



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
July 1, 2026

*This meeting may be held electronically
to allow a Commission member to participate.*

4:30 PM WORK SESSION – AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56
NORTH STATE STREET, OREM, UT

1 Agenda Items Discussion

2 Detached Accessory Dwelling Unit Discussion

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. CONSENT AGENDA ITEMS

3.1 Approval of the June 17th, 2026 Minutes

**3.2 Plat Amendment — Old Orchard Plat L — Located at approximately 457 East
1500 North**

4. ACTION ITEMS

4.1 None

5. PUBLIC HEARINGS

**5.1 PUBLIC HEARING — "KNEADERS NORTH OREM" TEXT AMENDMENT
— Request to amend Appendix OO by altering the existing concept plan for the
PD-53 zone, located generally at 1890 North State Street**

6. ADJOURN

**THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)**

This agenda is also available on the City's webpage at orem.org

DRAFT MINUTES FOR June 17th, 2026

CITY OF OREM PLANNING COMMISSION MEETING MINUTES June 17th

The following items are discussed in these minutes:

CONSENT AGENDA ITEMS:

- 3.1 - Approval of Minutes for the 06-03-2026

ACTION ITEMS:

- Preliminary Plat - Home Again Lane - Request to create new flag lots generally at 600 South 900 East
- Site Plan - Costco Fuel Center Relocation - Request to relocate the Costco Fuel Center to another onsite location, located at approximately 648 East 800 South

PUBLIC HEARINGS:

- None

A recording of the meeting can be viewed online at <https://www.youtube.com/watch?v=LnRb3-IFteg>

PLANNING COMMISSION WORK SESSION

Place: Orem City Council Conference Room, 56 North State Street

At **4:35 p.m.** Chair Komen called the Planning Commission meeting to order

Those present: Madeline Komen, Susan Madsen, Karl Radmall, Micah Ladle, Planning Commissioners; Quinn Mecham, City Council Liaison; Jared Hall, Grace Bjarnson, Emma Tenney, Matt Taylor, Rebecca Gourley, Planning Staff.

Those excused: Britton Runolfson, Jeff Reeves, Darren Hawkins, Planning Commission members; Gary McGinn, Director of Community Development; Aaron McKnight, Legal Counsel.

1. Discussion: Agenda Prep

Staff and Commissioners briefly reviewed the Planning Commission Agenda. There were no questions.

2. Discussion: New State Mandated Detached Accessory Dwelling Units (DADUs)

DRAFT MINUTES FOR June 17th, 2026

Commissioners and Staff discussed minimum requirements for DADUs presented by the state. Discussion was focused on understanding guidelines and clarifying what the City may and may not further regulate.

The work session adjourned at 5:18 PM with the intent to reconvene after the regular work session. A recording of the work session can be viewed online at <https://www.youtube.com/watch?v=LnRb3-IFteg>

PLANNING COMMISSION MEETING

Place: Orem City Council Chambers, 56 North State Street

At **5:30 p.m.** Chair Komen called the Planning Commission meeting to order. An invocation was offered by Micah Ladle.

Those present: Madeline Komen, Susan Madsen, Karl Radmall, Micah Ladle, Planning Commissioners; Quinn Mecham, City Council Liaison; Jared Hall, Grace Bjarnson, Emma Tenney, Matt Taylor, Rebecca Gourley, Planning Staff.

Those excused: Britton Runolfson, Jeff Reeves, Darren Hawkins, Planning Commission members; Gary McGinn, Director of Community Development; Aaron McKnight, Legal Counsel.

Agenda Item 3, Consent Agenda Items

- 3.1 - Approval of Minutes for the 06-03-2026

Jared Hall introduced the consent agenda items. No questions were raised. Chair Komen requested a motion.

Planning Commission Action: Susan Madsen moved to approve the consent agenda. Karl Radmall seconded the motion.

YES: Madeline Komen, Susan Madsen, Karl Radmall, Micah Ladle

NO: None

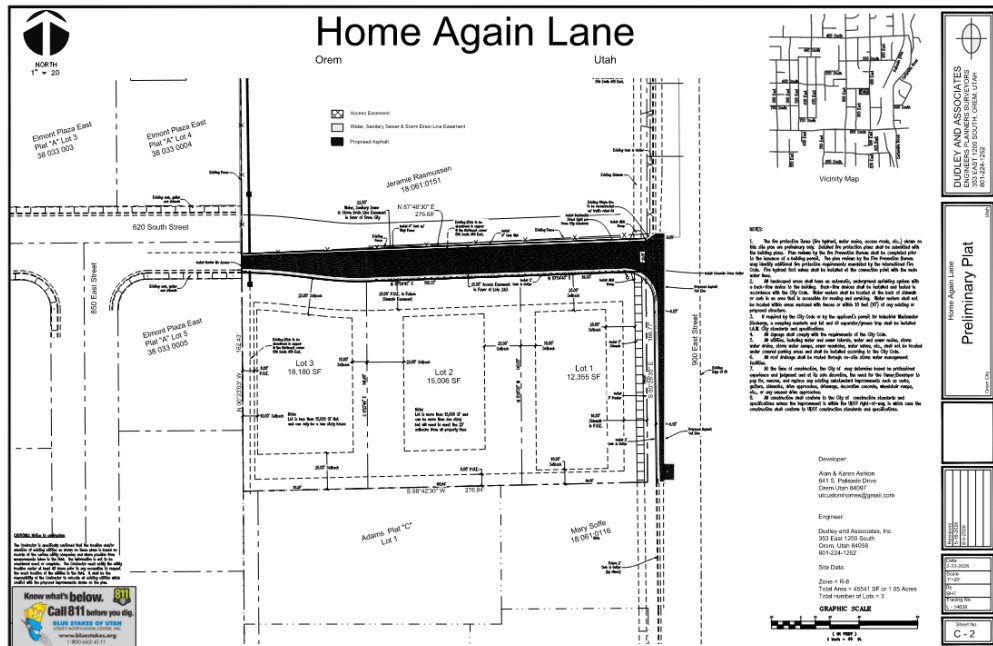
ABSTAIN: None

After the approval of the minutes, the Planning Commission paused briefly to address technical issues.

Agenda Item 4. Action Items

4.1 Preliminary Plat - Home Again Lane - Request to create new flag lots generally at 600 South 900 East, in the R8 Zone

Jared Hall introduced the Preliminary Plat for Home Again Lane. The applicant, Brigham Ashton, requested to create a three lot subdivision, which includes one standard lot and two flag lots. In anticipation of a future road expansion, the northern subdivision access was designed to the setback standards required for public Right of Way (ROW). This includes sufficient space for future sidewalk, curb, and gutter. Until the road expansion and dedication occurs, the access will serve as a private drive.



Chair Komen invited the applicant to come forward and speak. The applicant indicated from the audience that he had no comments, but was willing to answer any questions the Commission may have. The Commissioners had no comments for the applicant.

Chair Komen asked Staff a clarifying question regarding through access on the private drive. Mr. Hall advised the northern access did not go through to the neighboring street, though it may do so at a later date, should the City invest in a road connection.

Chair Komen called for a motion.

Planning Commission Action: Susan Madsen moved to approve the Home Again Lane Preliminary Plat. Micah Ladle seconded the motion.

DRAFT MINUTES FOR June 17th, 2026

YES: Madeline Komen, Susan Madsen, Karl Radmall, Micah Ladle

NO: None

ABSTAIN: None

4.2 Site Plan - Costco Fuel Center Relocation - Request to relocate the Costco Fuel Center to another onsite location, located at approximately 648 East 800 South in the PD-34

Jared Hall introduced the Site Plan for the Costco Fuel Center Relocation. The applicant, Josh Beach, requested site plan approval to relocate the Costco Fuel Center to the southern parking lot.

The new Fuel Center is planned to have 16 fuel pumps and 8 queue lines, which will allow 32 customers to fuel at a time. The new Fuel Center will remove 214 parking stalls, and the old Fuel Center will be replaced with 281 stalls, resulting in a net increase in parking.

The plan additionally proposes to restripe 700 East. The restriping will remove the center lane for the majority of 700 East, and introduce new road markings to direct traffic into the new Fuel Center.

Commissioner Radmall asked for clarification regarding the size and number of fuel tanks on the site plan. Chair Komen advised that the question would be best asked to the applicant, and requested to hold the question until the applicant came forward. Chair Komen asked if the Commissioners had any questions for Staff.

Commissioner Madsen asked where overflow traffic during busy hours would go. Rebecca Gourley advised that overflow traffic would be directed onto 700 East. Mr. Hall also advised that the queue lengths have been doubled directly under the canopy. Commissioner Radmall agreed, commenting that the St. George queue lines became significantly shorter when the number of fuel pumps were increased. Chair Komen also noted that the queue and traffic changes were noted in the attached Traffic study, and numbers indicated queue length and time in queue would be significantly reduced.

Chair Komen invited the applicant to come forward. Mr. Beach addressed comments related to the queue and confirmed that there would be three 40,000 gallon tanks and one 30,000 additive tanks onsite, below-ground. He also explained that the new fuel-tanker drop off location was planned along 700 East, in its own pull-out lane, and would have no effect on the queue lines.

Chair Komen asked Staff if there were any other comments. Mrs. Gourley briefly showed the new Fuel Center elevations, which match the style and structure of the existing canopy.

Chair Komen requested a motion.

DRAFT MINUTES FOR June 17th, 2026

Planning Commission Action: Susan Madsen moved to approve the Site Plan for the Costco Fuel Center Relocation project. Susan Madsen seconded the motion.

YES: Madeline Komen, Susan Madsen, Karl Radmall, Micah Ladle

NO: None

ABSTAIN: None

Agenda Item 5, Public Hearing Items

No public hearings were scheduled for this meeting.

Final Meeting Comments:

There were no additional meeting comments. Chair Komen requested a motion to adjourn the meeting, with the intent to reconvene the work session.

Regular Meeting Adjournment:

Commissioner Radmall motioned to adjourn the regular meeting to the work meeting. Micah Ladle seconded. All present Commissioners voted yes.

The Planning Commission Meeting adjourned at **5:53 p.m.**

Work Session Continued:

The work session was reconvened at **5:56 p.m.** Commissioners and Staff discussed draft ideas, scope of work, and the potential impacts of DADUs.

A recording of this discussion may be viewed online at <https://www.youtube.com/watch?v=LnRb3-IFteg>

Work Session Adjournment:

After extensive discussion of DADUs, Chair Komen adjourned the meeting at **6:52 p.m.**

Reviewed and Approved: DRAFT

 Administrative	PLANNING COMMISSION July 1 st , 2026	Item 3.2
	Old Orchard Plat L 457 East 1500 North Plat Amendment combining two lots into one.	Prepared By: Emma Tenney Applicant: Kit Dorrough

Notices:

Posted in 2 public places.
Posted on City Webpage
and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Low Density Residential

Zoning: **PD-14,**
Residential Estate Zone

Total Acreage: **2.5-acres**
combined

Action:

The Planning Commission
is the Land Use Authority
and the approving body for
this item.

REQUEST: The applicant requests approval for a plat amendment consolidating two lots into one. The lots are currently functioning as one yard for a single owner and share continuous use.

BACKGROUND: The applicant, Kit Dorrough, applied for a plat amendment on April 27th, 2026. Kit Dorrough lives at 457 East 1500 North and owns the adjacent lot at 469 East 1500 North. He is proposing to consolidate the two lots into one.



Figure 1, Existing lots at 457 East 1500 North and 469 East 1500 North

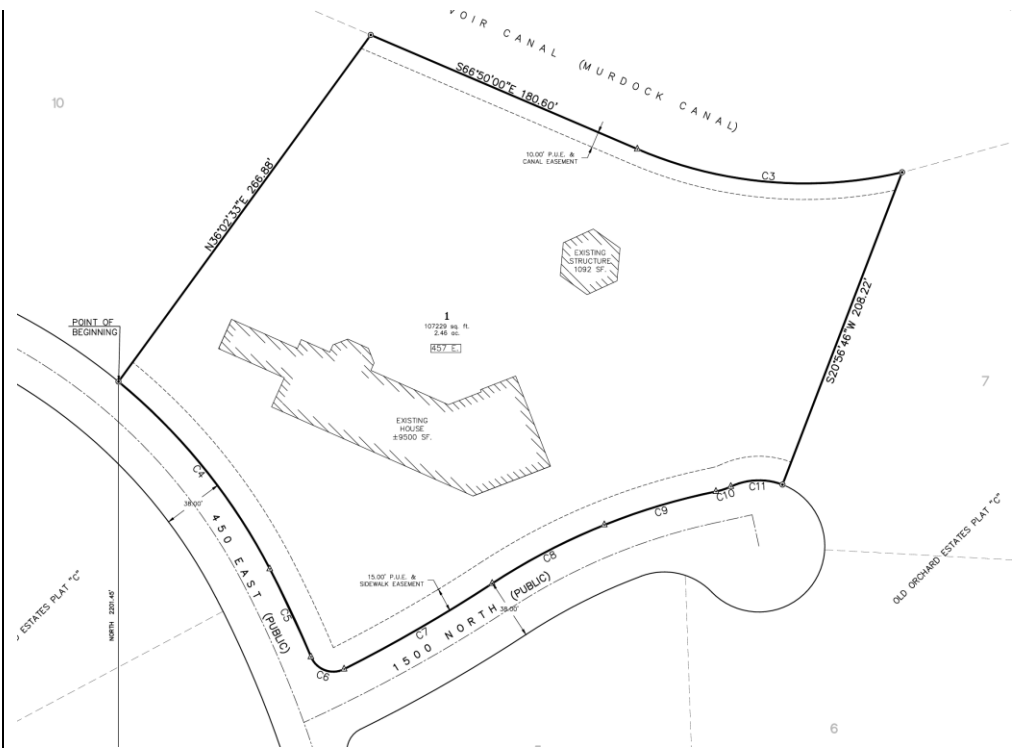


Figure 2, Proposed plat amendment

REVIEW:

Zoning: The subject property is currently zoned PD-14, Residential Estate Zone. The PD-14 Zone allows residential estate uses on lots of at least seventy-five hundredths (0.75) of an acre and allows development with a guest house and/or enclosed recreational facilities.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the plat amendment application on Monday, June 15th, 2026. The DRC unanimously recommended approval to the Planning Commission.

ALTERNATIVE ACTIONS:

After review and consideration of the application the Planning Commission may:

- **Approve or Deny** the requested plat amendment.
- **Continue the Request** to a future date for further review, additional information, or condition.

ALTERNATIVE MOTIONS:

Motion to Approve or Deny -

“I move that the Planning Commission [choose **APPROVE** or **DENY**] the Plat Amendment for Old Orchard Plat L.”

Motion to Continue the Request –

“I move that the Planning Commission continue this request to [choose appropriate date or condition].”

Map filing # 3611

18767
Dream City
NINA B. REID
UTAH COUNTY RECORDS
FILED
1989 JUN 30 PM 2:14
MB 3050

T-TABLE

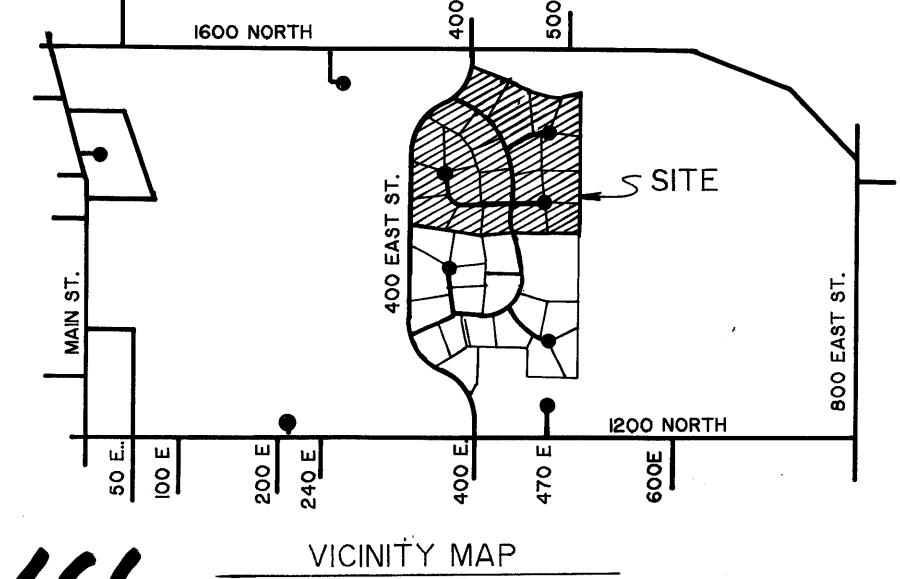
NO.	BEARING	LENGTH
1	N83°10'00"E	5.00
2	N57°02'52"E	99.14
3	N89°37'22"W	117.00
4	S01°44'48"W	42.68
5	S63°51'29"W	26.18
6	S77°41'18"W	25.00
7	S10°18'42"E	20.00
8	S88°15'15"E	34.00
9	S84°39'02"E	35.00
10	S88°15'15"E	54.98
11	S45°55'27"E	23.91
12	S78°14'12"W	13.11
13	S78°14'12"W	13.11
14	S01°44'48"W	8.69
15	S01°44'48"W	18.69
16	S88°15'15"E	20.98
17	S88°15'15"E	20.98
18	S77°02'23"W	6.00
19	S88°00'00"E	15.11
20	N61°28'22"E	19.34
21	N61°28'22"E	19.38
22	S25°01'43"E	15.11

CURVE DATA

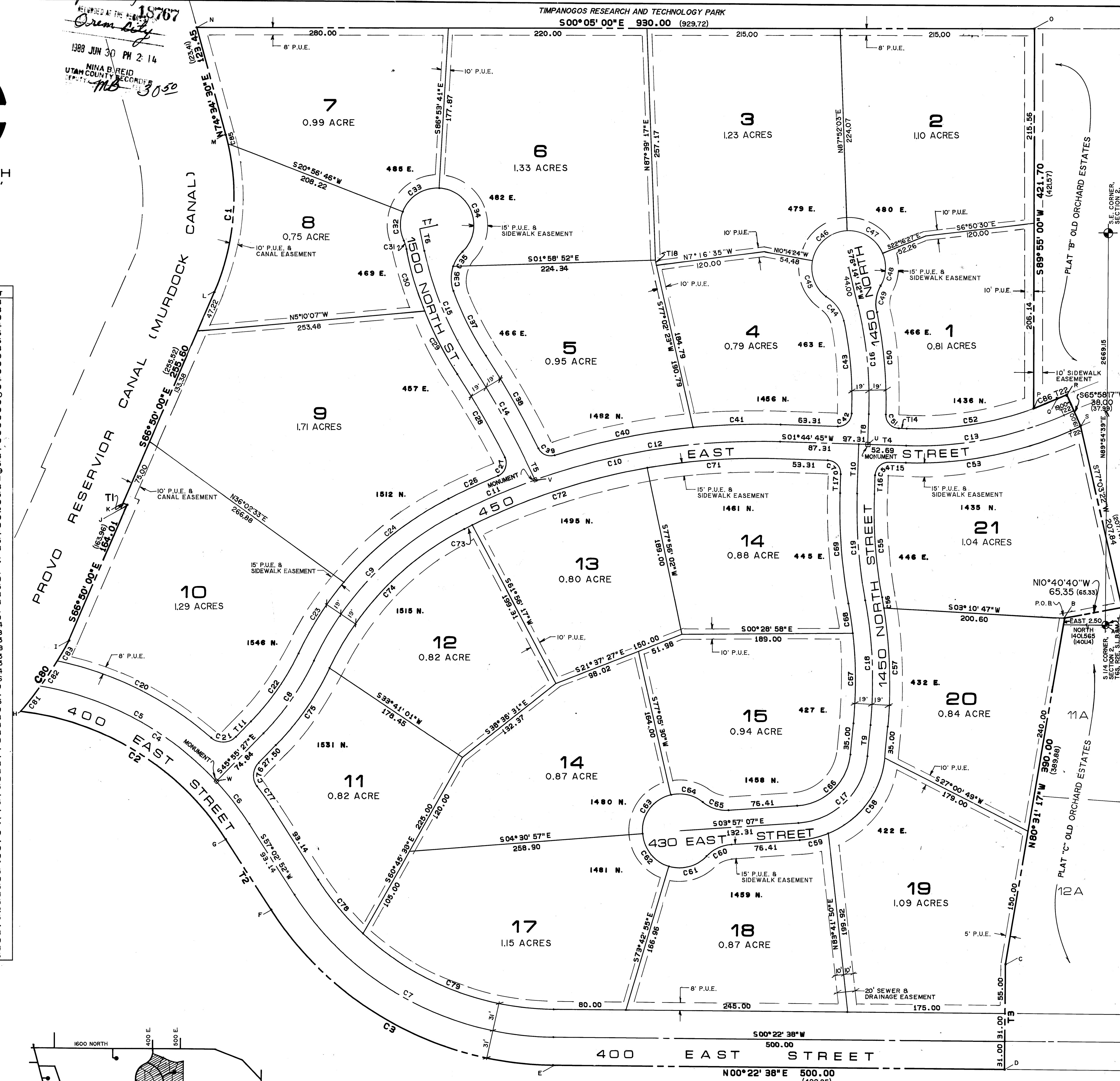
NO.	CHD. BEARS	CHORD	DELTA	RADIUS	ARC	TANGENT
1	S86°07'45"E	175.14	38°35'30"	265.00	178.49	92.78
2	S31°44'09"E	252.35	50°37'25"	315.00	276.32	148.98
3	S28°42'45"W	357.87	55°40'14"	377.00	372.89	203.29
4	S33°16'13"W	279.01	47°33'18"	346.00	287.18	152.44
5	S28°17'21"W	222.57	37°35'34"	346.00	227.02	117.76
6	S52°04'00"E	92.65	9°57'45"	60.16	30.16	3.16
7	S28°42'45"W	328.44	55°40'14"	346.00	342.23	186.58
8	S55°20'52"E	98.65	18°50'50"	301.25	99.10	50.00
9	S46°04'40"E	227.34	37°23'15"	354.65	231.42	120.00
10	S12°43'08"E	92.65	29°07'48"	731.25	371.78	180.00
11	S23°39'25"E	95.07	7°27'15"	731.25	95.14	47.64
12	S09°05'31"E	275.00	21°40'33"	731.25	276.65	140.00
13	N11°08'29"W	175.47	25°46'28"	393.36	176.95	90.00
14	N60°17'41"E	195.77	7°07'23"	497.30	199.09	70.00
15	N67°12'39"E	137.67	20°57'19"	378.51	138.44	70.00
16	N83°59'29"E	120.88	15°30'33"	447.95	121.26	61.00
17	S44°18'05"E	106.70	80°41'54"	82.40	116.05	70.00
18	N87°20'14"E	136.53	16°10'29"	497.30	139.09	70.00
19	N85°32'07"E	119.90	12°25'16"	551.36	119.53	60.00
20	S26°19'10"W	191.95	29°29'47"	377.00	194.08	99.24
21	S02°25'42"E	27.53	86°59'31"	20.00	30.37	18.98
22	S55°05'52"E	92.65	14°14'38"	373.65	92.65	46.65
23	N57°58'59"W	92.65	14°14'38"	373.65	92.65	46.65
24	N38°57'21"W	149.91	23°08'37"	373.65	150.93	76.51
25	S32°20'14"E	64.53	9°54'24"	373.65	64.61	32.38
26	S28°42'45"W	60.45	4°37'05"	750.25	60.47	30.25
27	S59°47'14"E	21.95	94°02'38"	15.00	24.62	16.10
28	N59°57'45"E	106.47	6°27'31"	944.98	106.53	53.32
29	N62°25'19"E	78.81	11°22'39"	397.51	78.94	39.60
30	N73°20'31"E	72.48	10°27'33"	397.51	72.59	36.39
31	N71°42'28"E	9.80	13°43'45"	41.00	9.80	4.94
32	N87°53'40"E	32.11	46°06'12"	41.00	32.99	17.45
33	S32°58'27"E	48.29	72°09'33"	41.00	51.64	29.88
34	S69°31'09"W	75.15	132°48'41"	41.00	95.05	93.91
35	N57°44'00"E	19.37	81°17'06"	21.25	19.56	9.97
36	S89°06'30"W	27.36	38°59'03"	41.00	27.90	14.51
37	S63°10'29"W	80.67	12°52'59"	359.51	80.84	40.59
38	S60°11'18"W	118.49	6°54'38"	982.98	118.56	59.35
39	S23°00'04"E	19.54	81°17'06"	21.25	19.56	9.97
40	S11°39'16"E	155.50	11°58'25"	750.25	156.79	78.68
41	S01°57'39"E	97.01	7°24'49"	750.25	97.08	48.61
42	S43°18'15"E	21.21	90°00'00"	15.00	23.56	15.00
43	S84°51'20"W	122.95	42°32'17"	122.95	123.17	61.84
44	S55°42'24"W	31.06	44°31'03"	41.00	31.86	16.78
45	S66°50'38"W	45.14	66°47'32"	41.00	47.80	27.03
46	N40°56'46"W	51.40	77°37'39"	41.00	55.55	32.98
47	N32°47'48"E	46.35	69°51'30"	41.00	49.39	28.63
48	S86°27'38"E	35.71	51°37'39"	41.00	36.94	19.83
49	S81°31'32"E	29.22	41°45'28"	41.00	29.88	15.64
50	N84°40'15"E	119.03	14°09'01"	486.95	119.32	57.96
51	S48°44'45"W	21.21	90°00'00"	15.00	23.56	15.00
52	S09°12'21"E	142.24	21°54'13"	374.36	143.11	72.44
53	N11°08'29"W	183.94	25°46'28"	412.36	185.50	94.35
54	N43°15'15"W	21.21	90°00'00"	15.00	23.56	15.00
55	S88°32'07"W	12.26	1°21'18"	516.30	12.26	6.13
56	S80°00'19"W	131.78	14°39'51"	516.30	132.14	66.43
57	S88°01'09"E	105.03	62°23'05"	101.40	101.41	61.39
58	N53°27'27"W	105.03	18°18'42"	101.40	101.40	61.39
59	N13°08'30"E	30.63	42°58'13"	41.00	30.75	15.96
60	N25°28'14"W	42.97	63°12'26"	41.00	45.23	25.23
61	N15°19'07"W	46.56	69°11'58"	41.00	49.52	28.28
62	S60°53'04"E	55.58	81°36'27"	41.00	56.40	35.39
63	S59°42'43"E	38.25	3°59'07"	478.30	38.27	19.86
64	S13°09'18"W	30.09	42°58'13"	41.00	30.75	15.96
65	S17°31'59"W	82.09	80°41'54"	63.40	89.29	53.86
66	S44°18'05"E	100.32	12°02'22"	478.30	100.50	50.44
67	N89°19'47"E	38.25	3°59'07"	478.30	38.27	19.86
68	N81°19'03"E	123.41	12°25'16"	570.36	123.65	62.07
69	N85°32'07"E	123.41	12°25'16"	570.36	123.65	62.07
70	N48°44'45"E	21.21	90°00'00"	15.00	23.56	15.00
71	N04°10'50"W	147.09	11°51'11"	712.25	147.35	73.94
72	N18°20'36"W	204.00	18°28'21"	712.25	204.77	103.10
73	N26°58'54"W	10.00	0°48'16"	712.25	10.00	5.00
74	N48°04'40"W	215.16	37°23'15"	335.65	219.03	113.57
75	N55°20'52"W	104.87	18°50'50"	320.25	105.35	59.15
76	N88°47'05"W	26.17	81°43'18"	26.17	26.17	17.30
77	S54°42'05"W	30.87	4°41'34"	377.00	30.88	15.45
78	S49°55'22"W	78.14	14°15'00"	315.00	78.34	39.38
79	S21°35'15"W	227.93	42°28'14"	315.00	233.22	122.26
80	S55°57'58"E	95.65	11°40'00"	35.71	95.71	48.02
81	S52°18'29"E	35.69	4°21'06"	470.00	35.70	17.86
82	S58°32'08"E	33.65	4°08'13"	470.00	33.66	16.84
83	S60°11'37"E	26.36	3°12'46"	470.00	26.36	13.18
84	S85°00'32"E	165.32	36°21'03"	265.00	165.13	87.00
85	N75°41'43"E	10.36	2°14'27"	265.00	10.36	5.18
86	S22°05'35"E	25.29	3°52'16"	374.36	25.29	12.65

STATE PLANE COORDINATES

PT.	NORTH	EAST
A	723,412.70	1,948,251.07
B	724,813.84	1,948,253.57
C	724,878.05	1,947,869.01
D	724,878.05	1,947,752.05
E	725,378.66	1,947,755.34
F	725,692.43	1,947,927.22
G	725,743.08	1,948,005.35
H	725,972.09	1,948,146.99
I	725,918.63	1,948,226.15
J	725,854.13	1,948,376.89
K	725,858.73	1,948,378.85
L	725,758.20	1,948,613.77
M	725,746.58	1,948,788.46
N	725,773.21	1,948,907.43
O	724,849.49	1,948,908.78
P	724,848.88	1,948,487.21
Q	724,825.46	1,948,496.72
R	724,811.66	1,948,502.87
S	724,796.19	1,948,468.17
T	724,749.65	1,948,265.68
U	725,032.48	1,948,446.78
V	725,401.18	1,948,406.30
W	725,754.00	1,948,069.59



3611-41



SURVEYOR'S CERTIFICATE

I, K. EDWARD GIFFORD, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5958, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

COMMENCING NORTH 1401.565 FEET AND EAST 2.50 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN; THENCE AS FOLLOWS:

BEARING	DISTANCE	REMARKS
N80°31'17"W	390.00'	THENCE
N89°37'22"W	117.00'	THENCE
N00°22'38"E	500.00'	THENCE
ARC LENGTH	372.89'	CHD. BEARS N28°42'45"E 357.87', R=377.00', THENCE
N57°02'52"E	93.14'	THENCE
ARC LENGTH	278.32'	CHD. BEARS N31°44'09"E 269.35', R=315.00', THENCE
ARC LENGTH	95.71'	CHD. BEARS S55°57'58"E 95.55', R=470.00', THENCE
S66°50'00"E	164.01'	ALONG THE PROVO RESERVOIR CANAL AS FOLLOWS:
N23°10'00"E	5.00'	THENCE
S66°50'00"E	255.60'	THENCE
ARC LENGTH	178.49'	CHD. BEARS S86°07'45"E 175.14', R=265.00', THENCE
N74°34'30"E	123.45'	THENCE
S00°05'00"E	930.00'	ALONG TIMPANOGOS RESEARCH AND DEVELOPMENT PARK,
S89°55'00"W	421.70'	THENCE
ARC LENGTH	25.29'	CHD. BEARS S22°05'35"E 25.29', R=374.36', THENCE
S24°01'33"E	15.11'	THENCE
S65°58'17"W	38.00'	THENCE
S77°03'22"W	207.84'	THENCE
N10°40'40"W	65.35'	TO THE POINT OF BEGINNING.
		AREA = 24.95 ACRES

DATE 12-30-87 SURVEYOR K. E. GIFFORD (See Seal Below)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 16th DAY OF January, A.D. 1988.
R. DUFF THOMPSON, an individual
RICK A. MCKILL

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

ON THE 16th DAY OF January, A.D. 1988, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES 3-1-92
NOTARY PUBLIC (See Seal Below)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF OREM, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 26th DAY OF January, A.D. 1988.

BY RESOLUTION NO. 1545-88
APPROVED: Blaine Miller, Mayor
APPROVED: [Signature], Attest
(See Seal Below) CLERK-RECORDER (See Seal Below)

BOARD OF HEALTH

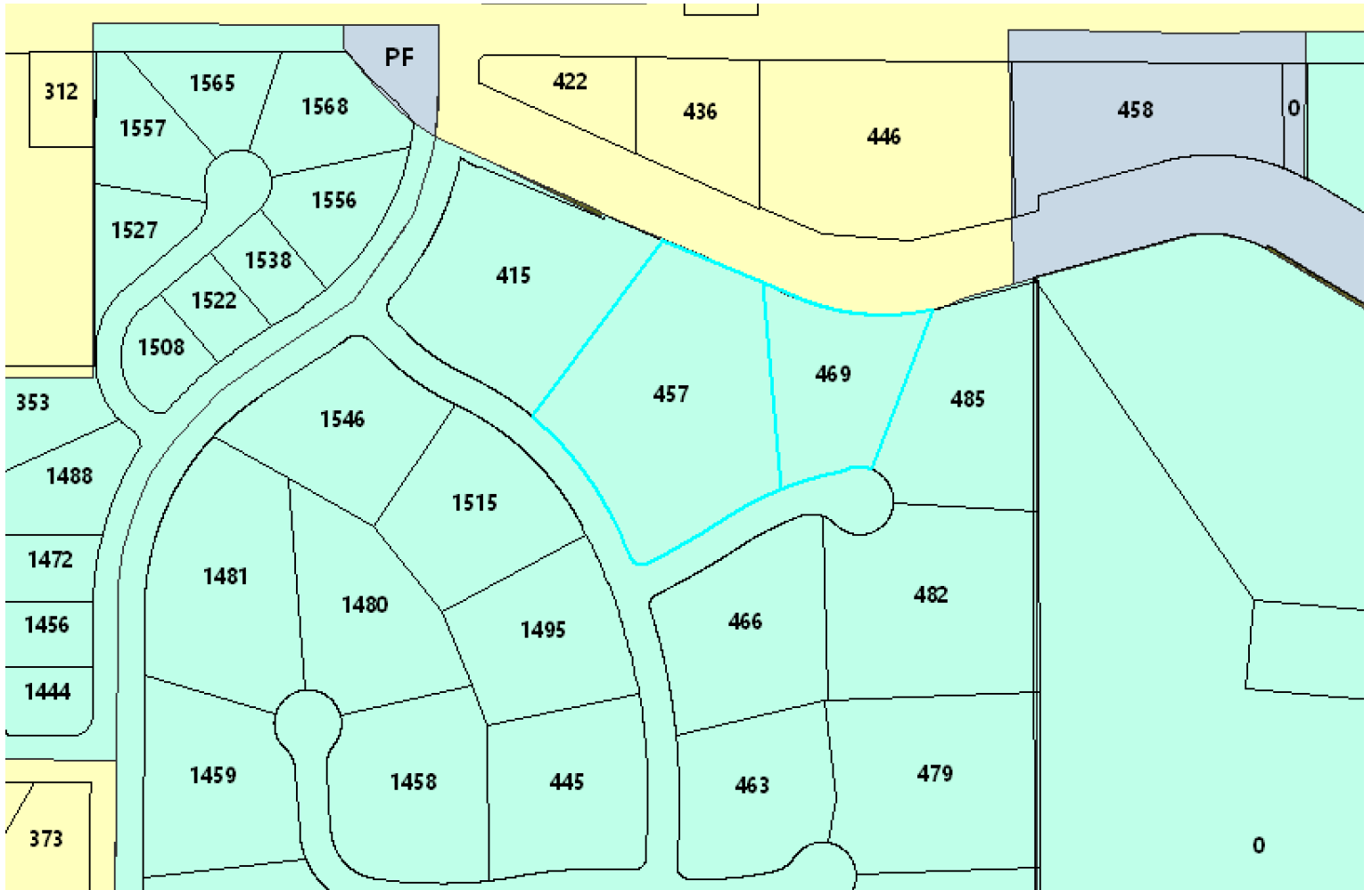
Old Orchard Plat L – 457 East 1500 North

Vicinity Map:
Zone: PD-14

Neighborhood
Windsor



Old Orchard Plat L – 457 East 1500 North



Legend

R8 PD

Neighborhood

Windsor



Zoning Map:

Zone: PD-14

Old Orchard Plat L Street View
(457 East 1500 North)



	Planning Commission July 1 st , 2026	5.2 New Concept Plan, PD-53 Zone 1890 N. State Street
	PUBLIC HEARING – Text Amendment Kneaders North Orem, PD-53 Zone <i>Request to amend Appendix OO of the Orem City Code, adopting a new Concept Plan for the PD-53 Zone located generally at 1890 North State Street, (Approximately 5.39 acres.)</i>	Prepared By: Grace Bjarnson Applicant: David Vincent

Notices:

Posted in 2 public places
Posted on City Webpage and City hotline
Posted at Utah.gov/pmn
notices sent to property owners within a 1,000-foot radius

Site Information:

General Plan Designation:
Community Commercial
Current Zone: **PD-53**
Acreage: **5.39 acres**
Neighborhood: **Northridge**

Action:

The Planning Commission is the recommending body for this requested amendment, and may:

Forward a positive recommendation of the proposed change of zoning.

Forward a negative recommendation of the proposed change of zoning.

Continue the hearing to a future date to allow for further review, additional information, or public comment as may be needed to make a decision.

REQUEST: The applicant requests that the Planning Commission forward a positive recommendation to the City Council to amend the concept plan for the PD-53 zone in Orem City located generally at 1890 N. State Street.

BACKGROUND: The applicants have submitted a request to amend the Concept Plan for the PD-53 zone located generally at 1890 N. State Street. The PD-53 zone was approved in February of 2024. The applicant does not wish to amend the code itself - only to modify the concept plan. This means that the new concept plan must meet the code already established for this area. The northwest portion of the PD-53 zone currently houses several smaller businesses including the Kneaders restaurant. The rest of this zone includes extensive parking areas, undeveloped lots, and a large grocery store which has not been in use in many years.

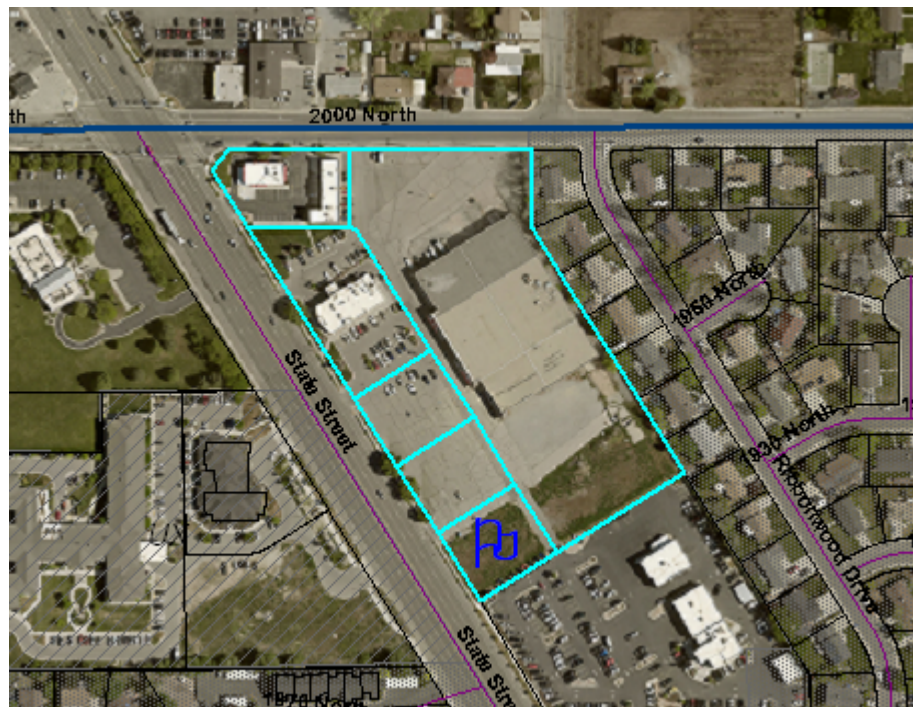


Figure 1: Subject Property, aerial

REVIEW & ANALYSIS:

PD-53 Zone and Current Concept Plan– The Purpose of the PD-53 zone is to create a cohesive commercial and retail development that considers the opportunities and requirements of state street frontage while also considering compatibility

issues with the residential properties to the East and North. The zone primarily follows the development standards in the C2 zone with adjustments to standards for setbacks, parking, and drive-through. The text of the PD-53 zone is provided for your review as a separate file. Below is an image of the current concept plan attached to the PD-53 zone. The current plan follows requirements of the PD-53 and C2 zones. In place of the unused grocery store, two large 3-story office buildings were to be created with a pedestrian plaza between them. The current PD-53 concept plan, including elevations, is provided for your review as a separate file.

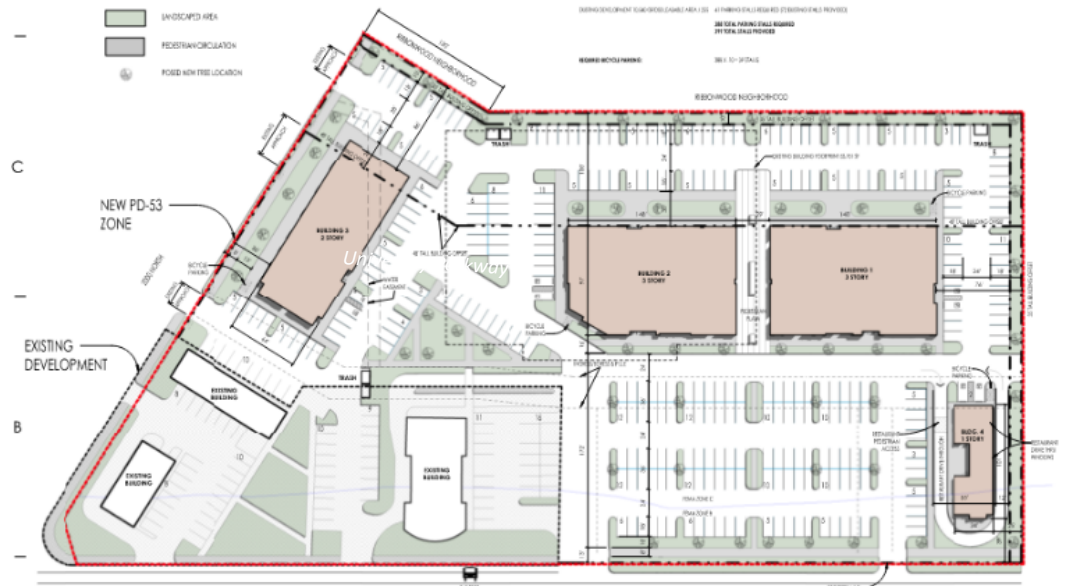


Figure 2: Existing Concept Plan for the PD-53 zone

Proposed Concept Plan – Recently, a viable option involving Clyde Co has been developed for this location that meets the current PD-53 zone standards. The proposed concept replaces the 3-story office buildings with a unique home-improvement store.

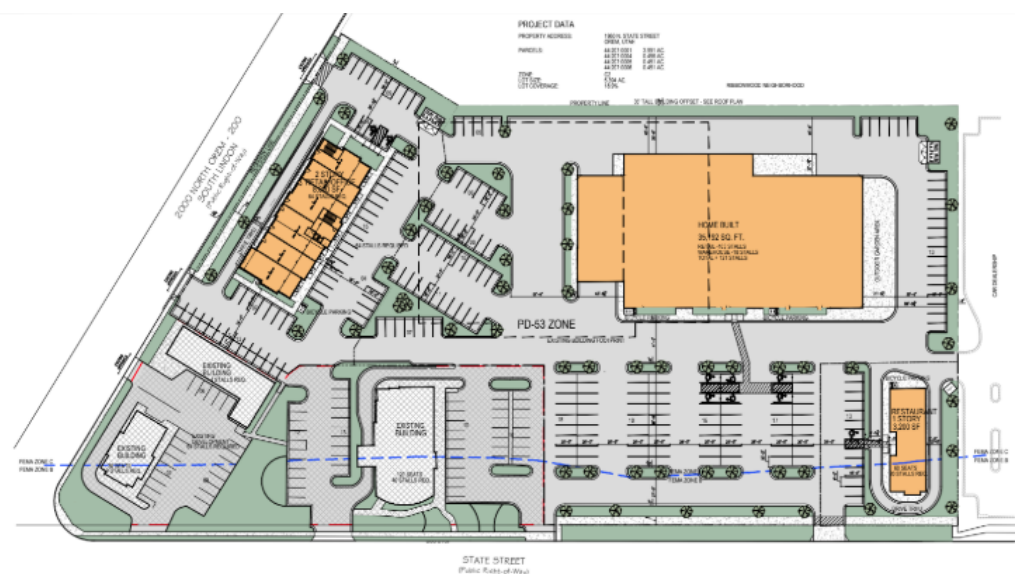


Figure 3: Proposed Concept Plan for the PD-53 zone

The new home-improvement building would be sited closer to the residential neighborhood on the East than the current plan's office buildings, but the building is shorter than the 3-story office buildings. The other principal difference concerns the layout of the parking. The parking areas have been adjusted to accommodate a covered drive-through/pickup area attached to the North side of the home improvement building. The complete Proposed Concept Plan, including elevations, is provided for your review as a separate file.

Height – Maximum building height in the PD-53 zone is 48 feet except for portions of a structure within 100 feet of residential areas, where height is then limited to 35 feet. The home improvement building will be just over 45 feet from the east property line, which abuts residential properties. This proximity necessitated a lower roof height at the back of the building as can be seen on the elevation below.

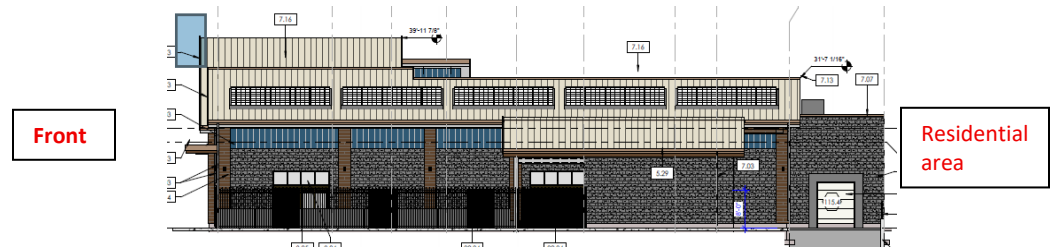


Figure 4: South Building Elevation, showing the lowered height on the east.

Parking– The PD-53 zone parking requirement is 1 parking stall per 255 ft² as opposed to the requirement of 1 parking stall per every 250 ft² in the C2 zone. Based upon this requirement the total parking requirement for all 6 buildings in the concept plan is 245 spaces. The proposed concept plan provides 277 parking spaces.

BUILDING:	SQ. FT.	REQUIRED VEHICLE PARKING:	
BUILDING #1 HOMEBUILT	30,822 SF	1 STALL / 255 SF	121 STALLS REQUIRED
BUILDING #2 RETAIL / OFFICE	16,000 SF	1 STALL / 255 SF	63 STALLS REQUIRED
BUILDING #3 RESTAURANT	3,200 SF	1 STALL / 255 SF	13 STALLS REQUIRED
BUILDING #4 KNEADERS	6,032 SF	1 STALL / 255 SF	24 STALLS REQUIRED
BUILDING #5 RETAIL	3,518 SF	1 STALL / 255 SF	14 STALLS REQUIRED
BUILDING #6 SWEETO BURRITO	2,240 SF	1 STALL / 255 SF	10 STALLS REQUIRED
REQUIRED BICYCLE PARKING: 10% OF 245 STALL 25 SPACES REQUIRED		245 STALLS REQUIRED 277 STALLS PROVIDED - SITE	

Figure 5: Parking Requirements

State Street Elevations – The facades of the buildings along the State Street corridor meet the State Street Corridor architectural feature requirements including the ground-story 40% transparent window requirement and will integrate well with other new construction along State Street.



Figure 6: West Elevation Facing State Street

Transportation / Traffic– No significant difference results in traffic volumes or patterns results comparing the current plan to the proposed plan. The proposed

concept has been sent to the Utah Department of Transportation (UDOT) for a permit review under access management standards. Since the UDOT permit has not yet been received, the DRC's recommendation is conditioned upon final UDOT permit approval. Any recommendation of approval to the Council should include the same condition.

DRC REVIEW: The Development Review Committee (DRC) voted to forward the application to the Planning Commission with the condition that the project receive a UDOT permit approval at a public meeting held on Monday, June 11th, 2026.

PROCESS / NEXT ACTIONS: If the text amendment is approved by the City Council, the applicants will then submit applications for site plan approvals through the Planning Commission. Those submittals will require a greater degree of detail with regard to engineering and site development concerns such as grading and drainage, traffic impact, photometric plans, full landscaping plans, and others. However, unlike a concept plan for a rezone application, the site plan will be required to follow as closely as possible the new concept plan replacing appendix OO.

STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS: For land use amendments like the requested text amendment, Utah State Code states that the "planning commission shall... review and recommend to the [Orem City Council ("Council")] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council "may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation." See Utah Code 10-9a-503(2).

ALTERNATIVE ACTIONS: After review and consideration of the application the Planning Commission may recommend APPROVAL, recommend DENIAL, or may continue the request to a future date.

ALTERNATIVE MOTIONS:

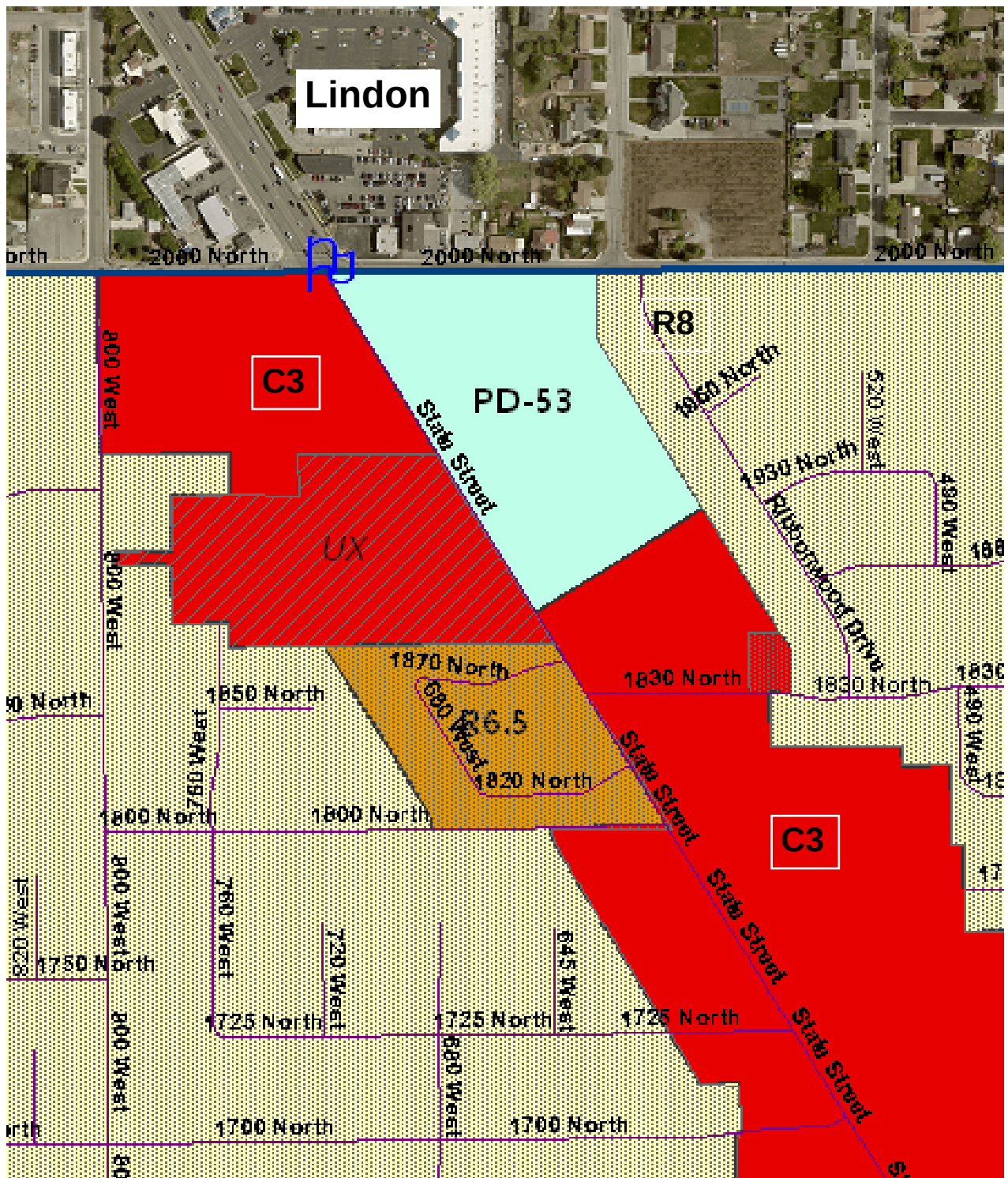
Motion to Approve or Deny

"I move that the Planning Commission forward a recommendation of [choose APPROVAL or DENIAL] to the Orem City Council for the request to amend Appendix OO of the Orem City Code, adopting the new proposed Concept Plan for the PD-53 zone located generally at 1980 North State Street (approximately 5.39 acres).

Motion to Continue the Request

"I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate)."

PD-53 Text Amendment – 1890 N State Street



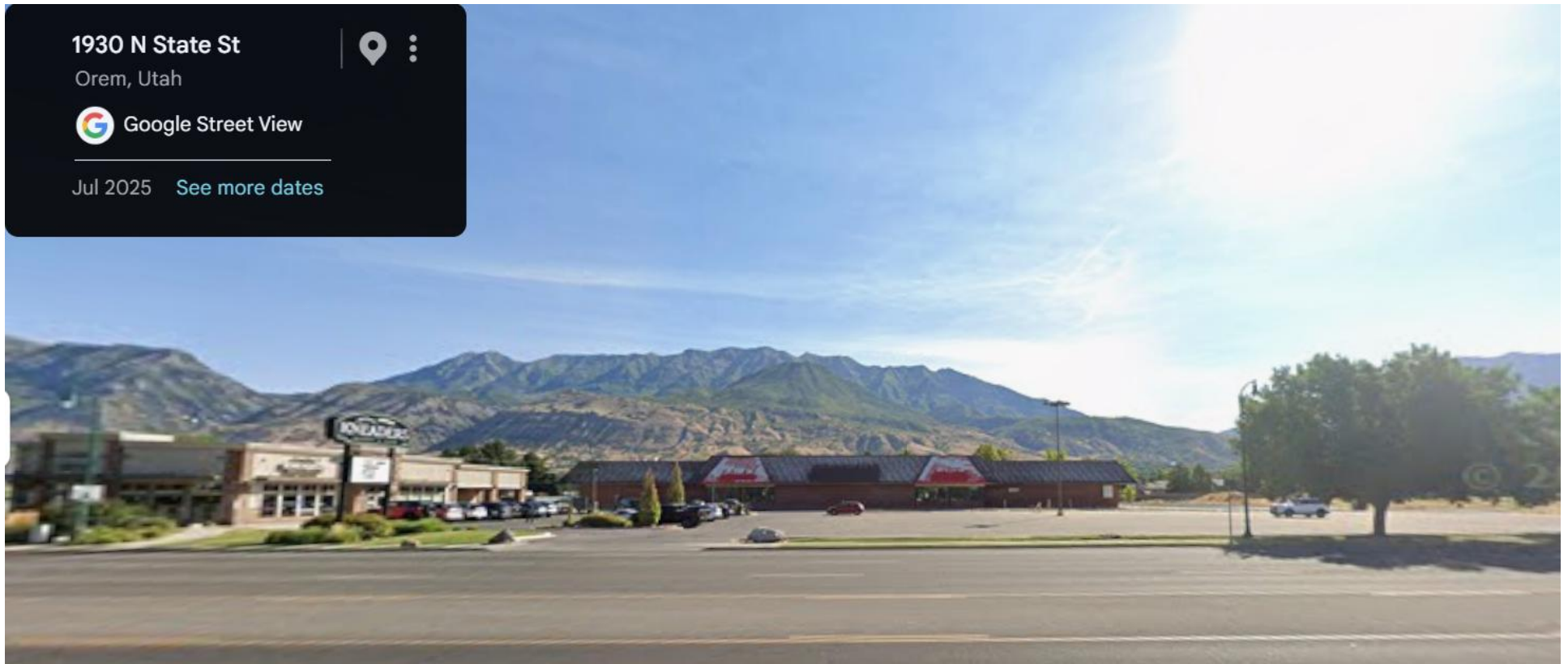
Vicinity & Zoning Map

Zone: PD-53

Acres: Approx 5.394



PD-53 Street View (1890 N State Street)



GENERAL NOTES

ZONING:

ZONE: PD-53

SETBACKS:

- BACK OF REQUIRED 8' SIDEWALK ADJACENT TO STATE STREET
- 10' PLANTER STRIP - NOT USED STORM WATER DETENTION
- CONNECTOR STREET: 20'
- NON RESIDENTIAL ADJOINING PROPERTY: 0'
- ALL BUILDING AND PARKING LOTS SHALL BE SETBACK AT LEAST TEN (10') FEET FROM ANY REQUIRED SIDEWALK ADJACENT TO STATE STREET (ADJACENT SIDEWALKS INCLUDE SIDEWALKS SEPARATED FROM STATE STREET BY A LANDSCAPE STRIP.) NOT WITHSTANDING THE FOREGOING, A DRIVE-THROUGH AISLE FOR ONE (1) COMMERCIAL OR RETAIL BUILDING SHALL BE PERMITTED TO EXTEND INTO SUCH SETBACK AREA BUT SUCH DRIVE-THROUGH AISLE SHALL BE SETBACK AT LEAST ONE FOOT (1') FROM THE BACK OF REQUIRED SIDEWALK (THE SIDE FURTHEST FROM THE STREET)

Zone Development Standards	
PD53	
From back of sidewalk adjacent to State Street or State Street Connector Street:	10'
From all other streets:	20'****
From an adjoining property in a non-residential zone:	0'
From an adjoining property in a residential zone:	10'
Structure Heights:	
Minimum:	8'
Maximum:	48'***
*** Exception: The maximum heights for structures in the PD53 zone which are setback less than one hundred feet (100') from a residential zone shall be thirty-five (35') feet.	
**** Building setbacks and landscaping requirements for lots located adjacent to State Street shall be measured from the back of an existing or required sidewalk. All building and parking lots shall be setback at least ten feet (10') from any required sidewalk adjacent to State Street (adjacent sidewalks include sidewalks separated from State Street by a landscape strip). Notwithstanding the foregoing, a drive-through aisle for one (1) commercial or retail building shall be permitted to extend into such setback area but such drive-through aisle shall be setback at least one foot (1') from the back of the required sidewalk (the side furthest from the street).	

STRUCTURAL HEIGHT:

- MINIMUM: 8'
- MAXIMUM: 48' (35' UNLESS 100' FROM RESIDENTIAL)

PARKING:

- 90° PARKING STALL
- 9' WIDE x 18' LONG
- 24' AISLE - 26' FIRETRUCK ACCESS

BUILDING < 10,000 SF GROSS FLOOR AREA

- 1 STALL EVERY 255 SF GROSS FLOOR AREA

BUILDING > 10,000 SF OF GROSS FLOOR AREA OR GREATER

- 1 STALL EVERY 255 SF GROSS LEASABLE AREA IF THE LEASABLE AREA IS NOT KNOWN, ONE STALL SHALL BE REQUIRED FOR EVERY 255 SF OF GROSS FLOOR AREA.

PEDESTRIAN ACCESS:

- PEDESTRIAN PATH FROM PUBLIC RIGHT OF WAY AND PUBLIC TRANSPORT STOP FOR EVERY 600' OF FRONTAGE

BIKE PARKING:

- 10% OF AUTOMOBILE PARKING (MIN. 3 STALLS)
- MUST ALLOW FOR LOCKING BOTH FROM WHEEL AND TO AN ANCHORED RUST RESISTANT SOLID RACK OR LOCKER.
- AREA PROTECTED FROM VEHICLES.
- DESIGNED NOT TO DAMAGE BIKES.
- INCORPORATED INTO AESTHETICS OF BUILDING.
- LOCATED IN A CONVENIENT WELL LIT, HIGHLY VISIBLE AREA.
- NOT TO INTERFERE WITH PEDESTRIAN TRAFFIC.

LANDSCAPING:

- LANDSCAPED END ISLES.
- MIN. 8' WIDE OF EVERY OTHER ROW WITHIN 75' OF RIGHT OF WAY.
- MIN. 1 DECIDUOUS TREE.
- MIN. 50% LIVING VEGETATION COVERAGE UNDER 2' HIGH.
- PLANTER BOXES DO NOT APPLY.
- LANDSCAPE AREAS MUST BE 5x5.
- CONCRETE CURBS REQUIRED AROUND LANDSCAPING.
- PLANTER STRIPS ALONG STATE STREET COLLECTOR TO BE AT LEAST EIGHT FEET (8') WIDE AND BE USED FOR STORM WATER DETENTION OR MANAGEMENT (SUCH AS LOW IMPACT DEVELOPMENT)

LARGE PARKING ZONE LANDSCAPING REQUIREMENT:

- PARKING ZONES CONTAINING MORE THAN (50) FIFTY STALLS BUT LESS THAN (75) SEVENTY-FIVE STALLS SHALL INCLUDE A MINIMUM OF FIVE PERCENT (5%) OF THE PARKING ZONE AREA AND INTERIOR LANDSCAPING.
- PARKING ZONES CONTAINING AT LEAST (75) SEVENTY-FIVE STALLS BUT LESS THAN (100) ONE-HUNDRED STALLS SHALL INCLUDE A MINIMUM OF (7.5%) SEVEN AND ONE HALF PERCENT OF THE PARKING ZONE AREA AS INTERIOR LANDSCAPING.
- PARKING ZONES CONTAINING (100) ONE-HUNDRED OR MORE STALLS SHALL INCLUDE A MINIMUM OF (10%) TEN PERCENT OF THE PARKING ZONE AREA AS INTERIOR LANDSCAPING.
- AREAS LANDSCAPE PURSUANT TO THE REQUIREMENTS OF OTHER SECTIONS OF THE ARTICLE MAY BE COUNTED TOWARD FULFILLING THE REQUIREMENT OF THIS SECTION. NO MORE THAN (25%) TWENTY-FIVE PERCENT OF THE INTERIOR LANDSCAPING REQUIRED BY THIS SECTION SHALL BE LOCATED ADJACENT TO A BUILDING.

TREES:

- MIN. 1 TREE PER 3,000 SF OF SITE PAVEMENT.
- LOCATED AT LEAST EVERY 40' ON LANDSCAPED FRONTAGE.
- PLANTED NO FURTHER THAN 4' FROM INSIDE SIDEWALK EDGE.
- 2" CALIPER AND 8' HIGH MIN. WHEN PLANTED.
- 100 OR MORE STALLS REQUIRES A MINIMUM 10% OF PARKING ZONE AS LANDSCAPING. ONLY 25% MAY BE LOCATED ADJACENT TO THE BUILDINGS.

ARCHITECTURAL FEATURES:

- SIGNS MUST BE A MINIMUM OF 8' FROM BACK OF CURB ADJACENT TO STATE STREET.
- 40% OF GROUND STORE ROAD FACING FACADES MUST BE TRANSPARENT WINDOWS THAT SEE 5' MIN. INTO BUILDING.
- VERTICAL RECTANGLE OR SQUARE SHAPE WINDOWS UNLESS DISPLAY WINDOWS.
- 1" MIN. VERTICAL BREAK IN FACADE AT LEAST EVERY 50'.
- 2" CALIPER AND 8' HIGH MIN. WHEN PLANTED.
- HEAVIER FACADE MATERIALS SHOULD BE LOWER THAN THE LIGHT ONES.

MATERIALS ALLOWED:

- TIER 1: BRICK, SPLIT-FACE BLOCK, GLASS, OR FIBER CEMENT BOARD REQUIRED.
- TIER 2: ALUMINUM COMPOSITE MATERIAL PANEL SYSTEMS, STUCCO, AND EXTERIOR INSULATION AND FINISHING SYSTEMS (EIFS).
- (EIFS) ONLY AS TRIM ON GROUND LEVEL. SHALL NOT EXCEED 40% OF STREET FACING FACADE AND 75% OF NON STREET FACING.
- STANDING SEAM METAL (BUT NO OTHER METALS) MAY BE USED FOR AWNINGS. SHEET METAL AND CORRUGATED METAL AND OTHER METAL FINISHES ARE ONLY PERMITTED FOR SOFFITS, FASCIA, AND SIMILAR MINOR ARCHITECTURAL FEATURE.

EXCEPT AS OTHERWISE PROVIDED, ALL BUILDINGS SHALL BE COMPLETED ON STREET FACING FACADES WITH BRICK, SPLIT-FACE BLOCK, GLASS, STONE, STUCCO, METAL PANELING, EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS), OR FIBER CEMENT BOARD.

UTILITIES:

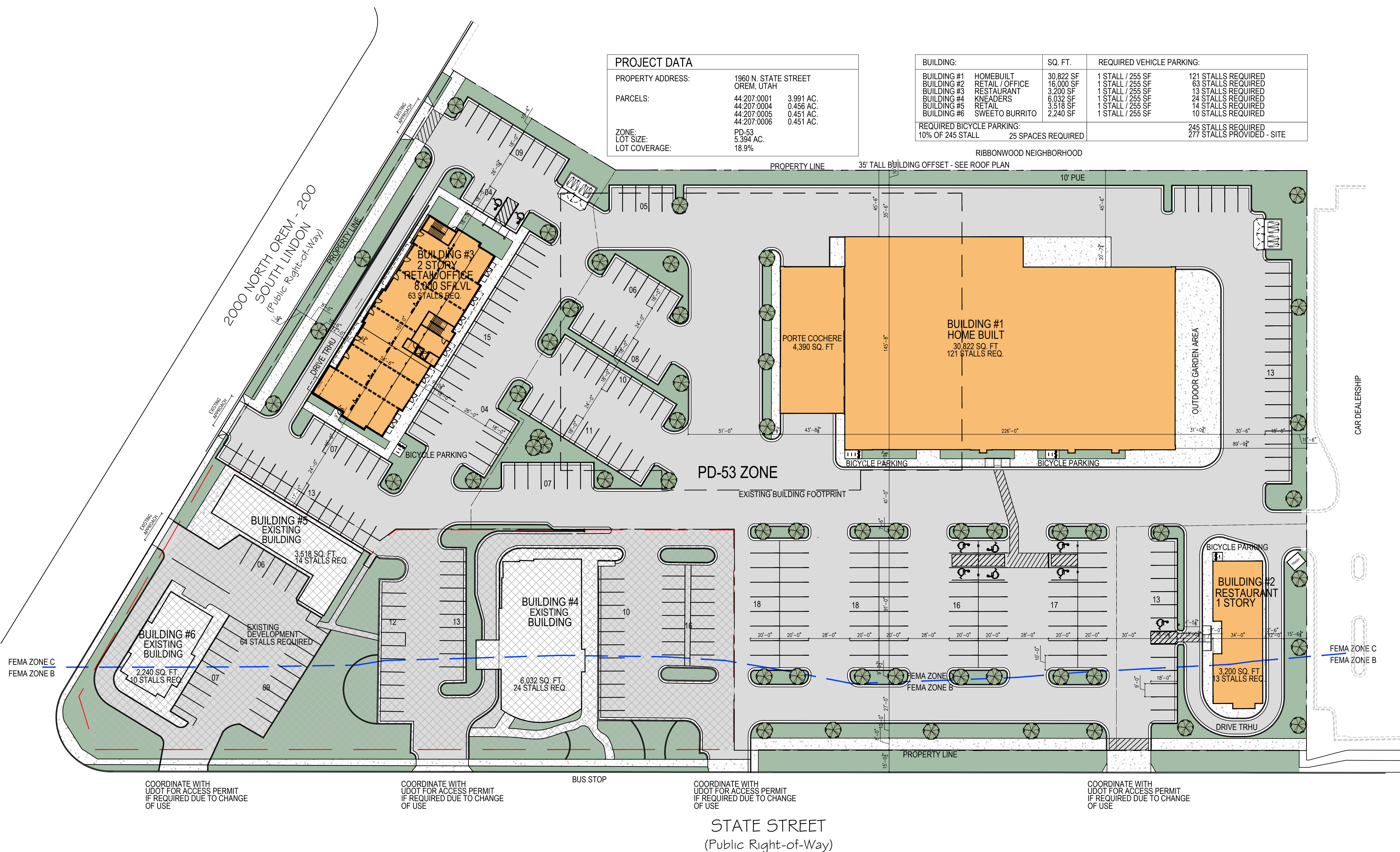
- BURIED PREFERRED. BOXES WITHIN 15' OF SIDEWALK MUST BE COMPLETELY SCREENED IN AN AESTHETICALLY COMPATIBLE WAY. ACCESS SHALL NOT FACE STATE STREET.
- LIGHTING SHOULD MINIMIZE CLARE TO ADJOINING RESIDENCES.

PROJECT DATA	
PROPERTY ADDRESS:	1960 N. STATE STREET OREM, UTAH
PARCELS:	44-207-0001 3.991 AC. 44-207-0004 0.456 AC. 44-207-0005 0.451 AC. 44-207-0006 0.451 AC.
ZONE:	PD-53
LOT SIZE:	5.394 AC.
LOT COVERAGE:	18.9%

BUILDING:	SQ. FT.	REQUIRED VEHICLE PARKING:
BUILDING #1 HOMEBUILT	30,822 SF	1 STALL / 255 SF 121 STALLS REQUIRED
BUILDING #2 RETAIL / OFFICE	16,000 SF	1 STALL / 255 SF 63 STALLS REQUIRED
BUILDING #3 RESTAURANT	3,200 SF	1 STALL / 255 SF 13 STALLS REQUIRED
BUILDING #4 KNEADERS	6,032 SF	1 STALL / 255 SF 24 STALLS REQUIRED
BUILDING #5 RETAIL	3,518 SF	1 STALL / 255 SF 14 STALLS REQUIRED
BUILDING #6 SWEETO BURRITO	2,240 SF	1 STALL / 255 SF 10 STALLS REQUIRED
REQUIRED BICYCLE PARKING:		245 STALLS REQUIRED
10% OF 245 STALL	25 SPACES REQUIRED	277 STALLS PROVIDED - SITE

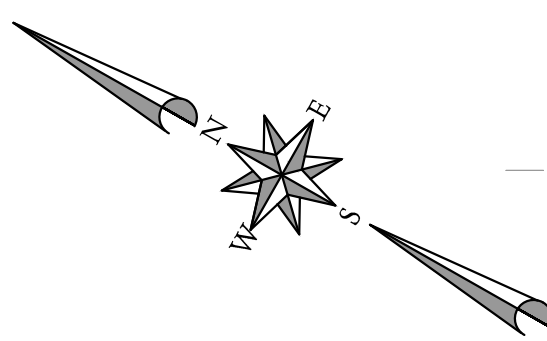
RIBBONWOOD NEIGHBORHOOD

PROPERTY LINE 35' TALL BUILDING OFFSET - SEE ROOF PLAN



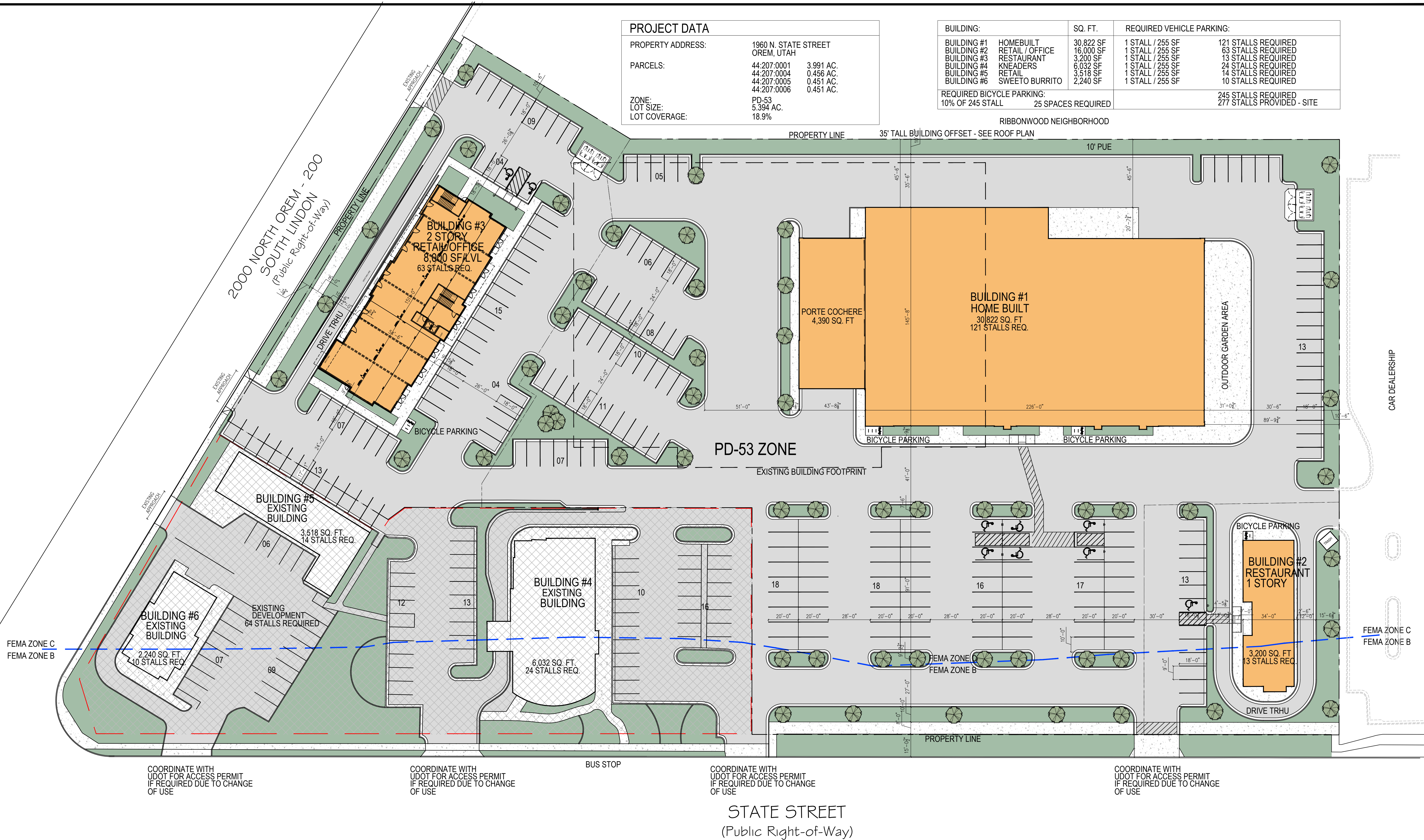
SITE PLAN

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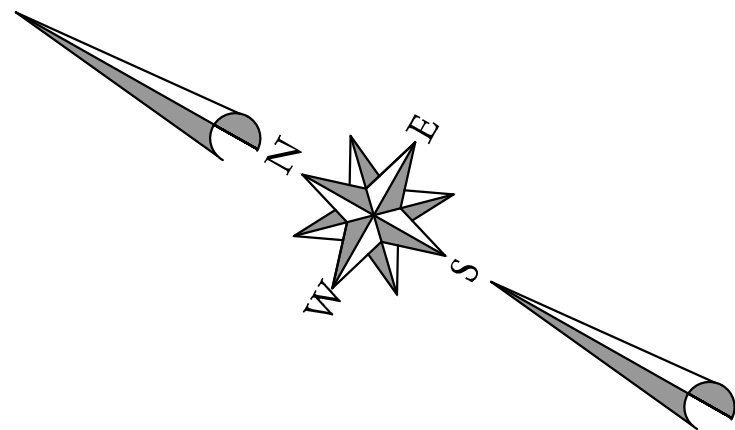


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REQUIRED BICYCLE PARKING:		25 SPACES REQUIRED	245 STALLS REQUIRED 277 STALLS PROVIDED - SITE	
10% OF 245 STALL				

PROJECT DATA		
PROPERTY ADDRESS:	1960 N. STATE STREET OREM, UTAH	
PARCELS:	44:207:0001	3.991 AC.
	44:207:0004	0.456 AC.
	44:207:0005	0.451 AC.
	44:207:0006	0.451 AC.
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LOT SIZE:	5.394 AC.	
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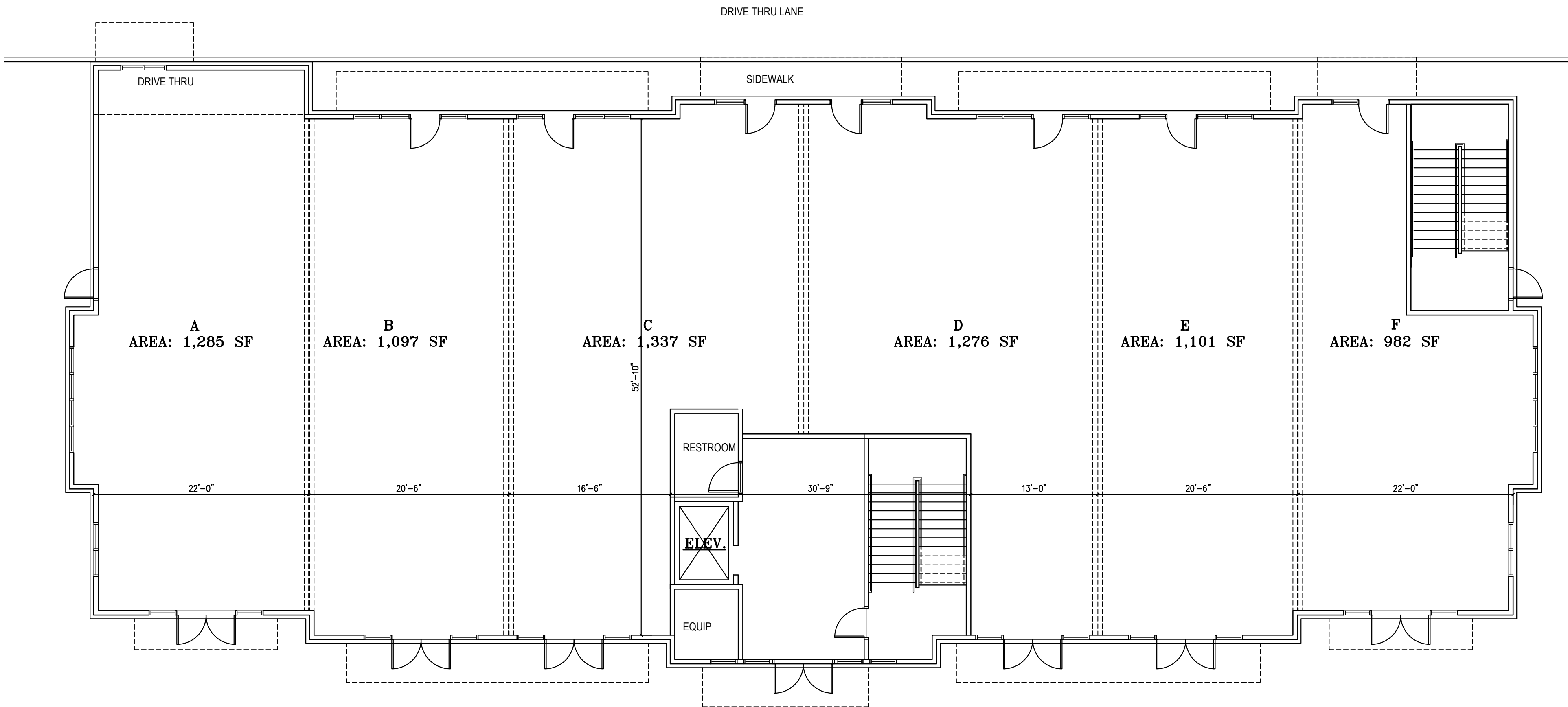


SITE PLAN
SCALE: 1" = 30'



THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT

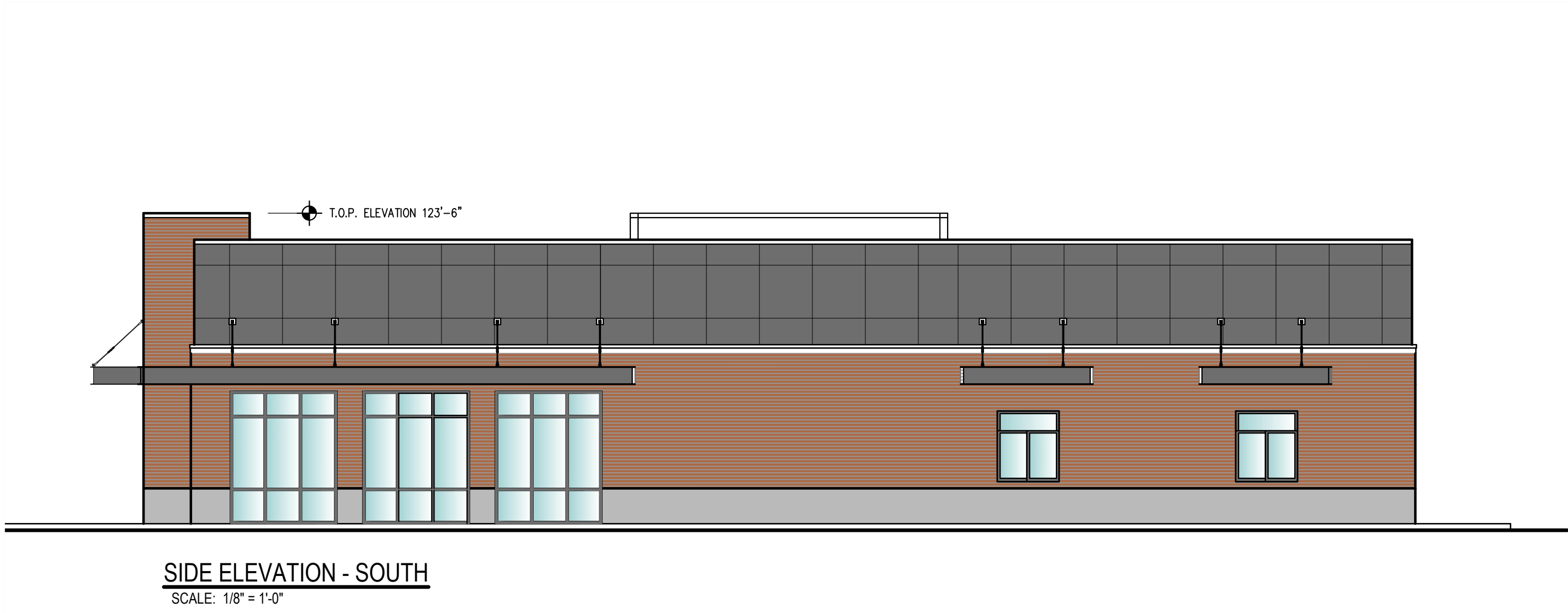
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CONCEPT PLAN : 06-09-2026

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.

PLOT DATE: 09/2026 X:\ACAD\File\Kneaders State Street Ste\prelim\Kneaders-PRELIM2.dwg



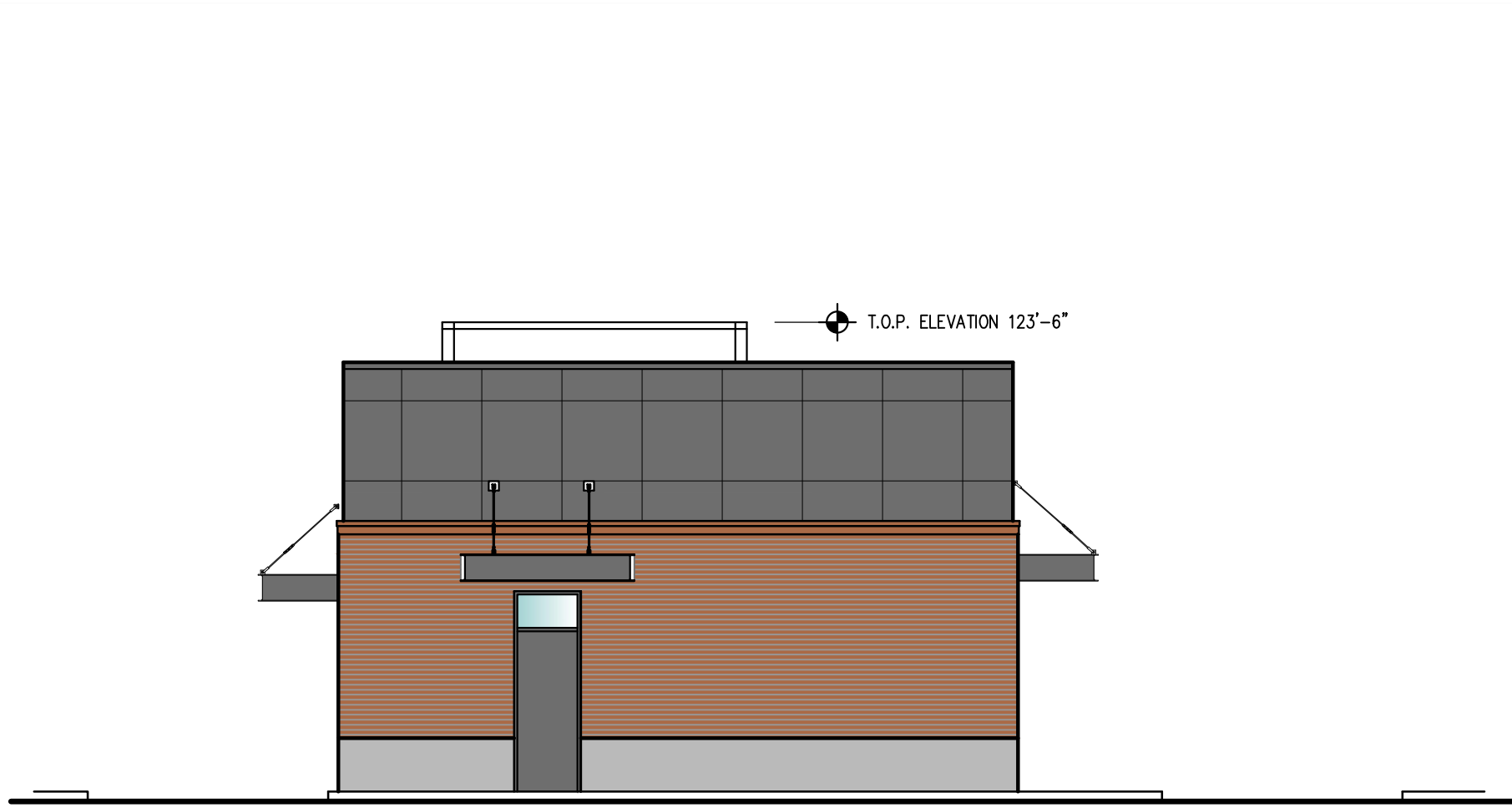
SIDE ELEVATION - SOUTH
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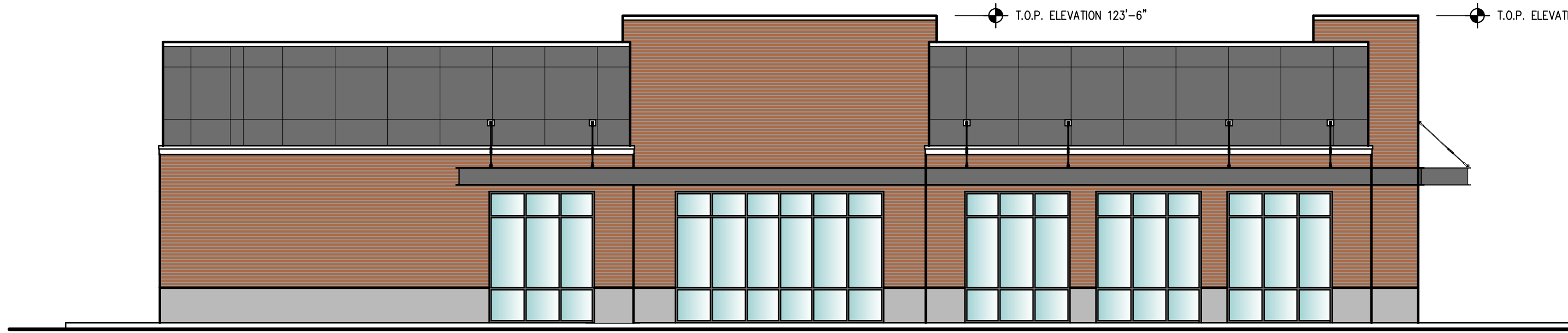
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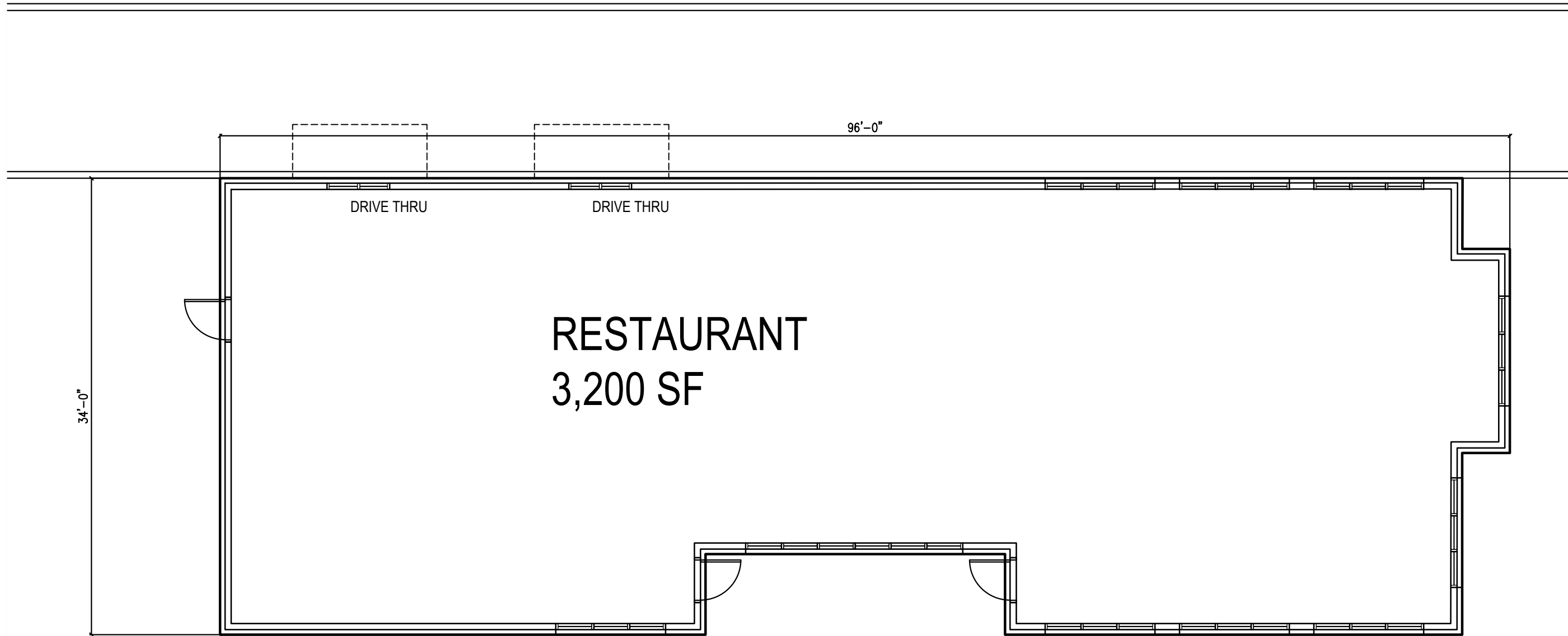
CONCEPTUAL RENDERING



REAR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



SIDE ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



RESTAURANT FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONCEPT PLAN : 06-09-2026

REVISIONS

DRAWN BY
BKH

HARRIS ARCHITECTURE
920 EAST 800 NORTH, SUITE #201, OREM UT 84057 | 801-377-6303 | WWW.HARRIS-ARCHITECTURE.COM



A NEW PROJECT FOR
KNEADERS STATE STREET RETAIL/OFFICE
LEVEL 2 FLOOR PLAN - OFFICE

JUNE 2026
OREM, UT

A1.2

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT.

PLOT DATE: 09/2026 X:\CAD\File\Kneaders State Street Steiprelms\KNEADERS-PRELIM2.dwg



REAR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



SIDE ELEVATION - EAST
SCALE: 1/8" = 1'-0"



SIDE ELEVATION - WEST
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

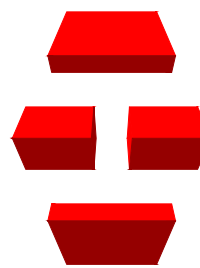


CONCEPTUAL RENDERING

REVISIONS

DRAWN BY
BKH

HARRIS ARCHITECTURE
920 EAST 800 NORTH, SUITE #201, OREM UT 84057 | 801-377-6303 | WWW.HARRIS-ARCHITECTURE.COM



A NEW PROJECT FOR
KNEADERS STATE STREET RETAIL/OFFICE
ELEVATIONS

JUNE 2026
OREM, UT

A2.1

KEYNOTE LEGEND

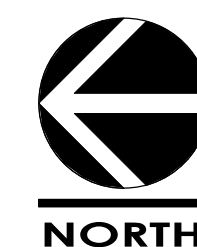
3.19	CMU RETAINING WALL W/ RAILING - TRAILER RAMP
5.02	STEEL COLUMN - SEE STRUCTURAL
5.05	42" HIGH STEEL GUARDRAIL, PAINTED - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION
5.13	PAINTED ROSTER ACCESS LADDER - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION
8.04	STOREFRONT GLAZING SYSTEM - SEE GLAZING ELEVATIONS
8.05	STOREFRONT GLAZING DOOR - SEE DOOR SCHEDULE - SEE A601
10.01	ADA COMPLIANT SEMI-RECESSED FIRE EXTINGUISHER IN CABINET - FINAL LOCATIONS, QUANTITIES, AND CAPACITY TO BE APPROVED BY THE FIRE MARSHAL
11.12	MATERIAL RACKINGS - PROVIDED BY MANUFACTURER OR OWNERS FOR APPROVAL
11.18	4" X 3" STORE SHELVING
16.09	ADA COMPLIANT HIGH/LOW DRINKING FOUNTAIN WITH BOTTLE FILLER
26.11	FORK LIFT AREA WITH FORK LIFT CHARGER INSTALLED
32.33	TRUCK RAMP INSTALLED WITH RETAINING WALL & SAFETY RAILINGS

- ae** **urbia**
ARCHITECTS & ENGINEERS
- 909 N SOUTH JORDAN PKWY SOUTH JORDAN-UT 84095
801.746.0456
www.aeurbia.com

5/7/2026 9:13:46 AM

MARK	DESCRIPTION	Rev. Date
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LEVEL 01 OVERALL FLOOR PLAN

KEYNOTE LEGEND	
5.29	PREFINISHED EDGE GUTTER - SEE DETAILS
7.01	60 MIL WHITE TPO MEMBRANE OVER RIGID INSULATION OVER METAL DECK - PROVIDE SUBMITTAL FOR APPROVAL. SEE COMCHECK FOR MINIMUM INSULATION VALUE
7.03	ROOF GUTTER DOWNSPOUT
7.07	METAL PARAPET CAP - SEE DETAIL
7.13	METAL FASCIA
7.16	PREFINISHED STANDING SEAM METAL ROOF, PROVIDE SUBMITTAL FOR APPROVAL
8.03	ROOF HATCH ACCESS, PROVIDE SUBMITTAL FOR APPROVAL
10.44	SIGNAGES - PROVIDE AND SUBMITTAL FOR APPROVAL
22.08	PRIMARY AND OVERFLOW ROOF DRAINS - SEE PLUMBING DRAWINGS
23.02	MECHANICAL UNIT, SEE MECHANICAL DRAWINGS FOR SPECIFICATIONS

- GENERAL ROOFING NOTES**
1. PROVIDE FULL MANUFACTURER'S WARRANTY ON MATERIALS AND 5 YEAR WARRANTY MIN. ON LABOR UNO
 2. ALL COLORS, ASSEMBLIES AND MATERIALS MUST MEET APPROVAL OF OWNER AND ARCHITECT
 3. PROVIDE PRODUCT SUBMITTALS FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION
 4. FOR TYPICAL ROOF FLASHING DETAILS, SEE DETAILS SHEET HEREIN
 5. PROVIDE STEP FLASHING COUNTER FLASHING, DRIP EDGES AS REQ'D, CAULK AND SEAL, ROOFING TO EXTEND 18" MIN. UP ADJACENT WALLS AND DISCONTINUITIES TYPICAL
 6. INSTALL ROOF PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. MANUFACTURER TO INSPECT INSTALLATION AS REQ'D FOR WARRANTY. PROVIDE 1/4" PER FOOT MIN. SLOPE.
 7. FOR ALL PLUMBING PENETRATIONS REFER TO DETAILS SHEETS HEREIN AND PLUMBING DRAWINGS
 8. FOR MISC. ROOF DETAILS SEE ROOF DETAILS SHEET HEREIN
 9. SEE MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT AND CURBS, ETC.

- GENERAL PROJECT NOTES**
1. INTERIOR DIMENSIONS ARE TO FACE OF STUD. EXTERIOR DIMENSIONS ARE TO FACE OF TILT-UP PANEL.
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL COLORS AND MATERIALS.
 3. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATION.
 4. ALL GYP. BOARD SURFACES TO BE TAPED, SANDED, AND PRIMED.
 5. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
 6. COORDINATE ALL WINDOWS HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND SCHEDULES.
 7. FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
 8. FIRE EXTINGUISHERS, SMOKE DETECTORS, OTHER EMERGENCY DEVICE LOCATIONS, AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
 9. FRAMING CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT THE PROJECT AS REQUIRED TO ACCOMMODATE WALL-MOUNTED FURNISHINGS, ARTWORK, ETC.
 10. DOORS SHALL BE LOCATED 4" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE.
 11. CONTRACTOR IS TO PROVIDE SUBMITTALS AND SHOP DRAWINGS FOR APPROVAL FROM OWNER/ARCHITECT.
 12. PRIOR TO ORDERING ANY EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY ALL COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT
 13. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE ASSOCIATED DETAILS - SEE GENERAL SHEETS HEREIN. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK



**PRELIMINARY
NOT FOR
CONSTRUCTION**

5/7/2026 11:09:33 AM

HOME BUILT RETAIL
1950 NORTH STATE STREET OREM, UTAH 84057

REVISION SCHEDULES

MARK	DESCRIPTION	Rev. Date
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**AE2025.380
ROOF PLAN**

PROJECT ISSUE DATE:
4/17/2026

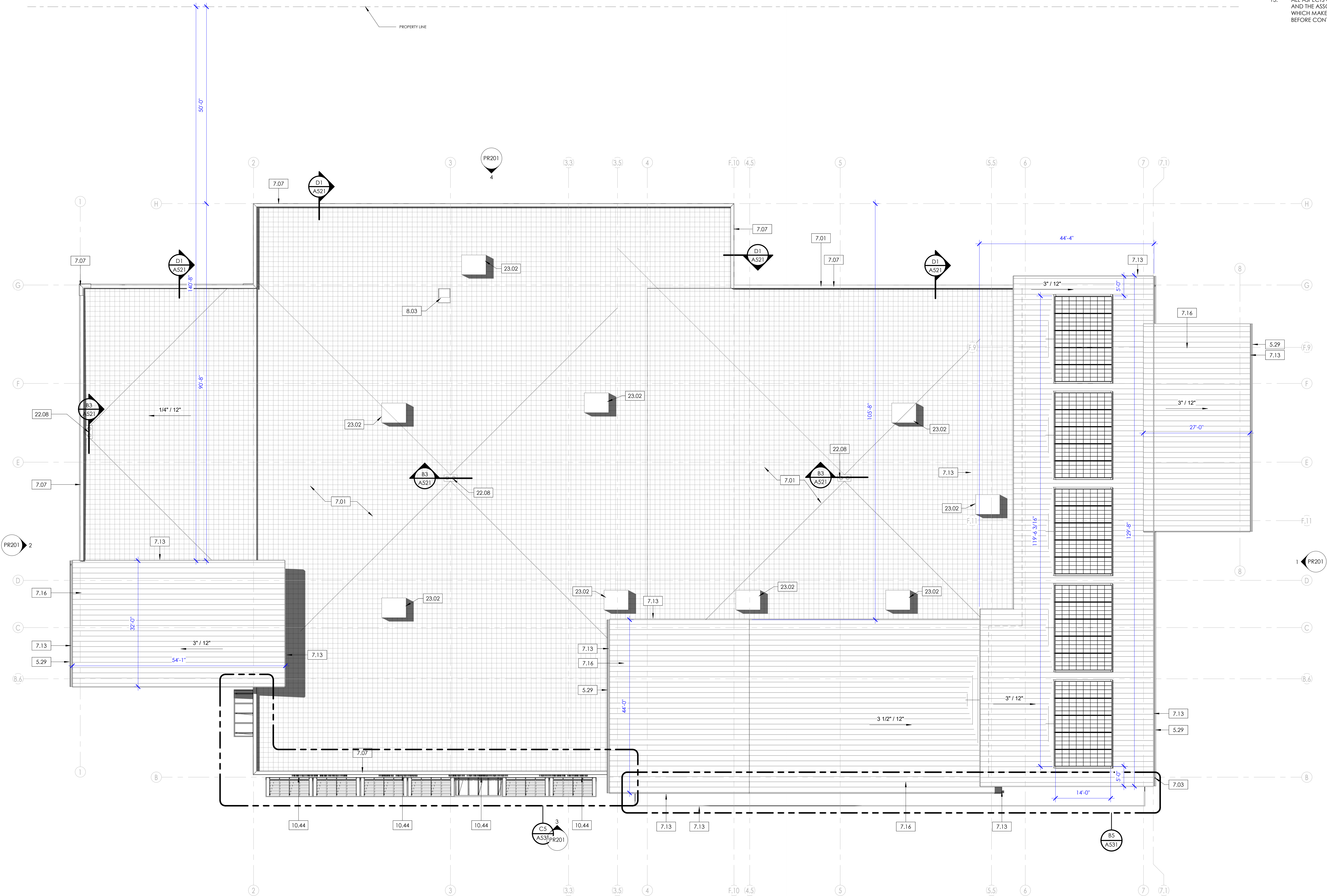
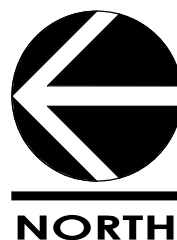
SHEET #:

A103

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PROJECT STATUS

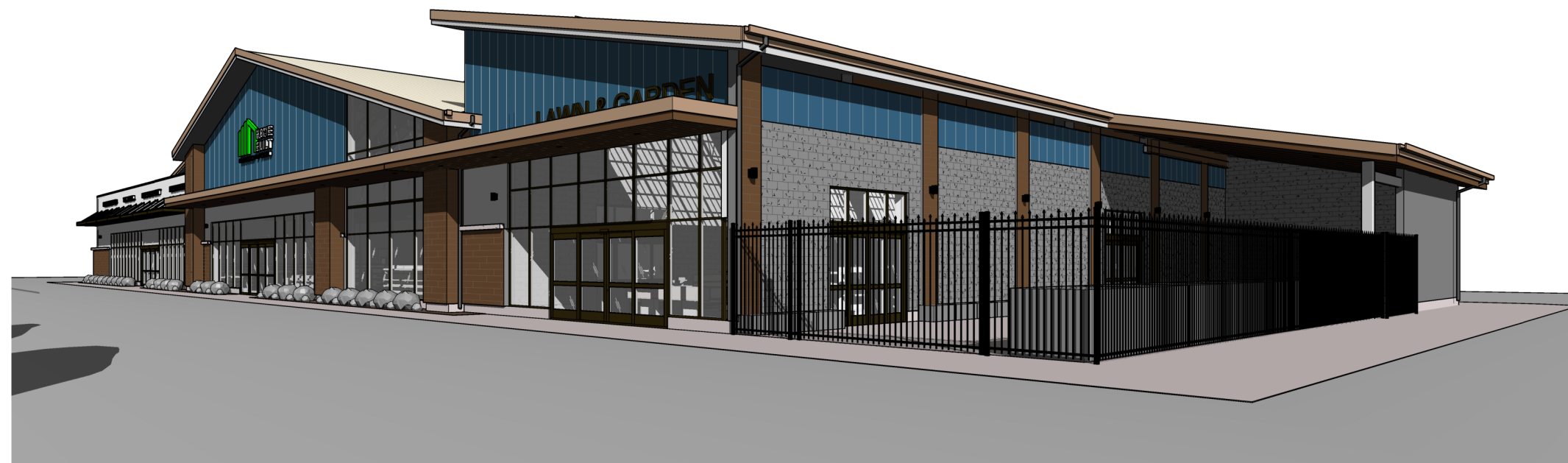
0' 4' 8' 16'
GRAPHIC SCALE



**A5
A103** **ROOF PLAN**
3/32" = 1'-0"



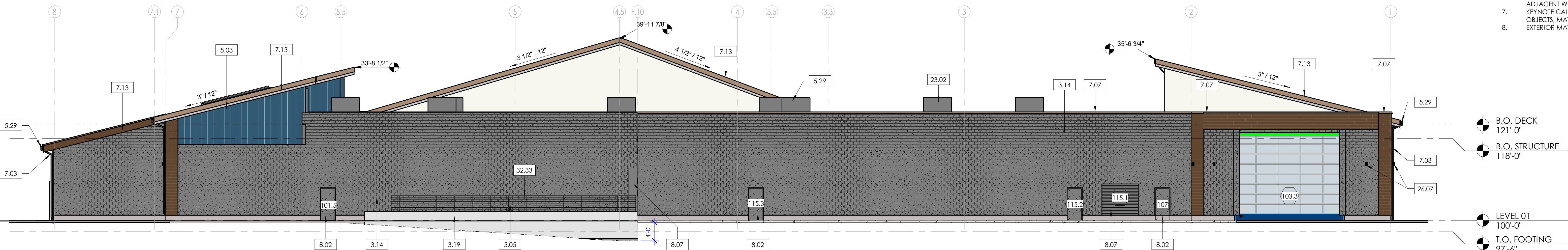
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A201
3D PERSPECTIVE 1



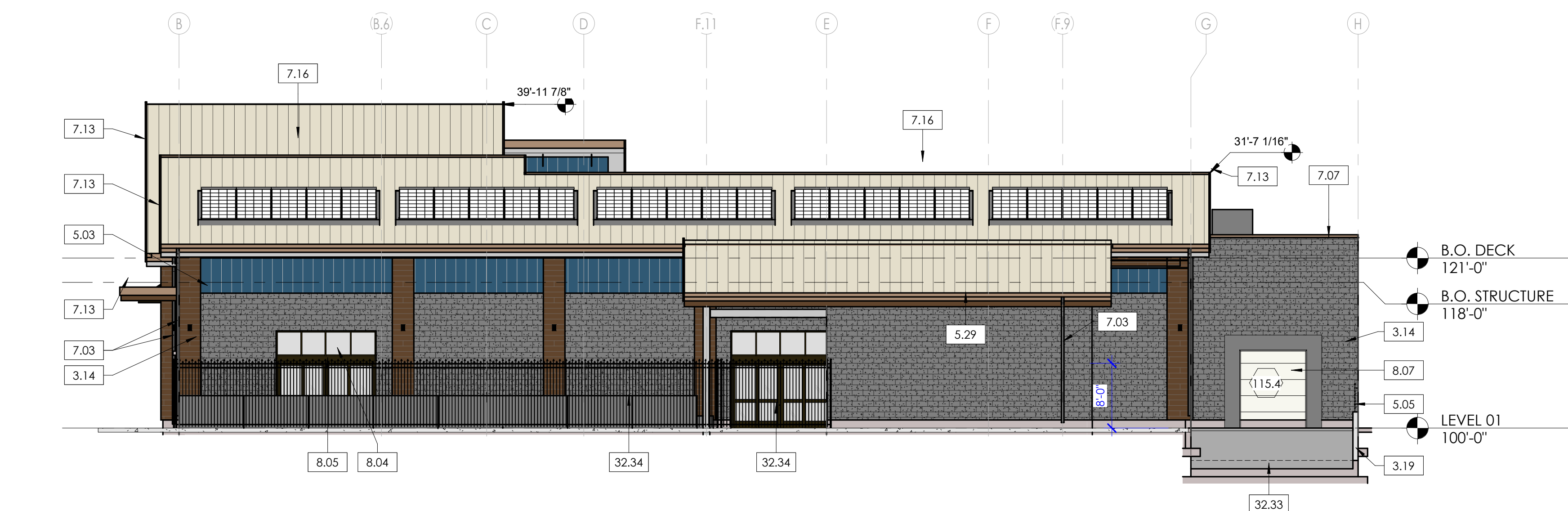
D4
A201
3D PERSPECTIVE 2

KEYNOTE LEGEND	
3.06	CONCRETE FOOTING - SEE STRUCTURAL FOR SIZE AND REINFORCING
3.07	PRECAST CONCRETE CAP
3.14	CMU EXTERIOR WALL - SEE STRUCTURAL FOR REINFORCING
3.19	CMU RETAINING WALL W/ RAILING - TRAILER RAMP
5.02	STEEL COLUMN - SEE STRUCTURAL
5.03	INSULATED METAL WALL PANEL, AWIP DM40 OR PRE-APPROVED EQUAL - SEE COMCHECK FOR R-VALUE
5.05	42" HIGH STEEL GUARDRAIL, PAINTED - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION
5.29	PREFINISHED EDGE GUTTER - SEE DETAILS
5.33	AWNEX - METAL SHADE - PHOENIX TRELLIS (OPEN)
5.34	AWNEX - METAL SHADE - PHOENIX WITH RAIN PAN INSERTS & LIGHTS (SOLID)
7.03	ROOF GUTTER DOWNSPOUT
7.07	METAL PARAPET CAP - SEE DETAIL
7.13	METAL FASCIA
7.16	PREFINISHED STANDING SEAM METAL ROOF, PROVIDE SUBMITTAL FOR APPROVAL
8.02	HOLLOW METAL FRAME AND DOOR PAINTED, SEE DOOR SCHEDULE
8.04	STOREFRONT GLAZING SYSTEM - SEE GLAZING ELEVATIONS
8.05	STOREFRONT GLAZING DOOR - SEE DOOR SCHEDULE - SEE A601
8.07	INSULATED OVERHEAD DOOR - INSTALLED AND PROVIDED BY CONTRACTOR
8.11	KALWALL SKYLIGHTS, PROVIDE SUBMITTAL FOR APPROVAL
10.31	BACKLIT SIGNAGE - OWNER FURNISHED
10.44	SIGNAGES - PROVIDE AND SUBMITTAL FOR APPROVAL
23.02	MECHANICAL UNIT, SEE MECHANICAL DRAWINGS FOR SPECIFICATIONS
26.07	EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
32.33	TRUCK RAMP INSTALLED WITH RETAINING WALL & SAFETY RAILINGS
32.34	8'-0" PREFINISHED METAL ROLLING GATE TO MATCH FENCE, PROVIDE SUBMITTAL FOR APPROVAL

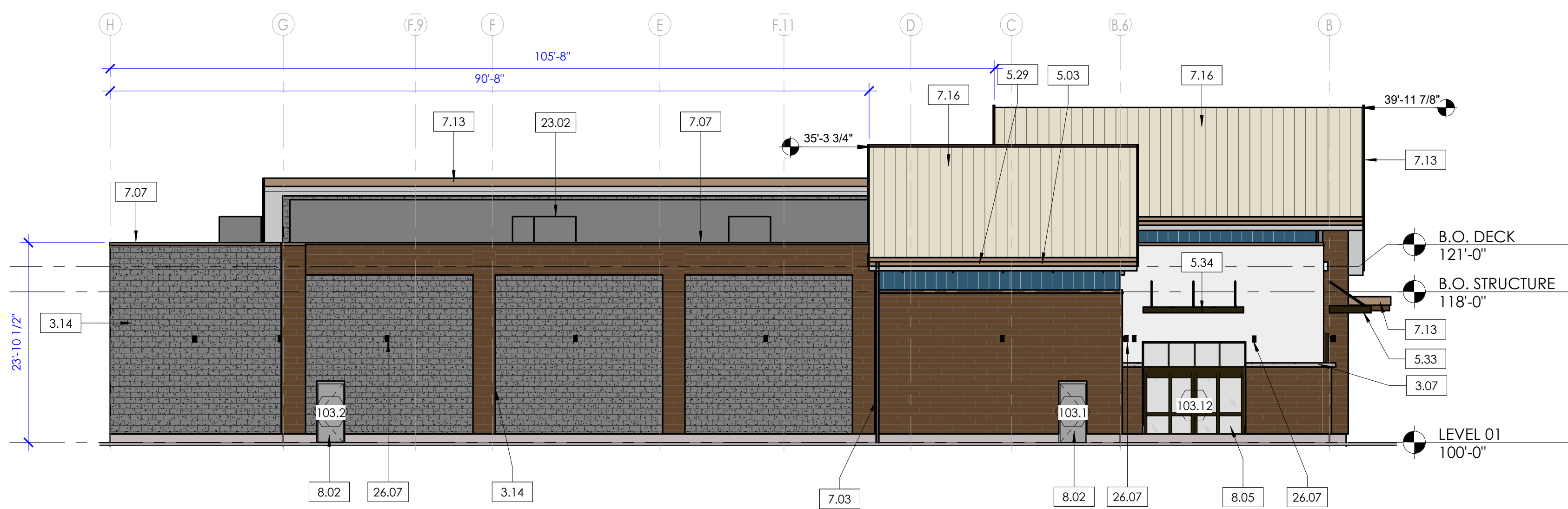
- GENERAL PROJECT NOTES**
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 - PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL COLORS AND MATERIALS. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATION.
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 - SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
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- GENERAL ELEVATION NOTES**
- ALL EXTERIOR STEEL (HANDRAILS, RAILINGS, STAIRS, ETC) SHALL BE GALVANIZED AND PAINTED (2 COATS).
 - ALL EXTERIOR MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
 - CAULK & SEAL ALL EXTERIOR OPENINGS (DOORS, WINDOWS), JOINTS & PENETRATIONS WITH CONTINUOUS SILICONE SEALANT - SEAL ALL JOINTS AT DISSIMILAR MATERIALS.
 - ALL FINISHES SHALL TERMINATE IN ACCORDANCE WITH MFR. RECOMMENDATIONS AND ON AN INSIDE CORNER.
 - FINISH MATERIALS & TRIM SHOWN AT FACE OF WALL SHALL BE ASSUMED TO WRAP CORNERS & RETURN TO ADJACENT/REAR WALL UNLESS OTHERWISE NOTED.
 - ALL VENTS ON EXTERIOR OF BUILDINGS SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR - VERIFY COLOR W/ OWNER & ARCHITECT.
 - KEYNOTE CALLOUTS SHALL BE ASSUMED TO APPLY TO SIMILAR OBJECTS, MATERIALS, ETC.
 - EXTERIOR MATERIAL MOCK-UP REQUIRED FOR OWNER APPROVAL.



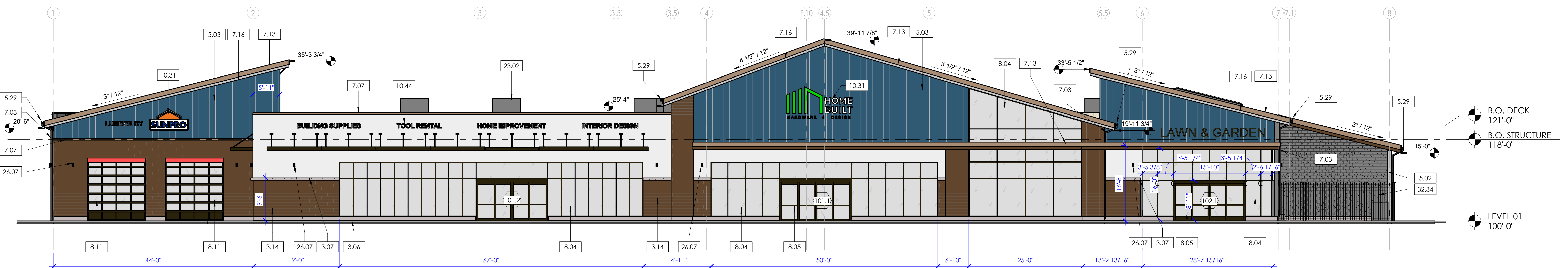
C5
A201
NORTH ELEVATION



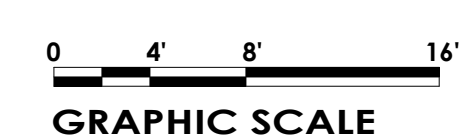
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A201
EAST ELEVATION

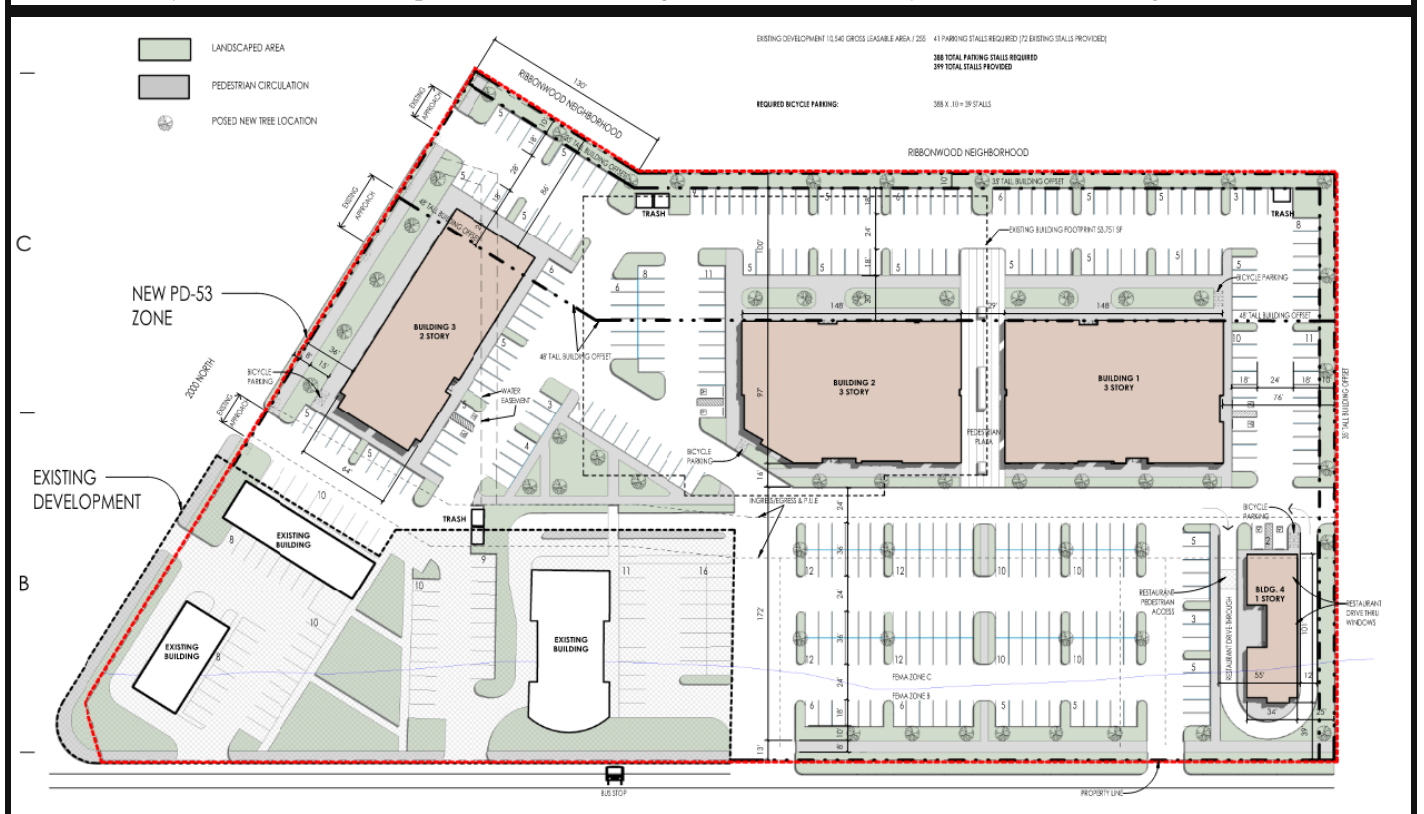


B3
A201
WEST ELEVATION



A5
A201
SOUTH ELEVATION



[illegible]







22-11-66. PD-53 Zone, Kneaders Office and Retail Development – 1960 North State Street

- A. **Purpose.** The purpose of the PD-53 zone is to facilitate commercial and retail development within the PD-53 zone.
- B. **Concept Plan.** Property in the PD-53 zone shall be developed in conformance with the concept plan included as Appendix OO of the Orem City Code which is incorporated herein by reference and made a part hereof. No request for development within the PD-53 zone shall be approved, which significantly differs from the Concept Plan. The Concept Plan may be amended in the same manner as an amendment to the zoning ordinance. However, minor amendments to the Concept Plan may be administratively approved by the City Manager or the City Manager's designee.
- C. **Permitted Uses.** The uses in the PD-53 zone shall be the same as the uses which are permitted, not permitted, and uses which require a conditional use permit for the C2 Zone as listed in Appendix A, which is incorporated herein by this reference. In Appendix A, permitted uses are identified with a "P" in the zone in which they are permitted. If a use requires a conditional use permit in a zone, it is identified with a "C" and the provisions of Article IV shall apply. If a use is identified with an "N" in a zone, then the use is not permitted in the zone.
- D. **Final Plat.** Any final plat must conform to all development standards and requirements of Chapter 17.
- E. **Site Plan.** All development standards and site plan requirements of Section 22-14-20 shall apply to any developments in the PD-53 zone. All public improvements shown on an approved site plan or amended site plan shall be completed within two (2) years of the date of approval of the site plan or recording of the final plat, whichever is later.
- F. **Development Standards.** The development standards of the C2 zone as set forth in the Orem City Code shall apply to the PD-53 zone, except as expressly modified as follows:
1. **Setbacks from State Street and From State Street Connector Streets.** All buildings and parking areas in the State Street Corridor Areas shall be set back at least ten feet (10') from the back of the required sidewalk (the side furthest from the street) along State Street and State Street Connector Streets. Building height and setbacks from other streets and property lines shall be as set forth in 22-8-8(a). All areas within the ten-foot setback shall be landscaped. Notwithstanding the foregoing, a drive-through aisle for one (1) commercial or retail building shall be permitted to extend into such setback area, but such drive-through aisle shall be set back at least one foot (1') from the back of the required sidewalk (the side furthest from the street) along State Street and State Street Connector Streets.

Zone Development Standards	
PD53	
From back of sidewalk adjacent to State Street or State Street Connector Street:	10'
From all other streets:	20'*****
From an adjoining property in a non-residential zone:	0'
From an adjoining property in a residential zone:	10'
Structure Heights:	
Minimum:	8'
Maximum:	48'***
*** Exception: The maximum heights for structures in the PD-53 zone which are setback less than one hundred feet (100') from a residential zone shall be thirty-five (35') feet. ***** Building setbacks and landscaping requirements for lots located adjacent to State Street shall be measured from the back of an existing or required sidewalk. All building and parking lots shall be setback at least ten feet (10') from any required sidewalk adjacent to State Street (adjacent sidewalks include sidewalks separated from State Street by a landscape strip). Notwithstanding the foregoing, a drive-through aisle for one (1) commercial or retail building shall be permitted to extend into such setback area but such drive-through aisle shall be setback at least one foot (1') from the back of the required sidewalk (the side furthest from the street).	

2. **Planter Strips.** Planter strips along State Street shall be at least ten feet (10') wide and may not be used for storm water detention or management (such as a low-impact development). Planter strips along State Street connector

streets shall be at least eight feet (8') wide and may be used for storm water detention or management (such as low-impact development).

3. **Materials.** Except as otherwise provided, all buildings shall be completed on street-facing facades with brick, split-face block, glass, stone, stucco, metal paneling, exterior insulation and finishing systems (EIFS), or fiber cement board.
4. **Tree Position and Spacing.** Trees shall be planted and maintained in the planter strips along State Street and shall be spaced evenly one tree for every 50 linear feet (or fraction thereof) of landscaped frontage. Trees shall be planted in the planter strips along State Street Connector Streets and shall be spaced one tree for every 50 linear feet of landscaped frontage. Trees must be spaced to best align with neighboring properties and to maximize the potential number of trees that can be planted. Trees must also be planted in the planter strip no more than four feet (4') in from the inside sidewalk edge.
5. **Off-Street Parking.**
 - a. Buildings with less than 10,000 square feet gross floor area: One stall shall be required for every 255 square feet of gross floor area.
 - b. Buildings with 10,000 square feet gross floor area or greater: One stall shall be required for every 255 square feet of gross leasable area. If the gross leasable area is not known, one stall shall be required for every 255 square feet of gross floor area.

(Ord. No. O-2024-0008, Enacted 4/9/2024);