



RIVERTON CITY
PLANNING COMMISSION AGENDA
THURSDAY, MAY 14, 2015



NOTICE IS HEREBY GIVEN THAT THE RIVERTON CITY PLANNING COMMISSION WILL HOLD A PUBLIC MEETING AT **6:30 PM, THURSDAY, MAY 14, 2015** AT THE **RIVERTON CITY MUNICIPAL BUILDING, 12830 SOUTH 1700 WEST, RIVERTON UTAH.** ANY QUESTIONS, CALL 801-208-3141 OR 801-208-3130.



REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES AND/OR THE NEED FOR TRANSLATION SERVICES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 801-208-3100.



1. **PUBLIC HEARING**

- A. **REZONE**, REZONING 8.8 ACRES LOCATED AT APPROXIMATELY THE NORTH WEST CORNER OF 1300 WEST 12600 SOUTH TO RM-14, CURRENTLY R-4 AND C-G ZONES, KEYSTONE CONSTRUCTION, APPLICANT
- B. **MULTI-FAMILY SITE PLAN**, THE MEADOWS ON PARK AVENUE, 2053 WEST 12600 SOUTH, RM-14-D ZONE, 121 UNITS, 8.65 ACRES, BRAD REYNOLDS CONSTRUCTION, APPLICANT.
- C. **CONDITIONAL USE PERMIT – PRIVATE LANE**, PROPOSED DEVELOPMENT OF 1 HOME ACCESSING A PRIVATE LANE, 1453 WEST RIVERTON RANCH ROAD, RR-22 ZONE, JAMES KIPP, APPLICANT.
- D. **CONDITIONAL USE PERMIT – PRIVATE LANE**, PROPOSED DEVELOPMENT OF 1 HOME ACCESSING A PRIVATE LANE, 13289 SOUTH 1830 WEST, JOHN AND SHEENA ROSE, APPLICANTS.

2. **DECISION ITEM**

- A. **FINAL COMMERCIAL SITE PLAN**, AMERICAN CURB CUT STUDIO, 12472 SOUTH 3670 WEST, C-R ZONE, KODY PIERCE, APPLICANT

3. **MINUTES**

- A. APRIL 9, 2015 PLANNING COMMISSION
- B. APRIL 23, 2015 PLANNING COMMISSION

4. **ADJOURNMENT**

ITEM 1.A

PARK VIEW REZONE

**RIVERTON CITY
MEMORANDUM**

TO: Planning Commission

FROM: Planning Department

DATE: May 14, 2015

SUBJECT: **REZONE, REZONING 8.8 ACRES LOCATED AT APPROXIMATELY THE NORTH WEST CORNER OF 1300 WEST 12600 SOUTH TO RM-14, CURRENTLY R-4 AND C-G ZONES, KEYSTONE CONSTRUCTION, APPLICANT**

PL NO.: 15-4004 – PARK VIEW REZONE

This application is a public hearing and legislative action item.

In rendering a decision the Planning Commission is serving a legislative function, decisions are based on reasonably debatable evidence.

PROPOSED MOTION(S)

I move the Planning Commission recommend approval of this rezone application, rezoning 8.8 acres located at approximately north west corner of 1300 West 12600 South from its current zoning of R-4 and C-G to to RM-14 and amend the Riverton City General plan from Community Commercial to High Density Residential.

BACKGROUND

Keystone Construction has submitted this application requesting that eight properties totaling 8.8 acres located at the north west corner of the intersection of 12600 South 1300 West be rezoned from its existing zoning of R-4 (Residential 10,000 square foot lots) and C-G (Commercial Gateway) to a new zoning designation of RM-14 (Residential multi-family 14 dwellings per acre). The property currently splits the R-4 and C-G zoning down the middle. Current uses of the properties are residential and limited agricultural. Properties to the north and west are zoned R-4 with a small parcel zoned C-PO (Commercial Professional Office) at the south west corner. Properties on the south side of 12600 South are zoned C-G. To the east property is zoned both R-4 and C-G.

The property has been master planned for Community Commercial under Riverton City's General Plan for many years. However, not one single application has come to the City requesting these properties be rezoned to commercial or requesting commercial site plan approval on the portion that is already zoned commercial. With ample commercial zoning located east and south east of the subject property the prospects of this entire parcel developing as commercial is very slim. The applicant is requesting that the property be rezoned to RM-14 in order to make way for a multi-family residential townhome development. I should emphasize that the RM-14 zoning does not allow for apartment buildings. It only allows for smaller townhome type of units. Rezoning to RM-14 does pave the way for the applicant to construct possibly 123 units within the subject parcel, however, this is a gross calculation based only upon lot size and density requirements. Building setbacks, roadways, open space and other issues have not been calculated and may reduce the overall number of units on the site.

Traffic is definitely an issue with a development of this size and density. 12600 South, which is a major arterial collector street, is designed to handle and move massive amounts of traffic. However, traffic on 1300 West is an issue and one that the applicant will need to address before the Commission and City Council. If necessary the Planning Commission may require a traffic study by the applicant.

If a zoning amendment is ratified the ordinance does have buffering requirements when non-compatible zones such as single-family against multi-family occur. Some of those buffering requirements are additional building setbacks, additional landscaping and fencing. However, these buffering requirements are addressed during site plan rather than zoning amendment hearings.

At this point, this hearing is only to consider the zoning of the property and whether the RM-14 zoning district is an appropriate zoning, density and use for this property. Issues and concerns related to the site plan will be reviewed and discussed at a later hearing during which a proposed site plan will be presented. Staff is recommending APPROVAL of this rezone application as this property is not a viable commercial property and additional residential homes will bring additional population to Riverton that will help bolster and strengthen existing commercial businesses and properties within Riverton City's boundaries. This property is somewhat blighted and the applicant is proposing to remove the blighted uses therein and rebuild with a new, modern development. This proposal is a benefit to Riverton City.

ATTACHMENTS:

The following items are attached for your review:

1. A copy of the Rezone application.
2. An 8.5" x 11" copy of the Current Zoning Map
3. An 8.5" x 11" copy of the Proposed Zoning Map

PL No. 15-4004
Date 4/20/2015

Application Rezone

A. Applicant's Name Keystone Contruction
Home Address 8679 South Sandy Pkwy
City Sandy State Utah Zip 84070
Telephone # 801-910-9838 Mobile # _____ Fax # _____

B. Property Owner's Name (If Different From Applicant) Raul Chavez
Address _____
City _____ State _____ Zip _____
Telephone # _____ Mobile # _____ Fax # _____

C. Project Information

1. Address 12600 South 1300 ~~1137~~
2. Sidwell/Tax ID# (See Title Report) _____ Total Acreage of the Site 8.8
3. Current Zoning of the Proposed Site Community Commercial
Zoning of Adjacent Parcels North R-4 South C-N East Mixed Use West R-4
4. Requested Zoning High Density 14 Units/Acre
5. Riverton City General Plan Designation Community Commercial
6. Description of the Proposed Zone/Use for the Property Multi-Family Dwellings

This application is for a request for change of zoning only. Any concept plans, drawings, or other indication of proposed development are included for reference only and are NOT approved as part of this process. A checklist outlining required materials and fees is included below.


Applicant's Signature

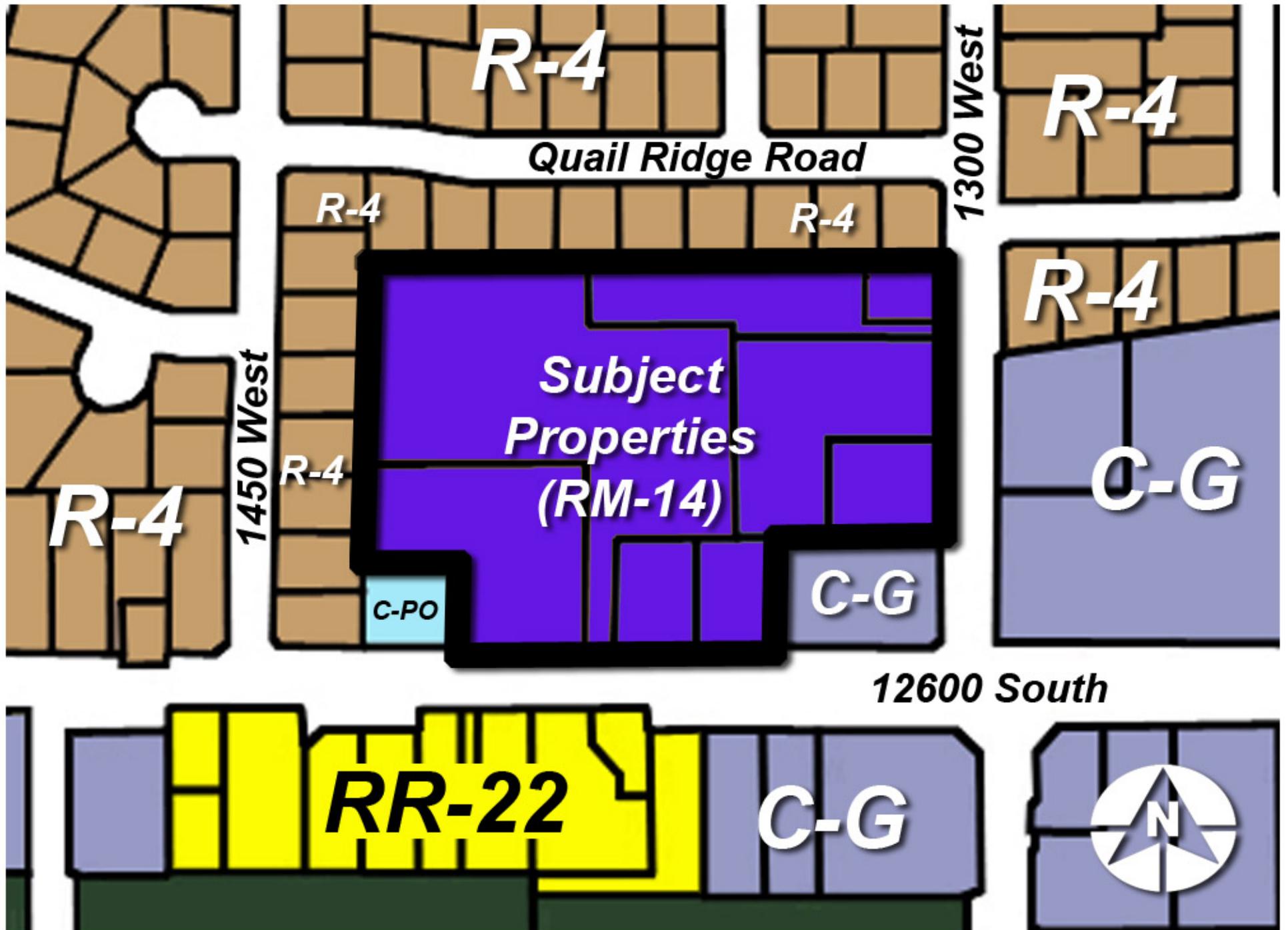
4/8/15
Date

PARK VIEW REZONE



AERIAL VIEW

PARK VIEW REZONE



PROPOSED ZONING

ITEM 1.B

THE MEADOWS ON PARK AVE

**RIVERTON CITY
MEMORANDUM**

TO: Planning Commission

FROM: Planning Department

DATE: May 14, 2015

SUBJECT: MULTI-FAMILY SITE PLAN, THE MEADOWS ON PARK AVENUE, 2053 WEST 12600 SOUTH, RM-14-D ZONE, 121 UNITS, 8.65 ACRES, BRAD REYNOLDS CONSTRUCTION, APPLICANT

PL NO.: 14-8004 – The Meadows on Park Avenue Multi-family Site Plan

PROPOSED MOTION:

I move that the Planning Commission recommend APPROVAL of the Meadows on Park Avenue multi-family site plan located at 2053 West 12600 South, application # PL-15-8004, with the following conditions:

1. Storm drainage systems and accommodation comply with Riverton City standards and ordinances, and with the recommendations of the Riverton City Engineering Division.
2. An interim storm drainage and erosion control plan and an access management plan be approved by the City prior to any construction or grading on the site.
3. The site and structures comply with any and all applicable Riverton City standards and ordinances, including the International Building and Fire Codes.
4. Eight foot solid core concrete masonry fencing installed along the west, south and south east property lines. Six foot solid core concrete masonry fencing installed along the northern property line adjacent to 12600 South.
5. A total of 25% of all building exterior surface shall be contained in brick or stone.
6. Submitting an acceptable SMP and covenant to maintain.
7. Applicant signature on the irrigation master plan.
8. Recording an easement for the irrigation pipeline on the west side of the property.
9. Submitting 4 sets of drawings for construction.

BACKGROUND:

Brad Reynolds Construction has submitted an application requesting approval of a multi-family residential site plan proposed to be located at 2053 West 12600 South. The property is zoned RM-14-D (Residential multi-family 14 units per acre Downtown). Property to the north is zoned C-D (Commercial Downtown) and are currently occupied by various commercial activities. To the east property is zoned C-D and is utilized as a technical school facility operated by the Jordan School District. To the south property is zoned C-D and C-D EHOV (Commercial Downtown with Elderly Housing Overlay) and to the west property is zoned R-4 (Residential 10,000 square foot lots).

The applicant is proposing to construct 121 residential units on property totaling approximately 8.65 acres. The project will be constructed with an access onto Park Avenue to the east. This access will be shared with the exiting United States Post Office located just to the south. The applicant is proposing 102 garden style units composed of six 12 unit buildings and five 6 unit buildings. There will also be 19 townhouse style units located closer to Park Avenue. A club house and swimming pool will also be

constructed as part of this proposed development. The one acre parcel located to the north east is remaining commercial and will not be developed as part of this development.

The site plan has been reviewed against the RM-14-D ordinance for setbacks, parking, sidewalks, open space, guest parking, etc and does comply with all criteria as found in the RM-14-D zoning code. Fencing within the development will comply with the existing fencing standards as found in the recently modified fencing ordinance. Thus, six foot solid core pre-cast concrete fencing will be installed along 12600 South. Eight foot solid core pre-cast concrete fencing will be installed along the western property line, the southern property line (fencing already existing) and the south eastern property line adjacent to the Post Office parking area. Fencing is required adjacent to the commercial parcel located at the north east corner, however, this fencing will be required when that commercial parcel develops.

The RM-14-D zoning ordinance does have specific design standards that read as follows:

“Exterior materials for all buildings in the RM-14-D zone shall include brick, stucco, stone, or other decorative masonry products including fiber-cement siding as approved by the city council upon recommendation from the planning commission. A minimum of 25 percent of the exterior shall be brick or stone. Vinyl and wood siding are not permitted.”

Proposed building exteriors feature a brick wainscot and columns, stucco above with accented areas of fiber cement siding. The architecture as proposed does comply with the requirements as found in the RM-14-D zone, however, staff has not been able to verify, based upon the drawings submitted, that there is 25% of the exterior surface that is covered in brick. Condition #5 addresses this.

Riverton City Planning, Water and Engineering divisions are recommending approval with the conditions listed in this staff report, however, the Engineering division did request that 6 through 9 be added as part of the motion. The Unified Fire Authority has also reviewed the proposed site plan and is recommending approval as well.

ATTACHMENTS:

The following items are attached for your review:

1. An copy of the Zoning and Aerial Views.
2. Site Plan materials.



PL No. 15-8004
Date 2-25-15

Application

Site Plan

A. Applicant's Name BRAD REYNOLDS
Home Address 2500 E ~~ODD~~ HAVEN LN
City HOLLORA State UT Zip 84117
Telephone # 801 281 2200 Mobile # 801 558 8800
E-mail Address BRAD@BRADREYNOLDS.CONSTRUCTION.COM Fax # 801 281 2202

B. Primary Contact Person BRAD REYNOLDS
Address 4804 SO 1140 E
City SUC State UT Zip 84117
Telephone # 801 281 2200 Mobile # 801 558 8800
E-mail Address _____ Fax # _____

C. Project Information

- Name of Proposed Business RESIDENCES ON PARK AVE
- Address 12600 SO 2053 WEST
- Description of the Proposed Business MULTI FAMILY
- Sidwell/Tax ID# _____ Total Acreage of the Site 8.65 AC
- Current Zoning of the Proposed Site RM 14D
Zoning of Adjacent Parcels: North _____ South _____ East _____ West _____
- Current Use of the Land VACANT
- Number of Existing Structures 0
- Describe the Proposed Use and Structures for the Site MULTI FAMILY
- Did this Project Require a Rezone? Yes / No _____ If Yes, PL# _____
- Did this Project Require a Conditional Use Permit? Yes / No _____ If Yes, PL# _____

By signing this application, I acknowledge that I have read and understood the application, ordinances, checklists, etc. associated with this application, and that any and all required drawings, plans, and other submittals are included and complete. All drawings and plans, and the proposed development, must comply with the requirements of the Engineering Plan Review Checklist, Riverton City Standards and Specifications, and all applicable Riverton City ordinances and standards.

Brad Reynolds
Applicant's Signature

2/25/15
Date

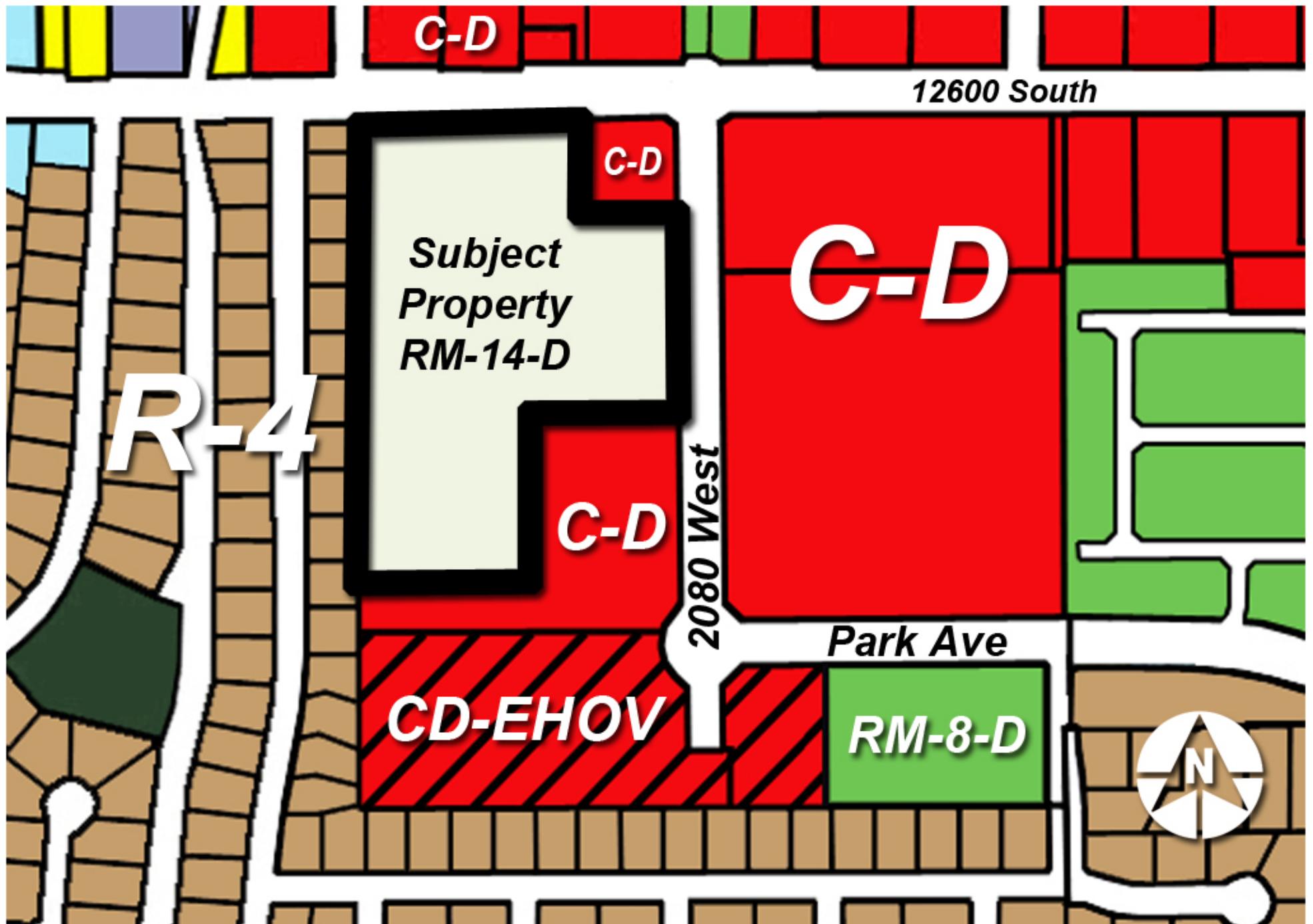
You will receive a letter following the Planning Commission and City Council meeting providing status of your application

THE MEADOWS ON PARK AVENUE



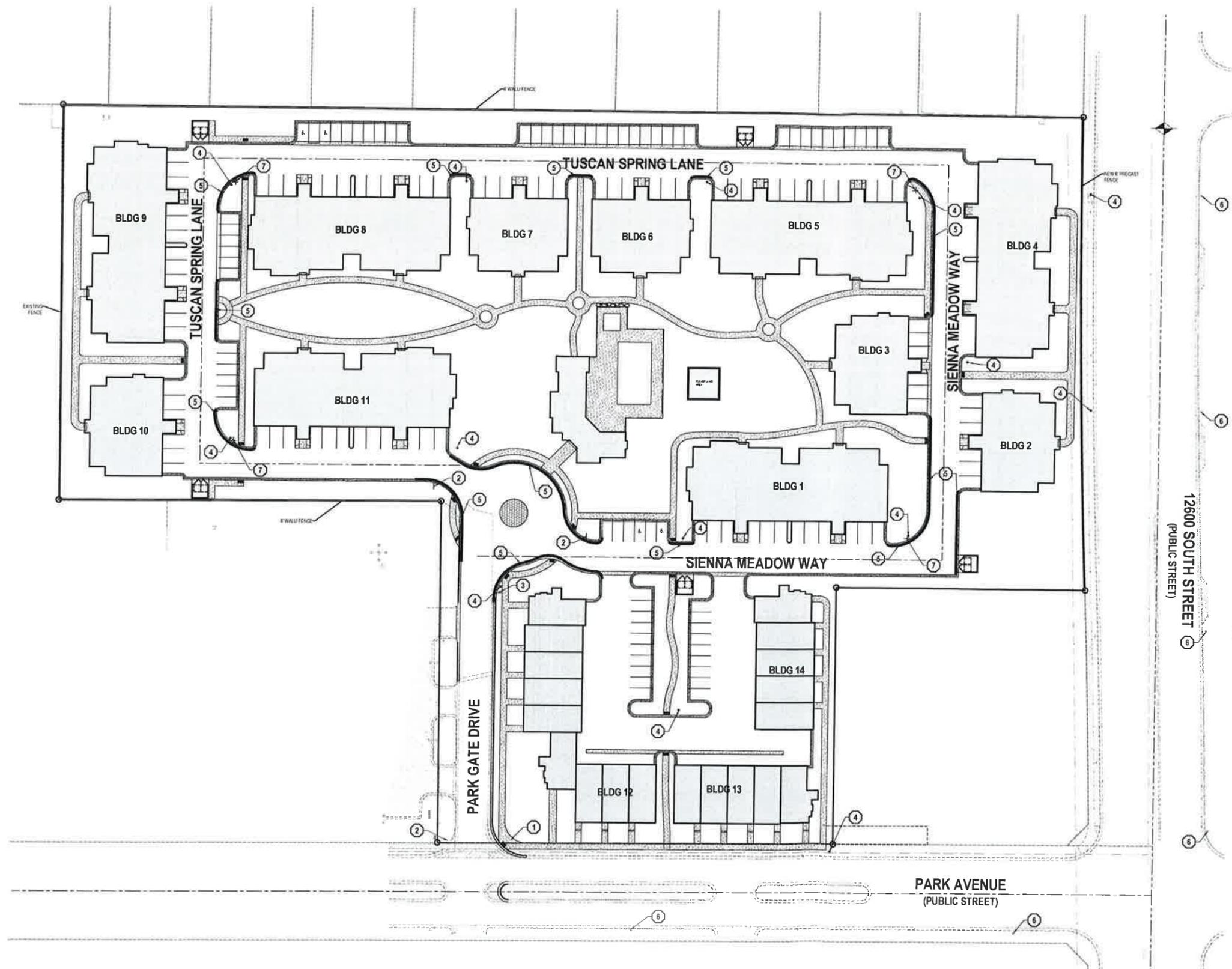
AERIAL VIEW

THE MEADOWS ON PARK AVENUE



811
 CALL BLUESTAINES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION
 Know what's below.
 Call before you dig.

BENCHMARK
 NORTH QUARTER CORNER OF SECTION 34
 TOWNSHIP 3 SOUTH RANGE 1 WEST
 SALT LAKE BASE & MERIDIAN
 ELEVATION = 4438.93



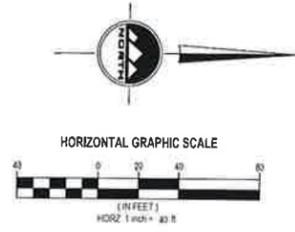
NOTE
 ALL SIGNAGE AND STRIPING TO COMPLY WITH MANUAL ON UNIFORM
 TRAFFIC CONTROL DEVICES, MUTCD

- KEY NOTES**
- 1 HANDICAP ACCESS RAMP PER RIVERTON CITY STANDARD DWG ST-10
 - 2 INSTALL COMBO SIGN PER RIVERTON CITY STANDARD DWG SG-2
 - 3 INSTALL YIELD SIGN PER RIVERTON CITY STANDARD DWG SG-2
 - 4 INSTALL STREET LIGHT PER RIVERTON CITY STANDARDS
 - 5 INSTALL "NO PARKING FIRE LANE" SIGNS AT 150 SPACING PER RIVERTON CITY STANDARDS AND SPECIFICATIONS
 - 6 EXISTING STREET LIGHT
 - 7 INSTALL STREET NAME SIGN PER RIVERTON CITY STANDARD DWG SG-1

LEGEND

	EXIST SIGN
	PRO SIGN
	EXIST UTILITY POLE
	EXIST GAS VALVE
	EXIST BUILDING
	PRO BUILDING
	EXISTING CONCRETE
	PROPOSED CONCRETE
	EXIST FENCE
	PRO FENCE
	EXIST EDGE OF ASPHALT
	PRO EDGE OF ASPHALT
	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT

REVISIONS:
 1. ADDED STREET LIGHTS TO 12600 SOUTH AND PARK AVENUE
 2. ADDED STREET NAME SIGNS



SALT LAKE CITY
 45 W 10000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529

LAYTON
 Phone: 801.547.1100

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.896.1453

RICHFIELD
 Phone: 435.896.2983

COLORADO SPRINGS
 Phone: 719.476.0119

WWW.ENSIGNENG.COM

FOR
 BRAD REYNOLDS CONSTRUCTION
 P.O. BOX 17958
 SALT LAKE CITY, UT 84117

CONTACT
 BRAD REYNOLDS
 PHONE: 801-281-2290

THE MEADOWS ON PARK AVENUE

PARK AVENUE 12600 SOUTH

RIVERTON, UTAH



NO.	DATE	REVISION	BY

STRIPING, SIGNAGE & LIGHTING PLAN

PROJECT NUMBER: 8358
 DRAWN BY: C. THOMAS
 PROJECT MANAGER: R. ELDER

PRINT DATE: 4/15
 CHECKED BY: R. ELDER

C-6.0

APR 14 2015

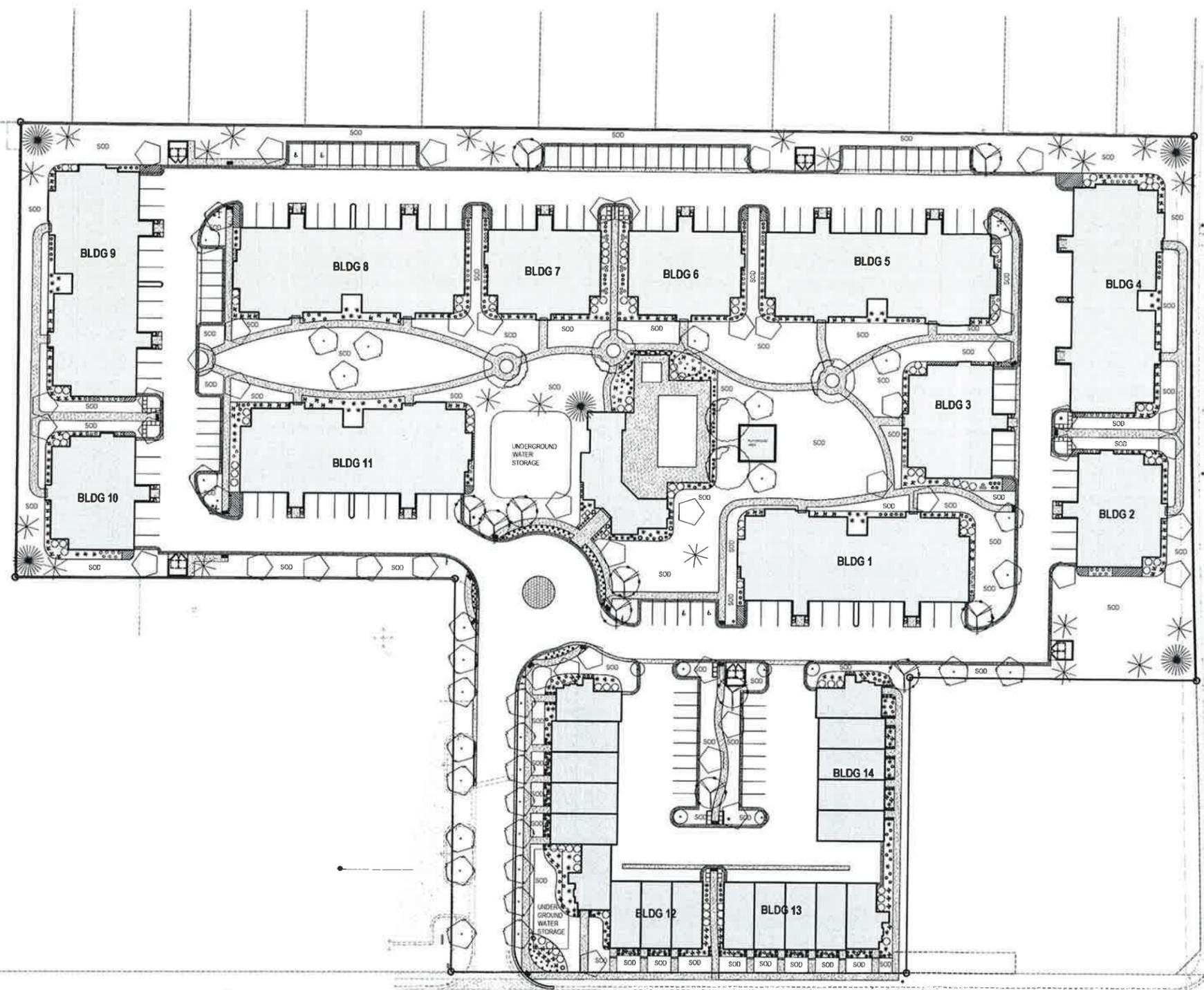
THE MEADOWS ON PARK AVENUE



AERIAL VIEW

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Know what's below,
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BENCHMARK
NORTH QUARTER CORNER OF SECTION 34
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
ELEVATION = 4438.63



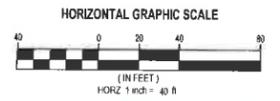
Landscape

Qty	Symbol	Common Name	Plant Size
Trees			
36	○	Dwarf Alberta Spruce	5 gallon
6	⊙	Pear, Calery 'Calery Pear'	2' Cal
22	✳	Pine, Austrian	2' Cal
46	⬠	Redbud, Eastern	2' Cal
11	⊙	Cornus, 'Snowdrift'	2' Cal
33	⬠	Linden, Littleleaf Greenleaf	2' Cal
5	✳	Spruce, Colorado Blue	2' Cal
5	⊙	Ash, Green	2' Cal

Qty	Symbol	Common Name	Plant Size
Shrubs Under 4 Feet			
45	○	Barberry, 'Crimson Pygmy'	5 Gallon
90	○	Gold Drop Potentilla	5 Gallon
57	□	Boswood, Littleleaf	5 Gallon
107	○	Winged Euonymus	5 Gallon
185	✳	Mugo Pine	5 Gallon

Qty	Symbol	Common Name	Plant Size
Ground Cover-Vines			
33	•	Blue Cat Grass	1 Gallon
62	•	Feather Reed Grass 'Karl Foerster'	1 Gallon
178	○	Rose Clair Cranesbill	1 Gallon
152	○	Ribbon Grass	1 Gallon
	▨	Ice Plant	Fill hatched area

Qty	Symbol	Common Name	Plant Size
Annuals-Perennials			
21	•	Day Lily	Each
165	✳	Black Eyed Susan	Each



APR 14 2015



SALT LAKE CITY
45 W 10000 S., Suite 500
Sandy, UT 84070
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LAYTON
Phone: 801.547.1100

TOOELE
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CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

COLORADO SPRINGS
Phone: 719.476.0119

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FOR
BRAD REYNOLDS CONSTRUCTION
P.O. BOX 17958
SALT LAKE CITY, UT 84117
CONTACT
BRAD REYNOLDS
PHONE 801-281-2200

THE MEADOWS ON PARK AVENUE

**PARK AVENUE 12600 SOUTH
RIVERTON, UTAH**



LANDSCAPE PLAN

PROJECT NUMBER: 6358
DESIGNED BY: C. THOMAS
PROJECT MANAGER: R. ELDER
PRINT DATE: 4/15
CHECKED BY: R. ELDER

L-1.0

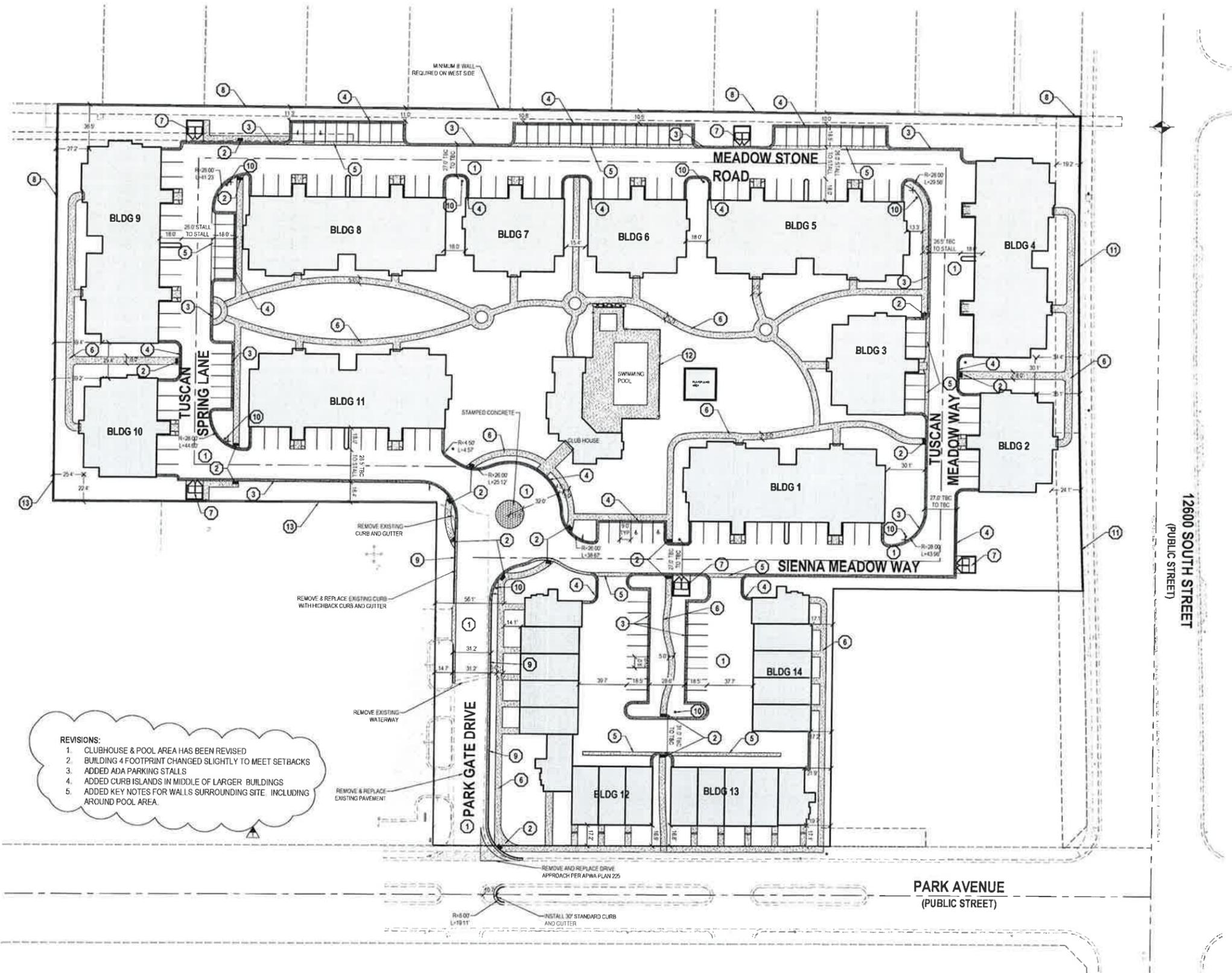


CALL 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION

BENCHMARK

NORTH QUARTER CORNER OF SECTION 34 TOWNSHIP 3 SOUTH RANGE 1 WEST SALT LAKE BASE & MERIDIAN

ELEVATION = 4438.63



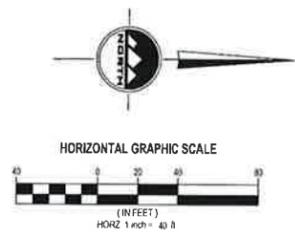
REVISIONS:

1. CLUBHOUSE & POOL AREA HAS BEEN REVISED
2. BUILDING 4 FOOTPRINT CHANGED SLIGHTLY TO MEET SETBACKS
3. ADDED ADA PARKING STALLS
4. ADDED CURB ISLANDS IN MIDDLE OF LARGER BUILDINGS
5. ADDED KEY NOTES FOR WALLS SURROUNDING SITE INCLUDING AROUND POOL AREA.

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS
 3. SEE LANDSCAPE ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH AND SCORE PATTERNS THROUGHOUT SITE
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES)
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED INCLUDING TREES AND DECORATIVE SHRUBS, SOO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS

- KEY NOTES**
1. ASPHALT PAVING (SEE DETAIL 11C-7.0)
 2. HANDICAP ACCESS RAMP PER RIVERTON CITY STANDARD DWG ST-10
 3. MODIFIED 24" TYPE F CURB AND GUTTER (SEE DETAIL 31C-7.0)
 4. REVERSE PAN 24" TYPE F CURB AND GUTTER (SEE DETAIL 41C-7.0)
 5. 3" WATERWAY (SEE DETAIL 21C-7.0)
 6. CONCRETE SIDEWALK PER APWA PLAN 231
 7. TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
 8. INSTALL 8" PRECAST WALL
 9. STANDARD 24" TYPE E CURB AND GUTTER
 10. LIGHT POLE
 11. INSTALL 6" PRECAST WALL
 12. 8" NON ACCESSIBLE FENCE SURROUNDING POOL (SEE ARCHITECTURAL PLANS FOR DETAILS)
 13. INSTALL 8" PRECAST MAX HEIGHT WALL, BOTTOM 2' OF WALL WILL ACT AS RETAINING WALL

- LEGEND**
- SECTION CORNER
 - EXIST MONUMENT
 - PRO MONUMENT
 - EXIST REBAR AND CAP
 - SET ENSIGN REBAR AND CAP
 - EXIST WATER METER
 - PRO WATER METER
 - EXIST WATER VALVE
 - PRO WATER VALVE
 - EXIST FIRE HYDRANT
 - PRO FIRE HYDRANT
 - EXIST IRRIGATION VALVE
 - PRO IRRIGATION VALVE
 - EXIST SANITARY SEWER MANHOLE
 - PRO SANITARY SEWER MANHOLE
 - EXIST STORM DRAIN CATCH BASIN
 - PRO STORM DRAIN CATCH BASIN
 - EXIST STORM DRAIN COMBO BOX
 - PRO STORM DRAIN COMBO BOX
 - EXIST SIGN
 - PRO SIGN
 - EXIST UTILITY POLE
 - EXIST GAS VALVE
 - EXIST BUILDING
 - PRO BUILDING
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - EXIST FENCE
 - PRO FENCE
 - EXIST EDGE OF ASPHALT
 - PRO EDGE OF ASPHALT



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FOR
BRAD REYNOLDS CONSTRUCTION
P.O. BOX 17559
SALT LAKE CITY, UT 84117

CONTRACT
BRAD REYNOLDS
PHONE: 801-281-2200

THE MEADOWS ON PARK AVENUE

PARK AVENUE 12600 SOUTH RIVERTON, UTAH



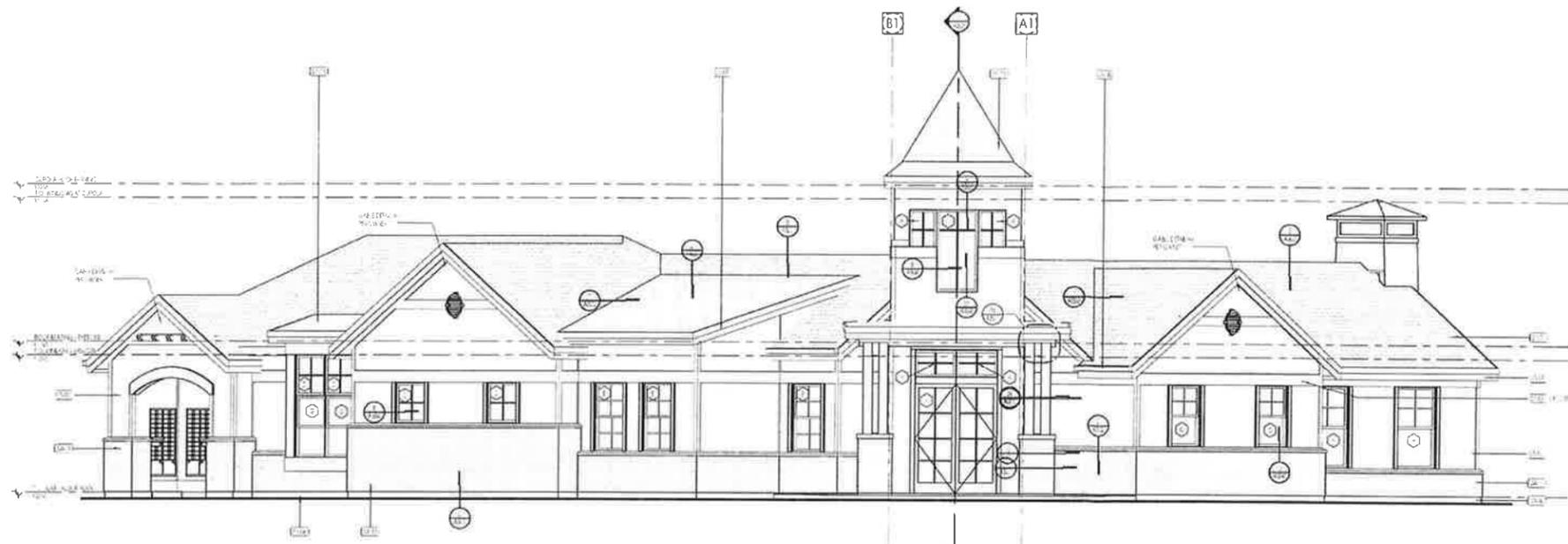
SITE PLAN

PROJECT NUMBER: 6336
DATE: 4/15
DRAWN BY: C. THOMAS
PROJECT MANAGER: R. ELDER

DATE: 4/15
CHECKED BY: R. ELDER

C-1.0

APR 14 2015



NORTH-WEST ELEVATION
1

ELEVATION / SECTION MATERIAL LEGEND	
KEYNOTE	KEYNOTE
[Symbol]	KEYNOTE

FLOOR PLAN KEYNOTES	
SPECIFICATION KEYNOTE	INSTRUCTIONAL KEYNOTE
(M) ← KEY NOTE MATERIAL	(I) ← KEY NOTE INSTRUCTION
KEYNOTE SPECIFICATION	
E-01	DAIRY PLACES ELEVATION WALL - SEE FINISH SCHEDULE
E-02	WOOD FLOORING - SEE FINISH SCHEDULE
E-03	WOOD FLOORING - SEE FINISH SCHEDULE
E-04	WOOD FLOORING - SEE FINISH SCHEDULE
E-05	WOOD FLOORING - SEE FINISH SCHEDULE
E-06	WOOD FLOORING - SEE FINISH SCHEDULE
E-07	WOOD FLOORING - SEE FINISH SCHEDULE
E-08	WOOD FLOORING - SEE FINISH SCHEDULE
E-09	WOOD FLOORING - SEE FINISH SCHEDULE
E-10	WOOD FLOORING - SEE FINISH SCHEDULE



Architecture
Interior Design
Landscape Architecture
Landscape Planning
Construction Management

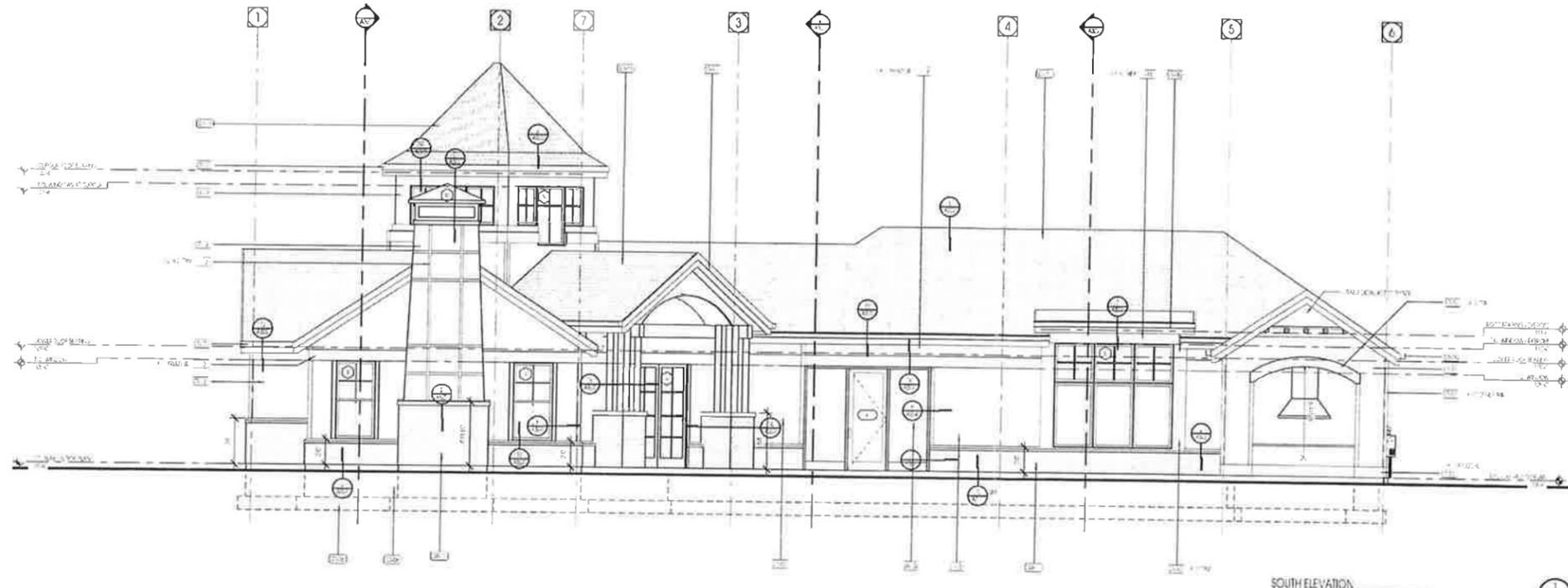
BRC RIVERTON - CLUBHOUSE
2055 West 12600 South, Riverton, Utah

PROJECT NO. 14133
DATE MAR. 12, 2015
REVISED

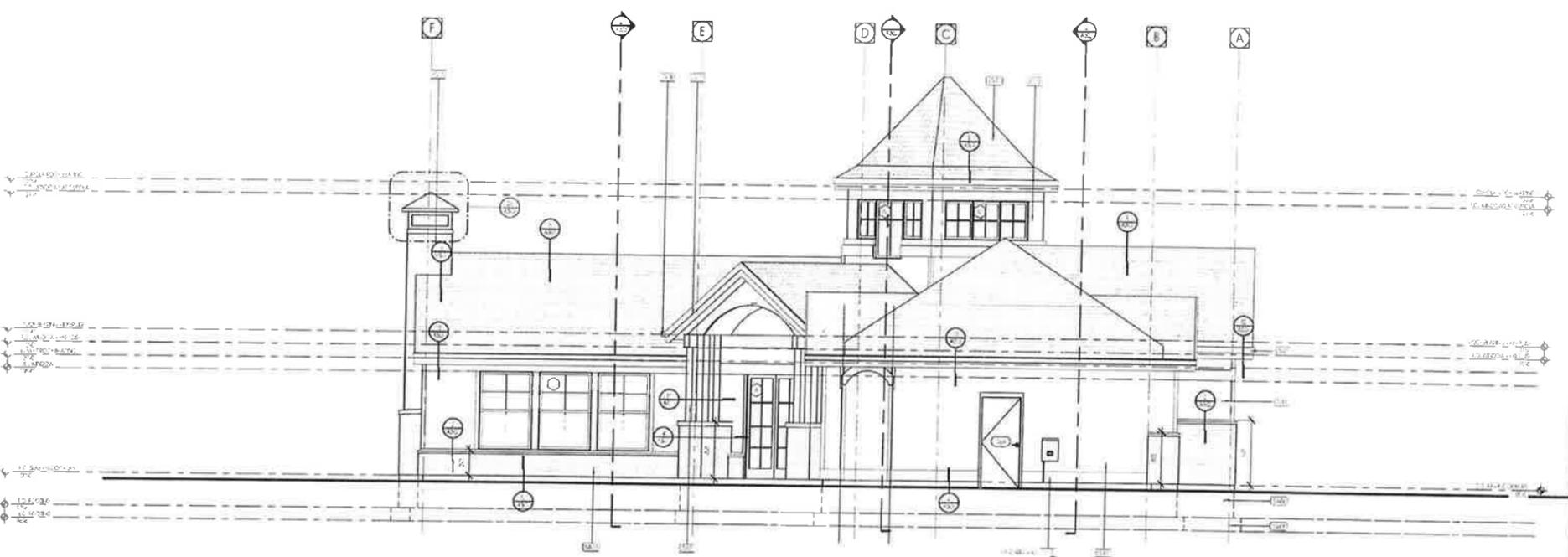
EXTERIOR ELEVATIONS

SHEET NUMBER
A203

PERMIT SET



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

ELEVATION / SECTION MATERIAL LEGEND	
1	ROOF FINISH: 1.5" ASPHALT/FLY ASH SHINGLES OVER 1/2" GYP BOARD
2	WALL FINISH: 5/8" GYP BOARD OVER 2x4 STUDS
3	FLOOR FINISH: 3/4" GYP BOARD OVER 2x8 JOISTS
4	CEILING FINISH: 5/8" GYP BOARD OVER 2x4 STUDS
5	FOUNDATION FINISH: 4" CONCRETE
6	FOUNDATION FINISH: 8" CONCRETE

FLOOR PLAN KEYNOTES		
SPECIFICATION KEYNOTE	INSTRUCTIONAL KEYNOTE	
(M1) ← KEY NOTE MATERIAL	(I1) ← KEY NOTE INSTRUCTION	
REVISION SPECIFICATION		
REV	DATE	DESCRIPTION
01	03/12/15	ISSUE FOR PERMIT
02	03/12/15	REVISIONS TO PERMIT
03	03/12/15	REVISIONS TO PERMIT
04	03/12/15	REVISIONS TO PERMIT
05	03/12/15	REVISIONS TO PERMIT
06	03/12/15	REVISIONS TO PERMIT



Architecture
Interior Design
Landscape Architecture
Urban Planning
Construction Management

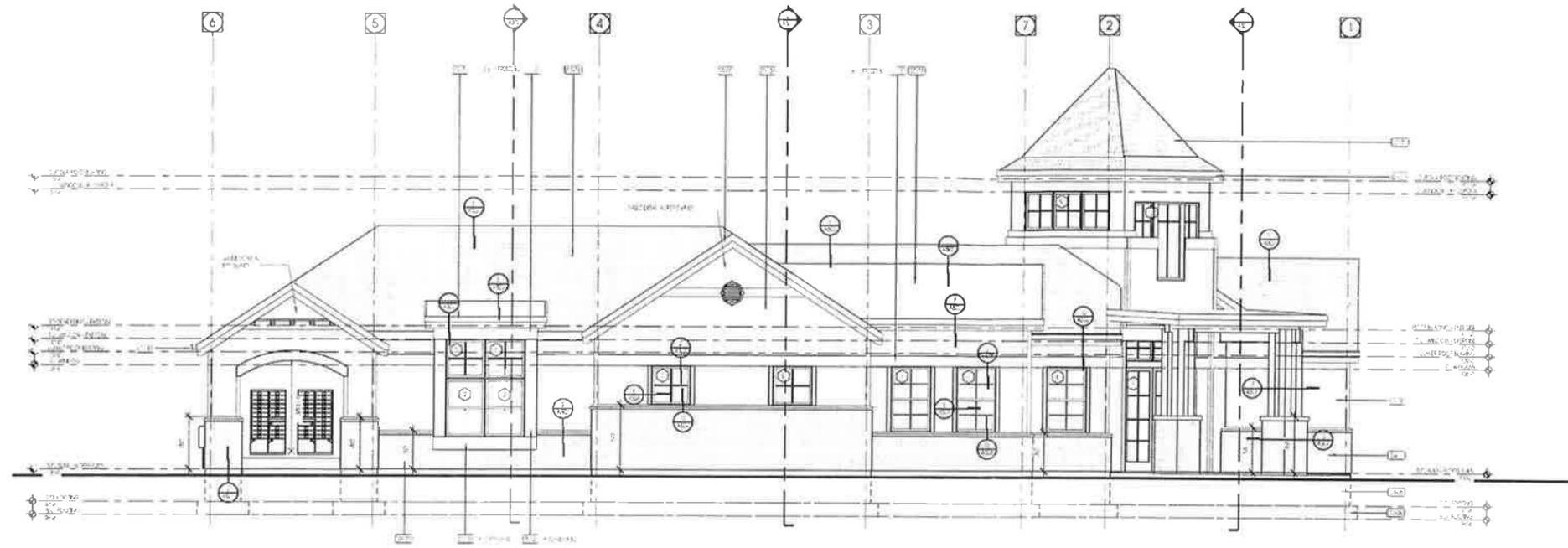
BRC RIVERTON CLUBHOUSE
2555 West 12400 South, Riverton, Utah

PROJECT NO. 14133
DATE MAR 12, 2015
REVISIONS

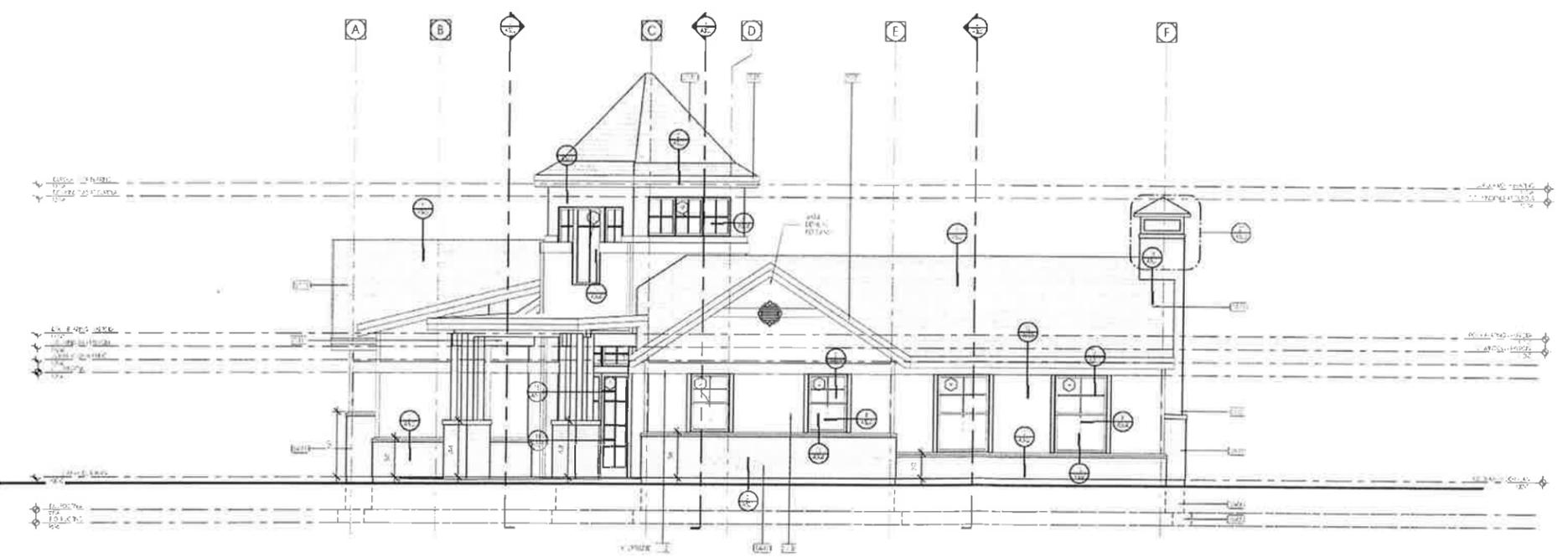
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201

PERMIT SET



NORTH ELEVATION 1



WEST ELEVATION 2

ELEVATION / SECTION MATERIAL LEGEND	
1	BRICK
2	CONCRETE
3	WOOD
4	GLASS
5	ROOFING
6	PAINT

FLOOR PLAN KEYNOTES	
KEYNOTE MATERIAL	KEYNOTE INSTRUCTION

KEYNOTE SPECIFICATION	
1	BRICK
2	CONCRETE
3	WOOD
4	GLASS
5	ROOFING
6	PAINT



Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

BRC RIVERTON - CLUBHOUSE
2055 West 1250 South, Riverton, Utah

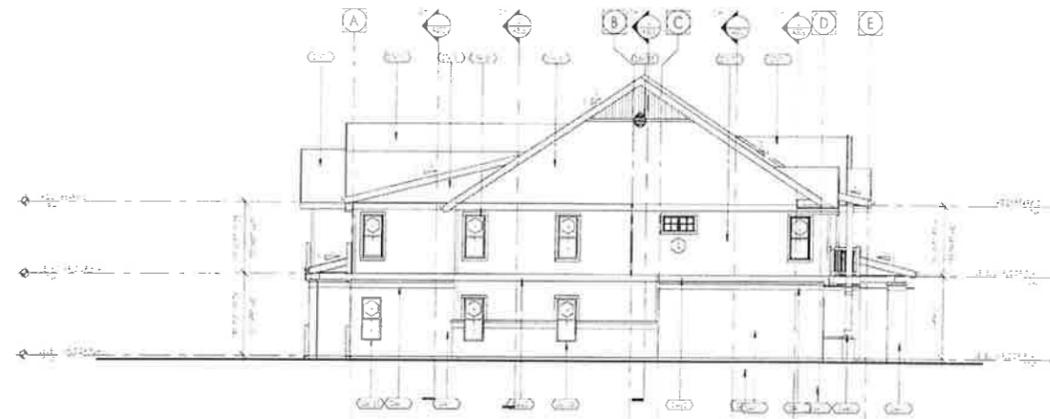
PROJECT NO. 14133
DATE MAR 12, 2015
REVISIONS

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A202



NORTH ELEVATION



WEST ELEVATION



ELEVATION / SECTION MATERIAL LEGEND	
[Symbol]	CONCRETE
[Symbol]	BRICK
[Symbol]	WOOD
[Symbol]	GLASS
[Symbol]	IRON
[Symbol]	STEEL
[Symbol]	ALUMINUM
[Symbol]	COPPER
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[Symbol]	GOLD
[Symbol]	PLATINUM
[Symbol]	PALLADIUM
[Symbol]	RHODIUM
[Symbol]	PALADIUM
[Symbol]	IRIDIUM
[Symbol]	OSMIUM
[Symbol]	PLUTONIUM
[Symbol]	AMERICIUM
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[Symbol]	BERKELIUM
[Symbol]	CALIFORNIUM
[Symbol]	EINSTEINIUM
[Symbol]	FERMATIUM
[Symbol]	MENDELIUM
[Symbol]	UNQUANTIFIED

ELEVATIONS/SECTIONS PLAN KEYNOTES	
[Symbol]	KEY NOTE MATERIAL
[Symbol]	KEY NOTE INSTRUCTION
[Symbol]	KEY NOTE SPECIFICATION
[Symbol]	KEY NOTE INSTRUCTIONAL

KEYNOTE SPECIFICATION	
CM-1	CONCRETE - SEE SPECIFICATIONS
CM-2	CONCRETE - SEE SPECIFICATIONS
CM-3	CONCRETE - SEE SPECIFICATIONS
CM-4	CONCRETE - SEE SPECIFICATIONS
CM-5	CONCRETE - SEE SPECIFICATIONS
CM-6	CONCRETE - SEE SPECIFICATIONS
CM-7	CONCRETE - SEE SPECIFICATIONS
CM-8	CONCRETE - SEE SPECIFICATIONS
CM-9	CONCRETE - SEE SPECIFICATIONS
CM-10	CONCRETE - SEE SPECIFICATIONS
CM-11	CONCRETE - SEE SPECIFICATIONS
CM-12	CONCRETE - SEE SPECIFICATIONS
CM-13	CONCRETE - SEE SPECIFICATIONS
CM-14	CONCRETE - SEE SPECIFICATIONS
CM-15	CONCRETE - SEE SPECIFICATIONS
CM-16	CONCRETE - SEE SPECIFICATIONS
CM-17	CONCRETE - SEE SPECIFICATIONS
CM-18	CONCRETE - SEE SPECIFICATIONS
CM-19	CONCRETE - SEE SPECIFICATIONS
CM-20	CONCRETE - SEE SPECIFICATIONS

KEYNOTE INSTRUCTIONAL	
CM-1	CONCRETE - SEE SPECIFICATIONS
CM-2	CONCRETE - SEE SPECIFICATIONS
CM-3	CONCRETE - SEE SPECIFICATIONS
CM-4	CONCRETE - SEE SPECIFICATIONS
CM-5	CONCRETE - SEE SPECIFICATIONS
CM-6	CONCRETE - SEE SPECIFICATIONS
CM-7	CONCRETE - SEE SPECIFICATIONS
CM-8	CONCRETE - SEE SPECIFICATIONS
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CM-16	CONCRETE - SEE SPECIFICATIONS
CM-17	CONCRETE - SEE SPECIFICATIONS
CM-18	CONCRETE - SEE SPECIFICATIONS
CM-19	CONCRETE - SEE SPECIFICATIONS
CM-20	CONCRETE - SEE SPECIFICATIONS

SYMBOL LEGEND	
[Symbol]	ARCHITECT
[Symbol]	ENGINEER
[Symbol]	PLUMBER
[Symbol]	ELECTRICIAN
[Symbol]	Mechanical
[Symbol]	Structural
[Symbol]	Interior Designer
[Symbol]	Architectural Historian
[Symbol]	Architectural Photographer
[Symbol]	Architectural Model Maker
[Symbol]	Architectural Draftsman
[Symbol]	Architectural Renderer
[Symbol]	Architectural Animator
[Symbol]	Architectural Historian
[Symbol]	Architectural Photographer
[Symbol]	Architectural Model Maker
[Symbol]	Architectural Draftsman
[Symbol]	Architectural Renderer
[Symbol]	Architectural Animator

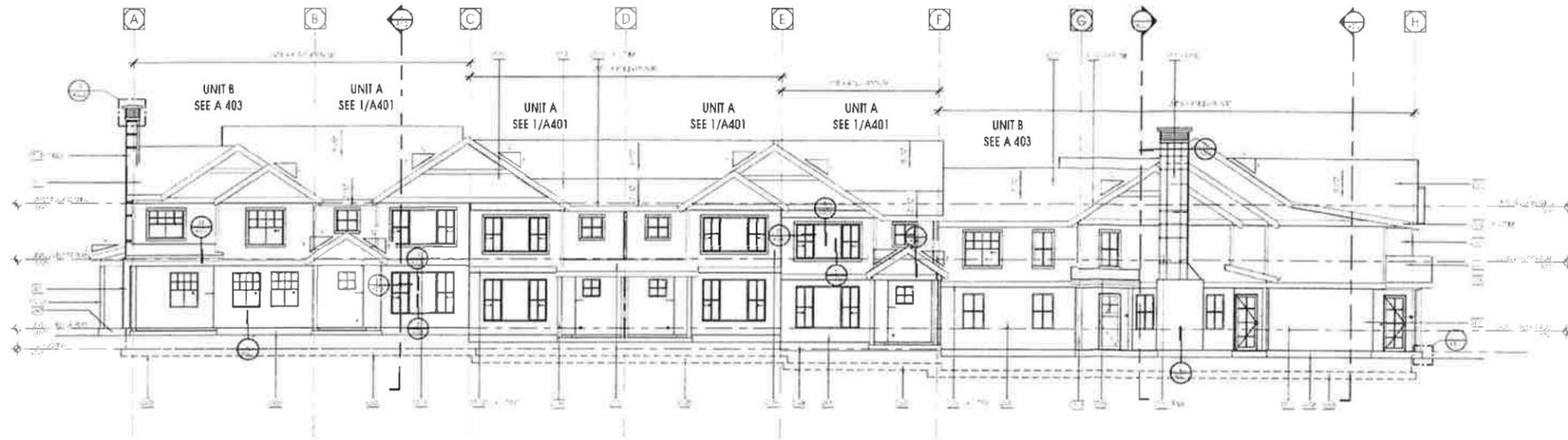


Architecture
Interior Design
Landscape Architecture
Urban Planning
Construction Management

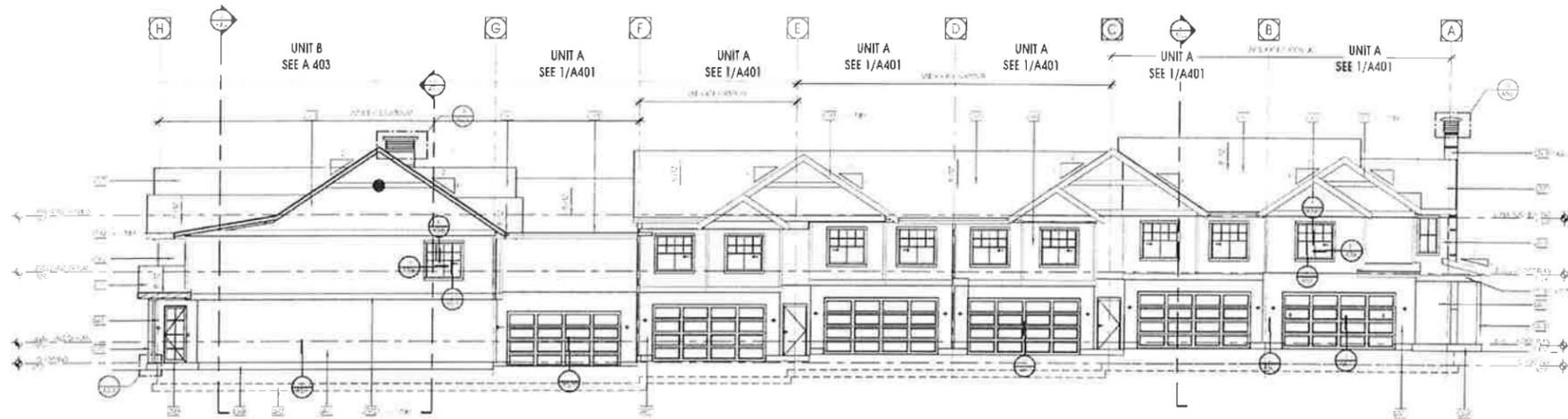
RIVERTON APARTMENTS
PROJECT ADDRESS

PROJECT NO 14133
DATE DEC. 2014

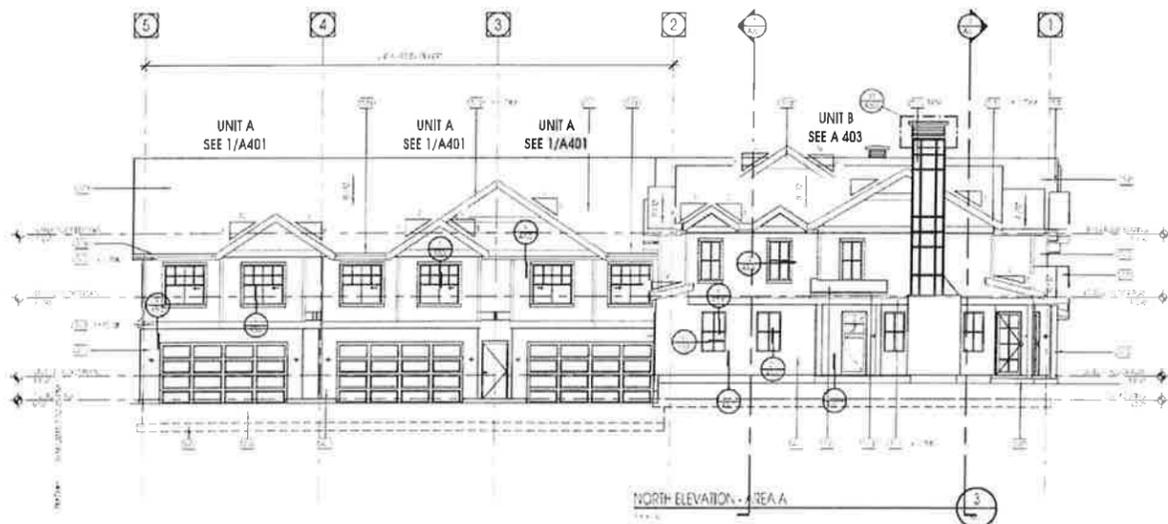
EXTERIOR ELEVATIONS
DRAWING STATUS
A204



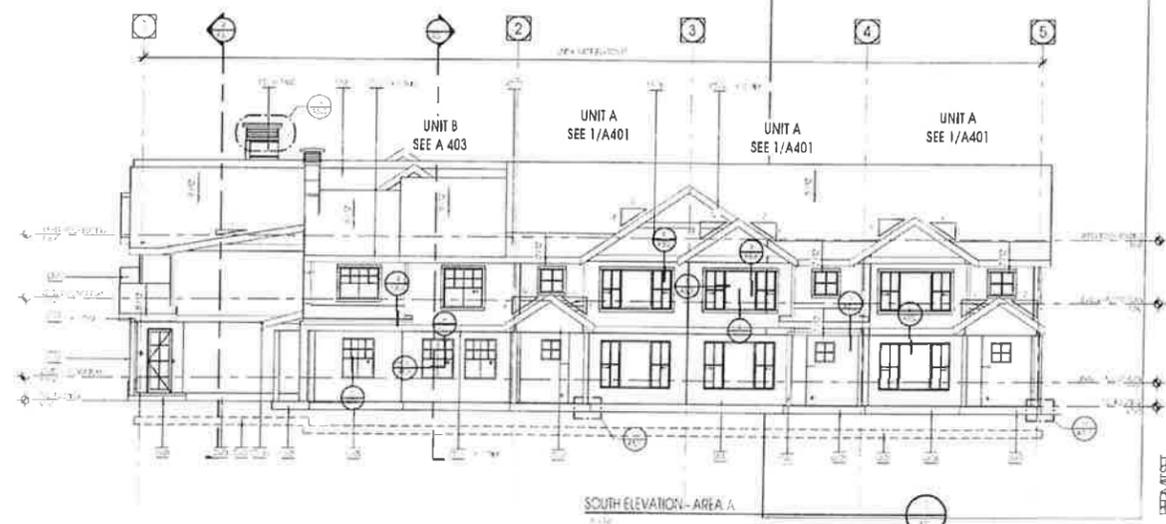
WEST ELEVATION - AREA A



EAST ELEVATION - AREA A



NORTH ELEVATION - AREA A



SOUTH ELEVATION - AREA A

ELEVATION / SECTION MATERIAL LEGEND	
STAIRS	SEE 1/A401
ROOF	SEE 1/A401
WALLS	SEE 1/A401
FLOORS	SEE 1/A401
CEILING	SEE 1/A401
FOUNDATION	SEE 1/A401
CONCRETE	SEE 1/A401
GLASS	SEE 1/A401
IRON	SEE 1/A401
STEEL	SEE 1/A401
COPPER	SEE 1/A401
ZINC	SEE 1/A401
ALUMINUM	SEE 1/A401
BRASS	SEE 1/A401
WOOD	SEE 1/A401
PAINT	SEE 1/A401
PLASTER	SEE 1/A401
STUCCO	SEE 1/A401
EIFS	SEE 1/A401
EIFS WITH GLASS	SEE 1/A401
EIFS WITH METAL	SEE 1/A401
EIFS WITH WOOD	SEE 1/A401
EIFS WITH STONE	SEE 1/A401
EIFS WITH TERRAZZO	SEE 1/A401
EIFS WITH GRANITE	SEE 1/A401
EIFS WITH MARBLE	SEE 1/A401
EIFS WITH SLATE	SEE 1/A401
EIFS WITH SCHIST	SEE 1/A401
EIFS WITH QUARTZITE	SEE 1/A401
EIFS WITH GNEISS	SEE 1/A401
EIFS WITH SLATE	SEE 1/A401
EIFS WITH SCHIST	SEE 1/A401
EIFS WITH QUARTZITE	SEE 1/A401
EIFS WITH GNEISS	SEE 1/A401

FLOOR PLAN KEYNOTES	
SPECIFICATION KEYNOTE	INSTRUCTIONAL KEYNOTE
KEY NOTE MATERIAL	KEY NOTE INSTRUCTION
KEYNOTE INSTRUCTIONS	
USE	SEE 1/A401
COND	SEE 1/A401
FIN	SEE 1/A401
GL	SEE 1/A401
IR	SEE 1/A401
ST	SEE 1/A401
CE	SEE 1/A401
FO	SEE 1/A401
RO	SEE 1/A401
CON	SEE 1/A401
EIFS	SEE 1/A401
EIFS WITH GLASS	SEE 1/A401
EIFS WITH METAL	SEE 1/A401
EIFS WITH WOOD	SEE 1/A401
EIFS WITH STONE	SEE 1/A401
EIFS WITH TERRAZZO	SEE 1/A401
EIFS WITH GRANITE	SEE 1/A401
EIFS WITH MARBLE	SEE 1/A401
EIFS WITH SLATE	SEE 1/A401
EIFS WITH SCHIST	SEE 1/A401
EIFS WITH QUARTZITE	SEE 1/A401
EIFS WITH GNEISS	SEE 1/A401



Architecture
Interior Design
Landscape Architecture
Urban Planning
Construction Management

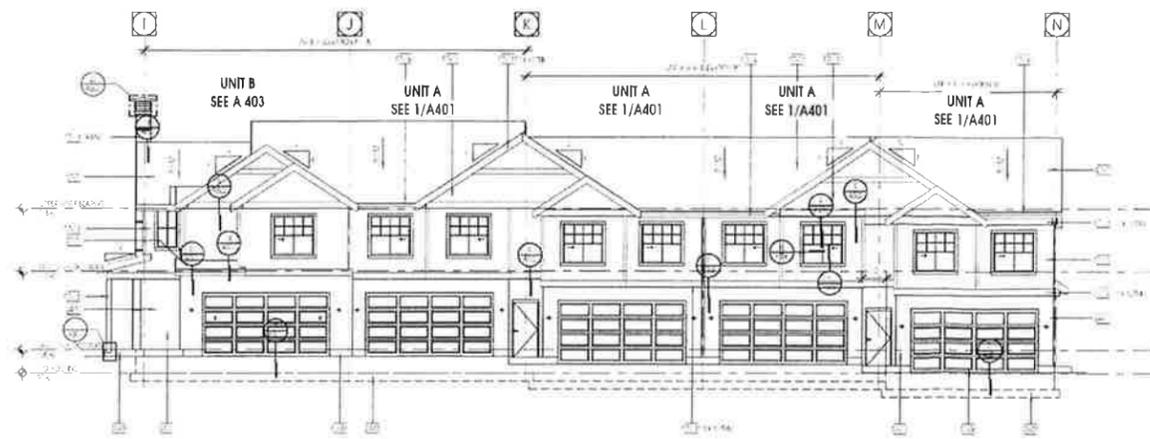
BRC RIVERVIEW TOWNHOMES

RIVERVIEW, UTAH

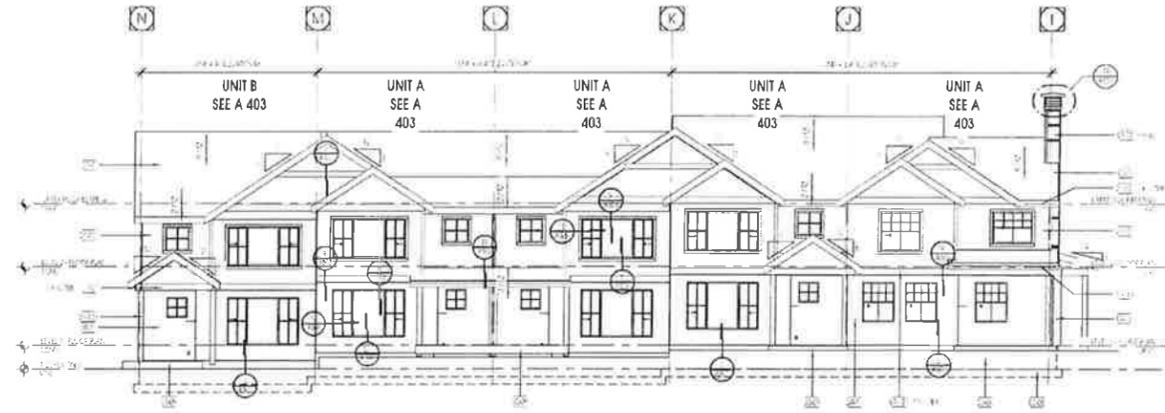
PROJECT NO. 14133
13 MARCH 2015

EXTERIOR ELEVATIONS - AREA A

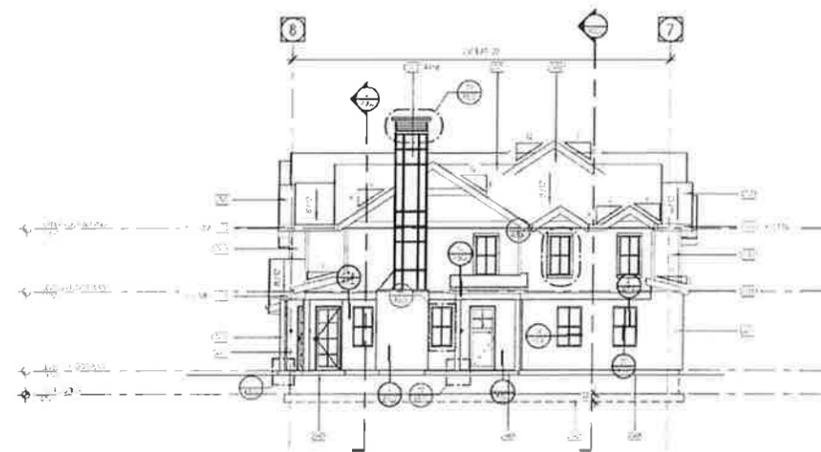
PERMITS A201



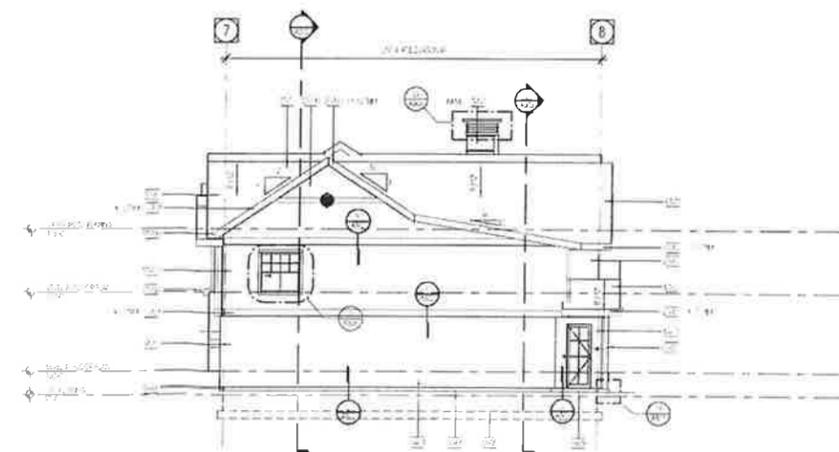
WEST ELEVATION - AREA B



EAST ELEVATION - AREA B



NORTH ELEVATION - AREA B



SOUTH ELEVATION - AREA B

ELEVATION / SECTION MATERIAL LEGEND	
[Symbol]	BRICK
[Symbol]	CONCRETE
[Symbol]	GLASS
[Symbol]	WOOD
[Symbol]	ROOFING
[Symbol]	PAINT
[Symbol]	EIFS
[Symbol]	STUCCO
[Symbol]	SMOOTH FINISH
[Symbol]	ROUGH FINISH
[Symbol]	INSULATION
[Symbol]	FOUNDATION

FLOOR PLAN KEYNOTES	
SPECIFICATION KEYNOTE	INSTRUCTIONAL KEYNOTE
(M) - KEY NOTE MATERIAL	(I) - KEY NOTE INSTRUCTION
KEYNOTE INSTRUCTION	
BRICK	SEE FINISH SCHEDULE
CONCRETE	SEE FINISH SCHEDULE
GLASS	SEE FINISH SCHEDULE
WOOD	SEE FINISH SCHEDULE
ROOFING	SEE FINISH SCHEDULE
PAINT	SEE FINISH SCHEDULE
EIFS	SEE FINISH SCHEDULE
STUCCO	SEE FINISH SCHEDULE
SMOOTH FINISH	SEE FINISH SCHEDULE
ROUGH FINISH	SEE FINISH SCHEDULE
INSULATION	SEE FINISH SCHEDULE
FOUNDATION	SEE FINISH SCHEDULE



BRC RIVERTON TOWN HOMES
RIVERTON, UTAH

PROJECT NO. 14133
13 MARCH, 2015

EXTERIOR ELEVATIONS - AREA B
A202













ITEM 1.C

KIPP PRIVATE LANE C.U.P.

**RIVERTON CITY
MEMORANDUM**

TO: Planning Commission

FROM: Development Review Committee

DATE: May 14, 2015

SUBJECT: CONDITIONAL USE PERMIT, PROPOSED DEVELOPMENT OF 1 LOT ON A PRIVATE LANE, 1453 WEST RIVERTON RANCH ROAD, RR-22 ZONE, JAMES KIPP, APPLICANT.

PL NO.: 15-2009 – Kipp Private Lane Conditional Use Permit

PROPOSED MOTION:

I move that the Planning Commission TABLE the conditional use permit to allow one existing lot to develop with access from a private lane on property located at 1453 West Riverton Ranch Road until it can be clearly determined the best course of action related to proper termination of Riverton Ranch Road at this point to provide proper and necessary access for future subdivision of Mr. Kipp's property.

BACKGROUND:

James Kipp has submitted an application requesting a conditional use permit to allow a home to be built on an existing lot with access from a private lane. The property is located at 1453 West Riverton Ranch Road and is zoned RR-22 (Rural Residential ½ acre lots). All surrounding properties are also zoned RR-22 and are the same land use as the subject parcel.

Riverton City Ordinance 17.05.120 states the following in regulating development of private lanes;

(4) Private Streets and Rights-of-Way.

(a) Public Street Systems Encouraged. Public street systems shall be encouraged for access to all residential dwelling sites. However, the city recognizes that there are cases where it is impossible or impractical to develop the lot according to normal subdivision standards. In situations where insufficient land access exists for a public street system, a conditional use for a private lane or right-of-way may be approved by the planning commission.

(b) Subdivision for Lots on Private Lanes. Subdivisions on private lanes or rights-of-way may be developed in any residential zone where at least two of the following conditions exist (subsection (4)(b)(i) or (ii) of this section and subsection (4)(b)(iii) of this section). All subdivisions on private lanes shall submit the same materials that are required for standard subdivisions and shall be approved via the process for standard subdivisions.

- (i) A lot of record which is preexisting and has no frontage or adequate property to construct a public street; or
- (ii) It can be demonstrated by the applicant that the property cannot be physically subdivided with public streets, either now or in the foreseeable future; and
- (iii) The development does not impede the necessary access from adjoining properties as required by the master transportation plan.

In this situation, the subject property is an existing lot of record with only 25 feet of frontage onto a public right-of-way at the north west corner of the parcel where Riverton Ranch Road terminates. Riverton Ranch Road is a publicly owned and maintained road up to this point where the public road ends and private ownership begins. As can be shown on the aerial photograph the property to the north already has a private lane access. For some reason, when Riverton Ranch subdivision was completed the road did not continue through as planned. Perhaps property owners at the time declined participation in the subdivision, but, for whatever reason the road did not continue through and was terminated as a stub. Originally it was planned that the road would continue east, cross the canal and connect to 1300 West. That did not happen and since that time the property on the east side of the canal has developed thus ending the prospect of Riverton Ranch Road continuing through. It should also be noted that the property owner to the north was required to construct half of a road way according to City standards, including sidewalk, curb and gutter and half of the asphalt up to his or her own personal driveway. It should also be noted that there are two parcels to the north but only one parcel is developed with a home. Was it intended that this would eventually be an extension of Riverton Ranch Road ending in a bulb or cul-de-sac that would provide the necessary access to future subdivision of Mr. Kipp's property?

City ordinances require a private lane with one residential user to be a minimum of twenty (20) feet wide with a minimum of fifteen (15) feet of asphalt. The lane shall be fully improved prior to the home being occupied. It should be noted that the subject property is of sufficient size to be subdivided into more than one home, possibly 4 homes. If the property owner were to desire subdividing in the future the requirements for private lane width increase substantially. Currently, there is only enough space available for one home on a private lane. If additional homes were ever desired on both Mr. Kipp's property as well as the parcel to the north, there is not sufficient width on either private lane to accommodate this.

Due to the vagueness of what was intended in the past regarding the potential development of properties in this area, staff is recommending that the Planning Commission take public comment on the item then table the item in order to provide staff with additional time to research past meetings, consult with the City Engineer and make a determination that will provide a solution that will guarantee the property owners in this area the right to subdivide and develop their property with the appropriate access to public rights-of-way and utilities.

ATTACHMENTS:

The following items are attached for your review:

1. A copy of the Site Plan application
2. A copy of the Zoning Map

3. A copy of the Aerial Views
4. A copy of the Site Plan and Landscape Plans.
5. A copy of the building elevations



PL No. 15-2009
Date 4/21/2015

Application

Conditional Use Permit

Applicant's Name JAMES E. KIYP
Home Address P.O. BOX 92
City RIVERTON State UTAH Zip 84065
Telephone # 801-649-8412 Mobile # SAME
E-mail Address _____ Fax # _____

Contact Person and Title SAME AS ABOVE
Address _____
City _____ State _____ Zip _____
Telephone # _____ Mobile # _____
E-mail Address _____ Fax # _____

1. Project Information

- Name of proposed business _____
- Address 1453 RIVERTON RANCH RD.
- Description of the proposed use RESIDENCE
- Sidwell/Tax ID# 27-34-426-029 Total Acreage of the Site 2.75
- Current Zoning of the Proposed Site RESIDENTIAL
Zoning of Adjacent Parcels: North _____ South _____ East _____ West _____
- Current Use of Land PASTURE
- Number of Existing Structures NONE

All drawings and other requirements must meet Riverton City Engineering Standards and Development Standards as presented by ordinance. Please note that for your convenience, an application checklist is enclosed. Incomplete applications will not be accepted or approved.

James E. Kiyp
Applicant's Signature

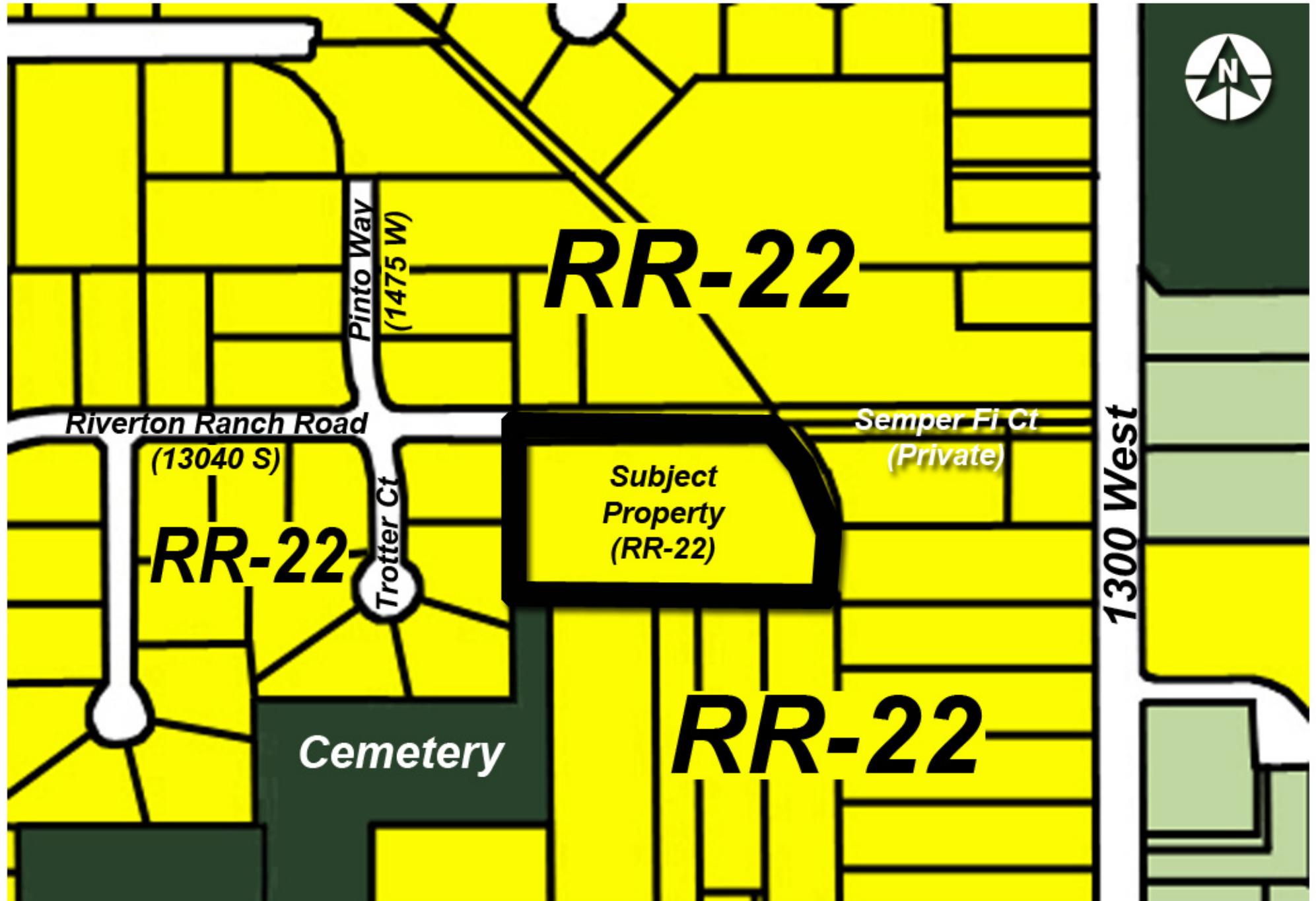
4-21-2015
Date

KIPP PRIVATE LANE CONDITIONAL USE



AERIAL VIEW

KIPP PRIVATE LANE CONDITIONAL USE



KIPP PRIVATE LANE CONDITIONAL USE



AERIAL VIEW

LIL OLD LANE
SUBDIVISION

RIVERTON
CEMETERY

SOUTH

482.95"

140'

SOUTH

EAST

JORDAN

CANAL

259.58"

EAST

30'

60'

20'

76'

80'

20'

30'

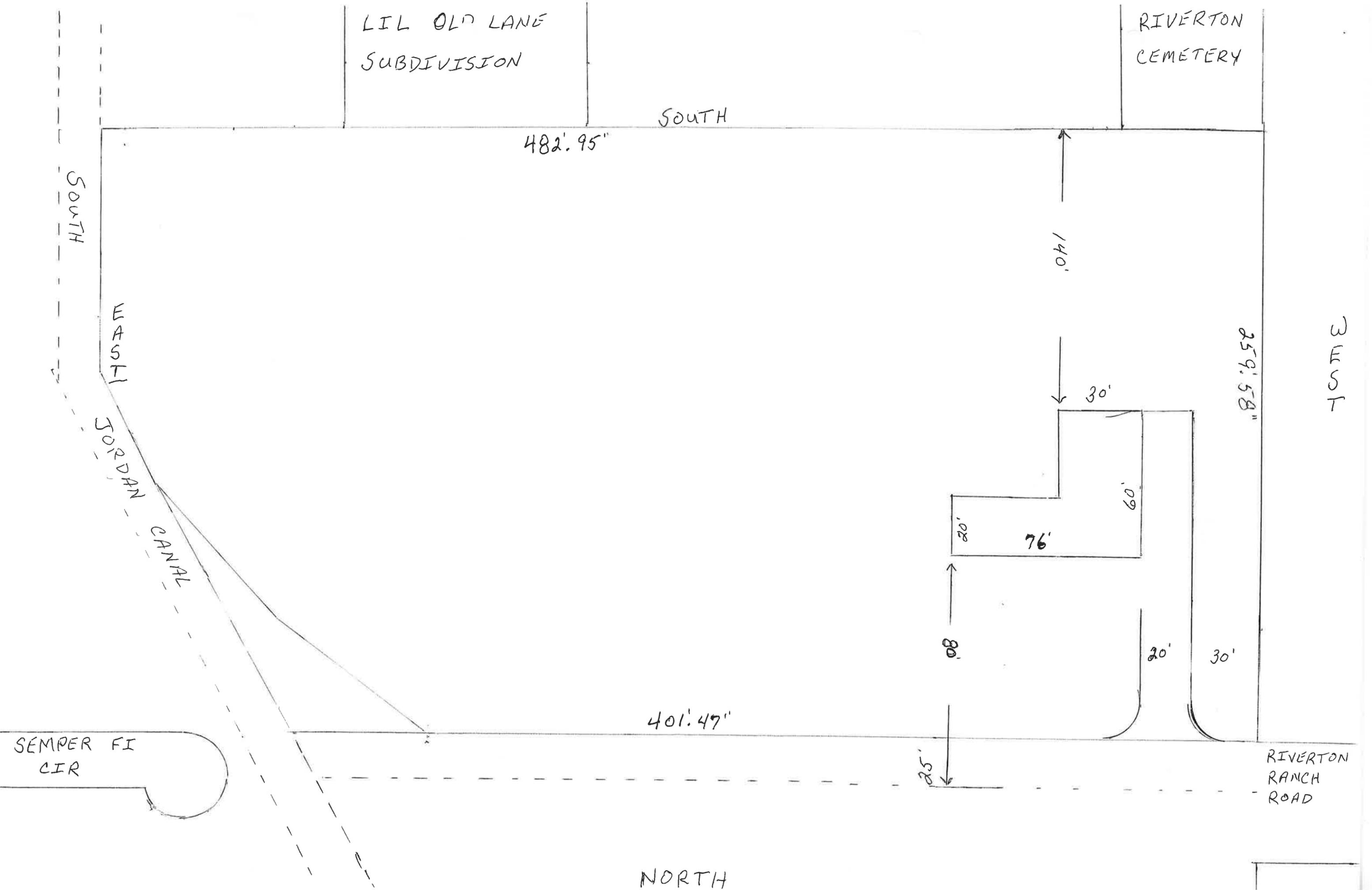
401.47"

25'

SEMPER FI
CIR

RIVERTON
RANCH
ROAD

NORTH



ITEM 1.D

ROSE PRIVATE LANE C.U.P.

**RIVERTON CITY
MEMORANDUM**

TO: Planning Commission

FROM: Development Review Committee

DATE: May 14, 2015

SUBJECT: CONDITIONAL USE PERMIT, PROPOSED DEVELOPMENT OF 1 LOT ON A PRIVATE LANE, 13289 SOUTH 1830 WEST, RR-22 ZONE, JOHN AND SHEENA ROSE, APPLICANTS.

PL NO.: 15-2010 – Rose Private Lane Conditional Use Permit

PROPOSED MOTION:

I move that the Planning Commission APPROVE conditional use permit one existing lot to develop with access from a private lane on property located at 13289 South 1830 West, with the following conditions:

1. The private lane shall be paved with either concrete or asphalt to a minimum of twenty (20) feet from the public right-of-way to the driveway of the new home with appropriate turn-around space, as per Riverton City and the Unified Fire Authority regulations.
2. Utility connections shall be approved by the Riverton City Public Works Department prior to construction.
3. The site and structures comply with any and all applicable Riverton City standards and ordinances, including the International Building and Fire Codes.

BACKGROUND:

Cecile Page has submitted an application requesting a conditional use permit to allow a home to be built on an existing lot with access from a private lane. The property is located at 12852 South 1830 West and is zoned R-4 (Residential ¼ acre lots). Properties to the north, south and west are also zoned R-4 and are all utilized as residential. To the east property is zoned R-4 but is utilized as the Riverton City Hall and Salt Lake County Library.

Riverton City Ordinance 17.05.120 states the following in regulating development of private lanes;

(4) Private Streets and Rights-of-Way.

(a) Public Street Systems Encouraged. Public street systems shall be encouraged for access to all residential dwelling sites. However, the city recognizes that there are cases where it is impossible or impractical to develop the lot according to normal subdivision standards. In situations where insufficient land access exists for a public street system, a conditional use for a private lane or right-of-way may be approved by the planning commission.

(b) Subdivision for Lots on Private Lanes. Subdivisions on private lanes or rights-of-way may be developed in any residential zone where at least two of the following conditions exist (subsection (4)(b)(i) or (ii) of this section and subsection (4)(b)(iii) of this section). All subdivisions on private lanes shall submit the same materials that are required for standard subdivisions and shall be approved via the process for standard subdivisions.

(i) A lot of record which is preexisting and has no frontage or adequate property to construct a public street; or

(ii) It can be demonstrated by the applicant that the property cannot be physically subdivided with public streets, either now or in the foreseeable future; and

(iii) The development does not impede the necessary access from adjoining properties as required by the master transportation plan.

In this situation, the subject property is an existing lot of record. There will be no subdivision of property related to this development. Both lots are currently legally non-conforming lots in regards to minimum lot standards as found in the R-4 zone however only one has access to a public street.

The issue being discussed here is whether the home should be constructed on a public street rather than a private lane. Due to a home being located at the eastern end of the property a public street is not feasible without removing the existing home. Even if the home were to be removed and a public street required the lot is only 70 feet wide thus render the lot essentially unusable. Therefore, Staff can securely state that the criteria as listed in the ordinance above has been satisfied and the proposed development is properly suited for a private lane.

City ordinances require a private lane with one residential user to be a minimum of twenty (20) feet wide with a minimum of fifteen (15) feet of asphalt. The lane shall be fully improved prior to the homes being occupied.

Staff is recommending approval with the conditions listed above.

ATTACHMENTS:

The following items are attached for your review:

1. A copy of the Site Plan application
2. A copy of the Zoning Map
3. A copy of the Aerial Views
4. A copy of the Site Plan and Landscape Plans.
5. A copy of the building elevations



PL No. 15-2010
Date 4/21/2015

Application

Conditional Use - Private Lane Permit

Applicant's Name John & Sheena Rose
Home Address _____
City Riverton State UT Zip 84065
Telephone # 801 864 0134 Mobile # same
E-mail Address sherarae@yahoo Fax # _____

Contact Person and Title Marie Rose
Address 13289 South 1830 West
City Riverton State UT Zip 84065
Telephone # 801 647 8893 Mobile # same
E-mail Address _____ Fax # _____

1. Project Information

1. Name of proposed project Rose Home
2. Address _____
3. Number of proposed lots 1
4. Length / width of proposed private lane 20 ft wide, 156 ft Long
5. Sidwell/Tax ID# _____ Total Acreage of the Site _____
6. Current Zoning of the Proposed Site Residential
Zoning of Adjacent Parcels: North _____ South _____ East _____ West _____
7. Current Use of Land farm land
8. Number of Existing Structures 0

All drawings and other requirements must meet Riverton City Engineering Standards and Development Standards as presented by ordinance. Please note that for your convenience, an application checklist is enclosed. Incomplete applications will not be accepted or approved.

[Signature]
Applicant's Signature

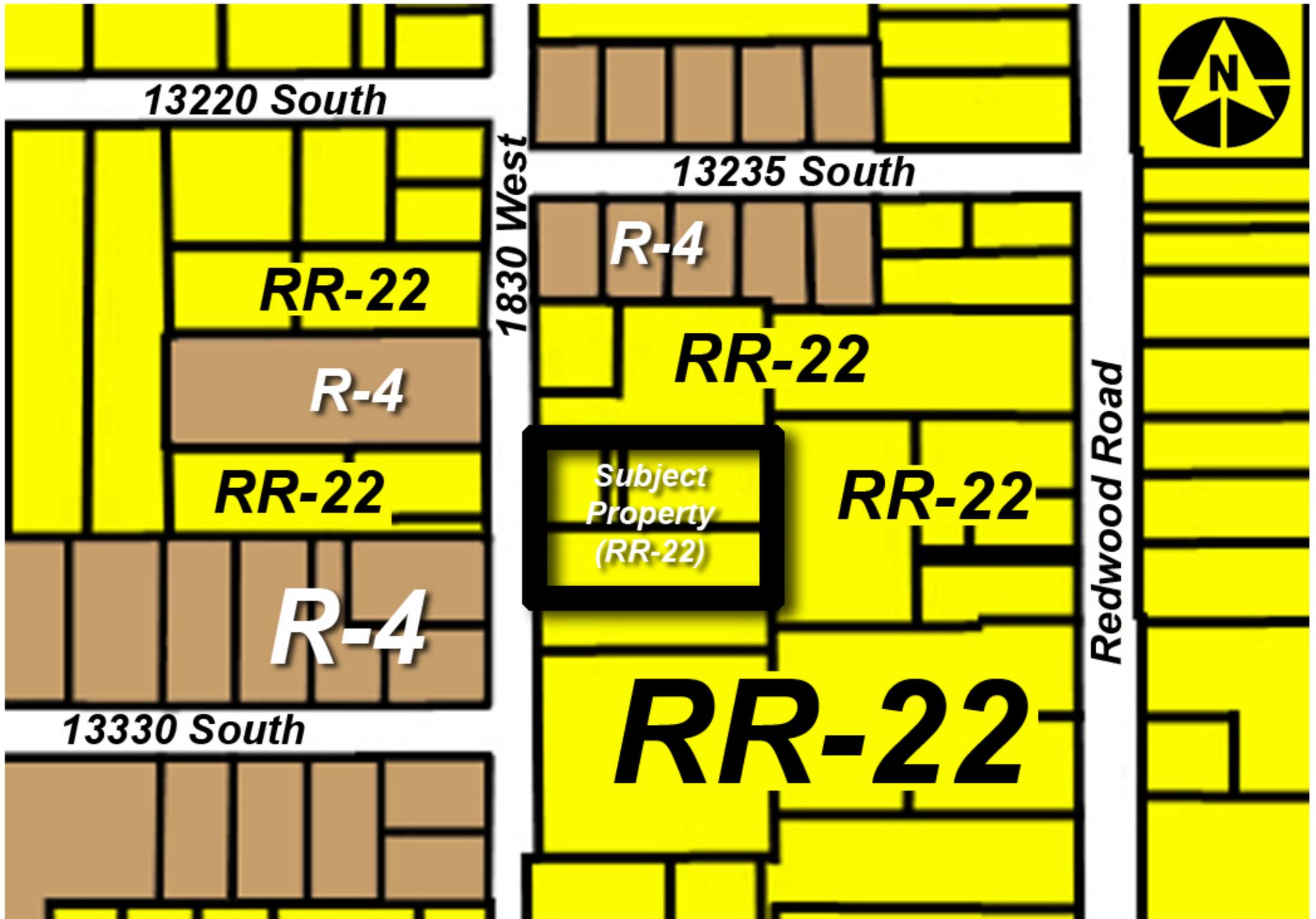
4/21/15
Date

ROSE PRIVATE LANE CONDITIONAL USE



AERIAL VIEW

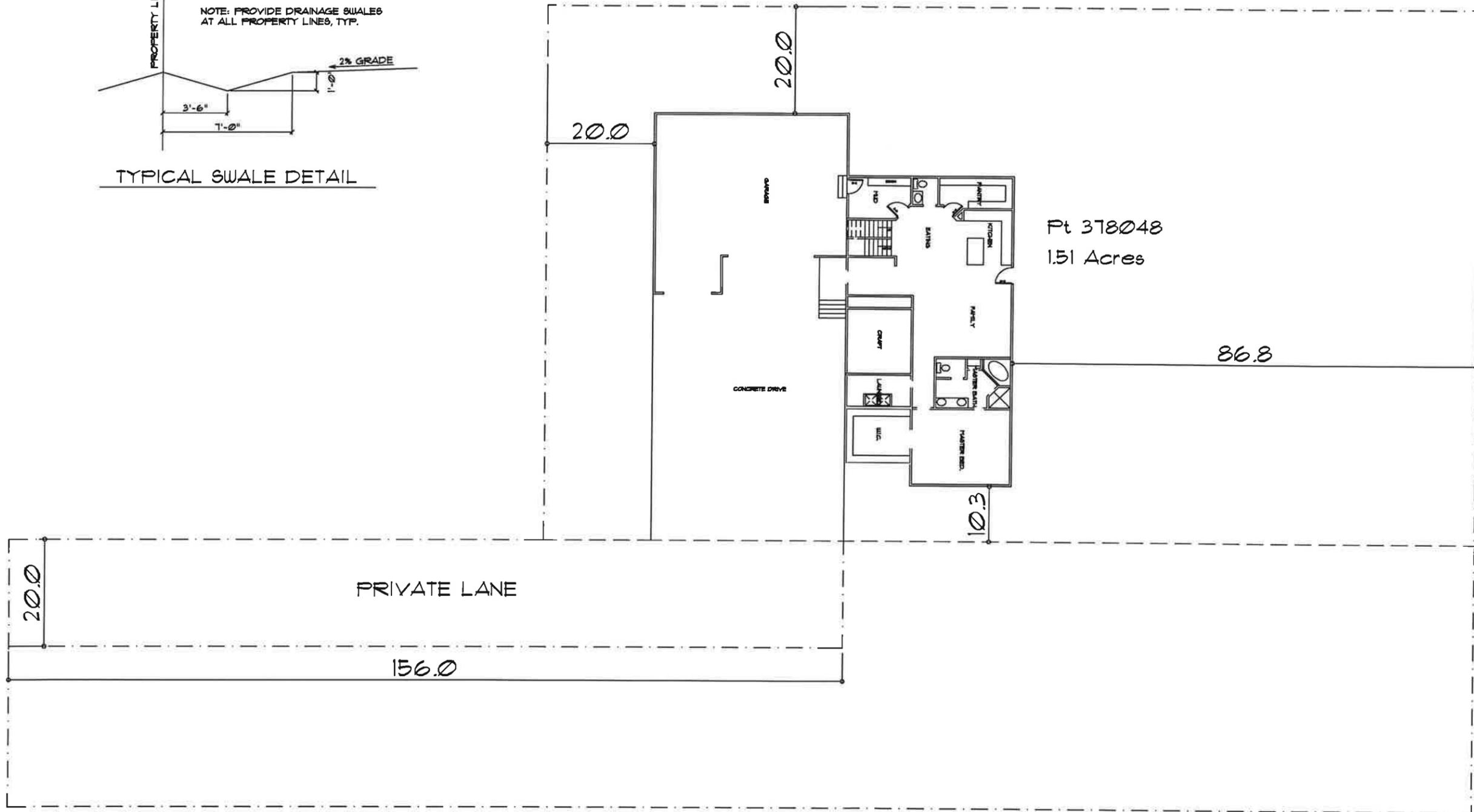
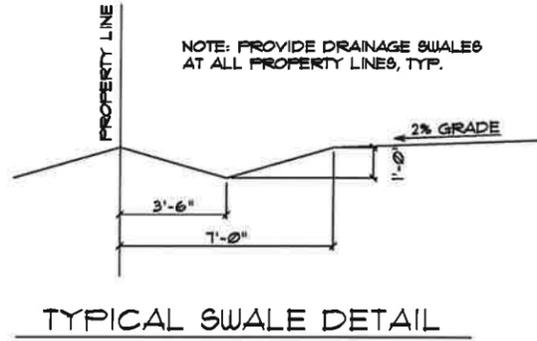
ROSE PRIVATE LANE CONDITIONAL USE



ROSE PRIVATE LANE CONDITIONAL USE



AERIAL VIEW



ROUGH GRADE TO BE 5" BELOW
SIDEWALK/CURB. MAINTAIN THIS
THROUGHOUT CONSTRUCTION.

→ = DRAINAGE FLOW



SITE PLAN

SCALE : 1" = 20' - 0"

3/6/2015



ITEM 2.A

AMERICAN CURB CUT STUDIO

**RIVERTON CITY
MEMORANDUM**

TO: Planning Commission

FROM: Development Review Committee

DATE: May 14, 2015

SUBJECT: FINAL COMMERCIAL SITE PLAN, AMERICAN CURB CUT STUDIO, 12472 SOUTH 3670 WEST, C-R ZONE, KODY PIERCE, APPLICANT

PL NO.: 14-8003– American Curb Cut Commercial Site Plan

PROPOSED MOTION:

I move that the Planning Commission recommend APPROVAL of the American Curb Cut final commercial site plan, application number PL-15-8003, located at 12472 South 3670 West, with the following conditions:

1. Storm drainage systems and accommodation comply with Riverton City standards and ordinances, and with the recommendations of the Riverton City Engineering Division.
2. An interim storm drainage and erosion control plan and an access management plan be approved by the City prior to any construction or grading on the site.
3. The site and structures comply with any and all applicable Riverton City standards and ordinances, including the International Building and Fire Codes.
4. Lighting, both on the building and in the site shall be designed and installed to minimize impacts to the surrounding properties.
5. Any and all rooftop mechanical equipment shall be fully screened from view from the roadway and surrounding properties.
6. Complete an acceptable O & M plan for post-construction storm water controls.
7. Submitting three more sets of drawings for distribution.

BACKGROUND:

Kody Pierce has submitted an application requesting final commercial site plan approval for property located in the Spring Creek Commercial development at 12472 South 3670 West. The property is currently zoned C-R (Commercial Regional) as are all of the surrounding properties. To the north of the proposed site is the Utah Sports Lodge complex. To the south is the Delton Lanes entertainment center. To the east and the west properties are vacant.

The applicant is proposing to construct a multi-use building that will include a 3,500 square foot dance studio and 15,000 square foot warehouse space that the applicant has stated will be used for pole vaulting and other track and field related training exercises. Total parking spaces provided are 41, that being 8 stalls for the warehouse portion of the building and 33 parking spaces for the dance studio.

The building is oriented with the main entrances facing south with parking areas and landscaping south and east of the building. Two accesses into the site will be provided on the

east side of the site onto Meadow Spring Lane. Meadow Spring Lane is a privately owned and maintained roadway and provides connectivity to 3600 West and 12600 South via Creek Meadow Lane further to the west. The northernmost access will be shared with the existing access of the Utah Sports Lodge complex. The north side of the building is a drive aisle area for access to the dumpster enclosure and larger vehicle access doors on the north façade of the building.

Landscaping on the site incorporates areas of irrigated sod, shrub beds covered with mulch and trees. The total percentage of landscaping on the site is 22%.

There are no fencing requirements associated with this project.

The applicant has worked diligently with staff to bring the building exterior into compliance with the C-R zoning ordinance requirements for architectural appearance. The south and eastern facades where the main entrances are located are a combination of stone, CMU brick and stucco. The stucco is located along the upper half of the building with a CMU brick accent wall at the middle and a stacked stone wainscot along the southern and eastern base of wall. The northern and western facades which are less visible incorporate the same exterior materials except at the base of the wall where instead of a stone wainscot, the applicant is proposing a wainscot of CMU brick composed of a different color to the mid wall materials. This does satisfy ordinance requirements for lower wall materials.

Stone columns are provided around the building to break up large expanses of stucco and block and stucco molding parapets are added at the top of the building to break up long expanses of roofline. Staff is satisfied that the building, as proposed does meet the minimum requirements of C-R zone and attempts to include elements that are included on other buildings within this unique commercial development.

Staff is recommending APPROVAL of this commercial site plan. The use is consistent with the surrounding commercial development. Riverton City's engineering division recommends a conditional approval that includes conditions 6 and 7 above.

ATTACHMENTS:

The following items are attached for your review:

1. A copy of the Site Plan application
2. A copy of the Zoning Map
3. A copy of the Aerial Views
4. A copy of the Site Plan and Landscape Plans.
5. A copy of the building elevations



PL No. 15-8003
Date 2/24/2015

Application

Site Plan

A. Applicant's Name KODY PIERCE
Home Address 3042 W. CHALK CREEK WAY
City SOUTH JORDAN State UT Zip 84095
Telephone # 801-514-0648 Mobile # 801-514-0648
E-mail Address ackody@g.com Fax # N/A

B. Primary Contact Person KODY PIERCE
Address 3042 W. CHALK CREEK WAY
City SOUTH JORDAN State UT Zip 84095
Telephone # 801-514-0648 Mobile # 801-514-0648
E-mail Address ackody@g.com Fax # N/A

C. Project Information

- Name of Proposed Business AMERICAN CURB CUT
- Address 12472 S. 3670 W. RIVERTON UT 84065
- Description of the Proposed Business SPORTS TRAINING FACILITY
- Sidwell/Tax ID# 27-29-376-022-000 Total Acreage of the Site 1.26
- Current Zoning of the Proposed Site REGIONAL COMMERCIAL (CR) ZONE
Zoning of Adjacent Parcels: North _____ South _____ East _____ West _____
- Current Use of the Land _____
- Number of Existing Structures NONE
- Describe the Proposed Use and Structures for the Site SPORTS TRAINING FACILITY
- Did this Project Require a Rezone? Yes No _____ If Yes, PL# _____
- Did this Project Require a Conditional Use Permit? Yes No _____ If Yes, PL# _____

By signing this application, I acknowledge that I have read and understood the application, ordinances, checklists, etc. associated with this application, and that any and all required drawings, plans, and other submittals are included and complete. All drawings and plans, and the proposed development, must comply with the requirements of the Engineering Plan Review Checklist, Riverton City Standards and Specifications, and all applicable Riverton City ordinances and standards.

[Signature]
Applicant's Signature

2/24/15
Date

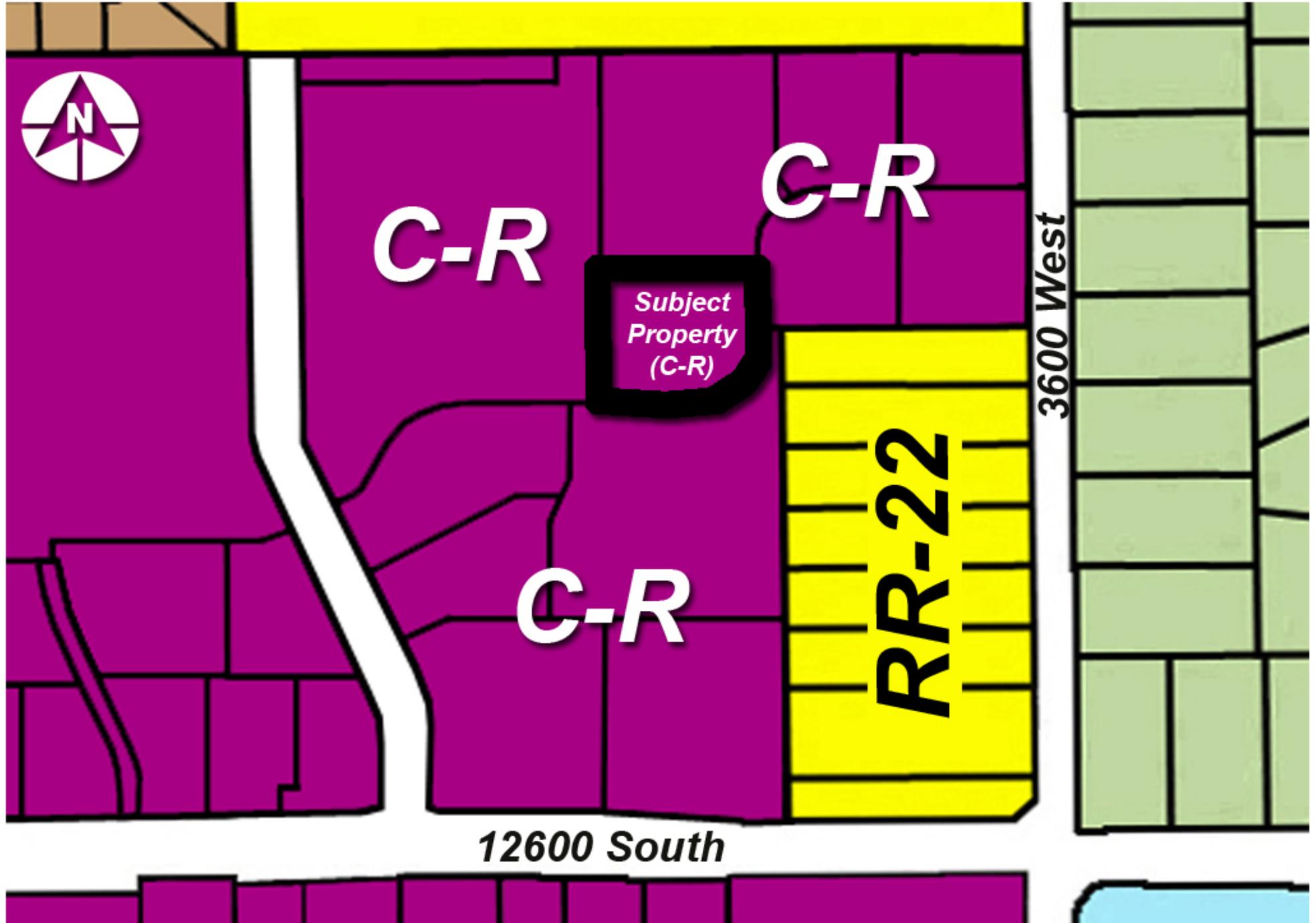
You will receive a letter following the Planning Commission and City Council meeting providing status of your application

AMERICAN CURB CUT SITE PLAN



AERIAL VIEW

AMERICAN CURB CUT SITE PLAN



AMERICAN CURB CUT

12472 SOUTH 3670 WEST - RIVERTON, UT

SPRING CREEK COMMERCIAL SUBDIVISION, LOT 6



LEI
 A Utah Corporation
ENGINEERS
SURVEYORS
PLANNERS

3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com



TABLE OF CONTENTS

SHEET	DESCRIPTION
C1	COVER SHEET
C2	UTILITY PLAN
C3	GRADEING & DRAINAGE PLAN
C4	CONSTRUCTION DETAILS
C5	EROSION CONTROL PLAN
C6	EROSION CONTROL DETAILS
L100	LANDSCAPE PLAN
E-1.1	LIGHTING PLAN



TABULATIONS

ZONE C-R (COMMERCIAL): SPRING CREEK COMMERCIAL SUBDIVISION, LOT #6

TOTAL SITE AREA:	1.28 ACRES
IMPERVIOUS AREA:	1.04 ACRES
LANDSCAPE AREA:	0.22 ACRES
PARKING STALLS REQUIRED:	22 STALLS
DANCE STUDIO/OFFICE	3,500 S.F. - 1 STALL PER 250 S.F.
WAREHOUSE	15,000 S.F. - 1 STALL PER 2,000 S.F.
PARKING STALLS PROVIDED:	41 STALLS

- NOTES**
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE TO THE LATEST EDITION OF RIVERTON CITY STANDARD SPECIFICATIONS & PLANS AND APWA STANDARDS. SEE RIVERTON CITY STANDARD DRAWING GN-1 FOR STANDARD CONSTRUCTION NOTES.
 - CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
 - ALL ADA ACCESSIBLE RAMPS WILL BE BUILT ACCORDING TO ST-10.
 - ALL STREET SIGNS PER RIVERTON STANDARD SG-2 AND MUTCD.
 - FUTURE USE CONDUIT PER RIVERTON STANDARD ST-4.
 - ALL ASPHALT PER RIVERTON STANDARD ST-4.
 - INSTALL STORM DRAIN PIPE PER APWA NO. -381-382.
 - MANHOLES AND CLEANOUT BOXES PER APWA PLAN NO.-341.
 - INLETS AND COMBO BOXES PER APWA PLAN NO.-316 THROUGH APWA PLAN NO.-316.
 - INSTALL 1" CULINARY WATER METER VAULT PER WT-6 AND INSTALL SECONDARY WATER SERVICE PER RIVERTON CITY STANDARD DRAWING SW-1.
 - ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 - CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
 - FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
 - SIDEWALK AND ROADWAY ARE TO BE KEPT FREE AND CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 - EXISTING DRY UTILITIES (I.E. GAS, POWER, TELE, ETC) SHALL BE BLUE STAKED PRIOR TO CONSTRUCTION. IF POTENTIAL CONFLICT IS PRESENT, CONTRACTOR SHALL NOTIFY ENGINEER, POT HOLE AND VERIFY LOCATION PRIOR TO CONSTRUCTION.

LEGEND

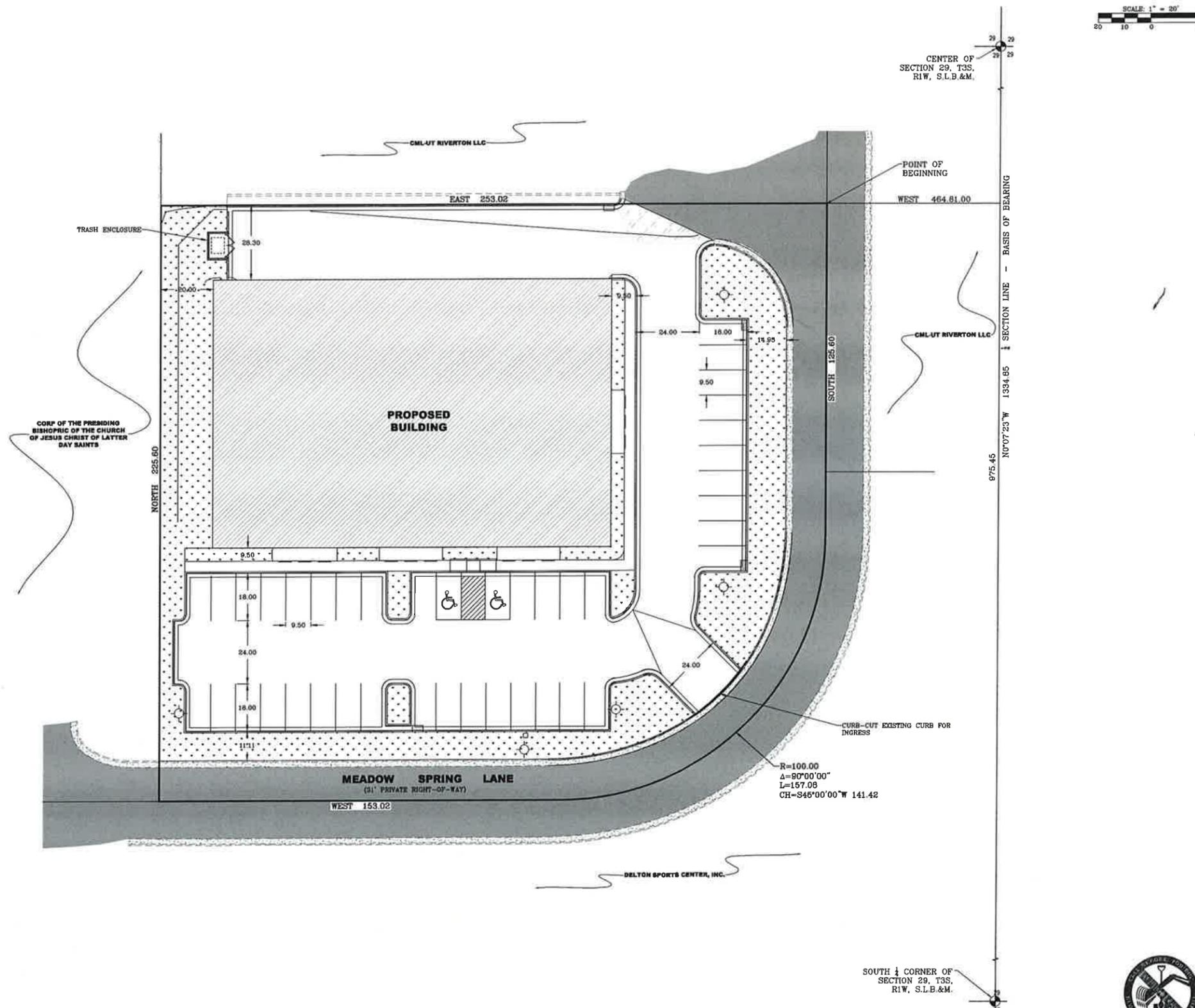
EXISTING WATER	EX-W
WATER VALVE	⊗
FIRE HYDRANT	⊙
SEWER	EX-SS
SEWER MANHOLE	⊙
STORM DRAIN	EX-SD
STORM DRAIN MANHOLE	⊙
STORM DRAIN CURB INLET	⊞
PI	EX-PI
PI VALVE	⊗
FENCE	—X—X—
PROPOSED STORM DRAIN	SD
STORM DRAIN CURB INLET	⊞

APR 14 2015

DEVELOPER / OWNER
 KODY PIERCE
 PO BOX 1420
 RIVERTON, UTAH 84065
 (801) 614-0548

ENGINEER
 LEI CONSULTING ENGINEERS
 3302 NORTH MAIN
 SPANISH FORK, UTAH 84660
 (801) 798-0555

AMERICAN CURB CUT
SPRING CREEK COMMERCIAL SUBDIVISION, LOT 6, RIVERTON, UTAH
COVER



U:\LAND DEPT\TOP PROJECTS\2014\14-253 KODY PIERCE SITE PLAN\DWG\14-253 SITE PLAN.DWG 4/2/2015 4:38 PM



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

LEI PROJECT #:
 2014-2163

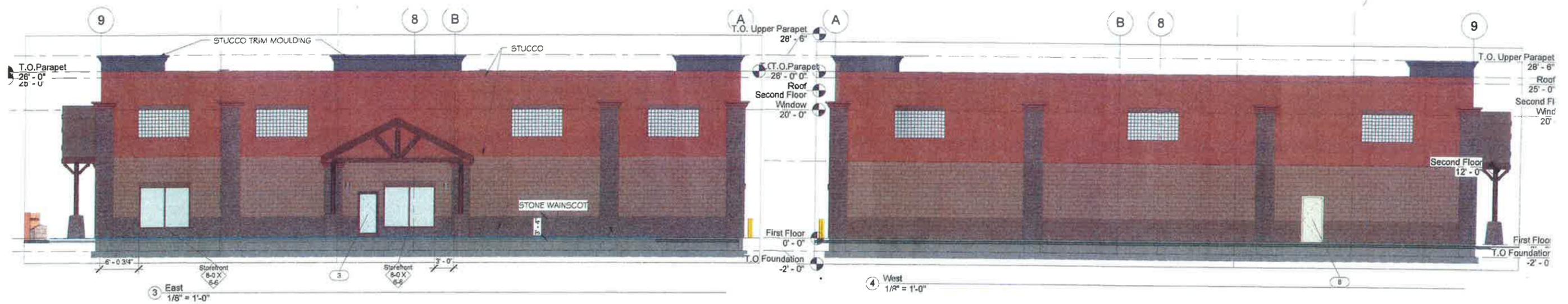
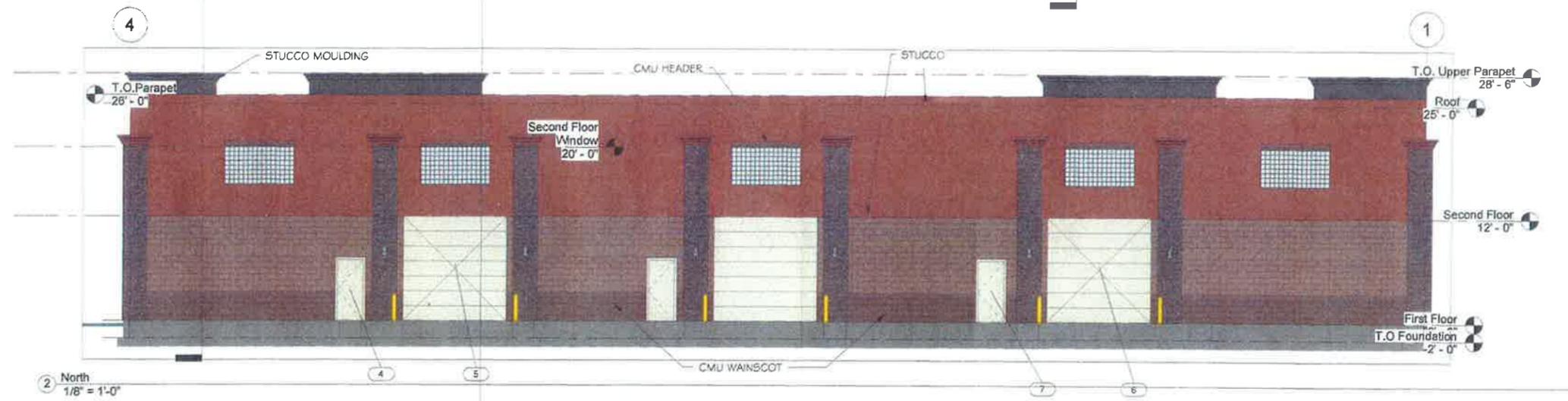
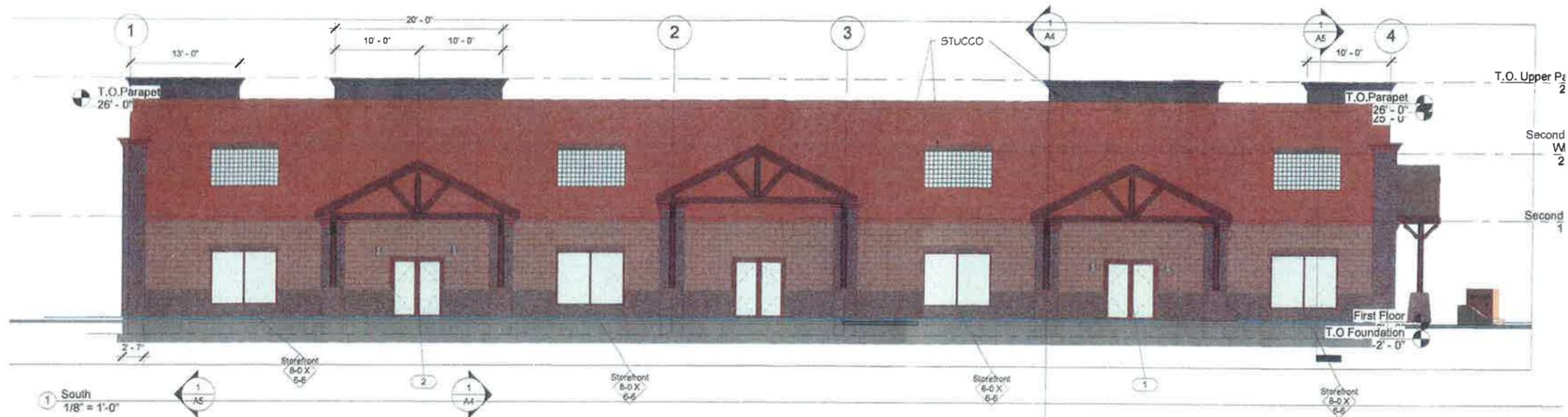
DRAWN BY:
 BLS

CHECKED BY:
 NKW

SCALE:
 1" = 20'

DATE:
 4/1/2015

SHEET
C1



ITEM 3.A & 3.B

APRIL 9, PC MEETING MINUTES

APRIL 23, PC MEETING MINUTES

1 RIVERTON CITY PLANNING COMMISSION
2 MEETING MINUTES

3
4 April 9, 2015

5
6 The Riverton City Planning Commission convened at 6:30 p.m. in the Riverton
7 City Municipal Building, 12830 South 1700 West, Riverton, Utah.

8
9 Planning Commission Members:

Staff:

10
11 Kent Hartley
12 Cade Bryant
13 Dennis Hansen
14 Scott Kochevar

Andrew Aagard, City Planner
Casey Taylor, City Attorney

15
16 Commissioner Hansen called the meeting to order. Commissioner Kochevar led
17 the Pledge of Allegiance.

18
19 I. PUBLIC HEARING

20
21 A. CONDITIONAL USE PERMIT, CROWN CASTLE WIRELESS
22 RELOCATION OF EXISTING WIRELESS COMMUNICATIONS
23 MONOPOLE AND GROUND EQUIPMENT AT 13742 SOUTH
24 REDWOOD ROAD, C-G ZONE, JUSTIN HADLEY REPRESENTING
25 CROWN CASTLE, APPLICANT.

26
27 City Planner, Andrew Aagard, presented the staff report and stated that the applicant is
28 requesting a Conditional Use Permit authorizing the relocation of an existing wireless
29 communications tower and ground equipment at 13742 South Redwood Road.
30 Mr. Aagard presented aerial photographs identifying the current location of the wireless
31 tower. He informed the Planning Commission of the zoning surrounding the subject
32 property. The property to the west is zoned RR-22, Rural Residential with one-half acre
33 lots. To the south is Bangerter Highway and Bluffdale City. The properties to the north
34 and east are also zoned C-G and the only business in the area currently is Burt
35 Brothers Tires. Due to construction at the intersection of Bangerter Highway and
36 Redwood Road, the applicant has been utilizing a temporary cellular on wheels to meet
37 the coverage requirements for the area. Mr. Aagard stated that this is the reason for the
38 relocation request.

39
40 Mr. Aagard presented aerial photographs of the proposed tower location. He stated that
41 the proposal is a request to place a permanent tower and ground equipment cabinetry
42 with a fenced enclosure just north of the current location. He explained that the
43 proposed lease space will be larger than the current space, however, there is no
44 limitation under the ordinance for maximum lease space. The new tower will carry three
45 cellular wireless companies with room to expand to four or more. The monopole and
46 antenna will be 92 feet high. Mr. Aagard stated that the ordinance requires monopoles

1 be at least 1 ½ times their height from any existing residential structure. The closest
2 residential buildings are accessory structures, which are not used for residential
3 purposes, and are 160 and 170 feet from the proposed tower location, which well
4 exceeds the setback requirement. Mr. Aagard presented the proposed site plan and
5 stated that there will be a masonry fence enclosure around the tower. Staff
6 recommended approval with the conditions set forth in the staff report.

7
8 Commissioner Kochevar asked if the proposed tower will be the same height as the
9 existing tower. Mr. Aagard stated that the current tower is only 80 feet tall. The tower is
10 higher to accommodate more service providers.

11
12 Commissioner Hansen opened the public hearing.

13
14 Ted Hansen asked if the wall of the enclosure will connect all the way to Bangerter
15 Highway. It was determined that the fencing will connect once the adjoining property is
16 developed. He also inquired about the height of the fence. Mr. Aagard informed him
17 that that was the Planning Commission's decision. Under the new fencing ordinance,
18 an eight-foot fence height is required between non-compatible uses. Mr. Hansen was
19 not bothered by the existing cell tower.

20
21 There were no further public comments. Chair Hansen closed the public hearing.

22
23 **Commissioner Kochevar moved that the Planning Commission APPROVE the**
24 **Conditional Use Permit for the Crown Castle wireless communications tower and**
25 **facility to be relocated at 13742 South Redwood Road, subject to the following**
26 **conditions:**

- 27
28 **1. All required building and electrical permits shall be obtained prior to**
29 **construction on the site.**
30
31 **2. The affected area shall be enclosed by an eight-foot solid masonry fence**
32 **that is consistent in color and appearance with the existing masonry**
33 **fencing used by the developer of the site.**
34
35 **3. The site and structure shall comply with any and all applicable standards**
36 **and ordinances.**

37
38 **Commissioner Bryant seconded the motion. Vote on motion: Commissioner**
39 **Hansen – Aye; Commissioner Hartley – Aye; Commissioner Bryant – Aye;**
40 **Commissioner Kochevar – Aye. The motion passed unanimously.**

41
42 **B. REZONE, REZONING 3.08 ACRES LOCATED AT APPROXIMATELY**
43 **12723 SOUTH PARK AVENUE TO RM-8-D, CURRENTLY ZONED C-D,**
44 **BRAD REYNOLDS CONSTRUCTION, APPLICANT.**

45
46 Mr. Aagard presented the staff report and stated that the applicant is requesting a

1 rezone of property located at approximately 12723 South Park Avenue from the current
2 C-D (Commercial Downtown) to RM-8-D, residential multi-family with eight dwelling
3 units per acre. Mr. Aagard stated that the properties to the north and west are also
4 zoned C-D, with the Pro Stop convenience store to the north and the site of a technical
5 school to the west. The properties to the south and east are already zoned RM-8-D and
6 have been developed as a housing development constructed by the applicant.
7 Essentially, the applicant would be expanding his development. Mr. Aagard stated that
8 the density would be the same as to the south and east. He presented aerial
9 photographs of the subject property. Mr. Aagard reminded the Planning Commission
10 that they were not making a decision regarding the site plan, but just the rezone. Staff
11 recommended approval of the rezoning request.

12
13 Commissioner Hartley asked Mr. Aagard if they received feedback from the surrounding
14 businesses about the increase in residential areas downtown. Mr. Aagard responded
15 that he had not received any negative feedback and that some owners stated that
16 business had picked up recently. Mr. Aagard did not believe traffic flow would be
17 significantly affected by the proposed development.

18
19 There was discussion regarding the new technical school proposed to the west of the
20 subject property. The property consists of excess land the Jordan School District
21 decided not to use for their school.

22
23 Commissioner Hansen opened the public hearing.

24
25 Dave Hatch stated that he lives in the existing community and informed the Commission
26 that he had several concerns with the new development. When he moved to Riverton
27 he paid a premium for his property to have a vacant lot behind it. He was upset that
28 there is a potential for the property to be developed now. He also expressed concern
29 that the notice for tonight's public hearing did not come soon enough to give him time to
30 prepare. Mr. Hatch also stated that if the subject property were developed he would
31 prefer there be fencing between the two lots.

32
33 Angela Hatch asked if there was a chance that the request could be continued since
34 they received the notice so late. She wanted to know how other residents in the area
35 feel about the issue.

36
37 Mr. Aagard stated that the Planning Commission has the opportunity to continue the
38 matter, but the application will also go before the City Council for approval. He
39 described the basic approval process for the application. Mr. Aagard estimated that the
40 request would be heard by the City Council near the end of May.

41
42 Kathleen Buhler stated that she too paid a premium to purchase a townhome with the
43 open area behind it. She expressed concern about the land being developed. If
44 developed, she believed she should be compensated in some way.

45

1 The applicant, Brad Reynolds, addressed some of the concerns raised by the public.
2 He made it clear that as they developed the first two phases, they did not have any
3 claim and the property was not for sale. The Jordan School District purchased the
4 property five or six months ago and since then the District decided that the parcel was
5 excess. They reached out to the applicant with an offer to sell it. Mr. Reynolds
6 commented that Phase 2 and the new homes going into the property will be more costly
7 than the existing homes. He confirmed that the existing black fence will remain unless
8 they desire to replace it with another fence type. Mr. Reynolds commented that the new
9 development will feature the same units but will have a different HOA. The roads will
10 also connect to each other. There will be 24 units on the three-acre parcel and all
11 setbacks will be a minimum of 20 feet from the existing backyard fences.

12
13 There were no further public comments. Commissioner Hansen closed the public
14 hearing.

15
16 **Commissioner Hartley moved that the Planning Commission recommend**
17 **APPROVAL** of the rezone application, rezoning 3.08 acres located at
18 approximately 12723 South Park Avenue from C-D to RM-8-D. Commissioner
19 Kochevar seconded the motion. Vote on motion: Commissioner Hansen – Aye;
20 Commissioner Hartley – Aye; Commissioner Bryant – Aye; Commissioner
21 Kochevar – Aye. The motion passed unanimously.

22
23 **II. DISCUSSION ITEMS**

24
25 **A. AMENDMENTS TO THE HOME OCCUPATION ORDINANCE.**

26
27 Mr. Aagard stated that the Code designates certain businesses as permitted,
28 conditional, or prohibited. A few concerns arose with regard to industry-type
29 businesses, because the Code is not necessarily specific about allowable uses. The
30 City wanted to get feedback from the Planning Commission with respect to the Code
31 and asked whether additional language would be beneficial.

32
33 A discussion followed regarding home-based businesses operating out of accessory
34 buildings. It was unknown what other cities allow in this regard. It was determined that
35 only a few home occupations in the City produced negative feedback from residents.

36
37 While discussing possible language additions to the ordinance, Mr. Aagard informed the
38 Commission that they could be as specific as deemed necessary. It was determined
39 that the home-based business in the City had not presented a significant problem and
40 the Commission supported keeping the ordinance as it is.

41
42 **III. MINUTES**

43
44 **A. MARCH 12, 2015**

45
46 **Commissioner Bryant moved that the Planning Commission APPROVE the**

1 **meeting minutes from March 12, 2015. Commissioner Kochevar seconded the**
2 **motion. Vote on motion: Commissioner Hansen – Aye; Commissioner Hartley –**
3 **Aye; Commissioner Bryant – Aye; Commissioner Kochevar – Aye. The motion**
4 **passed unanimously.**

5

6 **ADJOURNMENT**

7

8 The meeting adjourned at approximately 7:23 p.m.

1 RIVERTON CITY PLANNING COMMISSION
2 MEETING MINUTES

3
4 April 23, 2015

5
6 The Riverton City Planning Commission convened at 6:30 p.m. in the Riverton
7 City Municipal Building, 12830 South 1700 West, Riverton, Utah.

8
9 Planning Commission Members:

Staff:

10
11 James Endrizzi
12 Kent Hartley
13 Cade Bryant
14 Brian Russell
15 James Webb
16 Dennis Hansen

Andrew Aagard, City Planner
Casey Taylor, Attorney
Gordon Miner, Engineering

17
18 Chair Russell called the meeting to order. Chair Russell led the Pledge of
19 Allegiance.

20
21 I. PUBLIC HEARING

22
23 A. **REZONE**, REZONING 12.55 ACRES LOCATED AT APPROXIMATELY
24 13600 SOUTH HAMILTON VIEW ROAD (3600) FROM C-R
25 (COMMERCIAL REGIONAL) TO RM-14 (RESIDENTIAL MULTI-FAMILY
26 14 UNITS PER ACRE), ROSECREEK CROSSING LLC, APPLICANT.
27

28 City Planner, Andrew Aagard, presented the staff report and stated that the applicant,
29 Rosecreek Crossing LLC, submitted an application requesting 12.55 acres of property
30 at 13600 South Hamilton View Road be rezoned from C-R (Commercial Regional) to
31 RM-14, which is Residential Multi-family dwellings, 14 units per acre. Mr. Aagard
32 informed the Commission that the property is currently vacant with the surrounding
33 properties being zoned C-R and R4-SD. The commercial uses in the area were
34 described as a Walmart store and a BioLife Plasma Center. He stated that BioLife has
35 taken the last remaining commercial property with visibility from 13400 South. This has
36 left the properties isolated with poor visibility and access. Since the properties are not
37 highly desirable as commercial, the applicant was proposing a rezone to residential in
38 order to construct a medium-high to high density townhome development. Staff
39 believes this will serve as an appropriate buffer between the single-family residential
40 and commercial uses surrounding the subject property.

41
42 Mr. Aagard noted that the application includes an amendment to the General Plan
43 designation to high density residential for the area, which requires a minimum density of
44 eight units per acre. He reminded the Commission that tonight's hearing is only to
45 consider the rezone of the property. Any issues relating to the site plan will be reviewed
46 and discussed at a later date. Mr. Aagard stated that staff received only one negative

1 comment on the application pertaining to traffic. Staff recommended approval of the
2 application.

3
4 Chair Russell opened the public hearing.

5
6 Kevin Mabey identified himself as a representative of the Rosecreek Homeowners
7 Association and stated that they met with the applicant on several occasions and feel
8 this is an appropriate use for the property. The majority of the Homeowners Association
9 would like to see the request approved.

10
11 Anna Salis indicated that she lives in one of the local townhomes. Her concern was that
12 her townhome community was supposed to be the only one in the area. She was
13 worried that home values will decrease with more townhomes coming in. Ms. Salis
14 asked if the applicant would be bound to the site plan exactly as it was proposed.

15
16 There were no further public comments. Chair Russell closed the public hearing.

17
18 Chair Russell indicated that the rezone would be appropriate for the area.

19
20 In response to a question from the Commission, Mr. Aagard stated that the open space
21 requirement under the RM-14 Zone is 25%.

22
23 Chair Russell addressed Ms. Salis' question about the applicant being bound to this
24 proposal. He stated that the application would come before the Planning Commission
25 again with a site plan showing the proposed layout and other specifications at a later
26 date.

27
28 The applicant, Doug Young, stated that they have been trying to address all concerns
29 raised by the residents and have been working well with the Homeowners Association.
30 They were excited to move forward with the project.

31
32 **Commissioner Hansen moved that the Planning Commission APPROVE the**
33 **rezone of 12.55 acres located at approximately 13600 South Hamilton View Road**
34 **(3600 West) from C-R to RM-14 and amend the Riverton City General Plan from**
35 **Regional Commercial to High Density Residential. Commissioner Endrizzi**
36 **seconded the motion. Vote on motion: Chair Russell – Aye; Commissioner**
37 **Hansen – Aye; Commissioner Hartley – Aye; Commissioner Bryant – Nay;**
38 **Commissioner Endrizzi – Aye; Commissioner Webb – Aye. The motion passed 5-**
39 **to-1.**

40
41 **B. ORDINANCE ADOPTION, ADOPTION OF RM-14 ORDINANCE,**
42 **ALLOWING MULTI-FAMILY RESIDENTIAL DEVELOPMENT AT A**
43 **MAXIMUM DENSITY OF 14 UNITS PER ACRE, PROPOSED BY**
44 **RIVERTON CITY.**

45
46 Mr. Aagard presented the staff report and informed the Commission that Riverton City is
47 proposing a new ordinance that essentially amends the RM-12 in the RM-14 ordinance.

1 He presented slides showing an overview of the proposed ordinance. Mr. Aagard
2 stated that the ordinance would establish a maximum density of 14 dwelling units per
3 acre with multi-family buildings with a height of three stories or 35 feet. The setbacks
4 would be similar to the other RM zones, as well as parking, landscaping, and fencing
5 requirements.

6
7 Mr. Aagard requested feedback from the Commission about whether a 25-foot setback
8 was appropriate or excessive between incompatible uses. He presented some of the
9 open space and landscaping requirements of the zone. He also stated that eight-foot
10 decorative masonry fencing was required between incompatible zones.

11
12 There was discussion regarding the proposed setback requirements compared to those
13 in the other RM zones. Mr. Aagard stated that the large setbacks may reduce the
14 number of units the applicant can develop, but the Commission should not make a
15 decision based on this particular application. They should instead consider future
16 applications in the zone.

17
18 Chair Russell opened the public hearing. There were no public comments. Chair
19 Russell closed the public hearing.

20
21 **Commissioner Hansen moved that the Planning Commission recommend**
22 **APPROVAL of the ordinance amendment, amending Section 18-55, RM-12, to**
23 **create the RM-14 Zone, a multi-family residential zone allowing a maximum of 14**
24 **units per acre. Commissioner Webb seconded the motion. Vote on motion: Chair**
25 **Russell – Aye; Commissioner Hansen – Aye; Commissioner Hartley – Aye;**
26 **Commissioner Bryant – Aye; Commissioner Endrizzi – Aye; Commissioner Webb**
27 **– Aye. The motion passed unanimously.**

28
29 **C. ORDINANCE AMENDMENT, AMENDING SECTION 18.190, HOME**
30 **OCCUPATIONS, ADDRESSING ALLOWED HOME BUSINESS**
31 **TYPES/ACTIVITIES, AMENDMENTS PROPOSED BY RIVERTON CITY.**
32

33 Mr. Aagard presented the staff report and stated that the proposal stemmed from
34 discussions from a previous Planning Commission Meeting regarding the Home
35 Occupation Ordinance. The ordinance lists types of home-based occupations as
36 permitted, conditional, or prohibited. Mr. Aagard commented that concerns have arisen
37 lately because the ordinance does not prohibit manufacturing activities as home-based
38 businesses. Mr. Aagard presented language from the current Code for conditional
39 uses, followed by the proposed language, which would read, "Workshops, including
40 carpentry, small scale sheet metal work, furniture making, upholstery, and other similar
41 activities".

42
43 With regard to the section involving prohibited uses, the proposed language would read,
44 "Manufacturing and/or mechanical product assembly other than small scale arts, crafts,
45 and hobby work. Use of chemicals, pesticides and flammable/combustible materials,
46 and any other process or business where current adopted building and fire codes would
47 require an optional permit".

1
2 Mr. Aagard stated that there are a few new sections proposed to be added to the
3 ordinance that involve the revocation of a Conditional Use Permit and reapplications
4 following revocation or denial.

5
6 City Attorney, Casey Taylor, expounded on the revocation and denial sections of the
7 proposal. He requested feedback from the Commission with respect to the proposed
8 language. He read the proposed sections and further explained that a \$1,000 bond
9 would be required upon reapplication after a revocation. This would act as an insurance
10 for the City in case the Conditional Use Permit were revoked a second time.

11
12 There was a discussion regarding denials and the appeals process, including a recent
13 decision that was overturned by the Board of Adjustments. With regard to the cash
14 bond requirement, Mr. Taylor stated that not all agree that this would be the best option.
15 He predicted potential problems. There was discussion about requiring a higher
16 application fee rather than a bond.

17
18 There was discussion about the denial portion of the proposal since an applicant may
19 choose to rethink his proposal with consideration from the Planning Commission and
20 immediately reapply. The one-year waiting period for reapplication after revocation was
21 agreed on by the Commissioners. It was determined that the language for revocation
22 and denial should be separated.

23
24 Chair Russell opened the public hearing. There were no public comments. Chair
25 Russell closed the public hearing.

26
27 **Commissioner Hansen moved that the Planning Commission TABLE the**
28 **ordinance amendment, amending Sections 18.190.080.2 and 18.190.090.1, with**
29 **the following adjustments to be made upon return:**

- 30
31 **1. The separation of the revocation and denial in the language proposed by**
32 **the City Attorney's Office, allowing the denial a time period to reformulate**
33 **their plan to comply with the recommendations of the Planning**
34 **Commission.**
35
36 **2. Substitute the language requiring a bond for an increased application fee**
37 **on applications following a revocation.**

38
39 **Commissioner Hartley seconded the motion. Vote on motion: Chair Russell –**
40 **Aye; Commissioner Hansen – Aye; Commissioner Hartley – Aye; Commissioner**
41 **Bryant – Aye; Commissioner Endrizzi – Aye; Commissioner Webb – Aye. The**
42 **motion passed unanimously.**

43

1 **II. DISCUSSION ITEMS**

2
3 **A. FINAL PLAT SUBDIVISION, TREASURE ESTATES PHASE 2**
4 **SUBDIVISION, 12000 SOUTH 1500 WEST, R-3 ZONE, 22 SINGLE-**
5 **FAMILY RESIDENTIAL LOTS, MARVIN HENDRICKSON, APPLICANT.**
6

7 Mr. Aagard presented the staff report and stated that the applicant, Marvin Hendrickson,
8 submitted an application for the subdivision of 9.4 acres located at 12000 South 1500
9 West. The property is currently zoned R-2 with similar zoning to the east, west, and
10 south. The applicant was proposing to subdivide the property into 22 single-family
11 residential lots, all larger than 14,000 square feet. Each new lot meets the minimum lot
12 width requirements, frontage, and square footage requirements of the R-3 Zone. Mr.
13 Aagard informed the Commission that there were no animal rights associated with the
14 zoning and no storm water management ponds proposed for the subdivision.
15

16 With regard to fencing requirements, Mr. Aagard stated that the application was
17 submitted before the new fencing ordinance was adopted. As a result, they were only
18 required to install six-foot solid fencing on the lots along the canal. He stated that the
19 City Council may have digression upon recommendation of the Planning Commission in
20 this regard. The Riverton City Planning, Engineering, and Water divisions all reviewed
21 the application and recommended approval with the conditions listed in the staff report.
22

23 Commissioner Hartley asked if there were any concerns with the wetlands to the north.
24 Mr. Aagard did not believe there was, since engineering reviewed the application and
25 nothing was mentioned.
26

27 The applicant, Marvin Hendrickson, addressed Commissioner Hartley's concerns about
28 the wetlands and informed the Commission that the property owner to the north had
29 been working with the City to expand the basin flood control. Engineering found no
30 problems with the wetlands encroaching onto the property.
31

32 **Commissioner Hartley moved that the Planning Commission recommend**
33 **APPROVAL of Application #13-1008, Treasure Estates Phase 2, located at 12000**
34 **South 1500 West subject to the following conditions:**
35

- 36 **1. Storm drainage systems and installation shall comply with Engineering**
37 **Department requirements and standards.**
- 38
39 **2. Any and all irrigation ditches associated with the property shall be**
40 **addressed, with disposition of the irrigation systems approved by Riverton**
41 **City and the proper irrigation company or users.**
- 42
43 **3. The subdivision shall comply with any and all applicable Riverton City**
44 **Standards and ordinances, including the International Building and Fire**
45 **Codes.**
46

- 1 **4. There shall be six-foot solid masonry fencing along all lots adjacent to the**
- 2 **canal, consistent with the current fencing ordinance.**
- 3
- 4 **5. Evidence shall be provided of the necessary easements.**
- 5
- 6 **6. A boundary survey shall be recorded.**
- 7
- 8 **7. Comply with remaining minor redlines.**
- 9

10 **Commissioner Endrizzi seconded the motion. Vote on motion: Chair Russell –**
11 **Aye; Commissioner Hansen – Aye; Commissioner Hartley – Aye; Commissioner**
12 **Bryant – Aye; Commissioner Endrizzi – Aye; Commissioner Webb – Aye. The**
13 **motion passed unanimously.**

14

15 **ADJOURNMENT**

16

17 The meeting adjourned at approximately 7:30 p.m.