



FARR WEST CITY COUNCIL AGENDA

September 17, 2026 at 6:30 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold their regular meeting at 6:30 p.m. on Thursday, September 17, 2026 at the Farr West City Hall, 1896 North 1800 West, Farr West

Call to Order – Mayor David Bolos

1. Opening Ceremony
 - a. Opening Prayer
 - b. Pledge of Allegiance
2. Comments/Reports/Presentation
 - a. Public Comments (*3 minutes*)
 - b. Report from the Planning Commission
3. Consent Items
 - a. Assignments and directions for Planning Commission
 - b. Consider approval of minutes dated September 3, 2026
 - c. Consider approval of bills dated September 16, 2026
4. Business Items
 - a. Consideration of the request of a conditional use permit for an accessory building over 2,000 square feet for Russell Lynch located at 3683 North Higley Rd
 - b. Consideration of the request of a re-zone of a portion of the M & T Koehler Family Trust property located at 2100 North Heritage Drive, parcel number 19-239-0023, from the A-1 zone to the R-1-15 zone
 - c. Discussion on Veterans Bricks at Smith Family Park – Bob Blind
5. Mayor/Council Remarks
 - a. Assignment Follow-up (*3 minutes*)
6. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on September 11, 2026.

Lindsay Afuvai
Recorder



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 7/27/2026 Applicant Name RUSSELL LYNCH

Mailing Address [REDACTED]

Phone Number [REDACTED]

Property address of proposed conditional use 3683 N. HIGLEY ROAD Current Zoning: S.F.R.A

Please list the requested conditional use as listed within the city zoning ordinance DETACHED GARAGE

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

IT'LL BE A DETACHED GARAGE FOR PERSONAL USE.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

THERE WON'T BE TOXIC CHEMICALS USED OR PUBLIC ACCESS TO THE STRUCTURE. OUTSIDE OF POTENTIALLY BLOCKING 1 NEIGHBORS SUNSET VIEW 2-3 MONTHS OF THE YEAR, THE COMMUNITY WON'T BE AFFECTED.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

BUILDING CODES WILL BE ADHERED TO BY THE BUILDER AND CURRENT CONSTRUCTION PRACTICES WILL BE FOLLOWED.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

FARR WEST WILL HAVE ONE MORE HAPPY HOME OWNER PROUD TO LIVE IN FARR WEST. THE GOAL DOESN'T EXTEND FURTHER THAN HAVING A DETACHED GARAGE.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

THE LANDSCAPING WILL STAY THE SAME AND WILL NOT AFFECT ANYTHING NOT ON THE RESIDENTIAL PROPERTY.


Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received July 29, 2026

Received by JRB

Date of public hearing: August 13, 2026

Date application was _____ Approved _____ Denied by Planning Commission _____

Conditions/Reasons

Date application was _____ Approved _____ Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor

ROPER BUILDINGS

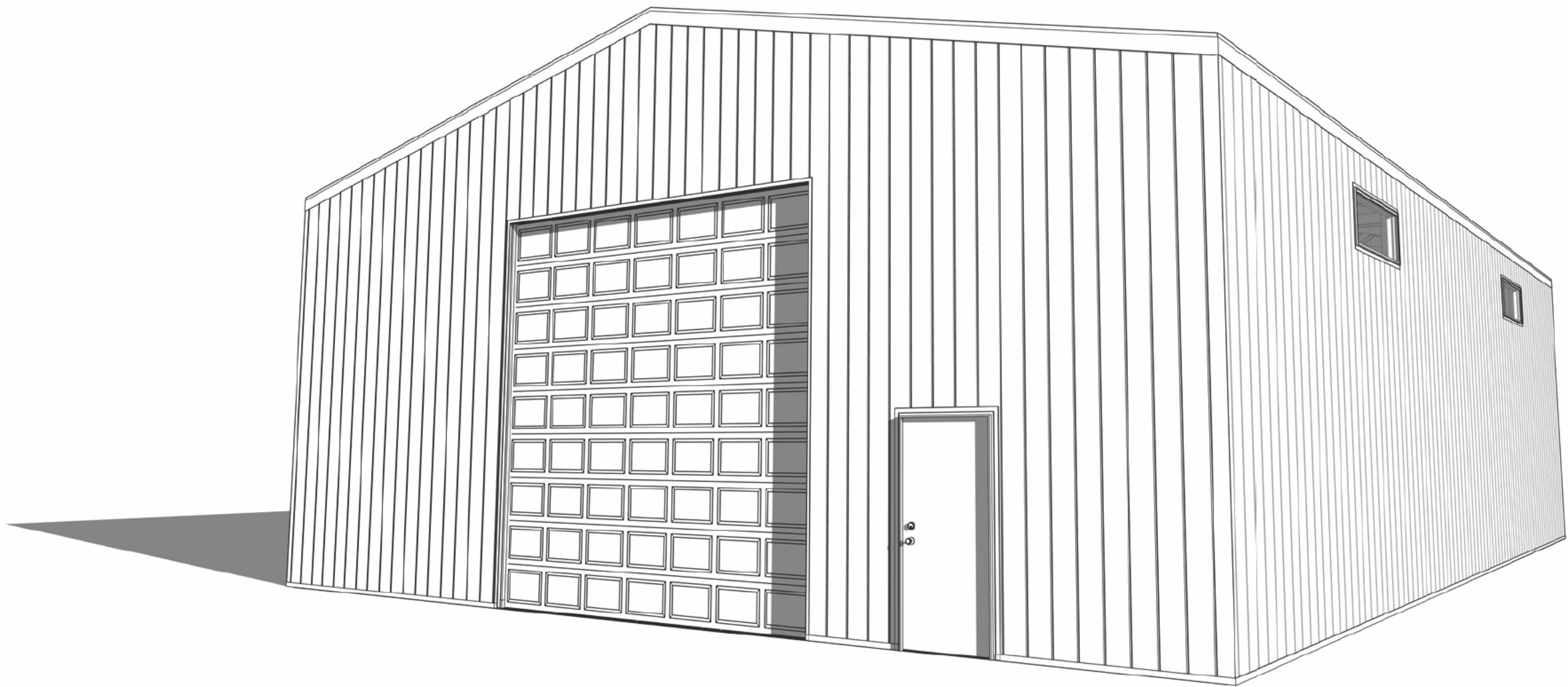
RUSSELL LYNCH BUILDING

DATE:
09/02/2026

DRAWING INDEX

A0	Title Page
A1	Foundation Plan
A2	First Floor Plan
A5	Elevations

**PRELIMINARY ONLY -
NOT FOR PERMITTING**



BUILDING INFORMATION

BUILDING INFORMATION:
DIMENSIONS: 40' x 60' = 2,400 ft²

TOTAL SQUARE FOOTAGE: 2,400 ft²

SITE INFORMATION:
ADDRESS:
3683 N. Higley Rd
Farr west, UT 84404

USAGE:
Residential Accessory

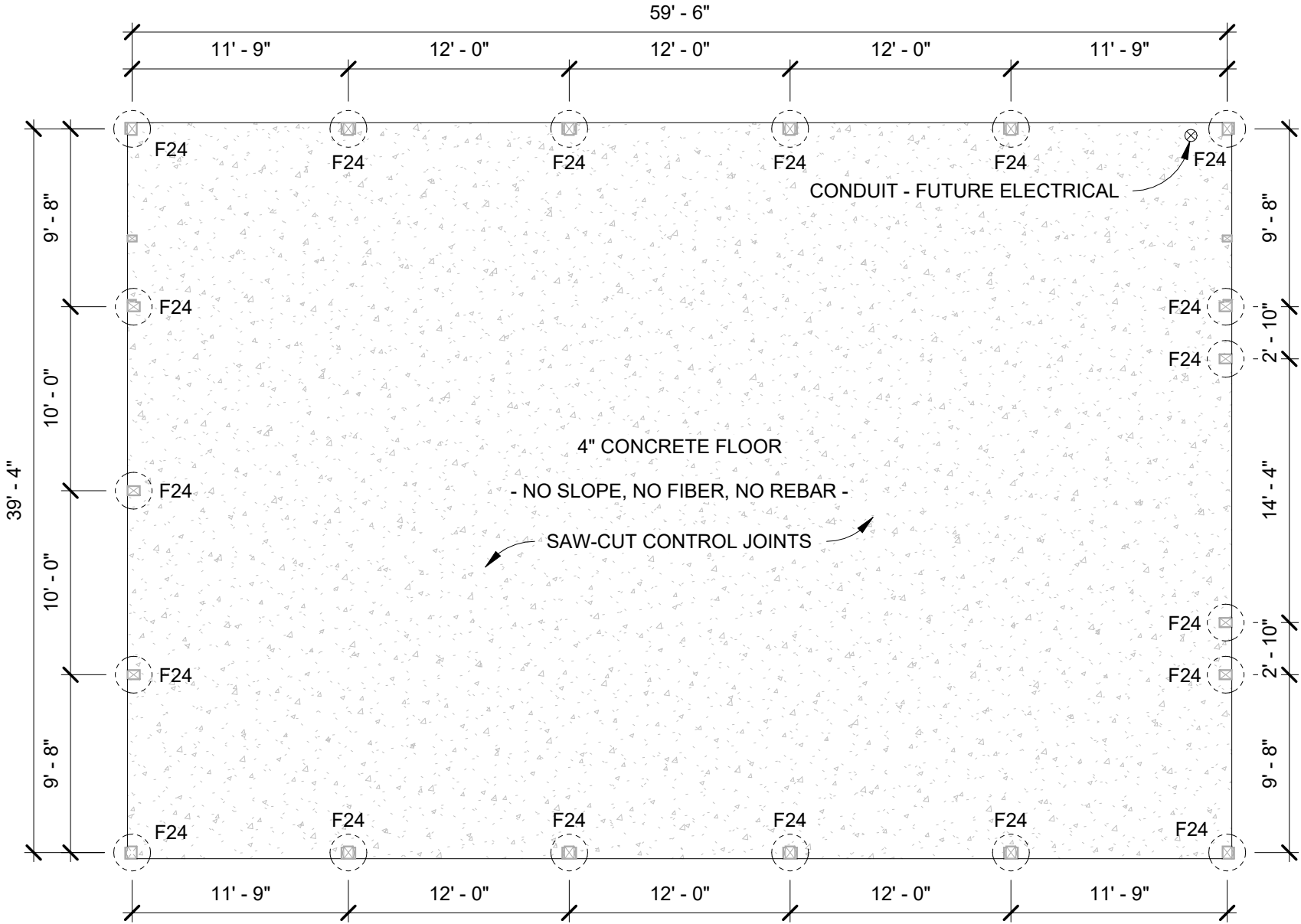
GENERAL INFO.

GIRTS: COMMERCIAL
CLEAR HEIGHT: 15' - 0"
CONCRETE THICKNESS: 4"

CONTACT

ROPER BUILDINGS /
DMLP RESOURCES
PHONE: (801) 689-3630

WEST



NORTH

SOUTH

PIERS			
Count	Type	Diameter	Depth
19	F24	24"	36"

ROPER BUILDINGS /
DMLP RESOURCES
(801) 689-3630

RUSSELL LYNCH BUILDING

3683 N. Higley Rd
Farr west, UT 84404

Scale: 1/8" = 1'-0"
Drawn by: CS
Job: LYNCH

Sheet Size: B
17" x 11"

Foundation Plan

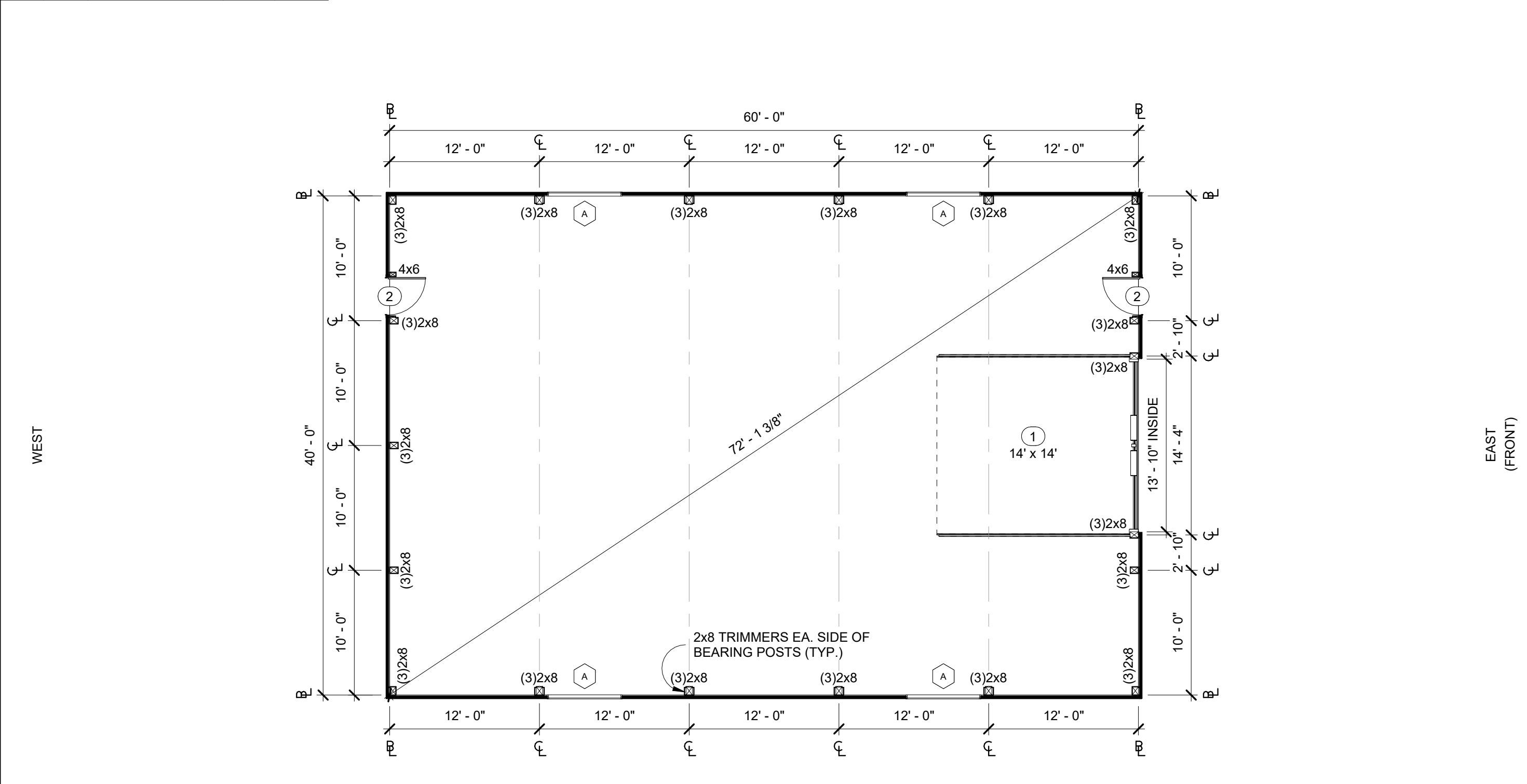
A1

FOUNDATION PLAN
1/8" = 1'-0"

DOORS				
Mark	Count	Type	Width	Height
1	1	INSULATED O.H.D.	14' - 0"	14' - 0"
2	2	M.D.	3' - 0"	6' - 8"

WINDOWS					
Mark	Count	Type	Width	Height	Sill Height
A	4	PICTURE ABOVE	6' - 0"	2' - 0"	12' - 6"

INSULATION	
ROOF	WALLS
2" CLOSED CELL SPRAY FOAM	R19



ROPER BUILDINGS /
DMLP RESOURCES
(801) 689-3630

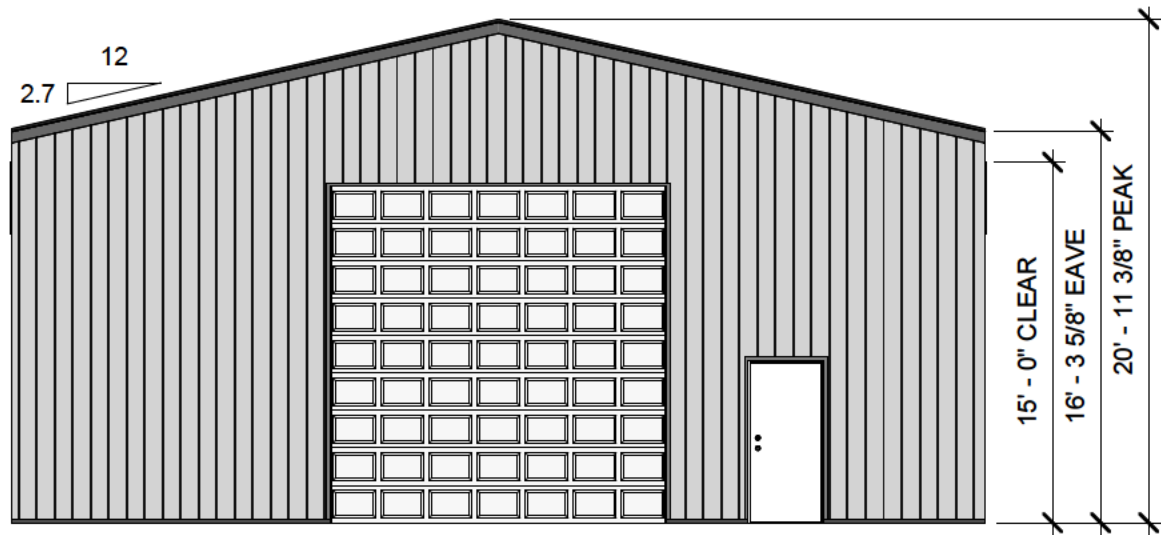
RUSSELL LYNCH BUILDING
3683 N. Higley Rd
Farr west, UT 84404

Scale: 1/8" = 1'-0"
Drawn by: CS
Job: LYNCH
Sheet Size: B
17" x 11"
First Floor Plan
A2

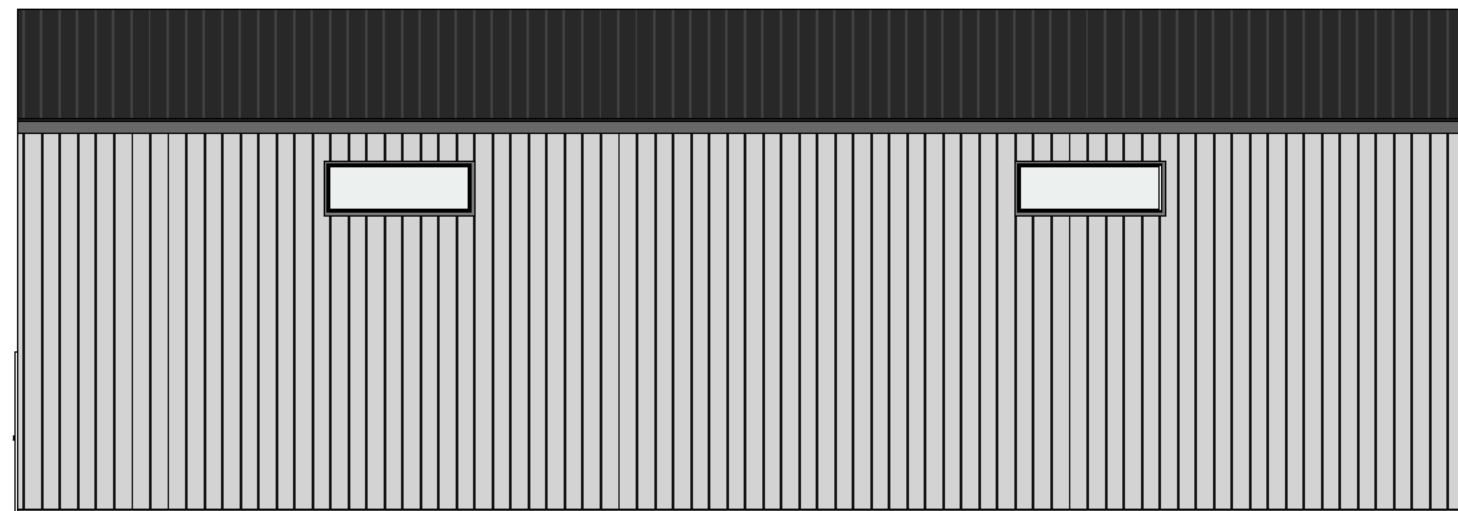
FLOOR PLAN
1/8" = 1'-0"

POST TABLE	
COUNT	LAMINATED TRIAD
19	(3) PLY 2x8

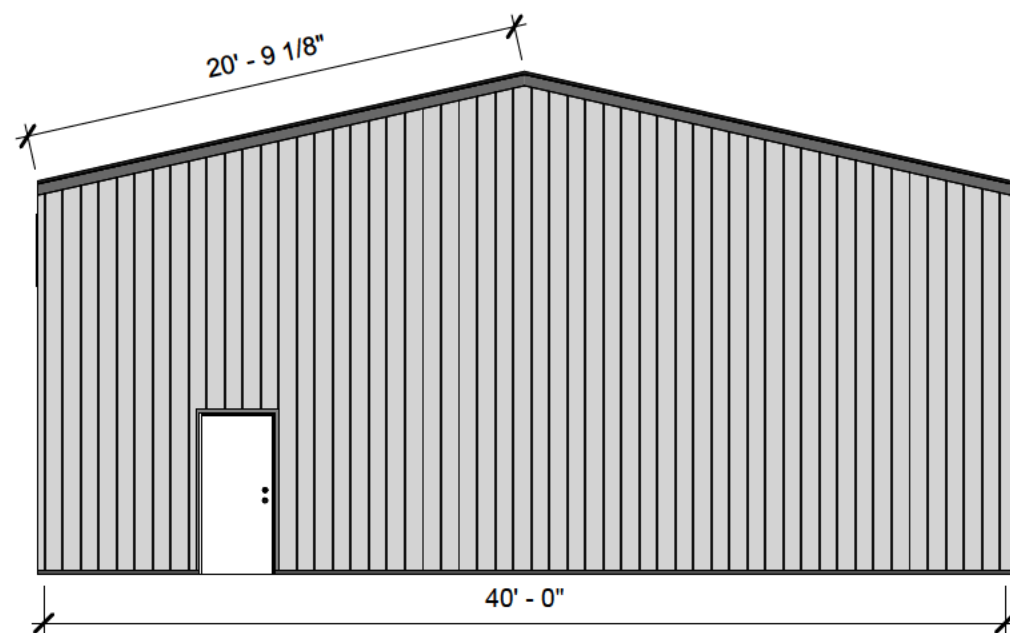
NOTES:
1. EMBED POST INTO CONCRETE PIER. SEE ENGINEER DETAIL.
2. WALLS: COMMERCIAL GIRTS, 29 GA. STEEL PANEL.
3. ALL POSTS ARE TREATED TRIAD UNLESS OTHERWISE SPECIFIED.
4. DOORS AND WINDOWS WITHOUT DIMENSIONS ARE CENTERED IN BAYS OR FRAMED NEXT TO THE CLOSEST POST.



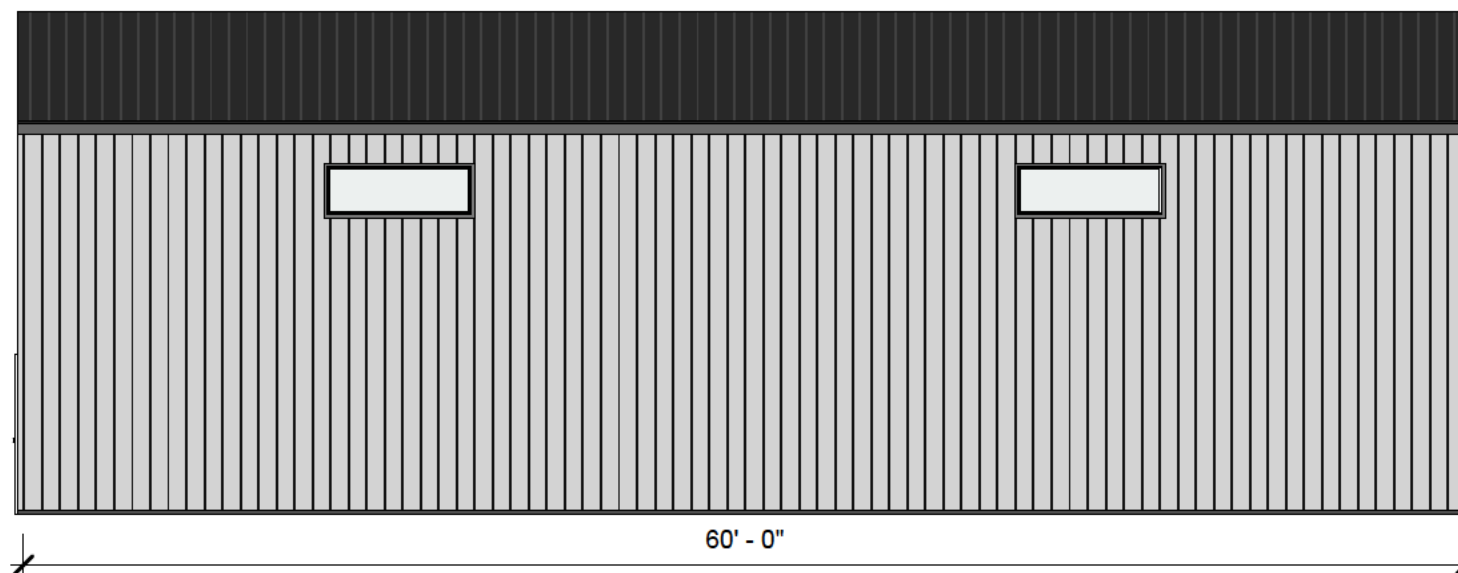
① EAST ELEVATION
1/8" = 1'-0"



② SOUTH ELEVATION
1/8" = 1'-0"

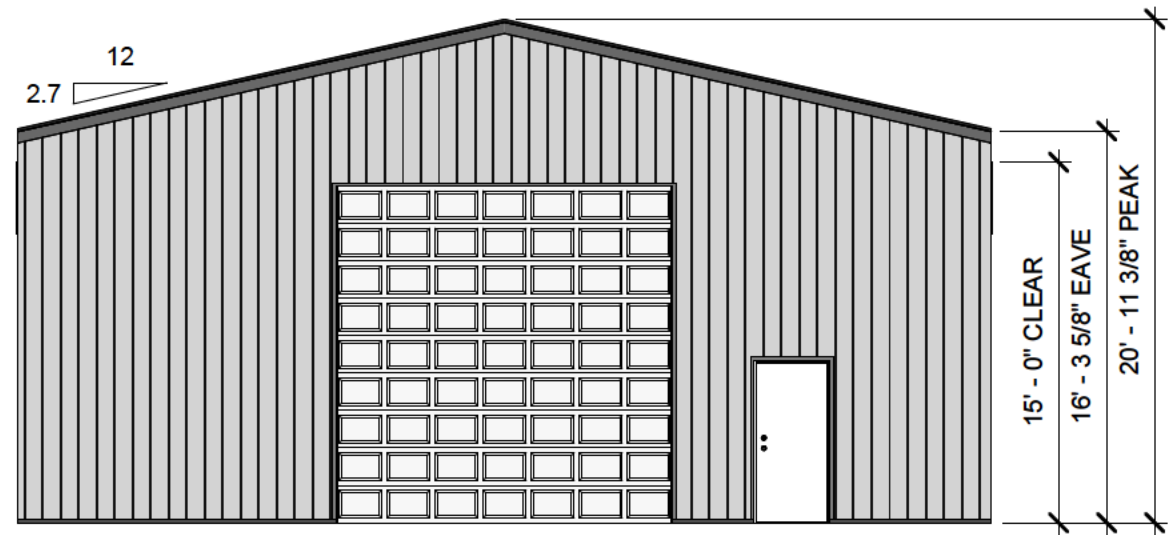


③ WEST ELEVATION
1/8" = 1'-0"

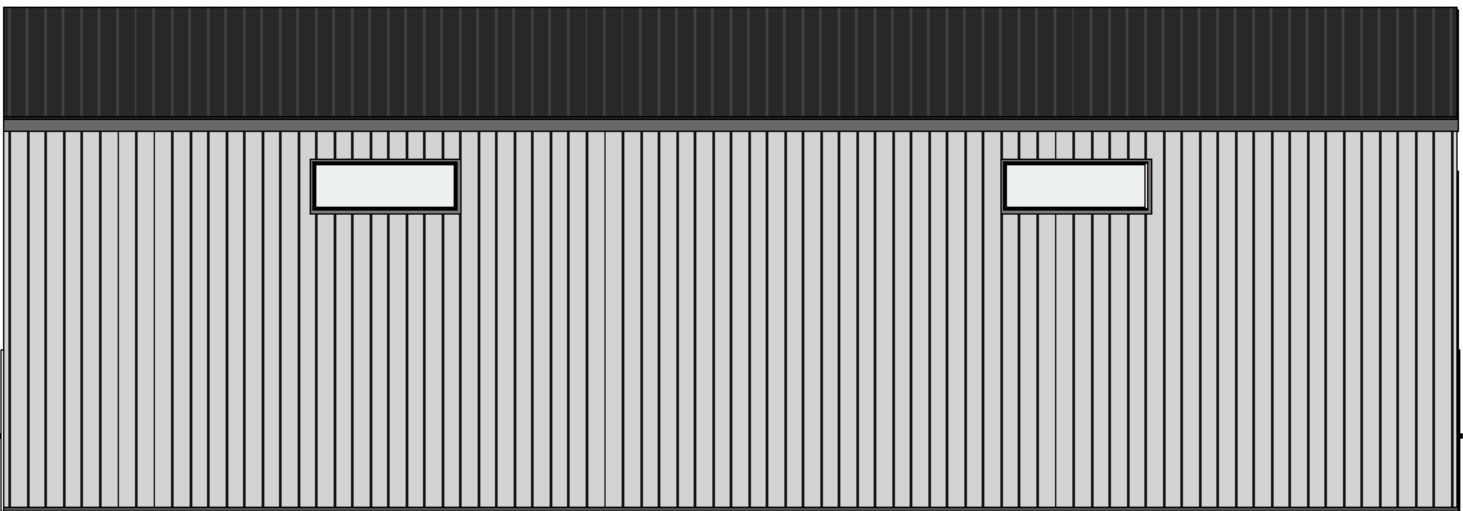


④ NORTH ELEVATION
1/8" = 1'-0"

Wall Color: Sandstone
Wall Corner Trim: Dark Brown
Wall Base Trim: Dark Brown



1 EAST ELEVATION
1/8" = 1'-0"



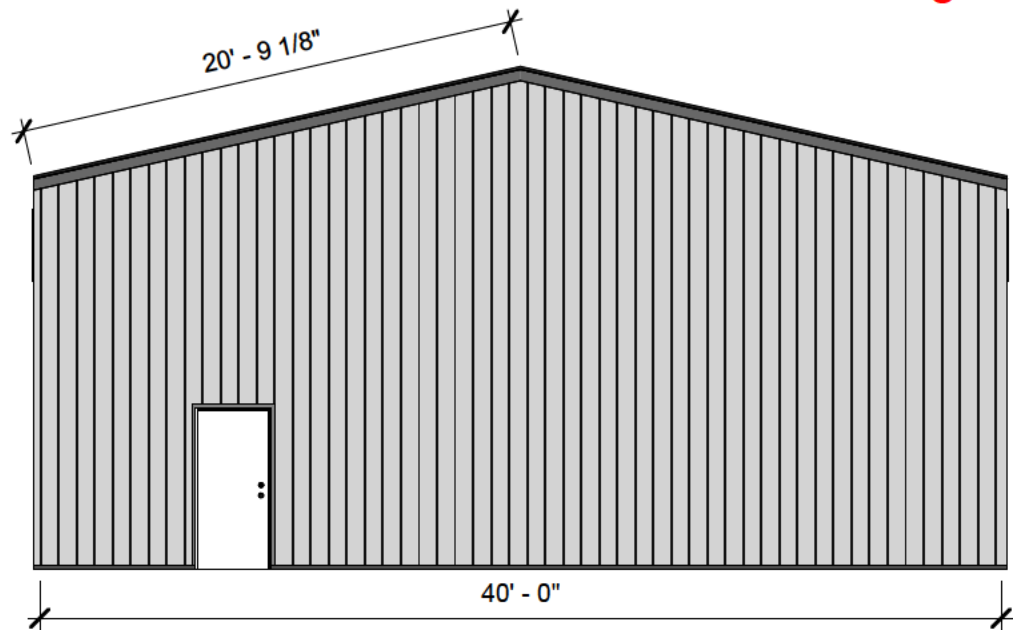
2 SOUTH ELEVATION
1/8" = 1'-0"

Garage Door Color: Sandstone
Garage Door Panel: Short
Garage Door Jamb Trim: Dark Brown

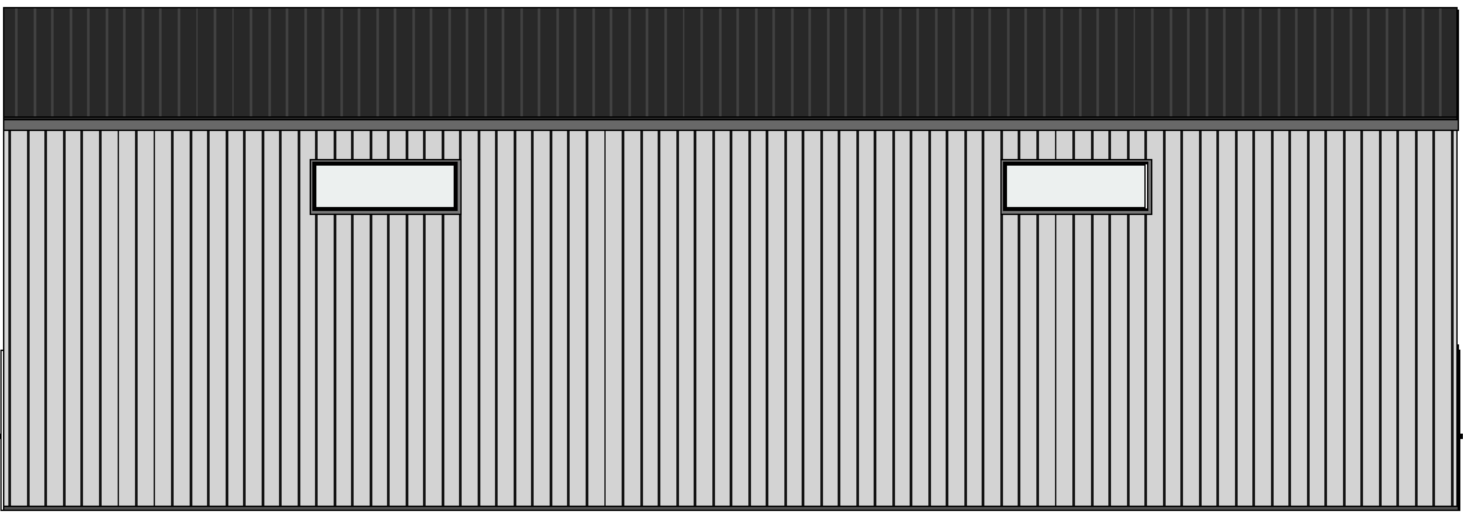
Roof Color: Sandstone
Gable Trim: Dark Brown
Eave Trim: Dark Brown
Angle E Trim: Dark Brown

Window Color: Almond
Window Trim: Dark Brown

Man Door: Primer
Man Door Trim: Dark Brown



3 WEST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

ROPER BUILDINGS /
DMLP RESOURCES
(801) 689-3630

RUSSELL LYNCH BUILDING

3683 N. Higley Rd
Farr west, UT 84404

Scale: 1/8" = 1'-0"

Drawn by: CS

Job: LYNCH

Sheet Size: B
17" x 11"

Elevations

A5

Application for Rezoning Real Property



Date Submitted 8/31/20 Applicant's Name Mark Koehler

Applicant's Address

Applicant's Phone

Fee Schedule (check one):

Up to 5 acres..... \$150.00 ☒

More than 5 acres..... \$200.00 ☐

Commercial or Manufacturing..... \$250.00 ☐

Fee received by Jan Weiss Date 8/28/2020

I (we), the undersigned property owner (s), request that the following real property (include or attach a legal description and a scale drawing of the real property here):

yes, attached

Be rezoned from (present zoning) A1

To (desired zoning) R15

☒ Include or attach a list of all adjacent property owners within three hundred feet (300') of the property proposed for rezone and their addresses. ☐

The Planning Commission must review the request from the standpoint that changes in property zoning cannot be made unless it is in the best interest of the citizens of Farr West City generally.

Please answer the following questions: (Attach additional sheets if necessary)

1. How is this request consistent with the policies of Farr West City's General Plan?

It is in a subdivision now and fits with area.

Also, it is 0.65 acres, all surrounding lots are 0.33 acres

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

and family
Daughter ~~is~~ moving back to area upon completing her medical residency. And will be practicing in the community

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

Daughter is family medicine doctor practicing locally and son-in-law is public service attorney.

Signature of Petitioner(s):

Address:

2100 N. Heritage Dr.
Farr West, VT 84404

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☒ Adjacent Property Owners List
- ☒ Public Hearing Set
- ☒ Adjacent Property Owners Notified

☐ Notice Advertised on: _____

☐ Public Hearing Held on: _____

PC Recommendation:

☐ Approve ☐ Reject Date: _____

CC Action:

☐ Approve ☐ Reject Date: _____

Farr West Farms Subdivision No. 3 First Amendment

Farr West Weber County, Utah
A Part of the Southwest Quarter of Section 35,
Township 7 North, Range 2 West, Salt Lake Base & Meridian

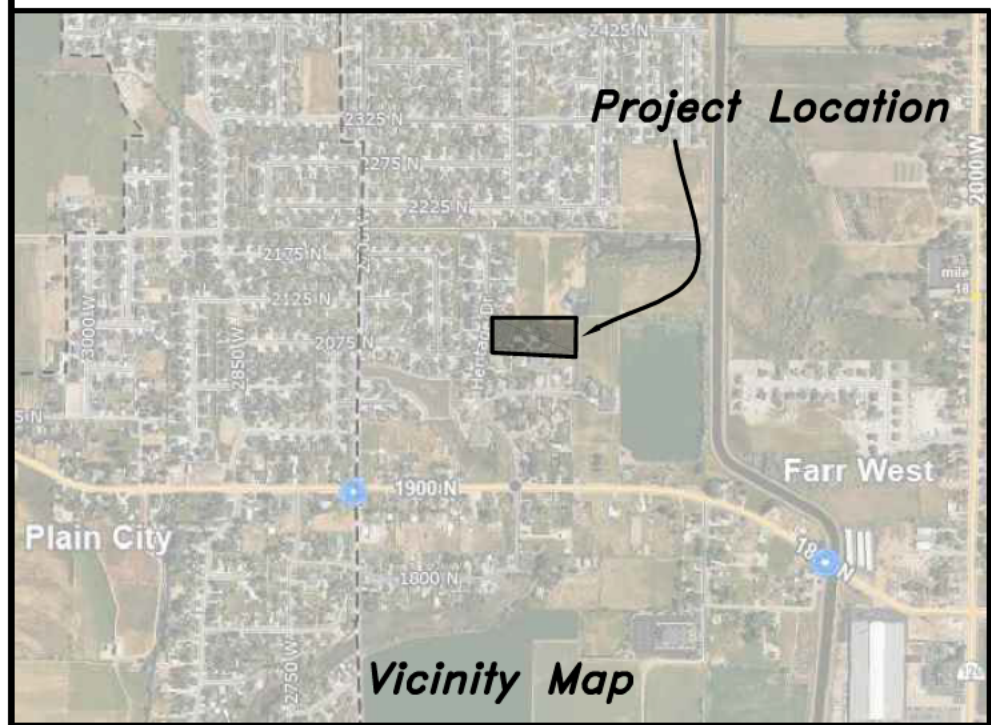
CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD
C1	125°16'49"	55.00'	120.26'	106.29'	N23°18'11"E 97.70'
C2	64°06'08"	30.00'	33.56'	18.78'	N07°17'15"E 31.84'
C3	20°58'12"	230.00'	84.18'	42.57'	N14°16'42"E 83.71'
C4	85°00'59"	55.00'	81.61'	50.40'	N43°25'58"E 74.33'
C5	40°15'48"	55.00'	38.65'	20.10'	N19°12'25"W 37.86'

NOTE:

1 - All public utility easements (P.U.E.) are 10.0 foot wide unless otherwise noted.

2 - Rebar and cap set on all back lot corners with curb nails set in top back of curb and gutter on all side yard projections.

3-No Basements are allowed on any lots due to High Ground Water Levels. Prior to home construction, builder should consult with a Geotechnical Engineer about footing design and location.



Developer: Mark Koehler
22100 N Heritage Dr.
Farr West UT 84404
(801) 721-2355



HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.haies.net
Brigham City Ogden Logan
(435) 723-3491 (801) 399-4905 (435) 752-8272
Since 1957

CITY ENGINEER CERTIFICATE OF APPROVAL

I HEREBY APPROVE THE ABOVE PLAT HAVING REVIEWED IT
FOR CONFORMITY WITH STANDARD ENGINEERING STANDARDS
AND FARR WEST CITY'S SUBDIVISION ORDINANCES.

CITY ENGINEER DATE

PLANNING AND ZONING CERTIFICATE OF APPROVAL

THIS PLAT HAS BEEN REVIEWED AND APPROVED BY THE FARR WEST
CITY PLANNING AND ZONING COMMISSION.

CHAIR PERSON DATE

FARR WEST ATTORNEY

APPROVED AS TO FORM THIS DAY OF
2026.

CITY ATTORNEY DATE

FARR WEST CITY COUNCIL ACCEPTANCE

THE ABOVE PLAT IS HEREBY APPROVED AND ACCEPTED
BY THE FARR WEST CITY COUNCIL THIS DAY
OF 2026.

BY: MAYOR
ATTEST: DEPUTY

SURVEYOR'S CERTIFICATE

I, K. Greg Hansen, do hereby certify that I am a Registered Professional Land Surveyor in the State of Utah in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Act; and I have completed a survey of the property described on this plat in accordance with Section 17-73-504 and have verified all measurements, and have placed monuments as represented on this plat, and have hereby Amend and Subdivided said tract into two (2) lots, known hereafter as Farr West Farms Subdivision No. 3 First Amendment in Farr West, Weber County, Utah, and has been correctly drawn to the designated scale and is true and correct representation of the herein described lands included in said Subdivision, based upon data compiled from records in the Weber County Recorder's Office and from said survey made by me or under my supervision on the ground, I further hereby certify that the requirements of all applicable statutes and ordinances of Weber County Concerning Zoning Requirements regarding lot measurements have been complied with.

Signed this day of , 2026.

K. Greg Hansen P.L.S.
Utah Land Surveyor License No. 167819



Subdivision BOUNDARY DESCRIPTION

ALL OF LOT 15, FARR WEST FARMS SUBDIVISION, NO. 3, FILED AS ENTRY NO. 2197744 IN THE FILES OF THE WEBER COUNTY RECORDER BEING SITUATED IN THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST OF THE SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF HERITAGE FARMS SUBDIVISION BEING A POINT ON THE SOUTH BOUNDARY LINE OF SAID LOT 15, LOCATED NORTH 89°35'30" WEST 1495.51 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER AND NORTH 00°00'00" EAST 1081.79 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER;

RUNNING THENCE ALONG THE BOUNDARY LINE OF SAID LOT 15 THE FOLLOWING ELEVEN (11) COURSES; (1) SOUTH 86°15'56" WEST 207.72 FEET TO THE EAST RIGHT-OF-WAY LINE OF HERITAGE DRIVE; (2) NORTHEASTERLY ON A NON-TANGENT CURVE TO THE LEFT ALONG THE ARC OF A 55.00 FOOT RADIUS CURVE, A DISTANCE OF 120.26 FEET, CHORD BEARS NORTH 23°18'11" EAST 97.70 FEET, HAVING A CENTRAL ANGLE OF 125°16'49"; (3) IN A NORTHERLY DIRECTION WITH A REVERSE TANGENT CURVE TO THE RIGHT ON A 30.00 FOOT RADIUS CURVE, A DISTANCE OF 33.56 FEET, CHORD BEARS NORTH 07°17'15" WEST 31.84 FEET, HAVING A CENTRAL ANGLE OF 64°06'08"; (4) NORTH 24°45'48" EAST 12.97 FEET; (5) NORTHERLY TO THE LEFT ALONG THE ARC OF A 230.00 FOOT RADIUS CURVE, A DISTANCE OF 84.18 FEET, CHORD BEARS NORTH 14°16'42" EAST 83.71 FEET, HAVING A CENTRAL ANGLE OF 20°58'12"; (6) NORTH 86°33'37" EAST 174.94 FEET; (7) NORTH 86°59'36" EAST 229.05 FEET; (8) NORTH 88°11'15" EAST 233.56 FEET; (9) SOUTH 00°00'00" EAST 264.00 FEET; (10) NORTH 90°00'00" WEST 490.45 FEET; AND (11) NORTH 00°25'00" EAST 33.42 FEET TO THE POINT OF BEGINNING. CONTAINING 3.649 ACRES.

OWNER'S DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO A LOT AS SHOWN ON THE PLAT AND NAME SAID TRACT STACEE SUBDIVISION FIRST AMENDMENT, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO FARR WEST CITY THOSE CERTAIN STRIPS SHOWN AS PUBLIC UTILITY EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON. THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE, AS MAY BE AUTHORIZED BY FARR WEST CITY. WE HEREBY DECLARE THE PLAT NOTES SHOWN HEREON TO BE EFFECTIVE AND BINDING.

IN WITNESS WE HAVE HERE UNTO SET OUR SIGNATURE THIS THIS DAY OF 2026.

MARK S. KOEHLER, Trustee of THE M & T KOEHLER FAMILY TRUST, dated May 11, 2022.

TERRIE A. KOEHLER, Trustee of THE M & T KOEHLER FAMILY TRUST, dated May 11, 2022.

TRUST ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF WEBER)

ON THIS DAY OF 2026, MARK S. KOEHLER AND TERRIE A. KOEHLER, TRUSTEES OF THE M & T KOEHLER FAMILY TRUST, DATED MAY 11, 2022, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF WEBER, IN THE STATE OF UTAH, THE SIGNERS OF THE ATTACHED OWNERS DEDICATION, TWO IN NUMBERS, WHO DULY ACKNOWLEDGED TO ME THEY SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSE THEREIN MENTIONED ON BEHALF OF SAID TRUST.

STATE OF UTAH NOTARY PUBLIC
COMMISSION NUMBER
NOTARY PRINTED NAME
MY COMMISSION EXPIRES

WEBER COUNTY RECORDER

ENTRY NO. FEE PAID
FILED FOR RECORD AND

RECORDED
IN BOOK OF OFFICIAL
RECORDS, PAGE. RECORDED
FOR

COUNTY RECORDER

BY: DEPUTY