



Utah's Hometown
In the middle of everything

**CITY COUNCIL
MEETING
July 16, 2026**



Kaysville City

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notifications for Kaysville
City Council and Planning
Commission
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OPENING

a) Presented by Council Member
Joshua McBride



CALL TO THE PUBLIC

3-minute time-limit.
Limited to 5 people.

Must sign up in person
before the meeting begins.



PRESENTATIONS AND AWARDS

- a) Presentation of the Employee of the Quarter Award to Bryan White
- b) Honoring Award Winners from the "I Can Make A Difference" Program
- c) Recognition of All-Star Award Winners
- d) Presentation of the Unsung Hero Award to Linda Francis
- e) State of the City Report — City Manager Jaysen Christensen



State of the City 2025-2026

JULY 16, 2026



Mission Statement

“Enhance the present and future quality of community life in Kaysville through the delivery of effective, efficient and equitable services.”

Kaysville University 2026





Police Department



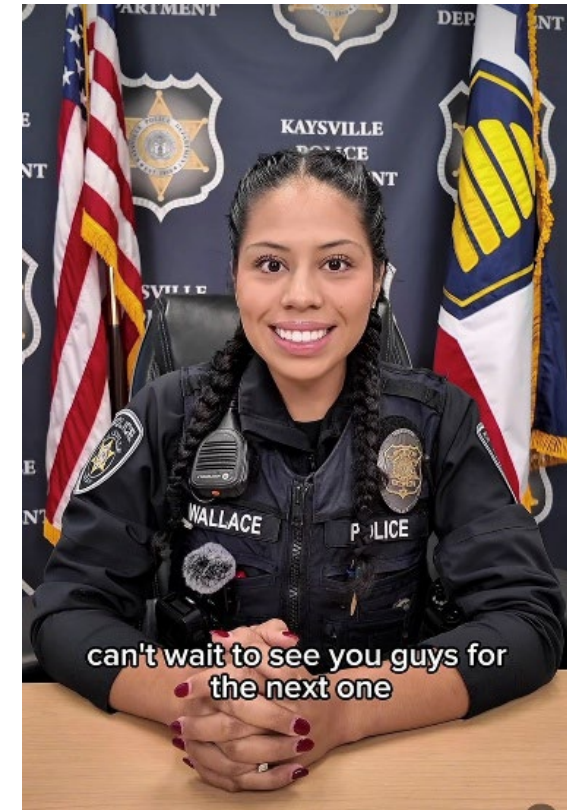


Police Service Calls



Morning Briefs

- New communication initiative for residents on day-to-day work and issues in PD such as:
 - Recent incidents
 - Public safety concerns
 - Community outreach efforts
 - Various ongoing PD initiatives
- Create meaningful connections with community and strengthen trust, transparency and awareness



Kaysville rated 8th safest city in Utah for (2025)



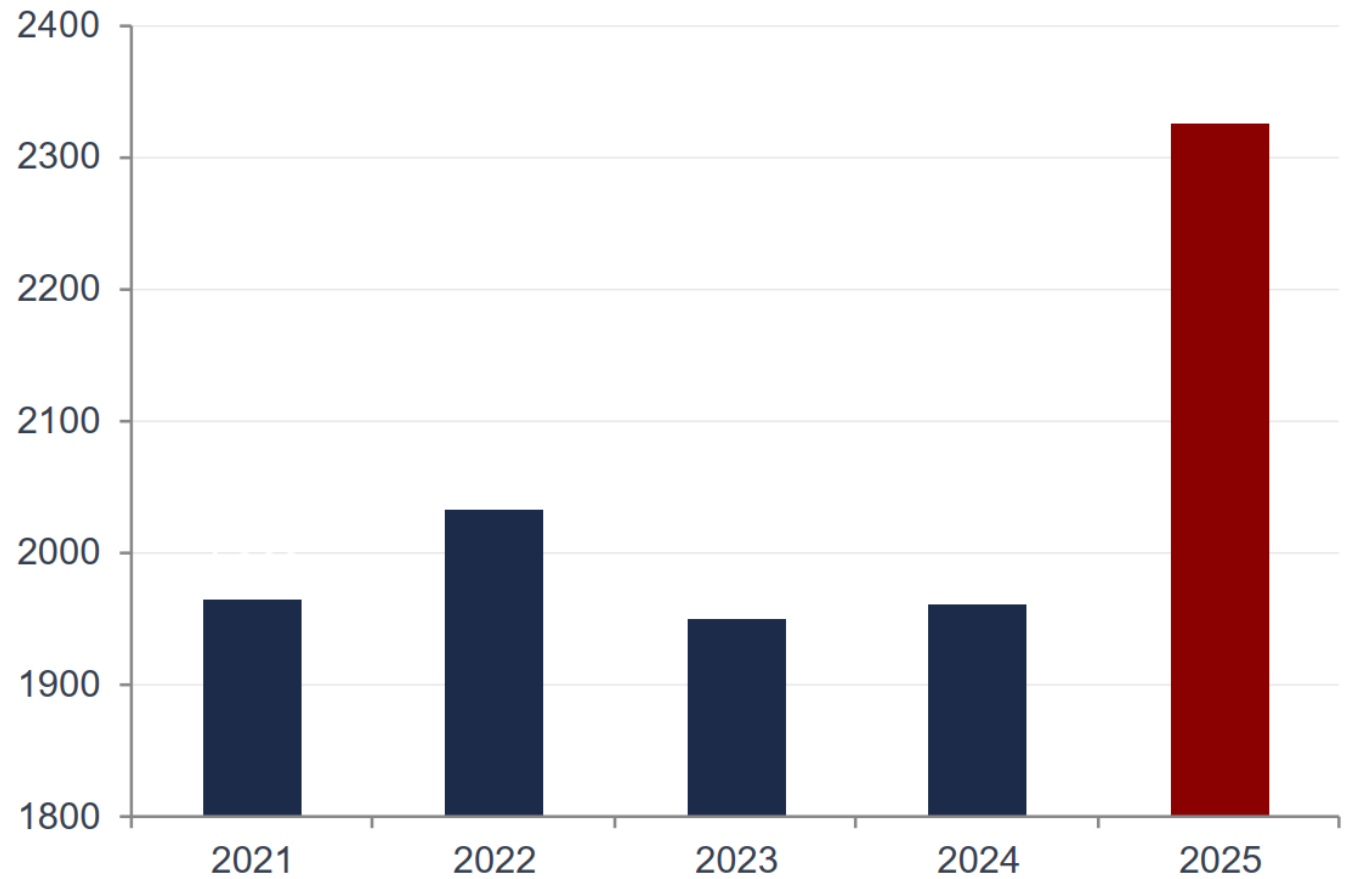


Fire Department





Total Fire Dept Responses by Year



Wildland Fire Deployment



- In 2025, KFD deployed to the Knowles and Monroe fires in central Utah
- Total deployment = 17 days
- Total KFD expenses = \$25,208
- Total reimbursement = \$59,805
- ROI = \$34,597 (137%)





Public Works Department

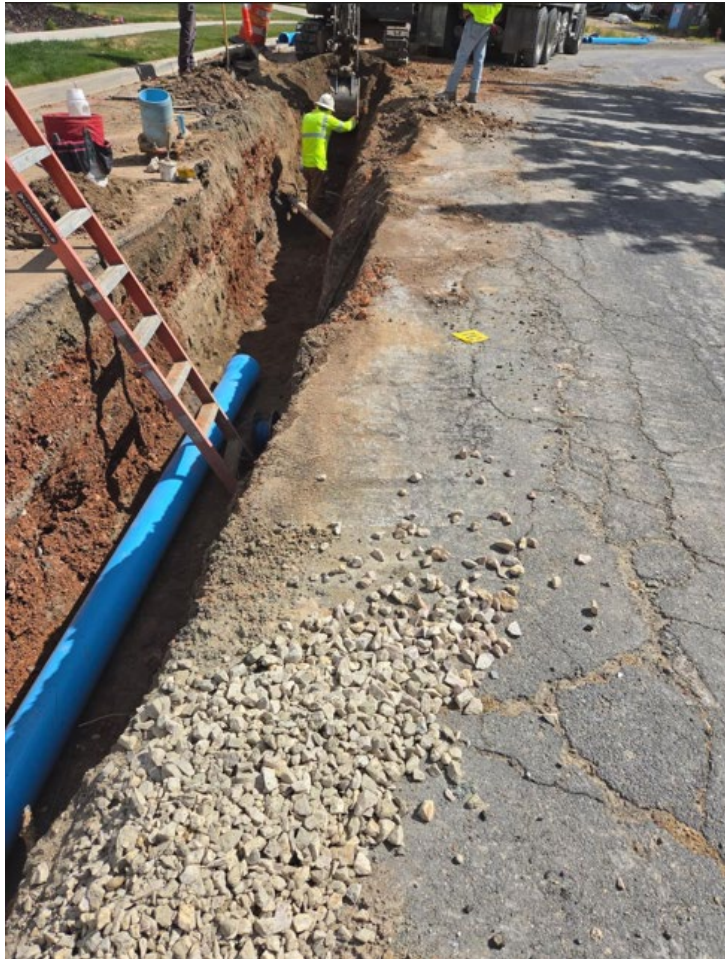




Public Works

- 130 miles of public streets
- 168 miles of drinking water pipes, 9,500 service lines, 7 water tanks, 3,600 valves, 1,700 hydrants, 6 chlorin monitoring stations, 3 large pump houses
- 150 miles of stormwater pipes
- Engineering
- Grants – \$28 million over past 10 years

Kings Ct Waterline Replacement



200 N Reconstruction



Power Department

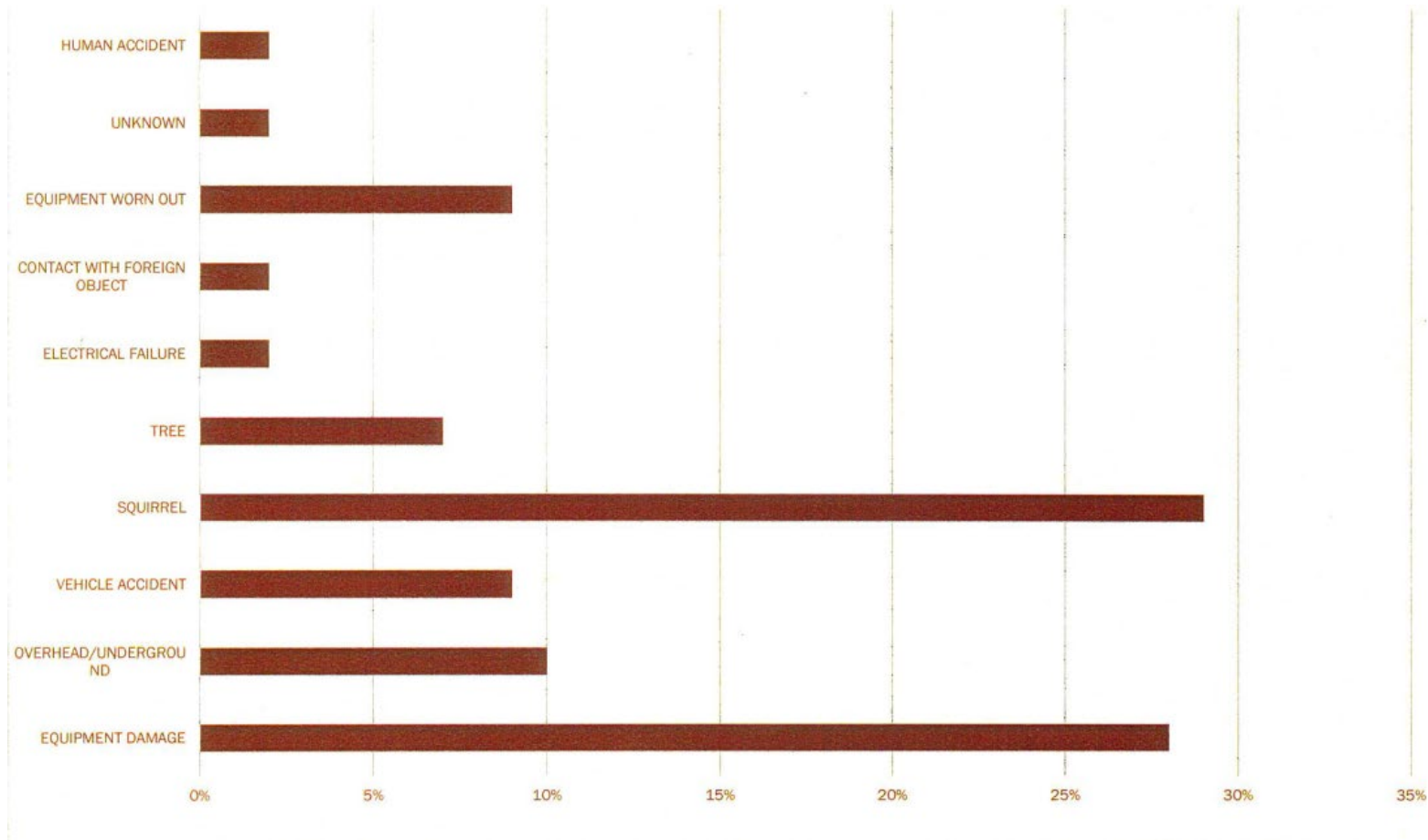




Unscheduled Outages

UNSCHEDULED	EVENTS	EVENTS	% OF TOTAL
	2024	2025	
EQUIPMENT DAMAGE	41	17	28%
OVERHEAD/UNDERGROUND	11	6	10%
VEHICLE ACCIDENT	4	5	9%
SQUIRREL	4	17	29%
TREE	4	4	7%
WILDLIFE	3	0	0%
ELECTRICAL FAILURE	3	1	2%
NON-UTILITY FIRE	2	0	0%
CONTACT WITH FOREIGN OBJECT	0	1	2%
FAILURE OF GREATER TRANSMISSION	2	0	0%
WIND	1	0	0%
EQUIPMENT WORN OUT	1	5	9%
HEAT	1	0	0%
WEATHER	1	0	0%
UNKNOWN	1	1	2%
HUMAN ACCIDENT	0	1	2%
MANUFACTURING DEFECT	0	0	0%
WIND	0	0	0%
TOTAL	79	58	
TOTAL PERCENTAGE			100%

2025 Unscheduled Outages





Average Service Availability Index

Kaysville City 2015 ASAI was 99.97%

Kaysville City 2016 ASAI was 99.9962%

Kaysville City 2017 ASAI was 99.79%

Kaysville City 2018 ASAI was 99.9936%

Kaysville City 2019 ASAI was 99.9983%

Kaysville City 2020 ASAI was 99.9922%

Kaysville City 2021 ASAI was 99.994%

Kaysville City 2022 ASAI was 99.9925%

Kaysville City 2023 ASAI was 99.9842%

Kaysville City 2024 ASAI was 99.98%

Kaysville City 2025 ASAI was 99.9742%

Significant Projects

- Burton substation
- Underground line replacement
- EDAM
- Several subdivision new builds
- King Clarion rebuild





Parks & Recreation Department



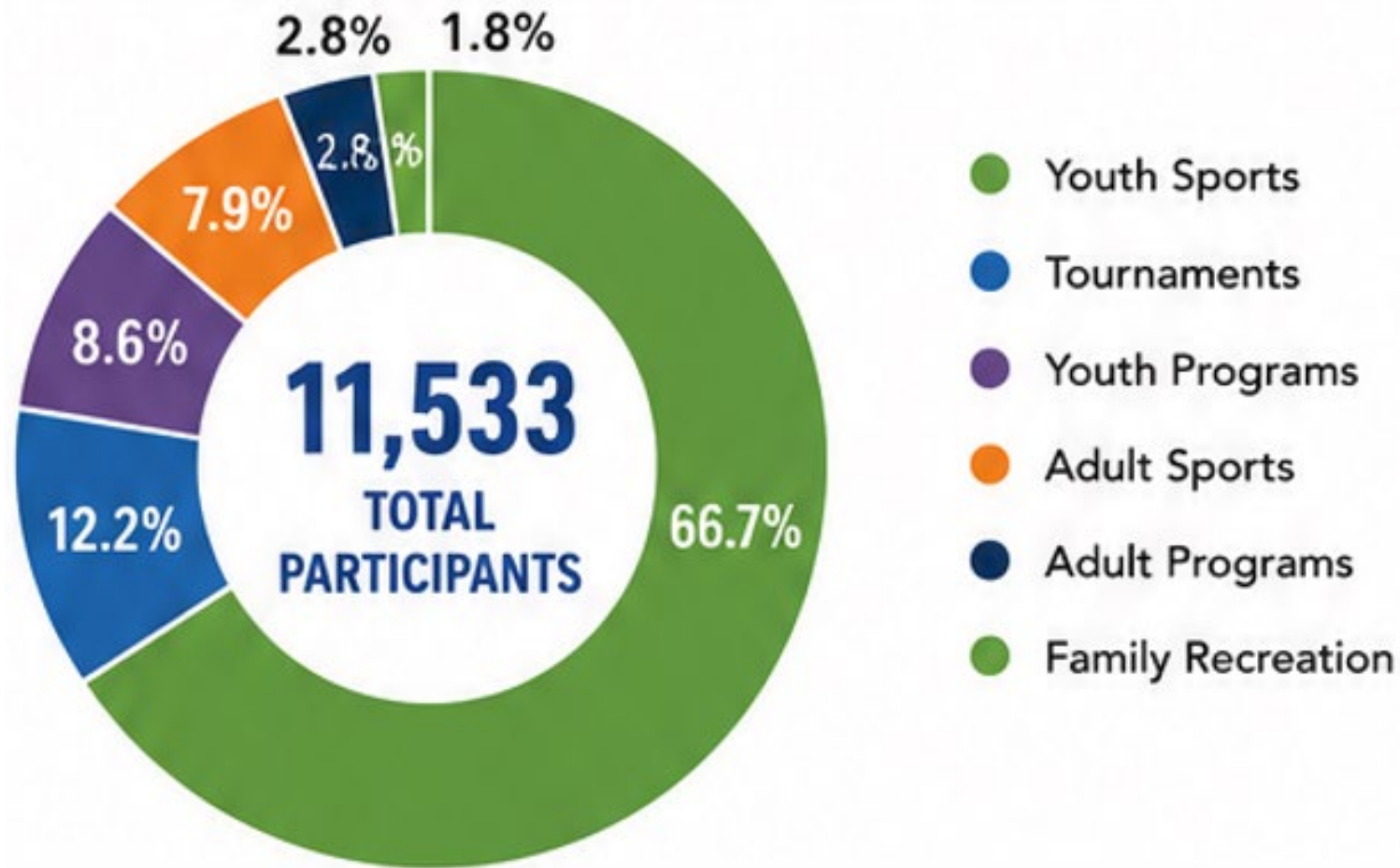
Kaysville Field House



Cremation Garden



Recreation Programing

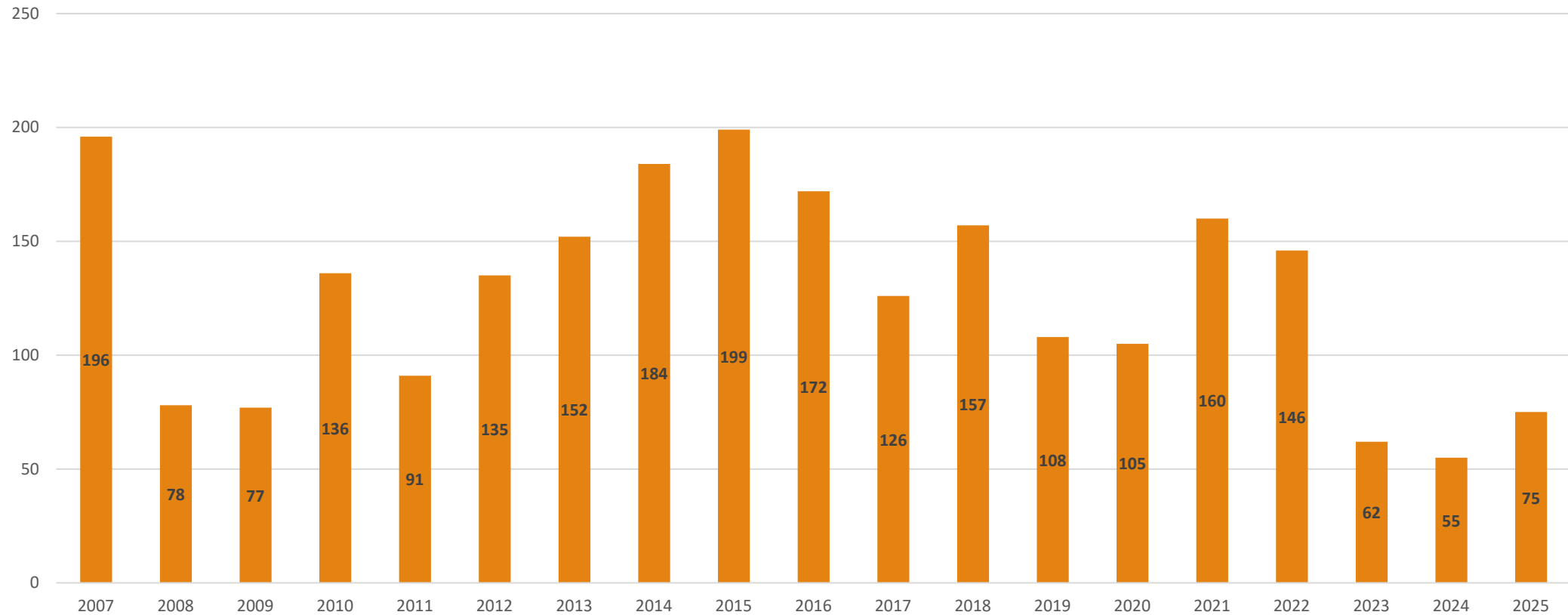




Community Development Department

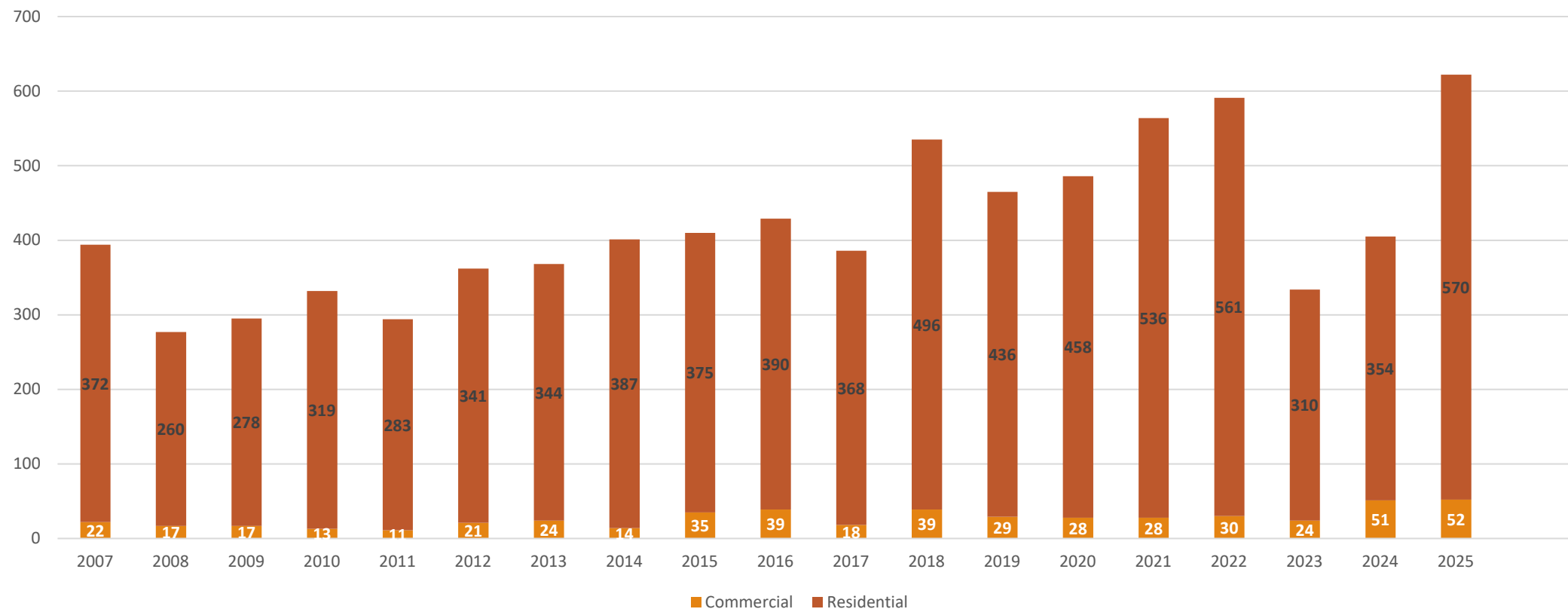


New Home Permits (Single Family & Townhome)





Building Permits Issued



Small Area Plan

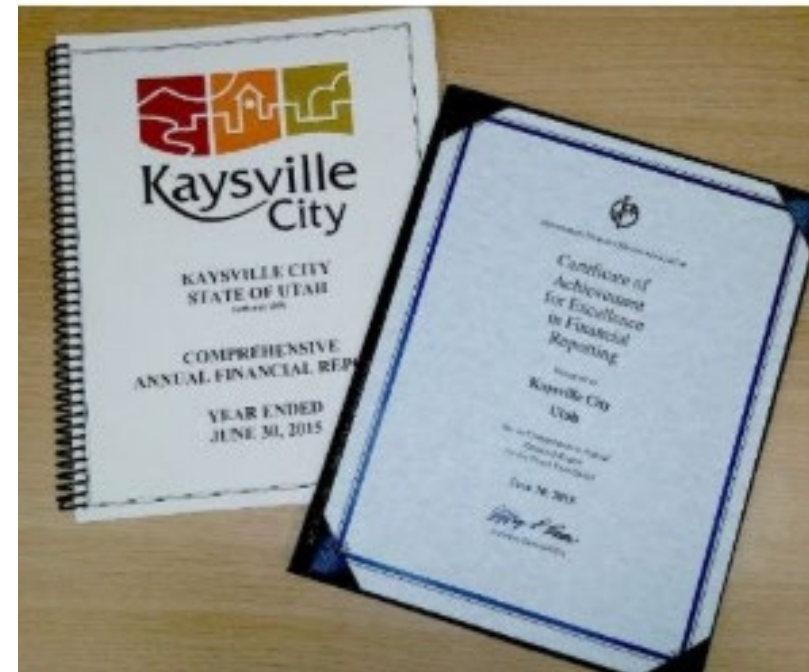


KAYSVILLE CITY CENTER SMALL AREA PLAN

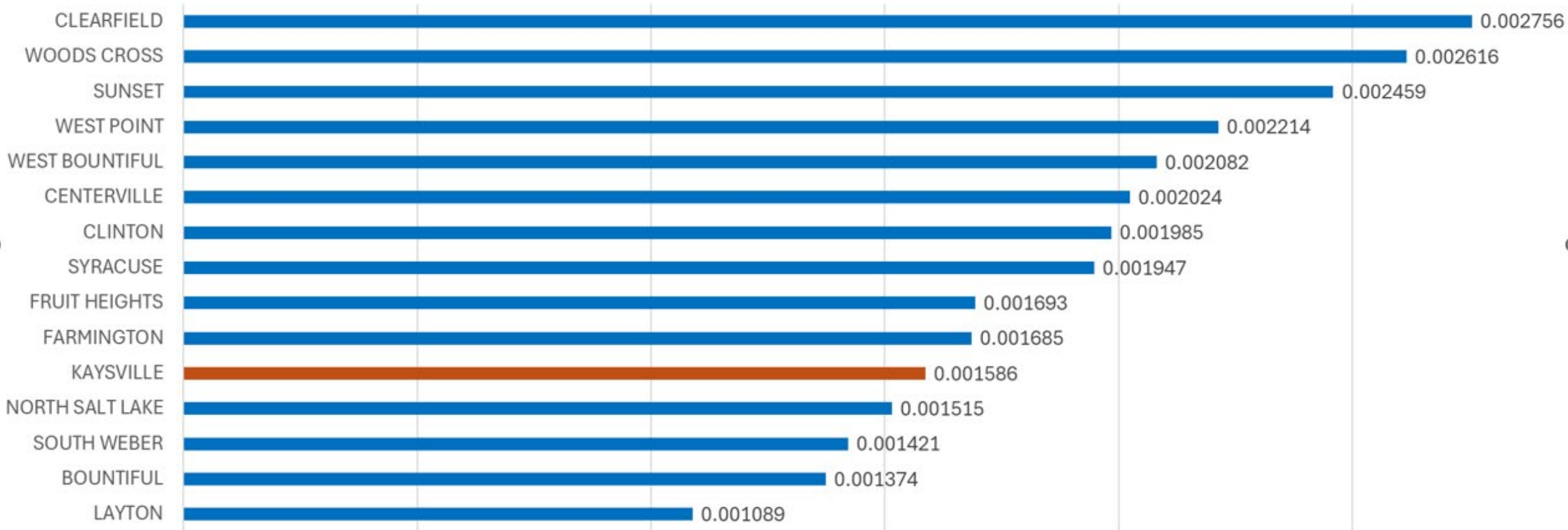
We heard your
feedback—now help
shape the future

We are now entering the
Visioning Phase. This is your
opportunity to help refine the
vision and priorities to influence
the future.

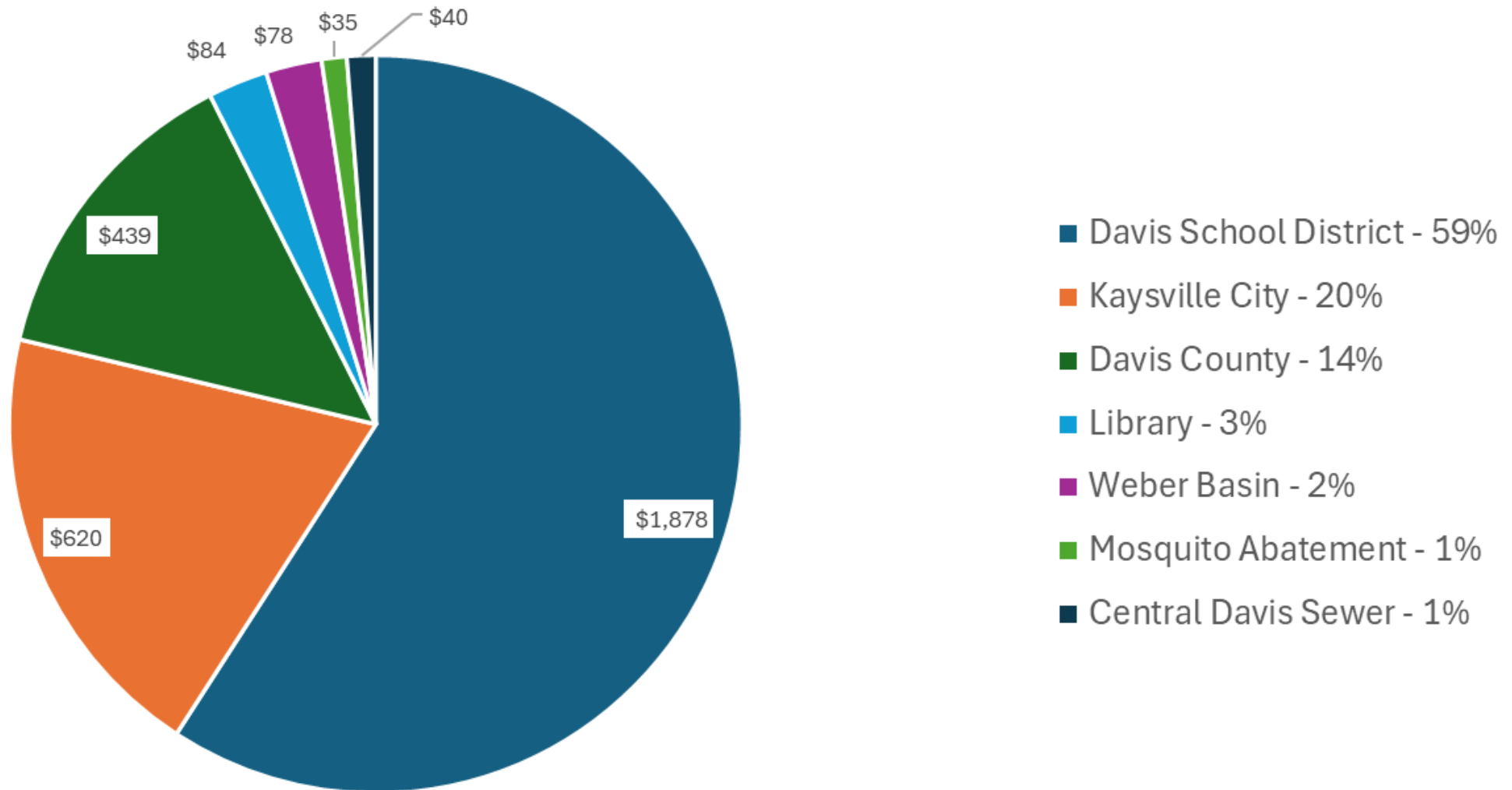
Fiscal Considerations



2026 Certified Property Tax Rates (including districts)



Where Do My Property Taxes Go?



**Kaysville Resident - Annual Property Tax Distribution Assuming \$711K Home Value and an annual property tax bill of \$3,175*



Future Challenges & Priorities

- Aging infrastructure
- Rising costs
- Staffing: attract and retain talent
- Increasing state and federal regulations
- Public safety, including new fire station
- Connectivity
- Aesthetic enhancement and image
- Communication
- Planning
- Downtown revitalization & economic development
- Library building preservation



DECLARATION OF CONFLICTS OF INTEREST



CONSENT ITEMS

- a) Approval of Minutes from the May 21, 2026 City Council Work Session
- b) Approval of Minutes from the May 21, 2026 City Council Meeting
- c) Approval of Minutes from the June 4, 2026 Kaysville Business Park Architectural Review Committee Meeting
- d) Approval of Minutes from the June 4, 2026 City Council Meeting
- e) Appointment of Marny Clark as Youth City Council Advisor
- f) Appointment of Randi Von Bose and Natalie Clemens as Youth Court Advisors



ACTION ITEMS

a) Consideration of a Rezone Request at 768 West Christopher Circle from R-A Agricultural Residential to R-1-20 Single-Family Residential for Nicholas Racker (Tabled Item)

Utah's Hometown *In the middle of everything*



Application Type: Rezone

Applicant: Nicholas Racker

Address: 768 W Christopher Circle

Parcel ID Number: 08-242-0047

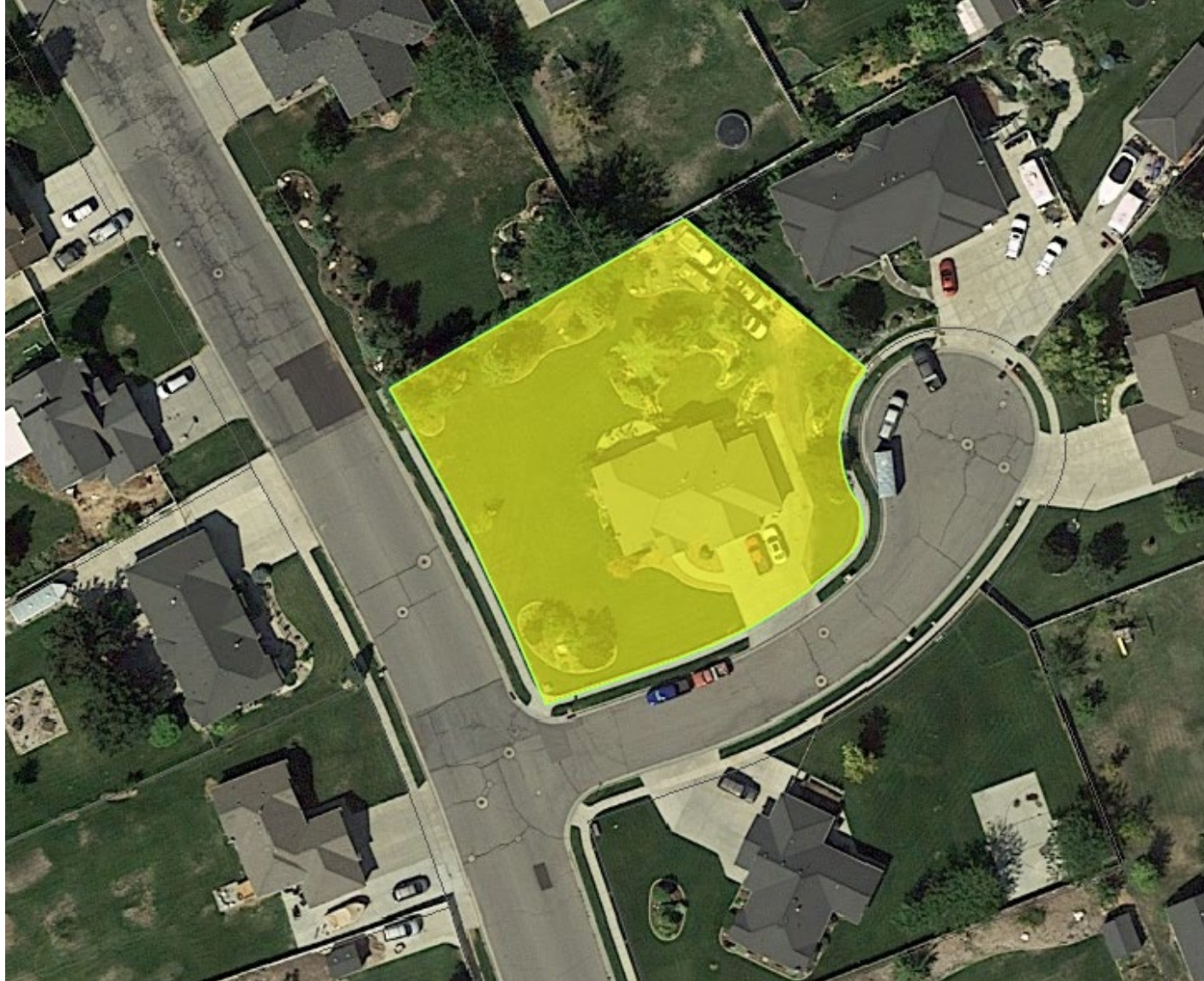
Lot Size: 0.64 acres | 27,878 ft²

Current Use: Single Family Home

Current Zoning: R-A Agricultural Residential

Requested Zoning: R-1-20 Single Family Residential

768 West Christopher Circle



768 West Christopher Circle

Exterior Renderings (For Color Reference)

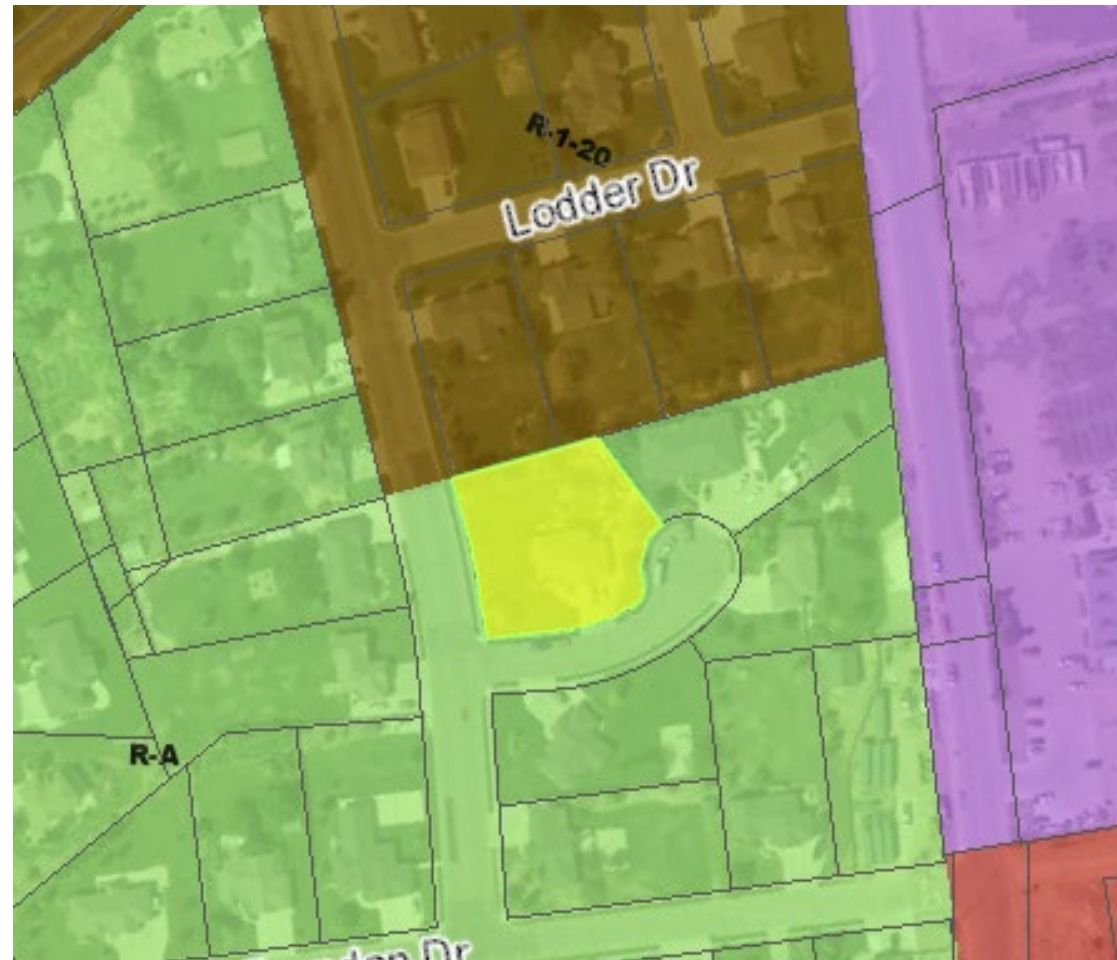


Front/corner elevation — white R-panel siding, black wainscoting, black standing seam roof and trim.



Full side elevation — same finish package, showing garage door and window placement.

Zoning Map



Future Land Use Map



Public Notice and Comments

- 49 notices mailed
- 2 phone calls asking the purpose of the rezone, one resident came in to ask about the change in setbacks

Planning Commission

- Public Hearing held May 25, 2026.
 - 2 residents raised concerns about compatibility with the existing neighborhood.
- Voted 5-1 to recommend approval.



Recommendation:

Approve the rezone request for 768 West Christopher Circle from R-A Residential Agricultural to R-1-20 Single Family Residential.



ACTION ITEMS

b) Consideration of a Development Agreement and Rezone Request at 80 East Center Street from A-1 Light Agricultural District to CC Central Commercial District with an MU Mixed Use Zoning District Overlay for Gonzalo Calquin



Application Type: Rezone

Applicant | Property Owner : Gonzalo Calquin | Ryan Wilde

Address: 80 East Center Street

Parcel Id Number: #111-08-0021

Lot Size: 1.6 acres | 69,696 ft²

Current Use: Single Family Home

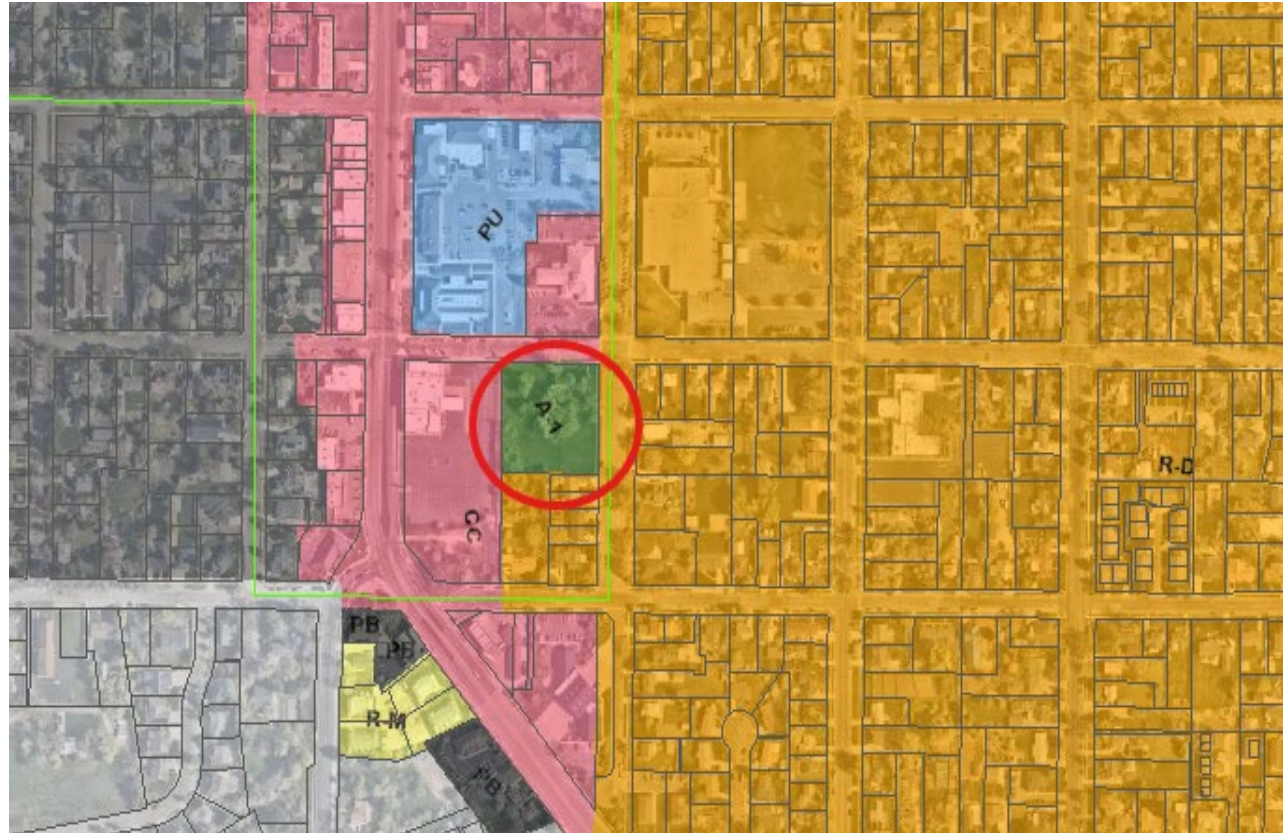
Current Zone: A-1 Light Agricultural District

Proposed Zone: CC Central Commercial District with a MU
Mixed Use Overlay

80 East Center Street



Zoning Map



Future Land Use Map



General Plan



Provide diverse housing options

We will work to preserve our existing neighborhoods while accommodating a full range of housing opportunities to meet the economic, lifestyle and life-cycle needs of our residents.



Enrich our city center and downtown

We will enhance our city center with commercial and mixed-use development and investing in streetscape and parking.

2022 General Plan

LAND USE & PLACEMAKING PLAN

Goals & Objectives

GOAL 2: MAKE KAYSVILLE CITY CENTER DISTINCT AND IDENTIFIABLE FROM ADJACENT NEIGHBORHOODS AND SURROUNDING CITIES

Objective 2.2: Create a distinct city center and expand the “heart of the community” to include areas beyond the historic core.

Objective 2.3: Carefully integrate new development with existing uses in established neighborhoods.

- **Implementation Measure:** Protect historic structures in order to maintain the sense of history and special qualities of the historic core.

2022 General Plan

LAND USE & PLACEMAKING PLAN

Goals & Objectives

**GOAL 8: PROVIDE A RANGE OF HOUSING
OPTIONS AND PRICE POINTS THAT HELP
ENSURE KAYSVILLE IS AN AFFORDABLE
PLACE TO LIVE**

**Objective 8.1: Coordinate and align Land Use and
Housing Policies**

- **Implementation Measure:** Allow and encourage new residential development models that meet the future needs of the community.

General Plan

ECONOMIC DEVELOPMENT & PROSPERITY

Goals & Objectives

GOAL 1: PROMOTE KAYSVILLE CITY CENTER REDEVELOPMENT TO STRENGTHEN COMMERCIAL AREAS

Objective 1.1: Allow for greater densities in Kaysville City Center to generate an increase in buying power and capture rates.

Objective 1.2: Focus on small scale and local services to meet public requests and provide local growth.

General Plan

HOUSING & NEIGHBORHOODS

Goals & Objectives

GOAL 1: PROVIDE A FULL RANGE OF HOUSING OPPORTUNITIES TO MEET THE ECONOMIC, LIFESTYLE AND LIFECYCLE NEEDS AND EXPECTATIONS FOR RESIDENTS

Objective 1.3: (A) Rezone for densities necessary to facilitate the production of moderate income housing.

Objective 1.4: (F) Zone or rezone for higher density or moderate income residential development in commercial or mixed-use zones near major transit investment corridors, commercial centers, or employment centers.

Site Plan



Parking Calculations

Parking				
Residential				
Units	Number Units	# Spaces/Unit	Provided	KCC Requires
3 bedroom + (2.5 stalls/unit)	10	2.5	-	25
2-car garage	10	2	20	
Driveway	10	2	20	
Residential Total			40	
Commercial				
Classification	S.F. Commercial	# Spaces/S.F.		KCC Requires
Offices (Business)		3.5/1,000 S.F.		38
Building B (Center St)	6,200	21		
Building C (Church)	1,259	4	13	
Building E (Rear)	3,200	11	24	
Commercial Total	10,650		37	
Total Required (Residential & Commercial)				63
On-Site Parking Provided	77			77
Total Parking Provided				77

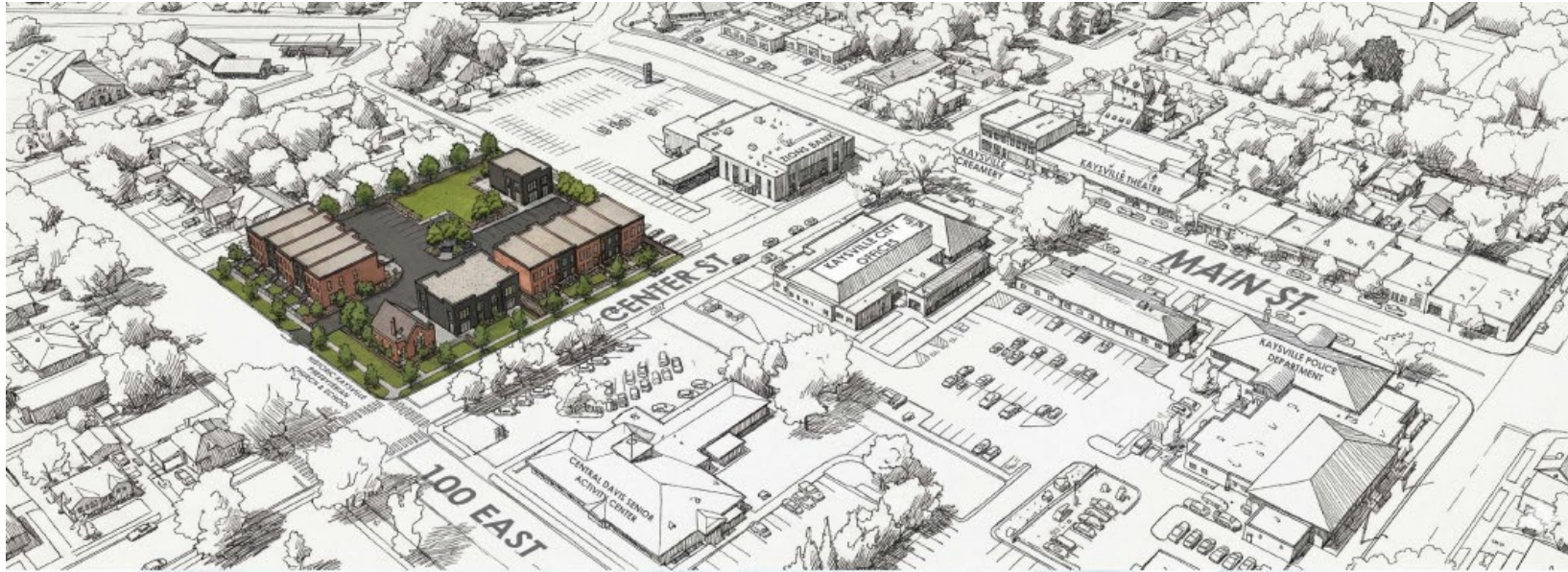
Mixed Use Overlay

Building Square Footage			
Residential Buildings	# Units	Square Footage/Unit	Total
Building A (5-plex Townhomes)	5	2,500	12,500
Building D (5-plex Townhomes)	5	2,500	12,500
Total	10		25,000
Commercial Buildings	# Buildings	Square Footage	Total
Building B (Two-Story Office)	1	6,200	6,200
Building C (Church)	1	1,250	1,250
Building E (Two-Story Office)	1	3,200	3,200
Total			10,650
Project Square Footage			35,650
Total Percent Commercial			29.87%

Development Agreement

- Phasing: Required have a valid building permit and pass the inspection for footings and foundation for Building B, the two-story commercial building fronting Center Street prior to issuance of building permits for the townhomes labeled as Building A and D.
- Historic Preservation: Requires the applicant to improve existing Presbyterian Church and make it available for commercial use within 24 months.
- Planned repairs to the roof without substantially altering the roof line, maintain the bell tower and replace the original bell.
- The Planning Commission should discuss the preservation elements in to determine appropriateness based on the requested rezone.

Renderings



CHURCH ON CENTER

REZONE APPLICATION DRAWINGS

80 E CENTER ST. KAYSVILLE, UTAH

MAY 18, 2026



GBC ARCH
ARCHITECTURE + PLANNING

Renderings



Renderings



Renderings



Public Notice and Comments

- 65 notices mailed
- Two comments through the online comment portal expressing concerns regarding safety concerns from the increased traffic from the project, speed limits, and safe crossing plans for the elementary students

Planning Commission

- Public Hearing held June 11, 2026.
 - 2 residents raised concerns about traffic safety and the importance of the historic elements of the church being preserved.
- Voted 6-0 to recommend approval.



Recommendation:

Approve the Development Agreement and rezone request for 80 East Center Street from A-1 Light Agriculture to CC Central Commercial with a MU Mixed Use Overlay.



ACTION ITEMS

c) Consideration of the Adoption of the Kaysville City Center Small Area Plan

Planning Commission

- Public Hearing held April 23, 2026.
- Voted unanimously in favor of approving the Small Area Plan.



Recommendation:

Staff is not able to provide a recommendation on the Kaysville City Center Small Area Plan.



ACTION ITEMS

d) Consideration of Funding for the
Community Development Director Position



Recommendation:

Staff strongly recommends continued funding for the Community Development Director position.



WORK ITEMS

- b) Discussion of Placing a General Obligation Bond for a Fire Station on the Ballot (Ongoing Discussion)



COUNCIL MEMBER REPORTS



CITY MANAGER REPORT



CLOSED SESSION



ADJOURNMENT OF CITY COUNCIL MEETING

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