



**BLUFFDALE CITY COUNCIL
MEETING AGENDA
Wednesday, July 22, 2015**

Notice is hereby given that the Bluffdale City Council will hold a meeting Wednesday, July 22, 2015 at the Bluffdale City Fire Station, 14350 South 2200 West, Bluffdale, Utah scheduled to begin promptly at 7:00 p.m. or as soon thereafter as possible. Notice is further given that access to this meeting by the Mayor and or City Council may be by electronic means via telephonic conference call.

BLUFFDALE CITY COUNCIL REGULAR BUSINESS MEETING 7:00 P.M.

1. Roll Call, Invocation, Pledge of Allegiance*
2. **PUBLIC FORUM** – (4 minute maximum per person to bring items not already on the agenda before the Council. Participants are encouraged to submit a written statement (1 copy) for items that are complex or that may require more than 4 minutes to present).
3. **CONSENT AGENDA** –
 - 3.1 Approval of the June 24, 2015 meeting minutes.
 - 3.2 Approval of the July 08, 2015 meeting minutes.
4. Presentation and update regarding Bluffdale City Hall Design Workshop, Jim Child, JRCA.
5. Presentation and discussion regarding the Bluffdale City Police Department Quarterly Statistical Report, staff presenter, Sergeant Shane Taylor.
6. Consideration and vote on a proposed amendment to Chapter 12-5-3(F) of the Bluffdale City Land Use Ordinance to allow a temporary emergency second point of ingress and egress for more than (30) residential lots, David Tolman, applicant, staff presenter, Jennifer Robison.
7. Consideration and vote on a proposed preliminary plat for Mountain Pointe Business Park, a seven lot subdivision for an industrial office building park, located at approximately 930 West 14600 South, Justin Earl, ICO Development, applicant, staff presenter, Alan Peters.
8. Consideration and vote on a proposed final plat for Mountain Pointe Business Center Phase 1, a one lot subdivision in an industrial office building park, located at approximately 930 West 14600 South, Justin Earl, ICO Development, applicant, staff presenter, Alan Peters.
9. Consideration and vote on a resolution approving a request for a refund of Storm Drainage Impact Fees previously paid by ICO Development, Justin Earl, ICO Development, applicant, staff presenter, Alan Peters.
10. **PUBLIC HEARING** – Consideration and vote on a proposed plat amendment for Center Point Business Park Plat “A” PUD Amended 2 in order to relocate an existing utility easement, located on lot 9, Ken Day, applicant, staff presenter, Alan Peters.

11. **PUBLIC HEARING** – Consideration and vote on a proposed site plan for a new 24,940 sq. ft. office/warehouse building to be located at 974 West 14420 South, lot 9, Center Point Business Park, Ken Day, applicant, staff presenter, Alan Peters.
12. Consideration and vote on an ordinance approving the adjustment of a common municipal boundary with Draper City, staff presenter, Grant Crowell.
13. Consideration and vote on a resolution authorizing the negotiated amendments to the Encroachment Agreement with Utah Lake Distributing Company (ULDC) for the storm drain pipe, staff presenter, Matt Chadwick.
14. Mayor's Report
15. City Manager's Report and Discussion

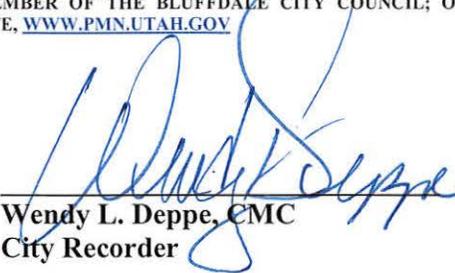
PLANNING SESSION

Please Note: The planning session is for identifying future items and other council discussion in accordance with Utah Code § 52-4-201(2)(a). While the meeting may be open to the public, there will not be any opportunity for public input during the planning session.

16. **WORK SESSION** – Regarding the subdivision and future public streets of the Dansie's property, located at approximately 14525 South 3400 West, Kenneth and Colleen Dansie.
17. Closed meeting pursuant to Utah Code § 52-4-205(1) to discuss the character, professional competence, or health of an individual, collective bargaining, pending or imminent litigation, strategies to discuss real property acquisition, including any form of a water right or water shares, security issues, or any alleged criminal misconduct (if needed).
18. Adjournment

Dated this 16th day of July, 2015

I HEREBY CERTIFY THAT THE FOREGOING NOTICE AND AGENDA WAS FAXED TO THE SOUTH VALLEY JOURNAL, THE SALT LAKE TRIBUNE, AND THE DESERET MORNING NEWS; POSTED AT THE BLUFFDALE CITY HALL, BLUFFDALE CITY FIRE STATION, AND THE COMMUNITY BULLETIN BOARD AT THE BLUFFS APARTMENTS; EMAILED OR DELIVERED TO EACH MEMBER OF THE BLUFFDALE CITY COUNCIL; ON THE CITY'S WEBSITE AT WWW.BLUFFDALE.COM AND ON THE PUBLIC MEETING NOTICE WEBSITE, WWW.PMN.UTAH.GOV


Wendy L. Deppe, CMC
City Recorder

Note: The Bluffdale City Council will take a recess at approximately 9:30 p.m. and will evaluate the time needed to complete items not yet heard on the evening's agenda. Items the Council determines may take the meeting past 10:00 p.m. may be removed from the agenda and re-scheduled for the next regularly scheduled meeting. In compliance with the American with Disabilities Act, individuals needing assistance or other services or accommodation for this meeting should contact Bluffdale City Hall at least 24 hours in advance of this meeting at 801-254-2200. TTY 7-1-1. *Contact the City Recorder if you desire to give the Invocation.

Agenda Item 3.1



**BLUFFDALE CITY COUNCIL,
LOCAL BUILDING AUTHORITY OF THE CITY OF BLUFFDALE BOARD AND
REDEVELOPMENT AGENCY BOARD
COMBINED MEETING AGENDA
Wednesday, June 24, 2015**

Notice is hereby given that the Bluffdale City Council will hold a meeting Wednesday, June 24, 2015 at the Bluffdale City Fire Station, 14350 South 2200 West, Bluffdale, Utah scheduled to begin promptly at 7:00 p.m. or as soon thereafter as possible. Notice is further given that access to this meeting by the Mayor and or City Council may be by electronic means via telephonic conference call.

BLUFFDALE CITY COUNCIL REGULAR BUSINESS MEETING 7:00 P.M.

1. Roll Call, Invocation, Pledge of Allegiance*
2. **PUBLIC FORUM** – (4 minute maximum per person to bring items not already on the agenda before the Council. Participants are encouraged to submit a written statement (1 copy) for items that are complex or that may require more than 4 minutes to present).
3. **CONSENT AGENDA** –
 - 3.1 Approval of the June 10, 2015 meeting minutes.
4. Presentation and update of the outcome from the Bluffdale City Hall Design Visioning Open House, Jim Child, JRCA.
5. Consideration and vote on a resolution approving a Franchise Agreement with Qwest Corporation dba CenturyLink QC, staff presenter, Vaughn Pickell.
6. Consideration and vote on a resolution indicating the intent of the Bluffdale City Council to adjust a common municipal boundary with Draper City, staff presenter, Grant Crowell.
7. Consideration and vote on a resolution authorizing the City's participation in the Utah Retirement Systems Noncontributory Public Employee Retirement System, beginning July 1, 2015, staff presenter, Mark Reid.
8. **PUBLIC HEARING** – Consideration and vote on a resolution adopting an Amended Budget for the 2014-2015 Fiscal Year, staff presenters, Mark Reid and Stephanie Thayer. **(RDA Public Hearing held in conjunction)**
9. **PUBLIC HEARING** – Consideration and vote on an ordinance adopting an amended Consolidated Fee Schedule for Administrative, Service and Development fees, including Water rates, charged by the City of Bluffdale, staff presenters, Mark Reid and Stephanie Thayer.
10. **PUBLIC HEARING** – Consideration and vote on a resolution adopting the Budget for the 2015-2016 Fiscal Year, staff presenters, Mark Reid and Stephanie Thayer. **(LBA & RDA Public Hearings held in conjunction)**

LOCAL BUILDING AUTHORITY OF THE CITY OF BLUFFDALE BOARD MEETING

1. Roll Call
2. **CONSENT AGENDA** –
 - 2.1 Approval of the May 13, 2015 meeting minutes.

3. **PUBLIC HEARING** – Consideration and vote on a resolution adopting the Budget for the 2015-2016 Fiscal Year, staff presenters, Mark Reid and Stephanie Thayer. (**LBA Public Hearing held in conjunction with City Budget Hearing**)
4. Adjournment

REDEVELOPMENT AGENCY BOARD MEETING

1. Roll Call
2. **CONSENT AGENDA** –
 - 2.1 Approval of the May 13, 2015 meeting minutes.
3. **PUBLIC HEARING** – Consideration and vote on a resolution adopting an Amended Budget for the 2014-2015 Fiscal Year, staff presenters, Mark Reid and Stephanie Thayer. (**RDA Public Hearing held in conjunction with City Budget Hearing**)
4. **PUBLIC HEARING** – Consideration and vote on a resolution adopting the Budget for the 2015-2016 Fiscal Year, staff presenters, Mark Reid and Stephanie Thayer. (**RDA Public Hearing held in conjunction with City Budget Hearing**)
5. Adjournment

CONTINUATION OF BUSINESS MEETING

11. Mayor's Report
12. City Manager's Report and Discussion

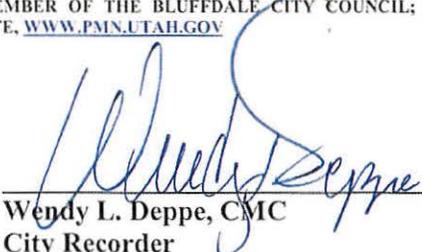
PLANNING SESSION

Please Note: The planning session is for identifying future items and other council discussion in accordance with Utah Code § 52-4-201(2)(a). While the meeting may be open to the public, there will not be any opportunity for public input during the planning session.

13. Discussion of the Bluffdale Heights Phase 4 Concept, staff presenter, Grant Crowell.
14. Closed meeting pursuant to Utah Code § 52-4-205(1) to discuss the character, professional competence, or health of an individual, collective bargaining, pending or imminent litigation, strategies to discuss real property acquisition, including any form of a water right or water shares, security issues, or any alleged criminal misconduct (if needed).
15. Adjournment

Dated this 19th day of June, 2015

I HEREBY CERTIFY THAT THE FOREGOING NOTICE AND AGENDA WAS FAXED TO THE SOUTH VALLEY JOURNAL, THE SALT LAKE TRIBUNE, AND THE DESERET MORNING NEWS; POSTED AT THE BLUFFDALE CITY HALL, BLUFFDALE CITY FIRE STATION, AND THE COMMUNITY BULLETIN BOARD AT THE BLUFFS APARTMENTS; EMAILED OR DELIVERED TO EACH MEMBER OF THE BLUFFDALE CITY COUNCIL; ON THE CITY'S WEBSITE AT WWW.BLUFFDALE.COM AND ON THE PUBLIC MEETING NOTICE WEBSITE, WWW.PMN.UTAH.GOV


Wendy L. Deppe, CMC
City Recorder

Note: The Bluffdale City Council will take a recess at approximately 9:30 p.m. and will evaluate the time needed to complete items not yet heard on the evening's agenda. Items the Council determines may take the meeting past 10:00 p.m. may be removed from the agenda and re-scheduled for the next regularly scheduled meeting. In compliance with the American with Disabilities Act, individuals needing assistance or other services or accommodation for this meeting should contact Bluffdale City Hall at least 24 hours in advance of this meeting at 801-254-2200. TTY 7-1-1. *Contact the City Recorder if you desire to give the Invocation.

DRAFT – FOR DISCUSSION PURPOSES ONLY

**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

- 1 **Present:** Mayor Derk Timothy
2 Alan Jackson (joined meeting at 7:23 p.m.)
3 Bruce Kartchner
4 Ty Nielsen
5 Heather Pehrson
6 Justin Westwood
7
8 **Staff:** Mark Reid, City Manager
9 Vaughn Pickell, City Attorney
10 Grant Crowell, City Planner/Economic Development Director
11 Michael Fazio, City Engineer
12 Blain Dietrich, Public Works Operations Manager
13 Stephanie Thayer, Accountant/HR Administrator
14 Shane Taylor, Police Sergeant
15 John Roberts, Fire Chief
16 Wendy Deppe, City Recorder
17

18 **BLUFFDALE CITY COUNCIL REGULAR BUSINESS MEETING**

19
20 Mayor Derk Timothy called the meeting to order at 7:00 p.m.

21
22 **1. Roll Call, Invocation, and Pledge.**

23
24 All Members of the City Council were present with the exception of Alan Jackson who was being
25 interviewed by the media outside the Council Chambers until his arrival at 7:23 p.m.

26
27 Ty Nielsen offered the invocation.

28
29 City Manager, Mark Reid, led the Pledge of Allegiance.

30
31 **2. PUBLIC FORUM.**

32
33 Connie Pavlakis gave her address as 14469 South Frost Court and was present in conjunction with
34 the tractor offered for sale to the City as a historical piece. She reported that Blaine Parry, a long
35 time Bluffdale resident, was the owner of the tractor. She noted that it has a value of around
36 \$100,000 and was offered to the City at a cost of \$45,000 because he wants it to remain in
37 Bluffdale. Ms. Pavlakis remarked that this is an opportunity to preserve the City's history. Photos
38 of the tractor were distributed. She stated that the Fire Department is very interested in acquiring
39 the tractor. Funding options were discussed.

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
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1
2 Mayor Timothy expressed concern that there are no funds available to purchase the proposed
3 tractor.

4
5 Bruce Kartchner questioned whether the tractor meets the requirements of a historical relic. He
6 stated that this particular tractor is an interesting piece but to him does not hold any historical
7 interest for Bluffdale. He was also concerned about the cost of acquiring, maintaining, and housing
8 it. Council Member Kartchner stated that the City has limited funds and he did not support
9 pursuing the purchase. He felt that a great deal more historical articles could be obtained for
10 \$45,000.

11
12 Heather Pehrson expressed her support and asked where the funds would come from. If purchased,
13 she suggested the tractor be placed inside the New City Hall where it would be visible. Placing it
14 there would also eliminate the need to store it elsewhere.

15
16 Mr. Reid asked about Johnny Loumis, Jr.'s wagon. Ms. Pavlakis thought the wagon was amazing
17 and stated that it has traveled the country side and served as a backdrop for old west pictures.

18 Mr. Reid stated that it is one of the original pioneer wagons.

19
20 Ty Nielsen commented on the purchase of the tractor and expressed trepidation with proceeding but
21 offered his support.

22
23 Justin Westwood did not support the purchase.

24
25 Alan Jackson thought the tractor would be nice to have but questioned where the money will come
26 from to pay for it. He was not in favor of the City coming up with the necessary funds but wanted
27 to see if there were other avenues that could be pursued.

28
29 Connie Pavlakis did not want to miss the opportunity and felt the necessary funds could be raised.
30 She did not consider funding to be the main issue. Mayor Timothy stated that the Council is
31 charged with spending money for the long-term good of the City for things such as the New City
32 Hall, a Fire Station, and a Public Works Building.

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1
2 The possibility of getting sponsorships was discussed. Alan Jackson stated that that would change
3 his view on the matter. He also was open to exploring paying over time since that would make it
4 easier to fundraise. Ms. Pavlakis stated that a few years ago Mr. Parry was willing to take payments
5 over time.

6
7 Mr. Reid stated that Riverton City has an antique fire truck that they keep in a museum in Tooele.
8 On the 4th of July they drive it to Riverton for the parade and then return it to the museum where it
9 is on consignment. Bluffdale could do something similar. The Mayor asked if the City Council
10 was willing to spend \$45,000 now in the hope that sponsorships will come later. Bruce Kartchner
11 suggested getting the Bluffdale Historical Society involved. Connie Pavlakis offered to pursue the
12 issue and report back to the Council.

13
14 There were no further public comments.

15
16 **3. CONSENT AGENDA:**

17
18 **3.1 Approval of the June 10, 2015, Meeting Minutes.**

19
20 **Ty Nielsen moved to approve the consent agenda. Heather Pehrson seconded the motion. The**
21 **motion passed with the unanimous consent of the Council.**

22
23 **4. Presentation and Update of the Outcome from the Bluffdale City Hall Design Visioning**
24 **Open House, Jim Child, JRCA.**

25
26 The above item was withdrawn from the agenda.

27
28 **Bruce Kartchner moved to table the above item until some future time when the applicant is**
29 **ready. Ty Nielsen seconded the motion. The motion passed with the unanimous consent of**
30 **the Council.**

31
32 **5. Consideration and Vote on a Resolution Approving a Finance Agreement with Qwest**
33 **Corporation dba CenturyLink QC, Staff Presenter, Vaughn Pickell.**

34
35 City Attorney, Vaughn Pickell, reported that the City has Franchise Agreements with various utility

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1 providers that service the City. Generally that gives them the right to locate facilities within a
2 public right-of-way. They in turn accommodate City projects and relocate their facilities. The City
3 has not had a request for some so steps were taken to secure the line. Recently there were issues
4 with Qwest moving their facilities in a timely fashion. They reached out to their corporate counsel
5 and were able to negotiate a contract with them.

6
7 Mr. Pickell explained that often Franchise Agreements involve an upfront payment. This one does
8 not because they have added the franchise tax, which now comes to cities. Mayor Timothy stated
9 that anytime the City moves a telephone pole it takes months for Qwest to move their wire off the
10 pole. This will improve that situation since the City will have to give them a 30-day written notice
11 after which they will have 30 days to move it. Clarifying questions were raised with respect to
12 when the 30-day time frame would begin and the receipt of notice. It was recommended there be
13 more clarity. Mr. Pickell recommended the matter be tabled until a future meeting.

14
15 **Bruce Kartchner moved to table agenda item number five. Ty Nielsen seconded the motion.**
16 **The motion passed with the unanimous consent of the Council.**

17
18 **6. Consideration and Vote on a Resolution Indicating the Intent of the Bluffdale City**
19 **Council to Adjust a Common Municipal Boundary with Draper City, Staff Presenter,**
20 **Grant Crowell.**

21
22 City Planner/Economic Development Director, Grant Crowell, reported that the proposal is to adjust
23 the boundary with Draper City to be the centerline of I-15. A detention basin located at the
24 southwest corner of the interchange is owned by UDOT. Southbound traffic on I-15 will be within
25 Bluffdale's jurisdiction. Mr. Reid reported that before the boundary was clarified they were
26 averaging 10 tickets per month. Shane Taylor reported that if the boundary line adjustment is
27 approved and the highway patrol were not available in the event of an accident, they would be
28 going up on a three-way to handle it. Any citation written within Bluffdale jurisdiction would go to
29 their courts.

30
31 Heather Pehrson asked what effect it will have on law enforcement. Mr. Reid responded that up
32 until about eight months ago it was assumed that it was in Bluffdale City. It doesn't generate a lot

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1 of activity in terms of response and is not a revenue generator. He commented that it is a
2 convenience and a housekeeping item. Mr. Crowell stated that the resolution states the City's intent
3 to move forward. If Draper City does the same, both would be required to conduct public hearings.
4 If Draper adopts their resolution they can move forward and hire surveyors to get the plan done.

5
6 **Justin Westwood moved to approve a resolution indicating the intent of the Bluffdale City
7 Council to adjust a common municipal boundary with Draper City. Ty Nielsen seconded the
8 motion. The motion passed with the unanimous consent of the Council.**

9
10 **7. Consideration and Vote on a Resolution Authorizing the City's Participation in the
11 Utah Retirement Systems Noncontributory Public Employee Retirement System,
12 Beginning July 1, 2015, Staff Presenter, Mark Reid.**

13
14 Mr. Reid reported that the retirement changes were presented previously. He explained that
15 Bluffdale City is one of a few cities still remaining that is a contributory entity. Most entities have
16 moved toward being non-contributory. The Utah State Tax Commission prefers that all entities be
17 non-contributory. When a City like Bluffdale is a contributory entity, Tier 1 employees are required
18 to convert their pensions to contributory. This puts them on the old plan even though they began on
19 the Tier 1 non-contributory plan. Staff was proposing that the City become a non-contributory
20 employer so that all new employees and new hires remain on the non-contributory plan. It was
21 noted that the City pays 2% less on its pension costs by being a non-contributory City.

22
23 Mr. Reid reported that the City can make the change and the employees can decide if they want to
24 change or not. Those he had spoken to intended to make the change. New hires, however, will be
25 on Tier 2 and the City will pay 2% less for them.

26
27 **Heather Pehrson moved to pass a resolution of the Bluffdale City Council requesting coverage
28 for public employees in the non-contributory retirement plan beginning July 1, 2015. Bruce
29 Kartchner seconded the motion. The motion passed with the unanimous consent of the
30 Council.**

31

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**BLUFFDALE CITY COUNCIL
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1 **8. PUBLIC HEARING – Consideration and Vote on a Resolution Adopting an Amended**
2 **Budget for the 2014-2015 Fiscal Year, Staff Presenters, Mark Reid and Stephanie**
3 **Thayer. (RDA Public Hearing held in conjunction).**
4

5 Mr. Reid reported on the process for the upcoming year's budget and stated that it culminates with
6 the final budget adjustment that is done each year. City budgets are required to balance and
7 revenues and expenses must be equal. With regard to the pension, employees who are on Tier 2
8 have not been receiving adjustments in lieu of social security. All Tier 1 employees received a
9 7½% deposit to their 401(k). A correction was made that staff intended to post and have completed
10 before the end of the year. In looking at individual departments they found that none will be pushed
11 over budget. The total adjustment was estimated at \$60,000, which is significant. Mr. Reid stated
12 that he spoke to the City's Accountant about the magnitude of what a prior period adjustment would
13 be and was informed that the City does not have tax implications and it is fairly minor.

14
15 Mr. Reid explained that the adjustment is being made to be fair to the Tier 2 employees so that they
16 have the same level of benefit as Tier 1. A Utah Retirement Systems audit was conducted where it
17 was found to be below the 10% level that they include in the pension. Mr. Reid stated that it is a
18 correction of an inequality rather than the correction of an error.

19
20 Accountant/HR Administrator, Stephanie Thayer, reported that City Contract Accountant, Dave
21 Sanderson, helped calculate the budget adjustments. The first adjustment accounts for the surplus
22 to bring the General Fund balance from 23% to 18%. It was noted that the City is allowed up to
23 25%.

24
25 Ms. Thayer reported that the next adjustment was for the Bluffdale Arts Fund in the amount of
26 \$3,500. Mr. Reid explained that before now with all of the projected expenses, the Bluffdale Arts
27 Fund was \$1,500 under budget. Earlier in the day they received \$800. Mr. Reid wanted to have a
28 buffer in the event invoices are received. Bruce Kartchner stressed that it is critical for the City to
29 make sure from a State standpoint that they do not go over budget. Mr. Reid commented that
30 \$9,000 is transferred from the General Fund to the Arts Fund. If the budget is \$12,000 and the City
31 transfers \$9,000, whatever is not spent can be rolled over to the next year. If there is a budget of

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1 \$50,000 and \$9,000 is transferred, whatever is left of the \$9,000 can be rolled over into the next
2 year. If \$9,200 is spent, the Arts Fund will be \$200 in the hole and the City will receive a letter
3 indicating that the budget was exceeded. Ms. Thayer pointed out that she would be sending
4 Bluffdale Arts Advisory Board Chair, Laura Garner, monthly reports of her expenditures.

5
6 Ms. Thayer reported on the Storm Drain Impact Fees. Mr. Reid reported that there was an
7 extraordinary project issue with Wood Hollow where the canal collapsed and drained down through
8 the City's pipe. Justin Westwood reported that he was approached by a landowner about where dirt
9 is being taken from. The landowner is a farmer who was concerned about how much soil is being
10 taken from the site and used by the City. He was also worried that it may or may not be replaced
11 with usable soil for farming. City Engineer, Michael Fazio, stated that some dirt was taken just
12 around where excavation took place. The soil was only taken from the City's right-of-way and
13 canal easement.

14
15 Mayor Timothy opened the public hearing. There were no public comments. The public hearing
16 was closed.

17
18 **Bruce Kartchner moved to approve a resolution adopting an amended budget for the 2014-**
19 **2015 Fiscal Year with the modification that the transfer to the Capital Account be calculated**
20 **to leave 10% in the unappropriated fund balance. Alan Jackson seconded the motion. Vote**
21 **on motion: Alan Jackson-Aye, Heather Pehrson-Aye, Bruce Kartchner-Aye, Ty Nielsen-Aye,**
22 **Justin Westwood-Aye. The motion passed unanimously.**

23
24 9. **PUBLIC HEARING – Consideration and Vote on an Ordinance Adopting an**
25 **Amended Consolidated Fee Schedule for Administrative, Service, and Development**
26 **Fees, Including Water Rates, Charged by the City of Bluffdale, Staff Presenters, Mark**
27 **Reid and Stephanie Thayer.**

28
29 Mr. Reid reported that questions were raised by the Council previously with the answers being
30 emailed back to them. A few changes were made to the Consolidated Fee Schedule compared to
31 last year.

32

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1 Mr. Reid indicated that there was discussion about changing the tiers on the water system to
2 promote conservation. That could be done as part of a budget adjustment or in future years. There
3 was a rate increase for water to accommodate the rate increase the City received from Jordan Valley
4 Water Conservancy District. Conservation and efficiency issues were discussed. Bruce Kartchner
5 was of the opinion that the tier system penalizes people who own larger lots. Possible solutions
6 were discussed. Bruce Kartchner thought the best solution was a matrix but there was some
7 question as to whether the City's accounting system would be able to handle it.

8
9 Mayor Timothy opened the public hearing. There were no public comments. The public hearing
10 was closed.

11
12 **Bruce Kartchner moved to approve the Amended Consolidated Fee Schedule for**
13 **administrative service and development fees including water rates charged by the City of**
14 **Bluffdale. Ty Nielsen seconded the motion. Vote on motion: Alan Jackson-Aye, Heather**
15 **Pehrson-Aye, Bruce Kartchner-Aye, Ty Nielsen-Aye, Justin Westwood-Aye. The motion**
16 **passed unanimously.**

17
18 **10. PUBLIC HEARING – Consideration and Vote on a Resolution Adopting the Budget**
19 **for the 2015-2016 Fiscal Year, Staff Presenters, Mark Reid and Stephanie Thayer.**
20 **(LBA & RDA Public Hearings held in conjunction).**

21
22 Ms. Thayer presented the Fiscal Year 2015-2016 budget and described the proposed changes. The
23 backhoe was removed from the Water Operations Fund. On Class C Roads the Slurry and Crack
24 Seal were increased by \$25,000 each. On Loumis Parkway revised numbers were reflected by
25 project.

26
27 Mr. Fazio reported that a bid was just received for repair work on 14400 South at a cost of
28 \$137,000. The work was to be done between 3600 West and Redwood Road. A question was
29 raised as to whether the Council was comfortable spending up to \$50,000 on the surrounding area.
30 Alan Jackson was fine with completing as much work as the \$50,000 will allow. Bruce Kartchner
31 recommended they eliminate the Saddleback Road Slurry of \$50,000 and instead apply \$125,000 to
32 Slurry Seal.

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1
2 Ms. Thayer reported that the Veterans Memorial budget was increased by \$25,000. \$50,000 was
3 added for the 2700 West Widening. The City’s website budget was also decreased from \$30,000 to
4 \$20,000. The infield groomer and cab(s) suggested from the last Council Meeting were removed.

5
6 Mr. Reid reported that there are a number of places in the City where a radar speed limit sign could
7 be used. A question was raised about whether the Council would like to place more throughout the
8 City. The cost is approximately \$5,000 for each sign. Bruce Kartchner asked if there was any
9 evidence that the signs change behavior. Sergeant Shane Taylor commented that the one on 3600
10 West works well and he has personally seen people decrease their speed when they see it. Mayor
11 Timothy estimated that during his Meet the Mayor meetings, 90% of those he speaks with address
12 traffic problems. He had seen people respond to the signs and found that generally motorists
13 maintain a constant speed near the sign.

14
15 Sergeant Taylor stated that since September 2014, there has been an increase in complaints and
16 concerns and there has been an effort to have greater law enforcement presence. Recently, with
17 increased concerns, the Saratoga Springs trailer radar system was put in place. He has seen it in
18 action and noticed an improvement. The Mayor agreed that when there is a new sign people pay
19 attention. If it is a sign that is always there, they tend not to notice it. Mayor Timothy suggested
20 the possibility of moving the signs around rather than using a permanent sign. Heather Pehrson
21 suggested the \$30,000 be budgeted and the Council decide how to spend it later. Sergeant Taylor
22 recommended the portable trailer so that it is can be placed in various areas.

23
24 Bruce Kartchner noticed that citizens on Pheasant Hollow, which T’s into 3600 West, have a
25 difficult time getting out on the road when cars are speeding past. It was suggested that it be
26 converted to a three-way stop. He was not convinced that traffic would slow down without the
27 writing of tickets. He addressed the problem with the Police Department who had increased patrols
28 and was writing tickets in the area. The Mayor had noticed an increase in the enforcement of
29 speeds and stopping at stop signs. Alan Jackson firmly believed that enforcement was the key.

30

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1 With regard to the Veterans Memorial, Alan Jackson stated that he got a bid the previous day on the
2 engraving, in the amount of \$20,000, which was much more than expected. The cost of the granite
3 benches was \$10,000. Council Member Jackson planned to change the design. He stated that eight
4 or nine benches were proposed and only five are needed to begin with. Bruce Kartchner clarified
5 the total budgeted amount for Veterans Memorial was \$35,000.

6
7 Ms. Thayer reported on impact fees and stated that under Park Impact Fees; the park snack shack
8 and restrooms totaling \$250,000 had been previously removed. The Rodeo Grounds budget was
9 also decreased to \$400,000. Mr. Reid reported that Parry Farms Park was listed at \$216,000 and
10 rounded down to \$200,000. In response to a question raised, Mr. Reid explained that the funds
11 come out of the Capital Facilities Plan. The City's Reimbursement Agreement specifies the most
12 that could be spent this year. Mr. Reid indicated that the caveat is that it has to have been collected
13 in advance. An overview by project was given.

14
15 Ms. Thayer reported that in law enforcement a line item was added for the DARE Program in the
16 amount of \$2,500. In terms of salaries and benefits, Mr. Reid reported a 3% increase was proposed.
17 It was suggested that in lieu of social security, the change of 7½% to 5% with a 2½% match. By
18 making this change, Tier 1 employees will no longer have the payroll deduction of 3%. Tier 2
19 employees have not been making contributions. The desire was to get the City's portion below
20 6.2%.

21
22 Mr. Reid reported that the New City Hall is budgeted at a cost of \$5.3 million. He explained that
23 that figure could change once the final design is determined. The intent was to furnish the build out
24 of Capital Project reserves and not bond for them.

25
26 Mr. Reid reported that a large project is proposed on the corner of 1000 East (Noell Nelson Drive)
27 and 14600 South. In order to improve the intersection they are looking to construct a roundabout.
28 Another needed infrastructure improvement was to the canal bridge, which is more than a developer
29 could be expected to incur and would involve an expenditure of EDA funds. Mr. Reid indicated

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**BLUFFDALE CITY COUNCIL
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Wednesday, June 24, 2015**

1 that there was also discussion about C7 and the ability to incentivize them to purchase property to
2 the south.

3
4 Ty Nielsen recommended increasing the Mayor’s compensation from \$14,400 to \$15,000 annually.
5 Bruce Kartchner commented on things the Mayor does that are above and beyond what a part-time
6 mayor typically would do. He stated that Mayor Timothy would not always be in office and he was
7 concerned about locking in a salary for the mayor that is related to this Mayor but that a future
8 mayor will inherit. If it is increased, Council Member Kartchner suggested it be in the form of a
9 salary plus a bonus where the bonus is discretionary. The pros and cons were debated in terms of
10 future administrations. Ty Nielsen wanted to reward the Mayor for all he does. It was
11 recommended that the Mayor’s compensation be increased from \$1,200 to \$1,250 per month. The
12 annual compensation would increase from \$14,400 to \$15,000.

13
14 Mayor Timothy opened the public hearing. There were no public comments. The public hearing
15 was closed.

16
17 Bruce Kartchner had noticed that very few citizens had been present the last few years at the public
18 hearing regarding the budget. To him that meant the Council was either doing a good job with the
19 budget or apathy is setting in. He stated that that had not always been the case in Bluffdale. It was
20 reported that there were times when there were a large number of citizens present to comment at
21 Truth in Taxation hearings. Mayor Timothy felt it had to do with the City Council and how
22 responsible they are with the City’s money. He considered it a demonstration of trust.

23
24 Ty Nielsen felt there was more unity among this Council than there has been in the past. Mayor
25 Timothy wished the citizens would be present for the discussion to understand how taxes work.

26
27 **Bruce Kartchner moved to pass a resolution adopting the budget for the 2015-2016 Fiscal**
28 **Year with the changes noted. Ty Nielsen seconded the motion. Vote on motion: Alan**
29 **Jackson-Aye, Heather Pehrson-Aye, Bruce Kartchner-Aye, Ty Nielsen-Aye, Justin Westwood-**
30 **Aye. The motion passed unanimously.**

31

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1 Mr. Reid invited suggestions on ways to change or improve the budget process in the future.

2
3 **LOCAL BUILDING AUTHORITY OF THE CITY OF BLUFFDALE BOARD MEETING**

4
5 Mayor Timothy called the meeting to order.

6
7 **1. Roll Call.**

8
9 All Board Members were present.

10
11 **2. CONSENT AGENDA**

12
13 **2.1 Approval of the May 13, 2015, Meeting Minutes.**

14
15 **Bruce Kartchner moved to pass the consent agenda. Ty Nielsen seconded the motion. The**
16 **motion passed with the unanimous consent of the LBA Board.**

17
18 **3. PUBLIC HEARING – Consideration and Vote on a Resolution Adopting the Budget**
19 **for the 2015-2016 Fiscal Year, Staff Presenters, Mark Reid and Stephanie Thayer.**
20 **(LBA Public Hearing held in conjunction with City Budget Hearing).**

21
22 **Bruce Kartchner moved to pass a resolution adopting the budget for the 2015-2016 Fiscal**
23 **Year. Justin Westwood seconded the motion. The motion passed with the unanimous consent**
24 **of the LBA Board.**

25
26 **4. Adjournment.**

27
28 The Local Building Authority Board Meeting was adjourned.

29
30 **REDEVELOPMENT AGENCY BOARD MEETING**

31
32 RDA Chair, Bruce Kartchner, assumed the Chair.

33
34 **1. Roll Call.**

35
36 All Board Members were present.

37
38 **2. CONSENT AGENDA**

39
40 **2.1 Approval of the May 13, 2015 Meeting Minutes.**

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1 Mayor Derk Timothy moved to pass the consent agenda. Ty Nielsen seconded the motion.
2 The motion passed with the unanimous consent of the RDA Board.

3
4 3. **PUBLIC HEARING – Consideration and Vote on a Resolution Adopting an Amended**
5 **Budget for the 2015 Fiscal Year, Staff Presenters, Mark Reid and Stephanie Thayer.**
6 **(RDA Public Hearing held in conjunction with City Budget Hearing).**
7

8 Mayor Derk Timothy moved to adopt a resolution adopting an amended budget for the 2015
9 Fiscal Year. Ty Nielsen seconded the motion. Vote on motion: Mayor Derk Timothy-Aye,
10 Alan Jackson-Aye, Heather Pehrson-Aye, Ty Nielsen-Aye, Justin Westwood-Aye, Chair Bruce
11 Kartchner-Aye. The motion passed unanimously.

12
13 4. **PUBLIC HEARING – Consideration and Vote on a Resolution Adopting the Budget**
14 **for the 2015-2016 Fiscal Year, Staff Presenters, Mark Reid and Stephanie Thayer**
15 **(RDA Public Hearing held in conjunction with City Budget Hearing).**
16

17 Ty Nielsen moved to adopt a resolution adopting the budget for the 2015-2016 Fiscal Year.
18 Mayor Derk Timothy seconded the motion. Vote on motion: Mayor Derk Timothy-Aye, Alan
19 Jackson-Aye, Heather Pehrson-Aye, Ty Nielsen-Aye, Justin Westwood-Aye, Chair Bruce
20 Kartchner-Aye. The motion passed unanimously.

21
22 5. **Adjournment.**
23

24 The RDA Board Meeting was adjourned.

25
26 **CONTINUATION OF BUSINESS MEETING**
27

28 Mayor Timothy resumed the Chair.

29
30 11. **Mayor's Report.**
31

32 Mayor Timothy stated that efforts were being made to take a photo of the current City Council. He
33 wanted all to be present. The photo shoot was scheduled to take place on July 22 at 6:30 p.m.
34

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1 The Mayor reported that he attended the SWAT Tactical Training the previous day at Camp
2 Williams and was very impressed by the training provided. Justin Westwood and Alan Jackson
3 both attended the training as well.

4
5 Mr. Reid commented that the following night would be the Cancer Survivor Dinner to be attended
6 by the South Valley Mayors. He considered it a good opportunity to discuss issues that are
7 important to the community. He reported that currently cancer is affecting his family and he
8 thought it was great that there are so many organizations fighting for a cure.

9
10 He commented on the Meet the Mayor Meetings that take place the third Wednesday of every
11 month. They have been very informative and gave him an opportunity to see what citizens are
12 concerned with. Overwhelmingly the concerns expressed pertained to traffic in the City with
13 speeding being the biggest complaint. The Mayor expressed appreciation for the increased police
14 presence in the community and their focus on speeding.

15
16 **12. City Manager's Report and Discussion.**

17
18 Mr. Reid reported that on Friday, June 26, he will be attending the State Transportation
19 Commission Meeting. They are moving toward the change of jurisdictional transfer of Porter
20 Rockwell Boulevard from Bluffdale to the State. Four meetings had been held with UDOT to
21 identify issues associated with the transfer.

22
23 Mr. Reid reported that several events are taking place in the Park on Saturday, June 27. They
24 include the Relay for Life, a Movie in the Park that evening, and Battle of the Bands. The Lions
25 Club would also be doing breakfast.

26
27 There was discussion about looking at City ordinances. A number of complaints were received
28 about trucks and trailers being parked on the road. Currently there is no ordinance prohibiting a
29 licensed vehicle from being parked on the road. Mr. Reid asked for feedback from the Council as to
30 whether they would like such an ordinance to be drafted by staff. Heather Pehrson wanted it to be
31 clear that vehicles cannot be stored on the road. Sergeant Shane Taylor stated that many residents

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1 park on the street because they don't have room to park alongside their homes. He acknowledged
2 that it can create a hazard.

3
4 Bruce Kartchner understood the aesthetic aspect but felt that if it is a danger it should not take place
5 for any period of time. Sergeant Taylor stated that they receive numerous complaints from other
6 homeowners. Code enforcement issues were discussed. Heather Pehrson did not think the City
7 should allow the streets to serve as boat and RV storage areas. Mr. Reid confirmed that staff has
8 received multiple complaints of this nature. Council Member Pehrson suggested they be allowed on
9 the street for one week. After that she felt it was being stored. The matter did not get the consent of
10 three Council Members needed to move forward.

11
12 **PLANNING SESSION**

13
14 Justin Westwood stated that one of his clients is in charge of "honor flights" for veterans, which are
15 offered at a cost of \$1,000 per veteran. Two handouts were distributed on "Honor Flights of Utah
16 for Veterans" along with the business card for the contact person, Mike Turner. Ways the program
17 has changed lives were described. Council Member Westwood suggested the program be
18 announced at the Veterans Memorial Dedication. The Council was asked to invite veterans to
19 participate. The possibility of sponsoring the event and fundraising was also mentioned. It was
20 determined that there were two surviving World War II veterans living in Bluffdale. Justin
21 Westwood commented that top priority was being given to World War II and terminally ill veterans.
22 It was reported that for the majority of the veterans the trips are life changing.

23
24 Bruce Kartchner commented that during meetings they frequently discuss assignments given. He
25 asked that a list of those items be distributed after each meeting and review it one week prior to the
26 next meeting so that all are aware of what is to be accomplished.

27
28 Heather Pehrson confirmed that her family will be moving to Magnolia, Texas, which is a suburb of
29 Houston in six weeks' time. She stated that she has loved serving on the Council and has done her
30 very best. She would be withdrawing her application for re-election the following day. Her last
31 Council Meeting would be July 22, 2015. Mr. Pickell described the procedure for appointing an

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1 interim City Council Member. He stated that a minimum two-week notice is required. The Council
2 Members expressed their appreciation to Council Member Pehrson for her service and wished her
3 well.

4
5 **13. Discussion of Bluffdale Heights Phase 4 Concept, Staff Presenter, Grant Crowell.**

6
7 Mr. Crowell addressed the Council with regard to Ken Milne’s request for Council support prior to
8 engineering the concept. The proposed plan was reviewed. Plowing and snow storage issues were
9 discussed. Mr. Crowell explained that snow will be stored in the park. The Council and staff
10 discussed various options and suggested that the open space area not be developed as a park due to
11 its proximity to the mink farm. Problems with flies were acknowledged. The possibility of the City
12 purchasing the property was discussed. The consensus of the Council was to not move forward.

13
14 **14. Closed Meeting Pursuant to Utah Code §52-4-205(1) to Discuss the Character,**
15 **Professional Competence, or Health of an Individual, Collective Bargaining, Pending**
16 **or Imminent Litigation, Strategies to Discuss Real Property Acquisition, Including Any**
17 **Form of a Water Right or Water Shares, Security Issues, or any Alleged Criminal**
18 **Misconduct.**

19
20 **Bruce Kartchner moved to go into closed session pursuant to Code § 52-4-205(1) to discuss**
21 **real property acquisition. Ty Nielsen seconded the motion. The motion passed with the**
22 **unanimous consent of the Council.**

23
24 The City Council was in closed session from 10:37 p.m. until 10:59 p.m.

25
26 **15. Adjournment.**

27
28 **Bruce Kartchner moved to adjourn. Ty Nielsen seconded the motion. The motion passed**
29 **with the unanimous consent of the Council.**

30
31 The City Council Meeting adjourned at 11:00 p.m.

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, June 24, 2015**

1
2
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Wendy L. Deppe, CMC
City Recorder:

Approved: _____

DRAFT - FOR DISCUSSION PURPOSES ONLY

**BLUFFDALE CITY COUNCIL
CLOSED MEETING MINUTES
Wednesday, June 24, 2015**

1 **Present:** Mayor Derk Timothy
2 Alan Jackson
3 Bruce Kartchner
4 Ty Nielsen
5 Heather Pehrson
6 Justin Westwood
7

8 **Staff:** Mark Reid, City Manager
9 Vaughn Pickell, City Attorney
10 Grant Crowell, City Planner/Economic Development Director
11 Wendy Deppe, City Recorder
12

13 At 10:37 p.m. Mayor Derk Timothy called the meeting to order.
14

15 **Motion:** Bruce Kartchner moved to go into closed session pursuant to Code § 52-4-205(1) to
16 discuss real property acquisition.
17

18 **Second:** Ty Nielsen seconded the motion.
19

20 **Vote on Motion:** Vote on motion: Bruce Kartchner-Aye, Alan Jackson-Aye, Heather Pehrson-
21 Aye, Ty Nielsen-Aye, Justin Westwood-Aye. The motion passed unanimously.
22

23 Real property acquisition issues were discussed.
24

25 The City Council returned to the City Council chambers to resume the open portion of the meeting
26 at 10:59 p.m.
27
28
29

30 _____
31 Wendy L. Deppe, CMC
32 City Recorder

33 Approved: _____

Agenda Item 3.2



*****AMENDED BLUFFDALE CITY COUNCIL
MEETING AGENDA
Wednesday, July 08, 2015**

Notice is hereby given that the Bluffdale City Council will hold a meeting Wednesday, July 08, 2015 at the Bluffdale City Fire Station, 14350 South 2200 West, Bluffdale, Utah scheduled to begin promptly at 7:00 p.m. or as soon thereafter as possible. Notice is further given that access to this meeting by the Mayor and or City Council may be by electronic means via telephonic conference call.

BLUFFDALE CITY COUNCIL REGULAR BUSINESS MEETING 7:00 P.M.

1. Roll Call, Invocation, Pledge of Allegiance*
2. **PUBLIC FORUM** – (4 minute maximum per person to bring items not already on the agenda before the Council. Participants are encouraged to submit a written statement (1 copy) for items that are complex or that may require more than 4 minutes to present).
3. **CONSENT AGENDA** –
 - 3.1 Acceptance of Sage Estates 2-E, ending the warranty period.
 - 3.2 Preliminary acceptance of Independence at the Point Subdivision Plat D-8, and beginning the warranty period.
- 4: Consideration and vote on a resolution designating the appointment of a Member to the Bluffdale City Tree Board, Mayor Derk Timothy.
5. Consideration and vote on a proposed plat amendment for Kailye Anne Amended Subdivision in order to create a new 1.0 acre residential lot at approximately 13800 South Kailye Lane, Dan Capel, applicant, staff presenter, Grant Crowell.
6. Consideration and vote on a resolution authorizing the City Manager to enter into an agreement with the successful bidder for the Slurry Seal and Soft Spot Repair at Various Locations Bid, staff presenter, Matt Chadwick.
7. Consideration and vote on a resolution approving a Franchise Agreement with Qwest Corporation dba CenturyLink QC.
8. Mayor's Report
9. City Manager's Report and Discussion

PLANNING SESSION

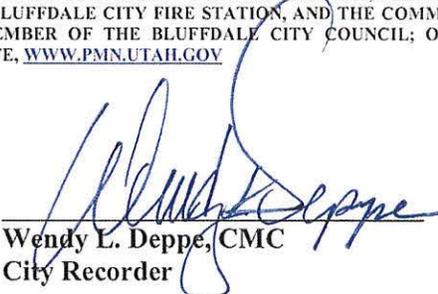
Please Note: The planning session is for identifying future items and other council discussion in accordance with Utah Code § 52-4-201(2)(a). While the meeting may be open to the public, there will not be any opportunity for public input during the planning session.

10. Discussion of proposed commercial baseball facility at 14400 South 2200 West, presenters, Matt Brimhall and Anthony Kay.

11. Discussion of billboard/sign conversion by Top Ad Media representatives, Windy Cooke and Wade Budge.
12. ***Discussion of Bluffdale Heights Phase 4 Concept, presenter, Ken Milne.
13. Closed meeting pursuant to Utah Code § 52-4-205(1) to discuss the character, professional competence, or health of an individual, collective bargaining, pending or imminent litigation, strategies to discuss real property acquisition, including any form of a water right or water shares, security issues, or any alleged criminal misconduct (if needed).
14. Adjournment

Dated this 7th day of July, 2015

I HEREBY CERTIFY THAT THE FOREGOING NOTICE AND AGENDA WAS FAXED TO THE SOUTH VALLEY JOURNAL, THE SALT LAKE TRIBUNE, AND THE DESERET MORNING NEWS; POSTED AT THE BLUFFDALE CITY HALL, BLUFFDALE CITY FIRE STATION, AND THE COMMUNITY BULLETIN BOARD AT THE BLUFFS APARTMENTS; EMAILED OR DELIVERED TO EACH MEMBER OF THE BLUFFDALE CITY COUNCIL; ON THE CITY'S WEBSITE AT WWW.BLUFFDALE.COM AND ON THE PUBLIC MEETING NOTICE WEBSITE, WWW.PMN.UTAH.GOV



Wendy L. Deppe, CMC
City Recorder

Note: The Bluffdale City Council will take a recess at approximately 9:30 p.m. and will evaluate the time needed to complete items not yet heard on the evening's agenda. Items the Council determines may take the meeting past 10:00 p.m. may be removed from the agenda and re-scheduled for the next regularly scheduled meeting. In compliance with the American with Disabilities Act, individuals needing assistance or other services or accommodation for this meeting should contact Bluffdale City Hall at least 24 hours in advance of this meeting at 801-254-2200. TTY 7-1-1. *Contact the City Recorder if you desire to give the Invocation.

DRAFT – FOR DISCUSSION PURPOSES ONLY

**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, July 8, 2015**

1 **Present:** Mayor Derk Timothy
2 Alan Jackson
3 Ty Nielsen
4 Heather Pehrson
5 Justin Westwood
6

7 **Staff:** Mark Reid, City Manager
8 Grant Crowell, City Planner/Economic Development Director
9 Blain Dietrich, Public Works Operations Manager
10 Matthew Chadwick, Assistant Engineer
11 Wendy Deppe, City Recorder
12 Shane Taylor, Police Sargent
13

14 **Excused:** Bruce Kartchner
15

16 **Others:** James L. Wingate and Nancy Lord, Council Member Candidates
17

18 **BLUFFDALE CITY COUNCIL REGULAR BUSINESS MEETING**
19

20 Mayor Derk Timothy called the meeting to order at 7:00 p.m.
21

22 **1. Roll Call, Invocation, and Pledge.**
23

24 All Members of the City Council were present with the exception of Bruce Kartchner, who was
25 excused.

26
27 Ty Nielsen offered the invocation.

28
29 Ty Nielsen led the Pledge of Allegiance.
30

31 **2. PUBLIC FORUM.**
32

33 Steve Pratt gave his address as 15604 South Packsaddle Drive and reported that he and his
34 family have lived in Bluffdale for just over five years and feel very at home here. They moved
35 in shortly after a shooting incident occurred in Parry Farms, which created some uneasiness.
36 Over time they found that several of their neighbors had had their cars burgled at night. It
37 seemed like there was a common thread in that incidents occurred on Friday or Saturday nights
38 during the early hours of the morning. Almost always there was a laptop, handbag, or something

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, July 8, 2015**

1 in the car of value. After these incidents occurred there was self-reflection on the part of
2 residents and finger pointing. These types of crimes continued until recently when they
3 increased significantly.

4
5 Mr. Pratt reported that he owns a sophisticated alarm system and typically keeps his family's
6 cars inside the garage. He often has family members who come home very late and turn the
7 alarm system off. There are frequently also extra cars parked in the driveway that are locked
8 with nothing inside of value. Recently a group broke into their car, took the garage door opener,
9 opened their garage, went inside, and rummaged through the cars in the garage. The criminals
10 could easily have entered the home. Mr. Pratt found that something similar had happened at
11 seven or eight other residences in the neighborhood where entry was made inside the home. He
12 noted that a video was actually taken of a man with a gun. Mr. Pratt was concerned that things
13 are going in a negative direction and was present to address the Council and find out what plan is
14 in place to help alleviate and prevent incidents from occurring in the future.

15
16 Mayor Timothy reported that police officers have been added recently and more will continue to
17 be hired. He realized, however, that that is not the whole answer because police officers cannot
18 be everywhere all the time. He felt the first line of defense was to make sure that people lock
19 their doors because there have been many problems side garage doors. Criminals also often
20 enter through back gates. The Mayor recommended that all be more aware and vigilant about
21 securing their properties as best they can. Also, citizens should keep a watchful eye out.

22
23 Mr. Pratt suggested that a City a strategy be put in place. His concern was that the situation was
24 becoming more dangerous. Mayor Timothy understood the severity of the problem and stated
25 that it is being worked through. Mr. Pratt asked how citizens can help. The Mayor stated that
26 there is a program offered by the Police Department called VIPS (Volunteers in Police Service)
27 where citizens are taken through a training program and after completion can use a marked car.
28 This give citizens an opportunity to help patrol and be a second set of eyes for police officers.
29 City Manager, Mark Reid, reported that the next VIPS training begins in September.

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, July 8, 2015**

1
2 Mr. Pratt suggested a VIPs vehicle be parked at the entry to problem neighborhoods. The Mayor
3 stated that that is already being done with a police car. Heather Pehrson wanted the citizens to
4 feel confident that the City is addressing the matter and encouraged them to work with local law
5 enforcement. She did not recommend citizens try to handle the problem themselves.

6
7 Mayor Timothy recalled a recent newspaper article where a neighborhood in Magna with high
8 crime opened a Facebook account through which they communicated. He was also aware of a
9 similar site in Bluffdale called Bluffdale Friends. The page was created to heighten awareness.
10 He thought the VIPs program was good training and stated that there is also a radio to
11 communicate with police. The Mayor stated that the City would provide the cars if people are
12 willing to participate in the program.

13
14 Mr. Pratt asked what can be done to help individual citizens better understand the restrictions and
15 limitations associated with solicitors who sell door-to-door. He stated that they tend to be
16 aggressive and often don't have identification. He asked if they are required to have a permit.

17
18 Alan Jackson reported that about two years ago he had a car stolen out of his garage. At the time
19 of the theft his garage door was closed and locked. He recommended that area residents be
20 aware and educate family members. Council Member Jackson stated that there have been
21 problems with solicitors in his neighborhood as well. He commented that if no one purchases
22 from them they stop coming. Heather Pehrson suggested that message be communicated to
23 residents.

24
25 Mr. Pratt stated that if solicitors are required to register with the City and provide identification it
26 would make the City aware of who is doing what. Mr. Reid stated that registration is required
27 and a license is issued. He noted that Vivint has registered with the City. Mayor Timothy stated
28 that before he asks a solicitor for their proof of license, he gets their business card. Usually they
29 provide a license from another city, which is not valid in Bluffdale. Mr. Reid stated that the

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, July 8, 2015**

1 City’s officers have offered to approach individuals selling door-to-door and verify that they
2 have the proper documentation.

3
4 Mr. Reid explained that the City’s police services used to be through Salt Lake County who had
5 three officers assigned to Bluffdale. One worked from midnight to 6:00 a.m., one in the
6 afternoon, and one during the day. There were many hours where there were no officers in
7 Bluffdale. That was considered to be a bad direction for the City the decision was made to move
8 toward self-providing. The objective was that once the City has a City Hall and a population of
9 12,000 to 13,000 they will be large enough to break away from contracting with Saratoga
10 Springs and establish a Bluffdale Police Department. With Saratoga Springs they began with
11 four officers three years ago and have more than doubled that number since then. Mr. Reid felt
12 the Council had been very proactive about adding officers. He noted that a recent incident
13 involved five men working together who appeared to be armed, which was very disconcerting.
14 Steps have since been taken to ensure that multiple officers are on duty, especially at night.

15
16 Lara Pratt gave her address as 15604 Packsaddle Drive and stated that she would like to compose
17 a letter or statement with all of the points made that night. She wanted to be proactive and let the
18 neighbors know that they are being proactive. Ways to distribute the information were discussed
19 such as the City’s Facebook page and in the newsletter. It was also noted that the comments
20 have been recorded and can be referred back to. Mr. Reid offered to obtain the recording and
21 distribute the information.

22
23 **3. CONSENT AGENDA:**

24
25 **3.1 Acceptance of Sage Estates 2-E, Ending the Warranty Period.**

26
27 **3.2 Preliminary Acceptance of Independence at the Point Subdivision Plat D-8,**
28 **and Beginning the Warranty Period.**

29
30 **Justin Westwood moved to approve the consent agenda. Ty Nielsen seconded the motion.**
31 **The motion passed with the unanimous consent of the Council.**

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**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, July 8, 2015**

1 **4. Consideration and Vote on a Resolution Designating the Appointment of a Member**
2 **to the Bluffdale City Tree Board, Mayor Derk Timothy.**
3

4 The Mayor reported that he would like to appoint Jennifer Robison as a Member of the Tree
5 Board with a term of office to expire on February 1, 2018. The Mayor reported on the upcoming
6 retirement of Nancy Nielsen, which will create a vacancy on the Board.

7
8 **Heather Pehrson moved to pass a resolution confirming the appointment of Jennifer**
9 **Robison to the Bluffdale City Tree Board for a term of office expiring February 1, 2018.**

10 **Ty Nielsen seconded the motion. Vote on motion: Alan Jackson-Aye, Heather Pehrson-**
11 **Aye, Ty Nielsen-Aye, Justin Westwood-Aye. The motion passed unanimously.**

12
13 **5. Consideration and Vote on a Proposed Plat Amendment for the Kailye Anne**
14 **Amended Subdivision in Order to Create a New 1.0-Acre Residential Lot at**
15 **Approximately 13800 South Kailye Lane, Dan Capel, Applicant, Staff Presenter,**
16 **Grant Crowell.**
17

18 City Planner/Economic Development Director, Grant Crowell, presented the staff report and
19 stated that there are two adjacent plats shown on a plat map displayed. The proposal was to
20 reconfigure both and create a one-acre parcel for a new building lot. The conditions set forth in
21 the staff report were reviewed and discussed. Easement issues were also discussed.

22
23 Assistant City Engineer, Matthew Chadwick, reviewed the storm water analysis and described
24 the retention pond. The current pond is only at 40% of what it should be in terms of retention.
25 Mr. Chadwick stated that the original drainage calculations did not take into consideration the
26 flows from the field across the street. They also assumed that all of the lots adjacent to Lot 1
27 would drain through the backyards. The lots were actually built up and the lots now drain to the
28 front.

29
30 Mr. Reid reported that there was a desire to include in the Capital Facilities Plan a regional
31 detention basin that would be closer to the North Star Academy. The result would be for flows
32 in the area to be placed in a regional basin rather than go into this retention pond. The detention

DRAFT – FOR DISCUSSION PURPOSES ONLY

**BLUFFDALE CITY COUNCIL
MEETING MINUTES
Wednesday, July 8, 2015**

1 basin was budgeted for over the past few years but was never built because the City was unable
2 to obtain the needed property. There has been, however, some movement on the property on
3 2700 West.

4
5 With regard to the park, Mr. Reid stated that it is required to retain all of its own water. As a
6 result, most of the water to the north of the County Park would flow to 13800 South and be
7 collected and piped toward 2700 West. Current and past standards were discussed. Alan
8 Jackson asked if the request is required to meet the current or original standards.

9
10 Potential takings issues were discussed. The Council felt it was important to hear from the City
11 Attorney and City Engineer before moving forward with the proposed plat amendment. In
12 response to a question raised by Mayor Timothy, Mr. Crowell stated that what the applicant is
13 proposing is to make the lot smaller and reduce the easement area. He explained that the pond is
14 smaller than the easement area.

15
16 Mr. Reid asked how the pond performs. Public Works Operations Manager, Blain Dietrich, had
17 heard that it overflows the existing pond and flows into the neighbor's yard and waters their fruit
18 trees which they do not object to. That indicates that the pond is running at capacity more often
19 than not, which is of concern. Mr. Dietrich felt that could likely be attributed to irrigation water
20 more than storm water.

21
22 Dennis Eyre, who resides at 3155 West 13800 South, reported that the water doesn't go into the
23 easement but flows over the top of the Jordan Valley Water Conservancy District pipeline. It
24 flows across the top and onto his property, which is lower. Mr. Eyre stated that he has a culvert
25 under his driveway to an adjoining property.

26
27 **Ty Nielsen moved to table the matter. Heather Pehrson seconded the motion. Vote on**
28 **motion: Alan Jackson-Aye, Heather Pehrson-Aye, Ty Nielsen-Aye, Justin Westwood-Aye.**
29 **The motion passed unanimously.**

30

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1 **6. Consideration and Vote on a Resolution Authorizing the City Manager to Enter into**
2 **an Agreement with the Successful Bidder for the Slurry Seal and Soft Spot Repair**
3 **at Various Locations Bid, Staff Presenter, Matt Chadwick.**
4

5 Mr. Chadwick reported that bids for the slurry seal and soft spot repair were received with the
6 low bidder being Staker Parson who is very reputable. He noted that the bid was approximately
7 \$13,000 higher than his engineering estimate. The total cost was projected at \$137,400 and
8 would include slurry seal and striping from 3600 West and 14400 South to Redwood Road. It
9 was recommended that a 10% contingency also be included for a total cost of \$151,140. The
10 desire was to slurry seal before doing the restriping. It was noted that the soft spot repair will be
11 done on 13800 South where the road is sinking and areas on 3600 West. Mayor Timothy
12 recommended 14400 South also be inspected since he was aware of a few areas that need to be
13 patched. He also asked that the Council discuss it again before it is striped. He wanted to add
14 bike lanes where possible and did not want to lose any opportunity in the striping plan.

15
16 Mayor Timothy expressed concern with the left turn lane being added mid-block and felt it
17 would rarely be used. He stated that it is compromising the shoulder where there could instead
18 be a wider shoulder for bikes. The consensus of the Council was to not bring the matter back at
19 a future Council Meeting and report via email.

20
21 **Ty Nielsen moved to approve a resolution authorizing the City Manager to enter into an**
22 **agreement with Staker Parson Companies for slurry seal and soft spot repair at various**
23 **locations at a cost of \$137,400 for the main portion and a 10% contingency for a total of**
24 **\$151,140. Alan Jackson seconded the motion. Vote on motion: Alan Jackson-Aye,**
25 **Heather Pehrson-Aye, Ty Nielsen-Aye, Justin Westwood-Aye. The motion passed**
26 **unanimously.**

27
28 **7. Consideration and Vote on a Resolution Approving a Franchise Agreement with**
29 **Qwest Corporation DBA CenturyLink QC.**
30

31 Mayor Timothy indicated that the matter was on the last meeting's agenda and clarification was
32 needed with respect to how quickly the poles should be moved. It was determined that a 30-day

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1 notice was needed. City Attorney, Vaughn Pickell, was excused from tonight’s meeting but
2 prepared the proposed Franchise Agreement as requested.

3
4 **Heather Pehrson moved to pass a resolution approving a Franchise Agreement with Qwest**
5 **Corporation dba CenturyLink QC. Justin Westwood seconded the motion. Vote on**
6 **motion: Alan Jackson-Aye, Heather Pehrson-Aye, Ty Nielsen-Aye, Justin Westwood-Aye.**
7 **The motion passed unanimously.**

8
9 **8. Mayor’s Report.**

10
11 Mayor Timothy reported on discussions about speeding and other traffic problems in the City.
12 He remarked that he had noticed a heightened effort by police. He complimented the City’s
13 Police Department and staff and asked Mr. Reid to continue profiling the roads with tubes in
14 order to keep track of the problem areas. He also recommended the tubes go back in order to see
15 the difference it made. He also suggested having the tubes at stop signs to get a profile of how
16 many people actually run it.

17
18 **9. City Manager’s Report and Discussion.**

19
20 Mr. Reid reported that the budget was approved at the last meeting where a request was made for
21 a backhoe to replace the existing one. It was determined that the cost would be \$85,000 with the
22 trade in. The decision was made to postpone the purchase and keep the backhoe one year. Staff
23 learned of an equipment company that leases backhoes for \$900 per year and it was determined
24 that there is enough money in the maintenance budget to cover the cost. Mr. Reid noted that the
25 leased backhoe would be limited to 300 hours of use, which he thought was doable. He noted
26 that other cities have leased a backhoe for \$900 use it for 270 hours and then lease another. He
27 recommended the City move toward such a lease. The existing backhoe would be retained by
28 the City and could be used in the event they run out of hours on the new one. Mr. Reid noted
29 that the leased backhoe would also be under warranty. The consensus of the Council was to
30 pursue the purchase. Mr. Reid stated that a budget adjustment would not be needed for that
31 price.

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**BLUFFDALE CITY COUNCIL
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1
2 Mr. Reid reported that he met with the City’s architect who is working on the New City Hall the
3 previous week and was shown the interior layout. The proposed square footage is 12,000, which
4 was smaller than originally proposed. There would also be a second floor of the same size as
5 well as a full unfinished basement. The architect was asked to make some adjustments. One of
6 the concerns was that there are only four conference rooms on the main floor, which has always
7 been an issue. Alan Jackson asked that the Council be provided with the plans in digital format.
8 Mr. Reid agreed to check into that option. He commented that the next option should be closer
9 to what is desired.

10
11 Mr. Reid reported on the open house and stated that it was poorly attended. The Mayor noticed
12 that he discussed the cost and options with the few who in attendance. Those he spoke to
13 preferred the middle option. Mayor Timothy recommended the architect come up with
14 something that is more stylish at a better price than what is proposed. Mr. Reid stated that he
15 and the Mayor met with representatives from three other cities who are building City Halls
16 currently. Their target is the \$300 per square foot range. Bluffdale’s range has been \$150 to
17 \$180 per square foot.

18
19 Mr. Reid reported that a few weeks earlier there was flooding off of Wasatch Vista and on
20 Thursday there was a major rainstorm. He, Mr. Chadwick, Chief Roberts, and Mr. Dietrich
21 investigated and found that the pond got close to capacity but did not overflow. One of the
22 problems was that there was a hailstorm during the rainstorm that caused debris from trees to fill
23 up the grates. Citizens kept the storm drains cleared so that the water would flow to its intended
24 location.

25
26 The regional pond where the water eventually flowed to was less than one-third full. The
27 problem was that the pipe that goes under Wasatch Vista is only 18 to 24 inches and after it goes
28 past Wasatch Vista it flows into an open ditch across an open field and then comes out to 3600
29 West where it goes into another storm drain pipe. That pipe seemed to be of an adequate size to

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1 take it to the regional pond, however, a gap between the unfinished area and the pond may need
2 attention.

3
4 In speaking with the neighbors, it was noted that the upper pond seems to be half the size of what
5 it was when it was originally built. It was thought that the homeowner to the rear has built a
6 garage and used the pond to dispose of his excess dirt, which lowered the level of the pond and
7 decreased the capacity. The Engineering Department was investigating. The City has an
8 easement and the ability to deepen the pond if desired. Mr. Reid stated that in Parry Farms there
9 is a grate with an open side so that if it gets plugged up the water can flow underneath the curb.
10 He noted that these are not that type of grate. Mr. Chadwick noted that if it is a pipe capacity
11 issue, it won't help. The area of most concern with respect to flooding is the point of intake.
12 Mayor Timothy asked Mr. Chadwick to come up with a solution and bring it back to the Council
13 as soon as possible. Mr. Reid stated that there are several solutions such as to deepen the upper
14 pond to increase capacity, increase the size of the pipe, or pipe the water rather than allow it to
15 free flow through a ditch where there is a chance to pick up debris and clog the next pipe.

16
17 Mr. Reid reported that the City has affected the change to the pension program to non-
18 contributory which will save the City approximately 2% per year. It is a win-win situation
19 because it helps employees with their retirement and saves the City money.

20
21 Mr. Reid indicated that he met with Code Enforcement and Animal Control to discuss the
22 complaint process. A few changes were made to the complaint form. He noted that every
23 individual will be contacted by the City unless they specifically ask to not be.

24
25 Mr. Reid stated that an extensive meeting was held with Public Safety, Police, Fire, Emergency
26 Preparedness, and Public Works the previous Monday where they discussed police issues. One
27 of the major concerns was that the situation involved five individuals, which had never been seen
28 before. He expressed appreciation to Sergeant Taylor who changed his hours to work evenings.

29

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**BLUFFDALE CITY COUNCIL
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Wednesday, July 8, 2015**

1 **PLANNING SESSION**

2
3 Heather Pehrson stated that in preparation for her departure there are three committees she needs
4 to be replaced on. First, she serves on the South Salt Lake Valley Mosquito Abatement District.
5 A replacement will be needed prior to the next meeting scheduled for August 2. She noted that
6 meetings are held the second Monday of each month at 2:00 p.m. The pay is \$60 per month and
7 the group meets at the District Office in West Jordan.

8
9 She also serves on the Camp Williams Community Partnership. The group meets with Colonel
10 Smith to discuss issues pertaining to partnering and communicating with Camp Williams. Mr.
11 Reid stated that he has begun attending those meetings.

12
13 Council Member Pehrson also serves on the Legislative Policy Committee where meetings
14 typically take place one Monday per month and every Monday during the Legislative Session.
15 Meetings begin at 11:45 a.m. downtown and lunch is served. Mayor Timothy thanked Council
16 Member Pehrson for her work on the Council and on the various committees.

17
18 Alan Jackson reported on the donation of two benches to the Veterans Memorial. He felt that
19 with eight benches the smaller ones would be better. Mr. Reid asked if they should see if any
20 citizens would like to donate a bench. It was decided that this could be done later, if desired.
21 Alan Jackson indicated that he met with the Daltons the previous week and reviewed the wall
22 design. A draft copy was to be presented at which time the City Council will approve it.

23
24 Council Member Jackson reminded the Council that there are only a few days remaining to add
25 names to the list. He noted that a current list is available on the City's website. The branch of
26 the military is missing from many of the names and without it they cannot be put on the wall.
27 The desire was to include everyone on the initial engraving. He recommended it be put on the
28 Facebook page again in a final effort to obtain that information. It was reported that any
29 program requests for the Veterans Memorial Dedication should go to Alan Jackson. Mayor
30 Timothy indicated that he would like to sponsor a bench.

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**BLUFFDALE CITY COUNCIL
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Wednesday, July 8, 2015**

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10. Discussion of a Proposed Commercial Baseball Facility at 14400 South 220 West, Presenters, Matt Brimhall and Anthony Kay.

The applicant, Anthony Kay, indicated that they would like to develop a complex for baseball and softball. He noted that they lease fields every year for baseball and are proposing a way to facilitate that. They would like the access to be on 14400 South. The intent is to establish a baseball league and hold tournaments. Feedback was requested from the Council. The facility will be privately funded and will feature a playground, pavilion, and restrooms and will be available to the public. Their main goal is to create a first class facility for athletes and be a destination spot in Bluffdale for youth to come play.

Heather Pehrson stated that the main concerns of residents will be noise and lights. Mr. Kay stated that games will not extend past 10:00 p.m. per the ordinance with respect to noise and lights. The property is zoned R-1-43 and they may need a variance to change it to a recreational use. Alan Jackson referred to the Riverton fields and stated that the lights go off at 10:00 p.m. Mr. Kay stated that they will keep light directional and shining specifically on the fields.

Before pursuing the purchase of the property, the applicants wanted to determine if it is feasible. The two men reported that they have played on teams together for many years and traveled a great deal. After seeing fields in other areas they were concerned that here fields are being lost. This requires them to travel longer distances to find places to play. Mr. Kay noted that there is a demand for these types of facilities.

Mr. Crowell recommended the Council add Recreation/Outdoor as a text amendment to the zone and then determine whether it should be a conditional use. Mayor Timothy felt there will be continued pressure on the City to do something other than R-1-43. To put ball fields on the property means there is one more area of ground where an open space feeling will be maintained.

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1 Mr. Reid reported that the homes to the south all face Wanlass Way so with the long acre-sized
2 lots most of their living space is some distance from the area. There are a few homes across the
3 street and on 2390 West but there is not a lot of intense housing in the area.

4
5 Heather Pehrson liked that the facility will attract people to Bluffdale who will hopefully spend
6 money here. Impact fee issues were discussed. Alan Jackson recalled that a few years ago the
7 Council met with someone looking to build a Cooperstown on the east side of the City. At the
8 time they made a very good case that there was a need for it. He was confident that the fields
9 will be booked solid.

10
11 Mayor Timothy stated that while the facility will impact the City, it will serve people outside of
12 Bluffdale. He asked how it will benefit Bluffdale citizens. Mr. Kay stated that there will be
13 pavilions and a park area that citizens can use. Mr. Brimhall stated that between Bluffdale and
14 Lehi there are no baseball fields. Economically there will be traffic and people will be drawn to
15 Bluffdale. Council Member Pehrson recommended the applicants look at the situation from the
16 perspective of citizens who will be affected. Mr. Brimhall stated that they don't want to change
17 the City and were drawn to it because of the small town feel.

18
19 The proposed park area was intended to entertain young children during the game. There would
20 also be concessions with the possibility of a snow cone business or food cart coming in. The
21 Mayor recommended the applicants pay attention to the residents who live nearby since they
22 moved to Bluffdale not expecting this type of use nearby.

23
24 Mayor Timothy referred to a recent survey where citizens expressed a desire for baseball fields.
25 The need for baseball fields was discussed. Mr. Reid asked the applicants what their solution
26 was to parking. He noted that at the Bluffdale fields no one parks in the parking lot because of
27 foul balls. Mr. Kay stated that they discussed putting in higher fences to prevent damage to cars.

28
29 The Council expressed their support for the concept.
30

**BLUFFDALE CITY COUNCIL
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Wednesday, July 8, 2015**

1 **11. Discussion of Billboard/Sign Conversion by Top Ad Media Representatives, Windy**
2 **Cooke and Wade Budge.**
3

4 Wade Budge identified himself as legal counsel for Top Ad Media and stated that they do both
5 on premise signs and outdoor advertising. They were proposing a text amendment to allow for
6 the conversion of existing billboards. He described the concept of converting their existing
7 billboards and the potential for two new billboard locations. Mr. Budge reported that there are a
8 number of new signs that are electronic. New technology allows for multiple advertisers to be
9 on a single sign and results in the exposure of more businesses from a single structure. He noted
10 that they allow up to seven advertisers. Mr. Budge stated that it is a feature that is attractive to
11 sign companies and there are federal regulations governing how they are operated.

12
13 Mr. Budge stated that often signs are removed and replaced with LED lighting that increases the
14 amount of projected light. The applicants shared a model ordinance with staff. Mr. Budge
15 clarified that the ordinance amendment would only apply to signs along I-15 and indicated that
16 there are two additional locations available.

17
18 Mr. Budge stated that the new sign technology is not a permitted or conditional use in the SP
19 Zone, which is where most of the City's signs are located. He explained that the existing signs
20 are grandfathered in but they cannot be upgraded. Mayor Timothy expressed concern with LED
21 signs and stated that there is one in Bluffdale in front of Bluffdale Elementary School. When it
22 is on at night it looks like a spotlight and is visible from two blocks away. The City has received
23 numerous complaints about it as well.

24
25 Mr. Budge stated that they have LED technology that is not as bright. Mayor Timothy stated
26 that a similar claim was made about the school sign. Mr. Budge commented that the greatest
27 impact is the change rather than the light. He noted that the lights will not be flashing and will
28 be one standing image. The Mayor described the surrounding area and stated that in the nearby
29 Bluffdale Heights subdivision, residents feel they have been abandoned by the City because they
30 cannot force the mink farm to move. To now add a bright light creates a hardship for the

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1 residents. He felt that during the day the lights would be fine but will become problematic at
2 night. He was cautious about adding anything to that neighborhood.

3
4 Mr. Budge offered to have light experts discuss the issue with the Council and compare the
5 existing lights and the proposed ones. He noted that the situation will be better with the new
6 signs. He recommended that in order to convert a sign that they commit to make it available for
7 Amber Alerts. Such language was included in the draft ordinance. The Mayor commented that
8 he is not opposed to LED lighting but does not want to impact residents.

9
10 Alan Jackson recommended the proposed amendment go through the City's normal channels.
11 He was in favor of at least considering the proposed text amendment. Mr. Crowell
12 acknowledged that this is a significant policy decision and one that should be carefully
13 considered. Mr. Reid stated that there is also a proposal to increase the height. It was noted that
14 federal and state laws would only allow the addition of two more signs. With regard to height,
15 Mr. Budge stated that the freeway is higher than where the signs are placed so they have
16 borrowed language from the State Code that specifies that heights may be measured from the
17 elevation of the travel way. Potentially that means there could be increased heights of the
18 existing structures of five to 10 feet.

19
20 **12. Discussion of Bluffdale Heights Phase 4 Concept, Presenter, Ken Milne.**

21
22 Ken Milne reviewed the concept for Bluffdale Heights Phase 4 which was also made available to
23 the Council in Dropbox. The proposed changes to the concept were described as follows:

- 24
25
- The proposed six lots were increased to 10 lots.

26

 - The pond size was to be reduced and converted into a usable park with grass and
27 landscaping and be similar to a City park. Maintenance of the park would ultimately be
28 turned over to the City.

29

 - Use of the tear shaped lot was described.

30
31

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**BLUFFDALE CITY COUNCIL
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Wednesday, July 8, 2015**

- 1
- 2 • The City would be responsible for the road.
- 3
- 4 • The canal easement previously discussed with Mr. Pickell.
- 5
- 6 • The issue of flies was discussed. The Mayor indicated that he recently spoke to residents
- 7 who had disparaging words for the City and complained that nothing was being done to
- 8 resolve the situation.

9

10 Alan Jackson commented that what is proposed is probably not what the Council would prefer

11 but is the only action than can be taken. Mr. Reid noted that Bruce Kartchner had been critical

12 of homes being built in the proposed location. Mr. Milne planned to begin the engineering

13 process and then bring the request through the Design Review Committee (DRC), Planning

14 Commission, and City Council.

15

16 **13. Closed Meeting Pursuant to Utah Code §52-4-205(1) to Discuss the Character,**

17 **Professional Competence, or Health of an Individual, Collective Bargaining,**

18 **Pending or Imminent Litigation, Strategies to Discuss Real Property Acquisition,**

19 **Including Any Form of a Water Right or Water Shares, Security Issues, or any**

20 **Alleged Criminal Misconduct.**

21

22 There was no closed meeting.

23

24 **14. Adjournment.**

25

26 **Mayor Timothy moved to adjourn. The motion passed with the unanimous consent of the**

27 **Council.**

28

29 The City Council Meeting adjourned at 9:39 p.m.

30

31

32 _____

33 Wendy Deppe, CMC

34 City Recorder:

35

36 Approved: _____

Agenda Item 5

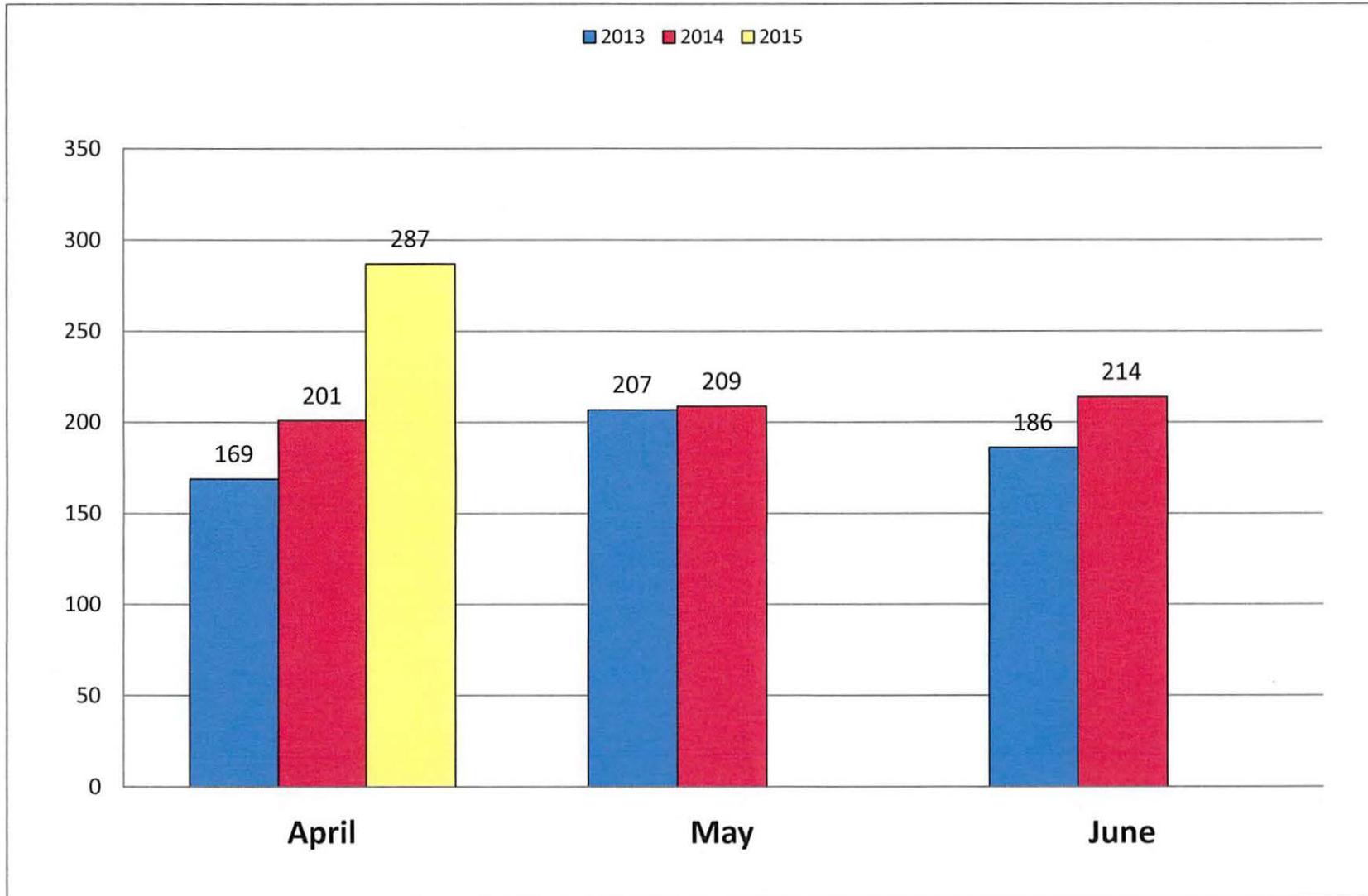


Bluffdale Police

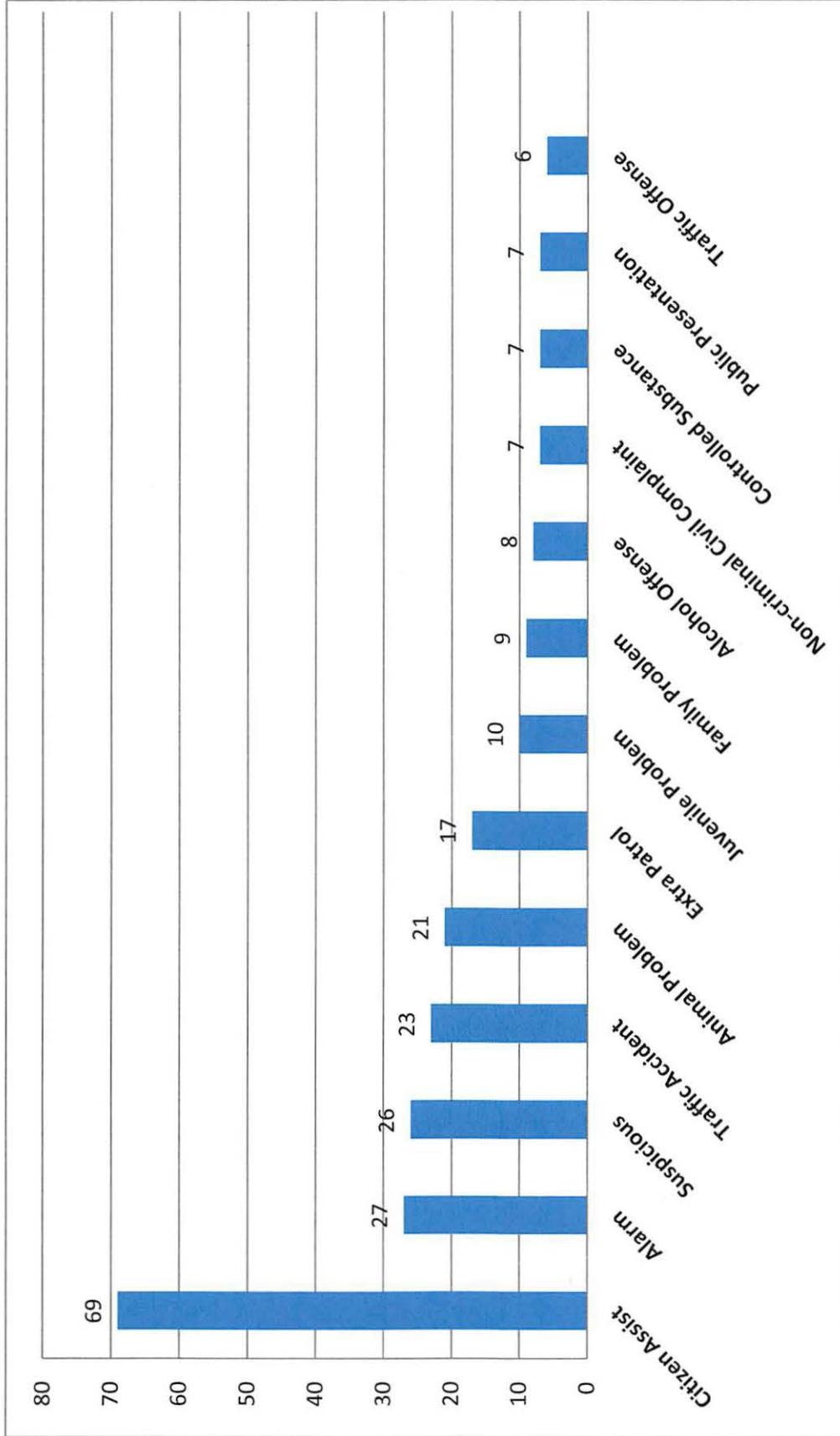
Monthly Statistics / Information

April 2015

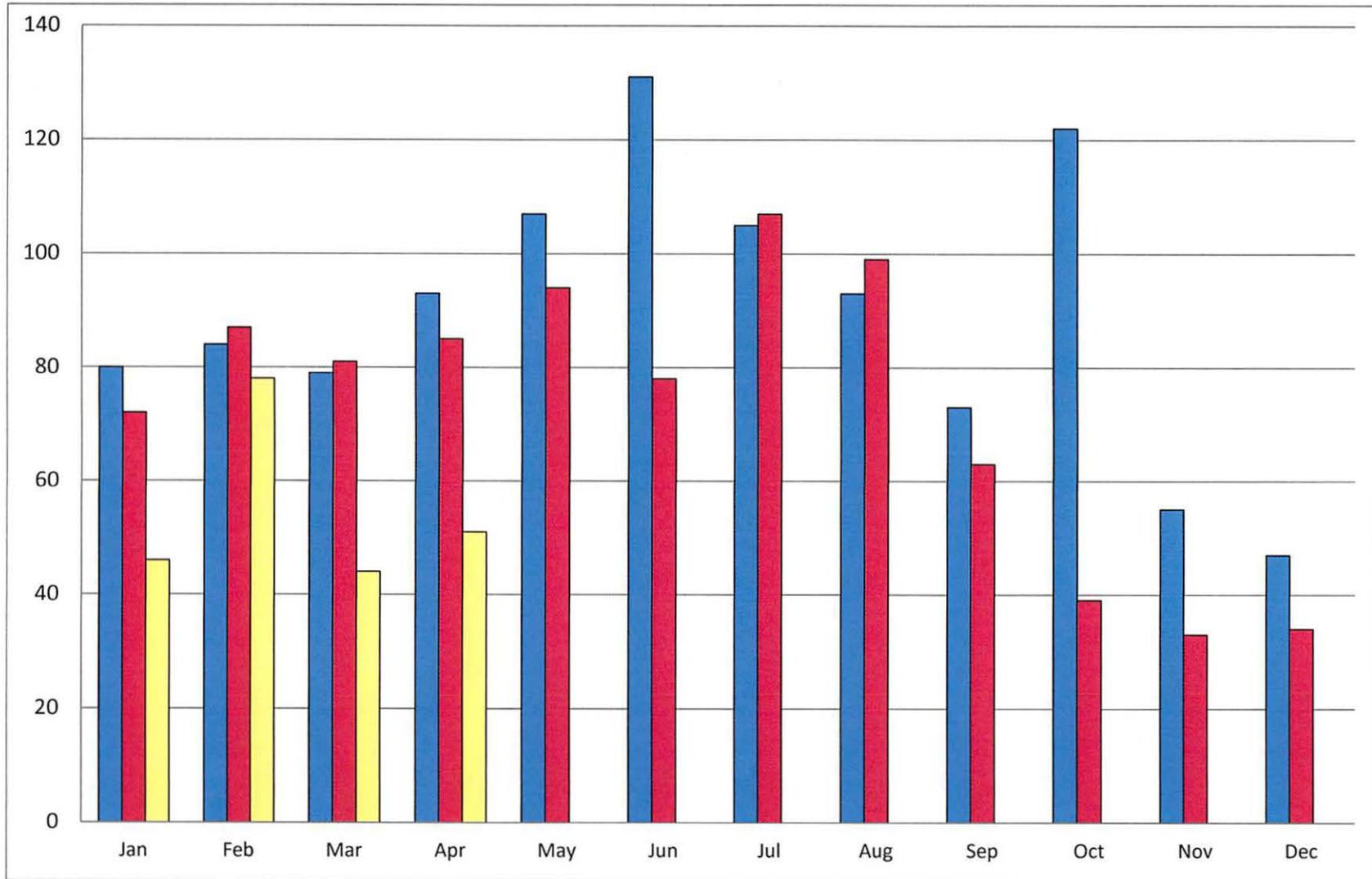
Bluffdale Police Department 2nd Quarter Stats - Total Incidents



**Bluffdale Police Department
Stats for April
2015**

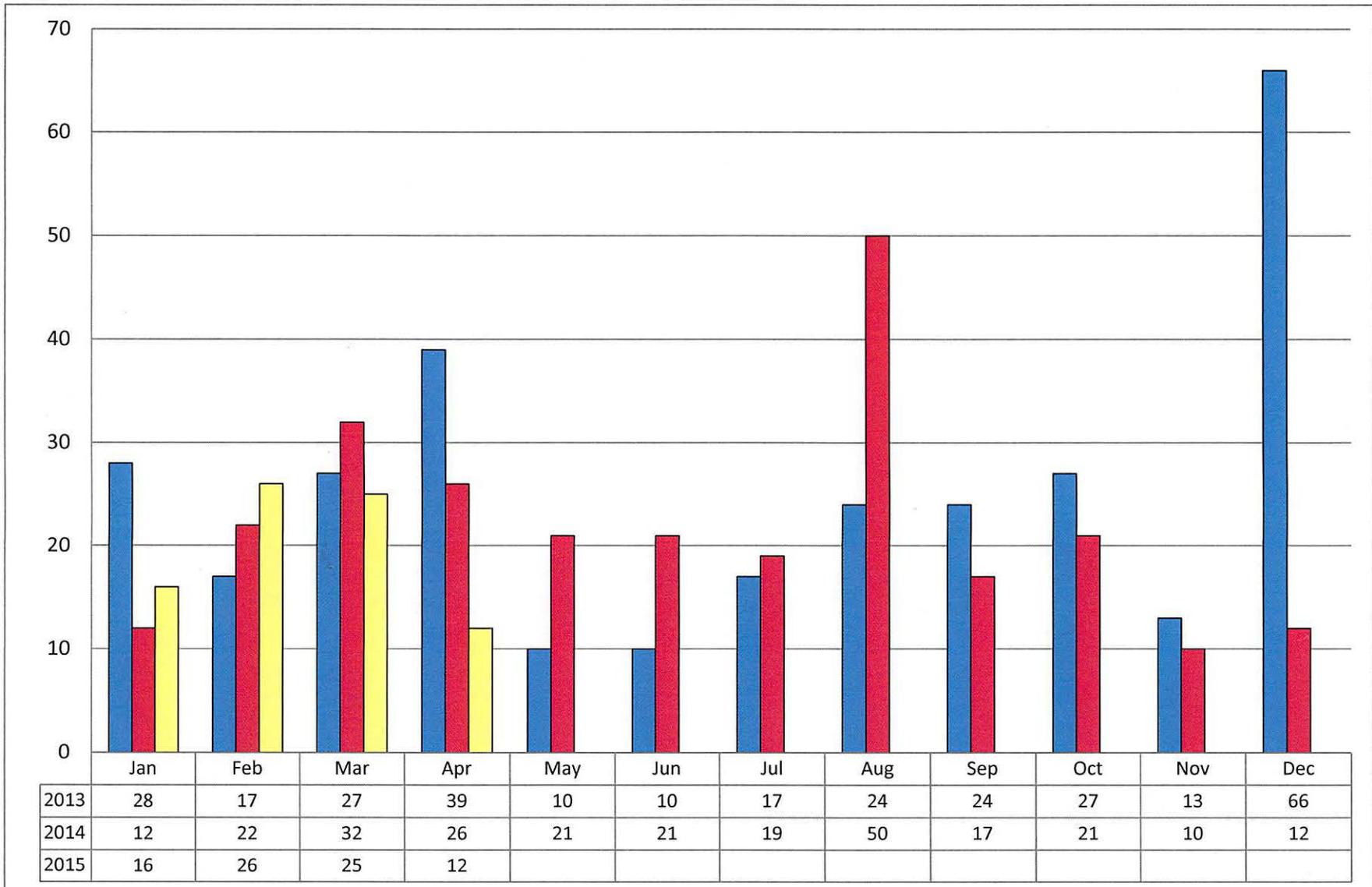


Bluffdale Police Department Total Traffic Citations



Totals
2013 - 1069 / 2014 - 872 / 2015 - 219

Bluffdale Police Department Total Arrests



Totals
2013 - 302 / 2014 - 220 / 2015 - 79

Bluffdale Police Department

Fastest CAD Call Response Times, by Nature

<u>Nature</u>	<u>Date Reported</u>	<u>Response Time</u>	<u>Officer</u>
ACCI PI 26	04/13/15	0:07:01	DALTON
ACCI PI 26	04/22/15	0:04:34	HARWARD
ACCI PI 26	04/24/15	0:08:26	ROSEN
ACCI PI 26	04/28/15	0:14:46	JUDSON
ACCI UNKN 26	04/22/15	0:03:01	DALTON
ACCI UNKN 26	04/25/15	0:08:20	HILL
ASSI FIRE 26	04/06/15	***:**	ROSEN
ASSI FIRE 26	04/08/15	***:**	SNARR
ASSI FIRE 26	04/11/15	0:10:39	OLDHAM
ASSI FIRE 26	04/22/15	***:**	TAYLOR
ASSI MEDI 26	04/10/15	***:**	OLDHAM
ASSI MEDI 26	04/16/15	0:01:31	HARWARD
ASSI MEDI 26	04/17/15	***:**	HARWARD
ASSI MEDI 26	04/19/15	***:**	DALTON
ASSI MEDI 26	04/23/15	***:**	DALTON
ASSI MEDI 26	04/23/15	0:08:55	DALTON
ASSI MEDI 26	04/28/15	0:09:04	OLDHAM
ASSI MEDI DD	04/10/15	***:**	OLDHAM
DIST 26	04/16/15	0:06:44	TAYLOR
DIST 26	04/23/15	***:**	HARWARD
DIST FAMI 26	04/03/15	0:13:51	SNARR
DIST FAMI 26	04/08/15	0:09:34	SNARR
DIST FAMI 26	04/12/15	0:05:41	OLDHAM
DOM VIOL IP 26	04/05/15	0:04:31	HARWARD
DOM VIOL IP 26	04/05/15	0:06:06	SNARR
DOM VIOL IP 26	04/29/15	0:15:42	OLDHAM
DRUG OFFE IP 26	04/04/15	0:07:39	SNARR
FIRE BRUS DD	04/11/15	***:**	ROSEN
HAZARDOUS COND	04/15/15	0:00:07	OLDHAM
MEDICAL DD	04/23/15	***:**	DALTON
MISS CHIL 26	04/06/15	0:06:05	ROSEN
MISS CHIL 26	04/19/15	0:10:35	DALTON
PROWLER 26	04/14/15	0:01:57	HARWARD
SHOPLIFT IP 26	04/10/15	***:**	ROSEN
THRE SUIC 26	04/24/15	0:11:31	OLDHAM
THRE SUIC 26	04/26/15	0:05:44	OLDHAM
THREATS IP 26	04/25/15	***:**	ROSEN
<u>AVG. ALL CALLS</u>		<u>0:07:34</u>	

TOTAL REPORTED: 37

***:** = Not possible to calculate elapsed time

Report Includes: All dates between "00:00:00 04/01/15 and 00:00:00 05/01/15"

Priorities Matching "1". All Units matching "181*" All agencies/zones matching "BDPD".



SARATGOGA SPRINGS/ BLUFFDALE POLICE DEPARTMENT

Chief Andrew Burton

"Commitment to Service"

BLUFFDALE DIVISION MONTHLY SUMMARY

April 2015

Bluffdale Officers received (287) incidents assigned to them this month. Among the cases involving Investigations/Patrol Units were; (0) burglaries, (1) vehicle burglaries, cases involving thefts and frauds, (3) cases involving domestic violence, (4) vehicle theft, (2) sex offenses, (2) mental subject, (0) weapons offenses, (2) child abuse cases, (2) criminal mischief cases, (3) missing person, (0) death investigation, (0) robbery, (1) stalking cases and (0) assault cases.

Investigations are continuing to follow up on (89) active cases. Also, (7) cases have been screened with the District Attorney and the City Attorney and (5) cases were closed with arrests being made. Case load for April was a particularly busy month for Suspicious Calls (33) Alarms (21), Traffic Offenses (16) and Traffic Accidents (30)

VOLUNTEERS IN POLICE SERVICES

Volunteers In Police Services helped with the Courts and patrolling the City of Bluffdale during the month of April 2015.



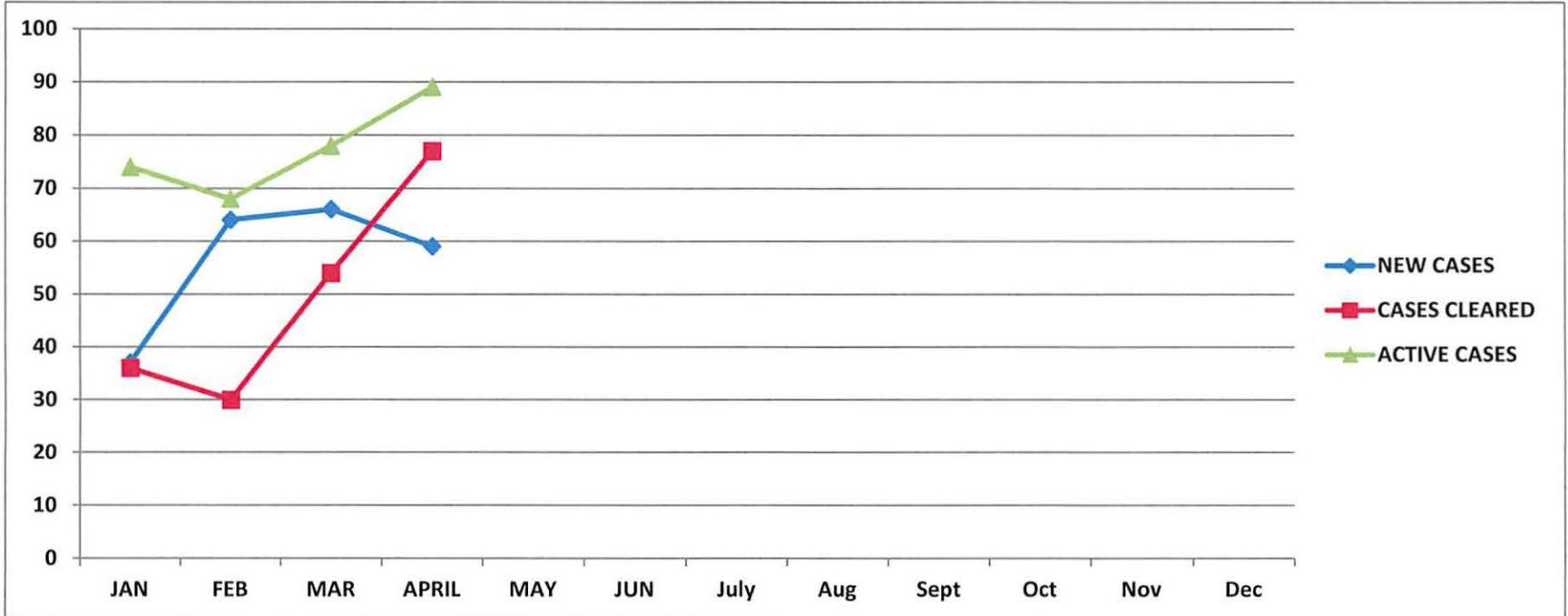
BLUFFDALE POLICE DEPARTMENT
Investigations Division Monthly Summary
 April 2015

INVESTIGATOR	New Assigned Cases	Cases Completed	Cleared by Arrest	Authored Warrants	Cases Screened	Active Cases	School Education	Composite Drawings	Photo Line-up	Call Outs
Taylor	14	15	1	0	1	2	0	0	0	2
Stidham	16	28	3	0	3	46	0	0	2	1
Rosen-CIT/SRO	10	15	1	0	3	37	18	0	0	0
N. Nelson	19	19	0	0	0	4	0	0	0	0
Monthly Total	59	77	5	0	7	89	18	0	2	3
Previous Month	66	54	6	2	6	78	22	0	3	2
Year-to-date	226	197	27	9	29	309	40	0	5	8
2010 End of year (6 months)	245	75	31	11	24	137				27
2011 End of year	469	489	117	33	137	83				104
2012 End of year	350	306	79	13	75	222				28
2013 End of year	287	203	65	19	66	488				14
2014 End of year	409	483	87	25	82	1441				28



BLUFFDALE POLICE DEPARTMENT
MONTHLY CASE STATISTICS

April 2015



2014	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec
New Cases	37	64	66	59								
Cases Cleared	36	30	54	77								
Active Cases	74	68	78	89								

TOTALS	2013-Year End	2014-Year End	2015-Year End	2016-Year End
New Cases	287	409		
Cases Cleared	203	483		
Active Cases	488	1441		

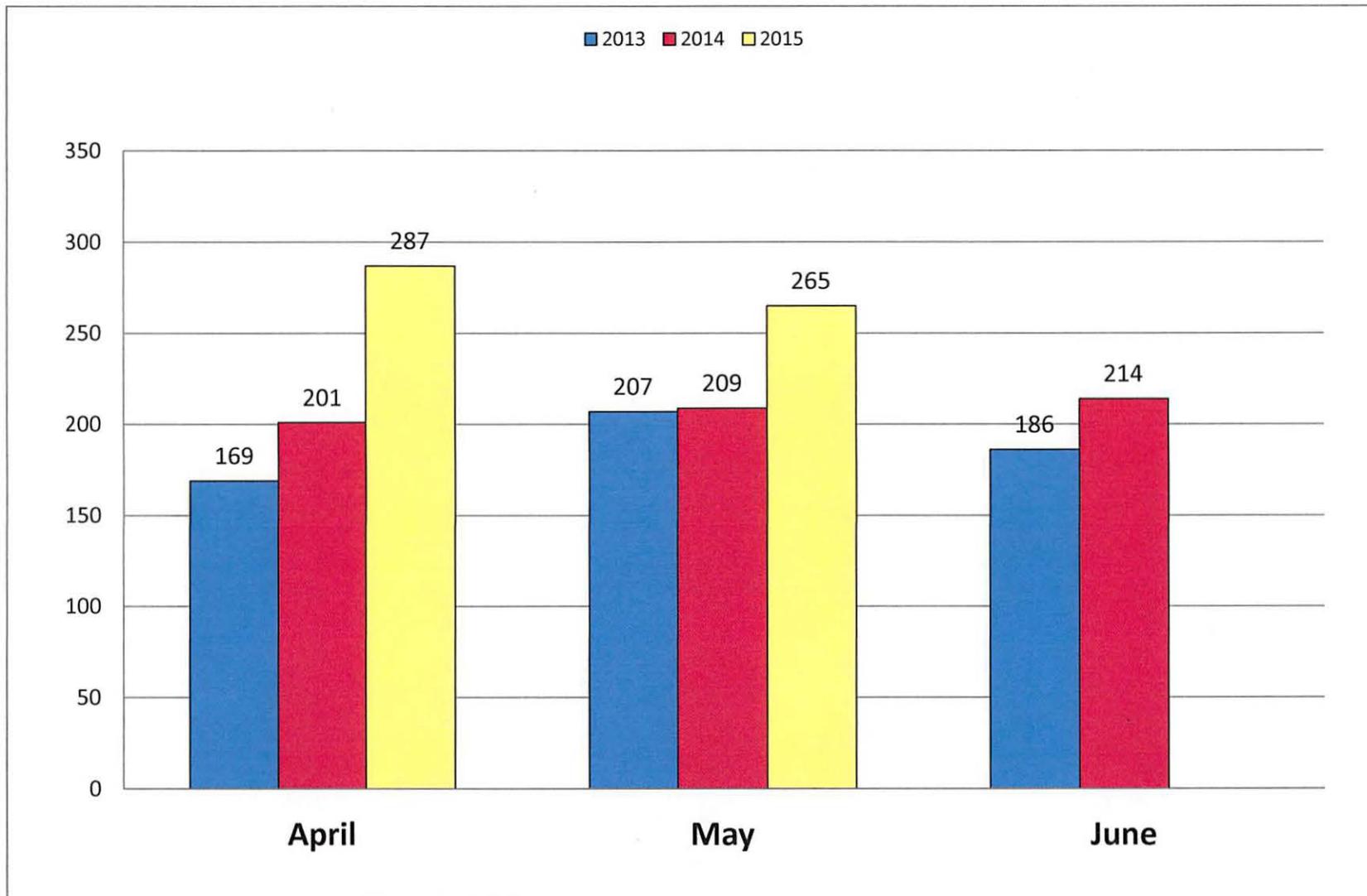


Bluffdale Police

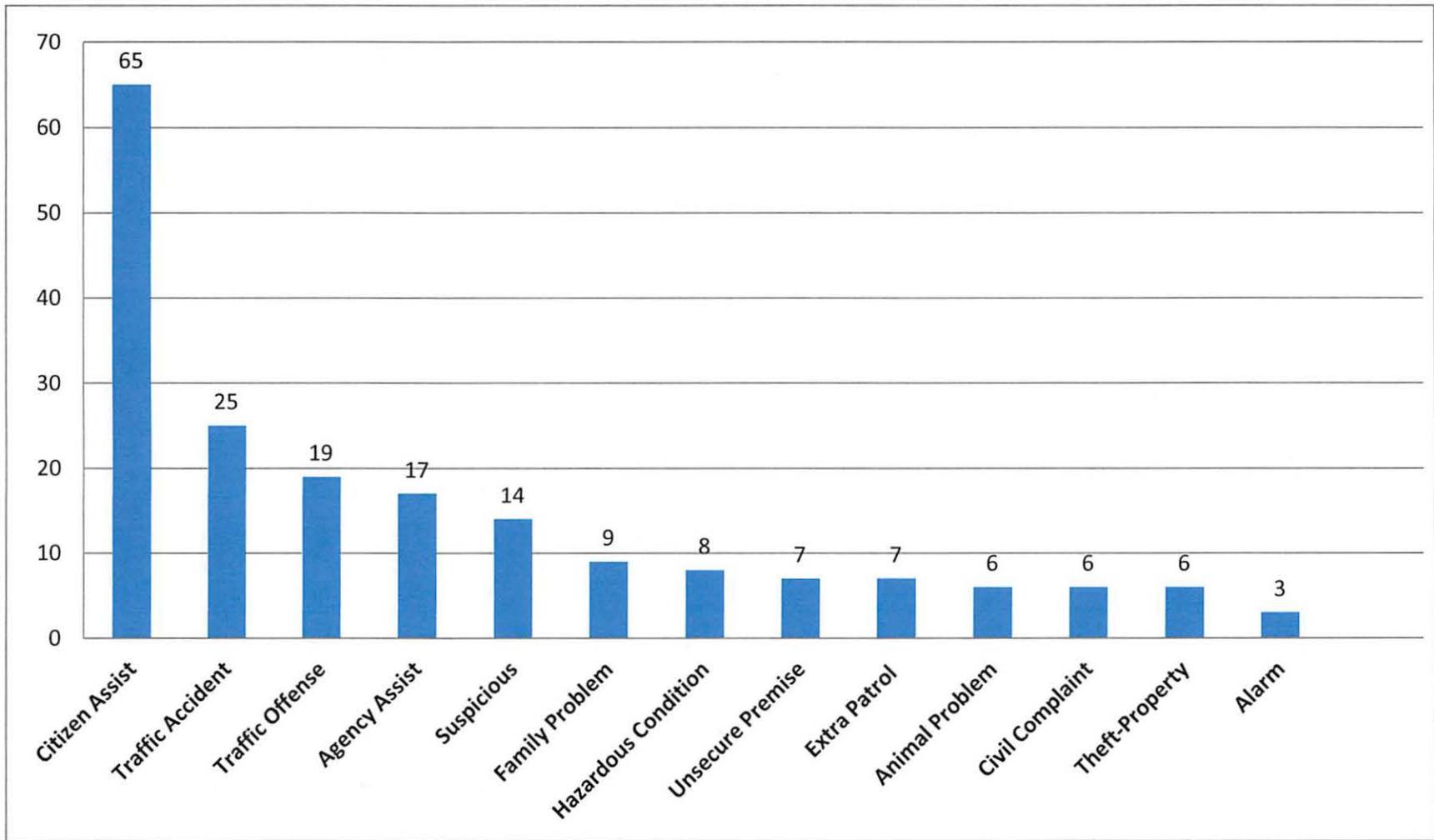
Monthly Statistics / Information

May 2015

Bluffdale Police Department 2nd Quarter Stats - Total Incidents



Bluffdale Police Department
Stats for May
2015

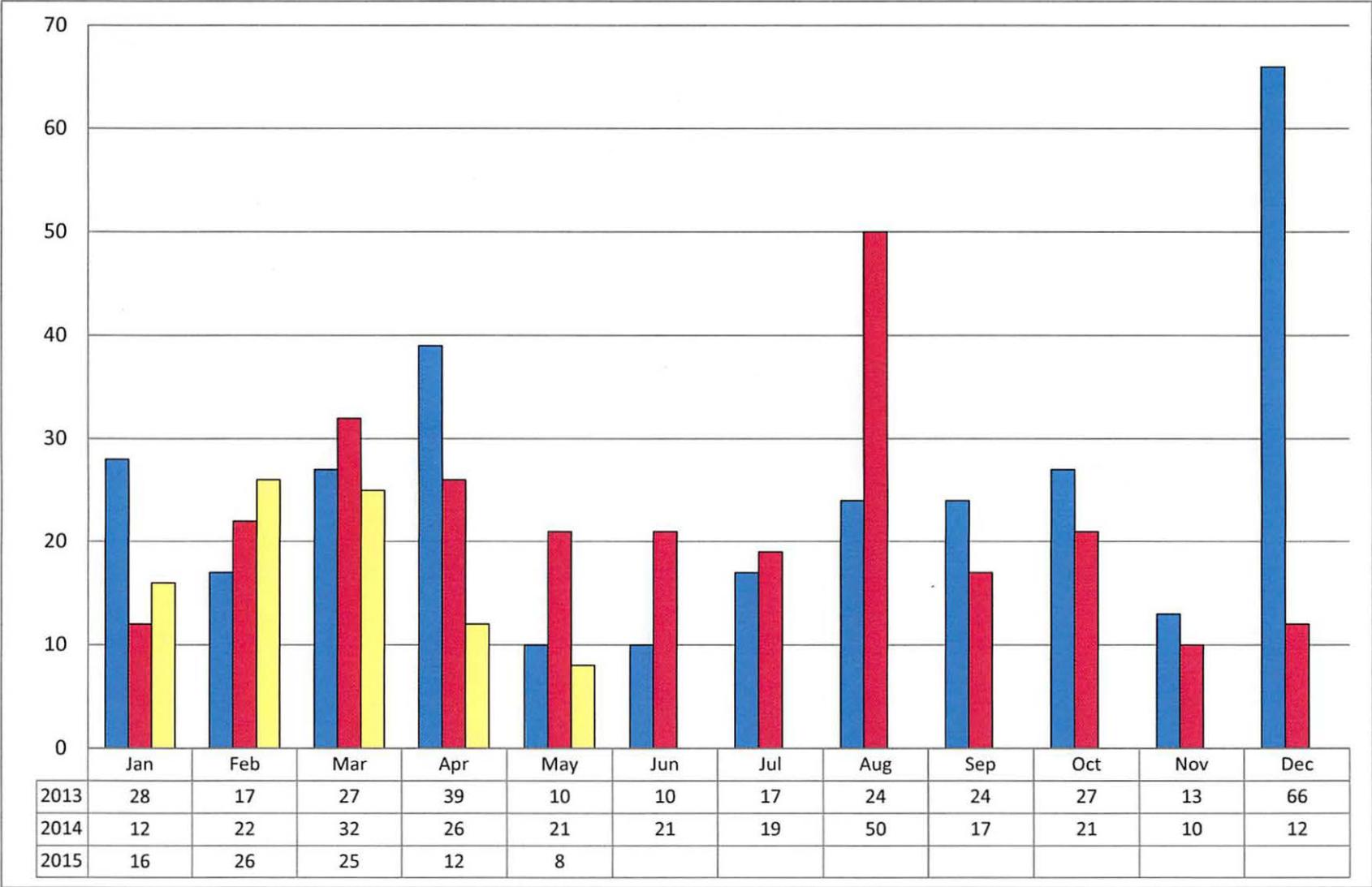


Bluffdale Police Department Total Traffic Citations



Totals
2013 - 1069 / 2014 - 872 / 2015 - 260

Bluffdale Police Department Total Arrests



Totals

2013 - 302 / 2014 - 220 / 2015 - 87

Bluffdale Police Department

Fastest CAD Call Response Times, by Nature

<u>Nature</u>	<u>Date Reported</u>	<u>Response Time</u>	<u>Officer</u>
ACCI PI 26	05/04/15	0:08:37	ROSEN
ACCI PI 26	05/13/15	0:14:55	ROSEN
ACCI PI 26	05/18/15	0:05:31	ROSEN
ACCI PI 26	05/22/15	0:10:58	ROSEN
ACCI UNKN 26	05/16/15	0:10:09	JUDSON
ACCIDENT PI	05/03/15	0:10:35	JUDSON
ASSI FIRE 26	05/04/15	**:**:**	ROSEN
ASSI FIRE 26	05/21/15	0:07:10	JUDSON
ASSI MEDI 26	05/05/15	0:11:53	ROSEN
ASSI MEDI 26	05/07/15	0:17:24	JUDSON
ASSI MEDI 26	05/07/15	**:**:**	JUDSON
ASSI MEDI 26	05/08/15	**:**:**	ROSEN
ASSI MEDI 26	05/11/15	**:**:**	JUDSON
ASSI MEDI 26	05/14/15	0:11:35	OLDHAM
ASSI MEDI 26	05/18/15	**:**:**	ROSEN
ASSI MEDI 26	05/31/15	**:**:**	JUDSON
ASSI MEDI 26	05/31/15	**:**:**	JUDSON
DIST 26	05/26/15	0:03:46	HARWARD
DIST FAMI 26	05/07/15	0:05:11	HARWARD
DIST FAMI 26	05/21/15	0:04:23	JUDSON
DIST FAMI 26	05/23/15	0:05:37	ROSEN
DIST FAMI 26	05/28/15	0:09:02	ROSEN
FIRE POWE LI DD	05/05/15	0:10:06	ROSEN
FULL ARREST	05/13/15	0:05:04	ROSEN
GSW STAB	05/29/15	0:06:09	JUDSON
MEDICAL DD	05/03/15	**:**:**	JUDSON
MISS CHIL 26	05/11/15	0:09:09	HARWARD
SEX OFFE IP 26	05/20/15	0:06:47	HARWARD
THRE SUIC 26	05/28/15	0:13:29	TAYLOR
AVG. ALL CALLS		0:08:55	

TOTAL REPORTED: 29

: = Not possible to calculate elapsed time

Report Includes: All dates between "00:00:00 05/01/15 and 00:00:00 06/01/15"

Priorities Matching "1". All Units matching "181*" All agencies/zones matching "BDPD".



SARATGOGA SPRINGS/ BLUFFDALE POLICE DEPARTMENT

Chief Andrew Burton

"Commitment to Service"

BLUFFDALE DIVISION MONTHLY SUMMARY

May 2015

Bluffdale Officers received (265) incidents assigned to them this month. Among the cases involving Investigations/Patrol Units were; (0) burglaries, (5) vehicle burglaries, cases involving thefts and frauds, (0) cases involving domestic violence, (6) vehicle theft, (1) sex offenses, (0) mental subject, (2) weapons offenses, (0) child abuse cases, (1) criminal mischief cases, (0) missing person, (0) death investigation, (0) robbery, (2) stalking cases and (0) assault cases.

Investigations are continuing to follow up on (87) active cases. Also, (11) cases have been screened with the District Attorney and the City Attorney and (11) cases were closed with arrests being made. Case load for May was a particularly busy month for Suspicious Calls (22) Alarms (23), Traffic Offenses (16) and Traffic Accidents (27)

VOLUNTEERS IN POLICE SERVICES

Volunteers In Police Services helped with the Courts and patrolling the City of Bluffdale during the month of May 2015.



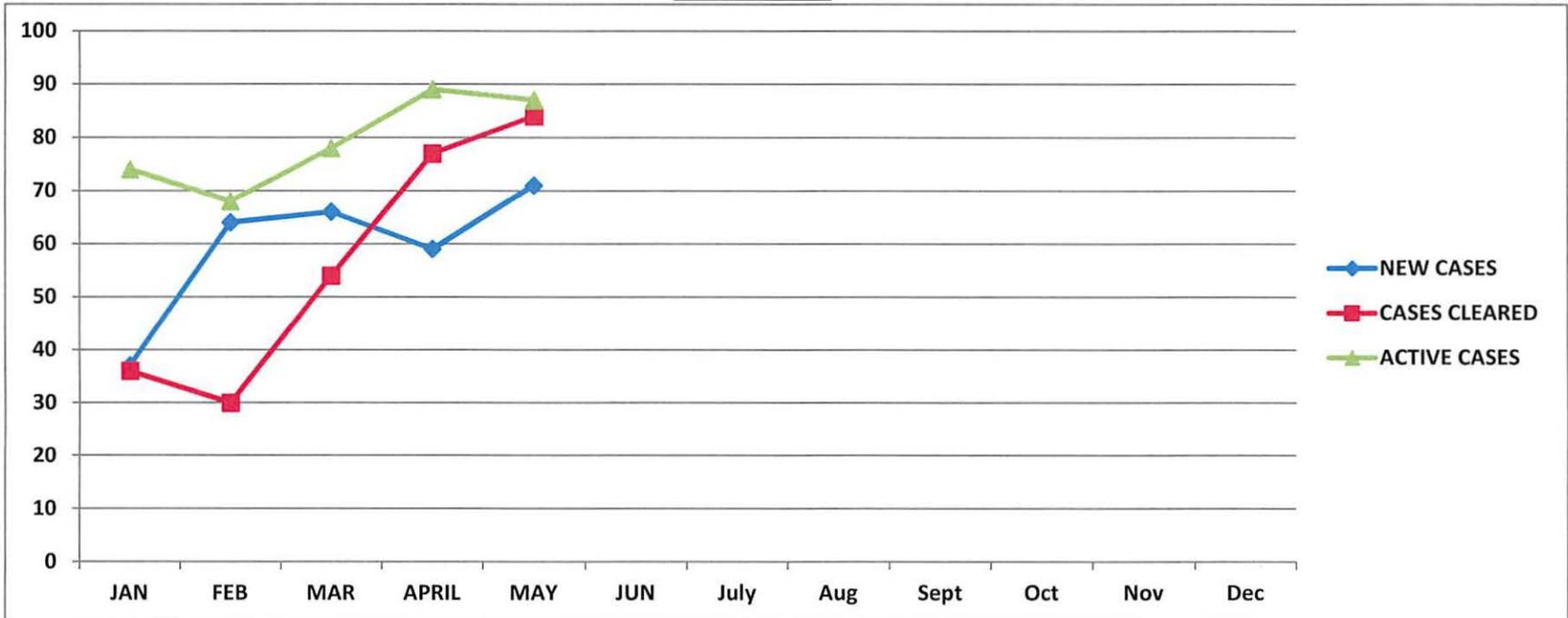
BLUFFDALE POLICE DEPARTMENT
Investigations Division Monthly Summary
 May 2015

INVESTIGATOR	New Assigned Cases	Cases Completed	Cleared by Arrest	Authored Warrants	Cases Screened	Active Cases	School Education	Composite Drawings	Photo Line-up	Call Outs
Taylor	21	21	0	0	0	2	0	0	0	3
Stidham	30	36	8	2	8	50	0	0	0	4
Rosen-CIT/SRO	8	19	3	0	3	27	17	0	0	0
N. Nelson	12	8	0	0	0	8	0	0	0	0
Monthly Total	71	84	11	2	11	87	17	0	0	7
Previous Month	59	77	5	0	7	89	18	0	2	3
Year-to-date	297	281	38	11	40	396	57	0	5	15
2010 End of year (6 months)	245	75	31	11	24	137				27
2011 End of year	469	489	117	33	137	83				104
2012 End of year	350	306	79	13	75	222				28
2013 End of year	287	203	65	19	66	488				14
2014 End of year	409	483	87	25	82	1441				28



BLUFFDALE POLICE DEPARTMENT
MONTHLY CASE STATISTICS

May 2015



2014	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec
New Cases	37	64	66	59	71							
Cases Cleared	36	30	54	77	84							
Active Cases	74	68	78	89	87							

TOTALS	2013-Year End	2014-Year End	2015-Year End	2016-Year End
New Cases	287	409		
Cases Cleared	203	483		
Active Cases	488	1441		

Volunteers In Police Services

Hours for May 2015

VOLUNTEER	HOURS
Bell, Mark	12.00
Anderson, Tami	0.00
McCarthy, Curtis	5.00
Nelson, Sharron	2.50
Wheeler, Harmonie	0.00
Ken Farley	2.50
Total	22.00

CATEGORIES	HOURS
L.I.D.A.R.	0.00
Vacation Checks	0.00
Traffic Control	0.00
VIPS Patrol	10.00
Justice Court	12.00
Document Delivery / Summons Service	0.00
Vehicle transportation and Service	0.00
Ride-a-Longs	0.00
Training	0.00
Office / Investigations / Fingerprinting	0.00
Special Assignment/Events	0.00
Commercial Vehicle Inspections(CVI)	0.00

TOTAL HOURS FOR May 2015 22.00 Hours

TOTAL HOURS FOR THE YEAR 2015 86.50 Hours

A coalition of approximately 550 charities, foundations and corporate giving programs, calculated an hourly dollar value of a volunteer's time. The current value in Utah is \$20.25. For 2015, the dollar value for the time donated by the volunteers of the Bluffdale Police Department -

\$1,407.38

TOTAL HOURS FOR 2015... 64.50 hours

Hourly dollar value for volunteer's since inception - August, 2011

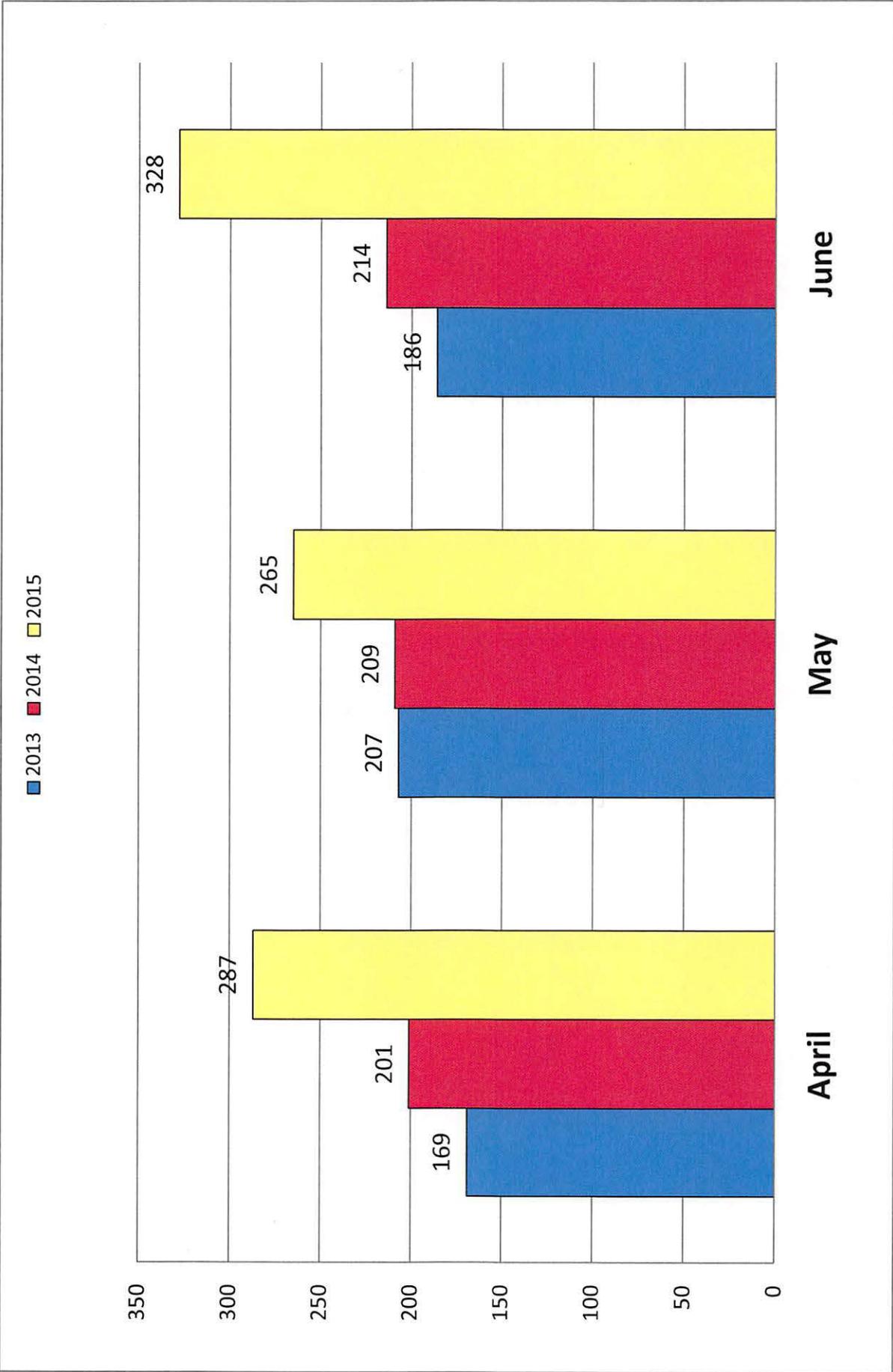
\$32,241.00



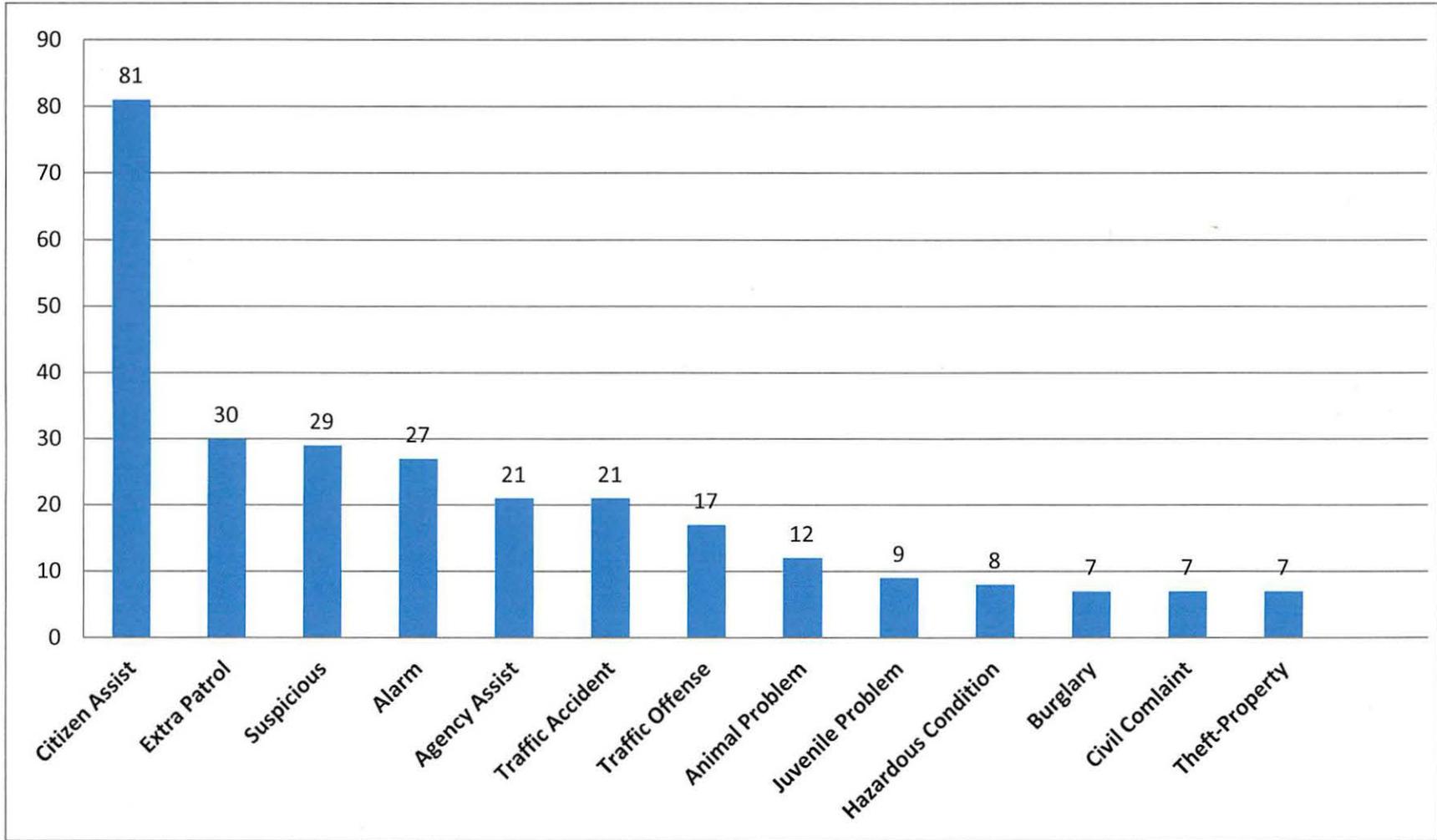
Bluffdale Police

Monthly Statistics / Information

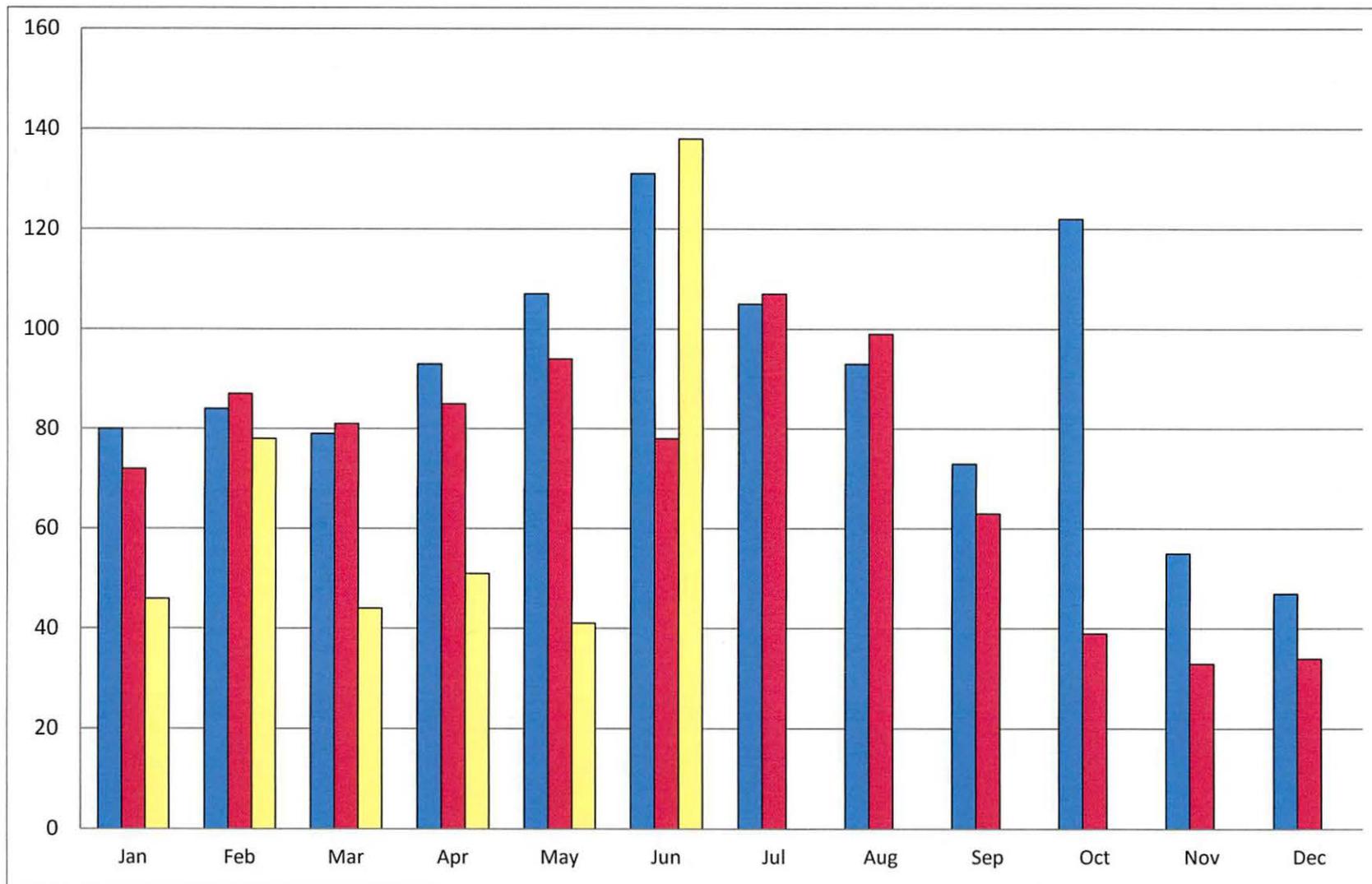
June 2015



**Bluffdale Police Department
Stats for June
2015**

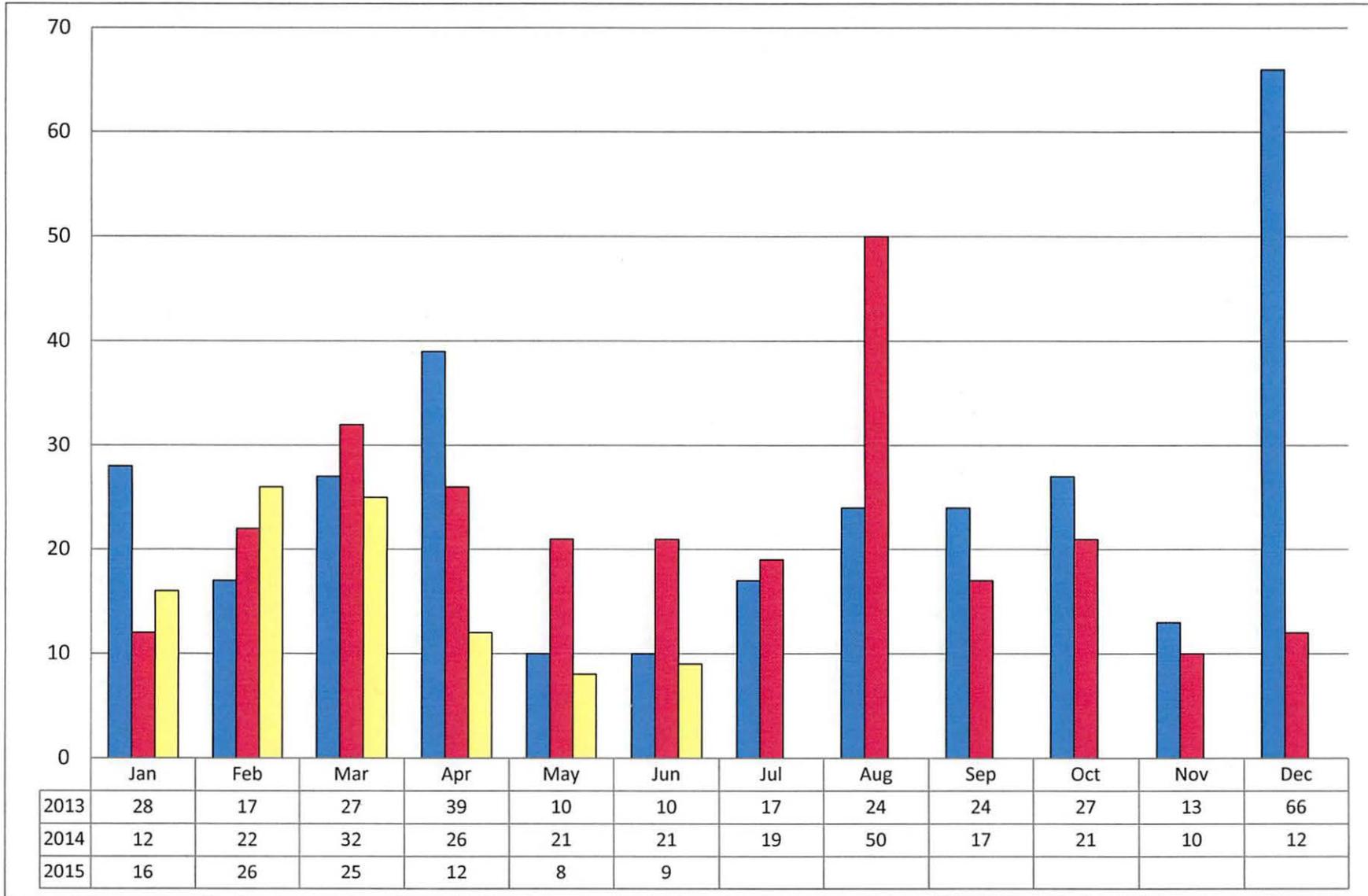


Bluffdale Police Department Total Traffic Citations



Totals
2013 - 1069 / 2014 - 872 / 2015 - 398

Bluffdale Police Department Total Arrests



Totals
2013 - 302 / 2014 - 220 / 2015 - 96

Bluffdale Police Department

Fastest CAD Call Response Times, by Nature

<u>Nature</u>	<u>Date Reported</u>	<u>Response Time</u>	<u>Officer</u>
ACCI PI 26	06/10/15	0:05:29	CHUCHRAN
ACCI PI 26	06/13/15	0:06:32	JUDSON
ACCI PI 26	06/14/15	0:07:54	JUDSON
ACCI PI 26	06/26/15	0:08:08	JUDSON
ASSA IP 26	06/08/15	0:09:49	HARWARD
ASSA IP 26	06/29/15	**.*.*.*	HILL
ASSI FIRE 26	06/03/15	**.*.*.*	OLDHAM
ASSI FIRE 26	06/04/15	**.*.*.*	JUDSON
ASSI FIRE 26	06/06/15	0:04:33	OLDHAM
ASSI FIRE 26	06/07/15	**.*.*.*	OLDHAM
ASSI FIRE 26	06/14/15	0:05:17	CHUCHRAN
ASSI FIRE 26	06/19/15	**.*.*.*	CHUCHRAN
ASSI FIRE 26	06/26/15	0:11:08	JUDSON
ASSI FIRE 26	06/30/15	0:09:32	HILL
ASSI MEDI 26	06/05/15	0:02:23	OLDHAM
ASSI MEDI 26	06/10/15	**.*.*.*	CHUCHRAN
ASSI MEDI 26	06/18/15	0:07:06	JUDSON
ASSI MEDI 26	06/21/15	**.*.*.*	HILL
BACKUP 26	06/25/15	0:00:01	ROSEN
DEAT INVE 26	06/18/15	**.*.*.*	ROSEN
DIST 26	06/02/15	0:10:14	OLDHAM
DIST 26	06/17/15	0:04:06	CHUCHRAN
DIST 26	06/21/15	0:09:11	OLDHAM
DIST 26	06/27/15	0:07:45	CHUCHRAN
DIST FAMI 26	06/02/15	0:05:10	OLDHAM
DIST FAMI 26	06/04/15	**.*.*.*	CHUCHRAN
DIST FAMI 26	06/05/15	0:12:32	ROSEN
DOME VIOL IP 26	06/07/15	**.*.*.*	ROSEN
DOME VIOL IP 26	06/10/15	0:07:29	ROSEN
DOME VIOL IP 26	06/10/15	0:19:10	HILL
DOME VIOL IP 26	06/29/15	0:02:58	HARWARD
MEDICAL DD	06/09/15	0:05:18	HARWARD
MEDICAL DD	06/14/15	**.*.*.*	JUDSON
MEDICAL DD	06/20/15	0:15:03	HILL
OVERDOSE	06/13/15	0:17:00	CHUCHRAN
THRE SUIC 26	06/19/15	0:11:03	HILL
AVG. ALL CALLS		0:08:11	

TOTAL REPORTED: 36

**.*.* = Not possible to calculate elapsed time

Report Includes: All dates between "00:00:00 06/01/15 and 00:00:00 07/01/15"

Priorities Matching "1". All Units matching "181*" All agencies/zones matching "BDPD".



SARATGOGA SPRINGS/ BLUFFDALE POLICE DEPARTMENT

Chief Andrew Burton

"Commitment to Service"

BLUFFDALE DIVISION MONTHLY SUMMARY

June 2015

Bluffdale Officers received (328) incidents assigned to them this month. Among the cases involving Investigations/Patrol Units were; (5) burglaries, (4) vehicle burglaries, cases involving thefts and frauds, (2) cases involving domestic violence, (5) vehicle theft, (1) sex offenses, (0) mental subject, (0) weapons offenses, (1) child abuse cases, (5) criminal mischief cases, (2) missing person, (0) death investigation, (0) robbery, (0) stalking cases and (0) assault cases.

Investigations are continuing to follow up on (97) active cases. Also, (9) cases have been screened with the District Attorney and the City Attorney and (9) cases were closed with arrests being made. Case load for June was a particularly busy month for Suspicious Calls (38) Alarms (27), Traffic Offenses (15) and Traffic Accidents (23)

VOLUNTEERS IN POLICE SERVICES

Volunteers In Police Services helped with the Courts and patrolling the City of Bluffdale during the month of June 2015.



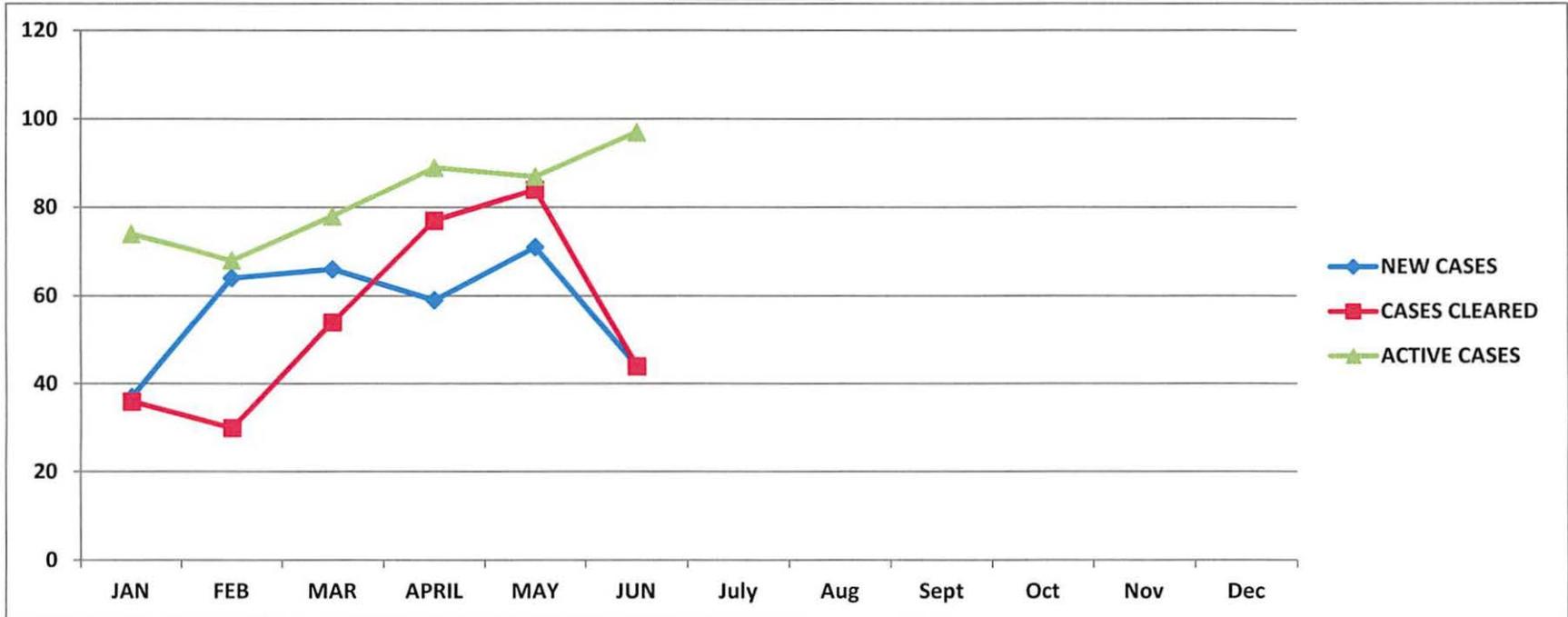
BLUFFDALE POLICE DEPARTMENT
Investigations Division Monthly Summary
 June 2015

INVESTIGATOR	New Assigned Cases	Cases Completed	Cleared by Arrest	Authored Warrants	Cases Screened	Active Cases	School Education	Composite Drawings	Photo Line-up	Call Outs
Taylor	10	2	2	0	2	10	0	0	0	1
Stidham	5	5	2	0	2	50	0	0	0	0
Rosen-CIT/SRO	7	18	3	0	3	16	6	0	0	0
N. Nelson	22	19	2	0	2	11	0	0	0	0
Monthly Total	44	44	7	0	9	97	6	0	0	1
Previous Month	71	84	11	2	11	87	17	0	0	7
Year-to-date	341	325	45	11	49	493	63	0	5	16
2010 End of year (6 months)	245	75	31	11	24	137				27
2011 End of year	469	489	117	33	137	83				104
2012 End of year	350	306	79	13	75	222				28
2013 End of year	287	203	65	19	66	488				14
2014 End of year	409	483	87	25	82	1441				28



BLUFFDALE POLICE DEPARTMENT
MONTHLY CASE STATISTICS

June 2015



2014	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec
New Cases	37	64	66	59	71	44						
Cases Cleared	36	30	54	77	84	44						
Active Cases	74	68	78	89	87	97						

TOTALS	2013-Year End	2014-Year End	2015-Year End	2016-Year End
New Cases	287	409		
Cases Cleared	203	483		
Active Cases	488	1441		

Agenda Item 6

REQUEST FOR CITY COUNCIL ACTION

To: Mayor and City Council
From: Jennifer Robison, Associate Planner
Date: 16 July 2015
Business Date: 22 July 2015
Subject: Text Amendment for Chapter 12-5-3(F) regarding roads and streets in the Bluffdale City Code
Staff Presentation: Grant Crowell
Applicant Presentation: Dave Tolman, representing Westgate Partners, LLC

RECOMMENDATION:

On July 15, 2015, the Planning Commission recommended denial for the Text Amendment Application 2015-32, subject to the findings as presented in the staff report dated July 10, 2015 by vote 3-0.

BACKGROUND AND SUMMARY:

The Planning Commission considered the Preliminary and Final Subdivision Plat Applications for Westgate Aclaime at Independence for 266 lots and made recommendation to the City Council on May 6, 2015. The City Council approved the applications on May 13, 2015 with 15 conditions of approval. The applicant is now requesting to amend the City's Land Use Ordinance as it relates to and would be applied to the following condition of approval:

1. That pursuant to Section 12-5-3(F) of the Bluffdale City Code the subdivision shall be limited to 30 building permits until the secondary access can be provided legally and physically.

During the presentation of the Preliminary and Final Plat Applications, the Council discussed with the applicant the secondary access during the deliberation of the plat approvals and provided clarity that if the applicant could provide a 20 foot temporary access with 1 ½ inches of asphalt and the access be unobstructed, all 266 units would be eligible for building permits, pursuant to the Land Use Ordinance.

TEXT AMENDMENT AS PROPOSED BY APPLICANT:

12-5-3: ROADS AND STREETS:

F. Ingress and Egress:

1. In order to provide adequate emergency access to and from the development and proper circulation, two (2) points of ingress and egress will be required in all subdivisions with the following exceptions: (Ord. 2001-05, 4-24-2001)
 - a. Any subdivision, or portion of a subdivision, which cannot provide two (2) points of ingress and egress in a practical manner shall be limited to no more than thirty (30) residential lots or units; provided, that in no case shall the single ingress/egress exceed a maximum of one thousand feet (1,000') in length, regardless of the number of dwelling units accessing from it.
 - b. A subdivision, or portion of a subdivision, which will be served by more than one point of ingress and egress in the future may receive approval for no more than thirty (30) residential lots or units until a second point of ingress and egress is provided and so indicated on the final plat; provided, that in no case shall the single ingress/egress exceed a maximum of one thousand feet (1,000') in length, regardless of the number of dwelling units accessing from it. (Ord. 2012-10, 9-25-2012)

c. A temporary second point of emergency ingress and egress to permit more than thirty (30) residential lots or units may be permitted with the approval of the City Council. Any subdivision providing an emergency temporary second point of ingress and egress shall be subject to the following conditions:

- (1) The second access shall be reviewed and approved in writing by the fire chief and city engineer.
- (2) The second point of access may be across a public or private access that may be secured with a locked gate where the lock is immediately accessible to emergency personnel. shall provide continuous and unobstructed access to and from the subdivision until which time a permanent access is completed. The use of a locked gate along a temporary second point of access within the boundaries of, or which services property related to, the original Independence at Bluffdale Development Agreement (dated December 11, 2007) shall be acceptable due to the prior approvals of traffic/road configurations in this area. All other properties within the City limits shall provide continuous and unobstructed access to and from the subdivision until which time a permanent access is completed.
- (3) The second point of access may cross private property, but must connect the subdivision to an improved public right of way.
- (4) The second access shall be hard surfaced with at least one and one-half inches (1½") of asphalt prior to October 1 of the year construction began. The asphalt must be a minimum of twenty feet (20') in width.

2. The second point of ingress and egress shall be located in a future right of way unless it can be shown that the second point of access in another location is preferable to the satisfaction of the city engineer and fire chief such as a temporary second point of access that crosses private property as provided in Section 12-5-3 F.1.c (3)-

3. Emergency service providers, including the fire chief and police officials, must approve the street design in any subdivision with only one point of ingress and egress.

PLANNING COMMISSION FINDINGS FOR APPLICATION DENIAL:

1. That more evidence was needed from public safety officials regarding the access to mitigate safety concerns.
2. That written evidence is provided by the owner of the gate for the City to have access to use the gate in case of emergencies.
3. That the degree of the proposed amendments is a substantial deviation from the 30 lots or units on a single access ordinance requirement.
4. That the safety of residents in the Westgate subdivision would be exponentially impacted for emergency vehicles and personnel to access this area from an obstructed secondary access point.
5. That the secondary access includes the crossing of a canal which in the current state may not support the weight of emergency vehicles.
6. That the practical manner for emergency personnel to access the locked gate for the secondary access would be difficult to manage.
7. With the scale of the development without a secondary access, all construction and residential traffic will be routed through the Independence at the Point subdivisions to Heritage Crest Way or Porter Rockwell Boulevard. Traffic concerns of congestion and speed on Noell Nelson Drive (1000 West) and other residential streets within Independence have routinely been presented to the City by current residents in public

meetings.

PREVIOUS LEGISLATIVE ACTION

- May 13, 2015: City Council approved the Preliminary and Final Subdivision Plats for Westgate – Aclaime at Independence.
- September 23, 2014: City Council approved Ordinance 2014-14 for the Development Agreement for the Westgate Property and Neighborhood.

SUPPORTING DOCUMENTS

- Staff report to Planning Commission, with exhibits.



Development Review Committee
14175 South Redwood Road
Bluffdale, UT 84065
801.254.2200(o) 801.446.8642(f) TTY 7-1-1

DRC STAFF REPORT
10 July 2015

To: City of Bluffdale Planning Commission
Prepared By: Jennifer Robison, Associate Planner, on behalf of the DRC

Re: Text Amendment for Chapter 12-5-3(F) Roads and Streets of the Bluffdale City Code
Application No.: 2015-32
Applicant(s): David Tolman representing Westgate Partners, LLC
Project Location: Approximately 14800 South Noell Nelson Drive (1000 West)
General Plan: Mixed Use
Zoning: Mixed Use* (as modified by the Independence at the Point Development Agreement specific provisions, as amended)
Request: To amend Chapter 12-5-3(F) of the Bluffdale City Code to allow a temporary emergency second point of ingress and egress for more than (30) residential lots under certain situations.

SUMMARY

The Planning Commission considered the Preliminary and Final Subdivision Plat Applications for Westgate Aclaime at Independence for 266 lots and made recommendation to the City Council on May 6, 2015. The City Council approved the applications on May 13, 2015 with 15 conditions of approval. The applicant is now requesting to amend the City's Land Use Ordinance as it relates to and would be applied to the following condition of approval:

1. That pursuant to Section 12-5-3(F) of the Bluffdale City Code the subdivision shall be limited to 30 building permits until the secondary access can be provided legally and physically.

The Applicant is proposing the language for the text amendments as follows (highlighted in RED):

12-5-3: ROADS AND STREETS:

F. Ingress and Egress:

1. In order to provide adequate emergency access to and from the development and proper circulation, two (2) points of ingress and egress will be required in all subdivisions with the following exceptions: (Ord. 2001-05, 4-24-2001)
 - a. Any subdivision, or portion of a subdivision, which cannot provide two (2) points of ingress and egress in a practical manner shall be limited to no more than thirty (30) residential lots or units; provided, that in no case shall the single ingress/egress exceed a maximum of one thousand feet (1,000') in length, regardless of the number of dwelling units accessing from it.
 - b. A subdivision, or portion of a subdivision, which will be served by more than one point of ingress and egress in the future may receive approval for no more than thirty (30) residential lots or units until a

second point of ingress and egress is provided and so indicated on the final plat; provided, that in no case shall the single ingress/egress exceed a maximum of one thousand feet (1,000') in length, regardless of the number of dwelling units accessing from it. (Ord. 2012-10, 9-25-2012)

c. A temporary second point of emergency ingress and egress to permit more than thirty (30) residential lots or units may be permitted with the approval of the City Council. Any subdivision providing an emergency temporary second point of ingress and egress shall be subject to the following conditions:

(1) The second access shall be reviewed and approved in writing by the fire chief and city engineer.

(2) The second point of access may be across a public or private access that may be secured with a locked gate where the lock is immediately accessible to emergency personnel. shall provide continuous and unobstructed access to and from the subdivision until which time a permanent access is completed. The use of a locked gate along a temporary second point of access within the boundaries of, or which services property related to, the original Independence at Bluffdale Development Agreement (dated December 11, 2007) shall be acceptable due to the prior approvals of traffic/road configurations in this area. All other properties within the City limits shall provide continuous and unobstructed access to and from the subdivision until which time a permanent access is completed.

(3) The second point of access may cross private property, but must connect the subdivision to an improved public right of way.

(4) The second access shall be hard surfaced with at least one and one-half inches (1½") of asphalt prior to October 1 of the year construction began. The asphalt must be a minimum of twenty feet (20') in width.

2. The second point of ingress and egress shall be located in a future right of way unless it can be shown that the second point of access in another location is preferable to the satisfaction of the city engineer and fire chief such as a temporary second point of access that crosses private property as provided in Section 12-5-3 F.1.c (3)-

3. Emergency service providers, including the fire chief and police officials, must approve the street design in any subdivision with only one point of ingress and egress.

ANALYSIS

The Council and Staff understands the traffic and safety implications in this area of the City and desire the Noell Nelson Drive (1000 West) connection to 14600 South to complete a vital link in the transportation network for traffic circulation and distribution for current and future developments. The connection would provide the required secondary access for the Westgate subdivision. The secondary access as it exists today would traverse across private property and through a locked gate. The Council provided direction for Staff to begin the process of assembling property and working with individual property owners toward a construction goal for this collector road. Some of the issues are complicated, but Staff is working diligently to move this process forward.

The Council discussed with the applicant the secondary access during their deliberation of the plat approvals and provided clarity that if the applicant could provide a 20 foot temporary access with 1 ½ inches of asphalt and the access be unobstructed, all 266 units would be eligible for building permits, pursuant to the Land Use Ordinance.

DRC REVIEW AND FINDINGS:

On behalf of the City Manager, the City's staff involved in development review and administration meets together as a Development Review Committee (DRC). The DRC generally consists of the City Manager, City Attorney, City Engineer, Public Works Operations Manager, City Planner, and Fire Chief. The DRC has reviewed the

proposed text amendment language and provide the following concerns if the Text Amendment Application is approved as proposed:

1. That the degree of the proposed amendments is a substantial deviation from the 30 lots or units on a single access ordinance requirement.
2. That the safety of residents in the Westgate subdivision would be exponentially impacted for emergency vehicles and personnel to access this area from an obstructed secondary access point.
3. That the secondary access includes the crossing of a canal which in the current state may not support the weight of emergency vehicles.
4. That the practical manner for emergency personnel to access the locked gate for the secondary access would be difficult to manage.
5. With the scale of the development without a secondary access, all construction and residential traffic will be routed through the Independence at the Point subdivisions to Heritage Crest Way or Porter Rockwell Boulevard. Traffic concerns of congestion and speed on Noell Nelson Drive (1000 West) and other residential streets within Independence have routinely been presented to the City by current residents in public meetings.

MODEL MOTION

Motion for a Negative Recommendation – “I move we forward a negative recommendation to the City Council for Text Amendment Application 2015-32, based on the following findings:”

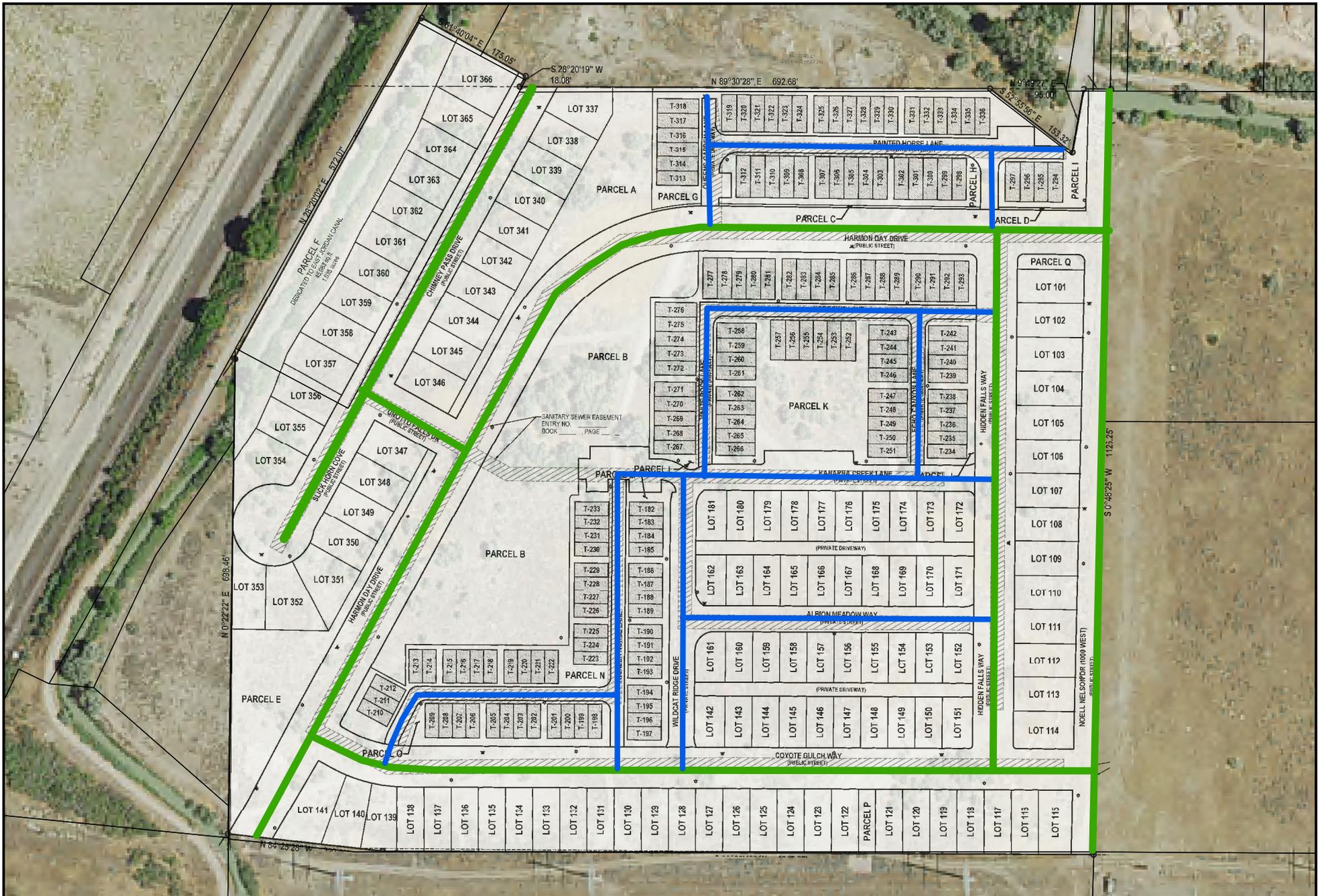
1. List all findings for denial...

Motion for a Positive Recommendation – “I move we forward a positive recommendation to the City Council for the Text Amendment Application 2015-32, subject to the conditions and based on the findings presented in the staff report dated July 10, 2015, (or as modified by the conditions below):”

1. List any additional findings and/or conditions...

Westgate Vicinity Map



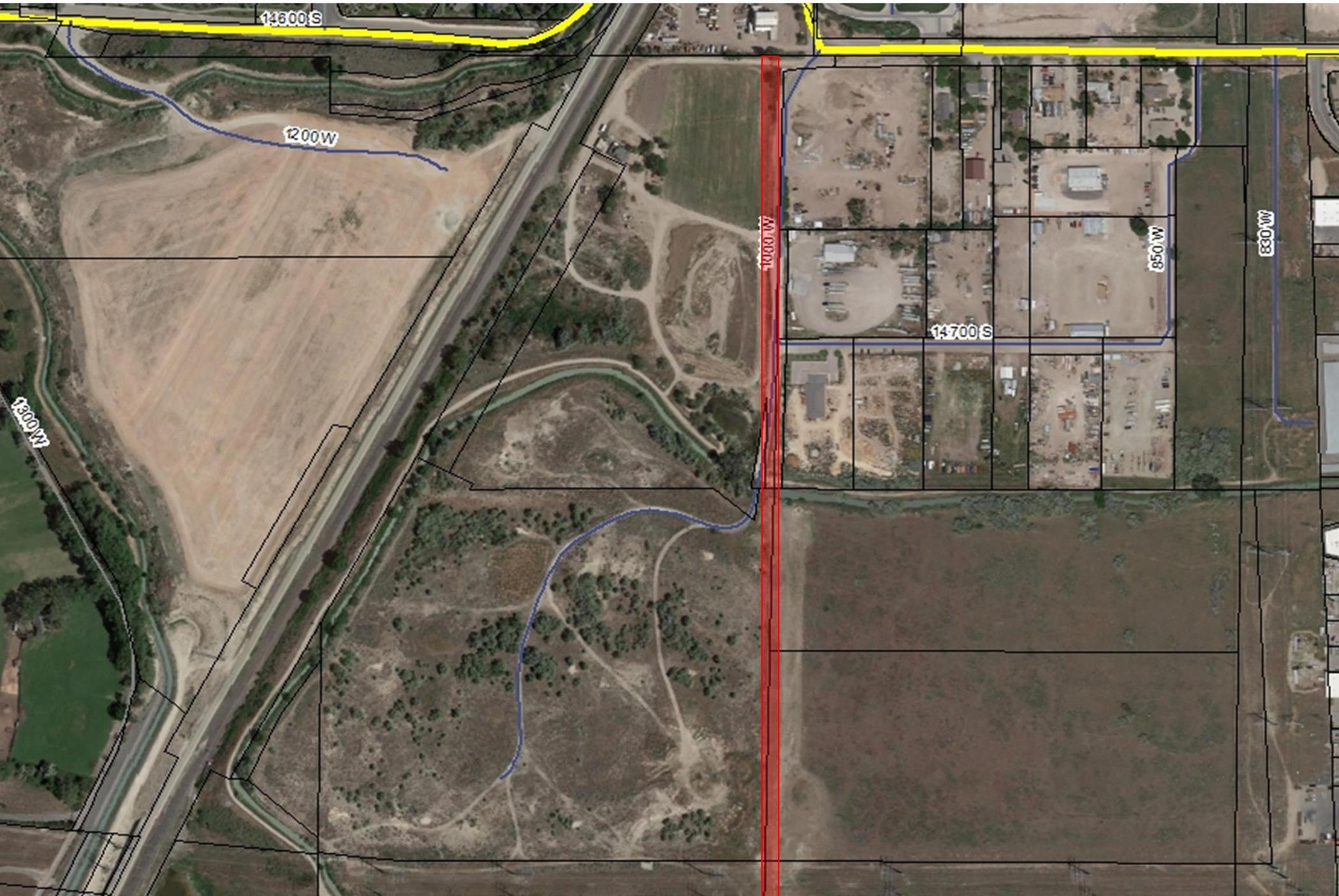


- Public
- Private

Road Jurisdiction



Noell Nelson Drive (1000 West) Extension North to 14600 South



Agenda Item 7

REQUEST FOR CITY COUNCIL ACTION

To: Mayor and City Council
From: Alan Peters, Associate Planner
Date: 16 July 2015
Business Date: 22 July 2015
Subject: Mountain Pointe Business Park Preliminary Plat
Staff Presentation: Alan Peters

RECOMMENDATION:

To approve the Mountain Pointe Business Park Preliminary Plat, application 2015-04, as recommended by the Planning Commission on July 15, 2015, subject to the following conditions:

1. That all requirements of the City Code, adopted ordinances, and building and fire codes are met and adhered to for this subdivision.

BACKGROUND:

The applicant is requesting preliminary plat approval for Mountain Pointe Business Park, a seven lot industrial office building subdivision located at 930 W 14600 S. A site plan for seven industrial buildings at this location was approved in March 2013 and construction on a single building began in March 2014. **The developer is not proposing any changes to the approved site plan**, but wishes to subdivide the site so that each phase includes its own lot and building.

The proposed subdivision includes 45.28 acres of land and seven lots ranging in size from 4.40 acres to 10.72 acres. Each lot will include an industrial office warehouse type building, parking, landscaping, and drive aisles. Lot 701 will also include additional parking and an easement for a retention pond that will handle all of the storm water for this project.

The Planning Commission's recommendation is based on the following findings:

1. That this application conforms to the City of Bluffdale Land Use ordinance requirements regarding preliminary plat approval.
2. That the proposed drainage plan has been approved and a waiver granted for the 48 hour infiltration requirement by the City Engineer.
3. That the proposed subdivision does not change the approved site plan.
4. That the proposed subdivision will not be detrimental to the health, safety, or general welfare of persons or property within the area.

PREVIOUS LEGISLATIVE/CITY ACTION:

-July 15, 2015: Planning Commission recommended approval 3-0.

SUPPORTING DOCUMENTS:

-Planning Commission Staff Report w/exhibits



Development Review Committee
14175 South Redwood Road
Bluffdale, UT 84065
(801) 254-2200 Fax (801) 253-3270 TTY 7-1-1

DRC STAFF REPORT
10 July 2015

To: City of Bluffdale Planning Commission
Prepared By: Alan Peters, Associate Planner, on behalf of the DRC

Re: Mountain Pointe Business Park Preliminary Plat
Application No.: 2015-04
Applicants: Justin Earl, ICO Development
Project Location: Approximately 930 W 14600 S
Acreage: 45.28 acres
General Plan: Light Industrial
Zoning: I-1 (Light Industrial)
Requests: Preliminary plat approval for a seven lot subdivision for an industrial office building park.

SUMMARY & BACKGROUND

The applicant is requesting preliminary plat approval for Mountain Pointe Business Park, a seven lot industrial office building subdivision located at 930 W 14600 S. A site plan for seven industrial buildings at this location was approved in March 2013 and construction on a single building began in March 2014. The intention of the developer was always to develop the site in phases, but on one large parcel. The developer now desires to proceed with the original plan but subdivide the site so that each phase includes its own lot and building. This application does not make any changes to the already approved site plan.

ANALYSIS

General Plan. The City's General Plan Land Use Map designates this property for Light Industrial. The zoning on the property, I-1 (Light Industrial), and the proposed use of the subdivision are consistent with this land use designation.

Zoning. The property is zoned I-1 (Light Industrial). The proposed subdivision complies with the requirements of this zone with regards to lot standards and landscaping. There are no proposed uses for any of the buildings, but all will be required to comply with the list of uses allowed in the I-1 zone found in Chapter 11-35 of the Bluffdale Land Use Ordinance.

Layout. The proposed subdivision is located on 45.28 acres of land on the north side of 14600 South. The subdivision includes seven total lots ranging in size from 4.40 acres to 10.72 acres. Each lot will include an industrial office warehouse type building, parking, landscaping, and drive aisles. Lot 701 will also include additional parking and an easement for a retention pond that will handle all of the storm water for this project.

Roads and Access. Access into the subdivision will be from a driveway onto 14600 S in the center of the project and an additional access on the southwest portion of lot 101 that utilizes an existing cross access easement from Center Point Business Park located to the west. All roads and driveways within the subdivision are privately owned. Vehicular circulation within the project will be through a combination of private roads and parking aisles around the perimeter of the project that will provide access to the fronts of buildings and through a main driveway aisle through the center of the project which provides access to docking bays at the rear of each building.

Storm Water. Storm water for the entire project will be retained on site. Lot 7 includes a 60,828 sq. ft., 5.5 ft. deep retention pond with a storage capacity of 290,392 cubic feet. This exceeds the storage requirement for a 100 year storm. The Bluffdale City Storm Water Design Manual suggests that retention ponds drain within 48 hours of a storm, but the soil at this site would require more time to completely rain the pond at full capacity. The applicant has requested a waiver from the City Engineer for this requirement as allowed by Section 8-6-7 of the Bluffdale Storm Water Regulations. The City Engineer has approved this waiver request on account of the unique soil characteristics of the site and the applicant's proposal to install a 6 ft. fence around the perimeter of the pond and to provide an emergency outfall system.

DRC REVIEW AND COMMENTS

On behalf of the City Manager, the City's staff involved in development review and administration meets together as a Development Review Committee (DRC). The DRC generally consists of the City Manager, City Attorney, City Engineer, Public Works Operations Manager, the City Planner, and other outside consultants as needed from time to time. The comments of the DRC members have been included in this staff report and the recommended conditions of approval for the project.

DRC STAFF RECOMMENDATION

DRC Staff recommends that the Planning Commission forward a positive recommendation to the City Council for the Mountain Pointe Business Park Preliminary Plat, application 2015-04, subject to the following conditions:

1. That all requirements of the City Code, adopted ordinances, and building and fire codes are met and adhered to for this subdivision.

This recommendation is based on the following findings:

1. That this application conforms to the City of Bluffdale Land Use ordinance requirements regarding preliminary plat approval.
2. That the proposed drainage plan has been approved and a waiver granted for the 48 hour infiltration requirement by the City Engineer.
3. That the proposed subdivision does not change the approved site plan.
4. That the proposed subdivision will not be detrimental to the health, safety, or general welfare of persons or property within the area.

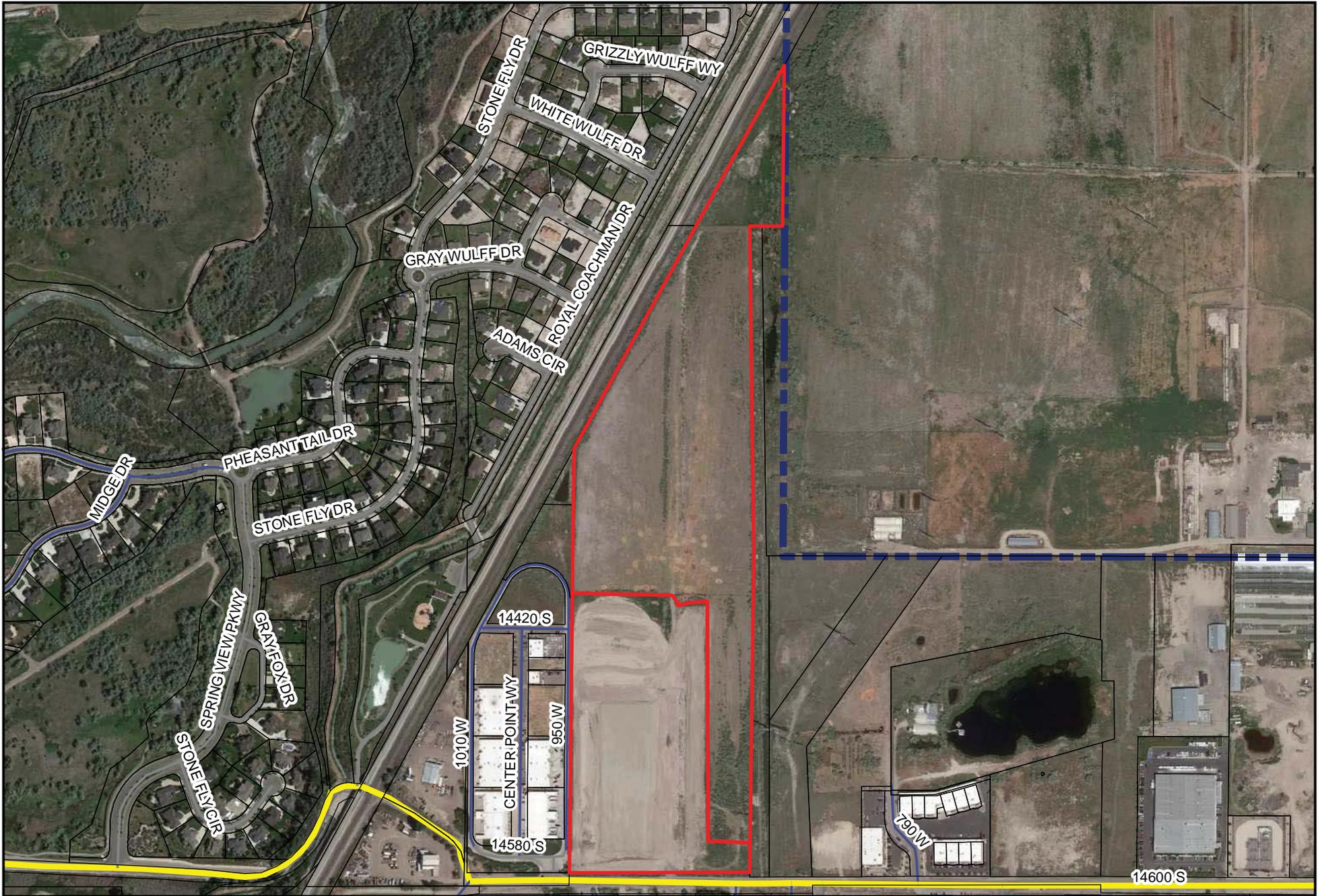
MODEL MOTIONS

Sample Motion for a Positive Recommendation – "I move we forward a positive recommendation to the City Council for the Mountain Pointe Business Park Preliminary Plat, application 2015-04, subject to the conditions and based on the findings presented in the staff report dated July 10, 2015, (and as modified by the conditions below):"

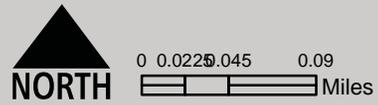
1. List any additional findings and/or conditions...

Sample Motion for a Negative Recommendation – “I move we forward a negative recommendation to the City Council for the Mountain Pointe Business Park Preliminary Plat, application 2015-04, based on the following findings:”

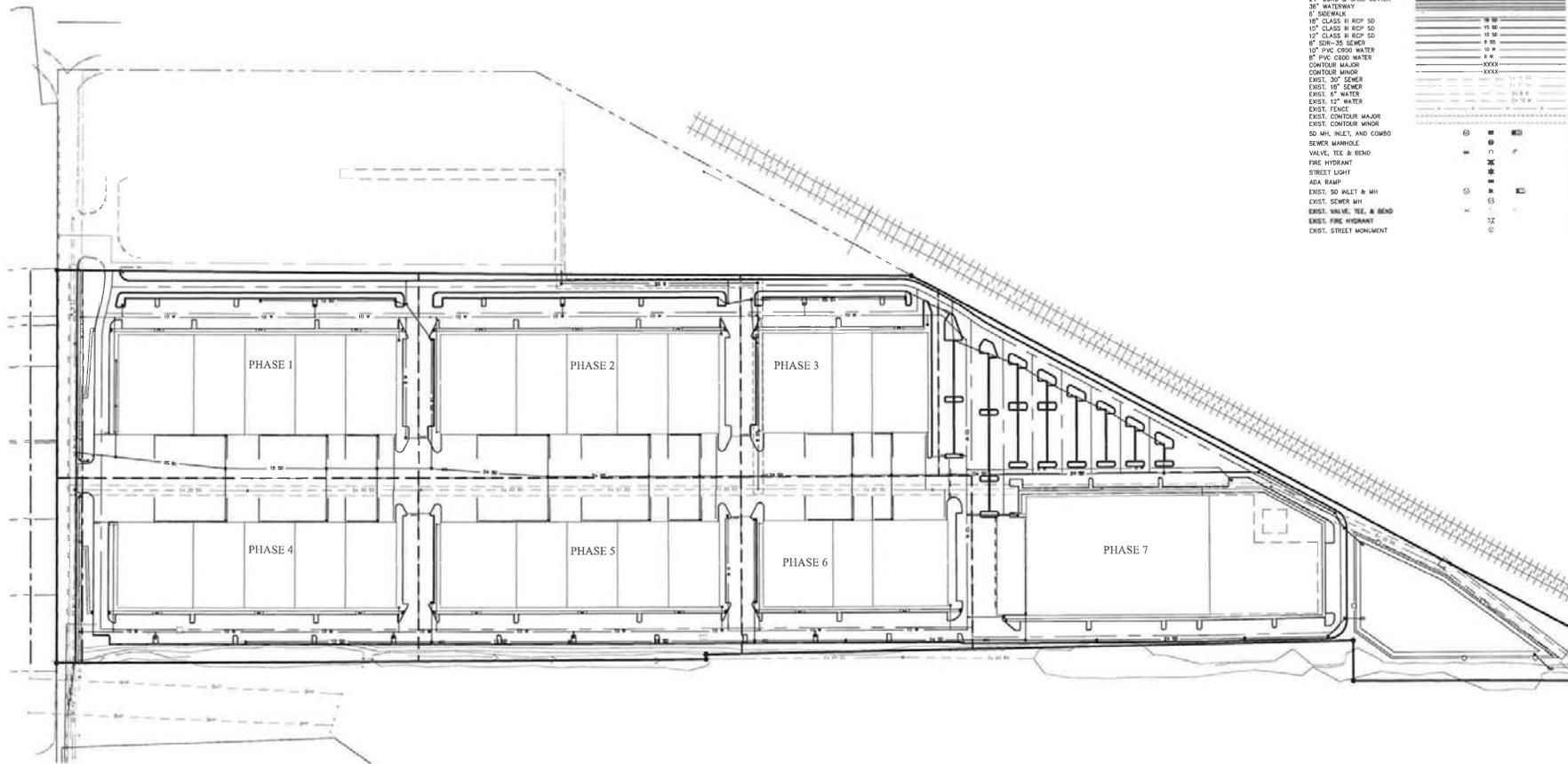
1. List all findings...



Project Location



Phasing Plan



LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- EASEMENT
- EDGE OF ASPHALT
- 6" CURB WALL
- 24" CURB & CATCH GUTTER
- 24" CURB & SHED GUTTER
- 36" WATERWAY
- 6" SIDEWALK
- 18" CLASS II RCP SD
- 15" CLASS II RCP SD
- 12" CLASS II RCP SD
- 8" SDR-35 SEWER
- 10" PVC 0500 WATER
- 8" PVC 0500 WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. 10" SEWER
- EXIST. 18" SEWER
- EXIST. 12" WATER
- EXIST. 12" WATER
- EXIST. TRENCH
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- 60 MIL. INLET AND COMBO
- SEWER MANHOLE
- VALVE, TEE & BEND
- FIRE HYDRANT
- STREET LIGHT
- ADA RAMP
- EXIST. 60 INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- EXIST. STREET MONUMENT



PHASING CONSTRUCTION NOTES:

1. A SEWER STUB WILL BE CONSTRUCTED TO EACH BUILDING WITH THE CURRENT PHASE UNLESS THE SEWER STUB IS LOCATED IN THE CONCRETE TO BE INSTALLED WITH A PREVIOUS PHASE. IT IS RECOMMENDED THAT WITH EACH PHASE BOTH THE SEWER LATERAL FOR THE CURRENT PHASE AND THE ADJACENT PHASE CONSTRUCTED AS SHOWN ON SHEETS CH-13. AN EASEMENT FOR THE SEWER CONNECTION TO CENTER POINT BUSINESS PARK WILL BE PROVIDED AND IT IS THE RESPONSIBILITY OF THE OWNERS OF CENTER POINT BUSINESS PARK TO CONSTRUCT THEIR SEWER OUTFALL.
2. WATER STUBS TO EACH ADDITIONAL PHASE WILL BE CONSTRUCTED WITH CONSTRUCTION VALVES AND STUBBED, CAPPED AND MARKED FOR THE FUTURE CONNECTION. THE CONSTRUCTION VALVES FROM PREVIOUS PHASES MAY BE USED IF DEEMED ACCEPTABLE BY THE CONTRACTOR.
3. THE STORM DRAIN WILL BE STUBBED AT THE END OF EACH PHASE WITH A FLARED END SECTION AND A 90-DEGREE PAD THAT WILL DISCHARGE INTO A TEMPORARY DRAINAGE SWALE TO BE CONSTRUCTED ALONG THE FUTURE STORM DRAIN LINE THAT WILL DIRECT FLOWS TO THE DETENTION FOND THAT WILL BE CONSTRUCTED WITH PHASE 1. A DETAIL OF THE TEMPORARY DRAINAGE SWALE IS SHOWN ON SHEETS CH-C10.

BENCHMARK
 CENTER OF SECTION 11,
 TOWNSHIP 4 SOUTH RANGE 3 WEST
 SALT LAKE BASE & MERIDIAN
 N: 10,000.00
 E: 10,000.00
 ELEV: 4463.91



FOCUS
 ENGINEERING AND SURVEYING, LLC
 502 WEST 800 SOUTH
 SANDY, UT 84088 PH: (801) 552-8075
 WWW.FOCUSUT.COM



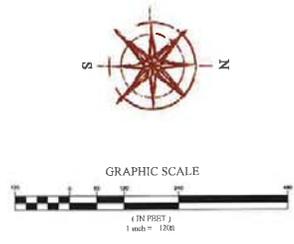
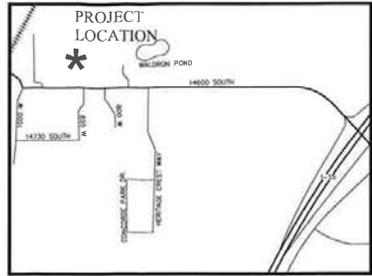
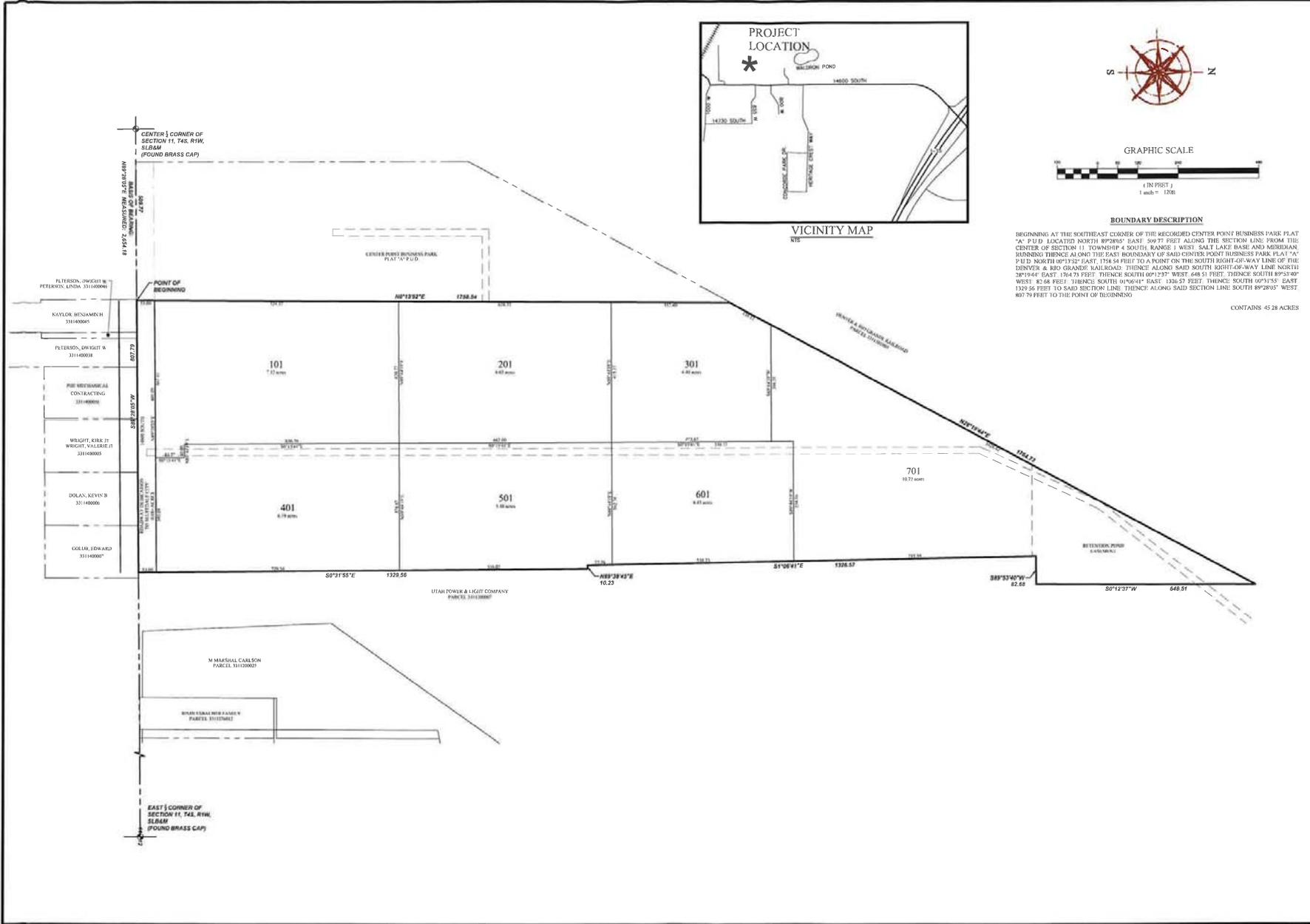
Mountain Pointe Business Park Phasing Plan

NO.	DATE	DESCRIPTION

PHASING PLAN

Scale: 1" = 40'	TRM
Date: 07/11/15	AD: 12-063
C16	

Preliminary Plat



Mountain Pointe Business Park Preliminary Plat

NO.	DATE	DESCRIPTION

TO: Bluffdale City Engineering Department

FROM: ICO Development

DATE: April 8, 2015

Storm Drainage Standard Waiver Request

By way of this letter, ICO Development formally requests an exception from the Bluffdale City Engineering Department with regard to the Mountain Pointe Business Center retention drainage system. Specifically, ICO Development requests a waiver regarding the 48-hour infiltration period standard on account of site specific geotechnical conditions. In informal conversations with Focus Engineering, Bluffdale City engineers have already expressed support for the waiver, and encouraged ICO Development to pursue the formal process of this waiver request.

The stated engineering standard for infiltration in the Bluffdale City Storm Water Design Manual suggests that a retention pond "...drains within 48 hours of the completion of the design storm." The purpose of this restriction is to "...prevent unwanted animal and vegetative problems, as well as to reduce hazards to the public..."

According to the United States Department of Agriculture (USDA), the Mountain Pointe Business Center project site sits atop a layer of silty clay loam which has an estimated saturated infiltration rate (K_{sat}) of 0.06 to 0.20 inches per hour. The storage requirement for the 24-hour 100-year storm has been calculated to be 270,524 cubic feet. The proposed retention pond has been designed to handle 290,392 cubic feet of storm water in a pond that is approximately 60,828 square feet in size and 5.5 feet deep. Based on the estimated saturated infiltration rate, it is not possible that the retention pond can drain within the required 48 hour period, even though the size and depth of the pond are typical to general engineering practices. In order to accommodate this 48-hour infiltration requirement in an area with this type of soil and for a project of this size, a retention pond would need to be about 4.5 inches deep. This will increase the retention pond size from 1.5 acres to about 15 acres, a 900% increase. As a result, nearly 1/3 of the site would need to be diverted away from developable acreage, which would provide buildings for economic development and jobs, and purposed for the retention pond. Clearly, the feasibility of developing such a project with these soils conditions would be unnecessarily diminished if the 48-hour infiltration standard were to be adhered to.

ICO Development is fully committed to building a safe, top-tier industrial business park that will greatly benefit Bluffdale City. The purpose of this waiver request is to preserve the intent of the engineering standard, while still maintaining safety standards for the public. For this reason, ICO Development has taken into consideration the type and use of neighboring properties. The Mountain Pointe Business Center is bordered by a light industrial site to the west, a railroad line to the northwest, an undeveloped light manufacturing zone to the northeast, and an undeveloped commercial property to the east. The subject retention pond is not near an area where heavy public interaction can be expected. Notwithstanding this fact, ICO Development proposes to take security measures above and beyond what would be normally expected to ensure public safety. ICO Development will install 6.0-foot fence around the perimeter of the retention pond an emergency drainage outfall mechanism. The emergency outfall system will remain closed except in the event that the pond is full and it is deemed necessary to drain the pond to protect the public from hazards related standing water.

Waiver Request

The subject retention pond is a benefit to Bluffdale City as it has been designed to capture 100% of the storm runoff from the current and future project phases *and* the storm runoff from approximately 33,000 square feet from the public road 14600 South.

Since the Mountain Pointe Business Center's retention pond is a great benefit not only to the project itself, but also to Bluffdale City, ICO Development requests and recommends that an exception be granted to the infiltration standard.

Bluffdale City's time and consideration is much appreciated. Thank you!



Justin Earl
Director of Development
ICO Development, LLC
3340 N. Center Street
Lehi, Utah 84043
Cell: 801-971-7400
justine@ico-development.com

ICO CONFIDENTIAL: This document is RESTRICTED, CONFIDENTIAL, may be subject to a LEGAL PRIVILEGE, and is given in trust intended solely for the recipient to whom it is given. Unauthorized use, access, copying, disclosure, dissemination, distribution, or other form of reproduction of this information is strictly prohibited. Thank you.

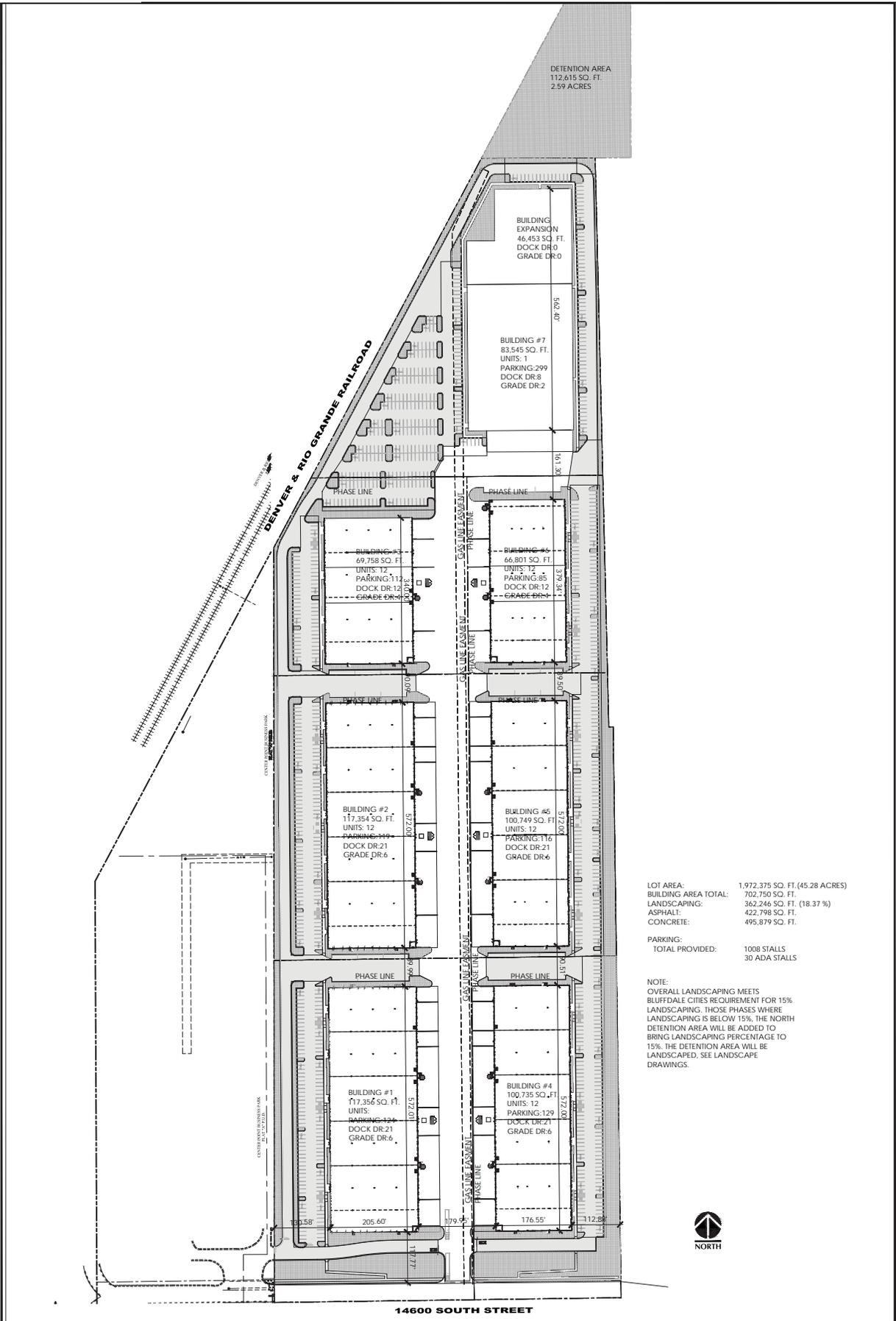
Waiver Approval

From: [Michael Fazio](#)
To: [Tom](#); [Matt Erickson](#)
Cc: [Justin Earl](#); [Alan Peters](#)
Subject: RE: Mountain Point Business Center Retention Pond Variance
Date: Monday, June 01, 2015 11:26:34 AM

Hi Tom,

It is clear that you have made an effort to mitigate the existing situation to drain the site. I am granting the variance to allow you to have a retention pond to detain the flow from the Mountain Point Business Park and to allow that it drains in more than 48hours.

Michael



LOT AREA: 1,972,375 SQ. FT. (45.28 ACRES)
 BUILDING AREA TOTAL: 702,750 SQ. FT.
 LANDSCAPING: 362,246 SQ. FT. (18.37%)
 ASPHALT: 422,798 SQ. FT.
 CONCRETE: 495,879 SQ. FT.

PARKING:
 TOTAL PROVIDED: 1008 STALLS
 30 ADA STALLS

NOTE:
 OVERALL LANDSCAPING MEETS
 BLUFFDALE CITIES REQUIREMENT FOR 15%
 LANDSCAPING. THOSE PHASES WHERE
 LANDSCAPING IS BELOW 15%, THE NORTH
 DETENTION AREA WILL BE ADDED TO
 BRING LANDSCAPING PERCENTAGE TO
 15%. THE DETENTION AREA WILL BE
 LANDSCAPED. SEE LANDSCAPE
 DRAWINGS.



A1.1

DATE: _____
 SHEET NO: _____

REFERENCES:
 AE2012.029
 SITE PLAN

Bluffdale Industrial Park



ae urbia
 architects and engineers

2675 south dodder lake drive, suite 875
 salt lake city, utah 84119
 phone: 801.762.0466 - fax: 801.571.6466
 webpage: aeurbia.com

Agenda Item 8

REQUEST FOR CITY COUNCIL ACTION

To: Mayor and City Council
From: Alan Peters, Associate Planner
Date: 16 July 2015
Business Date: 22 July 2015
Subject: Mountain Pointe Industrial Subdivision Phase 1 Final Plat
Staff Presentation: Alan Peters

RECOMMENDATION:

To approve the Mountain Pointe Industrial Subdivision Phase 1 Final Plat, application 2015-05, as recommended by the Planning Commission on July 15, 2015, subject to the following conditions:

1. That all requirements of the City Code, adopted ordinances, and building and fire codes are met and adhered to for this subdivision.
2. That the corrections to the subdivision plat as indicated by the City Engineer are made before the plat mylar is submitted to Bluffdale City for recording.

BACKGROUND:

The applicant is requesting final plat approval for Mountain Pointe Industrial Subdivision Phase 1, a subdivision consisting of one 7.12 acre lot for an industrial office warehouse building at 930 W 14600 S and a roadway dedication of 0.88 acres. This is the first developed phase of Mountain Point Business Park, a proposed subdivision consisting of seven lots. A site plan for seven industrial buildings at this location was approved in March 2013 and construction on a single building began in March 2014. This building would be located within lot 101 of this subdivision. **This application makes no changes to the approved site plan.** This phase will include an 117,356.09 sq. ft. building, parking, private access roads, and landscaping as shown on the site plan approved by the City Council in March 2013.

The Planning Commission's recommendation is based on the following findings:

1. That this application conforms to the City of Bluffdale Land Use ordinance requirements regarding preliminary plat approval.
2. That the proposed subdivision makes no changes to the approved site plan.
3. That the proposed subdivision will not be detrimental to the health, safety, or general welfare of persons or property within the area.

PREVIOUS LEGISLATIVE/CITY ACTION:

-July 15, 2015: Planning Commission recommended approval 3-0.

SUPPORTING DOCUMENTS:

-Planning Commission Staff Report w/exhibits



Development Review Committee
14175 South Redwood Road
Bluffdale, UT 84065
(801) 254-2200 Fax (801) 253-3270 TTY 7-1-1

DRC STAFF REPORT
10 July 2015

To: City of Bluffdale Planning Commission
Prepared By: Alan Peters, Associate Planner, on behalf of the DRC

Re: Mountain Pointe Industrial Subdivision Phase 1 Final Plat
Application No.: 2015-05
Applicants: Justin Earl, ICO Development
Project Location: 930 W 14600 S
Acreage: 8.0 acres
General Plan: Light Industrial
Zoning: I-1 (Light Industrial)
Requests: Final plat approval for Phase 1 of Mountain Pointe Business Park, including one lot and roadway dedication for 14600 S.

SUMMARY & BACKGROUND

The applicant is requesting final plat approval for Mountain Pointe Industrial Subdivision Phase 1, a subdivision consisting of one 7.12 acre lot for an industrial office warehouse building at 930 W 14600 S and a roadway dedication of 0.88 acres. This is the first developed phase of Mountain Point Business Park, a proposed subdivision consisting of seven lots. A site plan for seven industrial buildings at this location was approved in March 2013 and construction on a single building began in March 2014. This building would be located within lot 101 of this subdivision. This application makes no changes to the approved site plan.

ANALYSIS

General Plan. The City's General Plan Land Use Map designates this property for Light Industrial. The zoning on the property, I-1 (Light Industrial), and the proposed use of the subdivision are consistent with this land use designation.

Zoning. The property is zoned I-1 (Light Industrial). The proposed subdivision complies with the requirements of this zone with regards to lot standards and landscaping. There are no proposed uses for any of the buildings, but all will be required to comply with the list of uses allowed in the I-1 zone found in Chapter 11-35 of the Bluffdale Land Use Ordinance.

Layout. The proposed subdivision is located on 8.0 acres of land on the north side of 14600 South. The subdivision includes a single 7.12 acre lot that is located at the southwest corner of the Mountain Point Business Park and a roadway dedication of 0.88 acres for the entire frontage of the proposed Mountain Point Business Park along 14600 S. This phase will include an 117,356.09 sq. ft. building, parking, private access roads, and landscaping as shown on the site plan approved by the City Council in March 2013.

Roads and Access. Access into the subdivision will be from a driveway onto 14600 S in the center of the project and an additional access on the southwest portion of lot 101 that utilizes an existing cross access easement from Center Point Business Park located to the west. All roads and driveways within the subdivision are privately owned. 727 ft of 14600 S, the entire frontage of the proposed project, will be improved with this phase.

DRC REVIEW AND COMMENTS

On behalf of the City Manager, the City’s staff involved in development review and administration meets together as a Development Review Committee (DRC). The DRC generally consists of the City Manager, City Attorney, City Engineer, Public Works Operations Manager, the City Planner, and other outside consultants as needed from time to time. The comments of the DRC members have been included in this staff report and the recommended conditions of approval for the project.

Engineering/Public Works:

1. The Plat, Mountain Pointe Industrial Subdivision Phase 1 shows the section, township and range incorrectly in the Title Block. Also ‘Salt Lake County’ needs to be added to the Title Block.

DRC STAFF RECOMMENDATION

DRC Staff recommends that the Planning Commission forward a positive recommendation to the City Council for the Mountain Pointe Industrial Subdivision Phase 1, application 2015-05, subject to the following conditions:

1. That all requirements of the City Code, adopted ordinances, and building and fire codes are met and adhered to for this subdivision.
2. That the corrections to the subdivision plat as indicated by the City Engineer are made before the plat mylar is submitted to Bluffdale City for recording.

This recommendation is based on the following findings:

1. That this application conforms to the City of Bluffdale Land Use ordinance requirements regarding preliminary plat approval.
2. That the proposed subdivision makes no changes to the approved site plan.
3. That the proposed subdivision will not be detrimental to the health, safety, or general welfare of persons or property within the area.

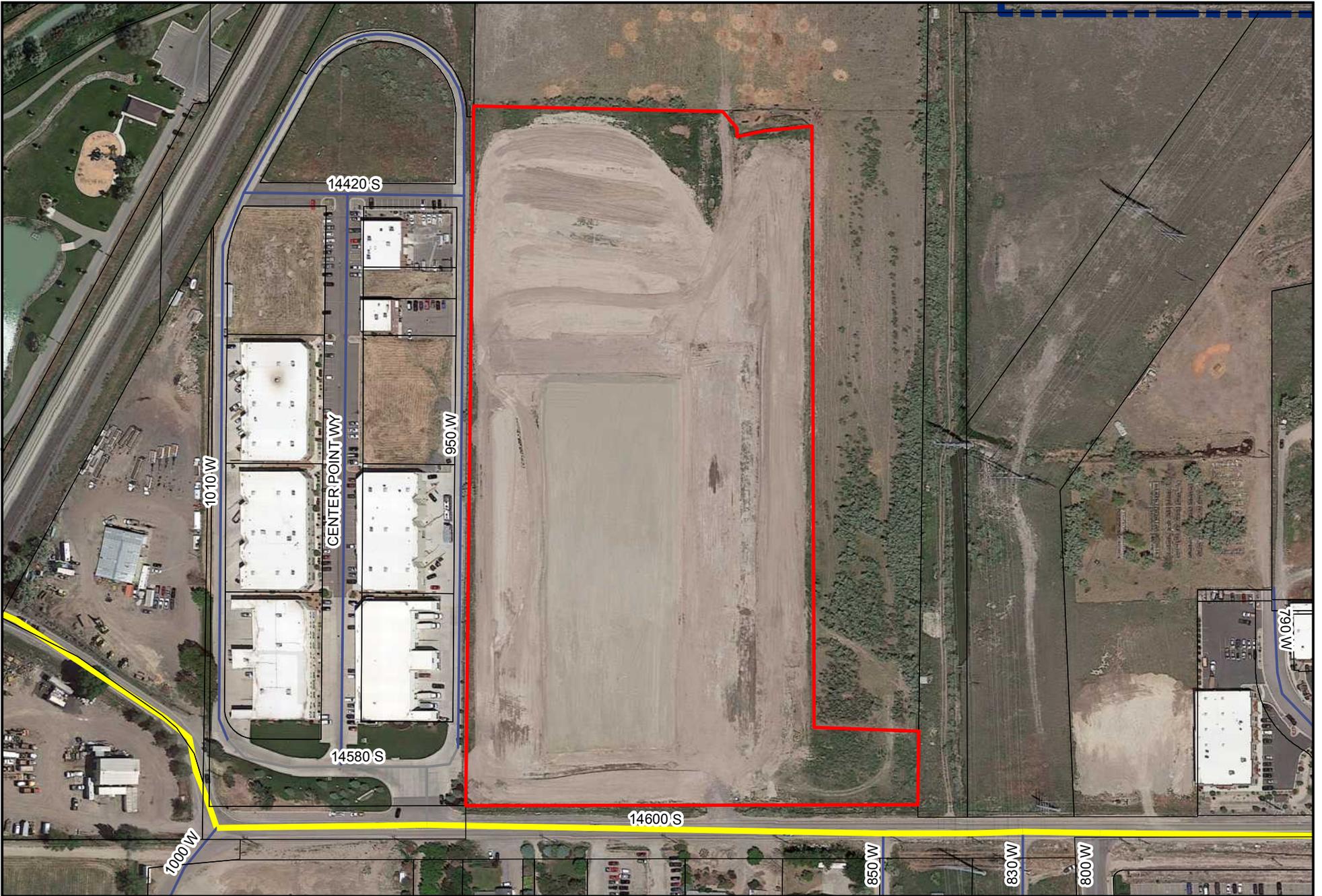
MODEL MOTIONS

Sample Motion for a Positive Recommendation – “I move we forward a positive recommendation to the City Council for the Mountain Pointe Industrial Subdivision Phase 1, application 2015-05, subject to the conditions and based on the findings presented in the staff report dated July 10, 2015, (and as modified by the conditions below):”

1. List any additional findings and/or conditions...

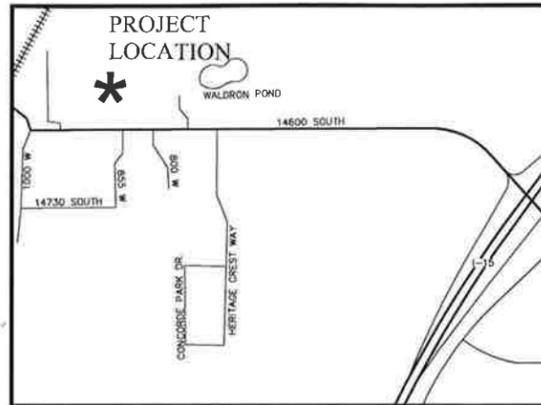
Sample Motion for a Negative Recommendation – “I move we forward a negative recommendation to the City Council for the Mountain Pointe Industrial Subdivision Phase 1, application 2015-05, based on the following findings:”

1. List all findings...



Project Location





MOUNTAIN POINTE INDUSTRIAL SUBDIVISION PHASE 1

LOCATED IN THE NE 1/4 OF SECTION 11, T4S, R1W, S1.B.&M.
BLUFFDALE CITY, SALT LAKE COUNTY, UTAH



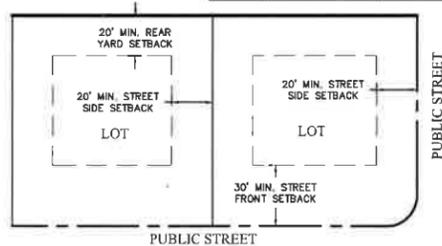
GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft

SURVEYOR'S CERTIFICATE
I, BRAD A. LLEWELYN, A PROFESSIONAL LAND SURVEYOR, HOLDING CERTIFICATE NO. 4938735 AS PRESCRIBED BY THE STATE OF UTAH, DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREWITH, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS TO BE HEREAFTER KNOWN AS 14600 SOUTH ROAD DEDICATION, AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

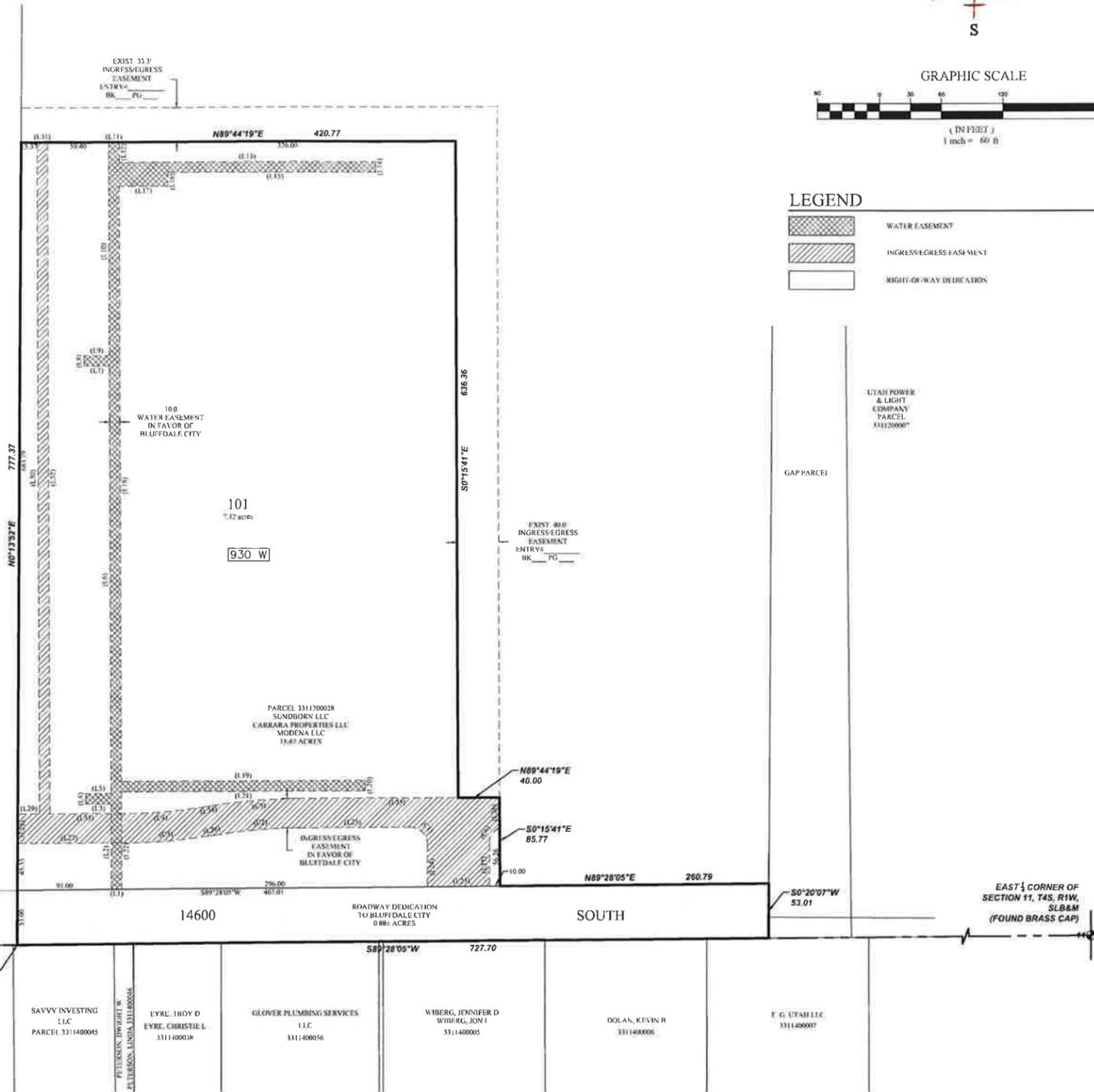
VICINITY MAP

Water Easement Line Table			Ingress/Egress Easement Curve Table					
LINE	DIRECTION	LENGTH	CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
(L1)	S89°28'05"W	10.00'	(C1)	15.50'	90°00'00"	24.35'	N45°15'41"W	21.92'
(L2)	N00°15'41"E	52.79'	(C2)	519.30'	8°53'33"	80.63'	S85°17'32"W	80.55'
(L3)	S89°44'19"W	24.50'	(C3)	549.50'	8°53'33"	85.28'	S85°17'32"W	85.20'
(L4)	N00°15'41"E	10.00'	(C4)	521.00'	8°53'33"	80.86'	N85°17'32"E	80.78'
(L5)	N89°44'19"E	26.50'	(C5)	548.00'	8°53'33"	85.05'	N85°17'32"E	84.96'
(L6)	N00°15'41"E	414.00'	(E6)	15.50'	69°12'59"	18.72'	S34°20'48"W	17.61'
(L7)	S89°44'19"W	24.50'						
(L8)	N00°15'41"E	10.00'						
(L9)	N89°44'19"E	24.50'						
(L10)	N00°15'41"E	207.17'						
(L11)	N89°44'19"E	10.00'						
(L12)	S00°15'41"E	19.75'						
(L13)	N89°44'19"E	246.25'						
(L14)	S00°15'41"E	10.00'						
(L15)	S89°44'19"W	201.87'						
(L16)	S00°15'41"E	13.50'						
(L17)	S89°44'19"W	47.18'						
(L18)	S00°15'41"E	576.00'						
(L19)	N89°44'19"E	236.80'						
(L20)	N00°15'41"E	10.00'						
(L21)	S89°44'19"W	236.80'						
(L22)	S00°15'41"E	94.61'						

Ingress/Egress Easement Line Table		
LINE	DIRECTION	LENGTH
(L23)	S89°28'05"W	60.00'
(L24)	N00°15'41"E	42.10'
(L25)	S89°44'19"W	107.80'
(L26)	S80°50'40"W	8.41'
(L27)	S89°44'19"W	99.70'
(L28)	S00°15'32"E	28.50'
(L29)	N89°44'19"E	20.97'
(L30)	N00°15'41"E	650.51'
(L31)	S89°44'19"E	10.00'
(L32)	S00°15'41"E	650.51'
(L33)	N89°44'19"E	68.55'
(L34)	N80°50'40"E	8.41'
(L35)	N89°44'19"E	193.30'
(L36)	S00°15'41"E	29.51'
(L37)	S00°15'41"E	41.82'



TYPICAL BUILDING SETBACKS



LEGEND

- Water Easement
- Ingress/Egress Easement
- Right-of-Way Dedication

LEGAL DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF THE CENTER POINT BUSINESS PARK PLAT "A" P.U.D. AS RECORDED WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER, SAID POINT BEING LOCATED NORTH 89°28'05" EAST, 509.77 FEET ALONG THE SECTION LINE FROM THE CENTER OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; RUNNING THENCE ALONG THE EAST BOUNDARY OF SAID CENTER POINT BUSINESS PARK PLAT "A" P.U.D. NORTH 00°15'41" EAST, 777.37 FEET; THENCE NORTH 89°44'19" EAST, 420.77 FEET; THENCE SOUTH 0°15'41" EAST, 636.36 FEET; THENCE NORTH 89°44'19" EAST, 40.00 FEET; THENCE SOUTH 0°15'41" EAST, 85.77 FEET; THENCE NORTH 89°28'05" EAST, 260.79 FEET; THENCE SOUTH 0°20'07" WEST, 53.01 FEET TO SAID SECTION LINE; THENCE ALONG SAID SECTION LINE SOUTH 89°28'05" WEST, 727.70 FEET TO THE POINT OF BEGINNING.

CONTAINS 8.00 ACRES

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, AND STREETS TOGETHER WITH EASEMENTS TO BE HEREAFTER KNOWN AS

MOUNTAIN POINTE INDUSTRIAL SUBDIVISION PHASE 1

DO HEREBY DEDICATE TO BLUFFDALE CITY ALL THESE TRACTS OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER. THE UNDERSIGNED OWNERS ALSO CONVEY TO BLUFFDALE CITY AND TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES.

IN WITNESS WHEREOF _____ HAVE HERETO SET
HAND THIS _____ DAY OF _____ A.D. 20____

BY _____ BY _____

LIMITED LIABILITY ACKNOWLEDGEMENT

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, _____ WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE _____ OF _____ L.L.C., A UTAH L.L.C. AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

PERSONAL ACKNOWLEDGEMENT

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, _____ WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

MOUNTAIN POINTE INDUSTRIAL SUBDIVISION PHASE 1

LOCATED IN THE SE 1/4 OF SECTION 27, T1S, R2W, S1.B. & M.
BLUFFDALE, UTAH

RECORDED

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____

DATE _____ TIME _____ BOOK _____ PAGE _____

FEE \$ _____ CLERK _____ SALT LAKE COUNTY RECORDER

QUESTAR GAS

APPROVED THIS _____ DAY OF _____
A.D. 20____ BY QUESTAR GAS

QUESTAR GAS

CENTURYLINK COMMUNICATIONS

APPROVED THIS _____ DAY OF _____
A.D. 20____ BY CENTURYLINK COMMUNICATIONS

CENTURYLINK COMMUNICATIONS

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____
A.D. 20____ BY ROCKY MOUNTAIN POWER

ROCKY MOUNTAIN POWER

COMCAST

APPROVED THIS _____ DAY OF _____
A.D. 20____ BY COMCAST

COMCAST

SALT LAKE VALLEY HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____
A.D. 20____ BY SALT LAKE VALLEY HEALTH DEPT

DIRECTOR _____

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____
A.D. 20____ BY THE BLUFFDALE CITY PLANNING COMMISSION

CHAIR, BLUFFDALE CITY PLANNING COMMISSION

CITY ENGINEER

APPROVED AS TO COMPLIANCE WITH BLUFFDALE CITY ORDINANCE

DATE _____ BLUFFDALE CITY ENGINEER

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____
A.D. 20____

BLUFFDALE CITY ATTORNEY

BLUFFDALE CITY COUNCIL

PRESENTED TO THE BLUFFDALE CITY COUNCIL THIS _____ DAY OF _____
A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED

ATTEST _____

PREPARED BY
FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

Agenda Item 9

CITY OF BLUFFDALE, UTAH

RESOLUTION No. 2015-

A RESOLUTION APPROVING AN IMPACT FEE REDUCTION FOR SUNDBORN, LLC, ON BEHALF OF MOUNTAIN POINT, LLC, AND ICO DEVELOPMENT – STORM DRAIN.

WHEREAS the City of Bluffdale adopted an impact fee enactment, capital facilities plan, and impact fee facilities plan (Ord. No. 2013-18) pursuant to Title 11, Chapter 36a, of the Utah Code;

WHEREAS, pursuant to the impact fee enactment, an individual who has paid an impact fee may appeal that fee and the City may adjust impact fees imposed under certain circumstances;

WHEREAS Sundborn LLC, paid a storm drain impact fee of \$48,577.10 on behalf of Mountain Point, LLC, and ICO Development (“Applicants”), and has requested an adjustment of the storm drain impact fees to respond to specific circumstances in this specific case, such as no offsite storm drain impact to the City’s system;

WHEREAS the Applicants are developing an industrial building within a multi-phase commercial subdivision (“Development Activity”);

WHEREAS the Applicants’ property will capture the entire storm runoff onsite from the current and future phases;

WHEREAS the City Council has duly considered all the materials submitted by the Applicants;

NOW, THEREFORE, BE IT RESOLVED BY THE BLUFFDALE CITY COUNCIL:

Section 1. Approval of Impact Fee Adjustment. The City Council hereby reduces the storm drain impact fee to \$0.00 for the current phase because the Development Activity will not have an impact on the City’s storm drain system or require any connection to the City’s storm drain system. Likewise, the City Council approves a complete storm drain impact fee credit for future phases of the Development Activity so long as the Development Activity will not impact on the City’s storm drain system. The City Council hereby directs the City Manager to refund the storm drain impact fee paid by Sundborn, LLC, on behalf of Mountain Point, LLC, and ICO Development.

Section 2. Effective Date. This Resolution shall become effective immediately upon passage.

PASSED AND APPROVED: July 22, 2015.

CITY OF BLUFFDALE

Mayor

ATTEST: [seal]

City Recorder

Voting by the City Council: Yes No

Councilmember Jackson	_____	_____
Councilmember Kartchner	_____	_____
Councilmember Nielsen	_____	_____
Councilmember Pehrson	_____	_____
Councilmember Westwood	_____	_____

-Please Press Firmly to Print Through Multiple Copies-

14175 S. Redwood Rd.
Bluffdale, UT 84065
Phone 254-2200
Fax 253-3270



BUILDING PERMIT

PERMIT #

14-03073

Property Address 930 W 14600 So, Bluffdale, UT 84065
 Applicant Mountain Point, LLC by Ico Development Phone 801-618-7893 Fax 801-747-7369
 Applicant Address: 978 E Woodcock Ln City/State SLC, Utah Zip 84117
 Property Owner Mountain Point, LLC Phone _____ Fax _____
 Owner's Address 978 E Woodcock Ln City/State SLC, UT Zip 84117
 Contact Ernie Willmore Phone 801-618-7893 E-Mail Address Ernie@ico-development.com

Check One: LICENSED CONTRACTOR DECLARATION: OWNER-BUILDER DECLARATION:

I hereby affirm that all work will be performed by contractors licensed under the Construction Trades Licensing Act (58-55, UCA) whose licenses are in full force and effect. If contractors have not been selected at the time of the application for this permit, the permit will be issued only on the condition that currently licensed contractors shall be selected by the applicant, that the applicant shall provide the names and license numbers of the contractors to Bluffdale City and shall enter the same names and number on the permit before they begin their work.

I hereby claim exemption from the requirement for licensing under the Construction Trade Licensing Act (58-55, UCA) because work will be performed by the owner of the property for his/her private, non-commercial, non-public use. Any work not performed by the owner will be performed by a contractor licensed under the Construction Trades Licensing Act, and the names and license numbers of the contractors shall be provided to Bluffdale City and entered on the permit before their work is begun.

I hereby certify that I have examined this permit and that the information provided by me is true and correct. All provisions of law and ordinances governing this type of work will be complied with whether specified herein or not. The fronting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Applicant Signature Ernie Willmore Date 6/26/2013

This permit shall become null and void if work is not commenced within 180 days, or if work is suspended or abandoned for a period of 180 days or more at any time after the work has commenced. Commencement or continuation of work shall be verified only by inspection reports from Bluffdale City inspectors. All required inspections shall be requested at least one working day before they are to be made. Inspections are required before any work is covered. Please call if you need further information about when an inspection is required.

NAME			STATE LIC. #	PHONE#	OFFICE USE ONLY
General Contractor	<u>Ico Construction</u>	<u>6173 705-5501</u>		<u>801-747-7600</u>	Valuation <u>7,378,406</u>
Electrical Contractor					Construction Type <u>T.R</u>
Mechanical Contractor					Occupant Load <u>N/A</u>
Plumbing Contractor					Group/Division Square Feet
Engineer	<u>Focus Engineering</u>	<u>8028950-2022</u>		<u>801-352-0075</u>	<u>S-2 117,356</u>
Architect	<u>gellrbia (James Williams)</u>	<u>174600</u>		<u>801-746-0456</u>	
Description of Work: <u>Construction of a 117,356 sq warehouse building. Shell Only</u>					
Site/Property Address <u>930 W. 14600 So. Bluffdale</u> Coordinate _____					
Subdivision _____ Lot # _____					
Cup # _____	Zone _____	Parcel # <u>3311200078</u>			
Minimum Setbacks or	Front Yard _____	Side Yard _____			
	Rear Yard _____	Side Yard _____			
See Approved Site Plan					
Liquefaction H M L VL _____ Flood Plane Yes No _____					
Zoning Comments: _____					
Approved <u>[Signature]</u> Date <u>3/6/14</u>					
Building Code Comments/Deferrals: <u>Footings excavation & compaction to be inspected and approved by Geotech Firm before City footing inspection.</u>					
Plan review OK'd <u>[Signature]</u> Date <u>2-14-14</u>					
Permit Approved _____ Date _____					
					Fees Building <u>32243.60</u> State Surcharge <u>322.49</u> Plan check <u>20,958.34</u> Water Connection <u>700</u> City Setup Fee <u>95</u> Electrical _____ Mechanical _____ Plumbing _____ Demolition _____ Other <u>75</u> Impact Fees Transportation <u>282,593.25</u> Parks _____ Emergency Serv. <u>990.00</u> Culinary Water <u>4189.00</u> Secondary Water _____ Storm Drainage <u>48,577.10</u> Bond <u>3000.00</u> Prepaid Deposit <u>300.00</u> Date Paid <u>6/26/13</u> Rec'd by: <u>[Signature]</u> Total Fees Due <u>393,383.74</u> Date Paid <u>3/10/14</u> Rec'd by: <u>[Signature]</u>

Approvals: FIRE _____ WATER _____ ENGINEERING _____ ZONING AO OTHER _____

TO: Bluffdale City

FROM: ICO Development

DATE: June 30, 2015

Storm Drainage Impact Fee Refund and Credit: Mountain Pointe Business Center

ICO Development is the developer and owner of the Mountain Pointe Business Center, a 44.29-acre industrial project located at 930 W 14600 S in Bluffdale. This project is planned to be constructed in multiple phases, the first phase (7.12 acres) of which has already been permitted and is currently under construction. Timing for the construction of future phases will be based on market demand.

The project design includes an on-site private retention pond that will capture 100% of the storm runoff from the current and future project phases. In fact, in addition to capturing the storm runoff generated on the project property, this privately-owned retention pond will also capture storm runoff from approximately 33,000 square feet from the public road 14600 South. The attached exhibit map shows the project layout, the location of the retention pond, and highlights the portion of 14600 South that will drain into the private retention pond.

The retention pond has been sized for the 100 year 24 hour event, meaning that in such a storm event, no storm water will be discharged from the site into the Bluffdale storm drainage system. The retention pond will capture and retain all storm water until it naturally percolates into the ground or evaporates.

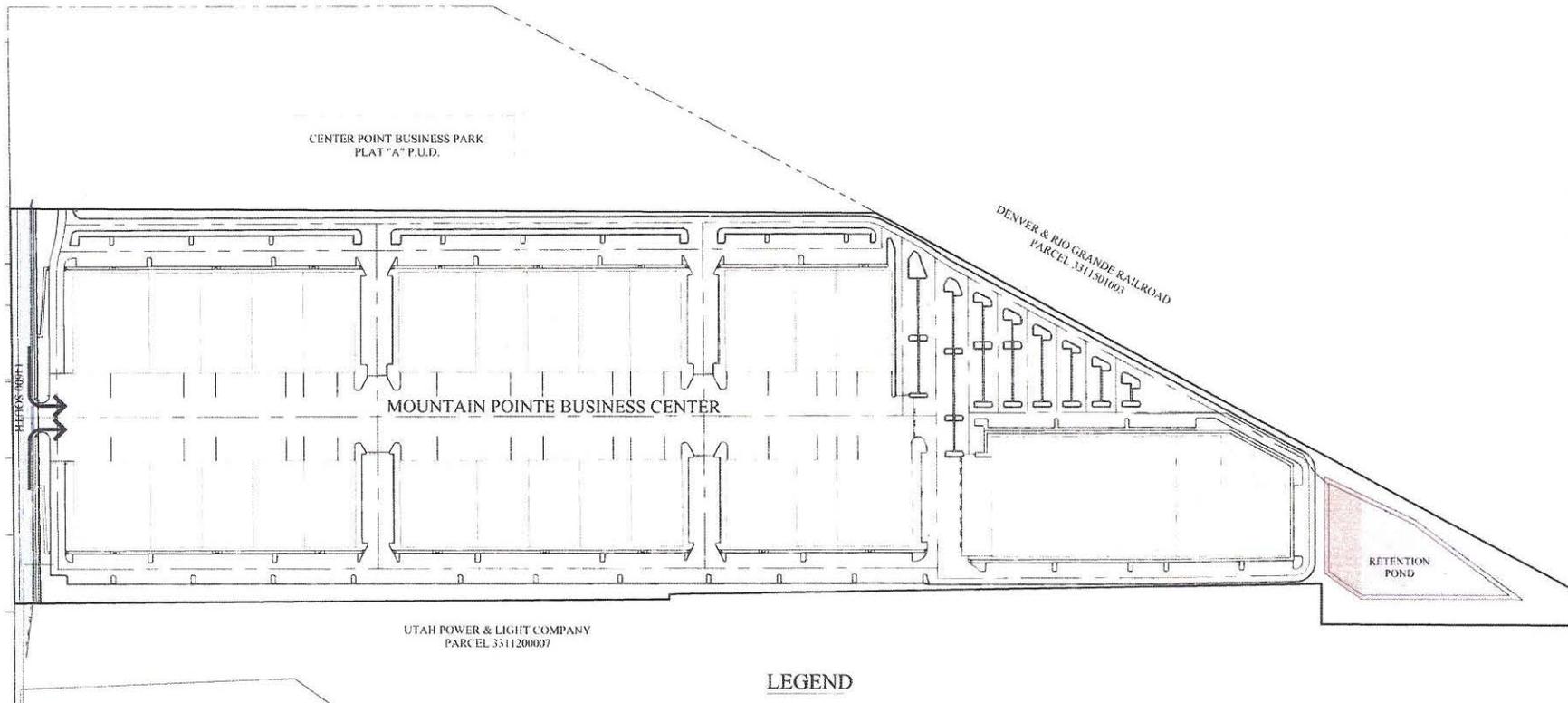
Since the Mountain Pointe Business Center will generate no discharge from the retention pond into the Bluffdale City storm drainage system, it will not create any additional burden on the existing storm drainage infrastructure but will in fact alleviate infrastructure pressure by capturing storm runoff from the existing public road 14600 South. As such, ICO Development is requesting a Storm Drainage Impact Fee refund for the first phase of the project (\$48,577.10 total – already paid), and a full Storm Drainage Impact Fee credit to be applied to future phases of the project.

Bluffdale City's time and consideration is much appreciated. Thank you!

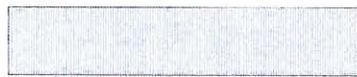


Justin Earl
Director of Development
ICO Development, LLC
3340 N. Center Street
Lehi, Utah 84043
Cell: 801-971-7400
justine@ico-development.com

ICO CONFIDENTIAL: This document is RESTRICTED, CONFIDENTIAL, may be subject to a LEGAL PRIVILEGE, and is given in trust intended solely for the recipient to whom it is given. Unauthorized use, access, copying, disclosure, dissemination, distribution, or other form of reproduction of this information is strictly prohibited. Thank you.



LEGEND



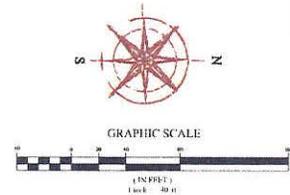
PUBLIC STORM WATER
 (DISCHARGES ONTO PRIVATE PROPERTY AND WILL BE HANDLED BY THE PRIVATE RETENTION POND)



PRIVATE STORM WATER
 (STAYS ON PRIVATE PROPERTY AND DOES NOT DISCHARGE INTO THE CITY STORM DRAIN SYSTEM)



RETENTION POND
 (HOLDS STORM WATER AS SHOWN ON THIS PLAN ON PRIVATE PROPERTY)



Mountain Pointe Business Park
 Drainage Exhibit

NO.	DATE	BY	REVISION

Agenda Item 10

REQUEST FOR CITY COUNCIL ACTION

To: Mayor and City Council
From: Alan Peters, Associate Planner
Date: 16 July 2015
Business Date: 22 July 2015
Subject: Center Point Lot 9 Site Plan and Plat Amendment
Staff Presentation: Alan Peters

RECOMMENDATION:

To approve the Center Point Lot 9 Site Plan and Plat Amendment, applications 2015-23 and 2015-24, as recommended by the Planning Commission on July 15, 2015, subject to the following conditions:

1. That all requirements of the City Code, adopted ordinances, and building and fire codes are met and adhered to for this subdivision.

BACKGROUND:

The applicant is proposing a new 24,940 sq. ft. office/warehouse building to be located at 974 W 14420 S, which is lot 9 of Center Point Business Park.

Application 2015-24 is a plat amendment called Center Point Business Park Plat "A" P.U.D. Amended 2. The purpose of this plat is to relocate the 10 ft. utility easement that currently runs through the middle of the subject property. It also adds an additional 10 ft. water line easement. No changes are proposed to the lot dimensions or to any area outside the boundaries of Lot 9.

Application 2015-23 is the site plan for the proposed office/warehouse building. The proposed site includes a 24,940 sq. ft. building that will provide flex space for one or more tenants. This building will have entrances on the north and south of the building with docking bays and storage areas on either side of the building. The site will also include 32 new parking stalls. 84% of the site will be covered in buildings and hardscape and 16% of the site will be landscaped. Storm water runoff will flow to catch basins piped to detention pond at the north end of the project.

The Planning Commission's recommendation is based on the following findings:

1. That this application conforms to the City of Bluffdale Land Use ordinance requirements regarding amended plat approvals and site plans.
2. That the proposed site plan conforms to the City of Bluffdale design standards.
3. That the proposed site plan and plat amendment will not be detrimental to the health, safety, or general welfare of persons or property within the area.

PREVIOUS LEGISLATIVE/CITY ACTION:

-July 15, 2015: Planning Commission recommended approval 3-0.

SUPPORTING DOCUMENTS:

-Planning Commission Staff Report w/exhibits



Development Review Committee
14175 South Redwood Road
Bluffdale, UT 84065
(801) 254-2200 Fax (801) 253-3270 TTY 7-1-1

DRC STAFF REPORT
10 July 2015

To: City of Bluffdale Planning Commission
Prepared By: Alan Peters, Associate Planner, on behalf of the DRC

Re: Center Point Lot 9 Site Plan and Plat Amendment
Application No.: 2015-23 and 2015-24
Applicants: Ken Day
Project Location: 974 W 14420 S
Acreage: 1.24 acres
General Plan: Light Industrial
Zoning: I-1 (Light Industrial)
Requests: Site Plan and Plat Amendment approval for a new 24,940 sq. ft. office/warehouse building and a related easement relocation

SUMMARY & BACKGROUND

This report covers two individual applications related to the same project. The applicant is proposing a new 24,940 sq. ft. office/warehouse building to be located at 974 W 14420 S, which is lot 9 of Center Point Business Park. This lot includes a 10' utility easement that includes a storm drain pipe that bisects this lot. The proposed building sits on top of this easement so the applicant is proposing to relocate the storm drain pipe and vacate the existing easement and realign it outside of the building footprint.

Application 2015-24 is a plat amendment called Center Point Business Park Plat "A" P.U.D. Amended 2. The purpose of this subdivision plat is to relocate the 10 ft. utility easement that currently runs through the middle of the subject property. It also adds an additional 10 ft. water line easement. No changes are proposed to the lot dimensions or to any area outside the boundaries of Lot 9.

Application 2015-23 is the site plan for the proposed office/warehouse building. This application requires approval of the plat amendment. The proposed site includes a 24,940 sq. ft. building that will provide flex space for one or more tenants. This building will have entrances on the north and south of the building with docking bays and storage areas on either side of the building. The site will also include 32 new parking stalls in addition to parking stalls located in the common area of the Center Point Industrial Park. 84% of the site will be covered in buildings and hardscape and 16% of the site will be landscaped. Storm water runoff will flow to catch basins piped to detention pond at the north end of the project.

ANALYSIS

General Plan. The City's General Plan Land Use Map designates this property for Light Industrial. The zoning on the property, I-1 (Light Industrial), and the proposed project are consistent with the General Plan.

Zoning. The property is zoned I-1 (Light Industrial). Any uses proposed by tenants will be required to comply with the list of uses allowed in the I-1 zone found in Chapter 11-35 of the Bluffdale Land Use Ordinance. Although on a private street, the proposed building complies with the setback requirements for public streets in the I-1 zone which require a front setback of 30 ft. and side and rear setbacks of 20 ft. In the future, the applicant is proposing to construct carports above the 22 stalls on the south side of the property. Because the parking in this area is accessed directly off of the private road, these carports would be located on the lot line as allowed by the I-1 zone for developments on private roads.

Layout. The project is located on a semicircle shaped lot at the rear of the Center Point Industrial Park. It is accessed from 14600 S by 980 W, a private road and fronts 14420 S, a private road and is surrounded on the sides and rear by a private road. The proposed building is located at the center of this lot and has primary accesses on the north and south of the building with docking bays and storage areas to the east and west of the building.

Design Standards. Bluffdale's design standards are found in 11-15-7 of the City Code and are as follows:

- A. *All buildings and developments shall satisfy the adopted design standards for the zone in which the building or development is located.*
- B. *If specific design standards have not been adopted in the zone, all building designs shall consider recent or new surrounding or nearby buildings and developments and implement design solutions which are sensitive to those nearby buildings and developments. The review of this requirement shall be based on the following:*
 1. *The buildings positively contribute to the overall character of the City of Bluffdale and the area in which it is located;*
 2. *The buildings demonstrate imaginative design or reflect the character of surrounding development through use of some similar positive and desirable features, and;*
 3. *Where proposed building designs closely copy or mirror surrounding development, the buildings vary colors, materials, or architectural elements.*

Because the I-1 zone does not have specific design standards, the building need only satisfy the requirements under section B, above. The buildings are similar in construction and in color to other buildings in the development but also include some unique characteristics including accent colors and corrugated metal accents.

- C. *All building entrances shall be clearly articulated to indicate a transition from the exterior to the interior of the building. Every main entrance shall have a special emphasis when compared to the other portions of the building. This shall be accomplished through any combination of the following:*
 1. *A prominent architectural feature that is unique to the overall building design;*
 2. *Complimentary yet differing building materials or colors;*
 3. *Increased use of windows or glass;*
 4. *Pedestrian amenities that may include patios, porches, special paving treatments, seating areas, or awnings; or*
 5. *Increased landscaping.*

All main entrances satisfy this requirement. The main entrances include glass doors, corrugated metal accents around the doors, and awnings.

Landscaping. The site includes 16% landscaping including 5 ft. of building perimeter landscaping and 480 sq. ft. of parking lot landscaping. The proposed landscaping includes a mixture of 17 trees and 58 shrubs planted in waterwise rock mulch and cobblestone planting beds with drip irrigation. All planting beds include a combination of mulch and vegetative landscaping.

DRC REVIEW AND COMMENTS

On behalf of the City Manager, the City's staff involved in development review and administration meets together as a Development Review Committee (DRC). The DRC generally consists of the City Manager, City Attorney, City Engineer, Public Works Operations Manager, the City Planner, and other outside consultants as needed from time to time. The comments of the DRC members have been included in this staff report and the recommended conditions of approval for the project.

DRC STAFF RECOMMENDATION

DRC Staff recommends that the Planning Commission forward a positive recommendation to the City Council for the Center Point Lot 9 Site Plan and Plat Amendment, applications 2015-23 and 2015-24, subject to the following conditions:

1. That all requirements of the City Code, adopted ordinances, and building and fire codes are met and adhered to for this subdivision.

This recommendation is based on the following findings:

1. That this application conforms to the City of Bluffdale Land Use ordinance requirements regarding amended plat approvals and site plans.
2. That the proposed site plan conforms to the City of Bluffdale design standards.
3. That the proposed change will not be detrimental to the health, safety, or general welfare of persons or property within the area.

MODEL MOTIONS

Sample Motion for a Positive Recommendation – “I move we forward a positive recommendation to the City Council for the Center Point Lot 9 Site Plan and Plat Amendment, applications 2015-23 and 2015-24, subject to the conditions and based on the findings presented in the staff report dated July 10, 2015, (and as modified by the conditions below):”

1. List any additional findings and/or conditions...

Sample Motion for a Negative Recommendation – “I move we forward a negative recommendation to the City Council for the Center Point Lot 9 Site Plan and Plat Amendment, applications 2015-23 and 2015-24, based on the following findings:”

1. List all findings...



0 0.002250045 0.009
Miles

Project Location

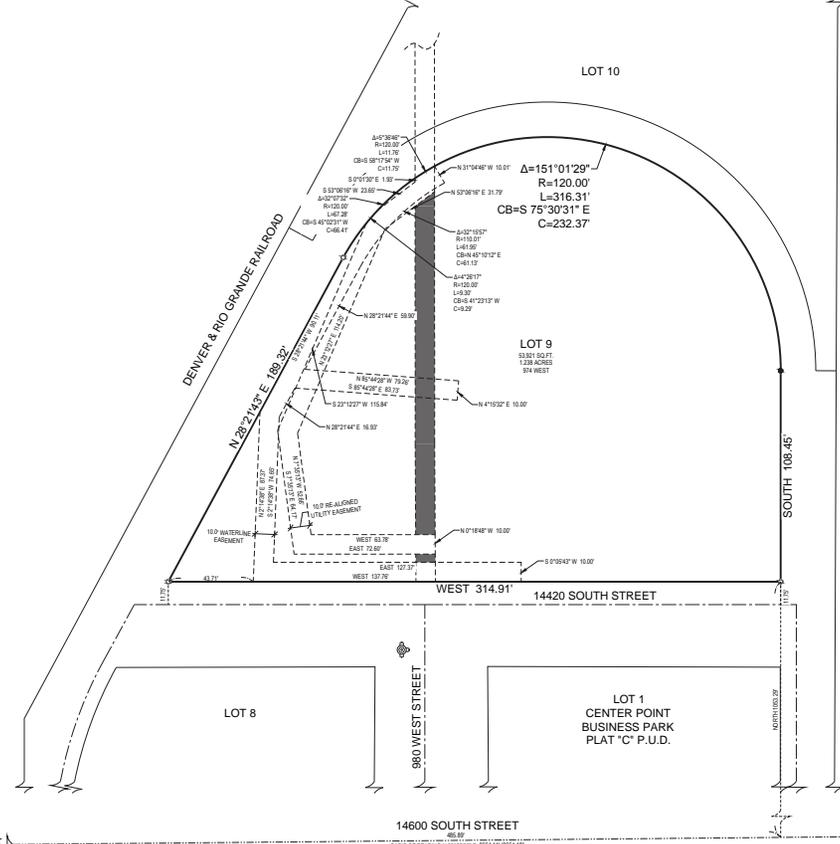
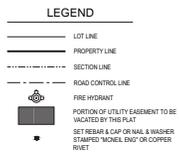
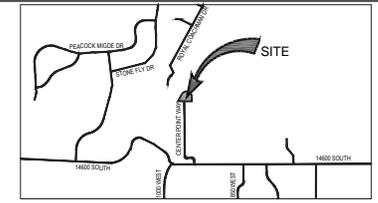
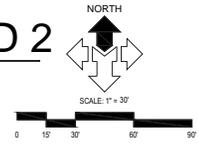


Proposed Plat Amendment

CENTER POINT BUSINESS PARK PLAT "A" P.U.D. AMENDED 2

AMENDING UTILITY EASEMENT THROUGH LOT 9

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN BLUFFDALE CITY, SALT LAKE COUNTY, UTAH



UTILITY EASEMENT DEDICATION

OWNER OF THE PROPERTY SET FORTH AND DESCRIBED IN THIS PLAT HEREBY OFFERS AND CONVEYS TO ALL PUBLIC UTILITY AGENCIES, THEIR SUCCESSORS AND ASSIGNS, A PERMANENT EASEMENT AND RIGHT-OF-WAY OVER, UNDER, ACROSS AND THROUGH THOSE AREAS DESCRIBED ON THIS PLAT AS COMMON OR UTILITY EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN ELECTRICAL, TELEPHONE, NATURAL GAS, SEWER, WATER AND DRAINAGE LINES AND APPURTENANCES, TOGETHER WITH THE RIGHT OF ACCESS THERE TO WHICH WOULD REQUIRE THAT NO SURFACE CONSTRUCTION BE ALLOWED WHICH WOULD INTERFERE WITH NORMAL UTILITY USE. IF IT BECOMES NECESSARY TO RELOCATE SAID UTILITIES AT THE INSTANCE OR REQUEST OF ANY PUBLIC ENTITY OR THE OWNER, THE COSTS AND EXPENSES INCURRED THEREBY WILL BE BORNE BY THE OWNER OR THE ENTITY REQUESTING OR REQUESTING THE SAME.

QUESTAR APPROVAL

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ENDORSEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER'S DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT OF WAY DEPARTMENT AT 1-800-368-8522.

APPROVED THIS _____ DAY OF _____ A.D. 20____

QUESTAR GAS COMPANY

BY: _____

SOUTH VALLEY SEWER DISTRICT NOTE:

"THE SIGNATURE OF SOUTH VALLEY SEWER DISTRICT ON THIS PLAT DOES NOT CONSTITUTE ANY GUARANTEE OF AVAILABILITY OF SANITARY SEWER SERVICE TO THE PROPERTY OR ANY APPROVAL OF SEWER LINES OR FACILITIES. THE UNDERSIGNED OF THE PROPERTY MUST PROVIDE SATISFACTORY PLANS TO THE SEWER DISTRICT FOR REVIEW AND APPROVAL BEFORE CONNECTING TO THE SEWER SYSTEM AND WILL BE REQUIRED TO COMPLY WITH DISTRICT'S RULES AND REGULATIONS."

"SANITARY SEWER SERVICE IS NOT AVAILABLE TO THE LOTS IN THIS SUBDIVISION. THEY WILL BE REQUIRED TO CONNECT TO THE SEWER SYSTEM WITH A PRIVATE UNDER PUMP AND PRIVATE PRESSURE SEWER LATERAL."

CENTURY LINK

APPROVED THIS _____ DAY OF _____ A.D. 20____

ROCKY MOUNTAIN POWER

PRESENTED TO CITY THIS _____ DAY OF _____ A.D. 20____

BOARD OF HEALTH

APPROVED THIS _____ DAY OF _____ A.D. 20____

EL VALLEY HEALTH DEPARTMENT

BLUFFDALE ENGINEERING DEPARTMENT

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE: _____ CITY ENGINEER

PREPARED BY:

McNEIL ENGINEERING

Registered Professional Engineers, Professional Land Surveyors

2012 South Valley Parkway, Suite 200, Salt Lake City, Utah 84119-3577-7788

Civil Engineering - Consulting & Landmarks Architecture
Structural Engineering - Land Surveying & NDS

CENTER POINT BUSINESS PARK PLAT "A" P.U.D. AMENDED 2

AMENDING UTILITY EASEMENT THROUGH LOT 9

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN BLUFFDALE CITY, UTAH

COMCAST

APPROVED THIS _____ DAY OF _____ A.D. 20____

CITY COUNCIL

PRESENTED TO THE BOARD OF BLUFFDALE CITY COUNCIL THIS _____ DAY OF _____ A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED.

ATTEST: CITY RECORDER _____ MAYOR, BLUFFDALE, UTAH

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE BLUFFDALE CITY PLANNING COMMISSION.

CHAIRMAN, BLUFFDALE CITY PLANNING COM.

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____

BLUFFDALE CITY ATTORNEY

SOUTH VALLEY SEWER DISTRICT

APPROVED THIS _____ DAY OF _____ A.D. 20____

DIRECTOR, SOUTH VALLEY SEWER DISTRICT

SALT LAKE COUNTY RECORDER

RECORD NO. _____

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEE \$ _____ SALT LAKE COUNTY RECORDER

3/20/2018 10:04 AM View: Job: 1010127.dwg, Job: 2018 - 4378

Original Subdivision Plat with Easement through Lot 9

CENTER POINT BUSINESS PARK PLAT "A" P.U.D. - AMENDED

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN BLUFFDALE CITY, SALT LAKE COUNTY, UTAH

"The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer service to the property or any approval of sewer lines or facilities. The owners of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the sewer system and will be required to comply with the District's rules and regulations."

"Sanitary sewer service is not available to lots 3-10. They will be required to connect to the sewer system with a private grinder pump and private pressure sewer lateral."

SURVEYOR'S NARRATIVE

The purpose for this survey is to provide and establish the boundary of the parcel for this subdivision plat. The Center of Section was in, however it appears to have been disturbed. For this reason I used the West Quarter Corner and the East Quarter Corner of Section 11 as the Basis of Bearing for this survey. I have shown the relationship between the three corners as well as the location of the disturbed Center of Section and its location to the record Center of Section location. I have described the survey from the record location for the Center of Section consistent with the deed.

SURVEYOR'S CERTIFICATE

I, Matthew B. Judd do hereby certify that I am a Registered Land Surveyor, and that I hold certificate No. 6913 as prescribed under laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **CENTER POINT BUSINESS PARK PLAT "A" P.U.D. - AMENDED** and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

Bret de St. Jeor
Bret de St. Jeor

State of California)
) ss.
County of Stanislaus)

On the 26 day of December, 2004, personally appeared before me Bret de St. Jeor, the signer of the foregoing instrument, who duly acknowledged to me that he executed the same.

Melissa Sereno
Melissa Sereno - Notary Public



Andrea de St. Jeor
Andrea de St. Jeor

State of California)
) ss.
County of Stanislaus)

On the 26 day of December, 2004, personally appeared before me Andrea de St. Jeor, the signer of the foregoing instrument, who duly acknowledged to me that he executed the same.

Melissa Sereno
Melissa Sereno - Notary Public



CENTER POINT BUSINESS PARK PLAT "A" P.U.D. - AMENDED

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereof, we have hereunto set this 26 day of Dec. A.D., 2004

Bret de St. Jeor *Andrea de St. Jeor*
December 1, 2004 December 1, 2004
Jeffrey R. Hamilton see signatures to right
(Manager of OHM, L.C.)

ACKNOWLEDGMENT

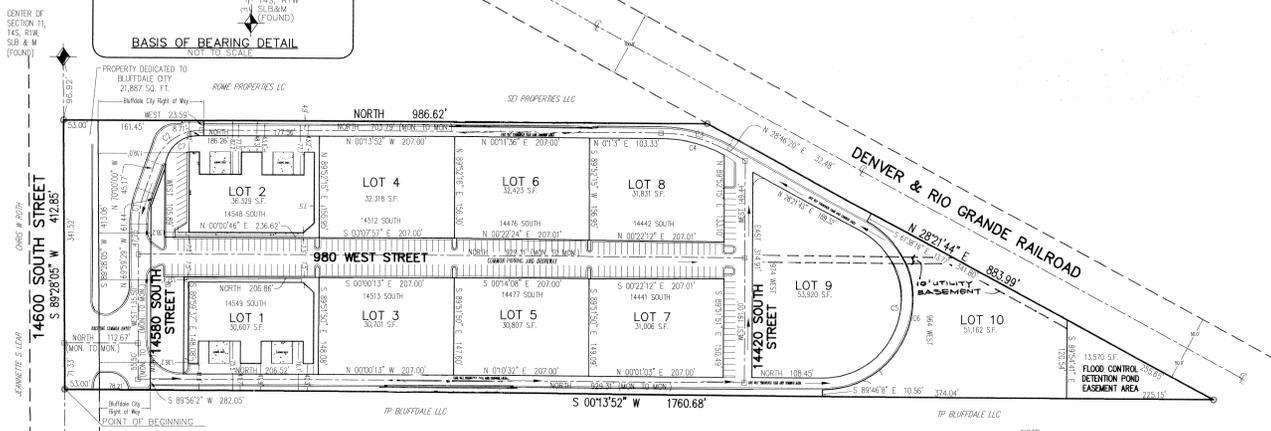
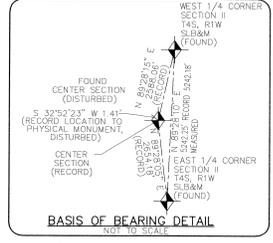
see signatures and acknowledgment to right.

CENTER POINT BUSINESS PARK PLAT "A" P.U.D. - AMENDED
A VACATION OF CENTER POINT BUSINESS PARK PLAT "A" P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN BLUFFDALE CITY, SALT LAKE COUNTY, UTAH

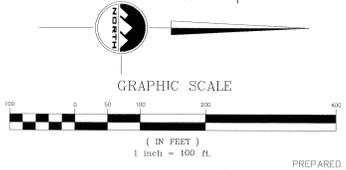
On Wednesday, December 1, 2004, personally appeared before me Jeffrey R. Hamilton who being by me duly sworn did say that he is the Manager of OHM, L.C. a Utah Limited Liability Company and that the within and foregoing instrument was signed on behalf of said company and said Jeffrey R. Hamilton duly acknowledged to me that said company executed the same as the Manager of Center Point Business Park, L.C. a Utah limited liability company.

Melissa Sereno
Melissa Sereno



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	150.00	52.36	20°0'0"	52.09	N 80°0'0" W
C2	76.00	92.85	70°0'0"	87.18	N 35°0'0" W
C3	210.00	105.46	28°46'20"	104.35	N 14°23'10" E
C4	201.96	108.02	30°38'38"	106.73	N 13°37'58" E
C5	120.00	316.31	151°1'29"	232.37	N 75°30'31" W
C6	138.00	363.79	151°1'29"	267.22	N 75°30'31" W
C7	50.00	76.54	90°0'0"	70.71	N 45°0'0" W



UTILITY EASEMENT DEDICATION:

I, the owner of the property set forth and described in this plat, hereby offers and conveys to all public utility agencies, their successors and assigns, a permanent easement and right-of-way over, under, across, and through those areas designated on this plat as common areas and/or utility easements for the construction and maintenance of transmission electrical, telephone, natural gas, sewer, water and drainage lines and appurtenances, together with the right of access thereto, which would require that no surface construction be allowed which would interfere with normal utility use. It is understood that if it becomes necessary to relocate said utilities of the instance or request of any public utility or the owner, the costs and expenses incurred thereby will be borne the owner or the entity requiring or requesting the same.

- LEGEND**
- SET BAR & CAP
 - ◆ SECTION CORNER
 - PROPOSED STREET MONUMENT
 - PRIVATE OWNERSHIP

Central Bank
Approved this 17th day of December, A.D. 2004
Brett Downing V.P.

Borrego Springs Bank
Approved this 10th day of December, A.D. 2004
Jeff Hamilton V.P.

OWNER:
CENTERPOINT LC
3520 TULLY ROAD, SUITE #12
MODESTO, CA 95350

SOUTH VALLEY SEWER DISTRICT APPROVED THIS <u>23</u> DAY OF <u>November</u> , A.D. 2004 <i>Director</i>	QUESTAR APPROVED THIS <u>14th</u> DAY OF <u>November</u> , A.D. 2004 <i>Brian Zumbal</i>	UTAH POWER & LIGHT APPROVED THIS <u>16th</u> DAY OF <u>December</u> , A.D. 2004 <i>Wendy Carter</i>	QWEST APPROVED THIS <u>18th</u> DAY OF <u>Nov</u> , A.D. 2004 <i>Judd</i>
---	--	---	---

PLANNING COMMISSION APPROVED THIS <u>27th</u> DAY OF <u>JUNE</u> , A.D. 2004 BY THE BLUFFDALE CITY PLANNING COMMISSION. <i>Wendy Beagley</i> CHAIRMAN, BLUFFDALE CITY PLANNING COM.	BOARD OF HEALTH APPROVED THIS <u>19th</u> DAY OF <u>Nov</u> , A.D. 2004 <i>Don</i> BLUFFDALE CITY BOARD OF HEALTH	Comcast <i>Sandra Palmer</i> 11/16/04	BLUFFDALE ENG. DEPT. I HEREBY CERTIFY THAT THIS PLAT WAS EXAMINED AND IS CORRECT IN ACCORDANCE WITH INFORMATION FILED IN THIS OFFICE. <u>11/16/04</u> DATE <i>City Engineer</i>	APPROVAL AS TO FORM APPROVED AS TO FORM THIS DAY OF <u>June</u> , A.D. 2004 <i>Judd</i> BLUFFDALE CITY ATTORNEY	CITY COUNCIL PRESENTED TO THE BOARD OF BLUFFDALE CITY COUNCIL THIS <u>22nd</u> DAY OF <u>JUNE</u> , A.D. 2004. AT WHICH TIME THE SUBDIVISION WAS APPROVED AND ACCEPTED. <i>Mayor</i> BLUFFDALE CITY
--	--	--	--	---	--

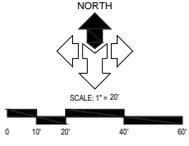
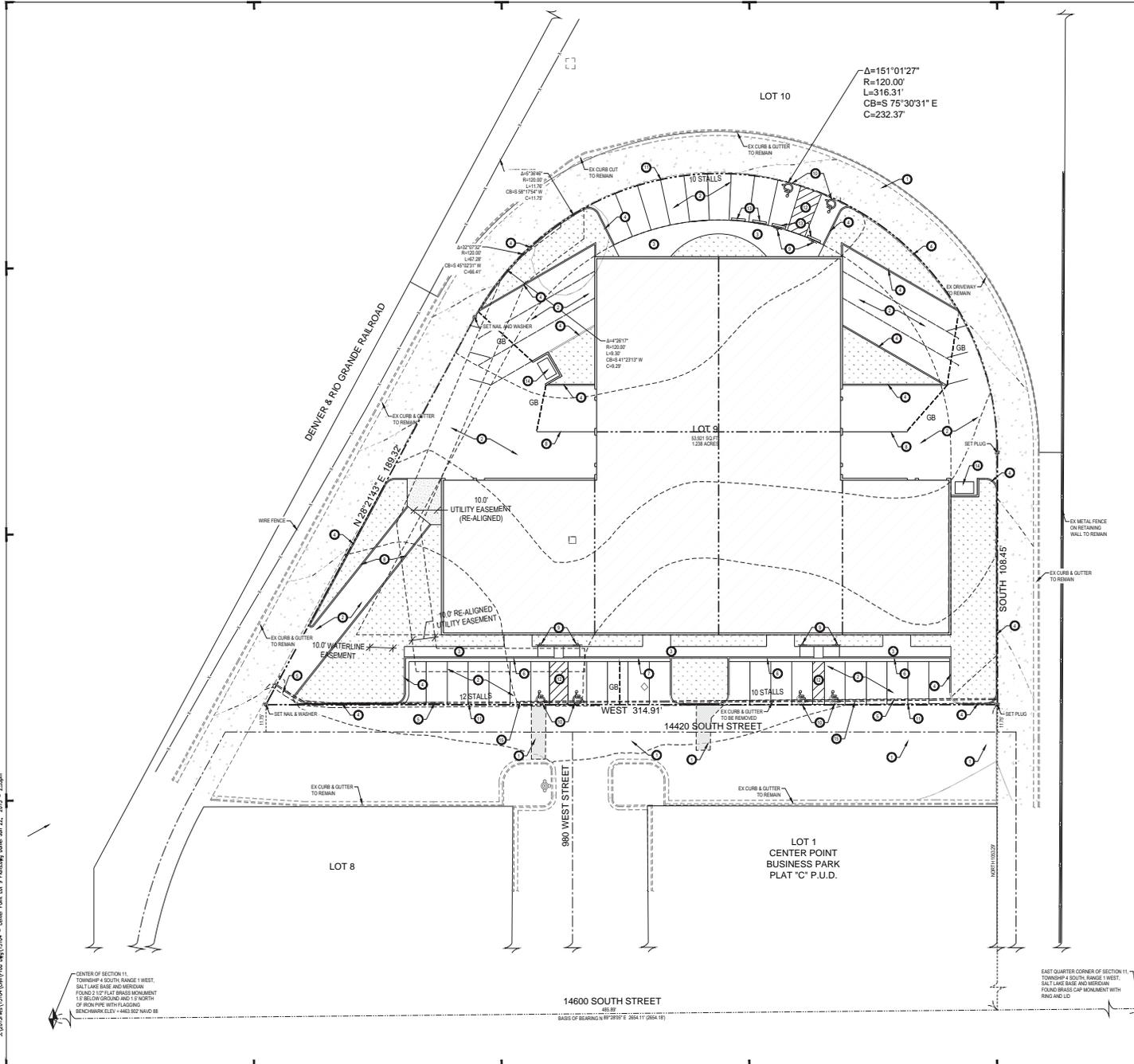
RECORDED # 9314856

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF Bluffdale City
DATE 3-4-05 TIME 2:40 PM BOOK 2005-00000000 PAGE 1
FILE # 94155
SALT LAKE COUNTY RECORDER



53-11-21 53-11-251-2014Am038 #4100
2005P-61

Proposed Site Plan



DESCRIPTION	AREA	%
HARDSCAPE	25.451 SQFT	38%
LANDSCAPE	8.538 SQFT	13%
BUILDINGS	24.962 SQFT	39%
TOTAL	58.951 SQFT	100%

PARKING TOTALS:
 32 NEW PARKING STALLS
 8 ADA STALLS

GENERAL NOTES:
 ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION.
 SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
 ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

- KEYED NOTES:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWING:
 1. 6" CONC. FOR NEW UTILITIES AND PATCH PER ALPHA.235 AND 236.
 2. CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C'; SHEET CS-1.
 3. CONCRETE SIDEWALK. SEE DETAIL 'C2'; SHEET CS-1.
 4. CONCRETE CURB WALL. SEE DETAIL 'C3'; SHEET CS-1.
 5. EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED AND LEGALLY DISPOSED OF.
 6. 3" CONCRETE CURB AND GUTTER. SEE DETAIL 'C4'; SHEET CS-1.
 7. 3" CONCRETE RELEASE CURB AND GUTTER. SEE DETAIL 'C5'; SHEET CS-1.
 8. CONCRETE RETAINING WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
 9. ADA PARKING SIGN. SEE DETAIL 'D6'; SHEET CS-1.
 10. PAINTED ADA SYMBOL. SEE DETAIL 'D7'; SHEET CS-1.
 11. 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
 12. 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
 13. CONCRETE WHEEL STOP. SEE DETAIL 'D1'; SHEET CS-1.
 14. DAMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 15. CARPORTS TO BE BUILT OVER THE BANK OF STALLS AT A FUTURE DATE.

MCNEIL ENGINEERING
 Professional Engineers, Architects, Surveyors, Planners, and Environmental Scientists
 4888 South Main Street, Suite 200, Salt Lake City, Utah 84143
 Phone: (801) 488-2700
 Fax: (801) 488-2701
 Email: info@mcneileng.com
 Website: www.mcneileng.com



CENTER POINT LOT 9
 974 WEST 14420 SOUTH
 BLUFFDALE, UTAH

REV	DATE	DESCRIPTION

PROJECT NO: 15104
 DRAWN BY: JHM
 CHECKED BY: RJP
 DATE: 6-18-15

HORIZONTAL CONTROL PLAN

C1.01

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

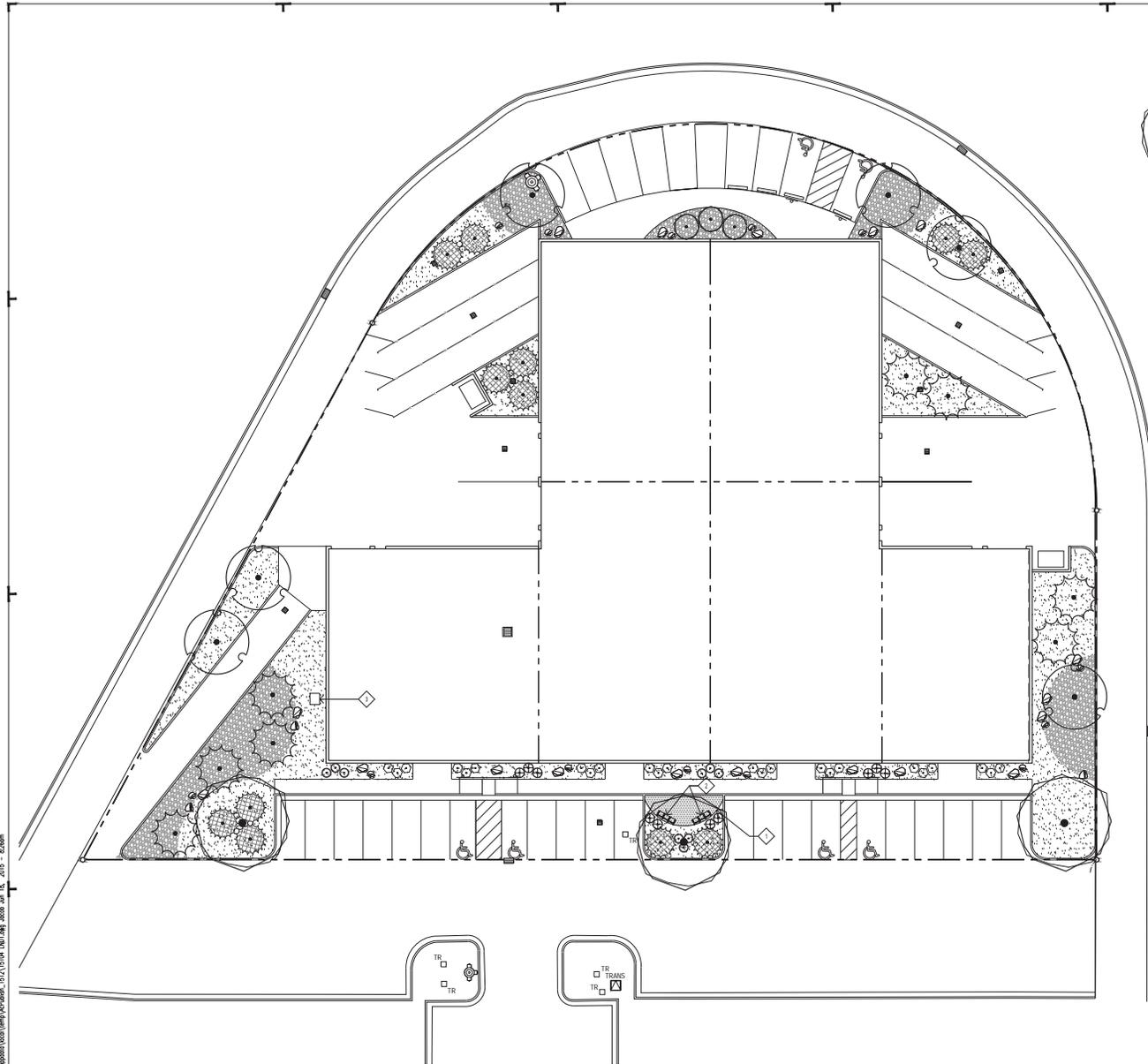
 1.800.462.4111

NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RELOCATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

S:\010\p04\15104\CDM\Prop\Map\15104 - Center Point Lot 9 Horizontal Control Plan.dwg, Jun 22, 2015, 1:25:38pm

Proposed Landscape Plan

C:\Users\jacob.mcel...2004\Projects\centerpoint\lmp\lmp.dwg Jacob Jan 15, 2015 - 8:06am



PLANTING LEGEND

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	NOTE
TREES					
	3	SHADEMASTER HONEYLOCUST	<i>Gleditsia triacanthos var. inermis 'Shademaster'</i>	1-1/2" Caliper	See Detail E.L3.01
	6	SPRING SNOW CRABAPPLE	<i>Malus 'Spring Snow'</i>	1-1/2" Caliper	See Detail E.L3.01
	8	HOOPSIE BLUE SPRUCE	<i>PICEA PLINGENS GLAUCA HOOPSI</i>	8'-8" Height	See Detail F.L3.01
SHRUBS					
	12	BLUE CHIP JUNIPER	<i>Juniperus communis 'Blue Chip'</i>	5 Galon	See Detail A.B.L3.01 (1) 1 GPH Embter - See Detail F.L3.02
	3	RED TWIG DOGWOOD	<i>Cornus sericea 'Red Twig'</i>	5 Galon	See Detail A.B.L3.01 (2) 1 GPH Embter - See Detail F.L3.02
	9	WHITE BUD NODDY PINE	<i>Pinus mugo 'White Bud'</i>	5 Galon	See Detail A.B.L3.01 (1) 1 GPH Embter - See Detail F.L3.02
	10	GOLDMOUND SPIREA	<i>Spiraea x bumalda 'Goldmound'</i>	5 Galon	See Detail A.B.L3.01 (1) 1 GPH Embter - See Detail F.L3.02
	24	CRIMSON PYGMY BARBERRY	<i>Berberis thunbergii 'atropurpurea nana 'Crimson Pygmy''</i>	5 Galon	See Detail A.B.L3.01 (1) 2 GPH Embter - See Detail F.L3.02
STONE & BOULDERS					
	2,474 s.f.	COBBLE: 1" - 6" "WEBER RIVER ROCK" FROM STANGER & PARSON COMPANIES (801) 819-9089 OR APPROVED EQUAL, INSTALLED A MINIMUM 3" DEEP.	Install over Owens Pro 5 weed barrier fabric. Rock shall be washed and free of dirt and other foreign debris. Mix an equal 1/3 portion of 1" to 2", 2" to 4" and 4" to 6" rock sizes.		See Detail D.L3.01
	34	BOULDERS: 24" DIAMETER "BROWNS CANYON" FROM NEMO SANDSTONE (435) 623-2332 OR APPROVED EQUAL.	Bury 2/3 the depth of the boulder into finish grade. Do not use boulders that are less than 24" or greater than 48" diameter. Boulder shall be washed and free of dirt and other foreign debris.		See Detail E.L3.01
	5,849 s.f.	STONE MULCH: 3/8" MINUS "COOPER CANYON" CRUSHED ROCK FROM STANGER PARSON COMPANIES (801) 819-9089 OR APPROVED EQUAL, INSTALLED A MINIMUM 3" DEEP.	Install over Owens Pro 5 weed barrier fabric.		See Detail D.L3.01
	176 s.f.	CHAT (DECOMPOSED GRANITE), "COOPER CANYON" CRUSHED ROCK FROM STANGER PARSON COMPANIES (801) 819-9089 OR APPROVED EQUAL, INSTALLED A MINIMUM 3" DEEP.	Install over Owens Pro 5 weed barrier fabric. Rock shall be washed and free of dirt and other foreign debris.		See Detail D.L3.01

PLANTING NOTES

1. ALL QUANTITIES ARE SHOWN AS AN AID ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL QUANTITY CALCULATIONS BASED ON THE PLANTING PLAN.
2. PLANT COMMON NAMES ARE SHOWN AS A REFERENCE ONLY. USE COMPLETE BOTANICAL NAMES WHEN PURCHASING ALL PLANT MATERIAL.

REFERENCE NOTES

- ALUMINUM EDGING - SEE DETAIL G.L3.01
- BENCH BY OWNER
- CONCRETE PAD FOR BACKFLOW PREVENTION ASSEMBLY - SEE IRRIGATION PLANS.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call 800-4-A-DIG

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

MCNEIL ENGINEERING

Professional Engineer - License No. 24887

Professional Land Surveyor - License No. 1000

Professional Landscape Architect - License No. 1000

Professional Civil Engineer - License No. 1000

Professional Mechanical Engineer - License No. 1000

Professional Electrical Engineer - License No. 1000

Professional Chemical Engineer - License No. 1000

Professional Nuclear Engineer - License No. 1000

Professional Environmental Engineer - License No. 1000

Professional Fire Protection Engineer - License No. 1000

Professional Industrial Engineer - License No. 1000

Professional Mining Engineer - License No. 1000

Professional Petroleum Engineer - License No. 1000

Professional Surveying Engineer - License No. 1000

Professional Transportation Engineer - License No. 1000

Professional Water Resources Engineer - License No. 1000

Professional Wind Engineering - License No. 1000

STATE OF UTAH

SCOTT A. SCHOONOVER

Professional Engineer - License No. 349757

Professional Land Surveyor - License No. 1000

CENTER POINT LOT #9

97A WEST 14420 SOUTH

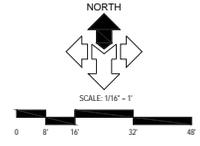
BLUFFDALE CITY, UTAH

NO.	DATE	DESCRIPTION

PROJECT NO: 15104
 DRAWN BY: JAM
 CHECKED BY: SAS
 DATE: 6-18-15

PLANTING PLAN

L1.01

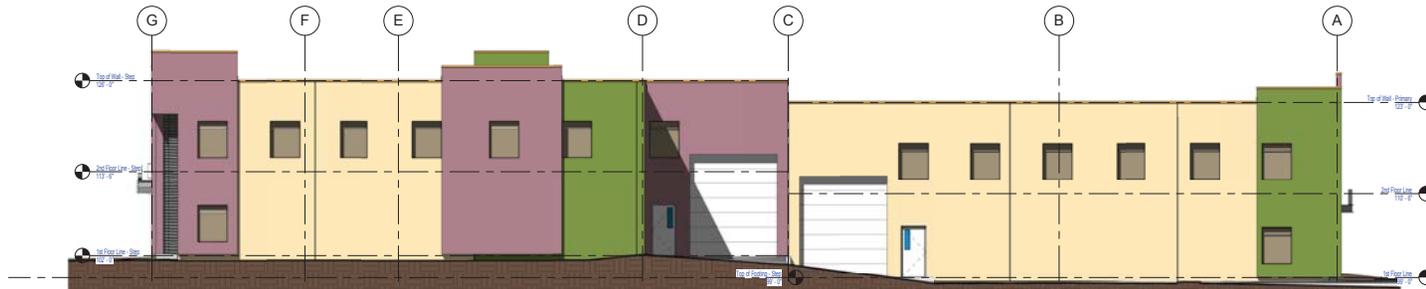


Elevations



SOUTH ELEVATION

SCALE: 1/8"=1'-0"



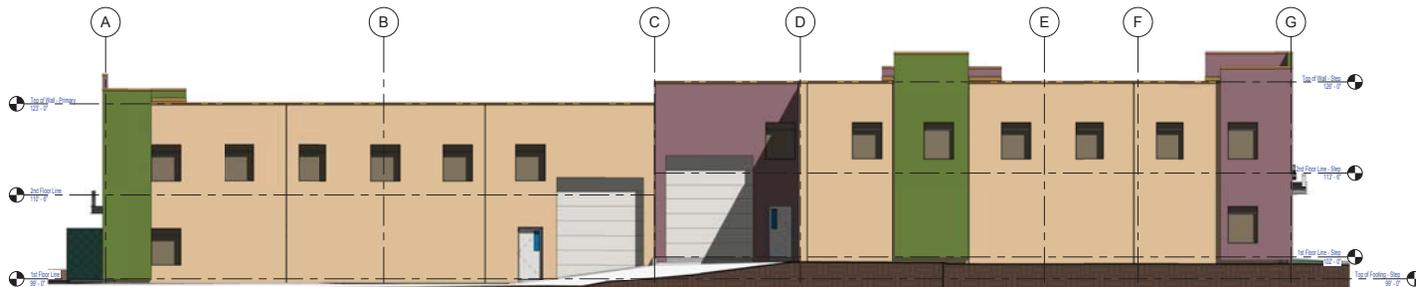
EAST ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"

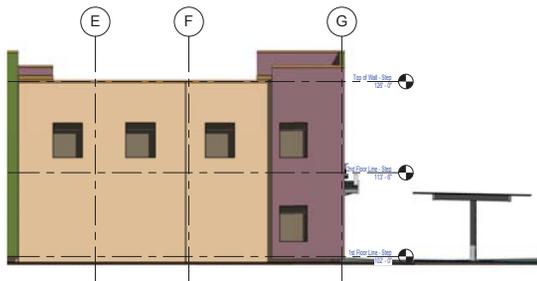
REVISIONS	DATE	DESCRIPTION

PROJECT NO. Project Number
 DRAWN BY CEG
 CHECKED BY JAC
 DATE 18 MAY 2015
 PROP. NO. #

**EXTERIOR
 ELEVATIONS**

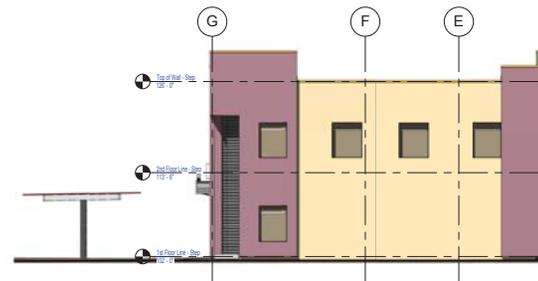
A2.01

Elevations



CARPORT ELEVATION - WEST

SCALE: 1/8"=1'-0"



CARPORT ELEVATION - EAST

SCALE: 1/8"=1'-0"



CARPORT ELEVATION - SOUTH

SCALE: 1/8"=1'-0"

REVISIONS	DATE	DESCRIPTION
1	18 JUNE 2015	Project Number
2		MC
3		MC
4		MC
5		MC
6		MC

**CARPORT
 ELEVATIONS**

A2.02

Agenda Item 12

CITY OF BLUFFDALE, UTAH

ORDINANCE NO. 2015-

AN ORDINANCE APPROVING THE ADJUSTMENT OF A COMMON MUNICIPAL BOUNDARY WITH DRAPER CITY

WHEREAS, pursuant to Utah Code Ann. § 10-2-419, the legislative bodies of two or more municipalities having common boundaries may adjust their common boundaries;

WHEREAS the City of Bluffdale and Draper City share a common boundary and intend to adjust the boundary;

WHEREAS the City of Bluffdale passed a resolution on June 24, 2015, and Draper City passed a resolution on July 7, 2015, stating their intent to adjust a common boundary;

WHEREAS the City of Bluffdale has posted appropriate notice according to Utah Code Ann. § 10-2-419(2);

WHEREAS the City of Bluffdale has held a public hearing regarding the adjustment of a common boundary; and

WHEREAS the City of Bluffdale has received no protests that meet the requirements of Utah Code Ann. § 10-2-419(3);

NOW, THEREFORE, THE BLUFFDALE CITY COUNCIL HEREBY ORDAINS AS FOLLOWS:

Section 1. Adoption of Addendum 1 Approving the Adjustment of the Common Boundary. The City Council hereby approves the adjustment of a municipal boundary between the City of Bluffdale and Draper City as represented in Exhibit A.

Section 3. Effective Date. This ordinance shall take effect when Draper City has adopted a similar ordinance approving their part of the boundary adjustment.

Passed and dated: July 22, 2015.

Mayor

Attest:

[seal]

City Recorder

Voting by the City Council:

Yes No

Councilmember Jackson	_____	_____
Councilmember Kartchner	_____	_____
Councilmember Nielsen	_____	_____
Councilmember Pehrson	_____	_____
Councilmember Westwood	_____	_____

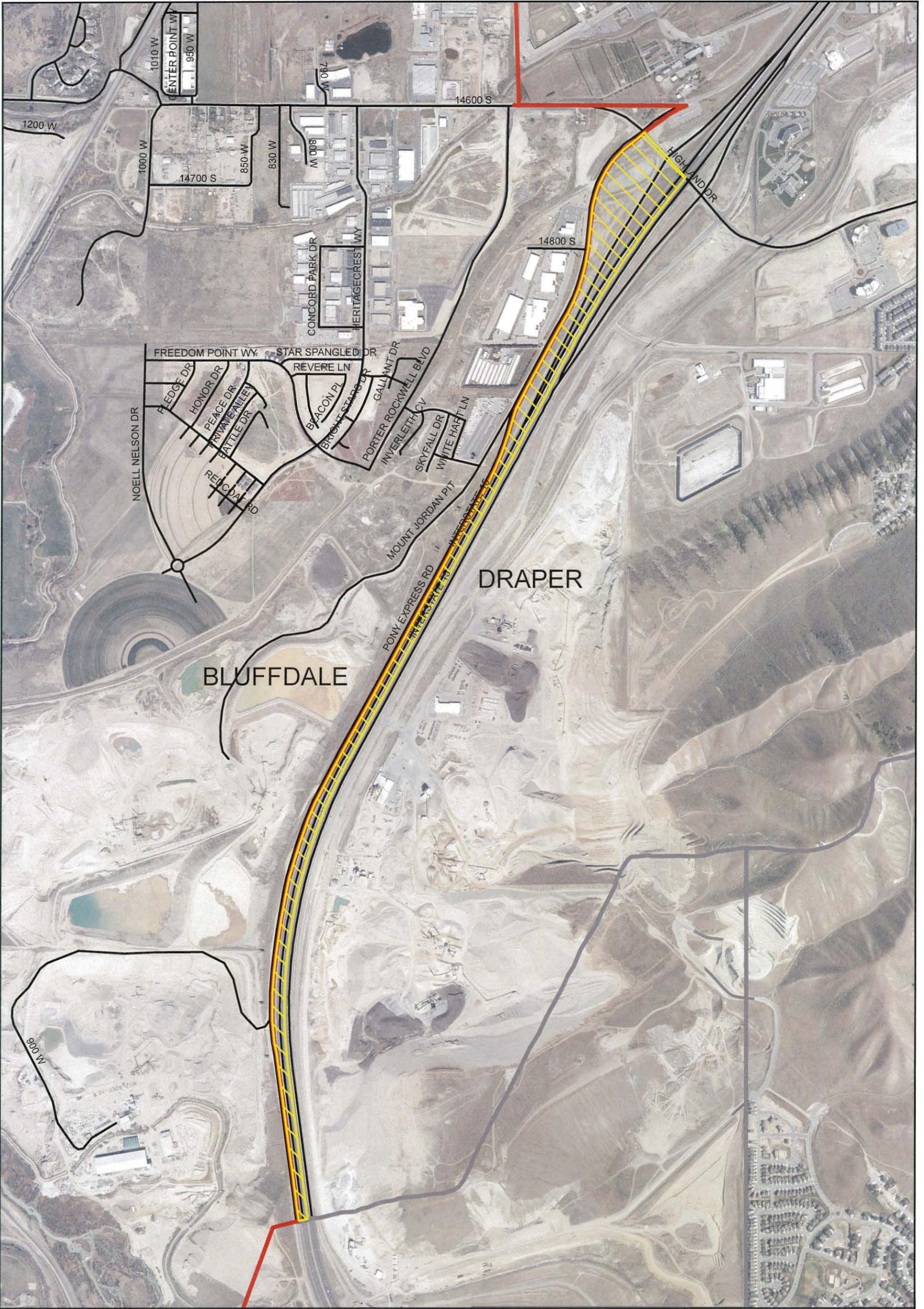
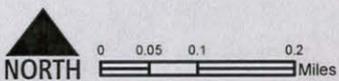


Exhibit A

Bluffdale/Draper Boundary Adjustment Area



Current Bluffdale Boundary
 Adjustment Area



Agenda Item 13



14241 S. Redwood Road, Bluffdale, Utah 84065; Tel. 801-858-0490; mfazio@bluffdale.com

Memo

Date: 8-Jul-15
From: Matt Chadwick
To: Mark Reid, City Manager
Mayor Timothy
City Council
CC:
RE: ULDC Amended Encroachment Agreement

On March 25, 2015, City Council approved a resolution to authorize the City Manager to enter into an encroachment agreement between Bluffdale City and the Utah Lake Distributing Company (ULDC) to install a storm drain pipe underneath their canal channel. The ULDC requested that the City install a concrete apron come the Fall, to further protect the canal from any failures that could result from the drainage pipe the City installed.

For this reason the ULDC has requested to amend the original agreement. Notable changes include the following provisions:

1. An acknowledgement of our decision to use a solid wall HDPE pipe instead of a steel casing agreed upon originally, and their approval of the alternative.
2. An agreement to install a 40 foot concrete apron along the existing channel, centered over the pipe.
3. An agreement to clean up and grade the canal access road between River View Drive and Iron Horse Blvd after the installation of the concrete liner.

The engineering department has budgeted for the added expense and recommends the approval of the resolution authorizing the City Manager to enter into and sign the modified agreement between Bluffdale City and the ULDC.

CITY OF BLUFFDALE, UTAH

RESOLUTION No. 2015-

A RESOLUTION AUTHORIZING EXECUTION OF A “UTAH LAKE DISTRIBUTING COMPANY MODIFICATION OF ENCROACHMENT AGREEMENT.”

WHEREAS the City of Bluffdale (“City”) undertook a project for the Wood Hollow Drainage (“Project”);

WHEREAS, as part of the Project, the Utah Lake Distributing Company (“Company”) has requested some further improvements to address issues that arose during construction of the Project; and

WHEREAS the Company has requested a Modification of the original Encroachment Agreement to govern the additional facilities and the encroachment of the facilities associated with the Project upon the Company’s property;

NOW, THEREFORE, BE IT RESOLVED BY THE BLUFFDALE CITY COUNCIL AS FOLLOWS:

Section 1. Authorization to Execute Encroachment Agreement. The City Council hereby authorizes the City Manager to execute the attached “Utah Lake Distributing Company Modification of Encroachment Agreement with the City of Bluffdale [Addition of Concrete Liner and Road Improvements]” in the form attached hereto.

Section 2. Effective Date. This Resolution shall become effective immediately upon passage.

PASSED AND APPROVED: July 22, 2015.

CITY OF BLUFFDALE

Mayor

ATTEST:

[seal]

City Recorder

Voting by the City Council: Yes No

Councilmember Jackson	_____	_____
Councilmember Kartchner	_____	_____
Councilmember Nielsen	_____	_____
Councilmember Pehrson	_____	_____
Councilmember Westwood	_____	_____

**UTAH LAKE DISTRIBUTING COMPANY
MODIFICATION OF ENCROACHMENT AGREEMENT
WITH THE CITY OF BLUFFDALE
[ADDITION OF CONCRETE LINER AND ROAD IMPROVEMENTS]**

This Agreement is made and entered into between the **Utah Lake Distributing Company**, a Utah non-profit corporation, hereinafter referred to as “Company,” and **The City of Bluffdale**, hereinafter referred to as the “Applicant” or “Grantee.”

RECITALS

A. On April 2, 2015, Applicant and Company entered into an encroachment agreement allowing Applicant to encroach upon Company’s canal property to install a 24-inch dual wall corrugated HDPE pipe inside a 36-inch steel casing under the ULDC Riverton Canal just west of Crooked Sky Drive in Bluffdale, Utah.

B. On May 4, 2014, the Company placed water in the canal. The casing pipe on the uphill side of the canal was not backfilled. Water from the canal seeped through and weakened the canal bank, eventually causing the bank to fail, as well as washing out part of the floor of the canal.

C. Native sandy materials were used to reconstruct the bank of the canal so that water could be turned back into the canal. Bentonite was placed around the portion of the pipe that had washed out and was also used in cutoff walls.

D. Due to the sandy native material in the area, it was determined that a concrete liner should be placed over the pipe crossing to protect the canal banks. Due to funding constraints and demand for water, it was determined that the installation of the concrete liner in the canal would occur after the 2015 water season.

AGREEMENT

In consideration of the mutual benefits which will accrue to the parties hereto, the parties agree as follows:

The parties agree to add the following provisions to the April 2, 2015 agreement. All other terms of the April 2, 2015 agreement will remain in place and are unaffected by this agreement.

1. Casing Pipe. The Applicant decided during the bidding process to change the casing pipe to a 24-inch fused HDPE solid wall pipe so that a directional drilling method could be used for installation. The parties agree that the solid wall HDPE pipe is an acceptable replacement for the 36-inch steel casing and 24-inch dual wall corrugated HDPE pipe.

2. Concrete Pad. The parties agree that a concrete liner will be installed by the Applicant in the ULDC Riverton Canal directly above and centered over the 24-inch fused HDPE solid wall pipe, and will meet the following conditions:

- a. Construction of the concrete liner shall be complete by March 1, 2016.
- b. Applicant shall construct, at Applicant's sole cost and expense, the necessary facilities described in Exhibit A ("Facilities") which exhibits are incorporated as a part of this Agreement. Applicant shall have no right to make any other alterations or changes to any of ULDC's canal or properties. ULDC and ULDC's engineer shall under no circumstances have any responsibility for design or construction of the Facilities.
- c. Canal liner shall extend a total of 40 feet and shall be centered over the storm drain pipe.
- d. Canal liner shall extend up the banks of the canal and shall extend above the high water level of the canal by a minimum of 2 feet.
- e. Embankment material shall be compacted to a minimum of 92% modified Proctor density.
- f. Base material for the concrete liner shall be a well graded sandy gravel structural fill.
- g. Backfill for cutoff walls and any other disturbance in the canal outside of the extents of the concrete liner shall be 10% bentonite and 90% clay. No native material will be allowed as backfill.
- h. All other backfill material around cutoff walls and in open canal channel to be compacted to a minimum of 92% modified Proctor density.
- i. Compaction test results must be submitted to Franson Civil Engineers. All failed material shall be removed and compacted to specifications. Testing must be performed by a licensed soils lab.
- j. Canal embankment shall be shaped to match the existing canal prism.
- k. Rebar shall be a minimum of #5 bar at 12 inches on center.
- l. All concrete used in construction to be a minimum of 6 inches thick and shall have a minimum compressive strength of 4,000 psi. The concrete mix shall include between 5% and 7% air entrainment.
- m. Any joints in concrete liner shall have PVC waterstop.
- n. Concrete cutoff walls are required on the inlet and outlet, a minimum of 3 feet below the bottom of the concrete slab (apron). These cutoffs are required to extend into the banks up to the top of the concrete liner.

3. Road Improvements. The Applicant shall clean up and grade the canal O&M road between River View Drive and Iron Horse Boulevard and will meet the following conditions:

- a. The road will be graded to remove all ruts and potholes.
- b. The road will be sloped slightly away from the canal to allow storm water to run off.
- c. No berms will be left on either edge of the canal road so that storm water is allowed to run off.

d. The road will be re-graded after installation of the concrete liner.

The parties have executed this Agreement to be effective the _____ day of _____, 2015.

UTAH LAKE DISTRIBUTING
COMPANY

THE CITY OF BLUFFDALE

By: _____
Jeff McMullin, President

By: _____

Title: _____

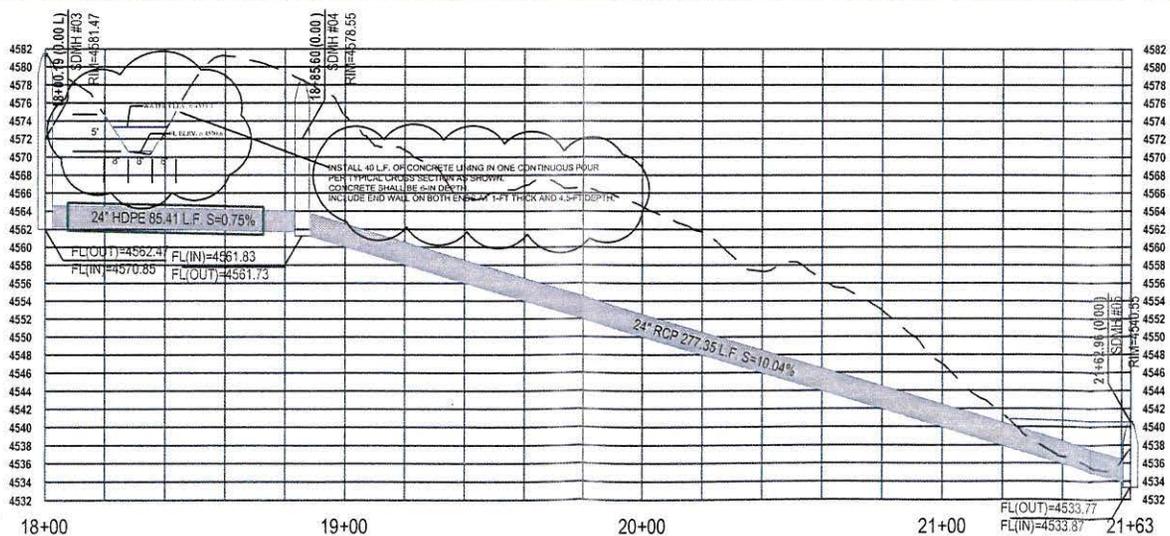
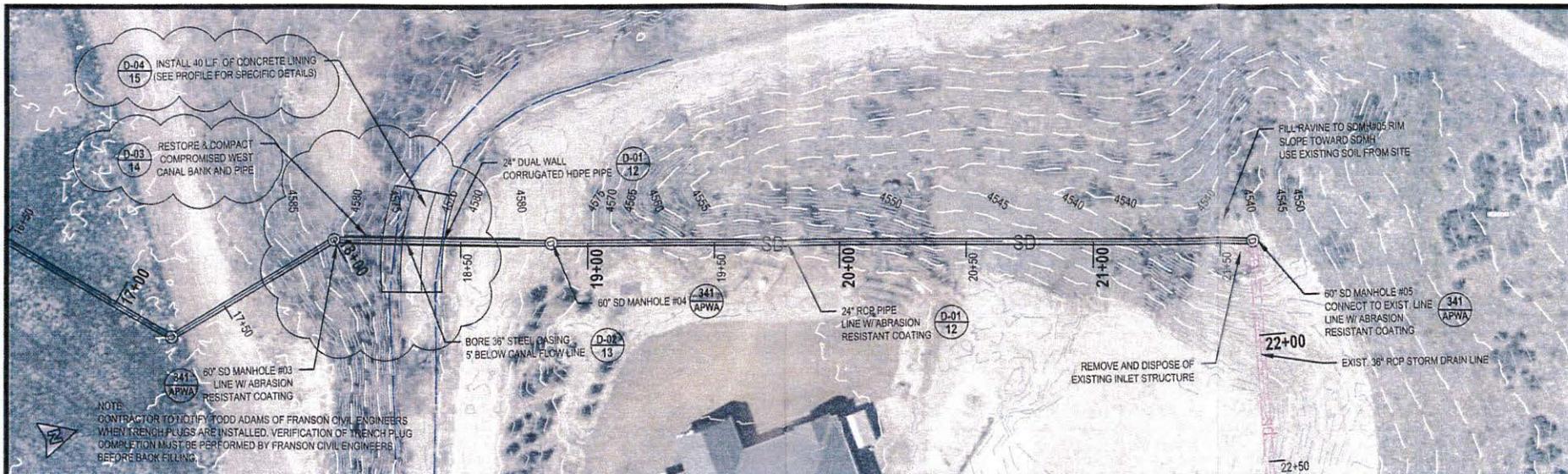


Exhibit A-1

HORIZONTAL SCALE: 1 inch = 40 ft.



CALL REQUESTS:
 1. 800-441-4747
 2. 801-441-4747
 3. 801-441-4747
 4. 801-441-4747

The City of
BLUFFDALE

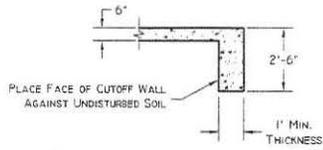
WOODHOLLOW DRAINAGE
 PLAN & PROFILE (OPTIONAL)

REVISIONS		
NO.	DATE	BY

DESIGNED	DATE	PROJECT NO.
MC	01/16/15	15001SD
DRAWN	DATE	SHEET NO.
MC	02/09/15	11
CHECKED	DATE	DRAWING NO.
MF	02/10/15	PP-03_OP

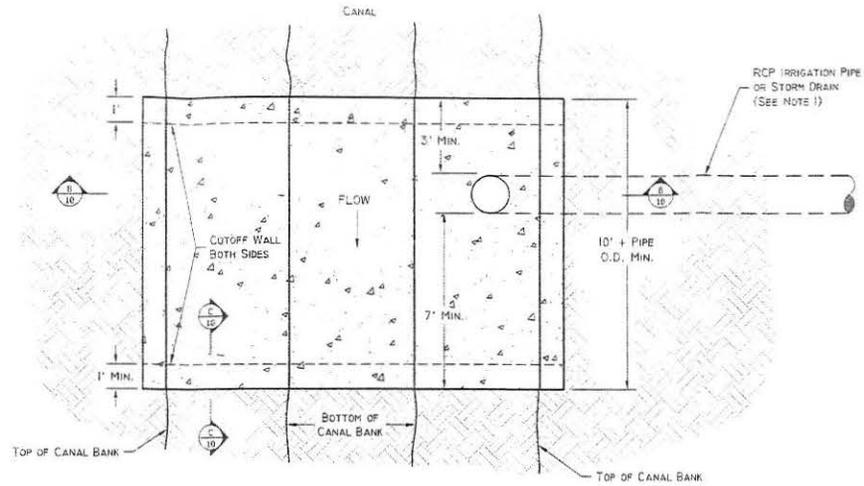
NOTES:

1. ALL STORM DRAIN PIPE MUST BE PRE-APPROVED AND HAVE SIGNED AGREEMENT WITH ALL PARTIES (INCLUDING SALT LAKE COUNTY FLOOD CONTROL, IF APPLICABLE).
2. PRE-TREATMENT TO STORM DRAIN PIPE DISCHARGE IS REQUIRED. TREATMENT AND DISCHARGE RATE TO BE DETERMINED BY FCE.
3. ALL STORM DRAIN PIPES SHALL BE RCP.
4. DRAWING IS FOR PIPE ENTERING CANAL AT 90°. OTHER DIMENSIONS MAY APPLY FOR VARYING ANGLES.
5. THE LENGTH OF CONCRETE IN CHANNEL IS 10 FEET PLUS THE OUTER DIAMETER OF THE DISCHARGE PIPE.
6. PIPE TO BE CUT FLUSH WITH CONCRETE.

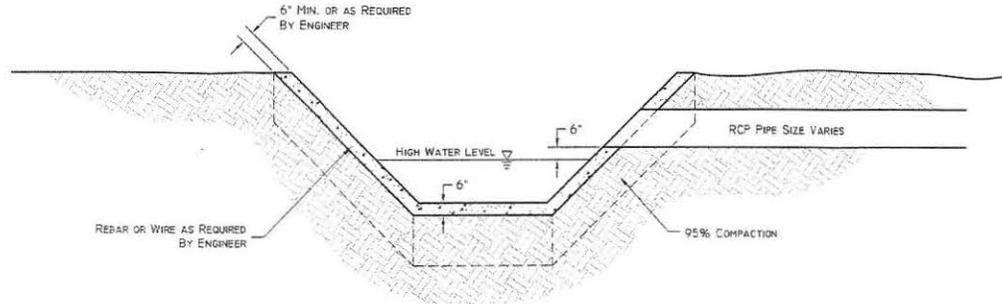


NOTE:
ENGINEER TO DETERMINE REBAR SIZE
AND SPACING IN CUTOFF WALL.

C CUTOFF WALL CROSS SECTION
NTS



A PIPE INLET PLAN
NTS



B PIPE INLET CROSS SECTION
NTS

Exhibit A-3

FRANSON
CIVIL ENGINEERS
1226 South 820 East, Suite 100
Salt Lake City, Utah 84143
PHONE: (801) 487-1000 FAX: (801) 487-1001

PROJECT NO.	15001SD
DATE	12/15/09
SCALE	AS SHOWN
DRAWN BY	J. S. JONES
CHECKED BY	J. S. JONES
DESIGNED BY	J. S. JONES
APPROVED BY	J. S. JONES

PIPE INLET INTO CANAL DETAILS
STANDARD DRAWINGS
RCP PIPE SIZE VARIES
95% COMPACTION
REBAR OR WIRE AS REQUIRED BY ENGINEER

SHEET
10 OF 10



The City of
BLUFFDALE

WOODHOLLOW DRAINAGE

CONCRETE LINING DETAIL

REVISIONS		
REV	DATE	BY

DESIGNED	DATE	PROJECT NO.
DRAWN	DATE	15001SD
CHECKED	DATE	SHEET NO.
		15
		DRAWING NO.
		D-04