



NOTICE AND AGENDA

Notice is hereby given that the Garland City Planning and Zoning Commission will hold a regular meeting at 7:00 pm on the 23rd day of June, 2026, at the Garland City Building.

The agenda shall be as follows:

1. Call Meeting to Order
2. Vote to Approve Minutes
 - a) May 12, 2025
3. Consideration and possible action on Bear River Seminary Preliminary Plat located at approximately 1500 South 300 East, which consists of Lot 1A (.0852 acres) and Lot 1B (16.063 acres).
4. Consideration and possible action on Bear River Seminary Site Plan located at approximately 68 East 1400 South.
5. Consideration and possible action on the approval of the Garland Elementary parking lot expansion located at 450 S 100 W
6. Request for future agenda items
7. Adjourn

Dated the 22 day of June 2026




Whitney Eggleston, Recorder



**Local Government &
Land Use Consultants**
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South Ogden, UT 84403
(801) 732-7200

TO: Planning & Zoning Commission
FROM: Valerie Claussen, MPA, AICP
MEETING DATE: June 23, 2026

SUBJECT

Item #1: Consideration and possible action on Bear River Seminary Preliminary Plat located at approximately 1500 South 300 East, which consists of Lot 1A (.0852 acres) and Lot 1B (16.063 acres).

Item #2: Consideration and possible action on Bear River Seminary Site Plan located at approximately 68 East 1400 South

RECOMMENDATION

Action #1: Move to approve the Bear River Seminary Preliminary Plat located at approximately 1500 South 300 East

Action #2: Move to approve the Bear River Seminary Site Plan located at approximately 68 East 1400 South

BACKGROUND

The Church of Jesus Christ of Latter-day Saints, in coordination with the Box Elder School District, is proposing construction of a new seminary building on School District Property and across the street from the existing seminary building . The project requires approval of a preliminary subdivision plat to create a separate seminary parcel and approval of a site plan for development of the seminary building and associated site improvements.

The proposed subdivision creates two lots from the existing school property. Lot 1A will contain the seminary facility and Lot 1B will contain the remainder of the Bear River High School campus. The property is located at the northwest corner of Section 2, Township 11 North, Range 3 West, adjacent to 1400 South and 300 East. The property is zoned R-2.

DISCUSSION

Subdivision Preliminary Plat

The proposed Bear River Seminary Subdivision consists of approximately 16.92 acres and creates two lots. Proposed Lot 1A contains approximately 37,429 square feet (0.859 acres) and is intended for the seminary building and associated site improvements. Lot 1B contains approximately 16.06 acres and encompasses the remainder of the Bear River High School campus. The subdivision includes public utility easements and establishes a 20-foot building

Planning staff reviewed the preliminary plat for compliance with Title 10, Subdivision Regulations. Preliminary review comments identified several required revisions including plat formatting, ownership identification, signature blocks, zoning references, vicinity mapping, and recordation requirements. The applicant has revised the plat to address these comments. Remaining items associated with final plat preparation will be completed prior to final plat approval by the DRC.

The City Engineer reviewed the preliminary subdivision plat and noted that an engineer's estimate and improvement escrow agreement will be required prior to final plat approval and recordation. The escrow shall include 10% warranty funds for public improvements.

The site plan includes adequate parking, ADA accessibility improvements, utility connections, drainage facilities, and landscaping improvements. Public utility easements have been identified on the plat and utility services will be provided through existing Garland City infrastructure.

Staff finds that the proposed seminary use is compatible with the surrounding school campus and residential neighborhood and that the proposed subdivision and site design generally comply with applicable City development standards.

PROPOSED CONDITIONS OF APPROVAL

Preliminary Plat

1. The applicant shall address any remaining review comments from the City Engineer, City Planner, and other reviewing agencies prior to submission of a final plat.
2. Final plat documents shall include all required signature blocks and certifications required by Garland City Code.
3. The applicant shall submit an engineer's estimate for all required public improvements for review and approval by the City Engineer.
4. Any required subdivision improvement escrow agreement shall be established and fully executed prior to final plat recordation.
5. Public utility easements, building setbacks, and utility service requirements shall remain as shown on the approved plat.
6. The final plat shall be reviewed and approved by the DRC and all applicable reviewing agencies prior to recordation.

Site Plan

1. Development shall substantially conform to the approved site plan, landscape plan, irrigation plan, and associated application materials.

setback along the public streets. Culinary water and sanitary sewer services will be provided by Garland City.

The subdivision layout provides adequate frontage along 1400 South and 300 East and allows the seminary property to function independently from the school property while maintaining compatibility with surrounding educational and institutional uses. The plat has been revised since the initial review to address staff comments related to ownership information, zoning references, signature blocks, and formatting requirements.

Site Plan

The proposed seminary site occupies Lot 1A (approximately 0.859 acres) and includes a seminary building, parking lot, pedestrian circulation system, landscaping, irrigation improvements, utility infrastructure, and outdoor gathering areas. The site contains approximately 9,193 square feet of building area, 9,610 square feet of concrete improvements, and 15 parking stalls, including ADA-accessible parking spaces.

Access to the site will be provided from existing public streets adjacent to the property. The site design includes bicycle parking, dumpster enclosure facilities, pedestrian walkways, pergola structures, outdoor seating areas, and landscaped gathering spaces intended to serve seminary students.

The landscape plan provides approximately 16,833 square feet of landscaped area, representing approximately 45% of the total site area. The landscaping includes 33 trees, 282 shrubs, perennial plantings, decorative rock mulch, lawn areas, and drought-tolerant landscaping materials. Approximately 67% of the plant materials are identified as water-wise species. The irrigation system utilizes a smart controller and is designed to reduce water consumption by an estimated 55% compared to a traditional landscape design.

The project includes perimeter landscaping along both street frontages and incorporates decorative features including pergolas, climbing vines, seating areas, raised planters, bike racks, and pedestrian gathering spaces. Clear-view triangles have been identified at street intersections to preserve traffic visibility and safety.

TECHNICAL REVIEW

The preliminary plat, site plan, and supporting materials have been routed to applicable City departments for review.

2. All landscaping and irrigation improvements shall be installed and maintained in accordance with the approved plans.
3. The irrigation system shall utilize the smart controller and water conservation measures identified in the approved landscape plans.
4. Any modifications to utility infrastructure, storm drainage facilities, or public improvements shall be approved by the City Engineer prior to construction.
5. All required building permits, utility permits, and agency approvals shall be obtained prior to commencement of construction.
6. A preconstruction meeting shall be held with Garland City prior to commencement of site work.

FINDINGS

Based upon the application materials, staff review, and the applicable provisions of Garland City Code, staff finds the following:

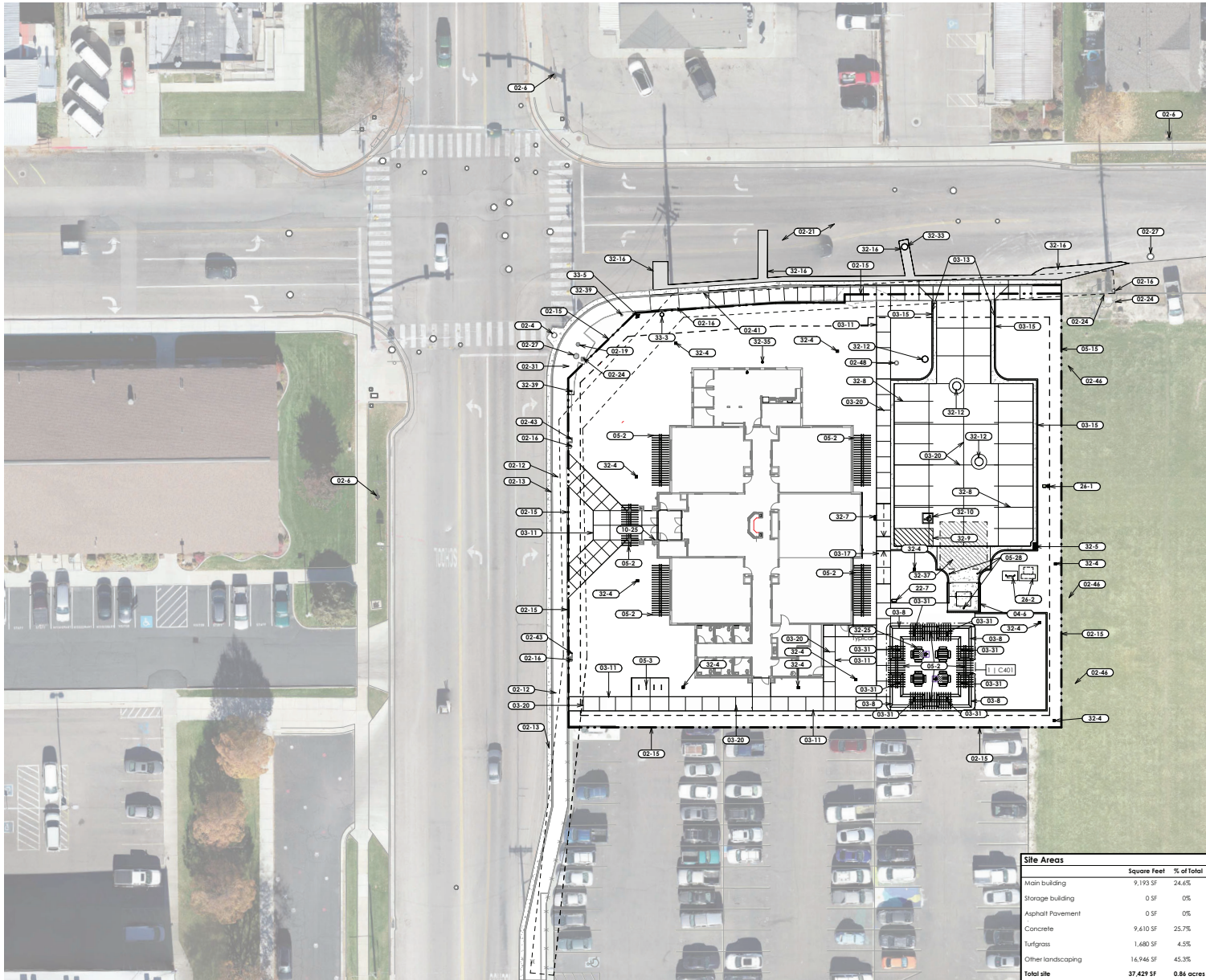
1. The proposed Bear River Seminary Subdivision creates two lots that comply with the minimum lot area, frontage, and access requirements of the R-2 Zoning District.
2. The subdivision provides for the orderly division of land and establishes a separate lot for the seminary facility while preserving the remainder of the Bear River High School campus as a separate parcel.
3. Public utility easements, access, and utility services have been identified and can adequately serve both proposed lots. Culinary water and sanitary sewer service will be provided by Garland City.
4. The proposed seminary building is an institutional use that is compatible with the existing educational uses on the adjacent school campus and surrounding residential development.
5. The site plan provides adequate parking, pedestrian circulation, landscaping, utility infrastructure, drainage facilities, and accessibility improvements to serve the proposed use.
6. The landscape plan exceeds minimum landscaping expectations by providing approximately 16,833 square feet of landscaped area, incorporating water-wise plant materials, and utilizing an irrigation system designed to reduce water consumption.
7. The applicant has addressed the comments identified during the preliminary plat review process, and any remaining technical items can be addressed through the final plat review and construction permitting process.
8. Subject to the recommended conditions of approval, the proposed subdivision and site plan are consistent with the Garland City General Plan, zoning regulations, subdivision regulations, and applicable development standards.

ATTACHMENT

Preliminary Plat
Site Plan (excerpt pages)

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3/20/2025, 3:42:28 PM



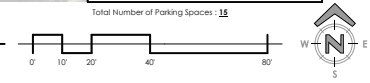
Site Areas	Square Feet	% of Total
Main building	9,193 SF	24.6%
Storage building	0 SF	0%
Asphalt Pavement	0 SF	0%
Concrete	9,610 SF	25.7%
Turfgrass	1,680 SF	4.5%
Other landscaping	16,946 SF	45.3%
Total site	37,429 SF	0.84 acres

Total Number of Parking Spaces: 15

- ### Keyed Notes
- 02-4 Existing utility equipment to remain.
 - 02-6 Existing fire hydrant to remain.
 - 02-12 Existing sidewalk to remain.
 - 02-13 Existing curb and gutter to remain.
 - 02-15 Existing property line.
 - 02-16 Existing power pole to remain.
 - 02-19 Existing traffic light pole to remain.
 - 02-21 Existing paving to remain.
 - 02-24 Existing electrical equipment to remain.
 - 02-27 Existing marhale to remain.
 - 02-31 Existing sign to remain.
 - 02-41 Existing Easement. See survey sheets.
 - 02-43 Existing utility box to remain. Modify height as needed with new landscape design.
 - 02-44 Modify the affected area of the existing sprinkler system as necessary to retain its function and properly integrate the adjacent adjacent property.
 - 02-48 Existing water manhole to remain. Adjust the height of the lid as necessary for new grading.
 - 03-8 CMU planter wall with manufactured stone veneer and precast concrete cap. Install waterproofing of the inside of the wall.
 - 03-11 Concrete sidewalk. See A/CS11. Typical.
 - 03-13 Curb transition. See E/CS11.
 - 03-15 Concrete curb and gutter. See C and D/CS11.
 - 03-17 Sloped section of concrete sidewalk at <math>< 5\%</math> slope. See grading plan for exact slope.
 - 03-20 Control joint in concrete Network. See H/CS11.
 - 03-31 12" x 24" continuous concrete footing with #5 longitudinal bottom bars and #5 transverse bottom bars at 12" O.C.
 - 04-4 CMU dumpster enclosure. See 2/C501.
 - 04-5 Pergola. Typical. See pergola details.
 - 05-3 Stainless steel bike rack. Typical of 4. See B/CS11.
 - 05-15 Steel angle welded to the inside of each beam and to the spanning angle.
 - 05-28 Concrete-filled steel barrel. See 8/C502.
 - 10-25 New iron box 3000 series recessed in brick (verify type and location with the department).
 - 22-7 Natural gas connection location for future barbecue grill. Provide below-grade utility box with a lid that requires a tool to open. Install a quick release connection on the end of the gas line that is compatible with the future oven-fueled barbecue grill. Provide submittals for the box and quick release gas connection to architect for approval prior to installation.
 - 26-1 New pole light and concrete base. See A/CS13 and electrical sheets.
 - 26-2 New transformer and electrical equipment.
 - 32-4 Area drain box with pedestal grate. See C/C512 and Grading and Drainage Plan.
 - 32-5 Curb inlet box. See Site Details.
 - 32-7 Accessible parking sign.
 - 32-8 Painted parking lines. Parking lines shall be 6" wide black paint with 4" wide reflective white paint centered on top. Typical.
 - 32-9 Accessible parking access aisle. Paint lines shall be 6" wide black with 4" wide reflective white, at a 45 degree angle and have 2" spacing.
 - 32-10 Blue & white painted accessible parking symbol.
 - 32-12 Storm drain structure. See Civil Sheets.
 - 32-16 New asphalt paving. As per city standards.
 - 32-25 Prefinished aluminum and steel picnic table with accessible space for wheelchair seating. 6 seats and 1 wheelchair space. Furnished by Owner. Installed by Contractor.
 - 33-3 New sewer manhole. See utility sheets.
 - 33-35 New clean out.
 - 32-37 20'0" x 20'0" area in front of dumpster. Install 8" concrete paving with 12" base and 4" min. subbase.
 - 32-39 Existing guy wire to remain. Coordinate landscaping requirements and all adjacent new work with the power company. Coordinate the requirements of any required modifications of the guy wire anchoring with the Architect.
 - 33-3 New water meter per city requirements. See utility plan.
 - 33-5 New fire hydrant and valve per city standards. See civil sheets.

- ### General Notes
- A. All noted items are new unless noted otherwise.
 - B. The contractor shall verify all existing site conditions prior to bidding. Coordinate all work affecting adjacent properties with the respective property owners prior to any demolition or construction work. Repair and replace all existing items on adjacent properties damaged or affected during construction to the satisfaction of the property owner.
 - C. Refer to ComLog for Information Available to Bidders, including the geotechnical report. Please note that the geotechnical report found groundwater at relatively shallow depths. The Contractor will be responsible for all required shoring, stabilization, and dewatering required for construction.
 - D. The Contractor shall enclose the entire area of work with a temporary fence and maintain a safe pedestrian route along the rights of way adjacent to the site throughout construction.
 - E. Refer to the Specifications for required locations of concrete control joints and expansion joints. Submit a proposed control joint and expansion joint plan to the Architect for approval prior to ratification of site concrete.
 - F. The new building and parking lot are parallel or perpendicular to the east property line.
 - G. The contractor shall install all components of the building and site to meet accessibility standards as shown in 2011 ICC A117.1.
 - H. For concrete mow curbs in the landscaping, see Landscape Sheets.

1 Site Architectural Plan
Scale: 1" = 20' 0"





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Suite 205, Draper, Utah 84020

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Bear River UT Sr Seminary

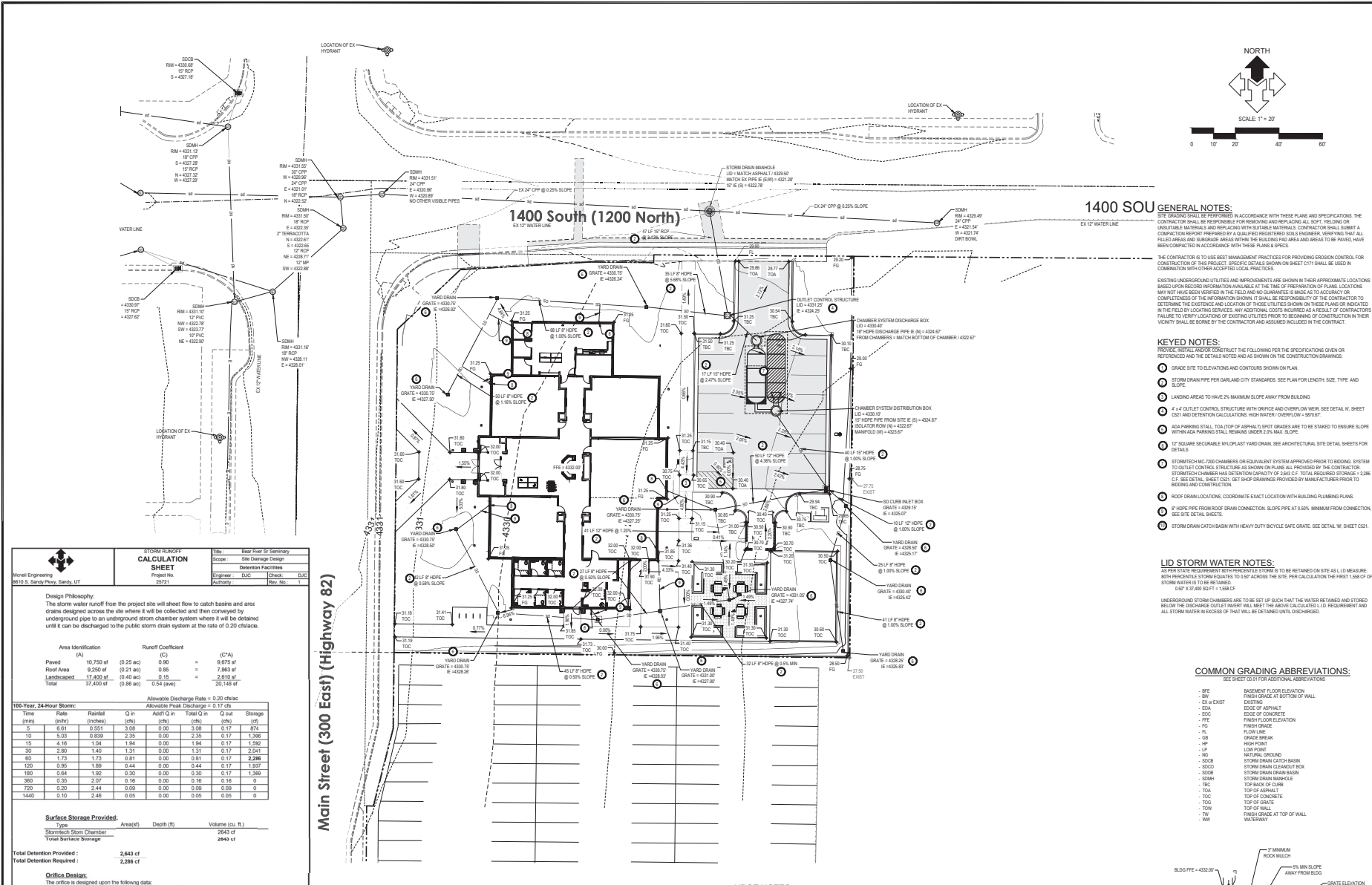
Address: 141 South Main Street, Garfield, Utah
41.7292763, -112.1410097

Date: 10/02/2025
Sheet Name: 03-046-0103-
Plan Set: Custom C&P
Owner: 502-5772

Sheet Issue and Revision Schedule	Issue/Revision	Date
1	ISSUE	10/02/2025
2	REVISION	10/02/2025

Site Architectural Plan

C111



STORM RUNOFF CALCULATION SHEET

Design Philosophy:
 The storm water runoff from the project site will sheet flow to catch basins and area drains designed across the site where it will be collected and then conveyed by underground pipe to an underground storm chamber system where it will be detained until it can be discharged to the public storm drain system at the rate of 0.20 cfs/ac.

Area Identification (A)	Runoff Coefficient (C)	(C*A)
Paved 10,750 sf (0.25 ac)	0.90	9,675 sf
Roof Area 9,250 sf (0.21 ac)	0.85	7,863 sf
Landscaped 17,400 sf (0.40 ac)	0.15	2,610 sf
Total 37,400 sf (0.86 ac)	0.54 (ave)	20,148 sf

Allowable Discharge Rate = 0.20 cfs/ac							
Time (min)	Rate (in/hr)	Rainfall (in)	Q in (cfs)	Total Q in (cfs)	Storage (cfs)		
5	0.61	0.551	3.08	0.00	3.08	0.17	876
10	5.03	0.839	2.35	0.00	2.35	0.17	1,306
15	4.16	1.04	1.94	0.00	1.94	0.17	1,562
20	2.92	1.40	1.31	0.00	1.31	0.17	2,241
30	1.73	1.73	0.81	0.00	0.81	0.17	2,288
40	0.89	1.89	0.64	0.00	0.64	0.17	1,937
50	0.64	1.92	0.50	0.30	0.17	1,369	
60	0.35	2.07	0.16	0.00	0.16	0.16	0
75	0.20	2.44	0.09	0.00	0.09	0.09	0
1440	0.10	2.48	0.05	0.00	0.05	0.05	0

Surface Storage Provided:

Type	Area(sq ft)	Depth (ft)	Volume (cu ft)
Stormed Storm Chamber			2643 cf
Total Surface Storage			2643 cf

Total Detention Provided : 2,643 cf
Total Detention Required : 2,288 cf

Office Design:
 The office is designed upon the following data:
 Total acreage of development: 0.86 acres
 Allowable discharge: 0.17 cfs (0.20 cfs/ac)
 Max head (center office to hat): 3.62 ft
 Diameter for new office: 1.9 inches
 $Q = C_p A_p \sqrt{2gh}$
USE 2" DIAMETER MINIMUM TO AVOID PLUGGING

Revised: 27 Aug 2025 - 1017.A4

Main Street (300 East) (Highway 82)

UDOT NOTES:

1. All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including supplemental drawings and specifications).
2. This contract is a bid on an encroachment permit from the applicable UDOT Region Permit office prior to commencing work within UDOT right-of-way. Making your intention will be listed in the limitations section of the encroachment permit.
3. UDOT reserves the right to its option, to install a signal medium (light) or restrict the access to right-of-way or right-of-way at any time.
4. Owner, developer, and/or contractor are responsible for any damage directly or indirectly within the UDOT right-of-way as a result of development activities.
5. Owner, developer, and/or contractor is required to be an independent company for all existing within the UDOT right-of-way.
6. All signs installed on the UDOT right-of-way must be high intensity grade 1 type (Type 1) sheeting with a 3:5 slip base. Total of signs per UDOT sign series Standard Drawing.
7. Comply with the requirements of Utah Title 13-V (Disturbed Channels - County surveyor to be notified - Coordination with certain state agencies).

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, SWELLING OR UNSUBSTANTIAL MATERIALS AND REPLACING WITH SUITABLE MATERIALS. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOTPRINT AREA AND AREAS TO BE FINISHED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS.
2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PREVENTING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C011 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD. LOCATING SERVICES, ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT.

KEYED NOTES:

1. PROVIDE THE FOLLOWING CONTRACTOR THE FOLLOWING FOR THE SPECIFYING DESIGN OR REFERENCED AS THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
2. STORM DRAIN PIPE PER OARLAND CITY STANDARDS. SEE PLAN FOR LENGTH, SIZE, TYPE AND SLOPE.
3. LANDSCAPE AREAS TO HAVE 2% MINIMUM SLOPE AWAY FROM BUILDING.
4. 4" x 4" UTILITY CONTROL STRUCTURE WITH GRATE AND OVERFLOW WEIR. SEE DETAIL N, SHEET C021 AND DETENTION CALCULATIONS. HIGH WATER OVERFLOW = 1405.17'
5. ADA COMPLIANT STALL, TOP OF ASPHALT, 1" SLOPE GRADIENTS ARE TO BE STAKED TO INSURE SLOPE WITHIN ADA COMPLIANT STALL BURNAL ANDER'S WALL. SEE DETAIL N, SHEET C021.
6. 12" SQUARE SECURABLE HYPO-PLAST YARD DRAIN. SEE ARCHITECTURAL SITE DETAIL SHEETS FOR DETAILS.
7. STORMFRESH T-200 CHAMBERS OR EQUIVALENT SYSTEM APPROVED PRIOR TO BEGING. SYSTEM TO OUTLET CONTROL STRUCTURE AS SHOWN ON PLAN. ALL PROVIDED BY THE CONTRACTOR. STORMFRESH CHAMBER HAS DETENTION CAPACITY OF 2.68 C.F. TOTAL REQUIRED STORAGE = 2.288 C.F. SEE DETAIL SHEET C011. SET SHOP DRAWINGS PROVIDED BY MANUFACTURER PRIOR TO BEGING AND CONSTRUCTION.
8. ROOF DRAIN LOCATIONS. COORDINATE EXACT LOCATION WITH BUILDING PLUMBING PLAN.
9. 2" PIPE FROM ROOM DRAIN CONNECTION. LOPE PIPE AT 0.5% MINIMUM FROM CONNECTION, SEE DETAIL SHEET C011.
10. STORM DRAIN CATCH BASIN WITH HEAVY DUTY POLYESTER GRATE. SEE DETAIL N, SHEET C021.

LID STORM WATER NOTES:

1. UNDERGROUND STORM CHAMBERS ARE TO BE SET AT SLOPE THAT THE WATER REMAINS AND STORED BELOW THE DISCHARGE OUTLET INVERT WILL MEET THE ABOVE CALCULATED LID REQUIREMENT AND ALL STORM WATER IN EXCESS OF THAT WILL BE DETAINED UNTIL DISCHARGED.

COMMON GRADING ABBREVIATIONS:

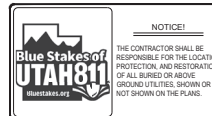
- BFE BASEMENT FLOOR ELEVATION
- FINSH GRACE AT BOTTOM OF WALL
- EX-EXIST
- EXISTING
- EOA EDGE OF ASPHALT
- EDGE OF CONCRETE
- FINSH FLOOR ELEVATION
- FINSH GRADE
- FLOW LINE
- GRACE BREAK
- H- HIGH POINT
- LOW POINT
- NO NATURAL GROUND
- STORM DRAIN CATCH BASIN
- SCOB STORM DRAIN CLEANOUT BOX
- SDCB STORM DRAIN CATCH BASIN
- SDM STORM DRAIN MANHOLE
- TBC TOP BANK OF CURB
- TOA TOP OF ASPHALT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- TW FINSH GRACE AT TOP OF WALL
- WW WET WELL

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.



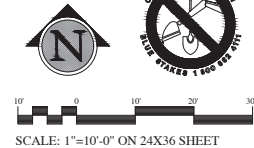
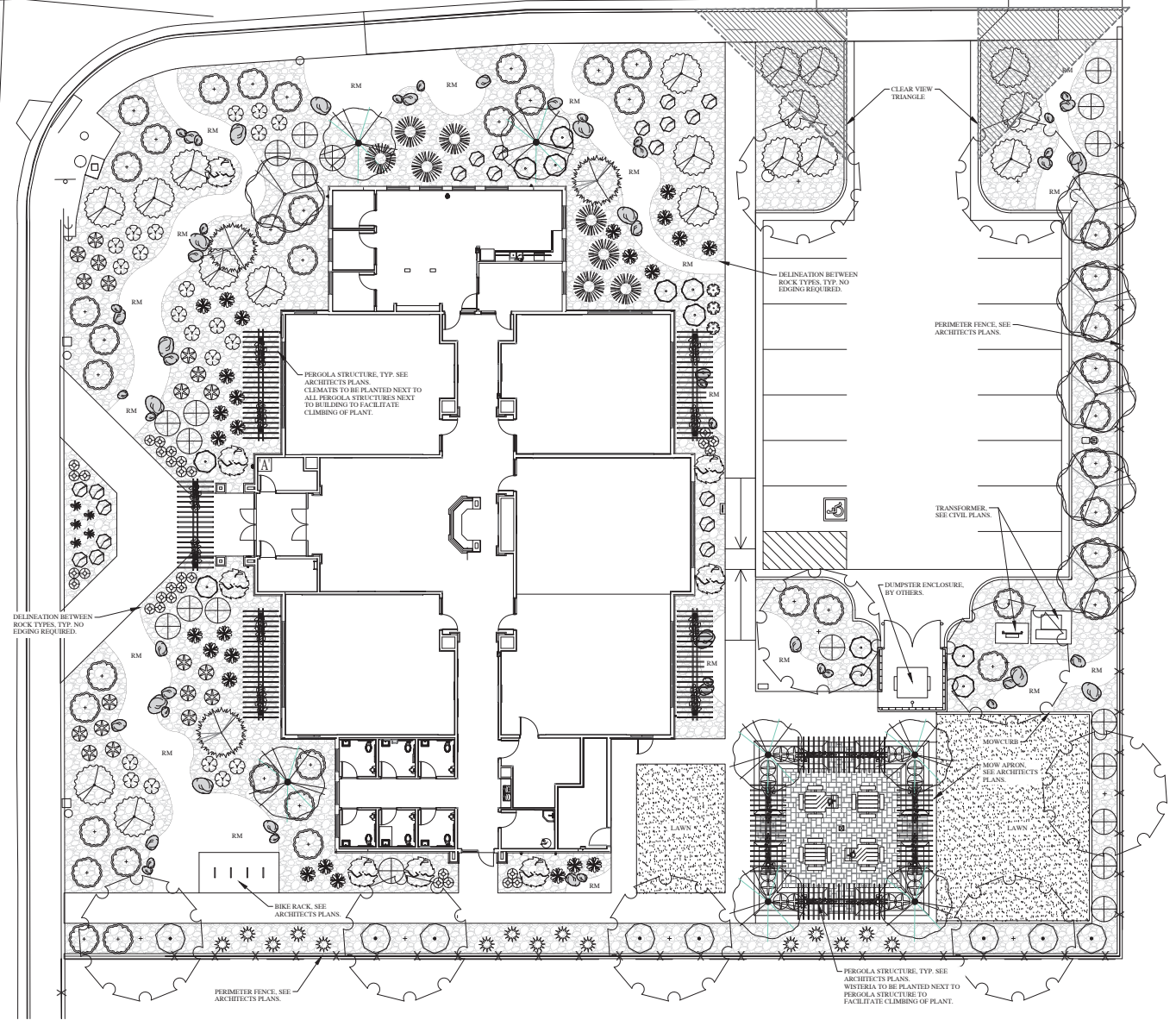
FG @ BLDG DETAIL



UTAH 811
 UTAHSTAKES.ORG

Main Street (300 East) (Highway 82)

1400 South (1200 North)



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4884TH
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10/1/2006

In Site
DESIGN GROUP
10 North 100 West American Fork, Utah 84003
City, Utah • Phone: 435-466-8888

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Bear River UT Sr Seminary
Address: 141 1/2 South Main Street, Coloford, Utah
Phone: 11727075, 11214107
Site # 2013
County Permit: 00-040-0103
Plan Title: Custom S.C.P.
Date: 17 Feb 2006
Owner: 302.57.72

Showing Issue and Revision Schedule

NO.	DATE	DESCRIPTION

LANDSCAPE PLAN

LS101

DESIGN CRITERIA

ECO-REGION	101 NORTHERN COLD DESERT
CLIMATE	U.S. HARDINESS ZONE 5
ZONING ORDINANCE	TREMONTON CITY
WATER AVAILABILITY	PRESSURIZED IRRIGATION WATER
SOIL TYPE	NA
SLOPES	SEE GRADING PLAN
WIND	SOUTH PREVAILING
SETBACKS/EASEMENTS	NA
MICROCLIMATES	NA
SOIL PH	NA
LAWN AREA	10% OF TOTAL LANDSCAPE (1,690 SQ. FT.)
UNDEVELOPED	NA
PROPERTY IRRIGATION SYSTEM	AUTOMATED SYSTEM

LANDSCAPE DATA

TOTAL SITE AREA	37,176 SQ.FT.	0.85 ACRES
TOTAL LANDSCAPE AREA	14,833 SQ.FT.	0.34 ACRES
SHRUBS/GROUND COVER	15,143 SQ.FT.	96%
LAWN AREA	1,690 SQ.FT.	1%
DEVELOP. SITE	13	PROVIDED = 37
	TOTAL REQ'D = NA	PROVIDED = 27
	DEVELOPER'S REQ'D = NA	PROVIDED = 27
	OWNER'S REQ'D = NA	PROVIDED = 11
	SHRUBS REQ'D = NA	PROVIDED = 28
	THROUGH TOLERANT REQ'D = NA	
	DROUGHT TOLERANT PROVIDED = 215 (67%)	
ADDITIONAL INFO	NA	

LANDSCAPE NOTES:

- IMPORTED, SCREENED TOP SOIL TO BE IMPLEMENTED IN ALL NEW PLANTING AREAS AT THE FOLLOWING DEPTHS: 12" IN ALL SHRUB BEDS, 4" IN ALL LAWN AREAS. SEE SPECS. FOR SOIL REQUIREMENTS.
- ALL PLANT MATERIAL TO BE IRRIGATED BY AN AUTOMATED SPRINKLER SYSTEM WITH A SMART CONTROLLER AND A KAIINFREEZE SENSOR. SEE PLANS, SPECS AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- LAWNS TO BE BULLDOG PRO-BLEND TWCA CERTIFIED BLUEGRASS SOD FROM BULLDOG SOD IN LAYTON, UTAH AND BE IMPLEMENTED AS SOD. SEE SOD LAYING NOTES AND SPECS. FOR INSTALLATION INSTRUCTIONS.
- ROCK MULCH TYPES TO BE 1" SIZE "BLUE SMOKE" CRUSHED ROCK AND 3/4" BLISIT CRUSHED FROM GOT ROCKS, LLC. IN LOGAN, UTAH OR AN OWNER APPROVED EQUIVALENT. IMPLEMENT BOTH ROCK TYPES AT A 3" DEPTH OVER WEED BARRIER FABRIC.
- ROCK MULCH TO BE CLEAN AND FREE OF DIRT AND DEBRIS. PLACED AT A UNIFORM DEPTH, AND RAKED SMOOTH.
- SALT AND PEPPER BOULDERS TO BE 2 TO 4" IN SIZE. REFER TO DETAILS FOR PROPER INSTALLATION.
- DEWITT 4.1 OZ. LANDSCAPE FABRIC TO BE IMPLEMENTED IN ALL SHRUB BEDS AND BENEATH ROCK MULCH PRIOR TO MULCH INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- NO LANDSCAPING OR OTHER OBSTRUCTIONS IN EXCESS OF 30" ABOVE FINISHED GRADE SHALL BE IMPLEMENTED IN CLEAR VIEW TRIANGLES.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREES ESTABLISHED.
- MATERIAL QUANTITIES AND COUNTS ON LEGENDS AND NOTES ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR RESPONSIBLE TO VERIFY ALL COUNTS AND QUANTITIES ON PLANS.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED
- LAY SOD IN ROWS WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A TROPING SOIL ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRIPPING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

DECIDUOUS TREE LEGEND (*WATER WISE TREE)

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	ACER TATARICUM GABRANI HOT WINGS/TATARIAN MAPLE*	7	2" CAL.
	PRUNUS SARGENTII 'PINK FLAIR' PINK FLAIR FLOWERING CHERRY	6	2" CAL.
	ZELKOVA SERRATA 'JES KWAZS' ZILERATION ZILERATION ZELKOVA*	9	2" CAL.

EVERGREEN TREE LEGEND (*WATER WISE TREE)

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	JUNIPERUS SCOPULORUM WICHITA BLUE' WICHITA BLUE UPRIGHT JUNIPER*	8	6" TALL
	PINUS NELSONIANA OREGON GREEN' OREGON GREEN AUSTRIAN PINE*	3	6" TALL

DECIDUOUS SHRUB LEGEND (*WATER WISE PLANT)

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	Buddleia sMBIDBT PUUSTER BLUE BUTTERFLY BUSH*	19	5 GAL.
	Buddleia sMBRBE PUUSTER PINKER BUTTERFLY BUSH*	16	5 GAL.
	CORNUS SERICEA 'BALLADINE' FIREDANCE DOGWOOD	12	5 GAL.
	CORNUS SERICEA 'KELSEY' KELSEY DOGWOOD	19	5 GAL.
	HYDRANGEA MACROPHYLLA MONSIEUR MOUNTAIN NINEBARK*	26	5 GAL.
	PRUNUS BESSEYI 'TOUS PAWNEE BUTTES SAND CHERRY*	42	5 GAL.
	RHUS AROMATICA 'GRO LOW' 'GRO LOW SIMCA'	18	5 GAL.
	ROSA X MEDIODORA 'CORAL DRIFT PP19148' MEDIODORA CORAL DRIFT ROSE*	21	5 GAL.
	SPRAEA X BUMALDA 'DART'S RED' DART'S RD SPIREA	20	5 GAL.
	VIBURNUM TRILOBUM 'HAILEY COMPACT' HAILEY'S COMPACT CRANBERRY BUSH	8	5 GAL.

PERENNIAL & GRASS LEGEND (*WATER WISE PLANT)

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CALAMAGROSTIS ACUTIFLORA KARL FOERSTER FEATHER REED GRASS*	15	5 GAL.
	GERANIUM X BRONCKSIDE HYBRID CRANSHILL*	32	1 GAL.
	HEMEROCALLIS 'BLAZING RETURNS' BLAZING RETURNS DAYLILY*	15	1 GAL.

EVERGREEN LEGEND (*WATER WISE PLANT)

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	TAXUS X MEDIA 'EVERLOW' 'EVERLOW YEN'	8	5 GAL.
	THUJA OCCIDENTALIS 'CONCESARINI' PANCAKE ARBORVITAE*	3	5 GAL.

VINE LEGEND (*WATER WISE PLANT)

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CLEMATIS 'EVIPOASI' GISELLE CLEMATIS	10	5 GAL.
	WISTERIA MACROBOTRYCHA 'BLUE MOON' BLUE KENTUCKY WISTERIA*	8	5 GAL.

GROUND COVER LEGEND (*WATER WISE PLANT)

SYMBOL	DESCRIPTION	QTY	SIZE
	1" SIZE "BLUE SMOKE" CRUSHED ROCK FROM GOT ROCKS, LLC. IN LOGAN, UTAH (OR AN OWNER APPROVED EQUIVALENT). IMPLEMENT IN AREA SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.	PER PLAN	PER PLAN
	3/4" SIZE "BLISIT" CRUSHED ROCK FROM GOT ROCKS, LLC. IN LOGAN, UTAH (OR AN OWNER APPROVED EQUIVALENT). IMPLEMENT IN AREA AS SHOWN AT A 3" DEPTH OVER WEED BARRIER FABRIC.	PER PLAN	PER PLAN
	BULLDOG PRO-BLEND TWCA CERTIFIED BLUEGRASS SOD FROM BULLDOG SOD IN LAYTON, UTAH. INSTALL PER SOD LAYING NOTES.	PER PLAN	PER PLAN
	DECORATIVE LANDSCAPE BOULDERS SIZE: 2-7" AND 8" BOULDERS 'SALT AND PEPPER' BOULDERS FROM GOT ROCKS, LLC. IN LOGAN, UTAH (OR AN OWNER APPROVED EQUIVALENT).	PER PLAN	PER PLAN

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THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Bear River UT Sr Seminary
Address: 1411 Eastern North Street, Coloford, Utah
11727/0075, 11724/1007
Date: 19 Feb 2025
Plan Scale: Custom, S-CR
Owner: 302.57.72
County Parcel: 00-040-0103

Drawn	Checked	Reviewed	Approved

LANDSCAPE NOTES

LS102

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1 Perspective
Not to Scale:



2 Perspective
Not to Scale:



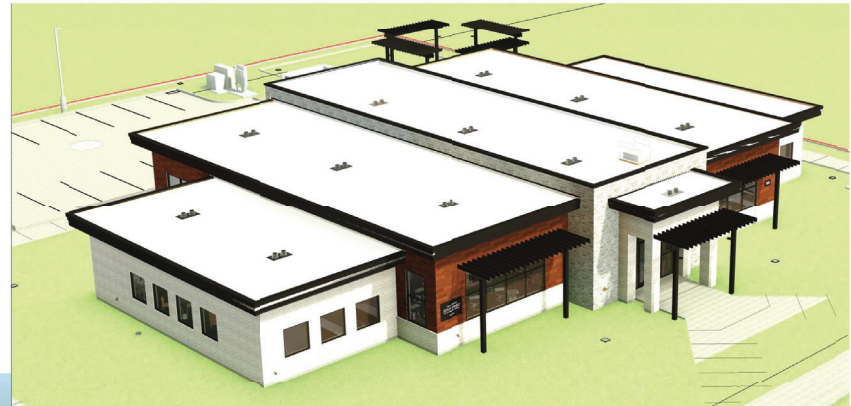
3 Perspective
Not to Scale:



4 Perspective
Not to Scale:



5 Perspective
Not to Scale:



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Preliminary -
Not For
Construction

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Bear River UT Sr Seminary
Address: 1411 South Main Street, Orderville, Utah
801.571.0010
BB #: 17202750-12.14.1907
Date: 9-FEB-2024
Client: Custom CRP
Owner: Custom CRP
502-5772

Sheet Issue and Revision Schedule

Issue No.	Date	Description
1	12-14-2023	Initial Documents

Exterior
Perspectives

A901

2/19/2024 11:55:04 AM



**Local Government
& Land Use Consulting**
930 Chambers St, Suite 2
South Ogden, UT 84403
(801) 732-3200

TO: Garland City Planning Commissioners

FROM: Valerie Claussen, MPA, AICP

MEETING DATE: June 23, 2026

SUBJECT: Consideration and possible action on the approval of the Garland Elementary parking lot expansion located at 450 S 100 W

RECOMMENDATION:

- 1) Move to approve the expanded parking lot at Garland Elementary School, subject to the conditions of approval.

Background

Garland Elementary School needs to expand their parking lot. While some jurisdictions have minor administrative review and approval processes there isn't one in Garland. So this project was routed to the reviewing departments and has been scheduled for the next available Planning Commission meeting.

Discussion

This project is currently in process of a first review of construction documents, but due to the type of minor project it is was recommended by the DRC to place this item on the next available Planning Commission agenda. The review comments have been included as attachments to this report as they do still need to be addressed, prior to final approval.

The few items remaining are the following:

- 1) Providing additional parking lot screening.
- 2) Providing additional information on whether or not the parking lot is going to have lighting, if so, what are the locations and what are the specifications of the lighting.
- 3) Providing additional information on the storm event that was designed for the overall storm water design to confirm the proposed sumps will handle the event.
- 4) Re-evaluate whether or not the configuration can be modified to have one driveway, instead of the two so close together.

Proposed Conditions of Approval

The following condition of approval is recommended:

- 1) Final approval of the construction drawings is subject to addressing the remaining review comments in the June 19, 2026 review which are attached for reference.

Planning Site Plan Review Comments

Garland Elementary Parking Lot

Review #1 – June 19, 2026

PLANNING: Valerie Claussen, val@planningoutpost.com, (385) 432-6262

ENGINEERING: Quinn Dance, gdance@jub.com, 435-713-9514

GENERAL NOTES:

This review was conducted based on the site plan application received on June 13, 2026. The application included 1) demo plan; 2) site and grading plan; 3) and 4) general details. The site is in the R-1 zone.

Property Address: 450 South 100 West

Parcel No: 06-064-0088

Lot Size: 9.44 acres

9-13-1(C): Off Street Parking Required:

*C. Parking areas serving nonresidential uses of property shall be hard surfaced and graded so as to drain off all surface water to storm sewer inlets. When such parking areas or lots abut upon adjacent residential properties, there shall be provided a wall or solid screen planting of appropriate shrubs to a height of not less than four feet (4') along the entire boundary common to both the residential and parking areas. Walls or solid screen plantings to a height of not less than four feet (4') shall also be placed along the street line where a parking lot abuts upon a street which provides access to adjacent residential properties. Walls, fences or shrubbery adjacent to streets shall be of such height so not to impair driver vision for at least ten feet (10') from street. Lights used to illuminate such parking lots shall be so arranged as to reflect lighting away from the adjoining premises in the residential district. Such parking spaces shall be reserved for the sole use of the occupants of the building or lots, their customers and the visitors thereto. Churches, theaters and other places of assembly may make arrangements for joint use of parking spaces as hereinafter specified – **Please provide the required screening along the north property line, along the cul-de-sac, and along Main Street.***

9-13-5: Parking Lot Regulations

*Any lights used to illuminate the lot shall be so arranged as to reflect the light away from adjoining premises in any residential zone. – **Please indicate on the plans the location of the lights and show details of base, pole, fixture and shield. If parking lot lighting is to be provided by building lighting, please indicate location and fixture/shielding type.***

9-16-7: Installation and Guarantee of Improvements

A. *Consistent with city approvals under this chapter, prior to any building permit being issued or any property being developed, subdivided or used, the property owner or developer shall agree to install all approved and required improvements, including but not limited to:*

landscaping, parking lots, fences, walls and utilities (sewer, water, gas lines, utilities, streets, storm sewer and others as set forth in the subdivision ordinances of the city) to the property line or such location as required by the city to facilitate the orderly and proper development of the surrounding property.

B. *When such improvements are required an escrow guarantee for the public portion of those improvements shall be required under the requirements and conditions as set forth in the subdivision ordinances before building or development may begin.*

C. *Occupancy of any building or the beginning of any approved use shall not commence until all required improvements, whether public or private, are in place or unless additional escrow is established.*

D. *Any required public right of way or easement shall be deeded or dedicated to the city prior to the issuance of any permits for construction or use - **Please provide an engineer's estimate/improvement bid for review and approval by the City Engineer in preparation for establishing escrow for the public improvements. An escrow agreement shall be established and fully executed prior to final site plan approval. The escrow will also include 10 percent warranty funds for all of the project's public improvements.***

ENGINEERING

1. **The proximity of the close driveway access proposed on 100 West is not ideal. There is not a set code explicitly prohibiting this narrow distance, but didn't know if there was a different configuration possible to bring it to a single (maybe wider) driveway without losing any stalls?**
2. **Storm water**
 - a. **Provide the storm event that was designed for the overall storm water design to confirm the proposed sumps will handle the event.**