



WEST HAVEN PLANNING COMMISSION AGENDA

August 12, 2026 6:00 P.M.

City Council Chambers
4150 South 3900 West, West Haven, UT
84401

NOTICE IS HEREBY GIVEN THAT ON **AUGUST 12, 2026**, THE PLANNING COMMISSION OF WEST HAVEN CITY WILL HOLD THE FOLLOWING PUBLIC MEETING **6:00 PM**: REGULAR WEDNESDAY PLANNING COMMISSION MEETING. JOIN US DIGITALLY FOR THE PLANNING COMMISSION MEETING AT [HTTPS://US06WEB.ZOOM.US/J/86539464549](https://us06web.zoom.us/j/86539464549). WATCH LIVE AT [HTTP://WWW.YOUTUBE.COM/@CITYOFWESTHAVENUTAH4030](http://www.youtube.com/@cityofwesthavenutah4030).

6:00 Regular Planning Commission Meeting

1. **MEETING CALLED TO ORDER:** Chairman Reed
2. **OPENING CEREMONIES**
 - A. PLEDGE OF ALLEGIANCE Commission Member LaMar
 - B. PRAYER/MOMENT OF SILENCE Commission Member Smith
3. **ACTION ON MINUTES**
 - A. Planning Commission Minutes Meeting Held July 22, 2026
4. **REPORTS** -Actions taken by City Council and other items
5. **DISCUSSION AND ACTION** – Preliminary Site Plan Approval-Fire Station-2625 W 3600 S Parcel #080220037-Applicant John McLaughlin
6. **DISCUSSION AND ACTION** – Preliminary Site Plan Approval-Coffee Shop-4195 S Midland Drive Parcel #087320005-Applicant Logan Johnson
7. **WORKSHOP** – Update to the Landscape Ordinance
8. **ADJOURNMENT**

Emily Green

Emily Green, City Recorder

In compliance with the Americans with Disabilities Act, persons needing special accommodations, including auxiliary communicative aids and services, for this meeting should notify the city recorder at 731-4519 or by email: emilyg@westhavenut.gov at least 48 hours in advance of the meeting.

CERTIFICATE OF POSTING

The undersigned, duly appointed deputy recorder, does hereby certify that the above notice and agenda has been posted in the West Haven City Recorder's office; at the West Haven City Complex on the Notice Board on utah.gov/pmn/ and at westhavenut.gov; mailed and emailed to the West Haven City Planning Commission Chairman and each West Haven City Planning Commission Member who has email capacity and to the city attorney



WEST HAVEN PLANNING COMMISSION MEETING MINUTES

July 22, 2026 6:00 PM

City Council Chambers
4150 South 3900 West, West Haven, UT 84401

Present	
Jeff Reed	Chairman
Andrew Reyna	Vice Chairman
Melinda Stimpson	Commission Member
Linda Smith	Commission Member
Jennifer Streker	Commission Member
James Jenson	Commission Member
George LaMar	Commission Member
Excused	

6:00 Regular Planning Commission Meeting

1. MEETING CALLED TO ORDER:

Chairman Reed

Chairman Reed called the meeting to order at 6:00 PM and welcomed those in attendance.

2. OPENING CEREMONIES

A. PLEDGE OF ALLEGIANCE

Commission Member Stimpson

B. PRAYER/MOMENT OF SILENCE

Commission Member LaMar

3. ACTION ON MINUTES

A. Planning Commission Minutes

Meeting Held

June 24, 2026

Chairman Reed asked that the title for Vice Chairman Reyna be modified on the minutes.

Commission Member LaMar said he was not absent and should be marked as voting nay on agenda item number 7.

Commission Member Streker made a motion to approve the June 24, 2026, minutes. **Commission Member Stimpson** seconded the motion.

AYES:	Chairman Reed, Vice Chairman Reyna, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith, Commission Member LaMar
NAYS:	
EXCUSED:	

4. REPORTS - Actions taken by City Council and other items

Stephen Nelson reported on the July 1, 2026, City Council meeting they held a workshop for the general plan. He said they approved the Home Occupation ordinance but removed auto repair businesses from it. They also approved the Patio Homes ordinance and added in the allowance of a bonus room with the original size limitations. He said on July 15, 2026, City Council adopted the economic strategic plan as recommended.

**5. PRESENTATION ON PUBLIC HEARING – Amendment to the Zoning Map from A-1 to C-2-2231 W 1800 S
Parcels 150710030, 150710069, and 150750018-Applicant Dayna Jardine**

Damian Rodriguez said this zoning map amendment is for three parcels with 20.75 acres total. He said the applicant has provided a written narrative concept for a commercial subdivision that will include an entrance on the future road and a private road. He said the proposal is incompatible with the general plan but is consistent with the economic strategic plan. He said staff recommends three conditions which are one access point to the

future road, where commercial abuts residential development a decorative masonry wall or privacy fence of no less than 5' shall be added, and refuse collection points and any outdoor storage shall be set behind a building.

6. **PUBLIC HEARING** -To Solicit Public Input on the Amendment to the Zoning Map from A-1 to C-2-2231 W 1800 S Parcels 150710030, 150710069, and 150750018-Applicant Dayna Jardine

Commission Member Smith made a motion to enter into public hearing. **Vice Chairman Reyna** seconded the motion.

AYES:	Chairman Reed, Vice Chairman Reyna, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith, Commission Member LaMar
NAYS:	
EXCUSED:	

Chairman Reed invited the public up for comment.

Beth Dykster asked if the new road will take pressure off of 1800 S.

Kerry Dykster said he wanted to see where the new road will go and expressed concern over the placement of the round about and how that might take from him property. He also expressed concern about traffic.

Curtis Goodwin via e-mail expressed concern about approving this zoning map amendment before the public infrastructure of the road is in place. He is concerned that the private road and entrance for Lynn Woodward Electric would be utilized as a primary access point for future development.

Sloan Smith via e-mail is strongly opposed the zoning map amendment. She expressed concern about the encroachment of commercial zoning in residential zones, increased traffic, noise, and light pollution.

Commission Member Jenson made a motion to leave public hearing. **Commission Member Smith** seconded the motion.

AYES:	Chairman Reed, Vice Chairman Reyna, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith, Commission Member LaMar
NAYS:	
EXCUSED:	

7. **DISCUSSION AND ACTION** – Amendment to the Zoning Map from A-1 to C-2-2231 W 1800 S Parcels 150710030, 150710069, and 150750018-Applicant Dayna Jardine

Stephen Nelson showed a map that showed the road alignment.

Amy Hugie said that the top portion could shift a little but will mostly stay the way it's depicted.

Tucker Jardine said the plan is just to make it a commercial subdivision and sell the lots.

Commission Member Stimpson asked if he owned all the land in color depicted on the concept map.

Mr. Jardine said they own everything but the triangular piece depicted in pink.

Stephen Nelson said that piece is not part of the zoning map amendment application.

Kerry Dykster asked if the walking trail would be staying where it was originally planned to be.

Mr. Jardine said the City said they would be relocating the walking trial to the west side of the road.

Vice Chairman Reyna expressed some concerns about the road alignment moving.

Commission Member LaMar shared the same concern.

Commission Member Stimpson said she isn't comfortable approving this with the information presented.

Chairman Reed agreed.

Commission Member Smith asked how long until the general plan is adopted.

Stephen Nelson said the plan is for this fall.

Commission Member LaMar made a motion to recommend denial of the petition to rezone the properties at 2231 W 1800 S in West Haven finding the request to rezone the properties from A-1 to C-2 does not conform with the current General Plan and may have conflicts with the surrounding property. In addition, the General Plan is currently under consideration, and the plan for this area may be updated. **Commission Member Streker** seconded the motion.

AYES:	Chairman Reed, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith, Commission Member LaMar
NAYS:	Vice Chairman Reyna
EXCUSED:	

8. **DISCUSSION AND ACTION** – Consideration of a Conditional Use Permit-4086 W 4450 S Parcel #082540012- Application for an Accessory Dwelling Unit that is oversized and with reduced setbacks-Applicant Janette Aparicio

Stephen Nelson said this conditional use permit is to allow for the conversion of an existing barn into an accessory dwelling unit of over 1200 square feet. He said in section 157.474 accessory dwelling units that are over 1200 square feet can be allowed but they must have an increased setback. The applicant is requesting a reduction of setbacks. In section 157.461 it says "Second-story accessory dwelling units, an accessory dwelling unit located in an accessory structure, may only be located on a second story if the structure meets the same minimum standards in the zone for height, as well as front, side, and rear setback, as the primary dwelling." This accessory dwelling unit is requesting a second story. They meet the side setbacks but are 10' from the rear property line. The code requires 20' and would be allowed at 15' if there weren't any windows. He said the Planning Commission can consider privacy fencing. He said the overall location of the structure is the first concern and the second is the aesthetics do not match the primary residence. The plans for this building were submitted after the construction was done which the building department can still inspect but will have to remove drywall in order to do so.

Chairman Reed asked who completed the construction on the building.

Janette Aparicio said that a family member who works in the construction industry completed the work.

Commission Member Jenson asked what is holding up the building permitting process.

Stephen Nelson said that the conditional use permit typically needs to be approved before issuing the building permit.

Commission Member Stimpson suggested tabling this item.

Commission Member LaMar said he is not ok allowing this because others have not gotten the same consideration while building their accessory dwelling units.

Vice Chairman Reyna made a motion to table. **Chairman Reed** seconded the motion.

AYES:	Chairman Reed, Vice Chair Reyna, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith
NAYS:	Commission Member LaMar
EXCUSED:	

9. **WORKSHOP**- Update to the R-3 Zoning Ordinance

Stephen Nelson went over the significant changes proposed in the ordinance.

Commission Member LaMar said that private roads have in the city are much narrower and some don't even have room for emergency vehicles to turn around in. He suggested requiring the same standards for private roads as public roads.

Vice Chairman Reyna said he likes the idea of the live-work spaces but stressed the need for adequate parking.

Chairman Reed expressed concern that the live-work example used looks like an apartment complex.

10. **WORKSHOP** – Update to the Landscape Ordinance

Commission Member Stimpson made a motion to table. **Vice Chairman Reyna** seconded the motion.

AYES:	Chairman Reed, Vice Chair Reyna, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith, Commission Member LaMar
NAYS:	
EXCUSED:	

11. **ADJOURNMENT**

Vice Chair Reyna made a motion to adjourn at 8:31 PM. **Commission Member Streker** seconded the motion.

AYES:	Chairman Reed, Vice Chairman Reyna, Commission Member Streker, Commission Member Jenson, Commission Member Stimpson, Commission Member Smith, Commission Member LaMar
NAYS:	
EXCUSED:	

Emily Green

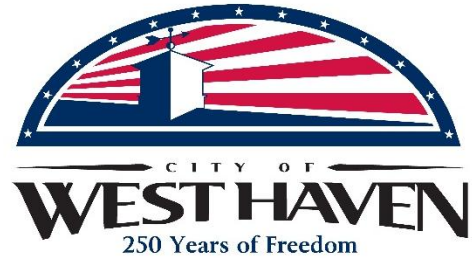
City Recorder

Date Approved:

Planning Commission Staff Review Memo

August 12, 2026

Damian Rodriguez, Planner

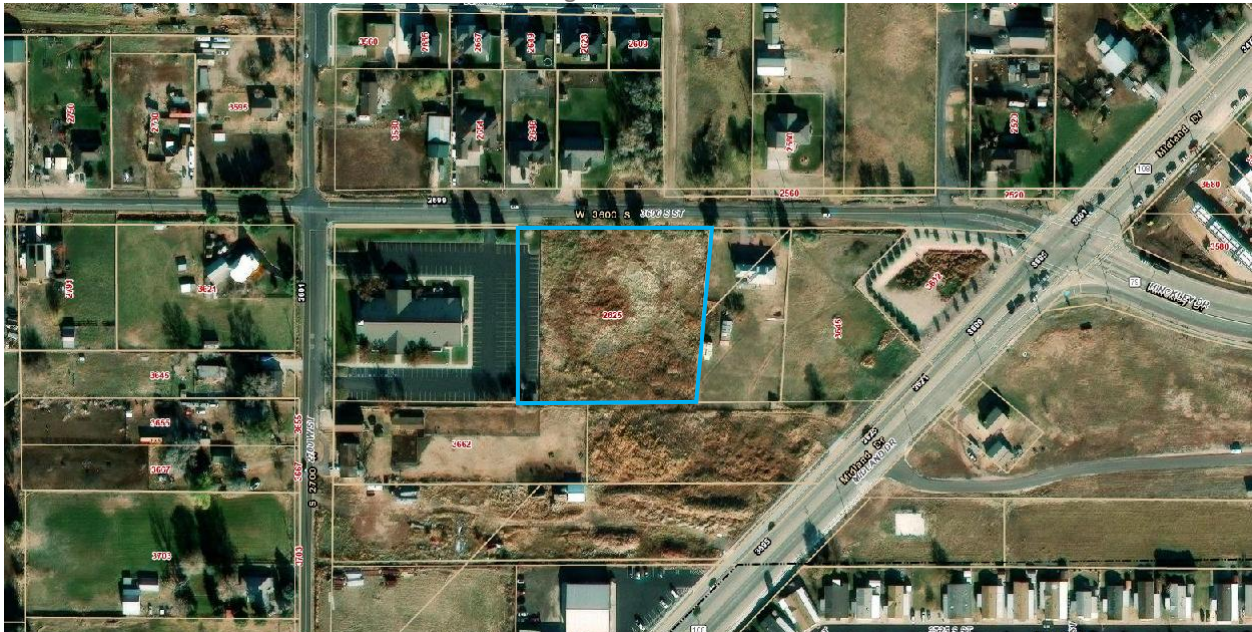


PRELIMINARY SITE PLAN REVIEW

Request: Grant preliminary site plan for the Weber County Fire Station
Property Location: 2625 West 3600 South
Property Zone: A-1, Agricultural
Property Size: 2.2 acres
Applicant: John McLaughlin, AJC Architects

Governing Document(s): WHZC §157.236, §157.733 and §157.734
Decision Type: Administrative
Staff Recommendation: Approval

Image 1: Site Aerial



I. BACKGROUND

The applicant requests that the Planning Commission approve the proposed preliminary site plan for a Weber County Fire District fire station for the property at 2625 West 3600 South (the

proposal). The proposal consists of a nearly 15,400-square-foot building on the subject property, which is approximately 2.2 acres in size.

The applicant has attended a pre-application meeting with the West Haven Development Review Committee (staff) prior to submitting the subject proposal and has since been working closely with staff to address all staff comments and corrections.

Image 2: Proposed Site Plan (topside north)

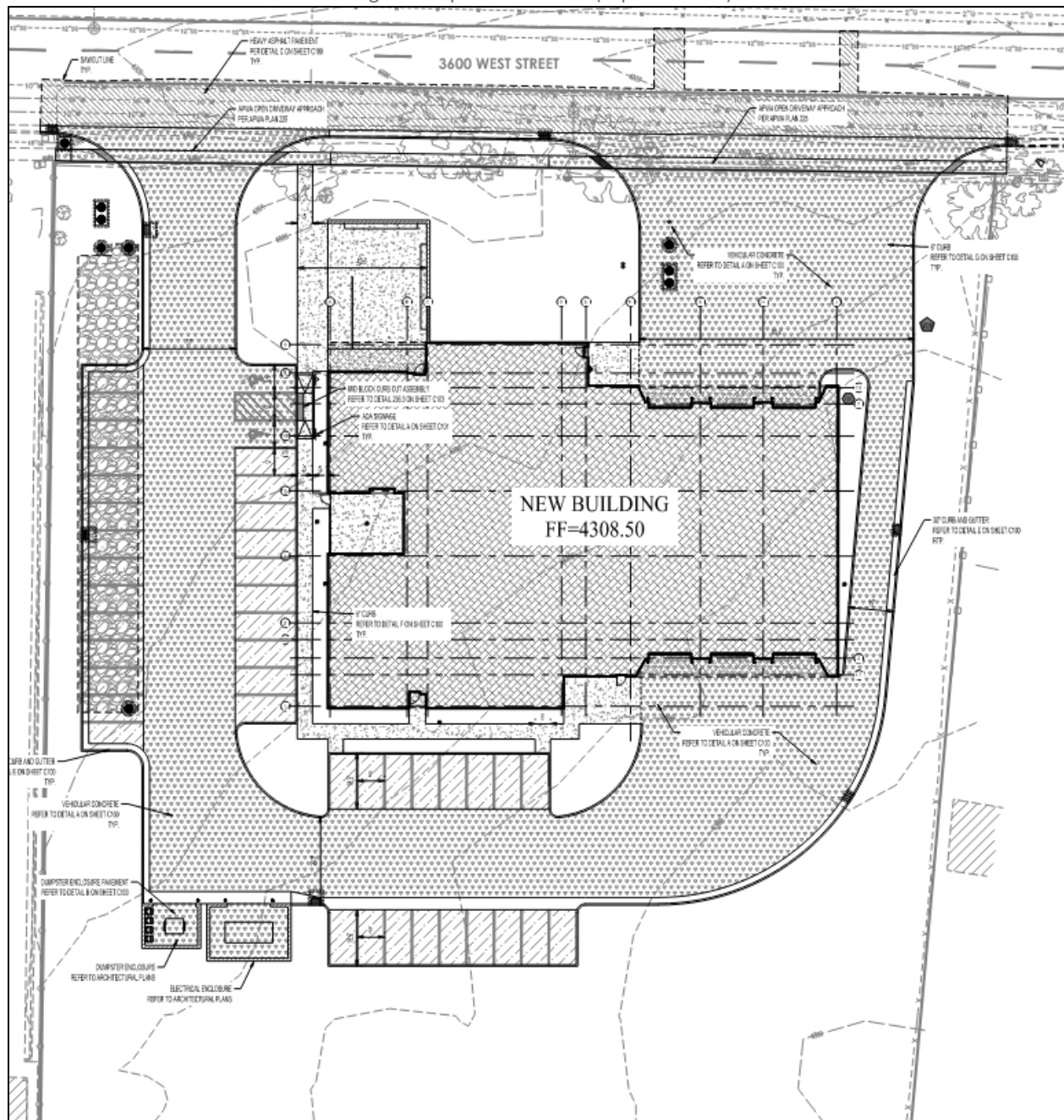


Image 3: Architectural Rendering of Proposed Building



II. STAFF REVIEW

Staff's review of the proposed preliminary site plan and accompanying documents (*the proposal*) as it pertains to the requirements of the West Haven Zoning Code is as follows:

Use

The land use would be classified as a Public Building and is permitted outright in the zone.

§157.291 Site Development Standards

	Zone: A-1	Site Plan Proposal	Compliant?
Building height			
Maximum	35'	27'	Yes
Minimum lot area	20,000 sf	2.2 acres	Yes
Min lot width	150'	308'	Yes
Min yard setbacks			
Front	30'	55'	Yes
Rear	30'	150'	Yes
Side	20'	35'	Yes

Side, adj. to street	20'	NA	Yes
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§157.733 STANDARDS OF REVIEW

The purpose of the *Design Review* code (§§157.730 through 157.737), as specified in the ordinance, is to ensure that the general design, layout, and appearance of buildings and structures are compatible with their surroundings and aid the orderly and harmonious development of the city. All civic or public development proposals shall be subject to the provisions of the stated code.

The Planning Commission shall consider the matters specified below (A through G) in its review of a preliminary site plan packet for a public service building development proposal. Where the plan set is found to be deficient, the plans shall be amended, or conditions may be imposed to mitigate the inherent deficiencies. The Development Review Committee's findings for each matter of consideration are provided below the subject consideration. These findings are provided to assist the Planning Commission in its analysis and decision-making.

*(A) **Traffic Safety and Circulation.** (1) Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to traffic ingress, egress, and internal circulation, and (2) a traffic study shall be required, if in the opinion of the Planning Commission, with input from the Development Review Committee, such would be necessary.*

Finding: City Planning and Engineering staff have reviewed the plan set and found no deficiencies in ingress, egress, or internal circulation. Staff do not believe a traffic study is necessary for the proposed project at this time.

*(B) **Parking.** Does the site plan comply with city ordinances regarding design, location and number of parking stalls required?*

Finding: The minimum parking standard for the use of *Government Services* is five parking stalls plus two additional stalls for every 1,000 square feet of building gross floor area. The number of stalls proposed complies with the ordinance; however, the stalls are undersized, as each stall must be at least 180 square feet by code.

Staff recommend the following conditions of approval:

- All staff comments and corrections listed on the attached corrections report are satisfactorily addressed prior to final site plan approval.

*(C) **Signage.** Does the proposed signage comply with the city sign ordinance?*

Finding: The only signage proposed is wall-mounted lettering, as depicted on the building elevation drawings, and it complies with the sign ordinance standards for the sign type.

*(D) **Landscaping.** Does the proposed landscaping comply with the landscaping standards of this subchapter and the other applicable standards of the zoning ordinance?*

Finding: The proposed landscaping is compliant with all landscaping standards of the zoning ordinance, including buffer spaces, tree and shrub quantities, and the limitation of turf grass for all non-residential developments.

*(E) **Building/site layout.** Do the proposed buildings and structures comply with the standards set forth in the subchapter as well as other applicable standards of the zoning ordinance?*

Finding: The proposed building and layout of the site comply with the development standards of A-1, Agricultural Zone. See the table in Section II of this report.

*(F) **Engineering standards.** Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to utility easements, drainage and other engineering requirements?*

Finding: The applicant has provided a set of civil engineering drawings that city staff reviewed for code compliance. Engineering staff has provided corrections on the initial submittal. A second, revised submittal is currently under review.

Will-serve letters are required as part of the preliminary site plan review application submittal criteria, and those documents have not yet been obtained due to technical difficulties at the site. In a nutshell, the available water service is inadequate for the proposed use due to insufficient pressure. As infrastructure extensions would be necessary to access this apparently insufficient pressure, the applicant may opt to de-annex from the current water provider's jurisdiction in favor of annexing into another provider's jurisdiction. This annexation may result in adequate water service and greater infrastructure expenses. A clear resolution is not yet apparent.

The stated difficulties are not entirely site-specific but seem to be prevalent in the immediate vicinity. The commission might recall that a preliminary site plan for a tire retail store was approved in February of this year for the property at 3645 S Midland Drive, which had the same issue with utility serviceability. The said parcel on Midland Drive is only 150' to the east of the subject property.

Because of the unique service challenges of the area, staff felt that the proposal on Midland warranted the approval in February, despite its lack of will-serve letters that are otherwise required at the preliminary review phase. Likewise, staff believe that the lack of will-serve

letters for the subject proposal should not prevent the proposal from obtaining preliminary approval. The site's civil engineering is to be approved prior to final site plan approval, and the applicant and staff both feel confident that the stated utility complications can be resolved prior to final approval.

In regard to the lack of utility serviceability verification, staff recommend the following conditions of approval:

- Will-Serve letters are provided from the required utility service providers prior to final site plan approval.

(G) **Governing documents.** *Is the site subject to a master development agreement or any conditions or agreements related to the property?*

Finding: The site is not subject to a master development agreement or any additional conditions or restrictive agreements related to the property.

§ 157.734 Design Requirements

Design approval may include such other conditions consistent with the considerations of this subchapter as the Commission or Planning Director deem reasonable and necessary under the circumstances to carry out the intent of this subchapter.

Building materials. New buildings shall be designed and constructed to meet the following criteria.

- (1) Building exteriors shall be designed and constructed with primary and secondary building materials from the list of building materials in division (C) below.*
- (2) The front elevation, as well as any other elevation which faces the street shall be constructed of a minimum of 60% primary materials, with a maximum of 40% secondary materials.*
- (3) Windows and doors shall be excluded from the calculation of exterior building material requirements. Non-functioning, decorative only windows may be included in the calculation of building materials.*
- (4) A maximum of six colors for the primary materials may be permitted.*
- (5) Secondary materials shall be of a complementary hue and shade to primary building materials. A maximum of four accent colors may be allowed for secondary materials.*
- (6) A minimum of 15% of the front elevation, as well as any side or rear elevation which faces the street or major corridor, shall consist of upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.*
- (7) Non-primary elevations which do not face the street or major corridor shall consist of at least 5% upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.*

Finding: The proposed building meets or exceeds the primary material minimum requirements for all facades. Exterior finish materials include brick, architectural metal panels, glass, and GFRC panels. Likewise, the proposal exceeds the Upgraded Architectural Feature requirements of the code, and staff consider the proposal to be of exceptional architectural quality.

III. **RECOMMENDED ACTION**

Based on the findings of Section II of this report, staff recommend that the Planning Commission **approve** the proposed preliminary site plan, subject to the following conditions:

1. All staff comments and corrections listed on the attached corrections report are satisfactorily addressed prior to final site plan approval.
2. Will-Serve letters are provided from the required utility service providers prior to final site plan approval.

IV. **POSSIBLE MOTION**

Approve with staff-recommended conditions: Motion to approve the proposed preliminary site plan for the fire station at 2625 West 3600 South, finding that the design of the site and proposed building is compliant with the applicable regulations of the ordinance, and the proposal is ready for final site plan review when the following conditions are applied:

- All staff comments and corrections listed on the attached corrections report are satisfactorily addressed prior to final site plan approval.
- Will-Serve letters are provided from the required utility service providers prior to final site plan approval.

Approve with modified conditions: Motion to approve the proposed preliminary site plan for the fire station at 2625 West 3600 South, finding that the design of the site and proposed building is compliant with the applicable regulations of the ordinance, and the proposal is ready for final site plan review when the following conditions are applied:

(List conditions of approval)

Approve outright: Motion to approve the proposed preliminary site plan for the fire station at 2625 West 3600 South, finding that the general design of the site and proposed buildings are compliant with the applicable regulations of the ordinance, and the proposal is ready for final site plan review.

Table: Motion to table the review of the proposed preliminary site plan for the fire station at 2625 West 3600 South, finding that the design of the proposal is not compliant with the applicable regulations to the point of not being ready for final site plan review, and the applicant needs to amend the proposal before preliminary approval can be considered.

McLaughlin

Permit/License #

04/07/2026 - 04/06/2027

6906159

Site Plan and Design Review

Reference Number

General

7511b350-329b-11f1-bc04-e59e405e566c

Application Status

Status

Under Review

Active

Application Review Status

Pre-Review

Complete

Date Submitted

This applicant has been accepted for further review.

04/07/2026

Planning & Zoning

Reviewing

Engineering

Not Reviewed

Building

Not Reviewed

Fire

Not Reviewed

Public Works

Not Reviewed

Final-Review

Not Reviewed

Fees

There are no fees

Payments

There are no payments

Application Form Data

(Empty fields are not included)

Project Type

Preliminary Site Plan and Design Review

Applicant First Name

John

Applicant Last Name

McLaughlin

Email

[REDACTED]

Phone

[REDACTED]

Address

[REDACTED]

City

Salt Lake City

State

UT

Zip Code

84105

Owner First Name

Britt

Owner Last Name

Clark

Email

[REDACTED]

Phone

[REDACTED]

Address

[REDACTED]

City

Farr West

State

UT

Zip Code

84404

Consultant/Engineer Name

Mark Cook

Email

[REDACTED]

Phone

[REDACTED]

Address

City

South Jordan

State

UT

Zip Code

84095

Consultant or Engineer Firm Name

Meridian Engineering, Inc.

Project Address

2625 W 3600 S

City

West Haven

State

UT

Zip Code

84401

Parcel Number

080220037

Property Zone (select all that apply)

A-1

Development Type

Commercial

Proposed Use

Public Building - Fire Station

Project Description

The project will be a new ground up fire station with a three-bay apparatus area, as well as a living area and ten sleep rooms intended to support 24 hour operation of the emergency facility.

Building Sq. Ft

18692

Lot Size (in acres)

2.2

Upload Completed Affidavit of Understanding and Acceptance of Fees and Costs

 BC - West Haven Affidavit 4.7.26.pdf

Upload the proposed site plan, including access and traffic circulation, building location and setbacks, building elevations, landscaping, parking, and signage plans

 26-0406-WEBER FIRE-WEST HAVEN-PRELIMINARY SITE PLAN PACKAGE.pdf

Upload all other supporting documents (including utility service letters)

 GeoTechnical Report 7-2025- Weber Fire.pdf

 Ground Motion Study- 7-2025- Weber Fire.pdf

 20260421 West Haven Wetland Delineation Letter.pdf

Signature

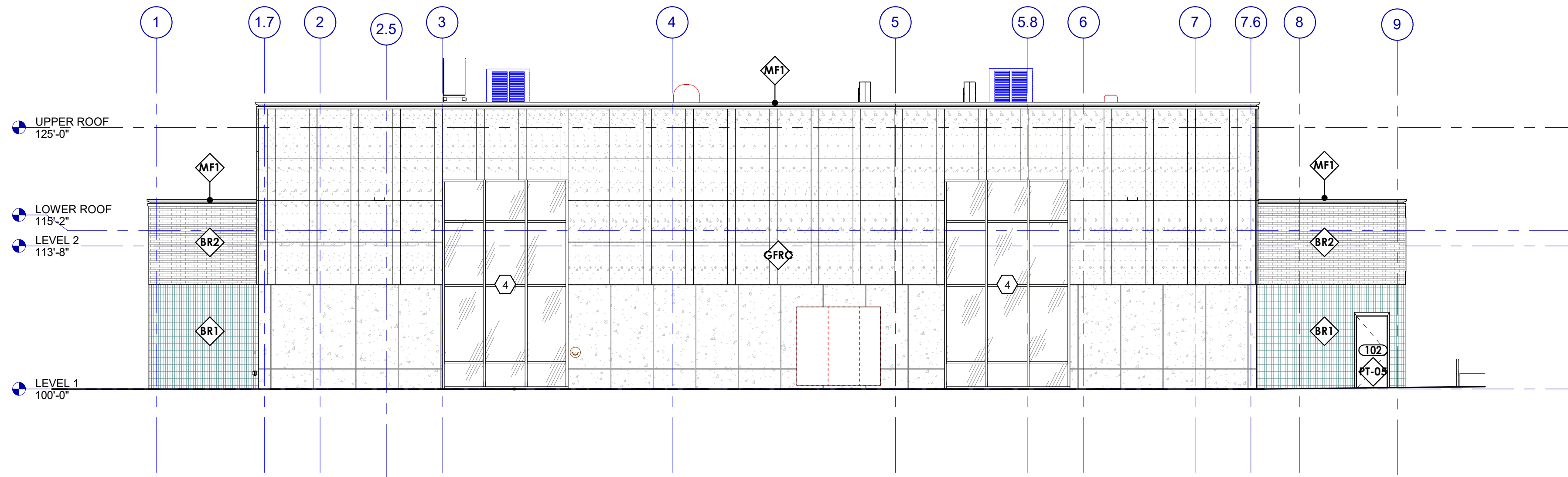
I agree that the facts stated in this application are true, and upon changes I will provide notification as needed.

Electronically Signed

John McLaughlin - 04/07/2026 10:04 am

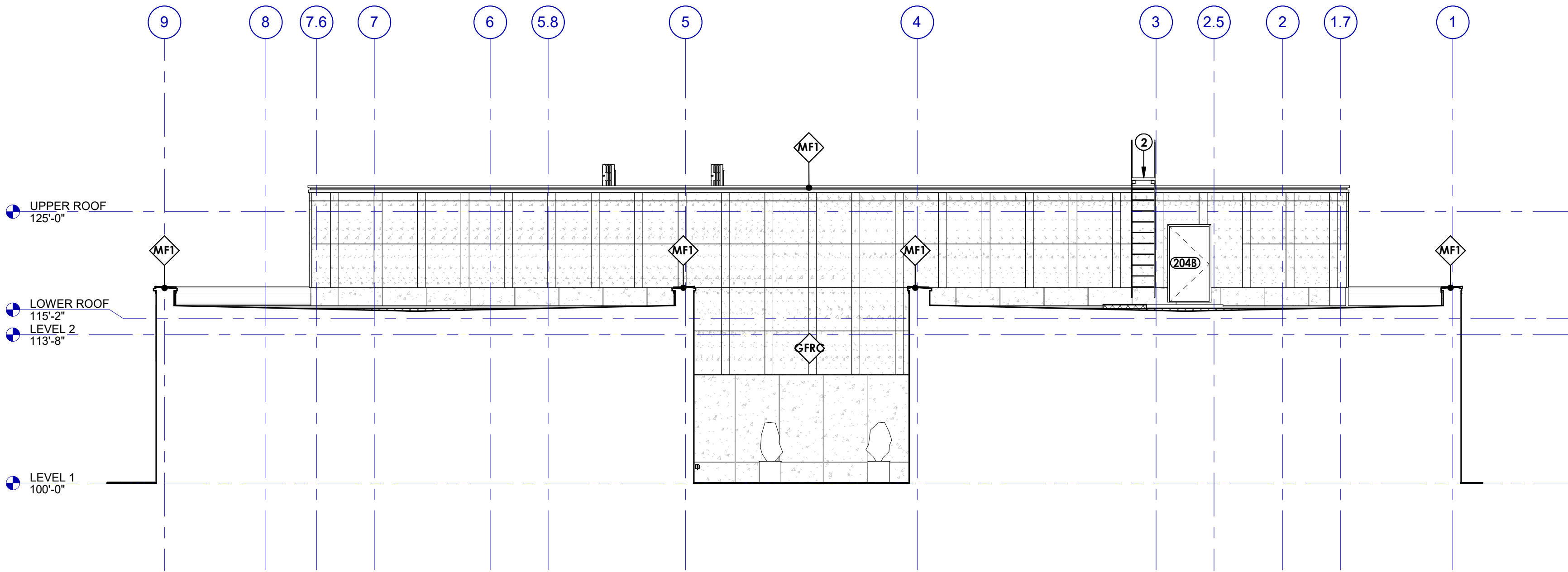
7/7/2026 2:54:29 PM Autodesk Docs://2025-22 Weber Fire District - West Haven/2025-22 Weber Fire District-West Haven-V24.rvt
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS P.C. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF AJC ARCHITECTS. ANY REUSE, REPRODUCTION, OR DISCLOSURE OF THESE DRAWINGS WITHOUT WRITTEN CONSENT OF AJC ARCHITECTS IS A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ARCHITECTURAL PROFESSION AND MAY BE SUBJECT TO LEGAL ACTION. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF THE PROFESSIONAL ETHICS OF THE ARCHITECTURAL PROFESSION AND MAY BE SUBJECT TO LEGAL ACTION. ANY REUSE, REPRODUCTION, OR DISCLOSURE OF THESE DRAWINGS WITHOUT WRITTEN CONSENT OF AJC ARCHITECTS IS A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ARCHITECTURAL PROFESSION AND MAY BE SUBJECT TO LEGAL ACTION.

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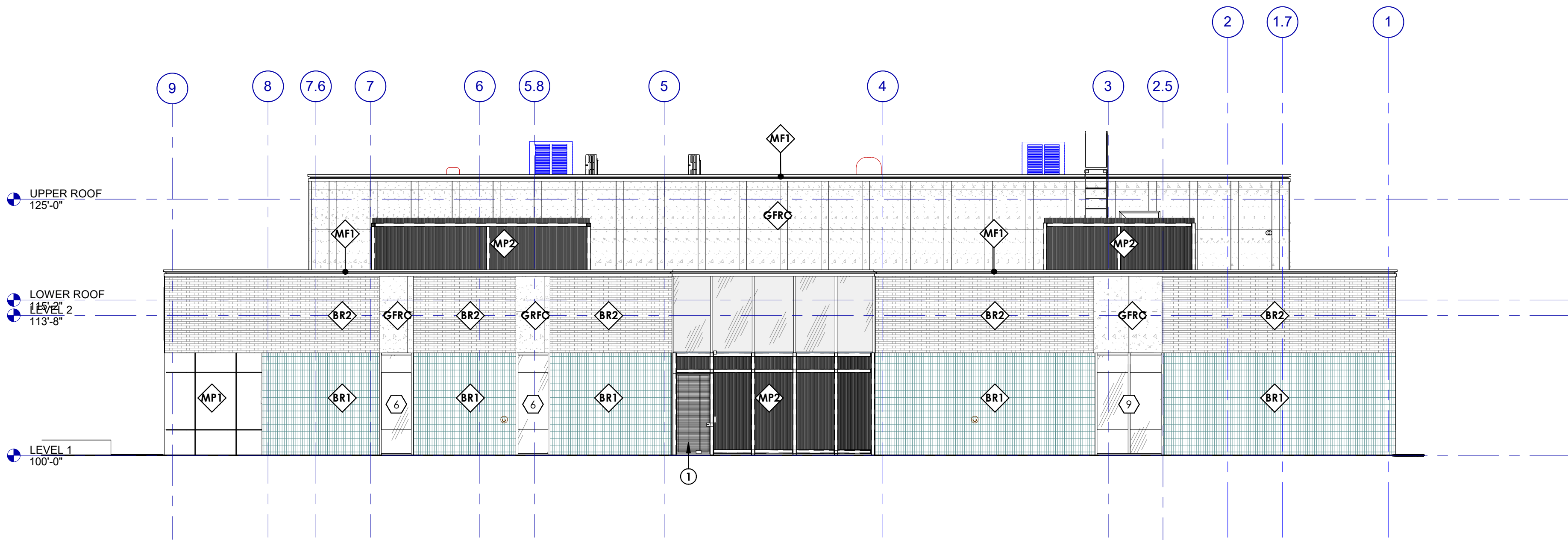
C1 EAST ELEVATION
1/8" = 1'-0"

C



B1 PARTIAL WEST ELEVATION
1/8" = 1'-0"

B



A1 WEST ELEVATION
1/8" = 1'-0"

A

GENERAL NOTES:

SEE SHEET GI001 FOR DRAWING INDEX.

SEE SHEET GI002 FOR GENERAL NOTES AND ABBREVIATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

ELEVATION FINISHES LEGEND

GLASS FIBER REINFORCED CONCRETE PANELS - CAST FINISH - CUSTOM PROFILE	GFRG
METAL PANEL - PREFINISHED; COLOR MATCH W/APP BAY DOORS - SEE FINISH LEGEND	MP1
METAL PANEL - PERFORATED CORRUGATED METAL PANEL. COLOR TO MATCH MP1, FINISHED 2-SIDES	MP2
METAL FLASHING - PREFINISHED - DARK BRONZE TO MATCH STOREFRONT SYSTEM	MF1
BRICK VENEER - VERTICAL STACK BOND COURSING - 2-1/4" x 8" (NOM)	BR1
BRICK VENEER - FLEMISH BOND - EMPEROR BRICK STRETCHERS, 4" (NOM) HEADERS	BR2
EXTERIOR STOREFRONT SYSTEM - DARK BRONZE ANODIZED ALUMINUM - SEE WINDOW TYPES	FR1
EXTERIOR HOLLOW METAL DOORS & FRAMES - PAINT HIGH PERFORMANCE COATING - SEE DOOR TYPES	PT-09

KEYED NOTES:

- BLACK ALUMINUM GATE, SEE SPECIFICATIONS.
- ROOF ACCESS METAL LADDER: GALV. & PTD.

ajc architects

703 east 1700 south
salt lake city, ut 84105
ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

WEBER FIRE DISTRICT -
STATION 63

2625 W 3600 S
WEST HAVEN, UT
84401

SHEET NAME:

EXTERIOR ELEVATIONS

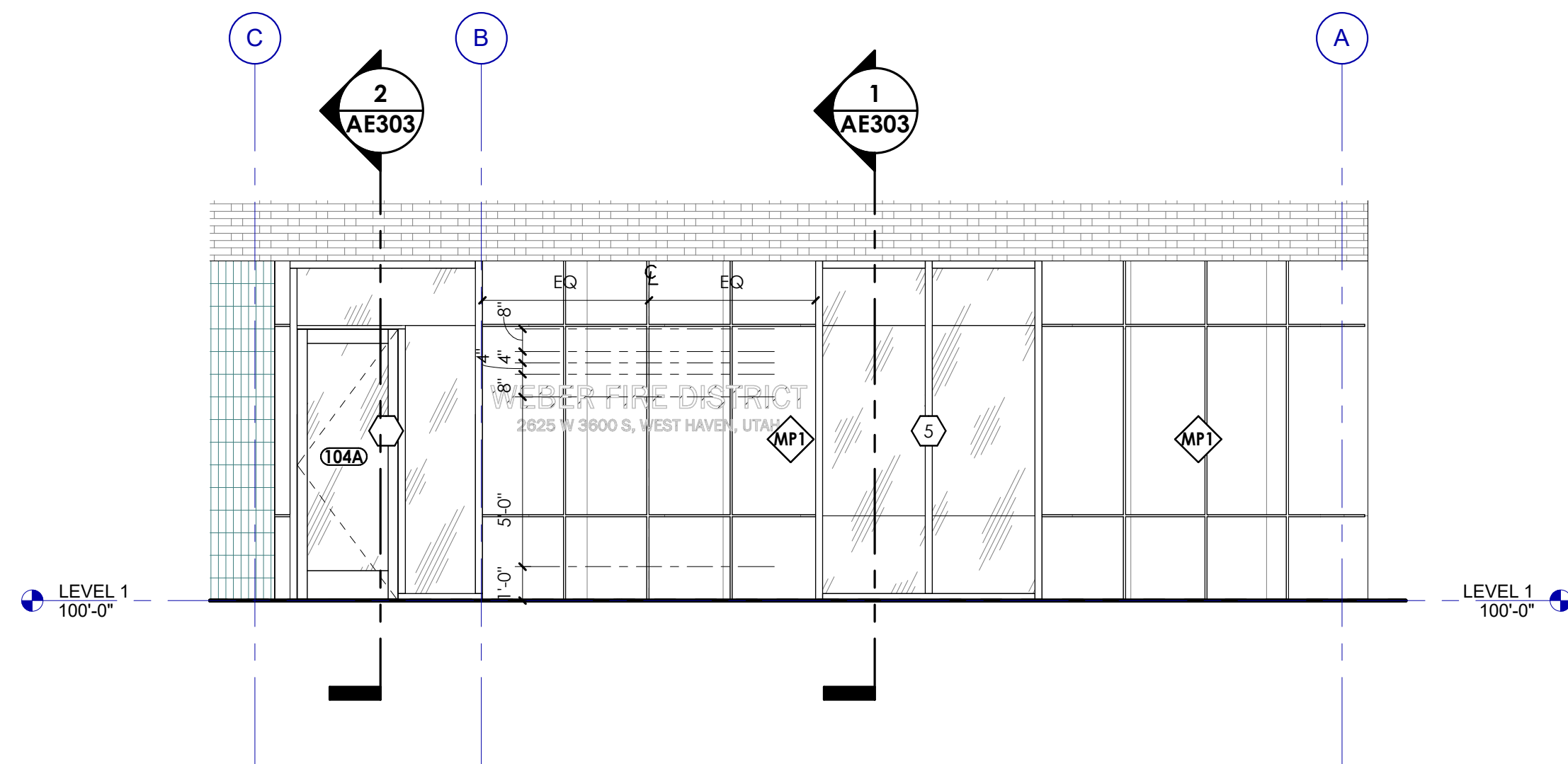
REVISIONS

MARK	DATE	DESCRIPTION
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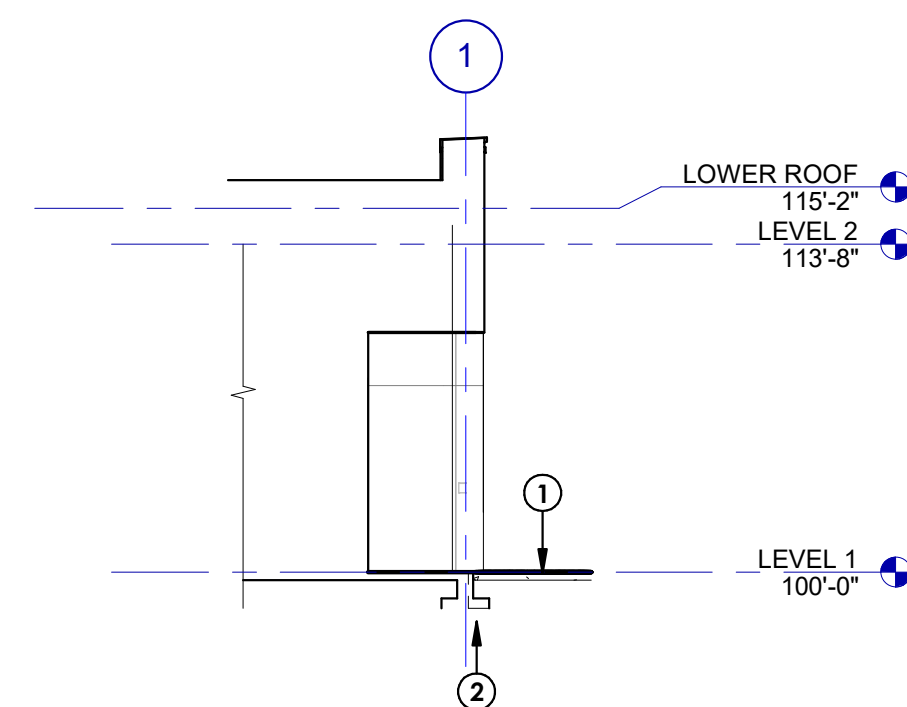
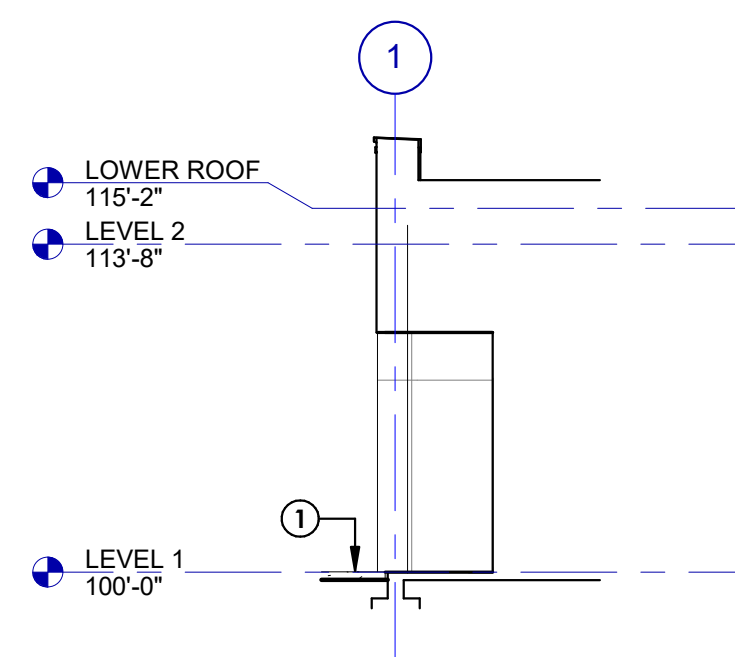
ISSUE DATE: 2026
ISSUE TYPE: 50% CD
DRAWN BY: ajc
CHECKED BY: K. RIGBY
PROJECT#: 2025-22

SHEET NUMBER:

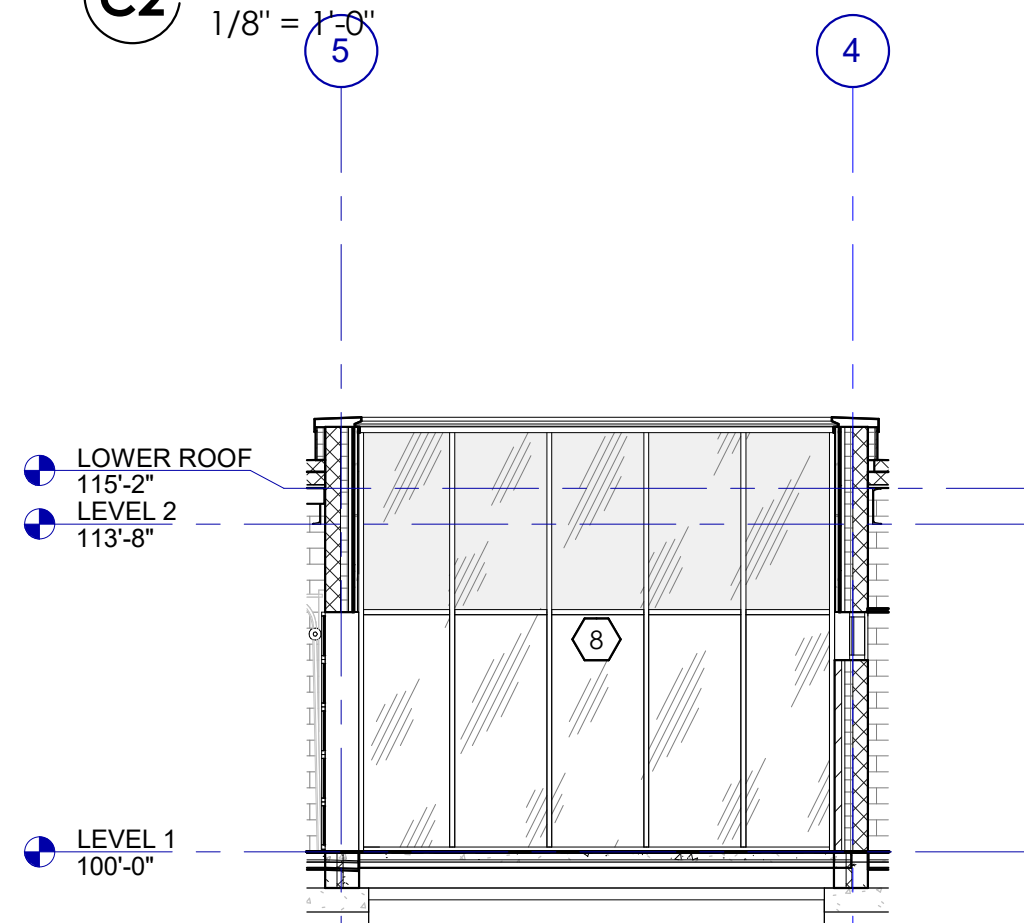
AE201



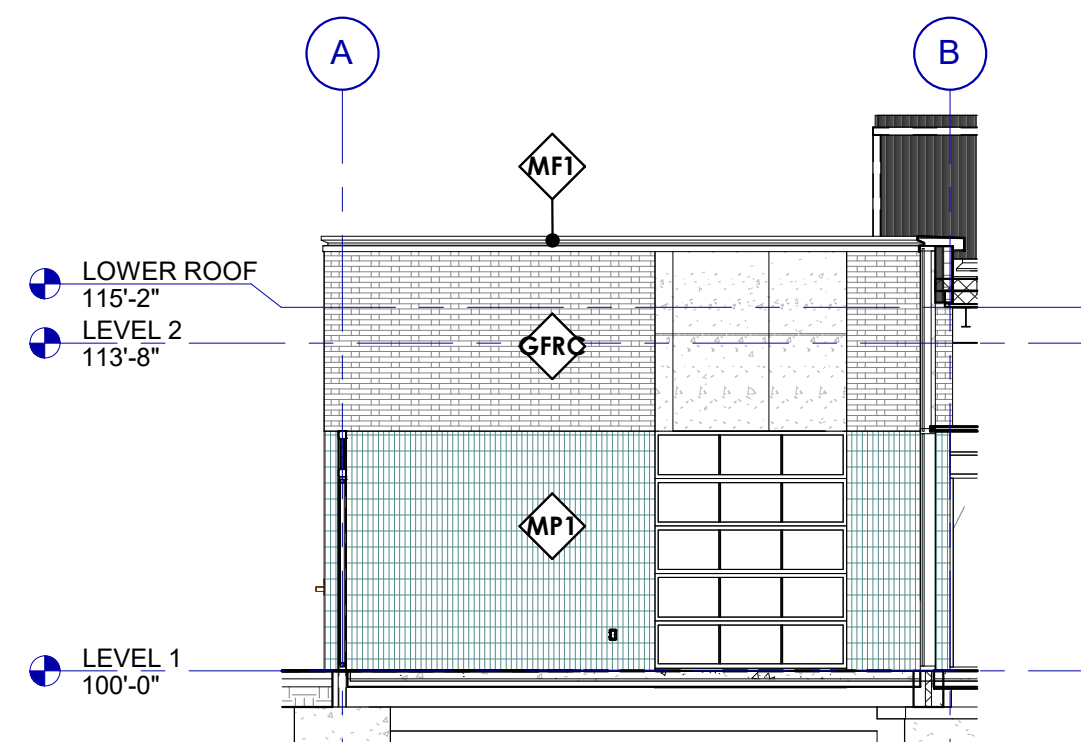
D2 ENLARGED ELEVATION - ENTRY METAL SIGNAGE, NORTH
1/4" = 1'-0"



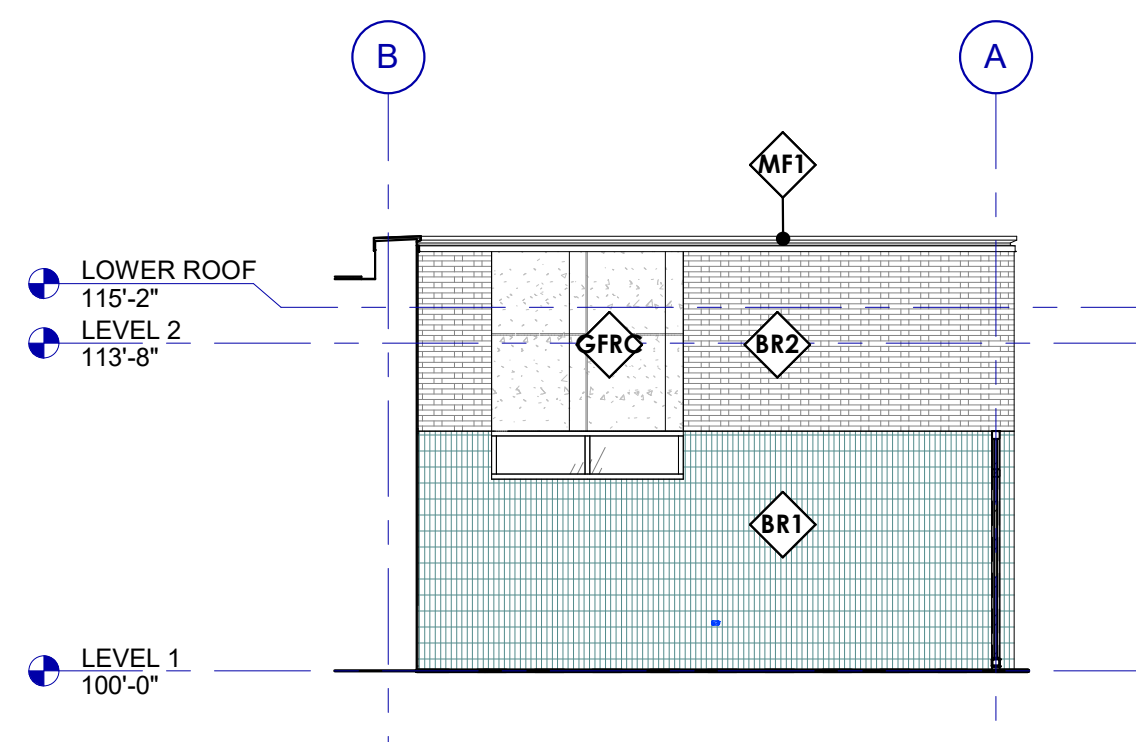
C2 ELEVATION - SOUTH ENTRY - WEST



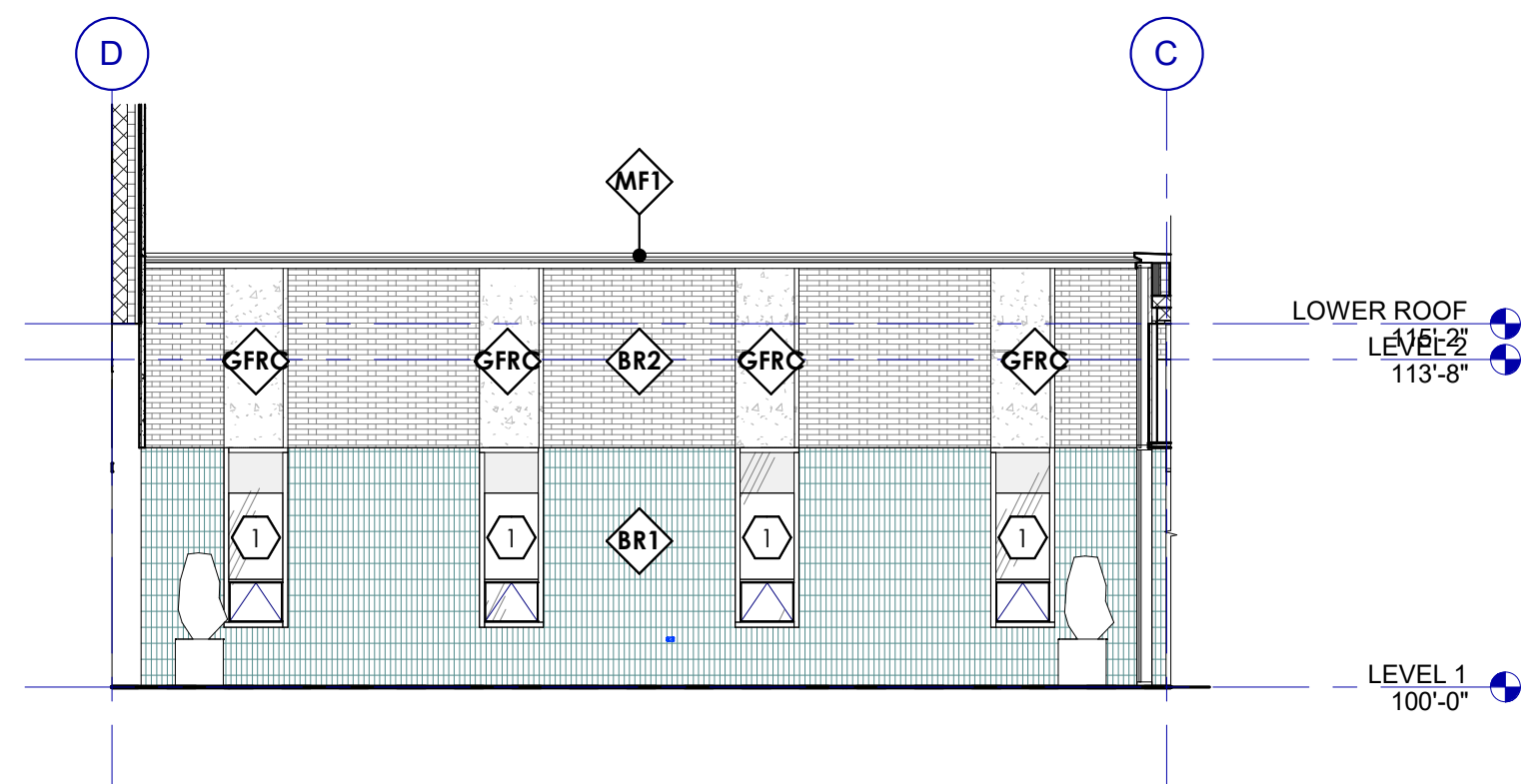
C3 ELEVATION - SOUTH ENTRY - EAST
1/8" = 1'-0"



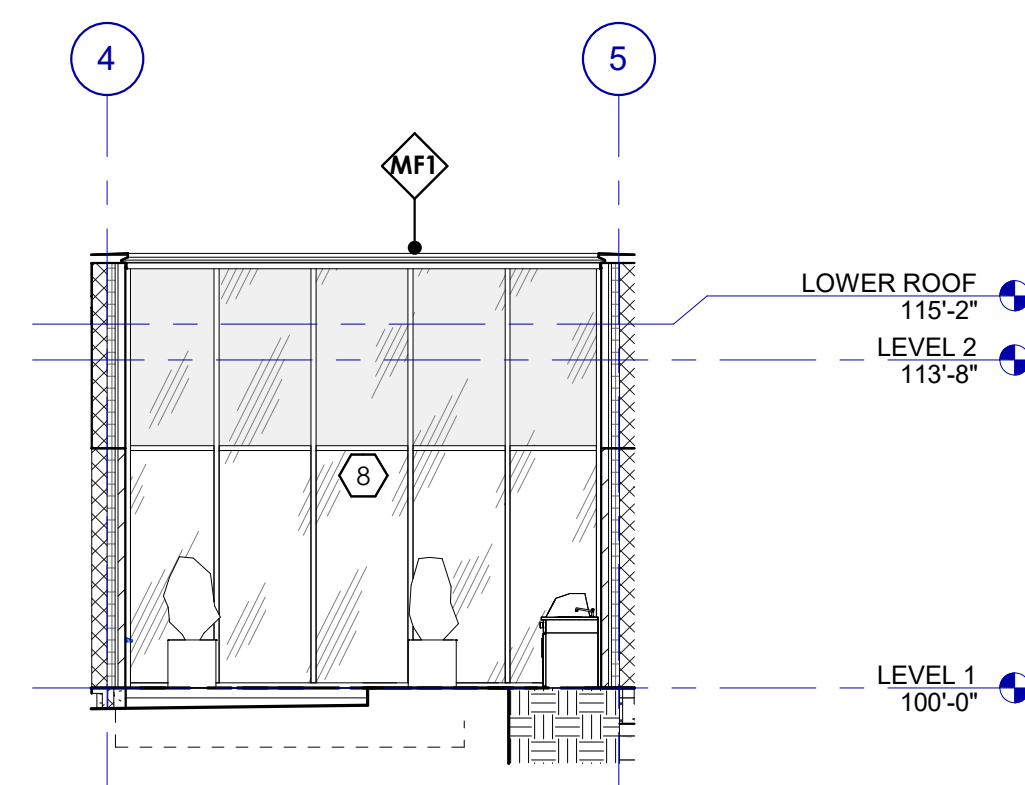
B3 **ELEVATION - EXERCISE YARD - NORTH**
1/8" = 1'-0"



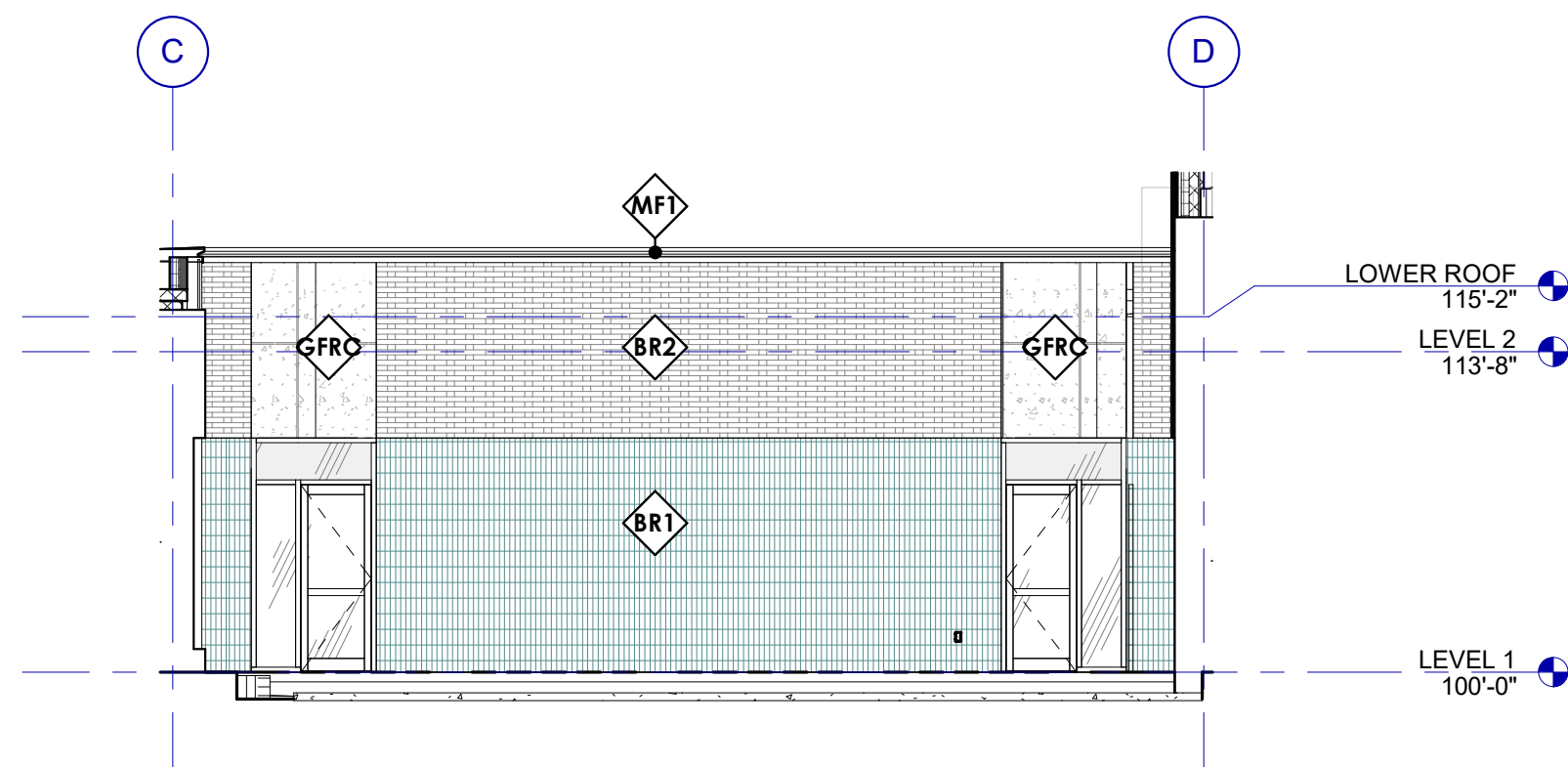
B1 **ELEVATION - EXERCISE YARD - SOUTH WALL**
1/8" = 1'-0" , DWG REF: AE102



A1 ELEVATION - INTERNAL COURTYARD - SOUTH WALL
1/8" = 1'-0", DWG REF: AE102



A2 ELEVATION - INTERNAL COURTYARD - EAST
1/8" = 1'-0", DWG REF: AE102



A3 ELEVATION - INTERNAL COURTYARD - NORTH
1/8" = 1'-0" , DWG REF: AE102

GENERAL NOTES:

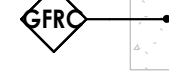
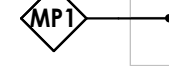
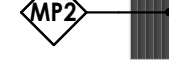
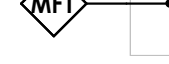
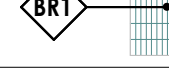
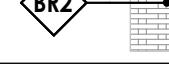
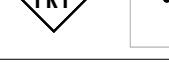
SEE SHEET G1001 FOR DRAWING INDEX.

SEE SHEET GI002 FOR GENERAL NOTES AND ABBREVIATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

ELEVATION FINISHES LEGEND

GLASS FIBER REINFORCED CONCRETE PANELS - CAST FINISH - CUSTOM PROFILE	
METAL PANEL - PREFINISHED: COLOR MATCH W/APP BAY DOORS - SEE FINISH LEGEND	
METAL PANEL - PERFORATED CORRUGATED METAL PANEL, COLOR TO MATCH MP1, FINISHED 2-SIDES	
METAL FLASHING - PREFINISHED - DARK BRONZE TO MATCH STOREFRONT SYSTEM	
BRICK VENEER - VERTICAL STACK BOND COURSING - 2-1/4" x 8" (NOM)	
BRICK VENEER - FLEMISH BOND - EMPEROR BRICK STRETCHERS, 4" (NOM) HEADERS	
EXTERIOR STOREFRONT SYSTEM - DARK BRONZE ANODIZED ALUMINUM - SEE WINDOW TYPES	
EXTERIOR HOLLOW METAL DOORS & FRAMES - PAINT HIGH PERFORMANCE COATING - SFF DOOR TYPES	

ajc architects

703 east 1700 south
Salt Lake City, UT 84105
sajcarchitects.com

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

WEBER FIRE DISTRICT -
STATION 63

2625 W 3600 S
WEST HAVEN, UT
84401

KEYED NOTES:

- 1 CONCRETE PAVING, SEE CIVIL DRAWINGS
2 CONCRETE FOOTING, SEE STRUCTURAL DRAWINGS.

SHEET NAME:

EXTERIOR ELEVATIONS

REVISIONS

MARK	DATE	DESCRIPTION
------	------	-------------

ISSUE DATE: 2026
ISSUE TYPE: 50% CD
DRAWN BY: DG
CHECKED BY: K. RIGBY
PROJECT#: 2025-22

SHEET NUMBER:

AE202

West Haven Improvement Drawing Review

Project	Weber Fire Station at 2625 W 3600 S
Review Cycle	2
Date:	8/2026



Code Reference	City Department	City Comment	Applicant Response
§157.236	Planning	Will-serve letters are needed from the following utility providers: Culinary water, secondary water, and sanitary sewer.	
§157.635(D)(1)	Planning	Each parking space shall be not less than nine feet wide and encompass not less than 180 square feet of net area.	
§32.09(D)(1)	Engineering	See the attached redlined drawings for all comments and corrections related to Engineering and Public Works standards.	
§157.734(A)(6)	Planning	Call out the upgraded architectural features for each façade, including the percentage of coverage for each façade. A minimum of 15% of the front elevation shall consist of upgraded architectural features as defined in division (C). Non-primary elevations that do not face the street or major corridor shall consist of at least 5% upgraded architectural features.	
§157.634	Planning	The Planning Commission may adjust the required number of spaces listed in this	

		subchapter if, based on accepted engineering principles, unusual or unique circumstances or conditions relating to the operational characteristics of the use exist in a manner, or to such a degree, that such adjustment is equitable and warranted. Provide a letter from a traffic engineer that supports a parking reduction, and the commission may adjust the minimum requirement as requested.	
§157.988(B)(1)(c)	Planning	Turf area shall not exceed 15% of the total landscaped area. Specify the Grass Seed Mix as turf or otherwise. If the seeded area is turf, then adjust the area size accordingly.	
IBC	Building	There shall be a complete geotechnical study completed on the site. The number of borings shall be determined by the geotechnical engineer. A copy of the report shall be provided to the city once completed.	
IBC	Building	Provide the slope of accessible parking areas and access aisles. The slope shall not exceed 2% in all directions at any point.	
IBC	Building	Provide the running slope and cross-slope for all accessible sidewalks. Cross slope shall not exceed 2%.	
IBC	Building	Provide elevation detail for accessible parking signage.	

§32.09(D)(1)	Planning	Fire District approval has been received and annotated.	
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*Applicant is responsible for responding to each comment as required by West Haven and Utah State Code. Submittals that fail to respond will be returned to the applicant without closure of the review cycle.



PLANTING NOTES

- ## PLANTING TABLE

REQUIRED OPEN SPACE*	3,301 SF
TREES REQUIRED 1/400 SF	8
TREES PROVIDED	8
SHRUBS REQUIRED 1/200 SF	16
SHRUBS PROVIDED	16

**REQUIRED OPEN SPACE IS DEFINED AS THE 15' OF LANDSCAPE REQUIRED ALONG THE RIGHT-OF-WAY AND 5' OF LANDSCAPE ALONG THE SIDE PARKING.*

LANDSCAPE MATERIAL TABLE

LANDSCAPE MATERIAL	TOTAL SF	% OF TOTAL LANDSCAPE AREA
TURFGRASS	0	0%

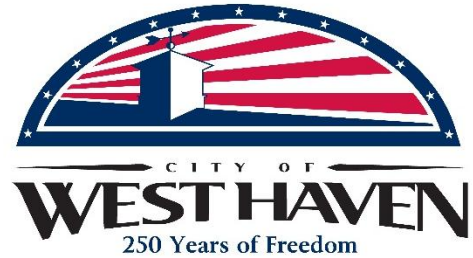


- 

Planning Commission Staff Review Memo

August 12, 2026

Damian Rodriguez, Planner



PRELIMINARY SITE PLAN REVIEW

Request: Preliminary site plan approval for a drive-through coffee shop
Property Location: 4195 S. Midland Drive
Property Zone: C-3, Regional Commercial
Property Size: 28,000 square feet or 0.64 acres
Applicant: Logan Johnson, Wright Development Group

Governing Document(s): WHZC §157.291 §157.733 and §157.734
Decision Type: Administrative
Staff Recommendation: Approval

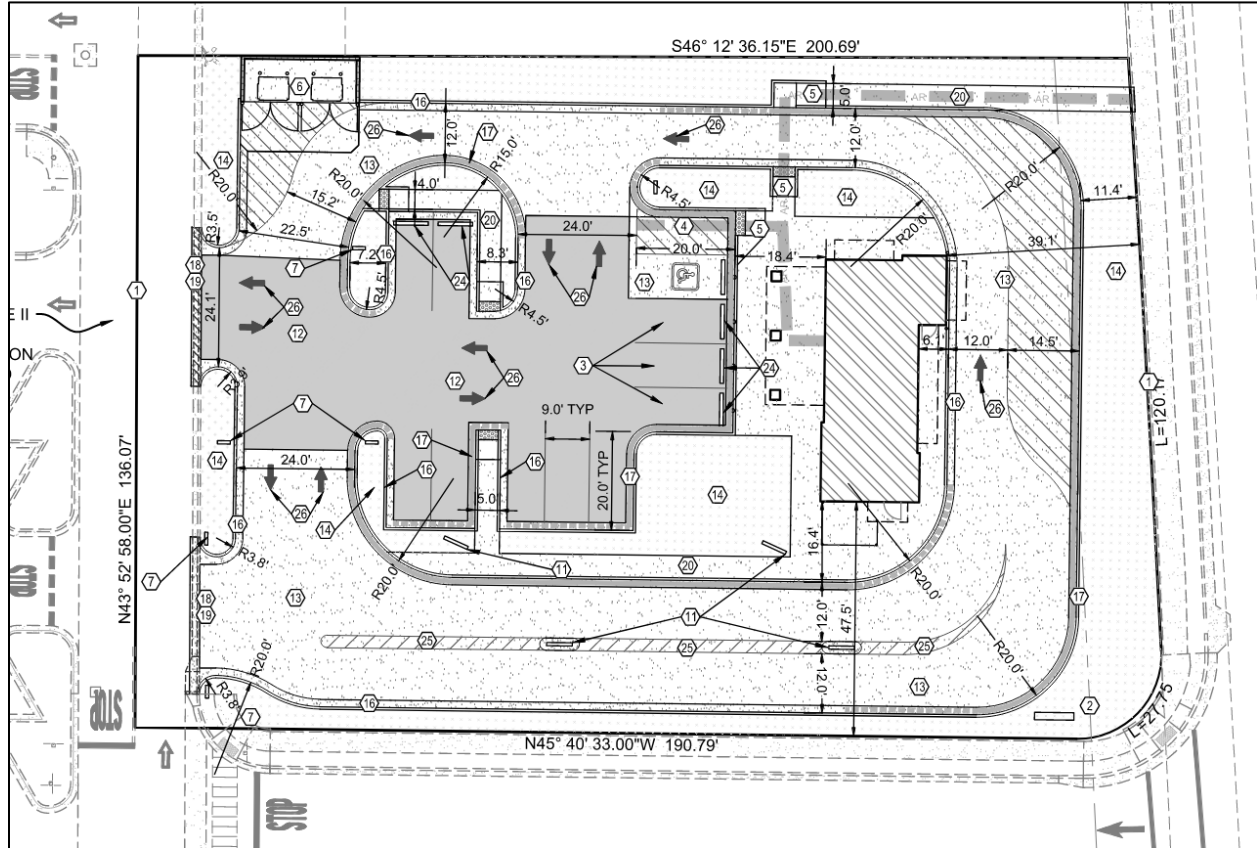
Image 1: Site Vicinity, Aerial Image



I. BACKGROUND

The applicant is requesting the preliminary approval of the proposed site plan for a drive-through coffee shop on Lot 5 of the Walmart Commercial Subdivision, 4195 South Midland Drive. The proposal consists of a single building with an approximate footprint of 1,050 square feet on the subject property, which is 0.64 acres.

Image 2: Proposed Site Plan



II. STAFF REVIEW

Staff's review of the proposed preliminary site plan and accompanying documents (collectively referred to as *the proposal* in this report) as it pertains to the requirements of the West Haven Zoning Code is as follows:

Use

The land use would be classified as a coffee shop, a use that is **permitted outright** in the zone.

§157.291 Site Development Standards

STANDARD		C-3 ZONE	PROPOSAL	COMPLIANCE
Building height				
	Maximum	35' or 25' when adjacent to residential	24'	Compliant

	Minimum	1 story	1 story	Compliant
	Max lot coverage	60%	4%	Compliant
	Minimum lot area	None	28,000 ft ²	Compliant
	Min lot width	None	136'	Compliant
	Min yard setbacks			
	Front	15'	39.1'	Compliant
	Rear	None, except 10' where building rears on a Residential Zone	138.5'	Compliant
	Side	None, except 10' to Residential Zone boundary	40'	Compliant
	Side, adj. to street	15'	NA	Compliant

§157.733 STANDARDS OF REVIEW

Commercial development proposals shall be subject to the provisions of the *Design Review* code (§§157.730 through 157.737). The Planning Commission shall consider the factors listed below, A through G. Where the plan set is found to be deficient, the plans shall be amended, or conditions may be imposed.

*(A) **Traffic Safety and Circulation.** (1) Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to traffic ingress, egress, and internal circulation, and (2) a traffic study shall be required, if in the opinion of the Planning Commission, with input from the Development Review Committee, such would be necessary.*

Finding: The general layout and internal circulation of the Walmart Commercial Subdivision have been reviewed and approved by City and UDOT staff, and the site circulation of the proposal is generally congruent with the overall subdivision. Nevertheless, a vehicle path analysis is required by code when a drive-through service aisle is proposed for commercial use. The applicant has been made aware of this requirement through the attached staff report. Staff does not feel that a condition of approval is necessary in addition to that already proposed

UDOT approval of the site plan has not yet been verified, and for that reason, staff recommends the following conditions of approval:

- UDOT approval of the proposed site plan is provided before final site plan approval.

*(B) **Parking.** Does the site plan comply with city ordinances regarding design, location and number of parking stalls required?*

Finding: Adequate parking is provided, given the proposed land use and the size of the building.

*(C) **Signage.** Does the proposed signage comply with the city sign ordinance?*

Finding: The proposed wall signs are compliant with the city sign ordinance. However, a monument sign is proposed, depicted on the site plan in the southeast corner of the site. Under normal circumstances, a monument sign would be permitted for the proposed use in this zone, but the site is part of a planned commercial center. Any freestanding signage will need to comply with the signage plan approved for the host commercial center.

Regarding site signage, staff recommend the following conditions of approval:

- All freestanding signs will comply with the sign package of the planned commercial center in which the site is located.

*(D) **Landscaping.** Does the proposed landscaping comply with the landscaping standards of this subchapter and the other applicable standards of the zoning ordinance?*

Finding: The proposed landscaping is mostly compliant with the standards of the zoning ordinance, including minimum tree and shrub requirements and plant coverage requirements. The site does, however, lack the required 15' of landscaping along the entire frontage at Midland Drive. The applicant has been made aware of this deficiency through the attached corrections report.

Additionally, the proposed landscape plan shows no plantings in the adjacent park strip, whereas our code requires street trees. Because the adjacent street is state-owned and operated, City staff is currently working with UDOT staff to determine the landscaping requirements of this area.

Staff recommend the following conditions of approval:

- All staff comments and corrections on the attached corrections report are satisfactorily addressed prior to final site plan approval.
- The park strip adjacent to the subject property is landscaped as required by local and state regulations.

*(E) **Building/site layout.** Do the proposed buildings and structures comply with the standards set forth in the subchapter as well as other applicable standards of the zoning ordinance?*

Finding: As demonstrated in the table on pages two and three of this report, the proposal complies with the development standards of the C-3 Zone.

(F) **Engineering standards.** *Does the site plan comply with the West Haven City Engineering Design Standards and Specifications related to utility easements, drainage and other engineering requirements?*

Finding: The proposal has been reviewed for code compliance by Engineering staff, and initial corrections have been returned to the applicant. The proposal and its civil engineering drawings shall be found to be completely compliant with the city's engineering standards prior to final site plan approval. Additionally, all required utility will-serve letters have been provided for the project and site.

(G) **Governing documents.** *Is the site subject to a master development agreement or any conditions or agreements related to the property?*

Finding: The site is not subject to a master development agreement or any other conditions or agreements specific to the property.

§ 157.734 Design Requirements

Design approval may include such other conditions consistent with the considerations of this subchapter as the Commission or Planning Director deem reasonable and necessary under the circumstances to carry out the intent of this subchapter.

Building materials. New buildings shall be designed and constructed to meet the following criteria.

- (1) Building exteriors shall be designed and constructed with primary and secondary building materials from the list of building materials in division (C) below.*
- (2) The front elevation, as well as any other elevation which faces the street shall be constructed of a minimum of 60% primary materials, with a maximum of 40% secondary materials.*
- (3) Windows and doors shall be excluded from the calculation of exterior building material requirements. Non-functioning, decorative only windows may be included in the calculation of building materials.*
- (4) A maximum of six colors for the primary materials may be permitted.*
- (5) Secondary materials shall be of a complementary hue and shade to primary building materials. A maximum of four accent colors may be allowed for secondary materials.*
- (6) A minimum of 15% of the front elevation, as well as any side or rear elevation which faces the street or major corridor, shall consist of upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.*
- (7) Non-primary elevations which do not face the street or major corridor shall consist of at least 5% upgraded architectural features as defined in division (C) below. See division (B) below for those streets which constitute major corridors.*

Finding: The proposed building does not appear to be completely compliant with the design and material standards of the zoning ordinance. Additional information is needed and has been

requested to determine any non-compliances in terms of material primary material prevalence and upgraded architectural features.

By code, the building façade that engages Midland Drive is required to be covered in a minimum of 60% primary materials, as primary materials are defined in the ordinance. Area calculations for finish materials by façade have not yet been provided for review, but the prevalence of stucco (a secondary material) suggests that the east façade does not meet the primary material minimum requirement. Additionally, area calculations for upgraded architectural features are required to verify compliance with that minimum requirement.

Staff believes the recommended condition of approval of subsection D, in this section of the report, is sufficient to address these concerns without the need for any additional condition of approval.

III. RECOMMENDED ACTION

Based on the findings found in section II of this report, staff recommend that the Planning Commission **approve** the proposed preliminary site plan, subject to the following conditions:

- All staff comments and corrections on the attached corrections report are satisfactorily addressed prior to final site plan approval.
- All freestanding signs will comply with the sign package of the planned commercial center in which the site is located.
- The park strip adjacent to the subject property is landscaped as required by local and state regulations.
- UDOT approval of the proposed site plan is provided before final site plan approval.

IV. POSSIBLE MOTION

Approve with staff-recommended conditions: Motion to approve the proposed preliminary site plan for the drive-through coffee shop at 4195 S. Midland Drive, finding that the general design of the proposal is compliant with the applicable regulations of the ordinance and the proposal is ready for final site plan review when the following conditions are applied:

- All staff comments and corrections on the attached corrections report are satisfactorily addressed prior to final site plan approval.
- All freestanding signs will comply with the sign package of the planned commercial center in which the site is located.
- The park strip adjacent to the subject property is landscaped as required by local and state regulations.
- UDOT approval of the proposed site plan is provided before final site plan approval.

Approve with modified conditions: Motion to approve the proposed preliminary site plan for the drive-through coffee shop at 4195 S. Midland Drive, finding that the general design of the

proposal is compliant with the applicable regulations of the ordinance and the proposal is ready for final site plan review when the following conditions are applied:
(List conditions of approval)

Approve outright: Motion to approve the proposed preliminary site plan for the drive-through coffee shop at 4195 S. Midland Drive, finding that the general design of the proposal is compliant with the applicable regulations of the ordinance and the proposal is ready for final site plan review.

Table: Motion to table the proposed preliminary site plan for the drive-through coffee shop at 4195 S. Midland Drive, finding that the design of the proposal is not compliant with the applicable regulations to the point of not being ready for final site plan review, and the applicant needs to amend the proposal before preliminary approval can be considered.

Johnson

Permit/License #

07/15/2026 - 07/14/2027

8974870

Site Plan and Design Review

Reference Number

General

ce9a3b40-7fad-11f1-a4cc-d198f328e313

Application Status

Status

Under Review

Active

Application Review Status

Pre-Review	Complete	Date Submitted
Planning & Zoning	Not Reviewed	07/14/2026
Engineering	Not Reviewed	
Building	Not Reviewed	
Fire	Not Reviewed	
Public Works	Not Reviewed	
Final-Review	Not Reviewed	

Fees

Preliminary Site Plan Fee	\$300.00
Subtotal	\$300.00
Processing Fee	\$10.50
Total	\$310.50
Amount Paid	\$310.50
Total Due	\$0.00

Payments

07/15/2026	Online	\$300.00
Total Paid		\$310.50

Application Form Data

(Empty fields are not included)

Project Type

Preliminary Site Plan and Design Review

Applicant First Name

Logan

Applicant Last Name

Johnson

Email

[REDACTED]

Phone

[REDACTED]

Address

[REDACTED]

City

Centerville

State

UT

Zip Code

84014

Owner First Name

WALMART INC

Owner Last Name

WALMART INC

Email

[REDACTED]

Phone

[REDACTED]

Address

[REDACTED]

City

Centerville

State

UT

Zip Code

84014

Consultant/Engineer Name

Mike Staten

Consultant or Engineer Firm Name

Staten Engineering

Project Address

4195 S Midland Dr

City

West Haven

State

UT

Zip Code

84401

Parcel Number

087320005

Property Zone (select all that apply)

C-2

Development Type

Commercial

Proposed Use

Dutch Bros Coffee Shop

Project Description

Proposing a Dutch Bros Coffee shop on lot 5 of the MARKET PLACE - WEST HAVEN WAL-MART SUB 2ND AMENDED plat.

Building Sq. Ft

1024

Lot Size (in acres)

0.643

Upload Completed Affidavit of Understanding and Acceptance of Fees and Costs

 **Owner-Agent Affidavit Fillable Form.pdf**

Upload the proposed site plan, including access and traffic circulation, building location and setbacks, building elevations, landscaping, parking, and signage plans

 **UT0709 WH Dutch Bros 2026.07.01 Civil Review Set.pdf**

Upload all other supporting documents (including utility service letters)

 **DUTCH BROTHERS WEST HAVEN LANDSCAPE 2026.07.14.pdf**

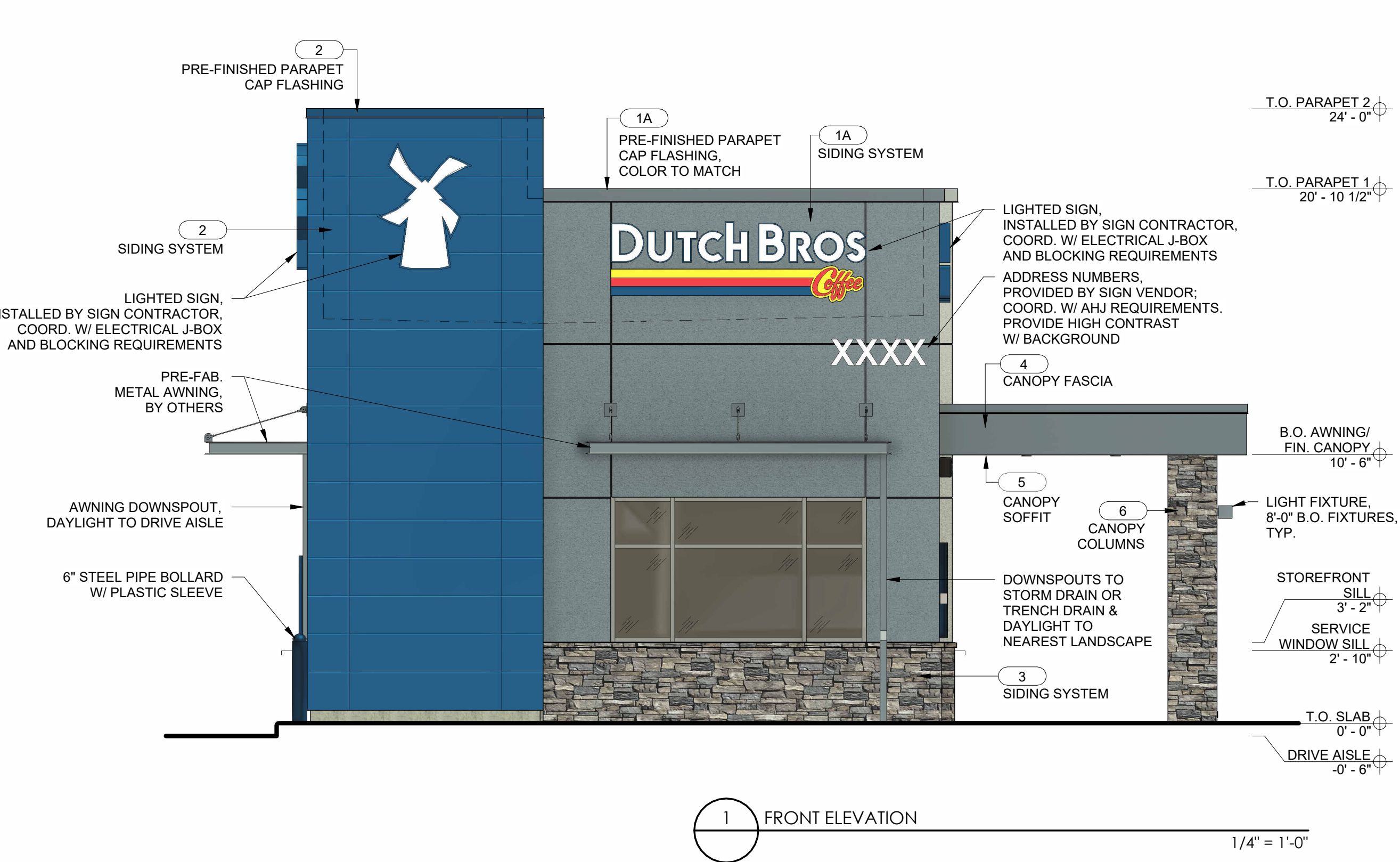
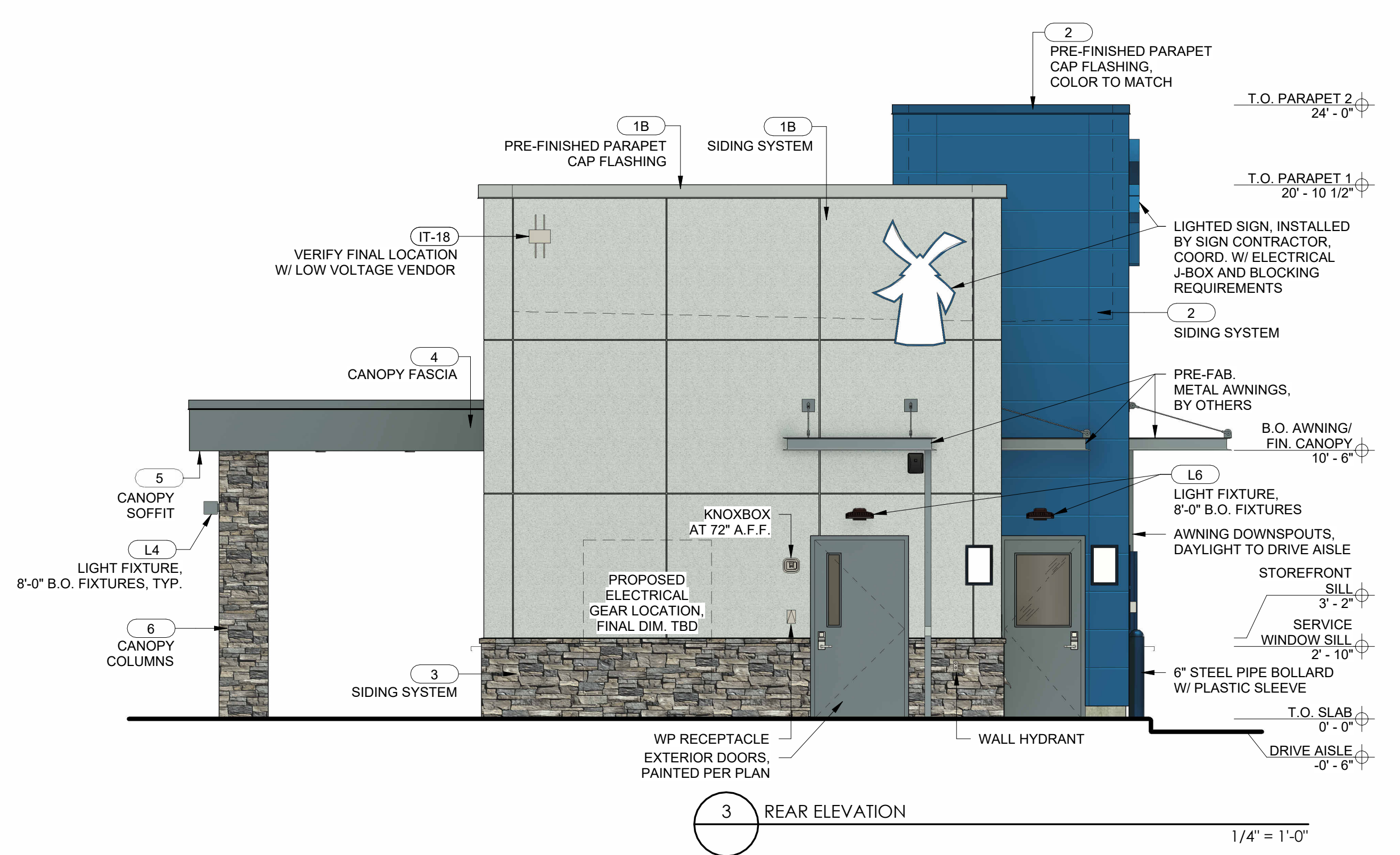
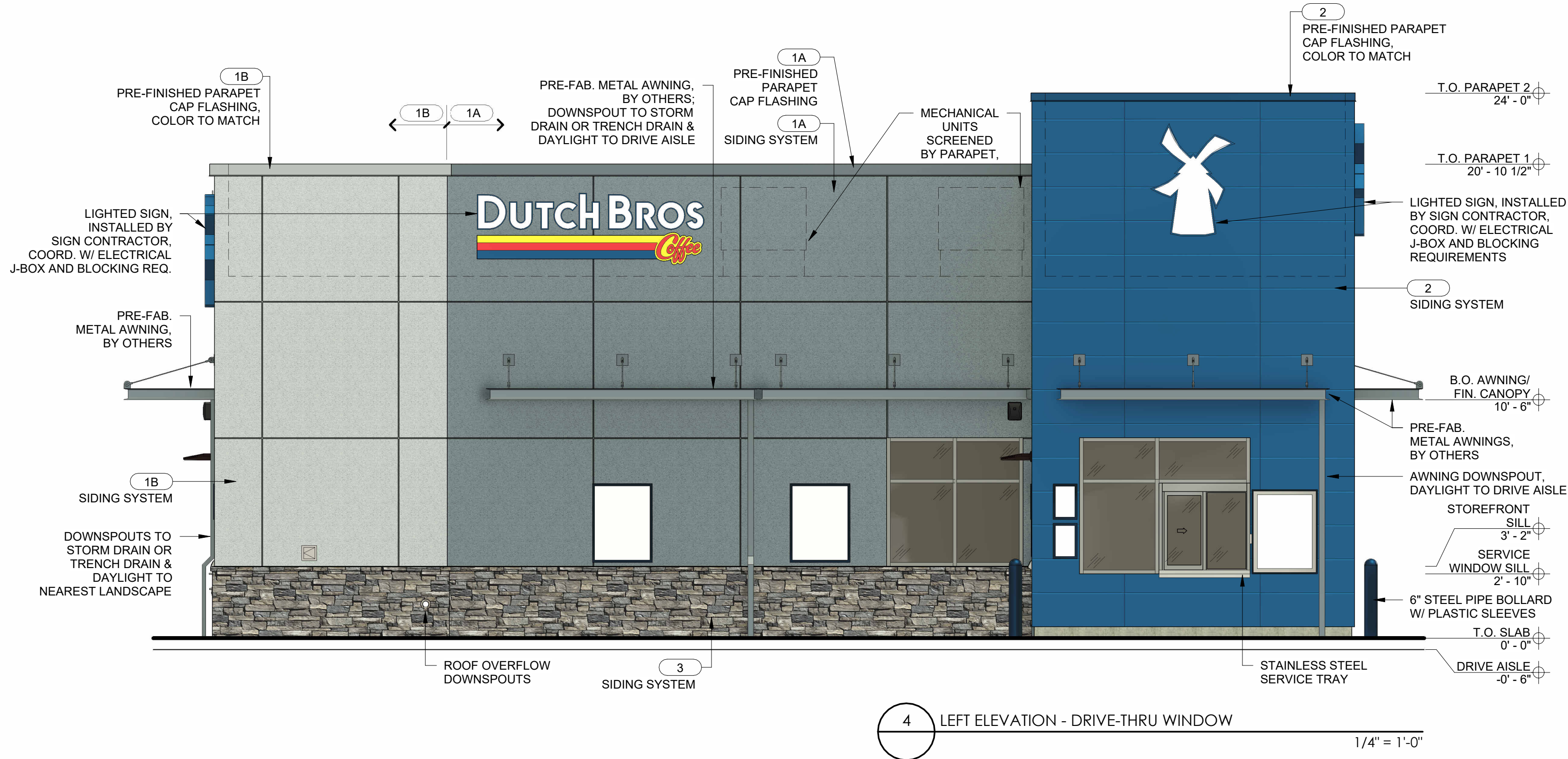
 **UT0709_260626_Issued for Design Review ARCH.pdf**

Signature

I agree that the facts stated in this application are true, and upon changes I will provide notification as needed.

Electronically Signed

Logan Johnson - 07/14/2026 11:59 am



EXTERIOR FINISH SCHEDULE				
NOTE: GC TO PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATION; COLOR: BLDG DB DARK GRAY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE FINISH; REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB DARK GRAY
1B	STUCCO	DRYVIT	CCP-2 SYSTEM, SANDPEBBLE FINE FINISH; REVEALS AS SHOWN	PAINTED; COLOR: BLDG DB DARK GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 w/ FACTORY PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER & SILL	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.; SNAPPED EDGE WAINSCOT SILL, COLOR: SAND
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6, T&G, 1/8" REVEAL, SEALED
6	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.



PORTLAND HEADQUARTERS:
1001 SE SANDY BLVD., SUITE 100
PORTLAND, OR 97214
V. 503.552.9079

ATLANTA OFFICE:
675 PONCE DE LEON AVE. NE,
SUITE 8500
ATLANTA, GA 30308
V. 971-346-2521

WWW.GNICHARCH.COM

Project No: UT0709
Dutch Bros Coffee - New Freestanding Store
SWC S Midland Drive & 4000 S
West Haven, UT 84401
For: Wright Development Group
1178 Legacy Crossing Blvd, Suite 100
Centerville, UT 84014

ISSUED FOR DESIGN
REVIEW:
06.26.2026

REV	DATE	DESCRIPTION

SHEET NAME:

**BUILDING ELEVATIONS
- COLOR**

SHEET NUMBER:

A6.1

West Haven Improvement Drawing Review

Project	Dutch Bros West Haven
Review Cycle	1
Date:	8/5/2026



Code Reference	City Department	City Comment	Applicant Response
§157.731(C)(1)(g)	Planning	Provide will-serve or availability letters from the following utility service providers: 1. Culinary water; 2. Secondary water; and 3. Sanitary sewer districts.	
§157.731(C)(1)(c)	Planning	On the building elevations sheet, provide the percentage of area coverage for each finish material per facade. The façade that faces Midland shall be constructed of a minimum of 60% primary materials (defined in §157.734(C)(1)). Note that stucco is classified as a secondary material.	
§157.733(D)(1)(a)	Planning	Landscaping is required along the entire frontage of the lot (adjacent to Midland Drive) at a minimum depth of 15 feet, as measured from the property line shared with the Midland Drive right-of-way.	

§157.635(D)(1)	Planning	Each parking stall shall be at least 9' wide and encompass no less than 180 square feet.	
§157.632(B)(2)	Planning	Aisle entrances and directional traffic flow shall be clearly designated by signs and pavement markings. Provide such markings near the south property access, before the drive-through entrance.	
§157.632(B)(6)	Planning	A vehicle path analysis shall be performed by a licensed engineer to show how vehicles of various types will maneuver the drive-through lane;	
§157.632(B)(7)(a)	Planning	The west menu board is too close to the drive-through entrance. 80 feet between the drive-through lane entrance and the menu board	
§157.632(C)(1)	Planning	Provide markings or material change to delineate the pedestrian crossing in the drive-through egress lane on the north side of the property. Pedestrian walkways shall have clear visibility and shall be delineated from the pavement.	
§157.731(C)(1)(f)	Planning	Provide a signage plan for review that shows the location, size, and material of all signs. The review of this plan may result in additional comments and corrections.	
§157.759(L)	Planning	Monument signs shall be setback from any adjacent property line one foot for each foot of sign height, including any base or supporting structure.	

§157.731(C)(1)(h)	Planning	Provide landscape features around the proposed monument sign. Monument signs shall be incorporated into a landscaped design or planter box	
§157.731(C)(1)(j)	Planning	Because of the project's proximity to a state highway, UDOT will need to approve the proposed site access and layout. Provide correspondence that proves the site plan has been reviewed by UDOT staff.	
§157.733(E)(4)	Planning	Buildings within 100 feet of the centerline of Midland Drive shall be designed so that it appears the front of the building faces Midland Drive.	
§157.734(A)(6)	Planning	A minimum of 15% of the front elevation (facing Midland Drive) shall consist of upgraded architectural features as defined in §157.734(C)(3) . Non-primary elevations that do not face the street shall consist of at least 5% upgraded architectural features. On the building elevations sheet, provide the percentage of area coverage for each upgraded architectural feature per facade.	
§157.731(C)(1)(b)	Planning	Provide material details for the dumpster enclosure. All dumpsters that are visible from the adjacent public right(s)-of-ways, parking lots, or access drives shall be fully enclosed with opaque fencing or walls.	

§32.09(D)(1)(a)	Planning	The Weber County Fire Marshal's Office shall approve the plan set prior to final site plan approval.	
§157.733(D)(1)(a)	Building	Provide a complete geotechnical study for the site.	
§157.733(D)(1)(b)	Building	The cross slope of the accessible parking area and access aisle cannot exceed 2% at any point. Show the cross slope of the accessible parking area and access aisle.	
§157.733(D)(1)(b)	Building	The slope of the accessible route out of the front of the building is noted as 2.1%. Landings at egress doors shall not exceed 2%. IBC 1010.1.4.	
§157.733(D)(1)(c)	Fire	Please call 801-782-3580 Ext 301 to pay review fee.	
§157.733(F)	Engineering	See the attached redlined drawings.	

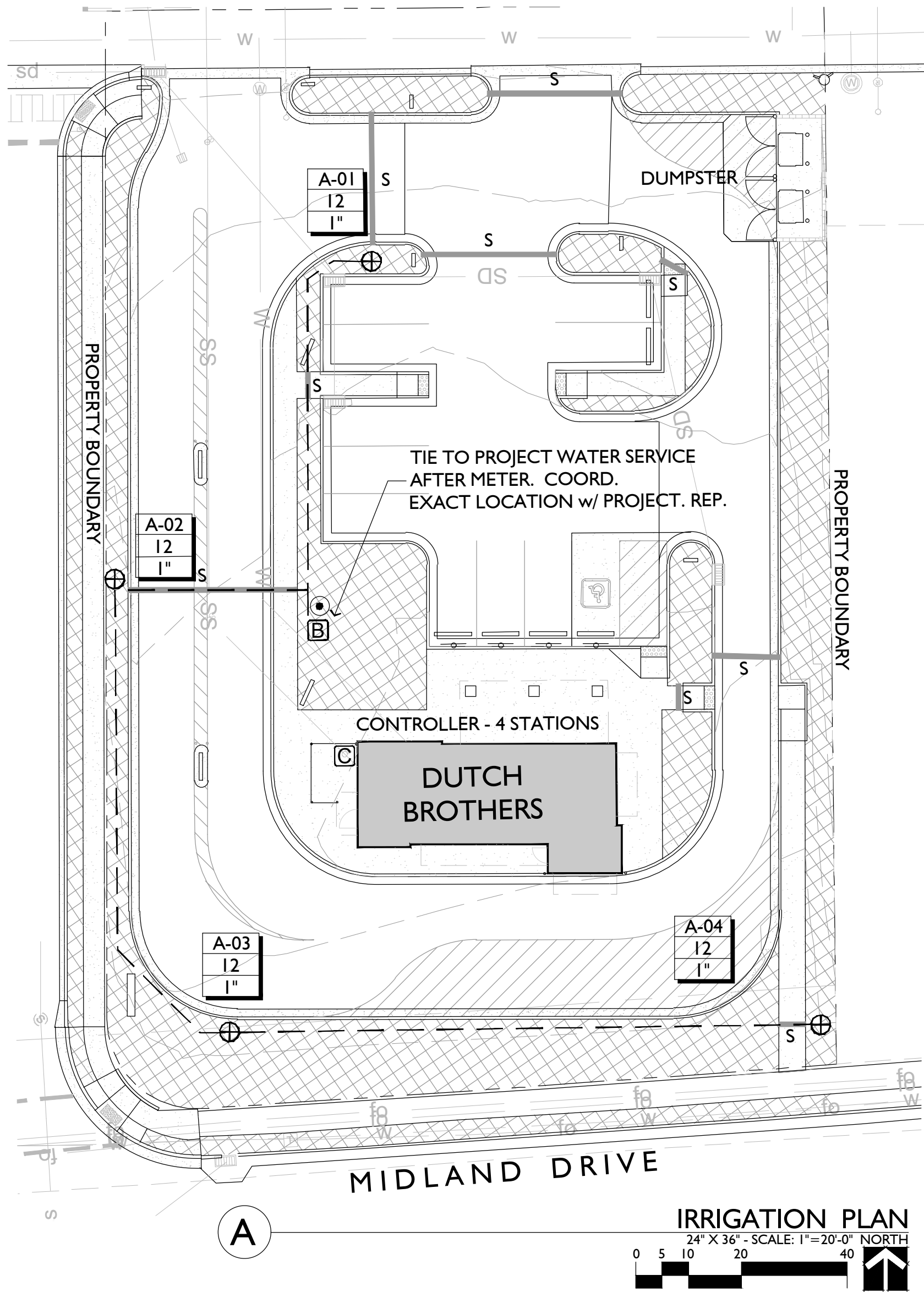
*Applicants are responsible for responding to each comment as required by West Haven and Utah State Code. Submittals that fail to respond will be returned to the applicant without closure of the review cycle.



ISSUE DESCRIPTION	DATE
	7.14.2026

#	REV.	DESCRIPTION	DATE
▲			
▲			
▲			
▲			
▲			

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IRRIGATION PLAN
24" X 36" - SCALE: 1"=20'-0" NORTH

IRRIGATION SCHEDULE

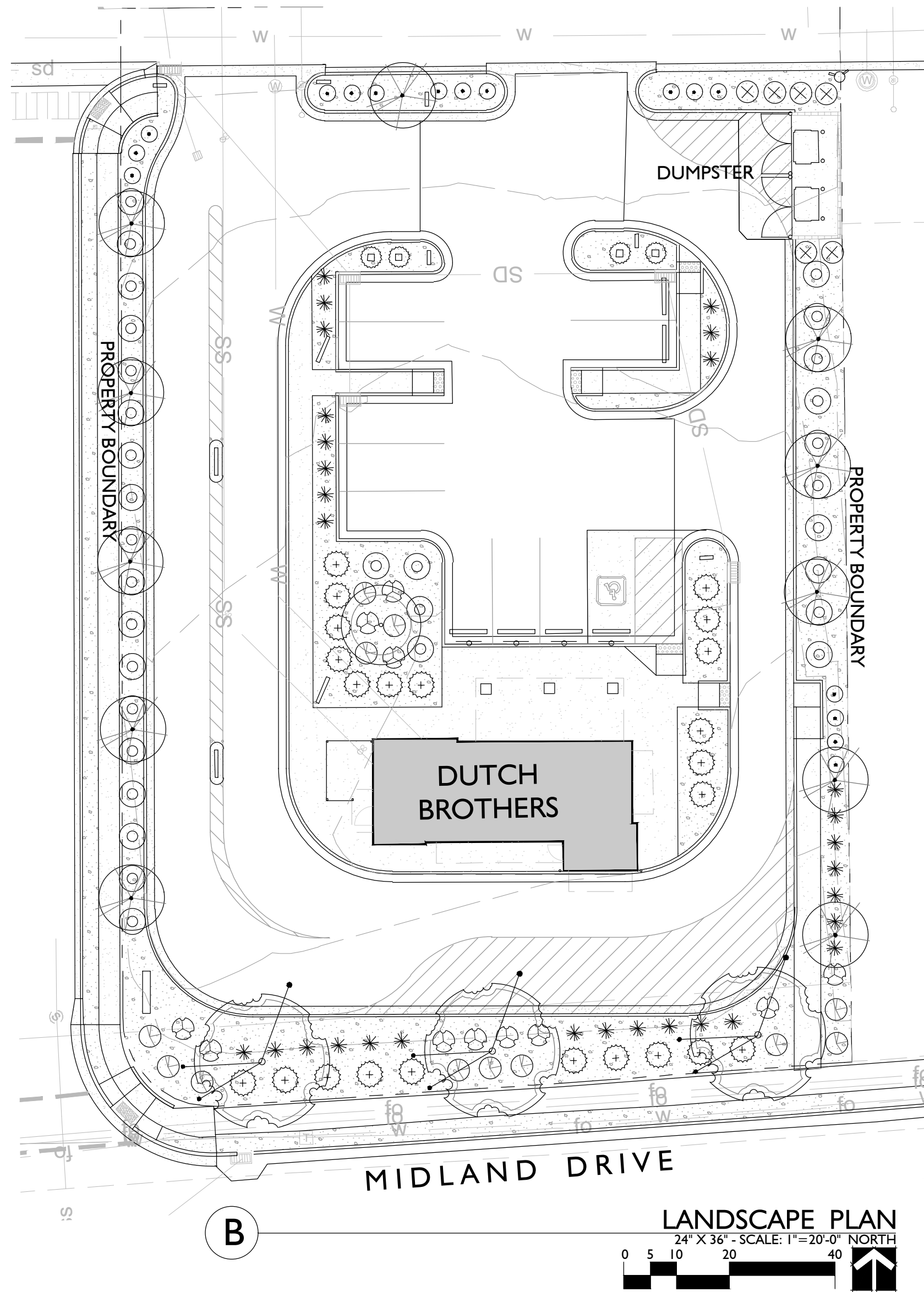
⊕	Drip Control Zone - Rainbird X CZ-100-PRBCOM
●	Quick Coupling Valve Assembly
B	Bacflow Preventer - 1"
C	Controller - Rainbird ESP4ME3 w/ LNK2WIFI - 4 Stations
R	Rain Sensor - Rainbird - WR2
---	1" Sch 40 PVC Mainline
S	Irrigation Sleeve - See Plan for Locations and Details for Sizing
A-01	Controller - Valve #
26.7	GPM
1 1/2"	Valve Size

LANDSCAPE GENERAL NOTES

- Contractor shall locate and verify the existence of all utilities within project area prior to commencement of work.
- Do not commence planting operation until rough grading has been completed.
- All plants shall bear the same relationship to finished grade as the original grade before digging.
- All alterations to these drawings during construction shall be approved by the Project Representative and recorded on "as Built" drawings by the Contractor.
- Pre-emergent herbicide shall be used prior to mulch placement.
- All plant materials shall conform to the minimum guidelines established by the American Standard for Nursery Stock, published by the American Nursery Association, Inc.
- All plants to be balled and burlapped or container grown, unless otherwise noted on the plant list.
- The contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf color, fruit and culture only as approved by the Project Representative.
- Stake location of all proposed planting for approval by the Project Representative prior to commencement of planting.
- All shrub, groundcover, and perennial planting pits to receive 1 part topsoil to 1 part native. Planting pits to be minimum twice the size of the container or rootball.
- Topsoil shall meet the following mechanical analysis:
Sand (0.05 - 2.0 mm Dia.) 20 - 70%
Clay (0.002 - 0.05 mm Dia.) 20 - 70%
The max. retained on a #10 sieve will be 15 percent. the topsoil shall meet the following analysis criteria:
pH Range of 5.5 to 8.2, a min. of 4% and max. of 8% organic matter content and free of stones $\frac{3}{4}$ " or larger. Soluble salts <2 dS/m or mmho/cm and sodium absorption ration (sar) <6.
- All planter beds to receive mulch as specified in the Landscape Schedule.

IRRIGATION GENERAL NOTES

- EXACT LOCATIONS OF MAJOR IRRIGATION COMPONENTS INCLUDING MAINLINE CONNECTION, MAINLINE, CONTROLLER AND VALVES TO BE APPROVED BY PROJECT REPRESENTATIVE IN THE FIELD PRIOR TO INSTALLATION.
- CONTACT LOCAL UNDERGROUD UTILITY LOCATION SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. CONTRACTOR TO BEAR FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- IRRIGATION MAINLINE AND OTHER COMPONENTS ARE ONLY SHOWN SCHEMATICALLY IN HARDSCAPE FOR GRAPHIC CLARITY. ALL IRRIGATION COMPONENTS SHALL BE LOCATED IN LANDSCAPE AREAS.
- PLACE REMOTE CONTROL VALVES ON LOGICAL GROUPINGS AND FIELD CONDITION PERMIT.
- QUICK COUPLE VALVES IN LANDSCAPE AREAS SHALL BE INSTALLED AS SHOWN ON PLANS. QUICK COUPLE VALVE SPACING SHALL NOT EXCEED 200 FEET TO ALLOW FOR HAND WATERING OF PLANT MATERIAL..
- NOT ALL SLEEVING NECESSARY TO COMPLETE THIS PROJECT IS SHOWN ON PLANS. COORDINATE LOCATION AND USAGE WITH PROJECT REPRESENTATIVE.



LANDSCAPE PLAN
24" X 36" - SCALE: 1"=20'-0" NORTH

LANDSCAPE SCHEDULE

SYM	QNTY	SCIENTIFIC NAME	COMMON NAME	SIZE
	TREES			
	3	ACER TRUN. x A. PLAT. 'KEITHSFORM'	NORWEGIAN SUNSET MAPLE	2" CAL.
	1	AMEL. x GRANDIFLORA 'AUTUMN BRILLIANCE'	SERVICEBERRY	25 GAL.
	11	ZELKOVA SERRATA 'MUSHASHINO'	MUSHASHINO ZELKOVA	2" CAL.
	SHRUBS			
	21	CARYOPTERIS CLANDONENSIS 'FIRST CHOICE'	BLUE MIST SPIREA	3 GAL.
	25	JUNIPERUS SABINA 'CALGARY CARPET'	SAVIN JUNIPER	3 GAL.
	6	LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	3 GAL.
	4	PINUS MUGO MUGUS 'PUMILIO'	SHRUBBY SWISS MTN. PINE	3 GAL.
	32	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	3 GAL.
	ORNAMENTAL GRASSES			
	30	CALAMAGROSTIS x ACUT. 'KARL FOERSTER'	K. F. FEATHER GRASS	1 GAL.
	0	MISCANTHUS SINENSIS 'GRACILLIMUS'	SLENDER MAIDEN GRASS	1 GAL.
	PERENNIALS			
	11	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES'	WHIRLING BUTTERFLIES	1 GAL.
	12	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL.
MULCH				
	8,369 S.F.	DECORATIVE STONE MULCH, 1 1/2", GREY		4" MIN.

LANDSCAPE SUMMARY

LANDSCAPE AREA	6,035 S.F.
TREES - 1 / 400 S.F.	15 Trees Reqd. 15 Trees Provided
SHRUBS - 1 / 200 S.F.	10 Shrubs Reqd. 141 Shrubs Provided
LANDSCAPE COVERAGE - 50%	3,018 S.F. Reqd. 4,208 S.F. Provided

DUTCH BROTHERS
MIDLAND DRIVE
WEST HAVEN, UTAH

LANDSCAPE
PLAN

L101

CALL BEFORE YOU DIG
1-800-662-4111
48 HOURS PRIOR TO
ANY CONSTRUCTION

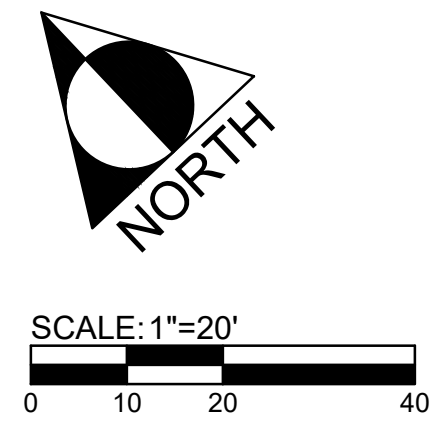
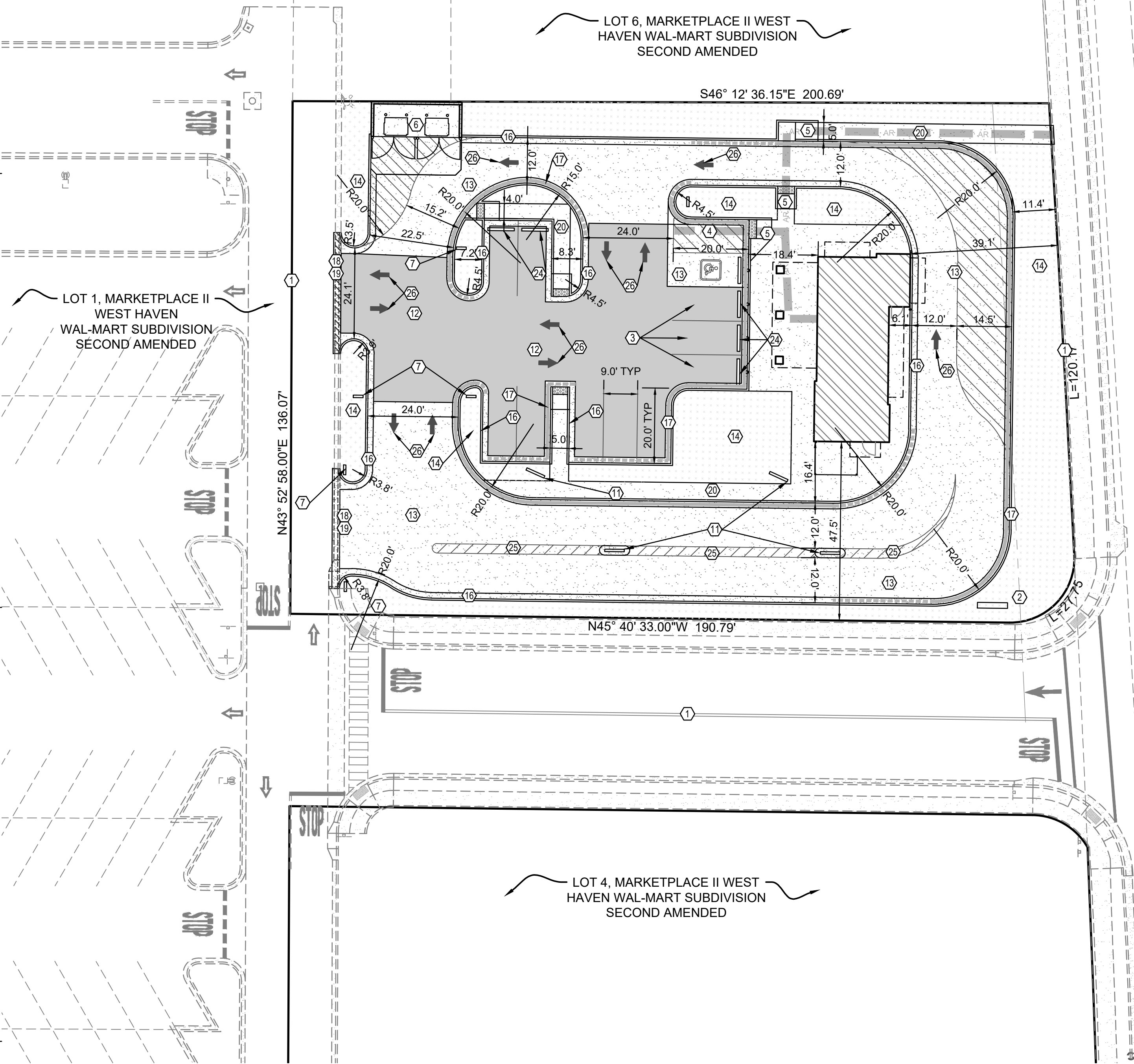
BENCHMARK ELEVATION: 4284.20
N 1/4 CORNER SEC10 T5N R2W SLBM

D

C

B

A



KEYNOTES

- PROPERTY LINE
- SETBACK
- MOBILE-ORDER PARKING STALL WITH SIGN
- VAN-ACCESSIBLE HANDICAP PARKING AND SIGN
- SIDEWALK RAMP
- DUMPSTER ENCLOSURE
- DRIVE-THROUGH ENTRANCE SIGN
- DRIVE-THROUGH EXIT-ONLY SIGN
- DRIVE-THROUGH THANK YOU SIGN
- MONUMENT SIGN - SEE ARCH
- MENU BOARD - SEE ARCH
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LANDSCAPING PER LOCAL ORDINANCES
- EXISTING CONCRETE BEYOND LIMITS OF CONSTRUCTION TO REMAIN
- CONSTRUCT 2' CURB AND GUTTER
- CONSTRUCT 2' REVERSE-PAN CURB AND GUTTER
- CONSTRUCT 2' ROLL GUTTER
- REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT PAST EXTENTS SHOWN. MATH NEW CURBS TO EXISTING
- CONSTRUCT SIDEWALK
- CONSTRUCT SIDEWALK RAMP WITH TRUNCATED DOME CONSTRASTING MARKING, 1:12 MAX SLOPE - SEE SHEET C-2.0
- INSTALL PARKING CHUCK
- INSTALL 2.5' WIDE RUNNER STRIPING, AT GRADE
- INSTALL PAINTED DIRECTION ARROW

SITE INFORMATION

- EXISTING UTILITIES AND SITE IMPROVEMENTS SHOWN ARE BASED ON A SURVEY OF CONDITIONS AT THE TIME OF SURVEY, AND AUGMENTED WITH DESIGN INFORMATION FROM THE ADJACENT WALMART SITE PLAN SET WHERE NOT FOUND BY SURVEY. FIELD-VERIFY LOCATION OF ALL IMPROVEMENTS BEFORE INSTALLING NEW UTILITIES OR SITE IMPROVEMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SITE IS ZONED C-3 REGIONAL COMMERCIAL
- 17 PARKING SPACES PROVIDED INCLUDING 1 VAN-ACCESSIBLE SPACE AND 3 MOBILE ORDER SPACES
- CURB DIMENSIONS ARE TO TOP FACE OF CURB UNLESS NOTED OTHERWISE



STATEN
ENGINEERING PLLC
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FOR:

WRIGHT DEVELOPMENT GROUP
1178 LEGACY CROSSING BLVD. #100
CENTERVILLE, UT 84014

CONTACT:

LOGAN JOHNSON
PHONE: 801-773-7339

LEGEND

- PROPOSED BLOCK WALL
- EXISTING CONCRETE WALL
- PROPOSED CONCRETE WALL
- PROPOSED BUILDING
- EXISTING CONCRETE FLATWORK
- PROPOSED CONCRETE FLATWORK
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED MOUNTABLE CURB AND GUTTER
- PROPOSED REVERSE-PAN GUTTER
- TRANSITION TO REVERSE-PAN GUTTER
- ACCESSIBLE ROUTE
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING LIGHT
- SAW-CUT PAVEMENT
- PROPOSED ASPHALT
- PROPOSED CARPORT
- SETBACKS
- PUBLIC UTILITY EASEMENT
- TURNING LANE MARKINGS
- HANDICAP PARKING

DUTCH BROS
COFFEE - WEST HAVEN
LOT 5 WALMART INC.
TAX ID NO. 08-732-0005



PROJECT NO. 2026.08

DESIGNED BY: M.STATEN

ISSUED:

NO.	DATE	DESCRIPTION
1	7/1/2026	FOR REVIEW

REVISIONS:

NO.	DATE	DESCRIPTION
△		
△		
△		
△		

SITE PLAN

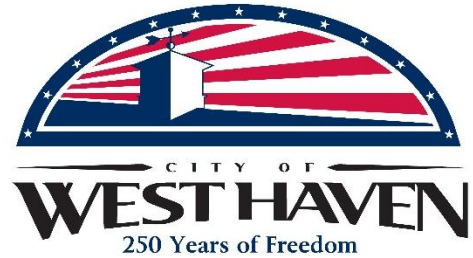
SHEET NUMBER

C-1.0

Planning Commission Staff Review Memo

August 12, 2026

Stephen Nelson, Community Development Director



LANDSCAPE STANDARDS UPDATE

Proposal:	Discussion of Patio Home Zone Standards
Ordinance Section:	§ 157.985-998 LANDSCAPING STANDARDS AND REQUIREMENTS
Applicant:	The West Haven City Development Review Committee and City Attorney
Decision Type:	Legislative
Staff Recommendation:	Discussion

I. BACKGROUND

On December 3, 2025, the City Council approved West Haven's [Water Use & Preservation Element of the General Plan](#) (Water Element). The City contracted with Landmark Design, the City's contracted long-range planning and landscape architecture firm, which worked with the City on the creation and drafting of the plan. At the time the City contracted with Landmark for the Water Element, the City also contracted with Landmark to update West Haven's landscape standards after the Water Element was approved. Staff and Landmark have now created a draft update to the landscape standards in the West Haven City Code for the Planning Commission's review.

There were a couple of reasons the City asked Landmark to help update the landscape ordinance.

Water Conservation. Landscape irrigation accounts for a significant portion of water use within the City, and proper landscaping can have a significant impact on water use. As indicated within West Haven's Water Element, :

Irrigation of landscapes represents more than 60% of residential water use in Utah, making it one of the most effective areas for conservation to reduce overall demand.
(West Haven Water Use & Preservation Element, 2025, p 18)

Because of that, there were multiple implementation goals recommended within the document:

Implementation 2.2: *Prioritize water-efficient landscaping and irrigation at the design stage to avoid costly retrofits, and ensure ongoing efficiency through post-occupancy monitoring.* ☐

Implementation 2.3: *Review landscaping, zoning, and other relevant standards to ensure they do not create barriers for residents seeking to implement water-wise landscape improvements. Provide guidance or resources as needed.*

Implementation 3.3: *Review and update the landscaping ordinance to support water conservation, including guidance on site-specific design, soil preparation, runoff reduction, and management of high-evaporation features, while maintaining flexibility for residents and developers.*

Implementation 3.4: *Explore opportunities to integrate water efficiency into other local standards, including site design, stormwater management, irrigation specifications, construction requirements, and Low-Impact Development (LID) practices.*
(West Haven Water Use & Preservation Element, 2025, pp 28-29)

Because of these recommendations, staff, with Landmark Design, has reviewed the current standards for water efficiency and conservation in mind.

Clarity in implementation. There are currently a few places within the Landscape Ordinance that are not very clear. One of the goals of this rewrite is to help expand and clarify these sections.

Beautification. Another consideration was which standards could be increased or modified to enhance the beautification of the City. Most residents and people's interactions with landscape design in commercial and industrial areas are from their vehicles. Staff wanted to ensure the landscape design would not only provide beauty from pedestrian or close inspection, but also enhance the corridors within the City.

Trees. Trees provide many benefits to the City, including shade, traffic calming, air filtration, stormwater mitigation, ecological enhancement, and essential habitat. The proposed code provides further guidelines and tree plantings, and additional standards about tree placement within the City.

West Haven DRC has received a copy and is currently providing additional review.

II. UPDATE SUMMARY

During the last meeting, the Planning Commission had two primary recommendations.

1. Remove the recommendation update for single-family homes standards. Staff has removed the proposed changes. Staff kept some of the landscape standards, but changed them to recommendations. § 157.989990 SINGLE-FAMILY RESIDENTIAL
2. Staff removed section § 157.994 SUPPLEMENTARY STANDARDS, which provided for a system of fee in lieu for open space.

III. **AREAS OF PRIMARY CHANGE.**

The following summaries pull from key sections that contain the most substantial changes.

§ 157.986 DEFINITIONS. This section has been updated with some additional definitions and clarification of existing definitions. These definitions are needed to help support regulations within the rest of the document

§ 157.988 GENERAL LANDSCAPE PROVISIONS. This is a brand new section, though many of the regulations have been pulled from existing ordinances. The main purpose is to house general landscape regulations that apply across the City, regardless of zoning or type of use. Key highlights would include the requirements to select “well-suited” plants for the area, park strip regulations, and tree size selection.

§ 157.989 COMMERCIAL, INDUSTRIAL, MULTI-FAMILY AND PUBLIC FACILITY DEVELOPMENT STANDARDS. This section has been updated in a couple of ways. The required landscaping areas have been moved from the Design Review Section and placed here. It was made clear that all undeveloped areas within multi-family projects must be landscaped. Further parking lot landscape requirements and clarifications have been added. Plant coverage requirements have been further clarified, and the street tree standard has also been clarified. Another major change was adding Water Source Limitations and the Alternative Compliance section (F). Last fall, the City officially adopted a policy to allow the Planning Commission to waive landscape requirements if no outdoor water was available. As such, staff wanted to create some standards for how those areas would be landscaped.

§ 157.990 SINGLE-FAMILY RESIDENTIAL. This section experienced some of the most material changes from the current ordinance. Staff does have some enforcement and policy concerns about the amount of regulation and plant coverage required on single-family lots. The City has received complaints from some residents about landscaping on certain single-family properties, and these changes would allow the City to address those concerns. However, staff could not proactively enforce many of the provisions in this section due to staffing limitations. Residents may also experience barriers to compliance, including financial ones, or may have a different vision for their property landscape design and seek something that uses less water or has lower maintenance needs. The Planning Commission should also consider how much it would like to regulate an individual residential property.

§ 157.993 COMPLETION OF IMPROVEMENTS. The main change in this section is the removal of the bond/escrow requirements, as state law now prohibits the City from requiring any financial security for landscaping on private property.

§ 157.994 TREE AND SHRUB REGULATIONS FOR PUBLIC WAYS AND PLACES. This section governs trees planted in street rights-of-way and publicly dedicated parcels. This includes a list of trees that will no longer be allowed within these places, as recommended by Landmark

Design. Staff has forwarded this list and section to the West Haven Parks and Recreation Director and the Public Works Director for further feedback.

IV. **RECOMMENDED ACTION**

Staff is seeking feedback and direction on the proposed draft. Staff will present the number of proposed changes and possible ramifications. No action can be taken on this item until a public hearing is held.

LANDSCAPING STANDARDS AND REQUIREMENTS

§ 157.985 PURPOSE AND INTENT.

—This subchapter is established to promote the health, safety and general welfare of the public by enhancing the aesthetic quality of residential and commercial areas while promoting attractive, functional, water-efficient landscaping that supports community character, reduces water demand, mitigates heat, and is practical to install and maintain. Landscaping standards are intended to allow flexibility in site-specific design, encourage water-wise plant selection, and ensure that landscaping contributes to shade, visual quality, and environmental performance without requiring unnecessary water use.

(Ord. 13-2022, passed 7-6-2022)

§ 157.986 DEFINITIONS.

—For the purpose of this subchapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

—ACTIVE ~~RECREATION~~ LAWN AREA.- An area that is dedicated to active play, including where ~~turf~~ turfgrass may provide a playing surface.

—BIOSWALE. Bioswales are vegetated open channels designed to convey and treat storm water runoff. They are appropriate when it is desirable to convey flows away from structures or as an alternate conveyance method to pipes, concrete channels, or curbed gutters. Bioswales reduce peak flow rates, reduce flow velocities, filter storm water pollutants, and can also reduce runoff volume through infiltration.

BUBBLER.- An irrigation head that delivers water to the root zone by ~~flooding~~ drenching the planted area. The amount of water used by bubblers is usually measured in gallons per minute. ~~BUBBLERS exhibit~~ typically convey water as a trickle, umbrella or short stream pattern.

—CHECK VALVE.- A device used in sprinkler heads or pipe to prevent water from draining out of the pipe through gravity flow. Used to prevent pollution or contamination of the water supply due to the reverse flow of water.

—DRIP EMITTER.- Drip irrigation fittings ~~that~~ deliver water slowly at the root zone of the plant, usually measured in gallons per hour. DRIP EMITTERS typically convey water as a consistent trickle.

—EVAPOTRANSPIRATION (ET).- The quantity of water evaporated from ~~adjacent~~ soil and other surfaces and transpired by plants during a specified time. EVAPOTRANSPIRATION is an important part of the local water cycle and climate, and measurement of it plays a key role in water resource management, and is expressed in inches per day, month or year.

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—GRADING PLAN.— The grading plan shows all finish grades, spot elevations as necessary and existing and new contours with the developed landscape area.

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—GROUND COVER.—~~Material planted in such a way as to form~~ Plant material that forms a continuous cover over the ground.

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—GROUND PLANE COVERAGE.— Vegetative cover of the horizontal ~~surfaces~~ surface of a landscaped area. Canopies of deciduous trees shall not be counted toward ~~the coverage calculation~~ these calculations.

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—HARDSCAPE.— Durable landscape materials, ~~such as that cover the horizontal surfaces of a landscaped area. Typical HARDSCAPE materials include~~ concrete, wood, stone or brick pavers, or compacted organic mulch.

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HYDROZONE. A portion of the landscaped area that contains plants with similar water needs, areas and similar microclimate (i.e., slope, exposure, wind, shade, etc.) and soil conditions, and areas that will be similarly irrigated. —A HYDROZONE can be served by one irrigation valve, or a set of valves with the same schedule.

IRRIGATION EFFICIENCY.— The measurement of the amount of water ~~beneficially intended to be~~ applied to a landscaped area, divided by the total amount of water actually applied. —IRRIGATION EFFICIENCY— is derived from measurements and estimates of irrigation system hardware characteristics and management practices.

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—IRRIGATION PLAN.— The irrigation plan shows the components of the irrigation system with water meter size, backflow prevention (when outdoor irrigation is supplied with culinary water), precipitation rates, flow rate and operating pressure for each irrigation circuit and identification of all irrigation equipment.

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~~—LANDSCAPED AREA.— Improved areas of the property that make up the landscape. The **LANDSCAPED AREA** does not include building or structure footprints, sidewalks and other non-irrigated natural areas intentionally left undeveloped.~~

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—LANDSCAPE ARCHITECT—, PROFESSIONAL (PLA). A person who holds a license certificate to practice landscape architecture in the State of Utah. Only a PROFESSIONAL LANDSCAPE ARCHITECT— (PLA) can legally prepare and sign create commercial landscape plans for large-scale residential and commercial projects.

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—LANDSCAPE DESIGNER.— A person who ~~may or may not hold professional certificates for landscape design/architecture~~ is not a PROFESSIONAL LANDSCAPE ARCHITECT (PLA) and cannot legally create ~~commercial or stamp~~ landscape plans— for commercial use. LANDSCAPE DESIGNERS— generally focus on ~~residential~~ design and horticultural needs of home and smaller residential landscapes.

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—LANDSCAPE PLAN.— The landscape plan shows the design of the landscape with natural features such as plantings, ground and water forms, circulation, walks, hardscape areas and other features to comply with this subchapter. ~~Types~~ The types of plantings are identified, and

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quantities included. ~~A-The percentage of~~ landscape areas and open space ~~percentage of on~~ the site is also included to ensure conformance with ~~the minimum zoning coverage~~ requirements ~~of the zone in which the development is located.~~

LANDSCAPED AREA. Improved areas of the property that make up the landscape. ~~—LANDSCAPE ZONE. A portion of the landscaped area having plants with similar water needs, areas with similar microclimate (i.e., slope, exposure, wind and the like)The LANDSCAPED AREA does not include building or structure footprints, sidewalks and other non- irrigated natural areas intentionally not landscaped.~~

~~and soil conditions, and areas that will be similarly irrigated. A LANDSCAPE ZONE can be served by one irrigation valve, or a set of valves with the same schedule.~~

~~—LANDSCAPING.~~ Any combination of living plants, such as trees, shrubs, vines, ground covers, flowers or grass; natural features such as rock, stone or bark chips; hardscape areas such as concrete, wood, stone or brick pavers, or compacted organic mulch; and structural features, including, but not limited to, fountains, reflecting pools, outdoor art work, pergolas, arbors, screen walls, fences or benches.

~~—LOCALSCAPES®.~~ A locally adaptable and environmentally sustainable urban landscape style that requires less irrigation than traditional Utah landscapes (see www.Localscapes.com)-www.Localscapes.com).

~~—MULCH.~~ Any material such as rock, crushed stone, bark, wood chips or other materials left loose and applied to the soil in landscape areas to help to conserve water in gardens by reducing soil evaporation, controlling weeds, and maintaining consistent soil temperatures. Organic mulches such as wood chips are particularly beneficial as they improve soil health while retaining moisture.

~~—OPEN SPACE.~~ An area which is completely an area of land that is free and unobstructed from any building buildings and often designated for public use, such as natural areas, parks or structure gardens. Landscaping, walkways, covered patios, light poles and other ornamental features shall may or may not be considered obstructions for the purposes of this definition. appropriate elements in these zones, depending on specific needs and context. Areas used for storm drainage shall not be eligible for inclusion in a required considered an OPEN SPACE area. ~~Utility, and utility~~ corridors shall only be counted toward the OPEN SPACE requirement if improved as an accessible amenity tefor the project, surrounding neighborhood or the community as a whole.

~~—PARK STRIP.~~ A typically narrow landscaped area located between the back-of-curb and sidewalk.

~~—PLANNED SINGLE-FAMILY RESIDENTIAL DEVELOPMENT.~~ A planned single-family development with specific open space and/or amenity standards that are required by the zone or a development agreement, and in which common open spaces will be are maintained by a homeowner's association or organization.

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—**PLANTER BED.**— Any irrigated, non-~~turf~~turfgrass portion of the landscaped area.

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—**PLANTING PLAN.**— A planting plan shall clearly and accurately identify and locate new and existing trees, shrubs, ground covers, ~~turf~~turfgrass areas, driveways, sidewalks, hardscape features and fences.

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—**POP-UP SPRAY HEAD.**— A sprinkler head that sprays water through a nozzle in a fixed pattern with no rotation.

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—**PRECIPITATION RATE.**— The depth of water applied to a given area, usually measured in inches per hour.

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—**PRESSURE COMPENSATING.**— A drip irrigation system that compensates for fluctuating water pressure by only allowing a fixed volume of water through drip emitters.

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—**PUBLIC FACILITY.**— A government, educational or non-profit organization that provides services to the general public.

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—**REHABILITATED LANDSCAPING.**— Altering, repairing or adding to a landscape to make possible a compatible use, increase curb appeal, decrease maintenance and the like.

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—**ROTOR SPRAY HEAD.**— A sprinkler head that distributes water through a nozzle by the rotation of a gear or mechanical rotor. The spray heads have stationary nozzles that spray water in a specific direction.

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ROTARY SPRINKLER. An irrigation head that projects water through a gear rotor in single or multiple streams. The nozzle rotates to cover a larger area in a circular motion, making them most suitable for expansive lawns or gardens.

—**RUNOFF.**— Irrigation water that is not absorbed by the soil or landscape area to which it is applied, and which flows onto other areas.

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—**SMART AUTOMATIC IRRIGATION CONTROLLER.**— An automatic timing device used to remotely control valves in the operation of an irrigation system using the internet to connect to a real time weather source or soil moisture sensor. —**SMART AUTOMATIC IRRIGATION CONTROLLERS.**— schedule irrigation events using either evapotranspiration or soil moisture data to control when and how long sprinklers or drip systems operate and will vary based on time of year and weather/soil moisture conditions.

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—**SPRAY SPRINKLER.**— An irrigation head that sprays water through a nozzle. See also ROTARY SPRAY HEAD.

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~~—**STREAM SPRINKLER.**—**TURFGRASS.** An irrigation head that projects water through a gear rotor in single or multiple streams.~~

—**TURF.**— A surface ~~layer~~of earth containing perennial grass applied on topsoil that contains grass species with full root structures that are maintained as mowed grass.

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~~—WASTE OF WATER.—~~Includes, but is not necessarily limited to:

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~~— (1) —~~~~The use of Wasted~~ water for any purpose, including outdoor irrigation, that consumes or for which is applied substantial excess water beyond the reasonable amount required by the use, whether such excess water is lost due to evaporation, percolation, ~~discharges~~~~discharge~~ into the sewer system, or ~~is~~ allowed to run into the gutter or street; or

~~— (2) —~~Washing sidewalks, driveways, parking areas, tennis courts, patios or other paved areas, except to alleviate immediate health or safety hazards ~~or for~~ standard maintenance.

Commented [SN2]: Define what this means.

~~—WATER-CONSERVING PLANT.—~~A plant that can generally survive with available rainfall once established although supplemental irrigation may be needed or desirable during periods of dry and warm weather.

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XERISCAPE. A water-efficient landscaping method characterized by the use of site-appropriate, drought-tolerant, or native plants; the use of organic and inorganic mulches to reduce evaporation; and the implementation of efficient irrigation systems. Xeriscape is a comprehensive approach to landscaping that reduces the need for supplemental water while maintaining an aesthetically pleasing environment. XERISCAPE is not "Zero-scape" (the absence of vegetation) and requires a minimum percentage of living plant material.

ZERO-SCAPE. A landscape design method that eliminates the need for irrigation water by eliminating plants from the landscape. ZEROSCAPE landscapes are typified by yards and landscape areas covered with inert materials such as concrete pavement, other paving and hardscape materials, gravel, rock, and stone.

(Ord. 13-2022, passed 7-6-2022)

§ 157.987 APPLICABILITY.

~~—The provisions of this subchapter shall apply to all new and rehabilitated development and to rehabilitation of existing landscaping for public facility projects, commercial and industrial projects, multi-family residential projects and landscaping for new single-family residential dwellings and fully rehabilitated single-family residential landscapes.~~

(Ord. 13-2022, passed 7-6-2022)

§ 157.988 COMMERCIAL, INDUSTRIAL, MULTI-FAMILY AND PUBLIC FACILITY DEVELOPMENT STANDARDS.

~~—(A) Open space. Commercial, manufacturing, multi-family, and public facility developments: landscaping for commercial, manufacturing, multi-family and public facility developments shall comply with exceeding 25% of the requirements of West Haven City "Site Plan and Design Review"—ordinances. All open space required shall be landscaped with a minimum of one tree for every 400 square feet of total landscaped area and one shrub for every 200 square feet of~~

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landscaped area. Planter beds shall be planted to provide a minimum of 50% ground plane coverage when plant material reaches maturity. Canopies of deciduous trees shall not count towards. Properties subject to the coverage calculation. Park strips are exempt from the ground plane coverage requirements.

~~—(B) Landscape design provisions of this subchapter shall comply with all landscaping standards herein, except where limitations of secondary water service or other special circumstances prevent adequate irrigation of a property.~~

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~~—(1) § 157.988 GENERAL LANDSCAPE PROVISIONS.~~

The following landscape provisions shall be adhered to by all land use types unless otherwise noted:

Commented [SN3]: This is a new section, but some items have been moved from other sections.

(A) Plant selection. Plants shall be well-suited to the microclimate and soil conditions at the project site. Both native and locally adapted plants are acceptable.

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~~—(a) Plants shall be well-suited to conditions at the project site. Both native and locally adapted plants are acceptable. Plants with organized into hydrozones, with plants grouped according to similar water needs shall be grouped together as much as, to the maximum extent possible.~~

(1) Xeriscaping is permitted in all zones.

(2) Zero-scaping shall not be permitted except where limitations of secondary water service or other qualifying conditions, as defined in this section, prevent adequate irrigation.

(3) Areas with slopes greater than 3325% shall be landscaped with deep-rooting, water-conserving plants for erosion control and soil stabilization.

~~—(b)— (4) The following resources may be consulted for a list of recommended water-conserving plants (not a comprehensive list): Localscapes®, the Weber Basin Water Conservancy District (weberbasin.com), and the Utah State University Center for Water-Efficient Landscaping.~~

(B) Park strips. Park strips and other landscaped areas less than eight feet wide shall not be landscaped with turfgrass and shall be maintained free of weeds. All planting with parks strips and other landscape areas of less than eight feet wide shall be planted in accordance with the standards within this title. Any hardscape installed within a park strip shall cover no more than 5030% of the park strip area, unless otherwise required by city code or by an agency of the state. Park strips within the County or Utah Department of Transportation (UDOT) shall be developed according to that organization's standards.

~~—(c) Turf area shall not exceed 15% of the total landscaped area, outside of active recreation areas.~~

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~~—(d) Note: Please visit weberbasin.com for a list of recommended water conserving plants (not a comprehensive list).~~

~~—(2) (C) Mulch.~~ After completion of planting, all irrigated non-~~turf~~~~turfgrass~~ areas shall be covered with a minimum three-inch layer of mulch to retain water, inhibit weed growth and moderate soil temperature. Non-porous material such as concrete or asphalt shall not be placed under the selected mulch.

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~~—(3) (D) Tree selection.~~ Selection. Tree species shall be selected based on growth characteristics~~their ability to create an urban tree canopy with proper~~ and site conditions~~, including available space, overhead clearance, soil conditions, exposure~~consistent maintenance. When selecting trees, qualities such as the approximate size at maturity, location, and ~~desired color and appearance~~planting area width should be carefully considered.

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(1) Tree sizes are defined below, along with their corresponding minimum plating area widths for each size category:

(a) Large Trees shall be selected as follows: are defined as trees with a mature height of forty (40) feet or more. Planting area width shall be a minimum of ten (10) feet wide.

~~—(a) Broad canopy~~ (b) Medium Trees are defined as trees with a mature height between twenty-five (25) and forty (40) feet. Planting area width shall be selected a minimum of eight (8) feet wide.

(c) Small Trees are defined as trees with a mature height of twenty-five (25) feet or less. Planting area width shall be no smaller than six (6) feet wide.

(d) Based on a recommendation of a landscape architect, a specific trees may be planted in areas that are more narrow then listed above.

§ 157.989 COMMERCIAL, INDUSTRIAL, MULTI-FAMILY AND PUBLIC FACILITY DEVELOPMENT STANDARDS.

(A) Applicability. The following standards shall be required for all new and rehabilitated landscaping for public facility, commercial, industrial, and multi-family residential projects. Landscaping for these project types shall comply with the requirements of the West Haven City "Site Plan and Design Review" ordinances.

(B) Required Landscape Area. The following areas shall be landscape and meet the following requirements.

(1) Areas of required landscaping which shall meet the listed planting schedule and number as outlined within this section. .

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(a) Frontage. Landscaping shall be required along the entire frontage of the lot, except for the frontage required for ingress/egress. Said landscaping shall be a minimum of 15 feet deep, calculated from the property line.

(b) Side/rear yards. There shall be a minimum of five feet of landscaping between parking areas and side or rear property lines (except between commercial uses where shade or screening of tall objects said landscaping is desired; not visible from areas of public access) and a minimum of five feet of landscaping between an access driveway and a side or rear property line unless said driveway is to be used for common access by an adjacent lot.

(b) Low growing trees shall be selected for spaces under utility wires;

(c) Trees shall be selected from which lower branches can be trimmed to maintain a healthy growth habit where vision clearance and natural surveillance is a concern;

(d) Narrow or columnar trees shall be selected where awnings or other building features limit growth, or where greater visibility is desired between buildings and the street for natural surveillance;

(c) (e) Multi-Family. All areas that are not developed with structures, amenities, rights of way, driveways, and parking areas must be landscaped. The required landscape area shall be focused on the areas surrounding buildings. Landscaped areas shall be defined as a combination of trees, shrubs, perennials, mulch, and permeable surfaces, professionally designed to create engaging landscape treatments near building facades and entrances, within parking lots, and along key walkways and other areas with significant resident and pedestrian value.

(d) Parking Lot Landscaping. Hard-surfaced parking lots containing ten (10) or more parking spaces shall comply with this section.

(i) Landscape Area Requirements for Parking Lots Located on Project Lots. Interior landscaping shall total a minimum of five percent (5%) of the paved parking and drive aisle area, or as otherwise required by this subsection, whichever is greater. Perimeter landscaping does not count toward this total.

(ii) Parking Islands. End-of-row islands shall be provided at the end of each parking row, a minimum of 8 feet wide, and planted with at least one shade tree and low shrubs or perennials not exceeding three (3) feet in height. Islands shall avoid narrow or diamond shapes.

(iii) Parking Medians. Parking lots medians shall be provided on every third drive aisle or at intervals not exceeding 150 feet. Medians shall be a minimum of 8 feet wide, planted with shade trees no more than 40 feet' apart, and be landscaped with low shrubs, and may be either at-grade or include curb cuts and a planted bioswale for storm drainage. Pedestrian pathways may be provided within medians in addition to the required planting area.

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(e) All other areas not listed shall have appropriate ground cover to control dust and weeds.

(2) Tree Requirements (see also 157.994).

(a) A minimum of one tree shall be provided for every 400 square feet of required landscape area. Street trees shall be planted within existing and proposed may not be counted toward this minimum.

(b) Street Trees. Each lot is required to have one street tree for every forty (40) feet of street frontage with a minimum of one street tree per street frontage where park strips, and in sidewalk tree wells on streets without are available. Trees shall be planted within park strips. Tree placement whenever possible. Placement shall provide canopy cover ~~and~~ shade and avoid conflicts with existing trees, retaining walls, utilities, lighting ~~and~~ or other obstacles. All street trees shall comply with the clear vision standards of this subchapter; and chapter. Street trees planted within UDOT or County rights-of-way shall be planted based on that organization's standards.

~~— (f) All trees to be installed on public property or on property to be maintained by the city shall be subject to approval by the City Arborist or designee.~~

~~— (4) Plant material size at installation.~~

~~— (a) —~~ (c) Deciduous trees shall be installed at have a minimum trunk size of (2) two inches in caliper, measured eight inches 6" above the soil line.

~~— (b) ground level when planted. Evergreen trees and multi-stem deciduous trees shall be installed at have a minimum size of five (5) feet in height of six feet when planted.~~

~~(f) — (c) —~~

(3) Ground Plane Planting Requirements. At maturity, landscapes must have sufficient plant material (perennials and shrubs) to achieve a minimum of 50% living plant coverage at ground level, excluding tree canopies. At least 30% of the ground plane landscape shall be comprised of hardy shrubs, with the remainder composed of perennials, ornamental grasses, or other approved groundcover plants.

(a) Shrubs and Perennials. All shrubs and perennials shall be a minimum size of one (1) gallon container stock when planted . Shrubs shall be installed at a minimum size of (3) three gallons.

~~— (d) Ornamentals grasses and perennials shall be installed at a minimum size of one gallon.~~

~~— (e) Ground cover shall be installed at a minimum height of three inches.~~

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~~—(C) Landscape and irrigation plan submittal.—~~ (b) Turfgrass. Turfgrass areas shall not exceed 15% of the total landscaped area, excluding active lawn areas and detention basins. Turfgrass shall not be used in park strips, parking islands, or medians, or buffer landscaping.

(c) Mulch and Irrigation. Planting beds shall comply with the mulch requirements of subsection (2) and shall be irrigated in compliance with § 157.991, Irrigation Design Standards.

(D) Water Limitations. Where access to secondary water service is limited or not available, or where other special circumstances prevent adequate irrigation from being available, the interior landscaping required by this section may be designed and installed in accordance with § 157.989.(F) Water Source Limitations and Alternative Compliance.

(E) Buffer Landscaping. Buffer landscaping is intended to provide visual separation, screening, and aesthetic transition between parking areas, driveways, and adjacent properties, while accounting for site constraints, land use patterns, and the availability of irrigation.

(1) Minimum Buffer Width. A minimum five-foot landscaped buffer shall be provided between parking areas and side or rear property lines, except where adjacent uses are commercial and the landscaping is not visible from areas of public access. A minimum five-foot landscaped buffer shall also be provided between an access driveway and a side or rear property line, unless the driveway is designed for common access by an adjacent lot.

(2) Materials and Plant Selection. Buffer landscaping shall incorporate a mix of trees, shrubs, and groundcovers where site conditions allow.

(F) Water Source Limitations and Alternative Compliance. Where limitations of secondary water service or other special circumstances prevent adequate irrigation of a property, the required open space and landscaped areas of the property may be installed as ZERO-SCAPE as defined previously and implemented in accordance with the standards of this section.

(1) Adequate irrigation limitations must be demonstrated by a written statement or letter from the applicable water provider confirming that secondary water service or other water sources are unavailable, limited, or otherwise insufficient to meet standard landscape requirements.

(2) A minimum of three different landscaping materials from the list below shall be used to dress the areas of required landscaping, and said materials shall be designed to achieve a deliberate appearance and result.

(a) Decorative rock, multiple variations in size and color may be provided to satisfy material requirements

(b) Rock mulch

(c) Artificial turf

Commented [SN6]: This section was added to address the Planning Commission's ability to waive landscaping requirements if there is no outdoor or secondary water available.

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(d) Pavers: No more than 5% of landscaped ~~the~~ area.

(3) Where variations of decorative rock are used as a landscaping material, the variations shall noticeably differ in size, texture, or color to be considered different materials.

(4) Decorative rock and rock mulch shall be of light or muted hues to mitigate ambient heat. Decorative rock of a ~~dark hue~~ may be utilized as a secondary material and shall comprise no more than 15% of the total landscaped area.

Commented [SN7]: What does this mean? Further define.

(5) Where artificial turf is used as a landscape material, it shall comply with the following standards:

(a) Artificial turf shall consist of individual blades of grass that emulate natural turfgrass in color and general appearance.

(b) Artificial turf shall be limited to no more than 15% of the total landscaped area, excluding those areas designated for active recreation.

(c) Where artificial turf abuts decorative rock or rock mulch, landscape edging of concrete, stone, brick, or metal shall be provided.

(d) Artificial turf shall be properly anchored and seamed according to the manufacturer's specifications.

(e) Artificial turf shall not be installed in ponds, swales, basins, or any other permanent drainage feature.

(6) Decorative boulders shall be provided, either in an array or dispersed across the property in a deliberate, decorative fashion.

(G) Landscape Plan Submittal. All landscape plan applications associated with design review approval shall comply with West Haven Design Review 157.730 -736 and other applicable sections.

(H) Final Landscape Plan Submittal Standards. A copy of a landscape ~~and irrigation~~ plan shall be submitted to and approved by the city prior to the issue of ~~any permit. The a final site plan.~~ All plans shall be prepared by a ~~registered landscape architect~~ Professionally Licensed Landscape Architect and shall consist of the following items:

— (1) ~~Landscape~~ Planting plan. A detailed ~~landscape~~planting plan shall be drawn at a scale that clearly identifies the following:

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— (a) ~~Project name and address, and landscape architect's information, graphic and written scale, and date of design. Existing trees and plant materials to be either removed or retained to be clearly indicated.~~

— (b) Existing landscaping, including trees at least twenty (20) feet beyond the property lines. Where possible, developers are encouraged to preserve existing, healthy trees.

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____ (c) Location of all ~~proposed~~ plant materials, a ~~legend~~ plant schedule with botanical and common names ~~and~~ size of plant materials; at maturity, size of container stock, and designated hydrozones.

~~____ (c) Location of landscape features, ground and water forms, walks, hardscape, mulch and other features;~~

~~____ (d) Property lines and street names;~~

~~____ (e) ____ (d) Existing and proposed buildings, structures (where applicable), walls, fences, utilities, paved areas and other site improvements;~~

~~____ (f) Existing trees and plant materials to be removed or retained;~~

____ (e) Location and descriptions of all proposed landscape features and ground surface material treatments.

____ (f) Clear indication of property lines, easements, and street names.

~~____ (g) Scale: graphic and written;~~

~~____ (h) Date of design;~~

~~____ (i) Designation of a landscape zone; and~~

~~____ (j) Details and specifications for tree staking, soil preparation and other planting work.~~

~~____ (2) Irrigation plan.~~ A detailed irrigation plan shall be drawn at the same scale as the planting plan and shall contain the following information:

~~____ (a) Layout of the irrigation system and a legend summarizing the type and size of all components of the system, including manufacturer name and model numbers;~~

~~____ (b) Static water pressure in pounds per square inch (PSI) at the point of connection to the public water supply;~~

~~____ (c) Flow rate in gallons per minute and design operating pressure in psi for each valve and precipitation rate in inches per hour for each valve with sprinklers; and~~

~~____ (d) Installation details for irrigation components.~~

~~____ (D) Plan review, construction inspection and post-construction monitoring.~~

~~____ (1) ____ (3) Grading plan.~~

____ (a) Property lines, street names, existing and proposed structures, turfgrass areas, and paved areas.

____ (b) Existing and proposed grading of the site indicating contours at 2-foot intervals.

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___ (c) Any proposed berming shall be indicated using 1-foot contour intervals.

___ (d) Delineate and label areas with a grade greater than 25% (4 feet Horizontal: 1 foot Vertical).

___ (4) Project Data Table. A project data table containing the following:

___ (a) Project/lot size in acres and square feet;

___ (b) Required landscape area in square feet;

___ (c) Number of trees required and number of trees provided;

___ (d) Percentage of required shrubs/perennials and percentage of provided shrubs/perennials

___ (e) Maximum allowable turfgrass area and turfgrass area provided.

___ (H) Plan Review, Construction Inspection, and Post-Construction Monitoring.

___ (1) As part of the land use approval process, a copy of the landscape and irrigation plans shall be submitted to the city for review and approval before construction begins.

___ (2) All installers and designers shall meet state and local license, insurance and bonding requirements, and be able to show proof of such.

___ (3) During construction, site inspection of the landscaping ~~may~~shall be performed by the city.

___ (4) Following construction and prior to ~~issuing final inspection by the approval for occupancy building inspector~~, an inspection shall be scheduled with the Community Development Department to verify compliance with the approved landscape plans. ~~Failure to comply with the approved landscape plan, the City may withhold business licenses, future land use approvals for expansions on the site, or may take other legal actions to enforce the provisions of this chapter.~~

___ (5) The city reserves the right to perform site inspections at any time before, during or after the irrigation system and landscape installation, and to require corrective measures if requirements of this subchapter are not satisfied.

~~{Ord. 13-2022, passed 7-6-2022}~~

§ 157.989990 SINGLE-FAMILY RESIDENTIAL.

(A) *Landscape design standards.*

(1) *Plant selection.*

Commented [SN8]: The changes proposed changes are from the City Landscape Architect Firm. Generally, the planning staff has some concerns about some of these requirements. Namely, I am hesitant to dictate how someone landscapes their private residential yard. Some of the listed changes are just clarification of current standards, but this goes into greater detail about how much of the yard would need to be landscaped.

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(a) Plants shall be well-suited to the microclimate and soil conditions at the project site. Both native and locally adapted plants are acceptable. Plants with similar water needs should be grouped together as much as possible.

(b) Areas with slopes greater than 33% shall be landscaped with deep-rooting, water-conserving plants for erosion control and soil stabilization.

(c) Park strips and other landscaped areas less than eight feet wide shall not be landscaped with turf and shall be maintained free of weeds. Hardscape is permitted provided it does not interfere with the park strip's ability to capture ~~storm water~~stormwater. Park strips four feet (4') or wider are required to plant at least one tree for every 50' of frontage.

(d) ~~Turf Grass.~~ Turf grass areas shall not exceed 35% of the combined front and interior side yard landscaped areas of the lot or parcel or 250 square feet, whichever is greater.

(e) City recommends that residents with new or rehabilitated landscaping follow the Locascapes® process, as detailed in the Locascapes® Program, including but not limited to:

(i) Creating a central open space in the front and rear yards consisting of lawn, hardscape, groundcover, gravel or compacted mulch.

(ii) Creating smaller gathering areas constructed of hardscape placed outside of the central open shape. In a landscape without turfgrass, gathering areas may function as the central open shape.

(iii) Filling remaining areas with planting beds composed of water-conserving plants and water-efficient irrigation systems.

(iv) Locating activity zones outside of the central open shape that are surfaced with materials other than turfgrass.

(v) Providing paths and walkways to link the different areas of the yard together. These should be constructed of hardscape, mulch, other groundcover, or non-turfgrass materials.

(iv) Planting appropriately sized trees to provide shade, reducing the need for water on landscaping, but also providing cooling to an area.

(iiv) Visit weberbasin.com for a list of recommended water-conserving plants.

~~Please visit weberbasin.com for a list of recommended water-conserving plants (not a comprehensive list).~~

(2) *Mulch.* After completion of all planting, all irrigated non-turf areas and all non-irrigated park strip areas shall be covered with a minimum three-inch layer of mulch to retain water, inhibit weed growth and moderate soil temperature. Non-porous material shall not be placed under the mulch.

Commented [SN9]: New

Commented [SN9R2]: <https://www.epa.gov/heatislands/benefits-trees-and-vegetation>

<https://research.fs.usda.gov/psw/urban-forestry/community-tree-guides>

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(B) *Homebuilders and developers.*

(1) Homebuilders and developers subdividing lots and/or constructing new single-family residential homes within a planned development with common ownership and maintenance of landscaped areas shall comply with all of the water efficient landscaping and irrigation standards of this subchapter, and provide water efficient designs, such as the Locascapes® design style, to prospective home buyers.

(2) Any model home shall meet the water-efficient landscaping standards of this chapter and provide an informational brochure on water-efficient landscaping. Brochures can be obtained from the city's Planning Division.

(Ord. 13-2022, passed 7-6-2022)

~~—(A) Landscape design standards.~~

~~—(1) Plant selection.~~

~~—(a) Plants shall be well suited to the microclimate and soil conditions at the project site. Both native and locally adapted plants are acceptable. Plants with similar water needs should be grouped together as much as possible.~~

~~—(b) Areas with slopes greater than 33% (A) Applicability. The following standards shall be landscaped with deep-rooting, water-conserving plants required for erosion control all new and soil stabilization.~~

~~—(c) Park strips rehabilitated landscaping for single-family and other landscaped areas less than eight feet wide shall not be landscaped with turf and shall be maintained free of weeds. Hardscape is permitted provided it does not interfere with the park strip's ability to capture storm water residential dwellings.~~

~~—(d) Turf area (B) Required Landscaping Area. All portions of a lot that are not improved with impervious materials must be landscaped. Weeds do not qualify as required landscaping. Landscaped areas must be maintained in a neat, clean, and orderly condition, including the removal of litter, proper pruning, lawn mowing, weeding, replacement of dead plants, and regular watering and fertilization of all landscaped areas.~~

~~—(1) Required landscaping in the park strips, front yards, and side yards that are visible from the street shall consist of live plant materials with an automated irrigation system.~~

~~—(2) At maturity, single-family landscapes shall have at least 50% living plant cover (shrubs, perennials and decorative grasses) on the ground plane at maturity a, not including tree canopies, in all front and side yards visible from the street.~~

Commented [SN11]: Likley want to remove these requirements.

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~~___(3) Landscaped areas within front, side, and rear yards for new and rehabilitated single-family and twin home residential dwellings should follow the Locascapes® process, as detailed in the Locascapes® Program, including but not limited to:~~

Commented [SN12]: Encouraged?

~~___(a) Creating a central open space in the front and rear yards consisting of lawn, hardscape, groundcover, gravel or compacted mulch.~~

~~___(b) Creating smaller gathering areas constructed of hardscape placed outside of the central open shape. In a landscape without turfgrass, gathering areas may function as the central open shape.~~

~~___(c) Filling remaining areas with planting beds composed of water-conserving plants and water-efficient irrigation systems.~~

~~___(d) Locating activity zones outside of the central open shape that are surfaced with materials other than turfgrass.~~

~~___(e) Providing paths and walkways to link the different areas of the yard together. These should be constructed of hardscape, mulch, other groundcover, or non-turfgrass materials.~~

(C) Turfgrass. Turfgrass areas shall not exceed 35% of the combined front and interior side yard landscaped areas of the lot or parcel or 250 square feet, whichever is greater.

(e) Please visit weberbasin.com for a list of recommended water-conserving plants (not a comprehensive list).

(2) *Mulch.* After completion of all planting, all irrigated non-turf areas and all non-irrigated park strip areas shall be covered with a minimum three-inch layer of mulch to retain water, inhibit weed growth and moderate soil temperature. Non-porous material shall not be placed under the mulch.

(B) (1) Turfgrass areas shall be a minimum of 8 feet wide in any direction.

(2) Small residential lots which the total landscaped area is less than 250 square feet are exempt from the maximum of 35% lawn requirement.

(D) Water Limitations. Where limitations of secondary water service or other special circumstances prevent adequate irrigation, landscaping may be installed as ZERO-SCAPE. Adequate irrigation limitations must be demonstrated by a written statement or letter from the applicable water provider, and the landscaping shall follow the standards in § 157.989.E Water Source Limitations and Alternative Compliance.

(E) Homebuilders and developers.

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(1) Homebuilders and developers subdividing lots and/or constructing new single-family and twin home residential homes units within a planned development with common ownership and maintenance of landscaped areas shall comply with all of the water efficient

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landscaping and irrigation standards of this subchapter, and provide including water efficient designs, such as that follow the Locascapes® design style process, to prospective home buyers.

___(2) Any model home Model homes shall meet the water-efficient landscaping standards of this chapter and provide an informational brochure to help future home owners understand landscape design expectations and possibilities. Informational brochures on water-efficient landscaping. Brochures can be obtained and the Locascapes® design process shall be available at the model homes and from the city's Planning Division.

(Ord. 13-2022, passed 7-6-2022)

§ 157.990991 IRRIGATION DESIGN STANDARDS.

—(A)— Irrigation systems shall be designed to maximize irrigation efficiency.

—(B)— Landscaped areas shall utilize a smart automatic irrigation controller. Smart irrigation controllers shall be WaterSense® labeled and automatically adjust the frequency and/or duration of irrigation events in response to changing weather conditions. All controllers shall be equipped with automatic rain delay or rain shut-off capabilities.

—(C)— Each valve shall irrigate a landscape with similar site, slope, and soil conditions. Plants watered by a valve should have similar watering needs. Turf and non-turf and be grouped within the same hydrozone. Turfgrass and non-turfgrass areas shall be irrigated on separate valves. Drip emitters and sprinklers shall be placed on separate valves.

—(D)— Drip emitters or a bubblerbubblers shall be used for each tree. Bubblers shall not exceed one and one-half gallons per minute per device. Bubblers for trees shall be placed on a separate valve unless specifically exempted by the city due to the limited number of trees on the project site. Drip irrigation or bubblers shall be used to irrigate plants in non-turfturfgrass areas.

—(E)— Pop-up spray heads shall be at a minimum of four inches in height to avoid blockage from lawn foliage.

—(F)— Sprinkler heads shall be attached to rigid lateral lines with flexible material (swing joints) to reduce potential for breakage.

—(G)— Check valves shall be required when attached to the city culinary water system and where elevation differences cause low-head drainage. Pressure compensating valves and sprinklers shall be required where a significant variation in water pressure occurs within the irrigation system due to elevation differences.

—(H)— Filters shall be required on all secondary water service connections. Filters shall have as a minimum a 30 mesh screen and shall be cleaned and maintained by the property owner on a regular basis.

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— (I) — Drip irrigation lines require additional filtration at or after the zone valve at a minimum of 200 mesh and end flush valves are required as necessary for drip irrigation lines.

— (J) — Valves with spray, rotary, or stream rotor sprinklers shall be scheduled to operate in accordance with local water supplier restrictions to reduce water loss from wind, evaporation, or other environmental conditions not suitable for irrigation.

Commented [DR13]: Rotor and rotary are the same thing. Maybe we should replace “rotary” with “impact” sprinkler heads which is another type of overhead spray.

— (K) — ~~Program valves~~ Valves should be programmed for multiple repeat cycles ~~whereas~~ necessary to reduce runoff and ensure maximum soil penetration, particularly on slopes and soils with slow infiltration rates.

(Ord. 13-2022, passed 7-6-2022)

~~(Ord. 13-2022, passed 7-6-2022)~~

§ 157.991992 RESTRICTIVE COVENANTS REQUIRING ~~TURF~~TURFGRASS OR PLANT MATERIAL WITH UNIFORM OVERHEAD SPRAY IRRIGATION.

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~~Any homeowners~~ Homeowners association governing documents, ~~such as including all~~ bylaws, operating rules, covenants, conditions and restrictions that govern the operation of a common interest development, shall specifically indicate that the requirements of this chapter are to be met. In addition, they specifically shall not:

— (A) — Require the use of any uniform plant material requiring overhead spray irrigation in landscape areas less than eight feet wide or require any uniform plant material requiring overhead spray irrigation in other areas that exceed 35% of the landscaped area;

— (B) — Prohibit, or include conditions that have the effect of prohibiting, the use of water-conserving plants as a group; or

— (C) — Have the effect of prohibiting or restricting compliance with this subchapter or other water conservation measures.

(Ord. 13-2022, passed 7-6-2022)

~~(Ord. 13-2022, passed 7-6-2022)~~

§ 157.992993 COMPLETION OF IMPROVEMENTS.

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— (A) — ~~Completion.~~ All landscaping improvements required by this subchapter shall be installed in accordance with the approved landscape and irrigation ~~plans as follows: plan and the following completion of improvement requirements:~~

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— (1) — ~~Non-residential landscaping.~~ Landscaping for commercial, industrial and public facility projects shall be completed prior to the issuance of a certificate of occupancy for the building or structure with which it is associated, or in cases of inclement weather, within six months of the date of initial occupancy. The date of initial occupancy shall be the date that a

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certificate of occupancy is issued for the first building or structure of an individual phase or plat of the development.

— (2) — ~~Multi-family residential.~~ Landscaping for two-family and multiple-family dwellings in all zones shall be completed prior to the issuance of a certificate of occupancy for the building or structure with which they are associated, or in cases of inclement weather, within six months of the date of initial occupancy. Date of initial occupancy will be the date that a certificate of occupancy is issued for the first dwelling unit.

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— (3) — ~~Single-family residential.~~ The front and side yards of all single-family dwellings in all zones shall be landscaped within ~~12~~¹⁸ months of the date of initial occupancy for the building or structure with which they are associated. The rear yard shall be landscaped within ~~18~~²⁴ months of the date of initial occupancy. Date of initial occupancy will be the date that a certificate of occupancy is issued for the dwelling unit.

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~~— (B) — Bond/escrow required for nonresidential, two-family, and multiple-family developments. In cases of inclement weather and in order to ensure that all required landscaping is installed in an acceptable manner, the developer shall post a separate cash bond with the city or establish an escrow account with an appropriate financial institution. The cash bond or escrow account shall be subject to approval by the Community Development Department, and shall be in an amount equal to 110% of the estimated costs of construction and installation of all required landscaping, parks, playgrounds, recreation facilities, fences, walls and other amenities shown on the final landscape plan or site plan, as applicable.~~

~~— (1) — The bond or escrow account shall be posted or established in accordance with all other city regulations.~~

~~— (2) — The bond or escrow account shall be posted or established prior to the issuance of a certificate of occupancy for the site.~~

~~— (3) — The bond shall be accompanied by a schedule of anticipated completion dates for such improvements. In no case shall the time period for completion exceed the time periods set forth in division (A) above.~~

~~— (4) — In the event that the improvements are not completed in reasonable conformance with said schedule, the city may undertake to complete the improvements and pay for such improvements from the bond or escrow account.~~

~~— (5) — This section shall not pertain to the completion or installation of private landscaping on individual building lots for single-family dwellings.~~

— (Ord. 2015-19, passed 12-8-2015; Ord. 13-2022, passed 7-6-2022)

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§ 157.993994 TREE AND SHRUB REGULATIONS FOR PUBLIC WAYS AND PLACES.

— (A) — ~~Purpose.~~ The city values its open spaces, both natural and enhanced, and recognizes the importance of trees within the community. Not only do trees add to the beauty of the community, ~~but they~~ also help mitigate the negative effects weather and seasonal changes, stabilize surface drainage ~~and, provide shade, and and help reduce~~ soil erosion. A well-designed landscape can reduce air and sound pollution, regulate solar radiation and help with wind control.

~~— (B) — City Arborist.~~

~~— (1) — Created.~~ (B) Street Tree Adjacencies and Proximity Standards. Trees shall be spaced in accordance with the species' characteristics such that the trees' crowns at maturity will not touch or overhang a building or power lines.

(1) Trees shall be planted no closer to any curb or sidewalk than the following: Small Trees, two (2) feet; Medium Trees, three (3) feet; and Large Trees, four (4) feet.

(2) Trees shall be planted no closer than thirty (30) feet of any street corner, measured from the point of nearest intersecting curbs extended.

(3) Trees shall be planted no closer than ten (10) feet of any fire hydrant.

(4) Only tree species classified as Small Trees in this Ordinance may be planted under or within ten (10) lateral feet of any overhead utility wire, or over or within five (5) lateral feet of any underground water line, sewer line, storm water line, transmission line, or other utility.

(5) All trees installed on public property or on property maintained by the city shall be subject to approval by the City Arborist or designee. All trees installed on public property shall adhere to the American Standard for Nursery Stock (ANSI Z60.1).

(6) Prohibited Street Tree List. The following trees shall not be planted within public rights-of-way in the City:

(a) Flowering Pear – Pyrus calleryana

(b) Ash Tree – Fraxinus sp.

(c) Birch – Betula sp.

(d) Box Elder – Acer negundo

(e) Cottonwood, Quaking Aspen, and Poplars – Populus sp.

(e) Flowering Plum – Prunus cerasifera

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(g) London Plane Tree – Platanus sp.

(h) Norway Maple - Acer platanoides

(i) Russian Olive – Eleagnus angustifolia

(j) Siberian Elm – Ulmus pumilia

(k) Silver Maple – Acer saccharinum

(l) Tree of Heaven – Alianthus sp.

(m) Willow – Salix sp.

(n) Trees with Large Fruits – apple, pear, peach, cherry, plum, etc.

(o) Evergreen Conifers – including but not limited to spruces, pines, firs, and junipers

(B) City Arborist.

(1) Designation. The City Manager or designee shall appoint a City Arborist.

— (2) — Duties and responsibilities. The City Arborist shall have authority over all trees and shrubs located within the city's rights-of-way, parks and public places. On private, commercial and residential property, the City Arborist shall have the authority over trees and shrubs which constitute a public hazard or threat as described in the standards for specification manual.

— (C) — Planting trees, landscaping in city right-of-way. Tree planting on public ways shall be coordinated with required open landscaping areas to achieve the most effective use of these areas and to accomplish the purposes of aesthetics and conservation. Street trees shall be selected based on growth characteristics that are well suited to their environment. For a list of permitted street trees, contact the City Arborist.

— (D) — Public rights-of-way tree and plant care. It is the duty of the property owner and occupant of any real property with frontage along a public sidewalk to maintain anyall trees, shrubs and plant material between such property and the curb line of the street. The city shall have the right, as determined by its sole discretion after attempting to contact property owners, to plant, prune, maintain and remove trees, plants, and shrubs within rights-of-way, streets, and public property as may be necessary to ensure public safety or to preserve or enhance public grounds.

— (E) — Clear vision. All trees, shrubs and other plant material located within the public rights-of-way or in public places shall comply with the clear vision standards of this subchapter.

— (F) — Illegal to cut, injure or top trees.

— (1) — It shall be unlawful for any person to remove trees situated on city property, including streets and roadways of the city, without obtaining permission from the City Arborist for that purpose.

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~~— (2) — It shall be unlawful as a normal practice for any person, firm or city department to top any tree on city property. TOPPING is the severe cutting back of limbs to stubs larger than three inches in diameter within the tree's crown to such a degree as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other cause, or other obstructions where other pruning practices are impractical, may be exempted from this division (F)(2) at the determination of the City Arborist.~~

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~~— (G) — Pruning, corner clearance. Every owner of any tree or shrub overhanging any street, sidewalk or right-of-way within the city, shall prune the branches so that such branches shall not severely obstruct the light from any street lamp, obstruct the view of any street intersection, or obstruct and create a hazard on a sidewalk. Said owners shall remove all dead, diseased or dangerous trees and shrubs, or broken or decayed limbs which constitute a menace to the safety of the public. The city shall have the right after attempting to contact property owners to prune any tree or shrub on private property when it interferes with visibility of any traffic control device, sign or sight triangle at intersections or constitutes a hazard on a sidewalk. Any costs incurred by the city will be collected from the adjacent property owner.~~

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~~— (H) — Appeal. Any person may appeal a decision of the City Arborist to the City Manager, who may hear the matter and make a final decision within 60 days.~~

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(Ord. 13-2022, passed 7-6-2022)

~~§ 157.994995 SUPPLEMENTARY STANDARDS.~~

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~~— (A) — Fee in lieu of open space. A fee in lieu of landscaped open space in commercial, industrial, multi-family and public facility developments may be permitted by the Planning Commission for required open space that is less than 5,000 square feet in size; provided that, the development can be adequately served by existing parks and recreation facilities. The amount of the fee shall be set forth in the city's fee schedule. Any fee in lieu paid to the city shall be set forth in a development agreement. Open space fees in lieu shall be held by the city in a reserved account to be used solely for the acquisition, development and/or improvements to parks and recreation facilities citywide. Where possible, the fees collected by the city shall be used to improve the park or open space nearest the location where those fees were paid.~~

Commented [SN14]: General Concerns about the equality of this. Generally support the removal of this section.

~~— (B) — Modification. The percentage of required landscaped open space may be modified through a development agreement, subject to Planning Commission recommendation and City Council approval. No modification shall be granted, however, unless the following standards are met:~~

~~— (1) — The granting of the modification will not adversely affect the rights of adjacent landowners or residents;~~

~~— (2) — The modification desired will not adversely affect the public health, safety or general welfare; and~~

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~~____(3) ____The granting of the modification will not be opposed to the general spirit and intent of this subchapter or the general plan.~~

~~____(C) ____Preservation, maintenance and ownership.~~

~~____(1) ____The Planning Commission and City Council shall require the preservation, maintenance and ownership of all required open space for non-residential, multi-family or planned single-family residential developments through one or a combination of the following: Dedication of the land as a public park or parkway system;~~

~~____(2) ____Dedication of the land as permanent open space on the recorded plat;~~

~~____(3) ____Granting the city a permanent open space easement on the private open spaces to guarantee that the open space remain perpetually in recreation use, with ownership and maintenance being the responsibility of a homeowners' association;~~

~~____(4) ____Through compliance with the provisions of the condominium ownership act as outlined in UCA Title 57, which provides for the payment of common expenses for the upkeep of common areas and facilities;~~

~~____(5) ____Landscaping for all single-family residential properties shall be maintained in accordance with the provisions of this subchapter and applicable regulations of the zone in which the property is located; and~~

~~____(6) ____In the event that open space or other required landscaping improvements or facilities are not landscaped or maintained in a manner consistent with the approved site plan or landscaping plan, the city may at its option cause such landscaping or maintenance to be performed and assess the costs to the affected property owner(s) or other responsible association or entity.~~

~~(Ord. 13-2022, passed 7-6-2022)~~

§ 157.995996 PROHIBITED WATERING PRACTICES.

~~—Regardless of the age of a development, water shall be properly used. Waste of Wasting water is prohibited.~~

~~(Ord. 13-2022, passed 7-6-2022) Penalty, see § 157.999 157.999~~

§ 157.996997 ENFORCEMENT.

~~—The Community Development Director or designee is authorized to enforce all provisions of this subchapter.~~

~~(Ord. 13-2022, passed 7-6-2022)~~

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Some General Notes:

1. The colored text are the changes. Some appear in different colors, that just reflects that some changes were made at different times by different people.
2. Some of the items that show it not changed may have moved into a different spot. This is how Micorsoft word decided to track the change.

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