

REQUEST FOR COUNCIL ACTION

SUBJECT: Ratification of Density for the Addenbrook Village Sub-area Preliminary Development Plan

SUMMARY: Addenbrook Village Sub-Area Preliminary Development Plan; approximately 6111 West 7800 South; Ratification of Planning Commission Approval of Development Plan and associated Density; MFR Zone; Garbett Land Investments, LC (applicant) [Ray McCandless DP20140004; parcels 20-35-100-022, 023; 20-35-200-037]

FISCAL IMPACT: None.

STAFF RECOMMENDATION:

Based on the requirements listed in the Zoning Ordinance, staff recommends that the City Council ratify the Planning Commission's approval of the Addenbrook Village Sub-area Preliminary Development Plan located at approximately 6111 West 7800 South with a residential density of 6.22 dwelling units per acre (gross) and 6.30 dwelling units per net acre for a total of 41 single-family dwellings, 36 twin homes and 103 town homes for a total of 180 dwelling units subject to the following conditions:

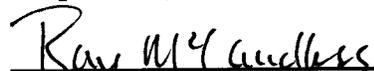
1. The Final Development Plan shall be updated to reflect the buy up points and densities approved by the Planning Commission and City Council.
2. The Final Development Plan shall be updated to show all other requirements as approved by the Planning Commission.

MOTION RECOMMENDED:

"Based on the information set forth in this staff report and the design shown in the Addenbrook Village Sub-area Preliminary Development Plan, and upon the evidence and explanations received today, I move that the City Council adopt Ordinance 15-25"

Roll Call vote required

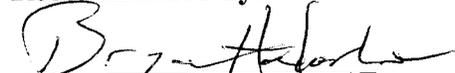
Prepared by:


Ray McCandless, Senior Planner

Reviewed by/Concur with:


David Oka, Community and Economic
Development Director

Recommended by:


Bryce Haderlie, Interim City Manager

Reviewed as to legal form:


Robert Thorup, Deputy City Attorney

I. BACKGROUND

In 2006 the subject property was rezoned from Agricultural (A-5) to Medium Density, Multi-Family Residential (MFR) as part of the establishment of the West Side Planning Area (WSPA) (Ordinance 05-51) which is still in effect. The property is currently vacant.

II. GENERAL INFORMATION & ANALYSIS

The applicant, Garbett Land Investments, LC, is requesting that the City Council approve an ordinance ratifying the Planning Commission's approval of the Adenbrook Village Development Plan permitting 41 single-family dwellings, 36 twin homes and 103 town homes for a total of 180 residential dwelling units on property located at approximately 6111 West 7800 South in a Medium Density, Multi-Family Residential (MFR) zone. The property is located within the Highlands Master Plan area. The property is east of the Englefield Heights subdivision and west of the Mountain View Corridor on 7800 South as shown on the attached Aerial Map (Exhibit A). The property is currently vacant.

The development will be constructed in 5 phases. The number and type of dwelling unit for each phase is as follows:

Phase	Unit type	Dwelling units
Phase 1	Single-family	21
	Twin homes	14
Phase 2	Town homes	42
Phase 3	Street improvements only	0
Phase 4	Single-family	20
	Twin homes	22
Phase 5	Town homes	61
		180 Total

Portions of phases 1 and 4 will be single-family lots which will act as an extension of the Englefield Heights subdivision to the west. Phase 3 will consist of street improvements only.

Each of the duplex and town home units will be on its own lot as shown on the preliminary subdivision plat with common open space surrounding the buildings. The site consists of 28.96 acres of land. A total of 8.0 acres (28.8%) will be common open space which includes three "active recreation areas" and a "greenbelt" between the townhomes and Fallwater Drive as shown on the site plan and subdivision drawings. A new landscaped roundabout will be installed as part of Phase 2 improvements.

On July 7, 2015, the Planning Commission granted preliminary plat and preliminary site plan approval (with conditions) for Adenbrook Village. The Planning Commission also recommended approval of the Preliminary Development Plan and proposed development density as requested by the applicant.

III. FINDINGS OF FACT PRELIMINARY DEVELOPMENT PLAN

There are no specific findings of fact for development plans; however, there are other code requirements applicable to this request that need consideration by the City Council.

The WSPA zoning districts allow developers to “buy up” density subject to providing certain required and optional amenities and design elements that are intended to improve the overall project. The density range in the MFR zoning district is between 4.51 and 9.0 dwelling units per acre. In this zone, applicants are entitled to 4.51 dwelling units per acre (which is considered the base density) but can ‘buy up’ to 9.0 dwelling units per acre if all optional bonus density elements are provided and integrated into the development. The density ‘buy up’ is determined using the table contained in the 2009 City Code, Section 13-5J-5C and Section 13-5J-6 which further clarifies how percentage points are achieved.

Table 1.0 is derived from the table in Section 13-5J-5C. It contains both the applicant’s and staff’s analysis of total percentage points earned.

WSPA STANDARDS AND INCENTIVE CHART

Table 1.0

Amenity/Improvement	Weighted Value	Required vs. Optional	Staff Score	Applicant Score
Trails and open space:				
Dedication of open space, trail (drainage) corridors or "in lieu fees" and installation of trails in accordance with the comprehensive general plan and the "Parks, Recreation, Trails And Open Space Handbook"		Required	0%	0%
<i>Discussion: The Parks Recreation Trails and Open Space Master Plan shows a trail along the south side of the development which will be installed by the developer.</i>				
Installation of enhanced open space/recreational amenities and/or landscaping/irrigation in excess of that required per city standards.	Up to 22%	Optional	9%	11%
<i>Discussion: The Development Plan shows 2 playgrounds (2%), benches (1%), play field (1%). A common green area (1%), landscape buffer (0%) (Landscape buffer is required per city standards) passive open space (2%) roundabout landscaping (2%),.</i>				
Improvement of trail corridors and installation of trail amenities in excess of that required per city standards	Up to 15%	Optional	0%	0%
<i>Discussion: No trail corridors in excess of that required per city standards are proposed.</i>				
Dedication of additional property for trails beyond that required per city standards along creeks/washes	Up to 15%	Optional	0%	0%
<i>Discussion: Does not Apply</i>				

Street design:				
Pedestrian scale and consistent, architectural street lighting		Required	0%	0%
<i>Discussion: The subdivision proposes using the standard West Jordan "acorn" style light.</i>				
Traffic calming		Required	0%	0%
<i>Discussion: Traffic calming measures will be incorporated into the design and will be reviewed during the final subdivision and site plan review.</i>				
Street design		Required	0%	0%
<i>Discussion: The project has internal private driveways that serve garages. This configuration must be approved by the Engineering and Fire Departments.</i>				
Entryway monument or gateway feature to the subdivision/development	Up to 10%	Optional	3%	6%
<i>Discussion: The development plan shows 3 entryway features.</i>				
Provision of a landscape buffer on major rights of way	Up to 22%	Optional	3%	3%
<i>Discussion: The development plan shows an 8' landscape buffer along Fallwater Drive (collector street).</i>				
Smart growth:				
Master planned subdivision design		Required	0%	0%
<i>Discussion: The project appears to have met this requirement as all single-family dwellings, twin homes and town homes will have a themed appearance with variations in colors, architecture and building materials.</i>				
Pedestrian friendly and walkable neighborhood design		Required	0%	0%
<i>Discussion: 5 foot sidewalks are placed along all interior and exterior streets. Once the traffic calming and roundabout is installed, this subdivision will provide an improved pedestrian environment.</i>				
Alternative load garage configuration (if single-family)	Up to 18%	Optional	0%	0%
<i>Discussion: Traditional front loaded garages are proposed for all single-family dwellings as shown in the Development Plan.</i>				
Clustered subdivision design	Up to 10%	Optional	0%	0%
<i>Discussion: Not used. Not applicable to this design.</i>				
Building design:				
Attractive, theme based and consistent architecture on all structures		Required	0%	0%
<i>Discussion: The Design Review Committee recommends approval of building architecture.</i>				
Installation of covered porches throughout 50% of subdivision	Up to 14%	Optional	14%	14%
<i>Discussion: A minimum 50% of the homes will have a front porch at least 50 square feet in area</i>				

Enhanced door, window, eave and roofing treatment	Up to 12%	Optional	12%	12%
<i>Discussion: The applicant has provided examples of "typical" building elevations they expect to see built in this development. Windows and doors have variety with differing configurations</i>				
Equal dispersion and use of high quality building materials	Up to 12%	Optional	12%	12%
<i>Discussion: The applicant has stated in the development plan that all homes will incorporate stucco, stone, brick, Hardi Board and other high grade materials.</i>				
Discretionary buy up	Up to 12%	Optional	12%	10%
<i>Discussion: All homes will use high energy-efficient building design and materials.</i>				
		Total	65%	68%

Based on the total percentage in the table above, the following calculation is used to find out the maximum allowed density of a project:

$$[(\text{Base Density}) \times (\text{Bonus Density Percent})] + (\text{Base Density}) = \text{Max Allowed Net Density}$$

As staff calculates the maximum allowed net density, $(4.51 \times .65) = 2.9315$; $2.9315 + 4.51 = 7.44$ du/ac; therefore, 7.44 dwelling units per net acre are possible. The proposed development includes 180 units on 28.96 acres gross (28.55 acres net) for a proposed residential density of 6.22 dwelling units per acre (gross) and 6.30 dwelling units per net acre.

Based on the information submitted and the conditions of approval recommended by staff, the Addenbrook Sub-area Preliminary Development Plan has sufficient amenities to achieve the requested 180 residential dwelling units. The Planning Commission agreed with this analysis.

The Preliminary Development Plan includes examples of the various housing types that will be constructed within the development. Both the Planning Commission and Design Review Committee reviewed and recommend approval of the proposed building designs. The Preliminary Development Plan also states that the buildings are designed to be energy efficient. The Preliminary Development Plan also includes examples of the landscaping that will be installed around each building, in the public way and within the roundabout.

IV. CONCLUSION

The proposed Addenbrook Sub-area Preliminary Development Plan meets the applicable requirements of the Zoning and Subdivision Ordinances. Staff is confident that the applicant can address any necessary engineering and/or planning related concerns by meeting the conditions of approval and addressing all standards and requirements at the time of final plat, final site plan and final development plan submittal.

V. STAFF RECOMMENDATIONS

Sub-area Preliminary Development Plan

Based on the requirements listed in the Zoning Ordinance, staff recommends that the City Council **approve** the Addenbrook Sub-area Preliminary Development Plan located at approximately 6111 West 7800 South with a residential density of 6.30 units per acre net (41 single-family dwellings, 36 twin homes and 103 town homes) for a total of 180 dwelling units., subject to the following conditions:

1. The Final Development Plan shall be updated to reflect the buy up points and densities approved by the Planning Commission and City Council.
2. The Final Development Plan shall be updated to show all other requirements as approved by the Planning Commission.
3. Approval of the Preliminary Subdivision plan and Preliminary Site Plan shall be subject to City Council Approval of the Preliminary Development Plan. The project density shall be approved by the City Council as part of the Preliminary Development Plan approval.

VI. MOTION RECOMMENDED

“Based on the information set forth in this staff report and the design shown in the Addenbrook Village Sub-area Preliminary Development Plan, and upon the evidence and explanations received today, I move that the City Council adopt Ordinance ____ - 15”.

If the moving Councilmember disagrees with the staff’s findings and conclusions and finds substantial evidence supporting a different result, the following motions may be given:

Based on the discussion set forth in this staff report and the design shown in the Addenbrook Sub-area Preliminary Development Plan, and upon the evidence and explanations received today, I move that the City Council **deny** the Addenbrook Sub-area Preliminary Development Plan for property located at approximately 6111 West 7800 South because it does not meet the goals and policies of the 2012 Comprehensive General Plan and/or does not meet the requirements of the Zoning Ordinance.

Which standard, goal or policy has been met or not met? Why?

VII. ATTACHMENTS

- Exhibit A – Aerial Map
- Exhibit B – Zoning Map
- Exhibit C – Future Land Use Map
- Exhibit D – Design Review Committee Minutes
- Exhibit E – Planning Commission Minutes
- Exhibit F – Preliminary Subdivision Plat



City Clerk's Office
8000 South Redwood Road
West Jordan, Utah 84088
(801) 569-5115
Fax (801) 565-8978

August 3, 2015

Richard Welch
Garbett Land Investments, LC
273 N. East Capitol Street
Salt Lake City, UT 84103

Dear Mr. Welch:

A Public Hearing will be held before the City of West Jordan City Council on Tuesday, August 25, 2015, at the hour of 6:00 p.m., in the City Council Chambers at 8000 South Redwood Road, Third Floor, West Jordan, Utah, to receive public comment prior to considering **ratification of the Preliminary Development Plan establishing a density of 6.30 net units per acre for Addenbrook Village located at approximately 6111 West 7800 South; Garbett Land Investments, LC/Richard Welch** (applicant).

You are invited to attend the Public Hearing, take part in the discussions and voice any support or concerns you may have. The Council reserves the right to consider other zoning classifications based on information presented at the Public Hearing. If you have any questions, please contact the Planning and Zoning Department at 801-569-5060.

I have enclosed a copy of the **Notice of Public Hearing** that has been sent to property owners in the 300-foot radius of said property.

If you have any questions, please feel free to call me at 801-569-5115.

Sincerely,

A handwritten signature in black ink that reads "Jamie Lyn Vincent".

Jamie Lyn Vincent
Deputy City Clerk

cc: Planning Department



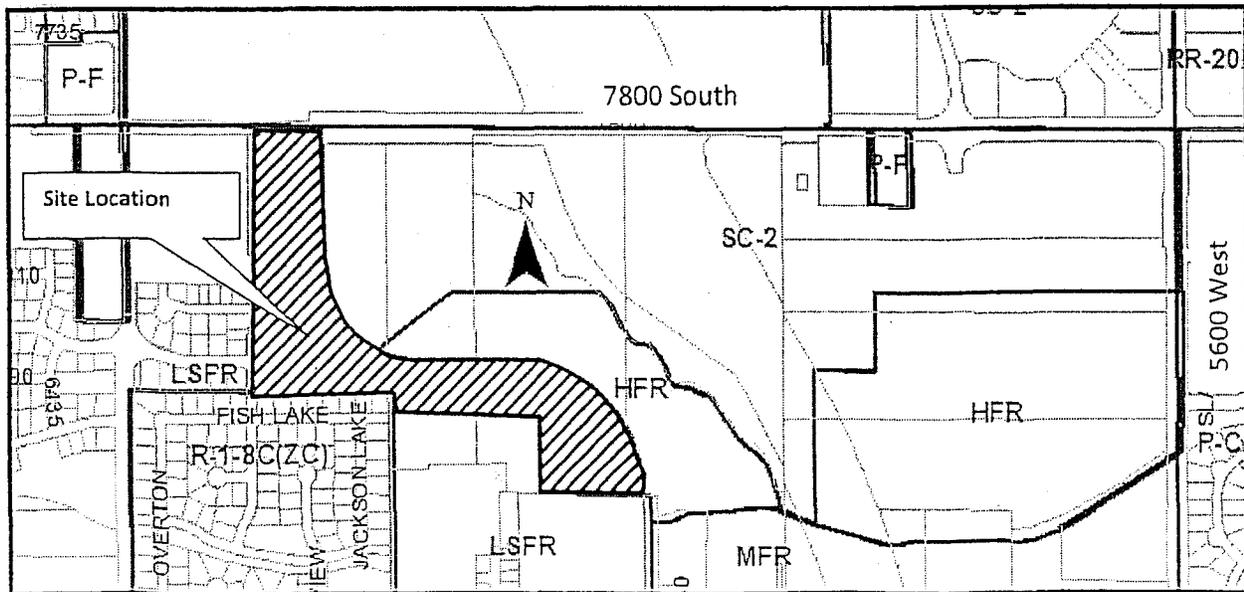
300'

Mailing

THE CITY OF WEST JORDAN, UTAH NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held in the Council Chambers located at West Jordan City Hall, 8000 South Redwood Road, 3rd Floor, before the City Council on Tuesday, August 25, 2015 at 6:00 p.m. to receive public comment prior to considering ratification of the Preliminary Development Plan establishing a density of 6.30 net units per acre for Addenbrook Village located at approximately 6111 West 7800 South; Garbett Land Investment, LC/Richard Welch (applicant).

You are invited to attend the Public Hearing and take part in the discussions and voice any support or concerns you may have. If you desire to speak on an item, the time will be limited to 3 minutes. Items may be moved on the agenda or tabled by the City Council. Copies of the agenda packet for this meeting will be available on the City's website ww.wjordan.com approximately 4 days prior to the meeting.



The City of West Jordan, in compliance with the Americans With Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call the City Recorder at 569-5115, giving at least three working days

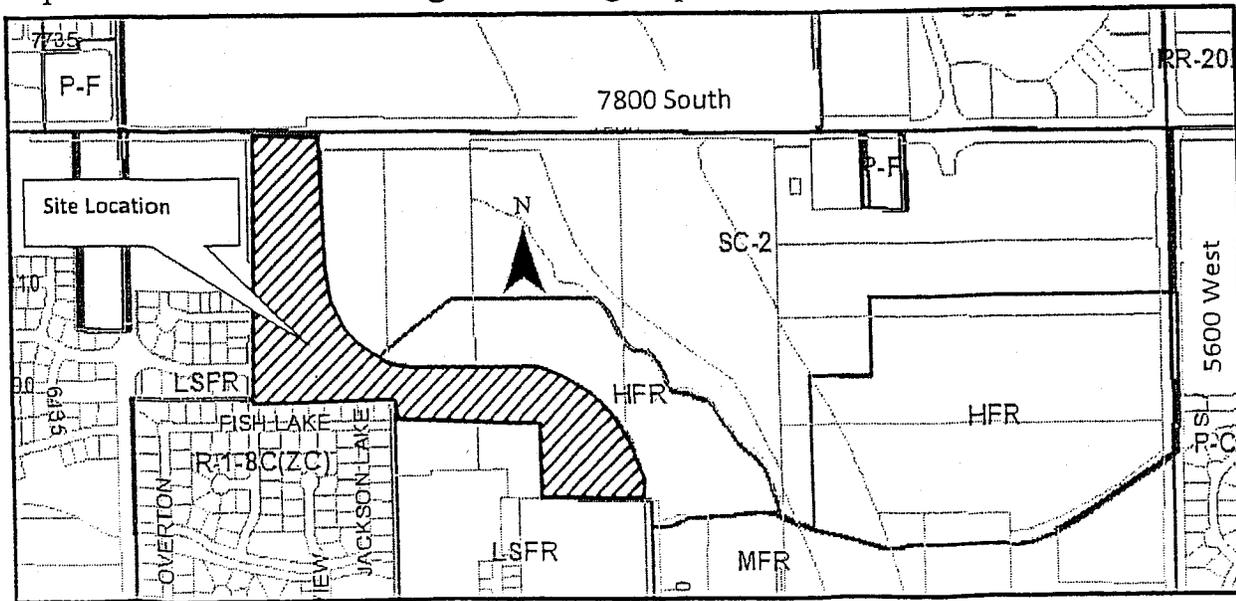


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Entity mailing

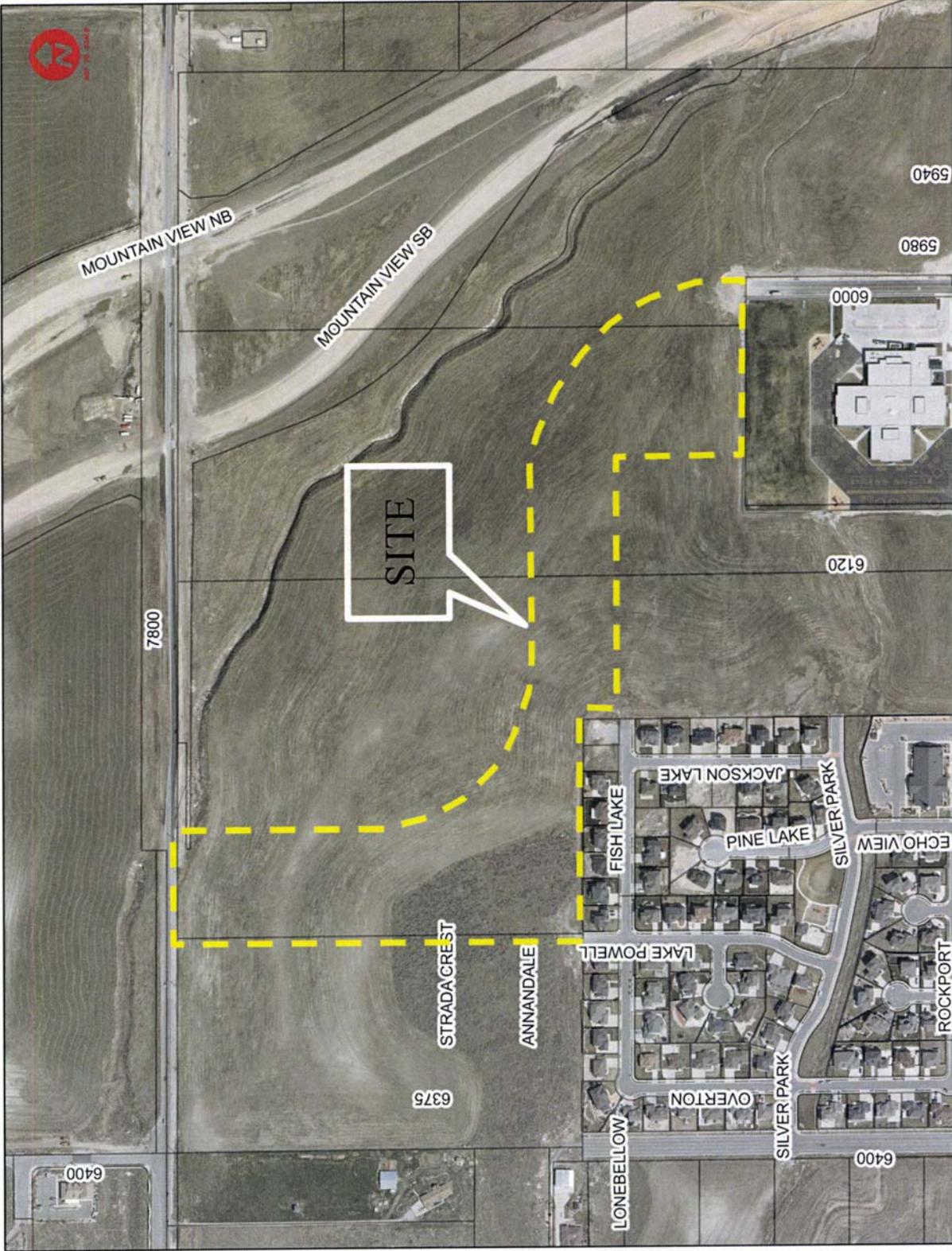
**THE CITY OF WEST JORDAN, UTAH
 NOTICE OF PUBLIC HEARING**

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Exhibit G – Landscaping Detail (Examples)
Exhibit H – Application
Exhibit I – Preliminary Development Plan
Exhibit J – Highlands Master Plan
Exhibit K – Ordinance



Aerial Map

Exhibit A

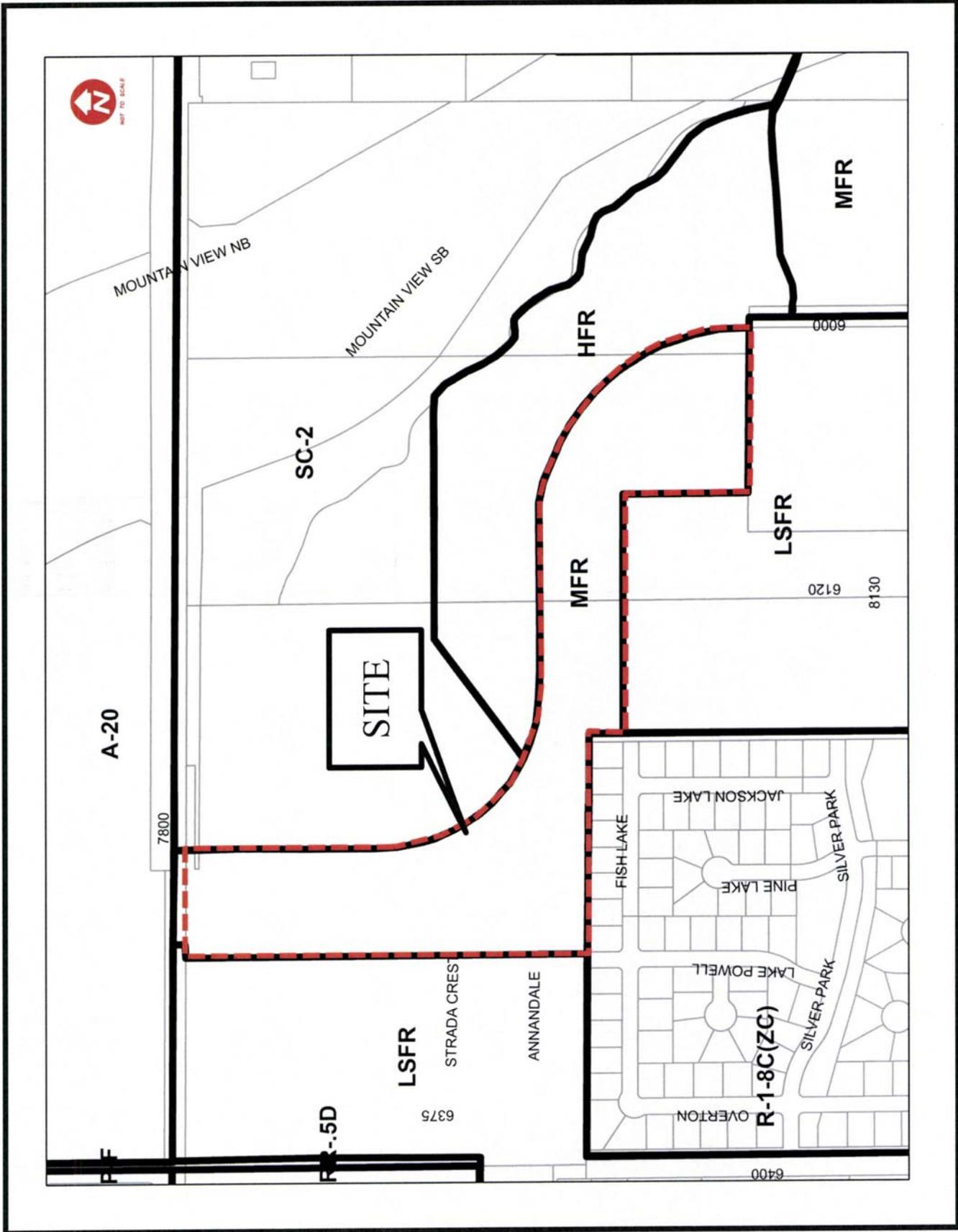
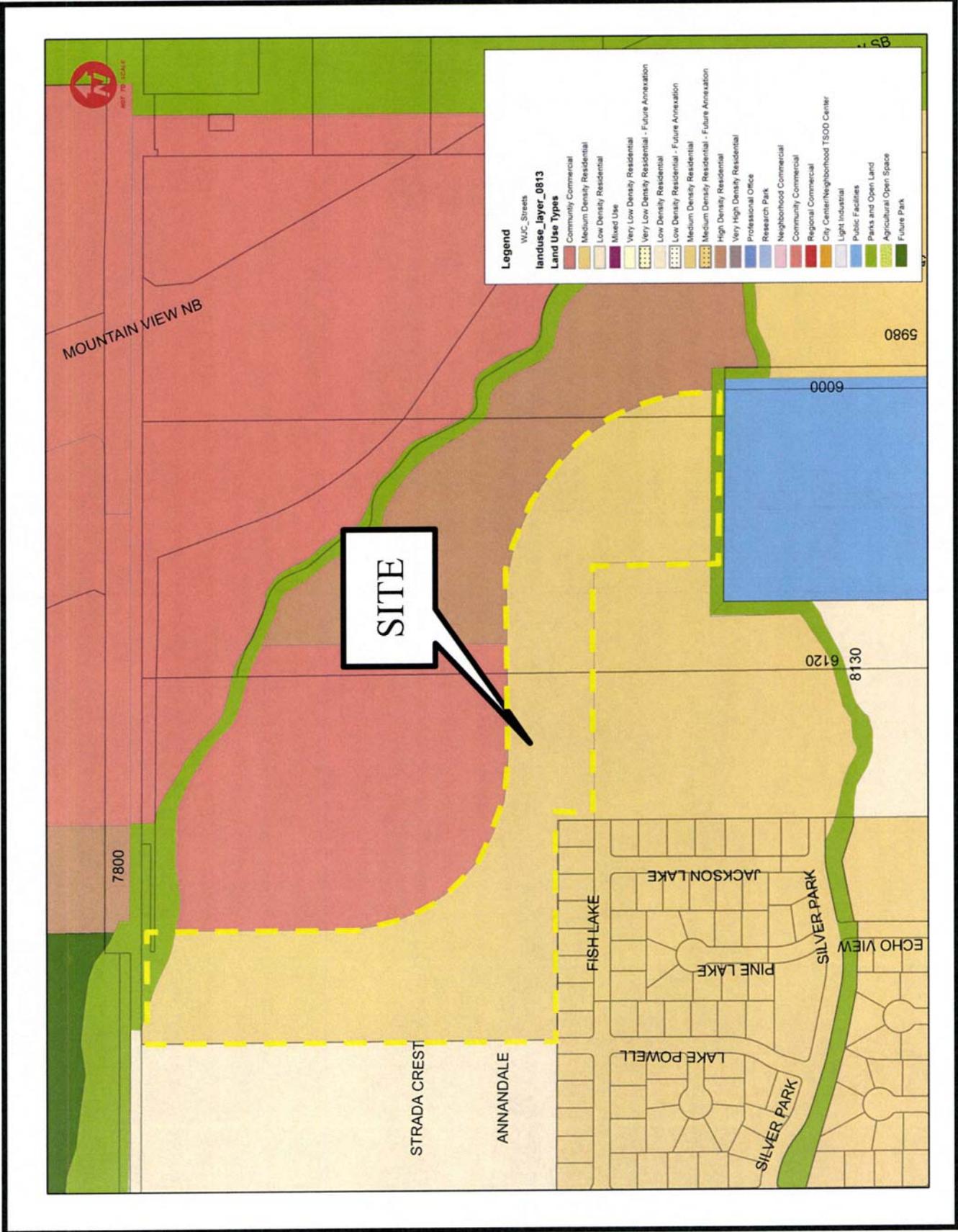


Exhibit B Zoning Map



Future Land Use Map

Exhibit C

ATTACHED

Design Review Committee Minutes

Exhibit D

MINUTES OF THE DESIGN REVIEW COMMITTEE HELD MAY 26, 2015, IN THE DEVELOPMENT SERVICES CONFERENCE ROOM - WEST JORDAN CITY HALL

PRESENT: David Pack, Steve Fifield, Josh Suchoski, and Holly Bell. Brad Welch was excused.

STAFF: Ray McCandless

OTHERS: Chad Deveraux, Rich Welch

*

The meeting was called to order at 5:30 p.m.

Approve Minutes from April 28, 2015

MOTION: Josh Suchoski moved to approve the minutes from April 28, 2015. The motion was seconded by Holly Bell and passed 4-0 in favor. Brad Welch was absent.

Addenbrook Village; 6400 West and 7800 South; WSPA – MFR Zone

Rich Welch, Garbett Homes, said the single-family product will be the same as what had already been approved for Englefield Heights. He showed the proposed layout for the twin and townhomes.

Concerns were expressed regarding the limited colors for the townhomes and with the amount of stucco. More relief should be added, possibly all around the structure, and they discussed the possibility of limiting the amount of stucco to a percentage.

Chad Deveraux explained that they will use the same four or five palettes of color that have been used in the other product types. They use a large variety of materials in all of their products depending on the theme and location. Whenever they use stucco they feel, and their buyers have expressed, that it is a premium material, but they try to make a design point of it wherever they can. For example they use four to five times as many expansion joints as other builders. At each corner of the windows and on large planes in the wall they break it up and try to make it a design element.

The committee asked to see additional elevations with additional colors from the palettes.

Chad clarified for the committee that a small mistake was made on the renderings and the overhang on the entry extends over the front doors another three or four feet from what the rendering shows. He explained how they will break up the color palette on a single building face on the townhomes. He pointed out several natural areas where it could occur. They can use expansion joints to switch colors as well. They first start by using a different color of stucco rather than a different material. Even in the center where the building is primarily composed of stucco there would be a lot of depth to the building. The townhome colors are selected by Garbett and will be pre-platted throughout.

Rich Welch said they are for-sale townhomes in a fee-simple arrangement, so the CC&R's state that the company will control the exterior including the initial appearance.

Chad pointed out that it is standard on all homes to have a light at the front door. The address letters are used as a design element and the coach light will light the numbers and the front door at the same time.

It was clarified that the committee didn't oppose using the color palette from the single-family product on the townhomes, they just wanted more contrast. The homes are designed with four-sided architecture and in conjunction with the design guidelines and the density buy-up requirements the design will carry around to the back.

There was a discussion regarding how difficult it could be to monitor the stucco with a percentage requirement. The applicant explained that they try to make it a practice in their sales department to have the variety. Also, they use different colors in the garage door and on trim that create a depth and contrast.

Chad Deveraux said he understood that the committee's concern was they don't want monotone stucco on the entire structure; they want different colors and materials. He said they could update some of the renderings to show one or two additional samples of the color palette.

MOTION: Josh Suchoski moved to approve the Addenbrook Village plan with the items that there isn't all stucco, they are able to see a visual color palette that will be emailed to the committee for approval, that the roof extends so there is a door awning, and they want to see the lighting on the structure. The motion was seconded by Holly Bell and passed 4-0 in favor. Brad Welch was absent.

Rich Welch felt that they could get the updated rendering emailed to them within one week.

MOTION: Josh Suchoski moved to adjourn.

The meeting adjourned at 6:10 p.m.

David Pack
CHAIR

ATTEST:

Julie Davis
SECRETARY

DATE APPROVED

ATTACHED

Planning Commission Minutes

Exhibit E

3. Addenbrook Village; Approximately 6111 West and 7800 South; Preliminary Development Plan establishing a density of 6.30 units per acre, Preliminary Subdivision Plat (180 units on 28.7 acres), and Preliminary Site Plan; MFR Zone; Garbett Land Investments, LC/Richard Welch (applicant) [#SDMA20140007, SPCO20140006, DP20140004; parcels 20-35-100-022, 023; 200-037]

Richard Welch, Garbett Homes, applicant, described the location of their product within the Highlands development. This development will provide a transition from the already approved Englefield single family development to the commercial component and high density Gladstone area. Addenbrook Village will have 180 units. There will be 41 single family lots in a continuation from Englefield with a transition to 36 duets (twin homes) and 103 for-sale townhome units. He showed a photo of a model home and drawings of the townhome and duet buildings. The Design Review Committee requested a color palette that more closely matched the single family. Within the WSPA there is a base density with the opportunity to provide design improvements for a buy up. Their proposal is for 6.2-6.3 dwelling units per acre. They aren't asking for the maximum density, which would be 9 units per acre. Staff's review gives them a 65% buy up, while they feel their designs allow for 68%. Only 40% is needed for the 180 units as submitted. He further explained how the garages are oriented on the duet and townhome units. Regarding guest parking, the site plan shows that every unit has at least an 18-foot driveway. They have this same discussion with almost every city. With 108 units this project will always demand a professional property manager and the CC&Rs will not allow a garage to become storage. Anyone in violation will be fined if the problem continues. Mr. Welch explained that twin homes and townhomes are similar from a legal perspective. Since a townhome is not a stacked unit, the lot is owned in the same way as a single family lot and it is the same with the twin home. Some duplexes that are intended as rentals meant that there were two units on one lot. But with their duets/twin home it is one unit on one lot with a zero lot line where the units connect. He stated that Garbett's designer, Chad Devereux, was also in attendance.

Ray McCandless gave an overview of the area and pointed out where the different housing types will be located, which will be subject to the WSPA requirements. The project will have five phases. Ratification of the density will be by the city council. There are some open space areas and detention facilities. Fencing along the townhomes is decorative metal and staff is asking for masonry columns every 20 feet. On the north side by the twin homes there will be a RhinoRock wall to 7800 South and behind the lots along 7800 South. Buy up numbers from staff and the applicant were similar. The actual density is 6.22 gross and 6.30 net units per acre. There was a possible 7.44 dwelling units per acre. The proposed density is consistent with the general plan.

Sub-area Preliminary Development Plan

Based on the requirements listed in the Zoning Ordinance, staff recommended that the Planning Commission approve the Addenbrook Sub-area Preliminary Development Plan located at approximately 6111 West 7800 South with a residential density of 6.30 units per acre net (41 single-family dwellings, 36 twin homes and 103 town homes) for a total of 180 dwelling units, subject to the following conditions:

1. The Final Development Plan shall be updated to reflect the buy up points and densities approved by the Planning Commission and City Council.

2. The Final Development Plan shall be updated to show all other requirements as approved by the Planning Commission.
3. Approval of the Preliminary Subdivision Plat and Preliminary Site Plan shall be subject to City Council Approval of the Preliminary Development Plan. The project density shall be approved by the City Council as part of the Preliminary Development Plan approval.

Preliminary Subdivision Plat

Based on the required findings listed in the Subdivision Ordinance, staff recommended that the Planning Commission approve the Addenbrook Preliminary Subdivision Plat for property located at approximately 7800 South 6400 West, subject to the following conditions:

1. All areas not maintained under the terms of the Highlands Assessment Area must be owned and maintained in perpetuity by a homeowner's association or other legal entity.
2. The Final Subdivision Plat, Final Development Plan and Final Site Plan shall show the following information related to fencing:
 - a. A 6' high Rhino Rock, or pre-cast masonry street wall, along Fallwater Drive and 7800 South as discussed in this report.
 - b. The decorative street wall fencing along Fallwater Drive in front of the townhomes must be 6' in height and include decorative pillars spaced at 20 feet o.c. The pillars must match the street wall fence in front of the two-family dwellings.
 - c. A 6' high vinyl fence must be installed on all interior perimeter property lines per City Code, Section 13-14-3E.
 - d. Show all approved fencing and define installation, ownership and maintenance responsibilities for each fence.
3. Landscape and irrigation plans shall be submitted detailing installation and maintenance responsibilities of all landscaping and irrigation systems.
4. The final subdivision plat shall integrate traffic calming design within the interior of the subdivision as directed by the city engineering staff.
5. The Final Subdivision Plat shall address all engineering requirements.
6. The option of a tot-lot be removed from the development plan, site plan and subdivision plat drawings.
7. Preliminary subdivision plat approval shall be valid for one year until July 7, 2016 per City Code, Section 14-3-8.

Preliminary Site Plan

Based on the required findings listed in the Zoning Ordinance, staff recommended that the Planning Commission approve the Addenbrook Preliminary Site Plan for property located at approximately 7800 South 6400 West, subject to the following conditions:

1. All areas not maintained under the terms of the Highlands Assessment Area must be owned and maintained in perpetuity by a homeowner's association or other legal entity.
2. Preliminary site plan approval shall be valid for one year until July 7, 2016 per City Code, Section 14-3-8.

The 200-foot roundabout with five connecting roads was discussed. The width includes the street.

David Pack asked if staff felt that all requirements of the Design Review Committee had been met.

Ray McCandless said yes. The applicant distributed the amended plans to the DRC members and the feedback was positive.

Kelvin Green asked Josh Suchoski if the requested visual color palettes were emailed to the committee.

Josh Suchoski said yes. The applicant did an excellent job in working well with the Design Review Committee and took into account all of their recommended changes even though it required the applicant to spend many hours to make new drawings. David Pack concurred.

Zach Jacob asked about the 7800 South improvements with Englefield and Addenbrook phasing.

Ray McCandless thought that Englefield Phase 2 was coming in soon, so it should all come together.

Dan Lawes opened the public hearing.

Clint Hutchings, West Jordan resident, said he lives in the adjacent Bloomfield Heights subdivision near the duet portion of this development. He asked about the square footage of the duet homes. He said that most of the existing homes along Fish Lake Drive had installed fencing, and he wondered if Garbett had any plans for additional fencing or if it would be a shared common fence. He asked if they could expect any reimbursement on the shared fencing. He asked how large the buffer area is between the duets and the Fish Lake properties. He would like to see additional landscaping and trees along that fence line.

Further public comment was closed at this point for this item.

Chad Devereux, Garbett Homes, said the lot size is indicated on the preliminary plats and the units are between 1500 - 1600 square feet plus an unfinished basement of an additional 600-700 square feet. Each home will have a 2-car garage. They offer an option for a fence, but it isn't automatically included. If there is an existing fence on the property line or just inside of it then he would expect that the buyer wouldn't opt to have another one. If they do want a fence installed they offer a six foot vinyl privacy fence that would be installed on their property. He said they couldn't ask the homeowner to share the cost of an existing fence. The front yard will be landscaped and they offer rear yard landscaping. A buffer shows shrubs and perennials around the home with irrigation and sod.

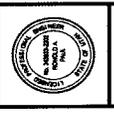
Larry Gardner said the rear yards are almost 40 feet from the back of the unit to the fence.

MOTION: David Pack moved based on the findings set forth in the staff report and the design shown in the Addenbrook sub-area preliminary development plan and upon the evidence and explanations received today to approve the Preliminary Development Plan for Addenbrook Village sub-area; 6111 West 7800 South; Garbett Land Investments, LC (applicant) with the residential density of 6.3 units per acre net consisting of 41 single-family dwellings, 36

twin homes, and 103 townhomes for a total of 180 dwelling units, subject to the three conditions of approval listed in the staff report. The motion was seconded by Matt Quinney and passed 7-0 in favor.

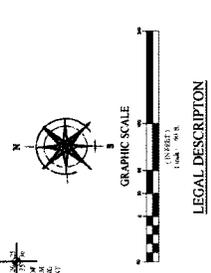
MOTION: David Pack moved based on the findings set forth in the staff report and upon the evidence and explanations received today to approve the Preliminary Subdivision Plat for Addenbrook Village; 6111 West 7800 South; Garbett Land Investments, LC (applicant) subject to the seven conditions listed in the staff report. The motion was seconded by Kelvin Green and passed 7-0 in favor.

MOTION: David Pack moved based upon the required findings set forth in the staff report and the information gained in the public hearing tonight to approve the Preliminary Site Plan for Addenbrook Village; 6111 West 7800 South; Garbett Land Investments, LC (applicant) subject to the two conditions in the staff report. The motion was seconded by Bill Heiner and passed 7-0 in favor.



PRELIMINARY ADDENBROOK LOT LAYOUT (WEST)

NO.	DATE	DESCRIPTION
1	11/11/2024	ISSUED FOR PERMITS
2	11/11/2024	ISSUED FOR PERMITS
3	11/11/2024	ISSUED FOR PERMITS
4	11/11/2024	ISSUED FOR PERMITS
5	11/11/2024	ISSUED FOR PERMITS
6	11/11/2024	ISSUED FOR PERMITS
7	11/11/2024	ISSUED FOR PERMITS
8	11/11/2024	ISSUED FOR PERMITS
9	11/11/2024	ISSUED FOR PERMITS
10	11/11/2024	ISSUED FOR PERMITS



LEGAL DESCRIPTION

A certain parcel of land in the County of Prince George's State of Maryland, to-wit: Parcel A, Addenbrook, as shown on the attached plat, and more particularly described as follows: ...

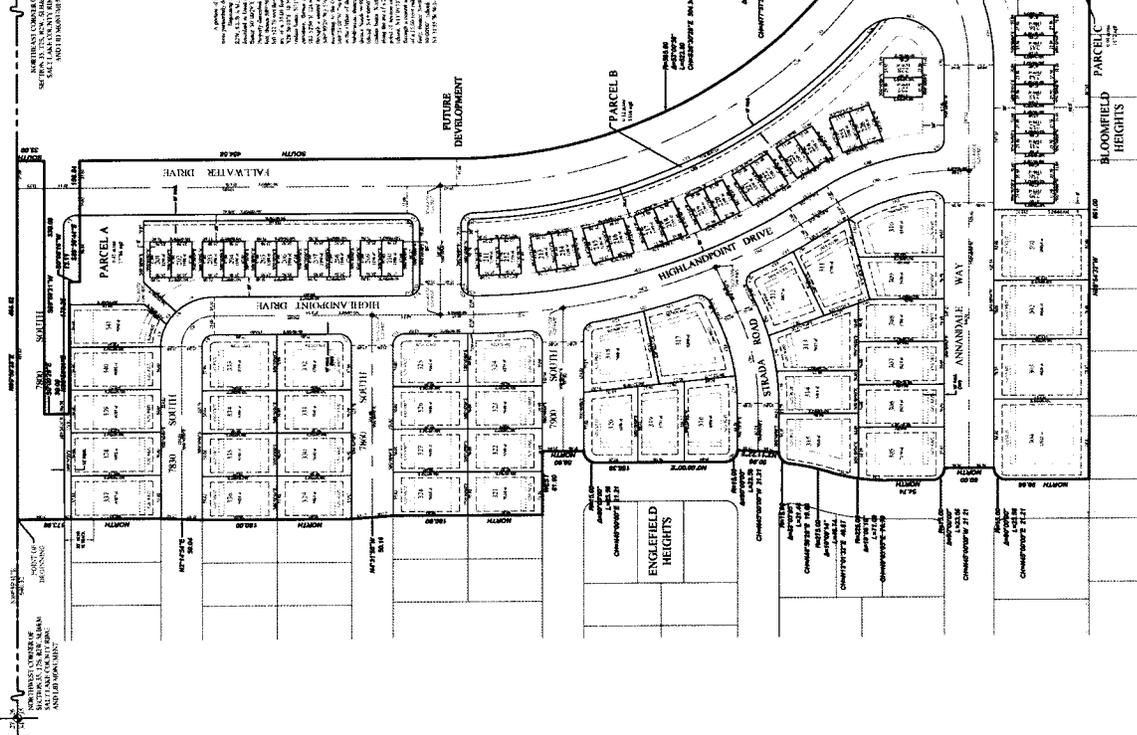
NO.	AREA (SQ. FT.)	AREA (ACRES)
1	10,000	0.2296
2	10,000	0.2296
3	10,000	0.2296
4	10,000	0.2296
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9	10,000	0.2296
10	10,000	0.2296

GENERAL NOTES

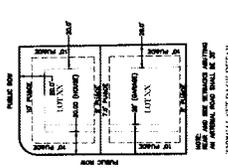
1. THIS PLAN IS A PRELIMINARY SUBDIVISION PLAN AND IS NOT TO BE USED FOR CONSTRUCTION OR RECORDING PURPOSES WITHOUT THE NECESSARY PERMITS AND RECORDATION.

2. THE BOUNDARIES AND DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE SURVEY DATA PROVIDED BY THE CLIENT.

3. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND IT TO BE SUITABLE FOR THE PROPOSED DEVELOPMENT.



NO.	AREA (SQ. FT.)	AREA (ACRES)
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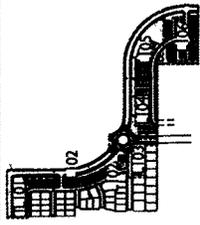
TABULATIONS

TOTAL AREA: 98.20 ACRES
 DEVELOPABLE AREA: 80.00 ACRES (81.46%)
 OPEN SPACE: 18.20 ACRES
 PERCENTAGE TRAIL: 500 LF
 SINGLE ROW OF LOTS: 31 LOTS
 DOUBLE ROW OF LOTS: 31 LOTS
 TOTAL LOTS: 62 LOTS
 TOTAL UNITS: 124 UNITS
 GROSS DENSITY: 6.22 UNITS/ACRE
 NET DENSITY: 4.12 UNITS/ACRE

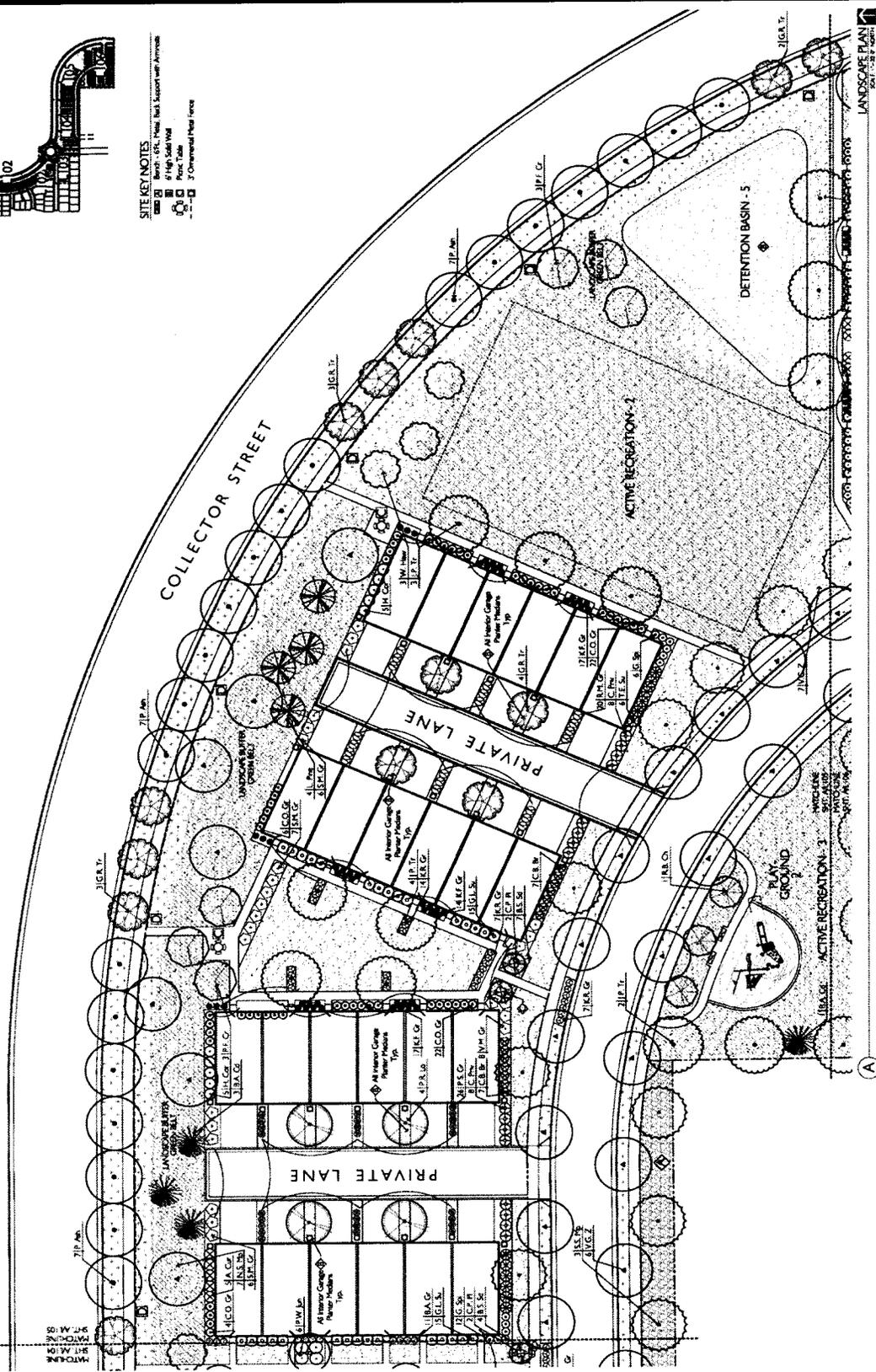
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Exhibit F Preliminary Subdivision Plat

PLAN KEY

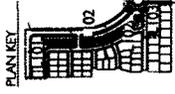


SITE KEY NOTES
1. 1" = 10' - 1" Scale
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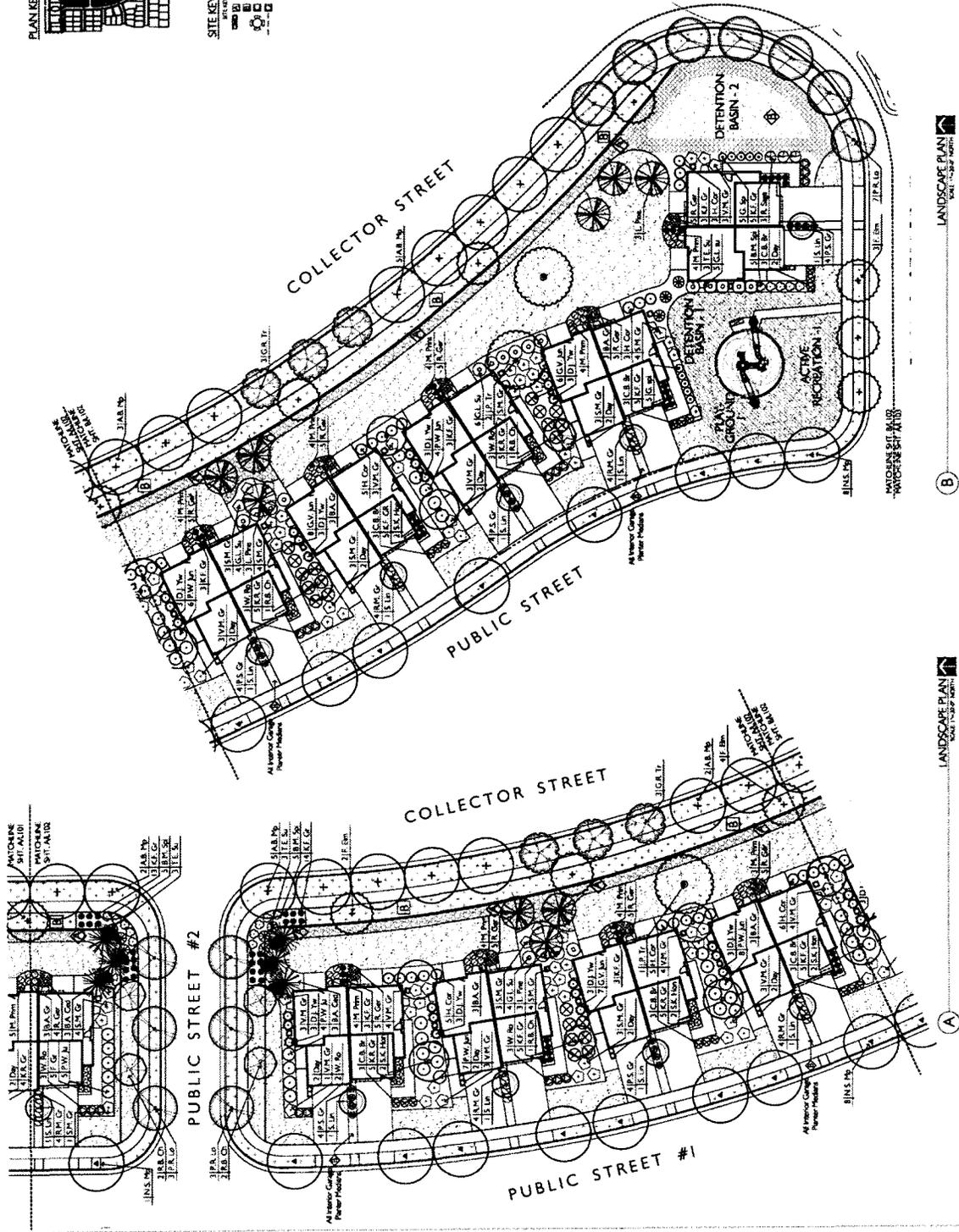


Landscaping Detail

Exhibit G



SITE KEY/NOTES
 1. 1/4" = 1'-0"
 2. 1/8" = 1'-0"
 3. 1/16" = 1'-0"
 4. 1/32" = 1'-0"
 5. 1/64" = 1'-0"
 6. 1/128" = 1'-0"
 7. 1/256" = 1'-0"
 8. 1/512" = 1'-0"
 9. 1/1024" = 1'-0"
 10. 1/2048" = 1'-0"



LANDSCAPE PLAN
 10/11/2010

LANDSCAPE PLAN
 10/11/2010

Landscaping Detail

Exhibit G



CITY OF WEST JORDAN
COMMUNITY DEVELOPMENT APPLICATION

8000 South Redwood Road
(801) 569-5180

Sidwell # 2035100 023
1035100 022 Acreage: 28.01 Lots: 170 Zoning: WSPA-MFR

Project Location: 6400 West and 7800 South

Project Name: Addenbrook Village

Type of Application: Subdivision Conditional Use Permit
 Site Plan General Land Use Amendment
 Rezone Agreement
 Condominium Other Preliminary Development Plan

Applicant: Richard Welch Company: Garbett Land Investments, LC

Address: 273 N. East Capital Street

City: SLC State: UT Zip: 84003

Telephone: Office: 801-456-2430 Cell: 801-580-2460

Email: vich@garbetthomes.com

Property Owner: Canyon Ranches LC & Doves Landring LC

Address: 225 S. 200 East

City: SLC State: UT Zip: 84111

Telephone: Office: 801-532-2233 Cell: _____

Email: _____

Engineer: Ron Paul Company: Focus Engineering

Address: 502 W. 8360 S.

City: Sandy State: UT Zip: 84070

Telephone: Office: 801-352-0075 Cell: 801-842-6046

Email: ron@focusutah.com

Architect: _____ Company: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: Office: _____ Cell: _____

Email: _____

SIGNATURE: [Signature] DATE: 4/2/2014

Project #: DP20140004 Date: 4/23/14
Received By: ODA Lg PLANNING rm ENGINEERING tj

Application

Exhibit H

Attached

Ordinance

Exhibit K

Legal Review-Date/Initial: _____ / _____
Text/Format -Date/Initial: _____ / _____
Dept. Review-Date/Initial: _____ / _____
Adopted: _____ Effective: _____

THE CITY OF WEST JORDAN, UTAH

A Municipal Corporation

ORDINANCE NO. 15-25

AN ORDINANCE RATIFYING THE PLANNING COMMISSION'S APPROVAL OF THE ADDENBROOK VILLAGE SUB-AREA PRELIMINARY DEVELOPMENT PLAN PERMITTING 41 SINGLE-FAMILY DWELLINGS, 36 TWIN HOMES AND 103 TOWN HOMES FOR A TOTAL OF 180 DWELLING UNITS ON PROPERTY LOCATED APPROXIMATELY AT 6111 WEST 7800 SOUTH AND ZONED MEDIUM DENSITY, MULTI-FAMILY RESIDENTIAL (MFR) AND LOCATED WITHIN THE HIGHLANDS MASTER PLAN.

WHEREAS, an application was made by Garbett Land Investments, LC for a Sub-area Preliminary Development Plan to allow for 180 residential lots on property located approximately at 6111 West 7800 South.

WHEREAS, on July 7, 2015, the Addenbrook Village Sub-area Preliminary Development Plan was conditionally approved by the Planning and Zoning Commission, which has forwarded a positive recommendation to the City Council to ratify their approval of said development plan which will allow 180 residential lots on the property; and,

WHEREAS, a public hearing, pursuant to public notice, was held before the City Council on August 25, 2015.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF WEST JORDAN, UTAH:

Section 1. The Addenbrook Heights Sub-area Preliminary Development Plan be ratified to allow a development containing 180 single family and multi-family residential lots on property generally located at 6111 West 7800 South (parcels 20-35-100-022, 023; 20-35-200-037) containing 28.96 acres, more or less, and permitting a maximum gross density of 6.22 dwelling units per acre and 6.30 net dwelling units per acre.

The described property shall hereafter be subjected to the Medium Density, Multi-Family Residential (MFR) land-use restrictions and all other City Ordinances, Standards and Policies currently enacted and in association with the presented and accepted Addenbrook Village Sub-area Preliminary Development Plan and the following conditions:

1. The Final Development Plan shall be updated to reflect the buy up points and densities approved by the Planning Commission and City Council.
2. The Final Development Plan shall be updated to show all other requirements as approved by the Planning Commission.

Section 2. This Ordinance shall become effective upon publication or upon the expiration of twenty days following passage, whichever is earlier.

Passed by the City Council of West Jordan, Utah, this 25th day of August, 2015.

CITY OF WEST JORDAN

Kim V. Rolfe
Mayor

Voting by the City Council

"AYE"

"NAY"

Councilmember Jeff Haaga

Councilmember Rice

Councilmember Nichols

Councilmember Hansen

Councilmember Southworth

Councilmember McConnehey

Mayor Kim V. Rolfe

CITY CLERK/RECORDER'S CERTIFICATE OF PUBLICATION

I, Melanie S. Briggs, certify that I am the City Clerk/Recorder of the City of West Jordan, Utah, and that the foregoing ordinance was published in the Legal Section, of the Salt Lake Tribune, and on the City's website: www.wjordan.com on the _____ day of _____, 2015, pursuant to Utah Code Annotated, 10-3-711.

MELANIE S. BRIGGS, MMC
City Clerk/Recorder

[SEAL]

Attached

Preliminary Development Plan

Exhibit I

Addenbrook

at the Highlands

A green community in West Jordan
by Garbett Homes



Final Development Plan

Preliminary Plat
Site Plan
March, 2015

RECEIVED BY

JUN 09 2015

O.D.A.

Contents

A Green Community in West Jordan	3
Land Usage	4
Phase Plan	5
Lot Layouts	6
Utility Plans	8
Special Amenities and Features of Density Buy-up Program	10
Proposed Density Buy-up Table	11
Improvement Amenities Installation	12
Street Design	14
Building Design	15
Building & Structure HTC Product	16
Building & Structure Terrasol Product	17
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Fencing & Walls	21
Public & Private Use Areas	22
Landscaping	27
Landscape Specifications	28
Specifications of Improvements for Reimbursement	29
Building Green & Saving Green	30

A Green Community in West Jordan by Garbett homes

Introducing another Garbett Homes eco-village in West Jordan – Addenbrook Village features 180 single-family homes, twin-homes and townhomes in a beautiful neighborhood setting. Each home will boast extremely low power bills and the entire community will be Energy Star 3.0 certified. As part of the Highlands Master Planned Community, residents will have access to common area amenities including an existing trail system, great schools, churches and civic centers.

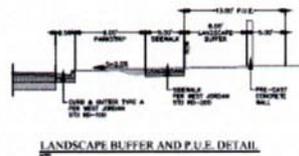
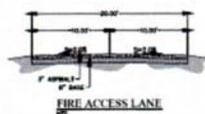
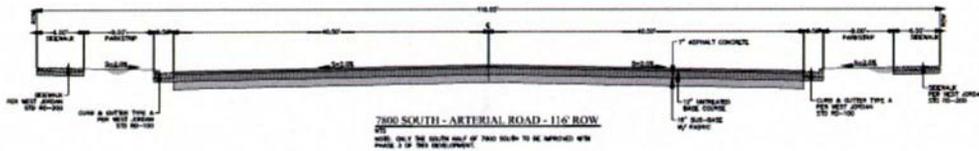
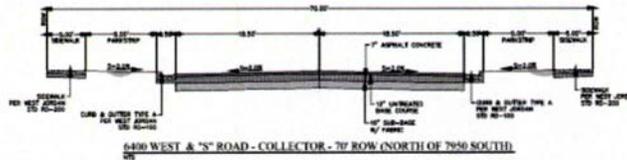
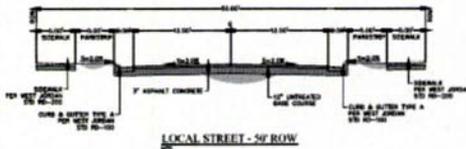
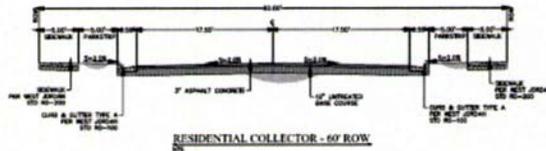
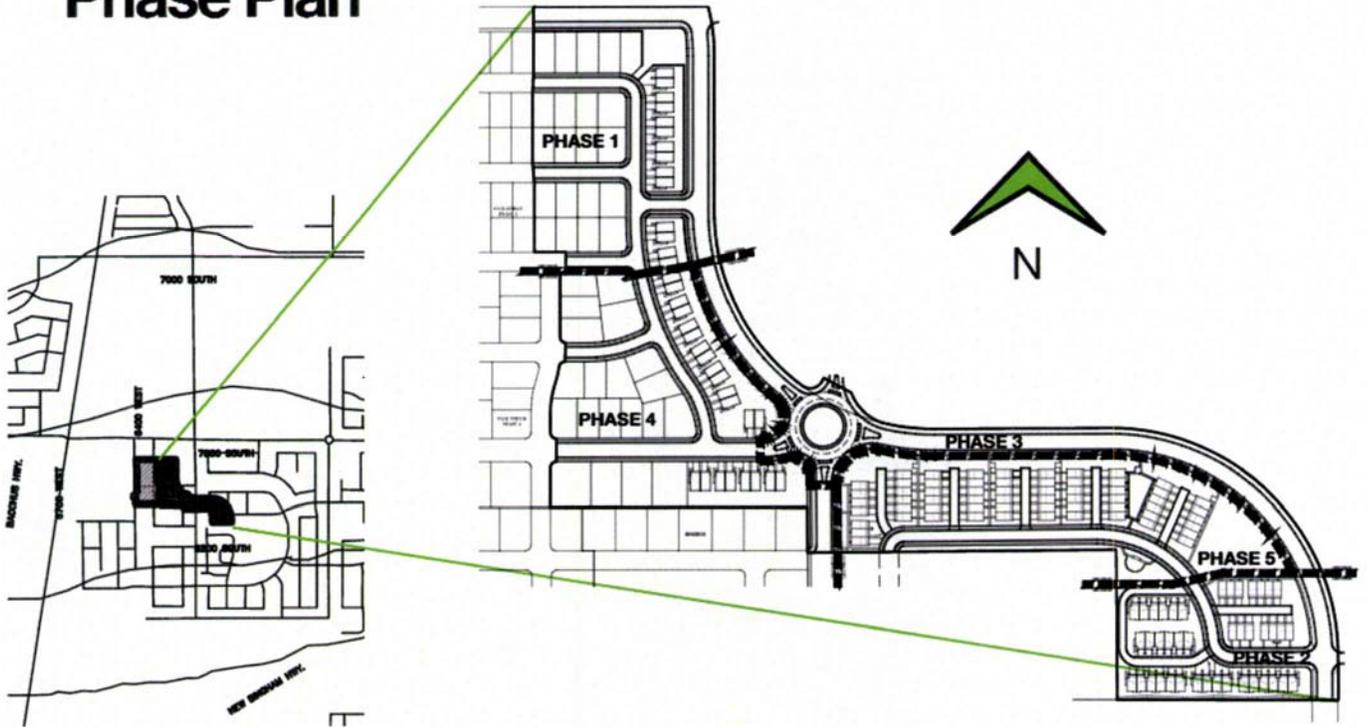
Addenbrook is a village within the Highlands Master Planned Community developed by Peterson Development located along 7800 South and 6400 West. Addenbrook is part of the Highlands West Community within the Highlands Master Planned Community. The Addenbrook property is currently agriculture or vacant undeveloped property with no large vegetation and is covered by short grasses and natural brush. Addenbrook has dramatic views of the valley and the mountains.



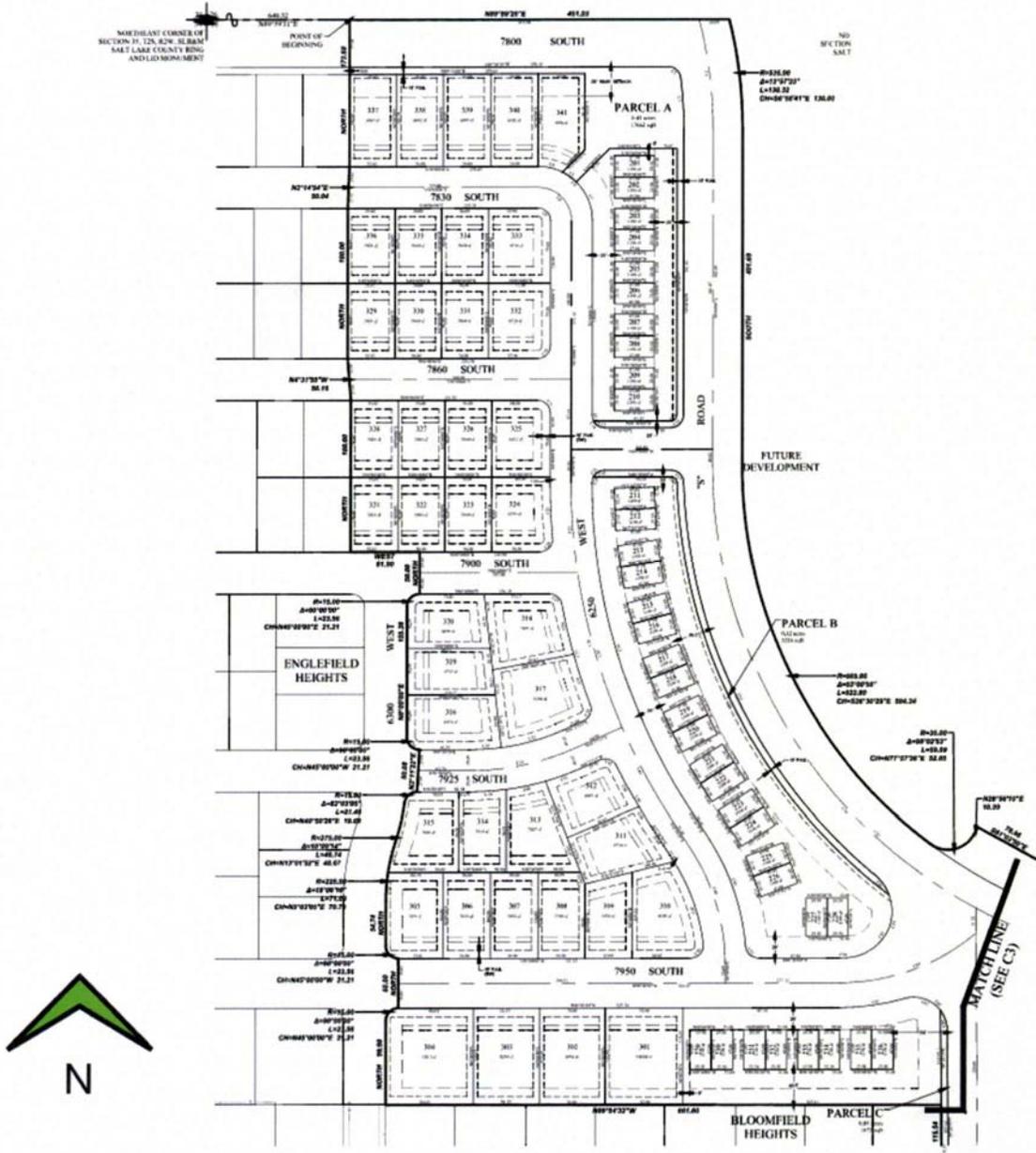
The Highlands Development Plan serves as the approved master plan for the development of the overall Highlands Master Planned Community. The Highlands Development Plan is based upon the West Side Planning Area Zone, Section 89-3-1101 in the West Jordan City municipal code adopted by ordinance #06-05, 12-12-2006. The Highlands West Community is one of three communities that make up the Highlands Master Planned Community.

West of Addenbrook Village is the proposed community of Loneview, to the south is Addenbrook Phase 1; east of Addenbrook will be the future village Gladstone Place ; 7800 South Street constitutes the north boundary of Addenbrook Village.

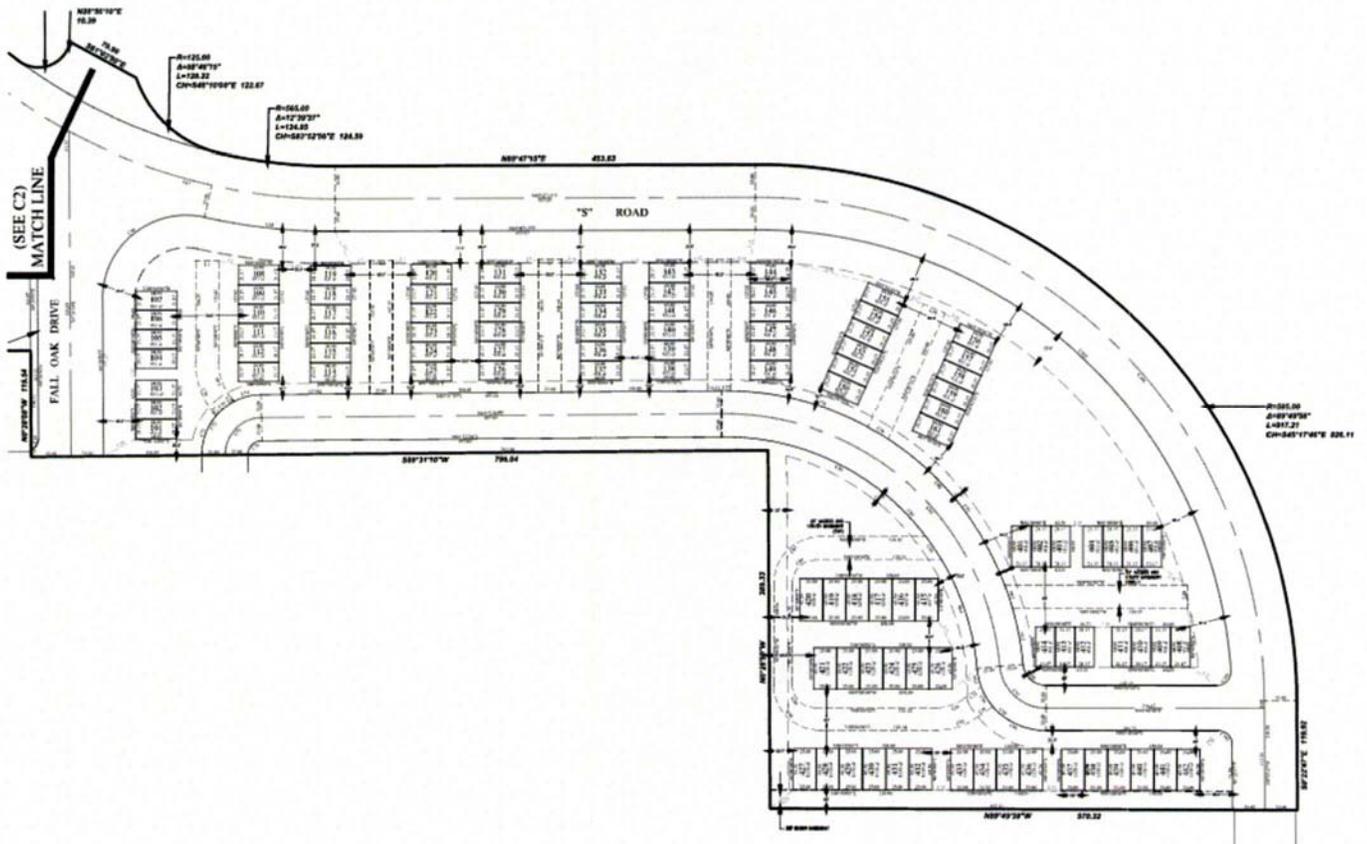
Phase Plan



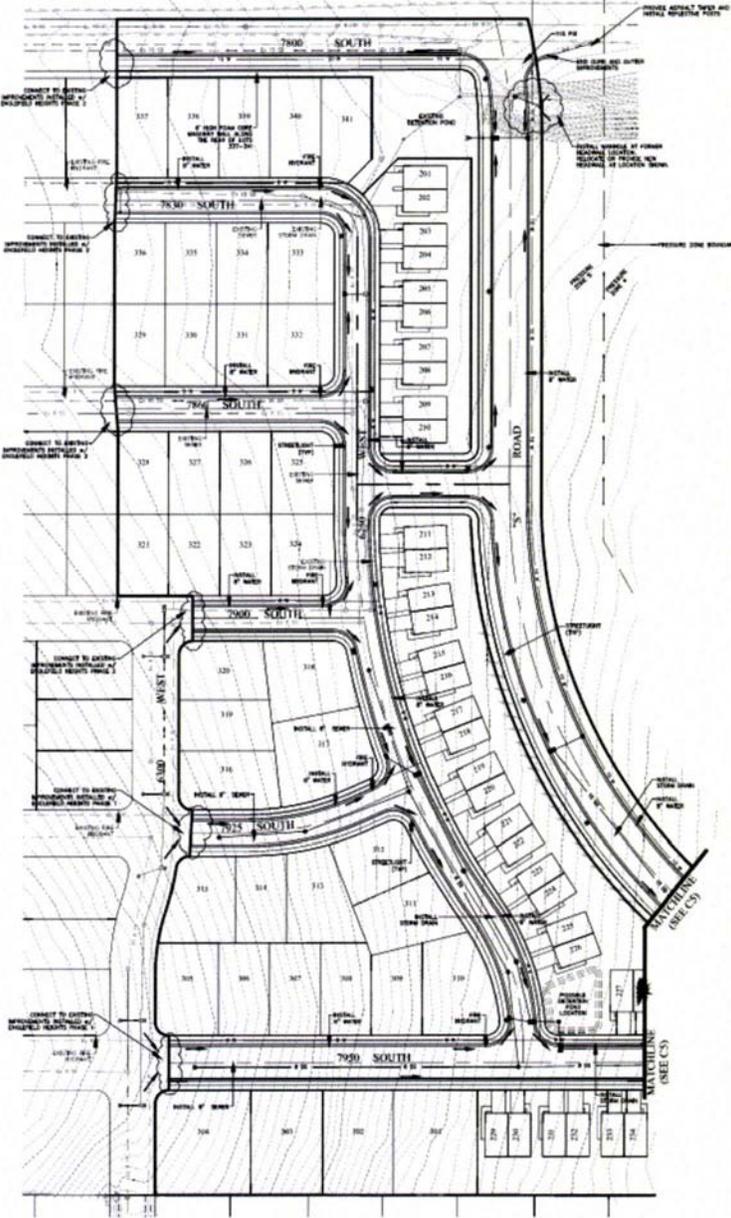
Lot Layout - West



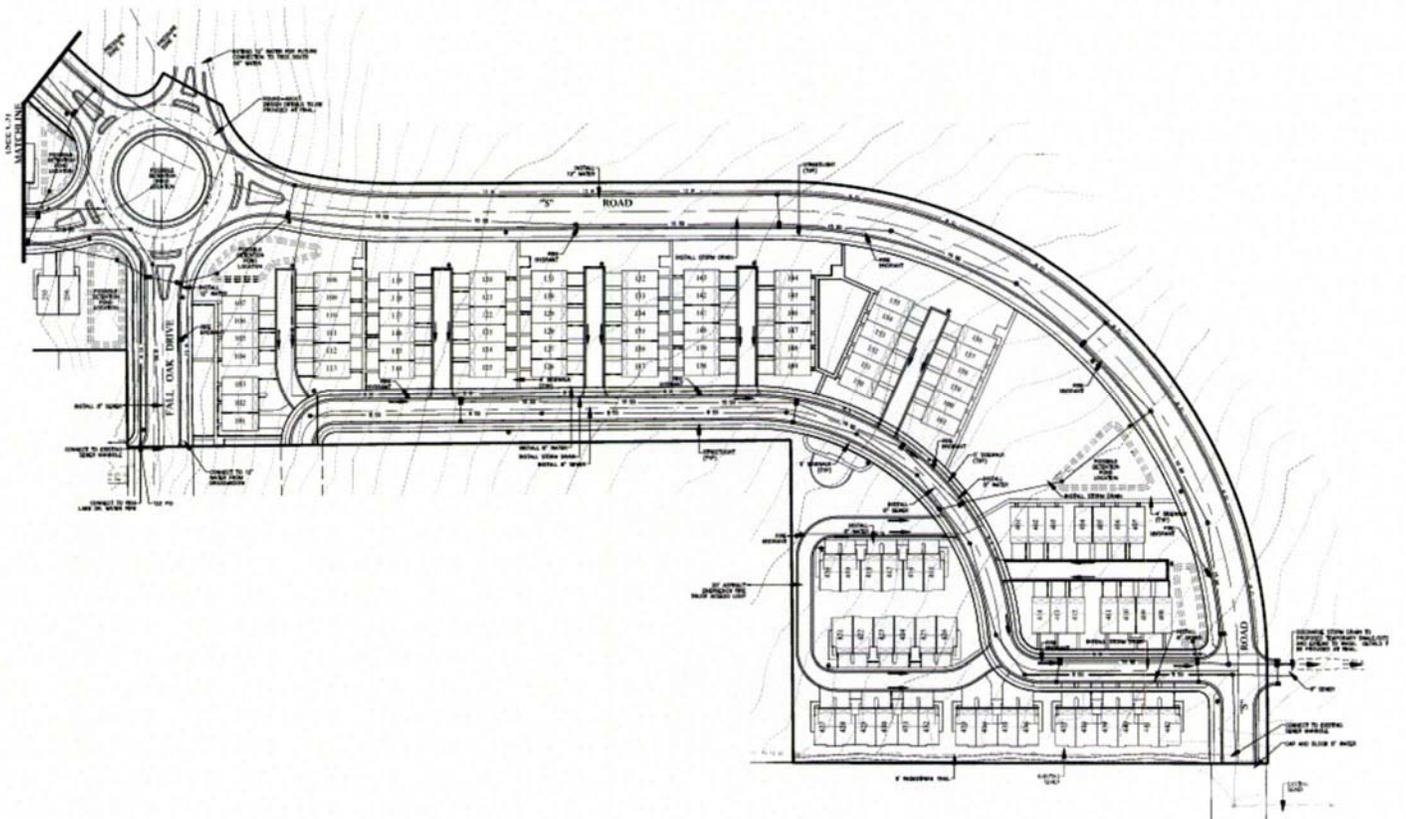
Lot Layout - East



Utility Plan - West



Utility Plan - East



Special Amenities and Features of Density Buy-up Program

There are a number of improvements and amenities that are being proposed for Addenbrook. The acreage of Addenbrook is 28.96 gross acres and 28.55 net acres. The base density is 4.51 dwelling units per acre which equates to 128.8 dwelling units. Addenbrook is proposing 180 dwelling units which requires a density buy-up of 39.8%; however, the Addenbrook community is providing enhanced amenities equal to a density buy-up of 65%. Addenbrook will be developed in five phases. Phase one will include 35 lots (single-family homes and twin-homes); Phase two will include 42 lots (townhomes); Phase three will consist of a section of the "S" street; Phase four will include 42 lots (single-family homes & twin-homes); and Phase five will include 61 lots (townhomes). Phases one and four in Addenbrook have a mix of lot sizes that range from approximately 12,012 Square Feet to approximately 5,024 Square Feet for single-family detached homes.

Net Acreage: 28.55 Acres
Zoning: MFR
Units at Base Density (4.51): 128.8
Units at Maximum Density (9.0): 257
Density Buy-up: 39.8%
Density Buy-up earned 65%
Density Allowed with Buy-up: 7.44
Units Allowed with Buy-up: 212.5
Proposed Units: 180
Proposed Density: 6.3



Proposed Density Buy-up Table

Trails & Open Space Amenity / Improvement	Weighted Value
Installation of enhanced open space/recreational amenities and/or landscaping/irrigation in excess of that required per city standards: Enhanced Landscaping Plan. - Active: - 2 playgrounds with equipment or tot lot - 2%, Volley Ball / Play Field - 1%, 3 Benches - 1% - Passive: - Common Green -1%, Landscape Buffer - 2%, Greenbelt - 2%	7%
Street Design Amenity / Improvement	Weighted Value
Entryway monuments or gateway feature to development - 3 ornamental features	3%
Provision of a landscape buffer or major rights of way – install an 8’ landscape buffer along arterial and collector streets; 1% point shall be granted for every 100’ of lineal frontage – total lineal frontage of 300 lineal feet.	5%
Building Design Amenity / Improvement	Weighted Value
Installation of covered porches throughout 50% of subdivision	14%
Enhanced door, window, eave and roofing treatment	12%
Equal dispersion and use of high quality building materials	12%
Discretionary Buy-up Amenity / Improvement	Weighted Value
High energy-efficient building practices (low HERS score and solar-power)	12%

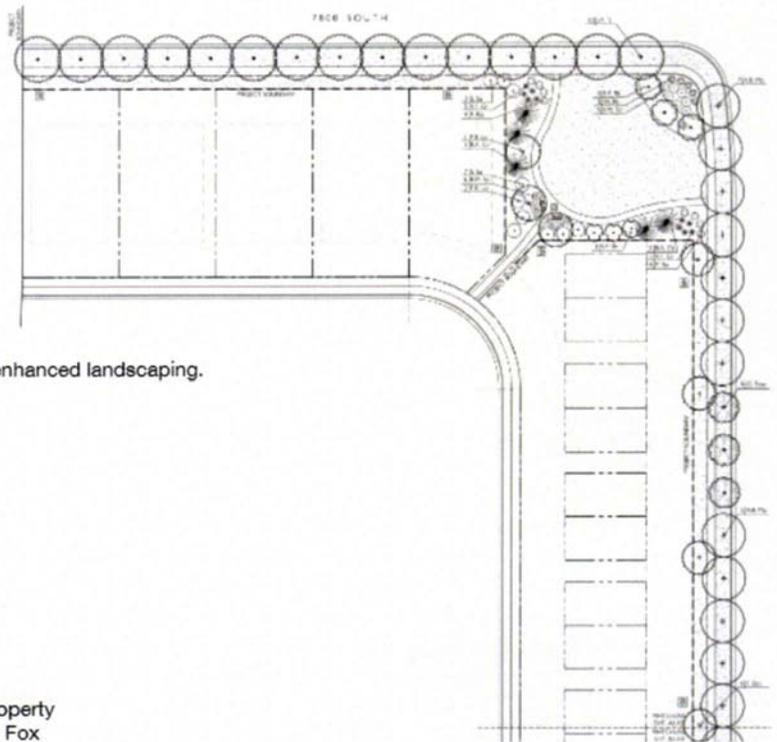
Total Buy-Up for Addenbrook: **65%**

Improvement & Amenities Installation

Trails and Open Space

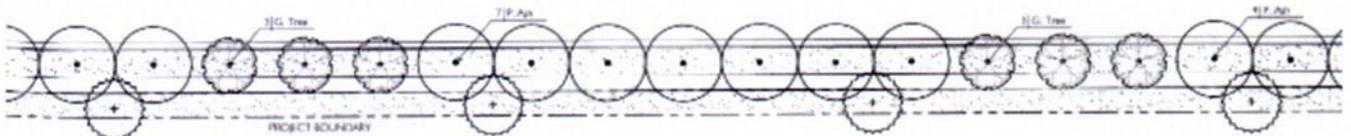
Installation of enhanced open space/recreational amenities in excess of that required by City standards:

- Installation of enhanced landscaping at townhomes and twin-homes.
 - Active:
 - 2 playgrounds with equipment or tot lot
 - Volley Ball / Play Field
 - 3 Benches
 - Passive:
 - Common Green - at the corner of 7800 South Street and "S" Street.
 - Landscape Buffer - located at the south boundary of the twin homes; a buffer to adjacent subdivision.
 - Greenbelt - located along "S" Street frontage of townhomes.
- 3 Entry monuments with ornamental features and lighting.
- Provision of 8 Foot wide landscape buffer for a total length of 300 Linear Feet along major rights of way.
- Provision of pedestrian trail 1,820 Linear Feet on north property line



The corner of 7800 South and the "S" street will feature enhanced landscaping.

Installation of a 500 Foot pedestrian trail on the South property line of Addnebrook connecting the City's trail adjacent to Fox Hollow Elementary School.

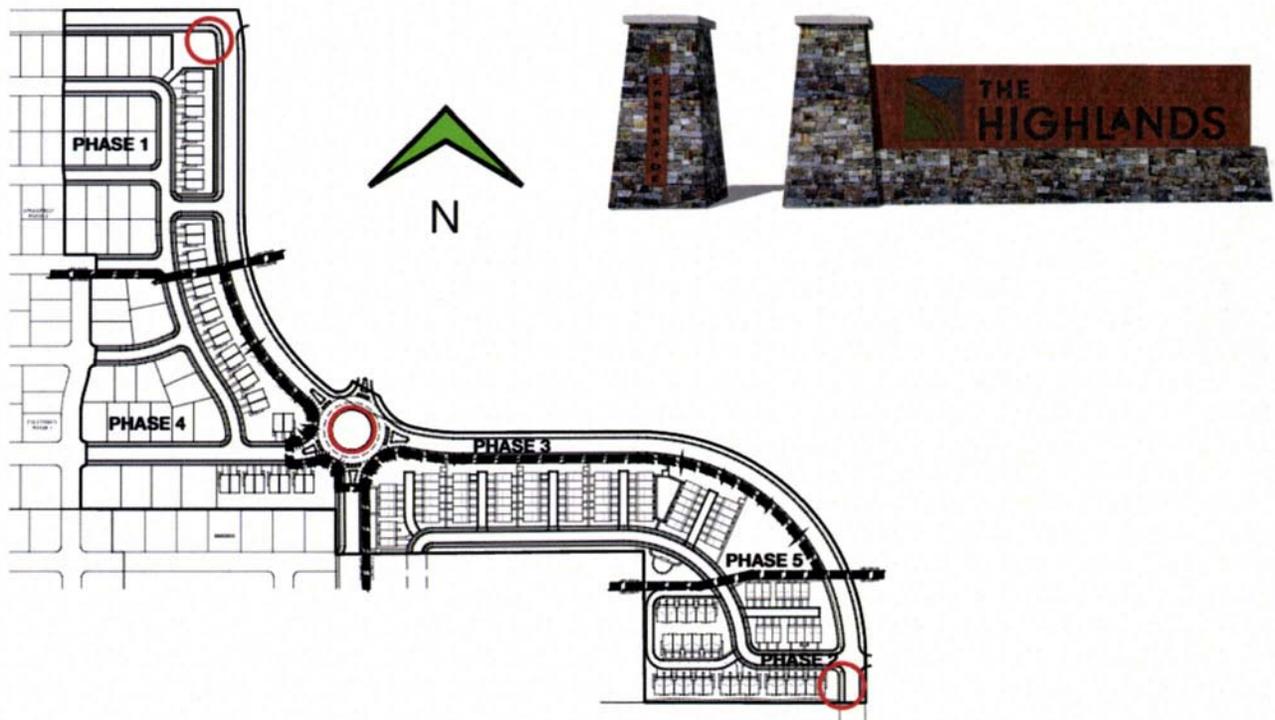


Street Design

Entryway Monuments or Gateway Feature to Development

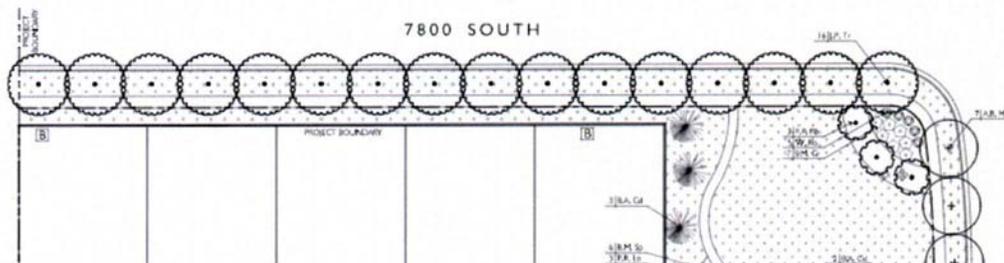
Three ornamental gateway features with lighting will be provided in Addenbrook at these locations:

- On the corner of 7800 South and "S" Street. This monument will identify both the Highlands MPC and Addenbrook Village.
- In the Roundabout on 6400 West. This monument will identify Highlands MPC.
- At the entrance to the Townhomes and "S" Street. This monument will identify both Highlands MPC and Addenbrook Village



Provision of a landscape buffer on major rights of ways

Installation of an 8 Foot landscape buffer along arterial and collector streets for a total lineal frontage of 1637 lineal feet. This additional landscape area along the 7800 South right of way in Addenbrook will upgrade and enhance the visual interest of the development. The wall shall be no higher than 7 Feet and no lower than 6 Feet. Turf grass shall be installed between the back side of the sidewalk and the horizontal relief areas of the perimeter wall.



Building Design

Installation of covered porches throughout 50% of the subdivision

Covered porches shall have a minimum of 50 square feet.



Enhanced door and window treatments

Enhanced door and window treatments or equivalent window detailing will be included on all homes in Addenbrook. Windows should be installed on all facades of a residential structure and shall be proportionate in size to the wall face in which the window is located. All windows should be framed in wood, brick, stone or stucco trim that is at least four inches (4") in width.



Equal dispersion and use of high quality building materials

No Vinyl or aluminum siding will be used on any of the homes built in Addenbrook. The exterior materials will include cedar, stucco, brick, stone and fiber cement (Hardy) siding.



Building & Structure HTC Product

These illustrations are representations of the homes that will be built in Addenbrook Heights at the Highlands. Homes will feature exteriors with building materials including brick, stone, cedar, stucco and painted fiber cement (Hardy®). Many exterior color options will be offered. Homes will feature two and three car attached garages and will be built on two sizes of lots: approximately 8,000 Square Feet and approximately 4,500 Square Feet. Homes will feature three to six bedrooms with 2 to 3.5 bathrooms.

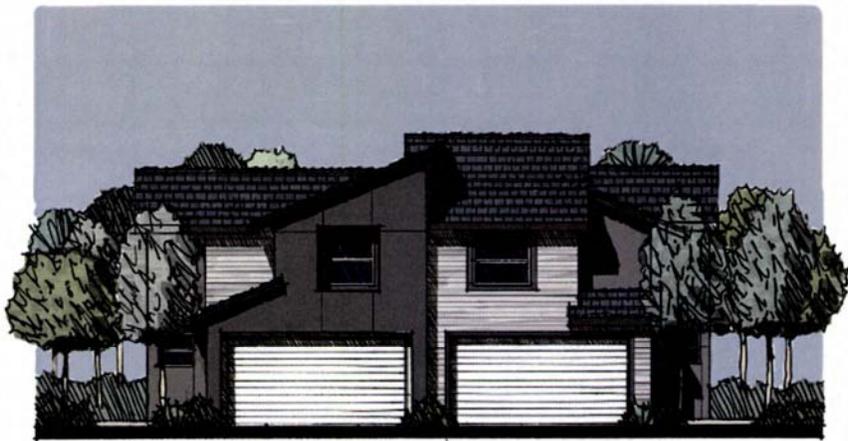
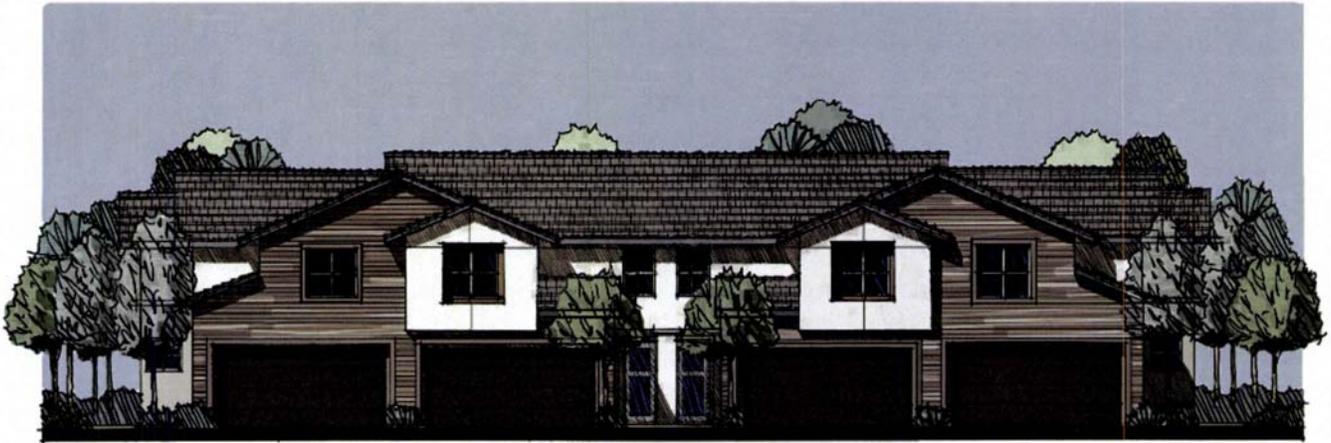


Building & Structure Terrasol Product



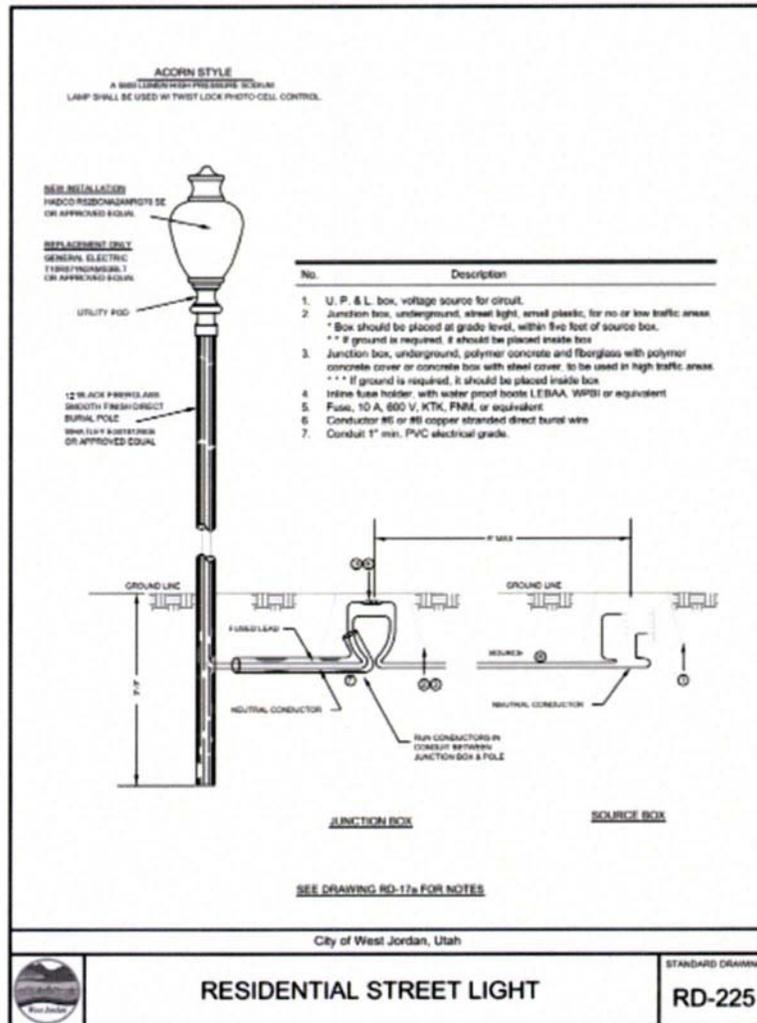
Building & Structure Townhome & Duet





Lighting

All light fixtures will conform with West Jordan City Standards as defined in Appendix A, Street Lighting and Signals, Standard Drawing RD-225, Residential Street Light as shown.



Placement of Street Lights is primarily for vehicular and pedestrian safety. Street lights in Addenbrook Village will be placed at all street intersections and corners and will be designated on the Street Light Location plan in the civil drawings. The use of exterior lighting to accent a building's architecture is encouraged. All lighting fixtures will be properly shielded to eliminate light and glare from impacting adjacent properties, and passing vehicles or pedestrians. If neon tubing is used to illuminate portions of a building it must be concealed from view through the use of parapets, cornices or ledges. Small portions of exposed neon tubing may be used to add a special effect to a building's architecture but this must be well thought out and integrated into the overall design of the project.

To achieve the desired lighting level for parking and pedestrian areas, the use of more short, low intensity fixtures is encouraged over the use of a few tall fixtures that illuminate large areas.

Fencing & Walls

Addenbrook will have concrete walls along 7800 South Street and along "S" Street adjacent to the twin-homes. Approximately 1,637 linear feet of concrete wall will be installed. The concrete wall will be manufactured by either RhinoRock or Owell. The wall will be installed by the developer; it will be maintained by each property owner adjacent to the wall. To maintain the continuity of the concrete walls along 7800 South and "S" Street the side lot property lines adjacent to the Common Green will also have concrete walls. These walls will run from the rear property line up to approximately the front set back line of the home on each lot. The 3' ornamental metal fence on the "S" Street frontage adjacent to the townhomes will be installed by the developer and maintained by the HOA. Other fencing at the twin-homes will be subject to review and control of the HOA.

All other fencing will adhere to the Highlands Master Planned Community Standards which include:

- 1 – The overall design of Highlands strongly emphasizes open styles of fencing, especially along roadways and surrounding neighborhoods.
- 2 – Solid fences are not appropriate except in between houses and between different land uses.
- 3 – Open styles are considered to be those that emphasize the use of natural materials such as wood with architectural detailing, iron fencing between solid pilasters, and which utilize natural colors, such as brown, gray or green.
- 4 – Any fence or wall must be designed to be compatible with the architecture of the immediate area, and are subject to Design Review.
- 5 – The design of fences and walls must harmonize with the site and with the buildings in both scale and materials.
- 6 – The placement of walls and fences must respect existing land forms and follow existing contours and fit into existing land masses rather than arbitrarily following site boundary lines.
- 7 – Fencing must not dominate the buildings or the landscape. Plantings may often be integrated with fencing schemes to soften the visual impact. Fencing materials must be compatible with the materials and color of surrounding buildings.
- 8 – If the ground slopes, the fence must be stepped.
- 9 – Permanent chain link, livestock wire, plywood, chain and bollard are prohibited.
- 10 – All fences, walls, gates & pylons require Design Review. Fences that replace, in kind, existing fencing of less than 100 linear feet, do not require a permit. Additionally, fences over six feet in height, electric gates and all retaining walls will require a building permit.



Public & Private Use Areas

The Common Green areas will be Public Use Areas. All residents and visitors will also enjoy and benefit from the additional 8 Foot wide landscape buffer along the two major streets — 7800 South Street and the "S" Street.

Landscaping

Addenbrook has 8 acres of open space in three main areas — the Common Green, the townhomes and twin-homes open space areas and the 8 Foot landscape buffers along the major streets. A portion of both the Common Green and the townhomes and twin-homes open space areas will also serve as storm water detention; but will be designed so as to be functional open space.

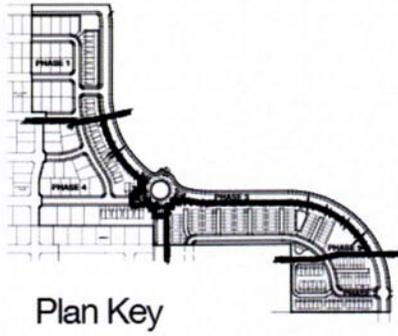
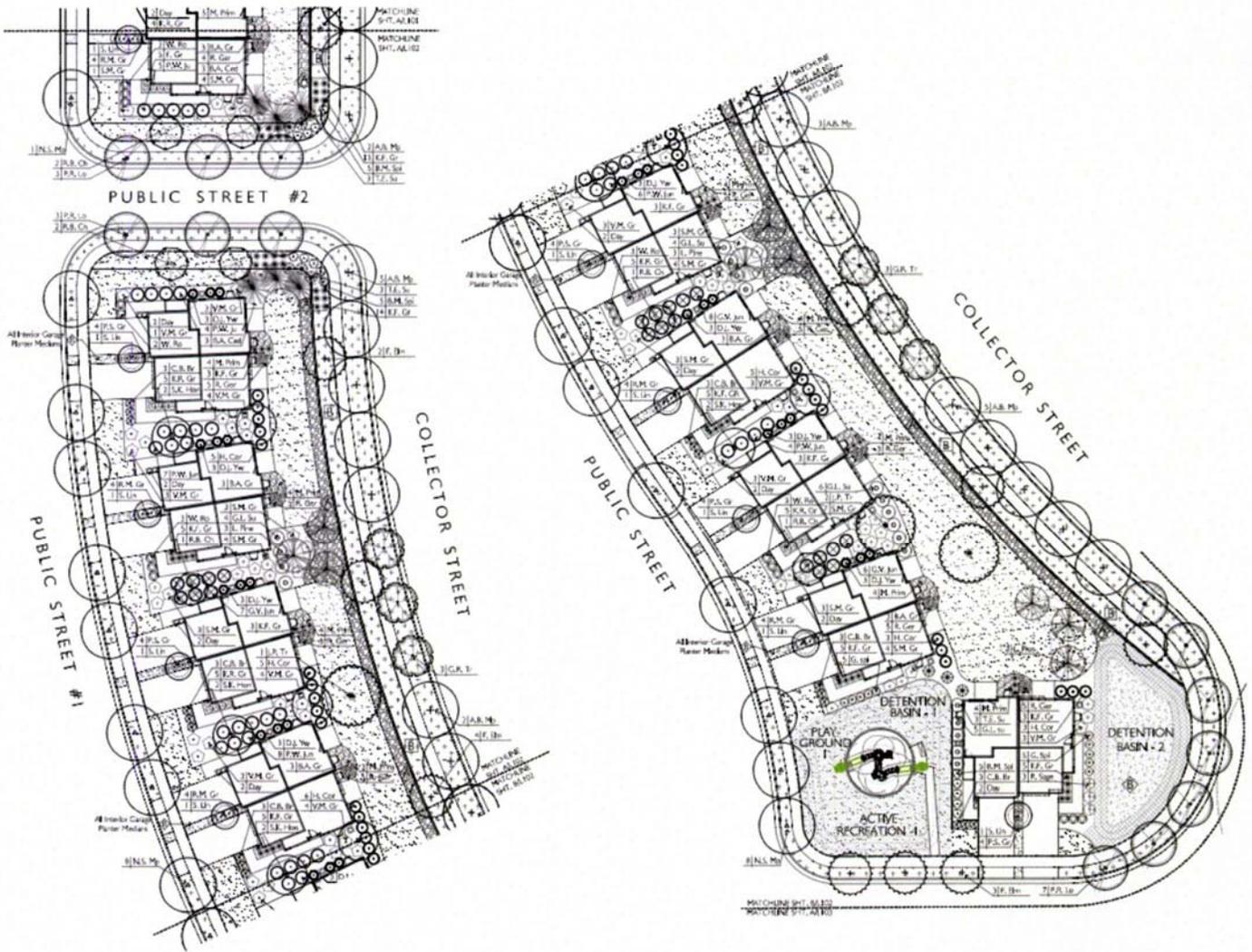
The 8 Foot landscape buffers will be installed at the same time that the park strip landscaping is installed on 7800 South Street and the "S" Street. All landscaping in the parkstrips will be in accordance with the West Jordan Parkstrips and StreetScapes code.

The landscape improvements for the Common Green will be installed in conjunction with the issuance by the City of the Certificate of Occupancy for the last home in Phase 1 of Addenbrook. The Common Green and the 8 Foot landscape buffers will be installed by the developer, dedicated to the City upon completion and maintained by the SAA.

LANDSCAPE SCHEDULE						
TREES						
A, Map	13	Acer glaberrimus - Clump	Amur Maple - Clump	2' Cal.	Varies	Yes
A.B, Map	29	Acer freemanii Jefferson	Autumn Blaze Maple	2' Cal.	Varies	Yes
S.S, Map	52	Acer nitens	State Street Maple	2' Cal.	Varies	Yes
S.S, Map	54	Acer truncatum x A. plat. 'Kohlrstrom'	Norwegian Sunset Maple	2' Cal.	Varies	Yes
S.A, Cd	23	Cedrus atlantica glauca	Blue Atlas Cedar	6' - 7'	Varies	Yes
F.P, Rb	3	Cercis canadensis Forest Parag	Forest Parag Redbud	2' Cal.	Varies	Yes
W, Haa	9	Crataegus phaeocorymbium Washington	Washington Hawthorn	2' Cal.	Varies	Yes
T, Ab	35	Fraxinus pennsylvanica Plymory	Plymory Ash	2' Cal.	Varies	Yes
A.K, Hm	27	Gleditsia inaequalis 'Daves'	Street Keeper Honeylocust	2' Cal.	Varies	No
G.R, Tr	36	Koeleria paniculata	Goldenrod Tree	2' Cal.	Varies	Yes
P.F, Cr	18	Malus 'Pinkie Pie'	Pinkie Pie Crabapple	2' Cal.	Varies	Yes
L, Phe	23	Pinus taeda	Lumber Pine	6' - 7'	Varies	Yes
C.P, P	8	Pinus caroliniana 'Crimson Point'	Crimson Pointe Plum	1.5M' Cal.	Varies	No
R.B, Oh	32	Prunus serrulata 'Royal Burgundy'	Royal Burgundy Cherry	1.5M' Cal.	Varies	No
P.P, Lo	53	Rosa pseudacantha Purple Rose'	Purple Rose Locust	2' Cal.	Varies	Yes
J.P, Tr	47	Sophora japonica 'Regent'	Japanese Pagoda Tree	2' Cal.	Varies	Yes
C, Lin	17	Tilia cordata 'Cortina'	Cortina Linden	2' Cal.	Varies	Yes
T, Bm	13	Ulmus x 'Frontal'	Frontal Elm	2' Cal.	Varies	Yes
V.G, Z	32	Zelkova serrata Village Green'	Village Green Zelkova	2' Cal.	Varies	Yes
SHRUBS						
C.B, Br	85	Berberis thunbergii 'atm. Cherry Bomb'	Cherry Bomb Red Leaf Barberry	2 Gal.	5' o.c.	Yes
B.M, Sp	27	Caryopteris x darcowiana Dark Knight	Dark Knight Blue Mez Salix	2 Gal.	4' o.c.	Yes
P.W, Jun	122	Juniperus horizontalis 'Prince of Wales'	Prince of Wales Juniper	2 Gal.	7' o.c.	Yes
G.V, Jun	53	Juniperus horizontalis 'Hedgehog'	Good Vibrations Juniper	2 Gal.	7' o.c.	Yes
C, Pk	43	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	2 Gal.	5' o.c.	Yes
C.O, Gr	125	Mahonia aquilifolia 'Compact'	Compact Oregon Grape	2 Gal.	4' o.c.	Yes
G.L, Sp	160	Rhus aromatica 'Glow Low'	Glow Low Sumac	2 Gal.	6' o.c.	Yes
T.E, Sp	48	Thuja sutchuanensis 'Tiger Eye'	Tiger Eyes Gold Leaved Sumac	5 Gal.	6' o.c.	Yes
A, Cl	49	Rosa alba 'Alba Compact'	Alpine Compact	2 Gal.	5' o.c.	Yes
W, Ro	58	Rosa 'Medallion White'	White Medallion Rose	5 Gal.	4' o.c.	Yes
A.W, Sp	42	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	2 Gal.	5' o.c.	Yes
G, Sp	80	Spiraea bumalda 'Goldflame'	Goldflame Spiraea	2 Gal.	4' o.c.	Yes
H, Cor	87	Syringia microbotrys 'Harwood'	Harwood Coriberry	2 Gal.	6' o.c.	Yes
D.J, Yew	104	Taxus cuspidata densicorimb.	Dense Japanese Yew	2 Gal.	5' o.c.	Yes
ORNAMENTAL GRASSES						
S.A, Gr	71	Stolonchloa gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	1 Gal.	3' o.c.	No
K.F, Gr	253	Calamagrostis x acutiflora 'Earl Foemter'	Earl Foemter Feather Grass	1 Gal.	3' o.c.	Yes
S.A, Gr	184	Pennisetum orientale 'Babys Room'	Babys Room Fountain Grass	1 Gal.	3' o.c.	Yes
S.M, Gr	186	Miscanthus sinensis 'Shenandoah'	Sender Mitten Grass	1 Gal.	6' o.c.	Yes
V.M, Gr	108	Miscanthus sinensis 'Valeggio'	Valeggio Mitten Grass	1 Gal.	6' o.c.	Yes
R.M, Gr	114	Muhlenbergia capillaris 'Lenox'	Regal Marble Pink Mully	1 Gal.	4' o.c.	No
P.S, Gr	155	Panicum virgatum 'Prairie Sky'	Prairie Sky Switch Grass	1 Gal.	4' o.c.	Yes
PERENNIALS						
R, Ger	90	Rosmarinus officinalis 'Rosanne'	Rosanne Hardy Geranium	1 Gal.	2.5' o.c.	Yes
Day	37	Hemerocallis variegata	Daylily	1 Gal.	2.5' o.c.	Yes
M, Prim	72	Oenothera biennis 'Mexican Primrose'	Mexican Primrose	1 Gal.	3' o.c.	Yes
R, Sage	14	Penstemon americanus	Russian Sage	1 Gal.	5' o.c.	Yes
GROUNDCOVERS						
V, Cr	80	Parthenocissus vitacea	Virginia Creeper	1 Gal.	6' o.c.	Yes
S.S, Sd	19	Securidaca burbankii 'Blue Spruce'	Blue Spruce Sedum	1/2/3/4	12' o.c.	Yes
D.S, Sd	20	Securidaca burbankii 'Dragon's Blood'	Dragon's Blood Sedum	1/2/3/4	12' o.c.	Yes
TURF						
65, 175 SF	Site Area - Chamshare Imperial Blue			1st	NA	
82, 176 SF	Park / Street R.O.W. - Chamshare Imperial Blue					
77, 394 SF	Active Recreation / Buffer - Chamshare Imperial Blue					
MULTI-CUT						
17,322 SF	Decorative Crushed Stone, 1" Earth Tone Color				3" depth	
	Decorative Cobble, 2" - 4" Earth Tone Color					
	3" x 3" Tree Placers - Decorative Cobble, 2" - 4" Earth Tone Color					
	Wood Mulch, Medium - All Barriers Unless Noted Otherwise				3" depth	
PAVERS						
80	2" x 6" Precast Concrete Pavers					
LANDSCAPE BERM						
	1" - 4" Landscape Item, Max. 3:1 slope					

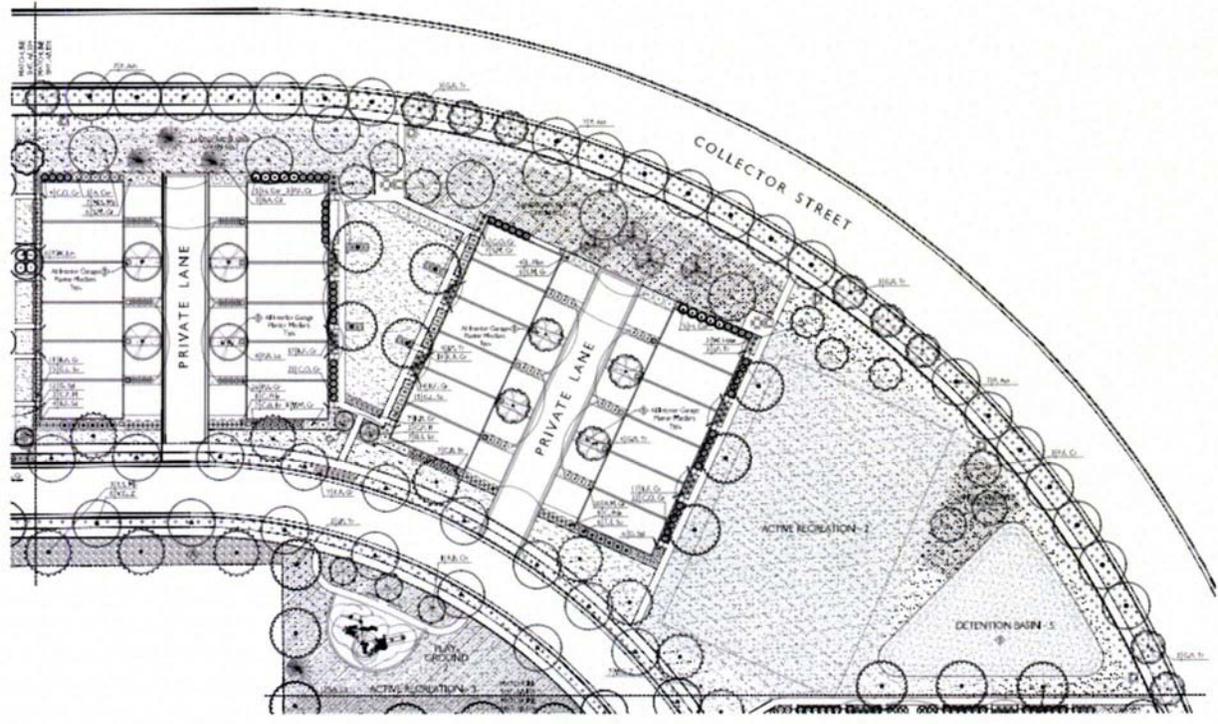
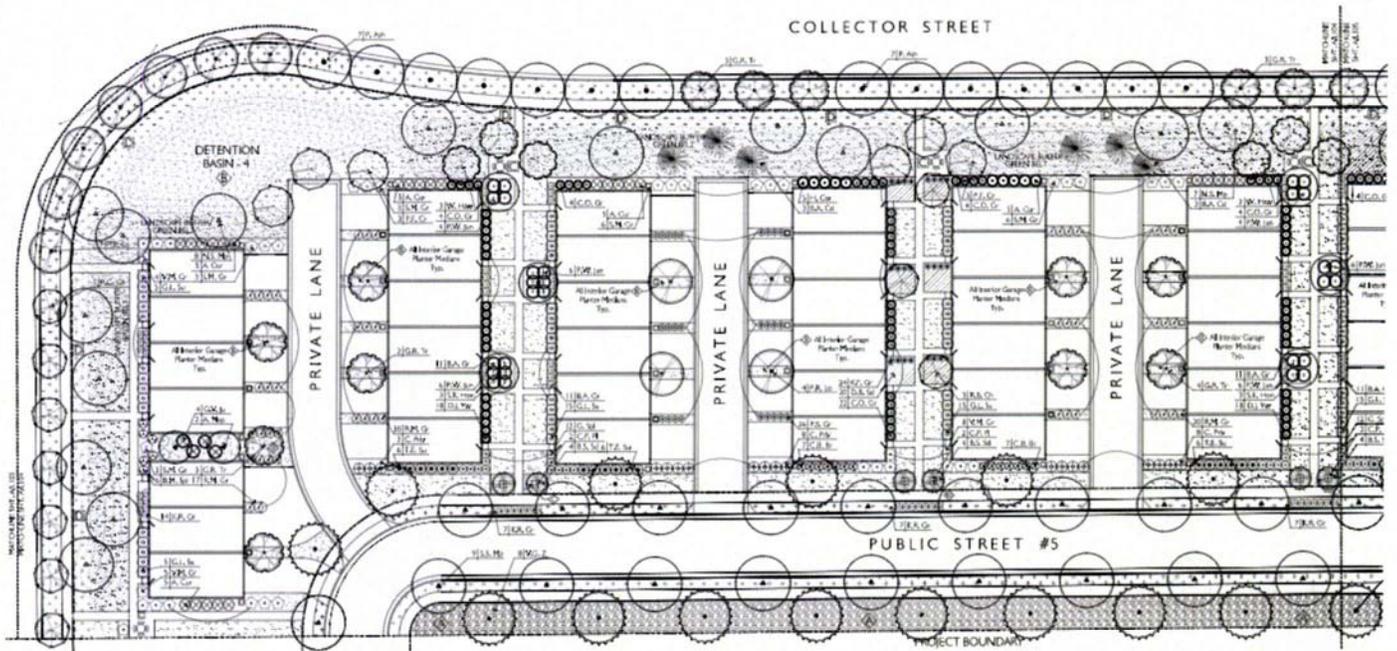
LANDSCAPE TABULATIONS		
	REQUIRED	PROVIDED
SITE LANDSCAPE AREA		262,021 SF.
LANDSCAPE AREA PLANT COVERAGE - 10% MIN. COVERAGE	104,814 SF.	249,087 SF.
TURF GRASS AREA - 25% MIN. COVERAGE	65,531 SF.	67,825 SF.
DETENTION BASIN PLANT COVERAGE - 30% MIN. COVERAGE	11,274 SF.	15,465 SF.
SITE TREES - 1/2,000 SF.	138 TREES	229 TREES
TREES - WATER CONSERVING	75%	87%
SHRUBS, GRASSES, GROUNDCOVERS - WATER CONSERVING	75%	92%
PAVING STRIP - 1/2, 25 LF.	16 TREES	16 TREES
7800 SOUTH STREET	15 TREES	15 TREES
COLLECTOR STREET	21 TREES	21 TREES
PUBLIC STREET #1	10 TREES	10 TREES
PUBLIC STREET #2	14 TREES	14 TREES
PUBLIC STREET #3	21 TREES	21 TREES
PUBLIC STREET #4	31 TREES	31 TREES
PUBLIC STREET #5	50 TREES	50 TREES

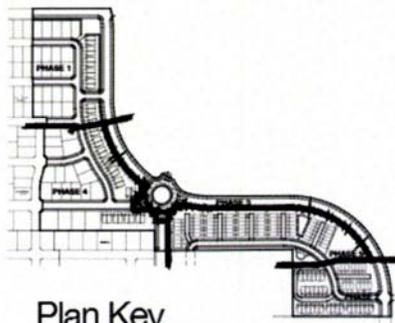
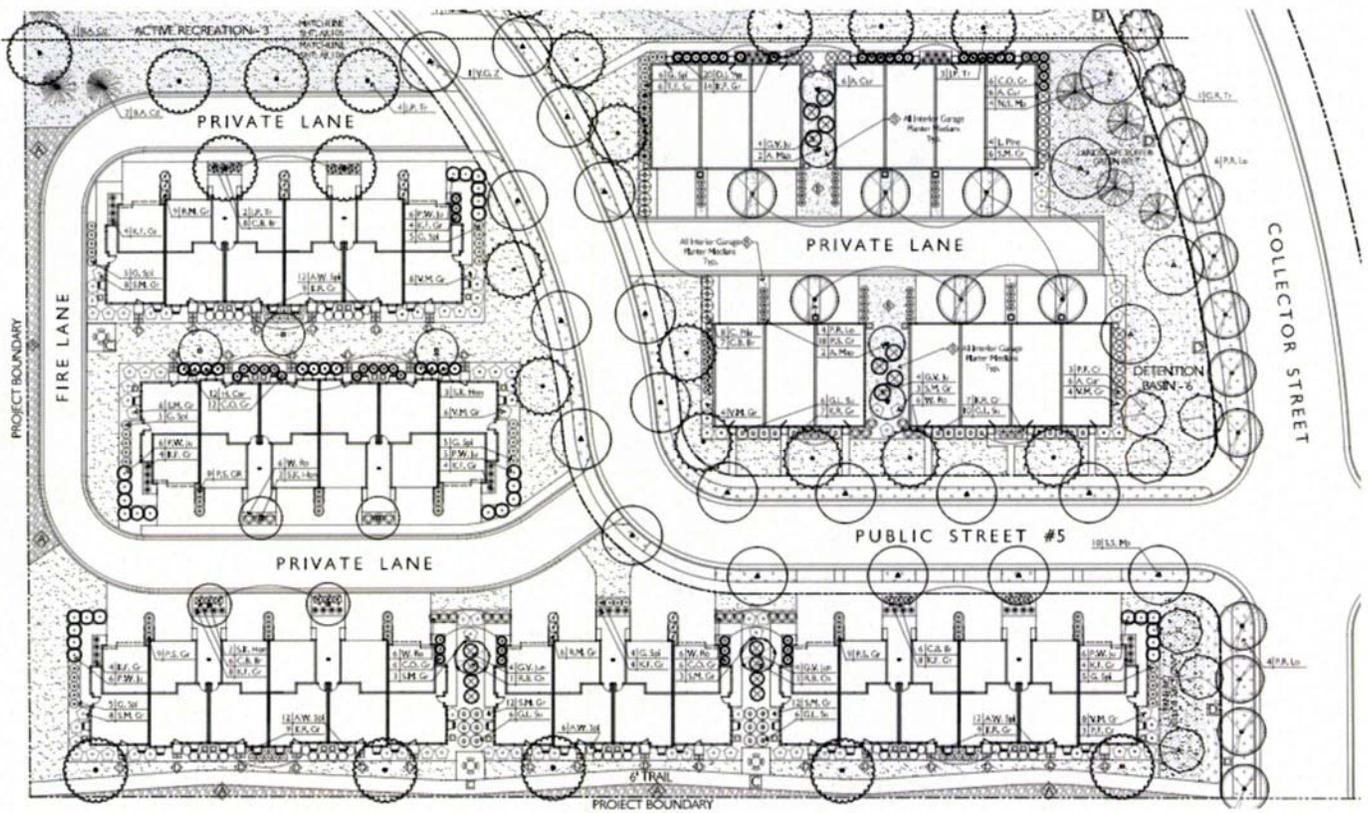
Landscaping



Plan Key

Landscaping





Plan Key

Landscape Specifications

LANDSCAPE SPECIFICATIONS

LANDSCAPE PART I - GENERAL

1.1 SUMMARY

- A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:

1. Topsoil and Soil Amendments, 2. Fine Grading, 3. Cultivation, 4. Landscape Edging, 5. Turf Planting, 6. Furnish and Install Plants, 7. Maintenance, 8. Mowing, 9. Weeding.

1.2 SITE CONDITIONS

- A. **Examination:** Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents. If the Contractor observes that portions of the Contract Documents are at a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Manager and the necessary change shall be accomplished by Addendum.
- B. **Site Conditions:** Landscape Contractor must examine the site conditions under which the work is to be performed and notify the Project Manager in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- C. **Planting Conditions:** The planting areas shall be free of waste or debris developed by other trades. Discrepancy from these conditions shall be reported to the Owner or their representative before beginning construction.
- D. **Protection:** Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.
- E. **Irrigation System:** Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.
- F. **Coordination:** The Landscape Contractor must coordinate with all other trades working on site to best facilitate progress on the job.

1.3 PLANT DELIVERY, QUALITY, AND AVAILABILITY

- A. All plants procured for this project are to be tagged by the supplier nursery with the identification labels consistent with the specified plant names and project drawing identifiers if drawing symbol identifiers are used.
- B. Deliver trees and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than six (6) hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable means of retaining moisture.
- C. All plant materials are to be inspected by the Project Manager at the time of delivery on site. This inspection does not constitute final acceptance of any plant material. All plant material will be inspected again at time of final inspection and once again at the end of the warranty period. Any plant found to be unacceptable at any of these inspections shall be immediately removed and replaced.
- D. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unavailable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.

1.4 MAINTENANCE

- A. **Plant Materials:** The contractor is responsible for all maintenance of all planted materials in a healthy and growing condition during the warranty period or until the project is in its final release, has been completed and released to the City. This maintenance is to include weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-planting and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory to the City at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and that replace any and all plant material that is lost due to improper application of water.

1.6 FINAL INSPECTION

- A. All plants will be inspected at the time of Final Inspection for conformance to specified planting procedures, and for general appearance and quality. Any plant not approved by the Project Manager will be rejected and replaced immediately.

1.7 SUBSTANTIAL COMPLETION

- A. A Substantial Completion Certificate will only be issued by the University for "landscape and irrigation projects" in their entirety. Substantial Completion will not be partitioned to be designated areas of a project.

1.8 GUARANTEE

- A. **Guarantee:** A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. All replaced plants shall be guaranteed and maintained according to the specifications for another one year. Any outside factors, such as varicellum or lack of maintenance on the part of the Owner, shall not be considered in the guarantee.

PART II - PRODUCTS

2.1 LANDSCAPE MATERIALS

- A. **Plants:** Plants shall be sound, healthy, vigorous, and free from pests and diseases. They shall be well branched, be in full leaf, have a healthy root system, and not be pot-bound. All plants shall be nursery grown and conform to size and size specified. Do not prune or top prior to delivery. Conform to list of plant materials on drawings.
- B. **Turf Sod:** All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Do not use sod from any other source.

- C. **Top Soil:** Topsoil shall consist of natural sandy loam and be of uniform quality, free from subsoil, hard clods, stiff clay, hard-pans, sod, partially disintegrated debris, or any other undesirable material. Soil shall be free of plants, roots or seeds that would be toxic or harmful to growth. Topsoil shall be obtained from naturally graded areas and shall contain at least 4 percent organic matter as determined by loss upon ignition of a moisture free sample that has been dried in accordance with current methods of the Association of Official Agricultural Chemists. Ph range shall be 5.5 to 8.2 inclusive. The Contractor shall furnish a certified report of an analytical chemist approved by the Project Manager showing the analysis of the topsoil proposed for use. Furnish a sample of the proposed to the Project Manager prior to delivery of topsoil on site.
- D. **Tree Staking:** Trees shall be staked at the contractor discretion. All trees not plumbed shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common zinc stakes used as shown on the details.
- E. **Tree Wrap:** Tree wrap is not to be used.
- F. **Weed Barrier:** Dewitt PRO-5 Weed Barrier. Manufactured by Dewitt Company. dewittcompany.com or approved equal.

2.2 SOIL AMENDMENTS

- A. **Commercial Fertilizer:** Complete fertilizer of neutral character, with some elements derived from organic sources, O-F-24-1C, type 1 grade 16-16-8, level B with guaranteed analysis marked on the container. Provide nitrogen in a form that will be available to lawn during initial period of growth; at least fifty (50) percent of nitrogen to be organic form. Adjust fertilization mixture to meet recommendations given by topsoil analysis.
- B. **Peat:** Peed peat, sege peat, moss peat (the shreds only), reed muck or sege muck all comply with Q-P-166e, class B coarseness.
- C. **Topsoil:** Amend the top soil as necessary to meet requirements for topsoil under Section 2.1.C.
- D. **Herbicides:** EPA registered and approved, of type recommended by manufacturer.

PART III - EXECUTION

3.1 GRADING

- A. **Examine Site:** Prior to the installation of any topsoil, the Contractor shall inspect the existing sub-grade for compliance to the plans and specifications. Any discrepancies shall be brought to the attention of the Project Manager for appropriate action.
- B. **Sub-grade:** When contract operations have been completed to a point where the areas will not be disturbed, the Contractor shall clean the sub-grade so as to be free of waste material of all kinds. Scarify and pulverize the sub-grade to a depth of not less than four inches. Scarification shall be completed in all areas that area to receive plant materials whether it is to be soil, trees, groundcover, or shrubs.
- C. **Grading:** Grade planting areas as directed by Project Manager and according to the grading plan. Check existing rough grade prior to starting work. If rough grade will not allow the required topsoil depth before the grading, contact Owner or their representative.
- D. **Compaction:** Compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

3.2 SOIL PREPARATION

- A. **Topsoil Preparation:** Eliminate uneven areas and low spots. Remove debris, roots, branches, stones, in excess of one half (1/2) inch in size while spreading topsoil. Place topsoil in planting areas as required to achieve a minimum depth of four (4) inches. Limit excavation work around tree roots to remain. Work with existing soils in these areas to reduce disturbance. Scarify subsurface to a two (2) inch depth to provide a transition zone between sub-grade and topsoil. Provide for proper grading and drainage. Use topsoil in relatively dry state. Place during dry weather. Work soil in a manner which does not cause excessive compaction or creates clods, which will not break easily. Apply water as necessary to obtain optimum moisture content of filling and planting.
- B. **Topsoil Placement:** Slope surfaces away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of lawn one (1) inch below grade of adjacent paved surfaces. Manually spread topsoil around existing trees and next to buildings to prevent damage. Lightly compact (roll) placed topsoil. Provide neat, smooth and uniform finish grades. Remove surplus sub-soil and topsoil from the site.
- C. **Soil Amendments and Weed Control:** Apply Roundup or equal to weeds in the project areas. Apply herbicide, while plants are growing in a vigorous state for best results. After three (3) days repeat application of herbicide to weeds that are still alive and repeat until weeds have been killed. After weeds have been controlled, add soil amendment and fertilizers as required by top soil analysis and specifications. Incorporate amendments as per manufacturer's specifications into planting areas to a minimum of four (4) inch depth.

3.3 SOD GRADING

- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

3.4 PLANTING OPERATIONS

- A. Review the exact locations of all trees and shrubs with the Project Manager for approval prior to the digging of any holes. Refer to the drawings for the sizes and preparation of tree and shrub holes. Prepare all holes according to the details on the drawings.
- B. To avoid a soil water interface problem, excavated soil material from the planting holes are to be inspected by the Project Manager to determine if such soil should be used as backfill material. If it is determined that the excavated material is not of good quality, then it should be modified to an acceptable texture, organic content and PH.
- C. Prior to the installing of any plant material in the prepared hole, the Project Manager must approve the size, width, and depth of the hole.
- D. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.

- E. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines. Obtain a digging permit first and have the permit at the site.
- F. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball.
- G. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- H. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- I. Plant immediately after removal of container for container plants.
- J. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stick if the ball is cracked or broken before or during planting operation.
- K. All tree holes shall be backfilled in 12 inch lifts and settled with water to minimize any settling of the tree.
- L. Apply Stimin B-1 root stimulator at the rate of one (1) teaspoon per gallon.
- M. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation systems. If additional prepared topsoil mixture needs to be added, it should be a coarse mix as required to establish finish grade as indicated on the drawings.
- N. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Manager. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.
- O. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.

3.5 SOD LAYING

- A. **Top Soil Amendments:** Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.
- B. **Fertilization:** Three weeks after sod placement fertilize the turf at a rate of 1/2 pound of nitrogen per 1000 square feet. Reapply fertilizer every 30 days following initial application. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
- C. **Sod Availability and Condition:** The contractor shall satisfy himself as to the existing conditions prior to any construction. The contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so as to too completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the contractor's responsibility to report such to the Project Manager prior to commencing the work.
- D. **Sod Laying:** The surface upon which the new sod to be laid will be prepared as specified above. Areas where sod are to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.
- E. The sod shall be placed upon the prepared surface so that joints between courses are matched against the last laid.
- F. Sod shall be tamped lightly as each piece is set to insure that good contact is made between edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.
- G. If F-18 is required between sod seams, use a mixture of screened topsoil which has rocks no larger than 1/2" mixed with perennial eye grass seed.
- H. Apply water directly after laying sod. Rainfall is not acceptable.
- I. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner prior to acceptance by the owner. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system, it is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Manager.
- J. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with strings or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic, erosion, etc. until such time as the lawn is accepted by the Owner.
- K. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

3.6 CLEAN AND PROTECT

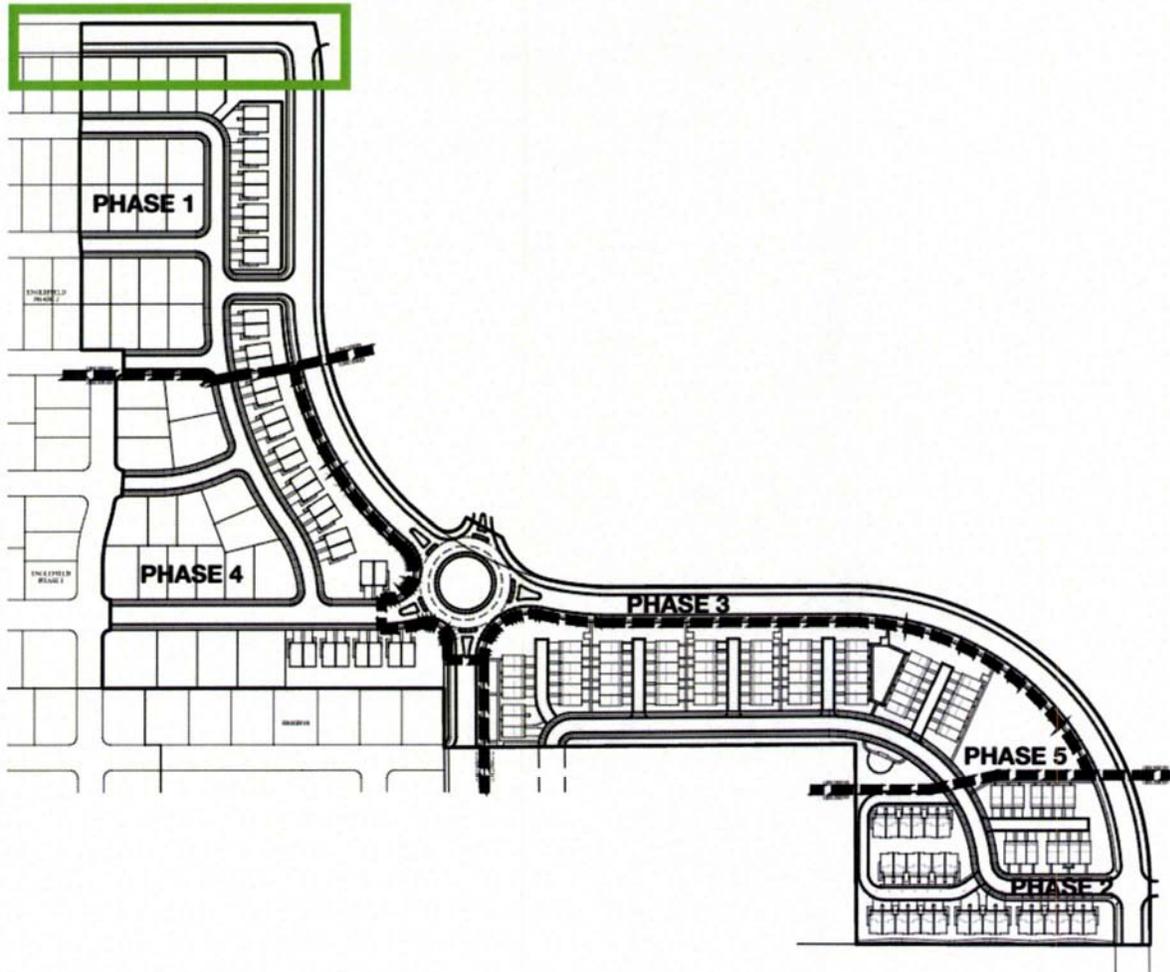
- A. **Clean Landscaped area:** Remove rubbish, trash and debris resulting from the operation at the end of each work day and legally dispose of it off the Owner's property. Wash paved surfaces clean.
- B. **Protect Landscape:** Protect landscaping from damage due to landscaped operations, operations by other contractors and trades, and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.

END OF SECTION

Specifications of Improvements for Reimbursement

West Jordan City reimbursement is requested for the following improvements:

1. Storm Drain Outfall Pipe—Developer will install the required storm drain outfall pipe for the project and requests the City pay any up-size cost of the pipe beyond the required 15-inch pipe.
2. 7800 South Street Improvements and Main Water Line—Developer will install the half-width street improvements on 7800 South. Streets wider than 66 feet may be reimbursable by the City. Developer will install the required Water.
3. "S" Street Improvements; Main Water Line and Round About on "S" Street.



Building Green & Saving Green

For too long, homes on the cutting edge of energy efficiency could only be found in multi-million-dollar communities, custom built homes, or vacation homes. Every Utahan deserves the energy-bill savings, increased comfort and healthier environment that come with an efficient home. The problem is, most new homes in Utah are built to outdated energy codes and are costing Utahans far too much on energy bills and costly home repairs.

Building homes to the highest energy-efficiency standards simply makes sense for both homeowners and builders. Garbett Homes takes energy efficiency seriously. Energy is one of the biggest expenses of home ownership and will take an even bigger bite out of household income in the future. Energy prices in Utah have risen 4% to 5% every year for the past 10 years, and Rocky Mountain Power recently asked for a 13.7% rate increase, with more rate increases to come in each of the next several years. Ensuring homes are energy efficient helps keep energy costs down and makes home ownership more affordable.



Green Garbett Homes



Tight Building Envelope

Controlling air flow, thermal flow and moisture flow using advanced framing techniques, sophisticated insulation, air sealing tight ducts and air barriers to prevent air leakage and keep your utility bills as low as possible.



Renewable Energy Sources

Photovoltaic (PV) Solar panels. Using Solar to generate electricity means a lower utility bill for you and it's great for the planet!



Water Conservation

Using less water for everyday uses: Low-flow faucets and optional dual flush toilets save up to 60% of this precious resource and help to keep your costs low.



Energy Efficient Equipment

Compact Fluorescent (CFL) light bulbs use 70% less power, emit less heat and last 15 times longer than traditional light bulbs. Energy Star® appliances are 20% more efficient than traditional appliances.



Materials & Waste Management

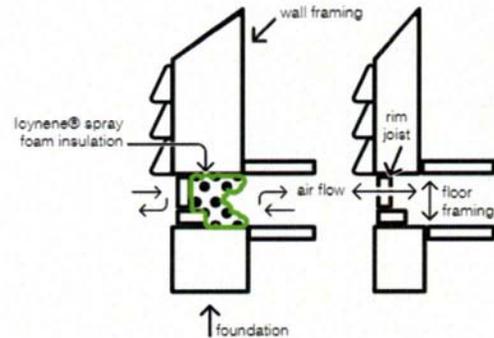
Engineered framing members, precut floor joists and prebuilt bioengineered trusses use less resources while being stronger than traditional materials. All construction wood waste is 100% recycled.

Advanced Insulation

the key to a tight building envelope

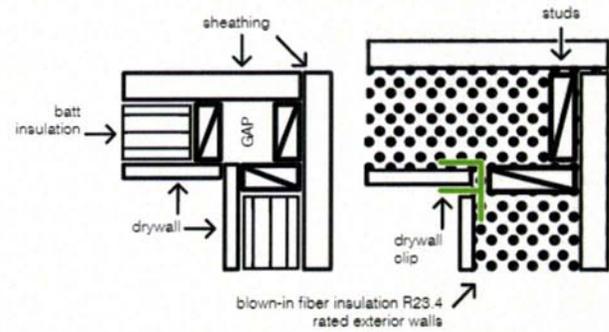
RIM JOIST SEALING

The rim joist can be a significant source of air-leakage. Drafts can be pulled through the house into walls and holes created by plumbing pipes and electrical work. Garbett Homes uses Icynene® water-blown open-cell spray foam to air-seal and insulate the rim joist. Unlike conventional batt insulation, the spray foam leaves no gaps or voids and won't sag while performing as a super-tight air barrier and insulator.



DRYWALL CLIPS

Drywall clips/fasteners eliminate the need for wood/stud blocking where drywall is attached to the studs. Garbett Homes is able to eliminate over 100 studs per home, thereby increasing your insulation up to 57 cubic feet. More insulation means more energy savings.

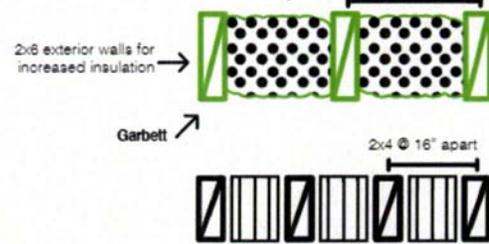


2'X6' WALLS & 24" ON CENTER FRAMING

By using 2'x6' exterior walls instead of conventional 2'x4' walls, and spacing studs 24" on center (instead of the standard 16" apart) We're able to make significant gains in insulation. Wood is a poor insulator, so by incorporating these innovations we're able to include more insulation and give you a higher performing home.

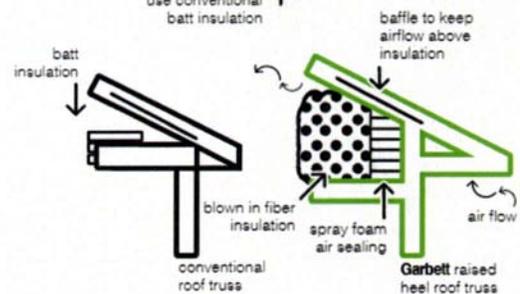
BLOWN-IN FIBER

We use blown-in fiberglass insulation in all exterior walls to achieve an R-24 thermal rating (standard is R-19). We use blown in insulation in our ceilings to achieve a true R-49 thermal rating. Blown-in fiberglass has many advantages, it is resilient, non-flammable, non-settling, Eco-friendly (60% recycled glass & sand), non-absorbent, pest resistant and time-tested. And lets not forget that blown-in fiber fills ALL voids & gaps creating a tighter seal allowing a higher R Value per inch than standard insulation.



RAISED HEEL ROOF TRUSS

Raised heel roof trusses offer the most energy efficient roof framing. Getting full insulation coverage over the entire ceiling is difficult when ceiling trusses are not designed to allow the insulation to maintain its desired thickness all the way to the wall. Conventional roof truss assembly (insulated with standard batts) does not allow adequate ceiling insulation and the air passing through the vents is restricted. The Garbett raised heel system uses baffles to allow adequate air flow above the insulation. Blown-in fiber is used to insulate the ceiling and spray foam is used to air-seal the raised heel achieving a true and consistent R-49 thermal rating.



ATTIC ACCESS INSULATION

Attic access openings in ceilings severely compromise the thermal envelope. The Garbett system adheres layers of rigid foam insulation to the attic access cover to insure the true thermal rating is maintained throughout the ceiling. Additionally line the seam with a foam gasket to prevent and loss of heat.

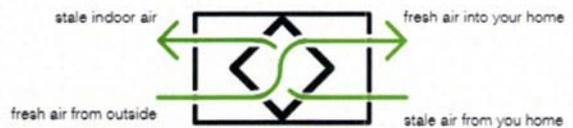


Smarter Strategies

attention to detail makes all the difference

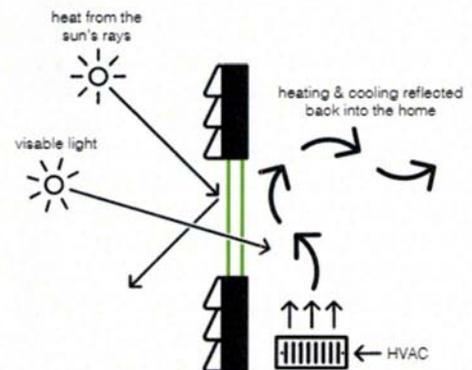
ENJOY THE CLEAN AIR

Your Garbett home is equipped with an advanced air exchanger that completely replaces all the indoor air with filtered outside air, helping to keep your home and family healthy. The system uses advanced Energy Recovery Ventilation (ERV) technology to precondition the incoming outdoor air. During the warmer seasons, the system pre-cools the air and preheats the air in the cooler seasons. The benefit of using energy recovery technology is the ability to improve indoor air quality and reduce the energy used by your heating and cooling equipment. This technology has demonstrated an effective means of reducing your energy costs by reducing your homes heating and cooling loads.



LOW-E WINDOWS

Your Garbett home comes with Low-Emittance (low-E) windows. Low-E windows allow visible light to enter our homes while restricting summer heat from entering. During the winter months the windows keep cold air outside while reflecting the heat produced from the home back into the home. Keeping your home cool in the summer and warmer in the winter.

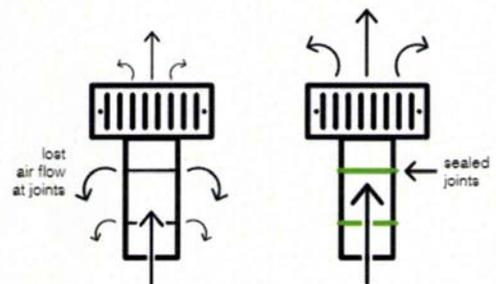


PROGRAMMABLE THERMOSTATS

A programmable thermostat allows your to adjust the temperature of your home to be as efficient as possible, whether you're at home or away. All Garbett homes are equipped with programmable thermostats as a standard feature.

AIR DUCT SEALING

All air ducts are sealed with an advanced sealant to provide a flexible air-tight seal. Advanced sealants can bend and flow while maintaining a durable bond.



Being Eco-Friendly

isn't just good for the world its good for you

Energy Star 3.0

INDEPENDENT 3RD PARTY CERTIFICATION

Energy Star® 3.0 qualified homes is a 3rd party guarantee you will use considerably less energy for whole home heating, cooling and water heating. This means you will save money on your monthly utility bills and will spend less money n maintaining the home. The new 3.0 designation has raised the bar even higher and requires more energy efficiency in the home.



Super Quiet

SOUND TRAVELS ON AIR

The tighter the home envelope, the less energy escapes and the lower your utility bills will be. A great side benefit to a tight home is the quietness. Sound travels on air and when your home is airtight it makes it much more difficult for outside noise to enter your home. So go ahead take a nap, the Jones' lawnmower won't disturb you.



Renewable Energy Tax Credits

FEDERAL & STATE ELIGIBLE

Some Garbett homes may qualify for Federal and State Renewable Energy Tax Credits. Consult with your accountant to determine your availability. Federal up to 30% of retail and State up to 25% or \$2000.



Compare & Save

get the most bang for your buck



HERS® SCORE Home Energy Rating System	Consistent HERS® scores under 50. 60%-90% more energy efficient than other new homes.	100 to 110 score based on new construction building codes	130- 200 based on building codes from 1990-2006
INSULATION	Blown-in fiber & spray foam insulation in 2x6 exterior walls	Traditional batt insulation in standard minimum code-required 2x4 exterior walls	Traditional batt insulation in standard, code-required 2x4 exterior walls
AIR SEALING	Energy Complete® sealant, Icynene® spray foam & air duct sealing	No air sealing required in current new construction building codes.	No air sealing required in building codes
INDOOR AIR QUALITY	Energy Recovery Ventilation (ERV) replaces all indoor air with filtered & treated outside air 6 times a day.	No air ventilation or filtration required in current new construction building codes.	No air ventilation or filtration required in building codes.
RENEWABLE ENERGY	Photovoltaic Solar, or Geothermal	No renewable energy generation required in new construction code	No renewable energy generation require in building codes.
ENERGY STAR 3.0	Qualified. Home energy costs are drastically reduced. Lower homeowners insurance rates.	Not required	Not required
MAINTENANCE	1 year new home warranty. Minimal upkeep.	Standard new home warranty. Minimal upkeep.	Maintenance required.
INDOOR NOISE LEVELS	Super quiet homes due to air-sealed tight building envelope	No air-sealed tight building envelope required.	No air-sealed tight building envelope required.
ENERGY TAX CREDITS	Homes are qualified for Federal and State Energy tax Credits	No energy tax credits	No energy tax credits.

About the Company

a legacy of innovation & opportunity for over 30 years

Garbett Homes has been building, marketing and selling award winning communities for over 30 years. Our experience and longevity are only surpassed by our desire to impress each home buyer or renter with the best possible experience. With Garbett Homes, you'll feel at home the moment you walk in the front door. We are proud to build affordable homes with style and class. We strive to offer you the most up-to-date technology and design available. In short, we're convinced you'll find comfort in your new Garbett Home.

Garbett Homes has built over 3,500 homes and apartments in more than 25 communities. Garbett Homes has won multiple "Community of the Year" awards issued by the Home Builders Association. Garbett is currently selling homes in communities in Utah, Wyoming, Missouri and Mexico City. 2010 marks an ambitious year for Garbett Homes as we venture into even more states to establish a national brand. This year we will be developing residential communities in Idaho and New Mexico.

The historic Wolf Krest Mansion in downtown Salt Lake City has become the new Corporate Headquarters of Garbett Homes. This unprecedented move comes at a time when many growing companies are looking to the suburbs for their corporate office needs. Garbett Homes is bucking the trend by bringing its headquarters into the heart of the city.



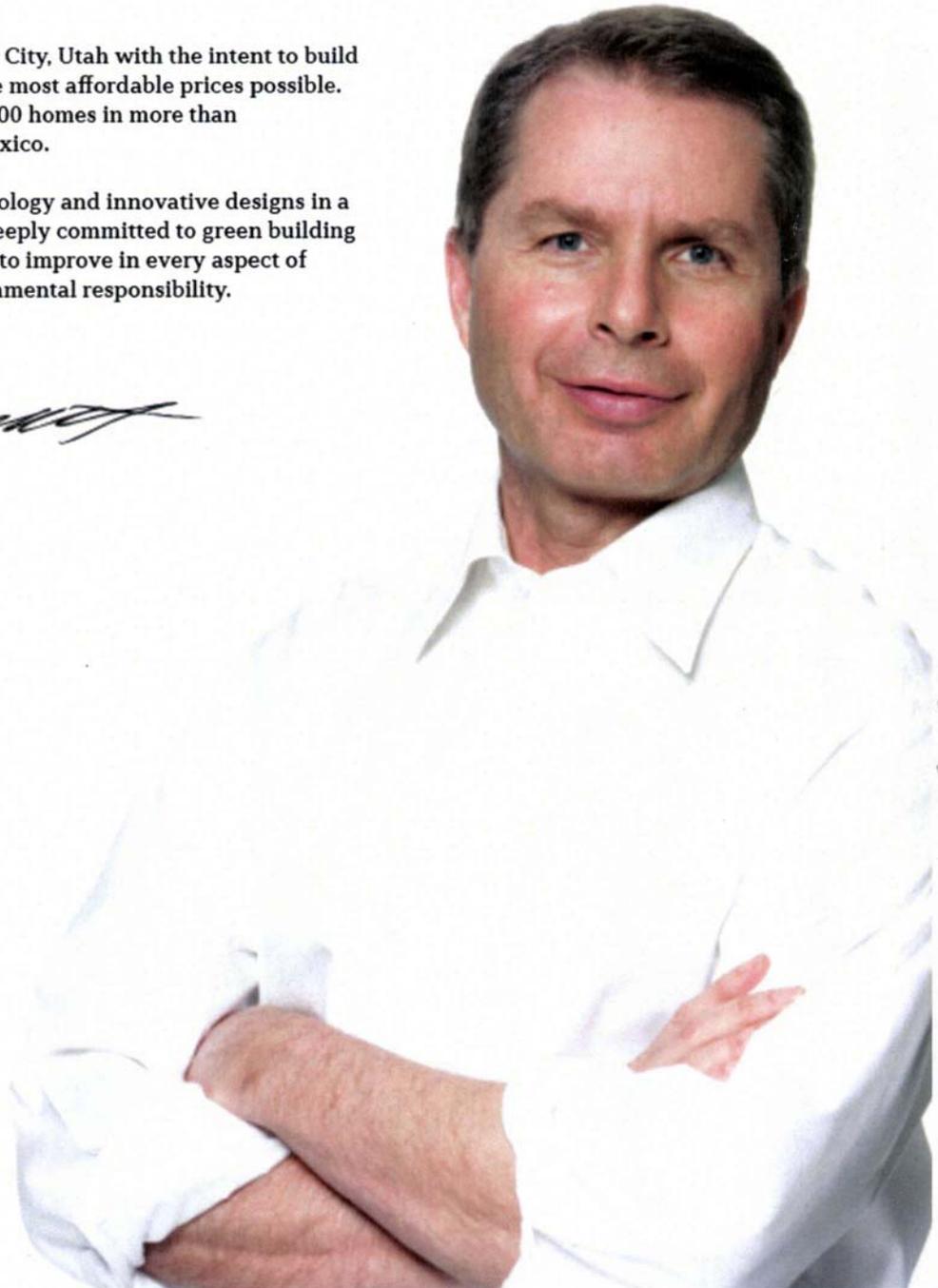


I started Garbett Homes in 1983 in Salt Lake City, Utah with the intent to build beautiful homes for discerning buyers at the most affordable prices possible. Since then Garbett Homes has built over 4,000 homes in more than 30 communities in the United States and Mexico.

We strive to offer the most up-to-date technology and innovative designs in a comfortable and functional home. We are deeply committed to green building practices and constantly look for new ways to improve in every aspect of energy efficiency, sustainability and environmental responsibility.

Sincerely,

Bryson Garbett
President & CEO, Garbett Homes



garbetthomes.com



Attached

Updated Highlands Master Plan

Exhibit J



THE HIGHLANDS

HIGHLANDS MASTER DEVELOPMENT PLAN

UPDATED MAY 19, 2015

PREPARED BY:

Peterson Development

HIGHLANDS DEVELOPMENT PLAN

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INTRODUCTION

The Highlands is a Master Planned Community located within the western portion of West Jordan, Utah not far from the eastern slope of the Oquirrh Mountains. The Highlands name stems from the gently rolling hills of agricultural land that comprise this project.

The Highlands is approximately 418 acres and contains 3 distinct communities that are delineated by the major roads that provide access to the site. This project straddles 7800 South and the Mountain View Corridor (MVC). The MVC has played a large role in the placement of land use and overall road structure in this project. Highlands North lies north of 7800 South, Highlands East lies south of 7800 South and east of MVC. Highlands West lies south of 7800 South and west of MVC.

Another major element that influences this project is the future Bus Rapid Transit (BRT) line that will run along 5600 West, the eastern boundary of this project. With access onto the MVC on 7800 South and a transit line on 5600 West, this project holds key elements necessary for a strong and viable commercial center and Transit Oriented Development.

The residential element of the Highlands is diversified throughout the project. Higher intensity residential is placed close to commercial and to the BRT to create a walkable population support for these uses. The residential intensity decreases radially from the commercial centers. A range of residential intensities allows for a strong mix of residents in different stages of life in this project.

The conceptual site plan for the Highlands was reviewed by West Jordan City Staff and the Planning Commission in May 2011.

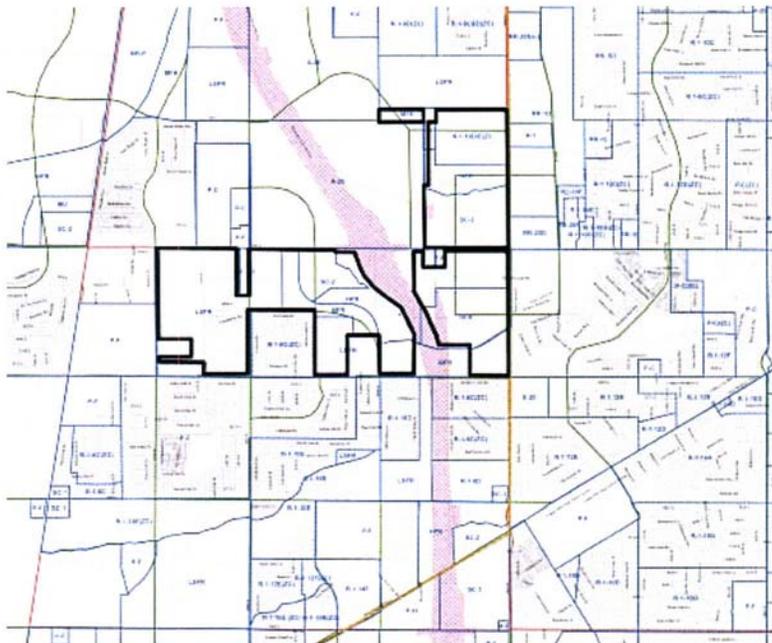
The Highlands Development Plan will serve as a guiding document or master plan for the development of the overall community. The number of residential units proposed by this Master Plan will be established by the buy-up program as each Village Preliminary Development Plan is approved. Density buy-ups are not approved, vested, or ratified through this plan.

The Highlands Master Development Plan is based upon the West Side Planning Area, Section 13-5J-2 or the West Jordan municipal code adopted by ordinance # 06-50, 12-12-2006. Conceptual building footprints and locations associated with this plan are conceptual in nature; actual siting of improvements and structures will be ratified at the time of approval of each Village Preliminary Development Plan or each approved phase within each village.

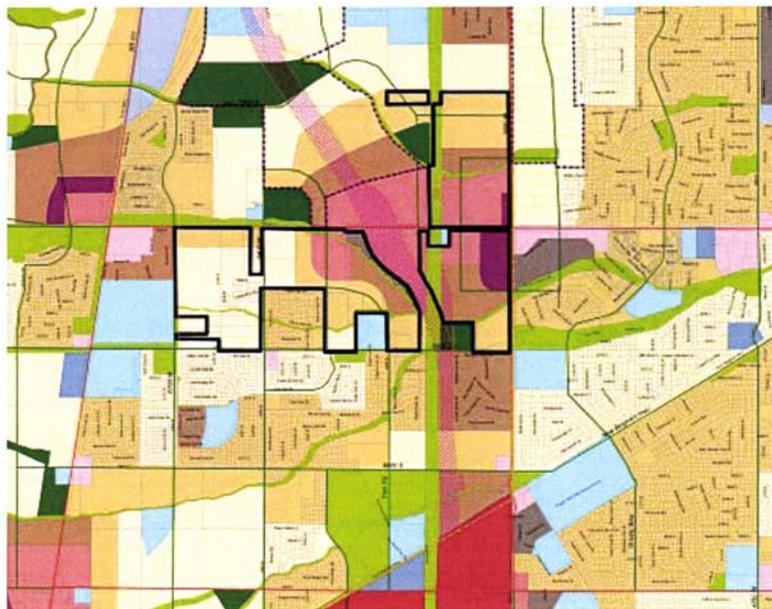


View of Wasatch Mountains

EXISTING ZONING AND LAND USE

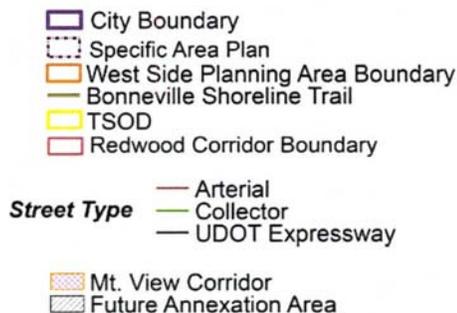


In 2006, City Council adopted the West Side Specific Planning Area (WSPA) which amended the future land use map for land west of 5600 West, including the land within this project. In-depth studies were carried out to ensure that the west side of West Jordan would have a well balanced land use plan that would facilitate long term sustainable growth for current and future residents. In August of 2008, Peterson Development received information about a shift in the preliminary design of the Mountain View Corridor. The new concept had moved the Right-of-way of the future freeway further to the west creating a remnant parcel in an area zoned SC-2. On March 10, 2009 (Ordinance # 09-04), various portions of the Highlands project were redistributed and rezoned to accommodate a better more livable and developable project. The future land use map was also updated on this date. The overall balance of land uses was not changed so as to keep the balance created within the WSPA.

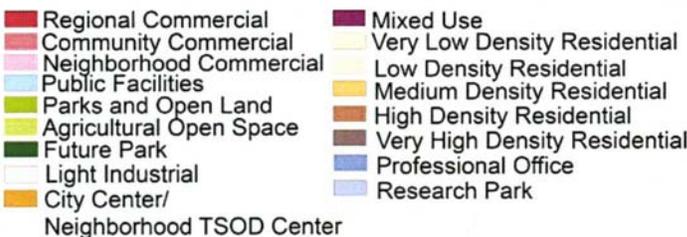


The Highlands consists of a variety of land use and zoning designations. These designations include: Low Density Single Family Residential (LSFR 2.01-4.50 units/acre); R-1-10 D/E(ZC) (10,000 sq. ft. lots with D and E size homes); Medium Density Multi-Family Residential (MFR 4.51-9.0 units/acre); High Density Multi-Family Residential (HFR 9.01-18.0 units/acre); Mixed Use (Transit Station Overlay District); and Community Shopping Center (SC-2). The Transit Station Overlay District (TSOD) boundary for Highlands East was established in conjunction with the rezone on March 10, 2009.

The Existing Land Features Map can be found in Appendix EX-C1.



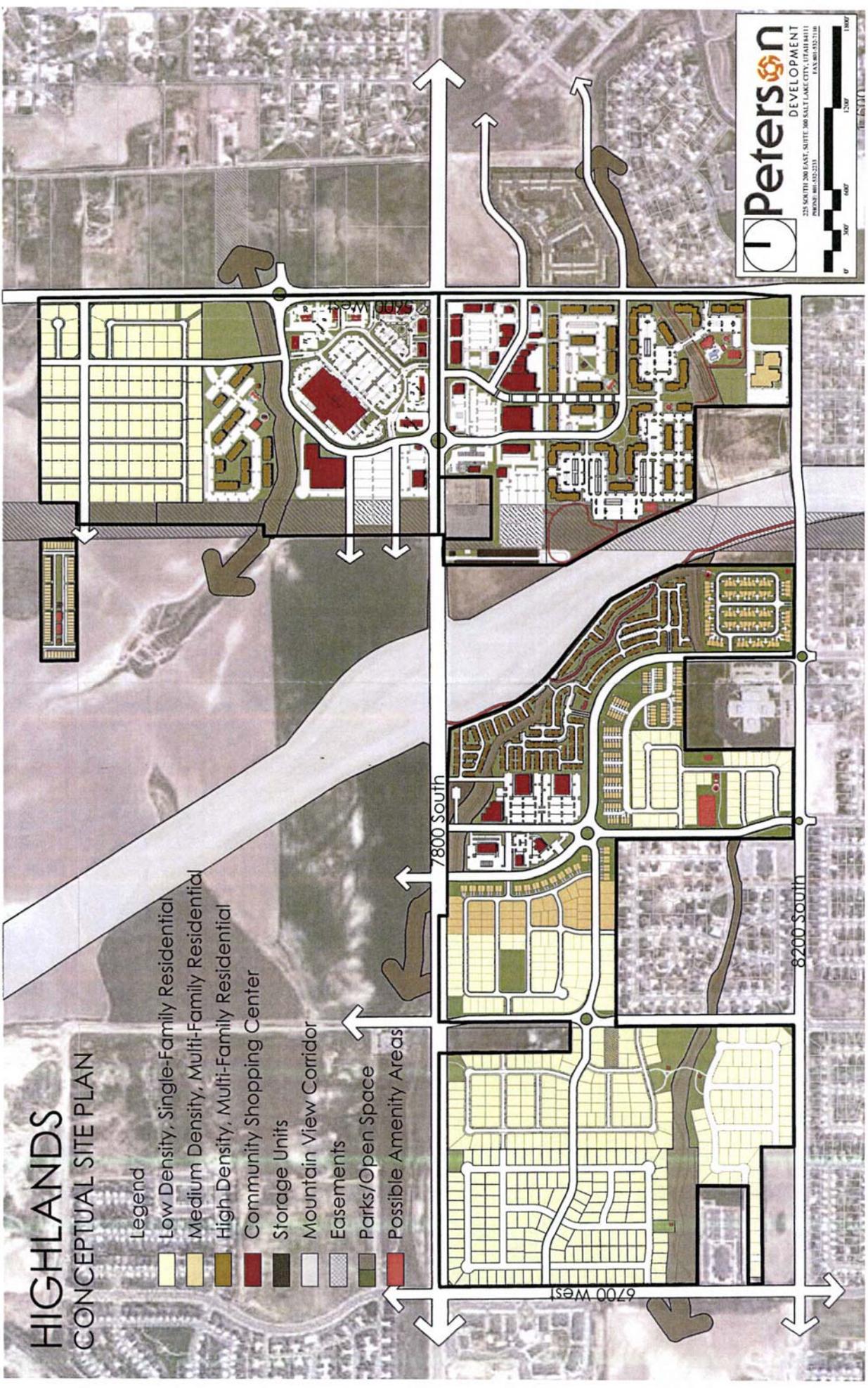
Land Use Type



HIGHLANDS CONCEPTUAL SITE PLAN

Legend

-  Low Density, Single-Family Residential
-  Medium Density, Multi-Family Residential
-  High Density, Multi-Family Residential
-  Community Shopping Center
-  Storage Units
-  Mountain View Corridor
-  Easements
-  Parks/Open Space
-  Possible Amenity Areas



Peterson
DEVELOPMENT
225 SKUTTE 200 EAST, SUITE 300 SALT LAKE CITY, UT 84111
PHONE: 801-452-2211 FAX: 801-452-7188

0 300' 600' 900' 1200' 1500'

ROAD CIRCULATION

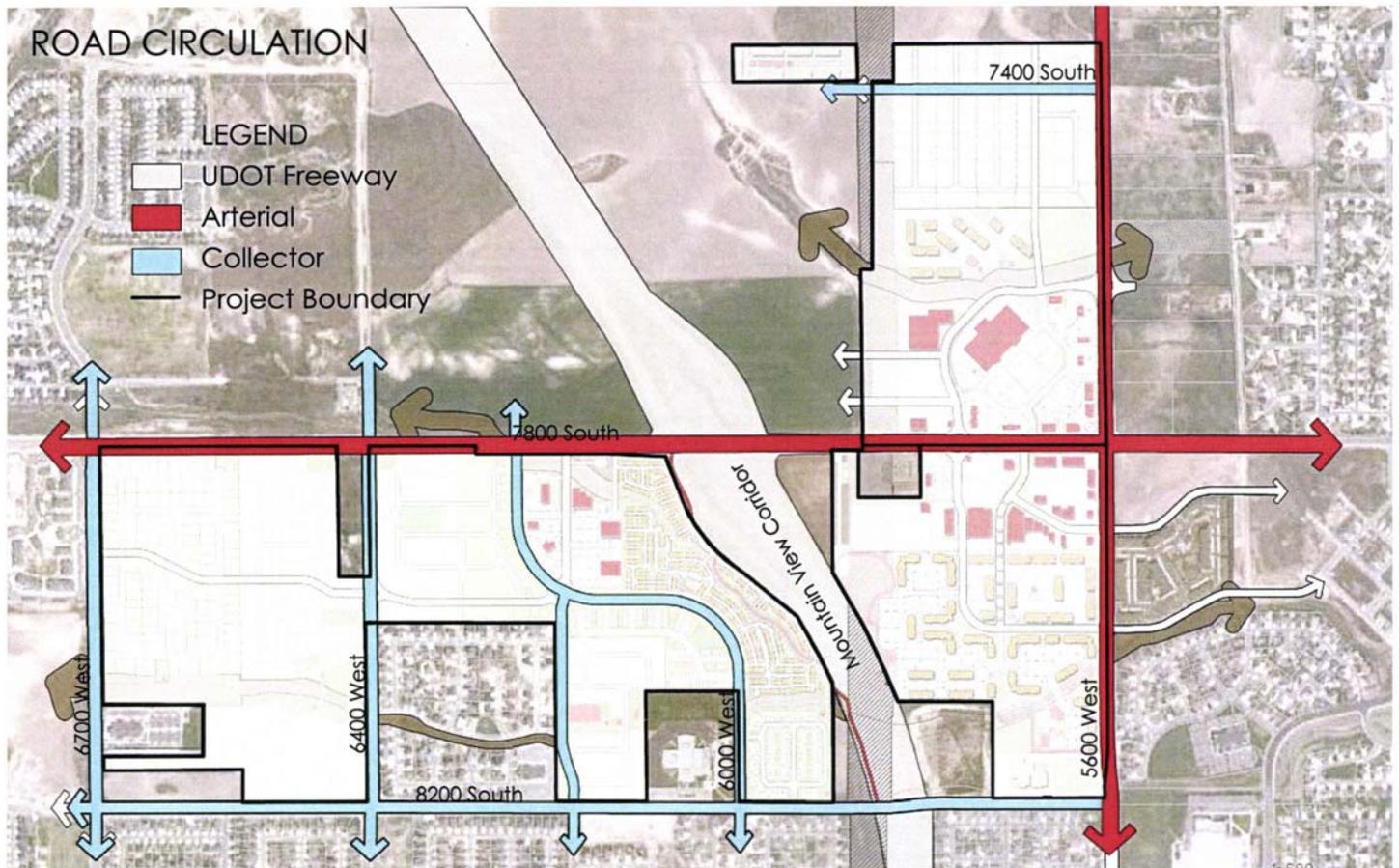
(Street Hierarchy and Cross Sections)



The Highlands is comprised of a hierarchy of streets designed to maximize connectivity between residents and community amenities. Roads are organized by functional class as defined by the City engineering standards. The exhibit below corresponds to the West Jordan City Transportation Master Plan. The following pages contain prototypes of street cross sections.

Rights-of-way comply with City standards. However, in a few specific circumstances some of the rights-of-way for proposed streets have been adjusted, at the City's request, to match the existing pavement configuration.

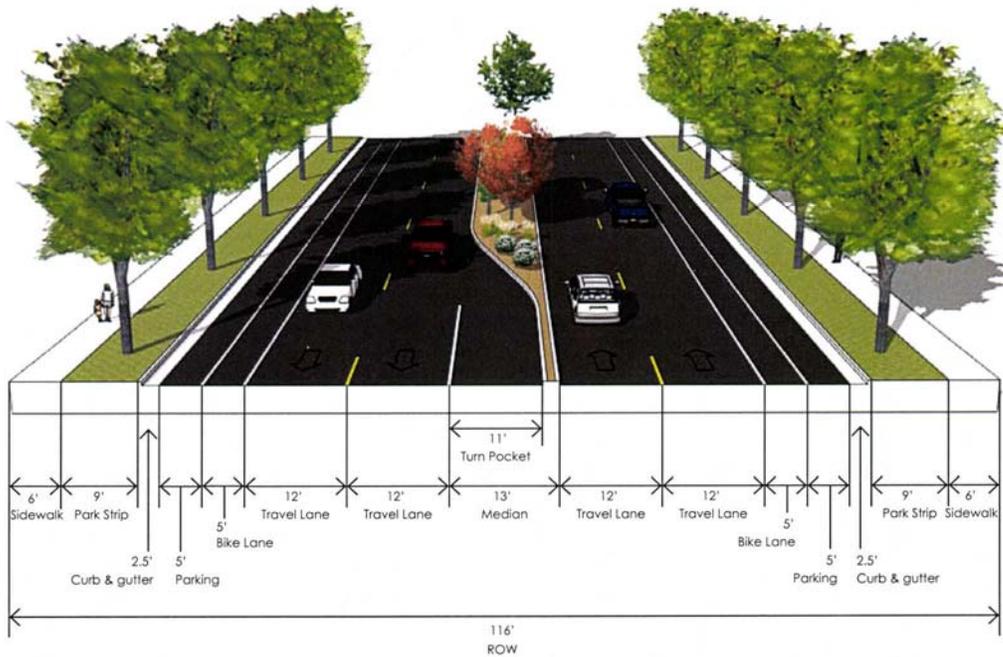
Due to scale the exhibit below only indicates the location of arterial and collector roadways. The location of the residential scale roads are subject to change and will be established at the site plan level. Rights-of-way for both public and private streets are defined by the cross-sections in the following diagrams.



CROSS SECTIONS

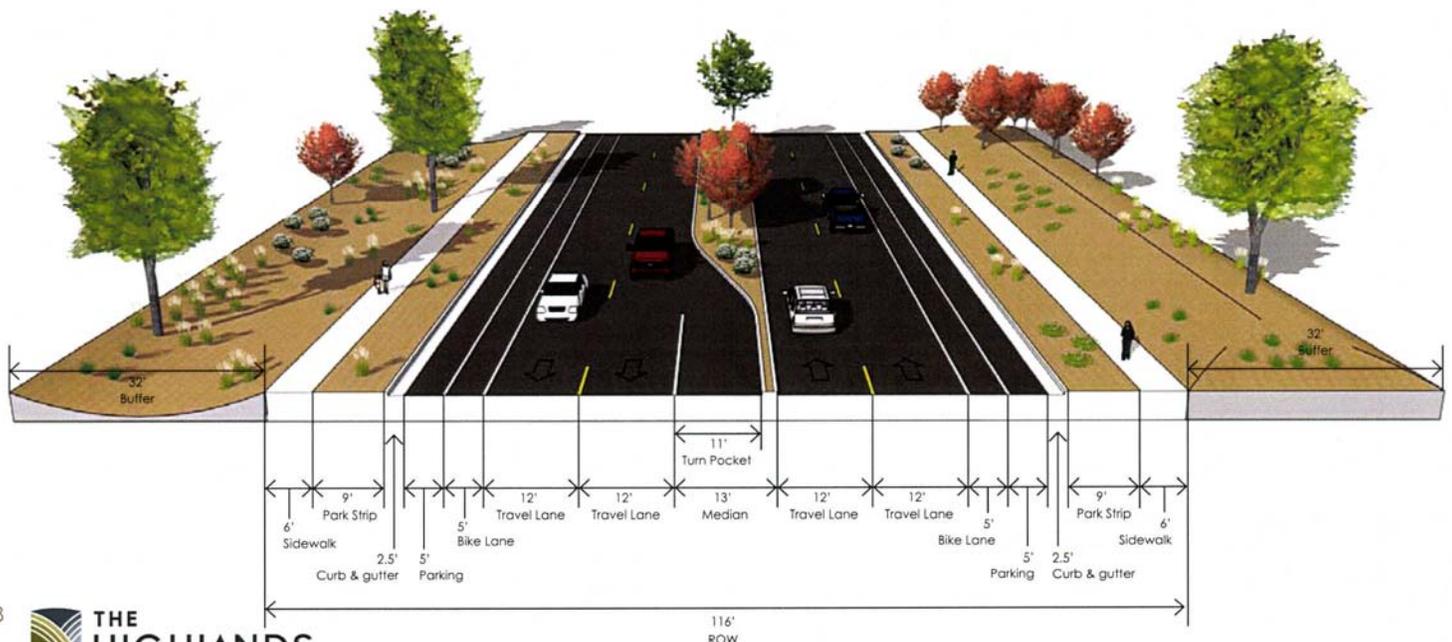
ARTERIAL (STANDARD)

Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.



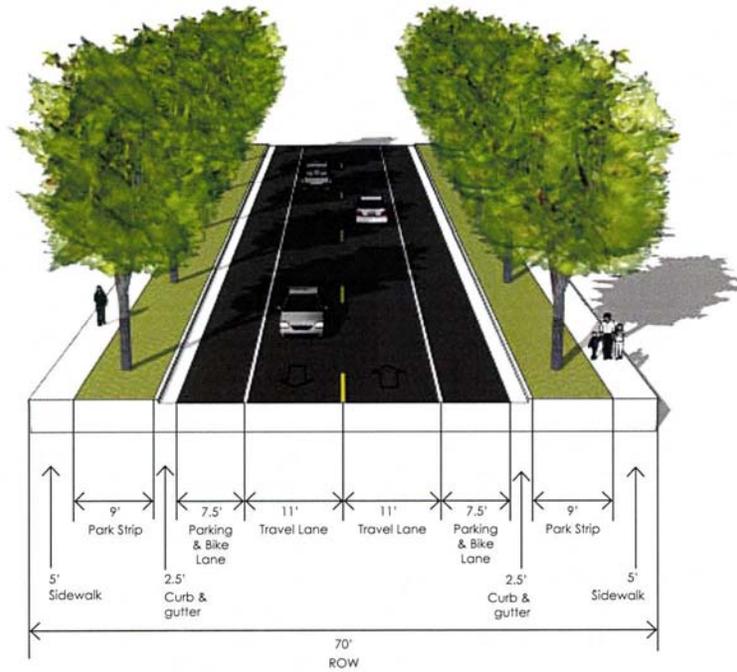
The diagram below demonstrates a potential arterial streetscape configuration with 32' landscape buffers compliant with Sec. 13-5J-6 (item 5: *Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots*) of the Municipal Code. Buffers may be used within the project in conjunction with the density buy-up program. Landscape buffers may be incorporated where appropriate and in accordance with City Codes and Standards.

ARTERIAL WITH LANDSCAPE BUFFER

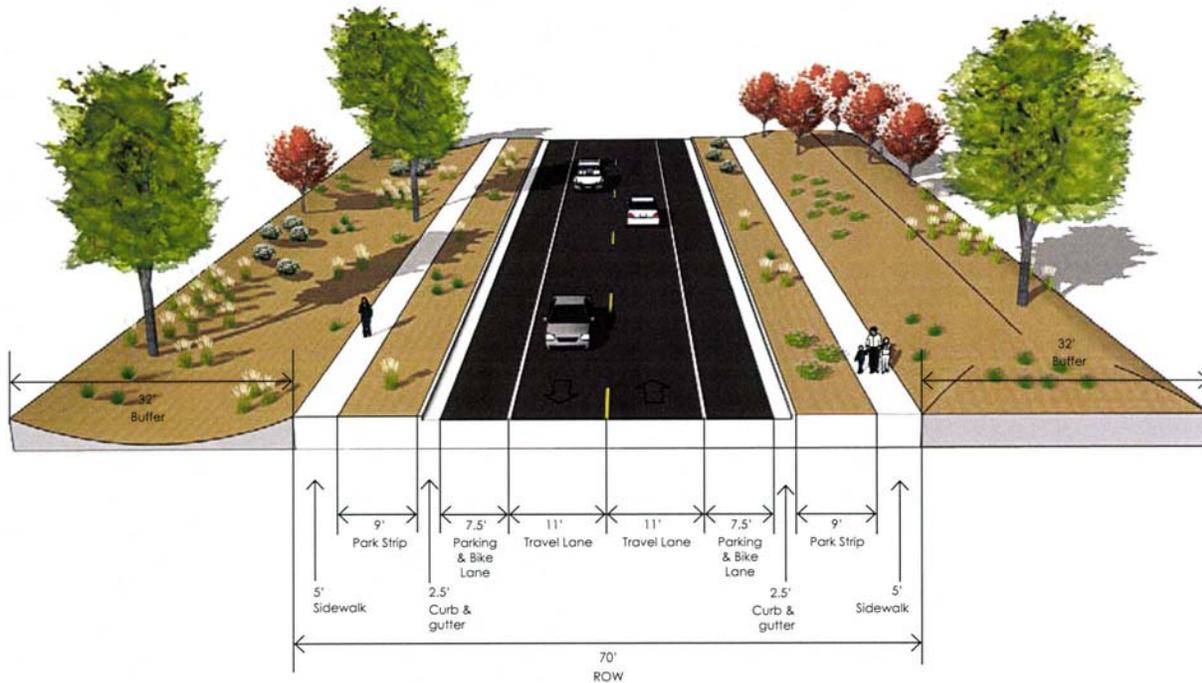


COLLECTOR (STANDARD)

Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.

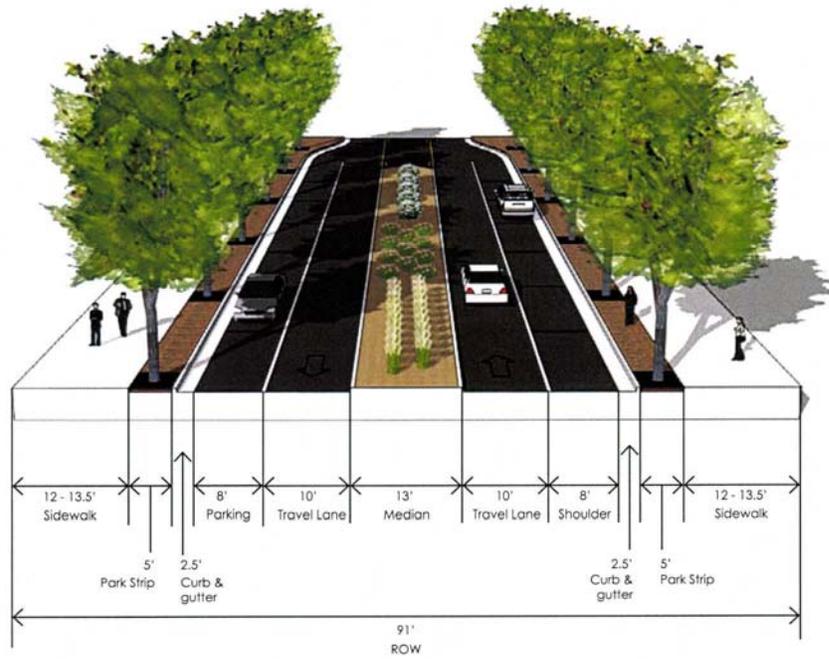


COLLECTOR WITH LANDSCAPE BUFFER

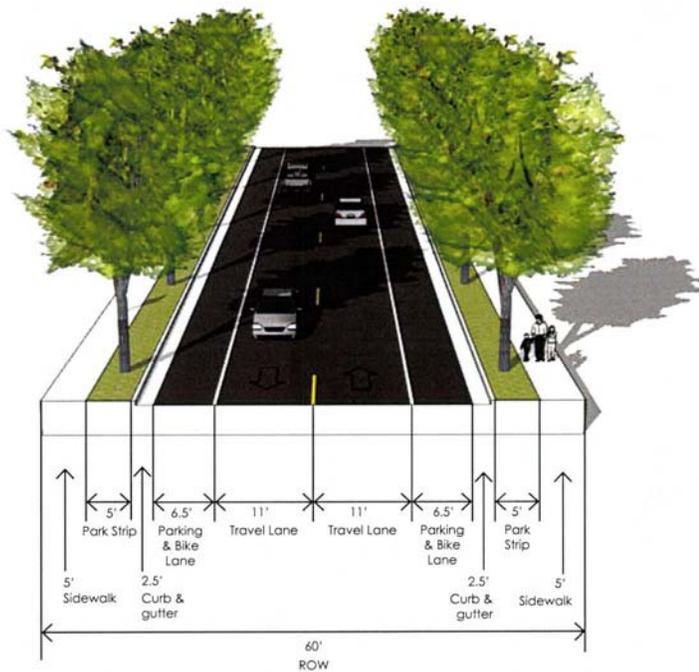


The diagram above demonstrates a potential major collector streetscape configuration with 32' landscape buffers compliant with Sec.13-5J-6 (item 5: Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots) of the Municipal Code. Buffers may be used within the project in conjunction with the density buy-up program. Landscape buffers may be incorporated and in accordance with City Codes and Standards.

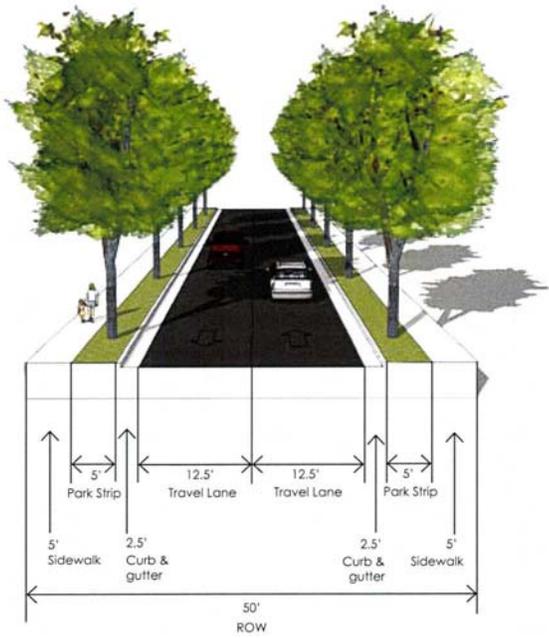
PEDESTRIAN STREET (TRANSIT VILLAGE)



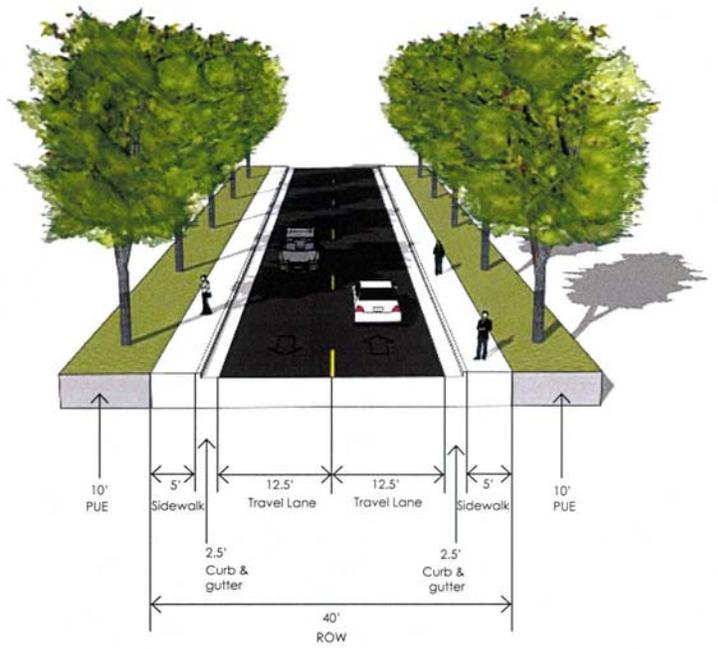
RESIDENTIAL COLLECTOR



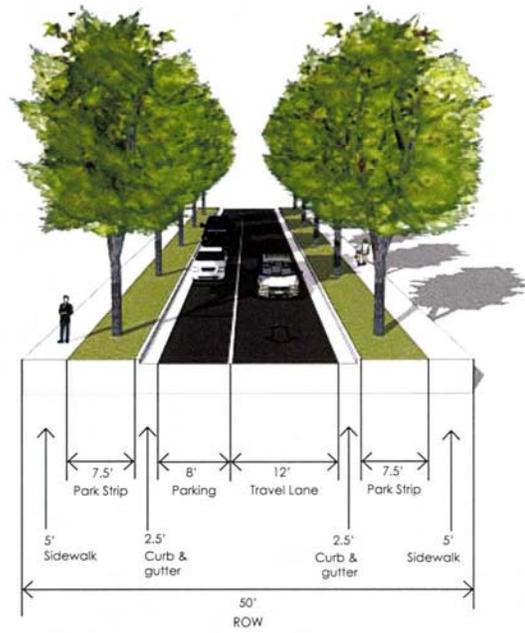
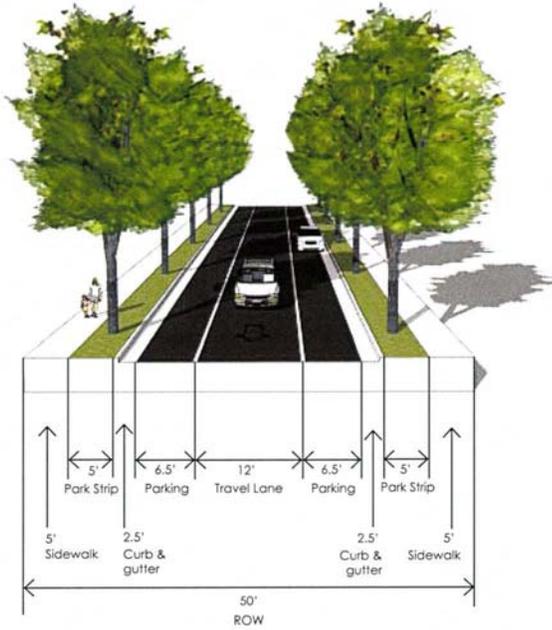
LOCAL STREETS



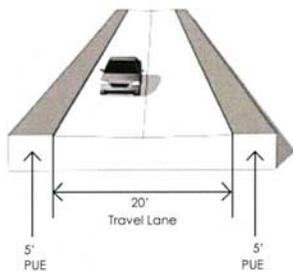
PRIVATE STREETS



ONE-WAY STREETS



ALLEY



Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.

PEDESTRIAN CIRCULATION

Pedestrian circulation in the Highlands consists of sidewalks adjacent to all streets and a series of off-street trails that parallel the natural creeks and washes that meander through the project. Pedestrians will experience these trails in a predominantly natural environment. The landscape treatment should emphasize low maintenance. These trails will be maintained through the Highlands Special Assessment Area (SAA). This SAA was created in order to keep the trails, parks, and open space within the Highlands Master Planned Community maintained at a higher aesthetic level than that found in other communities. These trails will generally be located within the City's required 50' offset from top of bank.

Several measures to ensure pedestrian comfort are provided throughout the Highlands. Small amenitized landscape oasis or "hot spots" are located in areas where the trail intersects with streets. These hot spots may include a bench, trash receptacle with focused irrigated plant material in the immediate vicinity. As dictated in the municipal code the landscape design requires 1 tree per 25 linear feet of trail, and 1 shrub, bush, or perennial flower per 2 linear feet of trail. Clustering of plant material is encouraged. These generation rates for plant material will be respected and concentrated in the hot spot locations. The maintenance of these hot spots will be included within the SAA.

In addition the code requires that all trees and shrubs shall be of water conserving species that can withstand dry conditions once established. The plant list to determine qualifying plants is the "City



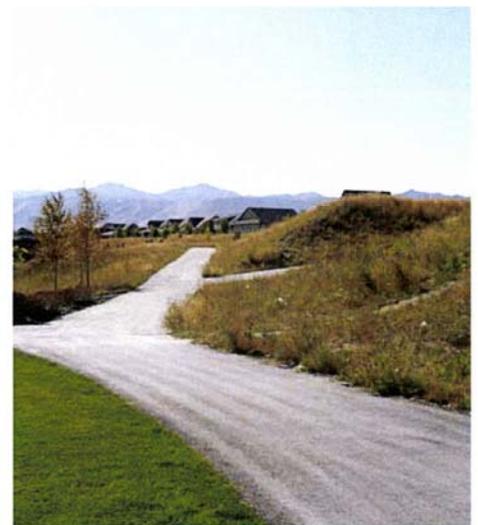
Natural landscape treatment of Midas Creek trail in Herriman, Utah

of West Jordan Recommended Plant List".

The other trail system amenity is a proposed trailhead on the 2.63 acre parcel located immediately west of Mountain View Corridor on the south side of 7800 south. This trailhead will be minimalistic in its landscape treatment and provide a handful of parking stalls, a small shade structure with interpretive signage.



Jordan River Parkway Trailhead at 7800 So.

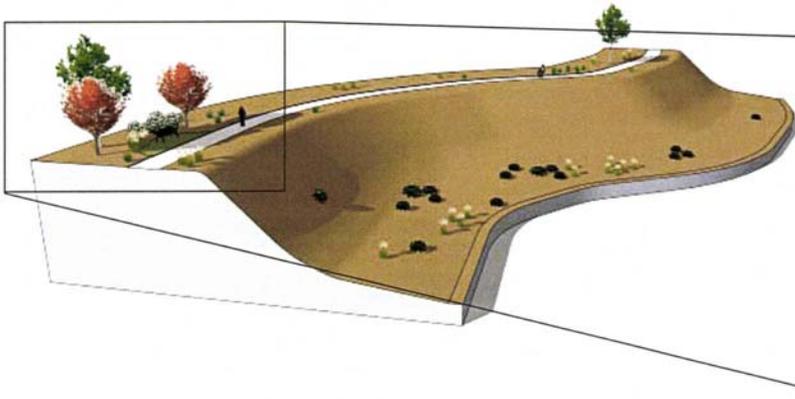
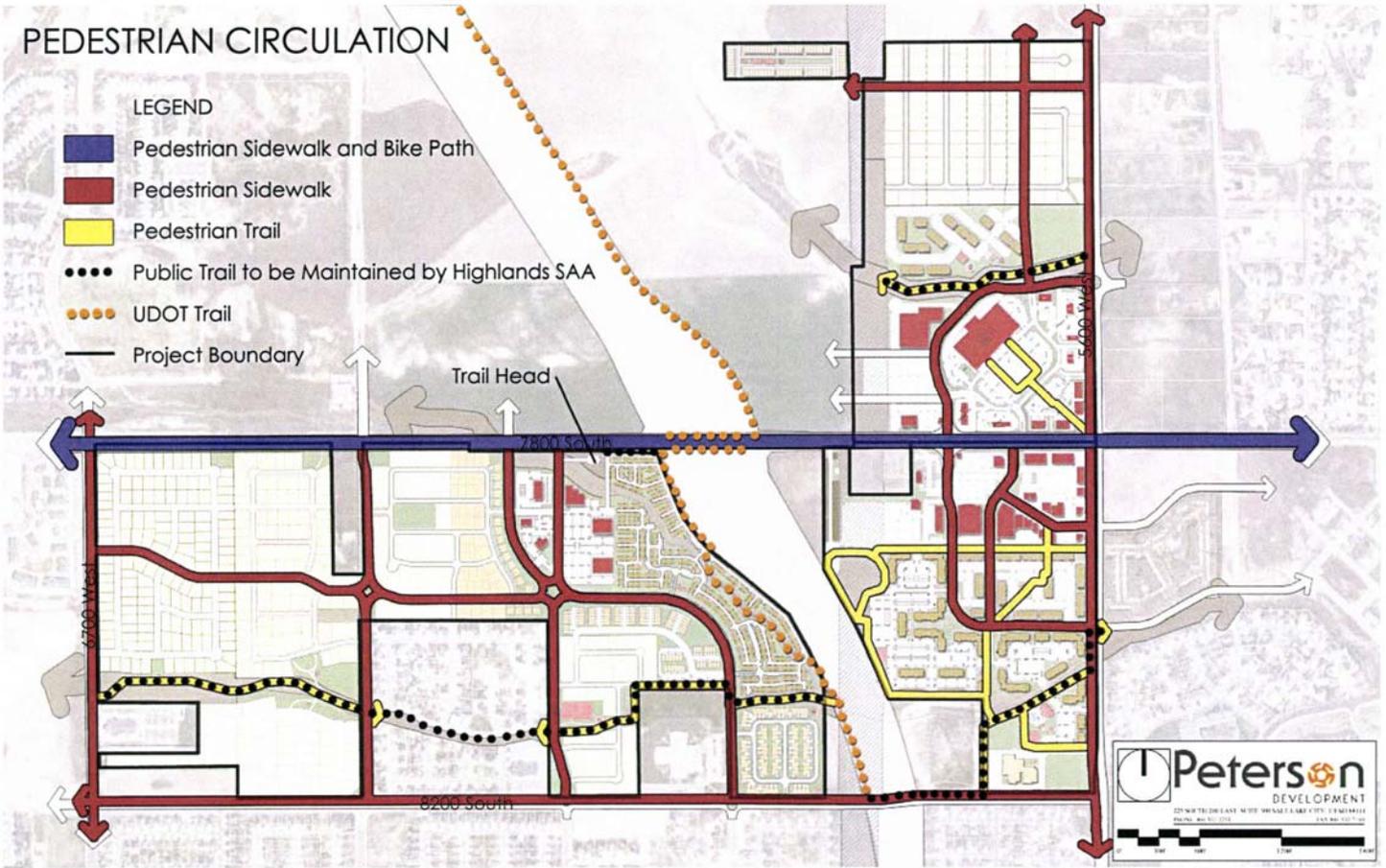


Daybreak Trail System

PEDESTRIAN CIRCULATION

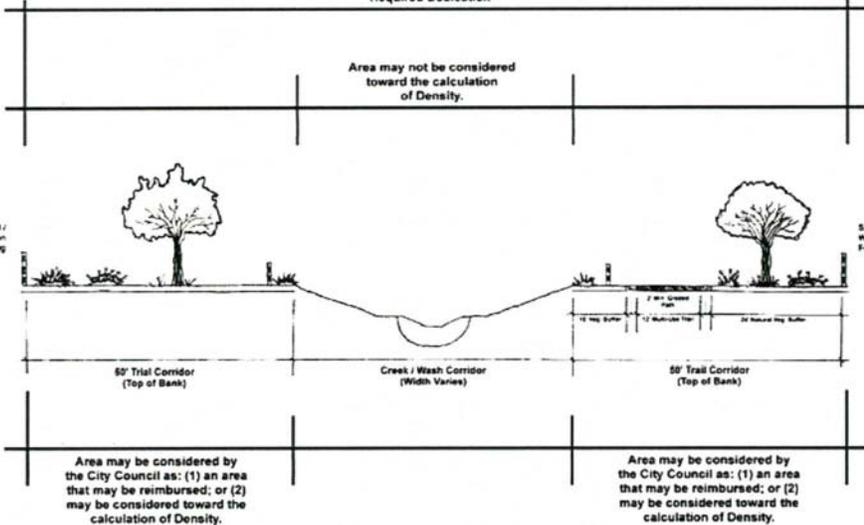
LEGEND

-  Pedestrian Sidewalk and Bike Path
-  Pedestrian Sidewalk
-  Pedestrian Trail
-  Public Trail to be Maintained by Highlands SAA
-  UDOT Trail
-  Project Boundary



Required Dedication

Pedestrian "Hot Spot"



Landscape concepts are prototypes only and are included to demonstrate a variety of potential applications.

PHASING

(Highlands West, Highlands East, Highlands North)

The Highlands is compartmentalized into 3 distinct communities by the major roads that provide access to the site. 7800 South creates a logical north-south division and the Mountain View Corridor (MVC) separates the southern parcels into east and west.

Highlands North lies north of 7800 South, Highlands East lies south of 7800 South and east of MVC. Highlands West lies south of 7800 South and west of MVC. Although these subareas appear geographically separated by major roads, it is the intent of the Development Plan to unify the project through consistent design elements. Landscape buffers, lighting, fencing, pedestrian connectivity and relationship to centralized community amenities that provide unity. That being said it is important that some diversity exist among the 3 communities. Phasing will play a significant role in providing a slightly different flavor from one community to the next. It is anticipated that over time as the project builds out that styles will evolve, producing a sense of architectural diversity. Each subarea is also targeted to contain collections of different community amenities that will help distinguish one area from neighboring Highlands villages.

Density buy-up will be determined per Village Preliminary Development Plan approval. The maximum unit count established in this document is a guiding number for the overall Highlands and may be adjusted- as a Development Plan for each village is submitted. Mixed-use units are restricted to the TSOD area and will be calculated based on a minimum of 15 du/ac and a maximum of 30 du/ac. The number of mixed-use units and the square footage of individual units will be determined at Development Plan submittal of the TSOD villages.

The primary differences by village are:

HIGHLANDS WEST

Highlands West is comprised of 7 residential neighborhoods that surround a small commercial center. Highlands West contains a wide range of densities and residential product types. The majority of this community is low density residential (63%) complimenting the existing residential that exists to the south and within Bloomfield Heights. The hallmark of this village is a high level of access to pedestrian trails and other recreational amenities. Each neighborhood has been designed to provide a small open space area within close proximity to residences.

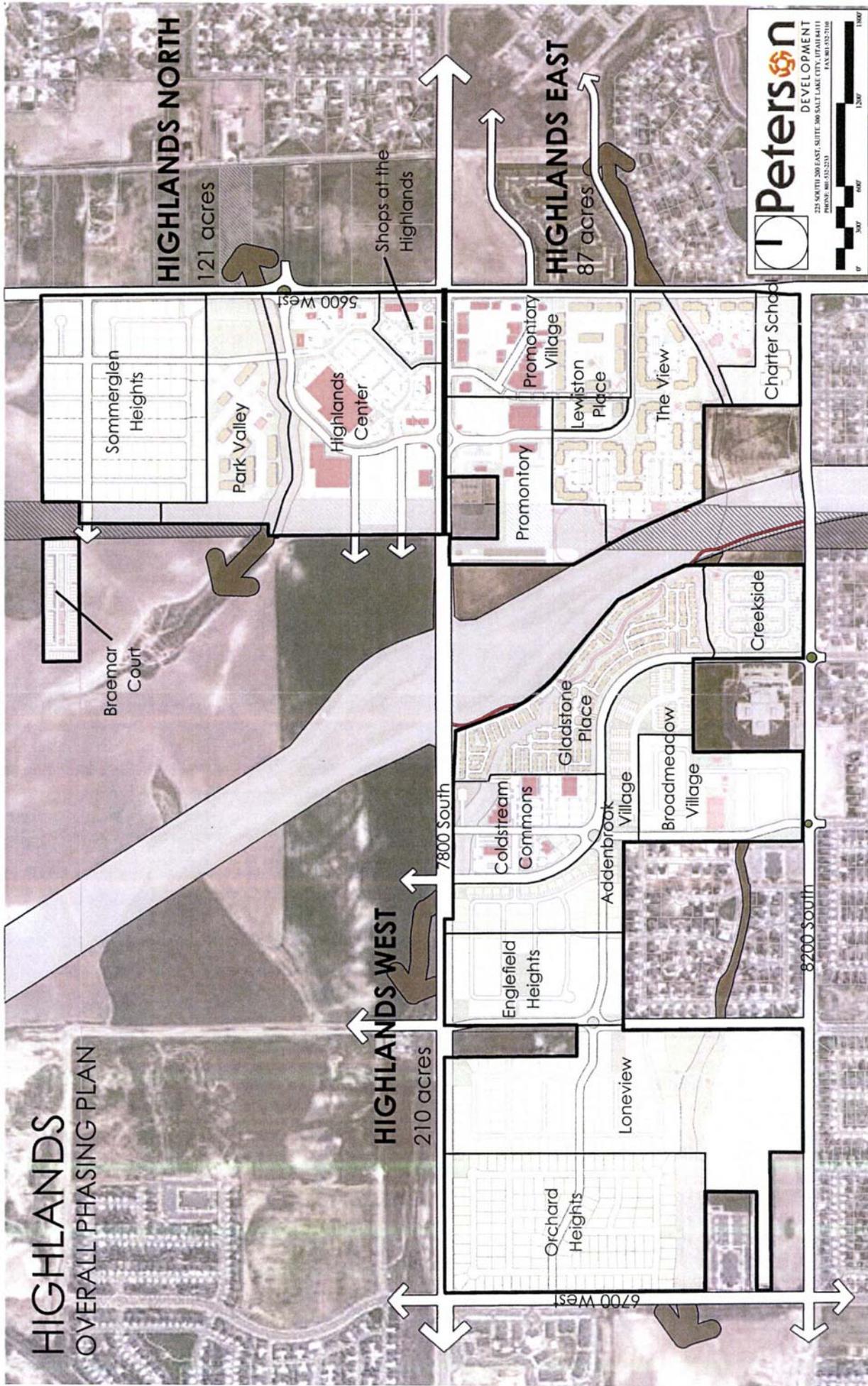
HIGHLANDS EAST

Highlands East is comprised of 2 residential neighborhoods, a large commercial center, and a vibrant transit oriented development (TOD) near the proposed BRT station. Residential densities reflect proximity to non-residential intensities. The hallmark of this village is the TOD and the high degree of pedestrian access to commercial centers. Each of the residential neighborhoods are designed to provide direct access to public trails along Clay Hollow.

HIGHLANDS NORTH

Highlands North is comprised of 3 residential neighborhoods and a large commercial center. Residential densities reflect proximity to non-residential intensities. The hallmark of this village is proximity to shopping and a high degree of direct access to regional trails along Dry Wash and the utility corridor.

HIGHLANDS OVERALL PHASING PLAN



HIGHLANDS NORTH
121 acres

HIGHLANDS EAST
87 acres

HIGHLANDS WEST
210 acres

Petersen
DEVELOPMENT
225 SOUTH 200 EAST, SUITE 300 SALT LAKE CITY, UT 84111
PHONE: 801-452-2210 FAX: 801-452-2216

AMENITIES BY AREA



The purpose of the proposed amenities is to create a development that adds to the quality of life of the residents who will live in the Highlands. The amenity tables are broken down by Community (Highlands West, Highlands East, Highlands North) and then by individual village.

The following section will describe the specific density buy-up program and the amenities that will be provided in conjunction with this program. These amenities are shown by village but are subject to change during Preliminary Development Plan submittal.

The following section will describe the specific density buy-up program and the potential amenities that will be provided per village in conjunction with this program.



Zone	Base Density D.U. Per Acre	Maximum Density D.U. Per Acre
VLSFR	1.00	2.00
LSFR	2.01	4.50
MFR	4.51	9.00
HFR	9.01	18.00
MU	NA	25.00

Adopted by Ord. No. 06-50, 12-12-2006



WSPA Required Standards & Optional Improvement Density Incentive Chart		
Trails & Open Space		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Dedication of open space, trail corridors or "in lieu of fees" in accordance with the Comprehensive General Plan and the Parks, Recreation and Trails Master Plan.		Required
Installation of enhanced open space/recreational amenities in excess of that required per City standards.	22%	Optional
Improvement of trail corridors and installation of trail amenities in excess of that required per City standards.	15%	Optional
Dedication of additional property for trails beyond that required per City standards along creeks/washes.	15%	Optional
Street Design		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Pedestrian scale and consistent, architectural street lighting		Required
Traffic calming design		Required
Street system designs		Required
Entryway monument or gateway feature to the subdivision/development	10%	Optional
Provision of a landscape buffer on major right-of-ways	10%-22%	Optional
Smart Growth Urban Design		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Master Planned subdivision design		Required
Pedestrian friendly and walk-able neighborhood design		Required
Alternative load garage configuration	18%	Optional
Clustered subdivision design	10%	Optional
Building Design		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Attractive theme-based and consistent architecture on all structures		Required
Installation of covered porches throughout 50% of the subdivision	14%	Optional
Enhanced door and window treatment	12%	Optional
Equal dispersion and use of high quality building materials	12%	Optional

Exclusions:

- 30% Slope
- Right-of-Ways >66'
- Primary Drainage corridors and wetland

HIGHLANDS WEST OVERVIEW

(Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Creekside	10.06	MFR	45.37	90.54	4.51	65%	7.44	75	76
Broadmeadow Village	18.28	LSFR	36.74	82.26	2.01	89%	3.80	69	69
Gladstone Place	24.11	HFR	217.23	433.98	9.01	89%	17.03	411	351
Addenbrook Village	28.01	MFR	126.33	252.09	4.51	68%	7.58	212	180
Coldstream Commons	13.23	SC-2							
Englefield Heights	19.23	LSFR	38.65	86.54	2.01	72%	3.46	66	66
Loneview North	34.17	LSFR	68.68	153.77	2.01	74%	3.50	120	108
Loneview South	19.63	LSFR	39.46	88.34	2.01	59%	3.20	63	63
Orchard Heights	39.32	LSFR	79.03	176.94	2.01	68%	3.38	133	135
Net Acres	206.04		651.49	1364.45		Average		1149	1048
Creek/Wash Corridor	2.22					73.00%			
Roads >66'	6.56								
Trail Head	1.38								
Gross Acres	209.64								

Density Buy-up Not Applicable

Parks/Open Space	39.17
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Optional Improvements

Optional Improvements	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Active Open Space Amenity/Facility	Value								
Swimming Pool	up to 2%			4%					2%
Tennis Court	up to 2%								
Fitness trail stations	up to 1%				1%				
Playground w/ equipment	up to 1%	1%	1%	3%	2%	1%			2%
Tot lot	up to 1%			1%					
Community Garden	up to 2%								
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	up to 2%	2%	2%	3%		2%	2%	2%	
Playing field (baseball, soccer, etc.)	up to 2%	2%	4%	3%	1%	2%			
Forecourt w/ seating area	up to 2%					2%			

Passive Open Space Amenity/Facility	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Passive Open Space Amenity/Facility	Value								
Common Green	up to 1%			2%	1%		1%	1%	
Courtyards	up to 2%			2%					
Landscaped Buffer, island, or median	up to 2%			2%	2%				2%
Greenbelt	up to 2%			2%	2%				
Common landscaped Garden	up to 2%					2%			2%
Pond	up to 3%								
Forecourt w/o seating area	up to 1%								
Max permitted is 22% in this category		5%	7%	22%	9%	9%	3%	3%	8%

Trail Amenities	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Trail Amenities	Value								
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	up to 4%	4%	4%	4%			4%		2%
1 bench every 1000 ft	1%		1%	4%			1%	1%	
1 trash receptacle every 1000 ft	1%		1%	3%			1%	1%	
Split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	4%	4%					
Max permitted is 15% in this category									

Dedication of Additional Trail Corridor	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Dedication of Additional Trail Corridor	Value								
Min of 12' and max of 25' additional to trail corridor	15%						9%	9%	1%

Street Design	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Street Design	Value								
Entry Monument at each entrance	10%	10%	10%	2%	6%	6%	10%	6%	3%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%								
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 8' deep and 1% for every 100 linear feet along a collector or arterial	10%	4%	5%		3%	10%	2%		6%

Smart Growth Urban Design	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Smart Growth Urban Design	Value								
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%		18%				18%	14%	
Cluster subdividing	10%								

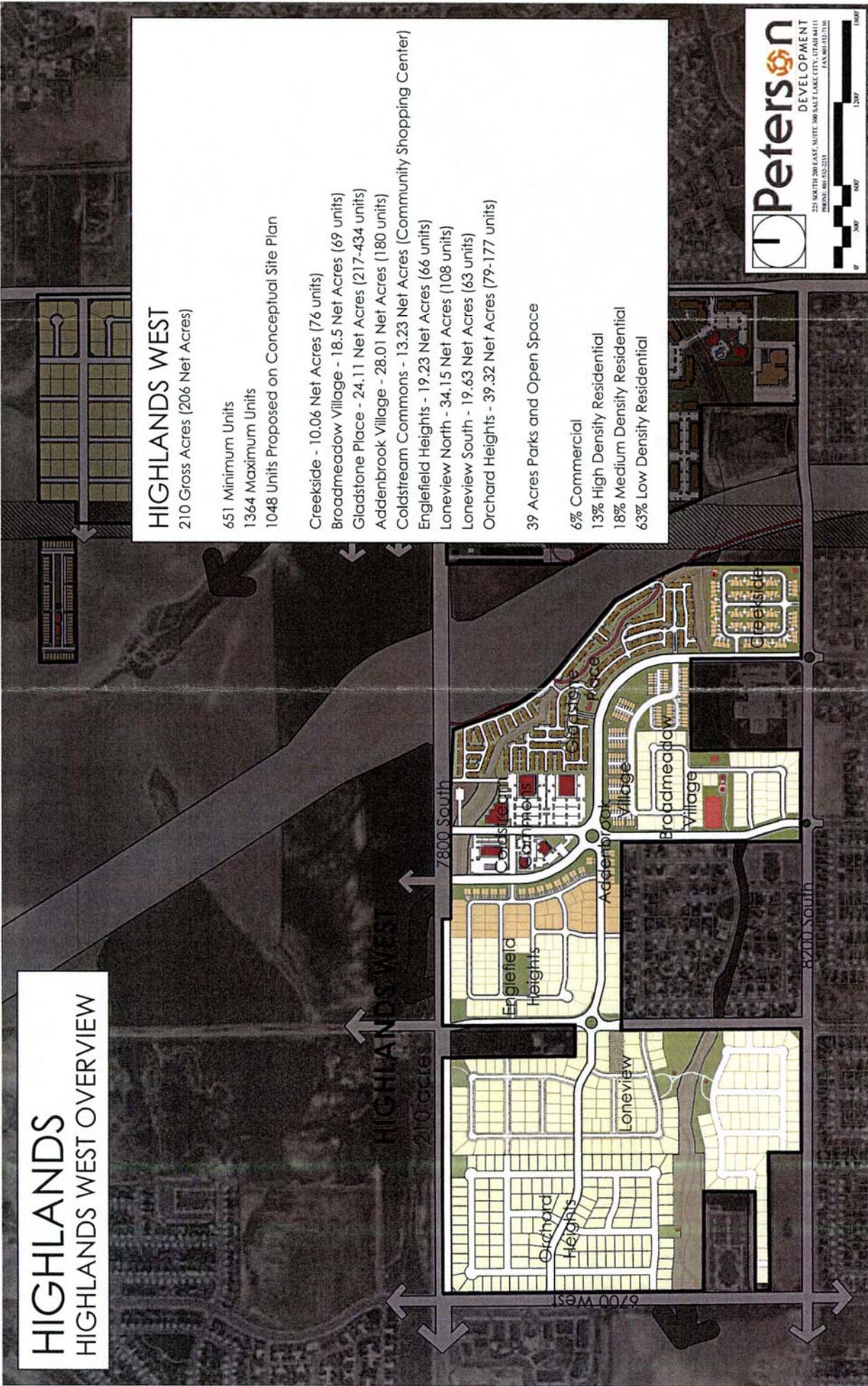
Building Design	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Building Design	Value								
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	14%	14%	14%	14%	13%	14%	13%	14%
Enhanced door and window treatment	12%	12%	12%	12%	12%	10%	12%	6%	12%
Equal dispersion and use of high quality building materials	12%	12%	12%	12%	12%	12%	12%	6%	12%

Substitute Amenities	TBD	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Substitute Amenities	TBD								
Landscaped trail head with parking lot and covered pavilion	10%								10%
84% of units with covered porches 50 sq ft or larger				10%					
200' diameter roundabout with upgraded landscaping				2%	2%	2%			
Energy efficient home design and construction					10%	10%			
Installation of trail (8' wide) north of Jordan School District property on 8200 S	10%		1%						

Total Buy-up	65%	89%	89%	68%	72%	74%	59%	68%
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HIGHLANDS WEST OVERVIEW



HIGHLANDS WEST

210 Gross Acres (206 Net Acres)

651 Minimum Units

1364 Maximum Units

1048 Units Proposed on Conceptual Site Plan

Creekside - 10.06 Net Acres (76 units)

Broadmeadow Village - 18.5 Net Acres (69 units)

Gladstone Place - 24.11 Net Acres (217-434 units)

Addenbrook Village - 28.01 Net Acres (180 units)

Coldstream Commons - 13.23 Net Acres (Community Shopping Center)

Englefield Heights - 19.23 Net Acres (66 units)

Loneview North - 34.15 Net Acres (108 units)

Loneview South - 19.63 Net Acres (63 units)

Orchard Heights - 39.32 Net Acres (79-177 units)

39 Acres Parks and Open Space

6% Commercial

13% High Density Residential

18% Medium Density Residential

63% Low Density Residential



215 SOUTH 200 EAST, SUITE 200 SALT LAKE CITY, UTAH 84111
PHONE: 801-452-2210 FAX: 801-452-2106



HIGHLANDS EAST OVERVIEW

(Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Charter School	7								
The View	28.01	HFR	252.37	504.18	9.01	100%	18.02	505	480
	6.22	MFR	28.05	55.98	4.51	100%	9.02	56	55
Lewiston Place	2.95	HFR	26.58	53.10	9.01	89%	17.00	50	50
Promontory	20.38	SC-2							
Promontory Village	9.2	HFR (TSOD)	138.00	276.00					138-276
	11.73	SC-2(TSOD)	175.95	351.90					176-352
Net Acres	85.49		620.95	1241.16		Average			899-1213
Creek/Wash Corridor	1.49					96.23%			
Roads >66'	4.86								
Gross Acres	86.98								

Density Buy-up Not Applicable

Parks/Open Space 19.03 (includes 2.3 acres in utility easment)

Optional Improvements	Value	Amenities for The View	Amenities for Lewiston Place
Active Open Space Amenity/Facility			
Swimming Pool (Fitness Center)	up to 2%	6%	
Tennis Court	up to 2%		
Fitness trail stations	up to 1%		
Playground w/ equipment	up to 1%	2%	
Tot lot	up to 1%	2%	1%
Community Garden	up to 2%		
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	up to 2%		2%
Playing field (baseball, soccer, etc.)	up to 2%	6%	
Forecourt w/ seating area	up to 2%	2%	
Passive Open Space Amenity/Facility			
Common Green	up to 1%	1%	3%
Courtyards	up to 2%	1%	2%
Landscaped Buffer, island, or median	up to 2%	1%	
Greenbelt	up to 2%		2%
Common landscaped Garden	up to 2%		2%
Pond	up to 3%		
Forecourt w/o seating area	up to 1%	1%	
Max permitted is 22% in this category		22%	12%
Trail Amenities			
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	up to 4%	4%	4%
1 bench every 1000 ft	1%	4%	1%
1 trash receptacle every 1000 ft	1%	3%	1%
split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	4%
Max permitted is 15% in this category			
Dedication of Additional Trail Corridor			
min of 10' and max of 25' additional to trail corridor	15%	15%	
Street Design			
Entry Monument at each entrance. 1% for each monument. 2% for each ornamental gateway feature.	10%	10%	3%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial.	22%	8%	
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 8' deep and 1% for every 100 linear feet along a collector or arterial.	10%		
Smart Growth Urban Design			
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%	4%	18%
Cluster subdividing	10%		
Building Design			
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	6%	
Enhanced door and window treatment	12%	10%	12%
Equal dispersion and use of high quality building materials	12%	10%	12%
Substitute Amenities			
Landscaped area between commercial loading areas and residences 1% for every 100 linear feet along commercial	15%		13.7%
Loop trail linking the Clay Hollow Wash Trail to Transit Station	15%		8%
Total Buy-up		100%	89%

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HIGHLANDS HIGHLANDS EAST OVERVIEW

HIGHLANDS EAST

87 Gross Acres (83 Net Acres)

621 Minimum Units

1,241 Maximum Units

899-1,213 Units Proposed on Conceptual Site Plan

Charter School - 7.0 Acres

The View at 5600 (High Density Residential) - 28.01 Net Acres (252-504 units)

The View at 5600 (Medium Density Residential) - 6.22 Net Acres (28-56 units)

Lewisston Place - 2.95 Net Acres (27-53 units)

Promontory - 20.38 Net Acres (Community Shopping Center)

Promontory Village - 20.93 Net Acres (314-628 units)

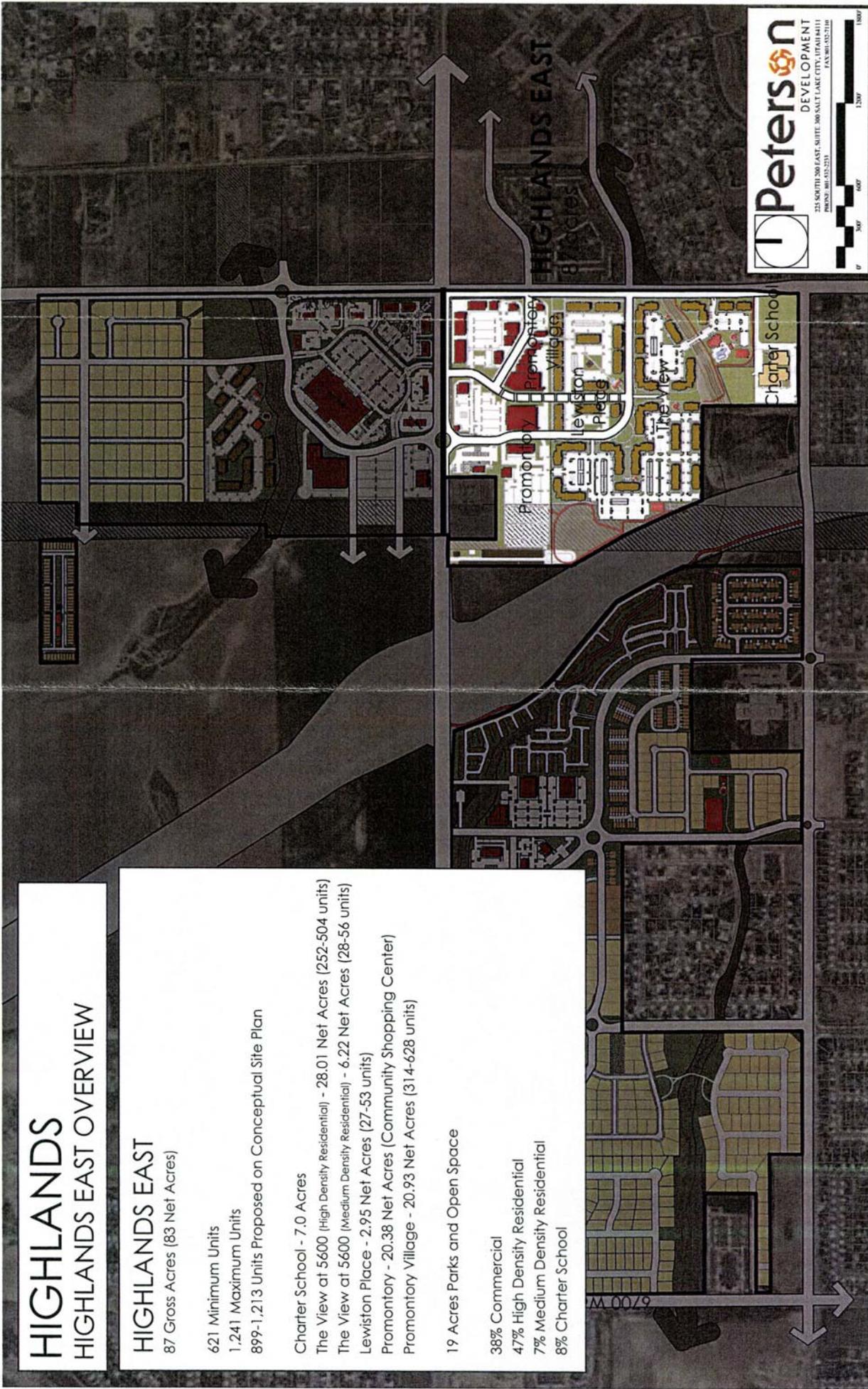
19 Acres Parks and Open Space

38% Commercial

47% High Density Residential

7% Medium Density Residential

8% Charter School



Petersen
DEVELOPMENT
235 SOUTH 300 EAST, SUITE 300 SALT LAKE CITY, UTAH 84111
PHONE: 801-432-2210 FAX: 801-432-2180

0 300 600 900 1200 1500

HIGHLANDS NORTH OVERVIEW

(Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Highlands Center	39.09	SC-2							
Highlands Square	4.3	SC-2(TSOD)							
Park Valley	21.4	HFR	192.81	385.20	9.01	99%	17.97	385	385
Sommergren Heights	39.58	R-1-10 (10,000 sq ft lots)	111.00	111.00					111
Braemar Court	7.21	MFR	32.52	64.89	4.51	95%	8.79	63	64
Net Acres	111.58		336.33	561.09		Average			560
Creek/Wash Corridor	1.72					97.24%			
Roads >66'	8.02								
Gross Acres	121.32								

Density Buy-up Not Applicable

Parks/Open Space 13.16 (Includes 8.01 acres in utility easement)

Optional Improvements	Value	Amenities for Park Valley	Amenities for Braemar Court
Active Open Space Amenity/Facility			
Swimming Pool	up to 2%	2%	
Tennis Court	up to 2%		2%
Fitness trail stations	up to 1%	2%	
Playground w/ equipment	up to 1%		
Tot lot	up to 1%	1%	1%
Community Garden	up to 2%	2%	2%
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	up to 2%	2%	2%
Playing field (baseball, soccer, etc.)	up to 2%		
Forecourt w/ seating area	up to 2%		
Passive Open Space Amenity/Facility			
Common Green	up to 1%	2%	1%
Courtyards	up to 2%		
Landscaped Buffer, island, or median	up to 2%	2%	2%
Greenbelt	up to 2%	2%	
Common landscaped Garden	up to 2%	2%	2%
Pond	up to 3%		3%
Forecourt w/o seating area	up to 1%	1%	1%
Max permitted is 22% in this category		18%	16%
Trail Amenities			
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	up to 4%	4%	
1 bench every 1000 ft	1%	2%	1%
1 trash receptacle every 1000 ft	1%	2%	1%
split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	
Max permitted is 15% in this category			
Dedication of Additional Trail Corridor			
min of 12' and max of 25' additional to trail corridor	15%		15%
Street Design			
Entry Monument at each entrance	10%	10%	6%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%		
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 8' deep and 1% for every 100 linear feet along a collector or arterial	10%	3.5%	
Smart Growth Urban Design			
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%	18%	18%
Cluster subdividing	10%		
Building Design			
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	14%	14%
Enhanced door and window treatment	12%	12%	12%
Equal dispersion and use of high quality building materials	12%	12%	12%
Substitute Amenities			
	TBD		
Total Buy-up		99%	95%

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Highlands

HIGHLANDS NORTH OVERVIEW

HIGHLANDS NORTH

121 Gross Acres (112 Net Acres)

336 Minimum Units

561 Maximum Units

336-561 Units Proposed on Conceptual Site Plan

Highlands Center - 39.09 Net Acres (Community Shopping Center)

Shops at the Highlands - 4.3 Net Acres (Community Shopping Center)

Park Valley - 21.4 Net Acres (193-385 units)

Sommerglen Heights - 39.58 Net Acres (111 units)

Braemar Court - 7.21 Net Acres (33-65 units)

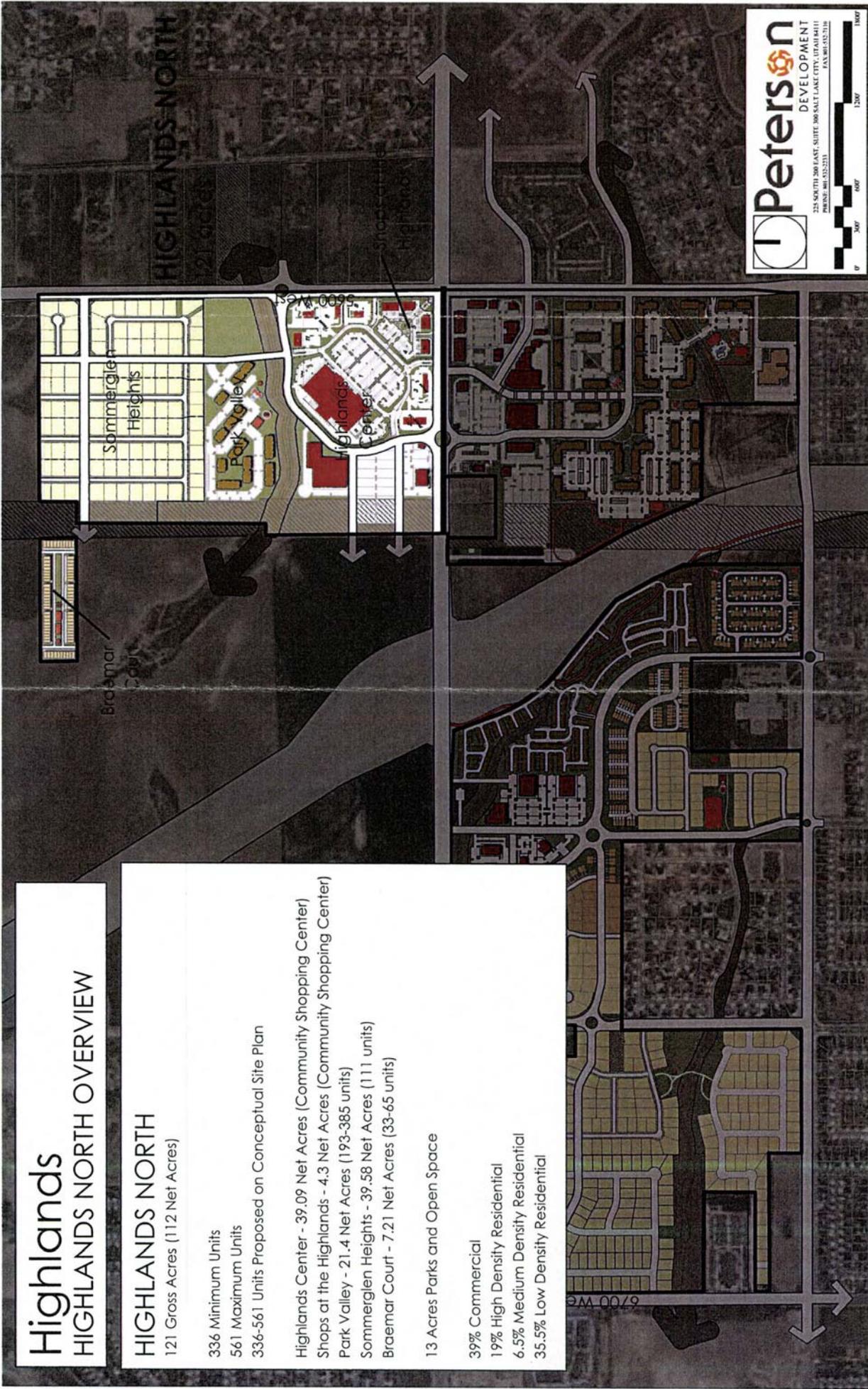
13 Acres Parks and Open Space

39% Commercial

19% High Density Residential

6.5% Medium Density Residential

35.5% Low Density Residential



Petersen
DEVELOPMENT

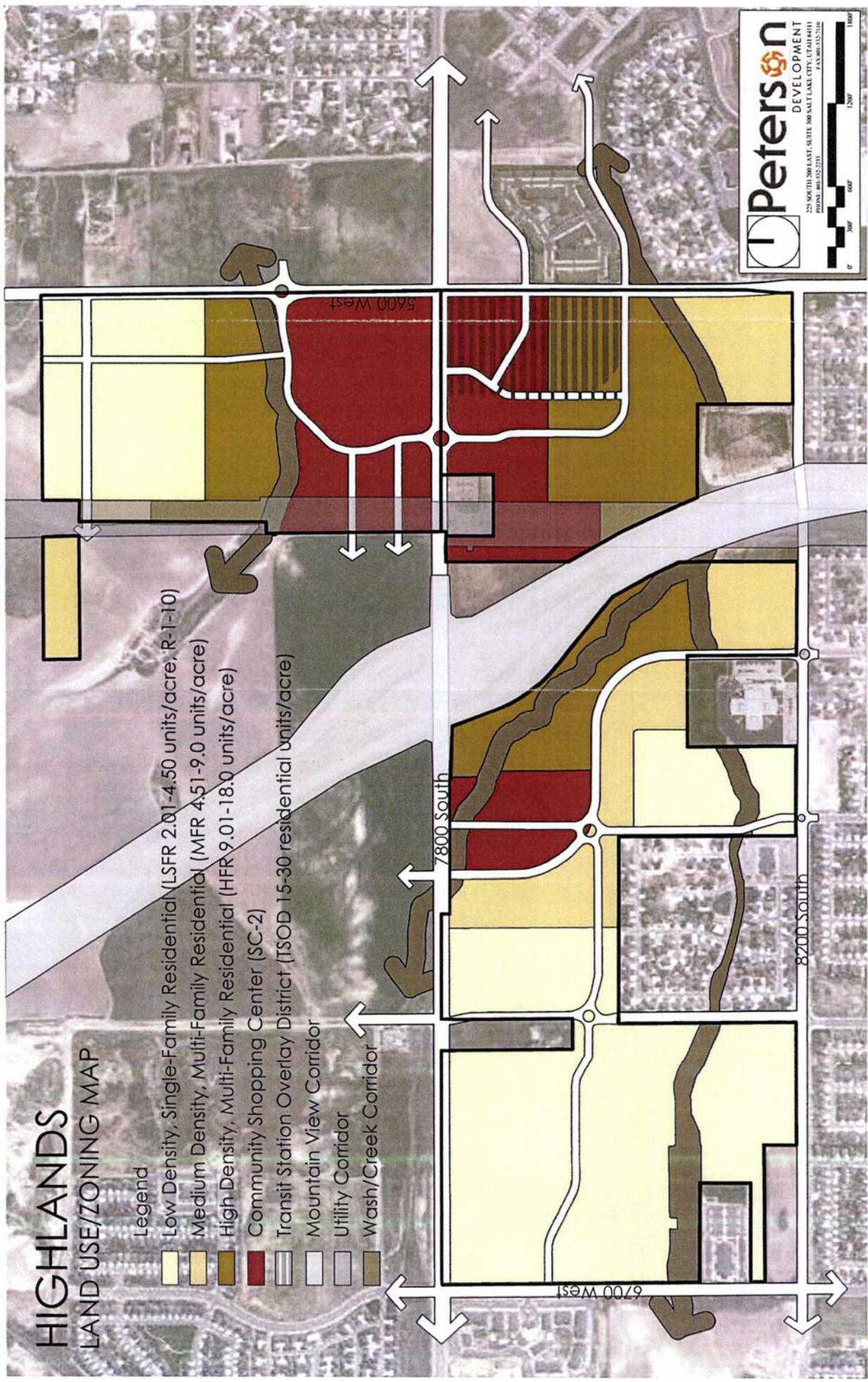
225 SOUTH 280 EAST, SUITE 300 SALT LAKE CITY, UTAH 84111
PHONE: 801.433.2311 FAX: 801.433.2316

0 300' 600' 900' 1200' 1500'

HIGHLANDS LAND USE/ZONING MAP

Legend

-  Low Density, Single-Family Residential (LSFR 2.01-4.50 units/acre, R-1-10)
-  Medium Density, Multi-Family Residential (MFR 4.51-9.0 units/acre)
-  High Density, Multi-Family Residential (HFR 9.01-18.0 units/acre)
-  Community Shopping Center (SC-2)
-  Transit Station Overlay District (TSOD 15-30 residential units/acre)
-  Mountain View Corridor
-  Utility Corridor
-  Wash/Creek Corridor



Peterson
DEVELOPMENT

225 SOUTH 200 EAST, SUITE 300 SALT LAKE CITY, UT 84143
PHONE: 801.525.2520 FAX: 801.525.2116



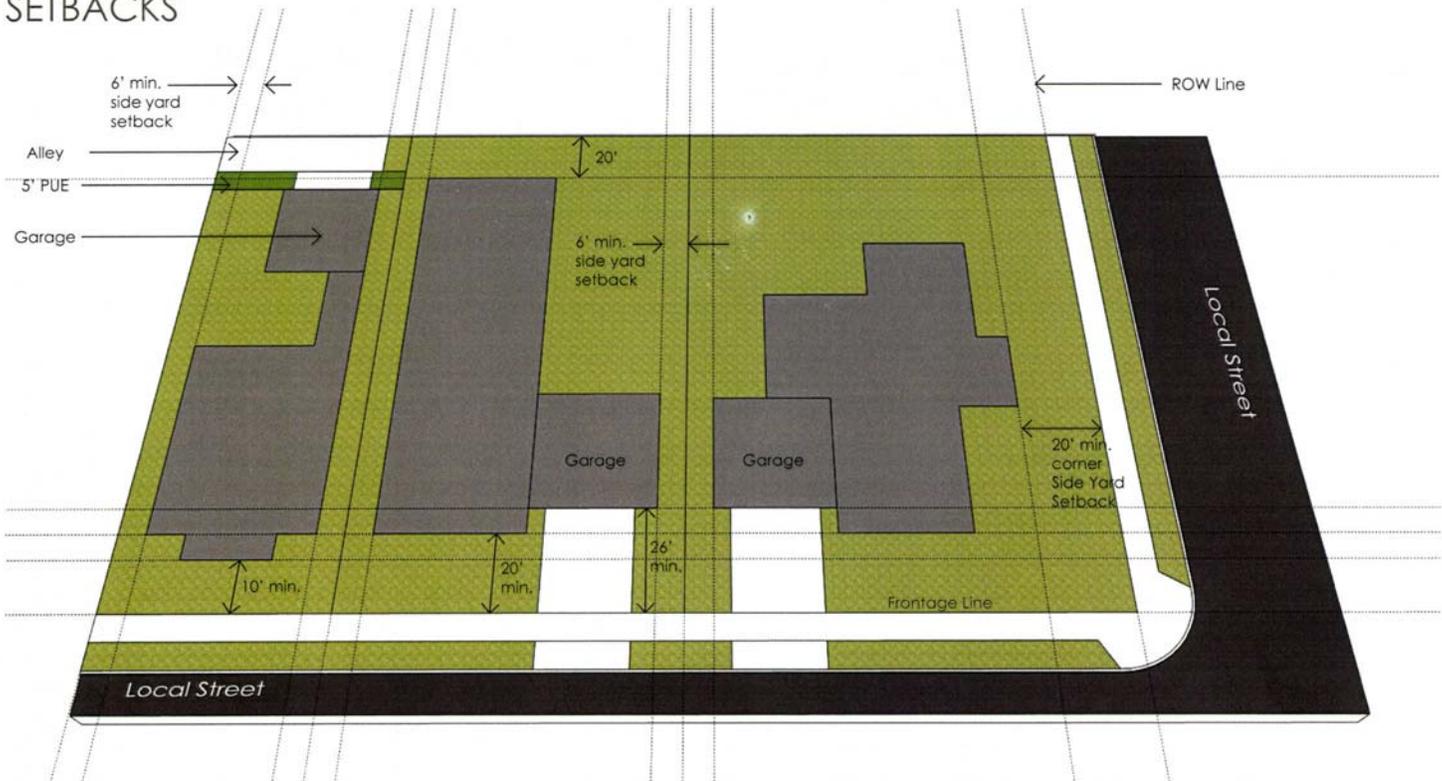
ZONE REGULATIONS BY LAND USE

(Lot Area, Lot Width, Setbacks, Building Height, Lot Configurations)

DESIGN CRITERIA	STRUCTURE				
	Single (Alley Load)	Single (Front Load)	Two Family	Attached Townhomes	Multi-Family
BUILDING HEIGHT					
Maximum	30'	30'	30'	30'	*
FRONT SETBACKS					
To Garage (minimum)	26'				N.A.
To Structure (minimum)	10'	20'	20'	20'	20' from private ROW
SIDE SETBACKS					
Interior	6'				Building to Building = 18' Building to Property Line = 30'
Corner Local Street (minimum)	20'				20'
Corner Major Collector or Arterial (minimum)	35'				20'
REAR SETBACKS					
To Adjacent Lot (minimum)	5' PUE	15'	15'	15'	30'
Abutting Arterial or Major Collector (minimum)	35'				20'

*These regulations reflect the standards found in Zoning Ordinance Section 13-5J-7. Specific lot, height and bulk standards in multi-family developments shall be established by the Planning Commission through approval of the Development Plan.

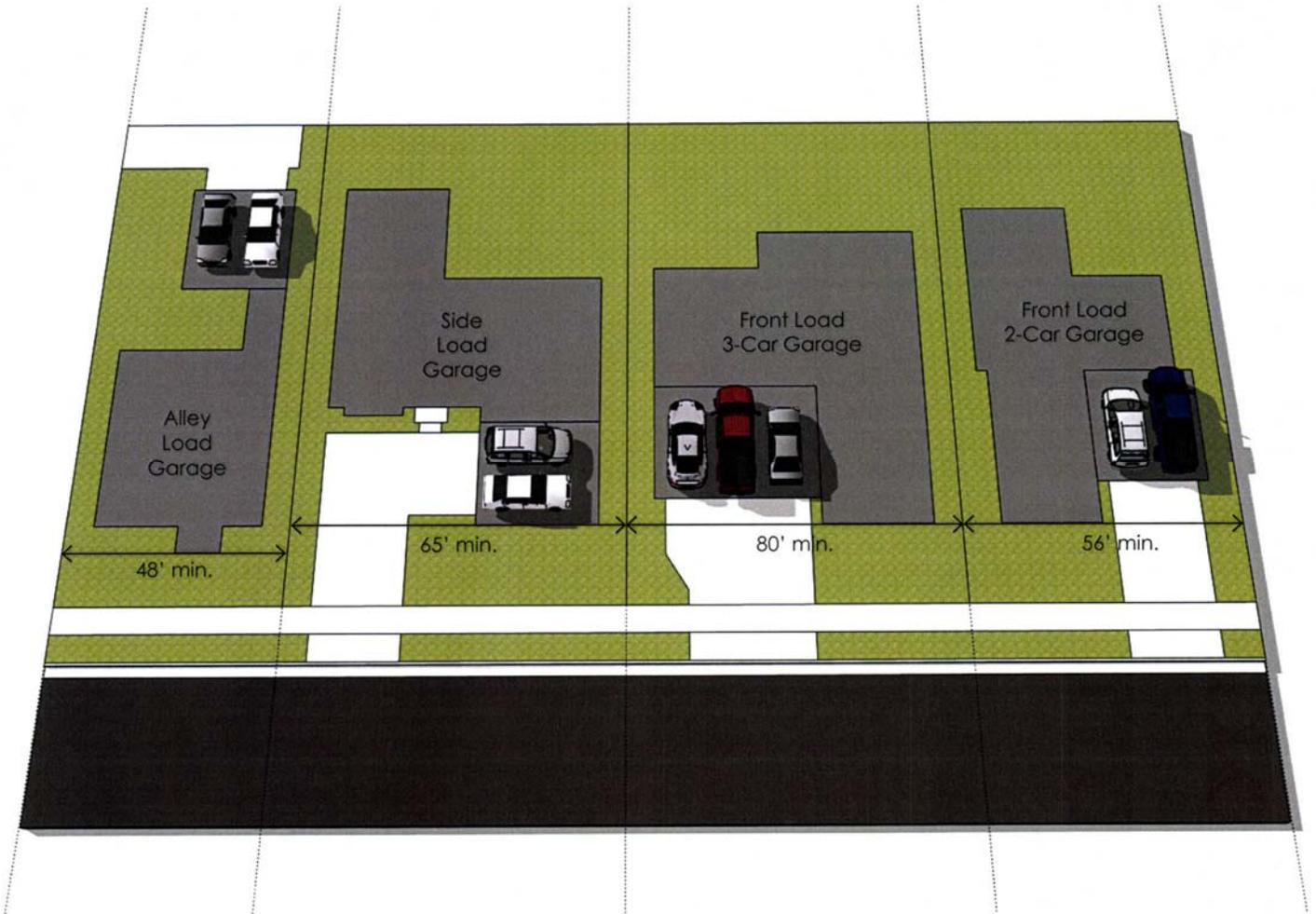
SETBACKS



Landscape concepts are concepts only and are included to demonstrate a variety of potential applications. The land owner/developer retains the right to modify or disregard any and/or all concepts featured in these diagrams.

LOT WIDTH (measured at building setback)

FRONTAGE AT BUILDING SETBACK	
Front Load 2-car Garage	56'
Front Load 3-car Garage	80'
Side Load Garage	65'
Alley Load Garage	48'



BUILDINGS AND STRUCTURES (Elevations and Footprints)

LSFR



This section addresses the architectural flavor that is desired for the Highlands by land use category.

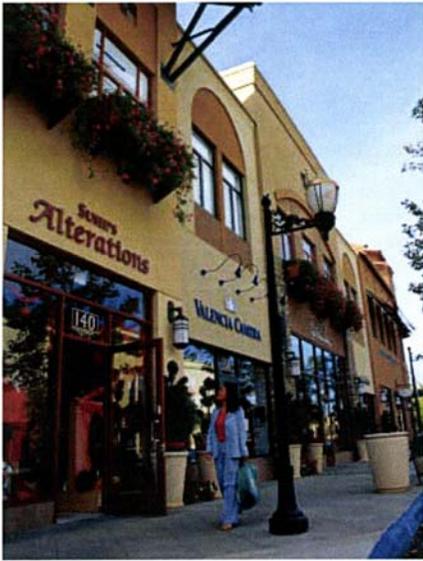
Architectural style is not prescribed in the Master Development Plan, but shall be presented at Development Plan submittal. These images are prototypes only and do not represent specific form, massing or material requirements.

Each village in the Highlands will have its own unique architectural style. Architectural design presented in each Development Plan will be reviewed by the Design Review Committee.

MFR







These architectural concepts are prototypes only and are included to demonstrate a variety of potential applications. The land owner/developer retains the right to modify or disregard any and/or all concepts and program elements featured in this diagram. Architecture for each village will be presented in each Village Development Plan.

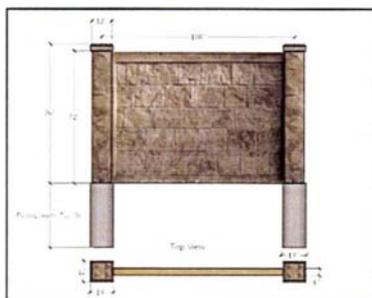
FENCING AND WALLS



The boundary for the Highlands should be a soft transition between parcels that consists primarily of landscape buffer. However various conditions may occur where a fence, wall or other type of physical barrier is required. These fencing guidelines are intended to unify the design of fences and walls within a comprehensive theme.

STRATEGIES:

- 1) The overall design of Highlands strongly emphasizes open styles of fencing, especially along roadways and surrounding neighborhoods.
- 2) Solid fences are not appropriate except in between houses and between different land uses.
- 3) Open styles are considered to be those that emphasize the use of natural materials such as wood with architectural detailing, iron fencing between solid pilasters, and which utilize natural colors, such as brown, gray or green.
- 4) Any fence or wall must be designed to be compatible with the architecture of the immediate area, and are subject to Design Review.
- 5) The design of fences and walls must harmonize with the site and with the buildings in both scale and materials.
- 6) The placement of walls and fences must respect existing land forms and follow existing contours and fit into existing land masses rather than arbitrarily following site boundary lines.
- 7) Fencing must not dominate the buildings or the landscape. Plantings may often be integrated with fencing schemes to soften the visual impact. Fencing materials must be compatible with the materials and color of surrounding buildings.
- 8) If the ground slopes, the fence must be stepped.
- 9) Permanent chain link, livestock wire, plywood, chain and bollard are prohibited.
- 10) All fences, walls, gates & pylons require Design Review. Fences that replace, in kind, existing fencing of less than 100 linear feet, do not require a permit. Additionally, fences over six feet in height, electric gates and all retaining walls will require a building permit.



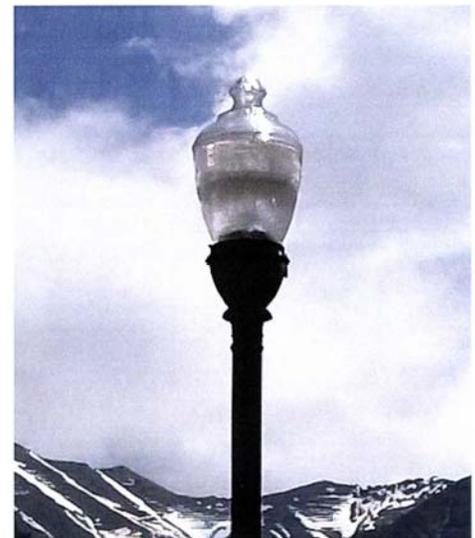
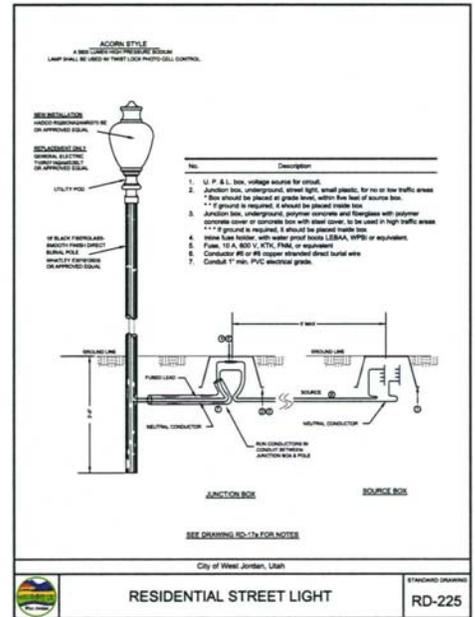
It is the intent of the Highlands to maintain a small village atmosphere with the need to provide for the safe movement of vehicles and people in all communities. To meet this intent, recommended lighting levels are to be defined at minimum levels to provide public safety and at the same time enhance the appeal of buildings and landscaping and to protect the desired atmosphere of the community.

An appropriate hierarchy of lighting fixtures/structures and intensity must be considered when designing the lighting for the various elements of a project (i.e., building and site entrances, walkways, parking areas, or other areas of the site).

Light fixtures will conform with City of West Jordan Standards. Lighting requirements are found in the West Side Planning Area – Zoning Districts Sec. 89-3-1107. Pedestrian scale and consistent, architectural street lighting.

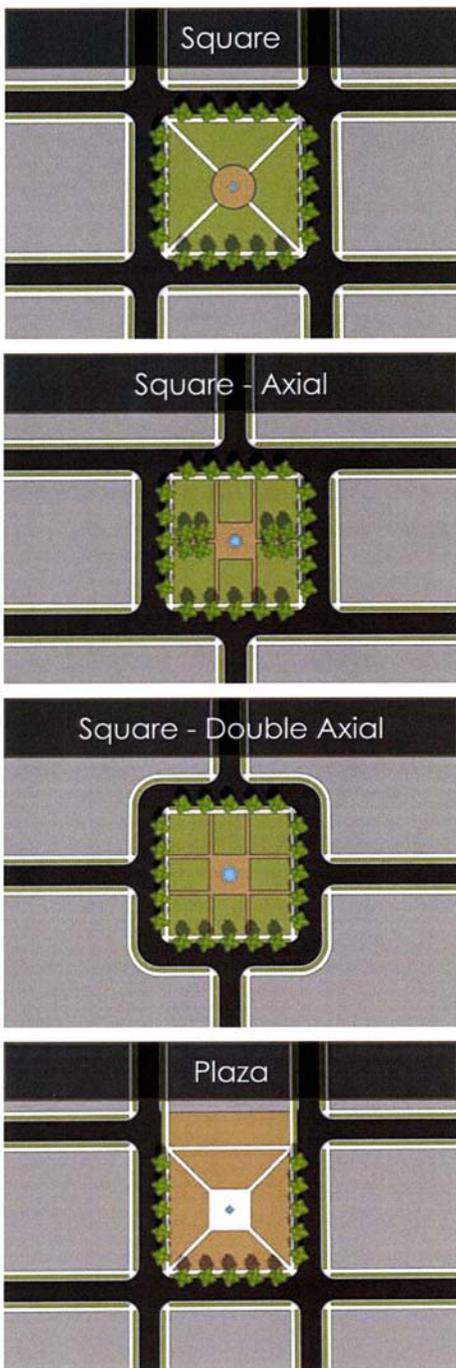
The use of exterior lighting to accent a building's architecture is encouraged. All lighting fixtures will be properly shielded to eliminate light and glare from impacting adjacent properties, and passing vehicles or pedestrians. If neon tubing is used to illuminate portions of a building it must be concealed from view through the use of parapets, cornices or ledges. Small portions of exposed neon tubing may be used to add a special effect to a building's architecture but this must be well thought out and integrated into the overall design of the project.

To achieve the desired lighting level for parking and pedestrian areas, the use of more short, low intensity fixtures is encouraged over the use of a few tall fixtures that illuminate large areas.



PUBLIC AND PRIVATE USE AREAS

The following diagrams demonstrate the potential prototypical public and private use areas within the Highlands. The actual location of individual areas in each village will be determined within each Village Development Plan.



Green: An open space amenity used for active and passive recreation and may be spatially defined by roads or building and/or road frontage.

Square: An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage.

Arterial Buffer: A multipurpose open space amenity used for passive recreation. Buffers also provide visual relief for properties adjacent to major roads.

Close: A semi-public open space used for passive recreation by residents living in adjacent buildings.

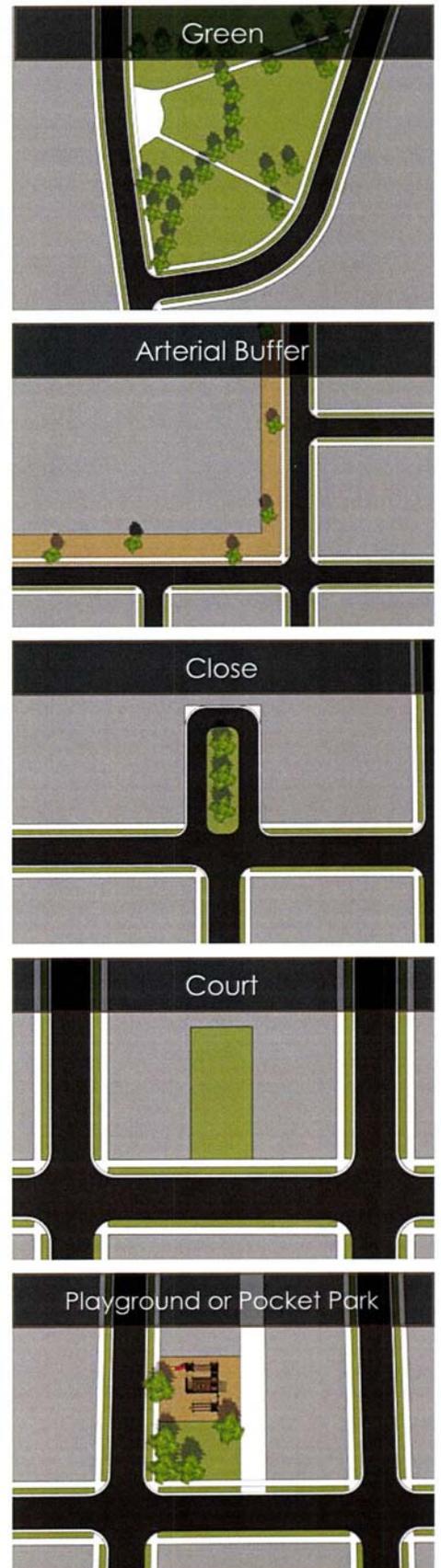
Square - Axial: An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage and located to cause interruption and visual termination of a thoroughfare. Two one-way streets allow for traffic to flow on either side of the square.

Square - Double Axial: An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage and located to cause interruption and visual termination of two thoroughfares. Twoway streets allow for traffic to flow around the square.

Court: A semi-public open space amenity used for passive recreation by residents living in abutting lots.

Plaza: An open space amenity used for commercial and civic purposes. A plaza is spatially defined by building frontage and generally consist of hardscape material.

Playground or Pocket Park: An open space amenity used for active and passive recreation. They are spatially defined by buildings because in most cases they are located within a block.



LANDSCAPING - GENERAL AREAS

(Streetscape, Washes, Entrances, Buffers, Parks)



The Highlands Conceptual Site Plan shows a minimum of 20% open space for the overall development. Open space in the form of trails, parks, and landscape buffers are spread throughout the plan to provide recreation areas and areas of visual interest for each village.

Streetscapes – The first village to develop along any road shall determine how the rest of that streetscape shall be installed in order to form a uniform streetscape along contiguous sections of roadway. All plantings shall adhere to Municipal Code Sec. 13-13-8 – Park Strips and streetscapes.



Trails – Trails will be installed as dictated by the Trails criterion within the West Side Planning Area (Sec 13-5J-6). Trails that are shown on the West Jordan Trails Master Plan and on the General Land Use Map as public trails will be constructed by the developer and maintained through the Highlands Special Assessment Area (SAA). The primary drainage corridor and 50' of property offset from top of bank on both sides of the wash/creek, as dictated by the aforementioned code, will be maintained by the SAA as well as the trail itself. The wash shall remain natural and non-irrigated other than "hot-spots" as spelled out in the Pedestrian Circulation portion of this document. These hot-spots may be irrigated and maintained by the adjacent village's HOA or by the Highlands SAA, as determined in each village's Preliminary Development Plan. The remaining natural wash will require selective mowing twice a year, which will be maintained through the SAA.



Parks – Parks are to be incorporated into the layout and design of the villages and not installed as an afterthought. They are to be used as gathering places, recreation areas, and in many instances hold the key amenities that give character to a particular village. Parks are to be maintained by HOAs created by each village or by the SAA for the overall community.

The maintenance of each park will be determined at Site Plan submittal.



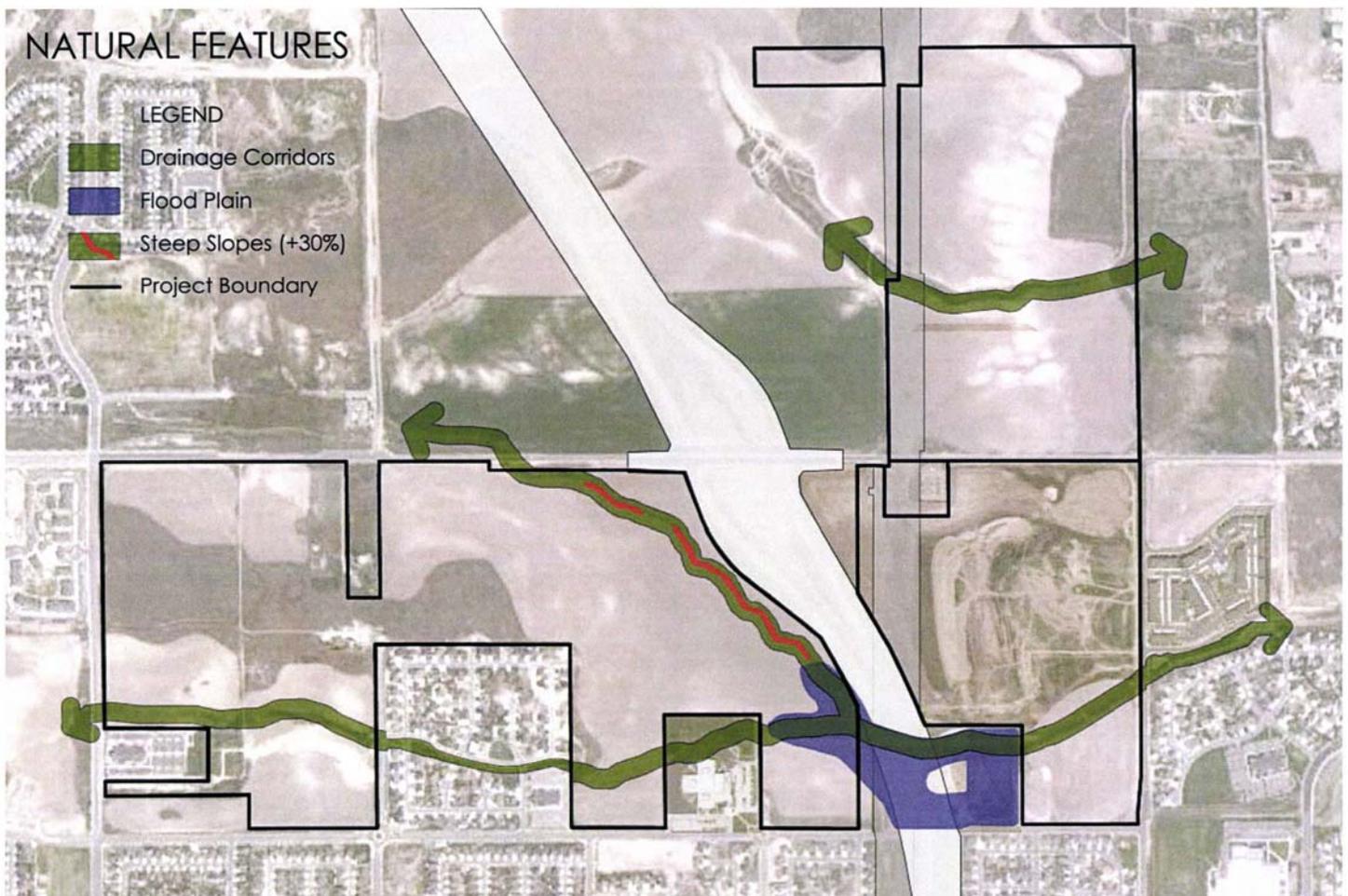
Landscape Buffers – There are 2 widths of landscape buffers: 32' and 8'. All landscaping installed within this landscape buffer shall be in accordance with Sec 13-5J-6 – Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots and Sec 13-13-8 – Park Strips and streetscapes of the Municipal Code.



DRAINAGE CORRIDORS, FLOOD PLAIN, AND STEEP SLOPES

The diagram below depicts the drainage ways that cross the property and the corresponding potential flood plain locations.

There are very few areas with steep slopes within the Highlands. Steep slopes, as defined by Municipal Code Sec. 13-6D-4-G, are those that exceed 30%. These small areas are confined to the Clay Hollow drainage corridor and are also depicted on the exhibit below.



PROCESS FOR SUBSEQUENT SUBMITTALS

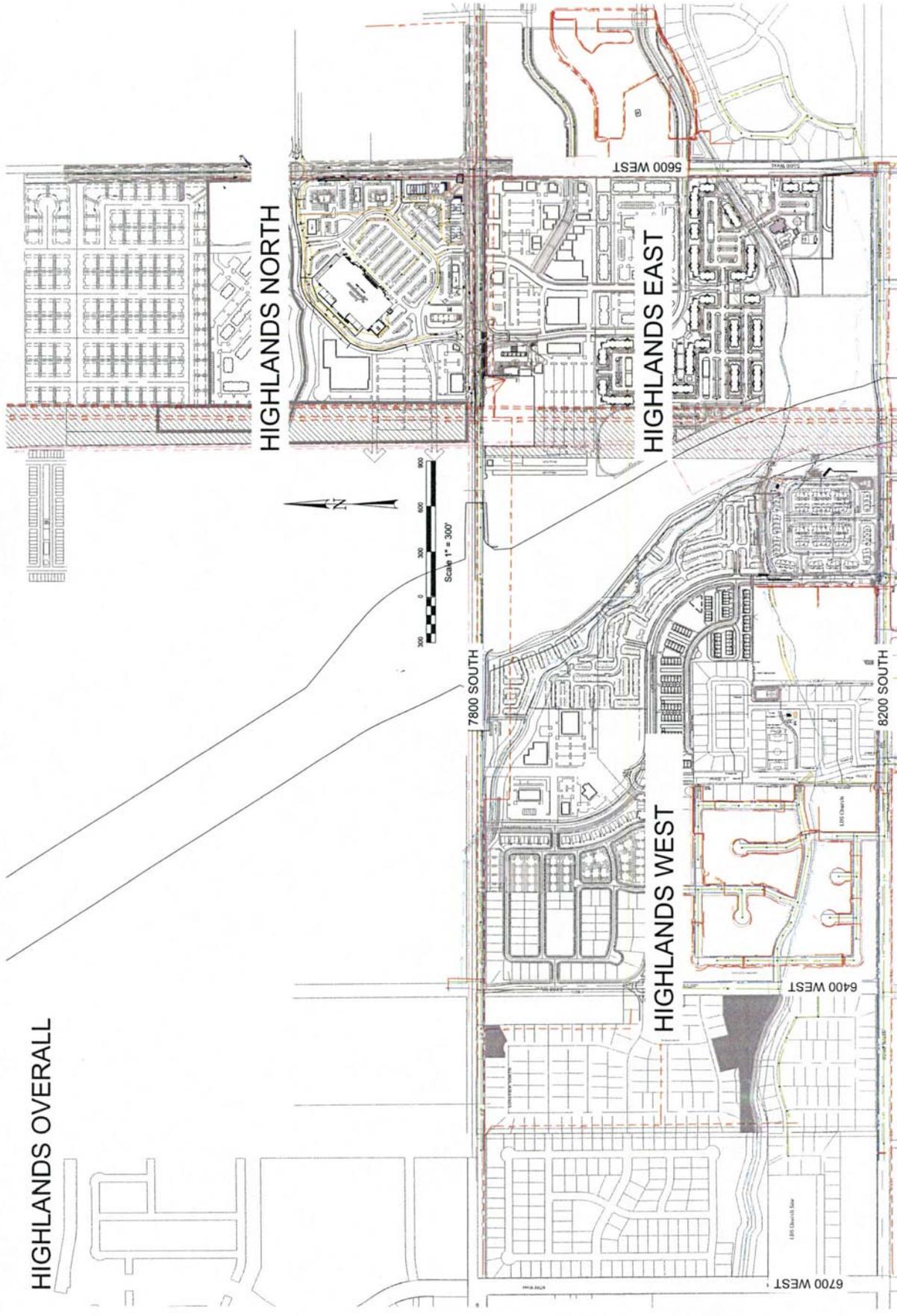
The next step in the submittal process will be to submit a Preliminary Development Plan for each village in the Highlands. These Preliminary Development Plans will follow the required checklist included in the WSPA code Section 13-5J-10 Development Plan Process, and will include a Preliminary Site Plan and Preliminary Plat. Each village needs to meet the required percentage of buy-up for the number of units shown on the Preliminary Site Plan. The Highlands Master Development Plan will act as a general guide in determining the amenities for buy-up. However, changes to the type of amenities and percent of amenities as shown in this document can be altered in Village Preliminary Development Plans.

The submittal checklist will include the following:

- a. Minimum and average lot area
- b. Minimum and average lot width
- c. Minimum living area per each proposed structure type
- d. Maximum and average height of each proposed structure type
- e. Explanation of how zoning requirements are being met
- f. Number and placement of each dwelling/structure type
- g. Direct reference on the plan to specific building elevations
- h. Fencing/wall placement, height, type, maintenance responsibilities, and elevations
- i. Lighting placement, height, type, maintenance responsibilities, and elevations
- j. Public and private use areas; explaining which areas will be used privately or publicly; including general recreation areas, native/unimproved open space, improved parks, schools, and public utility areas (storm water ponds). And the maintenance of each area.
- k. Explaining the landscaping; including the locations, amount, purpose, and maintenance
- l. List any proposed reimbursements
- m. Detailed renderings of the following:
 - i. Existing land use and zoning surrounding the proposed development
 - ii. Exterior perspectives or exterior elevations of all sides of proposed residential or mixed use buildings, structures, monuments, and gateway features.
 - iii. All residential development must show the proposed building envelopes for every lot, inclusive of lot dimensions, building footprint and lot area
 - iv. Street layout system
 - v. Parking layout showing parking stalls, ingress and egress areas, emergency lanes, medians
 - vi. If applicable, the location of existing services
 - vii. Copy of the preliminary site plan
 - viii. Copy of the preliminary subdivision plat
- n. An electronic copy of all submitted information on a CD in .pdf file format.

DESIGNER BY	AJS
CHECKED BY	BHT

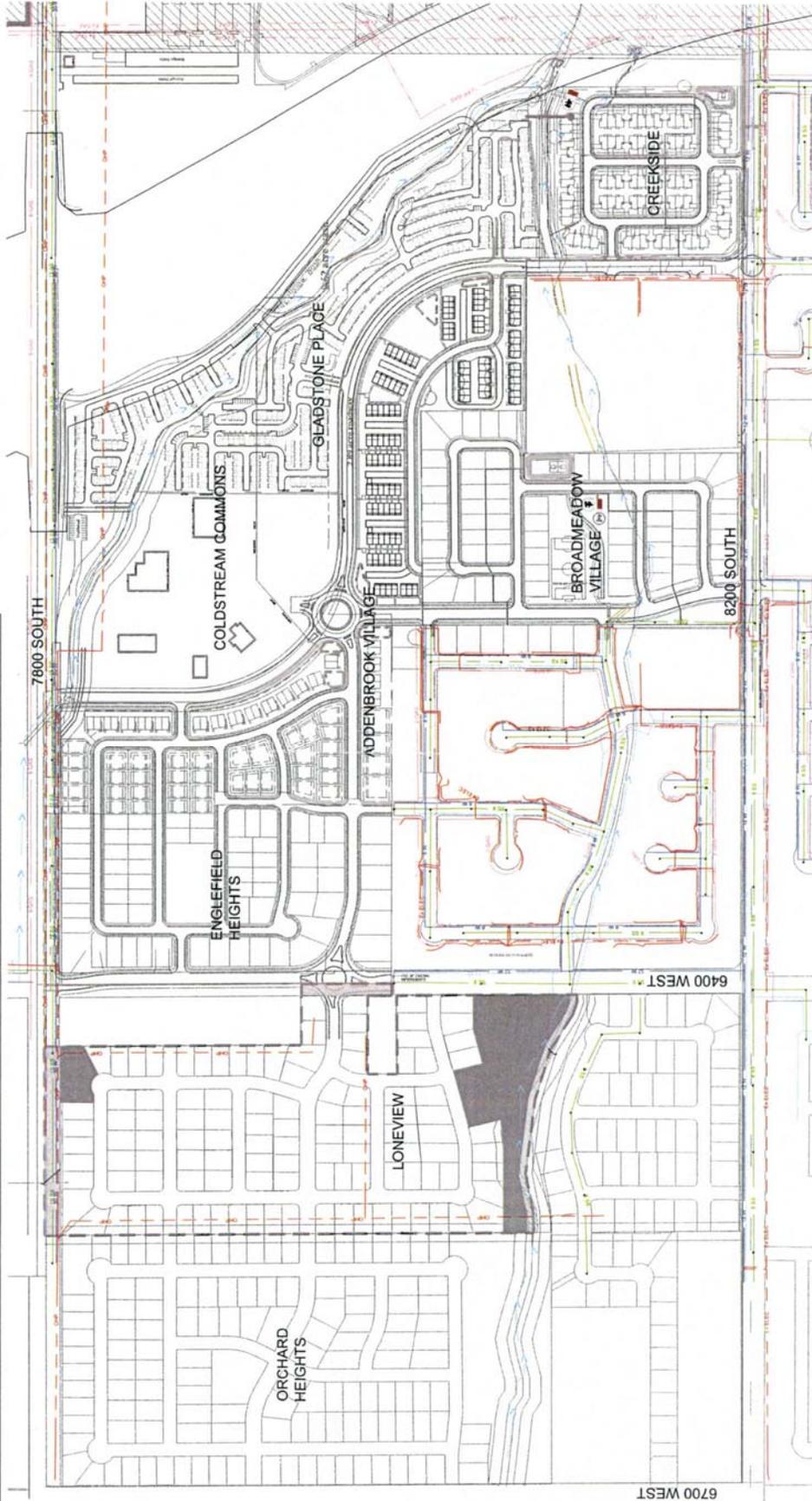
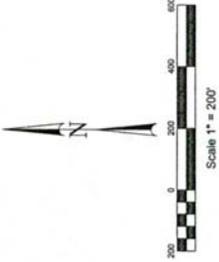
REVISIONS



HIGHLANDS WEST

LEGEND

- EXISTING OVERHEAD POWER
- EXISTING BURIED POWER
- EXISTING 12" HP GAS
- EXISTING 8" GAS
- EXISTING 6" GAS
- EXISTING 4" GAS
- EXISTING 2" GAS
- EXISTING GAS (SIZE UNKNOWN)
- EXISTING 12" SEWER
- EXISTING 14" SEWER
- EXISTING 16" SEWER
- EXISTING 8" STORM DRAIN
- EXISTING 10" STORM DRAIN
- EXISTING 12" STORM DRAIN
- EXISTING 14" STORM DRAIN
- EXISTING 16" STORM DRAIN
- EXISTING 18" STORM DRAIN
- EXISTING CHANNEL FLOW LINE
- EXISTING 30" WATER
- EXISTING 16" WATER
- EXISTING 12" WATER
- EXISTING 10" WATER
- EXISTING 8" WATER



Highland Predevelopment Plan
West Jordan City, UT

Ward Engineering Group
Planning Engineering Surveying
1370 South West Temple, Suite 1000, West Jordan, UT 84088
PH: 801.487.8040 FAX: 801.487.8668

CLIENT: PETERSON DEVELOPMENT
DWG: EXISTING SERVICES MAP
JOB NO: P1233-12
DATE: 05/21/15

NO.	DATE	DESCRIPTION

DESIGNER: AJS
CHECKED BY: BHT
DATE: 05/21/15

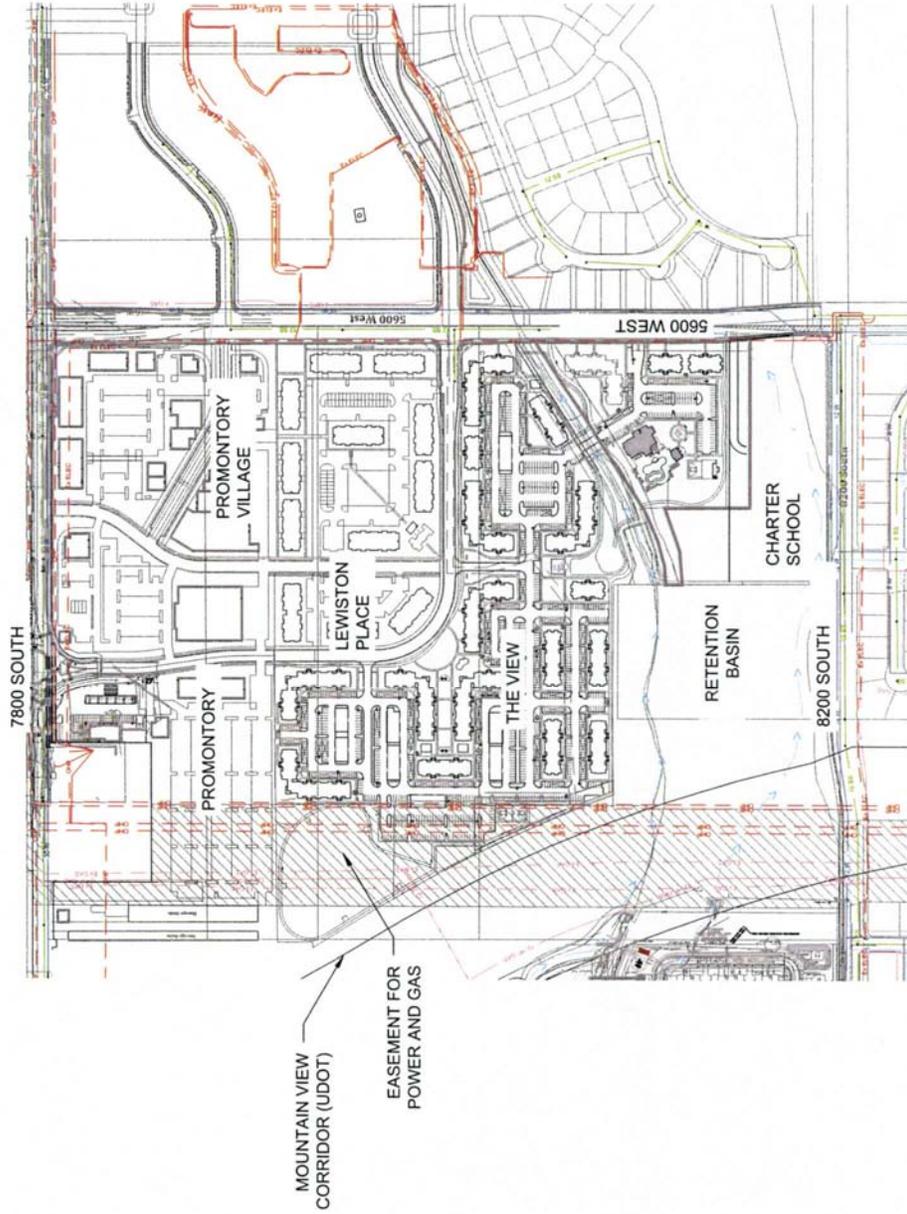
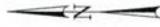
REVISIONS

SHEET
EX-C-3

HIGHLANDS EAST

LEGEND

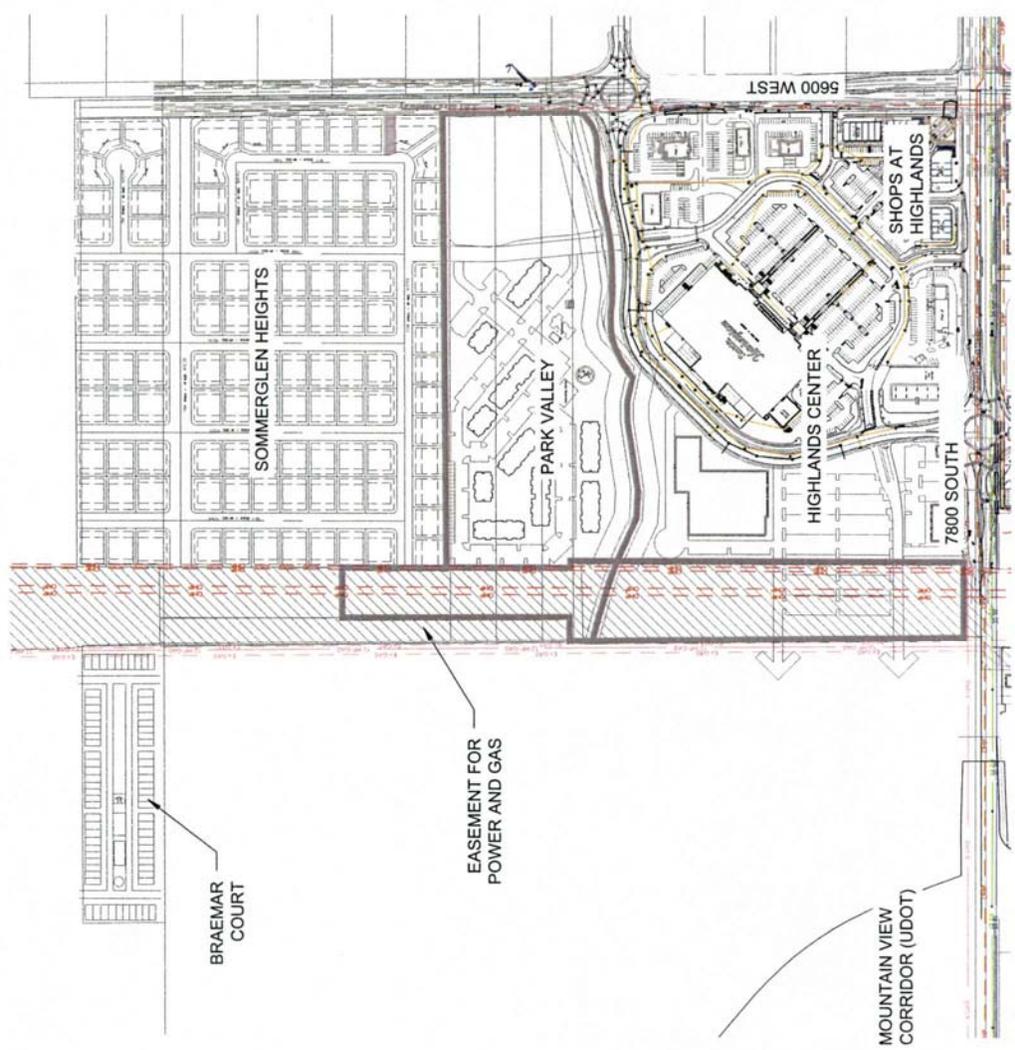
	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 12" PG GAS
	EXISTING 8" GAS
	EXISTING 4" GAS
	EXISTING 2" GAS
	EXISTING GAS (SIZE UNKNOWN)
	EXISTING 15" SEWER
	EXISTING 12" SEWER
	EXISTING 10" SEWER
	EXISTING 8" SEWER
	EXISTING 30" STORM DRAIN
	EXISTING 24" STORM DRAIN
	EXISTING 18" STORM DRAIN
	EXISTING 15" STORM DRAIN
	EXISTING 12" STORM DRAIN
	EXISTING CHANNEL FLOW LINE
	EXISTING 30" WATER
	EXISTING 18" WATER
	EXISTING 12" WATER
	EXISTING 8" WATER



CLIENT: PETERSON DEVELOPMENT DWG: EXISTING SERVICES MAP JOB NO: P1933-12 DATE: 02/21/15	DESIGNED BY: AJS CHECKED BY: BHT
	REVISIONS
1370 South West Temple, Salt Lake City, Utah 84115 Ward Engineering Group Planning Engineering Surveying PH: 801-427-8040 FX: 801-427-8068	EXISTING SERVICES MAP - Highlands East West Jordan City, UT Highland Redevelopment Plan

SHEET
EX-C4

NO.	DATE	REVISIONS



HIGHLANDS NORTH

LEGEND

	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 12" PG GAS
	EXISTING 8" GAS
	EXISTING 6" GAS
	EXISTING 4" GAS
	EXISTING 2" GAS
	EXISTING GAS (SIZE UNKNOWN)
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	EXISTING CHANNEL FLOW LINE
	EXISTING 30" WATER
	EXISTING 18" WATER
	EXISTING 12" WATER
	EXISTING 8" WATER



Attached

Ordinance

Exhibit K

Legal Review-Date/Initial: _____/_____
Text/Format -Date/Initial: _____/_____
Dept. Review-Date/Initial: _____/_____
Adopted: _____ Effective: _____

THE CITY OF WEST JORDAN, UTAH

A Municipal Corporation

ORDINANCE NO. 15-25

AN ORDINANCE RATIFYING THE PLANNING COMMISSION'S APPROVAL OF THE ADDENBROOK VILLAGE SUB-AREA PRELIMINARY DEVELOPMENT PLAN PERMITTING 41 SINGLE-FAMILY DWELLINGS, 36 TWIN HOMES AND 103 TOWN HOMES FOR A TOTAL OF 180 DWELLING UNITS ON PROPERTY LOCATED APPROXIMATELY AT 6111 WEST 7800 SOUTH AND ZONED MEDIUM DENSITY, MULTI-FAMILY RESIDENTIAL (MFR) AND LOCATED WITHIN THE HIGHLANDS MASTER PLAN.

WHEREAS, an application was made by Garbett Land Investments, LC for a Sub-area Preliminary Development Plan to allow for 180 residential lots on property located approximately at 6111 West 7800 South.

WHEREAS, on July 7, 2015, the Addenbrook Village Sub-area Preliminary Development Plan was conditionally approved by the Planning and Zoning Commission, which has forwarded a positive recommendation to the City Council to ratify their approval of said development plan which will allow 180 residential lots on the property; and,

WHEREAS, a public hearing, pursuant to public notice, was held before the City Council on August 25, 2015.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF WEST JORDAN, UTAH:

Section 1. The Addenbrook Heights Sub-area Preliminary Development Plan be ratified to allow a development containing 180 single family and multi-family residential lots on property generally located at 6111 West 7800 South (parcels 20-35-100-022, 023; 20-35-200-037) containing 28.96 acres, more or less, and permitting a maximum gross density of 6.22 dwelling units per acre and 6.30 net dwelling units per acre.

The described property shall hereafter be subjected to the Medium Density, Multi-Family Residential (MFR) land-use restrictions and all other City Ordinances, Standards and Policies currently enacted and in association with the presented and accepted Addenbrook Village Sub-area Preliminary Development Plan and the following conditions:

1. The Final Development Plan shall be updated to reflect the buy up points and densities approved by the Planning Commission and City Council.
2. The Final Development Plan shall be updated to show all other requirements as approved by the Planning Commission.

Section 2. This Ordinance shall become effective upon publication or upon the expiration of twenty days following passage, whichever is earlier.

Passed by the City Council of West Jordan, Utah, this 25th day of August, 2015.

CITY OF WEST JORDAN

Kim V. Rolfe
Mayor

Voting by the City Council

"AYE"

"NAY"

Councilmember Jeff Haaga

Councilmember Rice

Councilmember Nichols

Councilmember Hansen

Councilmember Southworth

Councilmember McConnehey

Mayor Kim V. Rolfe

CITY CLERK/RECORDER'S CERTIFICATE OF PUBLICATION

I, Melanie S. Briggs, certify that I am the City Clerk/Recorder of the City of West Jordan, Utah, and that the foregoing ordinance was published in the Legal Section, of the Salt Lake Tribune, and on the City's website: www.wjordan.com on the _____ day of _____, 2015, pursuant to Utah Code Annotated, 10-3-711.

MELANIE S. BRIGGS, MMC
City Clerk/Recorder

[SEAL]