIGATION SYSTEM. ALL GRASS AREAS, EITHER NATIVE OR MANICURED SHALL BE IRRIGATED WITH A BROADCAST IRRIGATION SYSTEM. NATIVE GRASS AREAS TO BE ZONED SEPARATELY FROM MAINTAINED TURF AREAS.
2. THE CONTRACTOR SHALL HAVE A QUALIFIED IRRIGATION SYSTEM SPECIALIST PREPARE A DESIGN FOR AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AND SUBMIT DRAWINGS TO THE LANDSCAPE ARCHITECT FOR APPROVAL AT LEAST 30 DAYS PRIOR TO THE SYSTEM INSTALLATION.
3. UNDERGROUND IRRIGATION SYSTEM DRAWINGS SHALL BE PREPARED ON 24"x 36" SHEETS, NEATLY DRAWN AND LEGIBLE. DRAWINGS ARE TO INCLUDE HEAD SPACING, TYPES OF HEADS, PIPING WITH SIZES, VALVES, FITTINGS AND ALL OTHER ITEMS REQUIRED FOR PROPER INSTALLATION OF THE SYSTEM.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL IRRIGATION SLEEVES PRIOR TO PLACEMENT OF HARD IMPROVEMENTS. COORDINATE WITH THE GENERAL CONTRACTOR.
5. THE UTILITY CONTRACTOR IS TO PROVIDE AN IRRIGATION SYSTEM CONNECTION TO EITHER THE CULINARY OR SECONDARY WATER LINE WITH A BACK FLOW PREVENTION DEVICE, AS APPLICABLE, WITHIN STATE AND LOCAL JURISDICTIONAL CODES. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE THIS ITEM WITH THE UTILITY CONTRACTOR. IF SECONDARY WATER IS USED, THE SYSTEM SHALL BE FILTERED WITH A CLEANABLE FILTER SYSTEM.
6. THE IRRIGATION CONTROL BOX SHALL BE LOCATED AT THE DIRECTION OF THE PROJECT MANAGER/OWNER.

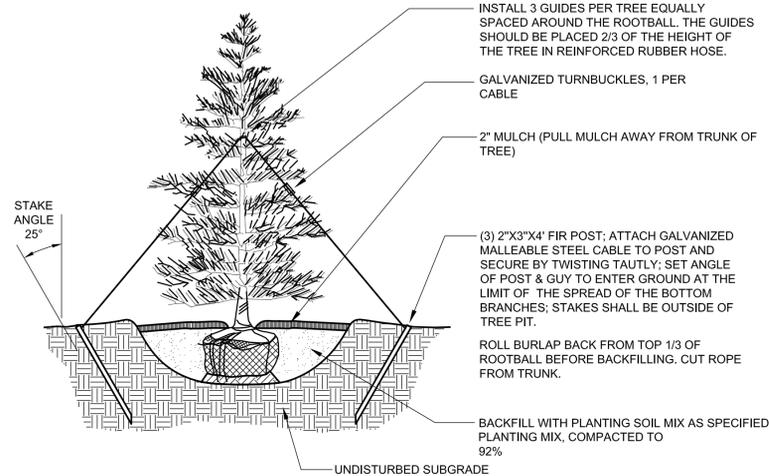
BACKFILL:
ONE PART MULCH TO THREE PARTS NATIVE SOIL.
PLANTING PIT SIZES:
1 GAL. OR 5 GAL. - 2X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 6"
15 GAL. OR LARGER - 3X WIDTH OF ROOT BALL, DEPTH = ROOT BALL + 12"
FERTILIZER TABLETS (21 GRAM AGRIFORM TABLETS)
1 PER 1 GAL., 3 PER 5 GAL., 5 PER 15 GAL., 1 PER 3" OF BOX SIZE (24" BOX OR LARGER)



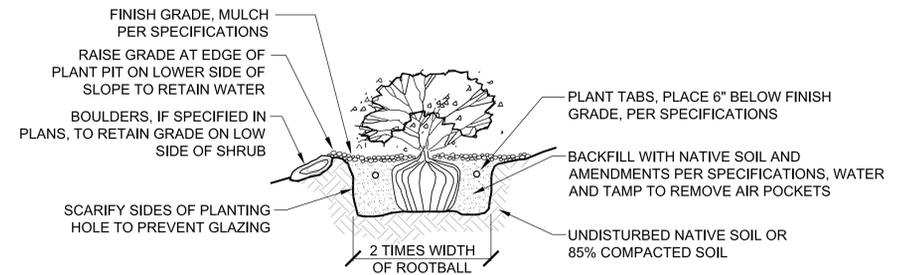
1 DECIDUOUS TREE AND SHRUB PLANTING NOT TO SCALE



2 DECIDUOUS TREE STAKING NOT TO SCALE



3 EVERGREEN TREE PLANTING AND STAKING NOT TO SCALE



4 SHRUB PLANTING ON A SLOPE NOT TO SCALE

Plant Schedule

QUANTITY	SYMBOL	BOTANICAL/COMMON NAME	INSTALLED SIZE	MATURE SIZE
EVERGREEN TREES				
29		Juniperus scopulorum Rocky Mountain Juniper	8'-10' Hgt.	20'x10'
DECIDUOUS TREES				
9		Populus tremuloides Quaking Aspen	3" CAL.	35'x20'
25		Populus tremuloides Quaking Aspen	2" CAL.	35'x20'
SHRUBS				
6		Amelanchier utahensis Utah Serviceberry	5 Gal.	15'x15'
24		Rhus aromatica 'Grow Low' Grow Low Sumac	5 Gal.	30" x 7'
36		Aronia melanocarpa elata 'Autumn Magic' Autumn Magic Black Chokeberry	5 Gal.	5'x5'
12		Physocarpus opulifolius Ninebark	5 Gal.	5'x5'
24		Rhus trilobata Three Leaf Sumac	5 Gal.	5'x5'
47		Rosa woodsii Wood's Rose	5 Gal.	4'x4'
MATERIALS				
		Shredded Bark Mulch Submit Sample For Approval	3" Depth	
MISC.				
		Snow Storage Area		

TCFC Park City
Ski Maintenance Facility

SUMMIT COUNTY, UT



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DRAWN BY:	CH
REVIEW BY:	EL
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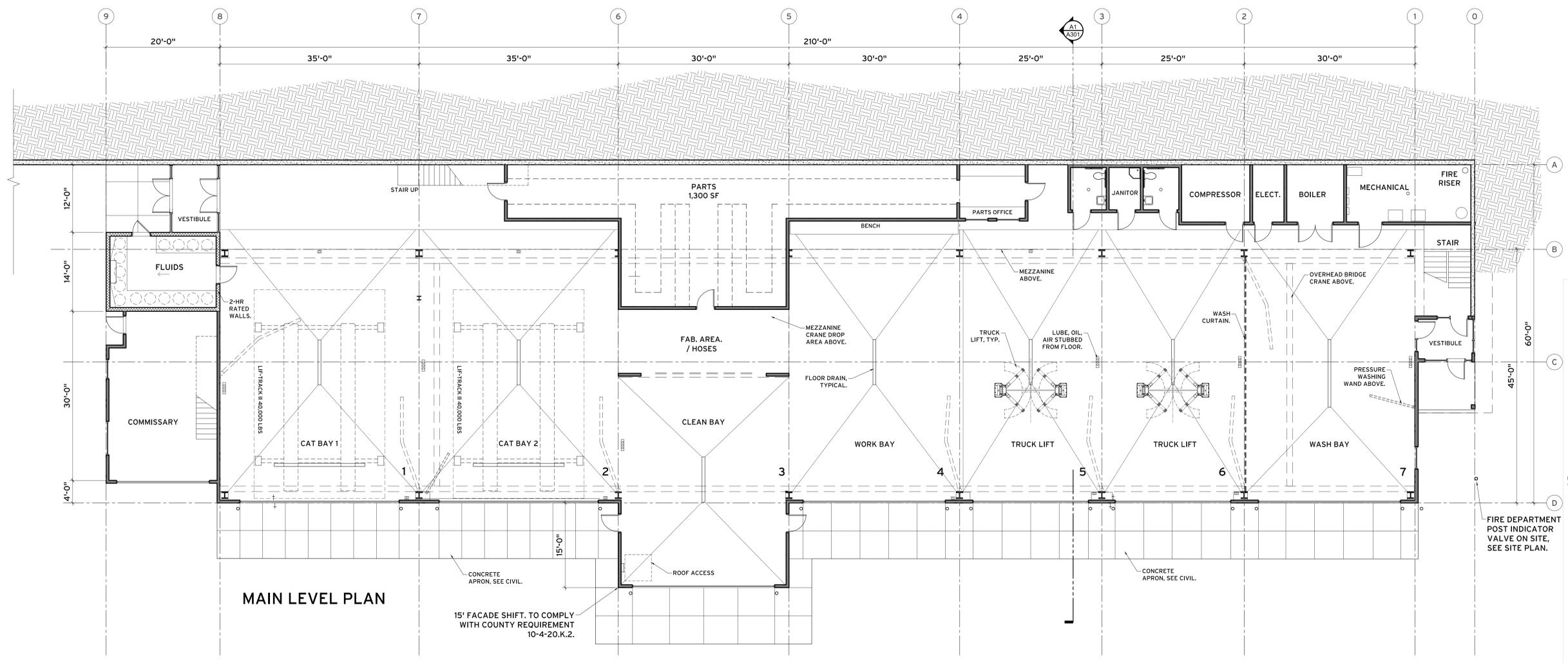
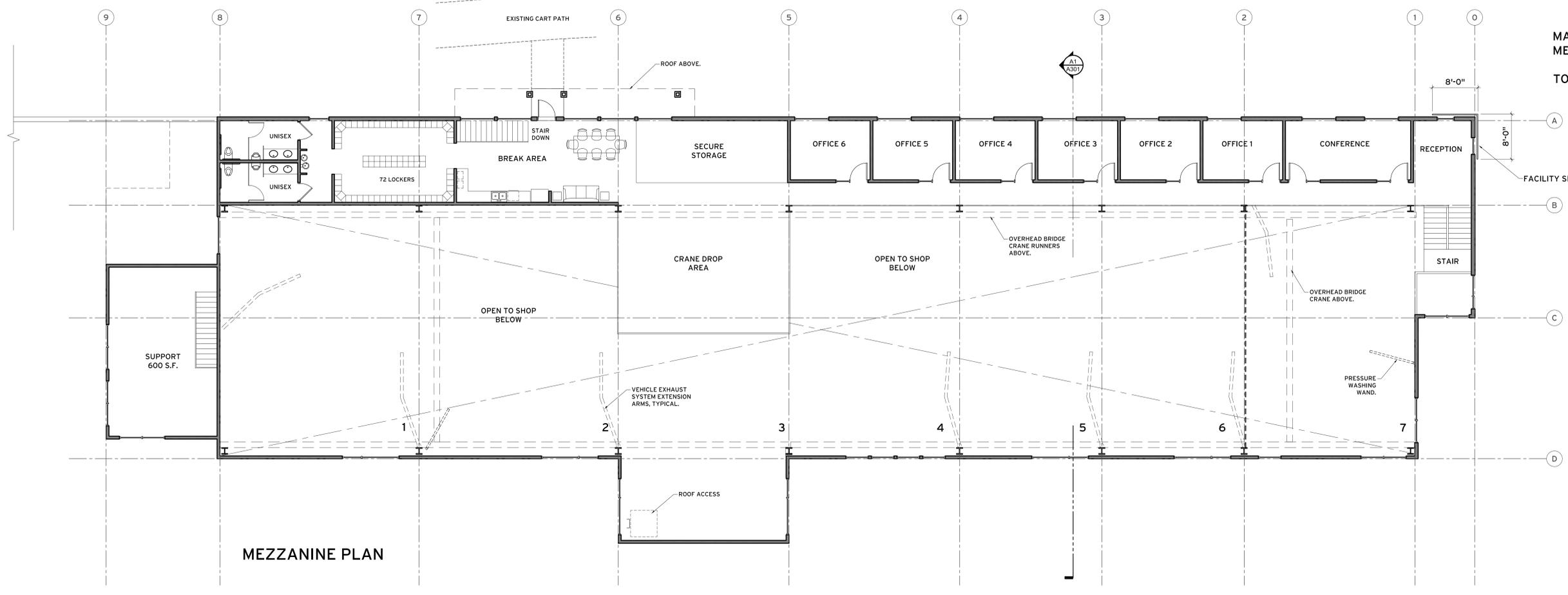
SHEET TITLE:
**LANDSCAPE
DETAILS**

SHEET NUMBER:

L101

EXHIBIT C

MAIN LEVEL: 14,630 GSF
MEZZANIE: 4,600 GSF (31.4%)
TOTAL AREA: 19,230 GSF



hoffman architects, LLC
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 salt lake city, utah 84108
 o 801 583 3400
 f 866 213 9895
 hhoffman.com

DATE: 10 MARCH 2015
 ISSUE: DRC REVIEW 3
 PROJECT: 2014-61
 DESIGNED BY: hh
 DRAWN BY: STAFF
 REVIEWED BY: hh

DESIGN ONLY
 NOT FOR
 CONSTRUCTION

canyons ski maintenance facility
 TCFC FINANCE CO. LLC
 CANYONS RESORT
 KROFCHICK
 SUMMIT COUNTY, UTAH

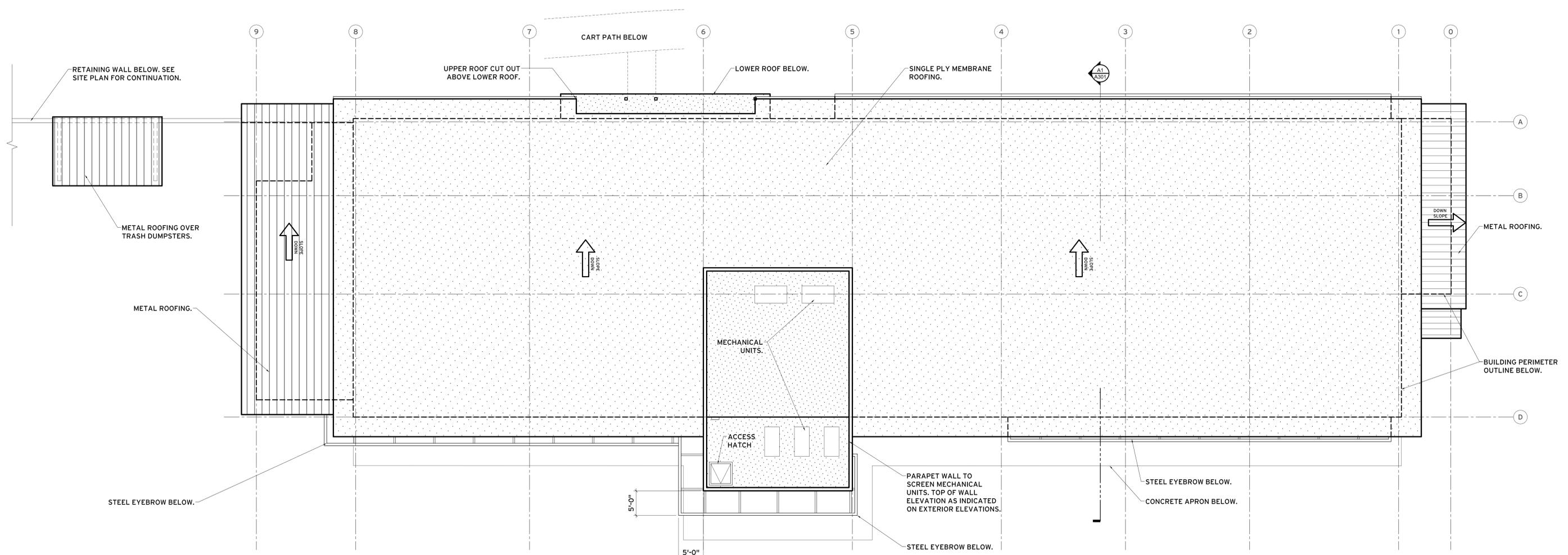


FIRE DEPARTMENT POST INDICATOR VALVE ON SITE, SEE SITE PLAN.
 0 8'-0" 16'-0" 32'-0"



FLOOR PLANS
A101
© 2015 hoffman architects - project 2014-61 Canyons Ski Maintenance Drawing 1461 A101.dwg | plot date: March 08 2015

the concepts, ideas, drawings and specifications herein are an original unpublished work and the property of Hoffman Architects, LLC and shall not be used on any other work, do not scale drawings, all conditions shall be verified on site, discrepancies shall be brought to the attention of the architect before proceeding.



- Legend:**
- 114'-5 1/2" D.B.E. DECK BEARING ELEVATION.
 - TAPERED INSULATION CRICKET WITH 1/8" PER FOOT SLOPE MINIMUM ALONG VALLEY AND 1/4" PER FOOT SLOPE MINIMUM ACROSS CRICKET.
 - WALKWAY PAD (NONPOROUS, HEAVY DUTY, SOLID-RUBBER, SLIP RESISTING, 3/16" THICK PAD) ADHERED TO ROOFING MEMBRANE AS PER ROOFING SYSTEM MANUFACTURER RECOMMENDATIONS. PROVIDE WALKWAY PADS TO & AROUND ALL THE MECHANICAL EQUIPMENT INCLUDING EXHAUST FANS, CHILLER, MISCELLANEOUS EQUIPMENT THAT REQUIRES PERIODIC MAINTENANCE. VERIFY WITH MECHANICAL CONTRACTOR.
 - MECHANICAL EQUIPMENT. VERIFY WITH MECHANICAL CONTRACTOR.
 - SLOPE DOWN DIRECTION OF ROOF SLOPE TO ROOF DRAIN.

- general notes:**
1. REFER TO BUILDING SECTIONS AND ELEVATIONS FOR VERTICAL HEIGHTS AND DIMENSIONS.
 2. PROVIDE STRUCTURAL FRAMING AS INDICATED ON STRUCTURAL FRAMING PLANS.
 3. PROVIDE ROOF SLOPE TO DRAIN / SCUPPER AT ALL POINTS.
 4. PROVIDE PAD FOR ALL MECHANICAL EQUIPMENT.
 5. ROOF CRICKETS SHALL HAVE MINIMUM OF 1/2" PER FOOT DRAINAGE. PROVIDE CRICKET ON THE HIGH SIDE OF ROOF AT ALL CURB LOCATIONS FOR MECHANICAL EQUIPMENT, ROOF HATCH, ETC.
 6. TOP OF WALL ELEVATIONS SHALL BE AS INDICATED ON SECTIONS.
 7. ALL STEEL TO BE PAINTED, GRIND WELDS SMOOTH.

hoffman architects LLC
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 salt lake city, utah 84108
 o 801 583 3400
 f 866 213 9895
 hhoffman.com

DATE: 10 MARCH 2015
 ISSUE: DRC REVIEW 3
 PROJECT: 2014-61
 DESIGNED BY: hh
 DRAWN BY: STAFF
 REVIEWED BY: hh

DESIGN ONLY
 NOT FOR CONSTRUCTION

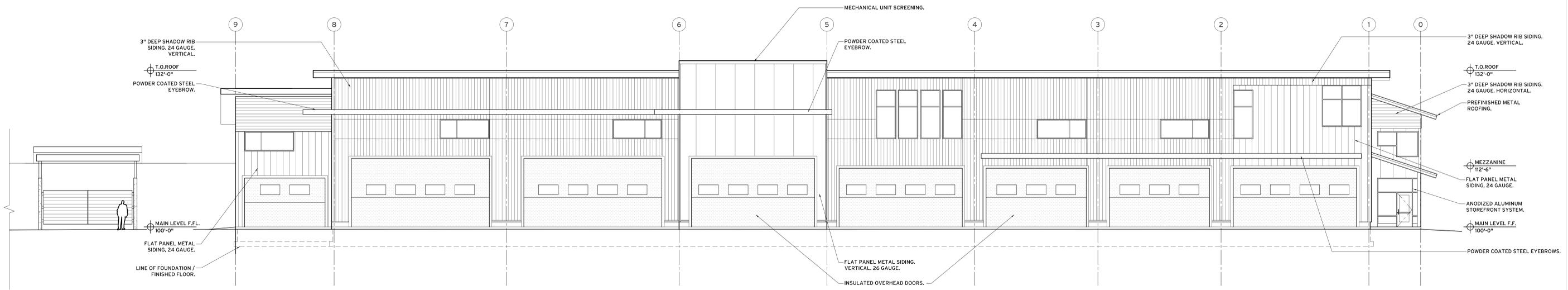
canyons ski maintenance facility
 TCFC FINANCE CO. LLC
 CANYONS RESORT
 KROFCHECK
 SUMMIT COUNTY, UTAH

0 8'-0" 16'-0" 32'-0"
 1/8" = 1'-0"
 NORTH

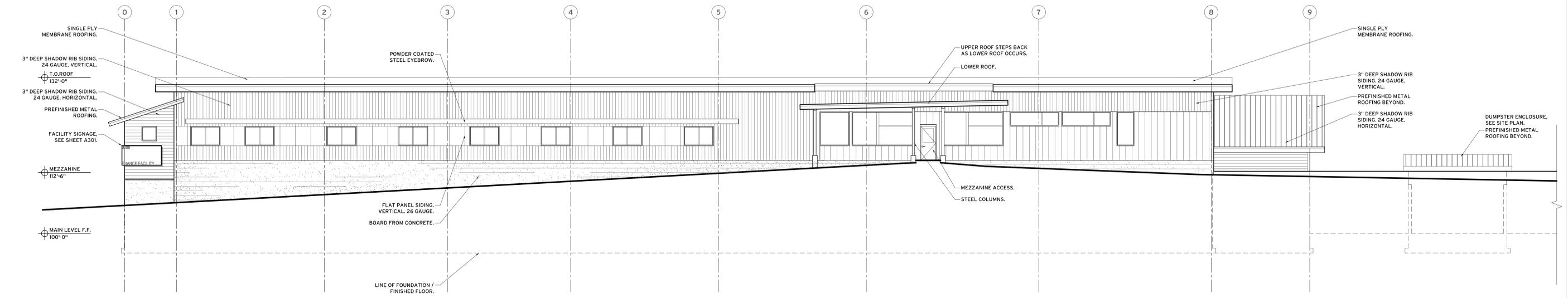
A103

© 01 hoffman architects project 2014 61 Canyons Ski Maintenance Drawing A103.dwg | plot date: March 08 2015

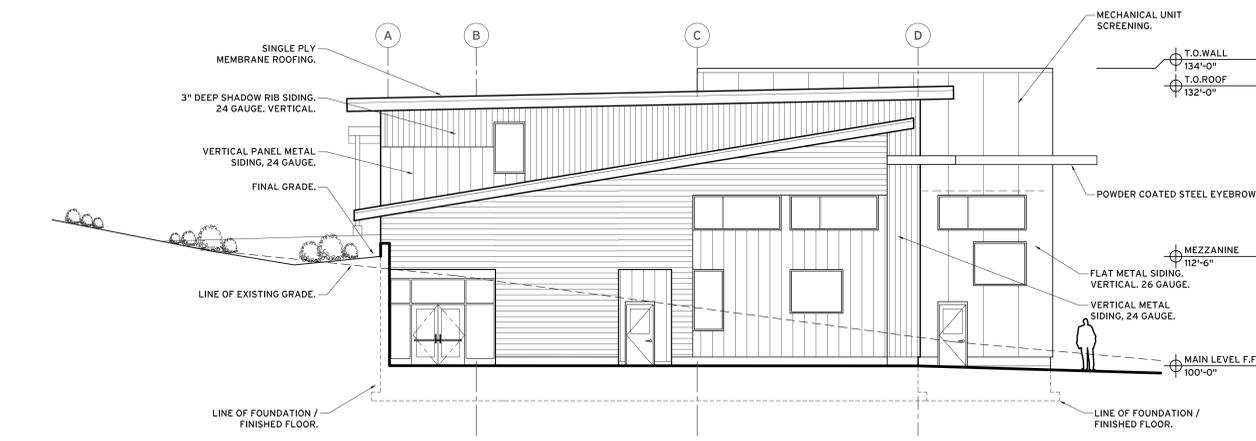
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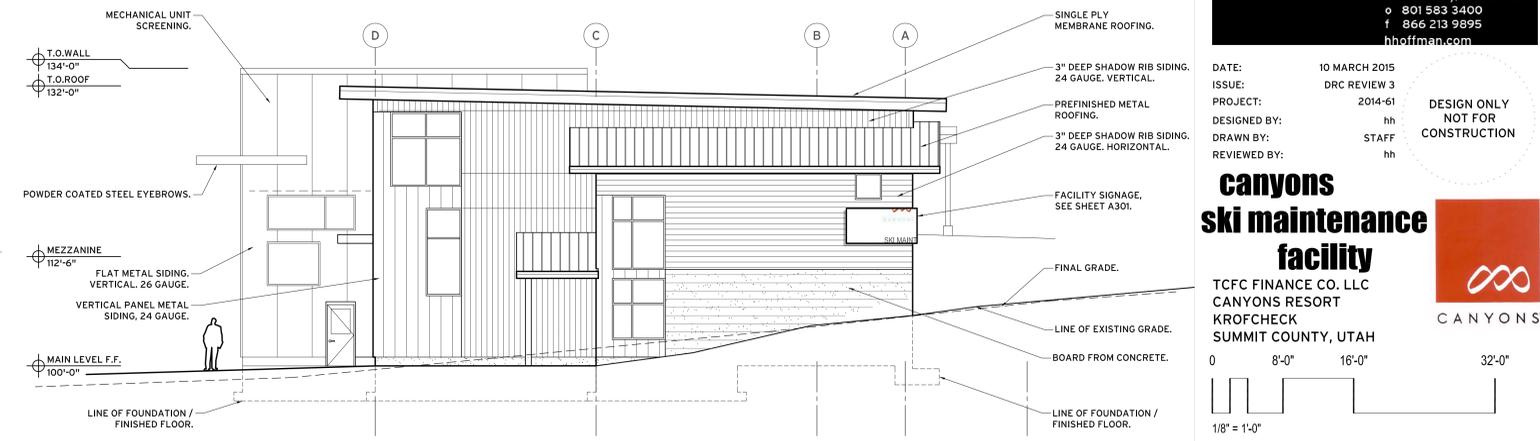
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

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 salt lake city, utah 84108
 o 801 583 3400
 f 866 213 9895
 hoffman.com

DATE: 10 MARCH 2015
 ISSUE: DRC REVIEW 3
 PROJECT: 2014-61
 DESIGNED BY: hh
 DRAWN BY: STAFF
 REVIEWED BY: hh

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 NOT FOR
 CONSTRUCTION**

**canyons
 ski maintenance
 facility**

TCFC FINANCE CO. LLC
 CANYONS RESORT
 KROFCHECK
 SUMMIT COUNTY, UTAH

0 8'-0" 16'-0" 32'-0"
 1/8" = 1'-0"

**EXTERIOR
 ELEVATIONS**

A201

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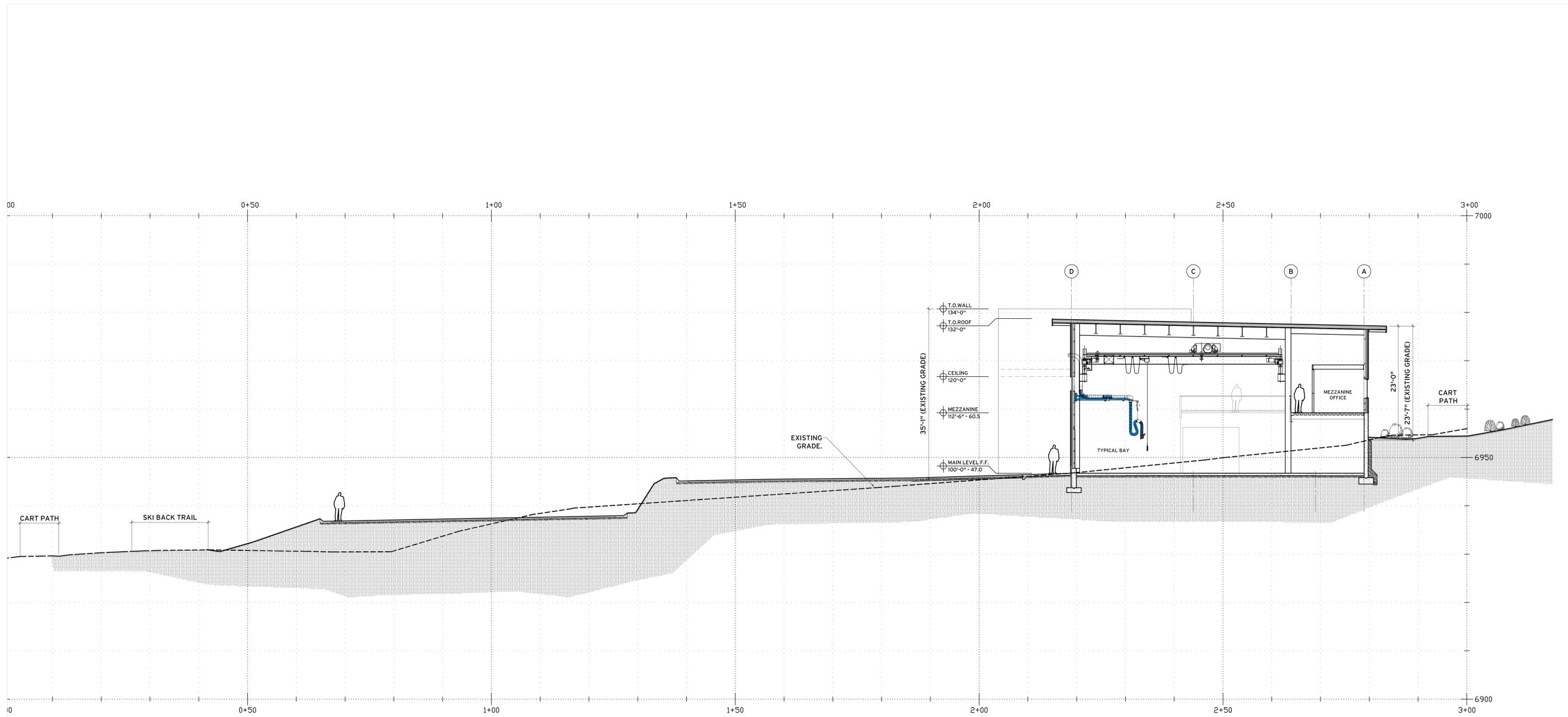


BUILDING
 EXTERIORS

A202

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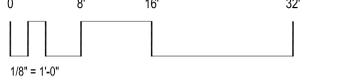
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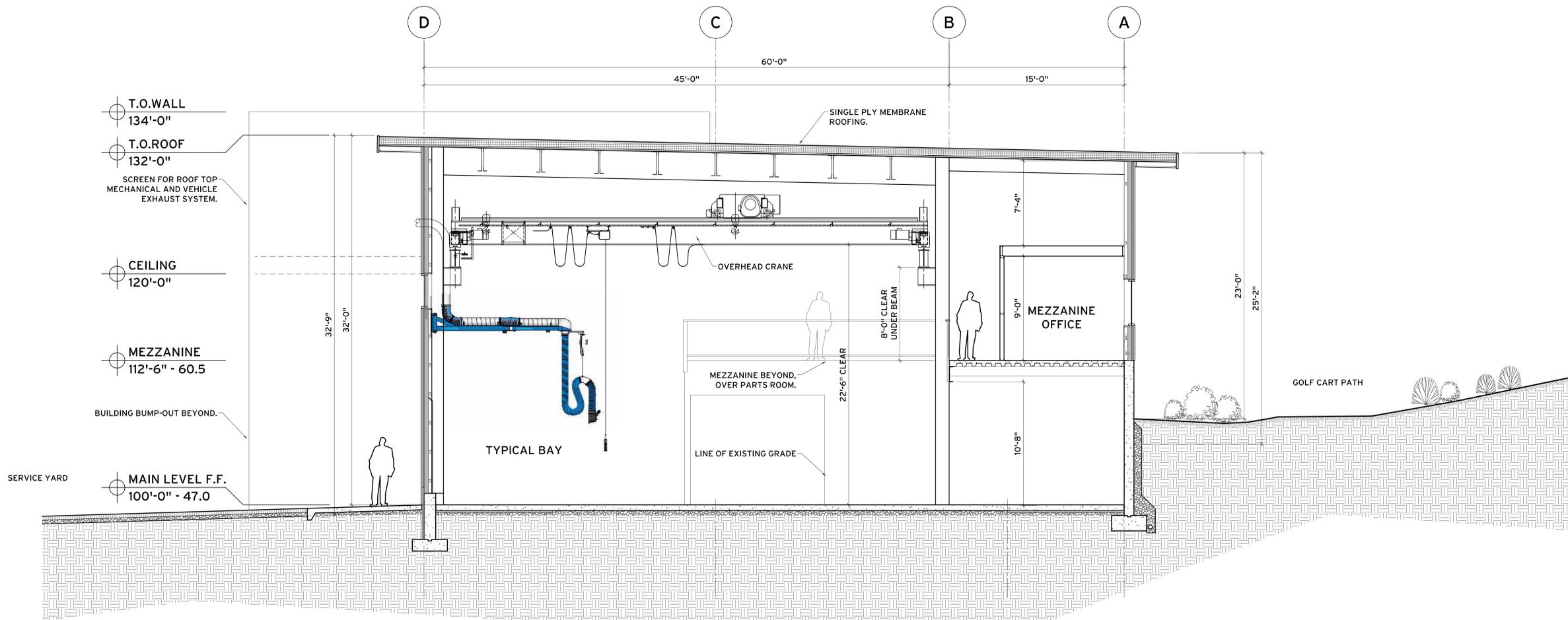
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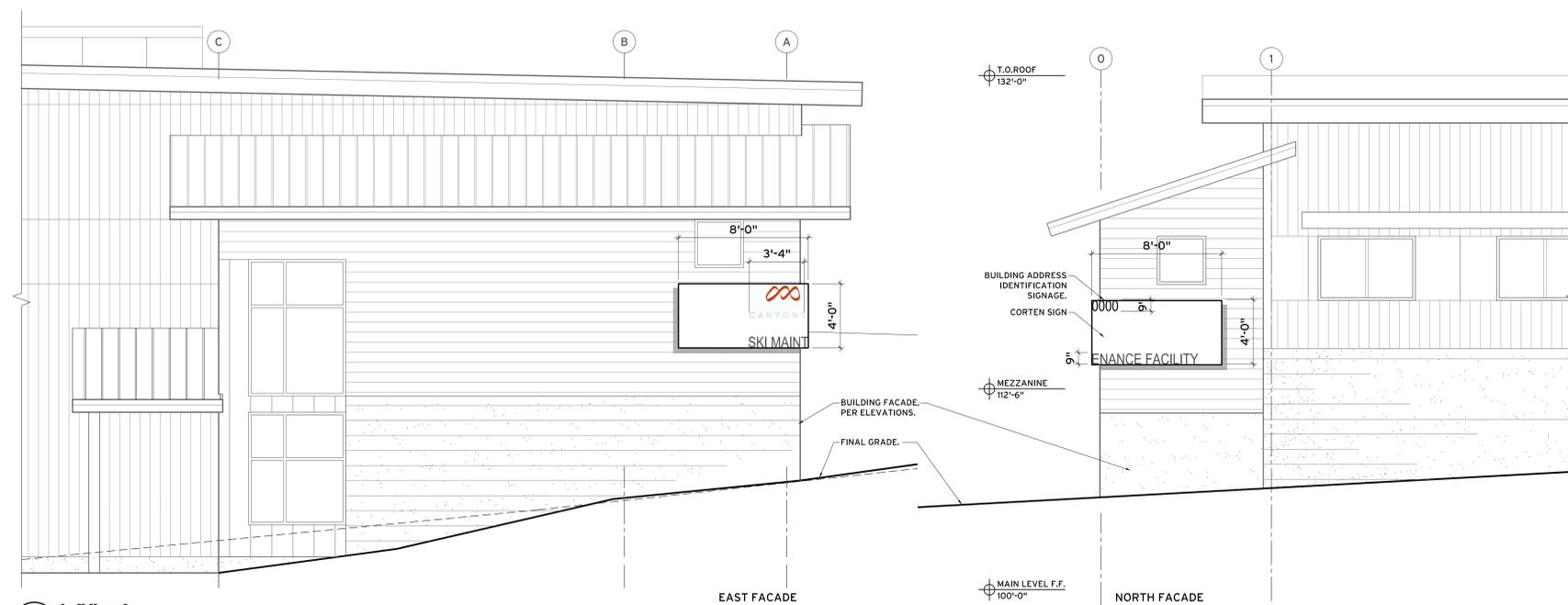


SITE SECTION **A300**

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typical building section
SCALE: 1/4" = 1'-0"



a1 building sign
SCALE: 1/4" = 1'-0"



EXISTING SIGNAGE.
FACILITY SIGNAGE, TO MATCH
EXISTING RESORT SIGNAGE.

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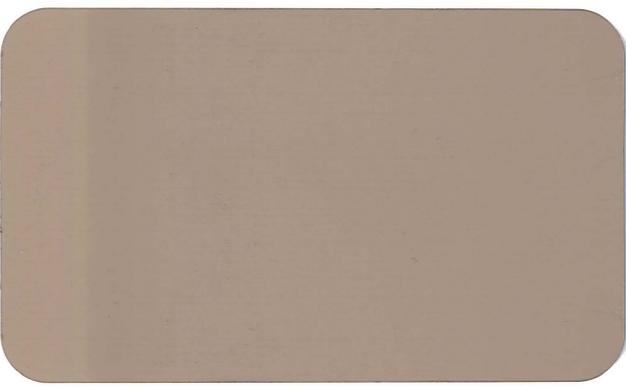


0 4' 8' 16'



1/4" = 1'-0"
BUILDING SECTION & BUILDING SIGN A301

C:\01\hoffman\architects\projects\14-61\Canyons Ski Maintenance\Drawings\1461_A301.dwg | plot date: March 09 2015



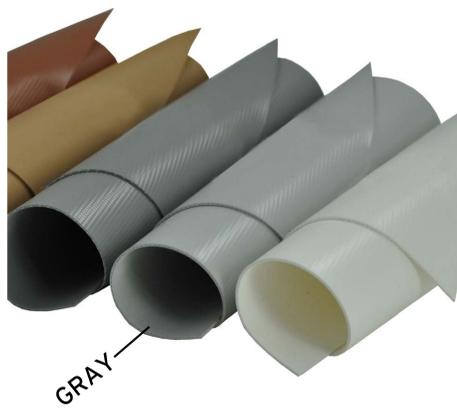
SIDING 1 COLOR
VERTICAL SIDING
MBCI SIG 300 - BROWNSTONE



COR-TEN SIDING:
FLAT PANEL SIDING
PARKING GARAGE SCREEN



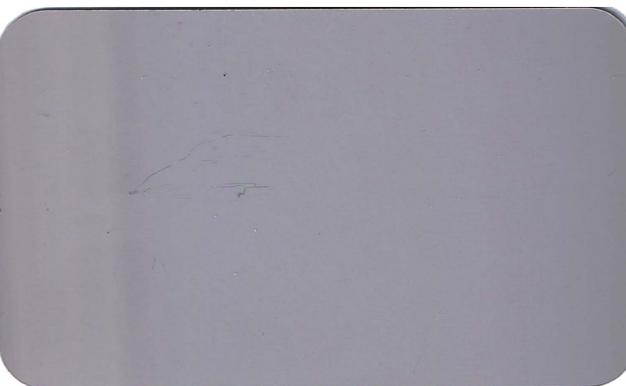
SIDING 2 COLOR
HORIZONTAL SIDING
MBCI SIG 200 CHARCOAL GRAY



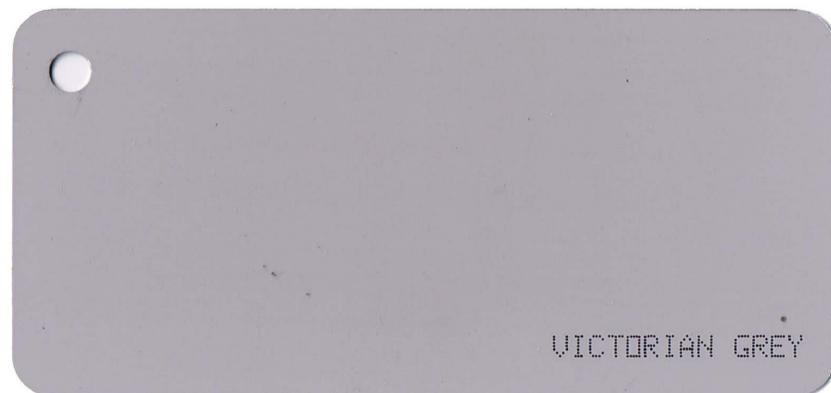
SINGLE-PLY ROOFING



CLEAR ANODIZED ALUMINUM WINDOWS



SIDING 3 COLOR AND
METAL ROOFING COLOR
MBCI SIG 300 TUNDRA



OVERHEAD DOOR COLOR

VICTORIAN GREY

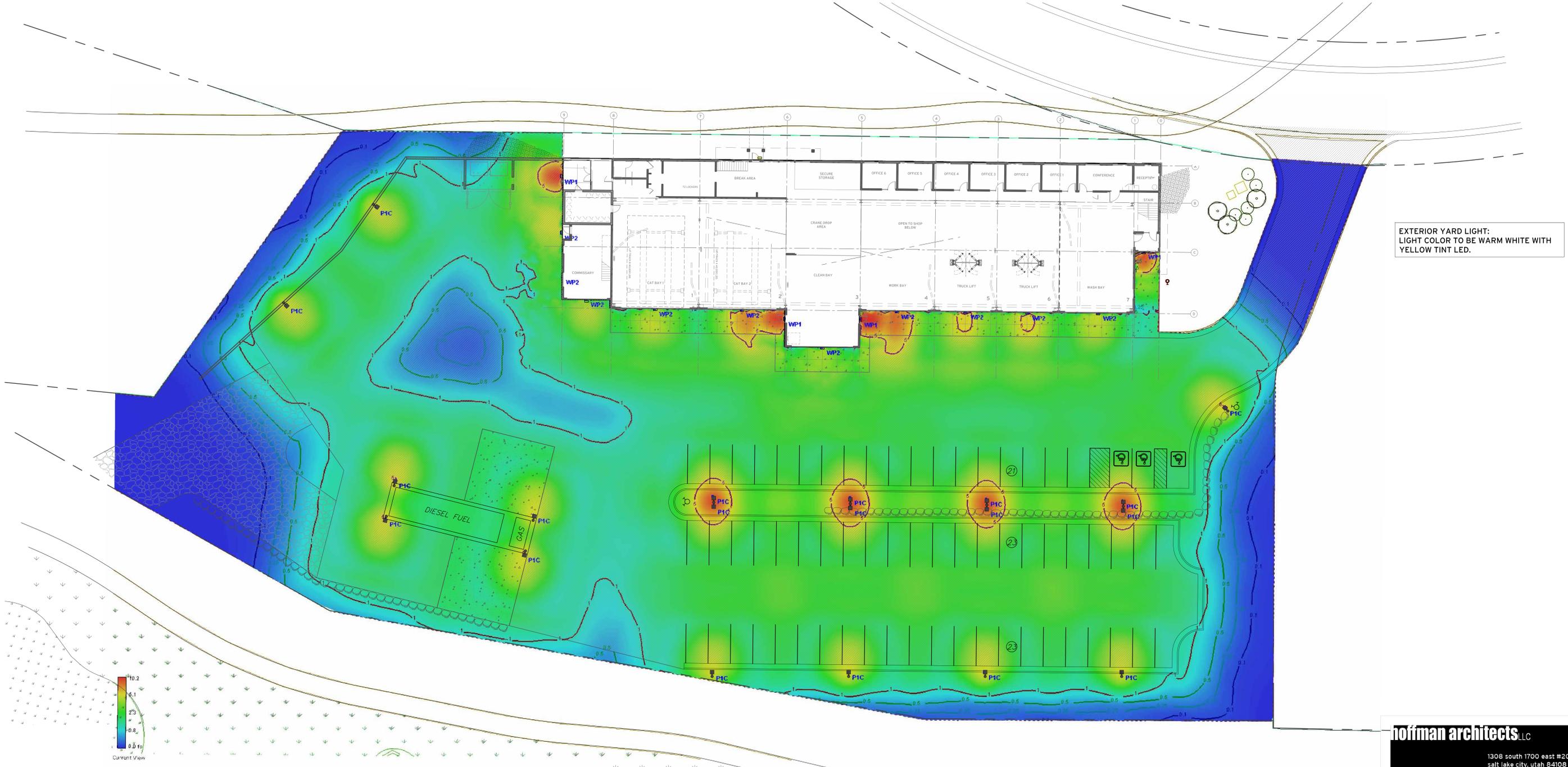


BOARD FORMED, TEXTURED CONCRETE

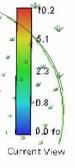
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TCFC FINANCE CO. LLC
CANYONS RESORT
KROFCHICK
PARK CITY, UTAH



EXTERIOR YARD LIGHT:
LIGHT COLOR TO BE WARM WHITE WITH
YELLOW TINT LED.



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	WP2	10	COOPER LIGHTING - MORGAN LEDISON	IST-502-LED-E1-SL4	IMPACT ELITE LED LUMINAIRE (2) LIGHTBARS WITH ANGLE LED OPTICS TYPE 4 W/ BACK LIGHT CONTROL. ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS OBTAINED USING LAB LUMEN STANDARDS IN CONFORMANCE WITH TEST DISTANCE OF 29.75 FEET		10	IST-502-LED-E1-SL4	100,000	0.9	51
[Symbol]	WP1	4	COOPER LIGHTING - MORGAN LEDISON	IST-502-LED-E1-SL4	IMPACT ELITE LED LUMINAIRE (2) LIGHTBARS WITH ANGLE LED OPTICS TYPE 4 W/ BACK LIGHT CONTROL. ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS OBTAINED USING LAB LUMEN STANDARDS IN CONFORMANCE WITH TEST DISTANCE OF 29.75 FEET		4	IST-502-LED-E1-SL4	240,217	0.9	54
[Symbol]	P1C	10	COOPER LIGHTING - MORGAN LEDISON	ILM-603-LED-E1-SL4	FALCON MEDIUM LED SITE LUMINAIRE (3) LIGHTBARS WITH ANGLE LED OPTICS TYPE 4 W/ SHAL LIGHT CONTROL. ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS OBTAINED USING LAB LUMEN STANDARDS IN CONFORMANCE WITH TEST DISTANCE OF 29.75 FEET		10	ILM-603-LED-E1-SL4	90,362	0.9	73

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Case #1	4	1.8 fc	10.2 fc	0.0 fc	N/A	N/A	0.2:1

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DATE: 10 MARCH 2015
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 PROJECT: 2014-61
 DESIGNED BY: hh
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 REVIEWED BY: hh

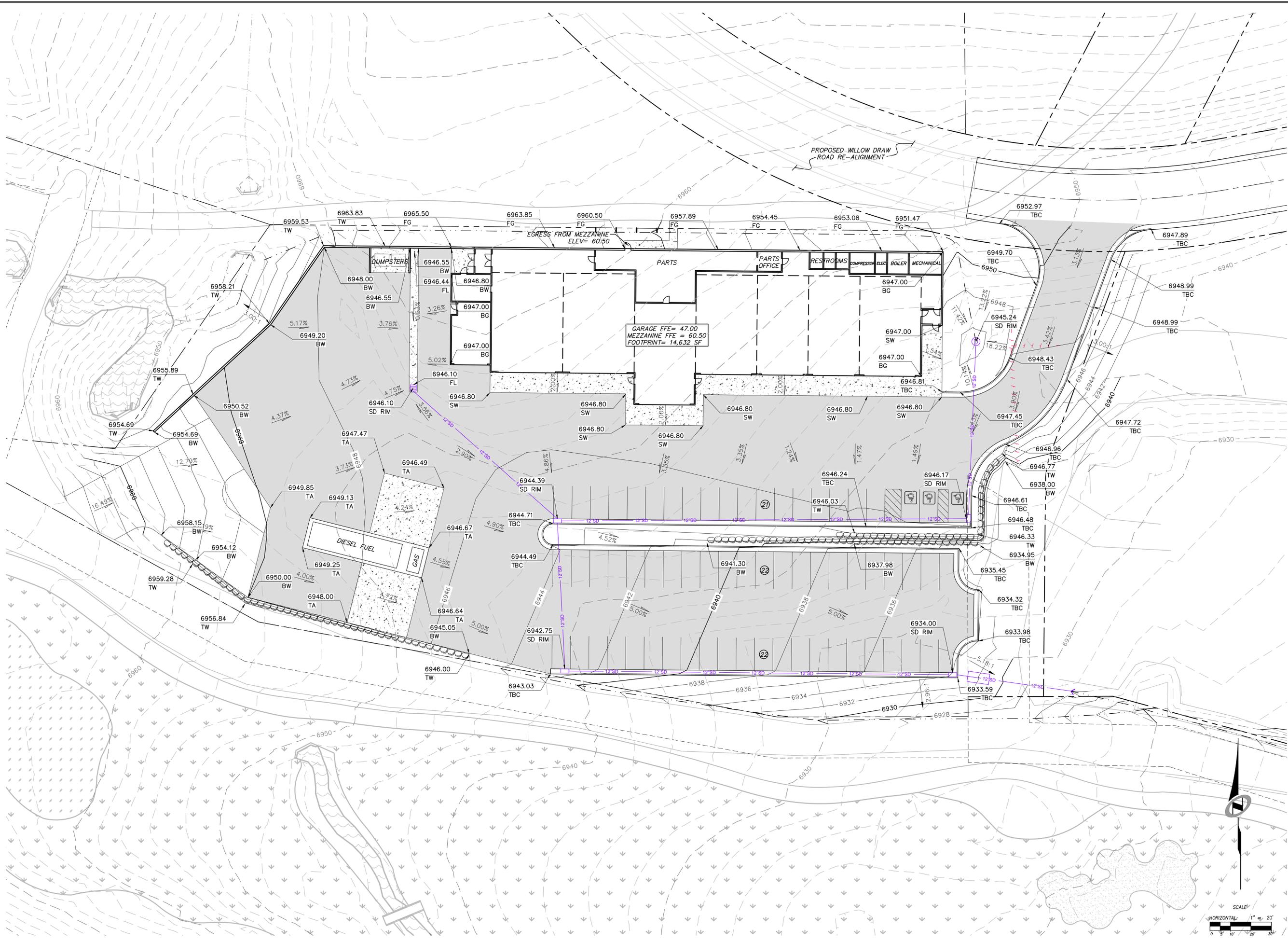
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ski maintenance
facility
 TFC FINANCE CO. LLC
 CANYONS RESORT
 KROFCHECK
 SUMMIT COUNTY, UTAH
 0 16' 32' 64'

1/16" = 1'-0"
SITE LIGHTING
PHOTOMETRICS
E101
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DATE: 3/12/15
 TIME: 4:53:34 PM
 DRAWING NAME: #150345-01
 PROJECT: N. SLB0345 CANYONS MAINT BLDG IMP/DRC SUBMITTAL
 LAYOUT: #150345-01
 PROJ. MOR: #150345-01



NO.	BY	DATE	REVISIONS

**CANYONS
 MAINTENANCE YARD SITE
 GRADING PLAN**

DATE SUBMITTED: 3/12/2015

PREPARED FOR: VAIL RESORTS

NV5

6217 SOUTH STATE STREET, SUITE 200
 8017433800 TEL. 8017433800 FAX

MURRAY, UT 84007
 WWW.NV5.COM

**PRELIMINARY
 NOT FOR CONSTRUCTION**

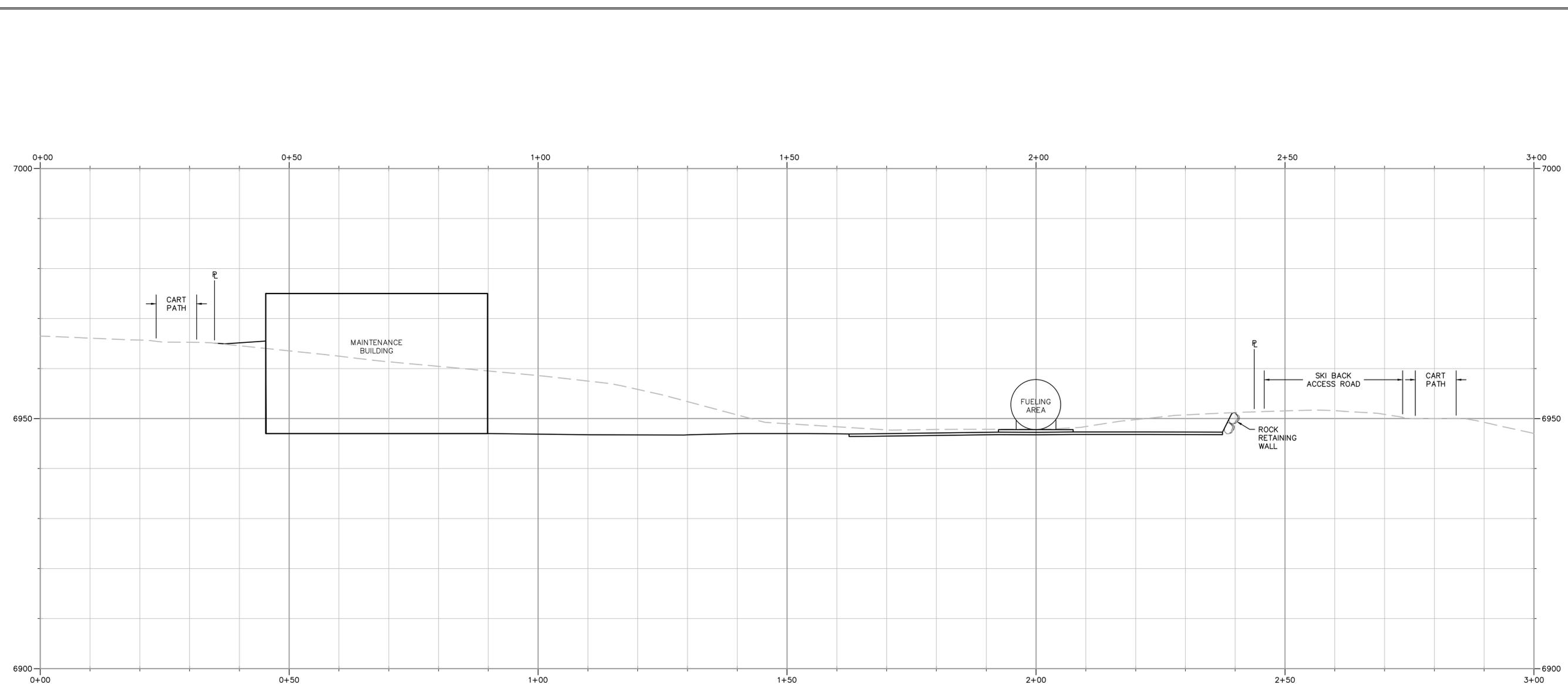
SHEET NUMBER
C201

SCALE
 VERTICAL: 1" = 4'
 HORIZONTAL: 1" = 20'

JOB NUMBER
SLB0345

EXHIBIT D

4/29/15 9:14:23 AM E:\15-031\MOUNTAIN MAINT\UTR\UTR\SLB0345\CONSTRUCTION.DWG
 DATE: 4/29/15 TIME: 9:14:23 AM
 NONE NONE
 N:\SLB0345\CAD\SLB0345.MXD
 DRAWING NAME: SKI MAINT BLDG EXHIBITS
 LAYOUT: #1
 PROJ. MGR: #1



CROSS SECTION B-B
 HORIZONTAL SCALE: 1" = 10'
 VERTICAL SCALE: 1" = 10'

NO.	BY	DATE	REVISIONS

CAUTION
 The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. Any such changes or uses must be approved by the preparer of these plans.

CANYONS
MAINTENANCE YARD SITE
CROSS SECTION B-B

PREPARED FOR: VAIL RESORTS
 DATE SUBMITTED: 1/5/2015

NV5
 6217 SOUTH STATE STREET, SUITE 200
 801743.8800 TEL. 801743.0800 FAX
 MURRAY, UT 84407
 WWW.NV5.COM

PRELIMINARY
 NOT FOR CONSTRUCTION

SHEET NUMBER
ET06

SCALE
 VERTICAL: 1" = 10'
 HORIZONTAL: 1" = 10'

JOB NUMBER
SLB0345

EXHIBIT D

DATE: 4/11/10 PM
 3/12/10
 NONE
 N:\SLB0345\CANNONS MAINT BLDG\IP\DRG SUBMITTALS\



NO.	BY	DATE	REVISIONS

CANYONS
MAINTENANCE YARD SITE
CUT/FILL EXHIBIT

DATE SUBMITTED: 3/12/2015
 PREPARED FOR: VAIL RESORTS

NV5
 6217 SOUTH STATE STREET, SUITE 200
 801743.8000 TEL. 801743.0800 FAX

PRELIMINARY
 NOT FOR CONSTRUCTION

SHEET NUMBER
C202

SCALE
 VERTICAL: 1" = 4'
 HORIZONTAL: 1" = 20'

JOB NUMBER
SLB0345

EXHIBIT B

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. The engineer's liability is limited to the design and construction of these plans.

CAUTION

MURRAY, UT 84407
 WWW.NV5.COM



April 21st, 2015

Tiffany Robinson, County Planner
Summit County Community Development Department
PO Box 128
Coalville, UT 84017

RE: The Canyons RVMA DRC Recommendation Letter – Parcel W.36/WWD4
New Ski Maintenance Building.

Ms. Robinson,

On March 17th, and April 21st, 2015, the Design Review Committee completed its final review of the new Ski Maintenance Facility Site and forwards the following positive recommendation subject to the attached conditions and considerations:

Documents included and part of the recommendation, are as follows:

- Site Plans stamped and dated April 17th, 2015.
- Plat Amendment stamped and dated April 17th, 2015.
- Land Use and Zoning Chart Amendment stamped and dated April 21, 2015.

1. Approval of amendments to existing plat.
2. Approval of amendments to Land Use and Zoning chart.
3. Final field revision of landscape plan with RVMA approval is required after framework is complete.
4. RVMA to approve field revision of proposed parking lot to reduce proposed slope.
5. A construction mitigation and management plan is finalized and re-submitted to the RVMA, along with a construction management agreement and escrow, prior to the County issuing a building permit.

6. Prior to building permit issuance the developer and their appointed general contractor will meet with the RVMA and Canyons maintenance and security team to discuss and agree on a construction plan. This plan will include construction staging, laydown, SWPP representative appointee, hours of operation, insurance, etc.
7. No more than 1 month prior to a request for a certificate of occupancy will the developer contact the RVMA in writing for a property inspection.

On behalf of
The Canyons Design Review Committee



Brian Madacsi
Executive Director, The Canyons RVMA

Copies to: Mauricio Pons
 Spencer White
 Mike Warren