



STAFF REPORT

To: Summit County Manager
From: Amir Caus, AICP, Senior Planner
Date of Meeting: July 28, 2026
Type of Item: Final Site Plan - Possible Action
Process: Administrative Review
File: 26-048

Proposal

The applicant is requesting to receive approval for a Final Site Plan for the Nicklaus Clubhouse Final Site Plan Phase 5. The approval would allow for a pool addition with support facilities to the existing Nicklaus Clubhouse complex. The addition includes; pool and deck area, hot tub, mechanical room, and check-in and storage.

The applicant has stated that the hours of operation will be 6 a.m. to 8 p.m., seven days a week with 1 staff member and the existing clubhouse staff (18) playing supporting roles.

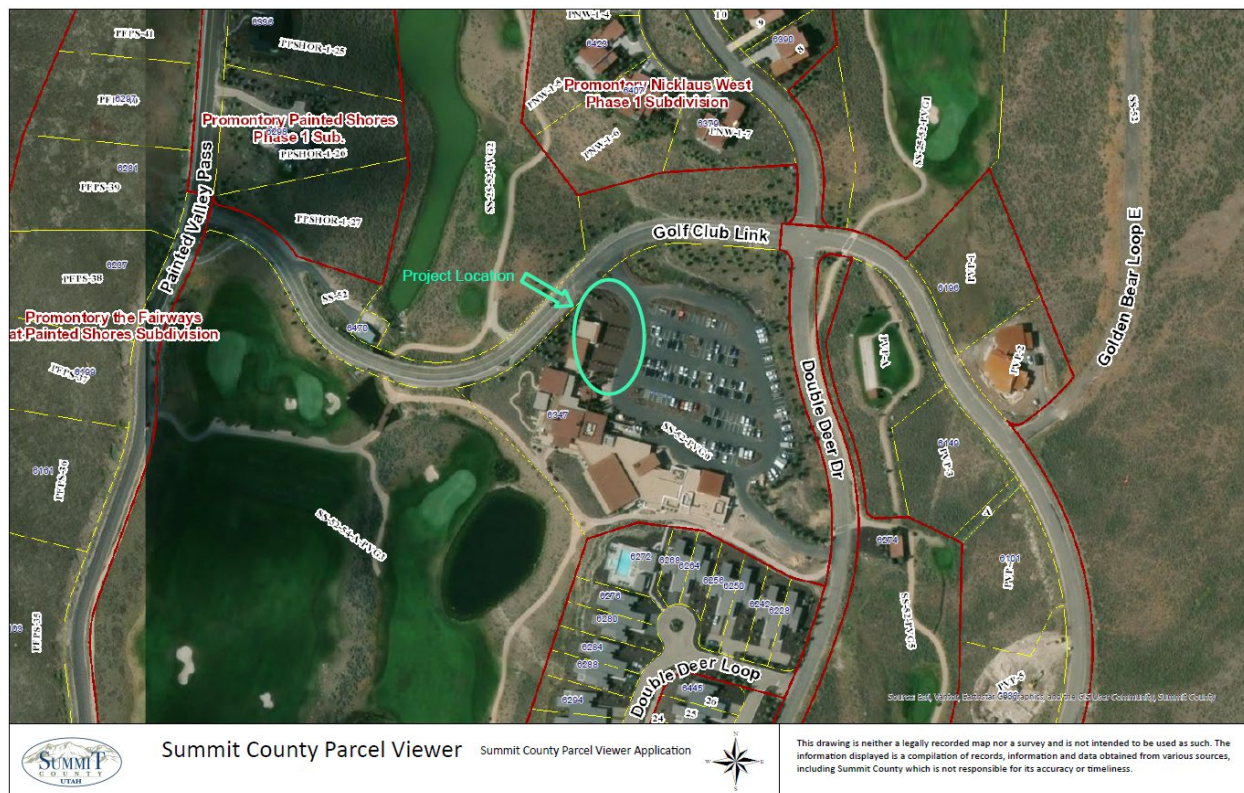
The existing parking area will be utilized to serve the pool addition.

The proposal package can be found in Exhibit A.

Project Description

Project Name: Promontory - Nicklaus Clubhouse Final Site Plan Phase 5
Applicant(s): Jeff Young, Promontory Homes
Property Owner(s): Promontory Investments LLC
Location: 6347 Golf Club Link, Promontory, Summit County, UT
Zone District: Promontory SPA, Underlying Zoning AG-80
Parcel Number and Size: SS-52-PVG6 (6.46 acres)
Type of Process: Administrative
Final Land Use Authority: Summit County Manager

Vicinity Map



Background

The Promontory Development Agreement was approved on January 2, 2001. It provided for 885 estate lots as part of a base density, 716 incentive density lots, two hotels/300 resort units, equestrian facility, up to five golf club houses, and other accessory uses on approximately 6500 acres with no less than 3900 acres remaining as passive open space. Of the 1901 total units in the density pool, 1,535 units have been approved.

The Nicklaus Clubhouse was originally approved in 2014, expanded in 2016, 2020, and 2023 culminating in a ~42,000 sq. ft. facility. The facilities within the clubhouse include, but are not limited to; kitchen with chef's office, main dining room, private dining room and dining patios, conference/reception center, fitness center, locker rooms with restrooms and showers and shared attendant station, pro shop, a club repair workstation, full-service spa, restrooms, break room for the golf employees, storage, mechanical rooms, and golf cart storage.

The development parameters for this project are specifically set forth in the Development Agreement.

On July 2, 2026, the Eastern Summit County Planning Commission voted to forward a positive recommendation to the Summit County Manager to approve the proposed Final Site Plan.

Analysis and Findings

Development Agreement Requirements

The Development Agreement delegates decision making powers to the Board of County Commissioners for all Final Plats. With the change of government that took place, the former Board of County Commissioner's administrative duties diverted to the County Manager and the legislative duties diverted to the County Council. Final Site Plans and Final Site Plan Amendments are considered an administrative action. The Eastern Summit County Planning Commission remains as the recommending body.

Section 4.4.2 of the Promontory Development Agreement states; *4.4.2 Golf Courses. Club and Community Facilities and Related Uses. Up to four (4), appropriately sized and sensitively located 18-hole, private golf courses (all golf courses must be environmentally sensitive, and minimize the use of pesticides, fertilizers, and irrigation water), equestrian and other Promontory golf club facilities including restaurants, retail and commercial uses, private clubs and other similar uses; and community gate houses, temporary and permanent sales facilities, maintenance facilities and other similar uses related to the operation, maintenance, marketing, and sales of Promontory shall be permitted...*

The proposed structure meets all setback and height requirements and is not developed on any critical lands.

The applicant is proposing exterior lighting via full-cut-off wall packs, via recessed lights within the canopies, and full-cut-off bollard lights around the pull. Staff have marked up on the plans the lights that do not meet the lighting ordinance. The applicant has confirmed that all exterior lighting will be turned off at closing time.

Service Providers

Staff has not received any negative service provider comments which would hinder the proposal.

Promontory Architectural Review Committee

Staff has received approval from the Promontory Architectural Review Committee for the proposal.

Recommendation

It is Staff's finding that the request meets the applicable standards in the Eastern Summit County Development Code and Promontory Development Agreement. Staff recommends that the Summit County Manager review and approve the proposed Final Site Plan, according to the following Findings of Fact, Conclusions of Law and Conditions of Approval:

Findings of Fact:

1. The Promontory Development Agreement was approved on January 2, 2001.
2. Promontory Investments LLC is the owner of record of Parcel SS-52-PVG6 (6.46 acres), located at 6347 Golf Club Link, Promontory, Summit County, UT.
3. The applicant is requesting to receive approval for a Final Site Plan for the Nicklaus Clubhouse Final Site Plan Phase 5.
4. The approval would allow for a pool addition with support facilities to the existing Nicklaus Clubhouse complex.
5. The addition includes; pool and deck area, hot tub, mechanical room, and check-in and storage.
6. The applicant has stated that the hours of operation will be 6 a.m. to 8 p.m., seven days a week with 1 staff member and the existing clubhouse staff (18) playing supporting roles.
7. The existing parking area will be utilized to serve the pool addition.
8. Section 4.4.2 of the Promontory Development Agreement states; *4.4.2 Golf Courses. Club and Community Facilities and Related Uses. Up to four (4), appropriately sized and sensitively located 18-hole, private golf courses (all golf courses must be environmentally sensitive, and minimize the use of pesticides, fertilizers, and irrigation water), equestrian and other Promontory golf club facilities including restaurants, retail and commercial uses, private clubs and other similar uses; and community gate houses, temporary and permanent sales facilities, maintenance facilities and other similar uses related to the operation, maintenance, marketing, and sales of Promontory shall be permitted...*
9. The applicant is proposing exterior lighting via full-cut-off wall packs, via recessed lights within the canopies, and full-cut-off bollard lights around the pull.
10. Staff have marked up on the plans the lights that do not meet the lighting ordinance.
11. The applicant has confirmed that all exterior lighting will be turned off at closing time.
12. Staff have included specific conditions of approval regarding lighting to help ensure compliance with Section 11-6-20 of the Eastern Summit County Development Code.
13. Public notice of the public hearing was published in the newspaper.
14. Postcard notices announcing the public hearing were mailed to property owners within 1,000 feet of the subject parcels.
15. Service providers have reviewed the Final Site Plan for compliance with applicable standards and no project issues have been identified that could not be mitigated.
16. Staff has reviewed the proposed Final Site Plan for compliance with applicable Development Code standards and the Promontory Development Agreement standards.
17. On July 2, 2026, the Eastern Summit County Planning Commission voted to forward a positive recommendation to the Summit County Manager to approve the proposed Final Site Plan.

Conclusions of Law:

1. The proposal meets the applicable terms of the Promontory Development Agreement.
2. The proposal meets the applicable standards of the Eastern Summit County Development Code.
3. The proposal meets the applicable standards of the Eastern Summit County General Plan.

Conditions of Approval:

1. Architectural lighting intended to accent or draw attention to architectural features of a building shall be prohibited.
2. Landscape lighting intended to accent or draw attention to landscape elements on the property shall be prohibited.
3. Up lighting to illuminate buildings and other structures shall be prohibited.
4. All necessary permits must be obtained and fees shall be paid prior to the commencement of any construction activity, including but not limited to the Summit County Engineering and the Summit County Building Departments.
5. All service provider requirements shall be met.

Public Notice, Meetings and Comments

This item was publicly noticed as a public hearing with possible action by the Eastern Summit County Planning Commission. Notice of the public hearing was published in the newspaper. Courtesy postcards were mailed to all property owners within 1,000 feet of the subject Parcel.

As of the date of this report, no public comment has been received.

Attachments

Exhibit A – Applicant Proposal Package



April 13, 2026

Summit County Community Development
Attn: Planning Department
P.O. Box 128
60 North Main
Coalville, UT 84017
435-336-3117

RE: Nicklaus Pool Expansion

Promontory Development is submitting a Final Site Plan application to seek approval for an expansion to the Nicklaus Painted Valley Clubhouse facility. This narrative will seek to outline the purpose, location/site history and changes of this application.

Purpose

The Nicklaus Painted Clubhouse originally included a lap pool as a part of the facility that was eventually pulled from the plans. With the expansion of homes now reaching further into the Painted Valley and Brown's Canyon areas, the ability and need to provide a lap pool and spa in this area has grown. This pool will allow greater access to members of the community at a closer range than having to go to other pools further away.

Site Location/History

The Nicklaus Painted Valley facility was originally approved and recorded in April 2014. However, since approval, there have been three revisions to the FSP. This application will be the 5th approval to the facility, bringing the facility square footage to 42,115. A summary of the approvals is listed below.

- Original FSP for the Clubhouse was recorded on April 23rd 2014
 - Golf Clubhouse and Restaurant – 9,564 square feet.
- Revision 1 to the FSP was recorded on December 1, 2016
 - Revision to add a Fitness Facility – 2,680 square feet.
- Revision 2 to the FSP was recorded on June 3, 2019
 - Revision to add Banquet Halls and Spa Facilities – 15,949 square feet.
- Revision 3 to the FSP was recorded on October 13, 2023
 - Revision to enlarge the Spa Facility – 6,922 square feet.

The site is relatively flat with some moderate topo to the north of the proposed expansion. With the building of a pool equipment room in that area, we anticipate that the concrete walls constructed there will act as retaining for any areas that will need it.

Building Program

The request is to add an additional 7,000 square feet of footprint adjacent to and to the north of the fitness area of the current building. The addition will include the following functions:

- 75' long x 21' wide lap swimming pool with ADA lift
- 13'-6" long x 15' wide raised spa
- Addition of a check-in building that will include
 - Main Check-in Room
 - Janitor Closet
 - Storage Room
- Pool Deck area to include lounge chairs, along with tables and chairs
- Planter areas around the outer perimeter of the pool deck area
- Addition of a pool storage structure that will include
 - Pool Storage Room
 - Two chemical treatment rooms
- Driveway pavement that will access the chemical storage rooms and pool equipment room

Aesthetically, the exterior design of the pool area and storage structure will use similar materials used on the existing structure to give the impression at completion that this facility has always been a part of the building as a whole. Building materials will consist of:

- Low slope and flat roof systems that will match the existing clubhouse design
- Metal Wall panel system

There is no additional parking proposed with the application, as a surplus of parking was provided in the previous facility approvals. The parking lot will continue to have snow removal in the winter season that will be maintained by the Promontory Conservancy.

No additional landscaping is proposed. Upon completion of the facility, disturbed landscaped areas will be returned to their original condition to match the current theme.

Hours of operation for the pool area will be from dawn until dusk.

We anticipate the number of daily staff to be 2-4 with a total on the roster of 6 due to needed days off and schedule adjustments.

Promontory appreciates the consideration of this request and believes it will have a positive impact to the viability of the community and its membership.

If you have any questions, please feel free to contact me.

Sincerely,

Jeff Young
Director of Commercial Construction
Promontory HOMES
307-677-4852
jyoung@promontoryhomes.com

EXHIBIT A.3



May 6, 2026

Jeff Young
8578 N Promontory Ranch Rd
Park City, UT 84098

Re: Architectural Review of the Promontory Nicklaus Pool Expansion - Final Approval

Dear Jeff,

The Promontory Architectural Review Committee is pleased to conditionally grant final approval for the pool expansion final plan set submitted for the Committee's review. Having received this conditional final approval, you may apply for your building permit from Summit County, subject to their requirements once you have received stamped plans from the Committee.

Please note that anything mentioned in the Design Guidelines which requires approval by the Committee and which has not been submitted to the Committee or is not on the set of approved plans, is not approved by omission. If changes do occur during construction, it is the Owner's responsibility to submit any and all revisions prior to installation.

Please call Christine Morr (435-333-4067) with any questions you may have regarding this letter or applicable submittal requirements.

Very truly yours,

Natalie Souza
Chair
Architectural Review Committee

PROMONTORY NICKLAUS PAINTED VALLEY CLUBHOUSE POOL

PHASE FIVE - FINAL SITE PLAN

LOCATED IN SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN
SUMMIT COUNTY, UTAH

ABSTRACT

THE PURPOSE OF THIS FINAL SITE PLAN IS TO APPROVE THE FITNESS CENTER POOL EXPANSION. THIS PLAN, KNOWN AS PROMONTORY NICKLAUS PAINTED VALLEY CLUBHOUSE PHASE FIVE FINAL SITE PLAN, IS AN ADDITION TO THAT CERTAIN PROMONTORY NICKLAUS PAINTED VALLEY CLUBHOUSE PHASE ONE FINAL SITE PLAN RECORDED ON APRIL 23, 2014 AS ENTRY NO. 993794, PHASE TWO FINAL SITE PLAN RECORDED ON DECEMBER 1, 2016 AS ENTRY NO 1059074, PHASE THREE FINAL SITE PLAN RECORDED ON JUNE 3, 2019 AS ENTRY NO 1111936, AND PHASE FOUR FINAL SITE PLAN RECORDED ON OCTOBER 13, 2023 AS ENTRY NO. 01210971 IN THE OFFICIAL RECORDS OF SUMMIT COUNTY.

GENERAL NOTES

1. THE CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AS FIELD DESIGNATED STORAGE AREAS, STAGING OR ACCESS AREAS, CONSTRUCTION AND MATERIAL WASTE AREAS AND/OR AS APPROVED BY THE CITY ENGINEER.
2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE CONTRACTOR AND OWNER.
3. THE TERM CONTRACTOR SHALL MEAN ALL CONTRACTORS, SUBCONTRACTORS, AND ALL FOLLOW ON CONTRACTORS. REQUIREMENTS FOR ONE SHALL APPLY TO ALL.
4. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF PROPOSED CONSTRUCTION WITHIN THE UTILITY'S AREA OF RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING HIS CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED AND TO FIELD LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

PROJECT BASIS OF BEARING AND BENCHMARK

SEE THE SITE TOPOGRAPHICAL SURVEY IN THIS DRAWING SET FOR THE PROJECT BASIS OF BEARING AND BENCHMARK.

NICKLAUS CLUBHOUSE PARCEL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH BEARS SOUTH 0°02'26" WEST ALONG THE EAST LINE OF SAID SECTION 24 1,274.39 FEET AND WEST 1,829.83 FEET FROM THE NORTHEAST CORNER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH, (BASIS OF BEARING BEING SOUTH 0°02'26" WEST 5,315.33 FEET BETWEEN THE NORTHEAST CORNER OF SAID SECTION 24 AND SOUTHEAST CORNER OF SAID SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN), AND RUNNING THENCE SOUTH 41°4'08" WEST 35.01 FEET TO A POINT OF CURVATURE OF A 625.00 FOOT RADIUS CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 85°45'52" EAST; THENCE SOUTHERLY 287.69 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 26°22'26" TO A POINT OF A REVERSE CURVATURE OF A 475.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS SOUTH 67°51'42" WEST; THENCE SOUTHERLY 296.84 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 35°48'18"; THENCE NORTH 76°20'00" WEST 65.98 FEET; THENCE NORTH 62°09'57" WEST 189.55 FEET; THENCE NORTH 83°04'04" WEST 125.88 FEET; THENCE SOUTH 72°00'42" WEST 99.83 FEET; THENCE NORTH 33°37'59" WEST 128.21 FEET; THENCE NORTH 45°11'42" WEST 252.90 FEET TO A POINT OF A 260.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE NORTHEASTERLY 175.61 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 38°41'54" (CHORD BEARS NORTH 63°09'14" EAST 172.29 FEET); THENCE NORTH 43°48'17" EAST 187.32 FEET TO A POINT OF CURVATURE OF A 200.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS SOUTH 46°11'43" EAST; THENCE NORTHEASTERLY 176.04 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 50°25'51"; THENCE SOUTH 88°45'52" EAST 173.62 FEET TO A POINT OF A CURVATURE OF A 25.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS SOUTH 41°4'08" WEST; THENCE SOUTHEASTERLY 39.27 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" TO THE POINT OF BEGINNING.

CONTAINING 281,523 SQUARE FEET OR 6.46 ACRES, MORE OR LESS.

SHEET INDEX

C101	COVER SHEET
1 OF 1	TOPOGRAPHICAL SURVEY
C201	OVERALL SITE PLAN
C202	EXISTING CONDITIONS AND DEMO PLAN
C203	CIVIL SITE AND GRADING & DRAINAGE PLAN
C204A	CONSTRUCTION MANAGEMENT PLAN OPTION 1
C204B	CONSTRUCTION MANAGEMENT PLAN OPTION 2
C205	CONSTRUCTION DETAILS
SP-1	ARCHITECTURAL SITE PLAN
SP-2	NOTATION PLAN – LOWER LEVEL
SP-3	NOTATION PLAN – MAIN LEVEL
SP-4	CHECK-IN PLAN, RCP, SLAB & ROOF
SP-5	EXTERIOR ELEVATIONS

PROJECT CONTACTS

OWNER:
PROMONTORY INVESTMENTS, LLC

ARCHITECT:
STUDIO WORKS ARCHITECTURE
BRENT HARRIS
480-766-8005
brent@studioworksarchitecture.com

CIVIL ENGINEER:
MIKE CARLTON
(801)-793-0443
mcarlton@wildingengineering.com

PLANNING COMMISSION
THIS PLAN HAS BEEN REVIEWED BY OUR OFFICE AND IS HEREBY APPROVED AND ACCEPTED.
DATE _____ SUMMIT COUNTY COMMUNITY DEVELOPMENT DIRECTOR

GOVERNING BODY APPROVAL AND ACCEPTANCE
APPROVED THIS _____ DAY OF _____, 20____ ON BEHALF OF THE SUMMIT COUNTY COUNCIL PER THE EASTERN SUMMIT COUNTY DEVELOPMENT CODE SECTION 11-4-11.
LAND USE AUTHORITY (SUMMIT COUNTY MANAGER)

MOUNTAIN REGIONAL WATER DISTRICT
ACCEPTED THIS _____ DAY OF _____, 20____ BY THE MOUNTAIN REGIONAL WATER SPECIAL SERVICE DISTRICT WHICH HAS COMMITTED TO PROVIDING WATER SERVICE TO THE LOTS INCLUDED ON THIS PLAT.
AUTHORIZED AGENT

ROCKY MOUNTAIN POWER
SATISFACTORY ARRANGEMENTS HAVE BEEN MADE FOR THE PROVISION OF ELECTRICAL SERVICE TO THE AREAS SHOWN ON THIS PLAN.
AUTHORIZED AGENT OF ROCKY MOUNTAIN POWER

COUNTY TREASURER
REVIEWED AND ACCEPTED BY THE OFFICE OF THE SUMMIT COUNTY TREASURER THIS _____ DAY OF _____, 20____.
SUMMIT COUNTY TREASURER

SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT
THIS PLAN HAS BEEN REVIEWED BY OUR OFFICE AND IS HEREBY APPROVED AND ACCEPTED.
DATE _____ SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT AUTHORIZED REPRESENTATIVE

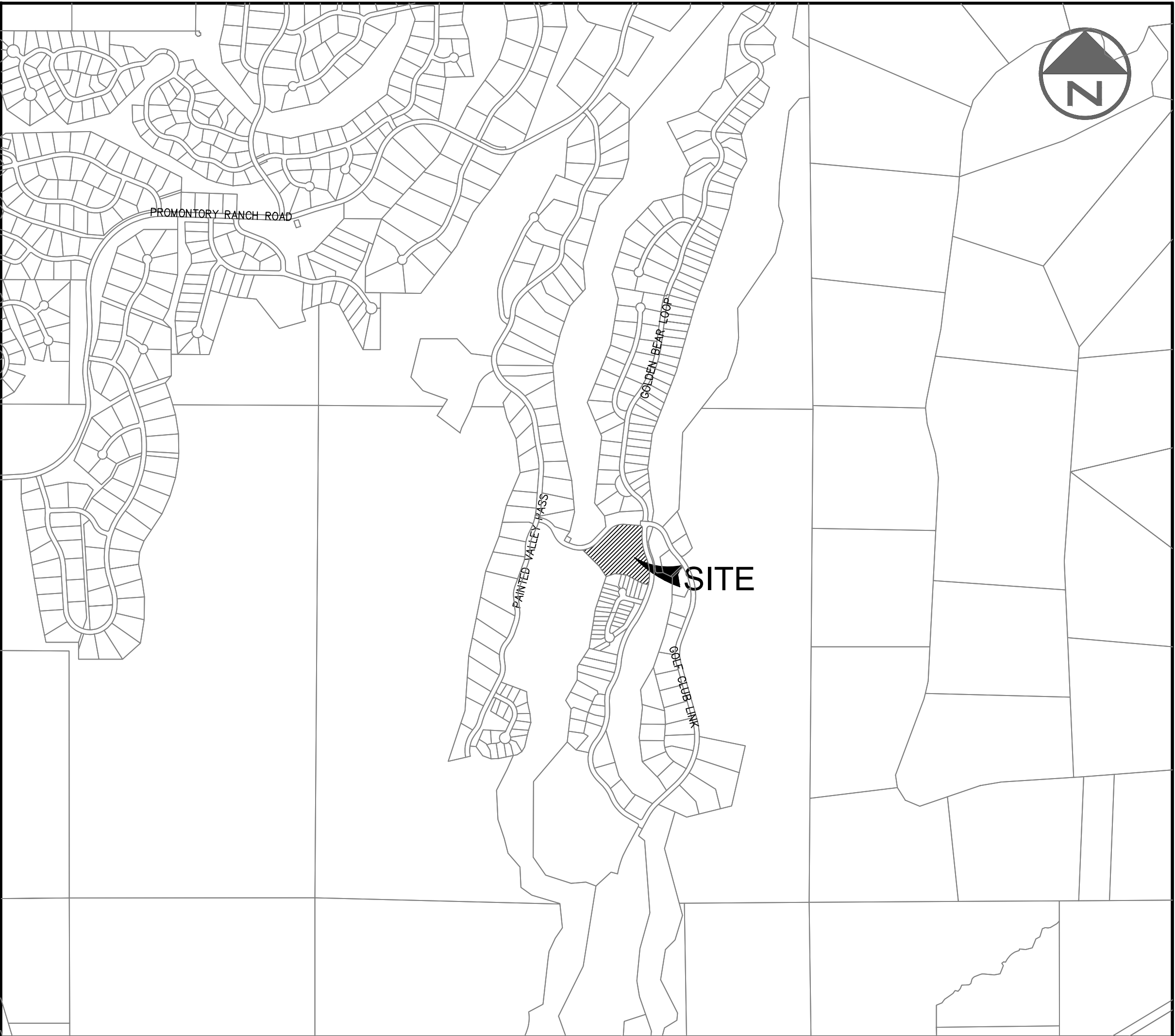
PARK CITY FIRE SERVICE DISTRICT
THIS PLAN HAS BEEN REVIEWED AND APPROVED BY THE PARK CITY FIRE SERVICE DISTRICT.
DATE _____ PARK CITY FIRE MARSHAL

APPROVAL AS TO FORM
APPROVED AS TO FORM ON THIS _____ DAY OF _____, 20____.
SUMMIT COUNTY ATTORNEY

SNYDERVILLE BASIN WATER RECLAMATION DISTRICT
REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS _____ DAY OF _____, 20____.
AUTHORIZED REPRESENTATIVE

COUNTY ENGINEER
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAN REVIEWED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH AVAILABLE INFORMATION ON FILE IN THIS OFFICE.
DATE _____ SUMMIT COUNTY ENGINEER

RECORDED
ENTRY NO _____ FEE \$ _____.
STATE OF _____ UTAH _____ COUNTY OF _____ SUMMIT _____.
DATE _____ TIME _____.
RECORDED AND FILED AT THE REQUEST OF: _____
SUMMIT COUNTY RECORDER



VICINITY MAP

OWNER'S CONSENT TO RECORD:

KNOWN BY ALL MEN BY THESE PRESENT, THAT THE UNDERSIGNED IS THE OWNER OF THE HEREON DESCRIBED TRACT OF LAND, KNOWN AS THE "NICKLAUS CLUBHOUSE PARCEL":

EXECUTED THIS _____ DAY OF _____, 20____.

PROMONTORY INVESTMENTS, LLC

BY: _____

ITS: _____

ACKNOWLEDGMENT:

STATE OF _____)
COUNTY OF _____)SS.

ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____, WHOSE IDENTITY IS PERSONALLY KNOWN TO BE OR HAS BEEN PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE, AND BEING FIRST DULY SWORN, ACKNOWLEDGED THAT HE/SHE/THEY WAS DULY AUTHORIZED BY _____ PROMONTORY INVESTMENTS, LLC TO EXECUTE THE FORGOING OWNER'S CONSENT TO RECORD, AND THAT HE DID SO OF HIS OWN VOLUNTARY ACT.

NOTARY PUBLIC FOR UTAH

RESIDING IN _____ COUNTY

MY COMMISSION EXPIRES: _____

WILDING
ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

Know what's below.

Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

NO.	REVISION	DATE

PROJECT INFORMATION

PROMONTORY NICKLAUS PAINTED VALLEY CLUBHOUSE POOL

COVER SHEET

6347 GOLF CLUB LINK
PARK CITY, UTAH

DRAWN MEC	CHECKED	PROJECT # 26053
DATE 4/13/26		
SCALE NONE		
SHEET C101		

G:\DATA\26053 Promontory Nick pool\dwg\26053 C101 Promontory Nick pool site.dwg
PLOT DATE: Apr 13, 2026

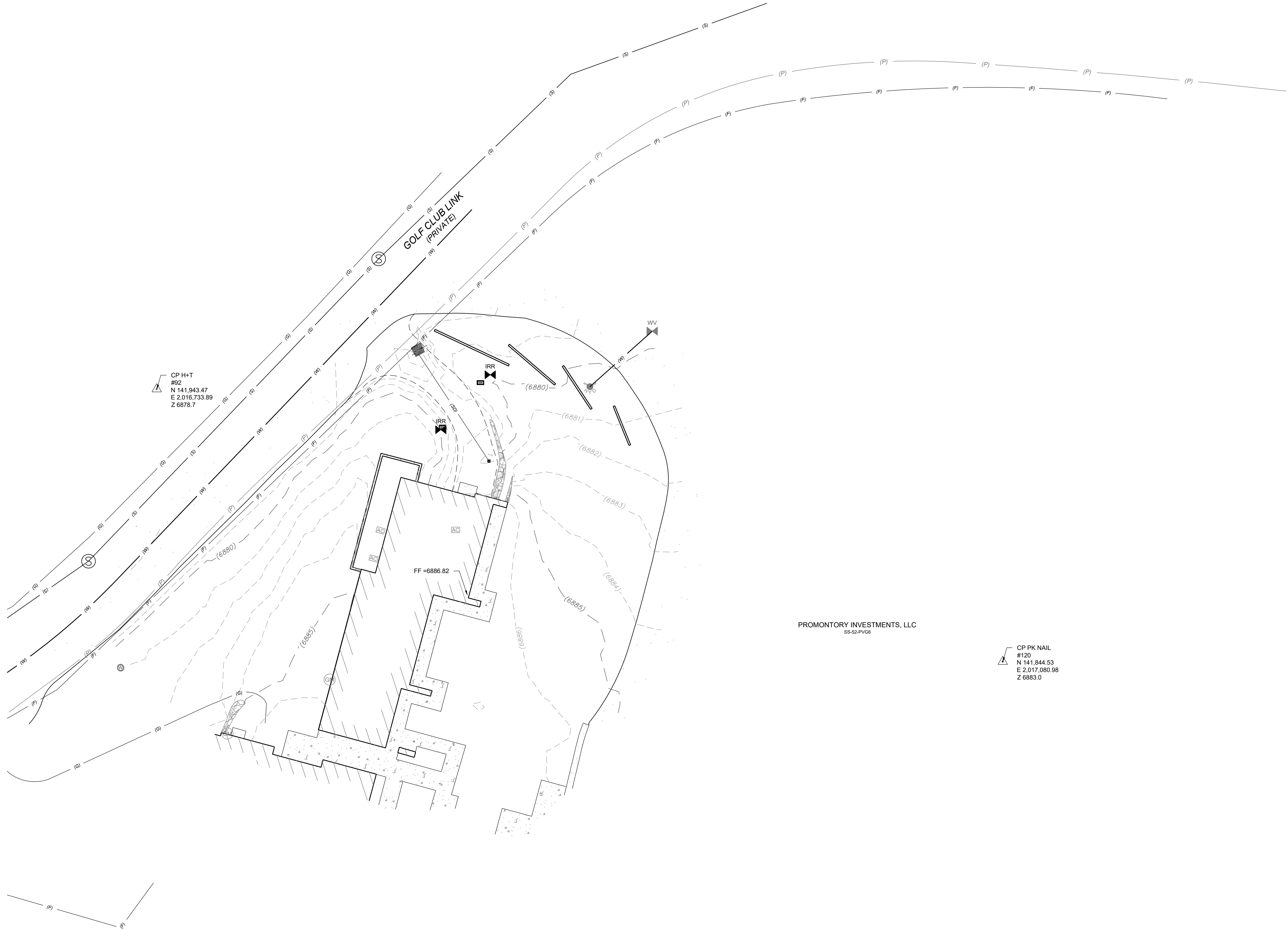
TOPOGRAPHIC SURVEY
A PORTION OF
NICKLAUS CLUBHOUSE
PROMONTORY DEVELOPMENT, LLC
A PORTION OF SUMMIT COUNTY PARCEL SS-52-PVG6
6347 GOLF CLUB LINK
LOCATED IN THE NORTHEAST QUARTER OF SECTION 24
TOWNSHIP 1 SOUTH, RANGE 4 EAST
SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH

NARRATIVE:
PROJECT SCOPE:
THIS SURVEY WAS REQUESTED BY PROMONTORY DEVELOPMENT, LLC FOR THE PURPOSE OF
COMPILING EXISTING CONDITIONS AND TOPOGRAPHIC DATA.
PROJECT CONTROL:
THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°50'58" EAST BETWEEN THE NORTH ½ CORNER
AND NORTHEAST CORNER OF SECTION 25, TOWNSHIP 1 SOUTH RANGE 4 EAST, SALT LAKE BASE &
MERIDIAN AS SHOWN HEREON. THE NORTH ½ CORNER AND NORTHEAST CORNER OF SECTION 25 HAVE
BEEN UTILIZED FOR ORIENTATION TO PROMONTORY HORIZONTAL COORDINATES PER REF. #1
HORIZONTAL CONTROL HAS BEEN SCALED TO GROUND AT THE NORTH ½ CORNER OF SECTION 25,
TOWNSHIP 1 SOUTH RANGE 4 EAST SALT LAKE BASE & MERIDIAN. PROJECT CONTROL WAS
ESTABLISHED WITH RTK GNSS OBSERVATIONS.

THE PROJECT BENCHMARK ELEVATION IS REFERENCED TO THE BENCHMARK "GEORGE" PER REF. #1;
ESTABLISHED AT THE SUBJECT PROPERTY BY RTK OBSERVATION. FIELD DATA WAS GATHERED
MARCH 2025 UTILIZING RTK GNSS, TOTAL STATION AND UAV DATA COLLECTION.

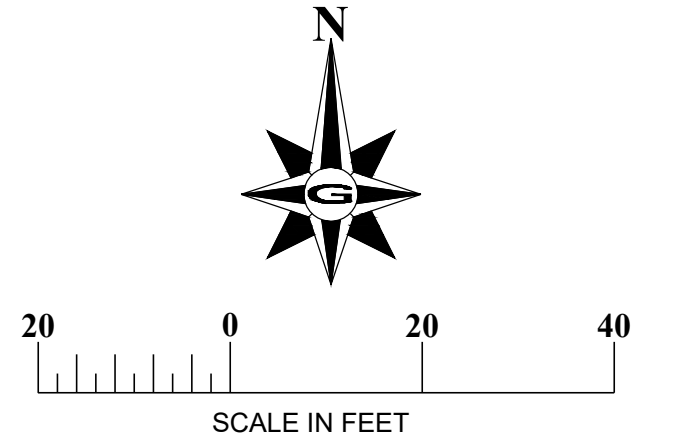
UTILITIES DEPICTED ARE FOR GRAPHICAL INFORMATION ONLY. LOCATIONS OF UNDERGROUND
UTILITIES OR STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. ADDITIONAL ABOVE
GROUND OR BURIED UTILITIES OR STRUCTURES MAY EXIST THAT ARE NOT SHOWN HEREON. NOTIFY
BLUE STAKES PRIOR TO ANY EXCAVATION.

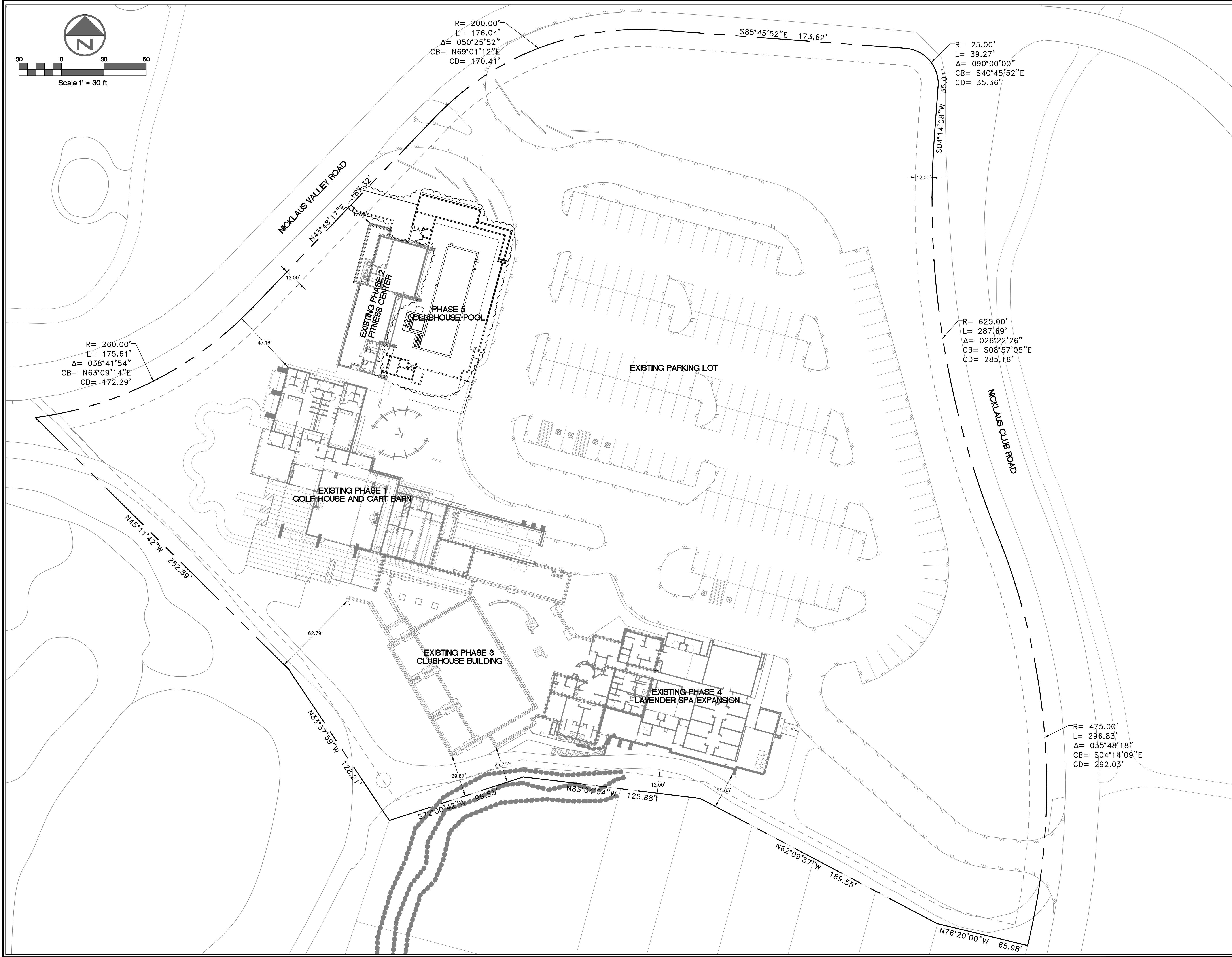
REFERENCES
1. SUMMIT COUNTY SURVEYOR FILE # S3682



LEGEND

16/21	15/22	SECTION CORNER (LOCATED)
16/21	15/22	SECTION CORNER (NOT-LOCATED)
⊕		STREET MONUMENT
⊗		MONUMENT, AS NOTED
△		UDOT OR BOR MONUMENT, AS NOTED
●		PROPERTY CORNER (SET) REBAR W/ CAP "GILSON ENG" NAIL & WASHER "GILSON ENG" LEAD PLUG
○		PROPERTY CORNER (FOUND, AS NOTED)
⦶		POWER POLE
⦶		GUY WIRE
E		ELECTRICAL BOX
⦶		POWER METER
⦶		POWER MANHOLE
⦶		STREET LIGHT POLE
SL		STREET LIGHT BOX
TC		TRAFFIC CONTROL BOX
F		FIBER OPTIC BOX
P		FIBER OPTIC PEDESTAL
C		COMMUNICATIONS BOX
⦶		COMMUNICATIONS PEDESTAL
T		TELEPHONE BOX
⦶		TELEPHONE PEDESTAL
⦶		SIGN
⦶		CATCH BASIN
⦶		STORM DRAIN MANHOLE
⦶		SEWER MANHOLE
⦶		FIRE HYDRANT
⦶		WATER/IRRIGATION VALVE
⦶		WATER METER
⦶		GAS METER
—		CONCRETE
(W)		WATER LINE
(RR)		SECONDARY WATER
(F)		FIBER OPTIC LINE
(C)		COMM. LINE
(P)		OVERHEAD POWER
(UE)		UGRD POWER
(UT)		UGRD TELEPHONE
(G)		GAS LINE
(SD)		STORM DRAIN LINE
(S)		SEWER LINE
---		CONTOUR, MAJOR
---		CONTOUR, MINOR
▬		CONCRETE SURFACE
▬		STRUCTURE







WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

1. THIS OVERALL SITE PLAN INCLUDES THE FITNESS CENTER POOL EXPANSION, THIS PLAN, KNOWN AS PROMONTORY NICKLAUS PAINTED VALLEY CLUBHOUSE PHASE FIVE. IT ALSO SHOWS THE PREVIOUSLY APPROVED AND CONSTRUCTED PHASES, INCLUDING PROMONTORY NICKLAUS PAINTED VALLEY CLUBHOUSE PHASE ONE FINAL SITE PLAN RECORDED ON APRIL 23, 2014 AS ENTRY NO. 993794, PHASE TWO FINAL SITE PLAN RECORDED ON DECEMBER 1, 2016 AS ENTRY NO. 1059074, PHASE THREE FINAL SITE PLAN RECORDED ON JUNE 3, 2019 AS ENTRY NO. 1111936, AND PHASE FOUR FINAL SITE PLAN RECORDED ON OCTOBER 13, 2023 AS ENTRY NO. 01210971 IN THE OFFICIAL RECORDS OF SUMMIT COUNTY.

2. PARKING CALCULATION:

DESCRIPTION	QUANTITY
REQUIRED PARKING	(49,323 SQ. FT. / 1000 SQ. FT. = 49 SPACES REQD)
EXISTING PARKING	186 SPACES (INCLUDING 6 ACCESSIBLE)

THE ABOVE INFORMATION WAS PROVIDED AS PART OF THE PHASE 4 SITE PLAN AND IS NOT CHANGED WITH THE ADDITION OF THE SWIMMING POOL.

3. THE EXISTING SITE HYDROLOGY IS NOT CHANGED WITH THE ADDITION OF THIS SWIMMING POOL.
4. THE AREA OF DISTURBANCE IS APPROXIMATELY 15,000 SQUARE FEET (OR 0.34 ACRES). THE SILT FENCE LENGTH IS 270'± PER SHEET C204B.
5. BOUNDARY DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH BEARS SOUTH 00°02'26" WEST ALONG THE EAST LINE OF SAID SECTION 24 1,274.39 FEET AND WEST 1,829.83 FEET FROM THE NORTHEAST CORNER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH, (BASIS OF BEARING BEING SOUTH 00°02'26" WEST 5,315.33 FEET BETWEEN THE NORTHEAST CORNER OF SAID SECTION 24 AND SOUTHEAST CORNER OF SAID SECTION 24, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN), AND RUNNING THENCE SOUTH 4°14'08" WEST 35.01 FEET TO A POINT OF CURVATURE OF A 625.00 FOOT RADIUS CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 85°45'52" EAST; THENCE SOUTHERLY 287.69 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 28°22'26" TO A POINT OF A REVERSE CURVATURE OF A 475.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS SOUTH 67°51'42" WEST; THENCE SOUTHERLY 296.84 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 35°48'18"; THENCE NORTH 76°20'00" WEST 65.98 FEET; THENCE NORTH 62°09'57" WEST 189.55 FEET; THENCE NORTH 83°04'04" WEST 125.88 FEET; THENCE SOUTH 72°00'42" WEST 99.83 FEET; THENCE NORTH 33°37'59" WEST 128.21 FEET; THENCE NORTH 45°11'42" WEST 252.90 FEET TO A POINT OF A 265.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE NORTHEASTERLY 175.61 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 38°41'54" (CHORD BEARS NORTH 63°09'14" EAST 172.29 FEET); THENCE NORTH 43°48'17" EAST 187.32 FEET TO A POINT OF CURVATURE OF A 200.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS SOUTH 46°11'43" EAST; THENCE NORTHEASTERLY 176.04 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 50°25'51"; THENCE SOUTH 85°45'52" EAST 173.62 FEET TO A POINT OF A CURVATURE OF A 25.00 FOOT RADIUS CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS SOUTH 4°14'08" WEST; THENCE SOUTHEASTERLY 39.27 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" TO THE POINT OF BEGINNING.

CONTAINING 281,523 SQUARE FEET OR 6.46 ACRES, MORE OR LESS.

Know what's below.



Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

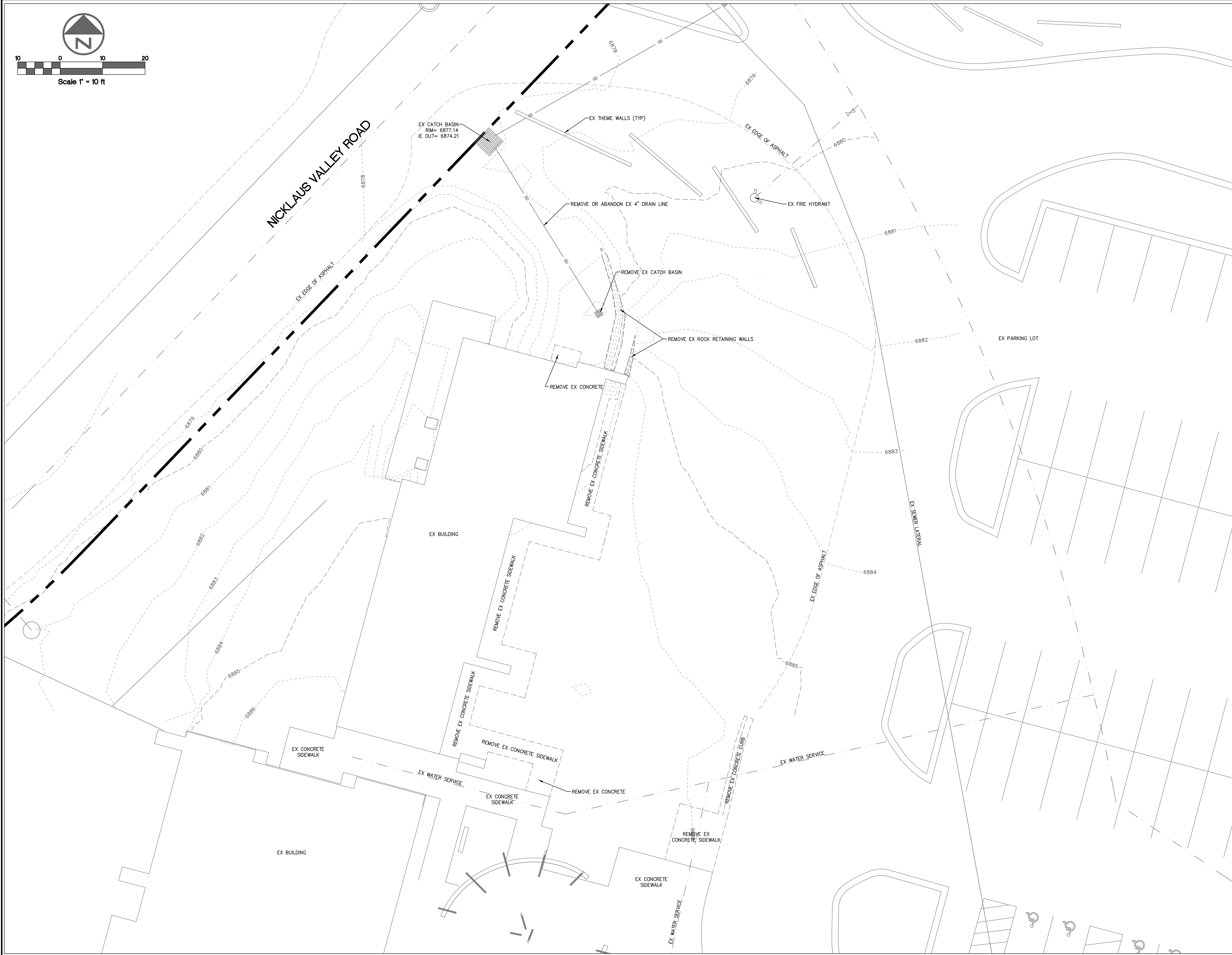
NO.	REVISION	DATE

PROJECT INFORMATION

PROMONTORY NICKLAUS POOL

NICKLAUS CLUB PARCEL
OVERALL SITE PLAN
6347 GOLF CLUB LINK
PARK CITY, UTAH

DRAWN MEC	CHECKED	PROJECT # 26053
		DATE 4/13/26
		SCALE 1" = 30'
		SHEET C201





WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:
1. TOPOGRAPHICAL SURVEY PROVIDED BY GILSON ENGINEERING WITH A STAMP
DATE OF OCTOBER 29, 2025.

LEGEND

- EXISTING INDEX CONTOUR (5')
- EXISTING CONTOUR (1')

Know what's below.



Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

NO.	REVISION	DATE

PROJECT INFORMATION

PROMONTORY NICKLAUS POOL

EXISTING CONDITIONS AND DEMO PLAN

6347 GOLF CLUB LINK
PARK CITY, UTAH

DRAWN
MEC

CHECKED

PROJECT #
26053



ENGINEER'S STAMP

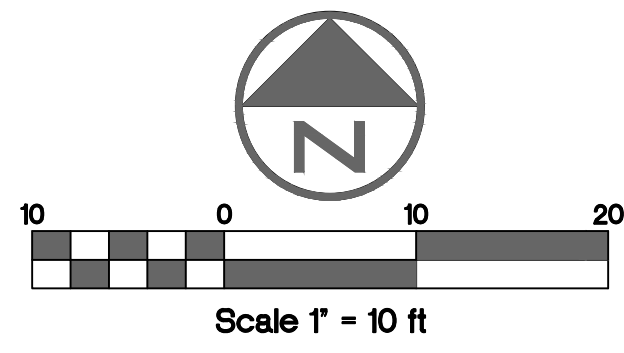
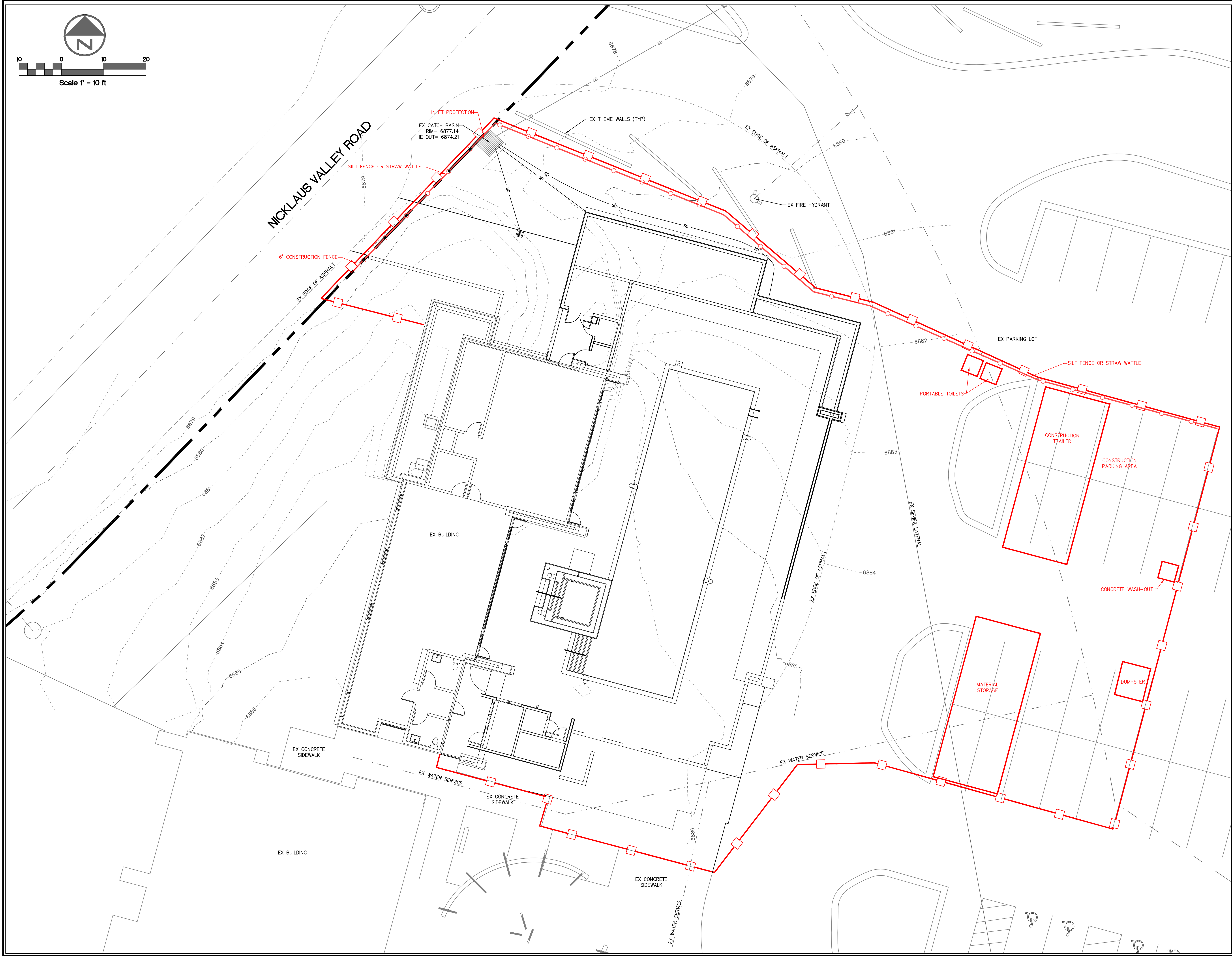
DATE
4/13/26

SCALE
1" = 10'

SHEET
C202

G:\DATA\26053 Promontory Nick pool\dwg\26053 C101 Promontory Nick pool site.dwg
PLOT DATE: Apr 13, 2026

DRAWN MEC	CHECKED	PROJECT # 26053
 ENGINEER'S STAMP		DATE 4/13/26 SCALE 1" = 10' SHEET C203



WILDING
ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

LEGEND

- EXISTING INDEX CONTOUR (5')
- EXISTING CONTOUR (1')

Know what's below. 811

Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

NO.	REVISION	DATE

PROJECT INFORMATION

PROMONTORY NICKLAUS POOL

CONSTRUCTION MANAGEMENT PLAN
OPTION 1
6347 GOLF CLUB LINK
PARK CITY, UTAH

DRAWN
MEC

CHECKED

PROJECT #
26053

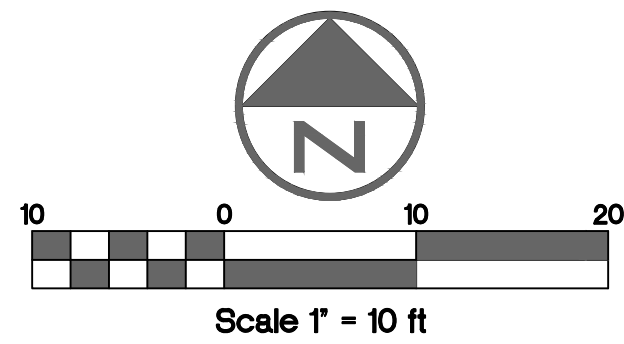
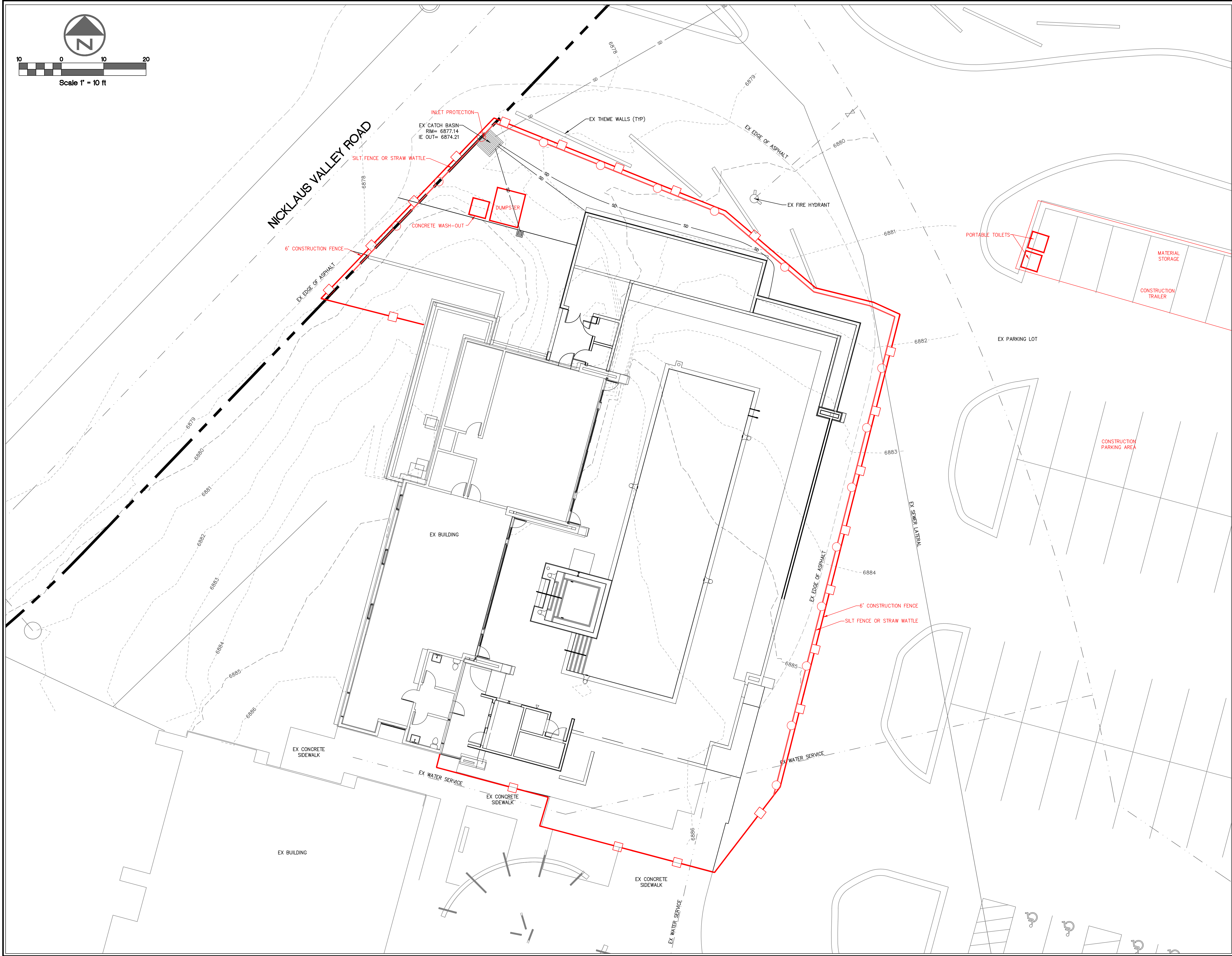
ENGINEER'S STAMP

DATE
4/13/26

SCALE
1" = 10'

SHEET
C204A

G:\DATA\26053 Promontory Nick pool\dwg\26053 C101 Promontory Nick pool site.dwg
PLOT DATE: Apr 13, 2026



WILDING
ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

LEGEND

- EXISTING INDEX CONTOUR (5')
- EXISTING CONTOUR (1')

Know what's below. 811

Call 811 before you dig.

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

NO.	REVISION	DATE

PROJECT INFORMATION

PROMONTORY NICKLAUS POOL

CONSTRUCTION MANAGEMENT PLAN
OPTION 2
6347 GOLF CLUB LINK
PARK CITY, UTAH

DRAWN
MEC

CHECKED

PROJECT #
26053

ENGINEER'S STAMP

DATE
4/13/26

SCALE
1" = 10'

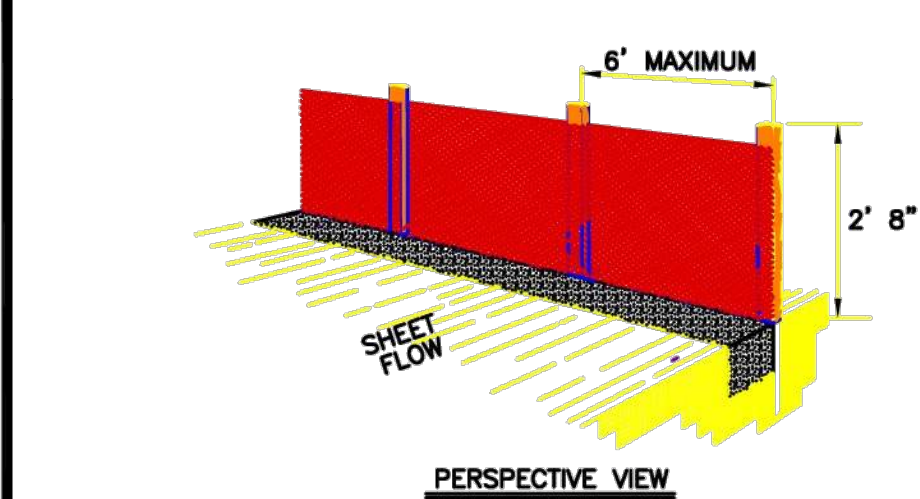
SHEET
C204B

G:\DATA\26053 Promontory Nick pool\dwg\26053 C101 Promontory Nick pool site.dwg
PLOT DATE: Apr 13, 2026

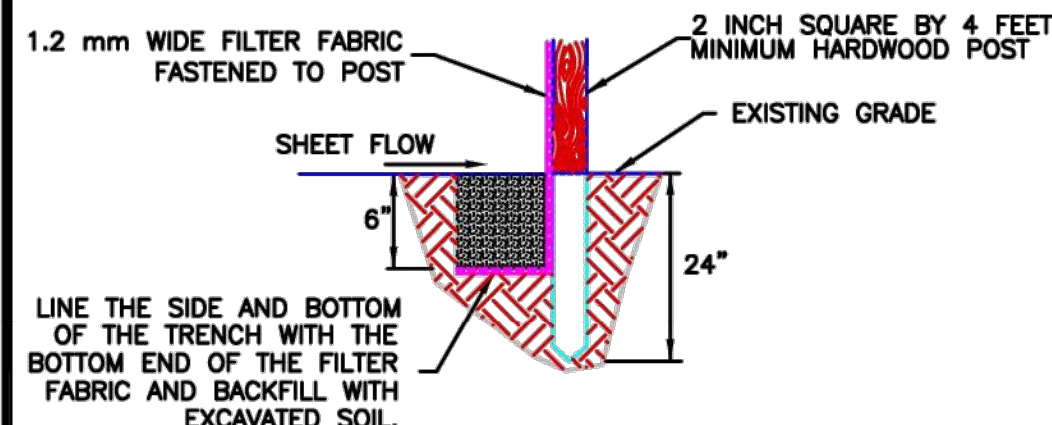


DRAWING NOTES:

SILT FENCE

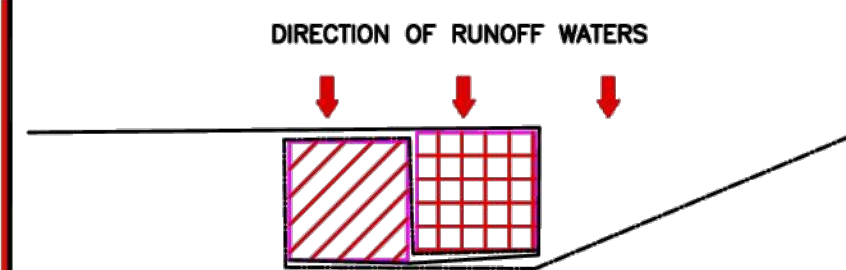


INSTALLATION:
1. Where possible, layout the silt fence 5 to 10 feet beyond the toe of slope.
2. Align the fence along the contour as close as possible.
3. When excavating the trench, use machinery that will produce no more than the desired dimension.
4. Place posts 6 foot on center along contour (or use pre assembled unit) and drive 2 feet (min.) into ground. Excavate an anchor trench (8 inches wide and 8 inches deep) immediately up-gradient of posts.
5. Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to stakes with staples, or similar, with trailing edge extending into anchor trench.
6. Backfill trench over filter fabric to anchor.



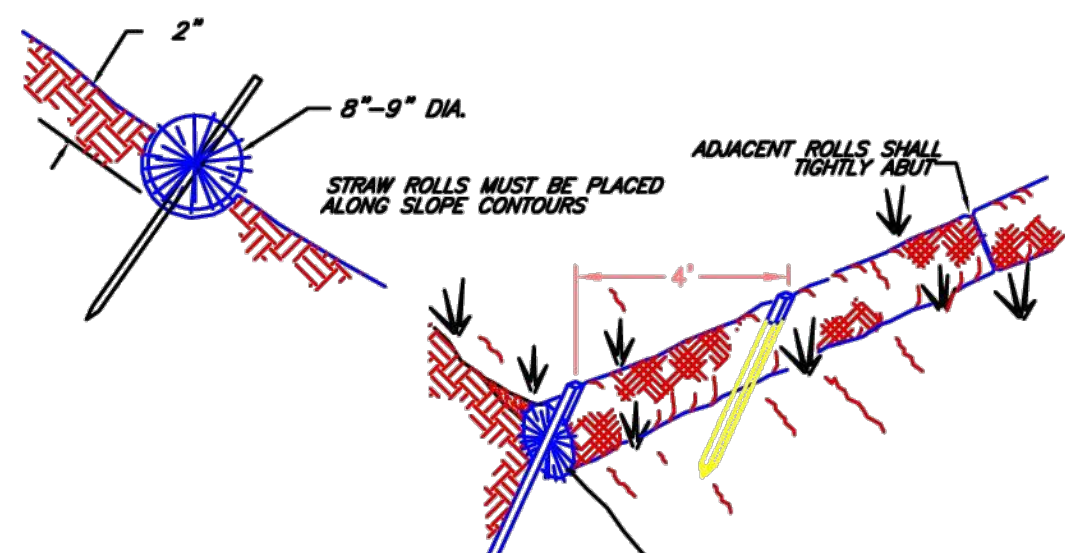
MAINTENANCE:
1. Inspect immediately after any rainfall and at least daily during prolonged rainfall.
2. Look for runoff bypassing ends of barriers or undercutting fence (repair immediately).
3. Repair or replace damaged areas of the fence and remove accumulated sediment.
4. Re-anchor fence as necessary to prevent shortcutting.
5. Remove accumulated sediment when it reaches 1/2 the height of the fence.

ATTACHING TWO SILT FENCES

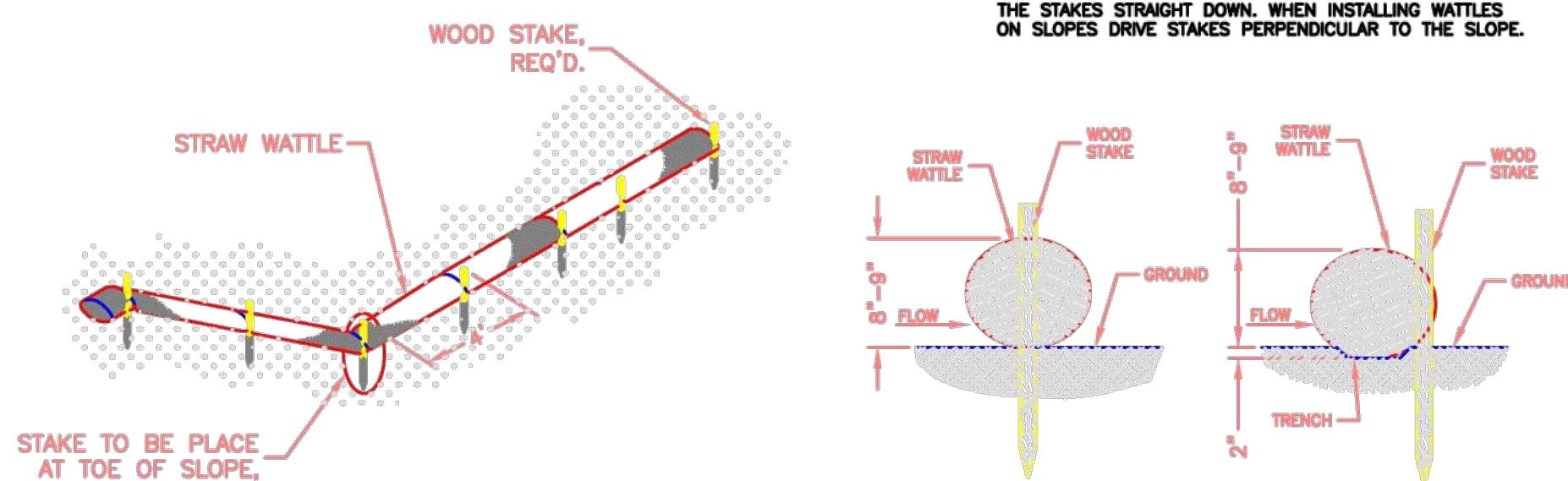


1. PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
2. ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A COUNTERCLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.
3. DRIVE BOTH POSTS ABOUT 24 INCHES INTO THE GROUND AND BURY FLAP.

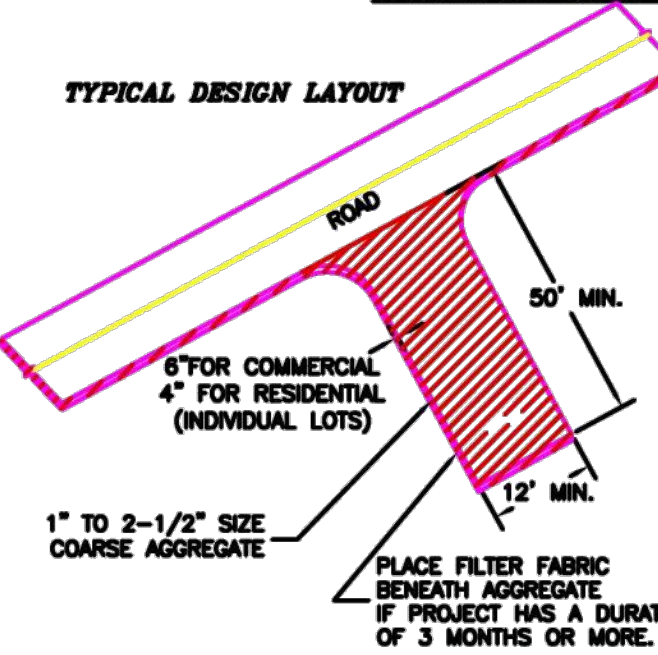
STRAW WATTLE DETAIL
NO SCALE



NOTE:
1. WOOD STAKES SHALL BE 1"x2"x18" OR 24" (NOMINAL), PLACED ON CONTOUR AND STAKED AT 4' ON CENTER AND IN LOW POINTS TO ASSURE CONTACT WITH GROUND.
2. NO DAYLIGHT SHOULD BE SEEN UNDER THE WATTLE AFTER INSTALLATION.
3. WHEN INSTALLING RUNNING LENGTHS OF STRAW WATTLE, BUTT THE SECOND WATTLE TIGHTLY AGAINST THE FIRST. STAKE THE WATTLES AT EACH END AND FOUR FOOT ON CENTERS.
4. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2"-3" OF THE STAKE PROTRUDING ABOVE THE WATTLE.
5. WHEN WATTLE IS INSTALLED ON FLAT GROUND DRIVE THE STAKES STRAIGHT DOWN. WHEN INSTALLING WATTLES ON SLOPES DRIVE STAKES PERPENDICULAR TO THE SLOPE.



STABILIZED CONSTRUCTION ENTRANCE



INSTALLATION:
1. Install at any point of ingress or egress at a construction site.
2. Clear and grub area and grade to provide slope shown for driveway, or access/intersection. If adjacent to waterway, use a maximum slope of 2%.
3. Compact subgrade and place filter fabric.
4. Place coarse aggregate, 1 to 2 1/2 inches size, to a minimum depth of 6 inches for commercial projects, and 4 inches for residential projects.
MAINTENANCE:
1. Inspect daily for loss of gravel or sediment buildup.
2. Compact adjacent roadway for sediment deposit and clean by sweeping or shoveling.
3. Repair entrance and replace gravel as required to maintain control in good working condition.
4. Expand stabilized area as required to accommodate traffic, and off site street parking and prevent erosion at driveway.

Required Inspections Table

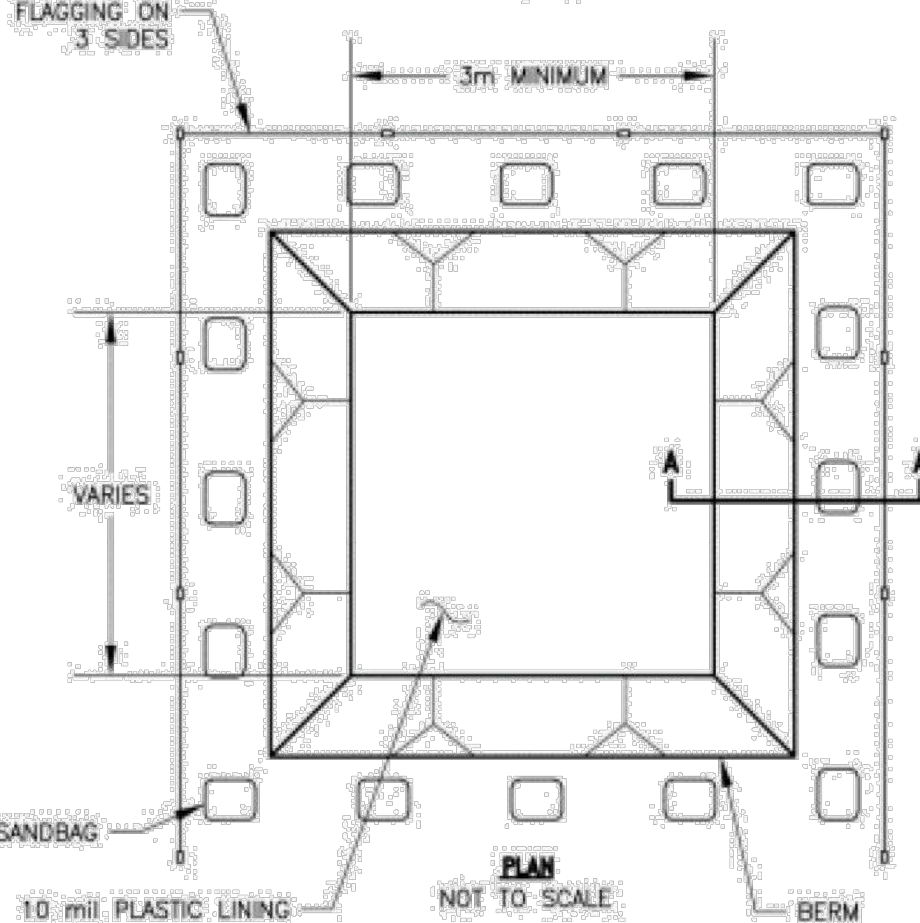
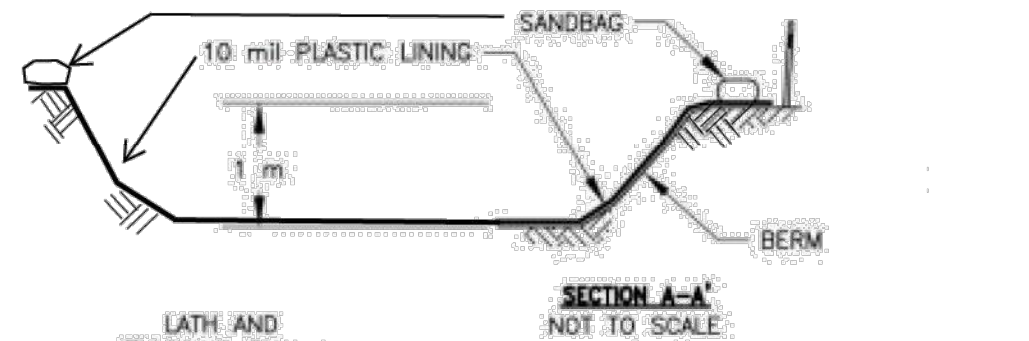
Inspection	Description/Requirements	Contact
Driveway/ Site Staking	Required prior to issuance of a Building Permit. Locate/stake the driveway at the street and at the road right of way/property line and locate/stake all property corners.	Engineering
Rough Grading	Required prior to scheduling a Footing Inspection. Site Erosion Control measures must be installed and driveway must be roughly graded according to plan.	Engineering
Footing	Schedule after steel is in place and before the concrete is poured.	Building
Foundation	Schedule after steel is in place in the forms and before concrete is placed.	Building
Under Slab Plumbing & Heating	Before concrete is poured or plumbing has been backfilled.	Building
Certificate of Elevation and/or Survey	Performed by a licensed surveyor. Required prior to scheduling a Floor Framing Inspection. See requirements below.	Building
Floor Framing Inspection	Required prior to placing floor sheeting and includes Footing, Drain inspection.	Building
Shear Wall	After the building is up to "the square" and all shear walls have been nailed and all the tie downs and shear wall connections have been installed.	Building
Fire Sprinklers	Required prior to four-way inspection, when required by the local Fire District.	Building
Four-Way	This inspection is performed after all rough electrical, plumbing, and mechanical has been installed. All framing is complete, shear walls previously inspected, and truss specifications are on the job for the inspector to read. Plumbing shall have either an air or water pressure test on them when the inspector arrives.	Building
Weather Barrier/Stucco Lath	Weather barrier shall be inspected prior to applying veneer. Approved stucco I.C.C. research reports on site.	Building
Gas Meter Set	Required before gas meter clearance is given to Questar.	Building
Masonry wall/bond beam	Steel in masonry and before concrete/grout is poured.	Building
Insulation	Pre Sheetrock insulation certificate required.	Building
Drywall Nailing	This is done before drywall is taped.	Building
Power to Panel	Building must be up with permanent roof installed.	Building
Driveway pre-surfacing	Site Erosion Control measures must be installed and driveway graded to it's final configuration.	Engineering
Final Driveway and Site Inspection	Required prior to Certificate of Occupancy and/or Bond Release. Driveway must be surfaced and site must be revegetated (inspections may be schedule separately). If the site is not revegetated, the erosion control measures must be in place and installed correctly.	Engineering
Flood Plain Elevation Certificate	FEMA Elevation Certificate (if applicable) required prior to Certificate of Occupancy. Form must be filed with FEMA and a copy provided to the Engineering Department.	Engineering
Final	All work is DONE and building complete. Final clearances from the waste water district for sewer, County Health Department for septic, and fire district for sprinkler systems must be on the project for this inspection. Required for Certificate of Occupancy.	Building
Certificate of Occupancy	Required prior to anyone occupying the structure. A Certificate of Occupancy will be issued once the final clearances have been obtained by the builder and brought to the Building Department's office in Coalville. 1) Snyderville Basin Residential: Final from Building Department, Final from Engineering Department, Final letter from Snyderville Basin Water Reclamation District, Final water concurrency letter from appropriate water company, Final from Park City Fire District (in required subdivisions). 2) Eastern Summit County: Final from Building Department, Final from Engineering Department, Final from Fire District and Final from Health Department.	Building
ECP Bond Release Inspection	Required to verify that the site has been fully stabilized (revegetated). Inspection is required prior to applicant receiving a release of their Erosion Control Bond. Applicant must provide a written request for the release of the bond.	Engineering

Construction Mitigation Plan Notes

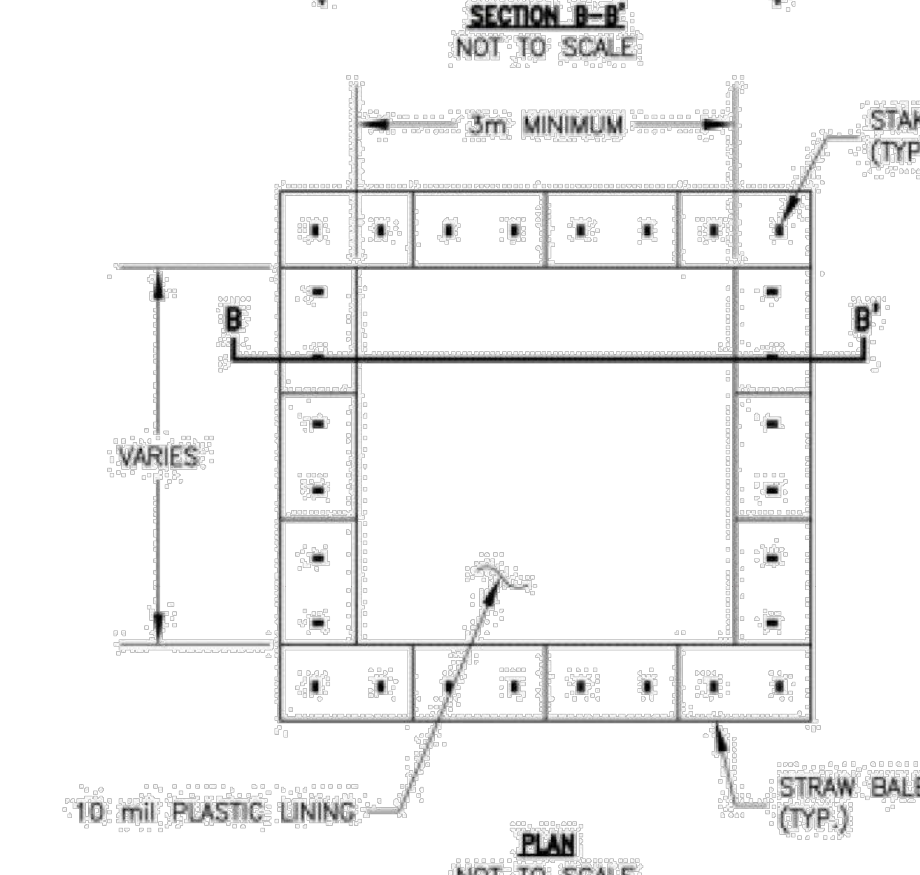
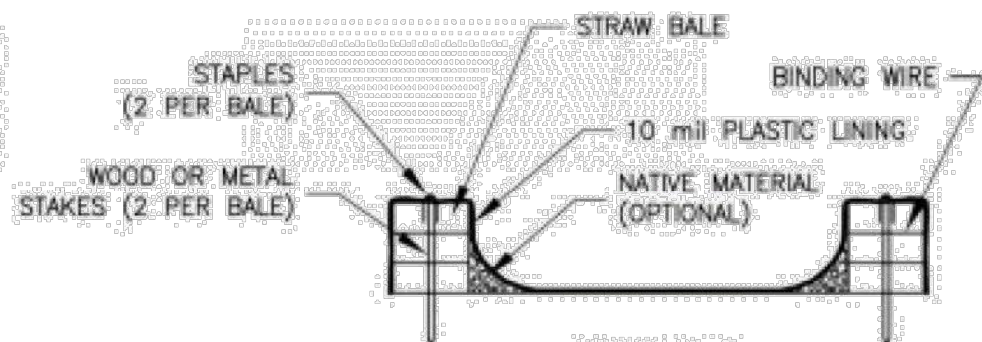
- Show location for dumpster, portable toilets, materials storage, parking
- Construction parking/traffic may not block the street without a permit (available from the Engineering Division)
- Mud tracked out onto the street must be cleaned prior to the end of the work day
- The construction site must be maintained in a neat manner. Trash and other debris may not accumulate outside the dumpster.
- Roadside parking is not allowed from November 1st to April 1st

- Perform washout of concrete trucks offsite or in designated concrete washout areas only.
- Do not wash out concrete trucks onto the ground, or into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite, except in designated concrete washout areas.

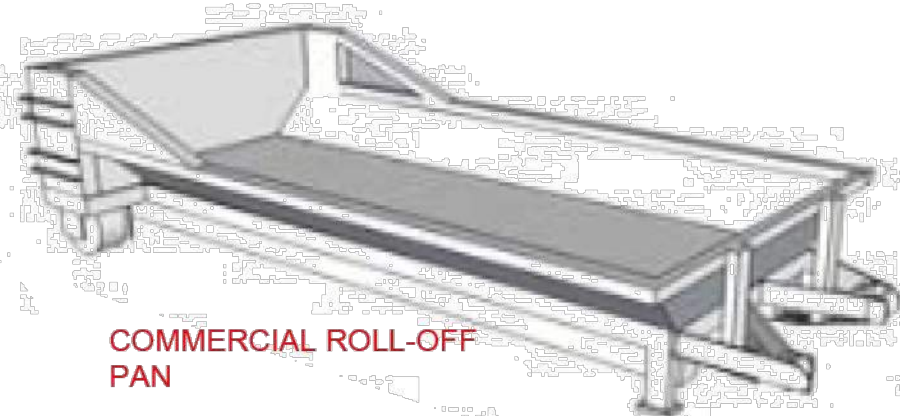
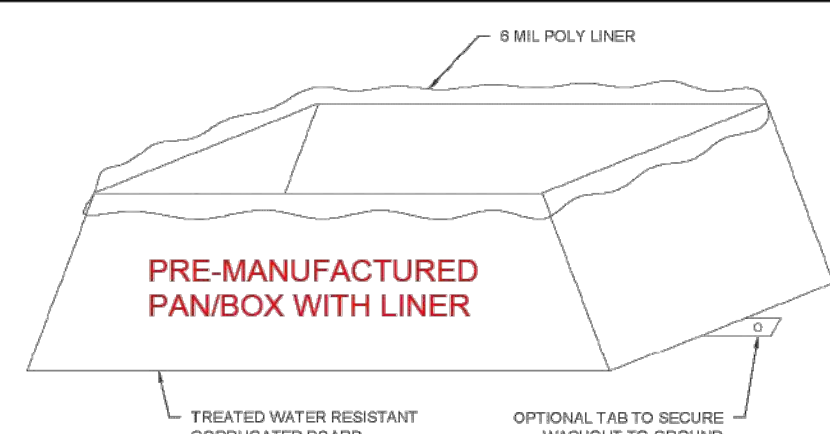
- Concrete washout areas may be prefabricated concrete washout containers, or self-installed structures (above-grade or below-grade).
- Prefabricated containers are most resistant to damage and protect against spills and leaks. Companies may offer delivery service and provide regular maintenance and disposal of solid and liquid waste.
 - If self-installed concrete washout areas are used, below-grade structures are preferred over above-grade structures because they are less prone to spills and leaks.
 - Self-installed above-grade structures should only be used if excavation is not practical.



TYPE: BELOW GRADE (PIT)



TYPE: ABOVE GRADE (With Straw Bales)



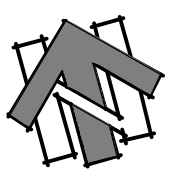
Know what's below. **811**
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

NO.	REVISION	DATE

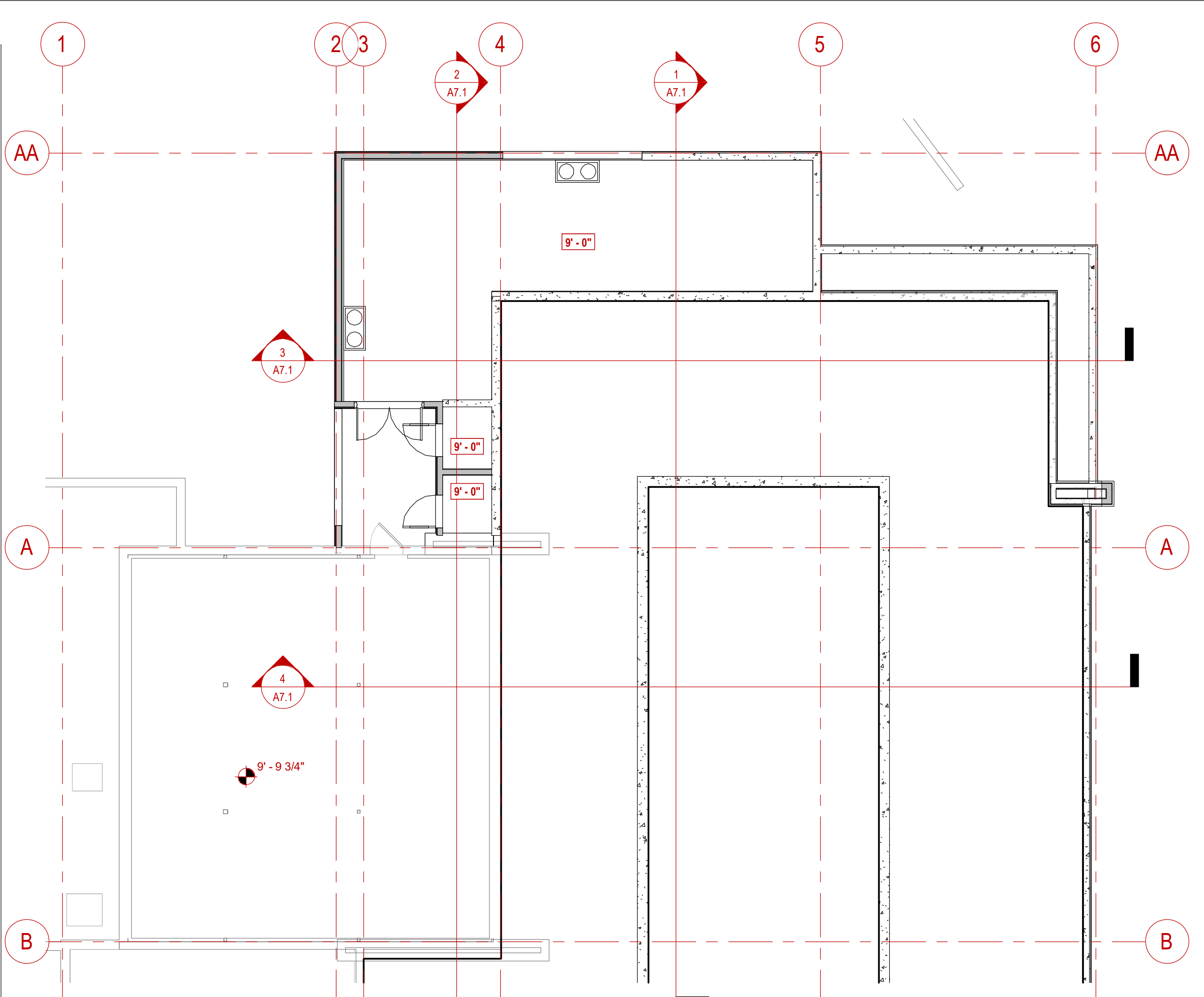
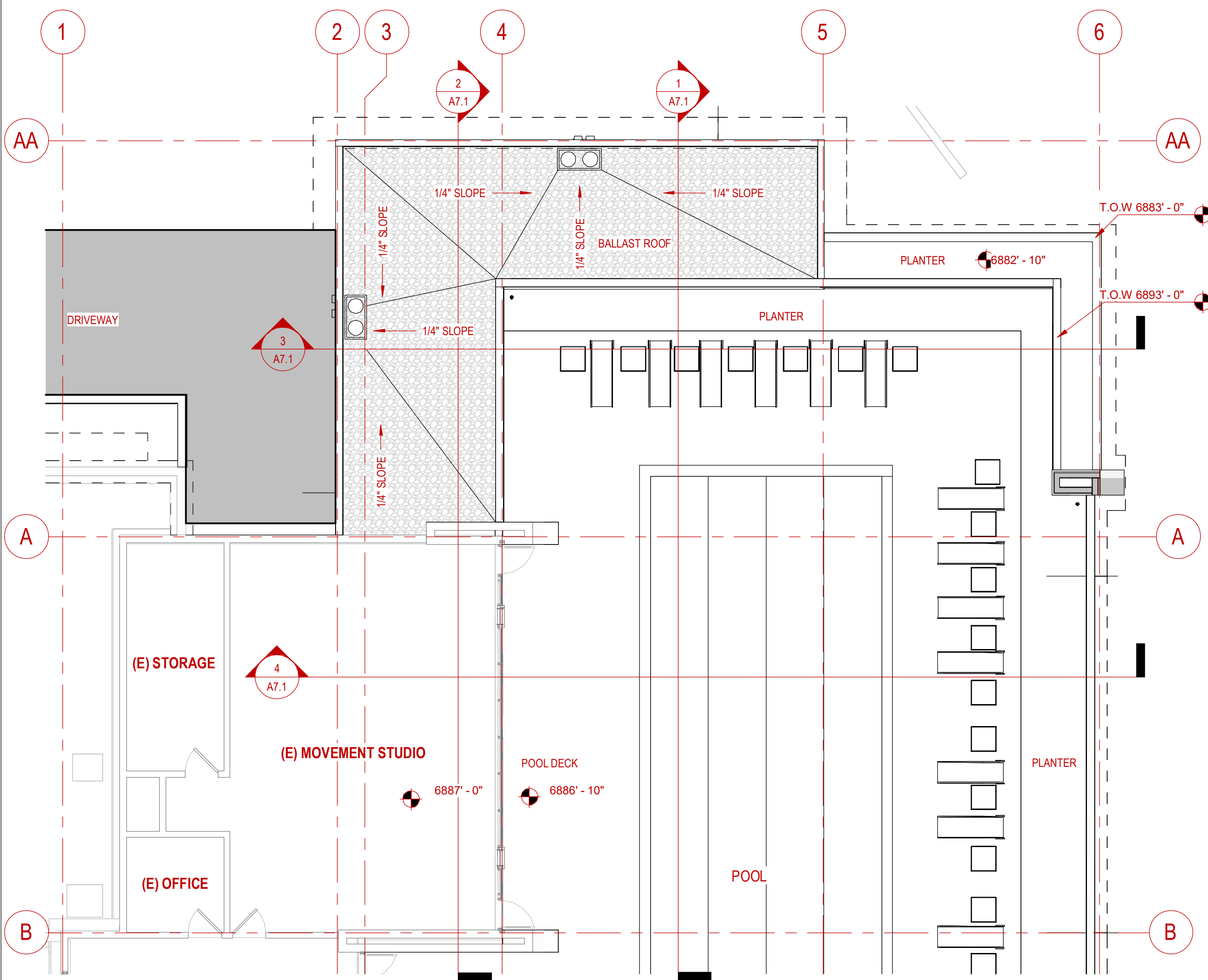
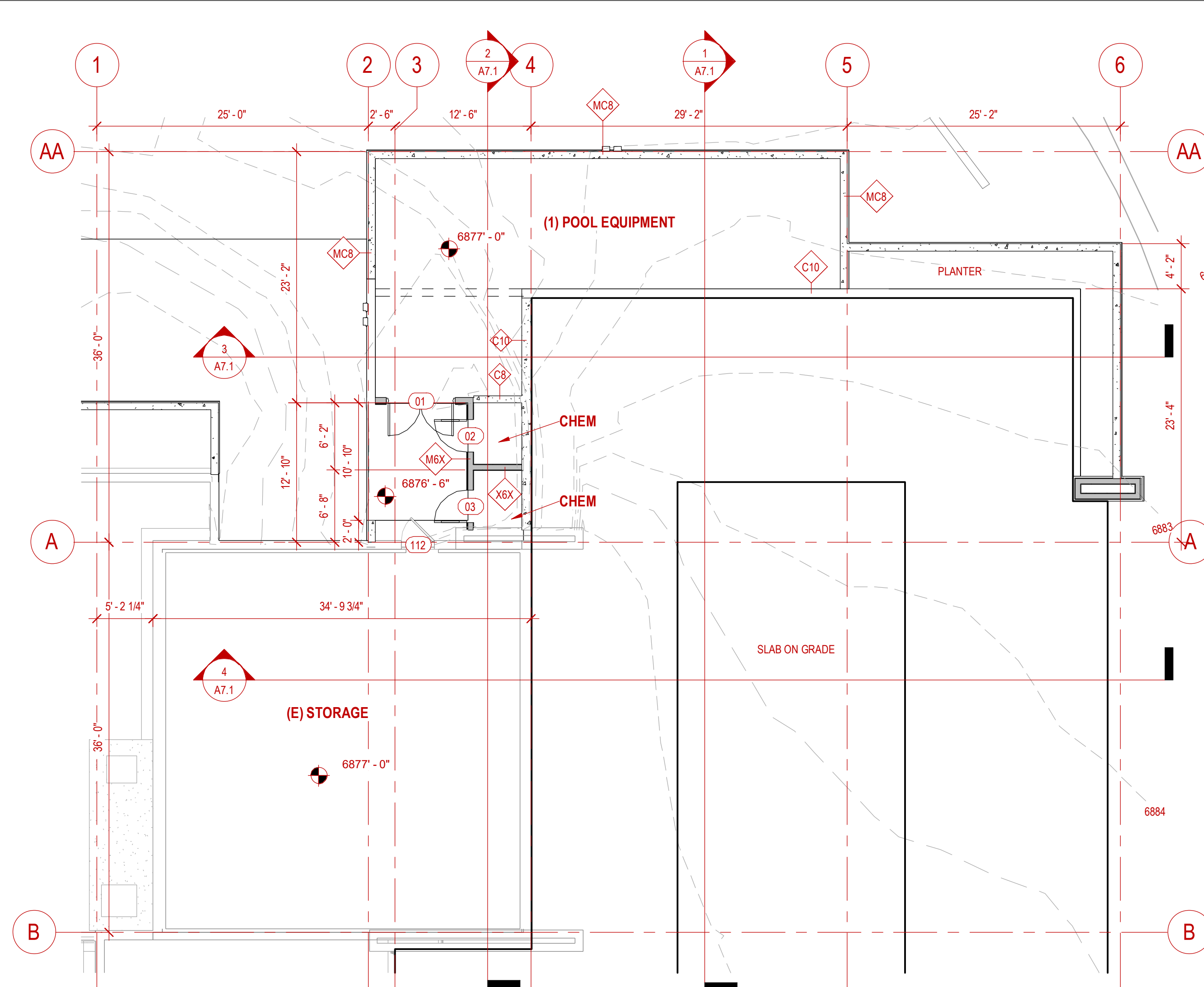
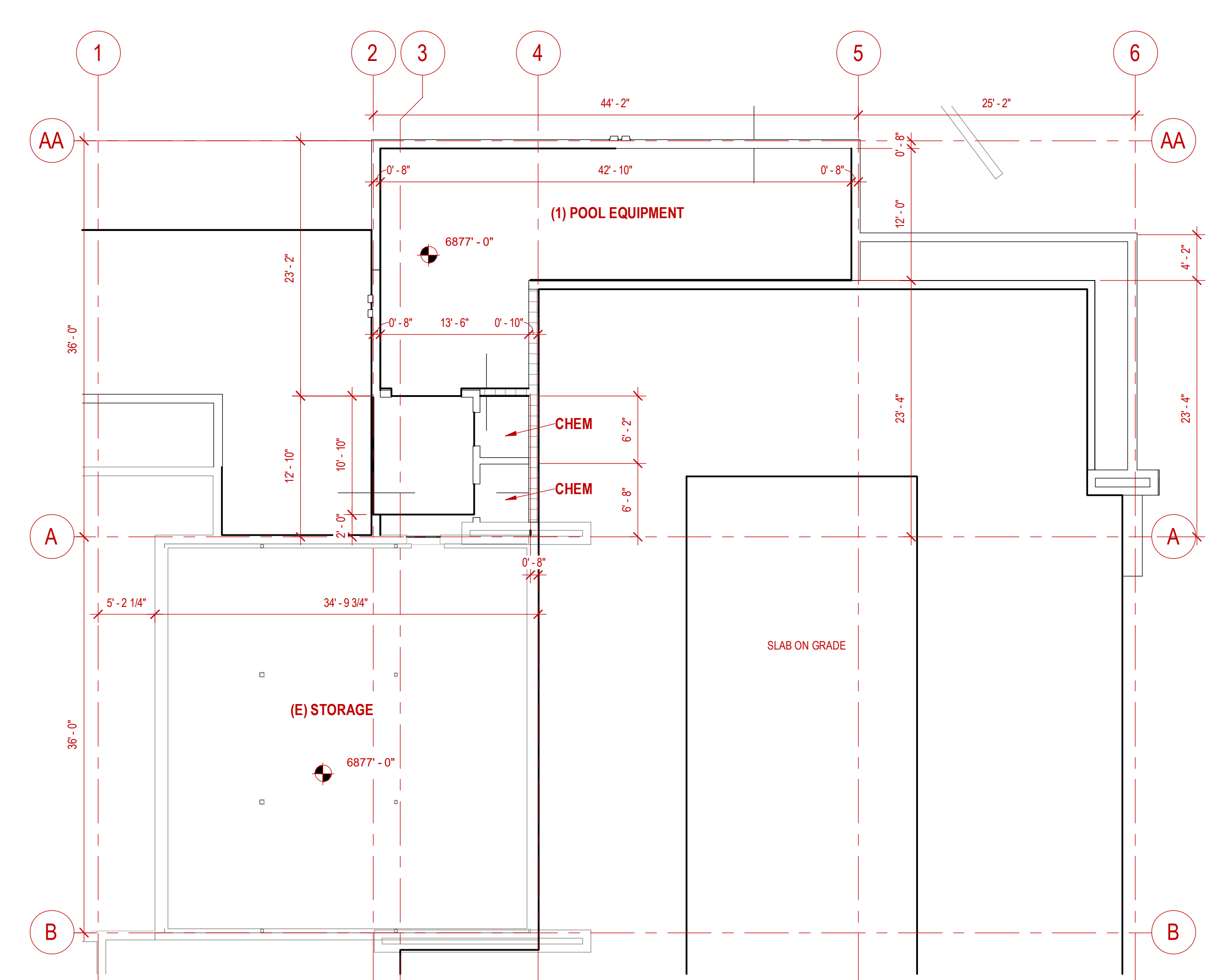
PROJECT INFORMATION

PROMONTORY NICKLAUS POOL
EROSION CONTROL DETAILS
6347 GOLF CLUB LINK
PARK CITY, UTAH

DRAWN MEC	CHECKED	PROJECT # 26053
DATE 4/13/26		SCALE NONE
SHEET C205		ENGINEER'S STAMP

**PROMONTORY POOL**6347 NICKLAUS VALLEY ROAD
PARK CITY, UTAH 84098CLIENT: PROMONTORY
JOB NO: 2514
ISSUE DATE: 04-13-2026
STATUS: PERMITREVISIONS
DESCRIPTION DATE

4/13/2026 1:15:03 PM

SP-2
NOTATION
PLAN - LOWER
LEVEL**2 LOWER LEVEL REFLECTED CEILING PLAN - Dependent 1**
1/8" = 1'-0"**4 ROOF PLAN - POOL EQUIPMENT - FSP**
1/8" = 1'-0"**1 NOTATION PLAN - LOWER LEVEL - FSP**
1/8" = 1'-0"**3 SLAB PLAN - LOWER LEVEL - FSP**
1/8" = 1'-0"

WALL ASSEMBLIES - EXTERIOR		
TYPE	DESCRIPTION	DETAIL (PLAN VIEW)
MC8	CAST IN PLACE CONCRETE WITH METAL SIDING • CAST IN PLACE CONCRETE • CONTRACTOR OPTION - • PLYWOOD SHEATHING • WATERPROOF MEMBRANE • HAT CHANNEL • METAL SIDING - 22 GA A606 TO MATCH EXISTING CLUBHOUSE	
C8 C10 C12	CAST IN PLACE CONCRETE, THICKNESS PER STRUCTURAL • CAST IN PLACE CONCRETE • CONTRACTOR OPTION - • PLYWOOD SHEATHING • WATERPROOF MEMBRANE	
MBM	2X6 WOOD FRAMING WITH METAL SIDING • METAL SIDING - 22 GA A606 TO MATCH EXISTING CLUBHOUSE • HAT CHANNEL • WATERPROOF MEMBRANE • SHEATHING PER STRUCTURAL • 2X WOOD FRAMING • INSULATION PER SPECIFICATIONS	
MBX	2X6 WOOD FRAMING WITH METAL SIDING • METAL SIDING - 22 GA A606 TO MATCH EXISTING CLUBHOUSE • HAT CHANNEL • WATERPROOF MEMBRANE • SHEATHING PER STRUCTURAL • 2X WOOD FRAMING • INSULATION PER SPECIFICATIONS • 5/8" GYPSUM BOARD TYPE X	
SDX	2X6 WOOD FRAMING WITH STONE • STONE SIDING - TO MATCH EXISTING CLUBHOUSE • WATERPROOF MEMBRANE • SHEATHING PER STRUCTURAL • 2X WOOD FRAMING • INSULATION PER SPECIFICATIONS • 5/8" GYPSUM BOARD TYPE X	
WALL ASSEMBLIES - INTERIOR		
XXB	2X6 WOOD FRAME, GYP BD BOTH SIDES • FINISH PER INTERIOR DESIGNER • 5/8" GYPSUM BOARD TYPE X • 2X6 WOOD STUDS, 16" O.C. • INSULATION PER SPECIFICATIONS • 5/8" GYPSUM BOARD TYPE X • FINISH PER INTERIOR DESIGNER	
XXT	2X6 WOOD FRAME (WET AREA) • FINISH PER INTERIOR DESIGNER • 5/8" GYPSUM BOARD TYPE X • 2X6 WOOD STUDS, 16" O.C. • INSULATION PER SPECIFICATIONS • 5/8" CEMENT TILE BACKER BOARD • TILE FINISH PER INTERIOR DESIGNER	
UL DESIGN: 1005 - 1 HOUR STC-38 TILE PER TCNA W244C		
WALL TYPE KEY REFERENCE:		
MATERIALS: C CONCRETE, AS SPECIFIED G GLASS TEMPERED, FINISH PER ID M METAL PANEL S STONE VENEER T TILE OVER CEMENT TILE BACKER BOARD X GYPSUM BOARD, TYPE X		
FRAMING: 4 2X4 WOOD STUDS @ 16" OC 6 2X6 WOOD STUDS @ 16" OC 8 8" CAST-IN-PLACE CONCRETE 10 10" CAST-IN-PLACE CONCRETE 12 12" CAST-IN-PLACE CONCRETE		

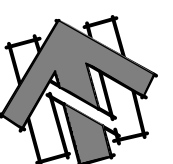


PROMONTORY POOL

6347 NICKLAUS VALLEY ROAD
PARK CITY, UTAH 84098

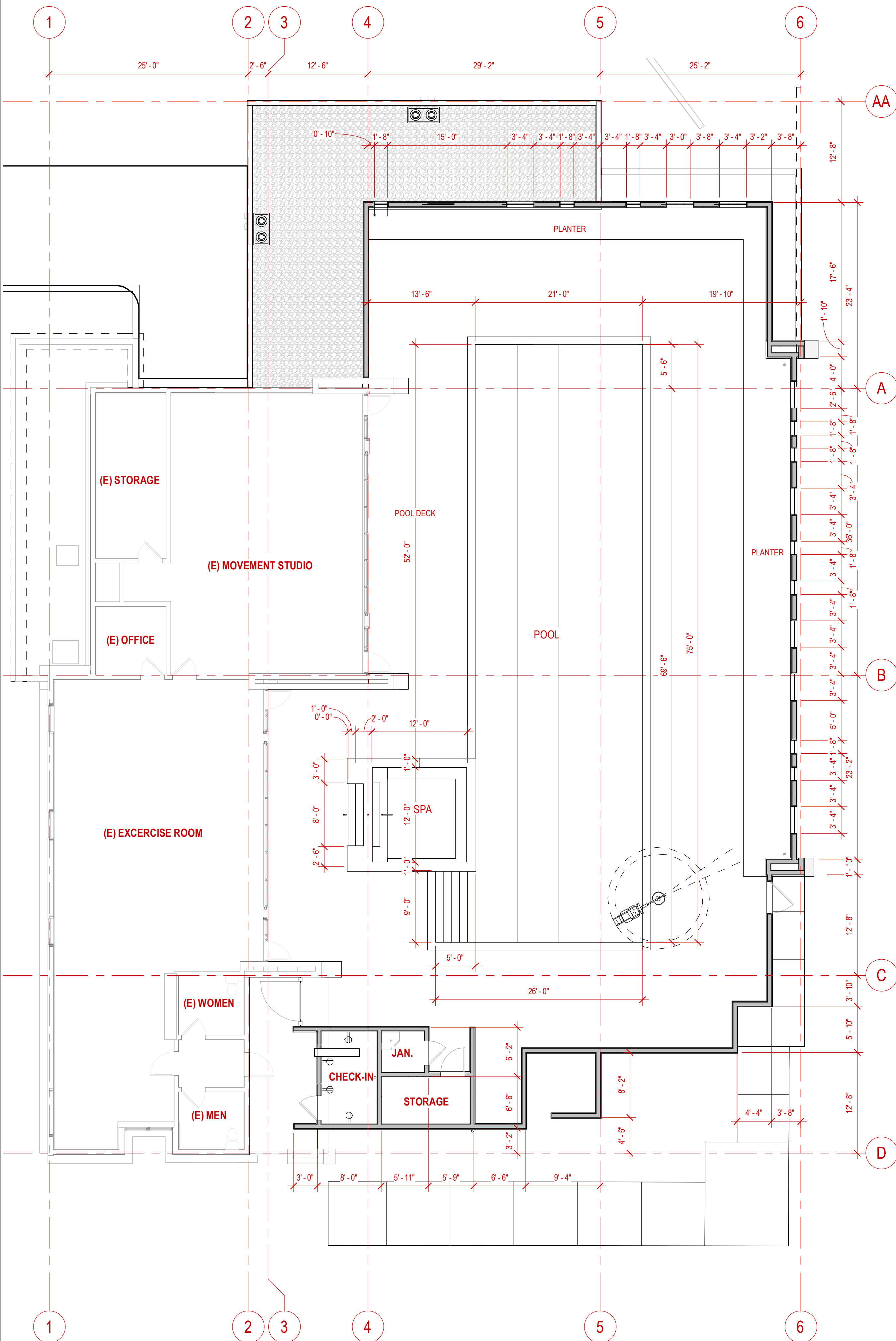
CLIENT: PROMONTORY
JOB NO: 2514
ISSUE DATE: 04-13-2026
STATUS: PERMIT

REVISIONS
DESCRIPTION DATE

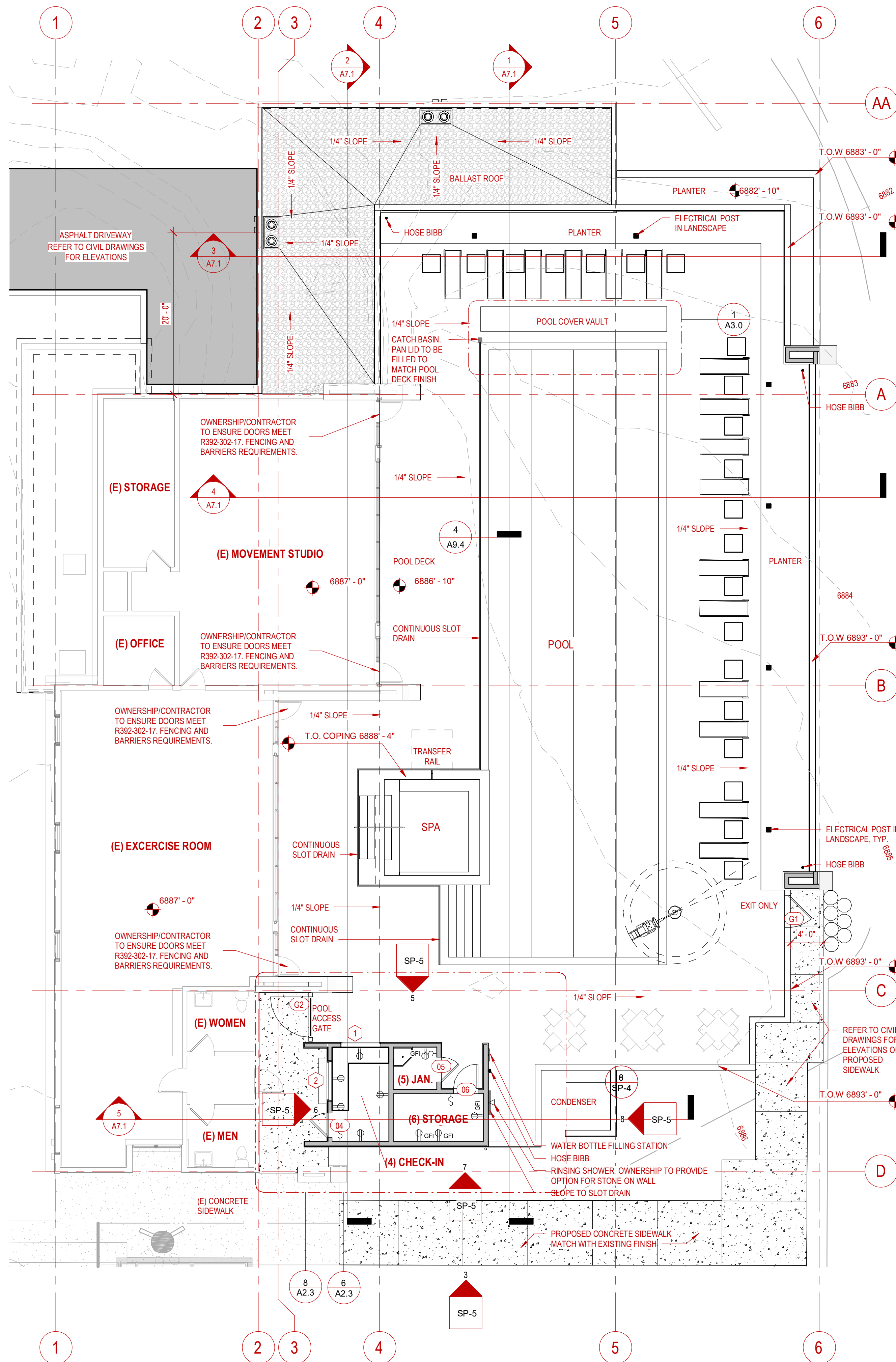


4/13/2026 1:15:05 PM

SP-3 NOTATION PLAN - MAIN LEVEL

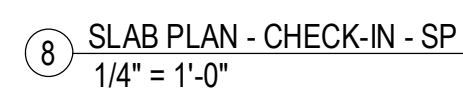
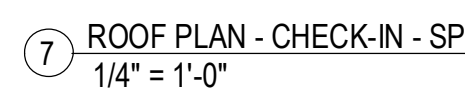
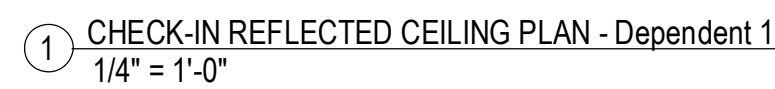


2 MAIN LEVEL DIMENSION PLAN - FSP
1/8" = 1'-0"

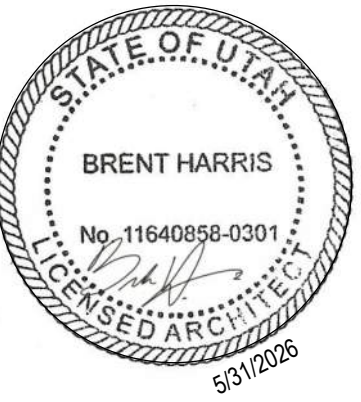


1 NOTATION PLAN - MAIN LEVEL OVERALL - FSP
1/8" = 1'-0"

WALL ASSEMBLIES - EXTERIOR		
TYPE	DESCRIPTION	DETAIL (PLAN VIEW)
MC8	CAST IN PLACE CONCRETE WITH METAL SIDING • CAST IN PLACE CONCRETE • CONTRACTOR OPTION - • PLYWOOD SHEATHING • WATERPROOF MEMBRANE • HAT CHANNEL • METAL SIDING - 22 GA. AISI 304 TO MATCH EXISTING CLUBHOUSE	
CB C10 C12	CAST IN PLACE CONCRETE, THICKNESS PER STRUCTURAL • CAST IN PLACE CONCRETE • CONTRACTOR OPTION - • PLYWOOD SHEATHING • WATERPROOF MEMBRANE	
MM8	2X6 WOOD FRAMING WITH METAL SIDING • METAL SIDING - 22 GA. AISI 304 TO MATCH EXISTING CLUBHOUSE • HAT CHANNEL • WATERPROOF MEMBRANE • SHEATHING PER STRUCTURAL • 2X WOOD FRAMING • INSULATION PER SPECIFICATIONS	
MX	2X6 WOOD FRAMING WITH METAL SIDING • METAL SIDING - 22 GA. AISI 304 TO MATCH EXISTING CLUBHOUSE • HAT CHANNEL • WATERPROOF MEMBRANE • SHEATHING PER STRUCTURAL • 2X WOOD FRAMING • INSULATION PER SPECIFICATIONS • 5/8" GYPSUM BOARD TYPE X	
SDX	2X6 WOOD FRAMING WITH STONE • STONE SIDING - TO MATCH EXISTING CLUBHOUSE • WATERPROOF MEMBRANE • SHEATHING PER STRUCTURAL • 2X WOOD FRAMING • INSULATION PER SPECIFICATIONS • 5/8" GYPSUM BOARD TYPE X	
WALL ASSEMBLIES - INTERIOR		
XXB	2X6 WOOD FRAME, GYP BD BOTH SIDES • FINISH PER INTERIOR DESIGNER • 5/8" GYPSUM BOARD TYPE X • 2X6 WOOD STUDS, 16" O.C. • INSULATION PER SPECIFICATIONS • 5/8" GYPSUM BOARD TYPE X, FINISH PER INTERIOR DESIGNER	
XXT	2X6 WOOD FRAME (WET AREA) • FINISH PER INTERIOR DESIGNER • 5/8" GYPSUM BOARD TYPE X • 2X6 WOOD STUDS, 16" O.C. • INSULATION PER SPECIFICATIONS • 5/8" CEMENT TILE BACKER BOARD • TILE FINISH PER INTERIOR DESIGNER	
WALL TYPE KEY REFERENCE: MATERIALS: C CONCRETE, AS SPECIFIED G GLASS TEMPERED, FINISH PER ID M METAL PANEL S STONE VENEER T TILE OVER CEMENT TILE BACKER BOARD X GYPSUM BOARD, TYPE X FRAMING: 4 2X4 WOOD STUDS @ 16" OC 6 2X6 WOOD STUDS @ 16" OC 8 8" CAST-IN-PLACE CONCRETE 10 10" CAST-IN-PLACE CONCRETE 12 12" CAST-IN-PLACE CONCRETE		



1/13/2026 1:15:05 PM



PROMONTORY POOL

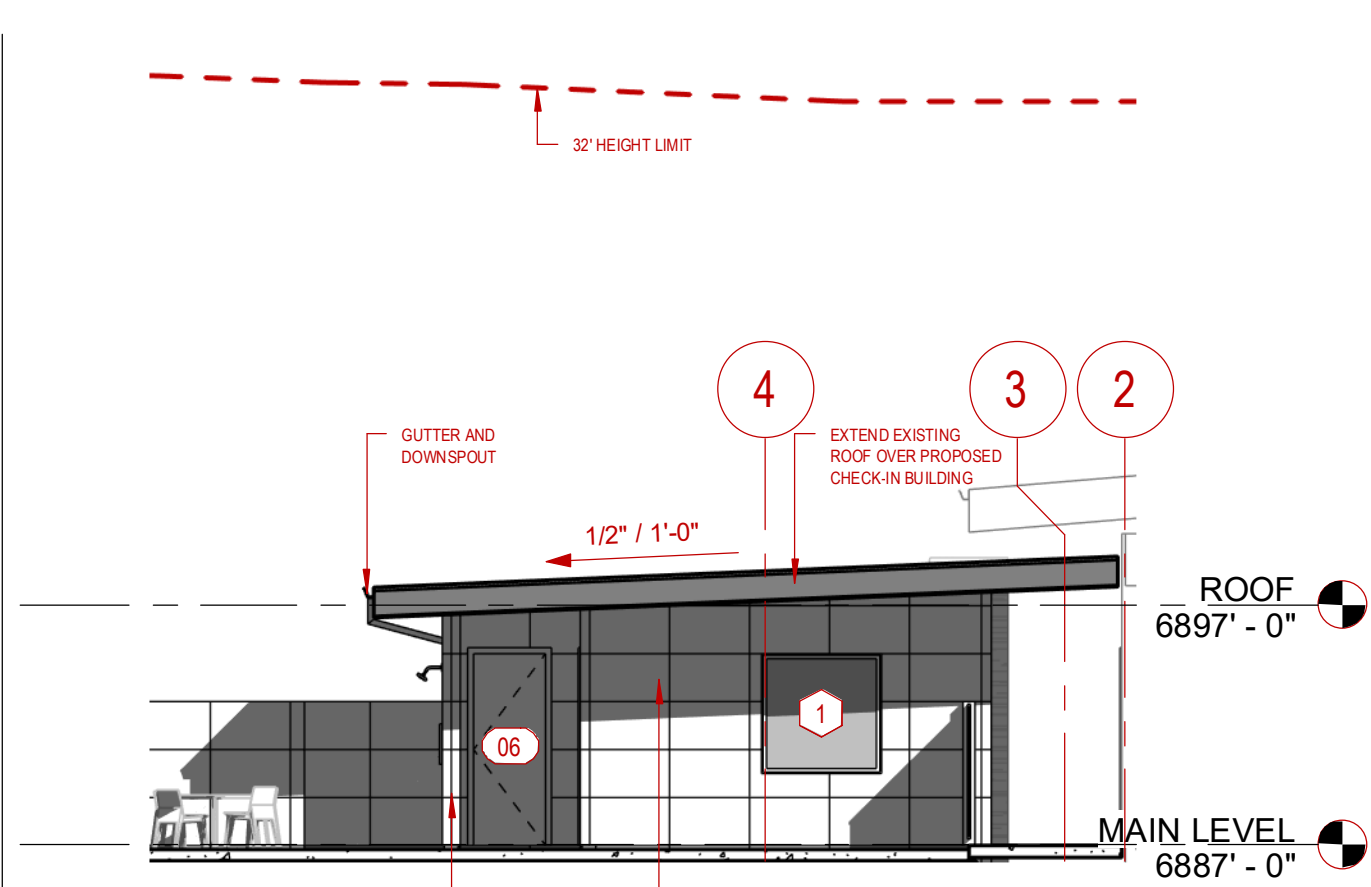
6347 NICKLAUS VALLEY ROAD
PARK CITY, UTAH 84098

CLIENT: PROMONTORY
JOB NO: 2514
ISSUE DATE: 04-13-2026
STATUS: PERMIT

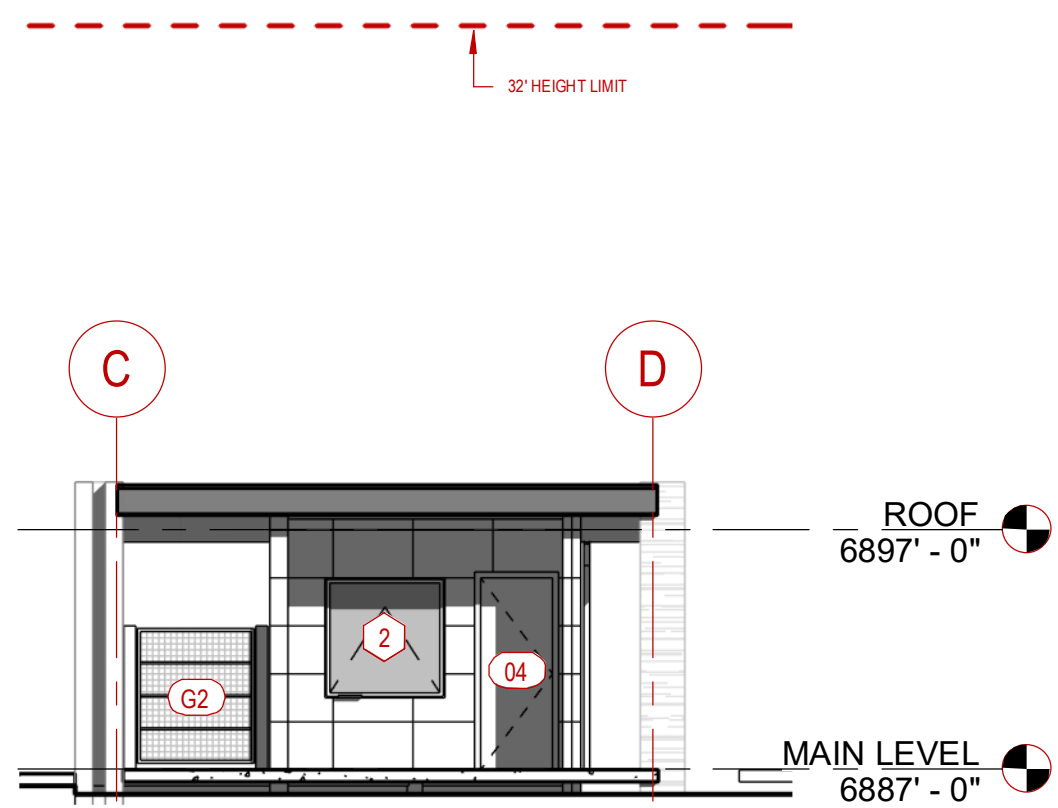
REVISIONS
DESCRIPTION DATE

4/13/2026 1:15:07 PM

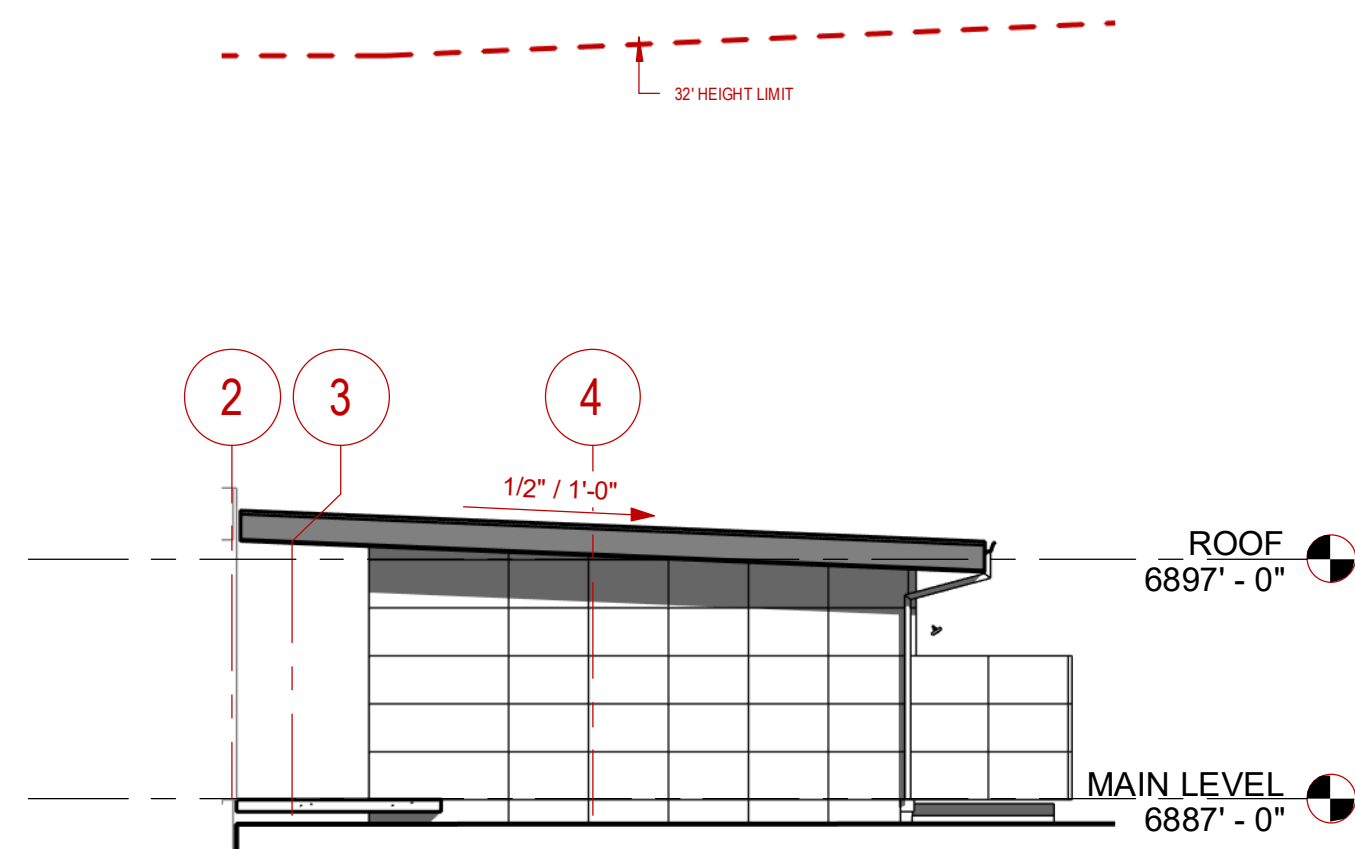
SP-5 EXTERIOR ELEVATIONS



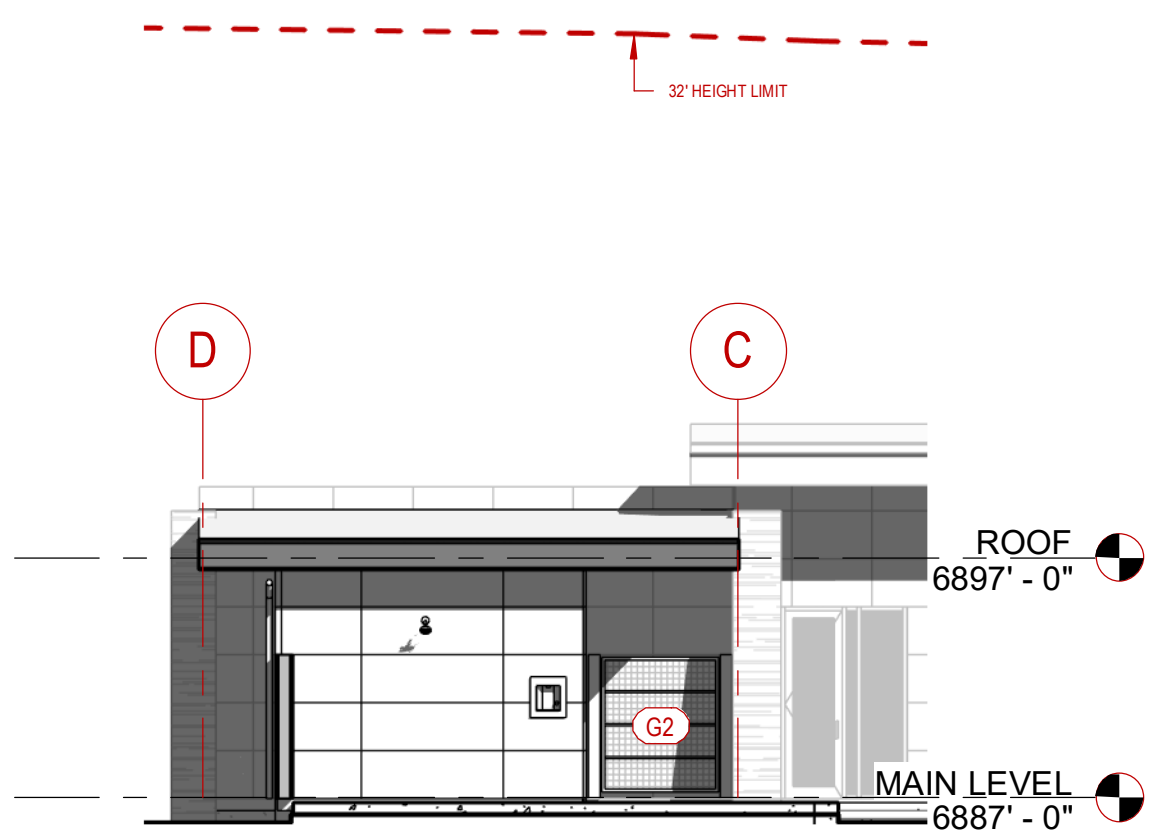
5 CHECK-IN BUILDING NORTH ELEVATION - SP
1/8" = 1'-0"



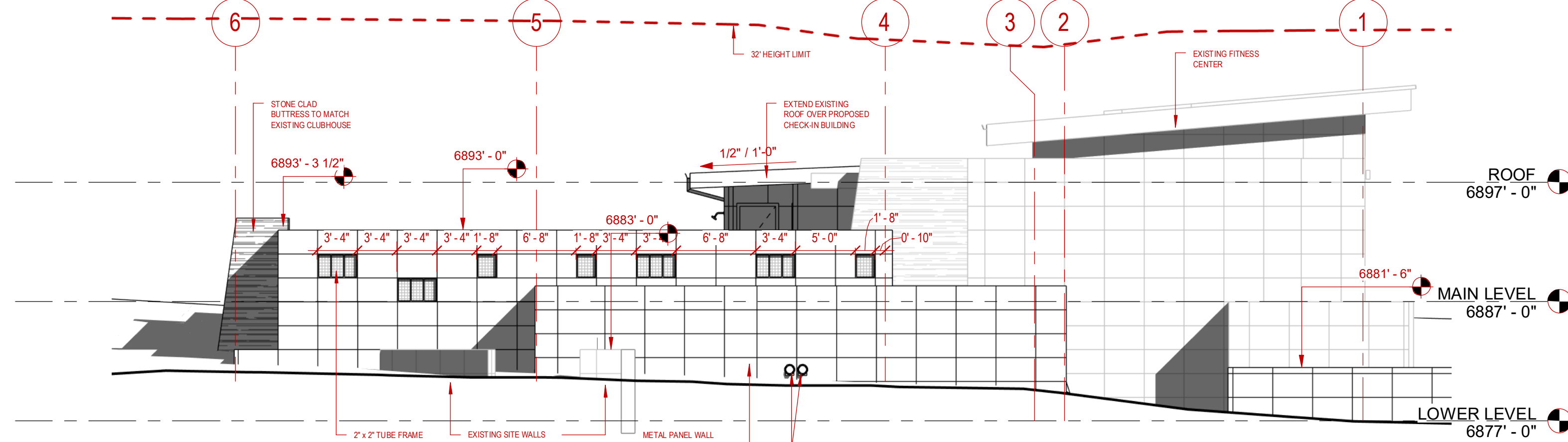
6 CHECK-IN BUILDING WEST ELEVATION - SP
1/8" = 1'-0"



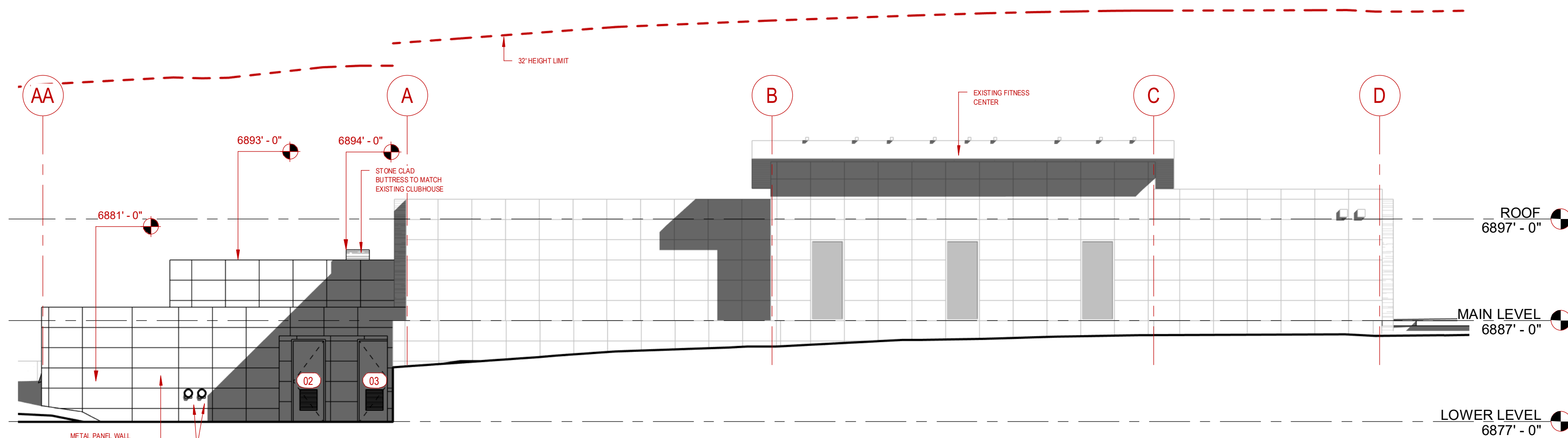
7 CHECK-IN BUILDING SOUTH ELEVATION - SP
1/8" = 1'-0"



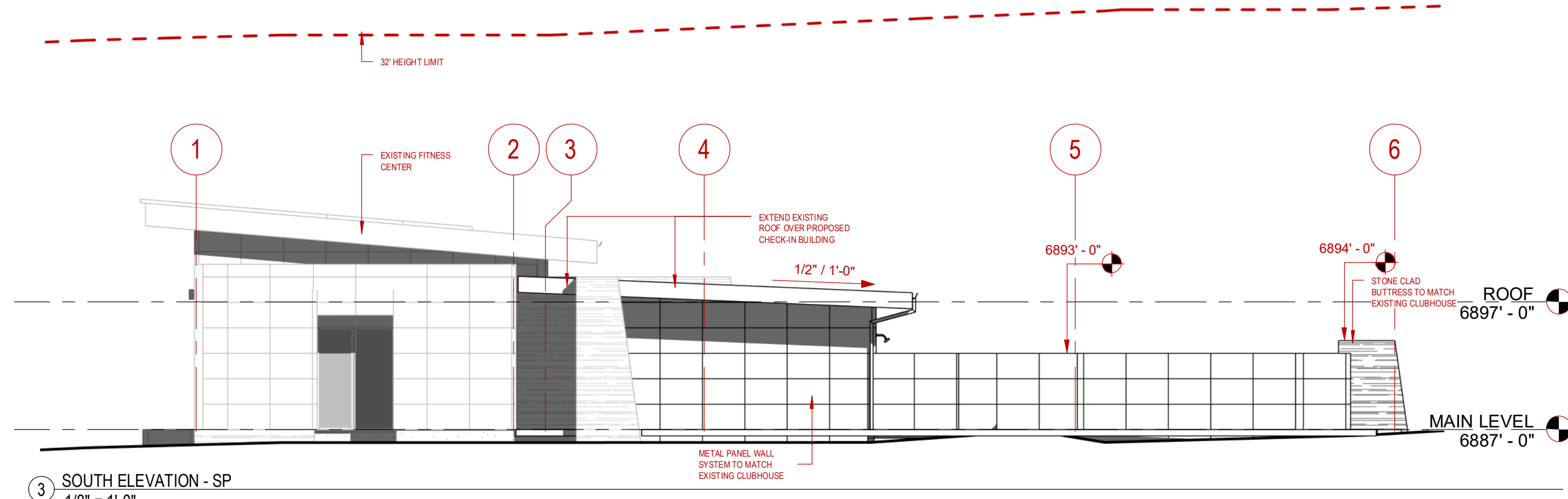
8 CHECK-IN BUILDING EAST ELEVATION - SP
1/8" = 1'-0"



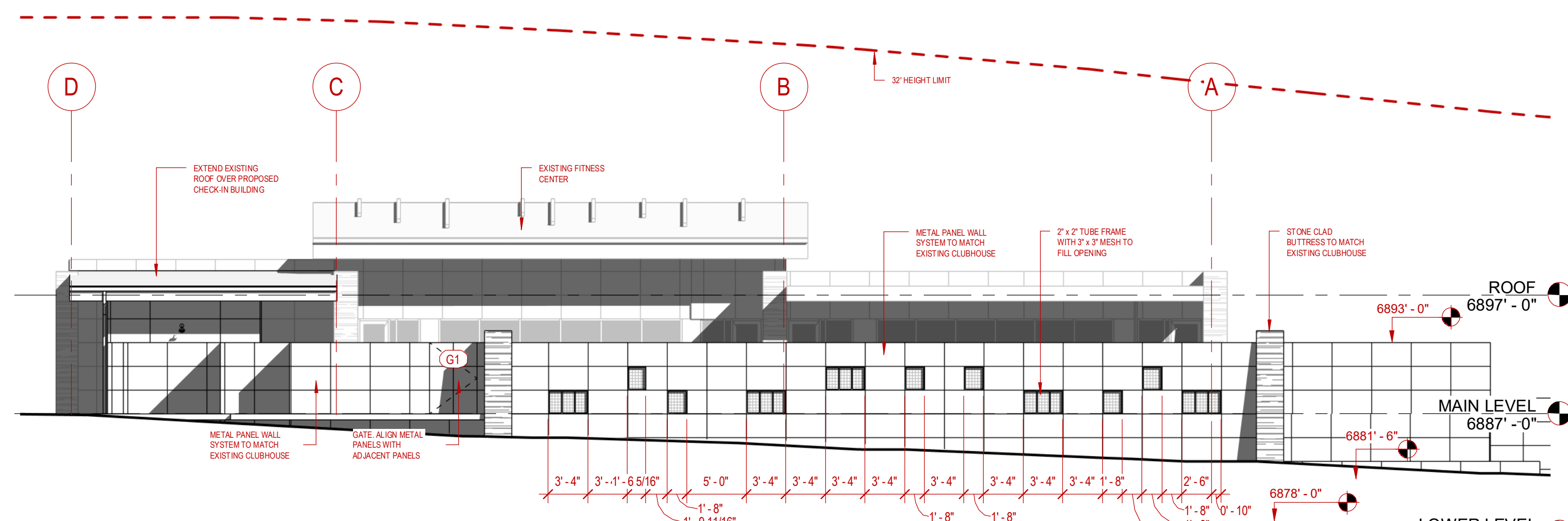
2 NORTH ELEVATION - SP
1/8" = 1'-0"



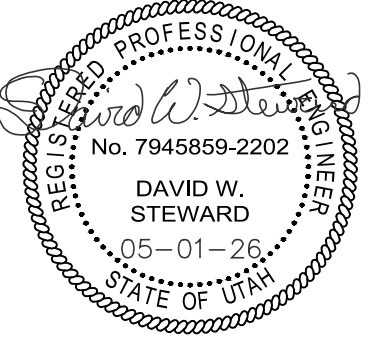
4 WEST ELEVATION - SP
1/8" = 1'-0"



3 SOUTH ELEVATION - SP
1/8" = 1'-0"



1 EAST ELEVATION - SP
1/8" = 1'-0"



PROMONTORY POOL

6347 NICKLAUS VALLEY ROAD
PARK CITY, UTAH 84098

CLIENT: PROMONTORY
JOB NO: 2514
ISSUE DATE: 05/01/2026
STATUS: PERMIT

REVISIONS
DESCRIPTION DATE

LOWER LEVEL
LIGHTING PLAN

1" 2"
5/1/2026 1:28:04 PM

E101

KEYED NOTES

1.

PROVIDE A 2 CIRCUIT INTERMATIC TIME CLOCK ET2825C OR EQUAL.

2.

INTEGRAL OCC SENSOR INCLUDED.

3.

PROVIDE AN OVERRIDE SWITCH FOR LIGHTING TIME CLOCK. 2 BUTTON (ON/OFF).

GENERAL NOTES

A.

CONNECT ALL EMERGENCY AND EXIT LIGHT FIXTURES TO THE UNSWITCHED SIDE OF THE LIGHTING BRANCH CIRCUIT. LIGHT FIXTURES WITH EMERGENCY DRIVERS SHALL BE NORMALLY SWITCHED WITH THE AREA LIGHTING, BUT HAVE THEIR EMERGENCY DRIVERS CONNECTED AHEAD OF THE LIGHT SWITCH OR LIGHTING CONTROL PANEL RELAY. FIXTURES WILL REMAIN ON FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.

B.

IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT CONDUIT IS TO BE INSTALLED WITHIN WALLS AND ABOVE CEILINGS CONCEALED WHERE POSSIBLE.

C.

COORDINATE MOUNTING HEIGHTS OF ALL PENDANT AND WALL MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL ELEVATIONS.

D.

VERIFY FIXTURE DIMMING CONTROLS AND PROVIDE NECESSARY WIRING AND DEVICES REQUIRED FOR DIMMING OPERATION.

E.

CONCEAL ALL FIXTURE DRIVERS IN ACCESSIBLE CEILING SPACE OUT OF DIRECT VIEW.

F.

FOR OPEN CEILING AREAS WITH OCCUPANCY CONTROLS EC IS TO INSTALL OCCUPANCY SENSORS AT A LEVEL EQUAL TO OR LOWER THAN AREA DUCT WORK TO ENSURE OCCUPANCY SENSOR COVERAGE.

G.

ELECTRICAL DEVICES IN POOL EQUIPMENT ROOM AND CHEMICAL CLOSETS SHALL BE CHEMICAL CONSTRUCTED OF CORROSION-RESISTANT MATERIALS.

LTG CTRL SEQUENCE OF OPERATION

LIGHTING AND CONTROLS ARE DESIGNED TO MEET IECC 2021.

TIME CLOCK WILL BE PROGRAMMED TO TURN LIGHTS ON AND OFF FOR HOURS OF OPERATION.

A SWITCH WILL ACT AS OVERRIDES TO TIME SCHEDULING.

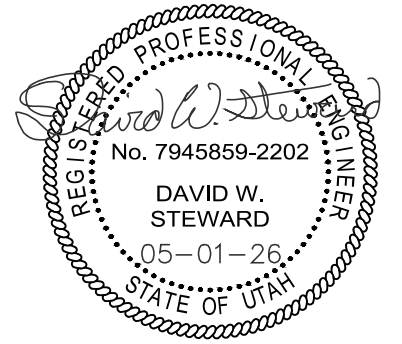
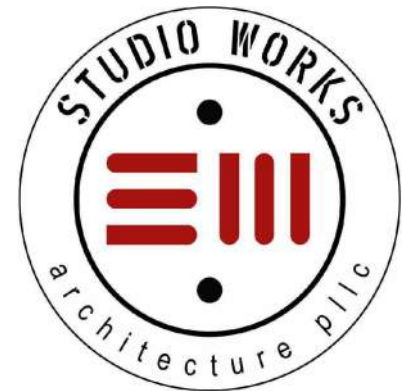
OCCUPANCY SENSORS WILL CONTROL LIGHTING IN CHEMICAL ROOMS.

DAYLIGHT ZONES EXEMPT FROM AUTOMATIC CONTROL REQUIREMENTS PER IECC 2021 405.2.4 (1) (LESS THAN 150W)

BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE PROGRAMMED TO SHUT OFF NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENS. (C405.2.7.2)

1 LOWER LEVEL LIGHTING PLAN
E101 SCALE: 1/8" = 1'-0"

ROCKY MOUNTAIN
CONSULTING ENGINEERS, INC.
2332 West 12600 South, Suite F | Riverton, UT 84065
(801) 566-0503 www.rmceut.com Project #25217



PROMONTORY POOL

6347 NICKLAUS VALLEY ROAD
PARK CITY, UTAH 84098

CLIENT: PROMONTORY
JOB NO: 2514
ISSUE DATE: 05/01/2026
STATUS: PERMIT

REVISIONS
DESCRIPTION DATE

MAIN LEVEL
LIGHTING PLAN

1" = 2'
5/1/2026 1:28:07 PM

E102

KEYED NOTES

1. -

GENERAL NOTES

A. CONNECT ALL EMERGENCY AND EXIT LIGHT FIXTURES TO THE UNSWITCHED SIDE OF THE LIGHTING BRANCH CIRCUIT. LIGHT FIXTURES WITH EMERGENCY DRIVERS SHALL BE NORMALLY SWITCHED WITH THE AREA LIGHTING, BUT HAVE THEIR EMERGENCY DRIVERS CONNECTED AHEAD OF THE LIGHT SWITCH OR LIGHTING CONTROL PANEL RELAY. FIXTURES WILL REMAIN ON FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.

B. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT CONDUIT IS TO BE INSTALLED WITHIN WALLS AND ABOVE CEILINGS CONCEALED WHERE POSSIBLE.

C. COORDINATE MOUNTING HEIGHTS OF ALL PENDANT AND WALL MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL ELEVATIONS.

D. VERIFY FIXTURE DIMMING CONTROLS AND PROVIDE NECESSARY WIRING AND DEVICES REQUIRED FOR DIMMING OPERATION.

E. CONCEAL ALL FIXTURE DRIVERS IN ACCESSIBLE CEILING SPACE OUT OF DIRECT VIEW.

F. FOR OPEN CEILING AREAS WITH OCCUPANCY CONTROLS EC IS TO INSTALL OCCUPANCY SENSORS AT A LEVEL EQUAL TO OR LOWER THAN AREA DUCT WORK TO ENSURE OCCUPANCY SENSOR COVERAGE.

LTG CTRL SEQUENCE OF OPERATION

LIGHTING AND CONTROLS ARE DESIGNED TO MEET IECC 2021.

TIME CLOCK WILL BE PROGRAMMED TO TURN LIGHTS ON AND OFF FOR HOURS OF OPERATION.

A SWITCH WILL ACT AS OVERRIDES TO TIME SCHEDULING.

OCCUPANCY SENSORS WILL CONTROL LIGHTING IN THE OFFICE, JANITORS ROOM, AND STORAGE ROOM.

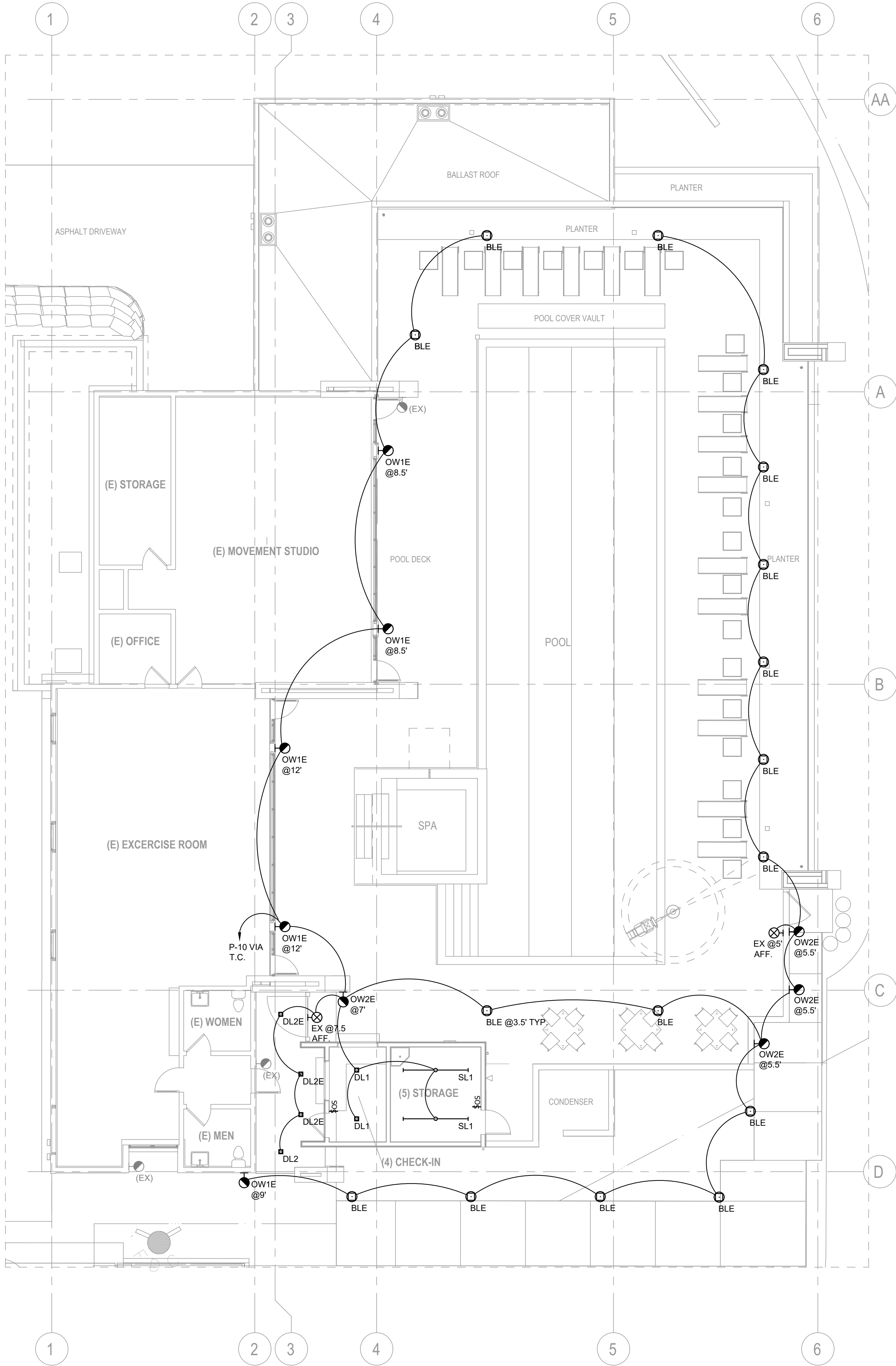
BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE PROGRAMMED TO SHUT OFF NOT LATER THAN 1 HOUR AFTER BUSINESS CLOSING TO NOT EARLIER THAN 1 HOUR BEFORE BUSINESS OPENS. (C405.2.7.2)

PER THE OWNER AND ARCHITECT, THIS FACILITY IS CLASSIFIED AS "DAYLIGHT USE ONLY." NIGHT SWIMMING IS NOT PERMITTED.

POOL ACCESS IS RESTRICTED TO THE PERIOD BETWEEN 30 MINUTES BEFORE SUNRISE AND 30 MINUTES AFTER SUNSET, AS DEFINED BY UTAH ADMINISTRATIVE CODE R392-302-18.

BECAUSE NIGHT SWIMMING IS PROHIBITED, THE 10 FOOT-CANDLE (FC) DECK AND WATER SURFACE ILLUMINATION REQUIREMENTS STIPULATED IN R392-302-18 ARE NOT APPLICABLE TO THIS PROJECT.

ARTIFICIAL LIGHTING PROVIDED ON THIS PLAN IS INTENDED SOLELY FOR MEANS OF EGRESS AND GENERAL SAFETY. THE DESIGN MAINTAINS A 1 FC MINIMUM AVERAGE ACROSS THE DECK AND EGRESS PATHS TO COMPLY WITH LOCAL BUILDING AND LIFE SAFETY CODES FOR SAFE DEPARTURE FROM THE AREA DURING NIGHT TIME HOURS.



1 MAIN LEVEL LIGHTING PLAN
E102 SCALE: 1/8" = 1'-0"

SCALE: 1" = 10'-0"