

ORDINANCE NO. O-16-2026

AN ORDINANCE OF EAGLE MOUNTAIN CITY, UTAH, AMENDING  
THE EAGLE MOUNTAIN MUNICIPAL CODE SECTION 17.72  
COMMERCIAL AND MULTI-FAMILY DESIGN STANDARDS

*PREAMBLE*

WHEREAS the City Council of Eagle Mountain City finds that it is in the public interest to amend the Eagle Mountain Municipal Code Section 17.72 Commercial and Multi-Family Design Standards, as described in Exhibit A.

BE IT ORDAINED by the City Council of Eagle Mountain City, Utah:

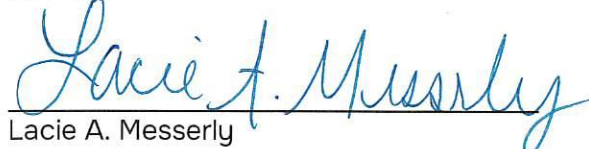
1. The City Council finds that all required notices, public hearings, and other requirements have been completed for the City Council to consider an amendment to the Eagle Mountain Municipal Code Sections 17.72 Commercial and Multi-Family Design Standards, as described in Exhibit A.
2. The amendment described in Exhibit A is hereby approved.
3. This Ordinance shall take effect upon its first posting or publication.

ADOPTED by the City Council of Eagle Mountain City, Utah, this 5<sup>th</sup> day of May, 2026.

EAGLE MOUNTAIN CITY, UTAH

  
\_\_\_\_\_  
Jared Gray, Mayor

ATTEST:

  
\_\_\_\_\_  
Lacie A. Messerly  
City Recorder



CERTIFICATION

The above ordinance was adopted by the City Council of Eagle Mountain City on the 5<sup>th</sup> day of May, 2026.

- | Those voting yes:                                 | Those voting no:                       | Those excused:                         | Those abstaining:                      |
|---------------------------------------------------|----------------------------------------|----------------------------------------|----------------------------------------|
| <input checked="" type="checkbox"/> Melissa Clark | <input type="checkbox"/> Melissa Clark | <input type="checkbox"/> Melissa Clark | <input type="checkbox"/> Melissa Clark |
| <input checked="" type="checkbox"/> Zachory Huish | <input type="checkbox"/> Zachory Huish | <input type="checkbox"/> Zachory Huish | <input type="checkbox"/> Zachory Huish |
| <input checked="" type="checkbox"/> Craig Whiting | <input type="checkbox"/> Craig Whiting | <input type="checkbox"/> Craig Whiting | <input type="checkbox"/> Craig Whiting |
| <input checked="" type="checkbox"/> Rich Wood     | <input type="checkbox"/> Rich Wood     | <input type="checkbox"/> Rich Wood     | <input type="checkbox"/> Rich Wood     |
| <input checked="" type="checkbox"/> Brett Wright  | <input type="checkbox"/> Brett Wright  | <input type="checkbox"/> Brett Wright  | <input type="checkbox"/> Brett Wright  |



*Lacie A. Messerly*

Lacie A. Messerly  
City Recorder

Posted on 4/17/2026 by SA.

# Exhibit A

## Chapter 17.72

### COMMERCIAL AND MULTIFAMILY DESIGN STANDARDS

Sections:

- 17.72.010 What this chapter does.
- 17.72.020 Purpose.
- 17.72.030 Definitions.
- 17.72.040 Commercial Design Standards.
- 17.72.050 Commercial Site Design Standards.
- 17.72.060 Commercial Architectural Standards.
- 17.72.070 Multi-Family Design Standards.
- 17.72.080 Multi-Family Site Design.
- 17.72.090 Multi-Family Architectural Standards.
- 17.72.100 Appendix A: Commercial Downtown Diagrams.
- 17.72.110 Appendix B: Commercial Neighborhood Diagrams.
- 17.72.120 Appendix C: Commercial Community & Regional Diagrams.
- 17.72.130 Appendix D: Business Park Diagrams.
- 17.72.140 Appendix E: Multi-Family Diagrams.
- 17.72.150 Appendix F: Commercial Zoning Addition.

#### **17.72.010 What this chapter does.**

This chapter provides standards and guidelines for the site and building design of commercial and multifamily developments. These standards also apply to industrial parks, warehouses, large corporate office, or campus developments as noted. [Ord. [O-11-2008](#) § 3 (Exh. B § 24.1)].

#### **17.72.020 Purpose.**

The purpose of this chapter is to provide standards and guidelines to enhance the visual quality of development, to help create developments that encourage pedestrian activity, to promote buildings of lasting architecture and aesthetic appeal, to increase functionality and safety of parking areas for pedestrians and vehicles, to minimize the visual expanse of pavement through good site design, and to ensure that a sense of place is created and maintained while the city experiences growth and development. This chapter shall be applied to all commercial and multifamily projects within the city and shall be reviewed during the site plan application process. [Ord. [O-11-2008](#) § 3 (Exh. B § 24.2)].

### 17.72.030 Definitions.

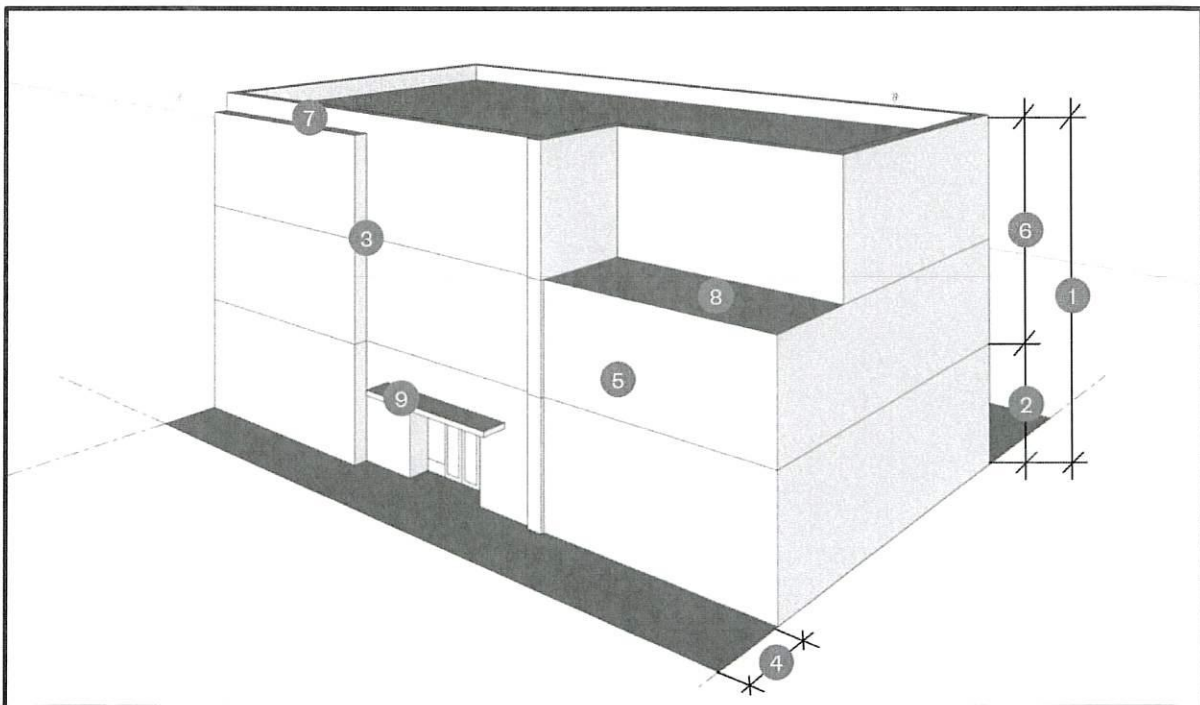
Commercial zones. Reference Chapter 17.35 COMMERCIAL ZONES. The commercial zones referenced in this document will be referred to by the following: Commercial Downtown (CD), Commercial Neighborhood (CN), Commercial Community (CC), and Commercial Regional (CR).

Pad site. A pad site is a smaller commercial building on the periphery of a Commercial Community or Commercial Regional zone. They are held to the same site and architectural standards as Commercial Neighborhood zones unless otherwise noted.

Business park zones. Reference Chapter 17.37 BUSINESS PARK ZONES. This zone will be referenced as Business Park (BP).

Multi-family zones. Reference Chapter 17.25 RESIDENTIAL ZONES. The residential zones referenced in this document will be referred to by the following: MF1 and MF2.

Architectural terms. The diagram below portrays terms that are referenced throughout this document.



1. Building Height: Measured from the average grade to the highest point of the roof

2. Ground Floor: The level of a building with the primary building entrance(s), typically at ground level. Measured from the floor surface of that level to the floor surface of the level above.
3. Horizontal Articulation: Projections from the building inward or outward.
4. Setback: Offset from a specific boundary such as the property line or the building facade.
5. Structural Bay: The space between columns in a building forming a structural module.
6. Upper Floors: Any floors above the ground floor level.
7. Vertical Articulation: Vertical projections, up or down, from the roof level.
8. Upper-Level Step-back: The offset or depth of a portion of the building that is set back from the adjacent facade to create architectural interest. The roof area created by stepping back a section of the building façade creates space that is ideally used for outdoor amenity space.
9. Awnings, trellises, roof elements that project from the face of the façade to protect a window, door, or pedestrian-oriented space.

#### **17.72.040 Commercial Design Standards.**

These commercial design standards apply to commercial zones referenced in Chapter 17.35 with the addition of Commercial Downtown Area and Business Park Zones. If the property falls within a designated character area or overlay zone district, as noted in other areas of the Eagle Mountain Zoning Ordinance, additional design and architectural standards may apply.

#### **17.72.050 Commercial Site Design Standards.**

The arrangement of different elements of a project on the site is vital to creating an environment that is focused on the street and the pedestrian, rather than the vehicle and parking areas. A site can be designed to be visually appealing from the street and still be functional and safe for vehicular circulation and pedestrian access. Minor variations to these standards may be considered by the Planning Commission and City Council if a property contains one of the following constraints: wetlands, steep hillsides, major drainage washes, unusual property shape, existing easements, or a similar constraint/difficulty that can be directly tied to a design standard and adequately justified by the applicant.

A. Building Location. Buildings should be located at or near the minimum front setback line as identified in Title 17, with pedestrian access leading to the primary entrance and landscaping placed between the building and the street .

1. Commercial Downtown and Commercial Neighborhood zone districts. Orienting the primary entrance to a parking area without addressing the street-facing facade with entrances, display windows, awnings, increased architectural elements, increased landscaping, and/or other pedestrian-oriented features is prohibited.
2. Commercial Community and Commercial Regional zone districts. The entryway may be located to face the parking area, however both the entry façade and the façade facing the primary street shall be design in alignment with the primary façade architectural standards.



*Example of a building located near the front setback, addressing the street with the main entryway visible from the primary street.*

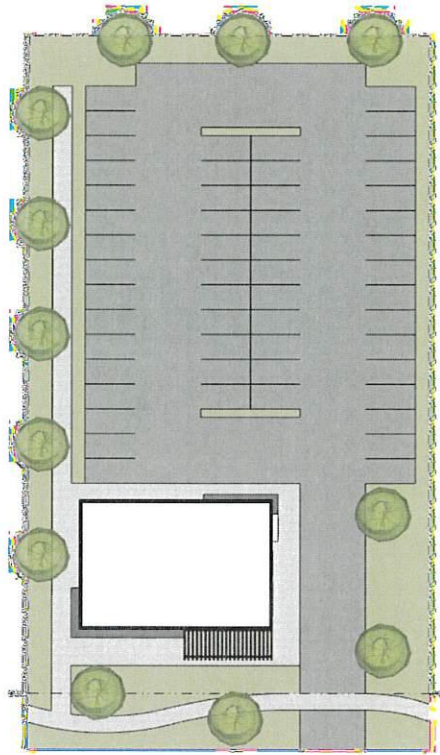
B. Parking. Locate surface parking to the side or the rear of buildings so that it is screened from view from the primary street. Parking is limited between any commercial building and the street as noted in Table 1 below. This is especially important on corners. Large buildings (those with a footprint of great than 30,000 square-foot) excluding Business Parks shall follow the same standard, and/or be designed with pad site buildings along the street edge to screen the expanse of pavement. Pad sites shall meet the same site standards as CN zones unless otherwise noted.

**Table 1. Commercial Parking**

	Commercial Downtown Area	Commercial Neighborhood	Commercial Community	Commercial Regional	Business Park
Parking between building and the primary street	Not permitted		Only permitted if building exceeds 30,000 sf footprint and pad sites are used		Permitted
% Screened from the Primary Street by building(s)	As indicated	66%	50% - pad sites may be used to help screen parking		NA
Landscape buffer between parcel line and front façade or parking	10 ft and align with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING		20 ft and align with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING		
Structured parking façade treatment	Shall be wrapped by a façade that meets all of the same architectural standards as the buildings. Delete from CN - error		NA		
Structured parking fronting primary street	Shall have an active use on the ground floor.		NA		



*Not Permitted – Parking between building and street*



*Required – Parking to the side of and behind the front facade of building*

C. Vehicular Circulation. All commercial developments shall provide a clearly defined and efficient vehicular circulation system that promotes safe and logical traffic flow throughout the site. Vehicular entrances shall comply with Title 16 SUBDIVISIONS, Table 16.35.130 (b). Any drive throughs shall be located as noted in Table 2 and may require screening from street view.

**Table 2. Drive Through Standards**

	Commercial Downtown Area	Commercial Neighborhood	Commercial Community	Commercial Regional	Business Park
Drive Through Screening	NA	100% - Any drive throughs shall be screened from view from the primary street by the building (or located behind the building).	Drive-throughs at pad sites are encouraged to be located to the non-public street elevation of the building. Street screening of the drive through shall be accomplished by the required landscape buffer.		NA
Drive Through Service Lane Standard	NA	Min. width: 10 ft Max. width: 12 ft Max. 1 permitted	Min. width: 10 ft Max. width: 12 ft Max. 2 permitted		NA
Drive Through Escape Lane	NA	1 lane, min. 10 ft wide required in addition to service lane			NA

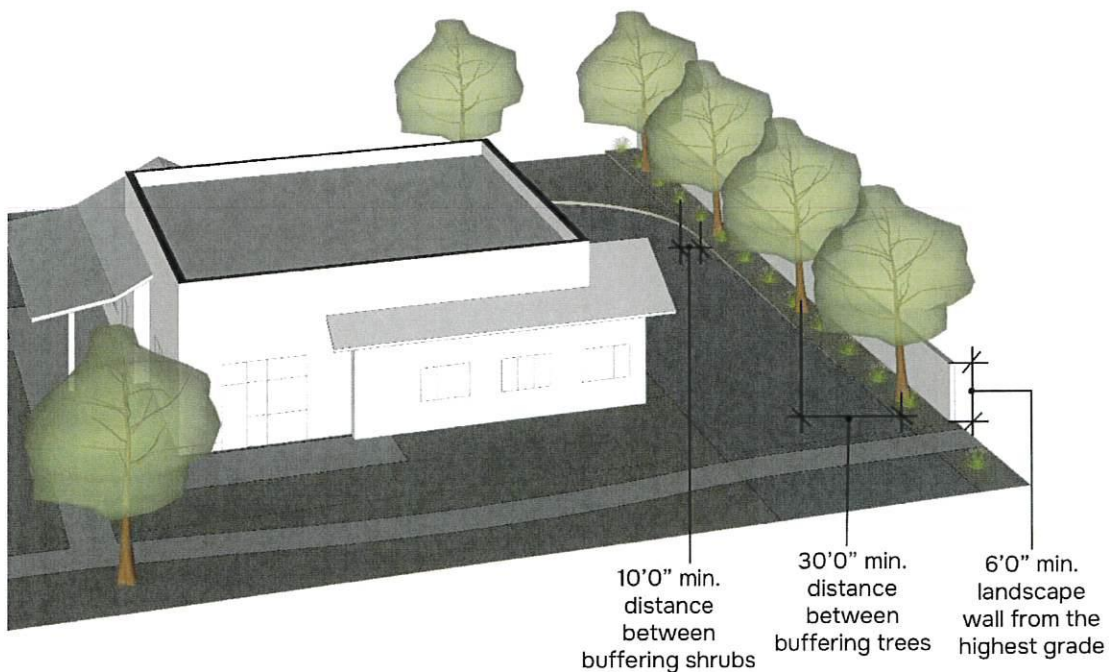


*Drive through located on the side of the building on Pad Sites in the CC or CR zone districts.*

D. Sidewalks. A public sidewalk from the public right-of-way to the primary entry (or entries) is required for all developments. Pedestrian access must also comply with 17.55.090 PEDESTRIAN WALKWAYS AND ACCESSES.

E. Landscaping. Open space and native landscape are a key defining feature of Eagle Mountain. The entirety of the required setback area must be landscaped in accordance with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING. Landscape shall align with waterwise planting requirements and turf grass is limited to areas where it will be actively used for recreation such as sports, playgrounds, and community event space within the development. Landscaping shall also comply with 17.55.080 LANDSCAPING IN PARKING AND DRIVE LANE AREAS and follow the Water Conservation and Management Plan proposed conservation measures and irrigation standards.

In alignment with section 17.100.050 Site plan development standards, there are screening requirements between any commercial properties abutting residential zones. These buffers shall conform to setback regulations and include trees every 30 feet, minimum and shrubs every 10 feet, minimum. The buffer area must also include a 6-foot tall solid wall (as measured from the highest elevation of the site up 6 feet) to block any light from vehicles queuing in the drive through from shining into the residential area.



*Commercial Properties adjacent to Residential Properties are required to implement a landscape wall that is 6-feet from the highest grade on site.*

F. Signage. Signage for a commercial development shall be rooted in the ground as a monument sign. Large aerial or pole signage is not permitted. The monument signage shall be located at each primary entryway and shall incorporate natural materials such as stone and/or wood. Individual business signage shall be wall or awning-mounted, and is permitted on a maximum of three sides of a building. Animated and digital building-based signage is not permitted. All signage shall comply with Chapter 17.80 SIGN REGULATIONS AND SIGN PERMITS (Chapter 6 of the Eagle Mountain Branding Playbook presents the City Signage, and should be used as a design reference for future developments.)

G. Activity Zone. The character of Eagle Mountain is exemplified by high-quality open spaces connected through vehicular and multi-use pathways. To maintain and enhance connections between the public right-of-way and areas of business, an activity zone is encouraged and may be required in front of the primary building. This zone shall include hardscape to support pedestrian activities such as outdoor dining, seating, sales area, covered entryways, etc.

Landscape elements such as hanging plants and small planters are encouraged in activity and circulation zones and shall be designed to ensure they enhance and do not interfere with pedestrian activities.

**Table 3. Activity Zone Standards**

	Commercial Downtown Area	Commercial Neighborhood	Commercial Community	Commercial Regional	Business Park
Activity zone	Required		Encouraged		
Minimum depth	10 ft		15 ft		
Minimum frontage	100% of building frontage	50% of building frontage	Min. 30 ft of the façade length at the primary entryway		



*Activity zones are required in CD, CN, and pad sites*



*Plaza and open space within retail developments enhances the pedestrian and shopping experience*

[Ord. [O-46-2023](#) § 2 (Exh. A); Ord. [O-02-2019](#) § 2 (Exh. A); Ord. [O-11-2008](#) § 3 (Exh. B § 24.3)].

## 17.72.060 Commercial Architectural Standards.

The architectural elements of a building can either enhance the building's visual appeal or detract from the quality of the neighborhood. In order to prevent the construction of bland, out-of-scale buildings that are oriented to vehicular traffic and discourage pedestrian activity, the following minimum architectural standards shall be applied to commercial developments. Variations to these standards may be considered by the Land Use Authority with very specific justification provided by the applicant of how the proposal is more appropriate for the neighborhood and of higher quality than the standard.

A. Architectural Style/Theme. Commercial buildings should be similar in style as significant adjacent buildings. All facades of commercial structures shall be designed with consistent architectural style, detail, and trim features as the primary facade. Separate structures on the site shall be designed similar to the primary structure, including colors, materials, and design elements.

B. Primary Entrance. Building entries must be clearly identifiable through their design from the primary street frontage and/or the primary vehicular and pedestrian access points. All primary entries shall be sheltered either through a setback from the primary façade or through the inclusion of a sheltering feature such as an awning, arcade, or roof element that creates a protective entry. The sheltering elements shall extend a minimum of five feet.



*Required: Clearly identifiable covered entry*



*Not Permitted: Entryway not clearly defined; no sheltering element*

C. Building Height. The maximum allowable building height shall align with Chapter 17.35.040 COMMERCIAL DEVELOPMENT STANDARDS. An additional story may be permitted with design review and approval by the Land Use Authority and if the standards for upper-level step-backs are met for Commercial Downtown, Commercial Community, and Commercial Regional zones.

1. Commercial Downtown and Commercial Neighborhood. The ground floor shall be a minimum of 15 ft in height to preserve the prominence of pedestrian level experience.

D. Upper-Level Step-Backs. When used, step-backs shall be designed to maximize sight lines, create patio/balcony space, and provide visual interest and articulation. All areas that are stepped back shall be accessible to building users and include appropriate amenities and furnishings. The step-back from the main facade shall be equal to or greater than the floor height of the level being stepped back.

1. Commercial Downtown. A third story may be permitted following design review and approval by the Land Use Authority. To be considered for approval, a minimum of 30% of the length of the front elevation of the third floor shall be stepped back from the main façade. The step backs shall be prioritized at the corner(s) to reduce the perceived mass of the building.
2. Commercial Community and Commercial Regional. A fourth story may be permitted for buildings with uses including hospital, hotel, or higher-ed following review and approval by the Land Use Authority. To be considered for approval, a minimum of 20% of the length of the front elevation of the fourth floor shall be stepped back from the main façade. These step-backs

are encouraged at the corners of the building to reduce the perceived scale of the building.

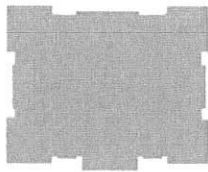
E. Level Differentiation. For Commercial Downtown (CD), Commercial Neighborhood (CN), and Commercial Community (CC) zones, buildings shall be designed with a clear delineation between the ground floor and upper floors. This may be articulated through material variation or architectural detailing above the ground floor. Additional detailing and articulation at the cap or roof are required. This may be achieved through detail elements such as eaves, cornices, and frieze or bracket elements.

F. Façade Articulation. Vertical and horizontal articulation and relief reduces the perceived scale of buildings. All exterior walls facing a street, activity zone, or public space shall be articulated to reflect a human scale. This variation shall include the following strategies:

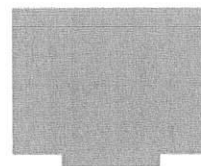
- Modulate the facade by stepping portions of the building in or out the distance required by Table 4 to create shadow lines and visually delineate areas of the building, or visually highlight the building column structure of the building by using detailing to express engaged columns at the building exterior with a change in plane at the column bays.
- Divide the storefront into distinct areas to provide visual interest. Storefront or window bays should not exceed the length specified without a break or change in material to reflect a human scale.

**Table 4. Articulation Standards**

	Commercial Downtown Area	Commercial Neighborhood	Commercial Community	Commercial Regional	Business Park
Maximum wall section without architectural variation on ground floor	35 ft		50 ft		
Maximum wall section without architectural variation on upper floors	70 ft		70 ft		NA
Minimum façade step in or out	1 ft		2 ft		
Minimum change in plane at the column bays	4 in		6 in		NA
Maximum continuous storefront or window bays	25 ft		40 ft		30 ft



*Appropriate Articulation*



*Inappropriate Articulation*



*Not Permitted: Flat facades with only color changes*

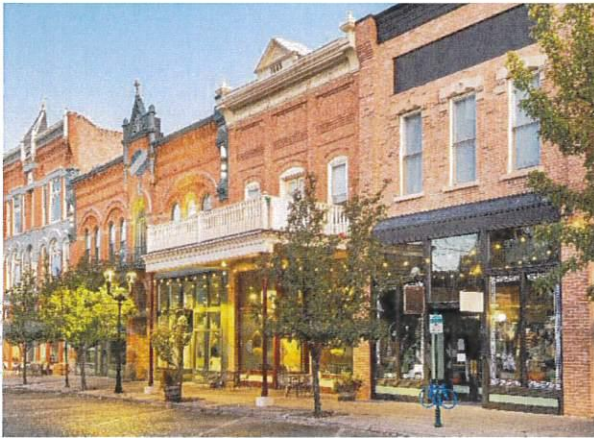
G. Window Design. Windows shall be incorporated on all street-facing facades. A higher window-to-wall ratio at the ground level enhances the pedestrian experience and a differentiation of window density between the ground level and upper level provides visual interest for the building.

A minimum window-to-wall ratio is required on the ground level at exterior walls facing a street, activity zone, or public space and a minimum or maximum window to wall ratio is identified for the upper levels. A minimum of 7.5% of the overall wall area shall be windows on all street facing facades.

1. Commercial Downtown (CD) and Commercial Neighborhood (CN). A minimum window-to-wall ratio of 50% is required at the ground floor facing a primary street and 35% at the ground floor facing a secondary street or parking lot. The window-to-wall ratio shall not exceed 35% at upper levels.
2. Commercial Downtown (CD). Window design shall enhance the architectural character, engage the activity zone, and improve the pedestrian experience. Windows at the street level shall span from the floor, or within 18 inches of the floor to a minimum height of 9 feet above the finished floor. Windows must be cohesive with the building's architectural style, and be highlighted by the use of trim, sills, lintels, or other detailing to add depth. Large spans of windows that reflect curtainwall or overhead door-like appearances are not permitted.



Examples of appropriate ground floor windows within the Commercial Downtown area.



Examples of appropriate window-to-wall ratios within the Commercial Downtown area.

H. Roof Expression. The primary roof form of a structure should help reduce the perceived scale of the building.

Flat roofs shall be screened with parapets on all sides of the building. The parapet height shall be sized to visually obscure any rooftop equipment from the pedestrian view from public and private streets. Where this is not viable, a wall or screen system shall be used to block rooftop equipment from view.

Pitched roofs shall be varied to ensure no singular roof element dominates the building. Pitched roofs shall be a minimum slope of 6:12, and shall not exceed more than 20% of the length of the facade.

Lower roof elements, trellises, awnings, and other architectural shade elements are required to create visual interest and provide a human scale. These shall be located over the main entry and over any occupied rooftop space.

1. Commercial Downtown (CD). Flat roofs are preferred. Pitched roof elements shall be used for architectural interest and variation. No pitched roof shall extend more than 20% the length of the street-facing façade. Parapets shall be varied and feature cornice treatments and/or an architecturally detailed cap elements to clearly delineate the top of the building.
2. Commercial Neighborhood (CN) and Commercial Community (CC). A cap element is required to clearly delineate the top of the building.
3. Commercial Regional (CR) and Business Park (BP). The roof must be vertically varied in height with a minimum 2 ft elevation change, aligned with horizontal articulation to add architectural interest to the building.



*Where pitched roofs are desired, they shall meet a minimum slope of 6:12*



Decorative parapets and multiple roof planes/projections are required for visual interest



*Not permitted due to lack of building articulation*

I. Building Materials. Buildings should incorporate materials used throughout the city and be similar in character and architectural theme as significant neighboring structures. The building facades shall be clad in high-quality, natural materials such as brick masonry, natural stone, wood, composite concrete siding that emulates traditional wood siding, and/or high-quality metal.

- Masonry and stone should reflect natural tones.
- Wood and wood-look materials should be natural in color.
- Painted, powder-coated and high-quality composite metals may be used, colors should be neutral grays and browns.

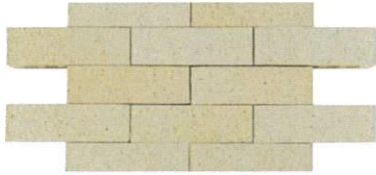
A material board with actual materials and colors shall be presented to the Land Use Authority for approval.

1. Commercial Neighborhood and Commercial Community. Wood and high-quality wood-look materials are encouraged to reflect the natural environment of Eagle Mountain.

**Table 5. Building Material**

	Commercial Downtown Area	Commercial Neighborhood	Commercial Community	Commercial Regional	Business Park
Percent of high-quality material on all facades visible from the primary street	80% shall be brick or stone masonry.	60% shall be high-quality natural material(s).		50% shall be high-quality natural material(s).	20% shall be high-quality natural material(s).
Secondary material	One or more encouraged.	One or more required and distinct in addition to glass.			
Other façades	80% of all visible facades (not directly adjacent to other existing or planned buildings) shall be brick or stone masonry.	40% of all visible facades (not directly adjacent to other planned buildings) shall be high quality natural material(s).		30% shall be high quality natural material(s).	10% shall be high quality natural material(s).
Not Permitted	Corrugated metal EIFS Flat panel façade materials Veneer façade	Corrugated metal		Corrugated metal only permitted as accent material.	

Sawgrass



Bronzestone



Ironstone



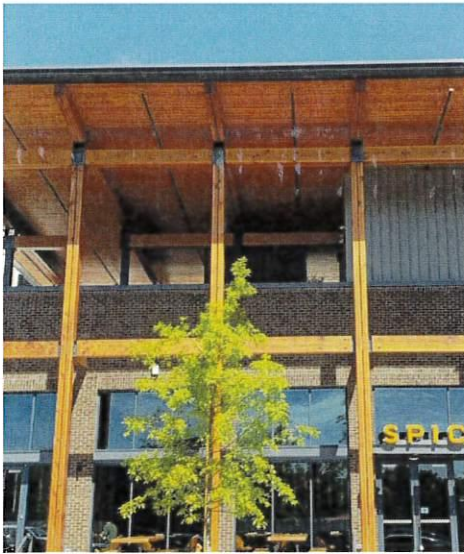
Tumbleweed



Mocha



*Recommended Brick Colors*



*Recommended: Masonry, stone, and metal materials are natural in appearance and complement each other*

J. Accent Colors. Accent Colors may be used to support a business, brand, or highlight key architectural features or elements.

- No more than 7.5% of any façade may be finished using an accent color. Accent colors and materials shall compliment the material palette above as well as the Eagle Mountain City Brand Standards, and shall be approved by the Land Use Authority.
- Artwork, signage and awnings as approved by the Land Use Authority are exempt from this standard.

1. Commercial Downtown. Accent colors may only be used to support a business brand through signage and awnings. Accent colors must be presented to and approved by the Land Use Authority.

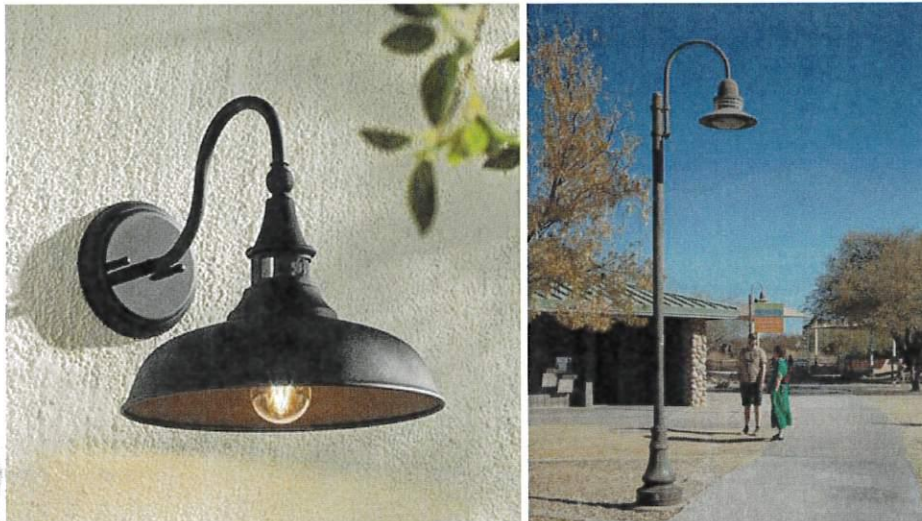


*Permitted: Accent colors used to support brand while complimenting building materials*



*Not Permitted: bright colors and creative architecture overpower the building form and clash with architecture and theming of neighboring buildings and community*

K. Lighting. All lighting shall be dark sky approved and designed to be shielded and directed downward to prevent light glare from adversely affecting neighboring uses/properties. The light source (lamp) of building lighting shall not be visible from beyond the property. Building lighting and parking lot lighting should be decorative in design to add to the architectural style and character of the building and area. Lighting shall be reviewed based on aesthetics, glare, and adequate light for safety. A lighting plan and light fixture design details are required with a site plan application.



*Lighting aligns with the Eagle Mountain aesthetic and directs light downward (dark-sky compliant)*

L. Mechanical Equipment. All mechanical equipment shall be located behind the building(s), buffered from view from any public or private street(s) or located on the roof screened in accordance with section H. Roof Expression. If equipment must be located in an area visible by the public ROW, the equipment shall be screened. Screens shall be designed to reflect the design of the building and shall employ to the color and materials of the primary building. Screening includes walls, landscaping, parapet walls, or a combination thereof. All electrical service equipment should be painted to match the wall color or screened to blend with the surrounding environment.

M. Storage, Loading Areas, and Trash Enclosures. Storage and loading areas and trash enclosures shall be located out of view from public streets, and shall be screened and designed with the architectural style of the building, including materials, colors, details, etc. Chain link fences and fencing with vinyl slats are prohibited as screening. The consolidation of trash areas between businesses is encouraged. Refer to Chapter 17.100 SITE PLAN REVIEW section 17.100.060 Architectural requirements for more details.



*Screening wall – same materials as building*

[Ord. [O-50-2023](#) § 2 (Exh. A); Ord. [O-11-2023](#) § 2 (Exh. A); Ord. [O-09-2017](#) § 2 (Exh. A);  
Ord. [O-25-2008](#) § 2 (Exh. A §§ 24.4.9 – 24.4.12); Ord. [O-11-2008](#) § 3 (Exh. B § 24.4)].

### **17.72.070 Multi-Family Design Standards.**

These standards apply to buildings within the multi-family residential zones including MF1 and MF2. In addition to these standards, reference chapter 17.25.040 RESIDENTIAL DEVELOPMENT STANDARDS for building and layout restrictions. If the property falls within a designated character area, additional design and architectural standards may apply.

For the purpose of this section, a duplex or twin home shall not be considered a multifamily dwelling. The design standards contained in this section shall not apply to duplex or twin home dwellings unless contained in a development agreement.

The developer is responsible for construction of the public right-of-way elements associated with the project in accordance with Chapter 16 of the Eagle Mountain Municipal Code.

Refer to the diagrams in Appendix E for application of the following standards into each zone.

### **17.72.080 Multi-Family Site Design.**

A. Building Location and Orientation. Buildings should be located at or near the minimum front setback line, with pedestrian access leading to the primary entrance and landscaping placed between the building(s) and the street. Multifamily developments often have buildings facing onto internal courtyards and open space. The buildings adjacent to streets, however, shall front those streets and provide a primary entrance toward the street.

Blank walls and/or rear facades shall not be placed adjacent to or facing public streets. Orienting the primary entrances to a courtyard or open space without addressing the street-facing facade with entrances, windows, awnings, increased architectural elements, increased landscaping, and/or other pedestrian-oriented features is prohibited.

B. Parking. Surface and guest parking areas shall be located to the rear or side of buildings wherever feasible. Where parking may be visible from the primary street, it shall be screened by landscaping or other site elements.

C. Garages shall be placed to the rear of buildings, accessed by a service drive where feasible. If garages must be located on the side or front of the building(s), they shall be a minimum distance of 15 ft from each other. Any garages placed on

the front facade, shall comply with the following standards so as to minimize their appearance from the street:

- Horizontally staggered back and forth;
- Setback 5 feet from the front entry facade;
- Setback at least 22 feet from the front property line

1. Drive access. Driveways shall align with requirements and provisions set forth in Chapter 17.25 RESIDENTIAL ZONES. Private service drives and alleys to residential parking areas are encouraged. All driveways must be a minimum of 22 feet in length, beyond the sidewalk or adjacent alleyway to allow a car to park in the driveway without blocking the vehicular or pedestrian path. If an alleyway is provided, a minimum 4-foot-wide sidewalk is required on at least one side of the alley with a curb and gutter or a distinct change in material between the alley and sidewalk to increase pedestrian safety. If a development includes a 1-car garage at each unit, they shall also provide at least one additional covered parking space on the property for each unit.



*Appropriate – Multifamily facades not dominated by garages*



*Garages accessed by private service drive*

D. Vehicular circulation. Private services drives to residential parking areas are encouraged, in alignment with Title 16 SUBDIVISIONS, Table 16.35.30 (b).

E. Open Space. Residential developments require improved open space in compliance with 17.25.040 RESIDENTIAL DEVELOPMENT STANDARDS. It is important to treat the unbuilt portion of a site as a designed, functioning space. The different buildings on site shall be arranged in a way that maximizes useable open/plaza space. Buildings should be clustered and open space should be combined in larger, more useable areas. Creativity with open space design is also encouraged.



*Buildings are clustered to maximize useable open space*

F. Landscaping: Open space and native landscape are a key defining feature of Eagle Mountain. The entirety of setback area must be landscaped in accordance with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING. Landscape shall align with waterwise planting requirements and turf grass is limited to areas where it will be actively used for recreation such as sports, playgrounds, and community event space within the development. Landscaping in surface parking areas shall also comply with 17.55.080 LANDSCAPING in parking and drive lane areas. Traditional, landscaped front yards are required within the front setback. Landscaping shall align with Chapter 17.60 LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING.

G. Signage. Signage for a multi-family development shall be rooted in the ground as a monument sign. Large aerial or pole signage is not permitted. The monument signage shall be located at each primary entryway and shall incorporate natural materials such as stone and/or wood. All signage shall comply with Chapter 17.80 SIGN REGULATIONS AND SIGN PERMITS (Chapter 6 of the Eagle Mountain Branding Playbook presents the City Signage, and should be used as a design reference for future developments).

I. Lighting. All exterior lighting shall be dark sky complaint. All lighting shall be designed to be shielded and directed downward to prevent light glare from adversely affecting neighboring uses/properties. (Chapter 17.72 EMMC). Building lighting and parking lot lighting should be decorative in design to add to the architectural style and character of the building and area. Lighting shall be reviewed based on alignment with Eagle Mountain aesthetics, glare, and adequate light for safety.

[Ord. [O-46-2023](#) § 2 (Exh. A); Ord. [O-02-2019](#) § 2 (Exh. A); Ord. [O-11-2008](#) § 3 (Exh. B § 24.3)].

## 17.72.090 Multi-Family Architectural Standards.

The architectural elements of a building can either enhance the building's visual appeal or detract from the quality of the neighborhood. In order to prevent the construction of bland, out-of-scale buildings that are oriented to vehicular traffic and discourage pedestrian activity, the following minimum architectural standards shall be applied to multifamily developments. Minor variations to these standards may be considered by the planning commission and city council with very specific justification provided by the applicant of how the proposal is more appropriate for the neighborhood and of higher quality than the standard.

A. Architectural Style/Theme. All facades of multifamily structures shall be designed with consistent architectural style, detail, and trim features as the primary facade. Separate structures on the site shall be designed similar to the primary structure, including colors, materials, and design elements.

B. Main Entrance. The primary entrance for each unit for a townhouse, rowhouse, or stacked flat shall have a uniquely designed entrance. These entries shall be highlighted through the integration of a covered porch. Entryways (roofs and porches at a minimum) shall be set forward a minimum of three feet from the front-most façade. If the side of a building faces a street, an entrance should be provided on that facade.

Mansion House or Big House style multi-family buildings may have shared entryways, but these entries shall be clearly identifiable and shall include a protective roof element with a minimum of five feet in depth.



*Multifamily unit entry defined with covered porch*



*Entryways that are not clearly defined and do not include a sheltering element are not permitted*

C. Building Height. The maximum allowable building height and ancillary structure height shall align with Chapter 17.25.040 RESIDENTIAL DEVELOPMENT STANDARDS.

Upon review and approval by the Land Use Authority, an additional story may be permitted if a minimum of 50% of the length of the front elevation of the third floor is stepped back from the main façade.

1. Upper-Level Step-backs. When used, step-backs shall be designed to maximize sight lines, create patio/balcony space, and provide visual interest and articulation. Upper-level step backs shall be designed to maximize sight lines, create patio/balcony space, and provide visual interest and articulation. The step back from the main facade shall be equal to or greater than the floor height and be distributed along the length of the façade, and not clustered on one side or the other.

D. Unit Outdoor Amenities. Each unit above the ground floor shall include a minimum of a 50 square foot balcony or patio with a minimum of 5-foot depth. Each unit on the ground floor or below shall include a minimum of 75 square foot patio.

E. Façade Articulation. All facades shall include articulation. Facades shall not exceed 30 feet without horizontal articulation of at least 2 feet to create visual interest along the elevation, avoiding monotonous building facades in accordance with 17.25 EMMC. A horizontal break in materials or horizontal articulation is also required between the second and third floors.

F. Window/Wall Ratio. The front façade should have a minimum of 20% window to wall ratio and the side and rear facades shall have a minimum 12.5% window to wall ratio. Side and rear facing windows shall have the same proportions as front façade windows for visual consistency on all sides of the building. All required windows shall be transparent. All windows on the primary façade shall incorporate at least two (2) of the following features:

- High-quality trim or molding at least four inches in width
- Canopies, shutters, or awnings proportional to window size; and/or
- Recessed insets from the primary facade by at least two inches

Bathroom windows can be sized appropriately for privacy.

G. Roof Expression. For multifamily buildings, both flat and pitched roofs may be permitted. No roof form shall exceed 30 feet in length without vertical articulation (flat roofs) or change of form (pitched roofs).

Pitched roofs are the most appropriate within Eagle Mountain City and shall meet the following standards:

- A minimum roof pitch of 6/12
- Overhanging eaves with a minimum 16-inch overhang at the eaves (including gutters) on non-gable ends
- Multiple roof planes per building and facade
- Deep eaves, overhangs, canopies and other architectural features that provide shelter from the elements in winter and shade in summer shall be incorporated in the building entryway.

Flat roofs are permitted where rooftop amenities are located. If a flat roof is used, it shall meet the following standards:

- Vary parapet height on all sides to visually obscure any rooftop equipment from the pedestrian view and from public and private streets.



*Decorative parapets and multiple roof planes/projections*

H. Building Materials. Buildings should incorporate materials used throughout the city and be similar in character and architectural theme as significant neighboring structures. The primary building material shall be a human-scaled material such as brick, stone, or composite concrete siding that emulates traditional wood. A secondary material must be provided to clad a minimum of 20% of the primary facade. Secondary materials must also have a human scale, and may include any of the materials noted above. Two materials shall be used on every façade, and non-street facing facades shall have a human-scaled material for a minimum of 35% of the facade.

- Masonry and stone should reflect natural tones.
- Wood and wood-look materials should be natural in color.
- Corrugated metal is not permitted.
- EIFS, stucco, or other more monolithic materials may only be used on non-street facing facades.

All proposed materials shall be presented to the Land Use Authority on a material board with actual product samples for approval.

All proposed exterior materials shall have a minimum 20-year warranty, which shall also be presented with the material board for approval.



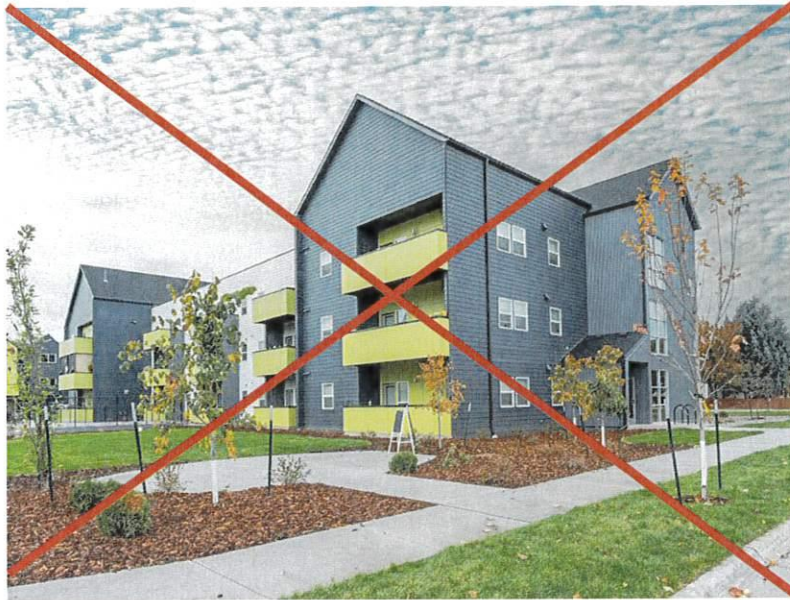
*Varied materials are required. Brick, stone, composite or wood-look siding are preferred to reflect the quality and character of Eagle Mountain.*

I. Primary and Accent Colors. Each building, excluding the roof, shall use no more than four colors, maintaining a consistent color scheme that follows natural element patterns. A building's color palette should be similar to that of significant neighboring structures.

Accent Colors may be used to highlight key architectural features or elements. Accent colors and materials shall compliment the material palette as well as the Eagle Mountain City Brand Standards, and be approved by the Land Use Authority. Approved accent materials and colors may be used for up to 10% of the building finishes.



*Natural colors that compliment the environment and adjacent building materials are preferred.*



*Bright colors and creative architecture overpower the building form and clash with architecture and theming of neighboring buildings and community are not permitted.*

J. Mailbox Structures. Cluster mailboxes are required by the U.S. Postal Service for multifamily developments. The design of these mailboxes should not detract from the project, but should be designed to incorporate the buildings' materials and color.



*Not Permitted*

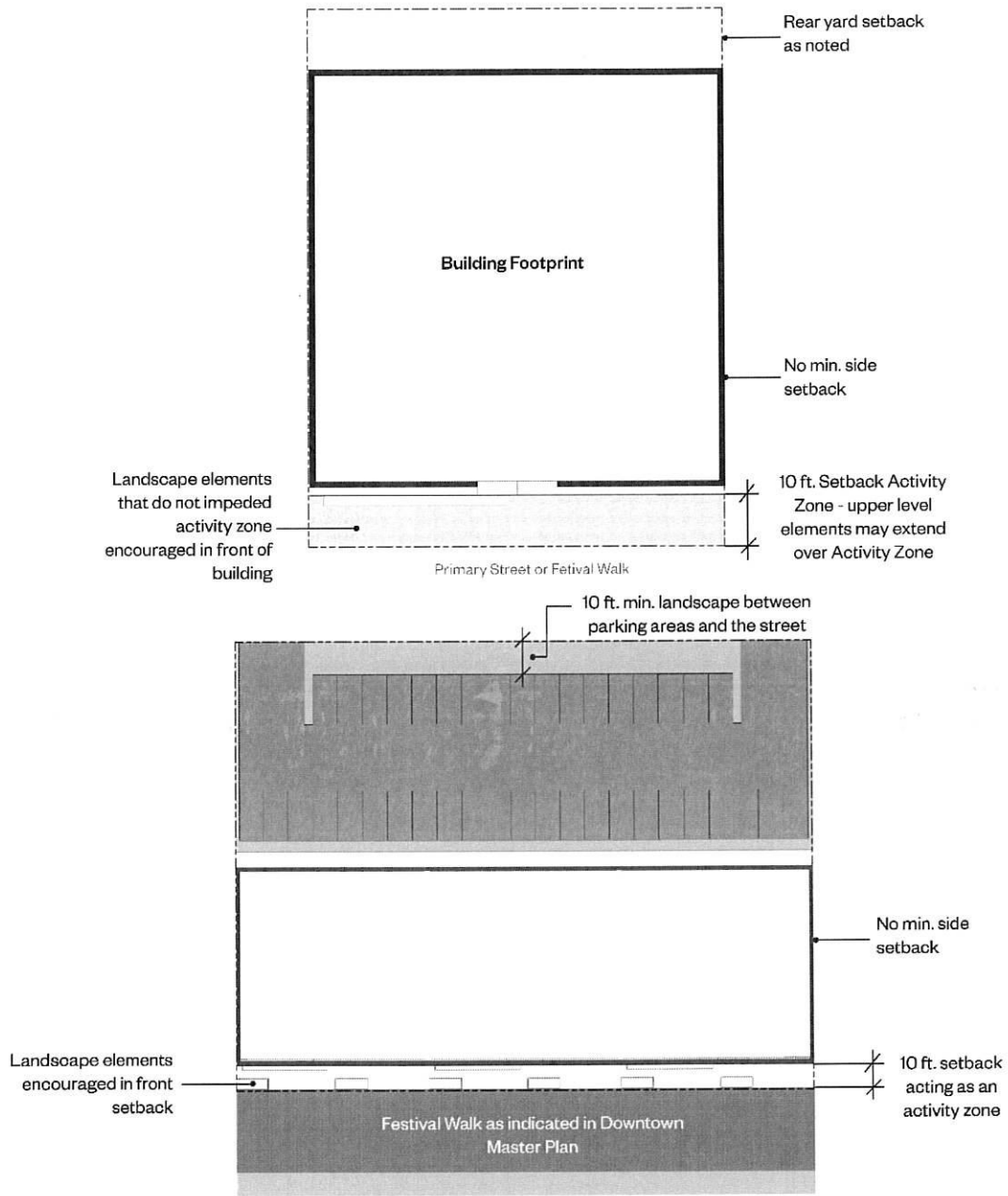


*Design of mailbox structures should incorporate the surrounding buildings' materials and colors.*

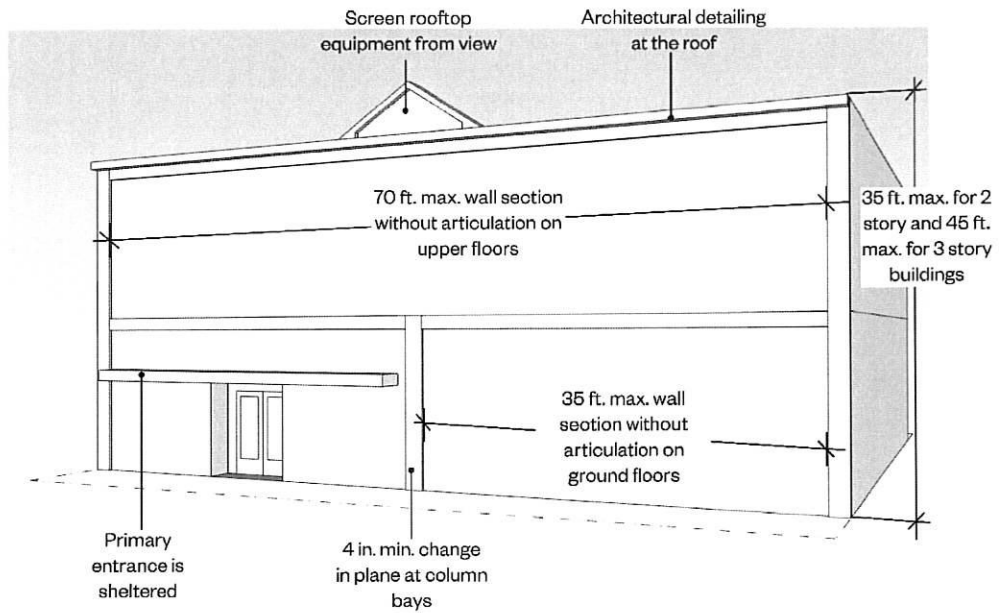
K. Mechanical Equipment. All mechanical equipment shall be screened so as not to be visible from any public or private streets. Screens shall be designed to reflect the colors and materials of the primary building(s). Screening may include solid walls, landscaping, screened walls, or a combination thereof. All electrical service equipment should be painted to match the development or screened to blend with the surrounding terrain.

L. Storage, Loading Areas, and Trash Enclosures. Storage and loading areas and trash enclosures shall be located out of view from public streets, and shall be screened and designed with the architectural style of the building, including materials, colors, details, etc. Chain link fences and fencing with vinyl slats are prohibited as screening.

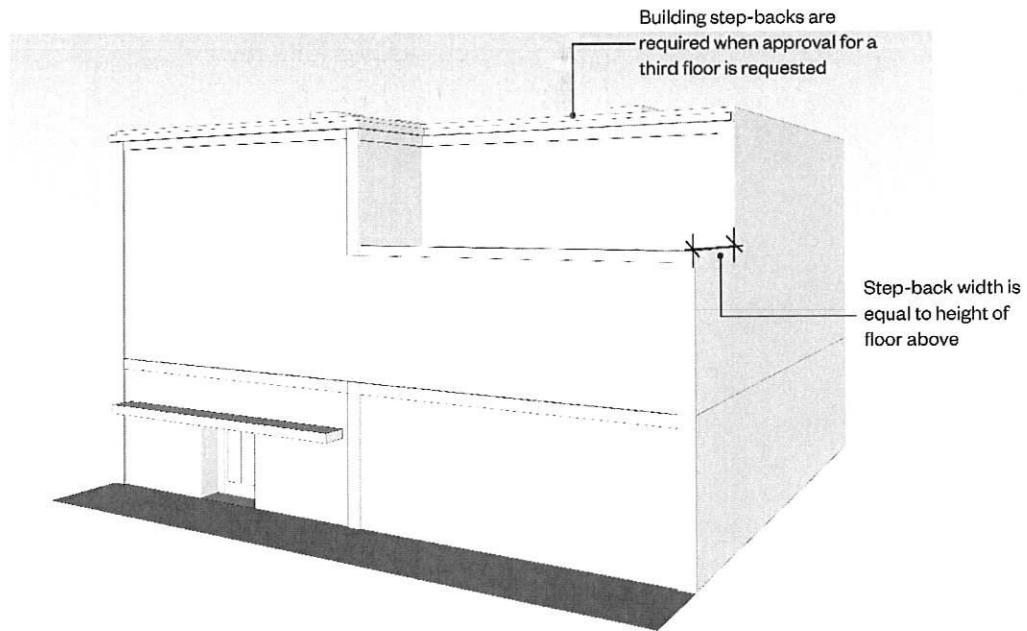
# 17.72.100 Appendix A: Commercial Downtown Diagrams



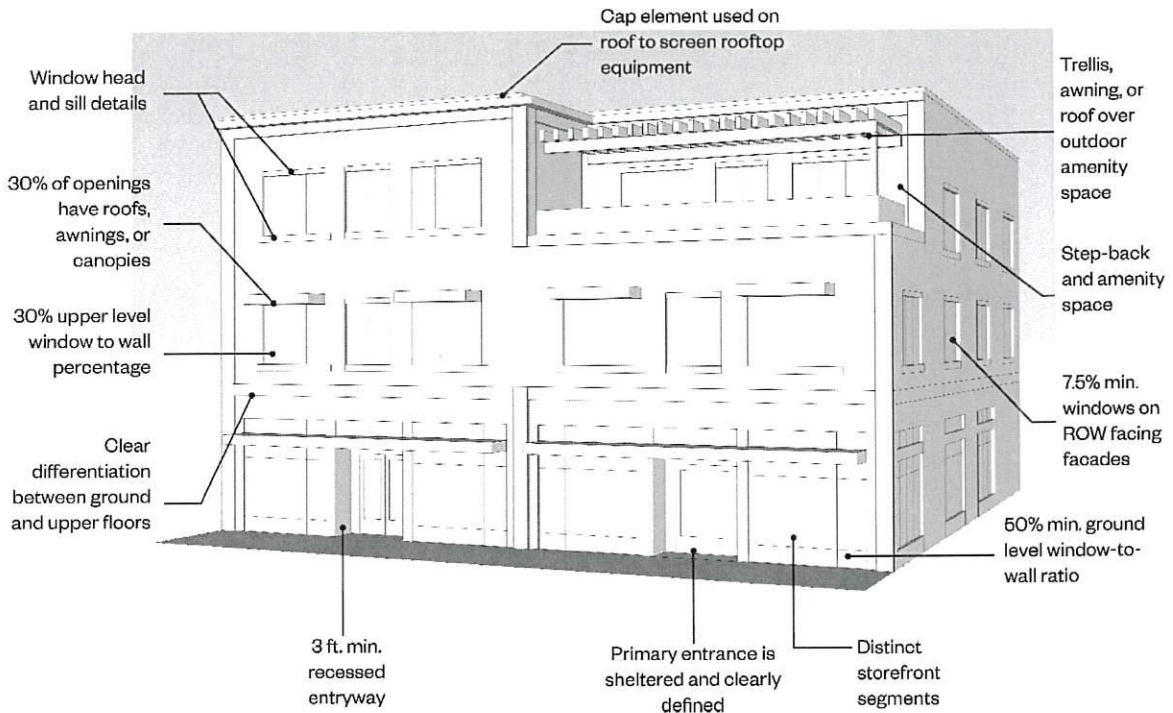
*Commercial Downtown Site and Setting Diagrams.*



*Commercial Downtown Height, Massing and Articulation Diagrams.*



*Commercial Downtown Permitted Upon Approval Step-Back Diagram.*

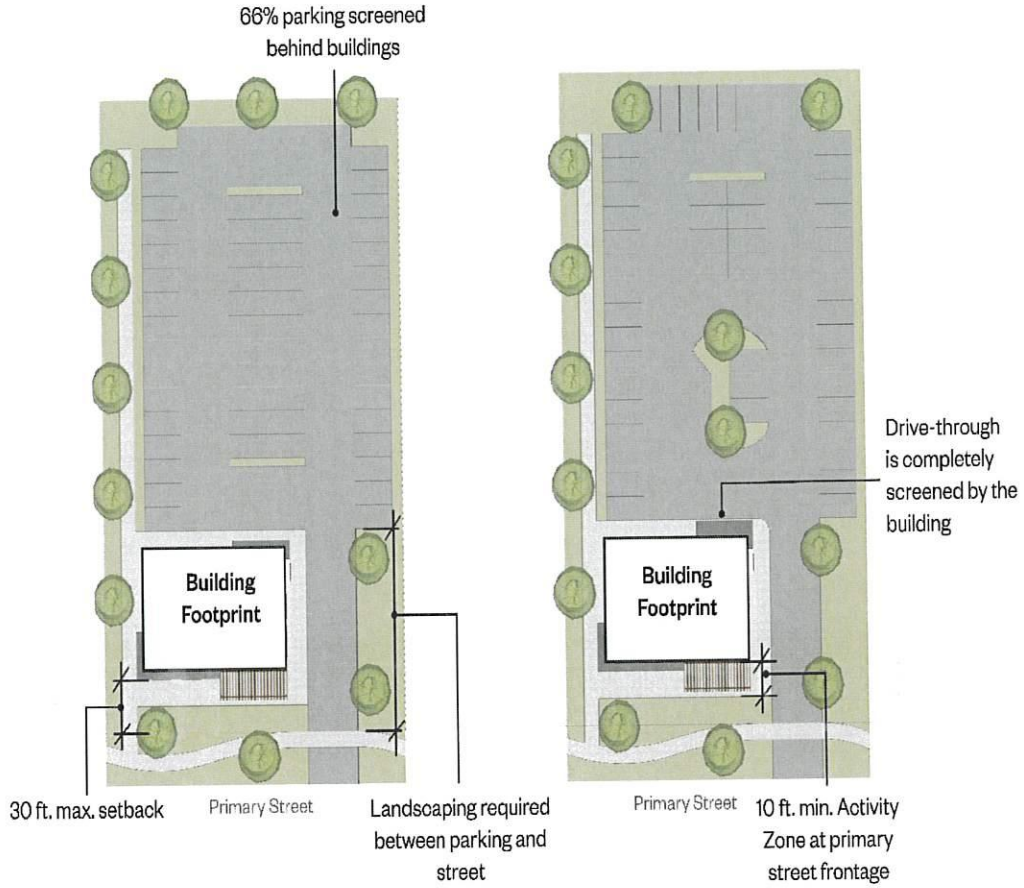


*Commercial Downtown Architectural Variation Diagram.*

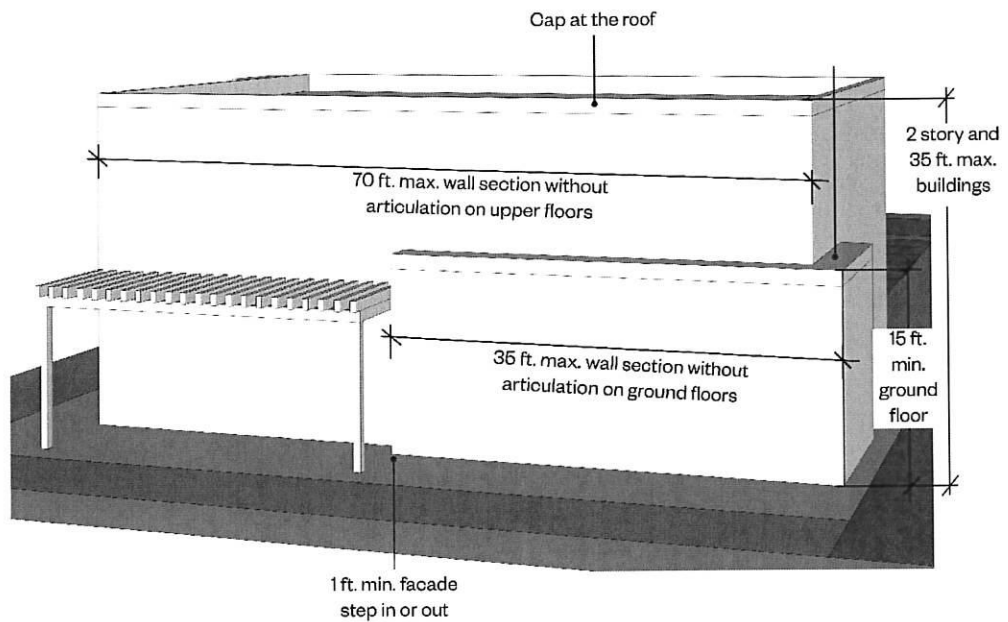


*Commercial Downtown Materials Diagram.*

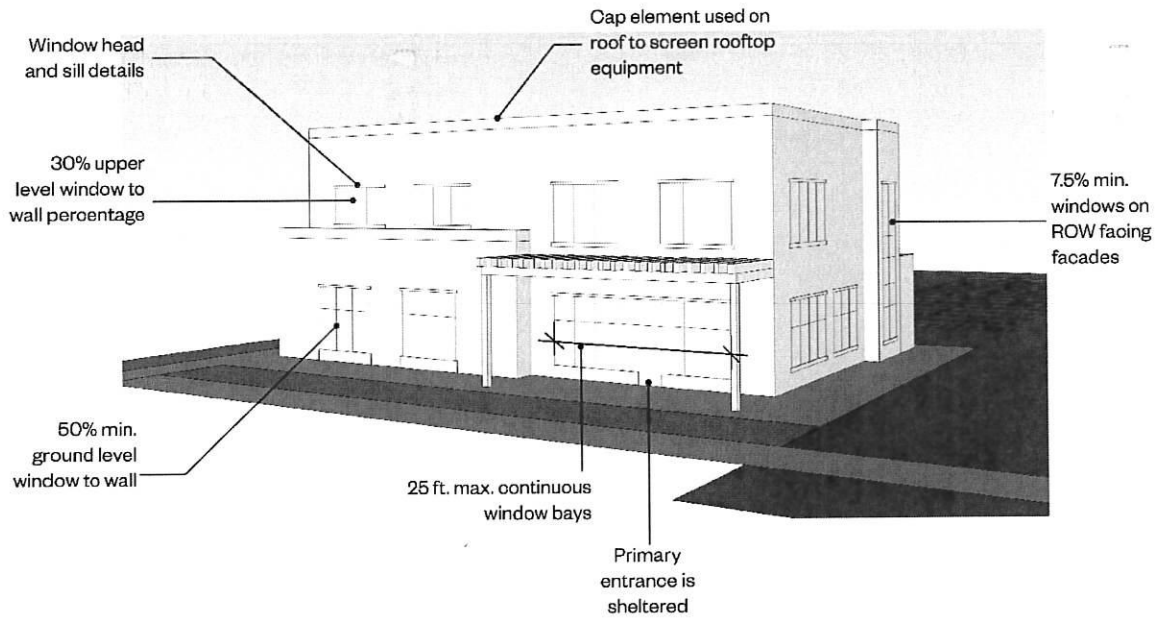
17.72.110 Appendix B: Commercial Neighborhood Diagrams



*Commercial Neighborhood Site and Setting Diagram.*



*Commercial Neighborhood Height, Massing, and Articulation Diagram.*

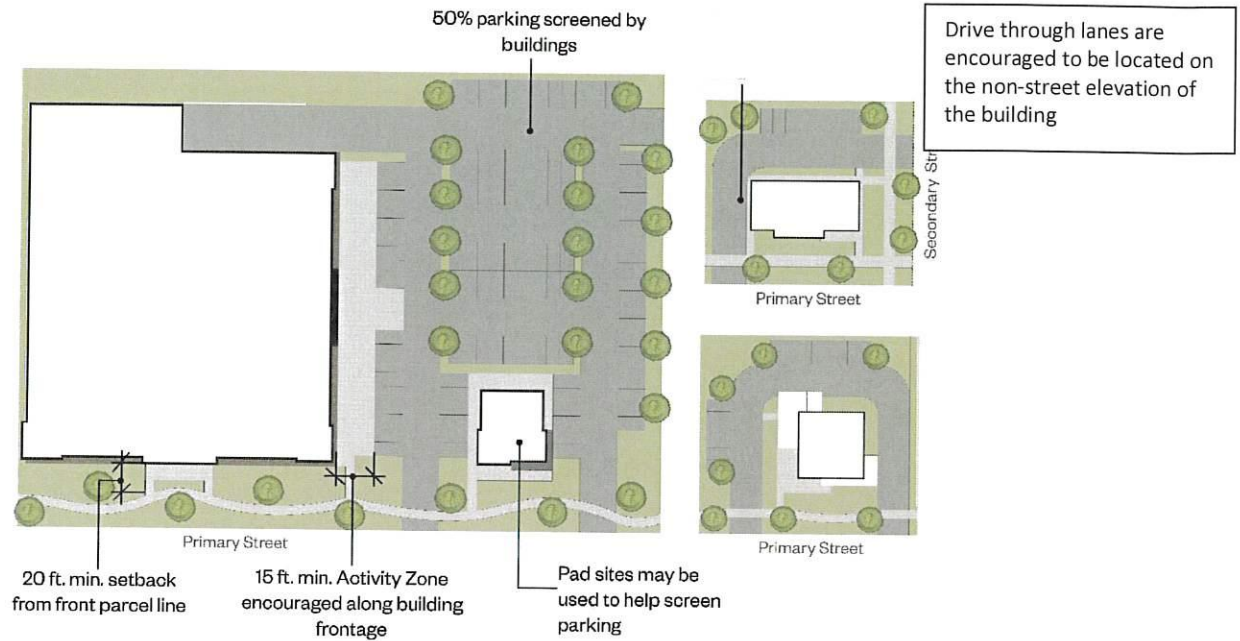


*Commercial Neighborhood Architectural Detail Diagram.*

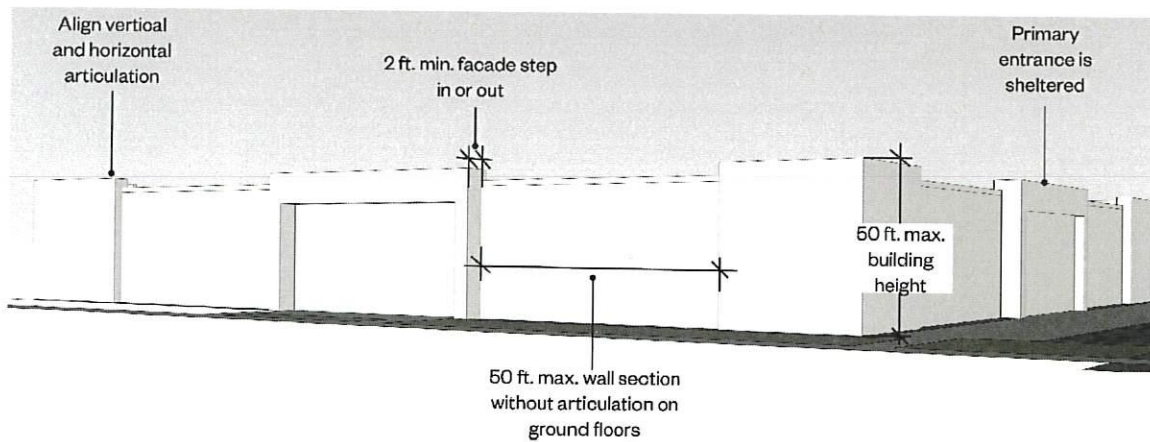


*Commercial Neighborhood Materials Diagram.*

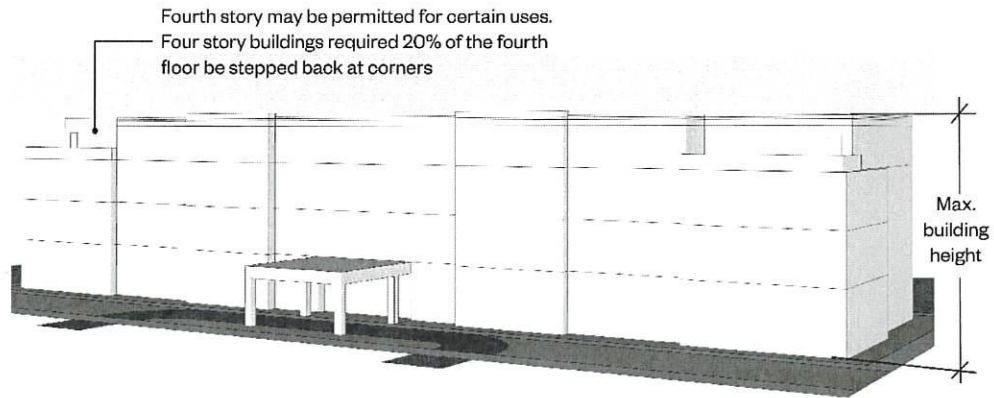
## 17.72.120 Appendix C: Commercial Community & Regional Diagrams



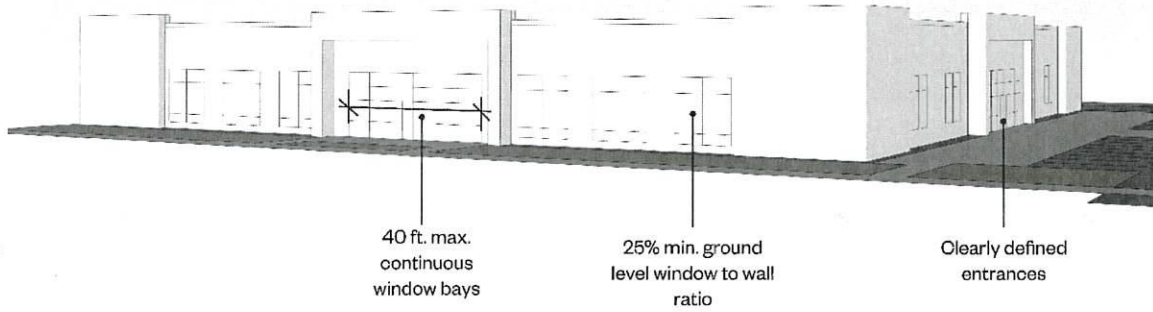
*Commercial Community & Regional Site and Setting Diagram.*



*Commercial Community & Regional Height, Massing, and Articulation Diagram.*



*Commercial Community & Regional Permitted Upon Approval Step-Back Diagram.*

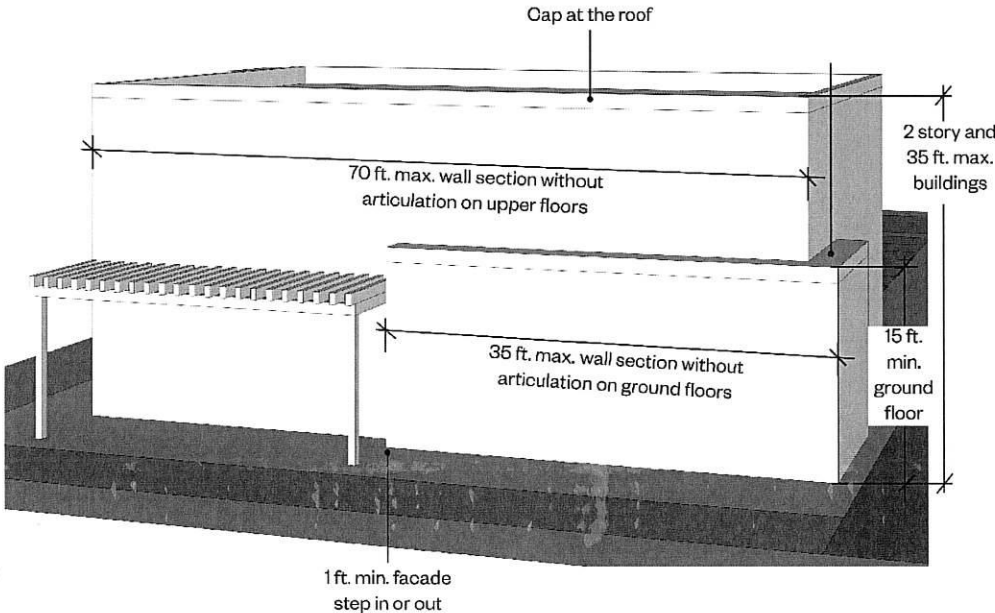


*Commercial Community & Regional Architectural Detail Diagram.*

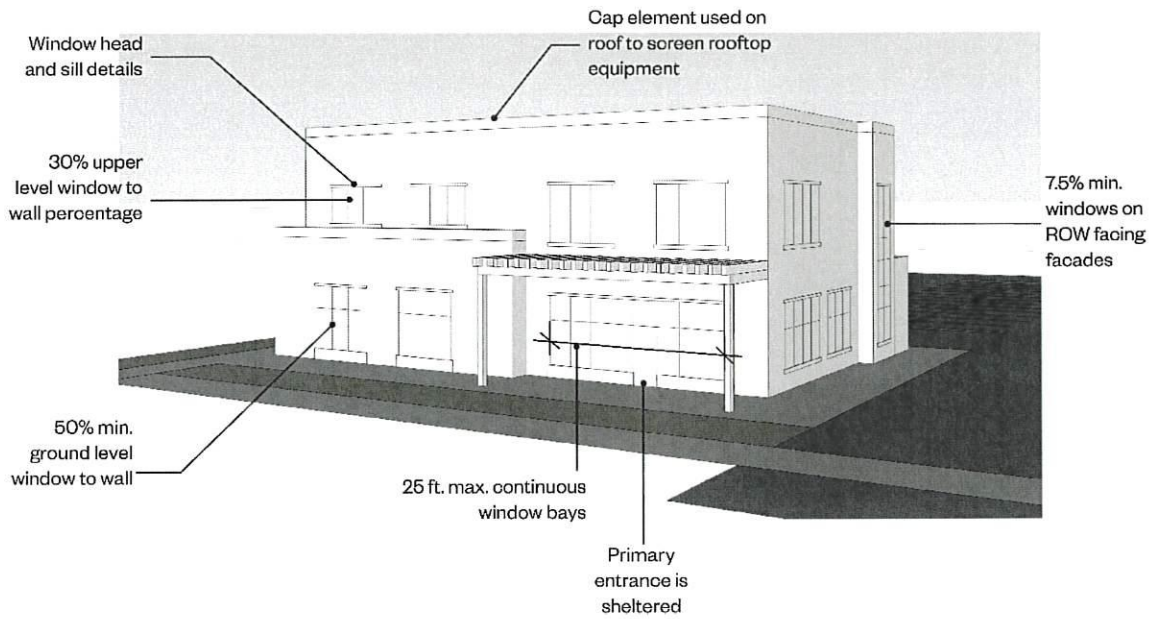


*Commercial Community & Regional Materials Diagram.*

**Pad Sites** – Commercial pad sites may be used within Commercial Community and Commercial Regional zones to help screen parking from street views. They are smaller developments that can house additional businesses that compliment the primary commercial development. Pad sites design standards are similar to Commercial Neighborhood developments with the exception that throughs may be unscreened to the side or rear of the building.



*Pad Site Height, Massing, and Articulation Diagram.*

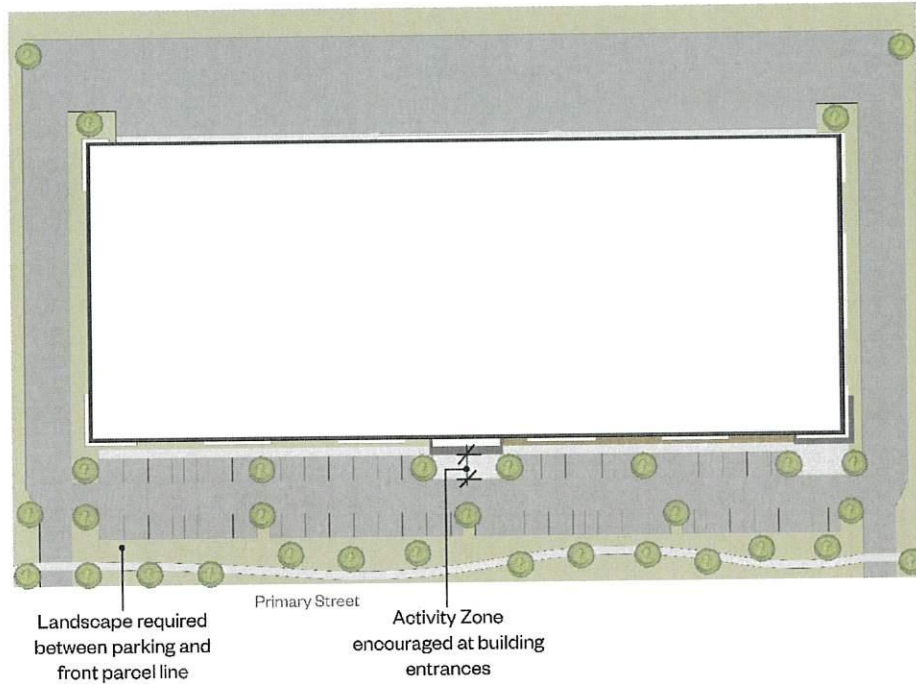


*Pad Site Architectural Detail Diagram.*

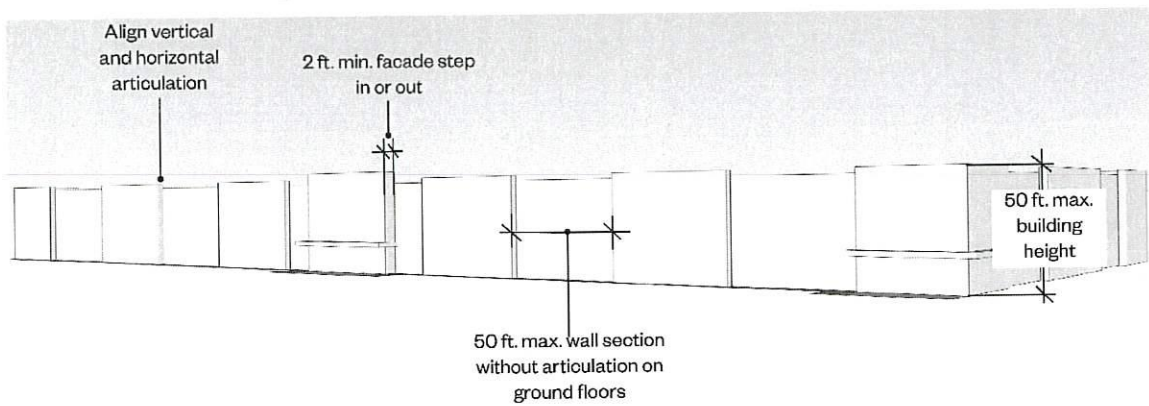


*Pad Site Materials Diagram.*

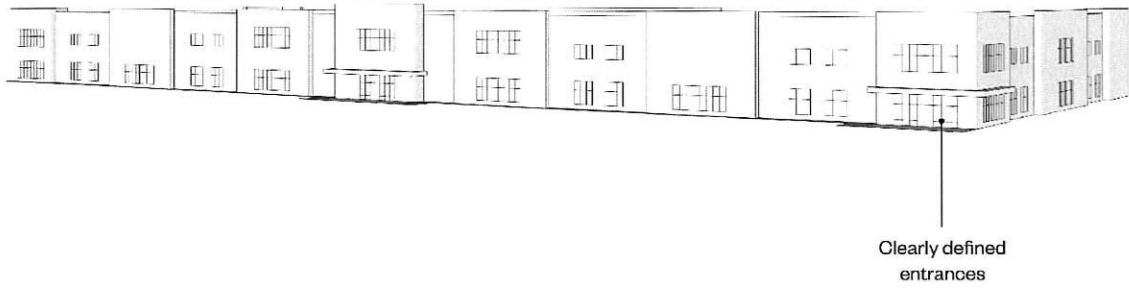
# 17.72.130 Appendix D: Business Park Diagrams



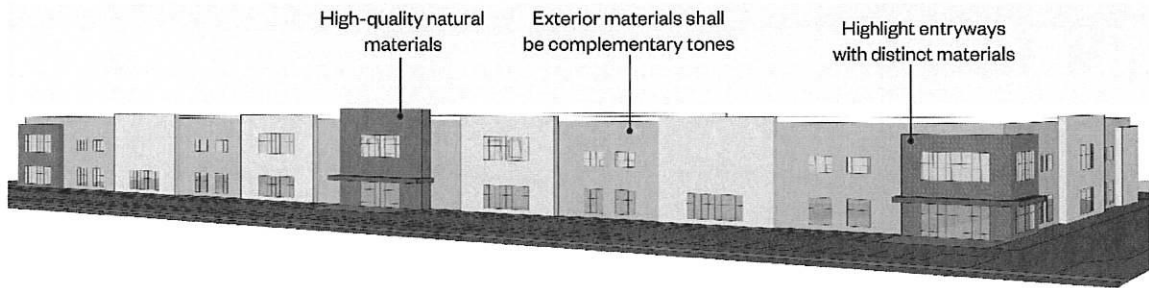
*Business Park Site and Setting Diagram.*



*Business Park Height, Massing, and Articulation Diagram.*

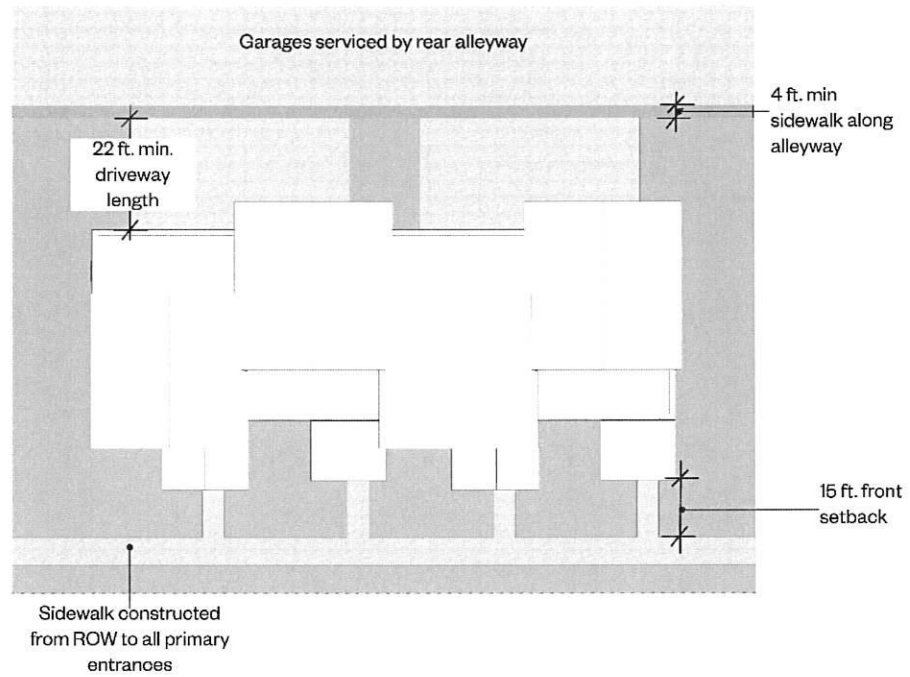


*Business Park Architectural Detail Diagram.*

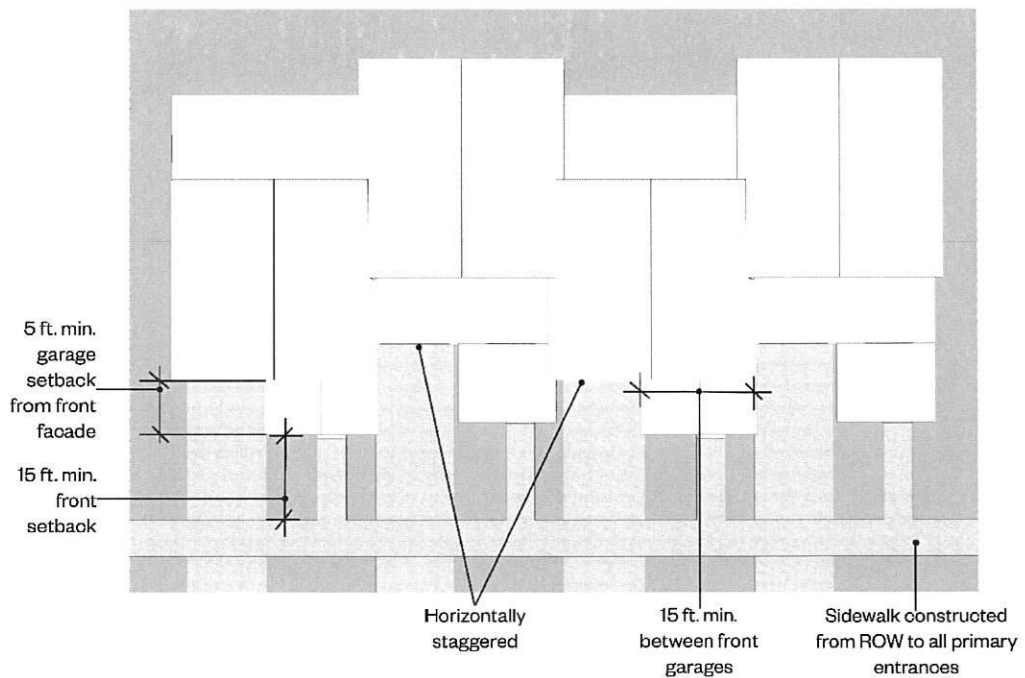


*Business Park Materials Diagram.*

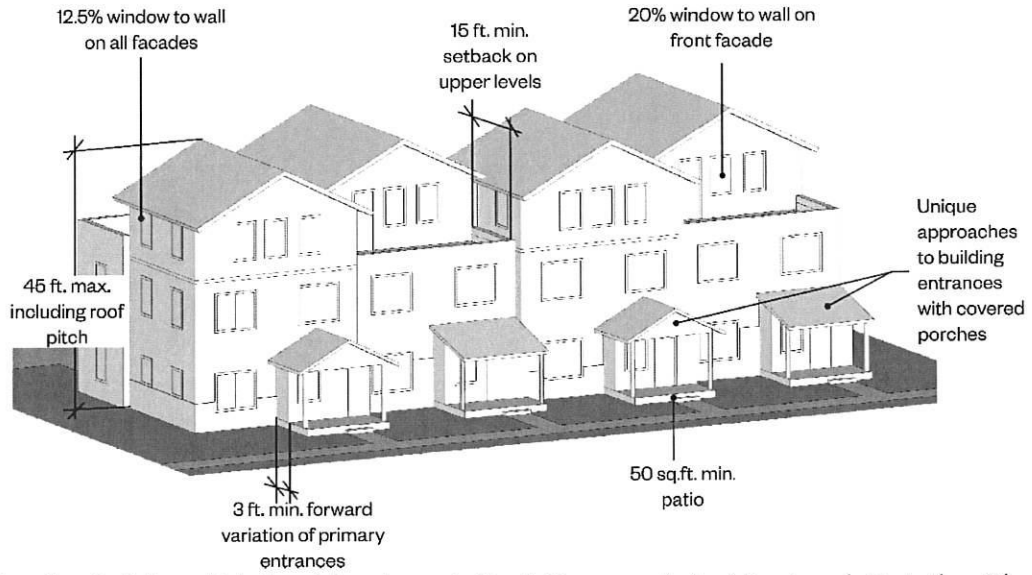
## 17.72.140 Appendix E: Multi-Family Diagrams



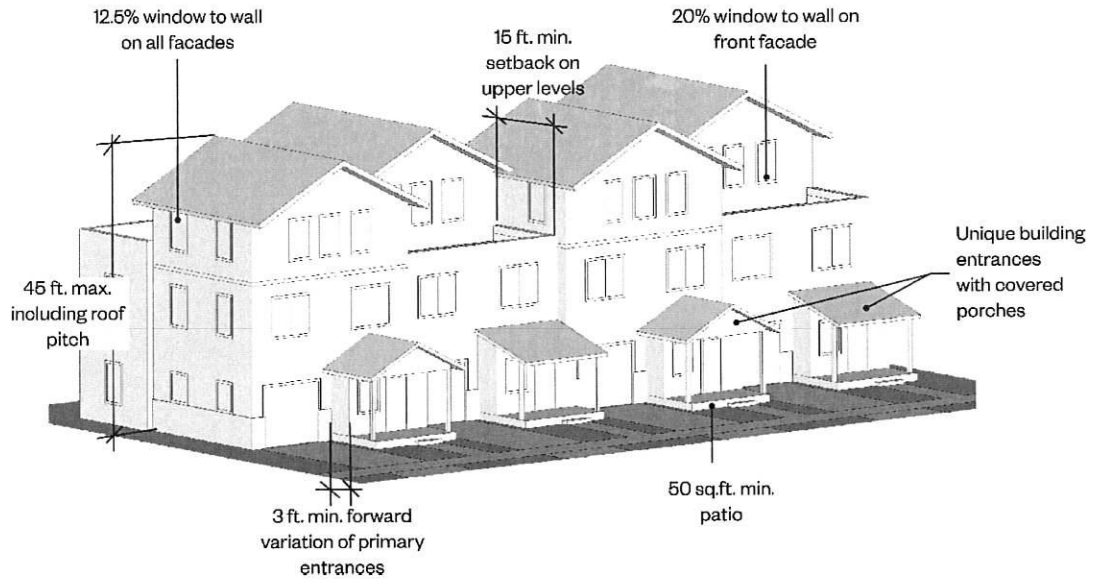
*Multi-Family Site and Setting with Alley Access Diagram.*



*Multi-Family Site and Setting with Front Garages Diagram.*



*Multi-Family Building Height, Massing, Articulation, and Architectural Detail with Alley Access Diagram.*



*Multi-Family Building Height, Massing, Articulation, and Architectural Detail with Front Garages Diagram.*



*Multi-Family Building Materials with Alley Access Diagram.*



*Multi-Family Building Materials with Front Garages Diagram.*

## 17.72.150 Appendix F: Commercial Zoning Addition.

Commercial development standards to be added to the table in section 17.35.040.

Zone Designation	CD	CN	CC	CR
Maximum Building Stories	2 <sup>4</sup>	2	3 <sup>5</sup>	3 <sup>5</sup>

<sup>4</sup>One additional story may be permitted with review from the Land Use Authority and if the step back requirements are met.

<sup>5</sup>One additional story is permitted if the building use falls under hospital, hotel, or higher-ed and if the step back requirements are met. Other uses may be granted one additional story with review from the Land Use Authority and if the step back requirements are met.

Commercial Downtown specific standards to be added to the table in section 17.35.040.

	CD* (Commercial Downtown)
Front	Min. 10 ft, Max. 10 ft except the main entry which can be set back an additional 5 feet
Rear	Min. 10 ft
Side	0 ft at interior sides, Min. 10 ft at side street(s) facing activity zone areas

\*Commercial Downtown developments shall be laid out and designed in accordance with the Downtown Master Plan.

**Commercial Development Standards**

<b>Zone Designation</b>	<b>CN (Commercial Neighborhood)</b>	<b>CC (Commercial Community)</b>	<b>CR (Commercial Regional)</b>
Maximum Height of Structures	35' <sup>1</sup>	50' <sup>1</sup>	50' <sup>1</sup>
Minimum Setback Requirements <sup>2</sup>			
Front	10' Min; 25' Max	10' Min; 25' Max	10' Min
Rear	20'	20' (35' <sup>3</sup> )	20' (35' <sup>3</sup> )
Side	None (20' <sup>3</sup> )	None (Equal to building height <sup>3</sup> )	None (Equal to building height <sup>3</sup> )

<sup>1</sup> Height is measured from the average of the highest finished grade and the lowest finished grade of the structure to the highest point of the roof, excluding ancillary structures.

<sup>2</sup> The approval authority may approve alternative setbacks if, in its judgment, the setbacks comply with the following:

- a. Does not interfere with the use, enjoyment, and character of adjacent properties;
- b. The success of the business necessitates the setbacks, proven by data or research; and
- c. The setbacks are not solely to provide space for parking between the building and the street.

Lots will be reviewed in the platting process to determine if it buildable. Variances are for unique hardships tied to the land, not something an owner creates. Platting a lot and then saying unbuildable is owner-created.

- Maximum setback does not apply to anchor buildings if pad sites are provided which comply with this standard.

<sup>3</sup> If adjacent to residential.