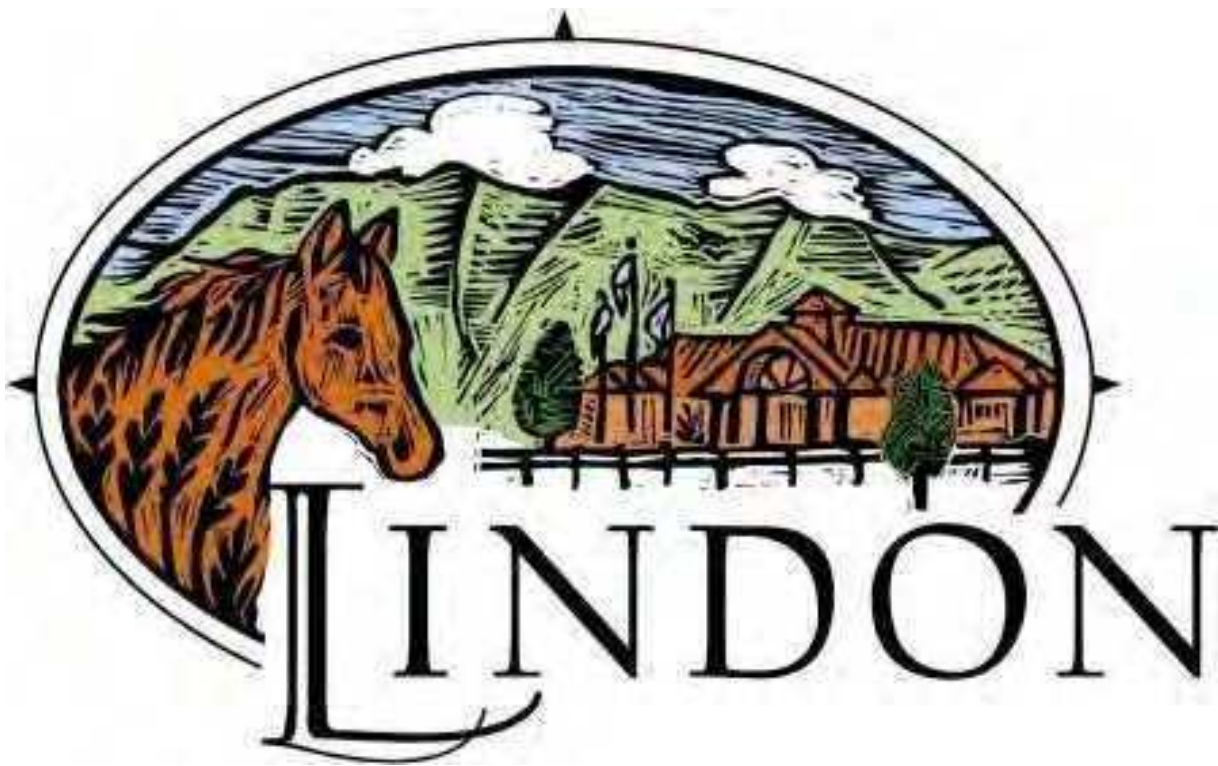


Lindon City Planning Commission Staff Report



September 15, 2026

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, September 15, 2026**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at www.youtube.com/LindonCity. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order

2. Approval of minutes - Planning Commission 08/25/2026

3. Public Comment

4. Site Plan Approval – Cottonwood Healthcare Corporate Headquarters

Brian Swendsen is requesting site plan approval to construct a 46,609-square-foot office building that will serve as the company's corporate headquarters. (20 minutes)

5. Public Hearing – Lindon City Ordinance Amendment

The Utah Legislature passed Senate Bill 284 (SB 284) during the 2026 Utah Legislative Session, which amended state requirements governing detached accessory dwelling units (ADUs). Provisions of the City's existing ordinance is proposed to be amended as well as other requirements for ADU's. (20 minutes)

6. Community Development Director Report - General City Updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindon.gov. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, giving at least 24 hours' notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindon.gov websites.

**The duration of each agenda item is approximate only*

Posted By: Britni Laidler, City Recorder

Date: 09/11/2026 **Time:** 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Notice of Meeting
Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Karen Danielson
Ryan Done

The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, August 25, 2026 beginning at 6:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North State Street, Lindon, Utah.

REGULAR SESSION – 6:00 P.M.

Conducting:	Rob Kallas, Chairperson
Invocation:	Sharon Call, Commissioner
Pledge of Allegiance:	Karen Danileson, Commissioner

PRESENT

EXCUSED

Rob Kallas, Chairperson
Sharon Call, Commissioner
Jared Schauers, Commissioner
Karen Danielson, Commissioner
Scott Thompson, Commissioner
Mike Marchbanks, Commissioner
Steve Johnson, Commissioner – *arrived at 6:51*
Ryan Done, Commissioner
Michael Florence, Community Dev. Director
Brittany Wilde, City Planner
Britni Laidler, Recorder
Aubrie Ivie, Deputy Recorder

1. **CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

2. **APPROVAL OF MINUTES** – The minutes of the regular meeting of the Planning Commission meeting of July 14, 2026, were reviewed.

COMMISSIONER CALL MOVED TO APPROVE THE MINUTES OF THE REGULAR MEETING OF JULY 14, 2026 AS PRESENTED WITH NOTED CHANGES. COMMISSIONER THOMPSON SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

3. **PUBLIC COMMENT** – Chairperson Kallas called for comments from any audience member who wishes to address any issue not listed as an agenda item. There were no comments.

CURRENT BUSINESS

4. **Conditional Use Permit – Lindon Collision, LLC** Eric Read requests Conditional Use Permit approval to operate an auto parts manufacturing business specializing in fabrication and production for classic vehicle parts at 503 N. Geneva Road.

Brittany Wilde, City Planner, presented the application from Eric Reed requesting a Conditional Use Permit to operate an auto parts manufacturing business at 503 N. Geneva Road,

located within the mixed commercial zone. Staff advised that a Conditional Use Permit was the appropriate process for conducting auto-related work in this zone.

The applicant, Eric Reed, explained that he had previously owned Lindon Collision and, upon selling it, retained his business identity and relocated to the subject property, where he has operated for approximately ten years. His business specializes in fabricating roll bars for hot rods and classic vehicles. All fabrication occurs indoors, with outdoor space used for employee and customer parking and temporary vehicle storage. He stated typically only two to three vehicles are outside at any given time, with most vehicles stored inside.

Commissioners questioned the duration of outdoor vehicle storage and the operability of vehicles parked outside. The applicant confirmed that most vehicles are moved through relatively quickly, though some may remain for up to a month while awaiting part fabrication. Commissioner Call expressed concern about the enforceability of outdoor storage limits. Discussion settled on a 72-hour outdoor storage limit as a reasonable condition, with an exception for vehicles awaiting parts delivery. Commissioners also confirmed the applicant would not be conducting auto sales on the premises.

Chairperson Kallas called for further comments or discussion from the commissioners. Hearing none, he called for a motion.

COMMISSIONER DONE MOVED TO APPROVE THE APPLICANT'S REQUEST FOR A CONDITIONAL USE PERMIT TO USE THE PROPERTY LOCATED AT 503 N. GENEVA ROAD FOR AN AUTO SERVICING BUSINESS, WITH THE FOLLOWING CONDITIONS: 1. VEHICLES MAY NOT BE STORED OUTDOORS FOR LONGER THAN 72 HOURS UNLESS THE OWNER IS WAITING ON DELIVERY OF PARTS; 2. NO VEHICLE PARTS WILL BE STORED OUTSIDE OF THE BUILDING; 3. NO AUTOBODY WORK SUCH AS REPLACING METAL PANELS, PRIMING, PAINTING; 4. ONLY THE FABRICATION AND PRODUCTION OF AUTO PARTS IS APPROVED FOR THIS BUSINESS; 5. THE APPLICANT WILL COMPLY WITH ALL THE MIXED COMMERCIAL SPECIAL PROVISIONS REQUIREMENTS FOUND IN SECTION 17.50.120 OF THE LINDON CITY CODE; AND 6. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON KALLAS	AYE
COMMISSIONER CALL	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER DONE	AYE
COMMISSIONER THOMPSON	AYE

THE MOTION CARRIED UNANIMOUSLY.

5. Site Plan Approval – JZ Styles - John Clark with Building by John, is requesting site plan approval to construct a 31,410-square-foot building to accommodate a variety of uses such as a salon, retail space, office, and warehouse, and fulfillment.

2 Brittany Wilde, City Planner, presented the application from John Clark of Building by
John, requesting site plan approval to construct a 31,410-square-foot building at 550 Fox Rise
4 Lane for JZ Styles. The proposed uses include a salon, retail space, office space, a film and
photography studio, and warehouse and fulfillment areas. Staff confirmed the applicant is a
6 single-user operation currently located in Pleasant Grove, consolidating their business in Lindon.

8 Planner Wilde reviewed the key site plan elements and noted that the applicant is
required to provide 92 parking stalls and is providing 103, including 5 ADA stalls, exceeding the
10 minimum. She stated that drive aisles range from 24 to 26 feet in width, and a fire access route
with a crash gate has been incorporated to satisfy fire department requirements. Access to the site
12 from State Street is approximately 208 feet from the right-of-way, and the site also benefits from
a deceleration lane previously required by UDOT for the adjacent Bank of America
14 development. She continued to note that the building is proposed at 36 feet in height, which
triggered additional setback requirements; the building is set approximately 53 feet from the
16 eastern and 55 feet from the southern residential property lines, satisfying those standards. The
building design meets the required 60% pedestrian-level fenestration and incorporates stone,
18 metal, storefront windows, columns, balconies, alcoves, a canopy, and a decorative parapet. Staff
noted that balconies on the northeast side face the front setback areas of adjacent residential
20 properties rather than rear yards, providing adequate privacy separation.

22 Planner Wilde noted that a photometric study was submitted but requires revision to
include building-mounted and landscape lighting in addition to parking lot lighting; staff
24 indicated this would be resolved prior to final approval. She also stated that the property lies
within a flood zone, and the applicant is required to complete a floodplain development permit.
26 A storm drain easement runs along the southwest portion of the property; the building is set back
approximately 41 feet from the easement, and no structures are proposed within it.

28 Staff brought one item specifically requiring commission approval: the applicant's
30 request to reduce the required landscape buffer on the commercial side of the masonry wall
along the southern residential property line from 10 feet to 5 feet. Staff found the reduction
32 reasonable, as the 7-foot masonry wall would continue to provide a substantial buffer, and the
reduction would not adversely affect overall landscaping percentages on-site.

34 Chairperson Kallas called for any public comment from public present. The following
36 comments were made:

38 Kai Anderson - A resident of the adjacent Songbird Cove Lane Development, addressed the
commission regarding traffic and parking concerns. She described a dangerous condition on
40 Songbird Cove Lane's tight corner, where parked vehicles on both sides leave only
approximately 15 feet of clearance, recounting an incident where an ambulance and fire truck
42 were unable to pass during a medical emergency involving her husband. She questioned the
value of public notices if residents' input could not alter an outcome when a project meets code.

44 Commissioner Thompson acknowledged the concern and explained the commission's
46 legal obligation to approve projects that meet city code, while also affirming the Commission's
intent to address the parking situation on Songbird Cove Lane. Staff confirmed it is a public city

street and agreed to have city engineers evaluate the parking conditions and appropriate remedies, including the possibility of red-curbing portions of the roadway. Commissioners noted that several letters had also been received from adjacent residents regarding traffic impacts to State Street, though the commission observed that any commercial development on the parcel would generate some traffic increase.

Commissioner Thompson and others expressed strong appreciation for the building's design quality, calling it an example of what commercial buildings in Lindon should look like.

Chairperson Kallas called for further comments or discussion from the Commissioners. Hearing none, he called for a motion.

COMMISSIONER THOMPSON MOVED TO APPROVE THE APPLICANT'S REQUEST FOR SITE PLAN APPROVAL WITH THE FOLLOWING CONDITIONS: 1. THE APPLICANT WILL CONTINUE TO WORK WITH THE CITY ENGINEER TO MAKE ALL FINAL CORRECTIONS TO THE ENGINEERING DOCUMENTS; 2. THE PLANS WILL MEET DEVELOPMENT SPECIFICATIONS AS FOUND IN THE LINDON CITY DEVELOPMENT MANUAL AND CITY CODE; 3. THE LANDSCAPE PLAN AND PERCENTAGES WILL MEET CITY CODE REQUIREMENTS; 4. FINAL EXTERIOR MATERIAL DESIGN WILL MEET THE COMMERCIAL DESIGN STANDARDS FOR COMMERCIAL SITES AND BUILDINGS; 5. THE ROOF DESIGN IS APPROVED AS DESIGNED; 6. THE APPLICANT WILL COMPLETE THE FLOODPLAIN DEVELOPMENT PERMIT; 7. AN UPDATED PHOTOMETRIC STUDY WILL BE PROVIDED AND APPROVED BY CITY STAFF; 8. NO DEEP-ROOTED TREES OR STRUCTURES SHALL BE PLACED IN THE STORM DRAIN EASEMENT; 9. THE APPLICANT WILL COMPLY WITH ALL BONDING REQUIREMENTS, IF APPLICABLE; AND 10. ALL ITEMS OF THE STAFF REPORT 11. APPROVAL OF THE 5-FOOT REDUCTION OF THE LANDSCAPE BUFFER ON THE SOUTH SIDE OF THE PROPERTY ONLY. COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON KALLAS	AYE
COMMISSIONER CALL	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER DONE	AYE
COMMISSIONER THOMPSON	AYE

THE MOTION CARRIED UNANIMOUSLY.

Commissioner Steve Johnson swapped out with Commissioner Done at this time.

- 6. Plat Amendments– Lindon's Edge** Praus, LLC is requesting to amend the lot lines of the existing three-lot subdivision while maintaining three lots within the development. This request is also amending the previously approved condominium plat from 14

2 buildings with 3 condominium units in each building, down to a total of 5 buildings with
3 condominium units in each building.

4 Michael Florence, Community Development Director, presented a request from Praus,
LLC to amend the Lindon's Edge development located at approximately 126–140 South Main
6 Street. The site currently contains a reception center and two completed office buildings. The
project was originally approved in 2019 for a site plan, with a three-lot subdivision and
8 condominium plat approved in subsequent years for up to 14 buildings. Following a period of
legal disputes between the prior developer (Richard Davies) and property owners, which have
10 now been resolved, the new developer (Praus, LLC) is proposing to scale the project down from
14 buildings to 5 buildings total, and to amend the condominium plat accordingly.

12 Director Florence noted that the new buildings would be externally identical to the two
already constructed. One change to the condominium unit design was explained: whereas the
14 original buildings had a fourth unit consisting of a basement-only storage unit with a 9-foot
ceiling height specifically to prevent future office conversion, the new buildings will instead
16 feature fully vertical units in which a single owner holds all three floors from basement to top.

A neighbor, Richard Gale, whose property abuts the development to the east, addressed
18 the Commission. He and his neighbors welcomed the project being scaled back and moving
forward, but expressed concern about the landscape buffer along the masonry wall adjacent to
20 their properties, which had been called out in the original 2019 site plan but not yet installed due
to the project being in Phase 2. He also raised concerns about parking lot lights shining into
22 residential windows. Staff confirmed that the original 2019 site plan does require trees along that
boundary and that landscaping will be installed as part of phase 2 of the project. Staff also
24 indicated they would review the lighting issue and work with the developer to prevent light
trespass, similar to solutions applied to other commercial properties in the city.

26 Commissioners discussed whether the reduction in project scope necessitated a new site
plan approval. Staff explained that the city's ordinance only triggers a return to the Commission
28 for increases beyond a certain percentage threshold; a decrease in project scope does not require
a new site plan. Commissioners confirmed that the landscaping requirements from the original
30 site plan remain in force for the areas within the scope of this amendment, and that portions of
the site not within the current development phase would be addressed when that phase is
32 developed. Commissioner Schauers raised a concern about the potential for individual three-level
condo units to be subdivided and rented to multiple tenants; staff agreed to review whether a note
34 on the plat or updated CC&Rs could address this.

Following general discussion regarding landscaping, Chairperson Kallas called for
36 further comments or discussion from the Commissioners. Hearing none, he called for a motion.

COMMISSIONER CALL MOVED TO APPROVE THE APPLICANT'S REQUEST
38 FOR PRELIMINARY APPROVAL OF THE LINDON'S EDGE OFFICE CONDOMINIUM
PLAT "A" – 1ST AMENDMENT AND LINDON'S EDGE PLAT "A" – 1ST AMENDMENT
40 WITH THE FOLLOWING CONDITIONS: 1. THE APPLICANT WILL CONTINUE TO
WORK WITH CITY STAFF TO MAKE ALL FINAL CORRECTIONS TO THE PLAT FOR

2 RECORDING; 2. PRIOR TO PLAT RECORDING, THE APPLICANT WILL PROVIDE
3 STAFF WITH A FINAL PLAT MYLAR TO INCLUDE NOTARIZED SIGNATURES OF
4 OWNER'S CONSENT TO DEDICATION AS IDENTIFIED ON THE ATTACHED
5 SUBDIVISION PLAT; 3. PRIOR TO RECORDING, THE APPLICANT WILL PROVIDE
6 STAFF WITH A FINAL SET OF CC&R'S AND BYLAWS TO INCLUDE NOTARIZED
7 SIGNATURES; 4. THE PLAT WILL MEET THE APPLICABLE REQUIREMENTS AS
8 FOUND IN THE LINDON CITY DEVELOPMENT MANUAL; 5. FINAL COVENANTS,
9 CONDITIONS AND RESTRICTIONS WILL BE RECORDED WITH THE SUBDIVISION
10 PLAT; 6. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER DANIELSON
11 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

12 CHAIRPERSON KALLAS AYE
13 COMMISSIONER CALL AYE
14 COMMISSIONER SCHAUERS AYE
15 COMMISSIONER DANIELSON AYE
16 COMMISSIONER MARCHBANKS AYE
17 COMMISSIONER JOHNSON AYE
18 COMMISSIONER THOMPSON AYE
19 THE MOTION CARRIED UNANIMOUSLY.
20

21 **7. Public Hearing - General Plan Amendment – 1200 E. Street Master Plan** Dave

22 Gardner filed a land use application to amend the Lindon City General Plan Street Master
23 Plan Map to reduce the width of the future 800 N/1200 E. connector road behind the four
24 residential properties at 663 E. 770 N., 677 E. 770 N., 689 E. 770 N., 771 E. 770 N.

25 Michael Florence, Community Development Director, presented the application filed by
26 Dave Gardner to amend the Lindon City General Plan Street Master Plan Map to reduce the
27 width of the future 800 N./1200 E. connector road behind four residential properties at 663 E.
28 770 N., 677 E. 770 N., 689 E. 770 N., and 771 E. 770 N. He provided background on the
29 roadway, which was reclassified from a collector to a minor arterial in July 2025 and is
30 designated as a 66-foot right-of-way. Director Florence noted that approximately 80% of the
31 future roadway alignment falls within Pleasant Grove City's boundaries, limiting Lindon's ability
32 to unilaterally change road profiles or standards. Staff recommended denial of the application,
33 citing the recent reclassification and the need for coordinated action with Pleasant Grove before
34 any design change could be formally adopted. Staff also noted the importance of maintaining the
35 minor arterial designation to remain eligible for Mountainland Association of Governments
36 (MAG) transportation funding.

37 Director Florence delved into a road profile concept collaboratively developed with
38 Pleasant Grove in 2025. This concept was a strategic plan aimed at maintaining the established
39 66-foot right-of-way but creatively reducing the asphalt width to 36 feet. The reimagined road
40 layout included a center turn/emergency lane and a multi-use trail positioned on the hillside side,
41 which was intended to serve both pedestrian and cycling traffic. This adaptation was part of an
42 effort to address both infrastructural needs and community impact.
43

44 Director Florence highlighted that this proposal had previously been shared with Pleasant
45 Grove officials, receiving a promising and favorable initial response. This positive reception
46

underscored a shared municipal interest in re-envisioning how the community could engage with its regional transportation needs, balancing city growth with residential expectations. However, despite the initial enthusiasm, no formal adoption of this plan has occurred by either Lindon or Pleasant Grove cities. A significant hurdle was the withdrawal of Ivory Homes, a key stakeholder, from the development of the adjacent Millett property. Ivory Homes' involvement was crucial, as they were expected to work closely within the proposed design parameters, which brought about an interdependency essential for the project's advancement. He stated that the withdrawal prompted a reassessment of priorities and feasibility, leaving the well-received concept in a state of limbo. The unfolding situation called for ongoing dialogue between the cities, developers, and community members to pursue alternative solutions that align with both strategic plans and local needs.

Applicant, Dave Gardner, expressed frustration that this road profile concept, developed nearly a year prior, was not made available to the affected residents until it appeared in the staff report for this meeting. He emphasized that this lack of timely information had left residents feeling sidelined in the planning process. Mr. Gardner presented a stitched-together aerial illustration obtained through multiple GRAMA requests, which visually depicted the slope easement, construction easement, and right-of-way lines overlaying the four residential properties. This illustration clearly showed that the construction easement extended up to and, in some cases, reached the rear portions of the affected homes.

Mr. Gardner further explained that the resulting uncertainty and the legal ramifications of the easement have been a significant burden on homeowners. Mr. Gardner argued that adopting the 36-foot asphalt concept would represent a viable and balanced solution that addresses both the need for infrastructure and the preservation of residential property rights. He contended that integrating this concept into the general plan would safeguard against a scenario in which a future developer could fully exploit the easement area, thus exacerbating existing homeowner concerns.

Additionally, Mr. Gardner advocated for the inclusion of a retaining wall along the proposed road alignment. This retaining wall, he argued, would play a critical role in preventing overflow and slope runoff from entering residential properties and causing potential flooding issues. His proposal sought not only to establish a more cohesive and comprehensive plan that benefits both the city and the residents but also to ensure that future development does not come at the expense of current homeowners' peace of mind and property stability.

COMMISSIONER MARCHBANKS MOVED TO OPEN THE PUBLIC HEARING.
COMMISSIONER JOHNSON SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Chairperson Kallas called for any public comment from public present. The following comments were made:

Jeff Wilson - whose property lies below the subject lots, expressed deep frustration regarding the ongoing lack of progress in developing a long-term solution to the road alignment issue and the way it adversely affects homeowners. Mr. Wilson highlighted the history and complexities of the

subdivision's approval process, pointing out that there seemed to have been mistakes made when the easements were initially aligned with the approved plats. He emphasized that these past decisions have had significant and lasting impacts on property owners like himself, who are now left to deal with the ramifications. Mr. Wilson asserted that accountability is required from the city to address and rectify this situation, which has not only affected his property's value and utility but has also contributed to a sense of uncertainty and instability among the affected homeowners.

Eric Svendsen - who resides at 689 E. 770 N.—articulated the continual flooding risk to his home stemming from the unresolved slope easement. He detailed that he maintains two sump pumps to manage water intrusion, a necessity arising from the existing conditions. Mr. Svendsen emphasized the need for progress, explaining the anxiety of monitoring weather conditions, especially during rain, to ensure his home remains unflooded. He also expressed optimism about any action or solution that could resolve this ongoing issue, indicating his willingness to participate in discussions that could lead to a viable resolution. His remarks underscored the urgent need for a decision on the slope easement, whether it involves implementing a retaining wall or some other protective measure, to safeguard his property from further water damage.

COMMISSIONER THOMPSON MOVED TO CLOSE THE PUBLIC HEARING.
COMMISSIONER DANIELSON SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Following the public hearing, commissioners engaged in a detailed discussion concerning the limitations inherent in the application as it was presented. The deliberation opened with an acknowledgment of the genuine hardship facing the adjacent homeowners, recognizing the significant impact the current road designation has on their properties, particularly in terms of slope and construction easements that overlap their land. Commissioners expressed sympathy for the homeowners' plight and the prolonged uncertainty affecting their daily lives.

Despite understanding the residents' concerns, the commission emphasized that approving a downgrade of the road designation at this stage would be premature. They reasoned that such a move could potentially be detrimental to the city's long-term planning objectives. It was noted that altering the road designation without a clear and comprehensive plan could remove the city's flexibility for future design options, a flexibility that is vital for responding to unforeseen development challenges or opportunities. The commissioners were also concerned about the risk of jeopardizing eligibility for transportation funding, such as those provided by the Mountainland Association of Governments (MAG), which requires adherence to specific road designations, including preserving the minor arterial status for funding qualification.

Moreover, the commissioners highlighted that a formal general plan amendment must reference an existing road classification category. The proposed 36-foot asphalt concept, although it incorporates innovative planning with reduced asphalt width and additional pedestrian and bike paths, does not fit within the standard road classifications currently recognized in the general plan. As such, it remains an unadopted road type, making it challenging to implement under the existing regulatory framework.

2 The commission underscored the necessity for collaboration between Lindon City and
Pleasant Grove City to formally adopt a new, agreed-upon road profile before a meaningful
4 amendment could be considered. This cooperation is essential, given that a significant portion of
the proposed roadway alignment falls within Pleasant Grove's jurisdiction. The harmonization of
6 local codes and standards between the two cities is crucial to crafting a feasible and mutually
beneficial solution. Commissioners encouraged city staff to prioritize continued dialogue and
8 negotiation with their Pleasant Grove counterparts to expedite this process.

10 Importantly, commissioners also noted that the adoption of a new road profile, even if
ideally suited to the community's needs, would not itself alter the location of the existing slope
12 easement. Such a change would necessitate a detailed engineering analysis and coordination with
any future developer who may undertake the project, taking into consideration the complexities
14 of topography, property lines, and easement adjustments necessary to protect homeowners'
interests.

16 Chairperson Kallas called for further comments or discussion from the Commissioners.
18 Hearing none, he called for a motion.

COMMISSIONER JOHNSON MOVED TO RECOMMEND DENIAL OF THE
20 APPLICANT'S REQUEST TO AMEND THE LINDON CITY GENERAL PLAN STREET
MASTER PLAN MAP BY REDUCING THE WIDTH OF THE FUTURE 1200 E. ROAD
22 EXPANSION BEHIND THE HOMES LOCATED AT: 663 E. 770 N., 677 E. 770 N., 689 E.
770 N., 771 E. 770 N. TO THE CITY COUNCIL. COMMISSIONER DANIELSON
24 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON KALLAS	AYE
26 COMMISSIONER CALL	AYE
COMMISSIONER SCHAUERS	AYE
28 COMMISSIONER DANIELSON	AYE
COMMISSIONER MARCHBANKS	AYE
30 COMMISSIONER JOHNSON	AYE
COMMISSIONER THOMPSON	AYE
32 THE MOTION CARRIED UNANIMOUSLY.	

34 **8. Public Hearing - Development Manual & Water Shares Ordinance – Lindon City**

Lindon City is proposing amendments to Lindon City Code Title 17 and the Lindon City
36 Land Development Policies, Standard Specifications and Drawings Manual to revise the
types and amounts of water shares/irrigation water stock accepted by the city for
38 development, permitting, and connecting to the city's water system. The proposed
amendments would discontinue the acceptance of North Union Canal water shares and
40 certain equivalent water shares and authorize the acceptance of Alpine Full water shares
and equivalent water shares. The proposed amendments to Title 17 also provide
42 clarifying language for accepting water shares or a fee in lieu of shares to the city.

Director Florence presented proposed amendments to Lindon City Code Title 17 and the
44 Lindon City Land Development Policies Manual to update the types and amounts of water shares
accepted by the city for development purposes. Public Works Director, Juan Garrido, explained
46 the background, stating after more than 150 years of service, the North Union Canal and Provo

2 Bench Canal were taken out of service due to exfiltration problems, risk of landslide, and the
increasing cost of maintenance relative to the cost of delivering water through alternative means.
4 The city transitioned to delivering secondary irrigation water through the Provo River Aqueduct
via Alpine District shares and equivalent water shares from other irrigation companies.

6 The proposed ordinance would formally discontinue acceptance of North Union Canal
shares and certain equivalents, and authorize acceptance of Alpine Full water shares and
8 designated equivalents as the new standard for development. Director Garrido clarified that
residents who previously held North Union shares were contacted and given the opportunity to
10 exchange their shares for compatible shares, ensuring that their ability to develop property was
preserved on an equivalent basis.

12 Commissioners raised questions about the financial implications for developers who do
not already hold water shares and must purchase them from the city in lieu of dedicating shares.
14 Staff confirmed the city charges 95 percent of the current market rate for in-lieu fees, which is
approximately \$51,250 per acre (for one Alpine Full share), sufficient to cover two half-acre lots.
16 Director Garrido confirmed the city's total water portfolio is approximately 8,000 acre feet
against a projected build-out demand of approximately 4,000 acre feet, providing a comfortable
18 long-term cushion.

Commissioner Thompson inquired about the status of secondary water metering and the
20 future establishment of a usage baseline for billing. Director Garrido confirmed that meters are
being actively monitored but that billing based on usage is not required until 2030, allowing time
22 to gather data and develop an equitable rate structure. The commission was also updated that
new smart irrigation controllers have been installed in city parks and the cemetery.

24 COMMISSIONER CALL MOVED TO OPEN THE PUBLIC HEARING.
COMMISSIONER JOHNSON SECONDED THE MOTION. ALL PRESENT VOTED IN
26 FAVOR. THE MOTION CARRIED.

Chairperson Kallas called for any public comment. Hearing none, he called for a motion
28 to close the public hearing.

COMMISSIONER CALL MOVED TO CLOSE THE PUBLIC HEARING.
30 COMMISSIONER DANIELSON SECONDED THE MOTION. ALL PRESENT VOTED IN
FAVOR. THE MOTION CARRIED.

32 Chairperson Kallas called for further comments or discussion from the commissioners.
Hearing none, he called for a motion.

34 COMMISSIONER MARCHBANKS MOVED TO APPROVE ORDINANCE
AMENDMENT 2026-15-O AS PRESENTED. COMMISSIONER DANIELSON SECONDED
36 THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON KALLAS	AYE
38 COMMISSIONER CALL	AYE
COMMISSIONER SCHAUERS	AYE
40 COMMISSIONER DANIELSON	AYE

COMMISSIONER MARCHBANKS AYE
COMMISSIONER JOHNSON AYE
COMMISSIONER THOMPSON AYE
THE MOTION CARRIED UNANIMOUSLY.

9. *Item was cancelled* - Cottonwood Healthcare Corporate Headquarters – Ordinance Amendment

This item was cancelled prior to the meeting. Director Florence noted that upon review, the subject property is already located within District 6 of the Lindon Village zone, which had previously had the sales tax production requirement removed, rendering the application unnecessary. The applicant intends to construct a corporate headquarters office building on the site and is expected to bring a site plan application to the commission within approximately one month.

10. Community Development Director Report-

- Upcoming conference registration
- Gorilla Car Wash & Rad Tag on 700 N. Property
- Arby's property potential
- Timpanogos School District Admin Offices
- 1600 N. Colliers Property
- General city updates

NEW BUSINESS

The commission briefly discussed ongoing parking and enforcement concerns on Songbird Cove Lane, noting the high density of vehicles, the possibility that rental percentages within the adjacent townhome development may exceed permitted limits, and the potential for staff and city engineers to evaluate red-curbing one side of the street to improve safety and enforceability.

ADJOURN-

COMMISSIONER CALL MOVED TO ADJOURN THE MEETING AT 9:00 PM.
COMMISSIONER DANIELSON SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Approved, September 15, 2026

Rob Kallas, Chairperson

Michael Florence, Community Development Director

Item 4: Site Plan Approval – Cottonwood Healthcare Headquarters

Date: September 15, 2026

Applicant: Brian Swendsen

Presenting Staff: Brittany Wilde

Project Address: 1530 W 700 N

Property Owner: Cottonwood Healthcare LLC

General Plan: Lindon Village Commercial (LVC)

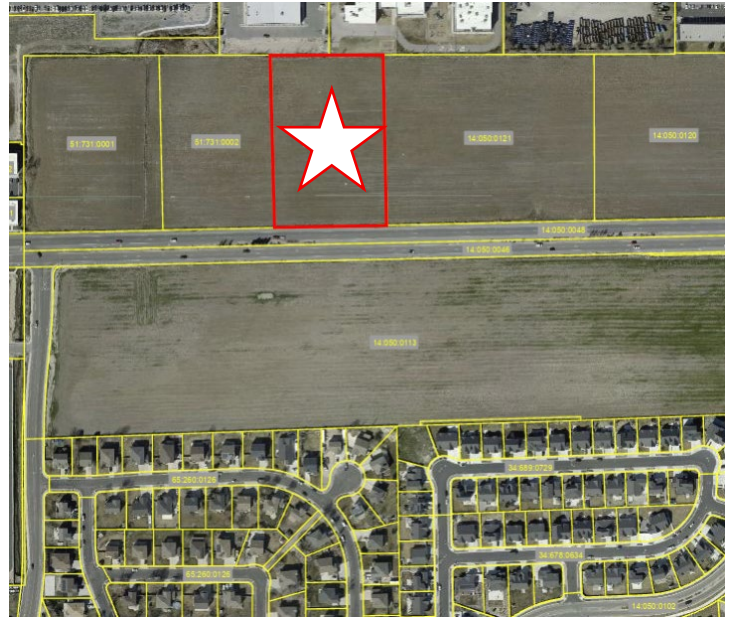
Current Zone: Lindon Village Commercial (LVC)

Parcel ID: 51:731:0003

Lot Size: 3.9978 acres

Type of Decision: Administrative

Council Action Required: No



Summary of Key Issues

1. The applicant is requesting site plan approval to construct a 46,609-square-foot office building as their corporate headquarters.
2. Phase 2 of the development will be constructed behind the proposed corporate headquarters building.

Site Plan Motion

I move to (*approve, deny, continue*) the applicant's request for site plan approval with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering documents;
2. The plans will meet development specifications as found in the Lindon City Development Manual and city code;
3. The landscape plan will meet city code requirements for the 700 N corridor;
4. Final exterior material design will meet the Commercial Design Standards for commercial sites and buildings;
5. The roof design is approved as designed;
6. The applicant will complete all required UDOT permits;
7. The applicant will comply with all bonding requirements, if applicable; and
8. All items of the staff report.

Direction	Zoning	Existing Land Use
North	Business Manufacturing Park	Office/Warehouse/School
South	Lindon Village (LVZ)	Vacant/Agriculture
East	Lindon Village (LVZ)	Vacant/Agriculture
West	Lindon Village (LVZ)	Vacant/Agriculture

Site Development Standards

Parking

Parking standards are based on the zone and the different uses in the building and their respective square footage.

Requirement	Provided	Compliant?
Office: 1/350 square feet	134 stalls (includes 5 ADA stalls)	Yes
Drive aisle 24' width	26' drive aisles; drive access from 700 N is 40' wide	Yes
Bicycle parking: 11 required	12	Yes

Traffic Circulation and Transportation Networks

Access to the subject property will be from 700 N Street. Section §17.48.025 states that transportation networks should be interconnected within and between districts and should provide multiple routes to and from destinations while considering pedestrian, bicycle, and vehicle users. The proposed access points provide multiple routes to and from the development and support the intent of Section §17.48.025 by providing adequate connectivity for vehicles and accommodating circulation throughout the property.

Landscaping Standards

Landscaping standards are based on the zone and the number of parking stalls.

Interior Parking Lot Landscaping Standards	Compliant?
A parking lot with 10 or more required parking spaces shall provide at least 40 sq ft of interior landscaped area for each parking space. $134 \times 40 = 5360$ sq ft required.	Yes.
The landscape materials shall consist of at least 75% living vegetation, and 25% of xeriscape materials.	Yes.
The interior layout must meet one or a combination of the multiple interior landscape layout standards found in the parking code	Yes, the project provides both landscape islands and perimeter parking lot landscaping.
Trees must be installed within the interior parking lot landscaping areas at a ratio of 1 tree for every 10 required parking stalls.	Yes, the project exceeds this requirement and provides additional trees.

Required Site Landscaping	Provided	Compliant?
20-foot landscaping strip along public street frontages	20'	Yes; the street frontage on 700 N has 12' of landscaping with a 10' sidewalk easement and 8' of continued landscaping behind the sidewalk. This meets the 700 N Street cross section.
Trees shall be planted 30' on center	Tree plantings meet the spacing requirements	No; the plans show spacing requirements greater than 30' along 700 N. Staff requested correction of the tree spacing.
Landscaping must be 70% vegetation and 30% other ground covers.	Vegetative cover = 70% Other ground covers = 30%	Yes.
Lots 1–3 along 700 N are required to plant Hackberry trees at 30 feet on center, with Zelkova trees beginning at the east corner of Lot 1 and the west corner of Lot 3.	Permitted trees established in the Lindon City tree guide.	No; Staff provided applicant with the 700 N tree planting guide.

Other Site Requirements

Site requirements are based on the development standards for the indicated zone.

Requirements	Provided	Compliant?
Minimum Lot Size of Zone is 20,000 sq ft	3.9978 acres (174,144 sf)	Yes
Building Setback • Front: 20' • Rear: 40' • Side: 0' • Side: 0'	The building meets both the front and rear setbacks	Yes
Building Height Max: 80' • Heights on the north side of 700 N are permitted to go up to 80'	48.7'	Yes

Building Design and Architectural Standards

Architectural Design

Design Element	Design Standard Requirement	Applicants Proposal
Massing and Form	A significant amount of the primary ground story façade facing public streets should be transparent glazing. The ground floor of the primary façade shall be 60% fenestration at the pedestrian level.	The design meets the 60% fenestration at the pedestrian level.
Façade Articulation	Building articulation is important to visually engage the populace. This can be accomplished through façade modulation, use of engaged columns or other expressions of the structural system, horizontal and vertical divisions through differing textures and materials.	The façade does include horizontal and vertical divisions through differing textures and materials such as brick, metal, and large storefront windows. The building features large windows and multiple balconies on the sides of the building (east and west) and at the back of the building (south).
Façade Articulation	Avoid flat looking walls/façades and large, boxy buildings. Break up the flat front effect by introducing projecting elements such as wings, porticos, bay windows, trellises, pergolas, port-cocheres, awnings, recessed balconies and/or alcoves, cornices, or other offsets, changes in plane, and changes in height. On smaller buildings, the break in façade should be every 15' to 25'.	The façade does include projecting elements such as awnings and recessed balconies. Multiple balconies are proposed on the sides of the building (east and west) and at the back of the building (south). The building also has changes in height. There is a change in materials or decorative features every 15'-20'.
Color	Avoid large areas of the same color and/or materials with no relief. Conversely, avoid the use of too many materials and/or colors, which may create busy or incongruous facades. Earth tones are generally preferred over harsh or loud colors, except where more vibrant colors are used as accents to the primary colors.	The applicant is proposing four different color variations. The four colors meet the Lindon Color Palette.

Roofing	Sloped roofs should be the primary roof form and should use a material that is compatible in material and color with the exterior material of the building. Flat roofs can be used but should always be used with a parapet and/or decorative cornice.	The building has a flat roof with a metal cap instead of decorative parapet. Staff will notify the applicant of the decorative parapet to meet the Commercial Design Standards.
Exterior Walls and Surfacing (Building Materials)	Brick, stone, or colored decorative block should be utilized as the primary building material (60% or greater of the building), especially on street-facing facades. Stucco, wood, architectural metals, colored decorative concrete and cement board siding may be used as secondary (less than 40%) building materials, and on less visible facades.	The proposed design has brick, wood, and metal with windows that orient towards 700 N. The various materials meet the 60% primary building material requirement. The design has both window fenestration, changes in materials, architectural detailing such as metal, windows, and brick.
Fenestration (Windows and Doors)	Storefront windows should be framed with a material complementary to the primary building material(s). Wood or metal are framing materials that work well with brick or stone. If storefront windows do not reach the ground, a projecting sill should be used at the bottom.	The plans show storefront windows that are oriented towards 700 N. All windows and doors are framed in metal. The storefront windows reach the ground and do not require a projecting sill.
Site Lighting (Building Lighting)	Lighting styles within individual developments should complement the architecture and landscape design as well as the overall Commercial District streetscape lighting scheme. Avoid selecting different types of lighting for individual developments.	The photometric plan provides lighting information for the site and will complement the architecture.
Exterior Trim and Detailing	Molding or trim around the windows can be used to enhance a simple window shape. Brick should appear self-supporting and three-dimensional. Use the range of decorative patterns brick offers. Use combinations of soldiers, headers, stringers, etc. to form patterns that create cornices, wall caps, water tables, and other details. Use patterns in a manner consistent with the material. Materials for trim and details shall be compatible with the primary exterior material. Detailing should be authentic with the characteristics and capabilities of the materials.	A metal cap encompasses the building. Brick is used and appears self-supporting. There is different patterns of material such as brick, metal, and glass.

Engineering Requirements

The City Engineer is working through technical issues related to the civil engineering plans and will ensure all engineering related issues are resolved before final approval is granted.

Staff Analysis

Staff believe the building meets the architectural requirements of the Lindon Village Commercial zone. The site will be well landscaped and will be a benefit to the 700 N corridor.

Exhibits

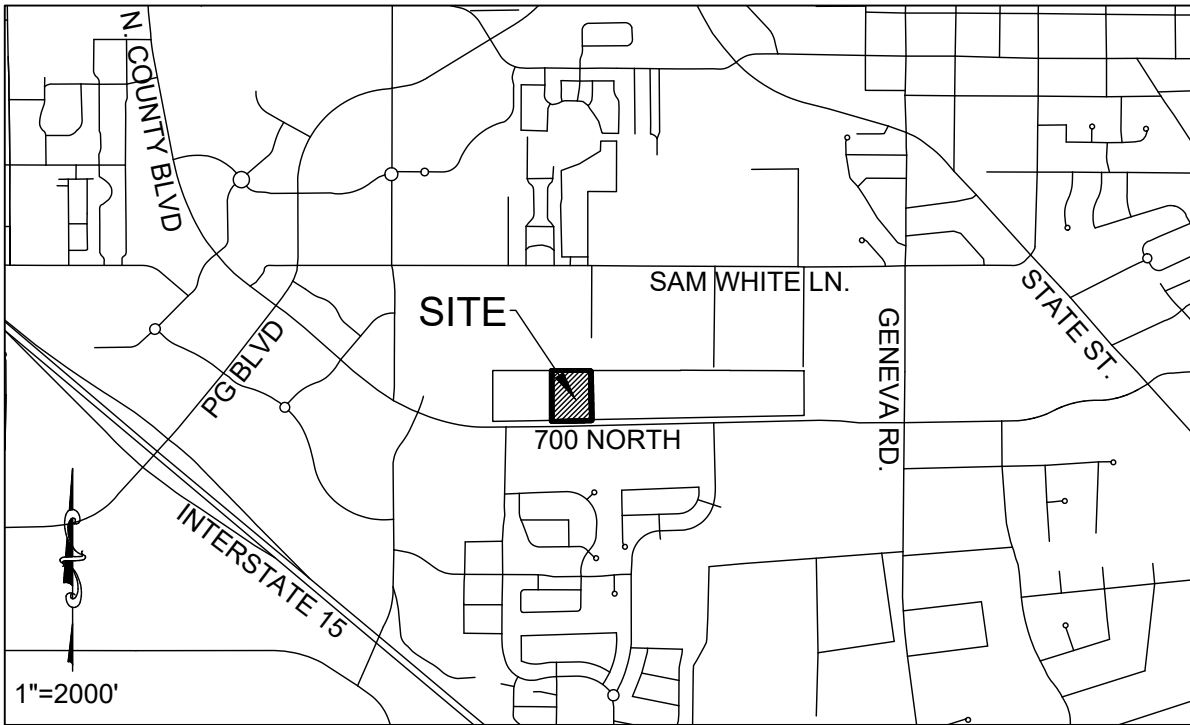
1. Aerial photo
2. Site Plan
3. Landscaping Plan
4. Building Elevations/Renderings

Exhibit 1: Aerial photo



COTTONWOOD HEALTHCARE

VICINITY MAP



GENERAL NOTES:

1. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT* (ADA).
2. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
3. WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCED AREAS OR UNDER COVERED PARKING.
4. LINDON STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINDON CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.
5. NO PRESSURE REDUCING VALVES ARE PROPOSED ON THIS SITE.
6. ALL LANDSCAPING TO CONFORM TO LINDON STANDARD DRAWING C.
7. ZONE=LVC, LINDON VILLAGE COMMERCIAL.
8. 2024 IBC CONSTRUCTION TYPE: IIB, OCCUPANCY CLASSIFICATIONS: B
9. 2024 IFC CONSTRUCTION TYPE: IIB, OCCUPANCY CLASSIFICATIONS: B
10. THERE ARE NO EXISTING BUILDINGS ON THE SITE.
11. ALL PUBLIC UTILITIES ARE EXISTING IN THE STREET IN FRONT OF THE SITE.
12. SEE SEPARATE SUBMITTALS ON STORM DRAINAGE CALCULATIONS AND GEOTECHNICAL REPORT
13. THIS BUILDING WILL BE FIRE SPRINKLED.
14. SITE LIGHTING AROUND THE BUILDING WILL BE ON LIGHT POLES AS SHOWN ON THE UTILITY PLAN. LIGHT IS DIRECTIONAL AND SHIELDED.
15. ALL PROPOSED UTILITIES ON-SITE ARE PRIVATE UNLESS OTHERWISE NOTED.
16. THE SITE IS IN ZONE X ON FEMA MAP PANEL NUMBER 49049C0330F, EFFECTIVE DATE 06/19/2020.
17. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING USABLE POWER TO ENERGIZE ALL STREET LIGHTS FOR THE DEVELOPMENT.
18. THERE WILL BE NO FLOOR DRAINS IN THE BUILDING.
19. THERE IS NO EXISTING FENCING SURROUNDING THIS DEVELOPMENT. NO FENCING IS PROPOSED WITH THIS DEVELOPMENT.

SHEET INDEX

- | | |
|-----|---|
| C1 | SITE PLAN |
| C2 | UTILITY PLAN |
| C3 | GRADING & DRAINAGE PLAN |
| C4 | EROSION CONTROL PLAN |
| C5 | BMP DETAILS |
| C6 | BMP DETAILS |
| C7 | DETAIL SHEET |
| C8 | DETAIL SHEET |
| C9 | UDOT NOTES |
| C10 | LONG TERM STORM WATER POLLUTION PREVENTION AND MAINTENANCE PLAN |

TABULATIONS:

TOTAL AREA:	174,240 S.F.
FUTURE DEVELOPMENT AREA:	55,260 S.F.
DEVELOPMENT AREA:	118,980 S.F. = 100%
BUILDING/PARKING/CONCRETE AREA:	88,378 S.F. = 74.3%
LANDSCAPING AREA:	30,602 S.F. = 25.7%
LANDSCAPE AREA REQUIRED (20%)	23,796 S.F. (REQUIREMENT MET)
PARKING LOT LANDSCAPE REQUIRED (40 S.F.)(134 STALLS)	= 5,360 S.F.
PARKING LOT LANDSCAPE AREA PROVIDED	= 6,758 S.F. (REQUIREMENT MET)

LEGAL DESCRIPTION

LOT 3 OF RAI SUBDIVISION PLAT 'A'.

SWPPP NOTE:

A FULL SWPPP COMPLYING WITH LINDON AND STATE REQUIREMENTS WILL BE REQUIRED PRIOR TO CONSTRUCTION.

PARKING TABULATIONS:

TOTAL BUILDING AREA:	46,609 S.F.
REQUIRED PARKING:	
OFFICE AREA: 46,609 S.F. @ 1/350 S.F. = 133 STALLS	
TOTAL PARKING STALLS PROVIDED INCLUDING ADA:	134 STALLS
ADA STALLS REQUIRED/PROVIDED:	5
BICYCLE PARKING REQUIRED: (8% X 134) = 11 STALLS	
BICYCLE PARKING PROVIDED = 12 STALLS	

REVISIONS

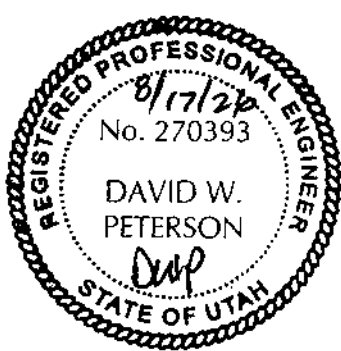
Rev.	Date	Description

COTTONWOOD HEALTHCARE

LINDON	1530 WEST 700 NORTH	UTAH
Drawn by: D.W.P.	SITE PLAN	Scale: 1"=30'
Designed by: D.W.P.		Date: 08/17/26
Checked by: D.W.P.		C1



LAND SURVEYOR: AZTEC ENGINEERING INC.
732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM



Owner/Developer: Cottonwood Healthcare

Jared Swain, 385-498-0195
947 South 500 East, Suite 105, American Fork, UT 84003

EXCEL
ENGINEERING

David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201C, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com



ISSUE DATE		PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
7/17/2026		UT26111	THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON XX/XX/XX		ROB ROBINSON HARRIS ARCHITECTURE ROB@HARRIS-ARC.COM 801-377-6303			PM: JTA DRAWN: ACP CHECKED: KBA PLOT DATE: 7/17/2026
NO. REVISION		DATE						
1 XXXX		XX-XX-XX						
2								
3								
4								

811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

NORTH

0' 10' 20' 40' 80'
GRAPHIC SCALE: 1" = 20'

COTTONWOOD HEALTHCARE

LONDON, UTAH

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Landscape Architecture Planning & Visualization
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COLOR ILLUSTRATION
CITY PERMIT SET
LP-COLOR

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PLOT DATE: 7/20/2026 Q:\ACADP\Ottomwood Healthcare\Headquarters Office\London\Working\OVH_A20201-ELEV.dwg

- SITE CONSTRUCTION**
- 21 FINISH GRADE - SLOPE AWAY 1/2 INCH PER FOOT MIN.
 - 22 ENGINEERED GRAVEL FILL - SEE STRUCTURAL & GEOTECH.
 - 24 PERFORATED DRAIN PIPE AT PERIMETER - SEE CIVIL & GEOTECH.
- CONCRETE**
- 31 CONCRETE FOUNDATION WALL - SEE STRUCTURAL DRAWINGS
 - 32 CONCRETE FOOTING - SEE STRUCTURAL DRAWINGS
 - 33 REINFORCED CONCRETE SLAB - SEE STRUCTURAL DRAWINGS
 - 34 1" GYPCORET (SEALED WHERE FLOOR FINISH REQUIRES GLUE DOWN) OVER 1/4" SOUND REDUCTION MAT (IF OWNER CHOOSES TO ELIMINATE SOUND MAT THE GYPCORET MUST CHANGE TO 1.1/4")
 - 35 PRECAST CONC. TRIM - SEE PLAN (SEE MFR FOR CONNECTION DETAILS)
 - 36 FIBER-CEMENT REVEAL PANELS - SEE PLAN (SEE MFR FOR CONNECTION DETAILS)
 - 37 CONCRETE RETAINING WALL - SEE STRUCTURAL DRAWINGS
 - 38 3" NORMAL WEIGHT CONCRETE OVER 3.1/4" METAL DECK - SEE STRUCT.
 - 39 ARCHITECTURAL PAVER - SEALED NATURAL CONCRETE COLOR (2"X24"X24") HYDROTECH ULTIMATE ASSEMBLY SYSTEM

MASONRY

- 41 BRICK - THIN CUT

METALS

- 51 SIMPSON HANGER - SEE STRUCTURAL DRAWINGS
- 52 PREFINISHED METAL FLASHING
- 53 BEAM - SEE STRUCTURAL DRAWINGS
- 54 BRACE FRAME - SEE STRUCTURAL DRAWINGS
- 55 STEEL CANOPY - SEE STRUCTURAL DRAWINGS
- 56 PREFINISHED ALUM. DRIP
- 57 PRIMED AND PAINTED LINTEL/ANGLE
- 58 PRE-FINISHED ALUMINUM PARAPET CAP
- 59 METAL STUD FRAMING
- 610 ACM METAL PANEL - SEE EXTERIOR ELEVATIONS
- 611 MORIN METAL PANELS - SEE EXTERIOR ELEVATIONS
- 612 BRAKE METAL SIDING - SEE EXTERIOR ELEVATIONS
- 613 STEEL GUARDRAIL - (POWDER COATED) +42" FROM FLOOR LINE SUCH THAT 4" SPHERE MAY NOT PASS THRU - PROFILE SIMILAR TO DETAILS SHEET A3.5 (PREFINISHED) (SEE STRUCTURAL DRAWINGS FOR CALL-OUTS AND CONNECTIONS DETAILS)
- 614 STEEL HANDRAILING - (POWDER COATED) (PREFINISHED) +36" ABOVE NOSING - SEE DETAILS SHEET A3.5
- 615 METAL SHAFT LINER PANEL - SEE WALL TYPES
- 616 BREAK METAL FLASHING W/ SOUND GASKET
- 617 30" DEEP FACTORY PAINTED ALUMINUM PRE-MAUFACTURED CANOPY W/LOUVER BLADES (CANOPY SOLUTIONS)
- 618 METAL DECK - SEE STRUCTURAL DRAWINGS

- 620 GLASS/STEEL GUARDRAIL +42" FROM FLOOR LINE SUCH THAT 4" SPHERE MAY NOT PASS THRU (SEE STRUCT. DWGS. FOR CALL-OUTS AND CONNECTION DETAILS)
- 621 STRUCTURAL STEEL - SEE STRUCTURAL DRAWINGS
- 622 STANDING SEAM METAL ROOF - BLACK
- 623 ALUMINUM BREAK METAL SOFFIT - COLOR TO MATCH WINDOWS
- 624 ALUMINUM LONGBOARD SOFFIT - LIGHT FIR WOOD GRAIN
- 625 STEEL STAIR FRAMING-PAN TREADS AND RISERS W/ CONCRETE PANS - PROVIDE ENGINEERED SHOP DWGS
- 626 PERIMETER POUR STOP - SEE STRUCTURAL DRAWINGS

THERMAL & MOISTURE

- 71 EMBEDDED GLASS MAT GYPSUM SHEATHING
- 72 CONTINUOUS AIR BARRIER - EQUAL TO TYVEK COMMERCIAL - WRAP "D" TYPICAL AT EXTERIOR WALLS, TAPE AND SEAL SEAMS & PENETRATIONS. (OPTION: FLUID APPLIED AIR BARRIER MAY BE USED IN LIEU) 10 YEAR LABOR AND MATERIAL WARRANTY REQUIRED.
- 73 CONTINUOUS AIR BARRIER AND SMART MEMBRAN VAPOR RETARDER BY CERTAINTED OR APPROVED EQUAL. SEE SPECIFICATIONS. (ROOF)
- 74 6 MIL POLYETHYLENE MOISTURE BARRIER W/ JOINTS LAPPED PER SPECIFICATIONS (WALLS)
- 75 SOUND INSULATION (BATTS, R11 MIN.) VERIFY REQUIREMENTS W/ OWNER
- 76 BATT INSULATION - R19 - U.N.O. SEE COMCHECK
- 77 BATT INSULATION - R38 MIN (FSK BATTS ABOVE DROP CEILINGS) - U.N.O. SEE COMCHECK
- 78 BATT INSULATION - R23 OR FIBERFILL INSULATION - EQUAL TO OPTIMA
- 79 POLYISO ROOF INSULATION, TAPERED (1" MIN.) -R6. (SECTIONS SHOW THE MINIMUM INSULATION), TAPERED INSULATION NOT SHOWN.
- 710 2" RIGID INSULATION - SEE COMCHECK
- 711 PVC ROOF MEMBRANE - SEE SPECIFICATIONS TRAFFIC BEARING ROOF DECK SURFACE (CLASS B RATED) (PROVIDE EPDM ALTERNATE BID)
- 712 1/4" ROOF COVER BOARD WHERE REQUIRED TO PROTECT INSULATION.
- 713 WATERPROOF MEMBRANE & DRAINBOARD-SEE SPECIFICATIONS
- 714 1.1/2" RIGID POLYISO INSULATION ~R9.3 - AT METAL PANELS / SIDING LOCATIONS - (NO ENERFOIL) OR EQUAL
- 715 3.1/2" RIGID POLYISO INSULATION ~R21.7 - AT BRICK LOCATIONS - (NO ENERFOIL) OR EQUAL
- 716 WALL INSULATION - R23 MIN. WET CELLULOSE INSULATION. SEE COMCHECK

DOORS AND WINDOWS

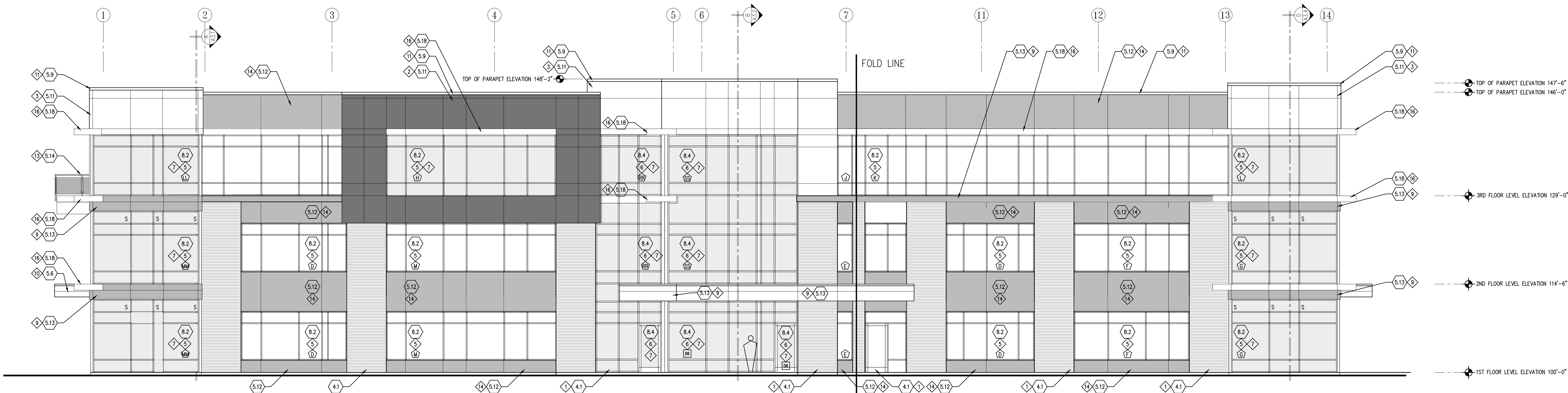
- 81 ALUMINUM ENTRY SYSTEM
- 82 ALUMINUM WINDOW SYSTEM
- 83 ALUMINUM BREAK METAL TRIMS TO MATCH WINDOW SYSTEM
- 84 CURTAIN WALL SYSTEM
- 85 SPANDREL GLAZING

FINISHES

- 91 5/8" TYPE "X" GYP BOARD (1-HOUR RATED WALL ASSEMBLY) -SKIP TROWEL TEXTURED AND PAINTED
- 92 (1) LAYERS OF 5/8" TYPE "C" GYP BOARD OVER 1/2" RESISTENT CHANNEL (1-HOUR RATED CEILING) -SKIP TROWEL TEXTURED AND PAINTED
- 93 5/8" TYPE "X" GYP BOARD (NON RATED) -SKIP TROWEL TEXTURED AND PAINTED
- 94 (2) LAYERS 5/8" TYPE "X" GYP BD EACH SIDE OF WALL (2-HOUR RATED WALL)
- 95 TRAFFIC BEARING DECK SURFACE (EQUAL TO GACO DECK)

KEY TO EXTERIOR FINISHES

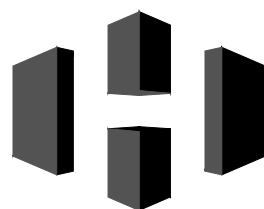
1	THIN BRICK	WINTER FIELD, KING KLINKER
2	ACM 1	CHARCOAL JY-6150, ALFREX, ACM PANELS
3	ACM 2	RRM RIVER ROCK GREY, ALPOLIC, ACM PANELS
4	ALUMINUM STOREFRONT ENTRY SYSTEM	BLACK
5	ALUMINUM WINDOW SYSTEM	BLACK
6	CURTAIN WALL SYSTEM	BLACK
7	GLAZING 1	GRAY TINT, 34% VISIBLE LIGHT TRANSMISSION, SN 66, LOW E
8	GLAZING 2	GUARDIAN 68% VISIBLE LIGHT TRANSMISSION, SN 66, LOW E, CLEAR
9	METAL PANELS	BLACK
10	STEEL CANOPY	BLACK
11	PRE-FINISHED ALUMINUM CAP	BLACK
12	PREFINISHED METAL FLASHING	BLACK
13	GUARDRAILS METAL W/ GLAZING	BLACK METAL BRACKETS/POST/RAILS
14	METAL SIDING (MORIN 1)	438R724 BRISTOL BLACK, MORIN (MAX WALL SERIES)
15	STEEL CANTILEVERED CANOPY W/LOUVER BLADES	BLACK CANOPY SOLUTIONS
16	SPRANDREL GLASS	GRAY TO MATCH GLAZING



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS



HARRIS ARCHITECTURE

920 EAST 800 NORTH #201, OREM UT 84097 | 801-377-6303 | WWW.HARRIS-ARCHITECTURE.COM

A NEW OFFICE BUILDNG IN LINDON, UTAH

COTTONWOOD HEALTHCARE

EXTERIOR ELEVATIONS

05/08/2026

DRAWN BY

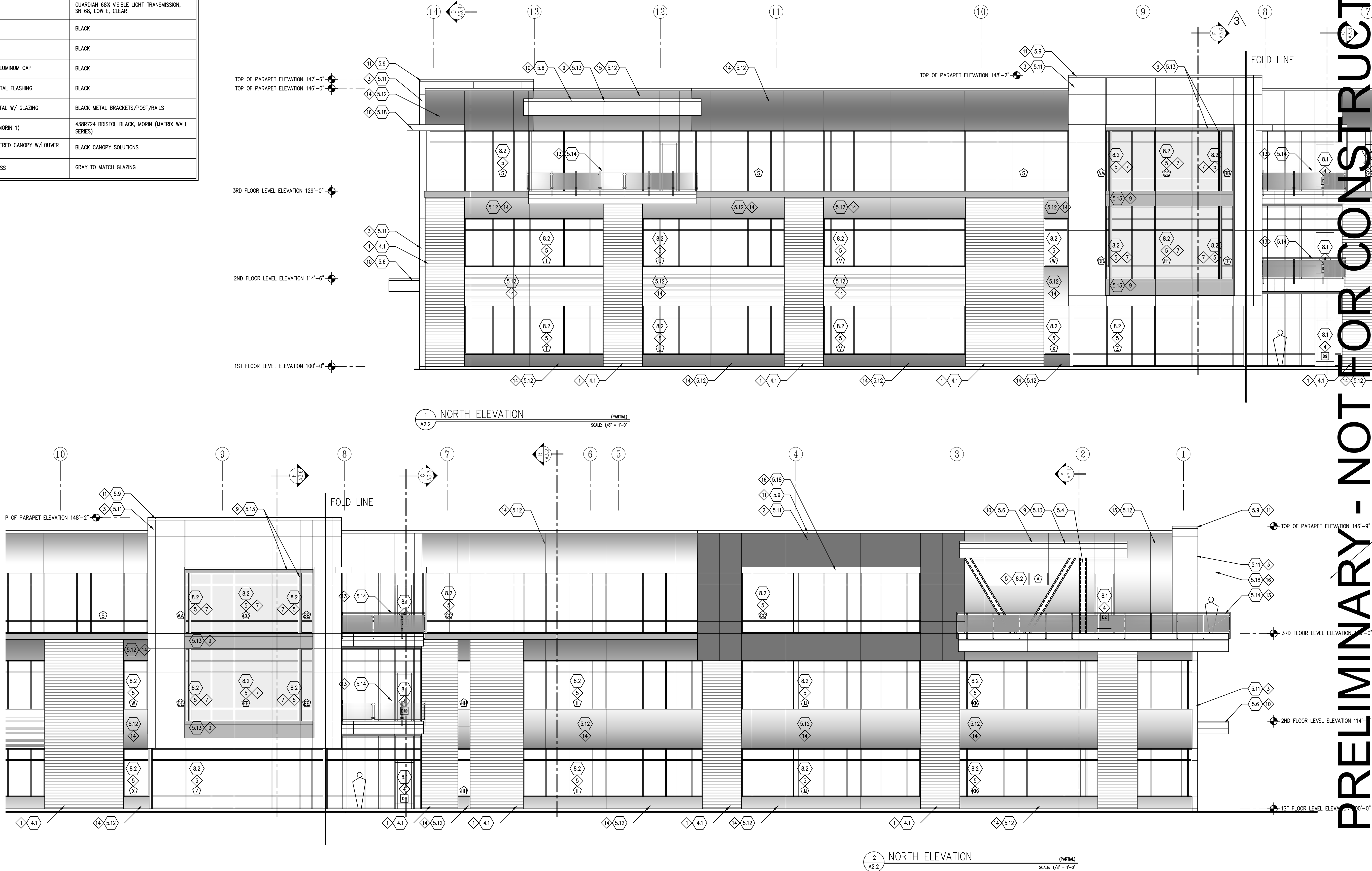
A2.1

PRELIMINARY - NOT FOR CONSTRUCTION

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.
PLOT DATE: 7/20/2026 Q:\ACAD\File\Cottonwood Healthcare\Headquarters Office (Indon)\Working\CVH_A2.2-01-LEV1.dwg

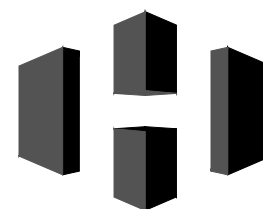
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 - 58 6.1/2" NORMAL WEIGHT CONCRETE OVER METAL DECK - SEE STRUCT.
 - 59 ARCHITECTURAL PAVER - SEALED NATURAL CONCRETE COLOR (2'X36"X36") HYDROTECH ULTIMATE ASSEMBLY SYSTEM
- MASONRY**
- 41 BRICK - THIN OUT
- METALS**
- 51 SIMPSON HANGER - SEE STRUCTURAL DWGS.
 - 52 PREFINISHED METAL FLASHING
 - 53 BEAM - SEE STRUCT.
 - 54 BRACE FRAME - SEE STRUCT.
 - 55 STEEL CANOPY - SEE STRUCTURAL DRAWINGS
 - 56 PREFINISHED ALUM. DRIP
 - 57 PRIMED AND PAINTED UNTEL/ANGLE
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 - 59 METAL STUD FRAMING
 - 60 ACM METAL PANEL - SEE EXTERIOR ELEVATIONS
 - 61 MORIN METAL PANELS - SEE EXTERIOR ELEVATIONS
 - 62 BRACE METAL SIDING - SEE EXTERIOR ELEVATIONS
 - 63 STEEL GUARDRAIL - (POWDER COATED) +42" FROM FLOOR LINE SUCH THAT 4" SPHERE MAY NOT PASS THRU - PROFILE SIMILAR TO DETAILS SHEET A3.2 (PREFINISHED) (SEE STRUCT. DWGS. FOR CALL-OUTS AND CONNECTIONS DETAILS)
 - 64 STEEL HANDRAILING - (POWDER COATED) (PREFINISHED) +36" ABOVE NOSING - SEE DETAILS SHEET A3.2
 - 65 METAL SHAFT LINER PANEL - SEE WALL TYPES
 - 66 BREAK METAL FLASHING W/ SOUND GASKET
 - 67 STEEL CANTILEVERED CANOPY W/LOUVER BLADES (CANOPY SOLUTIONS)
 - 68 METAL DECK - SEE STRUCT.
 - 69 GLASS/STEEL GUARDRAIL +42" FROM FLOOR LINE SUCH THAT 4" SPHERE MAY NOT PASS THRU (SEE STRUCT. DWGS. FOR CALL-OUTS AND CONNECTION DETAILS)
 - 70 STRUCTURAL STEEL - SEE STRUCTURAL DRAWINGS
 - 71 STANDING SEAM METAL ROOF - BLACK
 - 72 ALUMINUM BREAK METAL SOFFIT - COLOR TO MATCH WINDOWS
 - 73 ALUMINUM LONGBOARD SOFFIT - LIGHT FIR WOOD GRAIN
 - 74 STEEL STAIR FRAMING-PAN TREADS AND RISERS W/ CONCRETE PANS - PROVIDE ENGINEERED SHOP DWGS
 - 75 PERIMETER POUR STOP - SEE STRUCTUTAL DRAWINGS
- THERMAL & MOISTURE**
- 71 EMBEDDED GLASS MAT GYPSUM SHEATHING
 - 72 CONTINUOUS AIR BARRIER - EQUAL TO TYVEK COMMERCIAL - WRAP TO "T" TYPICAL AT EXTERIOR WALLS, TAPE AND SEAL SEAMS & PENETRATIONS. (OPTION: FLUID APPLIED AIR BARRIER MAY BE USED IN LIEU) 10 YEAR LABOR AND MATERIAL WARRANTY REQUIRED.
 - 73 CONTINUOUS AIR BARRIER AND SMART MEMBRAN VAPOR RETARDER BY CERTAINTED OR APPROVED EQUAL. SEE SPECIFICATIONS. (ROOF)
 - 74 5 MIL POLYETHYLENE MOISTURE BARRIER W/ JOINTS LAPPED PER SPECIFICATIONS (WALLS)
 - 75 SOUND INSULATION (BATTS, R11 MIN.) VERIFY REQUIREMENTS W/ OWNER)
 - 76 BATT INSULATION - R19 - U.N.O. SEE COMCHECK
 - 77 BATT INSULATION - R38 MIN (FSK BATTS ABOVE DROP CEILINGS) - U.N.O. SEE COMCHECK
 - 78 BATT INSULATION - R23 OR FIBERFILL INSULATION - EQUAL TO OPTIMA
 - 79 POLYISO ROOF INSULATION, TAPERED (1" MIN.) ~R6. (SECTIONS SHOW THE MINIMUM INSULATION), TAPERED INSULATION NOT SHOWN.
 - 710 2" RIGID INSULATION - SEE COMCHECK
 - 711 PVC ROOF MEMBRANE - SEE SPECIFICATIONS TRAFFIC BEARING ROOF DECK SURFACE (CLASS B RATED) (PROVIDE EPDM ALTERNATE BID)
 - 712 1/4" ROOF COVER BOARD WHERE REQUIRED TO PROTECT INSULATION.
 - 713 WATERPROOF MEMBRANE & DRAINBOARD-SEE SPECIFICATIONS
 - 714 1.1/2" RIGID POLYISO INSULATION ~R9.3 - AT METAL PANELS / SIDING LOCATIONS - (KO ENERFOIL) OR EQUAL
 - 715 3.1/2" RIGID POLYISO INSULATION ~R21.7 - AT BRICK LOCATIONS - (KO ENERFOIL) OR EQUAL
 - 716 WALL INSULATION - R23 MIN. WET CELLULOSE INSULATION. SEE COMCHECK
- DOORS AND WINDOWS**
- 41 ALUMINUM ENTRY SYSTEM
 - 42 ALUMINUM WINDOW SYSTEM
 - 43 ALUMINUM BREAK METAL TRIMS TO MATCH WINDOW SYSTEM
 - 44 CURTAIN WALL SYSTEM
 - 45 SPANDREL GLAZING
- FINISHES**
- 41 5/8" TYPE "X" GYP. BOARD (1-HOUR RATED WALL ASSEMBLY) -SKIP TROWEL TEXTURED AND PAINTED
 - 42 (1) LAYERS OF 5/8" TYPE "C" GYP BOARD OVER 1/2" RESILIENT CHANNEL (1-HOUR RATED CEILING) -SKIP TROWEL TEXTURED AND PAINTED
 - 43 5/8" TYPE "X" GYP BOARD (NON RATED) -SKIP TROWEL TEXTURED AND PAINTED
 - 44 (2) LAYERS 5/8" TYPE "X" GYP BD EACH SIDE OF WALL (2-HOUR RATED WALL)
 - 45 TRAFFIC BEARING DECK SURFACE (EQUAL TO GACO DECK)

KEY TO EXTERIOR FINISHES		
1	THIN BRICK	WINTER FIELD, KING KLINKER
2	ACM 1	CHARCOAL JY-6150, ALFREX, ACM PANELS
3	ACM 2	RRM RIVER ROCK GREY, ALPOLIC, ACM PANELS
4	ALUMINUM STOREFRONT ENTRY SYSTEM	BLACK
5	ALUMINUM WINDOW SYSTEM	BLACK
6	CURTAIN WALL SYSTEM	BLACK
7	GLAZING 1	GRAY TINT, 34% VISIBLE LIGHT TRANSMISSION, SN 68, LOW E
8	GLAZING 2	GUARDIAN 68% VISIBLE LIGHT TRANSMISSION, SN 68, LOW E, CLEAR
9	METAL PANELS	BLACK
10	STEEL CANOPY	BLACK
11	PRE-FINISHED ALUMINUM CAP	BLACK
12	PREFINISHED METAL FLASHING	BLACK
13	GUARDRAILS METAL W/ GLAZING	BLACK METAL BRACKETS/POST/RAILS
14	METAL SIDING (MORIN 1)	438R724 BRISTOL BLACK, MORIN (MATRIX WALL SERIES)
15	STEEL CANTILEVERED CANOPY W/LOUVER BLADES	BLACK CANOPY SOLUTIONS
16	SPRANDREL GLASS	GRAY TO MATCH GLAZING



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COTTONWOOD HEALTHCARE

EXTERIOR ELEVATIONS

05/08/2026

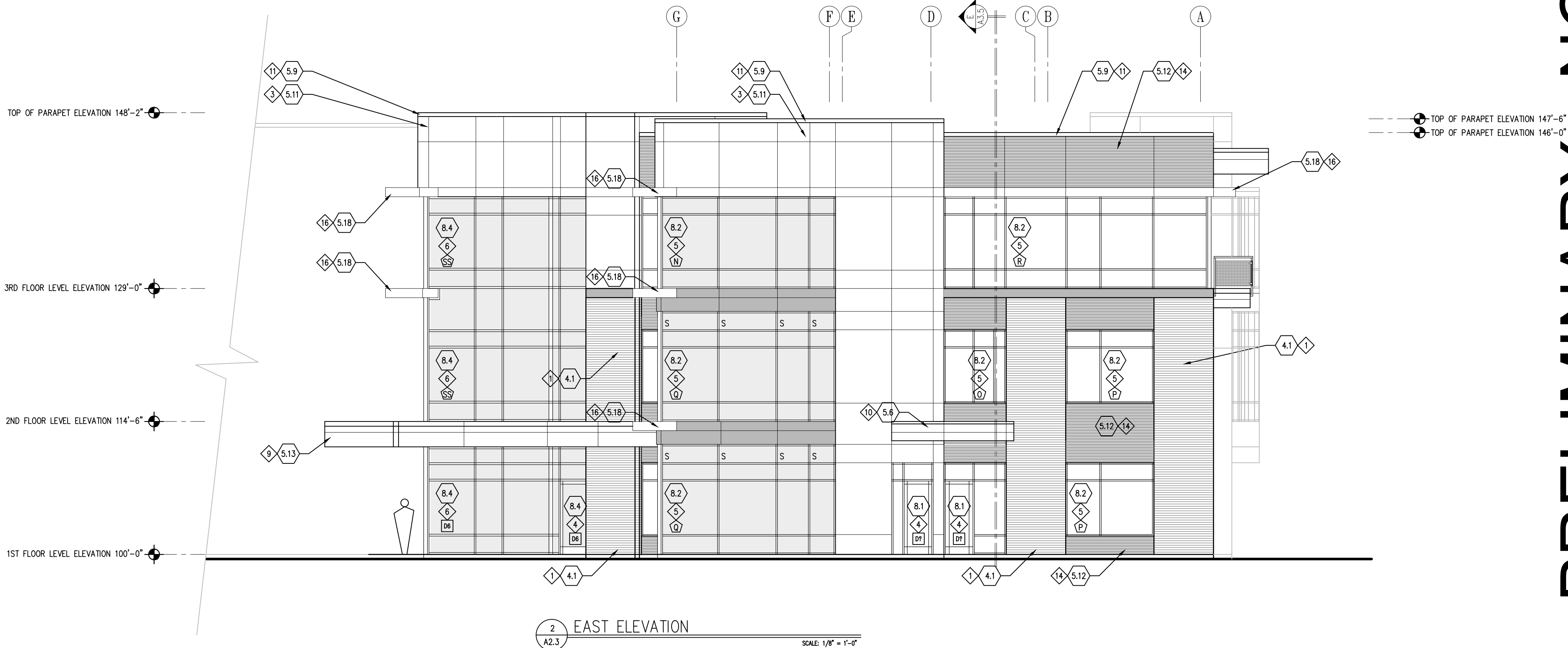
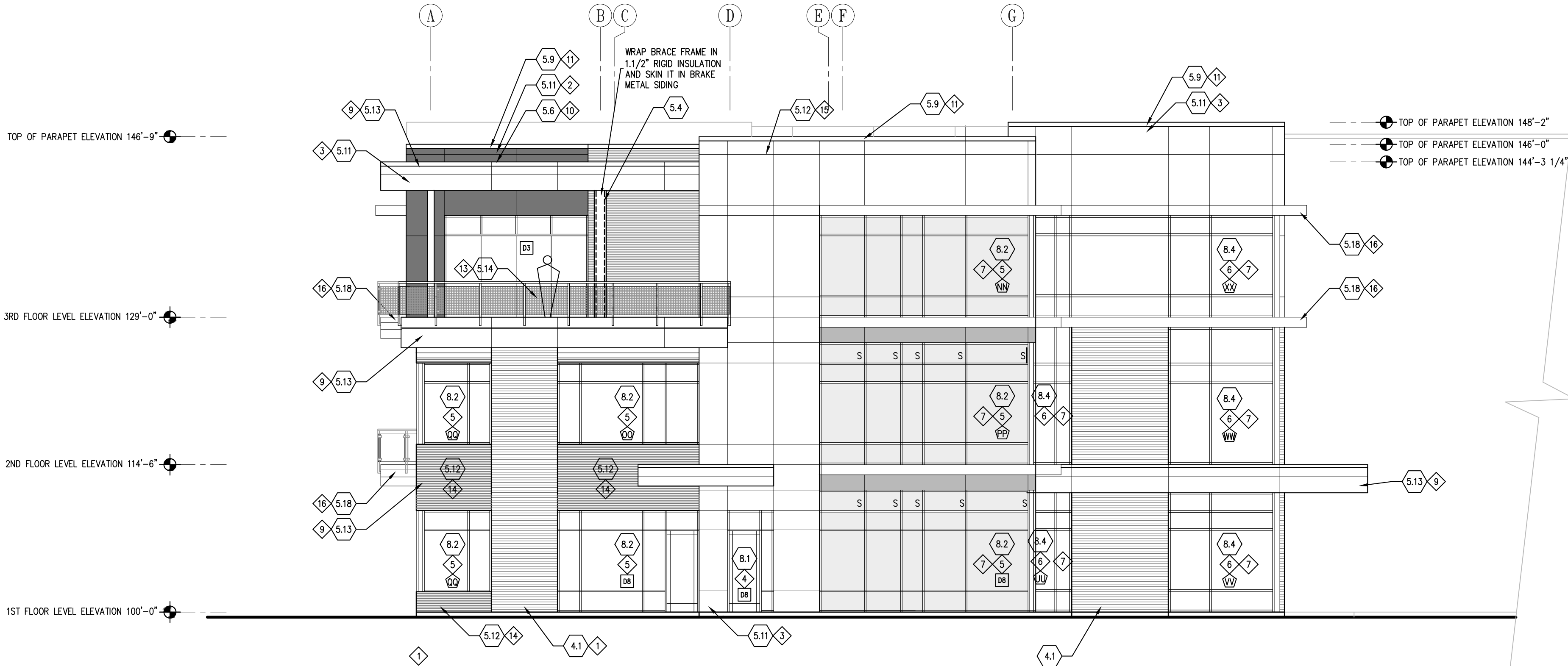
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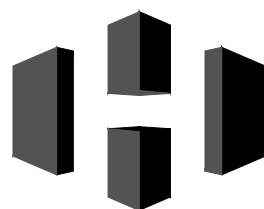
THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.
PLOT DATE: 7/20/2026 Q:\ACAD\File\Cottonwood Healthcare\Headquarters Office\london\Working\CWH_A2.3-01-EL-ELEV.dwg

- SITE CONSTRUCTION**
- (21) FINISH GRADE - SLOPE AWAY 1/2 INCH PER FOOT MIN.
 - (22) ENGINEERED GRAVEL FILL - SEE STRUCTURAL & GEOTECH.
 - (24) PERFORATED DRAIN PIPE AT PERIMETER - SEE CIVIL & GEOTECH.
- CONCRETE**
- (31) CONCRETE FOUNDATION WALL - SEE STRUCTURAL DRAWINGS
 - (32) CONCRETE FOOTING - SEE STRUCTURAL DRAWINGS
 - (33) REINFORCED CONCRETE SLAB - SEE STRUCTURAL DWGS.
 - (34) 1" GYPCRETE (SEALED WHERE FLOOR FINISH REQUIRES GLUE DOWN) OVER 1/4" SOUND REDUCTION MAT (IF OWNER CHOOSES TO ELIMINATE SOUND MAT THE GYPCRETE MUST CHANGE TO 1.1/4")
 - (35) PRECAST CONC. TRIM - SEE PLAN (SEE MFG FOR CONNECTION DETAILS)
 - (36) FIBER-CEMENT REVEAL PANELS - SEE PLAN (SEE MFG FOR CONNECTION DETAILS)
 - (37) CONCRETE RETAINING WALL - SEE STRUCTURAL DRAWINGS
 - (38) 6.1/2" NORMAL WEIGHT CONCRETE OVER METAL DECK - SEE STRUCT.
 - (39) ARCHITECTURAL PAYER - SEALED NATURAL CONCRETE COLOR (2"X36"X36") HYDROTECH ULTIMATE ASSEMBLY SYSTEM
- MASONRY**
- (41) BRICK - THIN CUT
- METALS**
- (51) SIMPSON HANGER - SEE STRUCTURAL DWGS.
 - (52) PREFINISHED METAL FLASHING
 - (53) BEAM - SEE STRUCT.
 - (54) BRACE FRAME - SEE STRUCT.
 - (55) STEEL CANOPY - SEE STRUCTURAL DRAWINGS
 - (57) PREFINISHED ALUM. DRIP
 - (58) PRIMED AND PAINTED LINTEL/ANGLE
 - (59) PRE-FINISHED ALUMINUM PARAPET CAP
 - (60) METAL STUD FRAMING
 - (61) ACM METAL PANEL - SEE EXTERIOR ELEVATIONS
 - (62) MORIN METAL PANELS - SEE EXTERIOR ELEVATIONS
 - (63) BRAKE METAL SIDING - SEE EXTERIOR ELEVATIONS
 - (64) STEEL GUARDRAIL - (POWDER COATED) +42" FROM FLOOR LINE SUCH THAT 4" SPHERE MAY NOT PASS THRU - PROFILE SIMILAR TO DETAILS SHEET A3.2 (PREFINISHED) (SEE STRUCT. DWGS. FOR CALL-OUTS AND CONNECTIONS DETAILS)
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 - (69) METAL DECK - SEE STRUCT.
 - (70) GLASS/STEEL GUARDRAIL +42" FROM FLOOR LINE SUCH THAT 4" SPHERE MAY NOT PASS THRU (SEE STRUCT. DWGS. FOR CALL-OUTS AND CONNECTION DETAILS)
 - (71) STRUCTURAL STEEL - SEE STRUCTURAL DRAWINGS
 - (72) STANDING SEAM METAL ROOF - BLACK
 - (73) ALUMINUM BREAK METAL SOFFIT - COLOR TO MATCH WINDOWS
 - (74) ALUMINUM LONGBOARD SOFFIT - LIGHT FIR WOOD GRAIN
 - (75) STEEL STAIR FRAMING-PAN TREADS AND RISERS W/ CONCRETE PANS - PROVIDE ENGINEERED SHOP DWGS
 - (76) PERIMETER POUR STOP - SEE STRUCTUTAL DRAWINGS
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 - (79) CONTINUOUS AIR BARRIER AND SMART MEMBRAN VAPOR RETARDER BY CERTAINTED OR APPROVED EQUAL SEE SPECIFICATIONS. (ROOF)
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 - (81) SOUND INSULATION (BATTS, R11 MIN.) VERIFY REQUIREMENTS W/ OWNER)
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 - (87) PVC ROOF MEMBRANE - SEE SPECIFICATIONS TRAFFIC BEARING ROOF DECK SURFACE (CLASS B RATED) (PROVIDE EPDM ALTERNATE BID)
 - (88) 1/4" ROOF COVER BOARD WHERE REQUIRED TO PROTECT INSULATION.
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 - (90) 1.1/2" RIGID POLYISO INSULATION ~R9.3 - AT METAL PANELS / SIDING LOCATIONS - (IKO ENERFOIL) OR EQUAL
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 - (92) WALL INSULATION - R23 MIN. WET CELLULOSE INSULATION. SEE COMCHECK
- DOORS AND WINDOWS**
- (81) ALUMINUM ENTRY SYSTEM
 - (82) ALUMINUM WINDOW SYSTEM
 - (83) ALUMINUM BREAK METAL TRIMS TO MATCH WINDOW SYSTEM
 - (84) CURTAIN WALL SYSTEM
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A NEW OFFICE BUILDNG IN LINDON, UTAH

COTTONWOOD HEALTHCARE

EXTERIOR ELEVATIONS

05/08/2026

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Item 5: - Ordinance Amendment – 17.02.010 and 17.46.100 – Accessory Dwelling Units

Date: September 15, 2026

Applicant: Lindon City

Presenting Staff: Michael Florence

Type of Decision: Legislative

Council Action Required: Yes, the planning commission is the recommending body on this application.

MOTION

I move to recommend (*approval, denial, or continue*) ordinance amendment 2026-16-O (*as presented, or with changes*).

Summary of Key Issues

- During the 2026 Utah Legislative Session, the Utah Legislature passed Senate Bill 284 (SB 284), which amended state requirements governing detached accessory dwelling units (ADUs).
- SB 284 requires municipalities to:
 - Allow detached accessory dwelling units on lots of at least 11,000 square feet that contain an owner-occupied single-family dwelling.
 - Require one parking stall for a detached ADU that is 650 square feet or less and two parking stalls for a detached ADU larger than 650 square feet.
 - Provide an option to convert a legally constructed accessory structure into a detached ADU, provided the structure:
 - Meets applicable ADU and dwelling setbacks; and
 - Complies with applicable health, fire, and building code requirements.
 - Prohibit regulations governing certain architectural features of detached ADUs, including exterior colors, materials, ornamentation, entrance and garage door placement, roof pitch, and minimum building dimensions.
 - Allow municipalities to regulate certain development standards, including height, maximum size, lot coverage, setbacks, and massing. Municipalities may also require a detached ADU to be designed in a manner consistent with the design of the primary single-family dwelling.
- Lindon City currently has an adopted ordinance allowing detached ADUs. However, the City's existing ordinance requires a minimum lot size of 12,000 square feet and requires two parking spaces for each detached ADU. These provisions will need to be amended to comply with the new state requirements.
- City staff is proposing to adopt the same definitions for internal and detached ADUs as those established in Utah State Code to provide consistency between state and local regulations.
- City staff is also recommending amendments to the City's ADU ordinance to improve consistency and readability. The current code uses both “accessory apartment” and “accessory dwelling unit” terminology. The proposed amendments will use consistent terminology throughout the ordinance.
- Staff is also proposing to replace the existing ADU example site plans. The site plans currently included in the ordinance are difficult to read and interpret. Updated examples are being provided to more clearly illustrate applicable setbacks and other ADU development standards.
- From the recent APA planning conference, there were some questions about the definition of owner-occupied. The State defines owner-occupied as:
 - "Owner-occupied" means a housing unit in which the individual who owns the housing unit, solely or jointly, lives as the individual's primary residence for no less than five years.

Utah League of Cities and Town Information Links

- [ULCT Handout](#)
- [ULCT Handout](#)

Family Impact Consideration:

The Lindon City Planning Commission and City Council have reviewed and considered the impact that the proposed ordinance may have on family health, stability, and formation.

Exhibits

1. Draft Ordinance

ORDINANCE NO. 2026-16-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING TITLES 17.02 DEFINITIONS AND 17.46 ACCESSORY APARTMENT ZONING ORDINANCE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council is authorized by state law to enact and amend ordinances establishing land use regulations; and

WHEREAS, the proposed amendment is consistent with the goal of the General Plan to support accessory dwelling units and to provide additional moderate-income housing; and

WHEREAS, the Lindon City Planning Commission and City Council have reviewed and considered the impact that the proposed ordinance may have on family health, stability, and formation; and

WHEREAS, on September 15, 2026, the Planning Commission held a properly noticed public hearing to hear testimony regarding the ordinance amendment; and

WHEREAS, after the public hearing, the Planning Commission further considered the proposed ordinance amendment and recommended that the City Council adopted the attached ordinance; and

WHEREAS, the City Council held a public hearing on _____, to consider the recommendation and the City Council received and considered all public comments that were made therein.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: Amendment. Amend Lindon City Code Section 17.46 as follows:

17.02.010 Definitions

“accessory dwelling unit” means a habitable living unit added to, created within, or detached from a primary single-family dwelling and contained on one lot or parcel.

“detached accessory dwelling unit” means an accessory dwelling unit that is not attached to or within a primary detached single-family dwelling and located on the same lot or parcel as the primary detached single-family dwelling.

“Internal Accessory Dwelling Unit” means an accessory dwelling unit created:

- Within a primary dwelling;*
- Within the footprint of the primary dwelling at the time the internal accessory dwelling unit is created; and*
- For the purpose of offering a long-term rental of thirty (30) consecutive days or longer.*

17.46.100 Accessory ~~apartments~~ Dwelling Units.

This section establishes requirements and regulations regarding accessory ~~apartments~~ dwelling units.

1. *Purpose Statement.* It is the intent of this section to allow accessory ~~apartments~~ dwelling units in conjunction with owner-occupied single-family ~~homes~~ dwelling in primarily residential zones. The purpose of the accessory ~~apartments~~ dwelling unit provisions is to:

- a. Provide a mix of housing options that responds to changing family needs and smaller households;
- b. Offer a means for residents, seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- c. Provide a broader range of affordable housing;
- d. Create new housing units within existing residential zones.

2. *General Requirements for All Accessory ~~Apartment~~ dwelling units.*

- a. *Location and Number of Units.* Accessory ~~apartments~~ dwelling units shall be allowed only in conjunction with an owner-occupied primary single-family dwelling and where such single-family dwelling was not approved as part of an R2 overlay project. A property shall be limited to the maximum number of accessory dwelling units allowed by this section, regardless of the number of owners listed on the title of the property

~~The city prohibits Internal~~ accessory ~~apartments~~ dwelling units are prohibited on ~~for~~ lots or parcels six thousand (6,000) square feet or less and in the areas adopted on the Lindon City Accessory ~~Apartment Dwelling Unit~~ Map. Some lots within the prohibited Accessory Dwelling Unit Mapped area may be allowed per Utah Code 10-21-303(3fi), or as amended, if:

- i. The lot has a final plat approval dated on or after October 1, 2021; and
- ii. Comply with applicable land use regulations.

The prohibited areas identified in the Lindon City Accessory ~~Apartment Dwelling Unit~~ Map are adopted and incorporated into this section, and the map may be amended by ordinance and are equal to less than ~~the~~ twenty-five percent (25%) of primarily residential areas as allowed by Utah Code ~~10-9a-530~~ 10-21-303 or as may be amended.

Detached accessory dwelling units are permitted on any lot or parcel that is eleven thousand (11,000) square feet or larger and contains a single-family dwelling, if the single-family dwelling is a permitted use on the lot or parcel and complies with all applicable land use, building, health, and fire codes.

A legally constructed accessory structure may be converted into a detached accessory dwelling unit upon approval of a building permit and compliance with all applicable land use, and building, health, and fire codes.

b. *Number of Accessory ~~apartments~~ dwelling units.* A maximum number of one (1) accessory ~~apartments~~ dwelling unit shall be allowed in conjunction with each owner-occupied single-family dwelling.

c. *Parking.*

~~i.~~ *Parking for Internal Accessory ~~apartments~~ dwelling units.* An internal accessory ~~apartments~~ dwelling unit shall provide one (1) off-street parking stall (two (2) for the single-family dwelling and one (1) for the accessory ~~apartments~~ dwelling unit). Parking stalls within a garage or carport utilized by the single-family dwelling shall not count toward the one (1) additional required parking stall for the accessory ~~apartments~~ dwelling unit, or vice versa, unless the garage is sized for more than two (2) vehicles and an accessible route from the garage parking to the accessory ~~apartments~~ dwelling unit can be maintained. Parking for an internal accessory ~~apartments~~ dwelling unit shall not be located in the front setback. Parking areas and driveways shall be provided with a dustless, hard surface material such as asphalt, concrete, compacted gravel, masonry, or concrete pavers. A path, sidewalk, or walkway shall be provided from the accessory ~~apartments~~ dwelling unit entrance to the required accessory ~~apartments~~ dwelling unit off-street parking stalls. Any parking spaces contained within a garage or carport shall be replaced if an internal accessory dwelling unit is created with the garage or carport. *Parking dimensions are provided in the Landon City Code 17.18.020.*

ii. *Parking for Detached and Substantially Attached Accessory ~~apartments~~ dwelling units.* *In addition to the parking required for a single-family dwelling as found in Chapter 17.18, A a single-family dwelling with a detached accessory ~~apartment~~ dwelling unit shall provide parking at the following ratio:*

i. *One on-site parking stall if the detached accessory dwelling unit is six hundred and fifty (650) square feet or less in size;*

ii. *Two on-site parking stalls if the detached accessory dwelling unit is six hundred and fifty (650) square feet or more.*

~~at least four (4) total off-street parking stalls (two (2) for the single-family dwelling and two (2) for the accessory ~~apartments~~).~~ Parking stalls within a garage or carport utilized by the single-family dwelling shall not count toward the ~~two (2) additional~~ required parking stalls for the accessory ~~apartments~~ dwelling unit, or vice versa, unless the garage is sized for more than two (2) vehicles and an accessible route from the garage parking to the accessory ~~apartments~~ dwelling unit can be maintained. Not more than one (1) of the designated accessory ~~apartments~~ dwelling unit parking stalls may be located within the front yard setback. Tandem (end-to-end) parking in a side yard may be acceptable for the required parking. Parking areas and driveways shall be provided with a dustless, hard surface material such as asphalt, concrete, compacted gravel, masonry, or concrete pavers. A path, sidewalk, or walkway shall be provided from the

accessory ~~apartments~~ dwelling unit entrance to the required accessory ~~apartments~~ dwelling units off-street parking stalls.

d. *Size Restrictions.* Internal accessory ~~apartments~~ dwelling units shall not have a size restriction. The size of a detached accessory ~~apartments~~ dwelling units shall be at least three hundred (300) square feet and shall not contain more than three (3) bedrooms.

e. *Building, Fire, and Health Codes.* All construction and remodeling shall comply with building, fire and health codes in effect at the time of construction or remodeling, with the exception of requirements as found Utah Code [15a-3](#) or as may be amended. Upon issuance of the accessory ~~apartments~~ dwelling unit building permit, the applicant shall pay fees in accordance with the currently adopted Lindon City fee schedule. ~~Before the permit is issued the applicant shall:~~

~~i. Submit a site plan drawn accurately to scale that shows property lines and dimensions, the location of existing buildings and building entrances, proposed buildings or additions, dimensions from buildings or additions to property lines, and the location of parking stalls.~~

~~ii. Include detailed floor plans drawn to scale with labels on rooms indicating uses or proposed uses and other criteria required by the chief building official.~~

~~f. *Accessory ~~apartments~~ Dwelling Unit Design.*~~

~~i. *Detached Accessory ~~Apartment~~ Dwelling Unit Building Entrances Design.* Shall be designed consistent with the design of the single family dwelling. Entrances to detached accessory apartments shall not face a street unless the detached accessory apartments is placed behind the primary single family dwelling so that the entrance is not substantially visible from the street. However, where a property qualifies to have an accessory dwelling unit in the front yard under Subsection (3)(b)(ii) below, the accessory dwelling unit may have an entrance that faces a street. The purpose of this requirement is to preserve the single family residential appearance of the primary single family dwelling and/or the detached accessory apartments.~~

~~ii. *Internal Accessory ~~Apartment~~ Dwelling Unit.* The units shall be designed in a manner that does not change the appearance of the primary dwelling as a single family dwelling.~~

~~f. *Accessory dwelling units shall meet the permissible lot coverage requirements as found in Lindon City Code 17.44.120 and also the zone in which the property is located.*~~

g. New or existing garages and accessory buildings substantially attached to the main dwelling by covered walkways, covered breezeways, and covered porches may include an accessory ~~apartment~~ dwelling unit. In such instances, the garage/accessory building shall not be more than a distance of eighteen feet (18') from the main dwelling unit measured linearly between the foundation lines of the two (2) structures, and the apartment may not exceed sixty percent (60%) of the footprint of the

primary single-family dwelling livable floor area, but in no case shall it exceed one thousand two hundred (1,200) square feet of maximum livable floor area.

h. ~~Apartment~~ Accessory Dwelling Unit Address. The address of the accessory ~~apartment~~ dwelling unit shall be clearly posted so as to be seen from the public street.

i. *Ownership.* An accessory ~~apartment~~ dwelling unit shall be located in or detached from a single-family dwelling that is occupied as the owners primary residence. The accessory dwelling unit shall not be sold separately, or subdivided from the ~~principal~~ single-family dwelling unit, parcel, or lot.

3. *Additional Requirements for Detached Accessory Apartments.*

a. *Height Restrictions.* Detached accessory ~~apartments~~ dwelling units are limited to two (2) stories above grade with a maximum height not to exceed the height of the primary single-family dwelling or thirty feet (30') high. Building height is determined by averaging the measurements of the four (4) corners of the structure from finished grade to the highest point of the roof structure. The planning director and chief building official shall be responsible for designating and identifying the four (4) corners of a structure and determining building height.

b. *Setbacks.*

~~i. *Accessory Dwelling Unit Rear and Corner Side Setbacks.* A detached accessory apartment dwelling unit must meet the same setbacks as the primary single-family dwelling for the underlying zone in which it is located, except that it shall be set back at least ten feet (10') further from a front-facing façade of the primary single-family dwelling which faces a street. Detached accessory apartments on the street-side yard of corner lots are only required to be set back ten feet (10') further than the front-facing façade of the primary single-family dwelling. No additional setback applies to street-side yard areas. See Table 17.46B. If a deck is constructed on the second story, the building setback will be measured from the deck.~~

i. *Accessory Dwelling Unit Rear and Corner Side Setbacks.* A detached accessory dwelling unit must comply with the setbacks required for the primary single-family dwelling in the underlying zone, except as provided below:

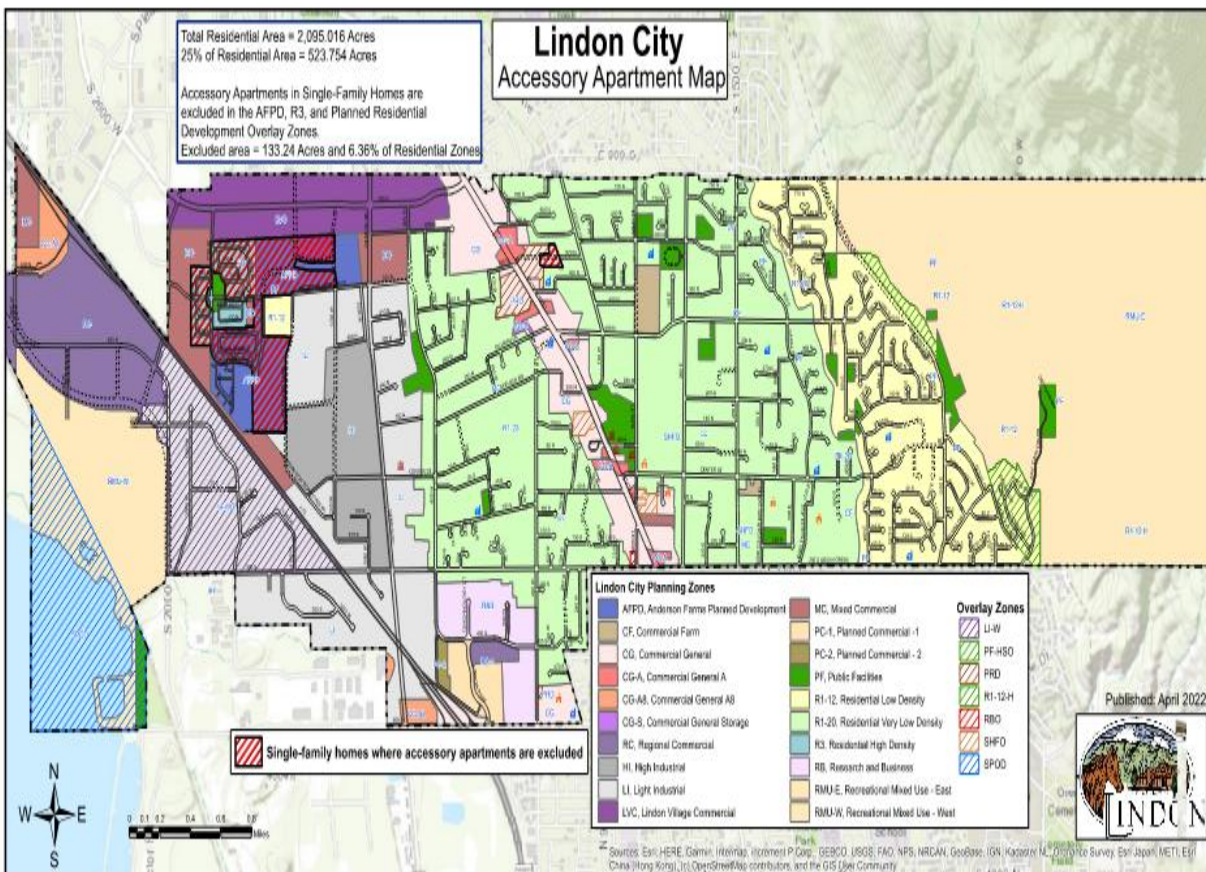
A detached accessory dwelling unit must be located at least ten feet (10') farther from the street-facing façade of the primary single-family dwelling than the primary dwelling's required setback.

On a corner lot, a detached accessory dwelling unit located on the street-side yard is required to be set back ten feet (10') farther from the street-facing façade of the primary single-family dwelling. No additional setback is required within the street-side yard.

See Figure 17.46B. If a second-story deck is constructed on the accessory dwelling unit, the building setback shall be measured from the edge of the deck.

- ii. *Front Accessory Dwelling Unit Setbacks for Lots with More than Two Hundred and Fifty Feet (250') of Depth.* Lots that have a depth greater than two hundred and fifty feet (250') may be allowed to have an accessory ~~apartment~~ dwelling unit located in the front yard. If the detached accessory dwelling unit is located in front of the primary single-family dwelling, then the front, rear and side yard setbacks are the same as those required for primary single-family dwellings in the zoning district. The accessory ~~apartment~~ dwelling unit shall be separated from the primary single-family dwelling by sixty feet (60').
- c. *Size Limit.* The detached accessory ~~apartment~~ dwelling unit may be attached to or part of other accessory structures, but in no case shall the maximum livable floor area of the detached accessory ~~apartment~~ dwelling unit exceed one thousand five hundred (1,500) square feet or forty percent (40%) of the primary single-family dwelling, whichever is less. The total livable square footage is calculated for both stories and does not apply separately to each story. Stairways for access to the second story shall be constructed on the interior of the accessory ~~apartment~~ dwelling unit. No exterior staircases shall be constructed unless required by building code. If an accessory ~~apartment~~ dwelling unit is connected to or constructed above a garage, the ~~apartment~~ accessory dwelling unit shall have a separate entrance from the garage area.
- d. *Exterior Design.* ~~Architectural features and roofline of the detached accessory apartment shall be designed and constructed to be compatible with the character and materials used on the exterior of the primary single-family dwelling. An internal accessory dwelling unit shall be designed in a manner that does not change the appearance of the primary dwelling as a single-family dwelling. A detached accessory dwelling unit shall be designed consistent with the design of the single-family dwelling.~~
- e. *Utilities.* Except for sewer service, all public and private utility services to the detached accessory ~~apartment~~ dwelling unit shall be provided through utility lines which service the primary single-family dwelling. Additional utility meters, utility laterals, or secondary service hook-ups are not permitted except as approved by the chief building official and/or the public works director in cases where options to provide utilities through the primary single-family dwelling service laterals are not feasible or cause significant hardship to the applicant.
4. *Notice.* The city may record a notice, as described in Utah Code ~~10-9a-530~~ 10-21-303 or as may be amended, when an accessory ~~apartment~~ dwelling unit is approved.
5. *Enforcement.* In addition to any other legal or equitable remedies available to Lindon City, the city may hold a lien against a property that contains an internal accessory dwelling unit as provided for in Utah Code ~~10-9a-530~~ 10-21-303 or as may be amended.

6. *Accessory Apartment Map*. The ~~below map~~ map below is adopted as part of this code and is also on file with Lindon City.



**Figure 17.46 B. (Typical setbacks for detached accessory
apartments)**

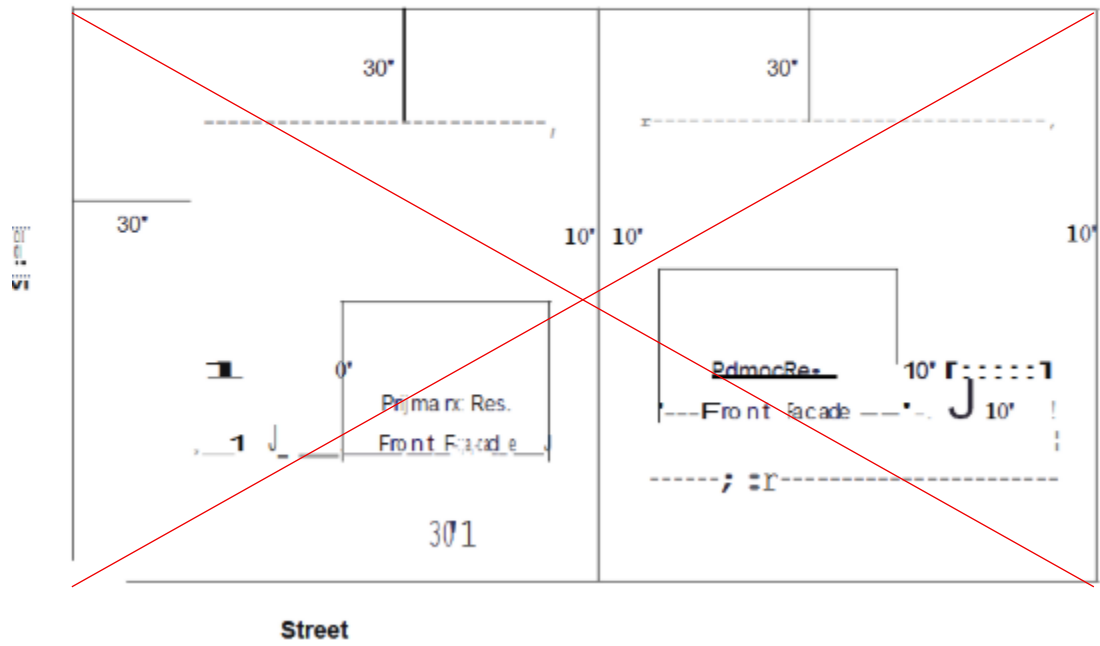
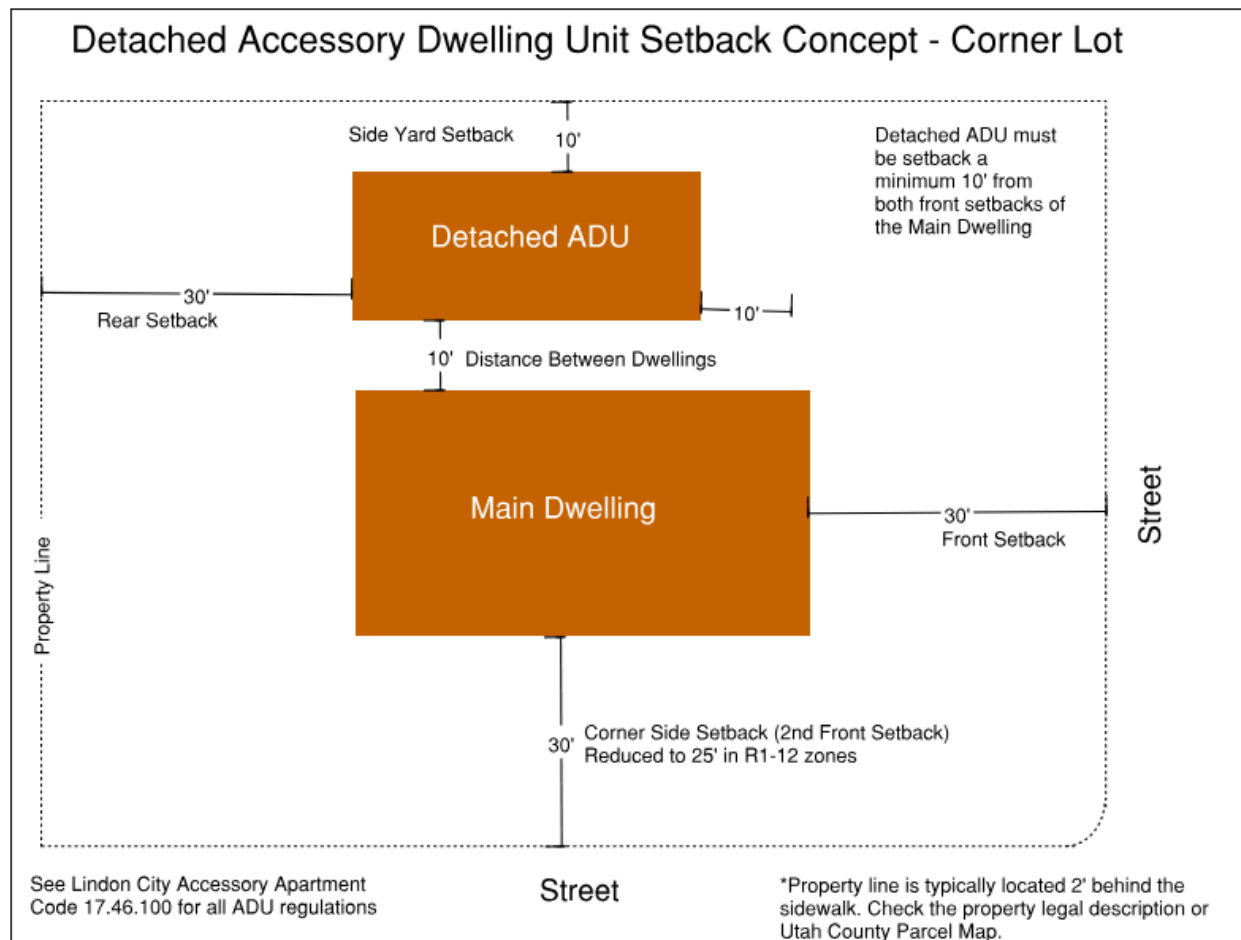
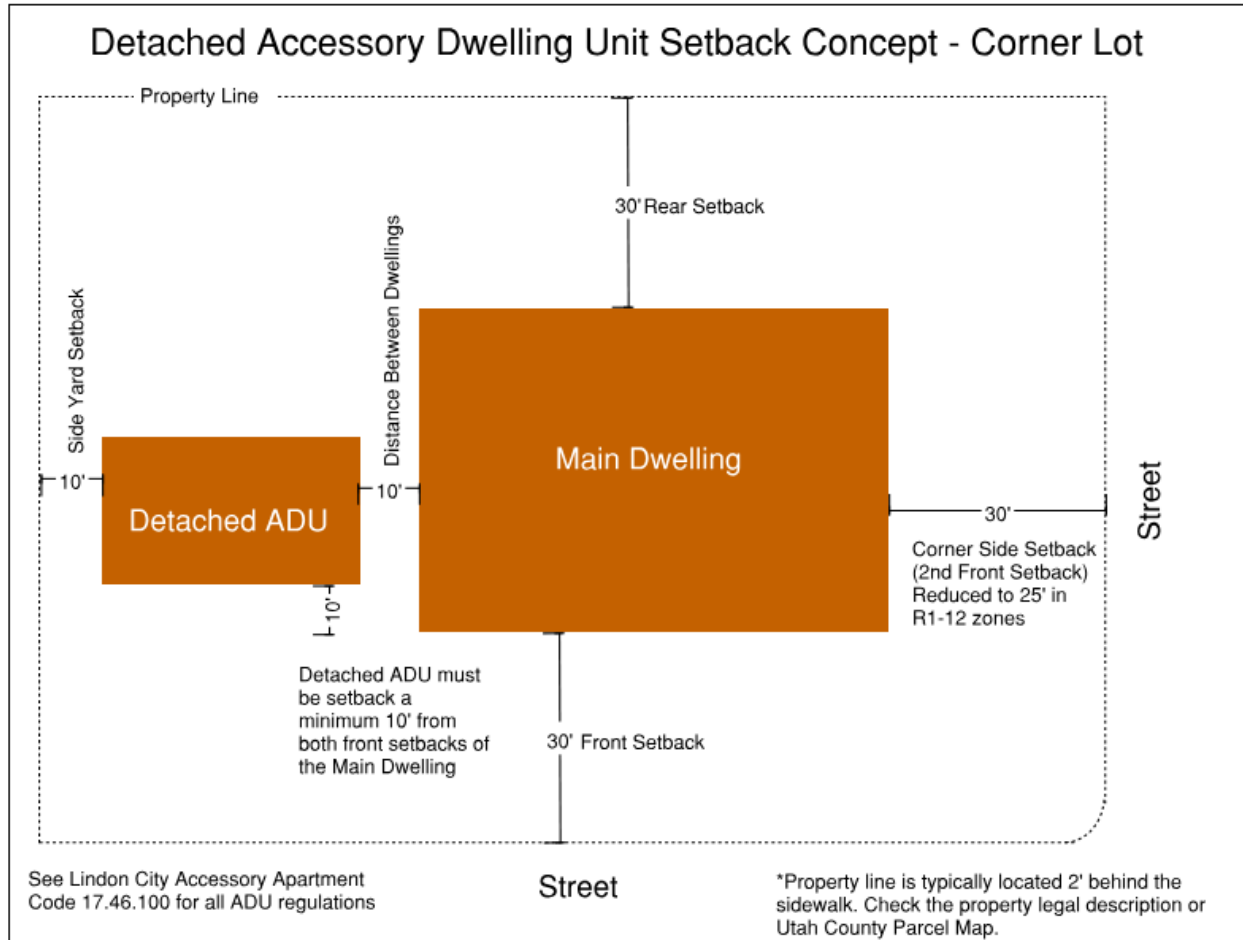


Figure 17.46B – Typical setbacks for detached accessory apartments





SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provided by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this
_____ day of _____, 2026.

Carolyn O. Lundberg, Mayor

ATTEST:

Britni Laidler,
Lindon City Recorder

SEAL