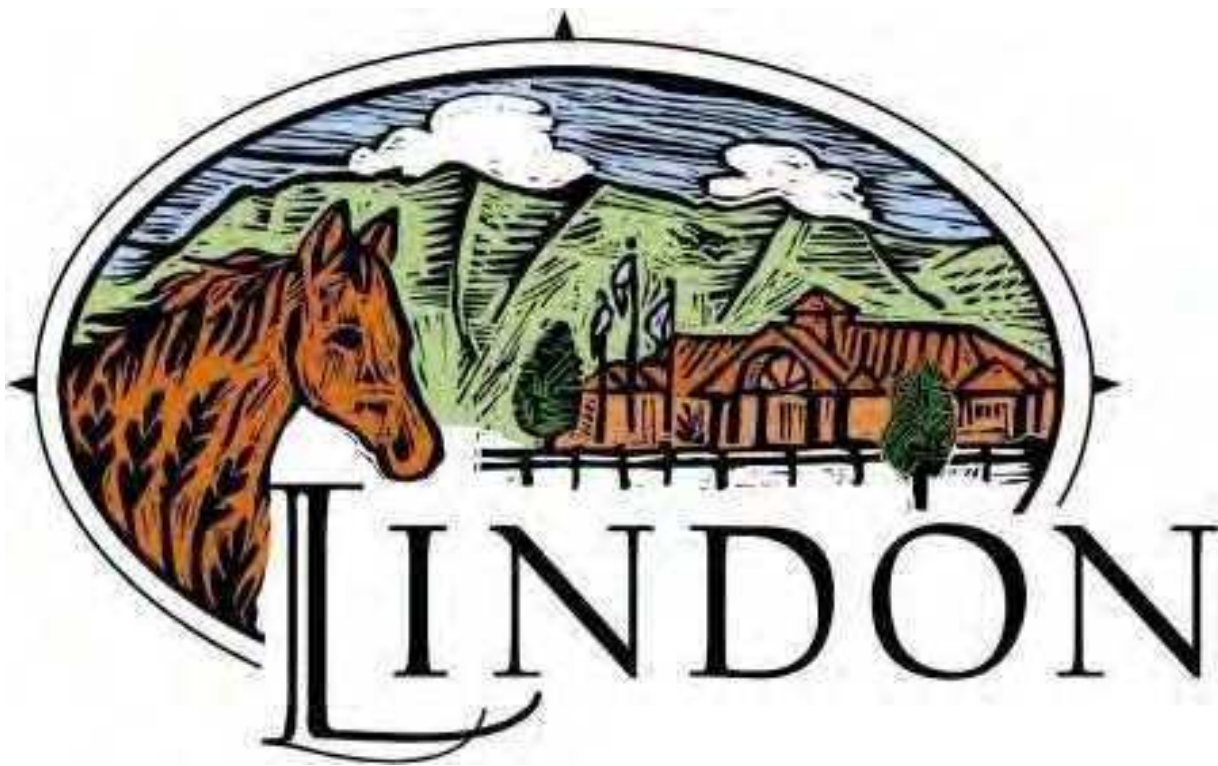


# **Lindon City Planning Commission Staff Report**



**June 23, 2026**

# Notice of Meeting

## Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, June 23, 2026**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at [www.youtube.com/LindonCity](http://www.youtube.com/LindonCity). The agenda will consist of the following items:

### Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

#### 1. Call to Order

#### 2. Approval of minutes - Planning Commission 06/09/2026

#### 3. Public Comment

#### 4. Minor Subdivision – Lindon Harbor Industrial Park

Deny Farnworth is proposing a minor subdivision to divide the property located at 1283 W 300 S into two (2) lots. (15 minutes)

#### 5. Minor Subdivision – Blackhurst Manor

Brook Blackhurst is requesting minor subdivision approval to create a one-lot subdivision. (15 minutes)

#### 6. Site Plan – 7 Brew

Toth & Associates, Inc. is requesting site plan approval to construct a fast-food drive-thru business located at 706 N. State Street. (15 minutes)

#### 7. Concept Plan Review – Fortem Building Expansion

Lauren Weldon is requesting a concept plan review to receive general feedback for a future addition to the building located at 1855 W. 500 N. (15 minutes)

#### 8. Community Development Director Report - General City Updates

### Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at [www.lindon.gov](http://www.lindon.gov). The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, giving at least 24 hours' notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City [www.lindon.gov](http://www.lindon.gov) websites.

*\*The duration of each agenda item is approximate only*

**Posted By:** Britni Laidler, City Recorder

**Date:** 06/19/2026 **Time:** 5:00 pm

**Place:** Lindon City Center, Lindon Police Station, Lindon Community Center

**Notice of Meeting**  
***Lindon City Planning Commission***



**Item 1 – Call to Order**

Sharon Call  
Mike Marchbanks  
Rob Kallas  
Steve Johnson  
Scott Thompson  
Jared Schauers  
Karen Danielson  
Ryan Done

2 The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, June 9,**  
3 **2026 beginning at 6:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North  
4 State Street, Lindon, Utah.

6 **REGULAR SESSION – 6:00 P.M.**

7 Conducting: Rob Kallas, Chairperson  
8 Invocation: Jared Schauers, Commissioner  
9 Pledge of Allegiance: Scott Thompson, Commissioner

10 **PRESENT**

11 Rob Kallas, Chairperson  
12 Sharon Call, Commissioner  
13 Mike Marchbanks, Commissioner  
14 Steve Johnson, Commissioner  
15 Jared Schauers, Commissioner  
16 Scott Thompson, Commissioner  
17 Ryan Done, Commissioner  
18 Michael Florence, Community Dev. Director – *Appeared virtually*  
19 Brittany Wilde, City Planner  
20 Whitney Hatfield, Deputy Recorder

10 **EXCUSED**

11 Brian Haws, City Attorney  
12 Karen Danielson, Commissioner

22  
23  
24 1. **CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

25  
26 2. **APPROVAL OF MINUTES** –The minutes of the regular meeting of the Planning  
27 Commission meeting of May 26, 2026, were reviewed.

28 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE MINUTES OF THE  
29 REGULAR MEETING OF MAY 26, 2026 AS PRESENTED. COMMISSIONER CALL  
30 SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

31 3. **PUBLIC COMMENT** – Chairperson Kallas called for comments from any audience  
32 member who wishes to address any issue not listed as an agenda item. There were no  
33 public comments.

34 **CURRENT BUSINESS** –

35 4. **Conditional Use Permit – D/R Programming Car Solution.** Jhon Duran with D/R  
36 Programming Car Solution is requesting a conditional use permit to operate an auto  
37 servicing business specializing in vehicle diagnostics, programming, and calibration  
38 services.

39 City Planner, Brittany Wilde, presented the application on behalf of Jhon Duran of D/R  
40 Programming Car Solution, who was accompanied by his daughter serving as interpreter. The  
applicant is requesting a conditional use permit to operate an auto servicing business at 525

2 North Geneva Road, located within the Mixed Commercial Zone, she noted that per city code, all  
auto servicing businesses in this zone require a conditional use permit.

4 City Planner Wilde explained that the business specializes in vehicle diagnostics,  
programming, key programming, and calibration services for modern vehicles which is primarily  
6 electronics-based work rather than traditional mechanical repairs. Through the interpreter, the  
applicant, Mr. Duran, confirmed that all work would be performed entirely indoors, with outdoor  
8 space used only for employee and customer parking or temporary vehicle storage. Mr. Duran  
noted that he had previously worked for several dealerships and was now opening his own  
10 business.

12 Chairperson Kallas asked clarifying questions to confirm the scope of the business. It was  
confirmed that the work does not include engine rebuilding or fluid-intensive mechanical  
services, and that the applicant would occupy a single subdivided suite within a larger building at  
14 the address. City Planner Wilde clarified that the conditional use permit is issued per applicant,  
and any future tenant at the same address performing the same type of use would be required to  
16 submit a new application. Commissioners were satisfied that the proposed conditions adequately  
addressed any potential concerns, noting that the conditional use permit framework was the  
18 appropriate mechanism for managing this type of use in the zone.

20 Chairperson Kallas called for further comments or discussion from the Commissioners.  
Hearing none, he called for a motion.

22 COMMISSIONER JOHNSON MOVED TO APPROVE THE APPLICANT'S  
REQUEST FOR A CONDITIONAL USE PERMIT TO USE THE PROPERTY  
24 LOCATED AT 525 N GENEVA RD FOR AN AUTO SERVICING BUSINESS, WITH THE  
FOLLOWING CONDITIONS: 1. VEHICLES MAY NOT BE STORED OUTDOORS FOR  
26 LONGER THAN 72 HOURS UNLESS THE OWNER IS WAITING ON DELIVERY OF  
PARTS; 2. NO VEHICLE PARTS WILL BE STORED OUTSIDE OF THE BUILDING;  
28 3. NO PARKING OF VEHICLES WAITING TO BE SERVICED OR FOR PICK-UP IN UDOT  
RIGHT OF WAY; 4. IF THE APPLICANT BUSINESS INCLUDES CHANGING FLUID, THE  
30 APPLICANT WILL SUBMIT A FLUID WASTE STORAGE AND  
MANAGEMENT PLAN; 5. THE APPLICANT WILL COMPLY WITH ALL THE MIXED  
32 COMMERCIAL SPECIAL PROVISIONS REQUIREMENTS FOUND IN  
SECTION 17.50.120 OF THE LINDON CITY CODE; AND 6. ALL ITEMS OF THE STAFF  
34 REPORT. COMMISSIONER THOMPSON SECONDED THE MOTION. THE VOTE WAS  
RECORDED AS FOLLOWS:

36 CHAIRPERSON KALLAS AYE  
COMMISSIONER CALL AYE  
38 COMMISSIONER MARCHBANKS AYE  
COMMISSIONER SHAUERS AYE  
40 COMMISSIONER JOHNSON AYE  
COMMISSIONER THOMPSON AYE  
42 COMMISSIONER DONE AYE  
THE MOTION CARRIED UNANIMOUSLY.

44

2           **5. Site Plan Approval – Battle Creek Plaza.** Troy Dana with Westland Development is  
4           requesting site plan approval to develop four office/warehouse buildings totaling 53,509  
            square feet.

6           City Planner Wilde presented the site plan application for Battle Creek Plaza, submitted  
7           by Troy Dana of Westland Development, with James Bullington appearing on behalf of the  
8           applicant, Mr. Dana. The project involves four office and warehouse buildings totaling  
9           approximately 92,600 square feet on three parcels located at 231 South 800 West, 345 South 800  
10          West, and 338 South 670 West, within the Regional Commercial zone, which is designated as  
            flex commercial in the general plan.

12          City Planner Wilde provided background noting that the City Council had amended the  
13          general plan and zoning for this property in September 2025, and that both the Planning  
14          Commission and City Council approved an amended development agreement in April 2026  
            establishing key site design and architectural requirements. The presentation covered parking,  
            landscaping, architecture, lighting, and buffering were addressed as follows:

- 16           • Parking and Circulation: The project provides 319 parking stalls, exceeding the  
17           minimum requirement of 211. All drive aisles meet or exceed the required 24-foot  
18           width at 26 feet. A resident, (whose name was not recorded) raised a concern about  
19           the proximity of the 800 West entrance to the stop sign at 200 South, noting the  
20           potential for traffic backup during peak hours. Chairperson Kallas and Commissioner  
21           Thompson suggested that most traffic would likely approach from the south via 1600  
22           North, entering as a right turn. Chairperson Kallas committed to having the city  
23           engineer review the entrance location.
- 24           • Architecture: Staff described a high-quality tilt-up concrete construction with  
25           significant facade articulation, including board-form and wood-texture concrete  
26           finishes, brick entry features, metal canopies, storefront and clerestory windows, and  
27           four approved color variations. The roof design incorporates decorative parapets and  
28           architectural pop-ups above each tenant space. Commissioner Shauers asked about  
29           the glass roll-up doors, and Mr. Bullington explained they are intended for light  
30           inventory loading access rather than continuous vehicle traffic, and would include  
31           curb cuts. Each unit is approximately 1,500–1,800 square feet, making high-volume  
32           loading and unloading unlikely.
- 33           • Residential Buffering: A significant focus of the discussion was the buffer between  
34           the development and the adjacent residential neighborhood to the north. A 7-foot  
35           masonry wall will be installed along the north side of the existing trail, with  
36           landscaping on both sides of the trail corridor. No overhead doors are permitted on  
37           the north elevations of buildings A and C, and no outdoor storage is permitted in that  
38           area. Clerestory windows, which is a high section of wall containing windows placed  
39           above eye level, were incorporated on north-facing elevations per the development  
40           agreement, for architectural character rather than overlooking adjacent properties. A  
41           neighbor in attendance confirmed that the wall placement on the north side of the trail  
42           and the commitment to landscaping at the west end of the path were satisfactory.  
43           Staff noted that photometric review is ongoing and that the proposed wall and  
44           landscaping are expected to mitigate light spillage onto adjacent residential

2 properties. Mr. Bullington confirmed the project will be condominiumized into units  
4 of approximately 1,500–1,800 square feet, with a homeowners association to manage  
common areas. The development will proceed in two phases, with buildings A and B  
as phase one and buildings C and D as phase two.

6 Several Commissioners noted the quality of the project and acknowledged the applicant's  
willingness to work collaboratively with neighboring residents over the past year, observing that  
8 the light turnout of neighbors at the meeting reflected that productive engagement.

Chairperson Kallas called for further comments or discussion from the Commissioners.  
10 Hearing none, he called for a motion.

COMMISSIONER MARCHBANKS MOVED TO APPROVE THE APPLICANT'S  
12 REQUEST FOR SITE PLAN APPROVAL FOR THE PROPERTY LOCATED AT 231 S 800  
W, 345 S 800 W, 338 S 670 W WITH THE FOLLOWING CONDITIONS: 1. THE  
14 APPLICANT WILL CONTINUE TO WORK WITH THE CITY ENGINEER TO MAKE ALL  
FINAL CORRECTIONS TO THE ENGINEERING PLANS; 2. THE PLANS WILL MEET  
16 ZONING AND DEVELOPMENT SPECIFICATIONS AS FOUND IN THE LINDON CITY  
DEVELOPMENT MANUAL; 3. MECHANICAL EQUIPMENT ON THE GROUND OR  
18 ROOF WILL BE SCREENED; 4. FINAL BUILDING AND SITE DESIGN WILL MEET THE  
REQUIREMENTS OF THE REGIONAL COMMERCIAL ZONE, APPLICABLE  
20 DEVELOPMENT REQUIREMENTS AS FOUND IN TITLE 17 OF THE LINDON CITY  
CODE, AND ADOPTED DEVELOPMENT AGREEMENT; 5. ALL ITEMS OF THE STAFF  
22 REPORT. COMMISSIONER CALL SECONDED THE MOTION.

THE VOTE WAS RECORDED AS FOLLOWS:

24 CHAIRPERSON KALLAS	AYE
COMMISSIONER CALL	AYE
26 COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SHAUERS	AYE
28 COMMISSIONER JOHNSON	AYE
COMMISSIONER THOMPSON	AYE
30 COMMISSIONER DONE	AYE

THE MOTION CARRIED UNANIMOUSLY.

32 **6. Major Subdivision – Battle Creek Plaza.** Troy Dana with Westland Development is  
requesting preliminary major subdivision approval to subdivide the property into two lots  
34 and 56 commercial condominium units encompassing four office/warehouse buildings.

City Planner, Brittany Wilde, presented the preliminary major subdivision application for  
36 Battle Creek Plaza, also submitted by Troy Dana of Westland Development, with James  
Bullington again appearing on behalf of the applicant. The applicant is seeking to subdivide the  
38 three combined parcels into one base lot totaling 6.83 acres, incorporating 56 office and  
warehouse condominium units across four buildings. Mr. Bullington clarified that the original  
40 proposal contemplated two lots, but the application was revised to a single base lot. Phase one  
(buildings A and B) will contain 26 units; phase two (buildings C and D) will contain 30 units.

2 Planner Wilde confirmed the property exceeds the minimum lot size requirement and that  
the plat incorporates the necessary cross-access, utility, pedestrian, and emergency access  
4 easements. Draft CC&Rs and condominium bylaws have been reviewed by both the applicant's  
attorney and city staff. Three-dimensional unit descriptions and interior condominium elevations  
6 are still being finalized and have been included as a condition of approval.

8 Commissioner Thompson inquired about the vacation of an existing trail easement shown  
on the plat. Mr. Bullington explained that the trail previously routed around a corner parcel, and  
that vacating the old easement straightens the trail alignment. He noted that easements with the  
10 prior property owner have already been executed, establishing the new trail route. Chairperson  
Kallas confirmed that the trail is owned and maintained by the city. Mr. Bullington indicated the  
12 applicant intends to break ground before the end of summer 2026.

Chairperson Kallas called for further comments or discussion from the Commissioners.  
14 Hearing none, he called for a motion.

16 COMMISSIONER THOMPSON MOVED TO APPROVE THE APPLICANT'S  
REQUEST FOR PRELIMINARY APPROVAL OF THE LINDON WESTLAND MAJOR  
SUBDIVISION WITH THE FOLLOWING CONDITIONS: 1. THE APPLICANT WILL  
18 CONTINUE TO WORK WITH CITY STAFF TO MAKE ALL FINAL CORRECTIONS TO  
THE PLAT FOR RECORDING; 2. THE APPLICANT WILL PROVIDE AN INTERIOR  
20 ELEVATION FOR EACH UNIT TO BE SUBDIVIDED; 3. PRIOR TO PLAT RECORDING  
THE APPLICANT WILL PROVIDE STAFF WITH A FINAL PLAT MYLAR TO INCLUDE  
22 NOTARIZED SIGNATURES OF OWNER'S CONSENT TO DEDICATION AS IDENTIFIED  
ON THE ATTACHED SUBDIVISION PLAT; 4. PRIOR TO RECORDING THE APPLICANT  
24 WILL PROVIDE STAFF WITH A FINAL SET OF CC&R'S AND BYLAWS TO INCLUDE  
NOTARIZED SIGNATURES FOR RECORDING; 5. THE PLAT WILL MEET THE  
26 APPLICABLE REQUIREMENTS AS FOUND IN THE LINDON CITY DEVELOPMENT  
MANUAL; 6. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER DONE  
28 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON KALLAS	AYE
30 COMMISSIONER CALL	AYE
COMMISSIONER MARCHBANKS	AYE
32 COMMISSIONER SHAUERS	AYE
COMMISSIONER JOHNSON	AYE
34 COMMISSIONER THOMPSON	AYE
COMMISSIONER DONE	AYE
36 THE MOTION CARRIED UNANIMOUSLY.	

38 **7. Public Hearing – Subdivision Ordinance Amendment.** Lindon City is proposing to  
amend ordinance §17.32.090 to modify the requirement that a lot cannot be more than  
40 three (3) times as long as it is wide.

42 Community Development Director, Michael Florence, introduced the proposed  
amendment, explaining that the existing ordinance prohibits a lot from being more than three  
times as long as it is wide. The amendment arose from a specific subdivision application—the  
44 Lindon Harbor subdivision submitted by Deny Farnworth—in which splitting a lot would have

2 violated this provision. Upon review, staff found that very few other municipalities still maintain  
4 a depth-to-width ratio requirement, with only Price and Duchesne County identified as retaining  
6 similar language. Most jurisdictions have replaced such provisions with reliance on zoning  
district standards (minimum lot width, minimum frontage, minimum area) combined with a  
buildable area analysis.

8 Director Florence stated that under the proposed amendment, lots would continue to be  
evaluated against the minimum standards of their respective zoning districts, noting that for  
10 residential lots, the buildable area analysis would focus primarily on setback compliance. He  
then stated that for commercial lots, a more detailed review would be required, accounting for  
12 setbacks, easements, parking, and driveways to confirm the lot remains developable. Director  
Florence emphasized that the 100-foot minimum lot width in the light industrial zone would  
remain unchanged.

14 Deny Farnworth, whose project prompted the amendment, was present and provided  
context. He explained that the property in question, located at 1280 West 300 South, is  
16 constrained by a gas line and power poles running through the center, limiting where structures  
can be placed. The proposed ordinance change would allow him to split the lot and develop three  
18 units on one side and five on the other, consistent with the existing development pattern in the  
area.

20 Commissioners discussed the rationale for the change. Commissioner Marchbanks  
observed that as Lindon approaches build-out, such situations are likely to become more  
22 common and found the amendment reasonable. Mr. Farnworth added that the trend toward  
smaller flex office/warehouse units has increased the practical need for narrower, deeper lots.

24 COMMISSIONER THOMPSON MOVED TO OPEN THE PUBLIC HEARING.  
COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE MOTION CARRIED.

26 Chairperson Kallas asked if anyone wished to speak. Hearing none, he called for a  
motion to close the public hearing.

28 COMMISSIONER MARCHBANKS MOVED TO CLOSE THE PUBLIC HEARING.  
30 COMMISSIONER CALL SECONDED THE MOTION. THE MOTION CARRIED.

32 Chairperson Kallas called for further comments or discussion from the Commissioners.  
Hearing none, he called for a motion.

34 COMMISSIONER CALL MOVED TO RECOMMEND APPROVAL OF ORDINANCE  
36 AMENDMENT 2026-12-O AS PRESENTED. COMMISSIONER THOMPSON SECONDED  
THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

38 CHAIRPERSON KALLAS	AYE
COMMISSIONER CALL	AYE
40 COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SHAUERS	AYE
42 COMMISSIONER JOHNSON	AYE

2 COMMISSIONER THOMPSON AYE  
COMMISSIONER DONE AYE  
4 THE MOTION CARRIED UNANIMOUSLY.

6 **8. Community Development Director Report-**

- 8 • General City Updates

10 **ADJOURN-**

12 COMMISSIONER MARCHBANKS MOVED TO ADJOURN THE MEETING AT 6:57  
14 PM. COMMISSIONER DONE SECONDED THE MOTION. ALL PRESENT VOTED IN  
FAVOR. THE MOTION CARRIED.

16  
18 Approved, June 23, 2026

20  
22 \_\_\_\_\_  
Rob Kallas, Chairperson

24  
26  
28 \_\_\_\_\_  
Michael Florence, Community Development Director

## Item 4: Minor Subdivision Approval- Lindon Harbor Industrial Park Plat G

**Date:** June 23, 2026

**Applicant:** Deny Farnworth  
**Presenting Staff:** Michael Florence

**General Plan:** Light Industrial  
**Current Zone:** Light Industrial

**Property Owner:** Deny Farnworth  
& LCD LAMOREAUX LLC

**Parcel ID's:** 45:241:0026

**Type of Decision:** Administrative  
**Council Action Required:** No  
**City File #** 26-019-0



### SUMMARY OF KEY ISSUES

1. The applicant is seeking minor subdivision approval for a two-lot subdivision at 1279 W 300 S.
2. The City Council recently approved an ordinance amendment to remove the restriction that no lot shall be created which is more than three times as long as it is wide.
3. The applicant has an approved site plan for the site that mirrors the building to the east that meets the buildable area requirements for the lot.

### OVERVIEW

1. The applicant is proposing to subdivide the commercial property into two lots with the following acreage:
  - a. Lot 1: 1.14 acres (49,658 sq ft)
  - b. Lot 2: 1.08 acres (47,044 sq ft)

### MOTION

I move to (*approve, deny, continue*) the applicant's request for minor subdivision approval at 1279 W 300 S. (Parcel 45:241:0026) with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the plat;
2. Prior to plat recording, the applicant will update the final plat Mylar to include notarized signatures of owners' consent to dedication; and obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The plat will meet and be constructed as per applicable specifications as found in the Lindon City Development Manual; and
4. All items of the staff report.

**Surrounding Zoning and Land Use**

**North:** Light Industrial – Industrial office

**East:** Light Industrial – Equipment rental

**South:** Light Industrial – Wetland area – Heritage Trail

**West:** Light Industrial – Industrial office

**Subdivision Requirements**

<b>Required</b>	<b>Compliant</b>
No single lot shall be divided by municipal or county boundary lines, roads, alleys, or other lots.	<b>Yes</b>
A lot shall not be divided by a road, alley, or other lot.	<b>Yes</b>
Side lot lines shall be at right angles or radial to street lines, except where justified by the subdivider and approved by the planning commission.	<b>Yes</b>
Sidewalks, curbs and gutters shall be provided on both sides of all streets to be dedicated to the public	<b>Yes, sidewalk not required</b>
Easements shall follow rear and side lot lines whenever practical and shall have a minimum total width of <b>10 feet</b> apportioned equally in abutting properties. <b>10 foot</b> front easement.	<b>Yes</b> , due to existing development, the easements will be at the front and centerline of the subdivision
Underground utilities and piped sanitary sewerage shall be provided by the subdivider.	<b>Yes</b>
Storm drain plans provided that meet city drainage requirements.	<b>Yes, with the previous development</b>
Subdivision meets buildable area requirements	<b>Yes</b>

**Engineering Requirements**

The City Engineer is working through technical issues related to the plat and will ensure all plat related issues are resolved before final approval is granted.

**Staff Analysis**

City staff have found that the subdivision meets the minimum zoning requirements and recommend approving the minor two-lot subdivision for mixed commercial development.

**EXHIBITS**

1. Aerial photo
2. Subdivision Plat
3. Previously approved site plan

Exhibit 1 - Aerial Photo



LINDON HARBOR INDUSTRIAL PARK, PLAT D, LOT 24  
OWNER: RIVAL PROPERTIES LLC  
1302 WEST 300 SOUTH  
PARCEL NUMBER: 45:420:0024

LINDON HARBOR INDUSTRIAL PARK, PLAT D, LOT 25  
OWNER: FARNWORTH LINDON 25 LLC  
1280 WEST 300 SOUTH  
PARCEL NUMBER: 45:420:0025

LINDON HARBOR INDUSTRIAL PARK, PLAT B, LOT 15  
OWNER: FARNWORTH CONCRETE INC  
1274 WEST 300 SOUTH  
PARCEL NUMBER: 45:269:0015

LINDON HARBOR INDUSTRIAL PARK, PLAT B, LOT 16  
OWNER: FARNWORTH PROPERTY MANAGEMENT LLC  
1266 WEST 300 SOUTH  
PARCEL NUMBER: 45:269:0016

NORTH REFERENCE QUARTER CORNER OF SECTION 5  
TOWNSHIP 6 SOUTH, RANGE 2 EAST  
SALT LAKE BASE AND MERIDIAN

**SURVEYOR'S CERTIFICATE**  
I, SEAN A. FERNANDEZ, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 312775 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.



**LINDON HARBOR INDUSTRIAL PARK SUBDIVISION PLAT "G"**  
*Located in the Northwest quarter of Section 5,  
Township 6 South, Range 2 East,  
Salt Lake Base and Meridian*

EASTLAKE AT GENEVA,  
INDUSTRIAL BUSINESS PARK,  
PHASE 2, AMENDED 2, LOT 5  
OWNER: LINDON CITY  
PARCEL NUMBER: 38:481:0005

LINDON HARBOR INDUSTRIAL PARK, PLAT A, LOT 4  
OWNER: THE 1287 WEST 300 SOUTH SERIES OF CPH  
HOLDINGS LLC  
1287 WEST 300 SOUTH  
PARCEL NUMBER: 45:241:0024

**LOT 2**  
46,845.24 SQ.FT.  
1.08 ACRES  
1283 West 300 South

**LOT 1**  
49,665.92 SQ.FT.  
1.14 ACRES  
1279 West 300 South

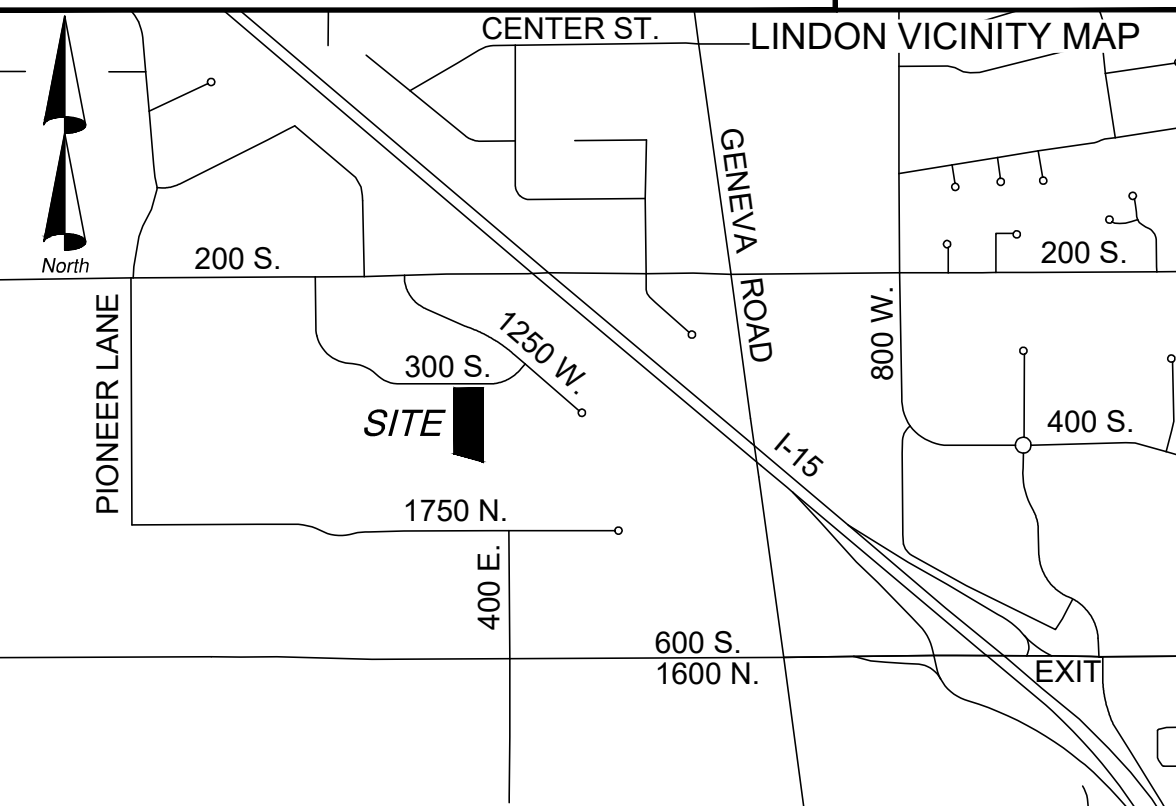
LINDON HARBOR INDUSTRIAL PARK, PLAT A, LOT 6  
OWNER: WATTS INVESTMENTS LLC  
1261 WEST 300 SOUTH  
PARCEL NUMBER: 45:241:0020

LINDON HARBOR INDUSTRIAL PARK,  
PLAT A, LOT 7  
OWNER: SPOLETO PROPERTIES LLC  
308 SOUTH 1250 WEST,  
PARCEL NUMBER: 45:241:0017

**SYMBOL LEGEND:**

--- SECTION LINE
--- BOUNDARY LINE
--- ADJACENT PROPERTY
--- PUBLIC UTILITY EASEMENT
--- GAS EASEMENT
--- POWER EASEMENT
--- SD EASEMENT
--- CUL. WATER EASEMENT

- PLAT NOTES:**
- All Public Utility Easements are 10', unless noted otherwise on the drawing.
  - Building setbacks as per Light Industrial Zone.
  - Shared cross access between Lot 1 and 2.
  - No structures to be built on the gas or power line easement, unless granted permission from the utility companies.
  -



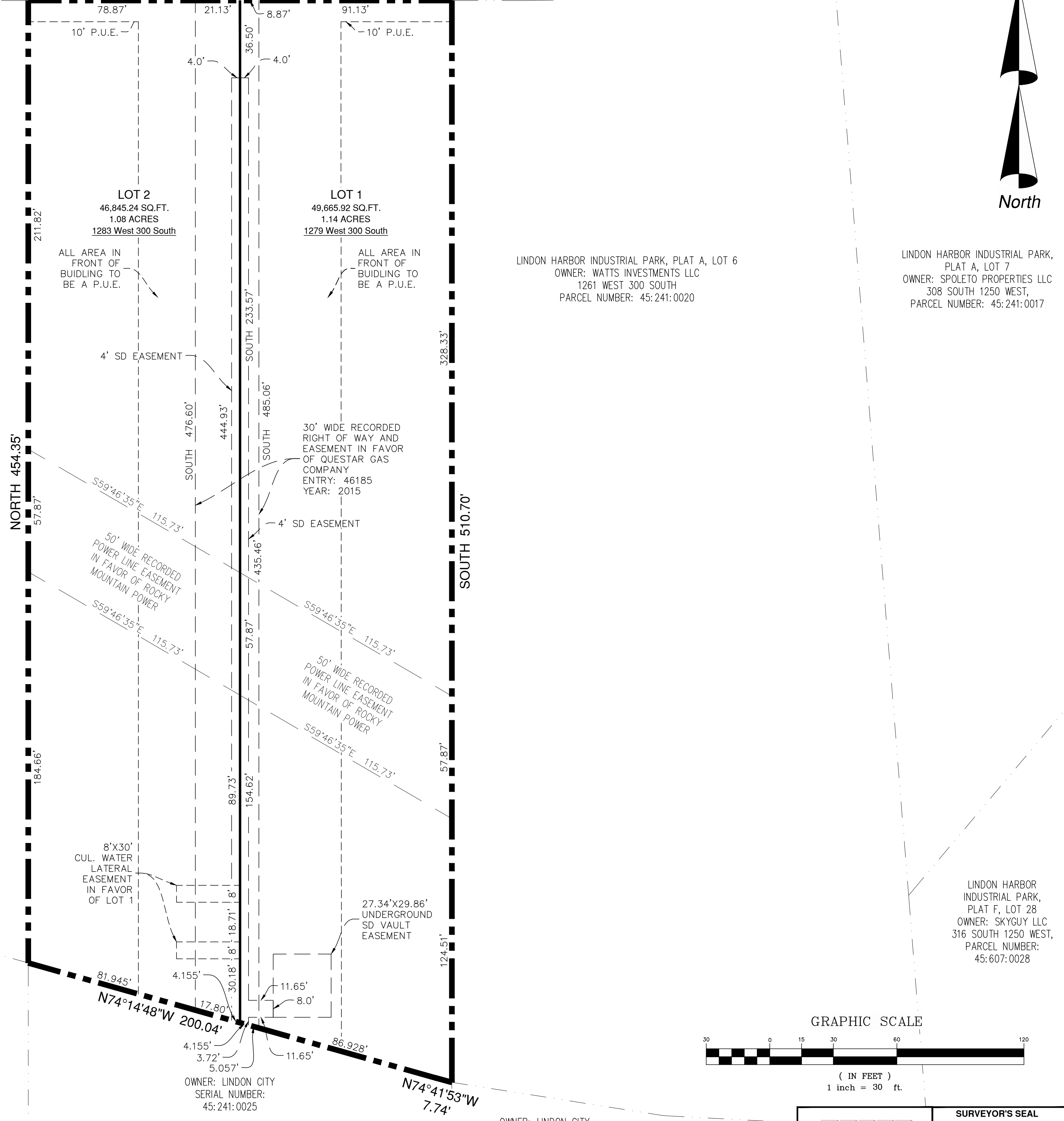
OWNER: LINDON CITY  
SERIAL NUMBER:  
45:241:0023

OWNER: LINDON CITY  
SERIAL NUMBER:  
45:241:0025

OWNER: LINDON CITY  
SERIAL NUMBER: 45:241:0019

EASTLAKE AT GENEVA, INDUSTRIAL BUSINESS PARK, PHASE 8, LOT 1  
OWNER: VINEYARD PROPERTIES OF UTAH LLC  
ADDRESS: 351 EAST 1750 NORTH  
PARCEL NUMBER: 38:485:0001

EASTLAKE AT GENEVA, INDUSTRIAL BUSINESS PARK, PHASE 1, AMENDED PARCEL B  
OWNER: LINDON CITY / PARCEL NUMBER: 38:424:0022



**BOUNDARY DESCRIPTION**  
BEGINNING AT THE NORTHEAST CORNER OF LOT 5 OF LINDON HARBOR INDUSTRIAL PARK PLAT "A", SAID POINT BEING LOCATED SOUTH 89°21'41" WEST ALONG THE SECTION LINE 224.09 FEET AND SOUTH 790.36 FEET FROM THE NORTH QUARTER CORNER OF SECTION 5, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH ALONG THE EASTERLY PROPERTY LINE OF LOT 5 OF LINDON HARBOR INDUSTRIAL PARK PLAT "A" 510.70 FEET TO THE NORTHERLY PROPERTY LINE OF LINDON CITY AS DESCRIBED IN A WARRANTY DEED RECORDED ENTRY: 11735 YEAR: 2014; THENCE ALONG THE NORTHERLY PROPERTY LINE OF LINDON CITY AS DESCRIBED IN A WARRANTY DEED RECORDED ENTRY: 11735 YEAR: 2014 THE FOLLOWING TWO (2) CALLS: (1) NORTH 74°14'53" WEST 7.74 FEET, (2) NORTH 74°14'48" WEST 200.04 FEET TO THE WESTERLY PROPERTY LINE OF LOT 5 OF LINDON HARBOR INDUSTRIAL PARK PLAT "A"; THENCE NORTH ALONG THE WESTERLY PROPERTY LINE OF LOT 5 OF LINDON HARBOR INDUSTRIAL PARK PLAT "A" 454.35 FEET TO THE NORTHERLY PROPERTY LINE AND SOUTHERLY RIGHT OF WAY OF 300 SOUTH STREET; THENCE EAST ALONG THE SOUTHERLY RIGHT OF WAY OF 300 SOUTH STREET 200.00 FEET TO THE POINT OF BEGINNING.

AREA = 96,511.16 SQ.FT. / 2.22 ACRES  
TOTAL NUMBER OF LOTS = 2  
BASIS OF BEARING BEING NORTH 89°42'21" EAST ALONG THE SECTION LINE FROM THE NORTH QUARTER CORNER TO THE NORTHEAST CORNER OF SECTION 5, NAD83 COORDINATE SYSTEM.

SURVEYOR - SEAN A. FERNANDEZ DATE

**OWNER'S DEDICATION**  
KNOW BY ALL MEN BY THESE PRESENT THAT WE, ALL THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, AND SUBJECT TO ANY CONDITIONS AND RESTRICTIONS STATED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC AND FOR THE INSTALLATION, MAINTENANCE, LOCATION & CONSTRUCTION OF ANY AND ALL UTILITIES.  
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_ DAY OF \_\_\_, A.D. 20\_\_

LYLE LAMOREAUX, MANAGING MEMBER OF L.C.D., LAMOREAUX, L.L.C.

**CORPORATE ACKNOWLEDGMENT**  
STATE OF UTAH }  
COUNTY OF UTAH } s.s.  
ON THIS \_\_\_ DAY OF \_\_\_, IN THE YEAR 20\_\_\_, PERSONALLY APPEARED BEFORE ME LYLE LAMOREAUX, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF NAME OF DOCUMENT SIGNER SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE IS THE MANAGING MEMBER OF L.C.D., LAMOREAUX, L.L.C. AND THAT SAID DOCUMENT WAS SIGNED BY HIM IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR (RESOLUTION OF ITS BOARD OF DIRECTORS), AND SAID LYLE LAMOREAUX ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.  
WITNESS MY HAND AND OFFICIAL SEAL.  
NOTARY FULL NAME AND SIGNATURE \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH  
MY COMMISSION EXPIRES \_\_\_\_\_ MY COMMISSION NUMBER \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
THE CITY OF LINDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_ DAY OF \_\_\_, A.D. 20\_\_.

MAYOR'S SIGNATURE \_\_\_\_\_ PLANNING COMMISSION CHAIR \_\_\_\_\_  
CITY ENGINEER'S SIGNATURE \_\_\_\_\_ COMMUNITY DEVELOPMENT DIRECTOR \_\_\_\_\_  
CITY ATTORNEY \_\_\_\_\_ CITY RECORDER \_\_\_\_\_

1. PURSUANT TO UTAH CODE ANN. 64-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND OUTFITS DESCRIBED THEREIN.  
2. PURSUANT TO UTAH CODE ANN. 17-27a-603(a)(iii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATE THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:  
a. A RECORDED EASEMENT OR RIGHT-OF-WAY  
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS  
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR  
d. ANY OTHER PROVISION OF LAW  
APPROVED THIS \_\_\_ DAY OF \_\_\_, A.D. 20\_\_

**OCCUPANCY RESTRICTION NOTICE**  
IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT HAVING FIRST OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY LINDON CITY.

**PLAT "G"**  
**LINDON HARBOR INDUSTRIAL PARK**  
AN AMENDMENT OF LOT 5, LINDON HARBOR INDUSTRIAL PARK, PLAT "A"  
*Located in the Northwest quarter of Section 5,  
Township 6 South, Range 2 East,  
Salt Lake Base and Meridian*

LINDON, UTAH COUNTY, UTAH SCALE: 1" = 30 FEET

CITY ENGINEER SEAL \_\_\_\_\_  
CLERK RECORDER SEAL \_\_\_\_\_  
COUNTY RECORDER \_\_\_\_\_

**SURVEYOR'S SEAL**  
SEAN A. FERNANDEZ  
No. 312775  
STATE OF UTAH  
ENGINEERING - SURVEYING  
A.L.M. & Associates, Inc.  
801-974-6282

**COVER SHEET - FOR CONSTRUCTION OF ALL THREE PHASES**

**Site Information:**

**Owner / Developer:**  
LCD Lamoreaux, LLC  
235 North 200 East, Lindon, UT 84042  
1-801-373-2677  
Lyle Lamoreaux

**Surveyor / Engineer:**  
A.L.M. & Associates, Inc  
2230 North University Parkway, 6D  
Provo, Utah 84604  
801-374-6262  
Mark S. Greenwood - Engineer  
mgreenwood@almonline.com

**Parcel Number:** 45:421:0005

**Address:** 1279 West 300 South, Lindon Utah 84042

**Current Zone:** LI (Light Industrial)

**Type of Building:** Concrete & Steel

**Type of Occupancy:** Office with Warehouse Area - Rental / Condo Units

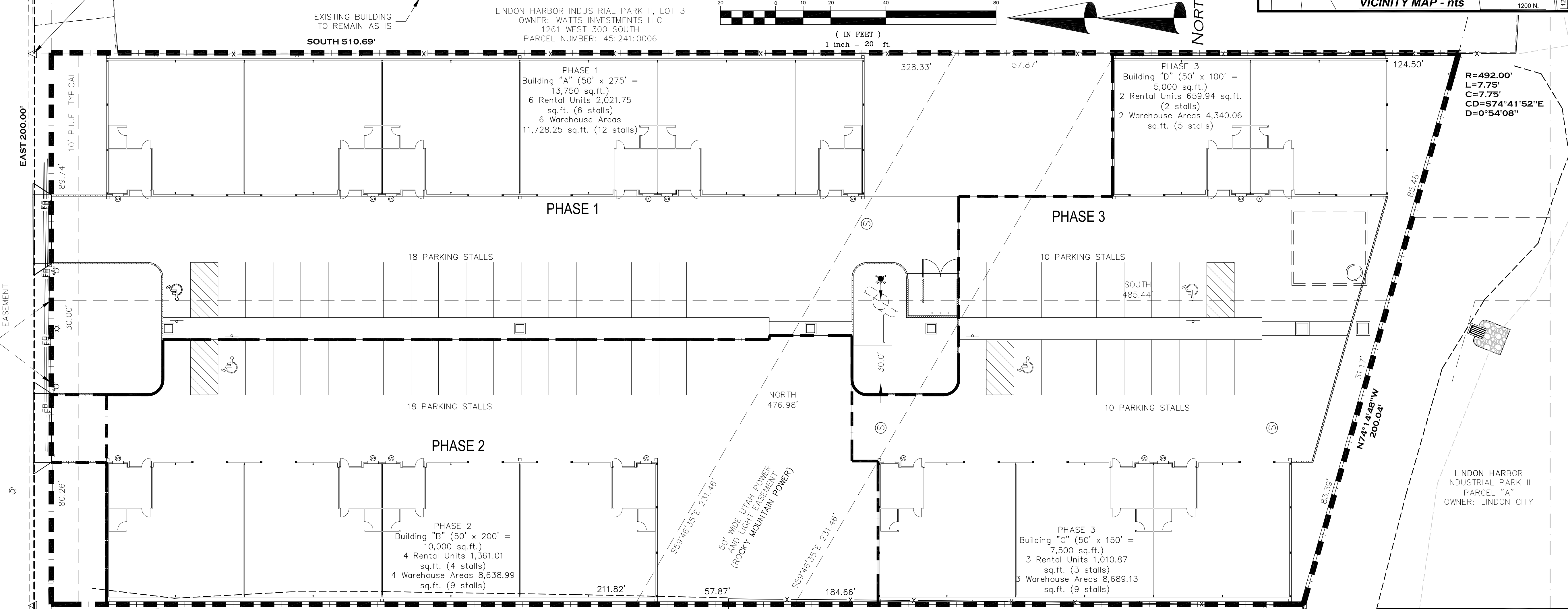
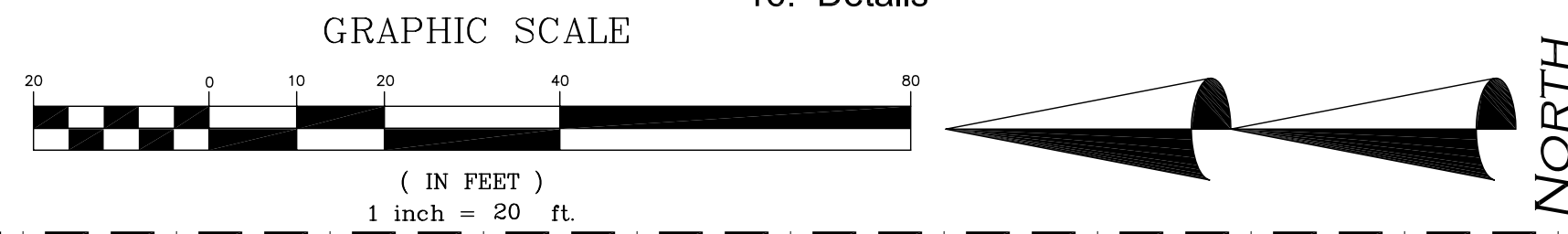
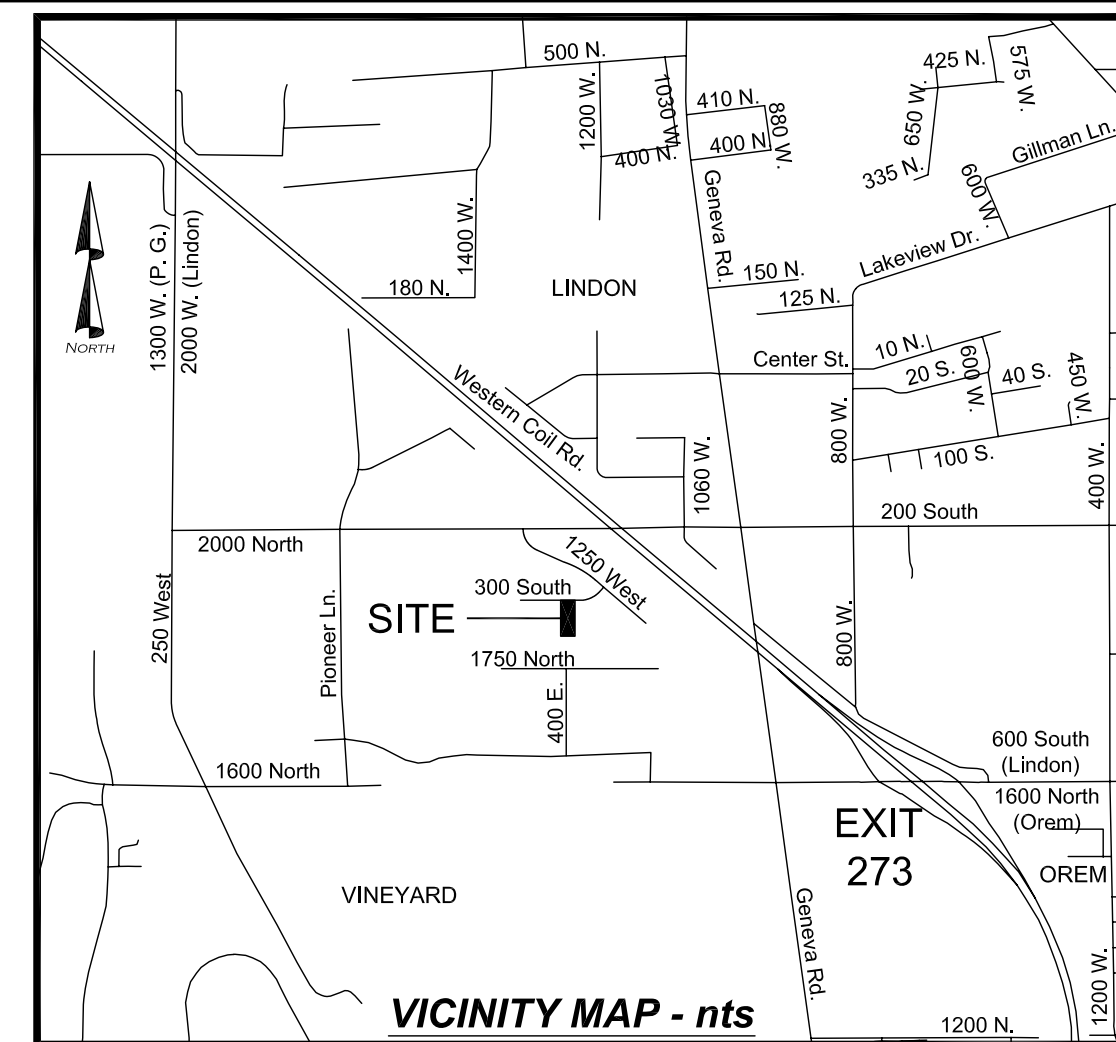
**Automatic Fire Sprinkler:** N

**Boundary Description:**

Lot 2, Lindon Harbor Industrial Park II Subdivision Plat

**Sheet Index:**

- Cover Sheet
- Phase 1 - Site Plan
- Phase 2 - Site Plan
- Phase 3 - Site Plan
- Grading and Drainage Plan
- N.S. Site Cross Section
- W.E. Site Cross Section
- LANDSCAPING PLAN
- Phase 1 - SWPP (Pre & Const.)
- Phase 2 - SWPP (Pre & Const.)
- Phase 2 - SWPP (Pre & Const.)
- SWPP Details (Pre & Const.)
- SWPP (Post)
- SWPP Details (Post)
- Details
- Details



BENCHMARK (SINKER IN CURB)  
NGVD29 ELEV: 4529.31  
BASED OFF OF THE N 1/4  
OF SECTION 5 TIE SHEET 51-24

EXISTING BUILDING  
TO REMAIN AS IS

LINDON HARBOR INDUSTRIAL PARK II, LOT 3  
OWNER: WATTS INVESTMENTS LLC  
1261 WEST 300 SOUTH  
PARCEL NUMBER: 45:241:0006

30' QUESTAR  
GAS COMPANY  
EASEMENT

EAST 200.00'

10' P.U.E. TYPICAL

88.74'

30.00'

18 PARKING STALLS

PHASE 1

PHASE 2

PHASE 3

18 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

10 PARKING STALLS

EXISTING BUILDING  
TO REMAIN AS IS

LINDON HARBOR INDUSTRIAL PARK II,  
LOT 1  
OWNER: GMAT VENTURES LLC  
1287 WEST 300 SOUTH  
PARCEL NUMBER:  
45:241:0004

**Site Note:**

- The applicant is responsible for compliance with all requirements of the "Americans with Disabilities Act" ADA.
- Detailed fire protection plans shall be submitted with the building plans. Additional requirements may be identified during the plan review by the fire department, which may be mandated by the Uniform Fire Code. Plan reviews must be completed prior to the building permit being issued.
- All landscaped areas shall have an automatic, underground sprinkling system with a back flow prevention device and a back flow prevention device to the building, unless landscaping is served by the secondary water system.
- Telecommunication conduit shall be installed to serve this site. Run the conduit to the site from an existing service box at a nearby site as shown in the UTOPIA design. Run the conduit within the public right-of-way or secure easements to run it on private property. Lay the conduit at a minimum depth of cover of 24".
- Install one orange 3/4" diameter SDR-11 HDPE conduit meeting ASTM 3035, or in different quantities and sized as shown in the UTOPIA design. A twelve (12) gauge solid THHN tracer wire shall be installed inside all conduits according to NESC standards. Telecommunications conduit shall include a 3" caution tape installed in the pipeline trench approximately 12" below the ground surface, with the words "CAUTION: FIBER OPTIC CABLE" printed on it.
- Water meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fenced area or under covered parking.
- Contact Blue Stake twenty-four (24) hours before digging.
- Lindon Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Lindon City and take precedence over other standards.
- ADA striped with 4 inch solid blue lines and regular stalls striped with 4 inch solid white lines.
- There will be no other floor drains in the buildings except for floor drains installed in the toilets.
- The Geotechnical Engineer recommends that prior to placement of additional structural fill or concrete the existing fill soils be removed/reworked to a depth of at least five (5) feet below the existing ground surface or a minimum of two (2) feet below the bottom of footings/foundations, whichever is greater.

**Building Design Criteria:**  
2006 IBC Use and Occupancy Classification:  
M (Mercantile)  
2006 IBC Building Type Category:  
II (Not occupancy category I, III, IV)

**Building Use Areas:**  
Phase 1 Building "A" (50' x 275' = 13,750 sq.ft.)  
6 Rental Units 2,021.75 sq.ft. (6 stalls)  
6 Warehouse Areas 11,728.25 sq.ft. (12 stalls)

Phase 2 Building "B" (50' x 200' = 10,000 sq.ft.)  
4 Rental Units 1,361.01 sq.ft. (4 stalls)  
4 Warehouse Areas 8,638.99 sq.ft. (9 stalls)

Phase 3 Building "C" (50' x 150' = 7,500 sq.ft.)  
3 Rental Units 1,010.87 sq.ft. (3 stalls)  
3 Warehouse Areas 8,689.13 sq.ft. (9 stalls)

Phase 3 Building "D" (50' x 100' = 5,000 sq.ft.)  
2 Rental Units 659.94 sq.ft. (3 stalls)  
2 Warehouse Areas 4,340.06 sq.ft. (5 stalls)

Front Setback: 20.00'  
Side & Rear Setback: 0.00'  
Maximum Structure Height: 48.00'

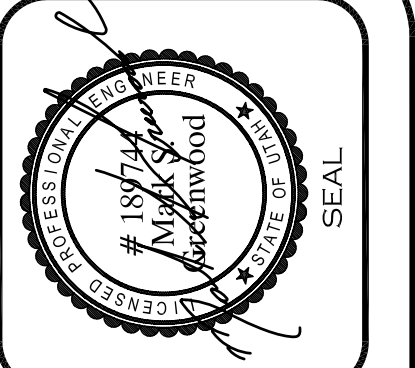
**Parking:**  
Phase 1 Building "A" Required Parking - 18 spaces  
(1 stall/350 sq.ft. of Office and 1 stall/1,000 sq.ft. of Storage/Service Area)  
Phase 2 Building "B" Required Parking - 13 spaces  
(1 stall/350 sq.ft. of Office and 1 stall/1,000 sq.ft. of Storage/Service Area)  
Phase 3 Building "C" Required Parking - 12 spaces  
(1 stall/350 sq.ft. of Office and 1 stall/1,000 sq.ft. of Storage/Service Area)  
Phase 3 Building "D" Required Parking - 7 spaces  
(1 stall/350 sq.ft. of Office and 1 stall/1,000 sq.ft. of Storage/Service Area)

Total Required - 50 spaces  
Total Shown - 56 space (4 ADA)

**Floor Drains:**  
There will be no other floor drains in the buildings except for floor drains installed in the toilets.

**Site Area Tabulations:**  
Total Area: 96,509.36 sq.ft. / 2.216 ac. - 100.00%  
Phase 1-3 Building Area: 36,250 sq.ft. / 0.832 ac. - 38.00%  
Impervious Area: 39,627.12 sq.ft. / 0.910 ac. - 41.00%  
Landscape Area along Street: 2,997.81 sq.ft. / 0.069 ac. - 3.00%  
Landscape Interior Parking Area: 2,321.74 sq.ft. / 0.053 ac. 2.50%  
Landscape Side and Rear Area: 12,912.69 sq.ft. / 0.296 ac. - 13.00%  
Drainage Area between Parking: 2,400.00 sq.ft. / 0.055 ac. - 2.50%

SYMBOL LEGEND	
---	BOUNDARY LINE
- - - -	EASEMENT LINE
-S-	SEWER LINE
-W-	WATER LINE
-OHP-	OVERHEAD POWER
-SD-	STORM DRAIN LINE
-G-	GAS LINE
-FO-	FIBER OPTIC LINE
□	SD CURB INLET
⊙	SD MANHOLE (SDMH)
⊙	SEWER MANHOLE
⊙	SEWER CLEANOUT
⊙	WATER VALVE
⊙	FIRE HYDRANT



**A.L.M. & ASSOCIATES, INC.**  
ENGINEERING • SURVEYING • DEVELOPMENT • PLANNING  
2230 NORTH UNIVERSITY PARKWAY, BUILDING 6D, PROVO, UTAH 84604 PH: (801) 374-6262

LOT 2, LINDON HARBOR IND. PARK II  
1279 W. 300 S., LINDON, UT  
**COVER SHEET**

NO.	REVISION	DATE

**1**  
OF 16 SHEETS  
PROJ # 920-1680

300 SOUTH

## Item 5: Minor Subdivision Approval – Blackhurst Manor – Approximately 500 W. 200 S.

**Date:** June 23, 2026

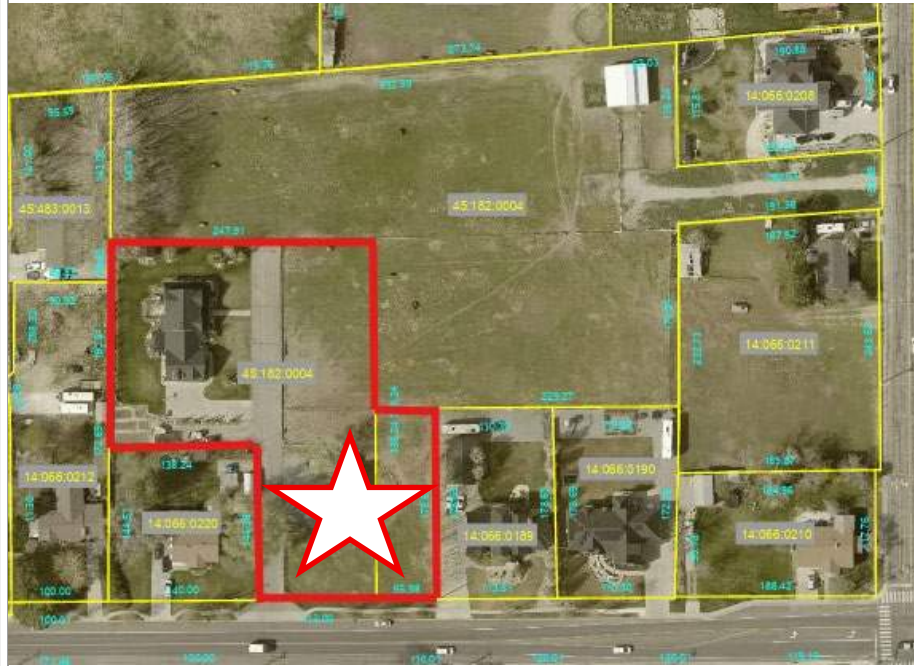
**Applicant:** Brook Blackhurst  
**Presenting Staff:** Brittany Wilde

**General Plan:** Residential (R1-20)  
**Current Zone:** Residential (R1-20)

**Property Owner:** Brook & Valerie Blackhurst

**Parcel ID's:** 45:182:0004

**Type of Decision:** Administrative  
**Council Action Required:** No



### **SUMMARY OF KEY ISSUES**

1. The applicant is seeking minor subdivision approval for a one-lot subdivision and plat amendment at Parcel 45:182:0004, to build a new single-family home

### **OVERVIEW**

1. The applicant is proposing to subdivide the residential property into one lot with the following acreage:
  - a. Lot 1: .484 acres (21,073 sq ft)

### **MOTION**

I move to (*approve, deny, continue*) the applicant's request for minor subdivision approval at Parcel 45:182:0004 with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering documents and plat;
2. If required, complete (or post an adequate improvement completion assurance), warrant and post required assurance for all required public infrastructure improvements;
3. Prior to plat recording, the applicant will update the final plat Mylar to include notarized signatures of owners' consent to dedication; and obtain signatures of all entities and individuals indicated on the subdivision plat attached hereto;
4. The plans and plat will meet and be constructed as per applicable specifications as found in the Lindon City Development Manual;
5. All items of the staff report.

**Surrounding Zoning and Land Use**

**North:** Residential (R1-20) – Single Family Residential

**East:** Residential (R1-20) – Single Family Residential

**South:** Residential (R1-20) – Single Family Residential

**West:** Residential (R1-20) – Single Family Residential

**Subdivision Requirements**

<b>Required</b>	<b>Compliant</b>
No single lot shall be divided by municipal or county boundary lines, roads, alleys, or other lots.	<b>Yes</b>
A lot shall not be divided by a road, alley, or other lot.	<b>Yes</b>
Side lot lines shall be at right angles or radial to street lines, except where justified by the subdivider and approved by the planning commission.	<b>Yes</b>
Sidewalks, curbs and gutters shall be provided on both sides of all streets to be dedicated to the public	<b>Yes</b>
Easements shall follow rear and side lot lines whenever practical and shall have a minimum total width of <b>10 feet</b> apportioned equally in abutting properties. <b>10 foot</b> front easement.	<b>Yes;</b>
Underground utilities and piped sanitary sewerage shall be provided by the subdivider.	<b>Yes</b>
Storm drain plans provided that meet city drainage requirements.	<b>Yes</b>

**Staff Analysis**

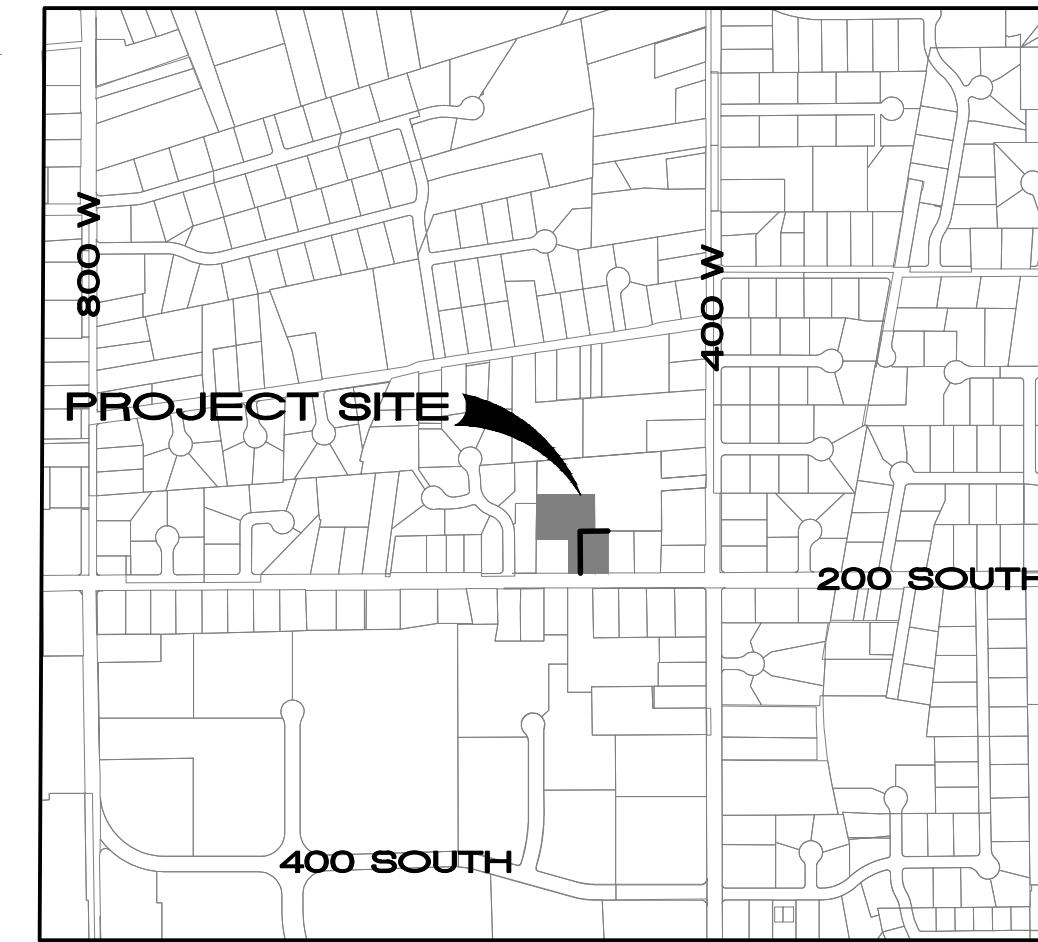
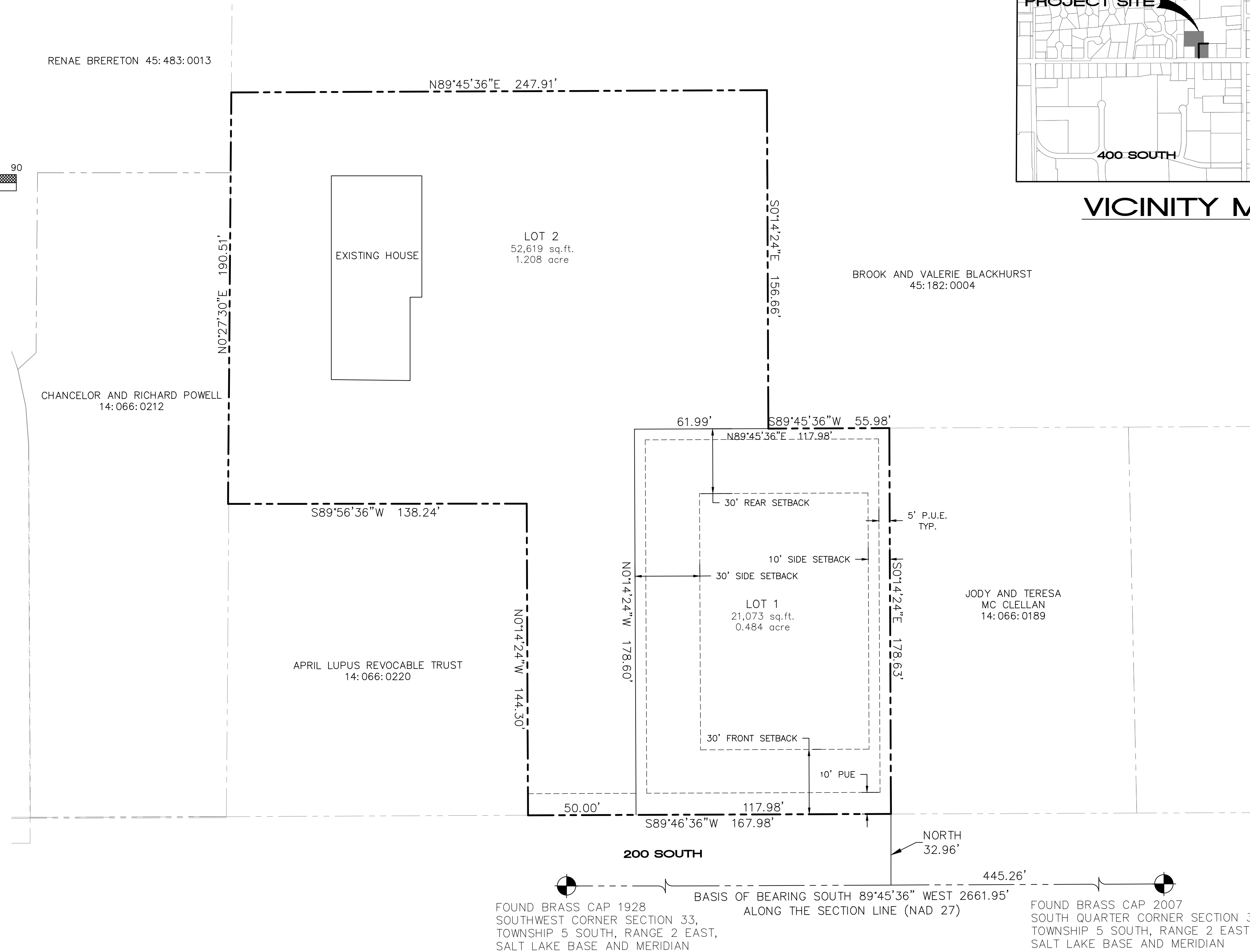
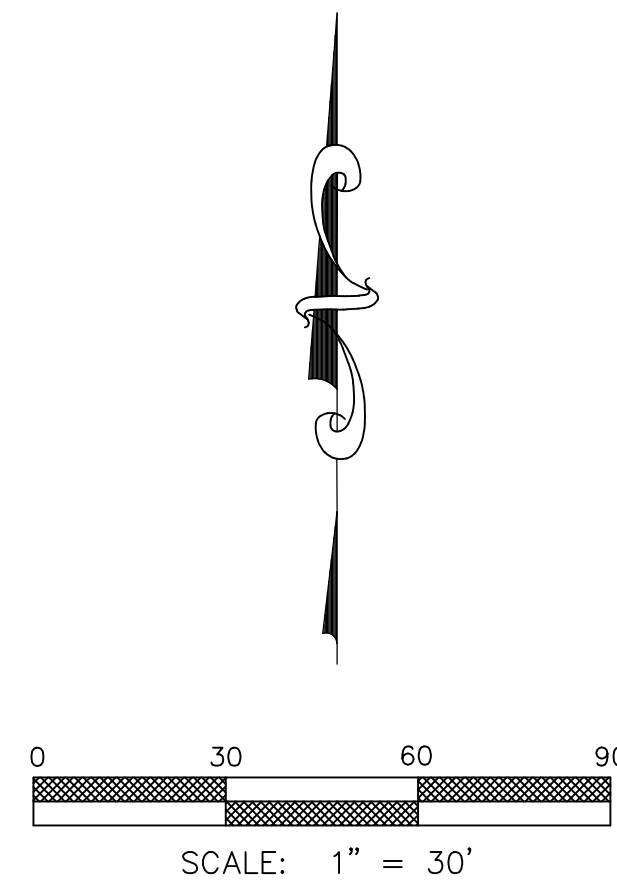
The applicant is requesting approval of a minor subdivision to create a one-lot subdivision. Staff have reviewed the plat for compliance and finds that the subdivision can meet the intent and requirements of the Lindon City subdivision ordinance and zoning codes.

**EXHIBITS**

1. Aerial photo
2. Subdivision Plat



**BLACKHURST MANOR PLAT "A"**  
 INCLUDING A VACATION OF LUPUS ESTATES PLAT A  
 LOCATED IN SECTION 33, TOWNSHIP 5 SOUTH,  
 RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN  
 LINDON, UTAH COUNTY, UTAH



**VICINITY MAP**

**SURVEYOR'S CERTIFICATE**  
 I, TRAVIS TRANE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 6152741, IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, A SURVEY WAS COMPLETED IN ACCORDANCE WITH SECTION 17-23-17. I FURTHER CERTIFY THAT I HAVE VERIFIED ALL MEASUREMENTS AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN ON THIS PLAT, I HEREBY STATE THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL OPINION.

(SURVEYOR), P.L.S. \_\_\_\_\_ DATE \_\_\_\_\_  
**BOUNDARY DESCRIPTION**

Beginning at a point on the South line of Warranty Deed Entry No. 90093:2004 which is South 89°45'36" West 445.26 feet along the section line and North 32.96 feet from the South Quarter Corner of Section 33, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence along said Warranty Deed the following three courses 1) South 89°46'36" West 167.98 feet along the North right of way for 200 South Street; 2) North 00°14'24" West 144.30 feet; 3) South 89°56'36" West 138.24 feet; thence North 00°27'30" East 190.51 feet; thence North 89°45'36" East 247.91 feet; thence South 00°14'24" East 156.66 feet; thence North 89°45'36" East 55.98 feet; thence South 00°14'24" East 178.63 feet to the point of beginning.

Parcel contains: 1.692 acres.

**OWNER'S DEDICATION**

Know all men by these presents that the undersigned are the owners of the above described tract of land, and hereby cause the same to be divided into lots, parcels and streets, together with easements as set forth to be hereafter known as BLACKHURST MANOR PLAT "A" and do hereby dedicate for the perpetual use of the public all roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

\_\_\_\_\_  
 BROOK T BLACKHURST VALERIE BLACKHURST

**ACKNOWLEDGEMENT**

STATE OF UTAH )  
 ) S.S.  
 COUNTY OF UTAH )

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

NOTARY \_\_\_\_\_ NOTARY PUBLIC SIGNATURE \_\_\_\_\_  
 COMMISSION # \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

A NOTARY PUBLIC COMMISSIONED IN UTAH

**ACCEPTANCE BY LEGISLATIVE BODY**

THE CITY OF LINDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026

APPROVED BY MAYOR \_\_\_\_\_ APPROVED BY CITY ATTORNEY \_\_\_\_\_

APPROVED BY CITY ENGINEER \_\_\_\_\_ ATTEST BY CITY RECORDER \_\_\_\_\_  
 (See Seal Below) (See Seal Below)

PLANNING COMMISSION CHAIR \_\_\_\_\_ COMMUNITY DEVELOPMENT DIRECTOR \_\_\_\_\_

**PLAT "A"**  
**BLACKHURST MANOR**

INCLUDING A VACATION OF LUPUS ESTATES PLAT A  
 LOCATED IN SECTION 33, TOWNSHIP 5 SOUTH,  
 RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN  
 LINDON, UTAH COUNTY, UTAH  
 A RESIDENTIAL SUBDIVISION

LINDON, UTAH COUNTY, UTAH  
 SCALE: 1" = 30 FEET

**Notice of Lindon City Multiple Family Housing Ordinance**  
 All potential buyers of lots within this plat are hereby noticed of the Lindon City R2 Overlay Ordinance. Under this ordinance there is potential for small localized multifamily housing projects in this neighborhood consisting of single family planned unit developments, duplexes, triplexes and accessory apartments. Conditions Covenants and Restriction (C.C.&R's) which prohibit this type of housing in specific subdivisions are considered illegal and in violation of Lindon City Code. Please contact the Lindon City Planning Department at (801) 785-7687 for details regarding this Ordinance.

**OCCUPANCY RESTRICTION NOTICE**  
 It is unlawful to occupy any building located within this subdivision without first having obtained a certificate of occupancy issued by the City.

**NOTE:**  
 The 30' side setback on Lot 1 is required on a corner lot for the future public street that the owner wants to install when the remaining property is developed.

PREPARED FOR:  
 BROOK BLACKHURST  
 500 WEST 200 SOUTH  
 LINDON

PREPARED BY:  
 TRANE ENGINEERING  
 27 EAST MAIN STREET  
 LEHI, UT 84043  
 PHONE (801) 768-4544

SURVEYOR SEAL	CITY ENGINEER SEAL	CITY RECORDED SEAL	UTAH COUNTY RECORDING INFORMATION
---------------	--------------------	--------------------	-----------------------------------

## Item 6: Site Plan Approval – 7 Brew – 706 N. State Street

**Date:** June 23, 2026

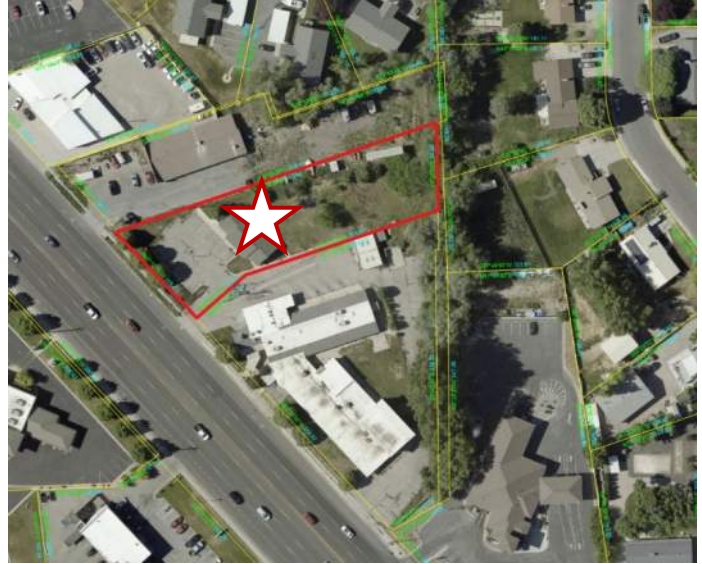
**Applicant:** Miguel Ortega  
**Presenting Staff:** Brittany Wilde

**Project Address:** 706 N. State Street  
**Property Owner:** Darren and Alison Bryan

**General Plan:** General Commercial  
**Current Zone:** Commercial General (CG)

**Parcel ID:** 71:066:0001  
**Lot Size:** 0.7292 acres

**Type of Decision:** Administrative  
**Council Action Required:** No



### Summary of Key Issues

1. Toth & Associates, Inc. is requesting site plan approval to construct a 510 square-foot fast food drive-thru business with a 238 square-foot cooler located behind the primary building.

### Overview

- The applicant proposes to construct a coffee shop with a small walk-up area for pedestrians and a 2-lane drive-thru.
- Walk-up orders are located opposite the drive-thru pick up area and a sidewalk from State Street will allow pedestrian accessibility.

### Site Plan Motion

I move to (*approve, deny, continue*) the applicant's request for site plan approval with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering documents;
2. The plans will meet development specifications as found in the Lindon City Development Manual;
3. Final exterior material design is approved as proposed and will meet the Commercial Design Standards for commercial sites and buildings in all other aspects;
4. The applicant will complete the Floodplain Development Permit;
5. Prior to final approval, the applicant will provide a copy of the UDOT access permit;
6. The applicant will work with Lindon City and Pleasant Grove Engineering to determine whether the ditch on the east side of the property is on the development site and if so, the ditch will be piped and designed to slope so that the property to the south, when it develops, can tie in;
7. The applicant will comply with all bonding requirements, if applicable; and
8. All items of the staff report.

### Surrounding Zoning and Land Use

**North:** Commercial General (CG) – Retail & Pleasant Grove – Multifamily Residential

**East:** Commercial General (CG) – Single Family Housing

**South:** Commercial General (CG) – Vacant property/Lindon Care Center

**West:** Commercial General (CG) – Retail

## Site Development Standards

### **Parking**

Parking standards are based on the zone and the different uses in the building and their respective square footage.

<b>Requirement</b>	<b>Provided</b>	<b>Compliant?</b>
1 per 2 seats or 1 per 100 sq.ft of floor area	10 stalls provided, 9 standard, 1 ADA 5 stalls dedicated to employees during largest shift	Yes
Drive-thru queue stacking	Lane 1 = 11 Lane 2 = 13 Total spaces provided = 24	Yes

### **Traffic Circulation**

Access to the subject property will be from State Street through a shared access easement with the neighboring building at 680 N. State Street which is currently vacant property and originally the Lindon Care Center. The applicant will be demolishing the buildings located at 706 N. State Street and 680 N. State Street. The drive-thru lanes will provide an exit on State Street. The applicant is required to obtain all UDOT access permits prior to final site plan approval.

### **Landscaping Standards**

Landscaping standards are based on the zone and the number of parking stalls

<b>Landscaping Standards</b>	<b>Provided</b>	<b>Compliant?</b>
20-foot landscaping strip along public street frontages	Ranges from 39' – 53' and greater	Yes
Trees shall be planted at least every 30' along State Street	The existing trees along State Street will remain	Yes
Landscaping must be 70% vegetation and 30% other ground covers.	Vegetative cover = 75% Other ground covers = 30%	Yes
Trees must be installed within the interior parking lot landscaping areas at a ratio of 1 tree for every 10 required parking stalls.	1 tree for the 10 required parking stalls	Yes

### **Other Site Requirements**

Site requirements are based on the development standards for the indicated zone

<b>Requirements</b>	<b>Provided</b>	<b>Compliant?</b>
Minimum Lot Size of Zone is 20,000 sq ft	.7292 acres (31,763 sf)	Yes
Building Setback <ul style="list-style-type: none"><li>• Front: 20'</li><li>• Rear: 40'</li><li>• Side: 0'</li><li>• Side: 0'</li></ul>	The building meets both the front and rear setbacks	Yes
40' rear yard setback when abutting a residential use or zone	173'	Yes. However, the drive-thru access lane on the east will be 10' from the property line.
Building Height: 48'	19'	Yes

## **Building Design and Architectural Standards**

### **Architectural Design**

<b>Design Element</b>	<b>Design Standard Requirement</b>	<b>Applicants Proposal</b>
Massing and Form	A significant amount of the primary ground story façade facing public streets should be transparent glazing. The ground floor of the primary façade shall be 60% fenestration at the pedestrian level.	The design meets the 60% fenestration at the pedestrian level.
Façade Articulation	Building articulation is important to visually engage the populace. This can be accomplished through façade modulation, use of engaged columns or other expressions of the structural system, horizontal and vertical divisions through differing textures and materials.	The façade does include horizontal and vertical divisions through differing textures and materials such as brick texture, metal, and windows.
Façade Articulation	Avoid flat looking walls/façades and large, boxy buildings. Break up the flat front effect by introducing projecting elements such as wings, porticos, bay windows, trellises, pergolas, port-cocheres, awnings, recessed balconies and/or alcoves, cornices, or other offsets, changes in plane, and changes in height. On smaller buildings, the break in façade should be every 15' to 25'.	The façade does include canopies over the walk-up entrances and drive-thru. A separate canopy extends from the back of the primary building to the cooler. This is provided for employees to move items from the cooler to inside the primary building without exposure to the elements. There is a change in materials or decorative feature every 15'-20'.
Color	<p>Avoid large areas of the same color and/or materials with no relief. Conversely, avoid the use of too many materials and/or colors, which may create busy or incongruous façades.</p> <p>Earth tones are generally preferred over harsh or loud colors, except where more vibrant colors are used as accents to the primary colors.</p>	The applicant is proposing four different color variations. The four colors meet the Lindon Color Palette.
Roofing	Sloped roofs should be the primary roof form and should use a material that is compatible in material and color with the exterior material of the building. Flat roofs can be used but should always be used with a parapet and/or decorative cornice.	The primary building has a rounded roof whereas the canopy and cooler area that will house supplies for the business has a flat roof.
Exterior Walls and Surfacing (Building Materials)	Brick, stone, or colored decorative block should be utilized as the primary building material (60% or greater of the building), especially on street-facing facades. Stucco, wood, architectural metals, colored decorative concrete and cement board siding may be used as secondary (less than 40%) building materials, and on less visible facades.	<p>The proposed design is mainly a brick façade material with windows that are oriented to the street.</p> <p>The design has both window fenestration every 15 feet, changes in materials, and canopies with architectural detailing such as metal canopies, windows, and brick.</p>

Buffer Zone	Buffer between commercial and residential properties	A minimum seven-foot concrete wall will be constructed as noted on the plans.
Fenestration (Windows and Doors)	Storefront windows should be framed with a material complementary to the primary building material(s). Wood or metal are framing materials that work well with brick or stone. If storefront windows do not reach the ground, a projecting sill should be used at the bottom.	<p>The plans do not show a projecting sill and staff will note this requirement. Metal canopies cover the walk-up entrances and drive-thru receiving area. All windows and doors are framed in metal.</p> <p>Lindon’s Commercial Design Standards require that the front entrance be oriented to the street. 7 Brews has a walk up ordering door on the side of the building but it does not meet the front orientation requirement. With Swig, the planning commission required a walk up window on the front façade instead of the door. The planning commission should consider whether the side ordering door and employee entrance meets this requirement.</p>
Exterior Trim and Detailing	Molding or trim around the windows can be used to enhance a simple window shape. Brick should appear self-supporting and three-dimensional. Use the range of decorative patterns brick offers. Use combinations of soldiers, headers, stringers, etc. to form patterns that create cornices, wall caps, water tables, and other details. Use patterns in a manner consistent with the material. Materials for trim and details shall be compatible with the primary exterior material. Detailing should be authentic with the characteristics and capabilities of the materials.	The brick façade should have a brick trim at the top of the brick where it connects to the window, a decorative cornice should be used instead of a metal cap on the sides of the building. Decorative building lighting needs to be added to the building.

**Engineering Requirements**

The City Engineer is working through technical issues related to the civil engineering plans and will ensure all engineering related issues are resolved before final approval is granted.

**Drainage Ditch**

There is a drainage ditch adjacent to the east property line that is used by Pleasant Grove City for storm water drainage. This ditch does flood at times when the ditch isn’t maintained. Lindon City is unsure if the ditch is on the proposed project site. The developer should also meet with Pleasant Grove City to determine the ditch location. If the ditch is on the development property, then the ditch will need to be piped and the developer will need to work with Lindon City Engineering to create the correct slopes so the property to the south, when it develops, can tie into the pipe.

**Floodplain Approval**

The property is in a flood zone. According to floodplain regulations, buildings must have a 1-foot above base flood elevation. According to Lindon City Code §17.62.140 and §17.62.170, the floodplain administrator reviews and makes the final decision on floodplain development permits and procedures.

### **Staff Analysis**

Staff believe the building meets the architectural requirements of the General Commercial zone with the exception of the door or walk up window oriented to the street and the projecting window sill. See the below Lindon City Commercial Design Standard requirements. The site will be well landscaped and will be a benefit to State Street.

#### **Lindon City Commercial Design Standards – Doors and Building Orientation**

- 2.2 - Orient primary entrances to streets and other public spaces, such as plazas, courtyards, and pathways, that have higher levels of pedestrian activity.
- 5.2.6 - Facades that front on to public ways should contain functional windows and doors, with a balance of solids and voids.

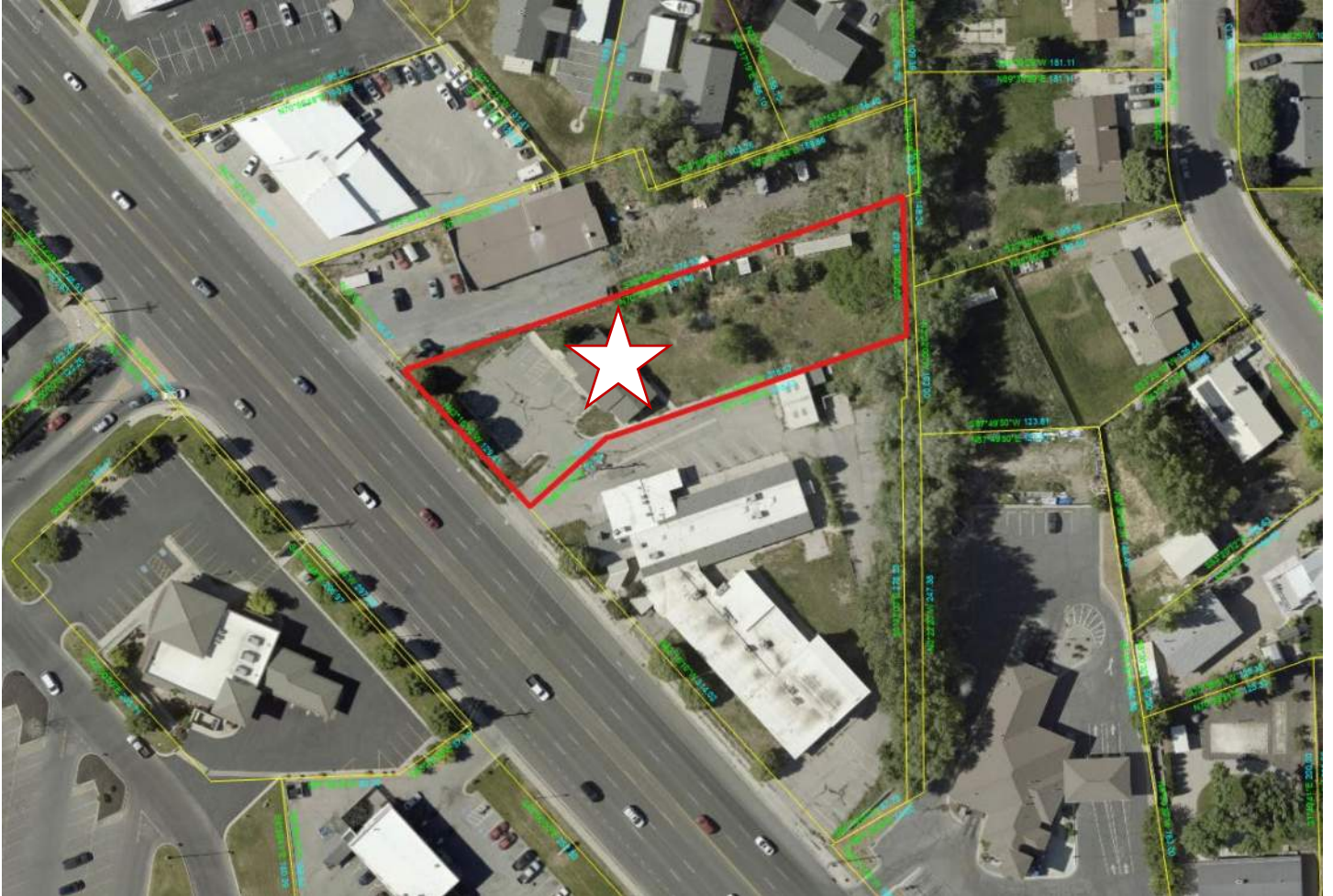
#### **Lindon City Commercial Design Standards – Fenestration (Windows and Doors)**

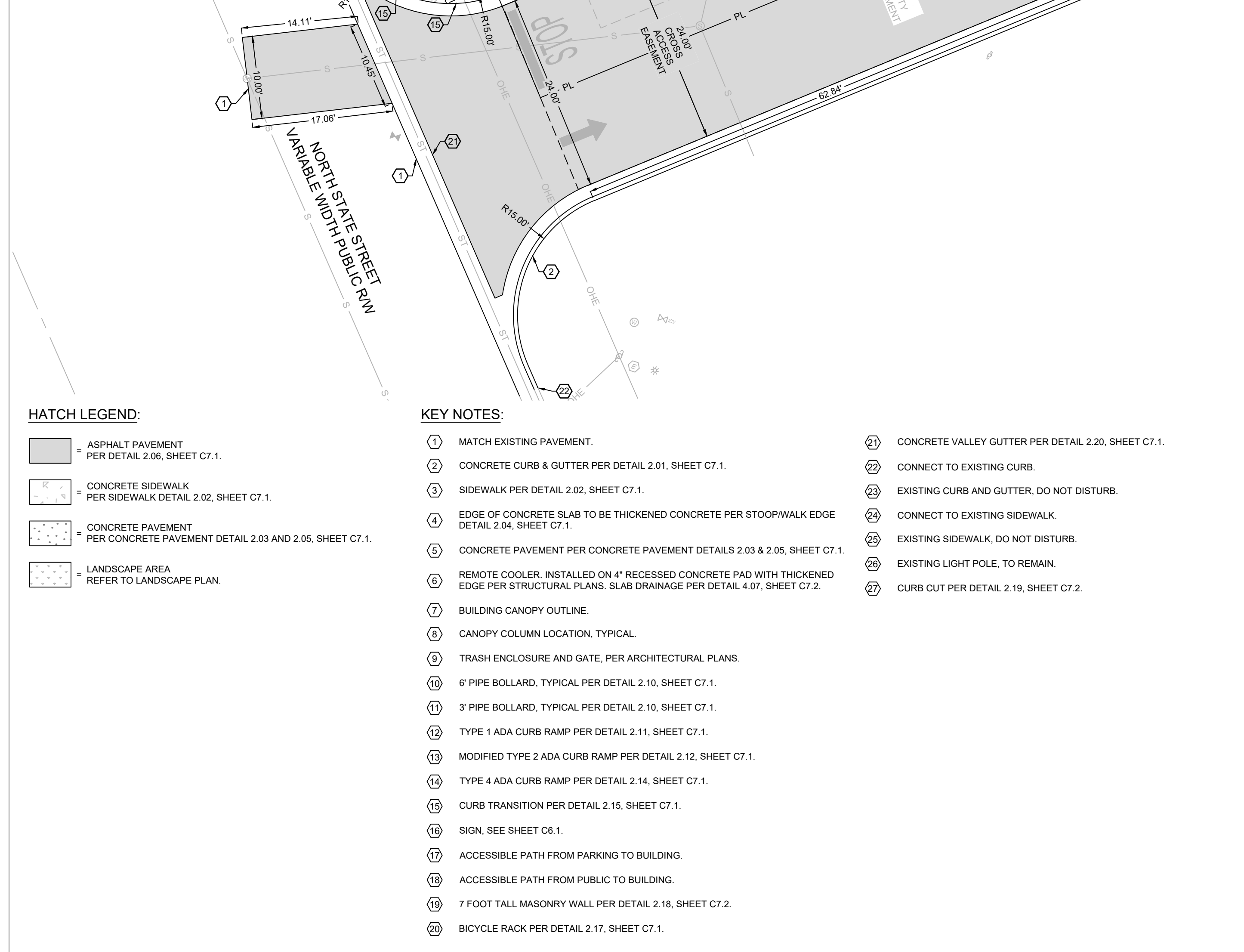
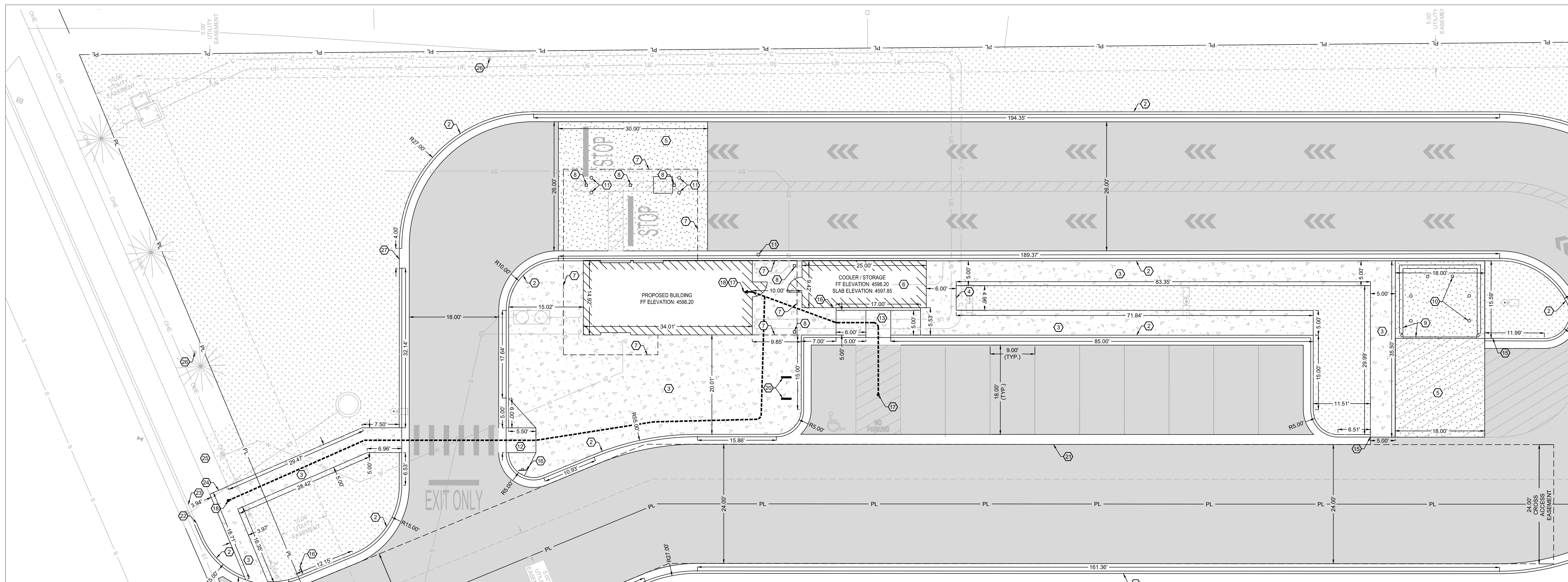
- 5A – One and two-part Commercial Block
  - Large, transparent storefront windows are an essential component of the one-part commercial block.
  - Storefront windows should be framed with a material complementary to the primary building material(s). Wood or metal are framing materials that work well with brick or stone.
  - If storefront windows do not reach the ground, a projecting sill should be used at the bottom.

### **Exhibits**

1. Aerial photo
2. Site Plan
3. Landscaping Plan
4. Building Elevations/Renderings
5. Floodplain Map

Exhibit 1: Aerial photo





**HATCH LEGEND:**

	ASPHALT PAVEMENT PER DETAIL 2.06, SHEET C7.1.
	CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02, SHEET C7.1.
	CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05, SHEET C7.1.
	LANDSCAPE AREA REFER TO LANDSCAPE PLAN.

- KEY NOTES:**
- 1 MATCH EXISTING PAVEMENT.
  - 2 CONCRETE CURB & GUTTER PER DETAIL 2.01, SHEET C7.1.
  - 3 SIDEWALK PER DETAIL 2.02, SHEET C7.1.
  - 4 EDGE OF CONCRETE SLAB TO BE THICKENED CONCRETE PER STOOPWALK EDGE DETAIL 2.04, SHEET C7.1.
  - 5 CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
  - 6 REMOTE COOLER, INSTALLED ON 4" RECESSED CONCRETE PAD WITH THICKENED EDGE PER STRUCTURAL PLANS. SLAB DRAINAGE PER DETAIL 4.07, SHEET C7.2.
  - 7 BUILDING CANOPY OUTLINE.
  - 8 CANOPY COLUMN LOCATION, TYPICAL.
  - 9 TRASH ENCLOSURE AND GATE, PER ARCHITECTURAL PLANS.
  - 10 6" PIPE BOLLARD, TYPICAL PER DETAIL 2.10, SHEET C7.1.
  - 11 3" PIPE BOLLARD, TYPICAL PER DETAIL 2.10, SHEET C7.1.
  - 12 TYPE 1 ADA CURB RAMP PER DETAIL 2.11, SHEET C7.1.
  - 13 MODIFIED TYPE 2 ADA CURB RAMP PER DETAIL 2.12, SHEET C7.1.
  - 14 TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.1.
  - 15 CURB TRANSITION PER DETAIL 2.15, SHEET C7.1.
  - 16 SIGN, SEE SHEET C6.1.
  - 17 ACCESSIBLE PATH FROM PARKING TO BUILDING.
  - 18 ACCESSIBLE PATH FROM PUBLIC TO BUILDING.
  - 19 7 FOOT TALL MASONRY WALL PER DETAIL 2.18, SHEET C7.2.
  - 20 BICYCLE RACK PER DETAIL 2.17, SHEET C7.1.
  - 21 CONCRETE VALLEY GUTTER PER DETAIL 2.20, SHEET C7.1.
  - 22 CONNECT TO EXISTING CURB.
  - 23 EXISTING CURB AND GUTTER, DO NOT DISTURB.
  - 24 CONNECT TO EXISTING SIDEWALK.
  - 25 EXISTING SIDEWALK, DO NOT DISTURB.
  - 26 EXISTING LIGHT POLE, TO REMAIN.
  - 27 CURB CUT PER DETAIL 2.19, SHEET C7.2.

**BUILDING AND LOT DATA:**

PROJECT FOOTPRINT	36,296 S.F. =	0.83 ACRES
PROPOSED BUILDING (1 STORY) - RETAIL	=	510 S.F.
REMOTE COOLER	=	238 S.F.
CONSTRUCTION TYPE: V-B		
IBC OCCUPANCY TYPE: B "BUSINESS"		

**QUANTITIES:**

CURB & GUTTER	= ±	1,279 L.F.
ASPHALT PAVEMENT	= ±	16,906 S.F.
8-INCH CONCRETE PAVEMENT	= ±	1,419 S.F.
4-INCH CONCRETE SIDEWALK	= ±	3,142 S.F.
LANDSCAPING	= ±	10,856 S.F.

**STORMWATER NOTES:**

PRE-PROJECT IMPERVIOUS AREA	= ±	7,668 S.F.
PRE-PROJECT PERVIOUS AREA	= ±	23,646 S.F.
TOTAL	= ±	36,296 S.F.
POST-PROJECT IMPERVIOUS AREA	= ±	25,440 S.F.
POST-PROJECT PERVIOUS AREA	= ±	10,856 S.F.
TOTAL	= ±	36,296 S.F.

**NOTES:**  
 IMPERVIOUS AND PERVIOUS SURFACE CALCULATIONS ARE BOUNDED BY PROPERTY LINE.

**PROPOSED USE:**  
 RESTAURANT WITH DRIVE THRU.

**ZONING:**  
 ZONING: GC - GENERAL COMMERCIAL

**PARKING REQUIREMENTS:**  
 REQUIRED: 1 SPACE PER EMPLOYEES DURING LARGEST SHIFT = 5 STALLS.  
 PROVIDED: 10 STALLS, 9 STANDARD AND 1 ADA.

**DRIVE-THRU QUEUE STACKING REQUIREMENTS:**  
 REQUIRED: N/A SPACES  
 PROVIDED: LANE 1 = 11 SPACES  
 LANE 2 = 13 SPACES  
 TOTAL = 24 SPACES

Know what's below.  
Call 811 before you dig.

1550 E. REPUBLIC ROAD  
SPRINGFIELD, MO 65804  
PH: 417-888-0645 FAX: 417-888-0657  
www.tothassociates.com  
UT# 12860022-0143  
© 2025 Toth and Associates, Inc.



**ENGINEER OF RECORD:**  
 NAME: MATTHEW MILLER  
 LICENSE NO. UT #PE 13113760-2202

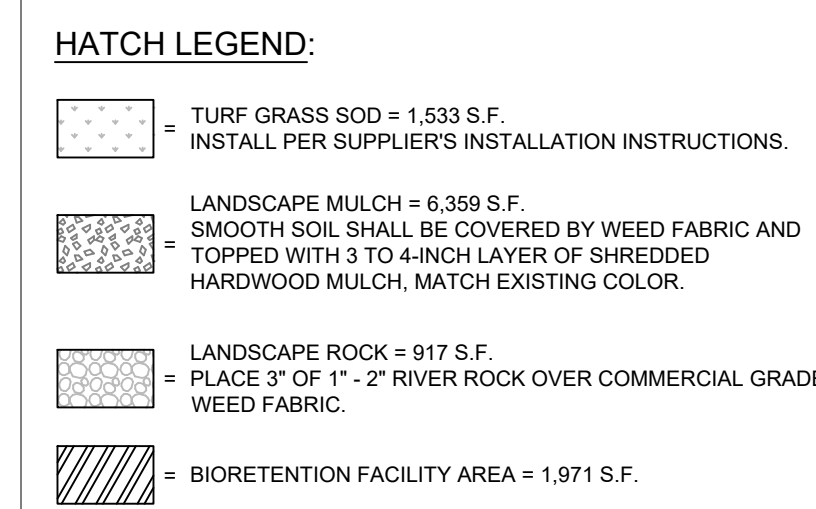
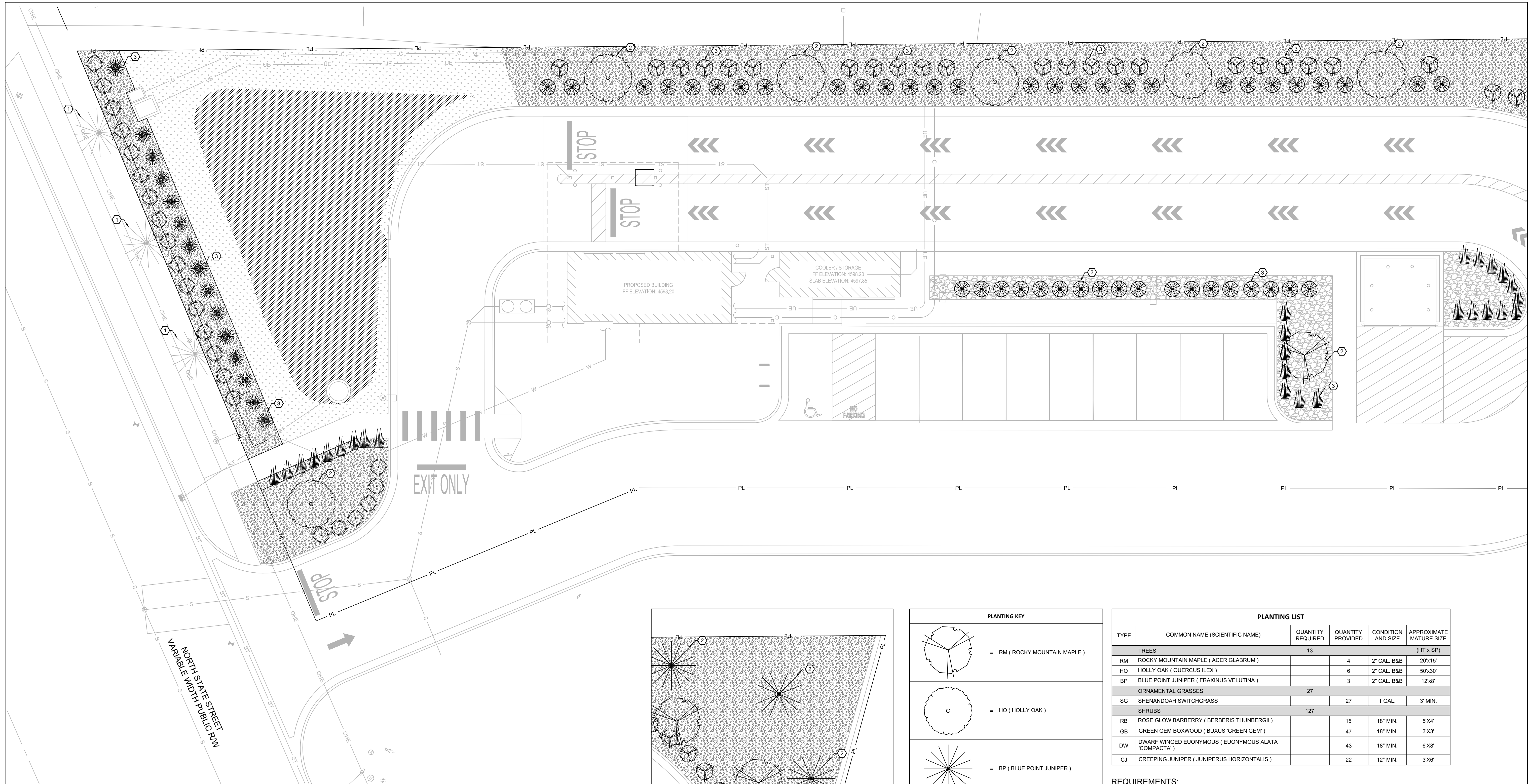
**PROJECT NUMBER:** 99.030  
**REVISION:**

**7 BREW COFFEE  
 LINDON, UTAH 01**

706 N. STATE STREET  
 LINDON, UT 84042

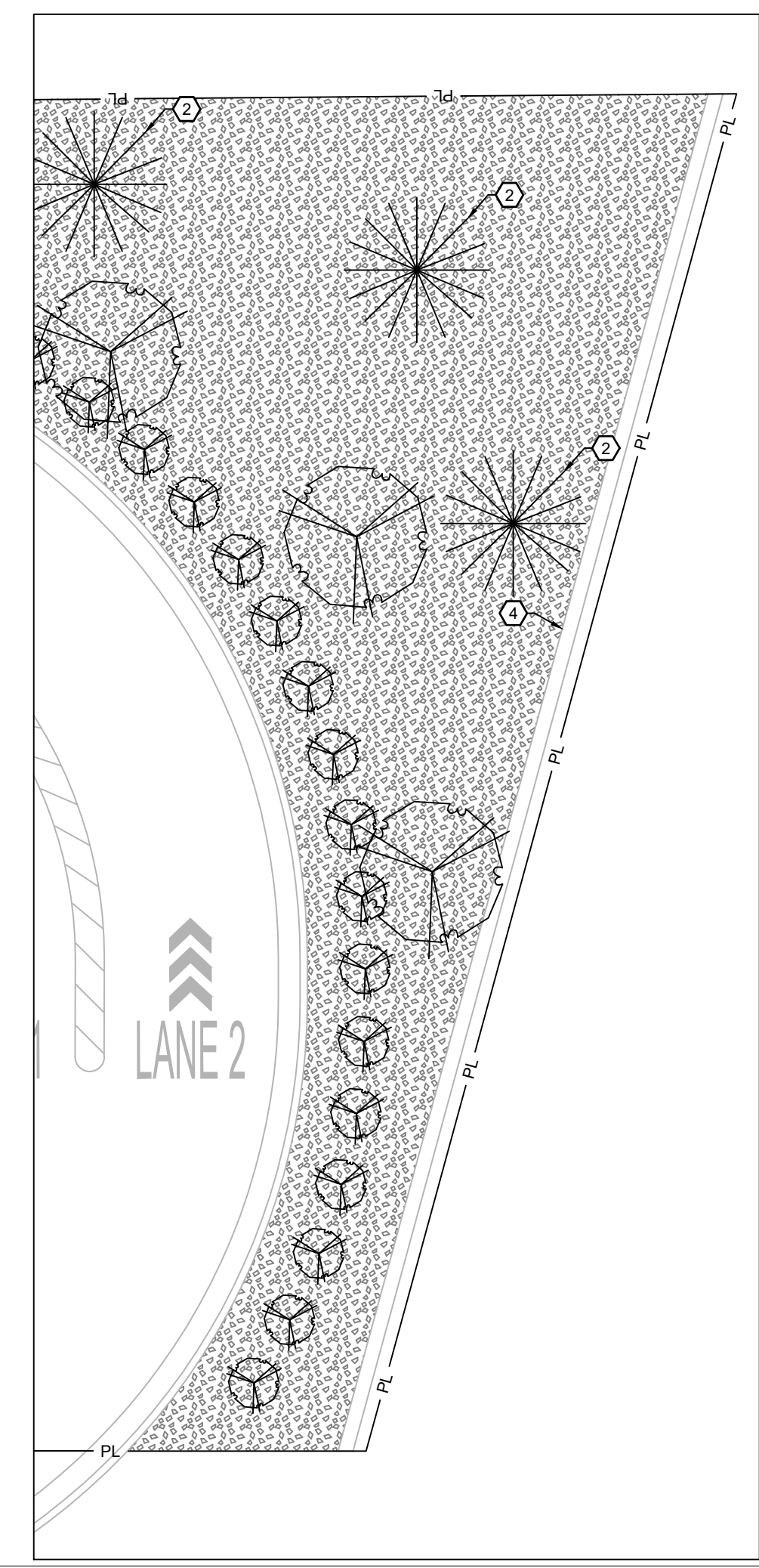
**C2.1**  
 SITE PLAN

DATE: JUNE 17, 2026



- GENERAL LANDSCAPING NOTES**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.
  - STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MIN. QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  - THE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
  - ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
  - SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6" ABOVE THE GRADE.
  - ANY MATERIAL WHICH DIES OR DEFOLIATES PRIOR TO ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED AND REPLACED.
  - CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQS.
  - PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
  - BACKFILL TREE AND SHRUB PITS WITH A PREPARED PLANTING MIX AS FOLLOWS U.N.O.:
    - 2 PARTS BY VOLUME TOPSOIL.
    - 1 PART BY VOLUME BROWN RIVER SAND.
    - 1 PART BY VOLUME PEAT MOSS.
    - 1 LB. COMMERCIAL FERTILIZER PER C.Y. OF MIX.
  - ALL TREE PITS SHALL RECEIVE A MINIMUM OF 24" OF THE SPECIFIED PLANTING MIX.
  - ALL PLANTINGS SHALL BE MULCHED WITH A 3"-4" LAYER OF SHREDDED HARDWOOD MULCH AFTER INSTALLATION OF PLANT MATERIAL.
  - ALL SHRUB PLANTING MATERIAL SHALL MEASURE A MIN. OF 18" IN HEIGHT AT THE TIME OF PLANTING.
  - THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ANY DEVIATION TO THE APPROVED FINAL LANDSCAPING PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION.
  - KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
  - REFER TO SITE GRADING PLAN FOR FINISH GRADES.
  - THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTINGS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE ARCHITECT AND OWNER.
  - CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNER'S REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
  - THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
  - REFER TO SITE PLAN FOR GROUND COVERING REQUIREMENTS.
  - SEEDDED AREAS SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
  - SODDED AREAS SHALL BE INSTALLED PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
  - PERMANENT SEEDING SEASON RUNS FROM MARCH 1ST TO JUNE 1ST AND SEPTEMBER 15TH TO NOVEMBER 1ST. SEEDING AND MULCHING MUST BE DONE WHENEVER WORK IS COMPLETE REGARDLESS OF THE SEASON. WHENEVER SEEDING AND MULCH IS INSTALLED OUTSIDE THE PERMANENT SEEDING SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS WHERE GROWTH HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT SEASON.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE LANDSCAPE IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE IRRIGATION IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.

- KEY NOTES:**
- EXISTING TREE.
  - TREES TO BE PLANTED ACCORDING TO TREE PLANTING DETAIL 5.01, SHEET C7.2.
  - SHRUBS TO BE PLANTED ACCORDING TO SHRUB PLANTING DETAIL 5.02, SHEET C7.2.
  - 7-FOOT MASONRY WALL PER DETAIL 2.18, SHEET C7.2.



**PLANTING KEY**

- RM ( ROCKY MOUNTAIN MAPLE )
- HO ( HOLLY OAK )
- BP ( BLUE POINT JUNIPER )
- RB ( ROSE GLOW BARBERRY )
- GB ( GREEN GEM BOXWOOD )
- DW ( DWARF WINGED EUONYMOUS )
- CJ ( CREEPING JUNIPER )
- SG ( SHENANDOAH SWITCHGRASS )

**PLANTING LIST**

TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY REQUIRED	QUANTITY PROVIDED	CONDITION AND SIZE	APPROXIMATE MATURE SIZE
<b>TREES</b>		13			(HT x SP)
RM	ROCKY MOUNTAIN MAPLE ( ACER GLABRUM )		4	2" CAL. B&B	20'x15'
HO	HOLLY OAK ( QUERCUS ILEX )		6	2" CAL. B&B	50'x30'
BP	BLUE POINT JUNIPER ( FRAXINUS VELUTINA )		3	2" CAL. B&B	12'x8'
<b>ORNAMENTAL GRASSES</b>		27			
SG	SHENANDOAH SWITCHGRASS		27	1 GAL.	3' MIN.
<b>SHRUBS</b>		127			
RB	ROSE GLOW BARBERRY ( BERBERIS THUNBERGII )		15	18" MIN.	5'x4'
GB	GREEN GEM BOXWOOD ( BUXUS 'GREEN GEM' )		47	18" MIN.	3'x3'
DW	DWARF WINGED EUONYMOUS ( EUONYMOUS ALATA 'COMPACTA' )		43	18" MIN.	6'x8'
CJ	CREEPING JUNIPER ( JUNIPERUS HORIZONTALIS )		22	12" MIN.	3'x6'

**REQUIREMENTS:**  
 MAXIMUM OF 20% OF LOT LANDSCAPING SHALL BE LAWN (SOD).  
 LANDSCAPE AREA MATERIALS SHALL CONSIST OF 70% GROUND COVER, TREES, AND SHRUBS.

**LANDSCAPE STRIP:**  
 120 L.F. OF FRONTAGE @ 1 TREE / 30 L.F. = 4 CANOPY TREES REQUIRED  
 THREE EXISTING CANOPY TREES WILL REMAIN ALONG NORTH STATE STREET TO FULFILL THIS REQUIREMENT.

**INTERIOR PARKING LANDSCAPE:**  
 INTERIOR LANDSCAPING MUST BE ARRANGED IN AREAS AT THE ENDS OF PARKING ROWS OR BETWEEN PARKING SPACES.  
 10 PARKING SPACES @ 1 TREE / 10 PARKING SPACES = 1 TREE REQUIRED

**LANDSCAPE QUANTITIES:**  
 TOTAL LANDSCAPE AREA = 10,780 S.F.  
 LAWN AREA = 1,533 S.F. (14%)  
 NON-LAWN PLANTING AREA = 9,247 S.F. (86%)  
 NON-LAWN VEGETATIVE COVERAGE = 6,923 S.F. (75%)



**ENGINEER OF RECORD:**  
 NAME: MATTHEW MILLER  
 LICENSE NO. UT #PE 13113760-2202

**PROJECT NUMBER:** 99.030  
**REVISION:**

**7 BREW COFFEE  
 LINDON, UTAH 01**

706 N. STATE STREET  
 LINDON, UT 84042

**C5.1**  
 LANDSCAPE PLAN

DATE: JUNE 17, 2025

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-4)
E	STANDING SEAM ROOF PANELS (MP-1)
F	METAL BRAKE CAP (MP-3)

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR W/ NICHHA PANELS ATTACHED
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
23	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
24	BOLLARD DESIGN & LOCATION PER CIVIL; PAINT TO MATCH MP-2
25	ELECTRIC CANOPY HEATER



**1 EXTERIOR ELEVATION - WEST**  
3/8" = 1'-0"

REVISIONS		
No.	Description	Date

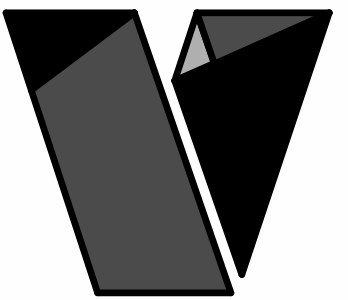
sheet issue date:  
06/16/2026

project no.:  
22.46.32

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:

A2.0



veritas  
architecture + design

707 n. 6th street  
kansas city, ks 66101  
www.veritas-ad.com  
913.308.1460

consulting engineer:

7 BREW DRIVE THRU - LINDON -UT, 680 NORTH

ENCORE 7 BREW, LLC

680 NORTH STATE STREET, LINDON, UTAH 84042

REVISIONS  
No. Description Date

sheet issue date:  
06/16/2026

project no.:  
22.46.32

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:

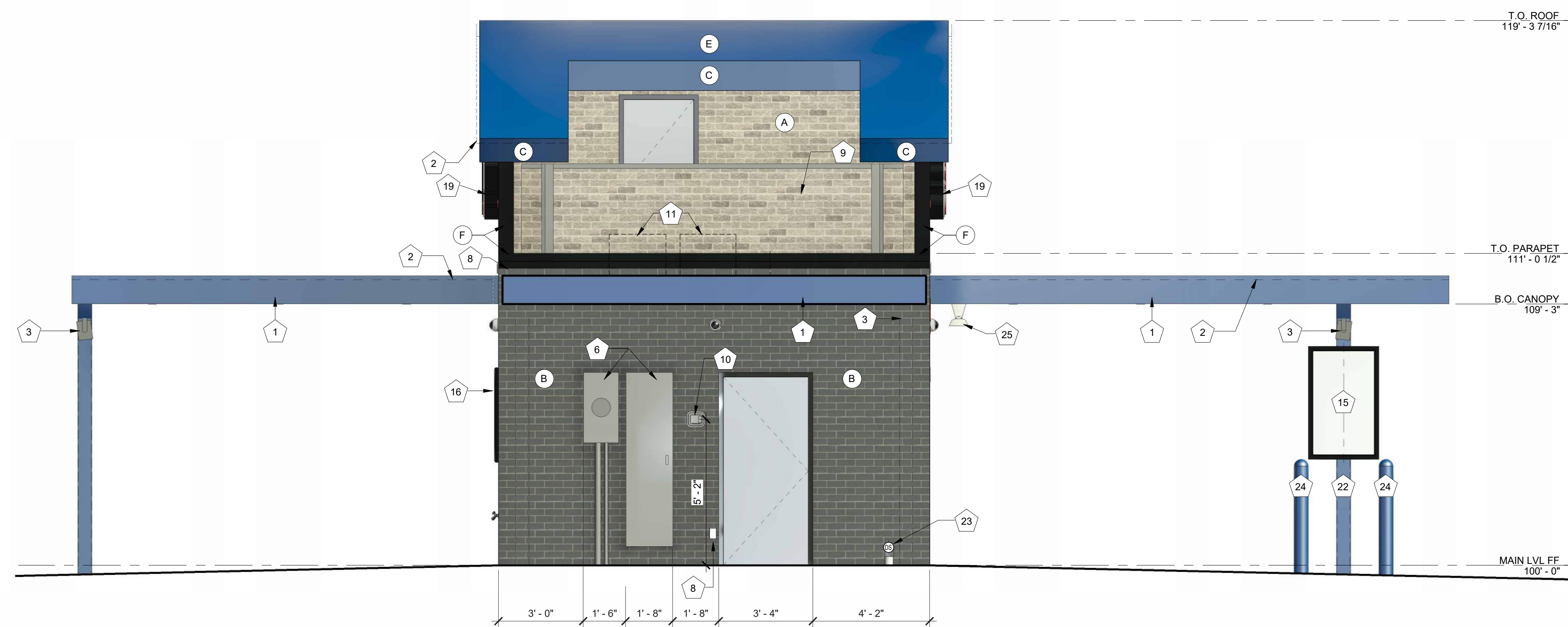
A2.1

### EXTERIOR ELEVATION MATERIALS LEGEND

MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-4)
E	STANDING SEAM ROOF PANELS (MP-1)
F	METAL BRAKE CAP (MP-3)

### EXTERIOR ELEVATION KEYNOTES

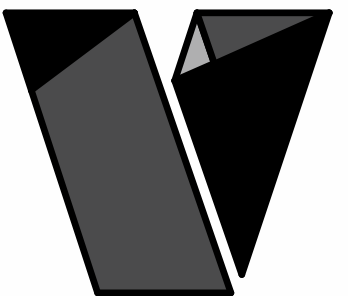
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR W/ NICHIIA PANELS ATTACHED
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
23	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
24	BOLLARD DESIGN & LOCATION PER CIVIL; PAINT TO MATCH MP-2
25	ELECTRIC CANOPY HEATER



**1** EXTERIOR ELEVATION - EAST  
3/8" = 1'-0"

This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. © 2025

6/16/2026 10:00:30 AM C:\Users\Yuleicy Pineda\Documents\22.46.32\_Lindon UT- 680 North\_Permitting\_R22\_yuleicy.rvt



veritas  
architecture + design

707 n. 6th street  
kansas city, ks 66101  
www.veritas-ad.com  
913.308.1460

consulting engineer:

7 BREW DRIVE THRU - LINDON -UT, 680 NORTH

ENCORE 7 BREW, LLC

680 NORTH STATE STREET, LINDON, UTAH 84042

REVISIONS  
No. Description Date

sheet issue date:  
06/16/2026

project no.:  
22.46.32

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:

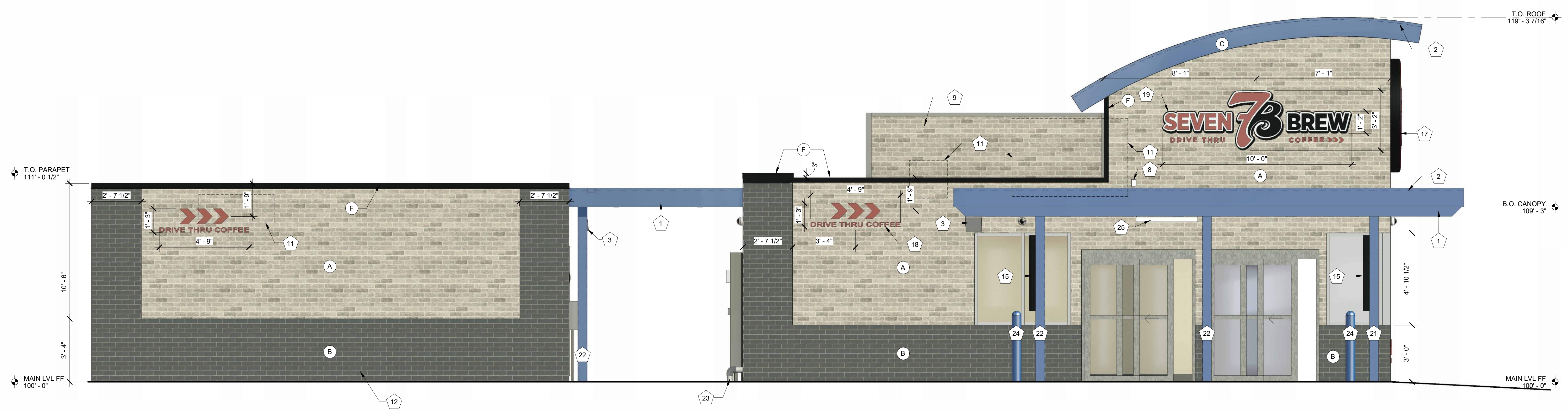
A2.2

**EXTERIOR ELEVATION MATERIALS LEGEND**

MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-4)
E	STANDING SEAM ROOF PANELS (MP-1)
F	METAL BRAKE CAP (MP-3)

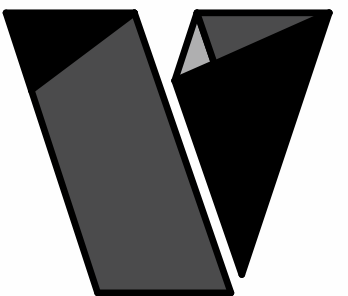
**EXTERIOR ELEVATION KEYNOTES**

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR W/ NICHHA PANELS ATTACHED
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
23	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
24	BOLLARD DESIGN & LOCATION PER CIVIL; PAINT TO MATCH MP-2
25	ELECTRIC CANOPY HEATER



**1 EXTERIOR ELEVATION - NORTH**  
3/8" = 1'-0"

6/16/2026 10:00:36 AM C:\Users\Yuleicy Pineda\Documents\22.46.32\_Lindon UT- 680 North\_Permitting\_R22\_yuleicy.rvt  
7 Brew Template V2.0  
This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. © 2025



veritas  
architecture + design

707 n. 6th street  
kansas city, ks 66101  
www.veritas-ad.com  
913.308.1460

consulting engineer:

7 BREW DRIVE THRU - LINDON -UT, 680 NORTH

ENCORE 7 BREW, LLC

680 NORTH STATE STREET, LINDON, UTAH 84042

REVISIONS

No. Description Date

sheet issue date:  
06/16/2026

project no.:  
22.46.32

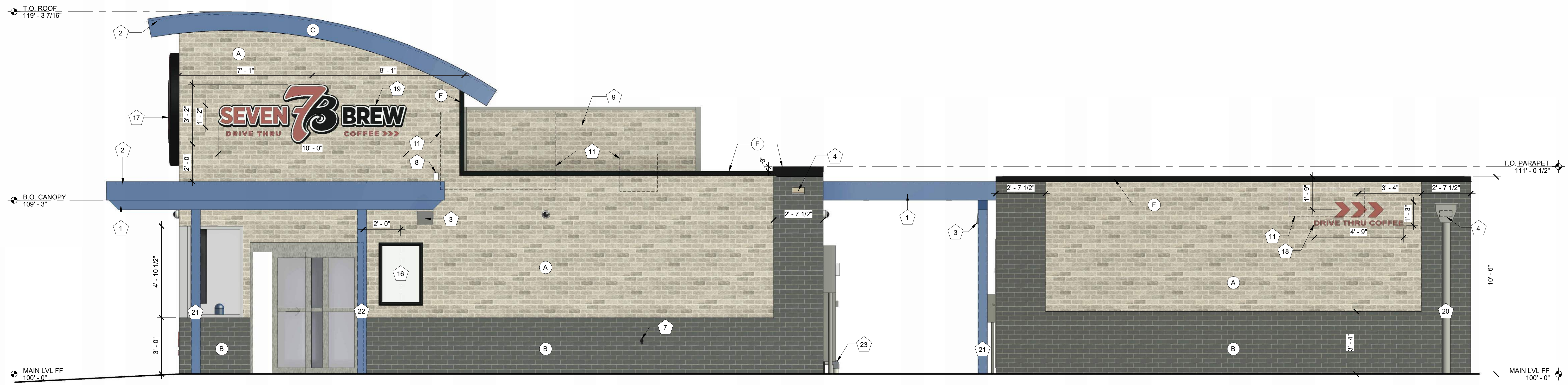
sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:

A2.3

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-4)
E	STANDING SEAM ROOF PANELS (MP-1)
F	METAL BRAKE CAP (MP-3)

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR W/ NICHHA PANELS ATTACHED
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
23	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
24	BOLLARD DESIGN & LOCATION PER CIVIL; PAINT TO MATCH MP-2
25	ELECTRIC CANOPY HEATER



**EXTERIOR ELEVATION - SOUTH**  
3/8" = 1'-0"

6/16/2026 10:00:44 AM C:\Users\Yuleicy Pineda\Documents\22.46.32\_Lindon UT- 680 North\_Permitting\_R22\_yuleicy.rvt  
7 Brew Template V3.0  
This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. © 2025



22.46.32  
7 BREW DRIVE THRU -  
LINDON -UT, 680  
NORTH  
06/16/2026

RENDERINGS



1000 S

1000 S

700 N

400 W

STATE ST

700 N

400 W

PANEL  
49049C0330F  
eff. 6/19/2020

Zone A

LOMA 05-08-0186A  
eff. 3/2/2005

600 N

600 N

00 N

## Item 7: Concept Review — Fortem Building Expansion – 1855 W. 500 N.

**Date:** June 23, 2026  
**Applicant:** Lauren Weldon  
**Presenting Staff:** Michael Florence

**General Plan:** General Commercial  
**Current Zone:** General Commercial  
**Size:** 4.6584 acres

**Type of Decision:** None  
**Planning Commission Action Required:** None



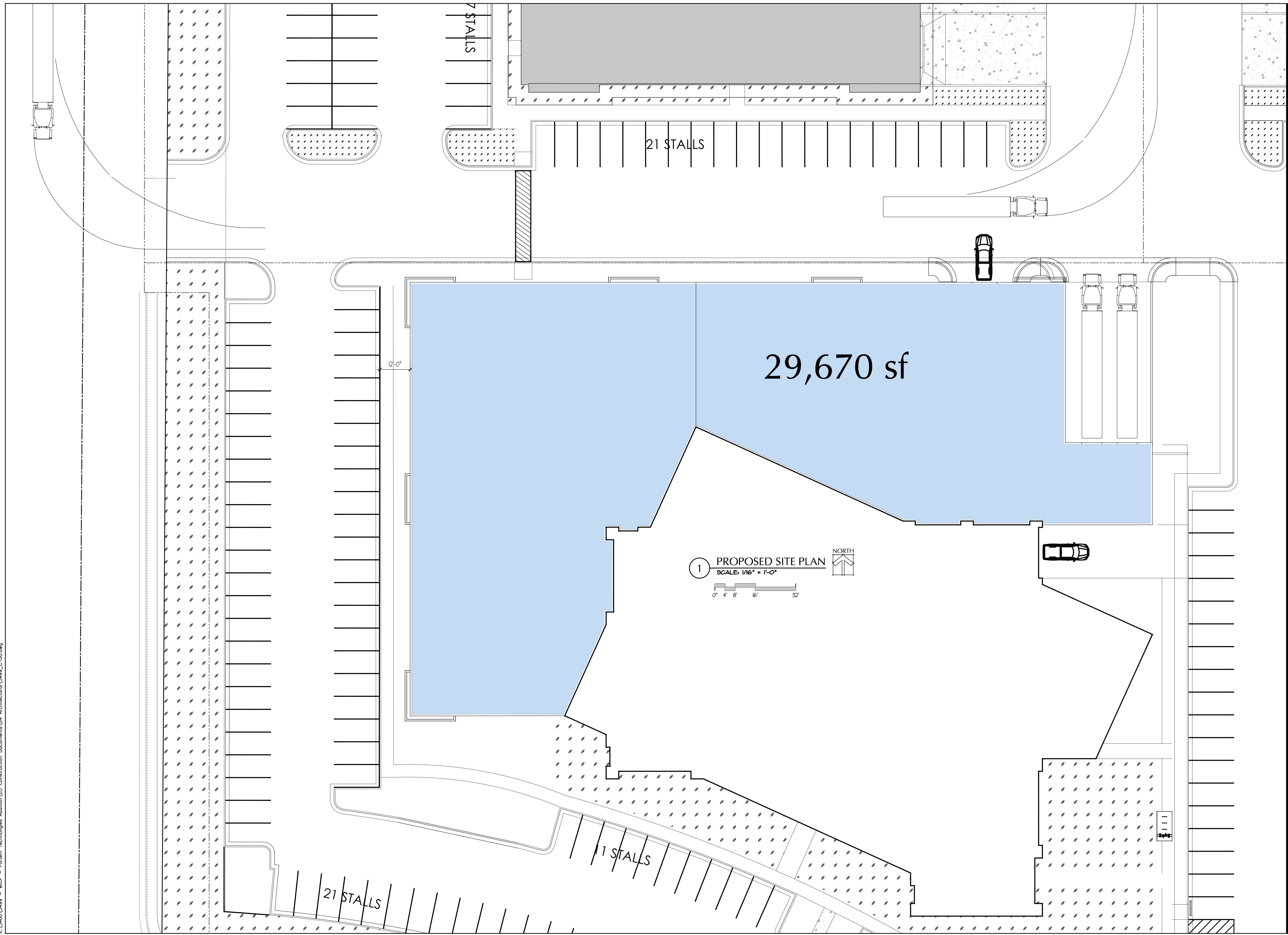
### Overview

- Concept reviews are to provide general feedback only and no decisions will be made or voted on at the meeting.
- The applicant is proposing an addition to the property located at 1855 W. 500 N.
- The applicant has stated that they would like comments that align with their risk profile based on the exact outside architecture along with our compliance with the other issues.
- No parking calculations, landscape percentages or rendering have been provided.
- The proposed project is a permitted use, so the primary requirement is to design the project to comply with the applicable zoning regulations. City staff have recommended that the applicant move to site plan approval, but the applicant has requested a concept review by the planning commission. As far as staff is aware the applicant is not asking for any modifications to site requirements or zoning.

### Exhibits

1. Proposed Site Plan

By: Matthew Williams: May 15, 2026 - 4:57pm  
X:\3400\3499 - WCP - Fortem Technologies Addition\03 Construction Documents\04 Architectural\3499\_C100.dwg



**PGA&W ARCHITECTS**  
ARCHITECTS / PLANNERS  
5263 SOUTH COURIER DRIVE - SUITE 204 - TERRY, UTAH 84077 - PHONE: 801.266.4661

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS

**SITE PLAN**  
A NEW ADDITION FOR:  
**FORTEM TECHNOLOGIES**  
LINDON, UT 84042

PRELIMINARY

DATE: MAY 5, 2025  
JOB NO.: 3499  
© PGAW - 2025

**C100**