



**EAGLE MOUNTAIN CITY**  
City Council Staff Report  
SEPTEMBER 1, 2015

*Project:* **Sweetwater Industrial Park – Master Site Plan**  
*Applicant:* Mike Wren  
*Type of Action:* Action Item

**Planning Commission Recommendation**

On August 25 the Planning Commission held a public hearing, reviewed this application, and recommended approval to the City Council (4-0) with the following conditions:

1. *Easements are required for off-site storm drain lines.*
2. *Storm drain detention required for each lot.*
3. *A street light plan shall be submitted for the project in compliance with EMMC Chapter 15.70.090D.*
4. *All outdoor lighting shall comply with EMMC Chapter 17.56.*
5. *Parking for each site plan shall comply with EMMC Chapter 17.55.*
6. *Street trees shall be required in the park strip with each individual site plan.*
7. *Landscaping plans shall comply with the standards in the City Code.*
8. *Fencing and screening of outdoor uses shall be reviewed with each individual site plan.*
9. *The project must comply with the height limits found in the City Code.*
10. *Exhibit A, "Special Development Standards," applies to the property designated on the approved plans (within ¼ mile of the wastewater treatment plant, excluding property within 200 feet of Pony Express Parkway).*

**PROPOSAL**

The proposed Sweetwater Industrial Park includes 213.62 acres, located west of Pony Express Parkway and north of the Wastewater Treatment Facility and the City's Community Development Building.

| PLAT CALCULATIONS |              |
|-------------------|--------------|
| TOTAL ACREAGE:    | 213.62 ACRES |
| PHASE 1 ACREAGE:  | 65.80 ACRES  |

Chapter 17.100.040D of the City Code allows industrial master site plans to serve as a preliminary plat (see below). The applicant wants to plan the main infrastructure for the industrial subdivision, and then subdivide specific lots with a final plat when the buyer determines the necessary lot size for their use. With so many varied needs among industrial users, it is difficult to determine the necessary lot size upfront throughout a development.

*D. Industrial Master Site Plans Serving as Preliminary Plat. The preliminary plat process described in Chapter 16.20 EMMC may not be required if an industrial master site plan, while going through the initial approval process, complies with the following criteria:*

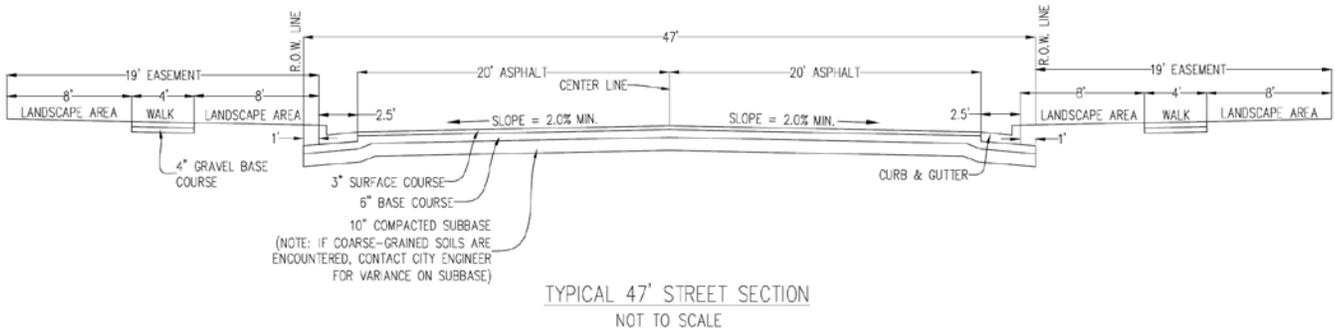
1. *A preliminary arrangement of larger blocks of land – later to be subdivided during the final plat process – is included.*
2. *All required utilities, storm drainage, landscaping, access and circulation requirements, and other aspects of the eventually built-out project are addressed sufficiently with the master site plan.*

3. The city is not responsible if, over time, the industrial project is unable to service a possible user due to undersized utilities, roadways, or other infrastructure. If upgrades to such facilities are necessary, they will be borne solely by the applicant.

## **Noteworthy Items / Items to Consider**

### **1. Roads**

The applicant is proposing an alternative road cross-section within the project which contains additional asphalt (40 feet total asphalt). The proposal is for a 47-foot cross-section, with 19 additional feet of sidewalks and landscaping on each side in easements. The additional asphalt is appropriate in an industrial area, with increased truck traffic. This is a unique proposal, as generally the entire street cross-section is included in the public right-of-way rather than easements.



### **2. Design Standards / Phasing**

A phase line is included on the plans, depicting the area with proposed decreased architectural standards. As you can see, this area excludes the first 200 feet from Pony Express Parkway, along with a majority of the northern portion of the project. The purpose of these standards is to provide for uses which might otherwise be undesirable due to their proximity to the odor and stigma of locating near a wastewater treatment facility. With reduced design standards, this area may allow for industrial and business opportunities with reduced costs of business, thereby enticing such uses that otherwise would not locate near the treatment facility. It will provide a buffer zone between the wastewater facility and higher end industrial businesses. The proposed standards are attached to this report, but here are some of the items proposed:

- Minimum front setback of 20 feet; other setbacks TBD.
- City's architectural standards don't apply.
- Metal buildings are allowed.
- The front elevations of each building with a front office shall have at least two colors and two textures, including brick, rock, stucco, or other texture.
- The front parking lots and driveway entrances shall be required to be asphalted.
- Landscaping shall be required along the road right-of-way of each lot with at least two trees and sod, with irrigation system, and may include some xeriscape areas.

The City Council will have to decide if all aspects of these proposed reduced standards are appropriate. See Exhibit A for details.

### **3. Lighting**

The applicant has agreed to comply with the City's outdoor lighting standards. Lighting plans and specs will be reviewed with each individual site plan. The applicant must submit a street lighting plan that includes street light locations in accordance with the standards in EMMC Chapter 15.70.090D Street Lighting.

### **4. Parking**

The applicant has agreed that all site plans must comply with the City's parking requirements in EMMC Chapter 17.55.

## **5. Landscaping**

Staff recommends that landscaping plans comply with the City's code requirements, including numbers of trees, shrubs, and irrigation standards. Street trees should be placed in the park strips a maximum of 40 feet apart.

## **6. Screening/Fencing**

Fencing and screening of outdoor storage areas will be reviewed with each site plan application.

## **7. Easements**

Easements are required for all off-site utilities.

### **ATTACHMENTS:**

- Master Site Plans
- Exhibit A - Special Development Standards
- Exhibit B - Proposed Street Cross Section

# ***EXHIBIT 'A'***

## **SPECIAL DEVELOPMENT STANDARDS SWEETWATER INDUSTRIAL PARK**

This Agreement contains land use provisions for the development of industrial and other uses, on lands owned by the applicant that are within one quarter mile of the existing wastewater treatment plant property.

The purpose of this Agreement is to provide for uses of the property which might otherwise be undesirable due to their proximity to the odor and stigma of locating near a wastewater treatment plant. This zone will provide an environment that provides allows for industrial and business opportunities with reduced costs of business, thereby enticing such uses that otherwise would not locate near the wastewater treatment plant. The resulting land uses will thus provide a buffer zone between the wastewater plant and higher end business and industrial uses.

The following land uses, and other such similar uses, shall be permitted uses in the Special Standards Industrial Development Park:

Research and development uses, including medical or electronic assembly and associated light manufacturing;  
Retail establishments such as warehouse operations, construction related businesses, lumber, hardware, etc;  
Fitness and recreation;  
Public and private utility structures or facilities (including communications towers);  
Public buildings;  
Printing and publishing establishments;  
Airport related uses;  
Aircraft sales, manufacturing, assembly and service operations or other aviation services;  
Automobile gas/service stations;  
Light manufacturing and assembly;  
Auto and truck repair, including auto body;  
Contract construction services establishments;  
Commercial laundries;  
Distribution facilities;  
Self-storage or mini-storage units;  
Manufactured Homes Developments;  
Communications facilities and towers;  
Portable storage containers;  
Manufacturing and Electronic Data Management businesses;  
Recycling facilities;

The following business shall be prohibited:

Sexually oriented businesses  
Commercial Animal Farms  
Vehicle wrecking yards or junk yards

There is no minimum lot size requirement for developments in this district. However, all uses, lots or parcels in this zone shall be of sufficient size to assure compliance with applicable fire and health codes that may govern all or a portion of each project. There shall be no minimum frontage width requirements along a street or road.

Setback requirements between buildings and property lines will be as required by applicable fire codes that may govern all or a portion of each project. Front setback shall be a minimum of 20' from the right of way line as shown on Exhibit 'B'.

Buildings are permitted up to a height limit mandated by City Code and imposed by applicable state or federal regulations related to construction near airports or other state or federally regulated uses.

This area is exempt from the City's architectural design standards found in Chapter 17.72 of the City Code, along with other references to architectural standards in other sections.

The Special Standards Industrial Development Park shall be under the regulations of a Business Owner's Association. The Association shall be responsible for maintenance of the landscaping areas within the Park.

In order to encourage efficient development and investment, the primary responsibility for building design and configuration shall be that of the Business Owners Association, as defined by the covenants, conditions, and restrictions imposed on the property involved and recorded at the office of the Utah County Recorder.

The public services within the Park, such as sewer and water mains, gas and electric facilities, communications, and other such services shall be the granted the necessary right of way and easements for the maintenance, inspection and operation of those services.

Street Cross Sections and landscaping requirements shall be as identified on the approved plans, Exhibit 'B'.

Metal Buildings are allowed.

All applicable Fire and Building Codes shall apply.

The front elevations of each building with a front office shall have at least two colors and two textures, including brick, rock, stucco or other texture.

The front parking lots and driveway entrances shall be required to be asphalted.

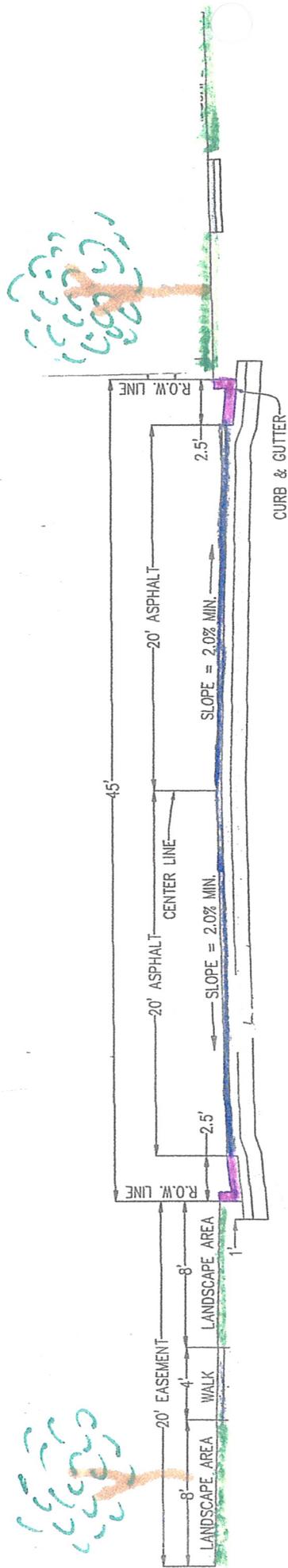
The Business Owner's Association shall be responsible to enforce the standards of the Conditions, Covenants and Restrictions which will be recorded on the property.

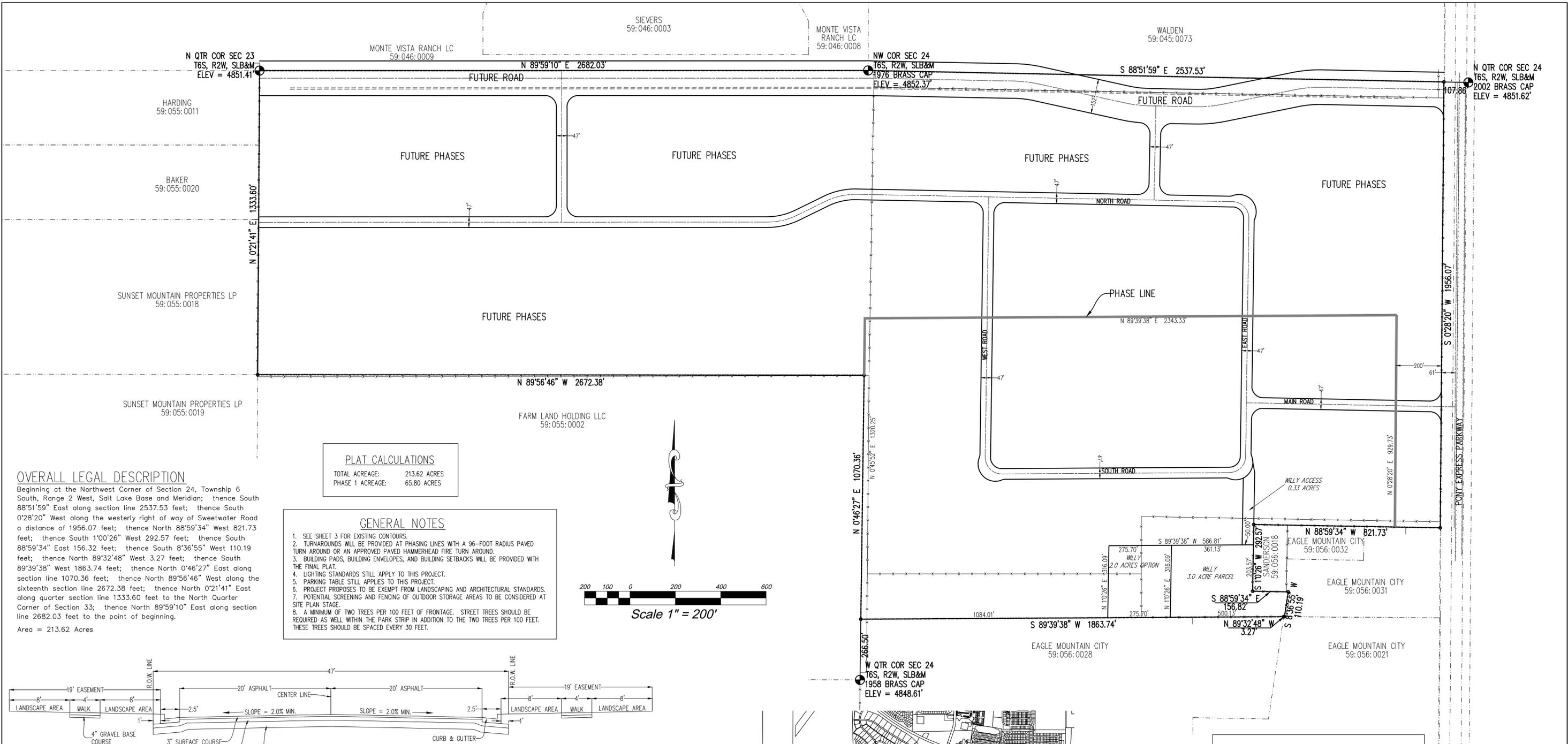
Landscaping shall be required along the road right of way of each building and shall include street trees in the park strip, at least two trees (minimum caliper of 2") and sod on the property, with irrigation system, and may include some xeriscape areas. The areas shall be maintained by the Business Owner's Association. See Exhibit 'B' for typical landscaping detail. Landscaping shall comply with the standards found in the City Code.

# EXHIBIT 'B'

## SPECIAL DEVELOPMENT STANDARDS SWEETWATER INDUSTRIAL PARK

### Typical Street Landscaping and Utility Easement





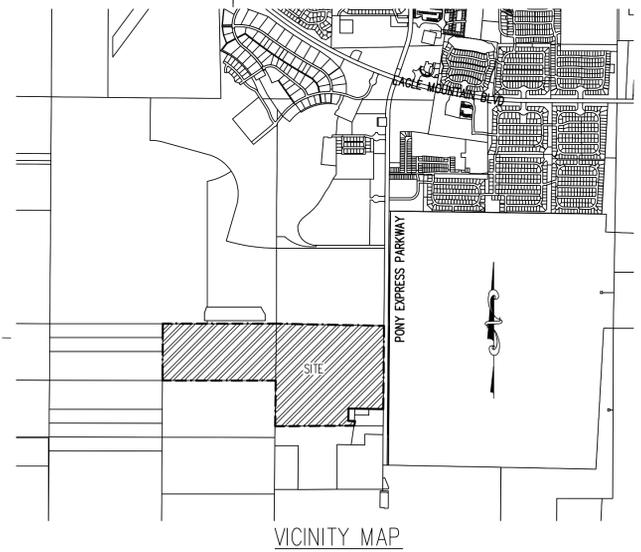
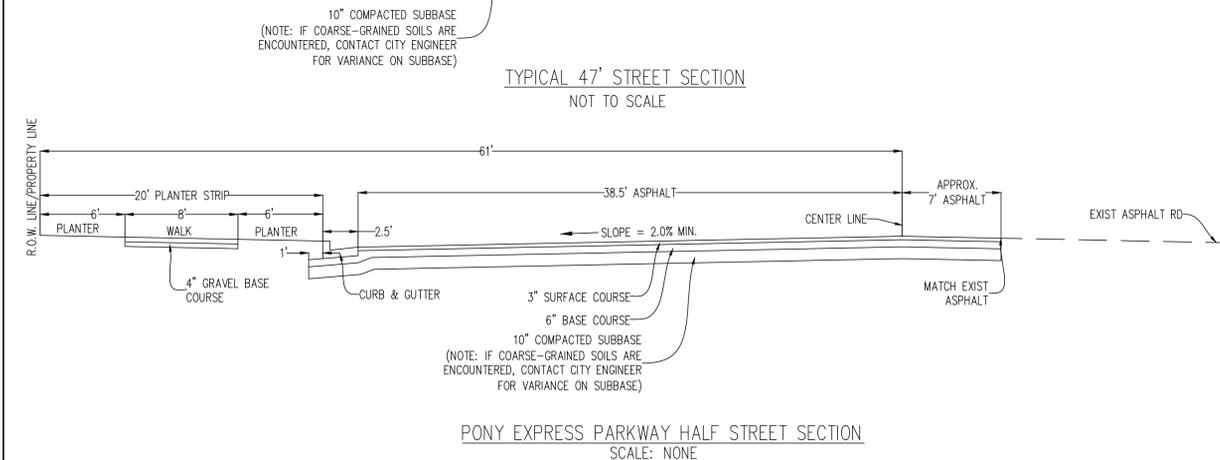
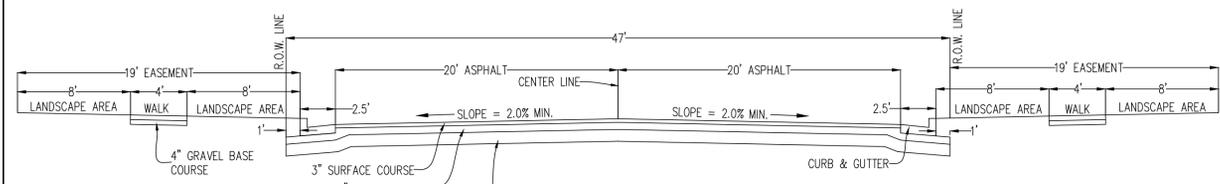
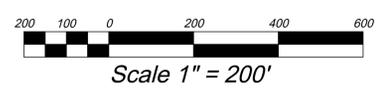
**OVERALL LEGAL DESCRIPTION**

Beginning at the Northwest Corner of Section 24, Township 6 South, Range 2 West, Salt Lake Base and Meridian; thence South 88°51'59" East along section line 2537.53 feet; thence South 0°28'20" West along the westerly right of way of Sweetwater Road a distance of 1956.07 feet; thence North 88°59'34" West 821.73 feet; thence South 1°00'26" West 292.57 feet; thence South 88°59'34" East 156.32 feet; thence South 8°36'55" West 110.19 feet; thence North 89°32'48" West 3.27 feet; thence South 89°39'38" West 1863.74 feet; thence North 0°46'27" East along section line 1070.36 feet; thence North 89°56'46" West along the sixteenth section line 2672.38 feet; thence North 0°21'41" East along quarter section line 1333.60 feet to the North Quarter Corner of Section 33; thence North 89°59'10" East along section line 2682.03 feet to the point of beginning.  
Area = 213.62 Acres

**PLAT CALCULATIONS**

|                  |              |
|------------------|--------------|
| TOTAL ACREAGE:   | 213.62 ACRES |
| PHASE 1 ACREAGE: | 65.80 ACRES  |

- GENERAL NOTES**
- SEE SHEET 3 FOR EXISTING CONTOURS.
  - TURNAROUNDS WILL BE PROVIDED AT PHASING LINES WITH A 96-FOOT RADIUS PAVED TURN AROUND OR AN APPROVED PAVED HAMMERHEAD FIRE TURN AROUND.
  - BUILDING PADS, BUILDING ENVELOPES, AND BUILDING SETBACKS WILL BE PROVIDED WITH THE FINAL PLAT.
  - LIGHTING STANDARDS STILL APPLY TO THIS PROJECT.
  - PARKING TABLE STILL APPLIES TO THIS PROJECT.
  - PROJECT PROPOSES TO BE EXEMPT FROM LANDSCAPING AND ARCHITECTURAL STANDARDS.
  - POTENTIAL SCREENING AND FENCING OF OUTDOOR STORAGE AREAS TO BE CONSIDERED AT SITE PLAN STAGE.
  - A MINIMUM OF TWO TREES PER 100 FEET OF FRONTAGE. STREET TREES SHOULD BE REQUIRED AS WELL WITHIN THE PARK STRIP IN ADDITION TO THE TWO TREES PER 100 FEET. THESE TREES SHOULD BE SPACED EVERY 30 FEET.



- SHEET INDEX**
- SPECIAL STANDARDS AREA OVERALL SITE PLAN
  - SPECIAL STANDARDS AREA PRELIMINARY UTILITY PLAN
  - SPECIAL STANDARDS AREA PRELIMINARY GRADING & DRAINAGE PLAN

**REVISIONS**

| Rev. | Date     | Description              |
|------|----------|--------------------------|
| 1    | 07/09/15 | REVISED PER DRC COMMENTS |

AZTEC ENGINEERING, INC.  
491 NORTH 450 WEST  
OREM, UTAH 84057  
(801) 224-7308

**Developer/Property Owner:**  
Mike Wren  
Phone: (801) 636-5948

**EXCE ENGINEERING**  
David W. Peterson, P.E., License #270393  
12 West 100 North, Suite 201, American Fork, UT 84003  
P: (801) 756-4504, F: (801) 756-4511

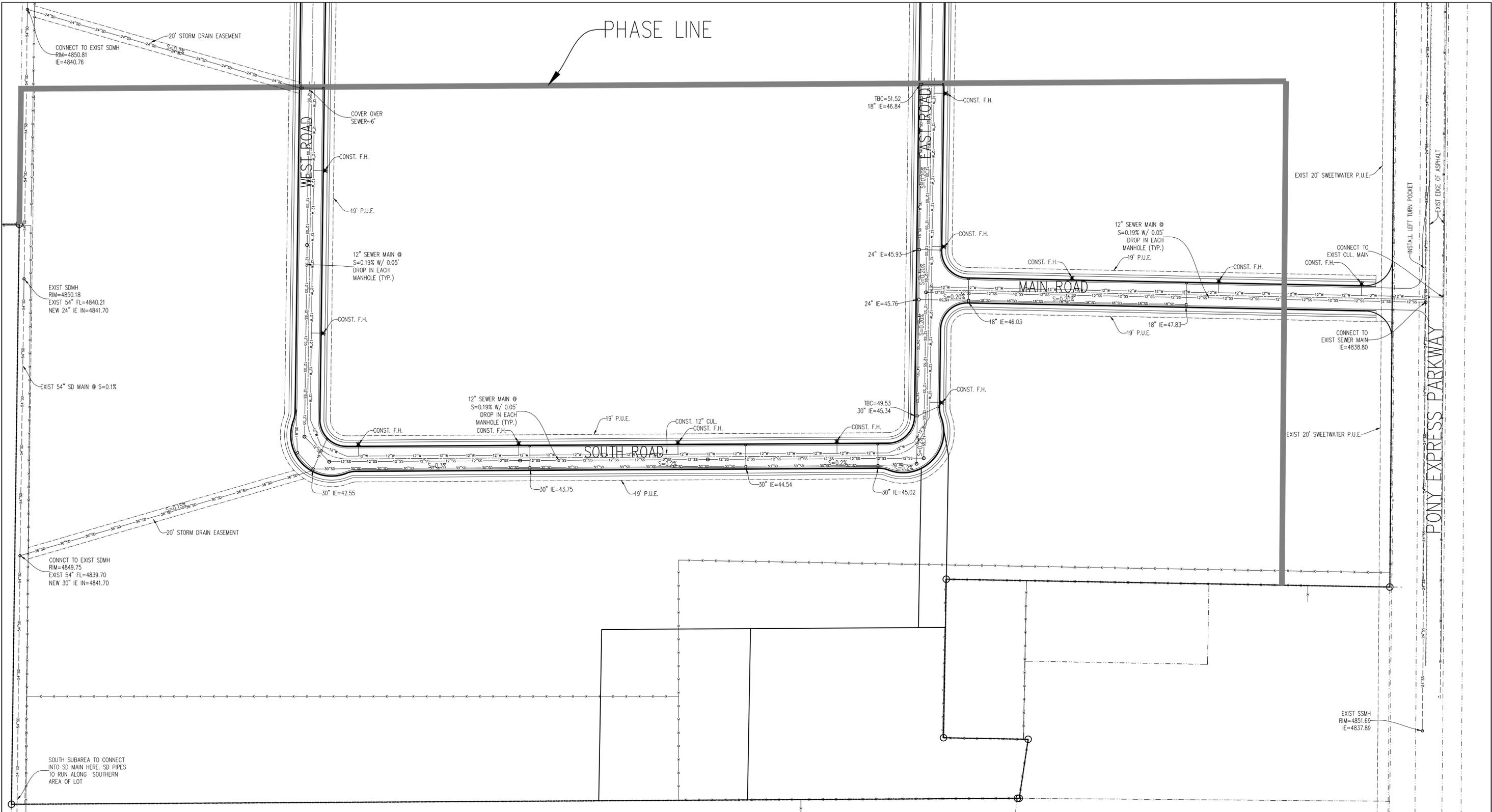
**SWEETWATER INDUSTRIAL SITE PLAN**

EAGLE MOUNTAIN UTAH

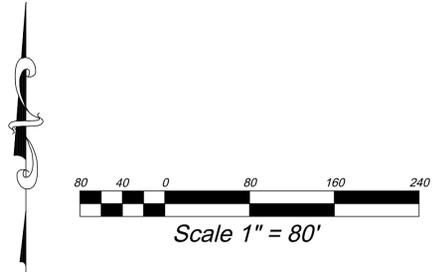
**SPECIAL STANDARDS AREA OVERALL SITE PLAN**

LOCATED IN SECTIONS 23 & 24, TOWNSHIP 6 SOUTH, RANGE 2 WEST, SLB&M

Scale: 1"=200'  
Date: 04/22/15  
1 OF 3



**FIRE FLOW NOTE**  
 1. FIRE FLOW ANALYSIS IS REQUIRED ON COMPLETION OF DEVELOPMENT INFRASTRUCTURE.

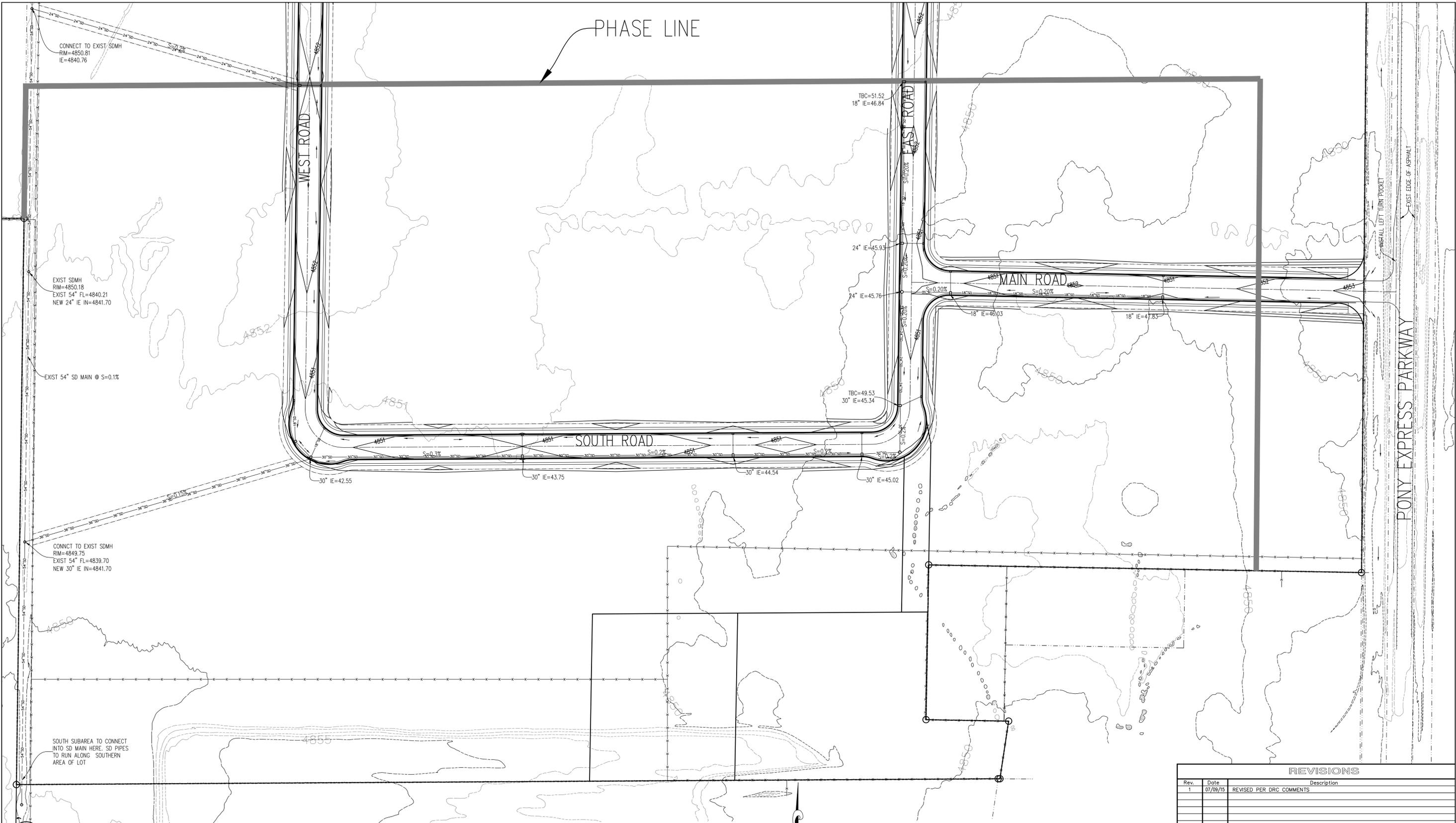


| REVISIONS |          |                          |
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|  |  |                |
|--|--|----------------|
| <b>SWEETWATER INDUSTRIAL SITE PLAN</b> |  | UTAH           |
| EAGLE MOUNTAIN                         |  | Scale: 1"=80'  |
| Drawn by:<br>G.J.Y.                    | <b>SPECIAL STANDARDS AREA<br/>PRELIMINARY UTILITY PLAN</b> | Date: 04/22/15 |
| Designed by:<br>G.J.Y.                 |  | 2 OF 3         |
| Checked by:<br>D.W.P.                  |  |                |

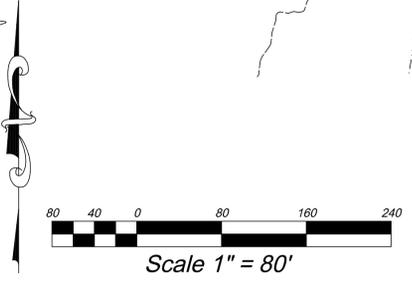


**EROSION CONTROL NOTES:**

1. EACH PHASE OF CONSTRUCTION WILL ADHERE TO THE FOLLOWING EROSION CONTROL PRACTICES
2. CONSTRUCT A SILT FENCE AROUND PERIMETER OF DOWNSTREAM PORTIONS OF EACH PHASE.
3. INSTALL A CONSTRUCTION ENTRANCE FOR EACH PHASE.
4. CONSTRUCT STORM DRAIN FACILITIES AND INSTALL INLET PROTECTION AFTER INSTALLATION.
5. IMPLEMENT DUST CONTROL MEASURES FOR EACH PHASE.
6. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.

**GRADING NOTES:**

1. EITHER DETENTION OR RETENTION WILL BE PROVIDED FOR THIS SUBDIVISION. PIPES ARE SIZED FOR 10-YEAR EVENT. SEE SEPARATE STORM DRAIN REPORT FOR CALCULATIONS.
2. THERE ARE NO FLOOD HAZARDS IN THIS PROJECT.
3. MASTER DRAINAGE PLANS TO BE APPROVED AND FOLLOWED BY BUILDERS.
4. SOILS REPORTS ARE REQUIRED FOR EACH FUTURE SITE PLAN.



| REVISIONS |          |                          |
|-----------|----------|--------------------------|
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| 1         | 07/09/15 | REVISED PER DRC COMMENTS |
|           |          |                          |
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**SWEETWATER INDUSTRIAL SITE PLAN**

EAGLE MOUNTAIN UTAH

Scale: 1"=80'

Drawn by: G.J.Y.  
Designed by: G.J.Y.  
Checked by: D.W.P.

**SPECIAL STANDARDS AREA  
PRELIMINARY GRADING &  
DRAINAGE PLAN**

Date: 04/22/15

3 OF 3