

**CITY COUNCIL MEETING  
SEPTEMBER 3, 2015  
BLACKSMITH FORK VILLAS  
ASSISTED LIVING CENTER PUD  
PHASE 2 FINAL PLAT & SITE PLAN  
~680 EAST MAIN STREET**

**ZONING-** R-2 Allows PUD- Also title 17.28.005 indicates that this area would be appropriate for a senior housing PUD. The General Plan also calls for a higher density senior development in this block.

**UTILITIES-** The utilities are being built to city standards with the city taking over maintenance and operation of utilities when completed. The electrical, sewer and water will be installed off of the highway and 700 East.

**CURB, GUTTER, AND SIDEWALKS-** Curb & gutter will be installed with sidewalks running in front of the building.

**ROADS-** UDOT has approved access as shown. Roads in the development to be maintained by owner.

**PARKING-** Parking stalls are being proposed in front of the assisted living area. It appears that more parking could be added if needed.

**STORM WATER-** As shown. They will be responsible for maintenance of ponds.

**LANDSCAPPING-** Similar to what has been installed in Phase 1.

**FENCING-** Fencing will be installed around development except along Main Street in front of the assisted living building.

**BUILDINGS-** Elevations and floor plans as proposed.

**NOTES-** The Final Plat has been reviewed by city staff and recommended for approval. The construction drawings are being reviewed by the city engineer for his approval. This building will be two stories above ground. It has gone back and forth with the developer on whether it would be one or two stories. It was approved as two stories with the concept plan and left to the planning commission in the preliminary plat to approve the final building elevations. They said they have commitments already for 60% of the occupancy of the building. They believe it now needs to be two stories to accommodate the demand. A fence will be placed between residential and the assisted living unit. It might be a good idea to require some columnar type trees to be planted between the assisted living building and the residential property. The Planning Commission unanimously recommends approval of the building elevations and site plan.





# Blacksmith Fork Villas P.U.D. Phase 2

AN ACTIVE ADULT COMMUNITY FOR PERSONS 55 YEARS AND OLDER

A PART OF LOTS 7 AND 8, BLOCK 25, PLAT "D" OF THE HYRUM CITY SURVEY  
 ALSO  
 A PART OF THE SOUTHEAST QUARTER OF SECTION 4, T10N, R1E, S.L.B.&M.  
 HYRUM, CACHE COUNTY, UTAH



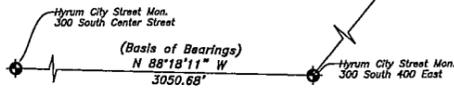
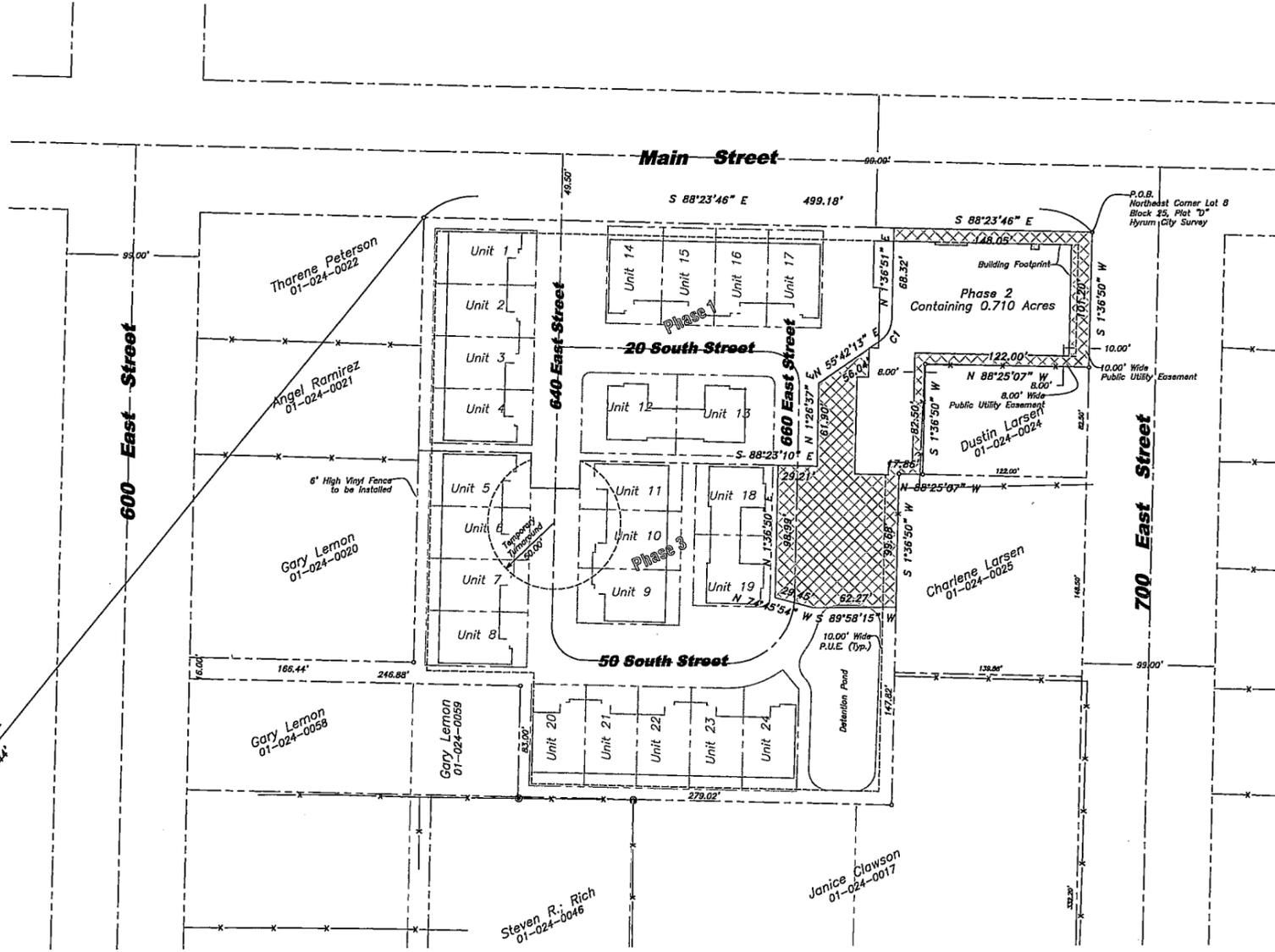
**Blacksmith Fork Villas**  
**SCALE 1"=50'**

**LEGEND:**

- PROPERTY LINE
- CENTERLINE
- - - PUBLIC UTILITY EASEMENT (P.U.E.)
- · - · - EDGE OF PAVEMENT
- · - · - DRIVE
- FENCE LINE
- Found Marker and Cap
- SET 3/8" REBAR W/ CAP
- Address
- Common Area

C1  
 A = 54°05'22"  
 R = 20.00'  
 L = 19.88'  
 LC = 18.19'  
 N 28°39'32" E

- Notes:**
- Zoning: R2-Residential/Multifamily Zone.
  - Total Acres-3.826  
 Phase 2 Acres-0.710 Acres  
 Number of Lots-1-0.710 Acres  
 Open Space-0.22 Acres  
 Road and Parking Area-0.15 Acres
  - A 10.00' wide public utility easement exists along the entire perimeter of this P.U.D. with the exception of directly east of the building where it is an 8.00' wide public utility easement.



Record Owners: HSD LLC  
 C/O Ryan Reeves  
 255 South Main Street  
 Logan, Utah 84321  
 Phone: (435) 213-9334

**SURVEYOR'S CERTIFICATE**

I, JEFF C. NIELSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 515288J AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH, I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS: BLACKSMITH FORK VILLAS P.U.D. PHASE 1 AND THE SAME HAS BEEN CORRECTLY SURVEYED AND ALL STREETS ARE THE DIMENSIONS SHOWN.

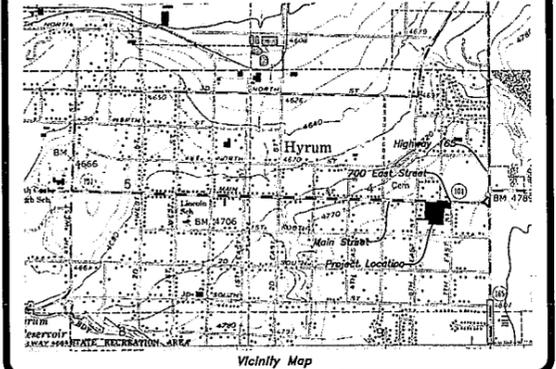
**Boundary Descriptions**

A PART OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 10 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, ALSO BEING A PART OF LOTS 7 AND 8 BLOCK 25, PLAT "D" OF THE HYRUM CITY SURVEY. BEGINNING AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE MAIN STREET (HIGHWAY 101) AND THE WEST RIGHT-OF-WAY LINE OF 700 EAST STREET, SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID LOT 8 AND RUNNING THENCE SOUTH 01°36'50" WEST, A DISTANCE OF 101.20 FEET ALONG THE SAID WEST RIGHT-OF-WAY LINE OF 700 EAST STREET; THENCE NORTH 88°25'07" WEST, A DISTANCE OF 122.00 FEET; THENCE SOUTH 01°36'50" WEST, A DISTANCE OF 82.50 FEET; THENCE NORTH 88°25'07" WEST, A DISTANCE OF 17.86 FEET; THENCE SOUTH 01°36'50" WEST, A DISTANCE OF 99.68 FEET; THENCE SOUTH 89°58'15" WEST, A DISTANCE OF 62.27 FEET; THENCE NORTH 74°45'54" WEST, A DISTANCE OF 29.45 FEET; THENCE NORTH 01°36'50" EAST, A DISTANCE OF 98.99 FEET; THENCE SOUTH 88°23'10" EAST, A DISTANCE OF 29.21 FEET; THENCE NORTH 01°26'37" EAST, A DISTANCE OF 61.90 FEET; THENCE NORTH 55°42'13" EAST, A DISTANCE OF 56.04 FEET TO A POINT OF CURVE TO THE LEFT HAVING A RADIUS OF 20.00 FEET AND A CENTRAL ANGLE OF 54°05'22"; THENCE NORTHEASTERLY ALONG THE ARC A DISTANCE OF 18.88 FEET CHORD BEARS NORTH 28°39'32" EAST 18.19 FEET; THENCE NORTH 01°36'51" EAST, A DISTANCE OF 68.32 FEET TO THE SAID SOUTH RIGHT-OF-WAY LINE; THENCE SOUTH 88°23'46" EAST, A DISTANCE OF 148.05 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING. CONTAINING 0.710 ACRES.



SIGNATURE

DATE



**FORESIGHT SURVEYING**  
 Professional Land Surveyors  
 2005 North 600 West Suite D  
 Logan, Utah 84321  
 (435) 753-1910 Office  
 (435-755-3213 Fax  
 14-9 Phase 2 Final.dwg 8/25/2015

**ACKNOWLEDGMENT**

state of UTAH  
 County of CACHE  
 on this \_\_\_\_\_ day of \_\_\_\_\_, 2015,  
 personally appeared before me, the undersigned notary public in and for said county of Cache, in the state of Utah, the signers of the attached owners dedication, \_\_\_\_\_, in numbers, who duly acknowledged to me they signed it freely and voluntarily and for the purpose therein mentioned.

NOTARY PUBLIC

**ACKNOWLEDGMENT**

state of UTAH  
 County of CACHE  
 on this \_\_\_\_\_ day of \_\_\_\_\_, 2015,  
 personally appeared before me, the undersigned notary public in and for said county of Cache, in the state of Utah, the signers of the attached owners dedication, \_\_\_\_\_, in numbers, who duly acknowledged to me they signed it freely and voluntarily and for the purpose therein mentioned.

NOTARY PUBLIC

**COUNTY SURVEYOR'S CERTIFICATE**

I CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED AND FIND THAT IT IS CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE, AND FURTHER, IT MEETS THE MINIMUM STANDARDS FOR PLATS REQUIRED BY COUNTY ORDINANCE AND STATE LAW.

DATE \_\_\_\_\_ CACHE COUNTY SURVEYOR \_\_\_\_\_

**CITY COUNCIL APPROVAL AND ACCEPTANCE**

PRESENTED TO THE HYRUM CITY COUNCIL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR \_\_\_\_\_ ATTEST \_\_\_\_\_

**CITY ENGINEERS CERTIFICATE**

I CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED AND THAT IT IS CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE.

DATE \_\_\_\_\_ CITY ENGINEER \_\_\_\_\_

**UTILITY COMPANY APPROVALS**

THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED

HYRUM CITY CULINARY WATER AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

HYRUM CITY SANITARY SEWER AUTHORITY \_\_\_\_\_ DATE \_\_\_\_\_

HYRUM CITY POWER \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

QUESTAR GAS \_\_\_\_\_ DATE \_\_\_\_\_

QUEST \_\_\_\_\_ DATE \_\_\_\_\_

**OWNERS DEDICATION**

THE UNDERSIGNED, BEING ALL OWNERS OF RECORD OF THE ABOVE-DESCRIBED PARCEL OF LAND TO BE SUBDIVIDED AND KNOWN AS: BLACKSMITH FORK VILLAS P.U.D. PHASE 2 AND DO HEREBY DEDICATE AND GRANT PERPETUAL EASEMENTS OVER, UNDER AND ACROSS THE AREAS SHOWN ON THIS PLAT AS COMMON AREAS FOR THE PERPETUAL USE OF THE PUBLIC AND TO HYRUM CITY, CACHE COUNTY, UTAH.

\_\_\_\_\_, HAVE EXECUTED THIS PLAT AND DEDICATION THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

**COUNTY RECORDERS NO. \_\_\_\_\_**

STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE REQUEST OF: \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ FEE: \_\_\_\_\_

BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

CACHE COUNTY RECORDER \_\_\_\_\_

**PLANNING COMMISSION APPROVAL**

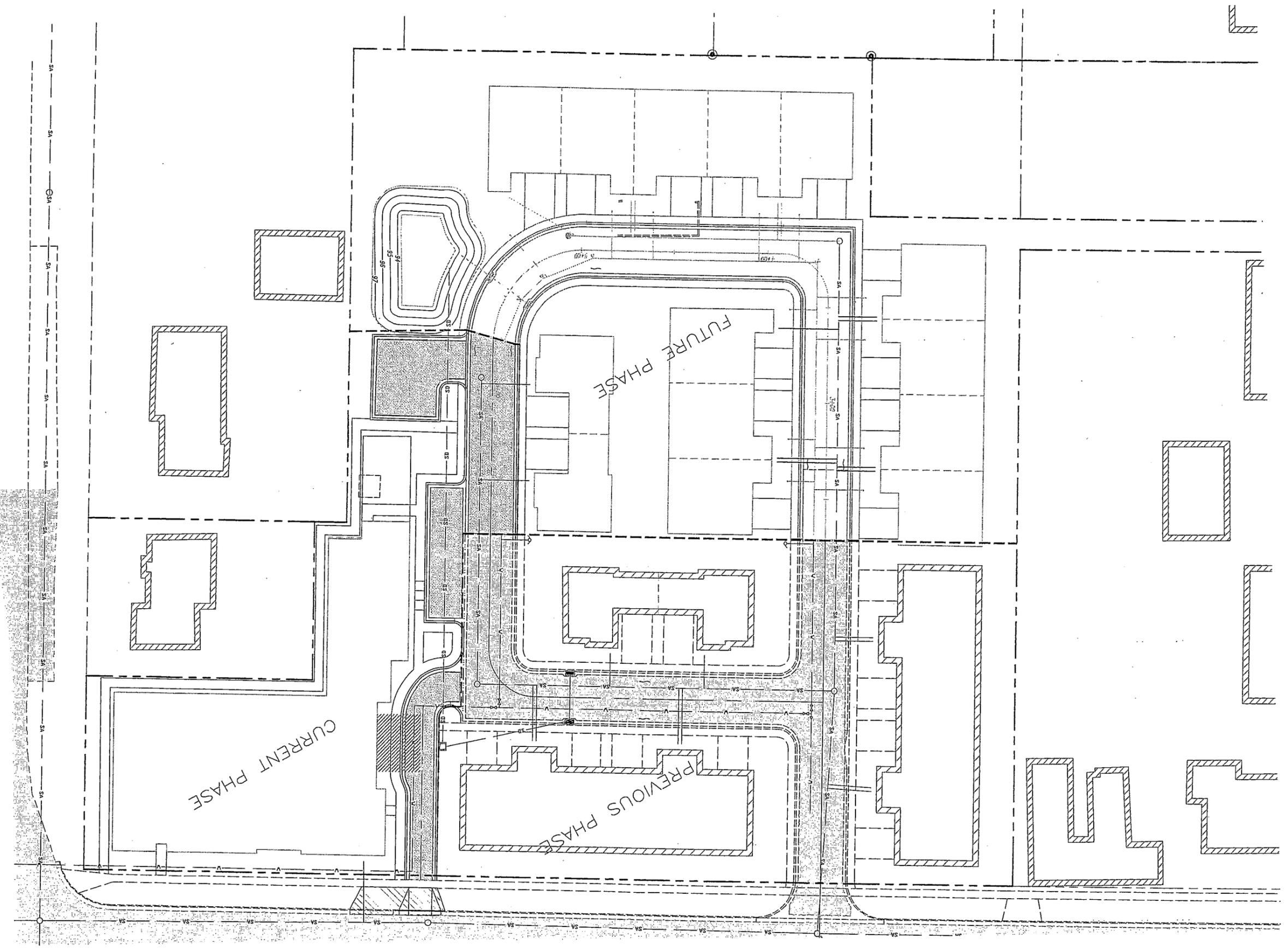
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015 BY THE HYRUM CITY PLANNING AND ZONING COMMISSION.

BY: \_\_\_\_\_ CHAIRPERSON

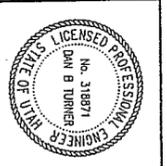
**CITY ATTORNEY APPROVAL**

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND APPROVE THE PLAT AS TO FORM AS REQUIRED BY STATE LAW AND CITY ORDINANCE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

DATE \_\_\_\_\_ HYRUM CITY ATTORNEY \_\_\_\_\_



**Turner Design Engineering, Inc.**  
 CIVIL ENGINEERING & LAND PLANNING  
 60 E. CENTER #210 LOGAN, UT, 84321  
 (435) 752-1669 (435) 770-2240



SANITARY SEWER AND WATER PLAN  
**BLACKSMITH FORK VILLAS**  
 A RETIREMENT AND ASSISTED LIVING COMMUNITY  
 HYRUM, UTAH

Revisions

Job Number	14-003
Sheet	1 of 1
Date	July 19, 2015
Scale	1" = 30'
Designed by	D.T.
Drawn by	D.T.

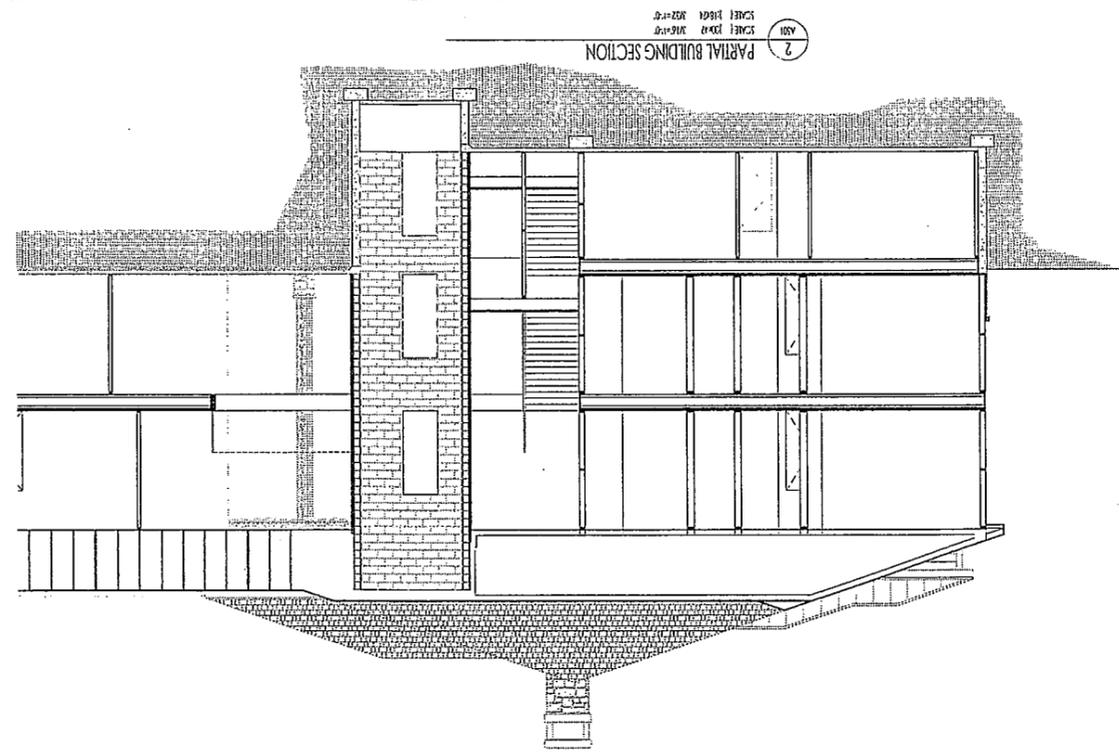
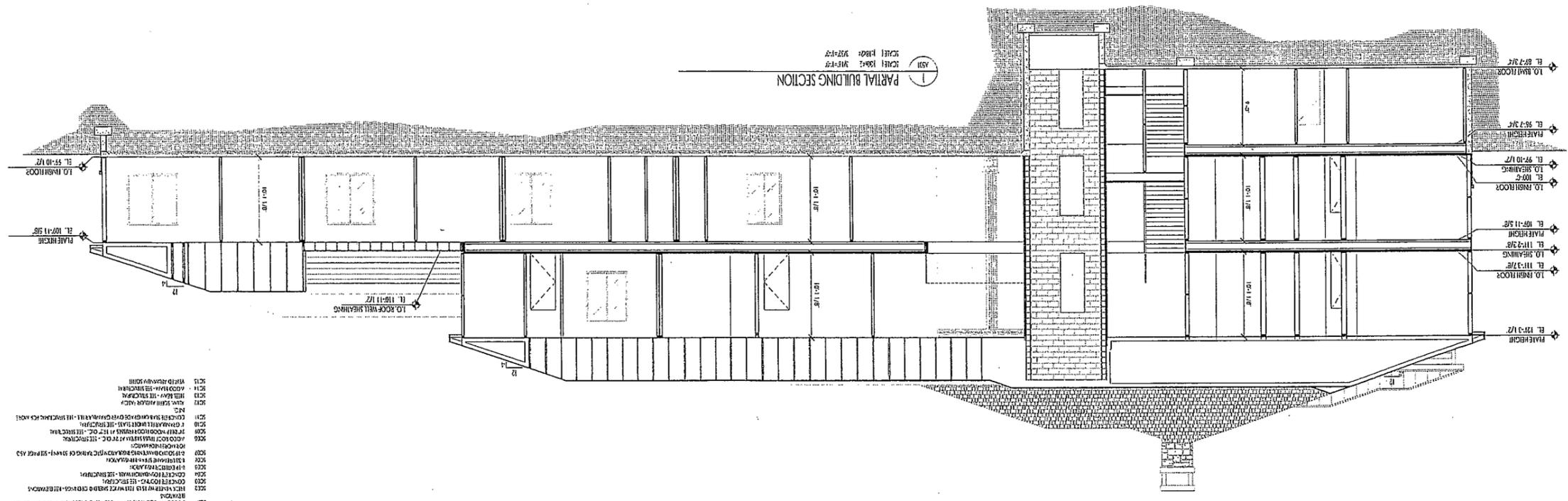
SHEET NO. AE2014.048  
 DATE: 6/10/2015  
 SCALE: AS NOTED  
 DRAWN BY: SJ  
 CHECKED BY:

BUILDING SECTIONS

**BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.**  
 ADDRESS  
 HYRUM, UTAH

**aeurbia**  
 architects and engineers  
 2875 SOUTH DEWEY LANE SUITE 100  
 HYRUM, UTAH 84307  
 Phone: 801.746.0456 • Fax: 801.575.6456  
 www.aeurbia.com

**KEY NOTES (SECTIONS)**  
 2001. SECTION THROUGH SECTION WITH 1/2" SECTION & 1/4" SECTION  
 2002. FINISHES  
 2003. INTERIORS - SEE EXHIBIT  
 2004. EXTERIORS - SEE EXHIBIT  
 2005. CONCRETE FOUNDATION - SEE EXHIBIT  
 2006. EXTERIOR FINISHES - SEE EXHIBIT  
 2007. INTERIOR FINISHES - SEE EXHIBIT  
 2008. ROOFING - SEE EXHIBIT  
 2009. MECHANICAL - SEE EXHIBIT  
 2010. ELECTRICAL - SEE EXHIBIT  
 2011. PLUMBING - SEE EXHIBIT  
 2012. GLASS - SEE EXHIBIT  
 2013. METALS - SEE EXHIBIT  
 2014. WOOD - SEE EXHIBIT  
 2015. OTHER FINISHES - SEE EXHIBIT



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**A216**  
 SHEET NO.  
 DATE: 01/07/13  
 SCALE: AS SHOWN  
 DRAWN BY: JL  
 CHECKED BY:

**AE2014.048**  
 ENLARGED BSMT FLOOR  
 DIMENSION PLAN

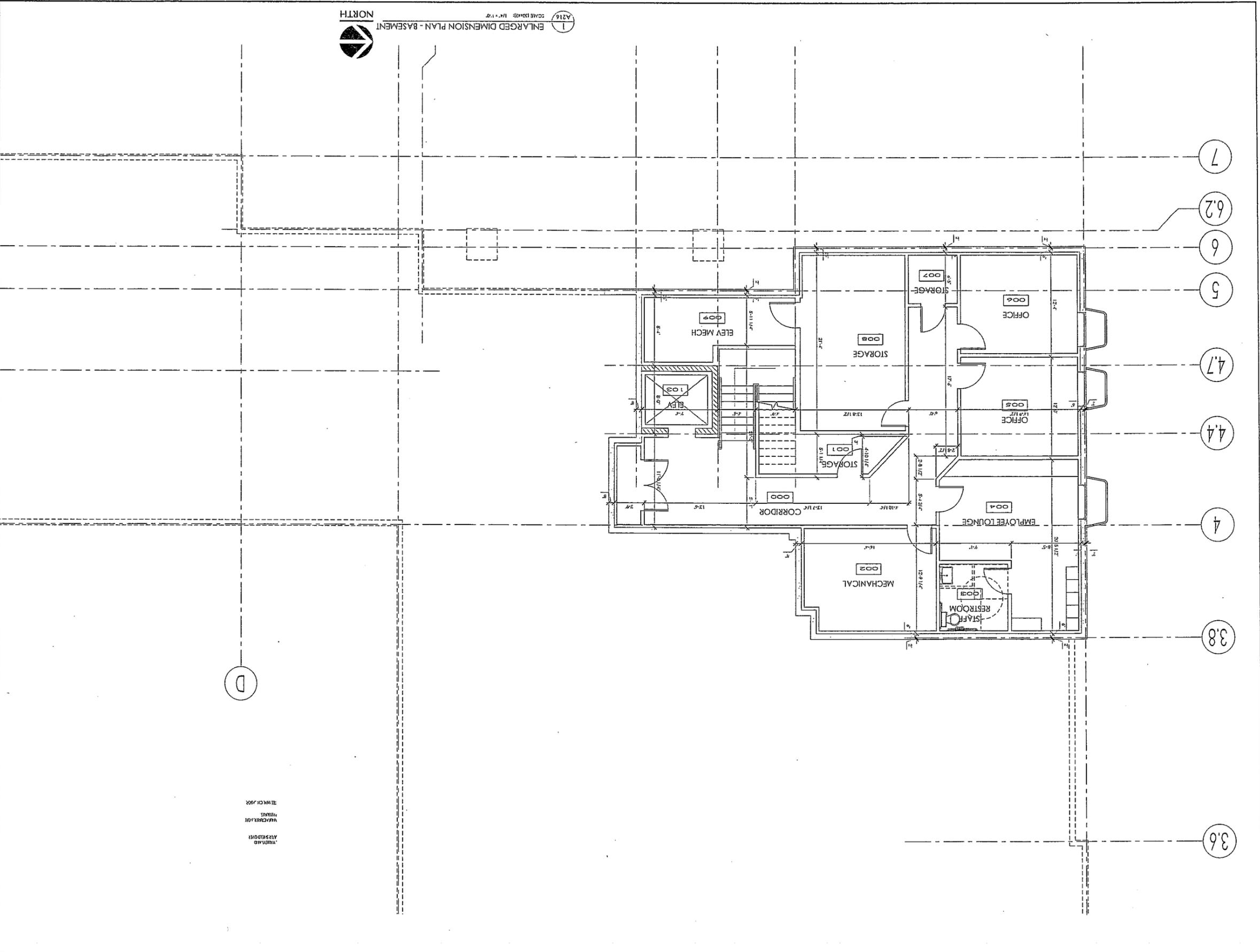
**BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.**  
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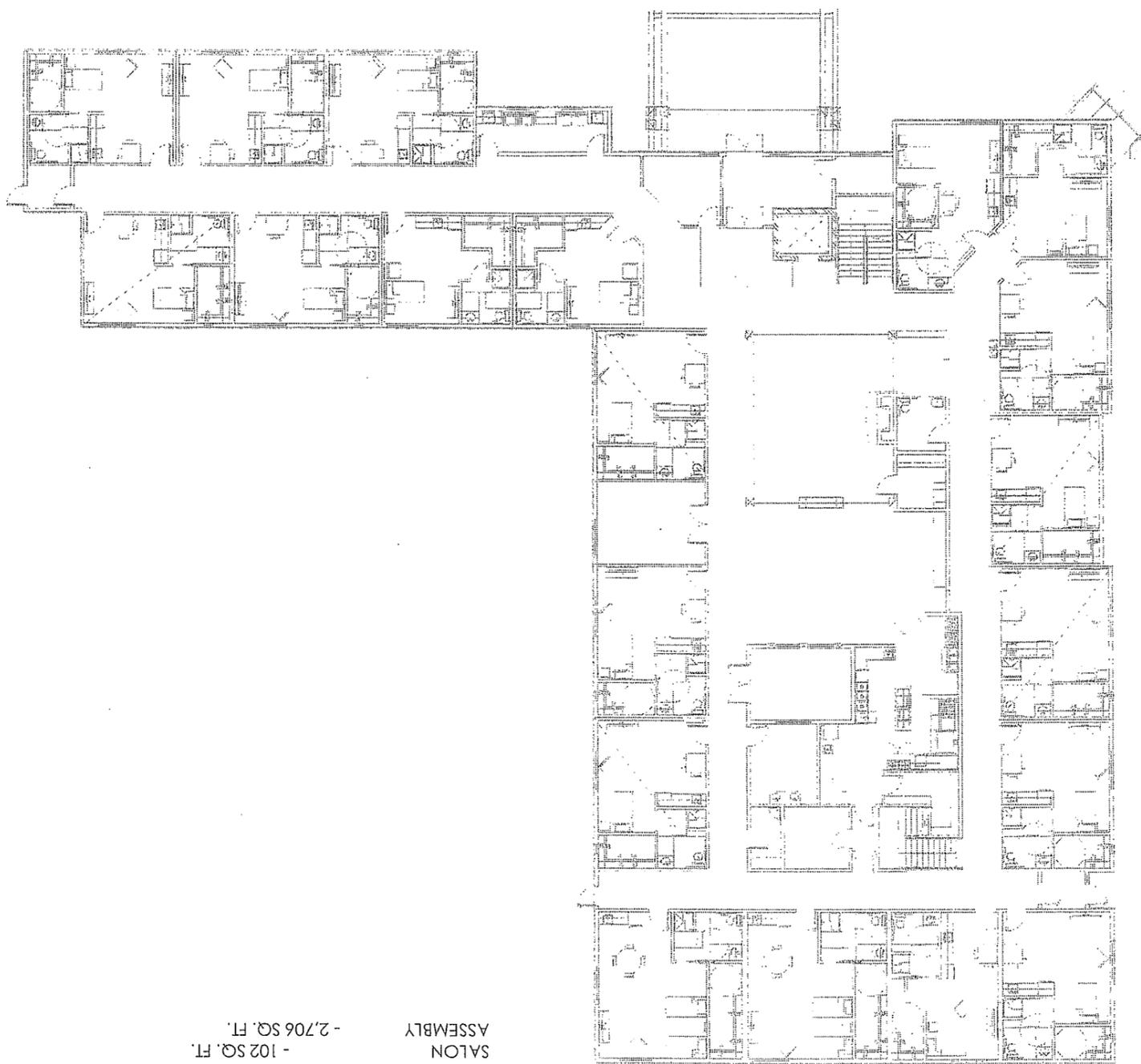
**aeurbia**  
 architects and engineers  
 2725 south dacker lake drive, suite 275  
 salt lake city, utah 84119  
 phone: 801.746.0456 - fax: 801.575.6456  
 www.aeurbia.com

1 ENLARGED DIMENSION PLAN - BASEMENT  
 SCALE: 1/4" = 1'-0"  
 NORTH



VENTILATION  
 MECHANICAL  
 ELECTRICAL





1  
 MAIN FLOOR EXITING AND EGRESS PLAN  
 SCALE: 1/8" = 1'-0"  
 SHEET 10/01

**LEGEND**  
 = CONTOUR OF EGRESS ISLAND  
 = EXIT ACCESS TRAVEL  
 = EXIT LOCATION - SEE REFERENCED DRAWING PLAN FOR ACTUAL LOCATION OF ALL EXITS  
 = OCCUPANCY COUNT

**NOTE:**  
 = THE MAXIMUM OF THIS BUILDING DIMS ON GRADE

- KITCHEN - 603 SQ. FT.
- DINING - 2,406 SQ. FT.
- SLEEPING UNITS - 9,859 SQ. FT.
- OFFICE - 1,012 SQ. FT.
- STORAGE/MECH - 645 SQ. FT.
- COMMON CORRIDOR - 3,299 SQ. FT.
- SALON - 102 SQ. FT.
- ASSEMBLY - 2,706 SQ. FT.

REVISIONS  
 DRAWN BY: SM  
 DATE: 07/10/2015  
 SHEET NO: 10/01

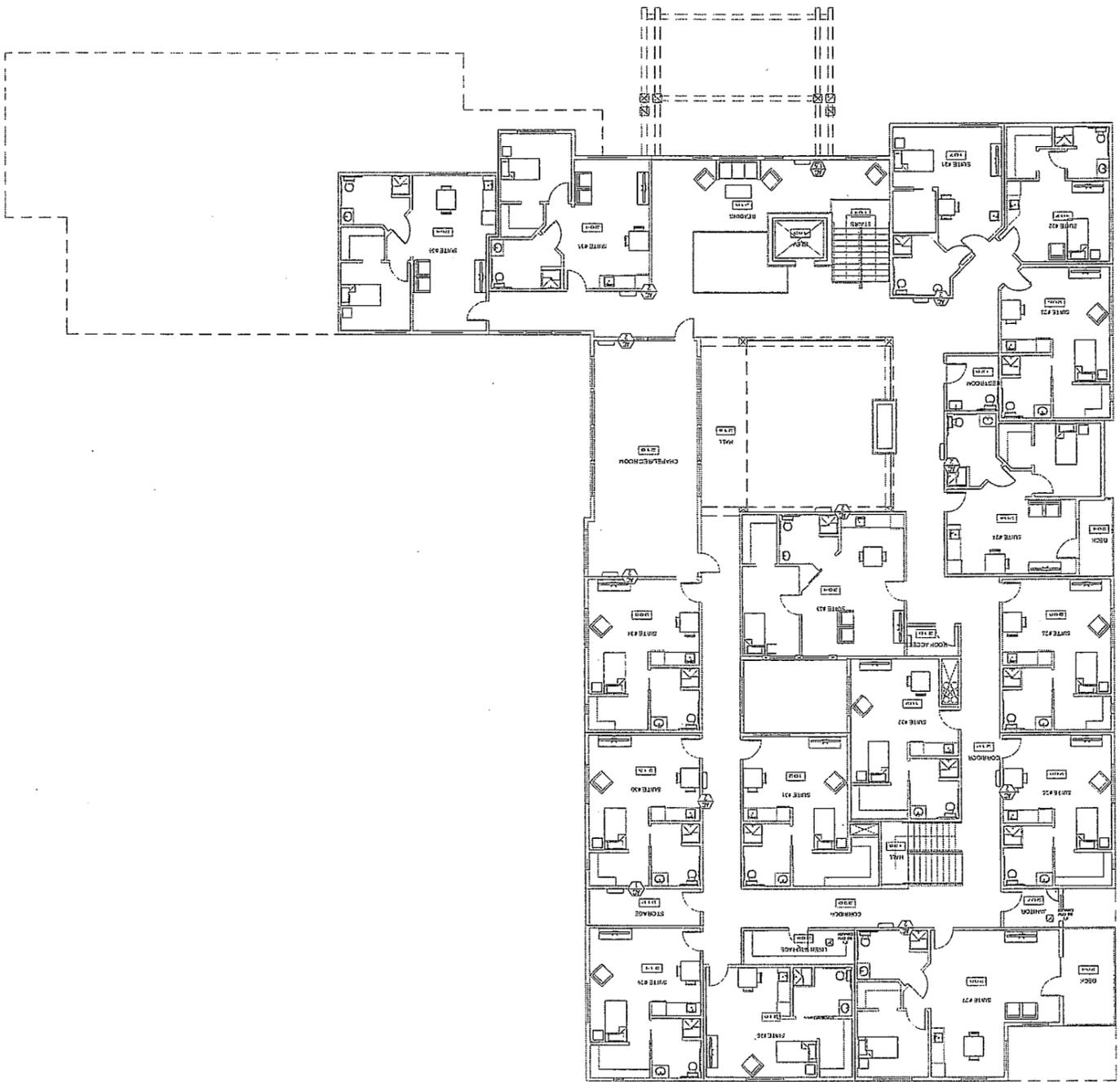
AE2014.048  
 MAIN FLOOR EXITING AND EGRESS PLAN

BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.  
 ADDRESS  
 HYRUM, UTAH



**aeurbia**  
 architects and engineers  
 2875 south decker lake drive, suite 275  
 hogan, utah 84043  
 phone: 801.260.0450 fax: 801.292.4455  
 website: aeurbia.com

SECOND FLOOR MECHANICAL PLAN  
SCALE: 1/8" = 1'-0"



ROYAL ENGINEERING  
MECHANICAL  
PROFESSIONAL ENGINEER  
230 SOUTH STATE STREET  
SALT LAKE CITY, UTAH 84111  
PHONE: 378-1111  
FAX: 378-1111  
WWW.ROYAL-ENGINEERING.COM

DATE: 6/9/2015  
SCALE: AS SHOWN  
SHEET NO. M3.1

AE2014.048  
SECOND FLOOR  
MECHANICAL FLOOR  
PLAN

BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.  
HYRUM, UTAH

PRELIMINARY  
NOT FOR  
CONSTRUCTION

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