



## ALPINE CITY PLANNING COMMISSION MEETING

**NOTICE** is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah, will hold a **Public Meeting** on **Tuesday, June 16<sup>th</sup>, 2026 at 6:00 p.m. at City Hall, 20 North Main Street, Alpine, Utah.**

The public may attend the meeting in person or view it via the Alpine City YouTube Channel. A direct link to the channel can be found on the homepage of the Alpine City website, [alpineut.gov](http://alpineut.gov).

### I. GENERAL BUSINESS

- A. Welcome and Roll Call: Alan MacDonald
- B. Prayer/Opening Comments: By Invitation
- C. Pledge of Allegiance: By Invitation

### II. REPORTS AND PRESENTATIONS

None

### III. ACTION/DISCUSSION ITEMS:

- A. **Action Item:** Review of Five.12 Commercial Site Plan
- B. **Action Item:** Review of Long Range Shooters of Utah Commercial Site Plan
- C. **Action Item:** Review of Page Senior Housing Preliminary Plat
- D. **Action Item:** Review of Page Court Preliminary Plat

### IV. COMMUNICATIONS

- V. **APPROVAL OF PLANNING COMMISSION MINUTES:** March 31<sup>st</sup>, 2026, June 2<sup>nd</sup>, 2026, June 3<sup>rd</sup>, 2026

## ADJOURN

Chair Alan MacDonald  
June 12, 2026

**THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS.** If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted at Alpine City Hall, 20 North Main, Alpine, UT. It was also sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at [www.alpinecity.org](http://www.alpinecity.org) and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).



## PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversations with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction with the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise-making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on a conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

### Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing, there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT:** Review of the Five.12 Commercial Site Plan

**FOR CONSIDERATION ON:** June 16, 2026

**PETITIONER:** City Staff

**ACTION REQUESTED BY PETITIONER:** Recommend approval to the Five.12 Commercial Site Plan

**REVIEW TYPE:** Recommendation

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## **BACKGROUND INFORMATION:**

The Five.12 Commercial Site Plan was reviewed last Planning Commission meeting on June 2, 2026 and is proposed for the address of 170 S Main Street in Alpine. The building is to support their ongoing operational needs and provide more space for their non-profit ventures. A motion was made to table the item until the applicant updated the exterior materials on the building to match more the Gateway/Historic Design Guidelines. They are now ready to present their updated design.

As provided in the last meeting, here is the description provided by the applicant of the purpose of the new commercial building and site plan:

We are pleased to warmly introduce the construction of a new warehouse addition and parking lot for the Five12 foundation. Five 12 is a non-profit organization geared to helping feed children. Elementary school students in the United States are going home from school on Friday and coming back to school hungry on Monday. Five12 provides weekend backpacks full of food for those students in need. This new warehouse will increase the foundation's capacity to reach more children.

Located at 168 S Main St. Alpine, UT 84004, a 6,000 sqft building addition and site parking improvements will be added to the lot that already includes the existing Five12 distribution warehouse. The proposed asphalt parking lot will have 88 regular parking stalls, 4 ADA stalls and an entrance from South Main Street, ensuring easy access to community members and volunteers. From a utilities perspective, a storm drain system and underground storm water holding chamber will be placed underneath the parking lot. A concrete pad for a proposed water tower will be located near that new South main entrance. Additionally, light poles staged throughout the lot will provide ample lighting.

The proposed landscape design was executed with existing trees in mind. The large canopy trees on the south and north property line are to be preserved and protected. The new additional parking for the office building has 4 proposed landscape islands with canopy trees to provide shade. A mixture of water-wise trees, shrubs, perennials, and ornamental grasses are provided in the proposed landscape beds. A large tan decorative river cobble is proposed to match the existing beds on the east entry near the existing building.

After final grading, the future building location along South Main Street will receive a native grass seed mix to stabilize the ground. Keeping water in mind, there are no suitable locations to introduce turf grass for recreation or leisure activities. Decorative rock, native grass, and waterwise planting are the main materials implemented.

We would like to thank the Planning Commission for taking the time to review our project. We look forward to working together in getting this project underway.

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**GENERAL PLAN REFERENCE**

- General Plan Land Use Goal #2 Policy 2.2

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**CITY CODE REFERENCE:**

- Alpine Development Code 3.07
- Alpine Development Code 3.11
- Alpine Development Code 4.07
- Alpine Development Code 4.08
- Alpine Development Code 4.10

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**PUBLIC NOTICE:**

This item does not require a public hearing but will be posted as an agenda item on the Planning Commission and City Council agendas, where applicable.

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**STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission consider sending a positive recommendation to the City Council for the proposed site plan for the new Five.12 commercial building at 170 S Main Street, subject to the condition that all exterior materials of the building match what is permitted in the Gateway/Historic Design Guidelines.

**Motion to Approve:**

I move to recommend approval to the City Council of the proposed site plan for the new Five.12 commercial building at 170 S Main Street.

**Motion to Approve with Conditions:**

I move to recommend approval to the City Council of the proposed site plan for the new Five.12 commercial building at 170 S Main Street, subject to the following conditions:

\*Insert Proposed Conditions

**Motion to Table:**

I move to table consideration of the proposed site plan for the new Five.12 commercial building at 170 S Main Street to a future meeting in order to allow additional time for revisions and/or additional information, including:

\*Insert additional information needed.

**Motion to Deny:**

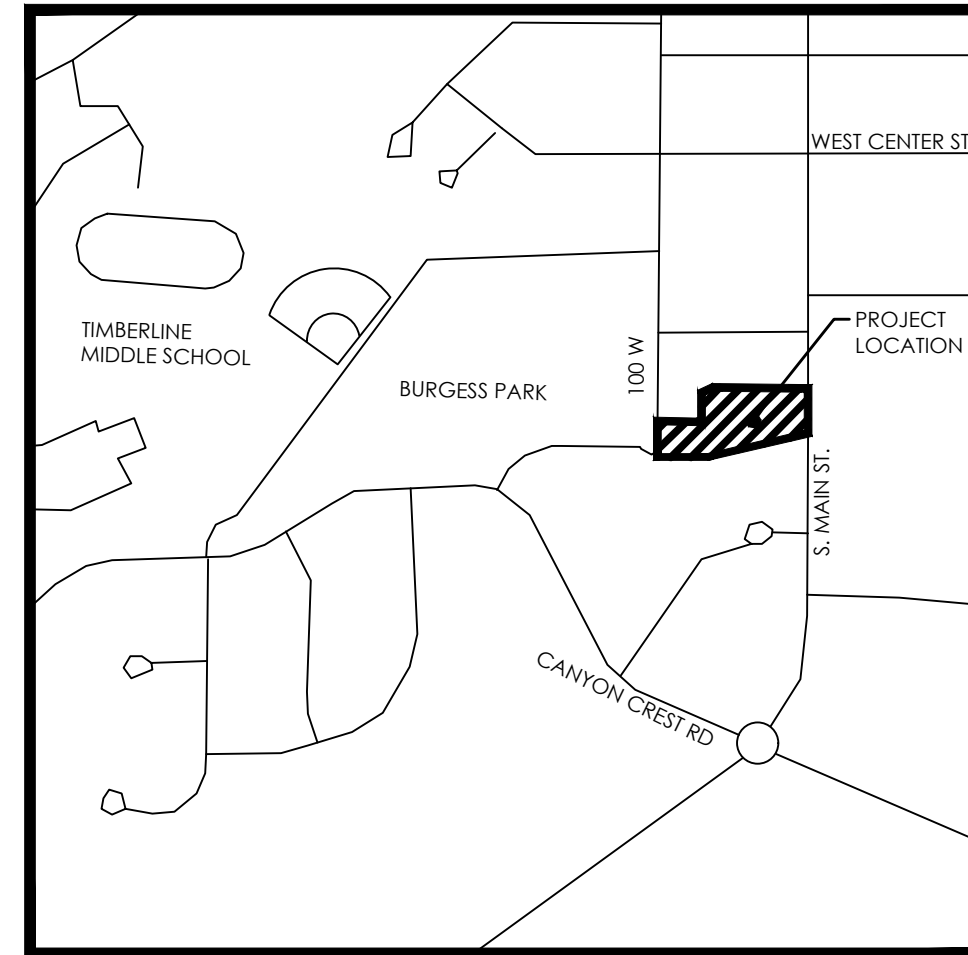
I move to recommend denial of the proposed site plan for the new Five.12 commercial building at 170 S Main Street based on the following findings:

\*Insert findings

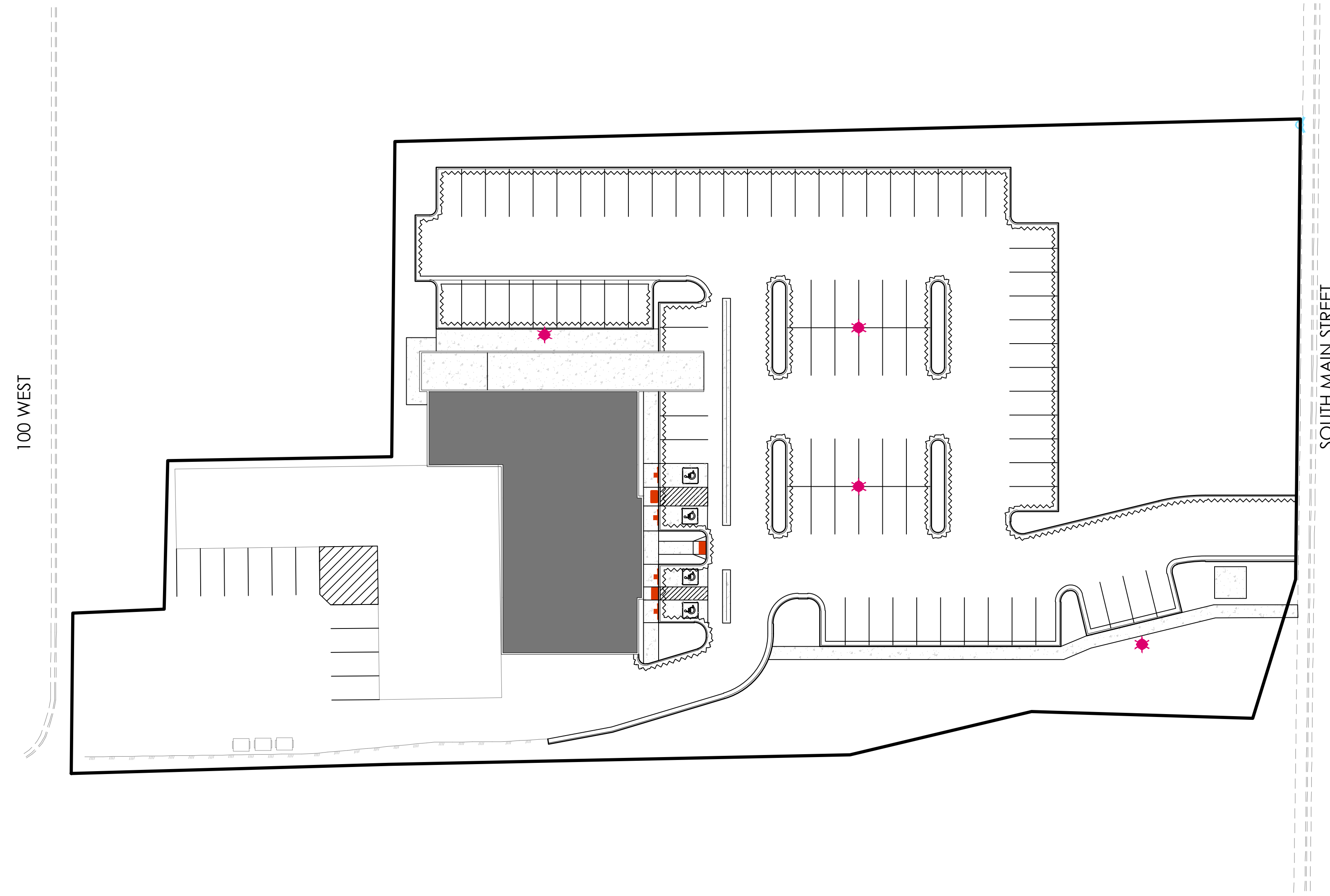
# FIVE.12 WAREHOUSE

PREPARED FOR:  
SILVER FOX CONSTRUCTION

LOCATED AT:  
170 S MAIN STREET, ALPINE, UT 84004



VICINITY MAP  
NTS



SITE MAP

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C3.0	SITE PLAN
C4.0	UTILITY PLAN
C5.0	GRADING & DRAINAGE
C5.1	GRADING BLOW UP
C6.0	EROSION CONTROL PLAN
D1.0	DETAILS
D2.0	DETAILS
E1.1	SITE PHOTOMETRIC PLAN
E1.2	SITE PHOTOMETRIC DATA
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L2.1	IRRIGATION DETAILS
A210	EXTERIOR ELEVATIONS

## GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

## NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

## ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

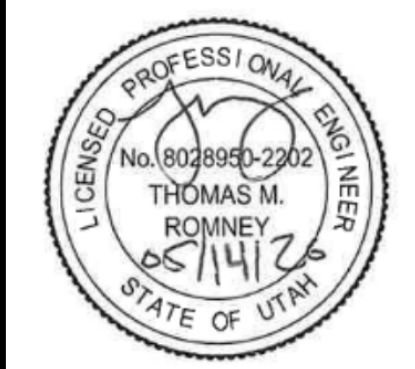
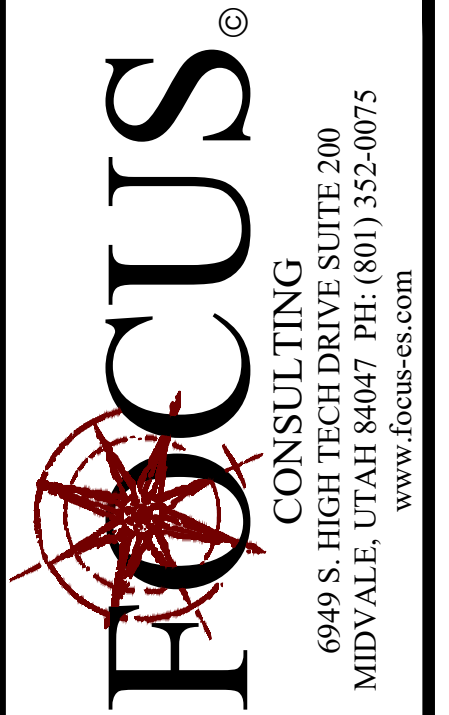
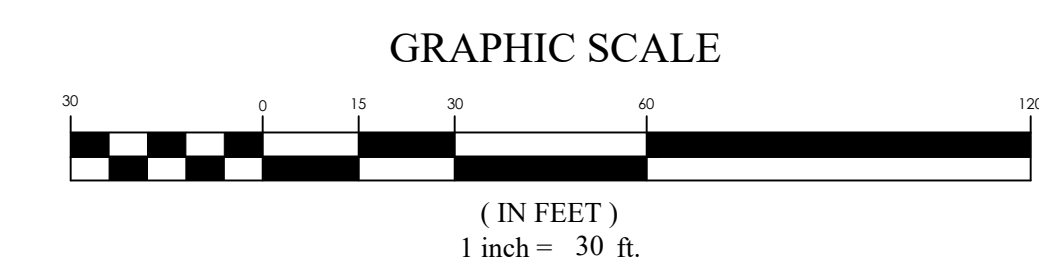
## CONTACTS

ENGINEER & SURVEYOR  
FOCUS CONSULTING, LLC  
6949 S. HIGH TECH DRIVE SUITE 200  
MIDVALE, UTAH 84047  
(801) 352-0075  
PROJECT MANAGER: PARK SORENSON  
SURVEY MANAGER: JUSTIN LUNDBERG

OWNER/DEVELOPER  
SILVER FOX CONSTRUCTION  
533 WEST STATE ST. #102  
PLEASANT GROVE, UTAH 84062  
(801) 857-7914  
CONTACT: JD HEINER

### BENCHMARK

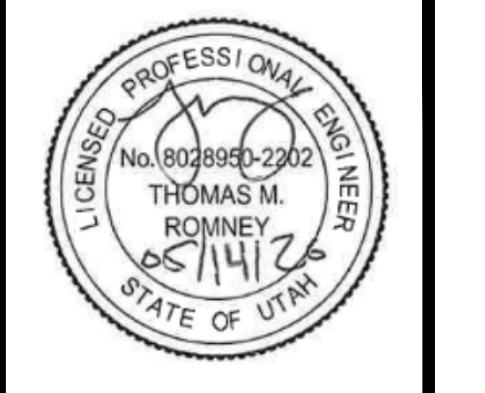
SOUTH QUARTER CORNER OF SECTION 24  
TOWNSHIP 4S, RANGE 1E  
SALT LAKE BASE AND MERIDIAN  
ELEV: 4916.46  
DATUM: NGVD29



FIVE.12 WAREHOUSE  
170 S MAIN STREET, ALPINE, UT 84004  
COVER

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

COVER  
Scale: 1"=30'  
Date: 05/14/26  
Sheet: C1.0  
Drawn: PS  
Job #: 25-0307



**FIVE.12 WAREHOUSE**  
 170 S MAIN STREET, ALPINE, UT 84004  
**SITE PLAN**

**LEGEND**

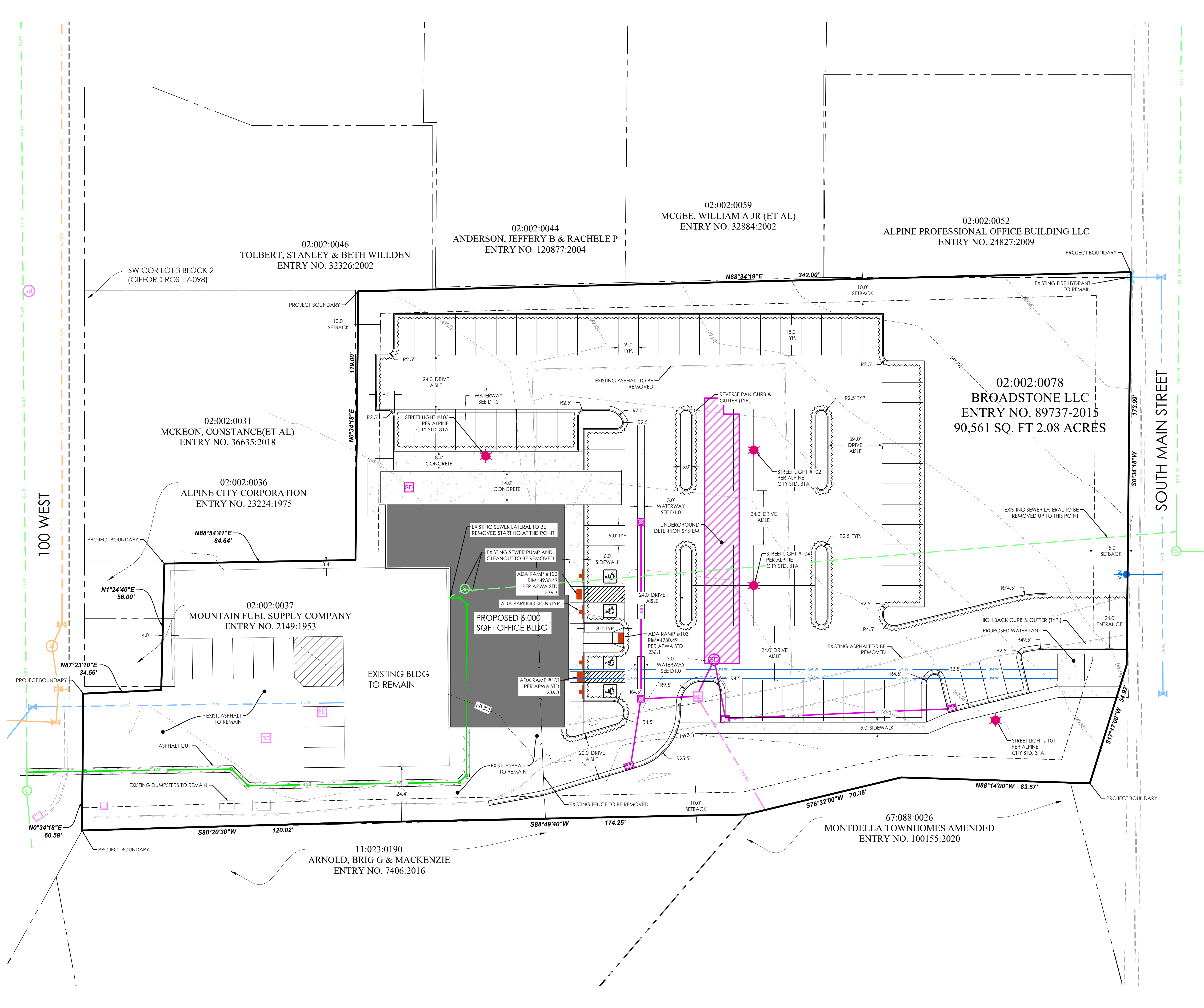
- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- XX SD XX SD XX SD XX SD XX SD XX SD XX SD XX SD XX SD XX SD
- XX SW XX SW XX SW XX SW XX SW XX SW XX SW XX SW XX SW XX SW
- XX W XX W XX W XX W XX W XX W XX W XX W XX W XX W
- XXXX
- CONTOUR MINOR
- CONTOUR MAJOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- SECONDARY METER, WATER METER
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION

**PROPERTY OVERVIEW:**

TOTAL AREA:	90,561 SQFT (2.08 ACRES)
ZONING:	BUSINESS COMMERCIAL
BUILDING USE:	OFFICE

**PARKING:**

<b>REQUIRED</b>	(4 SPACES/1,000 SQFT)
STALLS REQUIRED	24 STALLS
ADA STALLS REQUIRED	4 STALLS
<b>PROVIDED</b>	
STALLS PROVIDED	98 STALLS
ADA STALLS PROVIDED	4 STALLS
<b>TOTAL STALLS PROVIDED</b>	<b>102 STALLS</b>



**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 20 ft.

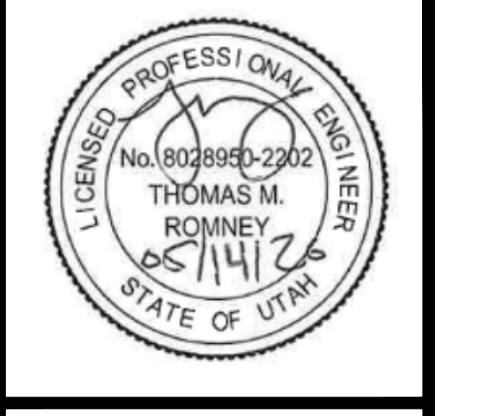
**811**  
 Know what's below.  
 Call 811 before you dig.

**REVISION BLOCK**

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

**SITE PLAN**

Scale:	1"=20'	Drawn:	PS
Date:	05/14/26	Job #:	25-0307
Sheet:	C3.0		



**FIVE.12 WAREHOUSE**  
 170 S MAIN STREET, ALPINE, UT 84004  
**UTILITY PLAN**

**LEGEND**

---	BOUNDARY
---	ROW
---	LOT LINE
---	CENTERLINE
---	EASEMENT
---	XX SD 20" STORM DRAIN
---	XX SW 20" SANITARY SEWER
---	XX W 20" CULINARY WATER
---	XX P 20" PRESSURE IRRIGATION
---	XXXX CONTOUR MAJOR
---	XXXX CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	SECONDARY METER, WATER METER
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

**PROPERTY OVERVIEW:**

TOTAL AREA:	90,561 SQFT (2.08 ACRES)
ZONING:	BUSINESS COMMERCIAL
BUILDING USE:	OFFICE

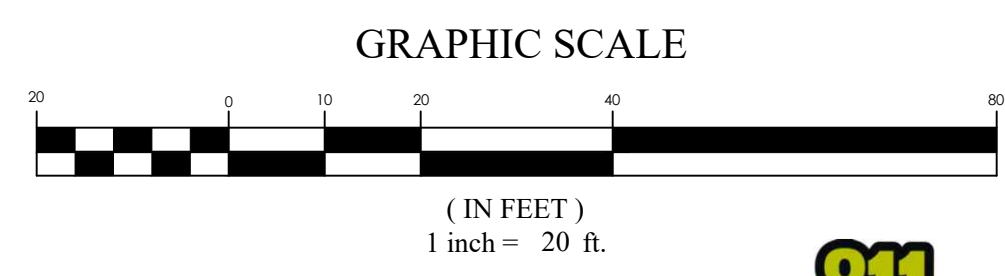
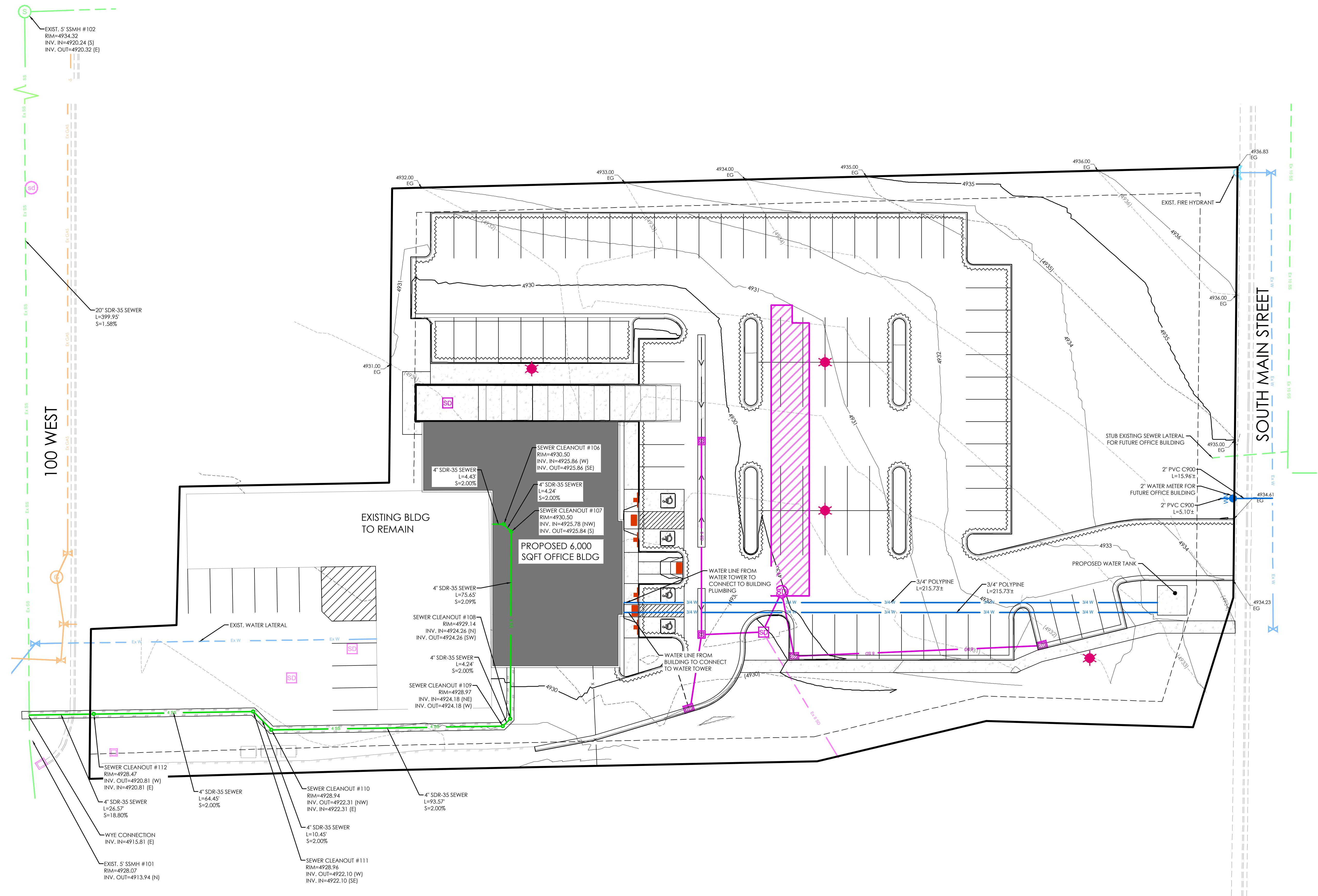
**PARKING:**

REQUIRED STALLS	(4 SPACES/1,000 SQFT)
STALLS REQUIRED	24 STALLS
ADA STALLS REQUIRED	4 STALLS

**PROVIDED:**

STALLS PROVIDED	98 STALLS
ADA STALLS PROVIDED	4 STALLS
<b>TOTAL STALLS PROVIDED</b>	<b>102 STALLS</b>

**NOTE TO CONTRACTOR:**  
 SEWER LATERAL ELEVATIONS TO BE VERIFIED BY CONTRACTOR



**REVISION BLOCK**

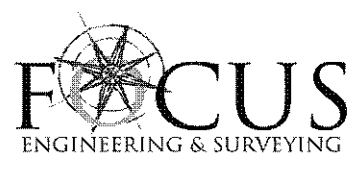
#	DATE	DESCRIPTION
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**UTILITY PLAN**

Scale: 1" = 20'  
 Date: 05/14/26  
 Sheet: C4.0

Drawn: PS  
 Job #: 25-0307





100-Year Retention Sizing  
**Design Criteria**  
 Intensity Table: Per NOAA Atlas 14  
 Return Period: 100 year  
 Allowable Discharge: 0.20 cfs/acre Per Alpine City Standards

**Allowable Discharges**  
 Storm Drain Discharge: 0.33 cfs  
 Other Discharge: 0.00 cfs  
 Total Discharge: 0.332 cfs

**Weighted "C" Value**

Surface Type	Area (sf)	"C" Value	C*A
Building	6,057	0.95	5,754
Hardscape	38,991	0.90	35,092
Landscape	27,277	0.15	4,092
Totals	72,325		44,938
<b>Weighted "C" Value</b>		<b>0.62</b>	

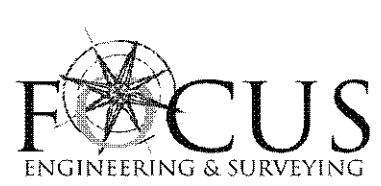
**Drainage Calculations**

Duration	Intensity	Runoff C	Area	Rainfall	Accumulate Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cfs	cf	cfs	cf	cf
15.0	4.31	0.62	1.66	4.45	4,002	0.33	299	3,703
30.0	2.90	0.62	1.66	2.99	5,385	0.33	598	4,787
60.0	1.80	0.62	1.66	1.84	6,685	0.33	1,195	5,489
120.0	0.98	0.62	1.66	1.02	7,309	0.33	2,391	4,918
180.0	0.67	0.62	1.66	0.69	7,465	0.33	3,586	3,878
360.0	0.37	0.62	1.66	0.38	8,289	0.33	7,173	1,117
720.0	0.23	0.62	1.66	0.23	10,027	0.33	14,345	-4,318
1440.0	0.17	0.62	1.66	0.17	10,518	0.33	28,691	-18,173

Maximum Storage Requirement: 5,489  
 Maximum Storage Requirement (ac-ft): 0.13

**Detention Basin Design**  
 Storage Requirement: 5,489 cf  
 Allowable Depth: 1.0 ft  
 Detention Pond Volume: 5,803 cf

**Total Storage** 5,803 **DETENTION ADEQUATE**



10-Year Detention Sizing  
**Design Criteria**  
 Intensity Table: Per NOAA Atlas 14  
 Return Period: 10 year  
 Allowable Discharge: 0.20 cfs/acre Per Alpine City Standards

**Allowable Discharges**  
 Storm Drain Discharge: 0.01 cfs  
 Other Discharge: 0.00 cfs  
 Total Discharge: 0.007 cfs

**Weighted "C" Value**

Surface Type	Area (sf)	"C" Value	C*A
Hardscape	1,493	0.90	1,344
Totals	1,493		1,344
<b>Weighted "C" Value</b>		<b>0.90</b>	

**Drainage Calculations**

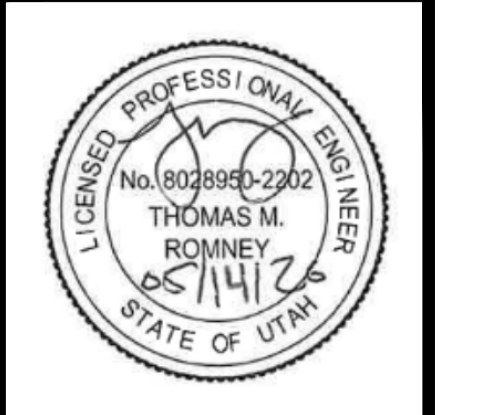
Duration	Intensity	Runoff C	Area	Rainfall	Accumulate Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cfs	cf	cfs	cf	cf
15.0	2.20	0.90	0.03	0.07	61	0.01	6	55
30.0	1.48	0.90	0.03	0.05	82	0.01	12	70
60.0	0.92	0.90	0.03	0.03	102	0.01	25	77
120.0	0.52	0.90	0.03	0.02	114	0.01	49	67
180.0	0.38	0.90	0.03	0.01	127	0.01	74	53
360.0	0.24	0.90	0.03	0.01	159	0.01	148	11
720.0	0.15	0.90	0.03	0.00	197	0.01	296	-99
1440.0	0.08	0.90	0.03	0.00	221	0.01	592	-371

Maximum Storage Requirement: 77  
 Maximum Storage Requirement (ac-ft): 0.00

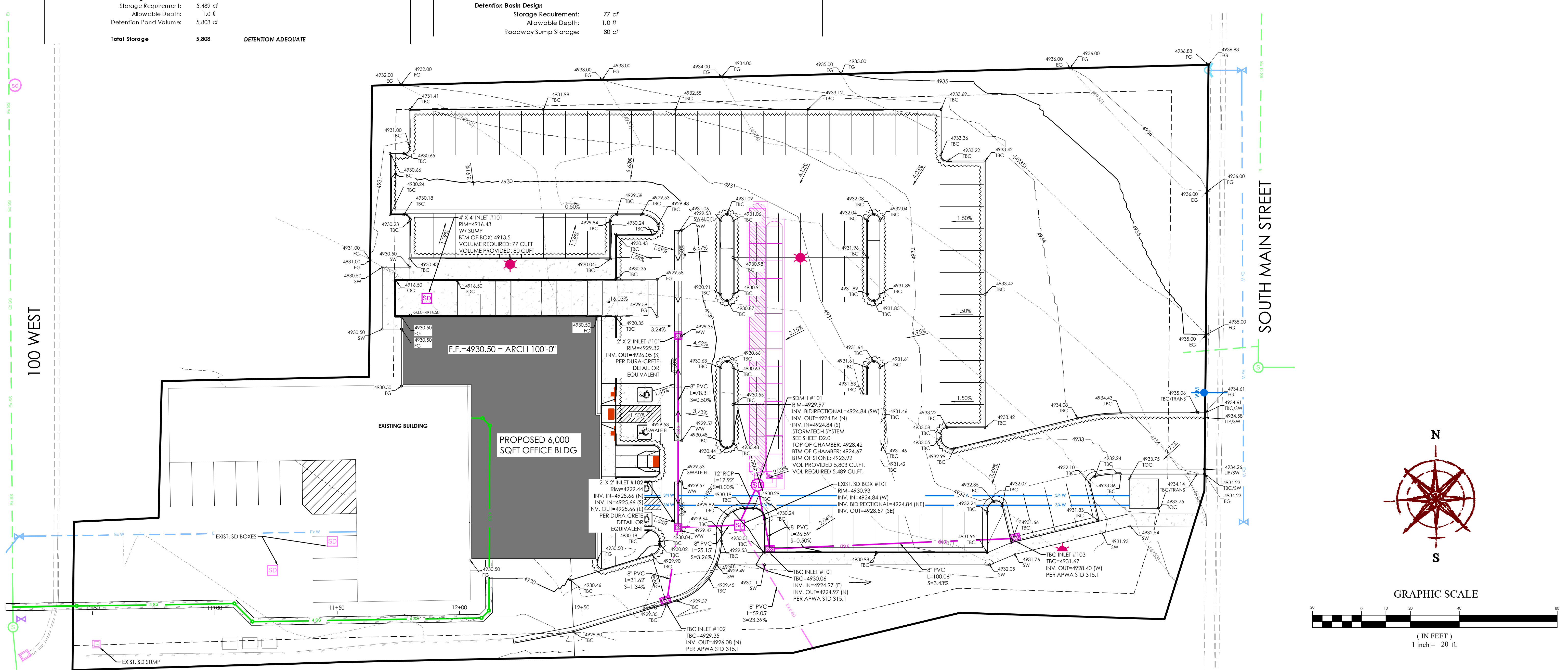
**Detention Basin Design**  
 Storage Requirement: 77 cf  
 Allowable Depth: 1.0 ft  
 Roadway Sump Storage: 80 cf

**LEGEND**

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- XX SD STORM DRAIN
- XX SS SANITARY SEWER
- XX W CULINARY WATER
- XX P PRESSURE IRRIGATION
- XXXX CONTOUR MAJOR
- XXXX CONTOUR MINOR
- XXXX EXIST. STORM DRAIN
- XXXX EXIST. SANITARY SEWER
- XXXX EXIST. CULINARY WATER
- XXXX EXIST. FENCE
- XXXX EXIST. CONTOUR MAJOR
- XXXX EXIST. CONTOUR MINOR
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- EXIST. FIRE HYDRANT
- SPOT ELEVATION



**FIVE.12 WAREHOUSE**  
 170 S MAIN STREET, ALPINE, UT 84004  
**GRADING & DRAINAGE**



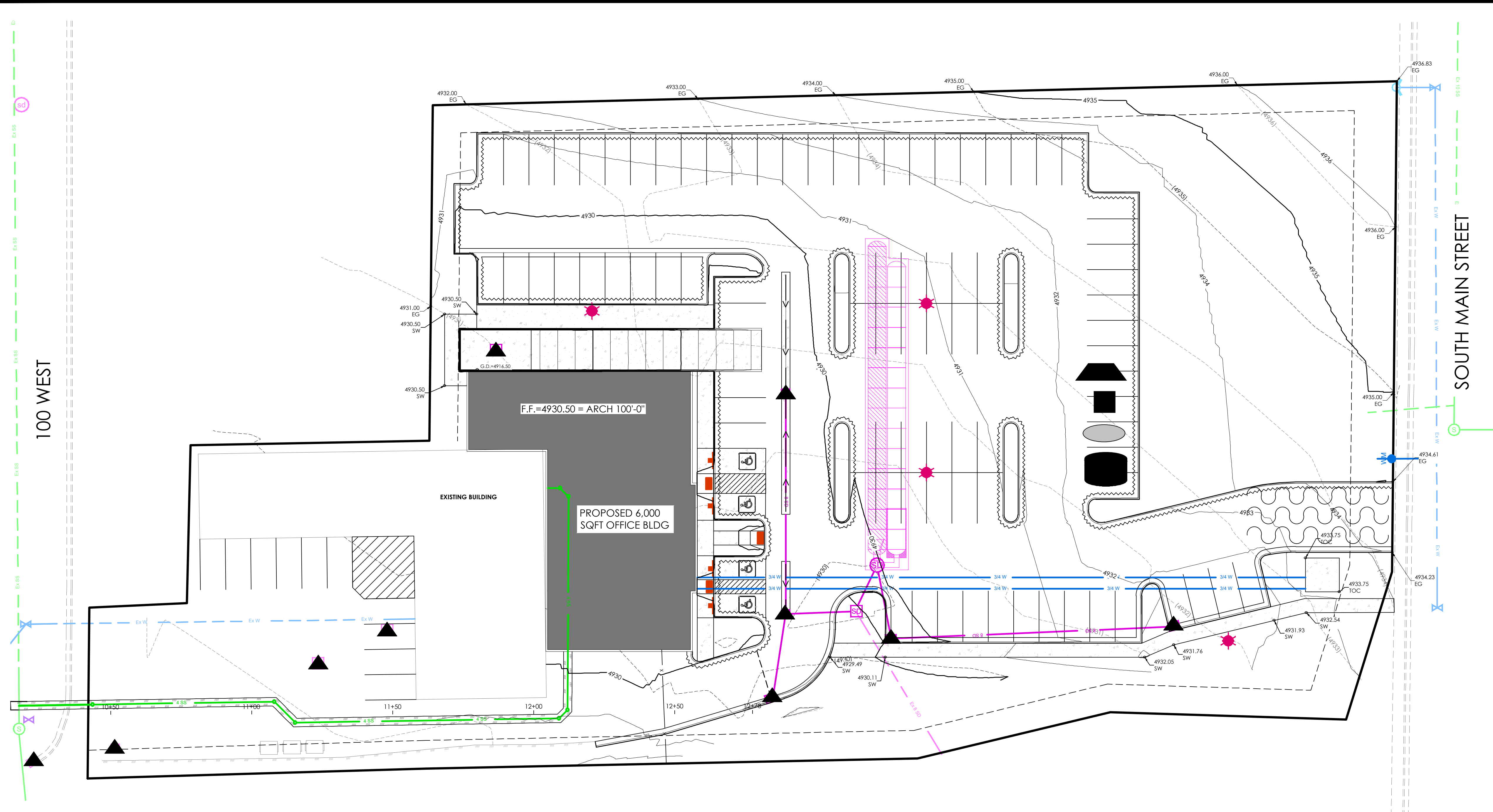
**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 20 ft.

**REVISION BLOCK**

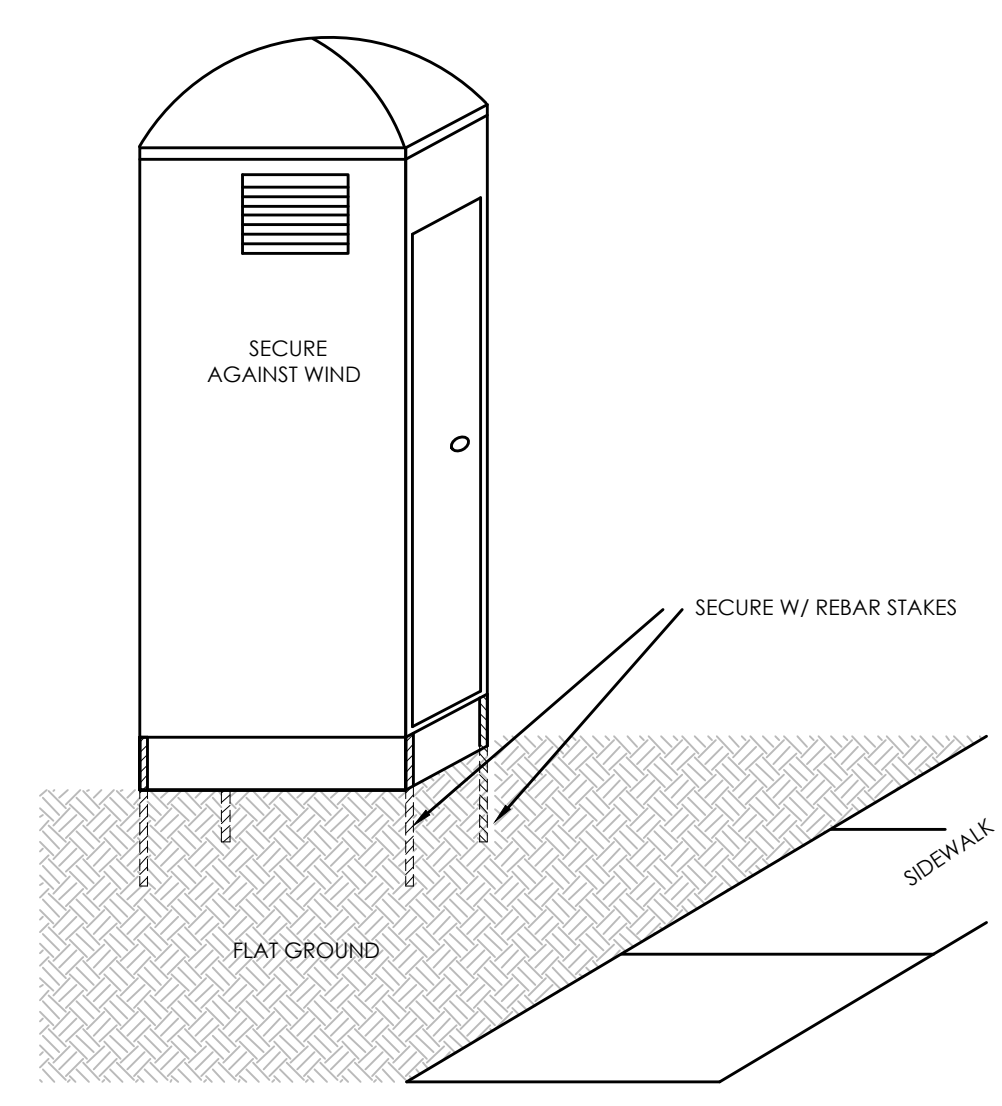
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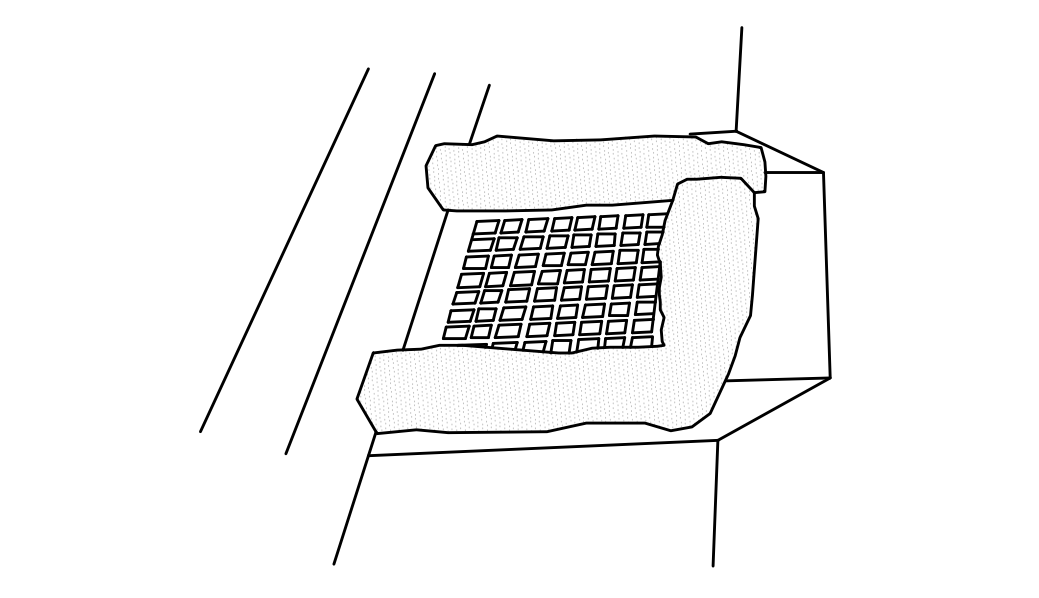




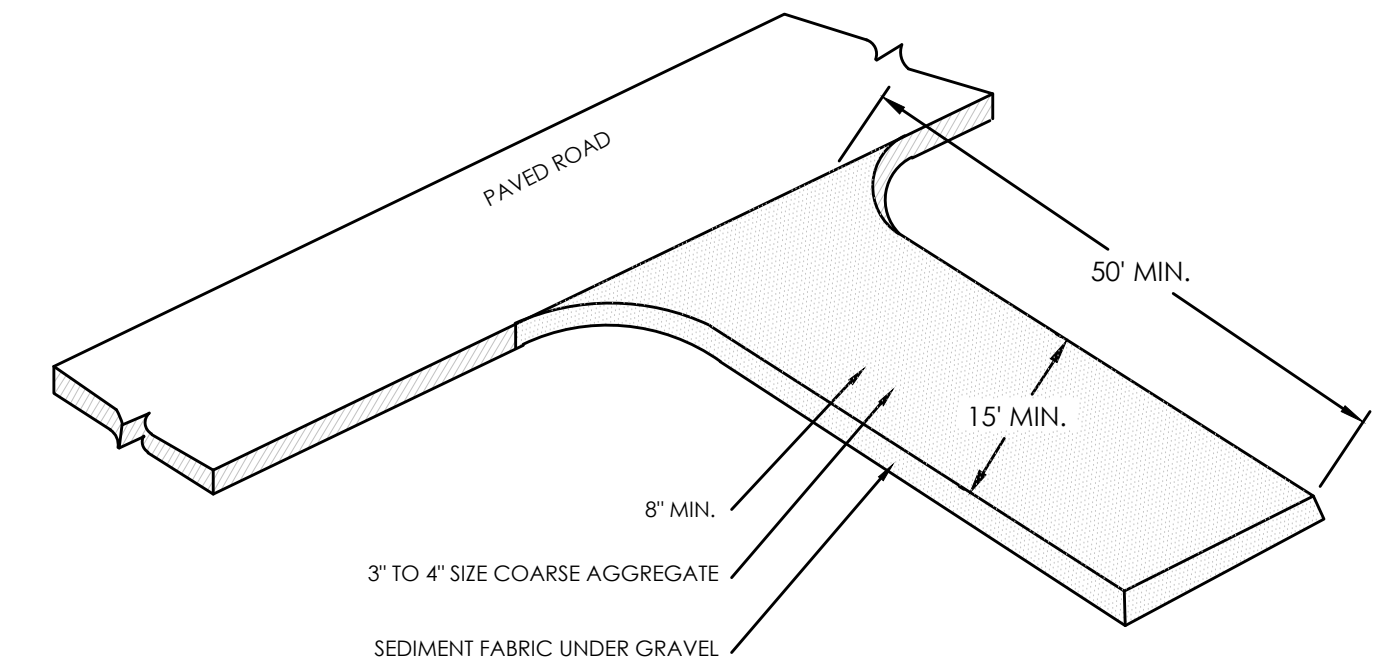
- EROSION CONTROL LEGEND**
- CONSTRUCTION ENTRANCE
  - MATERIALS STORAGE
  - FUEL TANKS
  - CONCRETE WASHOUT
  - TRASH BIN
  - PORTABLE TOILET
  - CONSTRUCTION TRAILER
  - INLET PROTECTION
  - SURFACE WATERS
  - OUTFALL
  - SILT FENCE OR BERM
  - CUTBACK CURB
  - FIBER ROLL



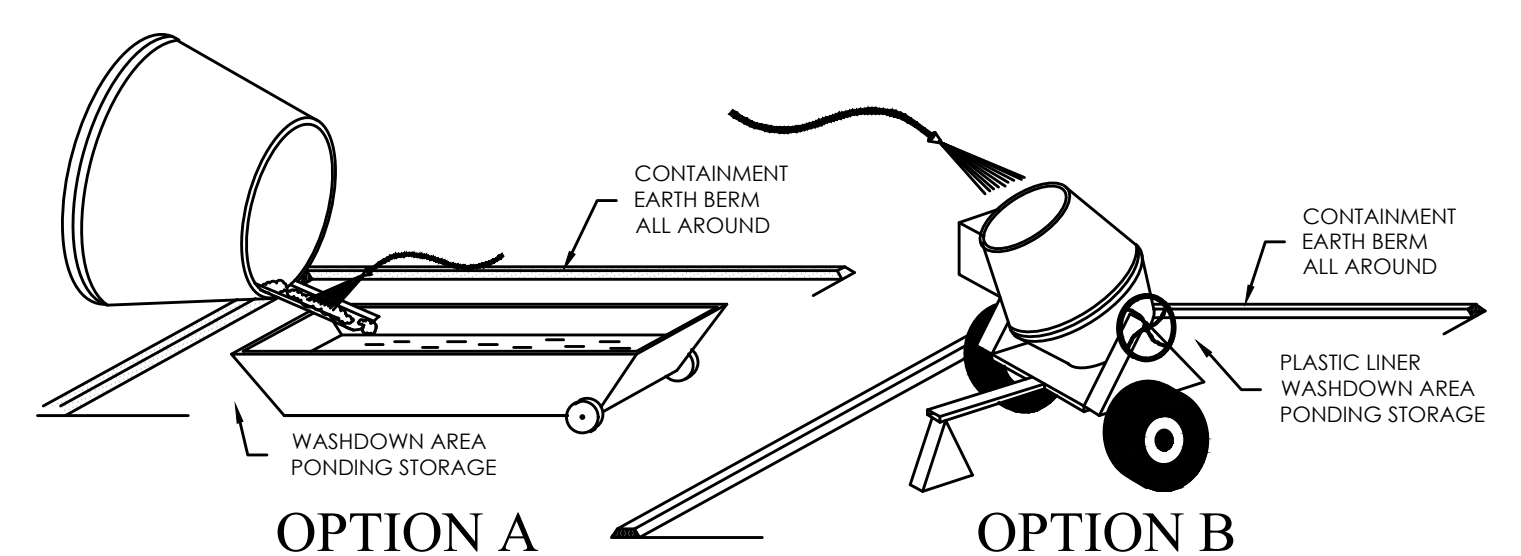
**PORTABLE TOILET**  
NTS



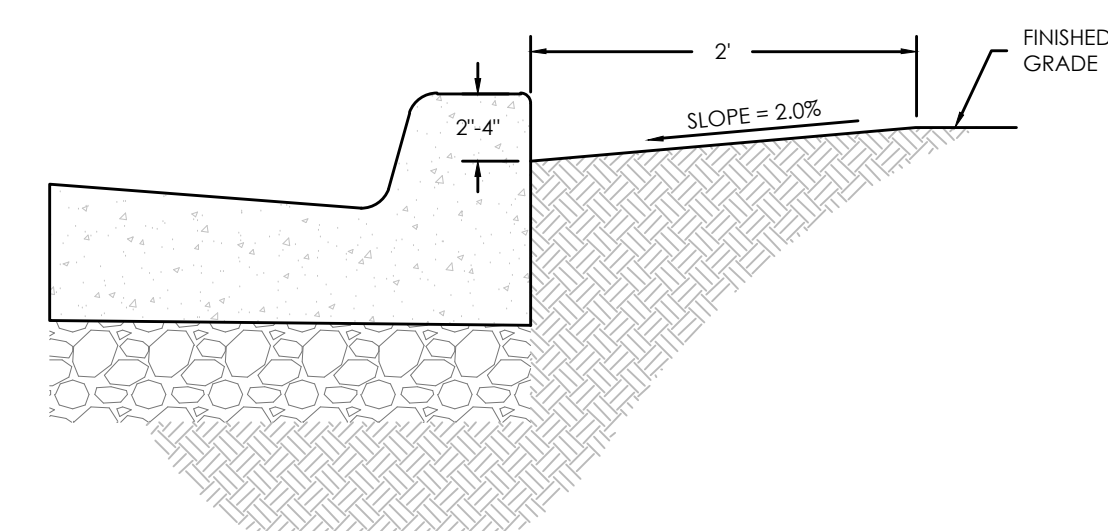
**INLET PROTECTION - GRAVEL BAGS**  
NTS



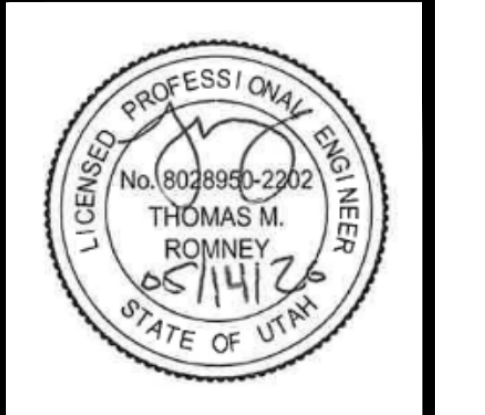
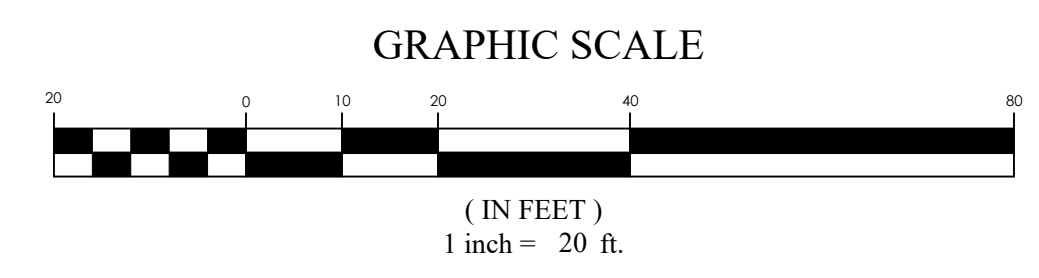
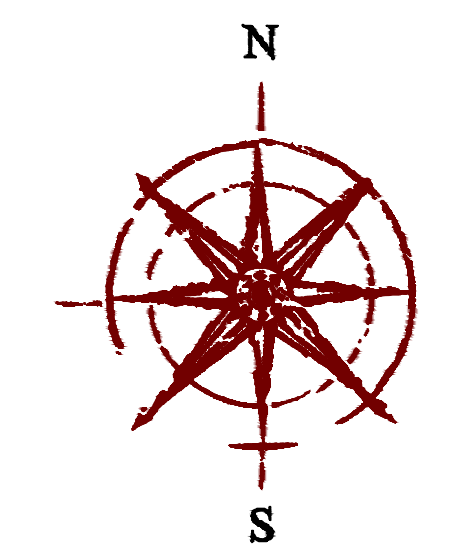
**STABILIZED CONSTRUCTION ENTRANCE**  
NTS



**CONCRETE WASTE MANAGEMENT**  
NTS



**CURB SEDIMENTATION TRAP**  
NTS



**FIVE.12 WAREHOUSE**  
170 S MAIN STREET, ALPINE, UT 84004  
**EROSION CONTROL PLAN**

REVISION BLOCK	DATE	DESCRIPTION
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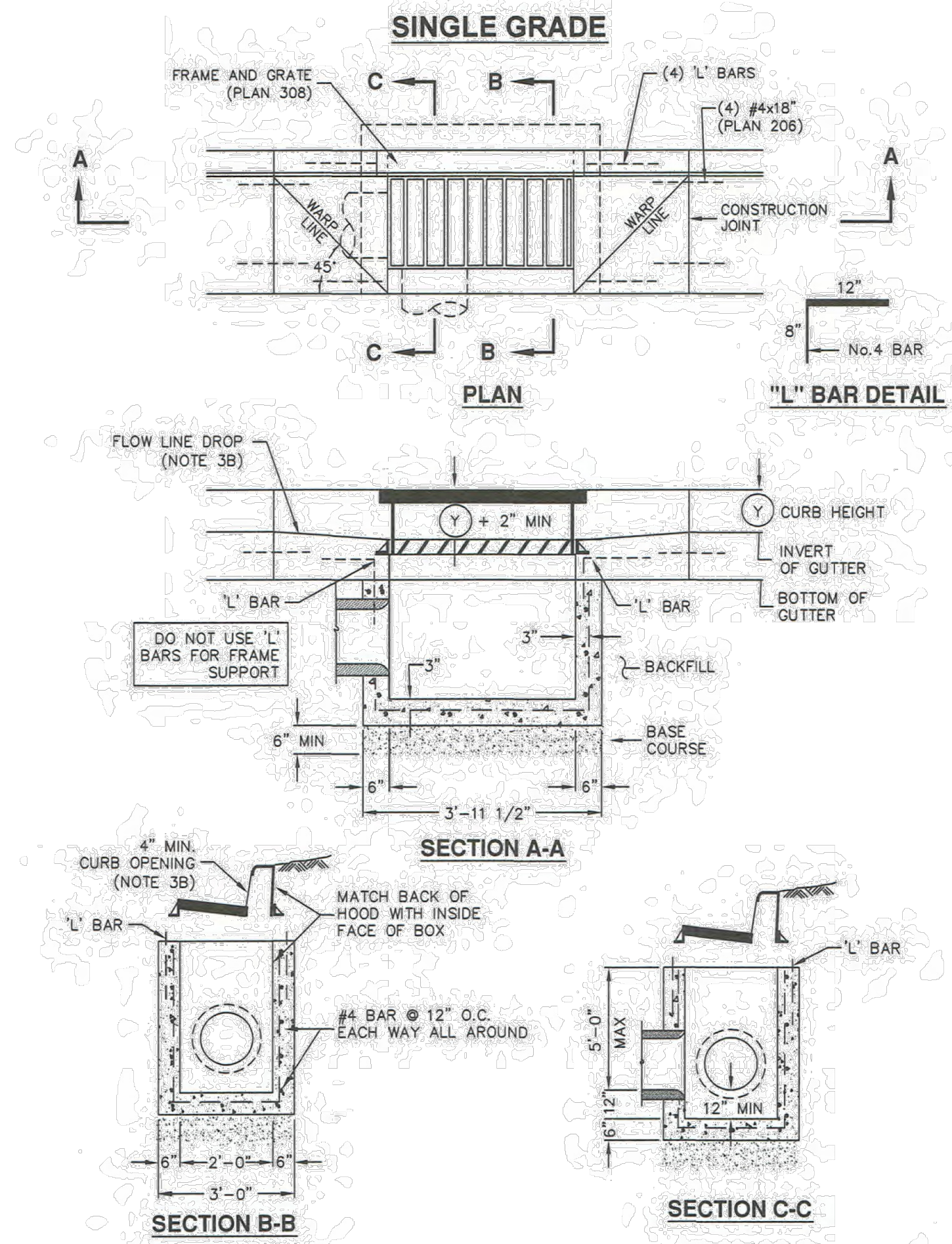
**Catch basin**

- GENERAL**

A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- PRODUCTS**

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
 B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.  
 C. Concrete: Class 4000, APWA Section 03 30 04.  
 D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
- EXECUTION**

A. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
 B. Curb Face Opening: Make opening at least 4-inches high. Provide at least a 2-inch drop between the "warp line" in the gutter flow-line and the top of the grate at the curb face opening.  
 C. Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.  
 D. Backfill: Place backfill against the basin wall. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



APWA Utah Chapter **Catch basin** Plan 315.1 September 2010

315.1

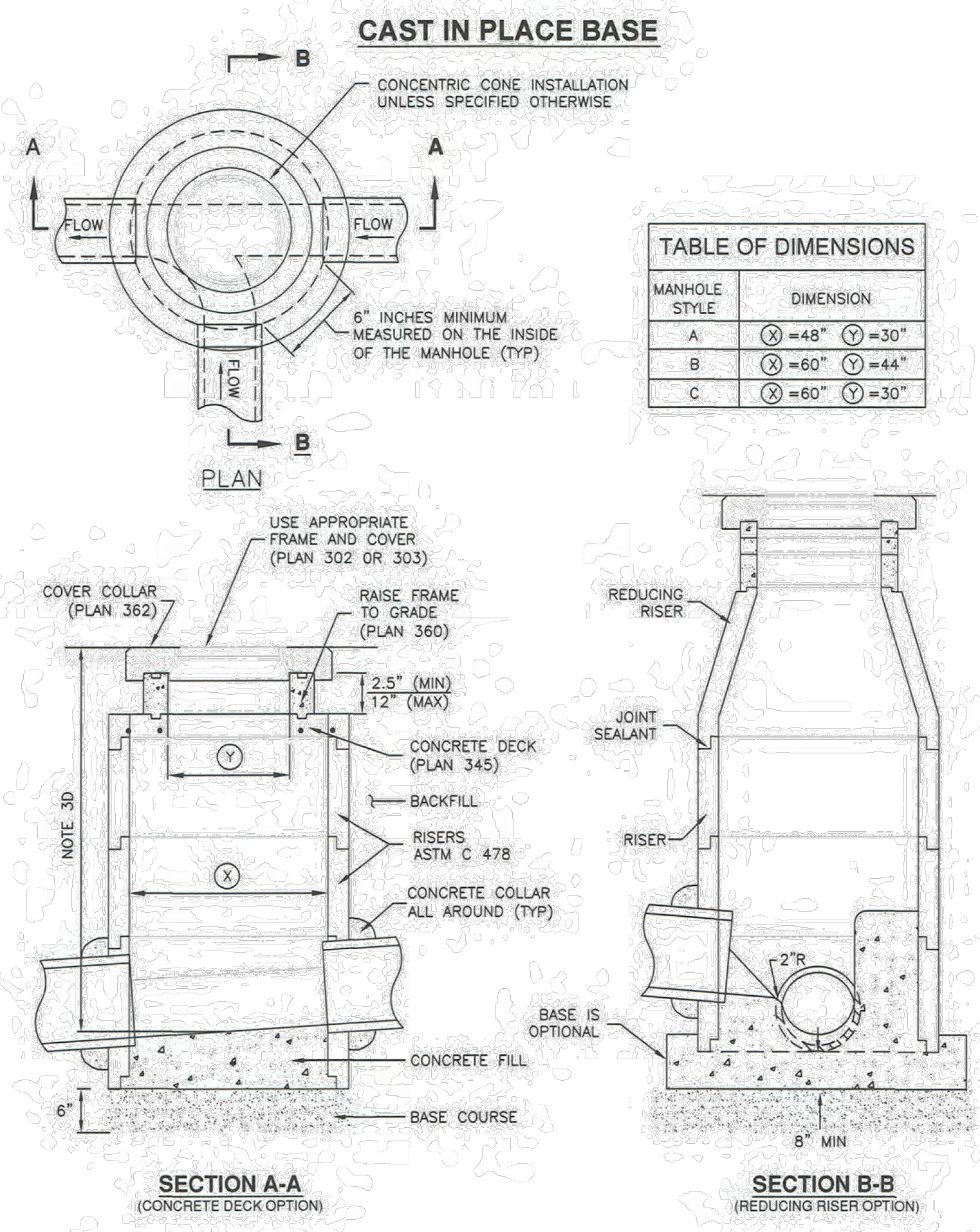
**Precast manhole**

- GENERAL**

A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.  
 B. Manhole size:  
 1) Diameter is 4-feet: For pipe under 12" diameter.  
 2) Diameter is 5-feet: For pipe 12" and larger, or when 3 or more drain pipes intersect the manhole.  
 C. Wall thickness:  
 1) Precast reinforced concrete walls 4 3/4" minimum.  
 2) Cast-in-place concrete to be 8 inches thick minimum.
- PRODUCTS**

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
 B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.  
 C. Concrete: Class 4000, APWA Section 03 30 04.  
 D. Riser and Reducing Riser: ASTM C478.  
 E. Joint Sealant: Rubber based, compressible.  
 F. Grout: 2 parts sand to 1 part cement mortar, ASTM C1329.  
 G. Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR'S choice, APWA Section 31 05 19.
- EXECUTION**

A. Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or a sewer rock in a geotextile wrap to stabilize an unstable foundation.  
 B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
 C. Invert cover. During construction, place invert covers over the top of pipe in manholes that currently convey sewerage. See Plan 412.  
 D. Concrete Deck or Reducing Riser: When depth of manhole from pipe invert to finish grade exceeds 7 feet, use an ASTM C478 reducing riser.  
 E. Pipe Connections: Grout around all pipe openings.  
 F. Pipe Seal: Install rubber-based pipe seals on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.  
 G. Joints: Place flexible sealant in all riser joints. Finish with grout.  
 H. Adjustment: If the required manhole adjustment is more than 1'-0", remove the cone and grade rings and adjust the manhole elevation with the appropriate manhole section, the cone section, and the grade rings or plastic form to make frame and lid match finish grade.  
 I. Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.  
 J. Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



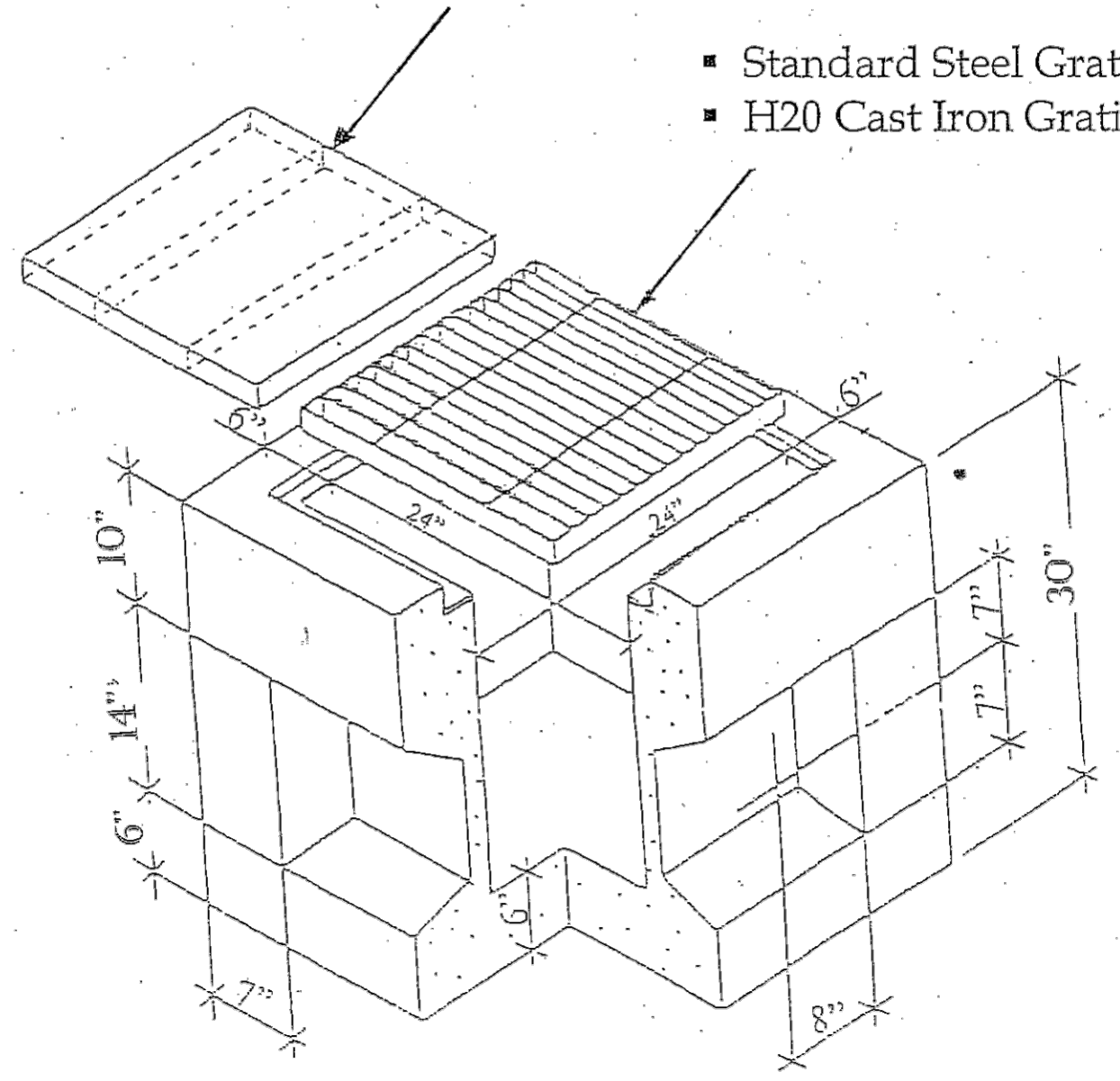
APWA Utah Chapter **Precast manhole** Plan 341.1 November 2010

341.1

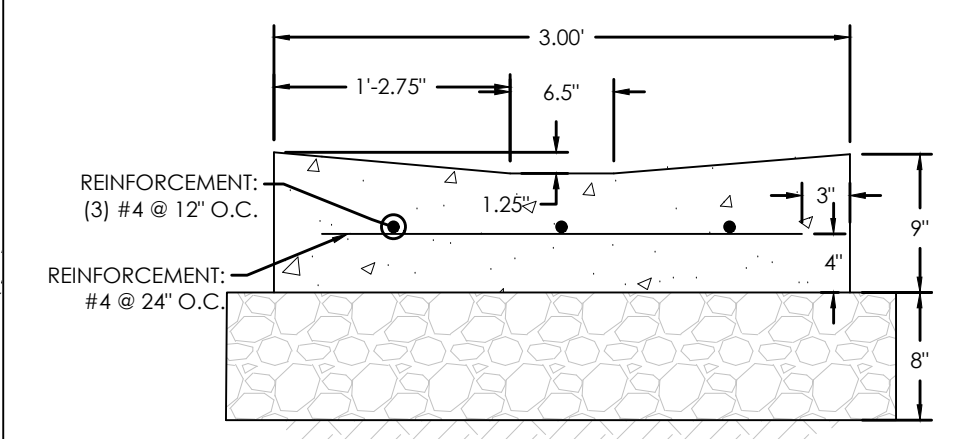


**Catch Basin**  
2' x 2' x 2' I.D.

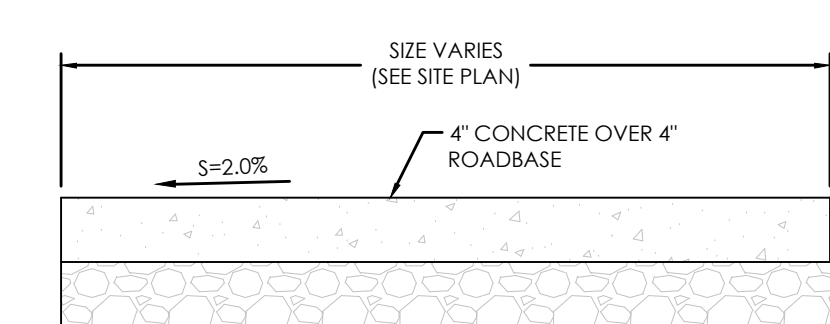
Optional steel plate cover - 3/16" plate



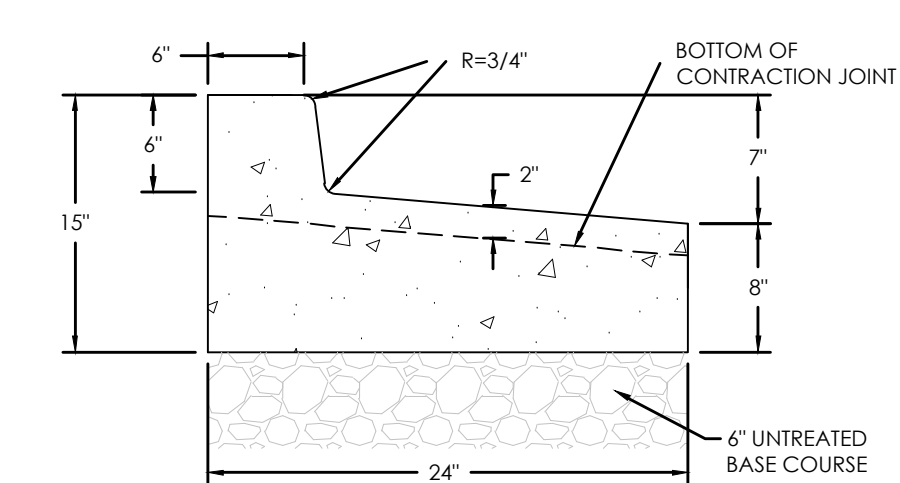
- Standard Steel Grating
- H20 Cast Iron Grating



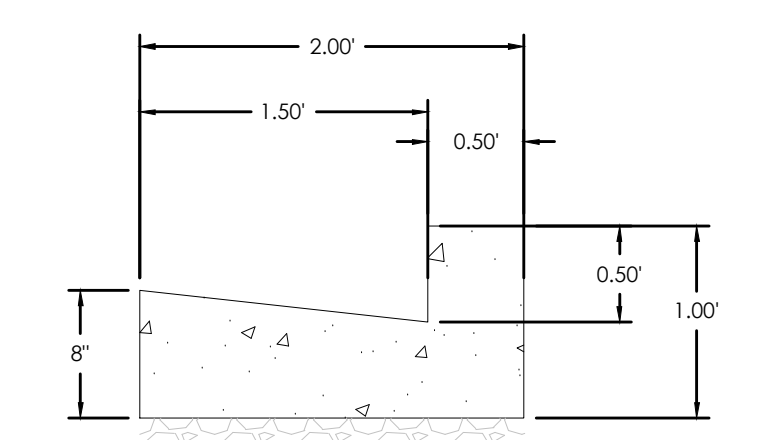
3' WATERWAY NTS



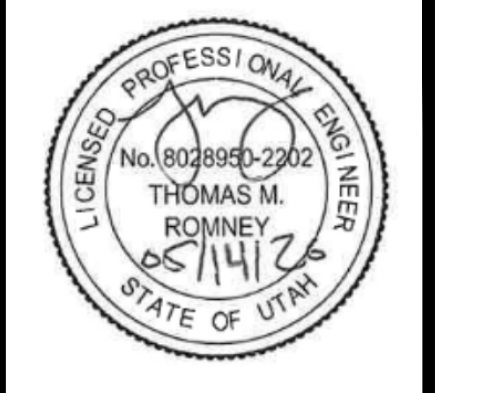
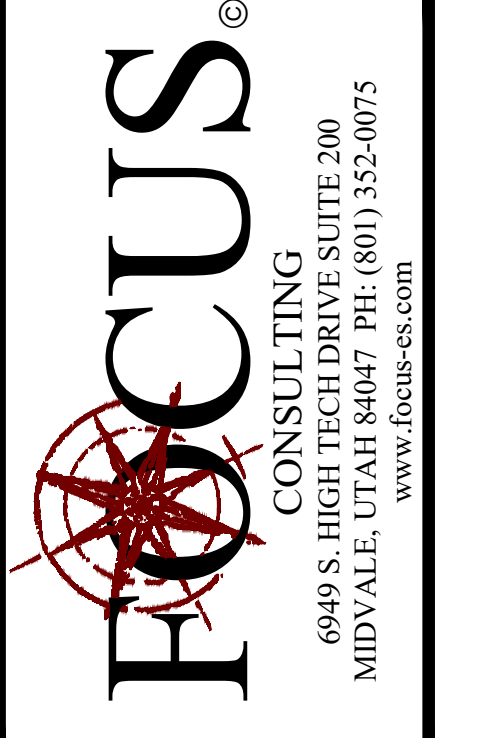
SIDEWALK SECTION NTS



REVERSE PAN CURB AND GUTTER NTS



2.0' HIGHBACK NTS



FIVE.12 WAREHOUSE  
170 S MAIN STREET, ALPINE, UT 84004  
DETAILS

REVISION BLOCK	
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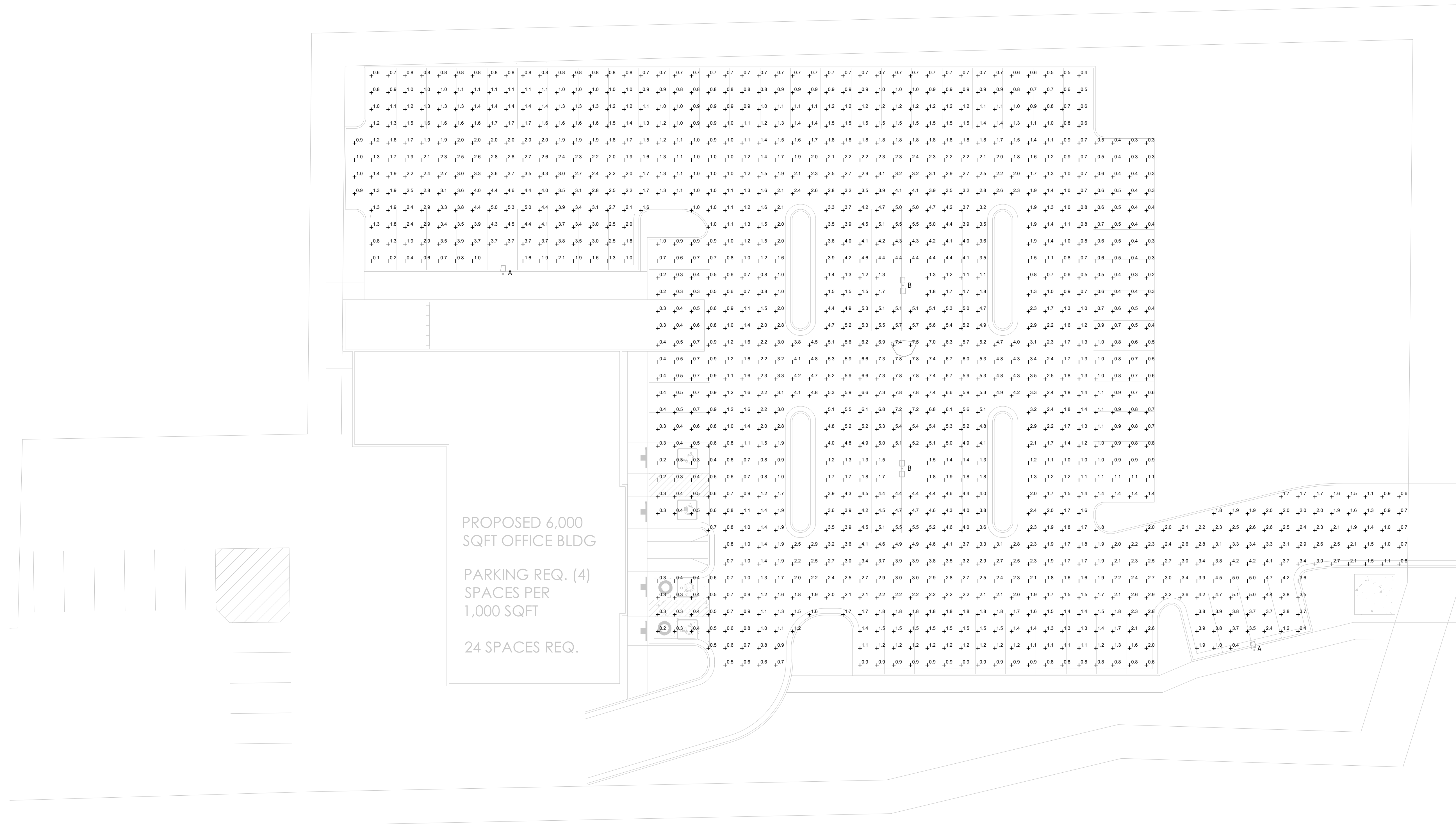
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Date: 05/14/26	Job #: 25-0307
Sheet:	D1.0



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**ALPINE SITE  
PHOTOMETRIC**



**A SITE PHOTOMETRIC PLAN**  
E1.1 SCALE: 1/32" = 1'-0"

DRAWN BY: PCH		
CHECKED BY: PCH		
PROJECT NO.: #####		
NO.	DATE	DESCRIPTION

**SITE PHOTOMETRIC PLAN**

DRAWING NO.  
**E1.1**

## D-Series Size 2 LED Area Luminaire

**Specifications**

EPA: 1.00 ft<sup>2</sup> (0.30 m<sup>2</sup>)

Length: 40.59" (1031 mm)

Width: 16.76" (425 mm)

Height H1: 6.11" (155 mm)

Height H2: 3.94" (100 mm)

Weight: 45 lbs (20.4 kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 1000W HID and expected service life of over 100,000 hours.

**Ordering information** EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature*	Color Rendering Index*	Description	Voltage	Mounting	
DSX2 LED	Forward optics	(this section 70CRI only)					
		P1 P5	300K 3000K	70CRI	AFL Automation face only	T3M Type 3 medium	MVOLT (120V-277V)*
		P1 P6	400K 4000K	70CRI	T15 Type 1 short	T5L5 Type 1 low glare	HVOLT (147V-480V)**
		P3 P7	500K 5000K	70CRI	T2M Type 2 medium	T3M Type 3 medium	TVOLT (277V-480V)**
	Related optics	P4 P8	300K 3000K	80CRI	T3M Type 3 medium	BLC4 Type 4 backlight control*	208 v~*
		P10* P13*	300K 3000K	80CRI	T4L4 Type 4 low glare*	BLC4 Type 4 backlight control*	240 v~*
		P11* P14*	300K 3000K	80CRI	T4L5 Type 4 low glare*	T3M Type 3 medium	277 v~*
		P12* P15*	300K 3000K	80CRI	T4L6 Type 4 low glare*	LCCD Left corner cutoff*	247 v~*
	Control options	P16	300K 3000K	80CRI	T3TM Forward throw medium	RCCD Right corner cutoff*	240 v~*
		P17	300K 3000K	80CRI			247 v~*
		P18	300K 3000K	80CRI			240 v~*
		P19	300K 3000K	80CRI			247 v~*

**Shipped installed**

Option	Description	Shipped separately	Finish (standard)
PER1	1/2" galvanized steel	0206D Dark Bronze	0206D Dark Bronze
PER2	1/2" galvanized steel with 1/8" zinc plating	0206D Dark Bronze	0206D Dark Bronze
PER3	1/2" galvanized steel with 1/8" zinc plating and 1/8" aluminum	0206D Dark Bronze	0206D Dark Bronze
PER4	1/2" galvanized steel with 1/8" zinc plating and 1/8" aluminum and 1/8" stainless steel	0206D Dark Bronze	0206D Dark Bronze
PER5	1/2" galvanized steel with 1/8" zinc plating and 1/8" aluminum and 1/8" stainless steel and 1/8" copper	0206D Dark Bronze	0206D Dark Bronze

**Shipped separately**

Option	Description	Shipped separately
0206D	Dark Bronze	0206D Dark Bronze
0206L	Light Bronze	0206L Light Bronze
0206S	Special Aluminum	0206S Special Aluminum
0206W	White	0206W White
0206B	Black	0206B Black
0206G	Galvalume	0206G Galvalume
0206H	Hot Dip Galvanized	0206H Hot Dip Galvanized
0206I	Industrial Aluminum	0206I Industrial Aluminum
0206J	Marine Aluminum	0206J Marine Aluminum
0206K	Stainless Steel	0206K Stainless Steel

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	2.1 fc	7.8 fc	0.1 fc	78.0:1	21.0:1

**Schedule**

Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
A	A		2	DSX2 LED P1 30K 70CRI BLC4	D-Series Size 2 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control		1	14042	1	134.5	
B	B		2	DSX2 LED P1 30K 70CRI BLC4	D-Series Size 2 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control		1	14042	1	269	

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DSX2 LED  
Rev. 06/26/25  
Page 1 of 10

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	2.1 fc	7.8 fc	0.1 fc	78.0:1	21.0:1

**Schedule**

Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
A	A		2	DSX2 LED P1 30K 70CRI BLC4	D-Series Size 2 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control		1	14042	1	134.5	
B	B		2	DSX2 LED P1 30K 70CRI BLC4	D-Series Size 2 Area Luminaire P1 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control		1	14042	1	269	

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CHECKED BY: PCH  
PROJECT NO: #####

NO.	DATE	DESCRIPTION

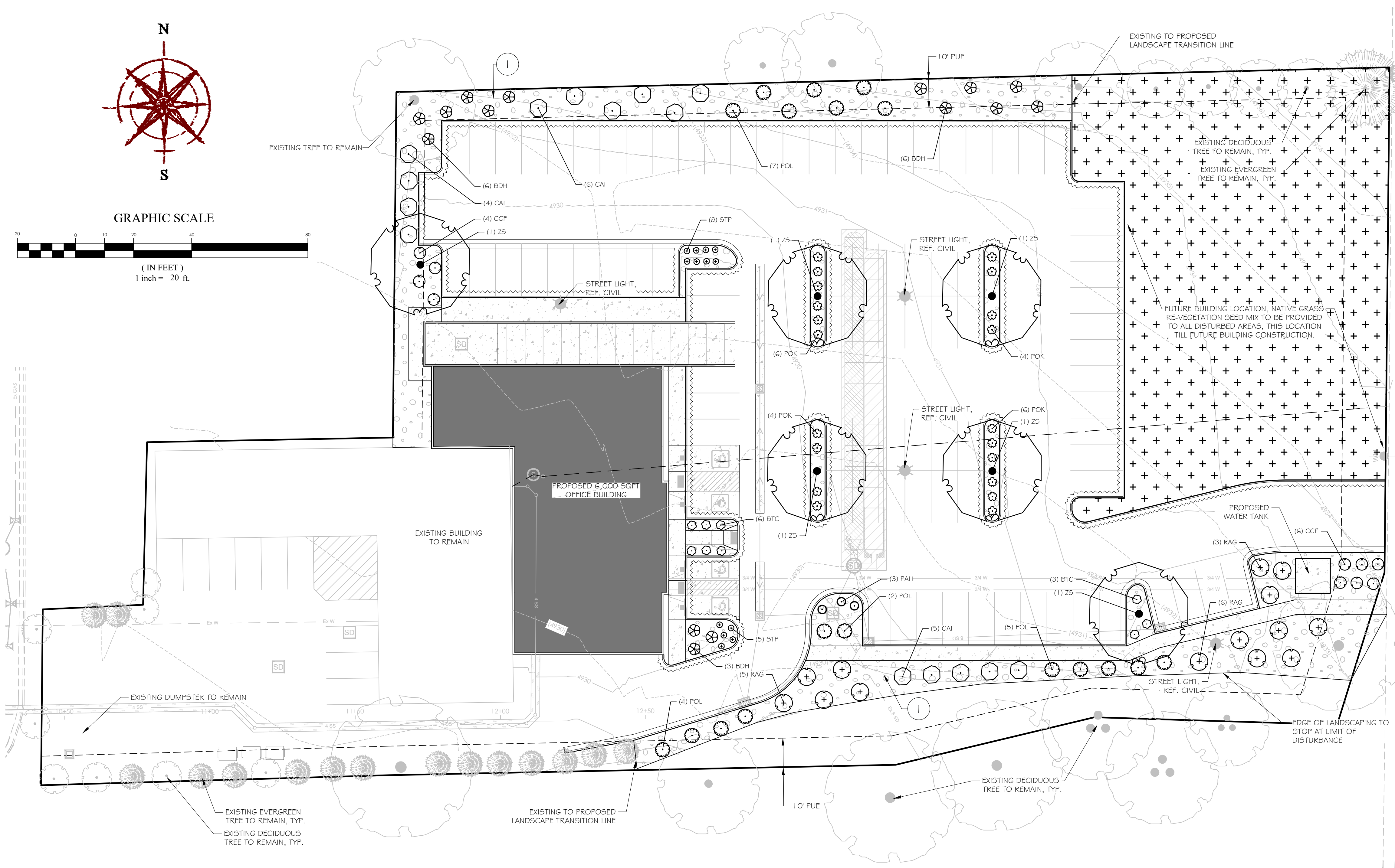
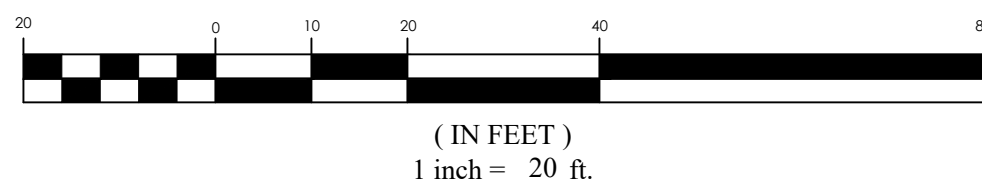
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DRAWING NO.

E1.2

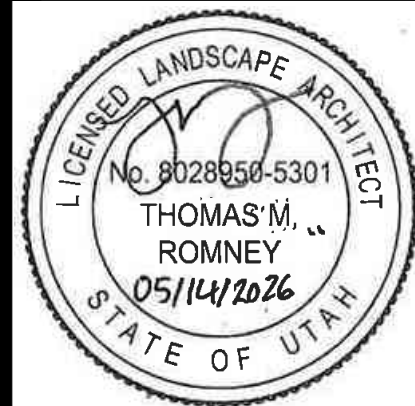
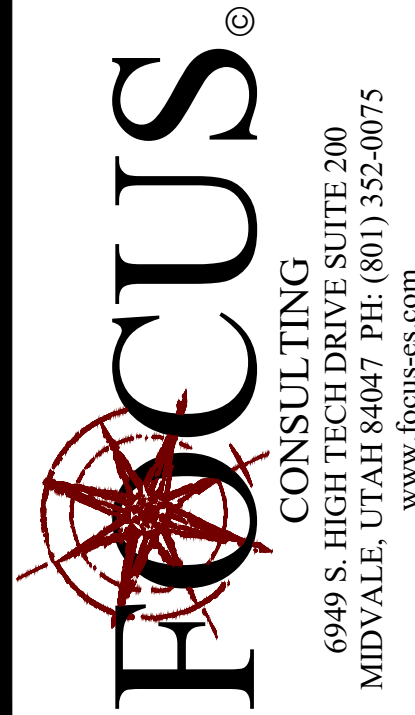


GRAPHIC SCALE



LANDSCAPE NOTES

1. TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
2. CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
4. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.



FIVE.12 WAREHOUSE  
170 S MAIN STREET, ALPINE, UT 84004  
LANDSCAPE PLAN

2026-05-14 14:4

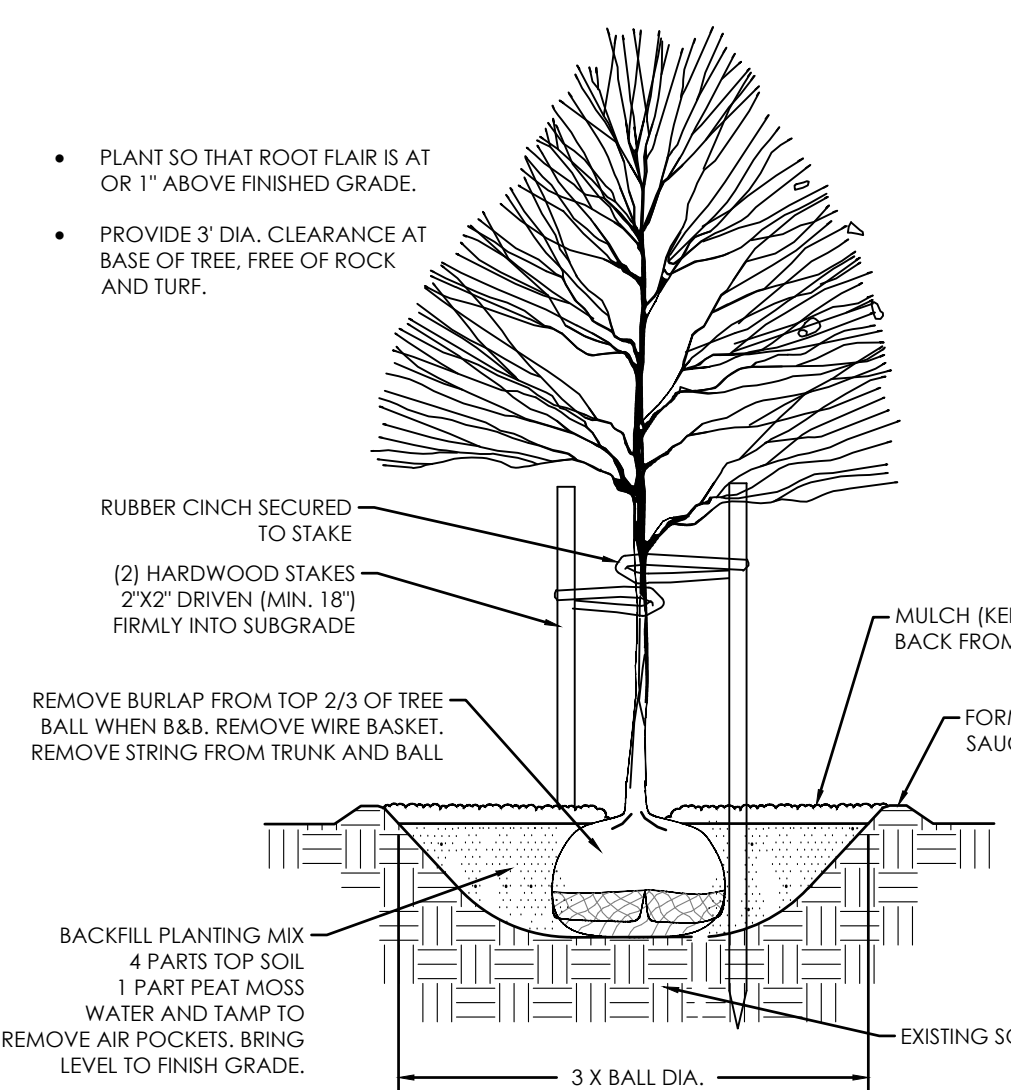
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
<b>TREES</b>					
	Z5	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	1.5" Cal.	6
<b>SHRUBS</b>					
BTC	Barberris thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	9	
BDH	Buddleja davidii 'Buzz Hot Raspberry'	Hot Raspberry Butterfly Bush	5 gal.	15	
CCF	Caryopteris x clandonensis 'First Choice'	First Choice Bluebeard	5 gal.	10	
CAI	Cornus alba 'Bailhalo' TM	Ivory Halo Dogwood	5 gal.	15	
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	18	
RAG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	14	
<b>ORNAMENTAL GRASSES</b>					
FAH	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gal.	3	
POK	Pennisetum alopecuroides 'Karley Rose'	Karley Rose Fountain Grass	1 gal.	20	
<b>PERENNIALS</b>					
STP	Salvia nemorosa 'Perfect Profusion'	Perfect Profusion Meadow Sage	1 gal.	13	

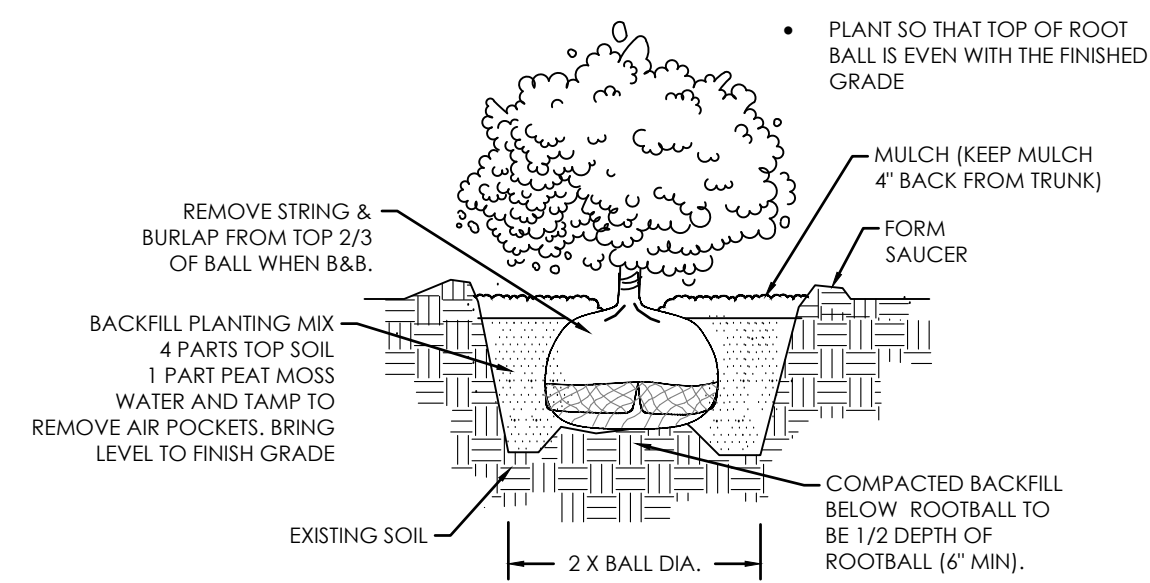
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REFERENCE NOTES SCHEDULE

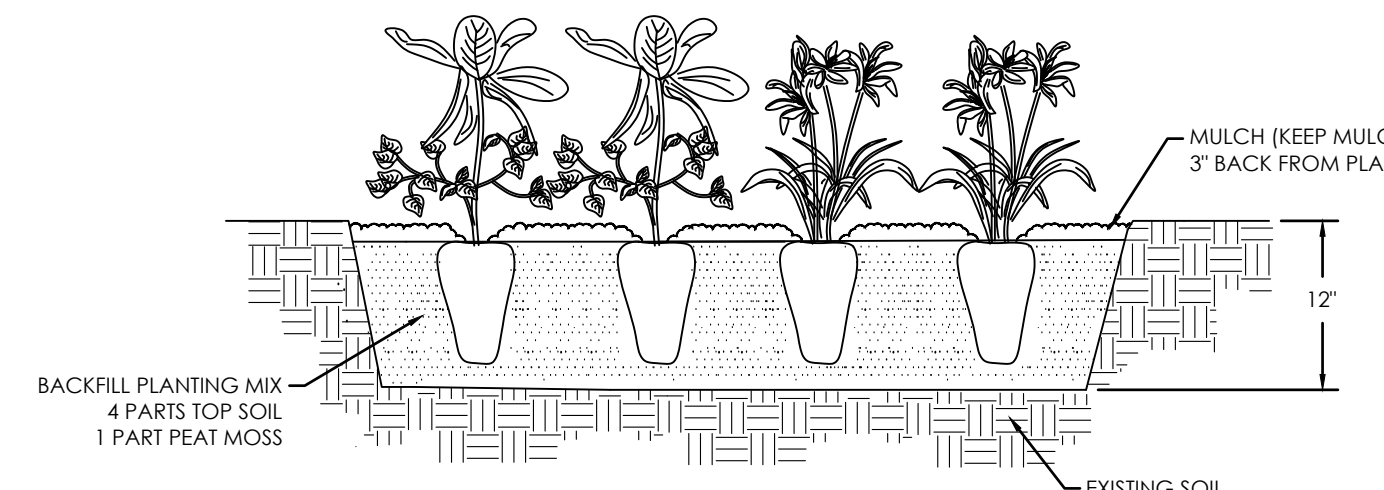
SYMBOL	CODE	DESCRIPTION	QTY
	I	4"-6" TAN RIVER ROCK MULCH	9,368 sf



**A** TREE PLANTING & STAKING  
NOT TO SCALE



**B** SHRUB PLANTING  
NOT TO SCALE



**C** PERENNIAL PLANTING  
NOT TO SCALE

REVISION BLOCK	DATE	DESCRIPTION
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LANDSCAPE PLAN

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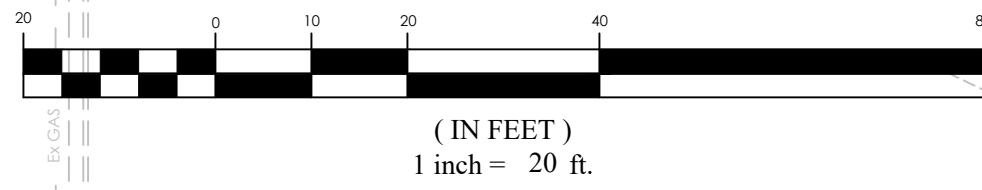
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Job #: 25-0307

L1.0

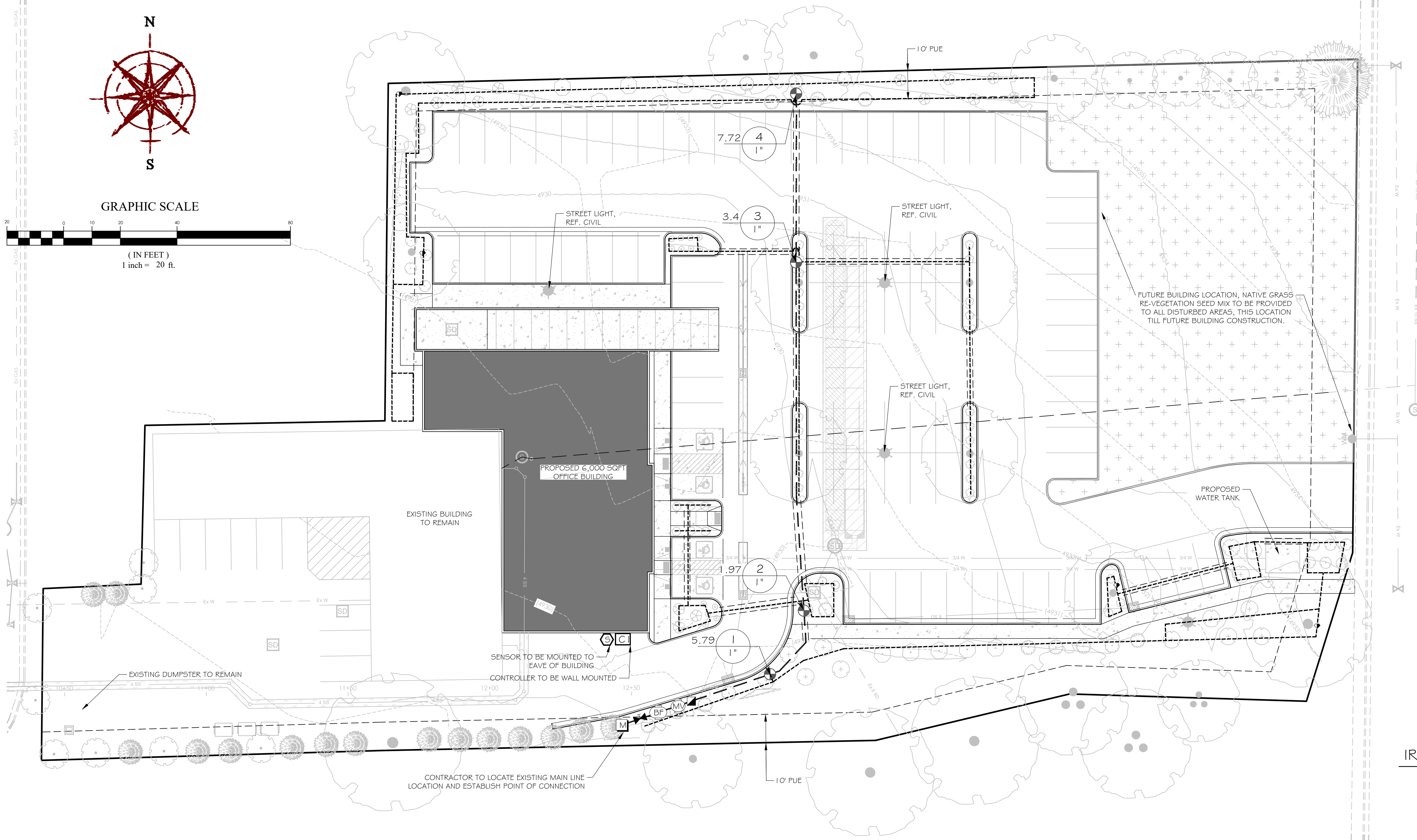
Z:\2025\25-0307 Rick Greene Paving L1 Design 25-0307.dwg 05/14/26 11:59 AM



GRAPHIC SCALE



(IN FEET)  
1 inch = 20 ft.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XB-G Six-Outlet, Pressure Compensating, Drip Emitter, Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	4

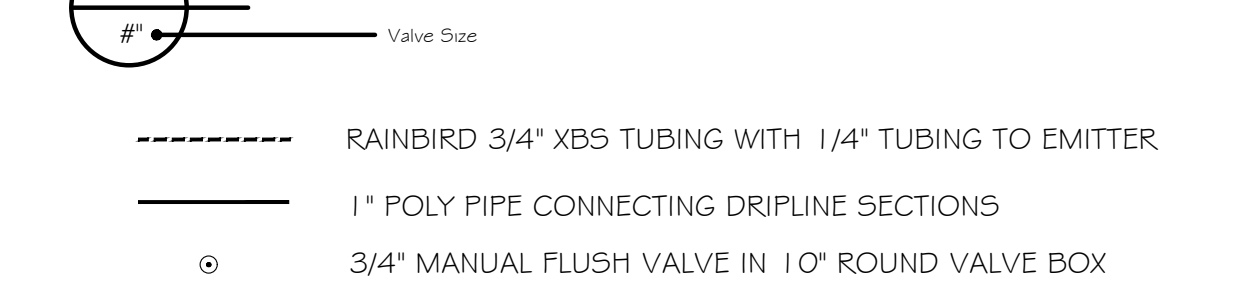
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB 1" 1 in., 1-1/2 in., 2 in. Plastic Industrial Remote Control Valve. Low Flow Operating Capability, Globe Configuration.	4

	Rain Bird 44-LRC 1" 1 in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	1
	STOP AND WAST VALVE 1" MUELLER MARK II ORISEAL 5/4" VALVE MODEL H-10288	1

	Wilens by Zum Elkay Water Solutions 375XL 1" Reduced Pressure Principle Backflow Preventer, lead-free 1/2 in. - 5/8 in.	1
--	---	---

	Rain Bird ESP-2WIRE (120VAC) 50 Station 2-Wire, Indoor/ Outdoor Controller w/ decoder auto-address. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready. Use with 2W-1 single station decoders and standard direct burial wire.	1
	Rain Bird WR2-RFS Wireless Rain/Freeze Sensor.	1
	Water Meter 1"	1

	Irrigation Mainline: PVC Schedule 40	266.9 lf
	Pipe Sleeve: PVC Schedule 40	323.8 lf



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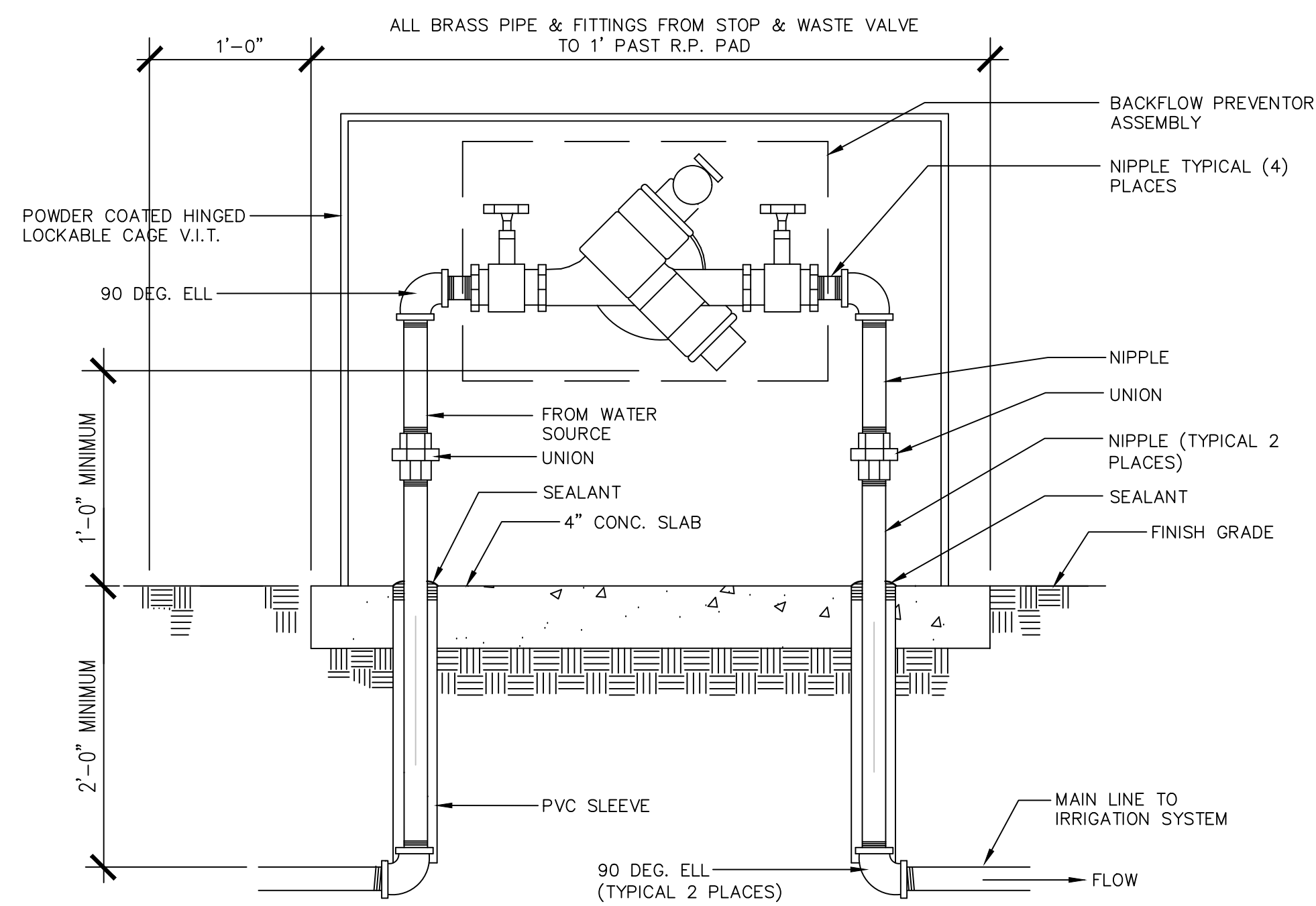
**FIVE.12 WAREHOUSE**  
**170 S MAIN STREET, ALPINE, UT 84004**  
**IRRIGATION PLAN**

REVISION BLOCK	
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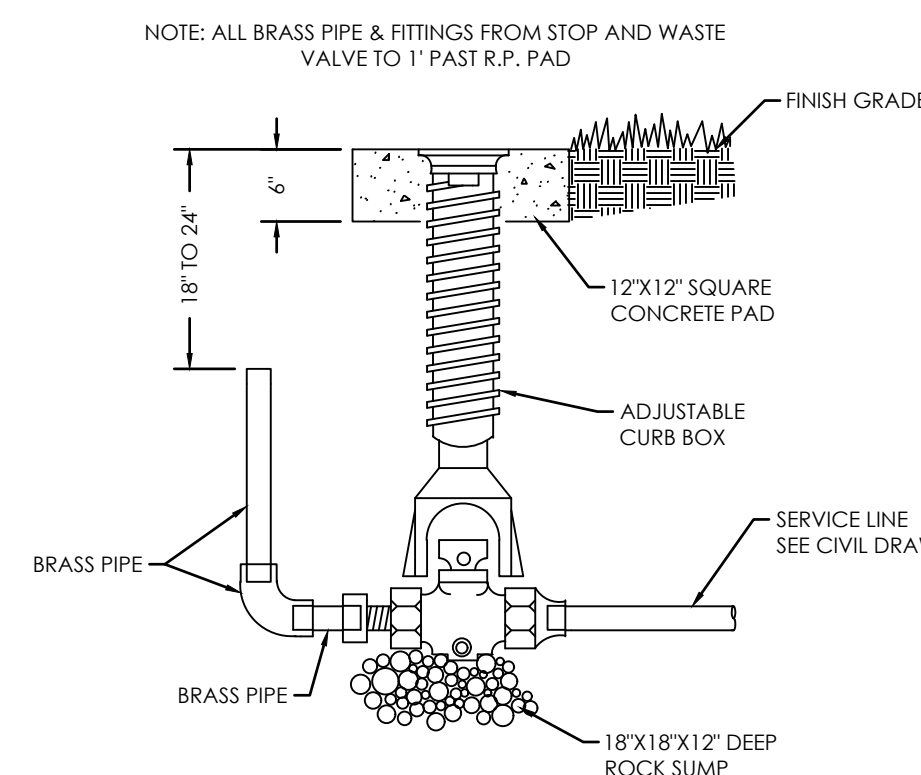
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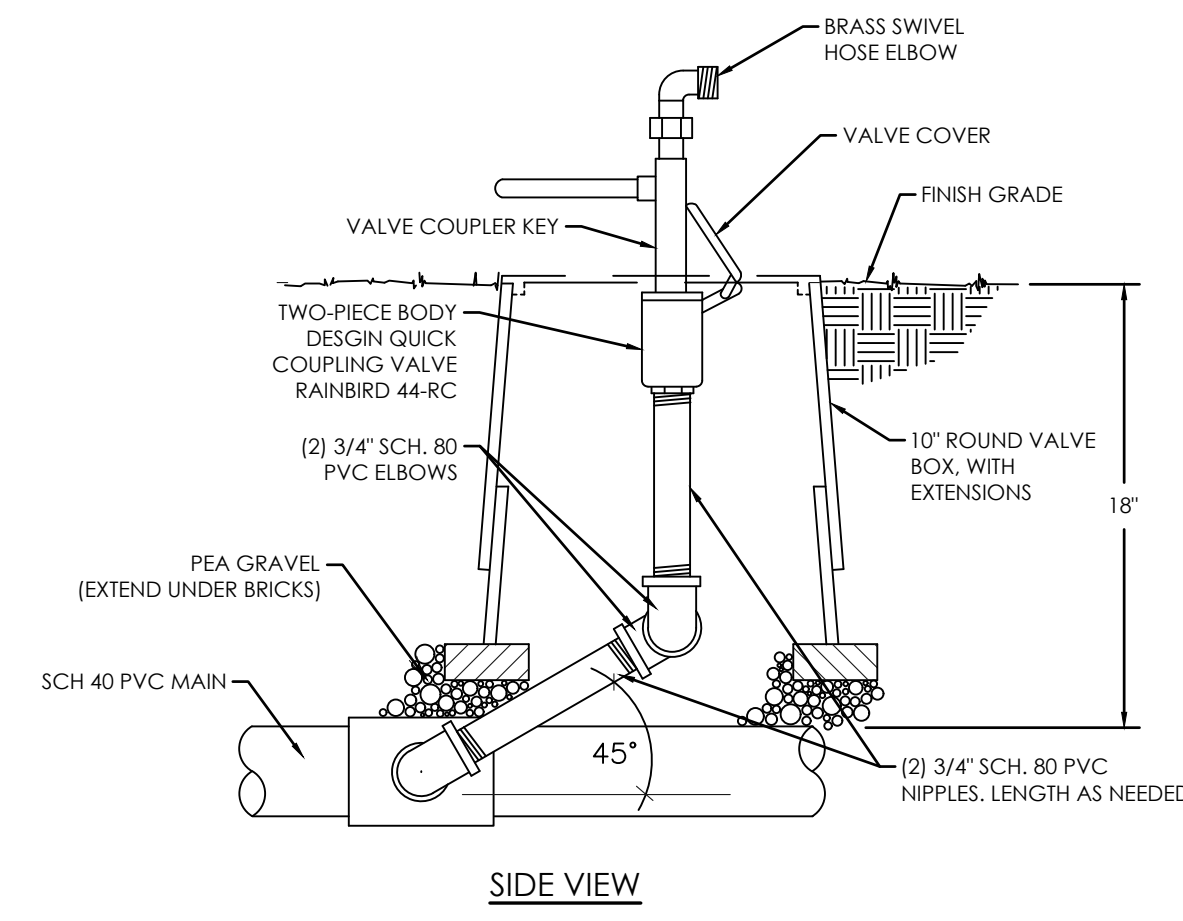
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Job #: 25-0307



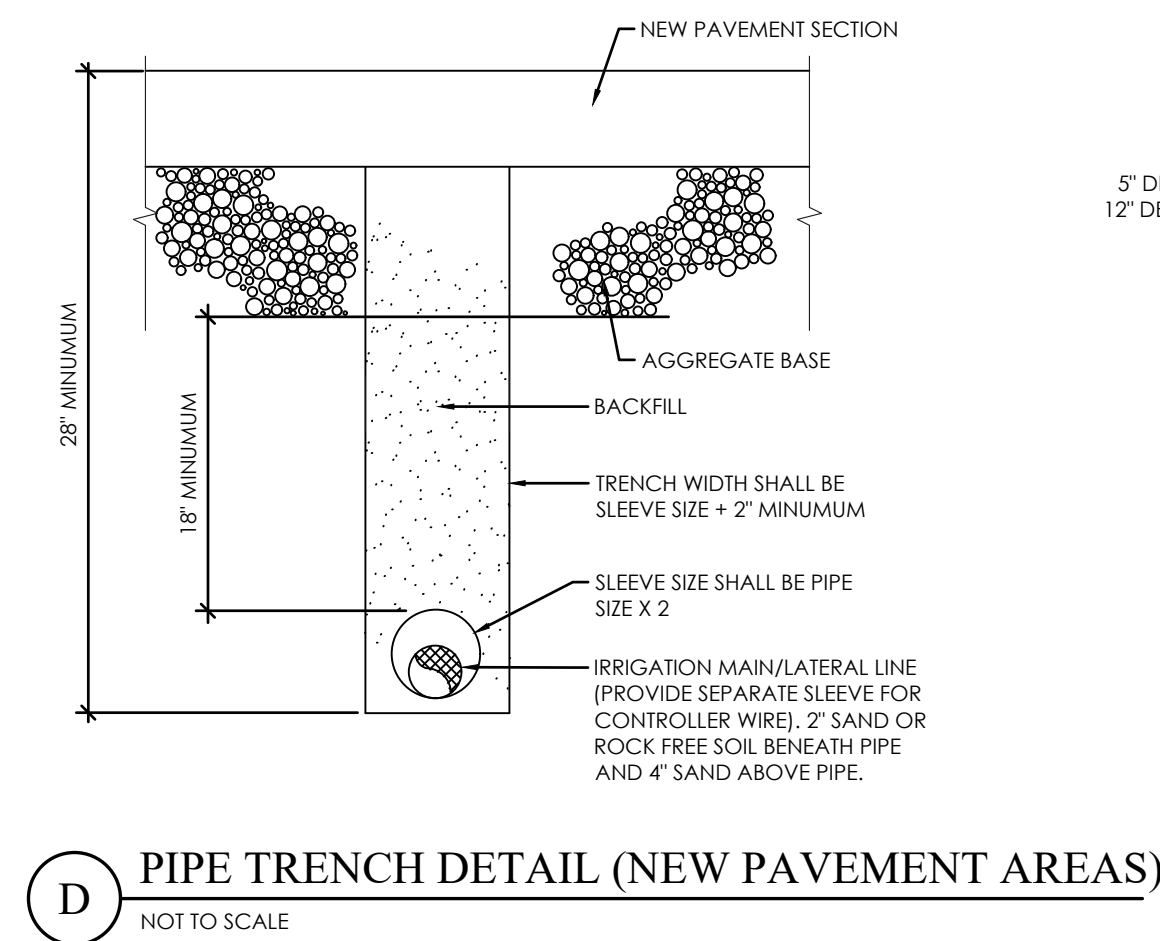
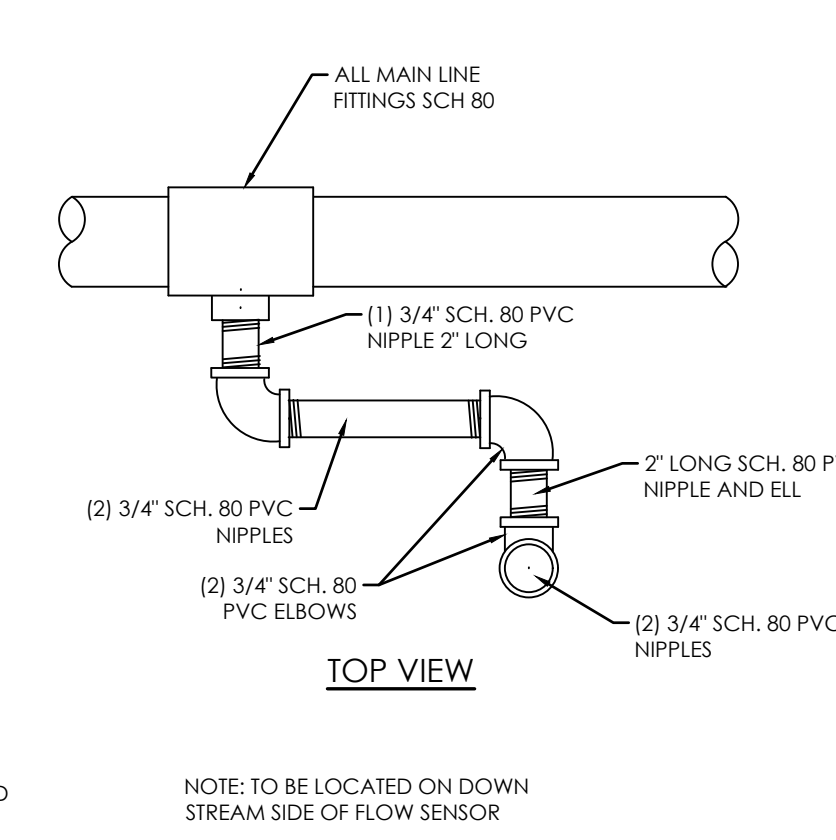
**A** REDUCED PRESSURE BACK FLOW PRESSURE  
NOT TO SCALE



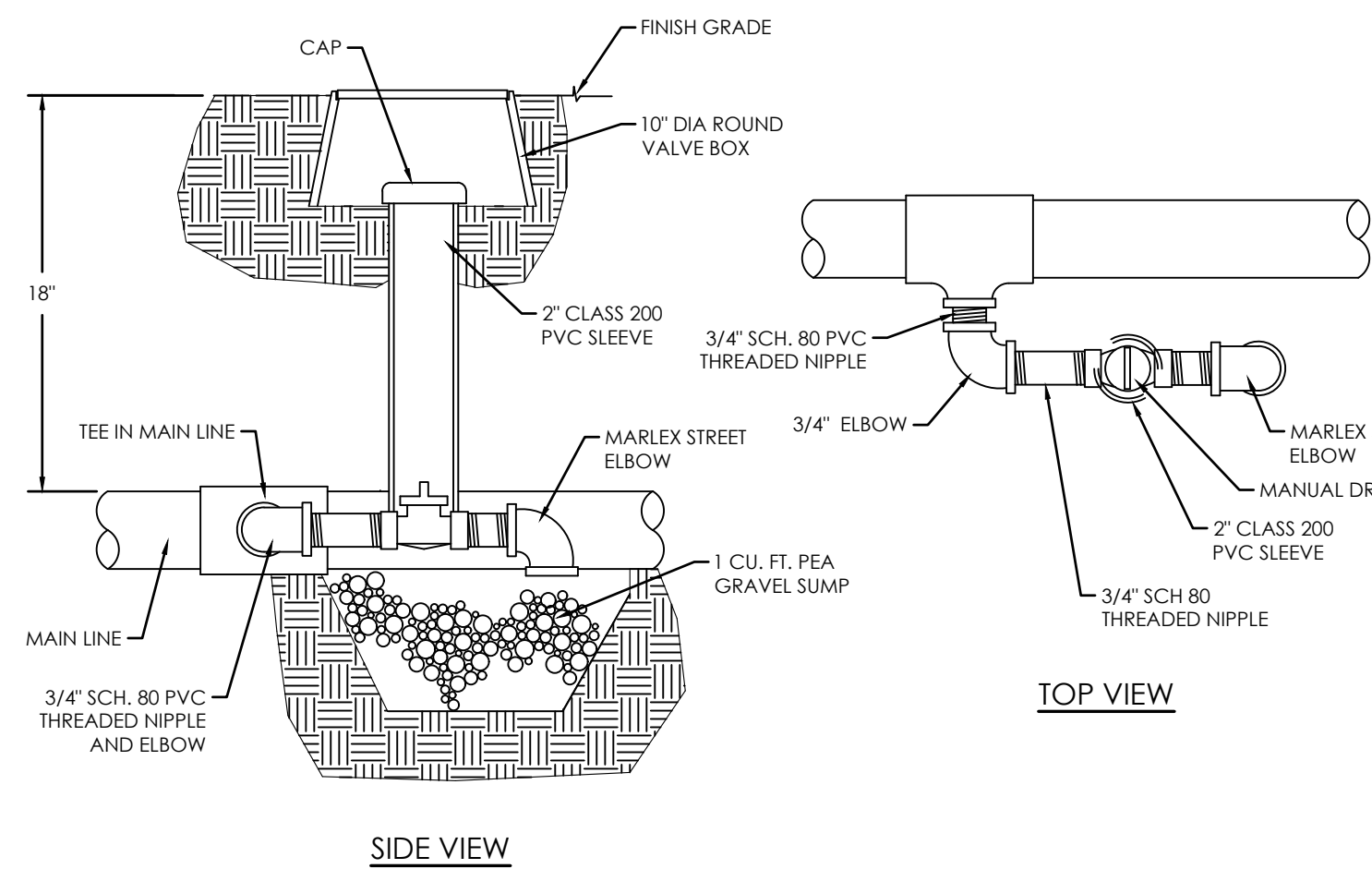
**B** STOP & WASTE VALVE DETAIL  
NOT TO SCALE



**C** QUICK COUPLING VALVE  
NOT TO SCALE

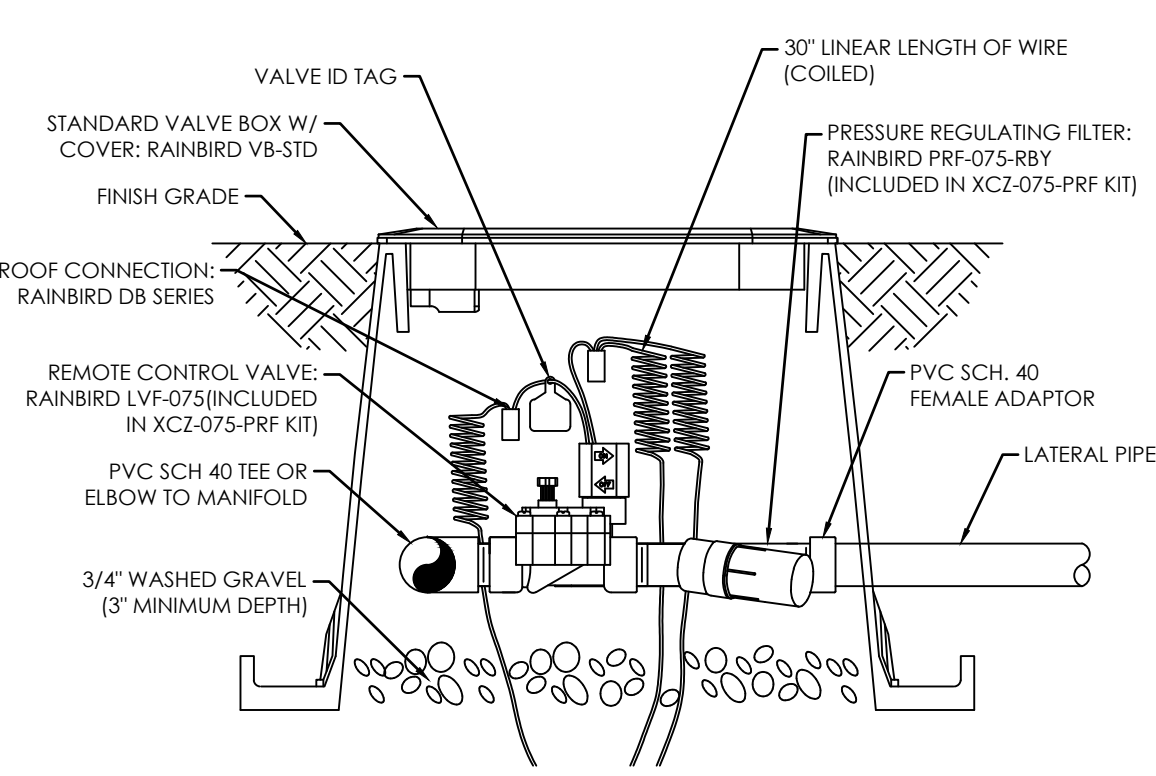


**E** TRENCH SECTION  
NOT TO SCALE

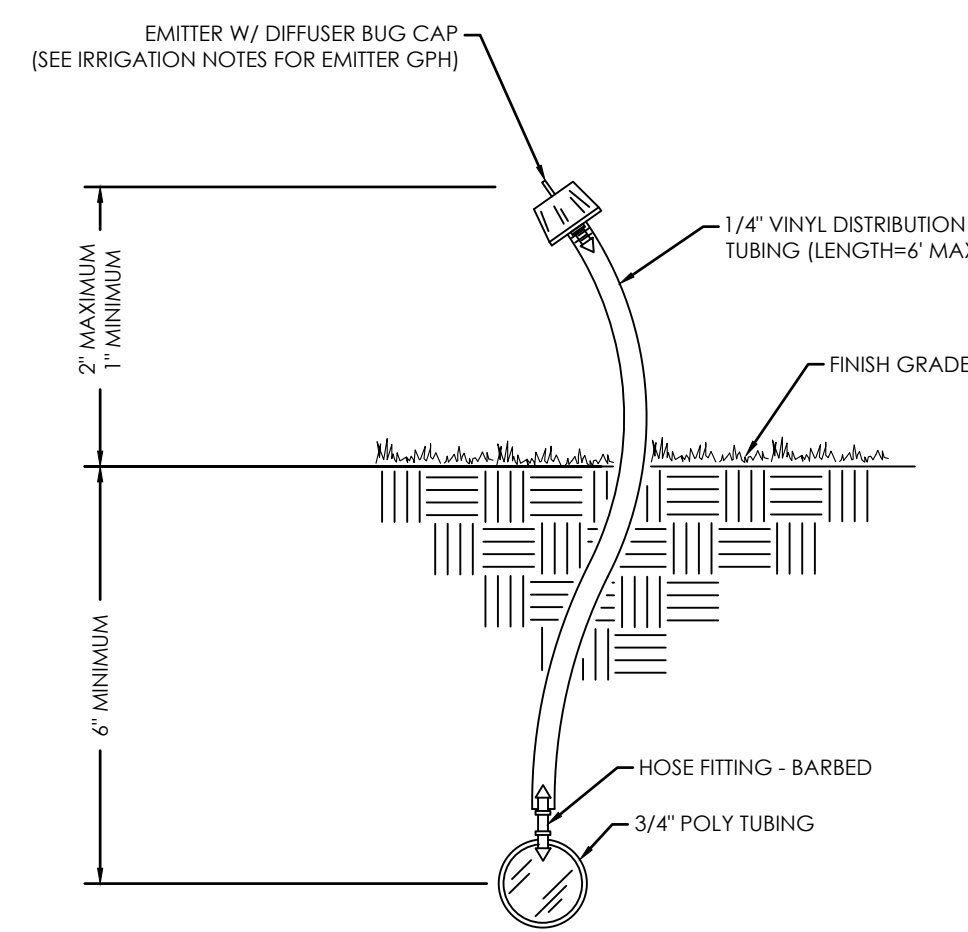


**F** ELECTRONIC CONTROL VALVE  
NOT TO SCALE

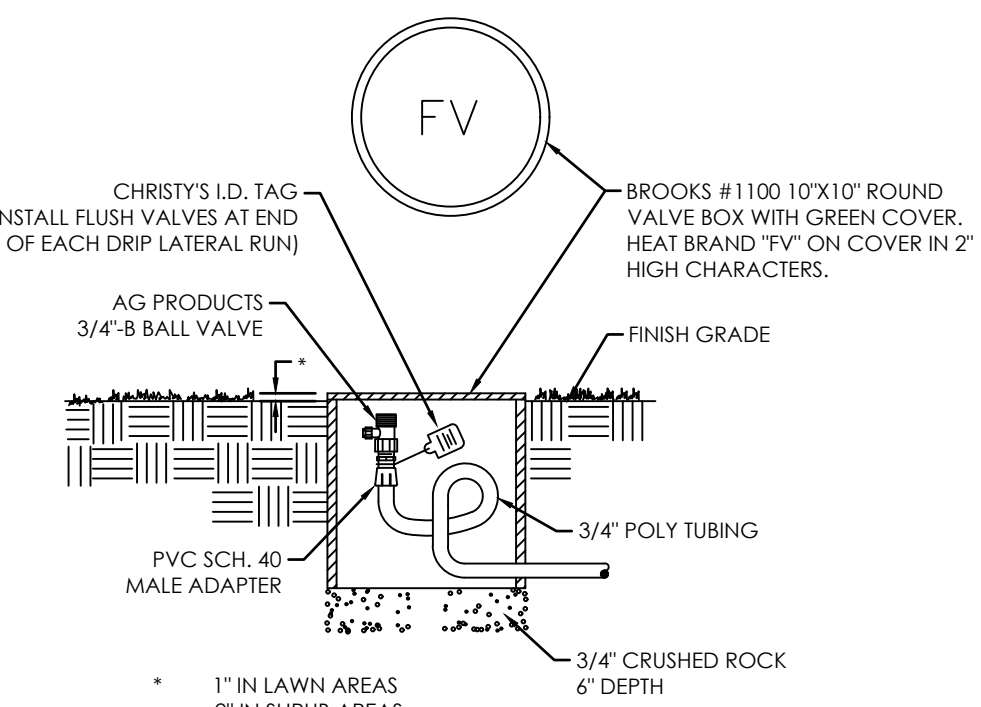
**G** MANUAL DRAIN VALVE  
NOT TO SCALE



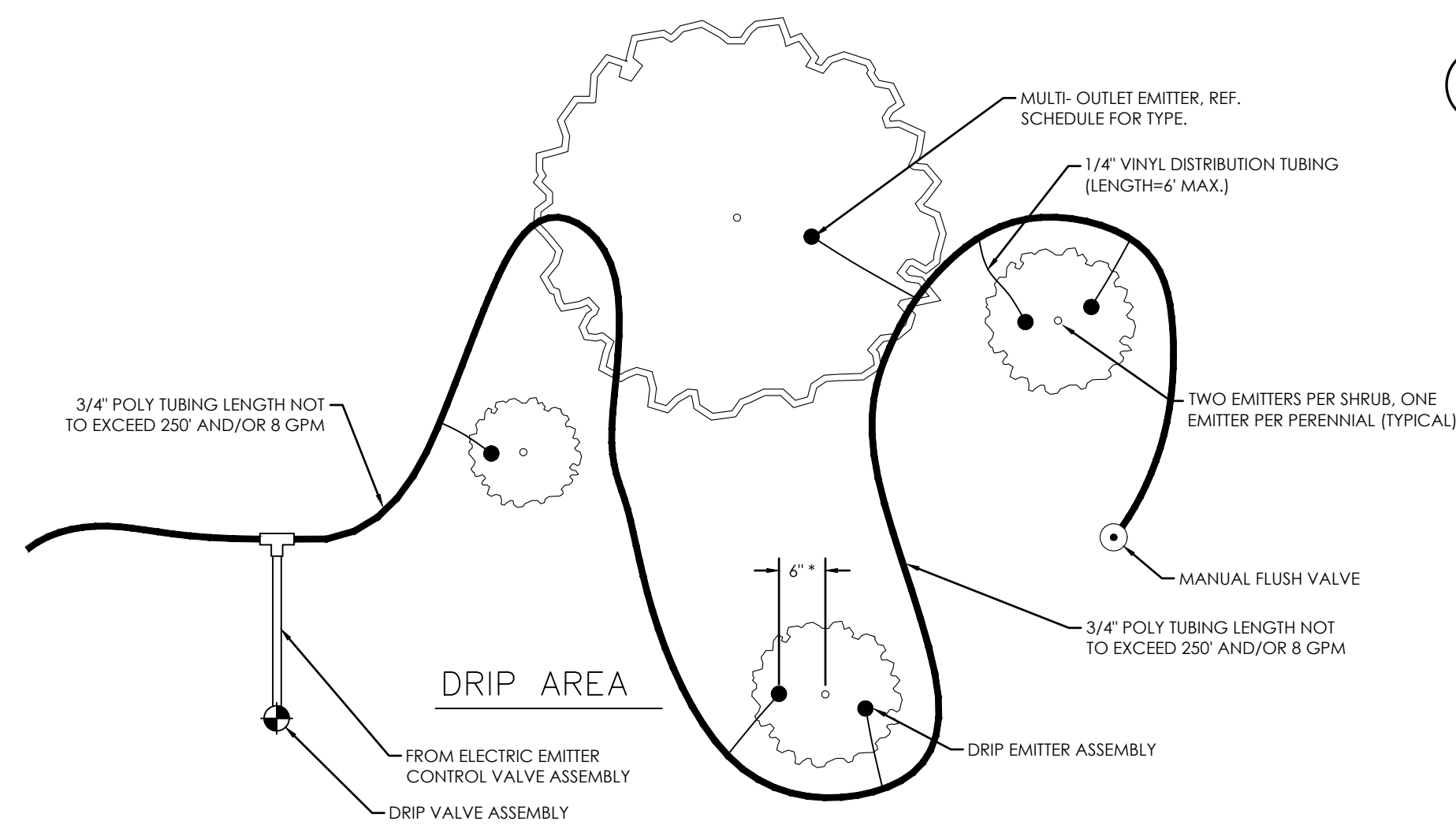
**H** CONTROL ZONE KIT  
NOT TO SCALE



**I** DRIP EMITTER ON VINYL TUBING RISER  
NOT TO SCALE



**J** MANUAL FLUSH VALVE  
NOT TO SCALE



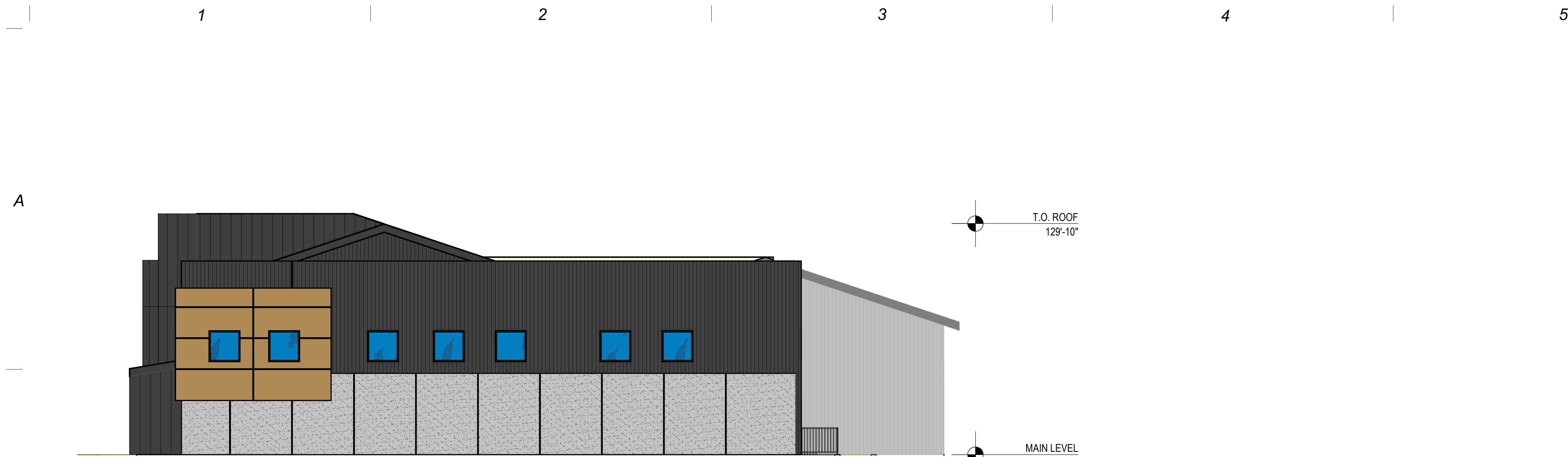
**K** TYPICAL DRIP EMITTER LAYOUT  
NOT TO SCALE

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

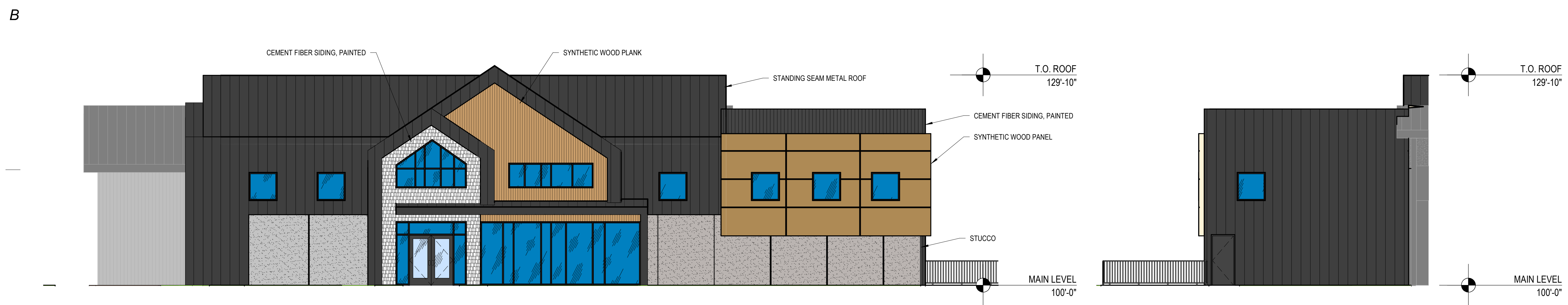
IRRIGATION DETAILS

Scale: \_\_\_\_\_ Drawn: \_\_\_\_\_  
Date: 05/14/26 Job #: 25-0307  
Sheet: \_\_\_\_\_

MARK	REVISION	DATE

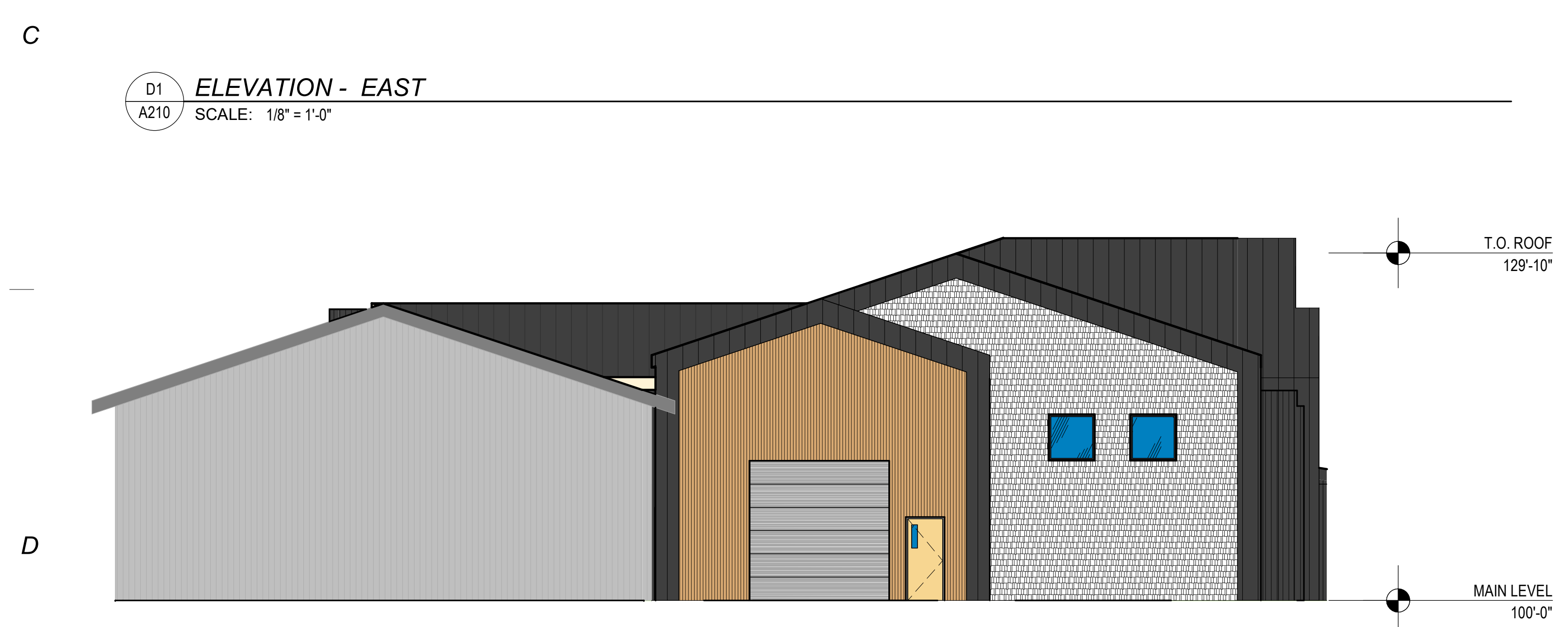


B1 **ELEVATION - NORTH**  
A210 SCALE: 1/8" = 1'-0"




D1 **ELEVATION - EAST**  
A210 SCALE: 1/8" = 1'-0"

C4 **ELEVATION - SOUTH**  
A210 SCALE: 1/8" = 1'-0"



B4 **ELEVATION - SOUTH**  
A210 SCALE: 1/8" = 1'-0"

DALLAS NELSON ARCHITECTURE, INC. 801-953-3294 DALLAS@NELSON-ARCHITECTURE.COM 1912 CONCORD PLACE SARATOGA SPRINGS, UT 84045		DATE: 14 MAY, 2026 PROJECT #: 26-02 PROJ. MAN.: DBN CHECKED BY: DBN
		<small>THE INFORMATION HEREIN IS THE PROPERTY OF DALLAS NELSON ARCHITECTURE, INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. © 2026 D.N.A., INC.</small>
PROJECT: <b>FIVE.12 ADDITION</b>  ALPINE, UT		SHEET DESCRIPTION: <b>EXTERIOR ELEVATIONS</b>
SHEET: <b>A210</b>		SHEET: <b>A210</b>

Autodesk Docs://Five.12 Foundation Addition/Five.12 Addition - 2026.rvt  
5/14/2026 8:34:02 AM



# **Gateway Historic District Design Guidelines**

Adopted by Resolution 2015-11  
Amended by Ordinance 2024-15

## **Purpose and Intent**

Gateway Historic District will become a village of mixed uses, promoting a pedestrian friendly atmosphere and providing excellence in landscaping and architecture, in a setting that honors and preserves the past while promoting the future.

1. In the interest of preserving the character of the Gateway-Historic District, it is necessary to regulate to a certain extent the new construction that is built there. New structures should only affect the district in a positive manner, and not in detrimental ways.
2. Respecting the heritage of Alpine associated with the historical structures in the district.
3. Utilize approaches that have been shown to encourage the sustainability of historic districts and neighborhoods.

The guidelines for the following elements are intended to encourage compatible new construction. In the event that these guidelines conflict with the Alpine City Zoning Ordinance, the Zoning Ordinance will be followed.

## **Guidelines**

1. New developments should:
  - a. Mimic details of older buildings
  - b. Use similar materials
  - c. Make mundane uses look good
  - d. Include design features on blank walls
2. All new development projects should achieve a determination of design appropriateness from the Planning Commission.
3. New construction should respect and build upon the historical legacy of downtown Alpine and borrow historic features from the area. It should be

designed for its specific context. Elements that should influence the design of new development include building form, massing, scale, materials and colors.

## **Gateway Historic District Design Criteria**

1. Relation to the Surrounding Area (Massing, Scale, Orientation)
2. Height
3. Exterior Walls, Fences, and Surfaces
4. Windows and Doors
5. Exterior Trim and Decorative Detailing
6. Roofing
7. Materials (Texture, Color, Finishes)
8. Streetscaping

## **Relation to the Surrounding Area** **(Massing, Scale, Orientation)**

New construction that utilizes appropriate massing and scale can affect historic districts in a positive manner. New structures should take their own place in time.

### **Design Standards**

- New structures should relate to the fundamental characteristics of the district, but may use their own style and method of construction.
- Orientation of new construction should be to the street to establish a pedestrian-friendly quality.
- One major entrance should orient to each street to which the building abuts for easy access by pedestrians from the street and sidewalk.
- Corner entrances may be used for buildings orienting to two streets at an intersection.
- New construction should not be dramatically greater in scale than surrounding structures in the district.
- The perceived width of new construction should be visually compatible with adjacent structures. Wider buildings should be divided into modules to convey a sense of traditional construction.
- The building form of new construction should be similar to surrounding structures but should not necessarily be a direct imitation.



## 2

### Height

New construction should respect the overall height limits established in the city code for the underlying zone.

#### **Design Standards**

- The height of buildings should be compatible with adjacent historic structures.
- Creative historic design elements fitting for the area can be considered.



## **Exterior Walls, Fences, and Surfaces**

The type of materials used for new construction can greatly enhance the relationship to surrounding historical structures while maintaining individual identity.

### **Design Standards**

- The use of stone, brick, wood, or stucco is encouraged for use as the primary exterior material.
- Innovative use of other materials that mimic the primary exterior materials listed may be considered.
- The use of chain link, vinyl, or wire fencing shall be prohibited.



## Windows and Doors

Windows and doors of new construction should relate to the general character of the area.

### **Design Standards**

- Windows with a vertical emphasis shall be encouraged over a horizontal orientation.
- Scale, proportion, and character of windows and doors should be carefully considered and should relate to the intended general character of the area.
- The simple shape of windows is encouraged.
- If new construction is built to the sidewalk, the use of awnings or canopies should be considered for providing protection to the pedestrian.
- The ground floor of the primary façade should include transparency at the pedestrian level.



## **Exterior Trim and Decorative Detailing**

New construction can be enhanced by the wise use of exterior trim and decorative detailing. Using these details to break up uninspiring solid surfaces can help avoid the box-like appearance often seen in new construction.

### **Design Standards**

- Trim and detailing should be simple in material and design.
- Materials that are compatible to the primary exterior material should be used.
- Excessive ornamentation is not recommended.
- The following factors should be considered in determining whether or not a particular finishing material is acceptable:
  1. Durability and low maintenance characteristics.
  2. Consistency with the overall design goals.
  3. Location on the building.
  4. Potential shielding by landscaping or other feature.
  5. The visibility of the site from public streets and neighboring uses.
  6. A mansard roof is prohibited



## 6

### Roofing

The style and form of the roof on new construction can contribute to the success of blending in with surrounding historic structures.

#### **Design Standards**

- Traditional rooflines are preferred.
- Smaller structures should use a hip, gable, or shed roof.
- Flat roofs may be considered for use on structures where the context is appropriate.
- Flat roofs shall provide a cornice or other decorative treatment.
- The character or design of the front and rear façades of all buildings shall demonstrate a variety in depth, relief, rhythm and roof line height, with changes occurring in all of these areas at least every forty feet.
- Mechanical equipment shall not be visible from the street.



## **Materials – Texture, Color, Finishes**

Good attention to design and color is expected in the Gateway Historic District to help all buildings become more complimentary to each other and assist the creation of a unique and cohesive environment. The materials used for the finish of the exterior surface of new construction should be compatible with the nature of the surrounding area.

### **Design Standards**

- The use of color schemes should be compatible with the surrounding area. Simplicity is encouraged – excessive amounts of different colors should not be used.
- Avoid pure white as a façade color, and if masonry must be painted, it should be done in a natural hue.
- The natural colors of brick masonry, stone, or other existing building materials should dominate the color scheme of the building. Other colors should be respectful of adjacent buildings.
- A predominant color should be used with one or two other accent colors.
- The texture and finish of new construction should attempt to convey a modern building while still respecting the historic character of the area.
- The cornice, window frames, ornamental details, signs and storefronts should all blend in as an attractive harmonious unit.



## 8

### Streetscaping

Streetscapes should be incorporated in sidewalk areas adjacent to Main Street.

#### **Design Standards**

- At least one streetscape feature should be installed and maintained every thirty (30) linear feet along sidewalks, nearest to the curb.
- Acceptable streetscape features include, but are not limited to, the following: trees, planters, benches, drinking fountains, decorative garbage canisters, outdoor clocks, bike racks, and water features.
- Businesses are encouraged to coordinate the installation of streetscape elements with surrounding properties.
- Installation of plazas and gathering spaces where people may linger is encouraged.
- Installation of planters with trees and shrubs to create areas to sit are encouraged.
- Providing benches in strategic areas to encourage mingling and gathering is encouraged.



# ALPINE CITY PLANNING COMMISSION AGENDA

**SUBJECT:** Review of the Long Range Shooters of Utah Commercial Site Plan

**FOR CONSIDERATION ON:** June 16, 2026

**PETITIONER:** City Staff

**ACTION REQUESTED BY PETITIONER:** Recommend approval to the Long Range Shooters of Utah Commercial Site Plan

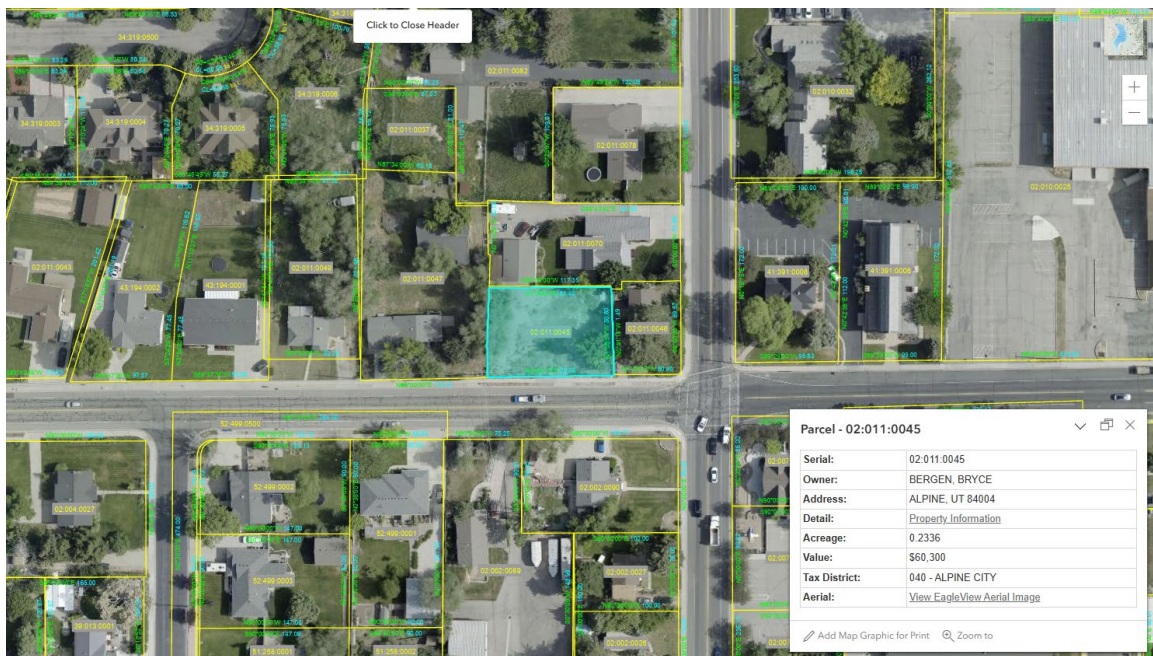
**REVIEW TYPE:** Recommendation

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## BACKGROUND INFORMATION:

The Long Range Shooters of Utah Commercial Site Plan is proposed for parcel number 02:011:0045 off of 200 North and Main St in Alpine. The building proposed is to provide space for a small retail gun shop (rifles, accessories, bipods, etc), a warehouse, a space for an office and a space to film content in for the shop. The building will also include a 1 bedroom apartment above the office area.

The applicant has provided a site plan that overall meets the code requirements for §3.06 Business Commercial Zone and §3.11 Gateway/Historic Zone. There might be some adjustment needed to the materials to those materials that are permitted in the Gateway/Historic Design Guidelines. Parking requirements are met with 3.5 stalls needed per 1000 sq/ft, including parking for employee and 2 spots inside the building for the apartment. It is required that the one bedroom apartment above the office be owner-occupied only, so it would be good to get clarification from the applicant on their intent to meet that requirement. DCA §4.07, 4.08, and 4.10 have also been evaluated and affirmed compliance as long as there is a 10ft PUE along the front property line



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**GENERAL PLAN REFERENCE**

- General Plan Land Use Goal #2 Policy 2.2

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**CITY CODE REFERENCE:**

- Alpine Development Code 3.07
- Alpine Development Code 3.11
- Alpine Development Code 4.07
- Alpine Development Code 4.08
- Alpine Development Code 4.10

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**PUBLIC NOTICE:**

This item does not require a public hearing but will be posted as an agenda item on the Planning Commission and City Council agendas, as applicable.

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**STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission consider sending a positive recommendation to the City Council for the proposed site plan for the new Long Range Shooters of Utah commercial site plan, subject to the following conditions:

- That all exterior materials of the building match what is permitted in the Gateway/Historic Design Guidelines.
- That a 10ft PUE be placed along the front property line as required in DCA §4.07 Design Standards

**Motion to Approve:**

I move to recommend approval to the City Council of the proposed site plan for the new Long Range Shooters of Utah commercial building.

**Motion to Approve with Conditions:**

I move to recommend approval to the City Council of the proposed site plan for the new Long Range Shooters of Utah commercial building, subject to the following conditions:

\*Insert Proposed Conditions

**Motion to Table:**

I move to table consideration of the proposed site plan for the new Long Range Shooters of Utah commercial building to a future meeting in order to allow additional time for revisions and/or additional information, including:

\*Insert additional information needed.

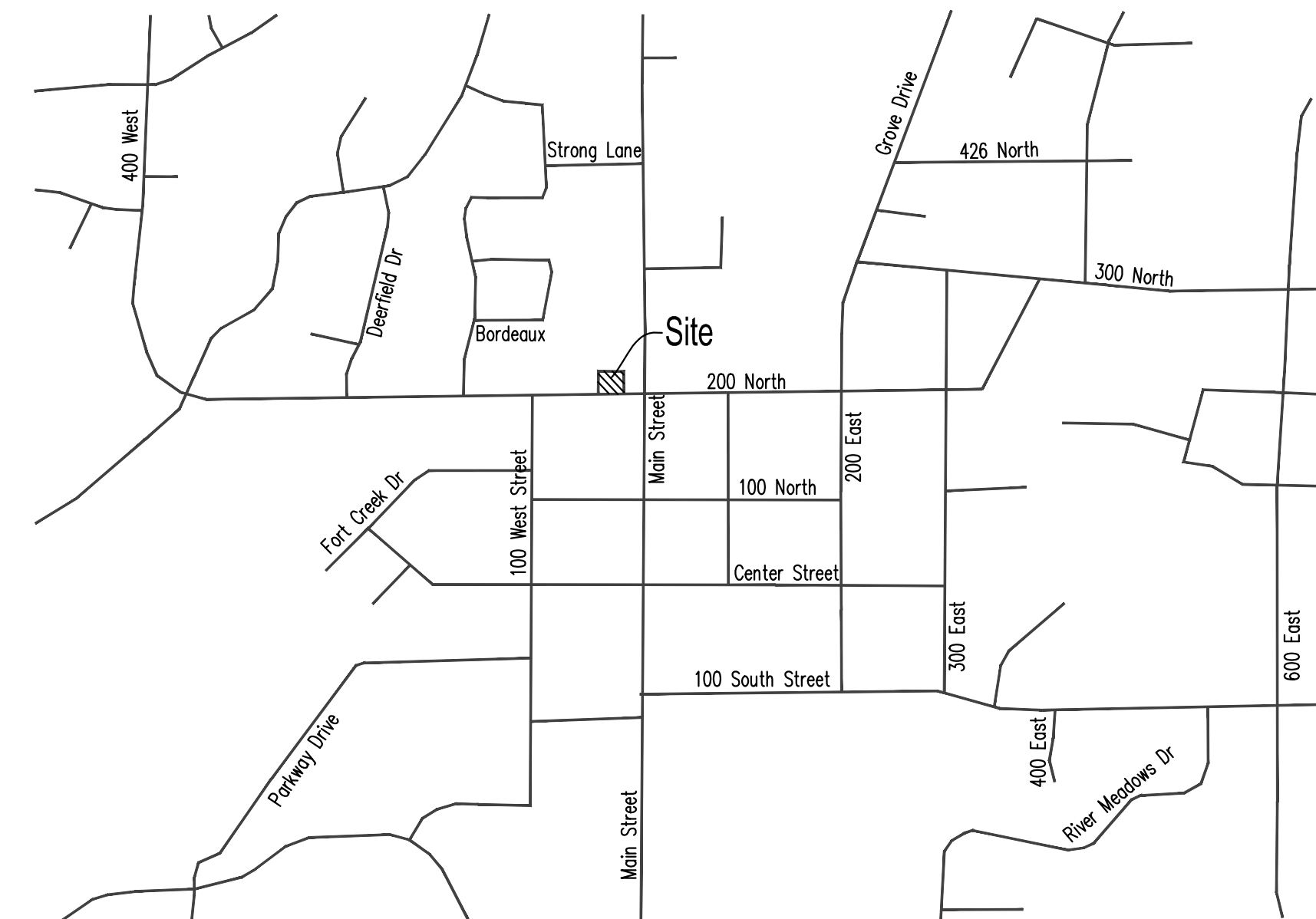
**Motion to Deny:**

I move to recommend denial of the proposed site plan for the new Long Range Shooters of Utah commercial building based on the following findings:

\*Insert findings

# Long Range Shooters of Utah

Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Proposed Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
ta	top of asphalt
tw	top of sidewalk
boc	back of top of curb
bow	back of top of sidewalk
SSMH	Sanitary Sewer Manhole
SDMH	Storm Drain Manhole
WV	Water Valve
CV	Gas valve
WM	Water Meter
eo	edge of existing asphalt
PUE	Public Utility Easement



**Developer:**

Kathy Bergen  
 858 Healy Homestead Circle  
 Alpine Utah 84004  
 801 634-2301  
 kathyannbergen@gmail.com

**Engineer:**

Dudley and Associates, Inc.  
 353 East 1200 South  
 Orem, Utah 84058  
 801-224-1252

**Site Data:**

Zone = Business Commercial  
 Total Area = 10,175 SF  
 Parking Requirements =  
 Spaces required = 6 Spaces  
 Spaces provided = 6 Spaces

**Sheet Index**

- 1.0 Cover Sheet
- 1.1 General Notes
- 2.0 Site Plan
- 3.0 Grading and Drainage Plan
- 4.0 Detail Sheet

	Square Footage	Acreage	Percent of total
Total Area	10175	0.23	100
Total Building / Pad Area	4354	0.10	43
Total Hard Surface Area	3168	0.07	30
Total Impervious Area	7522	0.17	73
Total Landscaped Area	2653	0.06	27

**Tabulation Table**

#### UTILITY GENERAL NOTES

- All installation and materials shall, at a minimum, conform to the current City standards, specifications, and drawings.
- The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
- Contractor shall coordinate with all utility companies for installation requirements and specifications.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Underground utilities shall be installed, inspected and approved before backfilling.
- Contractor shall notify the necessary City inspectors 72 hours before connecting to any existing utility.
- All fill material is to be in place and compacted before installation of proposed utilities.
- Existing utilities shall be verified in field prior to installation of any new lines, any discrepancies found are to be communicated to the design engineer prior to installation.
- All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-104 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
- Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
- All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
- Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
- All concrete for encasements shall have a minimum 28 day compression strength at 4000 PSI.
- Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
- In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
- Drawings do not purport to show all existing utilities. It is the responsibility of the contractor to verify all existing utilities by means of 'blue stakes', 'pot-holing', and/or excavation.
- Contractor shall verify utility locations prior to subsurface work for light poles (boring etc.) and similar structures.
- See notice requirement under general project notes.
- The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sags, etc.) prior to scheduling close-out meetings with the city.
- All utilities shall be pre-tested prior to the city witnessing the test to ensure that said utilities will pass during city witness of testing.

#### SURVEY CONTROL NOTE:

**The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA Survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.**

#### PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

#### SANITARY SEWER GENERAL NOTES

- See this sheet for general project notes.
- All sanitary sewer construction shall be in conformance with the standards and specifications.
- All gravity sanitary sewer lines shall be in conformance with the standards and specifications.
- Sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
- Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
- All sanitary sewer main testing shall be accordance with the city standards and specifications. Copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
- Compaction of all trenches within the project site must be attained and compaction results submitted to the Public Works Department.
- The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
- The contractor is responsible for the following:
  - Obtaining all required permits from the city or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
  - Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
  - Verification and protection of all existing utilities within the limits of construction.
  - Providing as-built drawings to the City and engineer.
  - All permitting, development, location, connecting and inspection.
  - Verifying all standard details conform to the current standards and specifications.
- For obtaining and understanding all city, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
- Reference architectural plans for all connections to building services and verify locations as shown.
- The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
- The contractor shall pothole the existing sewer main and provide an as-built elevation of the main to the engineer prior to any new construction.
- Sanitary sewer pipes shall be bedded in accordance with standards.

#### STORM DRAIN GENERAL NOTES

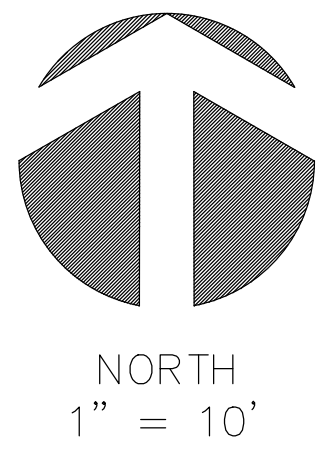
- The contractor shall be responsible for the following:
  - Obtaining all required permits from the city or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
  - Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
  - Verification and protection of all existing utilities within the limits of construction.
  - Providing as-built drawings to the city and engineer.
  - All permitting, development, location, connection and inspection.
  - Scheduling all required inspections.
- All storm drain construction shall be in conformance with standards, specifications, and plans.
- Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
- Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
- Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
- Storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
- All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
- Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction. Any discrepancies are to be reported to the design engineer prior to construction.
- Storm drains shall be bedded in accordance with the City standards.

#### GRADING PLAN GENERAL NOTES

- Contours shown are for finished surface paving, sidewalk, slab, or ground adjustment to sub-grade is the contractor's responsibility.
- All disturbed areas that are un-surfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
- If during the overall grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
- Unless otherwise shown, no proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
- If stripped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
- On-site materials suitable for fill beneath drives and asphalt areas beyond 5' (five) of the building shall be compacted in accordance with guidelines presented in the soils report.
- Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
- Benchmark verification: Contractor shall use benchmarks and datums shown hereon to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
- All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
- All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
- The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
- Grades within asphalt areas shall be constructed to within 0.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Curbs or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
- Spot elevations represent flow line or top of asphalt unless otherwise noted.
- The contractor is responsible for providing his own estimate of earthwork quantities.
- All landscaped islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
- Where new curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply: Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
- The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
- Pre-cast structures may be used at contractor's option.
- Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove dirt and debris.
- Existing grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
- Proposed grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
- If any existing structures to remain are damaged during construction, it shall be the contractor's responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
- The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
- Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- Topographical information taken from a topographic survey by (Dudley & Associates). If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- All unsurfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with city/county specifications and maintain until a healthy stand of grass is obtained.
- Construction shall comply with all applicable governing codes and be constructed to same.
- Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
- Site work shall meet or exceed site specifications.
- All concrete to have a minimum 28 day compression strength of 4000 PSI.
- All drainage from the subject site is to be contained on-site. No water shall be allowed to flow onto adjacent properties without drainage easements in place.
- The Landscape contractor is to refer to the grading and drainage plan for the placement of drainage swales and LID facilities and ensure the design is maintained.

#### GENERAL NOTES

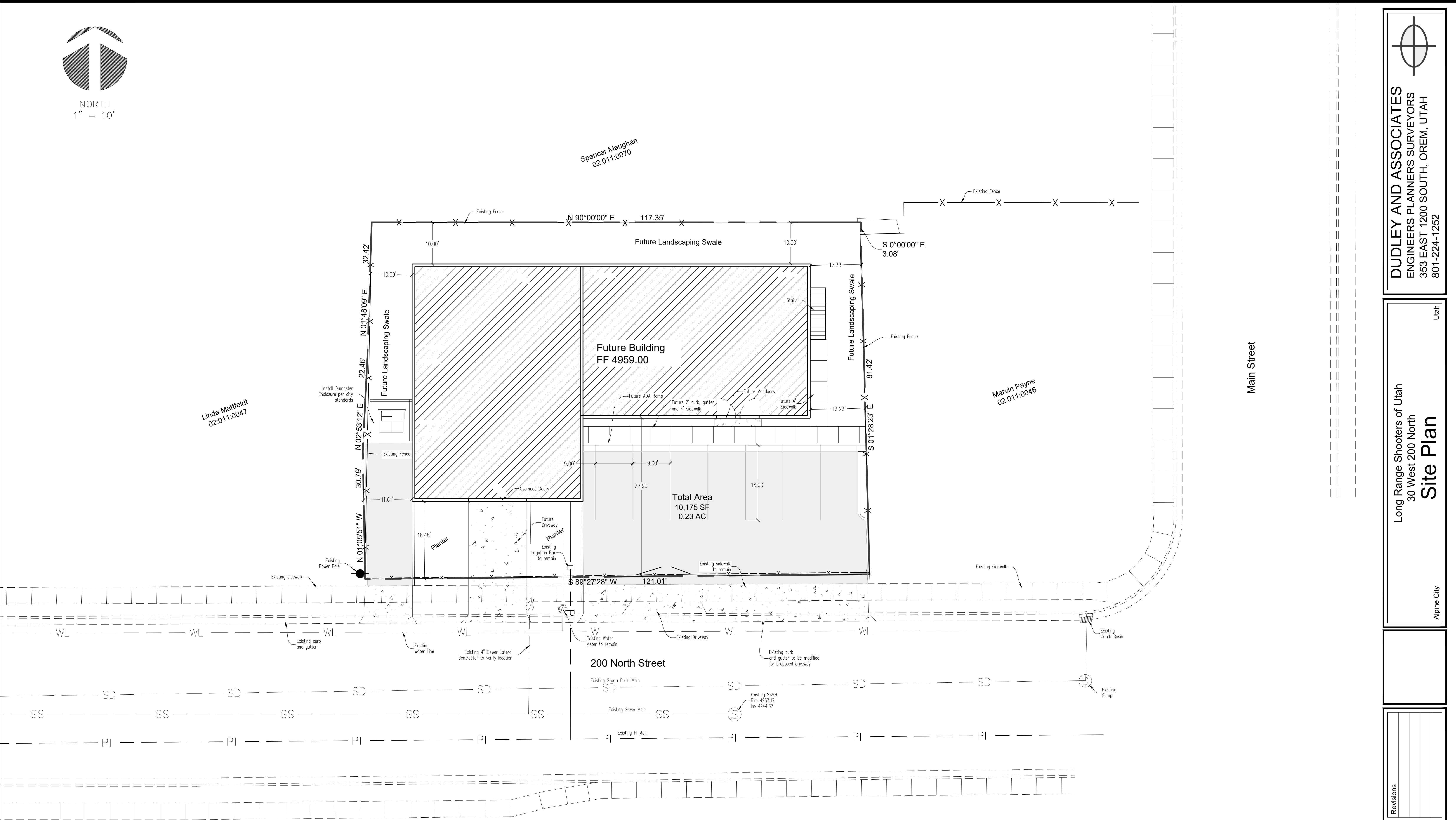
- All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the City Public Works Department, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the City Public Works Inspector and/or UDOT where applicable. Inspection services and construction certification to be provided by engineer of record.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the City Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
- The contractor shall coordinate with City and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
- The contractor shall have one (1) signed copy of the approved plans, one (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
- The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
- If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
- All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (city, county or state) for approval, prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
- All landscaped islands shall be kept free and clear of all construction debris and dirt tracked from the site.
- The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the City Public Works Inspector at all times.
- Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
- All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
- The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
- All work within the public right-of-way is subject to the jurisdiction of the City Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
- The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to the City before beginning any work on these streets. Contractor shall begin work only after City approves the phasing plan, and a preconstruction meeting is held between the city, the engineer and the contractor.
- All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the city.
- It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
- Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding tap fees and system development fees, referring to the geotechnical report prepared by (EarthTec Testing and Engineering P.C.)
- In general, limits of site work are up to (and excluding) constructing sidewalks.



Spencer Maughan  
02:011:0070

Linda Mattfeldt  
02:011:0047

Marvin Payne  
02:011:0046



  
**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Long Range Shooters of Utah  
30 West 200 North  
**Site Plan**  
Utah  
Alpine City

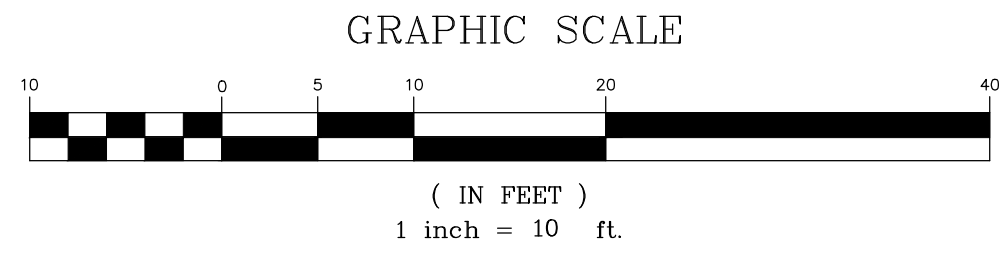
Revisions

Date	2-2-2026
Scale	1"=10'
By	BHT
Tracing No.	L -

Sheet No.  
**C - 2**

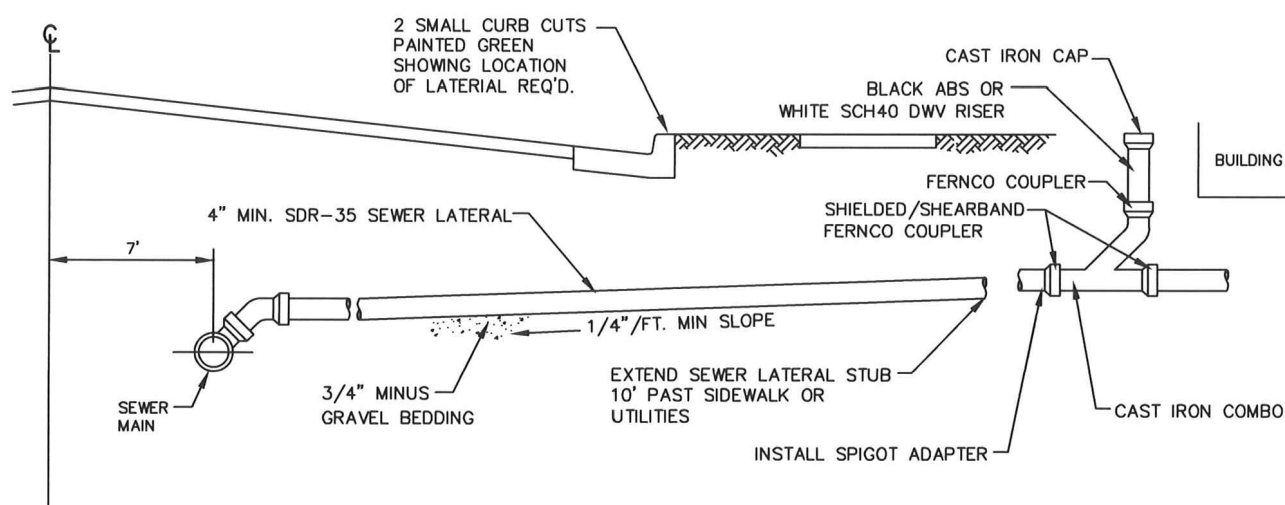
**Know what's below.**   
**Call 811 before you dig.**  
BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

**CAUTION!!! Notice to contractors**  
The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.



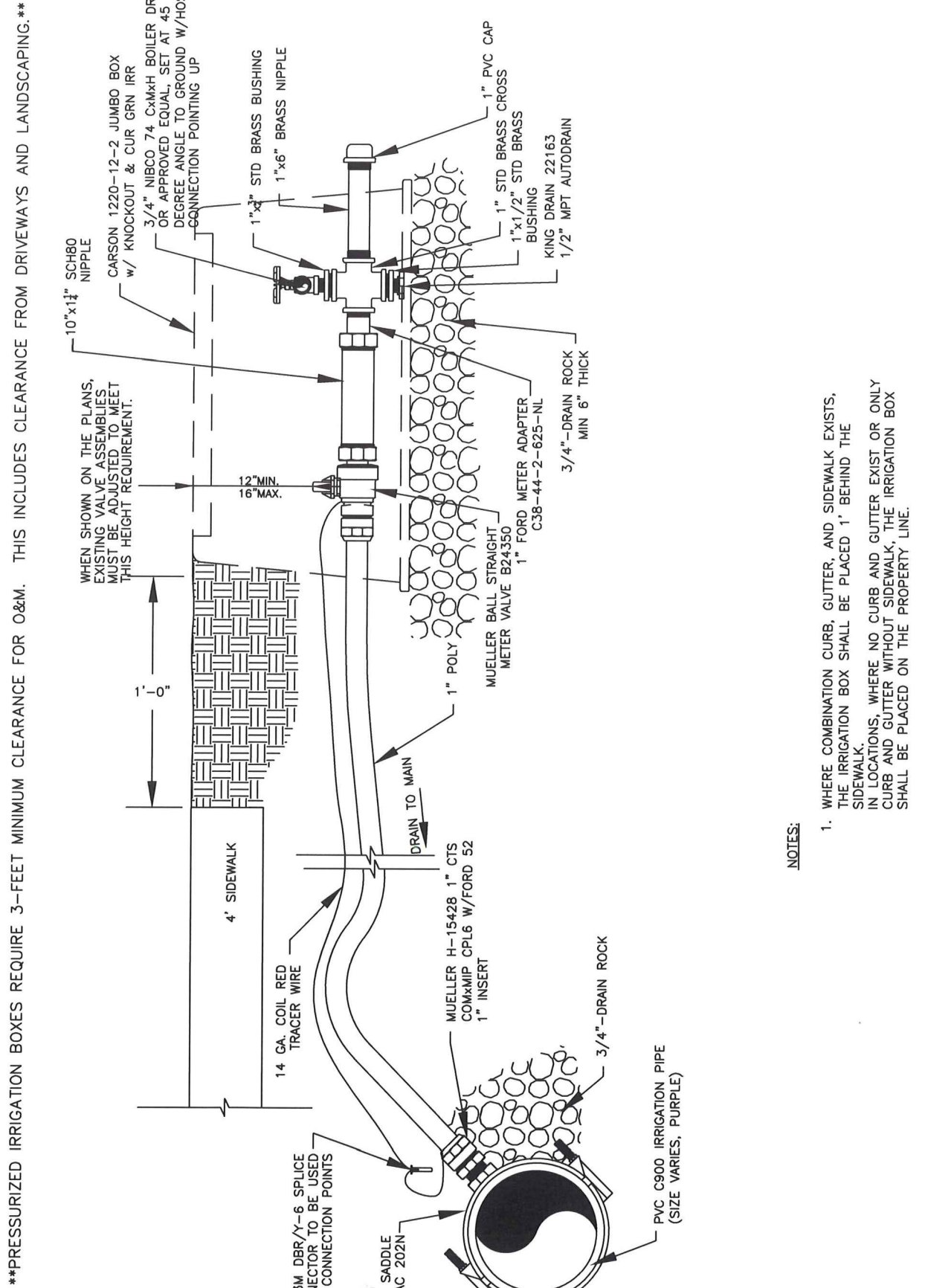


- NOTES:
1. A CLEANOUT IS REQUIRED NEXT TO THE BUILDING.
  2. ADDITIONAL CLEANOUTS REQUIRED BETWEEN THE BUILDING AND SEWER MAIN AT MAXIMUM 100 FOOT INTERVALS.
  3. THE COMBO SHALL CONSIST OF CAST IRON, ABS MATERIAL (OR WHITE SCH40 DWV) FOR RISER.
  4. FERNOCO COUPLERS (AS SHOWN) SHALL BE USED WHEN CONNECTING CAST IRON TO RISER OR SDR-35 LATERAL PIPE.
  5. ALL CLEANOUTS SHALL HAVE CAST IRON CAPS.
  6. ALL SEWER LATERALS SHALL BE SDR-35 PIPE, BEING LAID WITH THE BELL END OF THE PIPE IN THE UP HILL DIRECTION.
  7. ALL SEWER LATERALS SHALL BE BEDDED WITH 3/4" MINUS GRAVEL.
  8. BACKFILL MATERIAL SHALL BE ENGINEERED FILL WITHIN CITY RIGHT OF WAY, AS CLASSIFIED IN ALPINE CITY STANDARDS AND SPECIFICATIONS.
  9. BACKFILL MATERIAL AROUND PIPE SHALL BE COMPACTED TO 95% OF DENSITY AS MEASURED BY AASHTO T-99.
  10. SEWER LATERAL MUST BE INSPECTED BY AN AUTHORIZED REPRESENTATIVE OF THE CITY PRIOR TO BACKFILLING TRENCH.
  11. A THE SKETCH SHOWING THE LOCATION OF ALL SEWER LATERALS MUST BE SUBMITTED TO THE CITY.
  12. THE CITY SHALL BE NOTIFIED 24 HOURS PRIOR TO WHEN A SEWER LATERAL INSPECTION IS NEEDED.
  13. ALL APPROPRIATE EXCAVATION PERMITS MUST BE OBTAINED FROM THE CITY AND OTHER AGENCY PRIOR TO ANY EXCAVATION.
  14. ALL APPROPRIATE IMPACT FEES MUST BE PAID PRIOR TO CONNECTING TO THE SEWER.
  15. MARK END OF LATERAL STUB WITH 2x4 POST PAINTED GREEN. ALL OTHER MARKERS MUST BE PRE-APPROVED PRIOR TO USE.



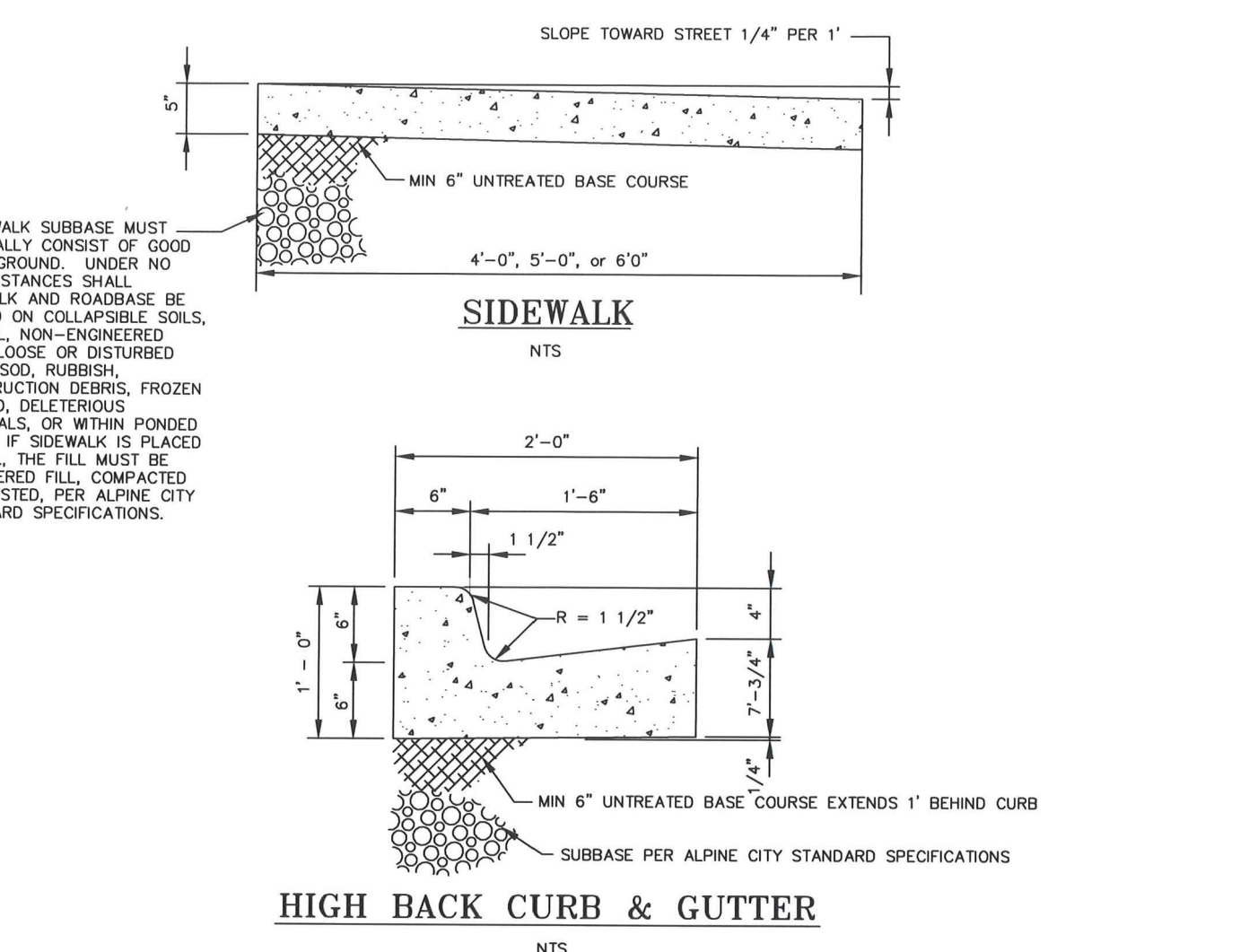
TYPICAL SEWER SERVICE CONN.  
N.T.S.

STATEMENT OF USE			TYPICAL SEWER SERVICE CONN.	STANDARD DRAWING NUMBER: 17a
REVISION				

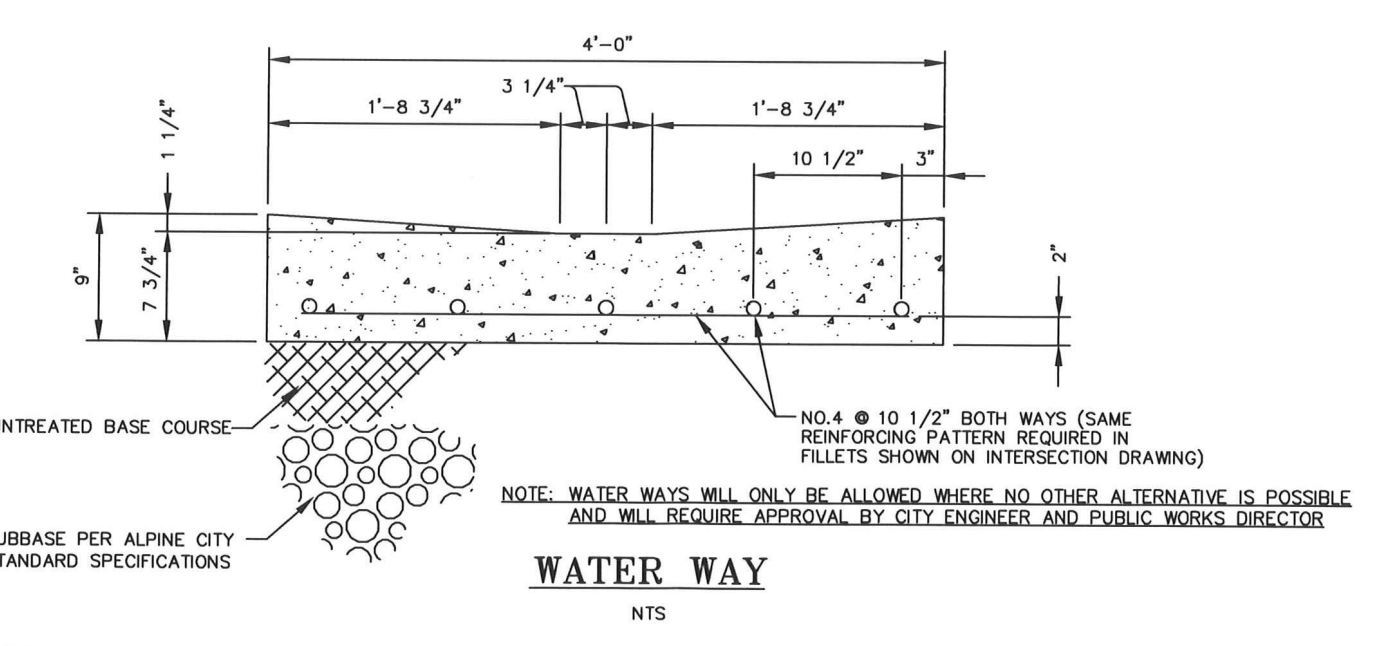


Pressurized Irrigation Distribution System

STATEMENT OF USE			Pressurized Irrigation Distribution System	STANDARD DRAWING NUMBER: 24
REVISION				

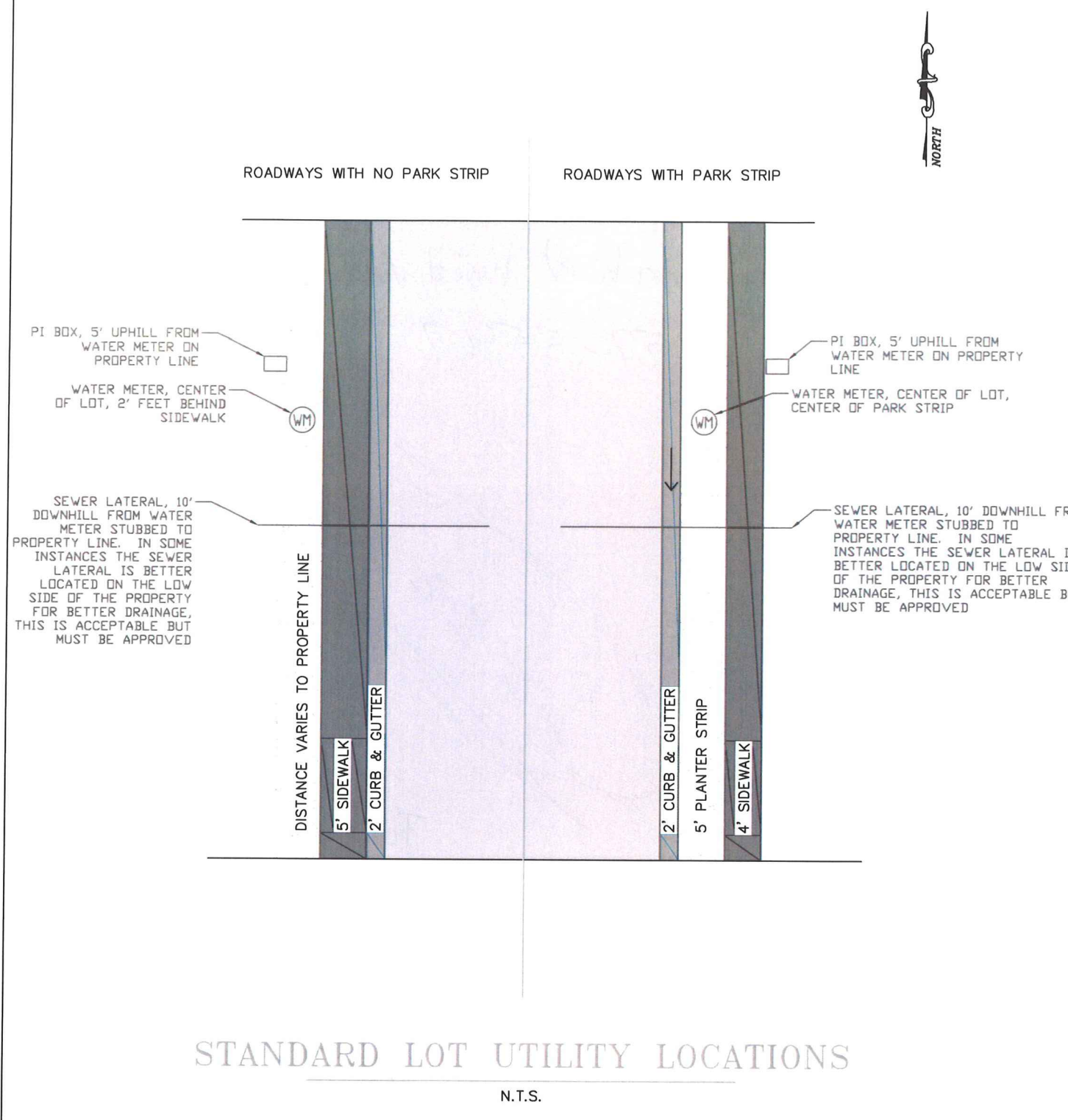


HIGH BACK CURB & GUTTER  
N.T.S.



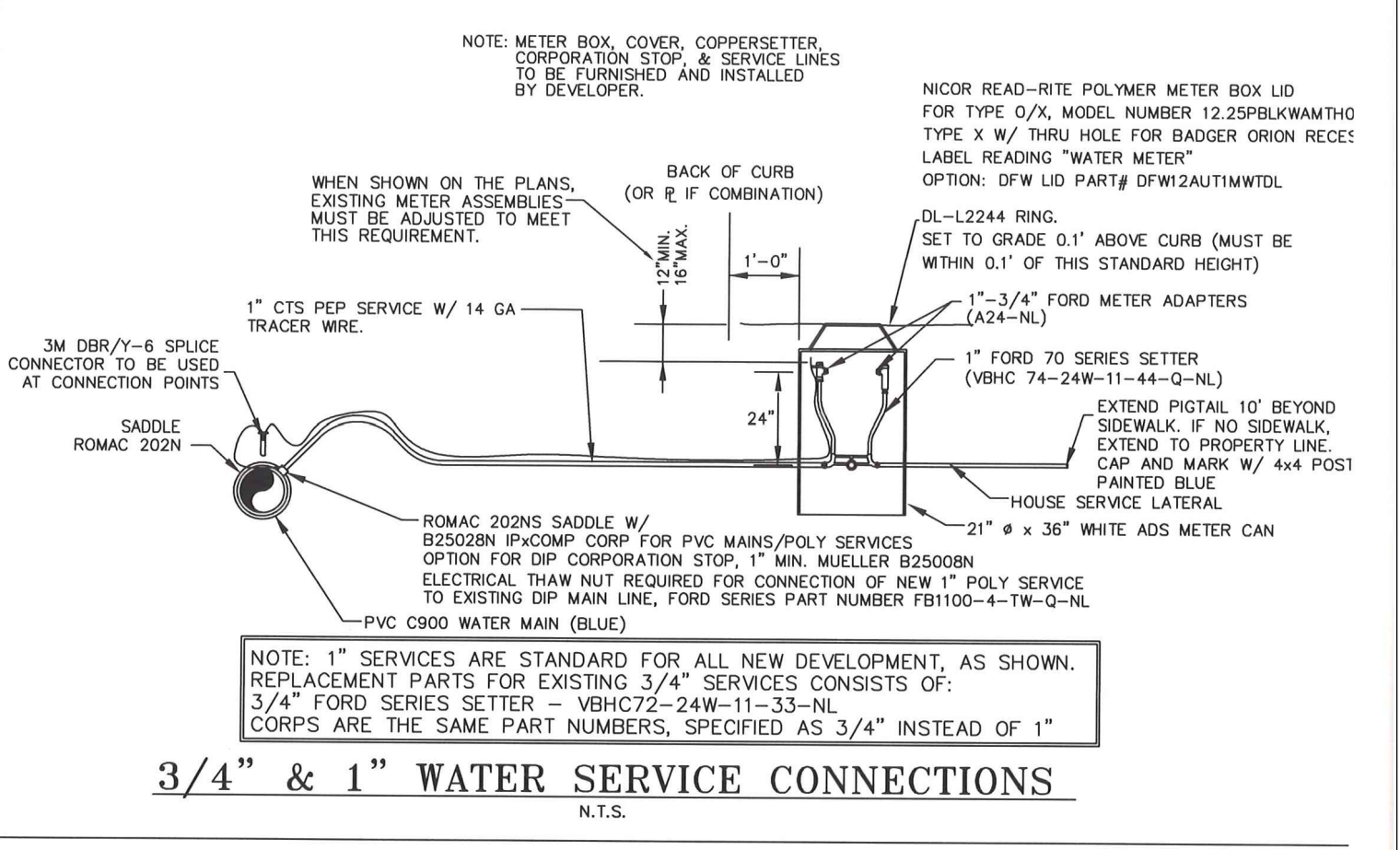
WATER WAY  
N.T.S.

STATEMENT OF USE			SIDEWALK, CURB & GUTTER, WATER WAY	STANDARD DRAWING NUMBER: 4
REVISION				

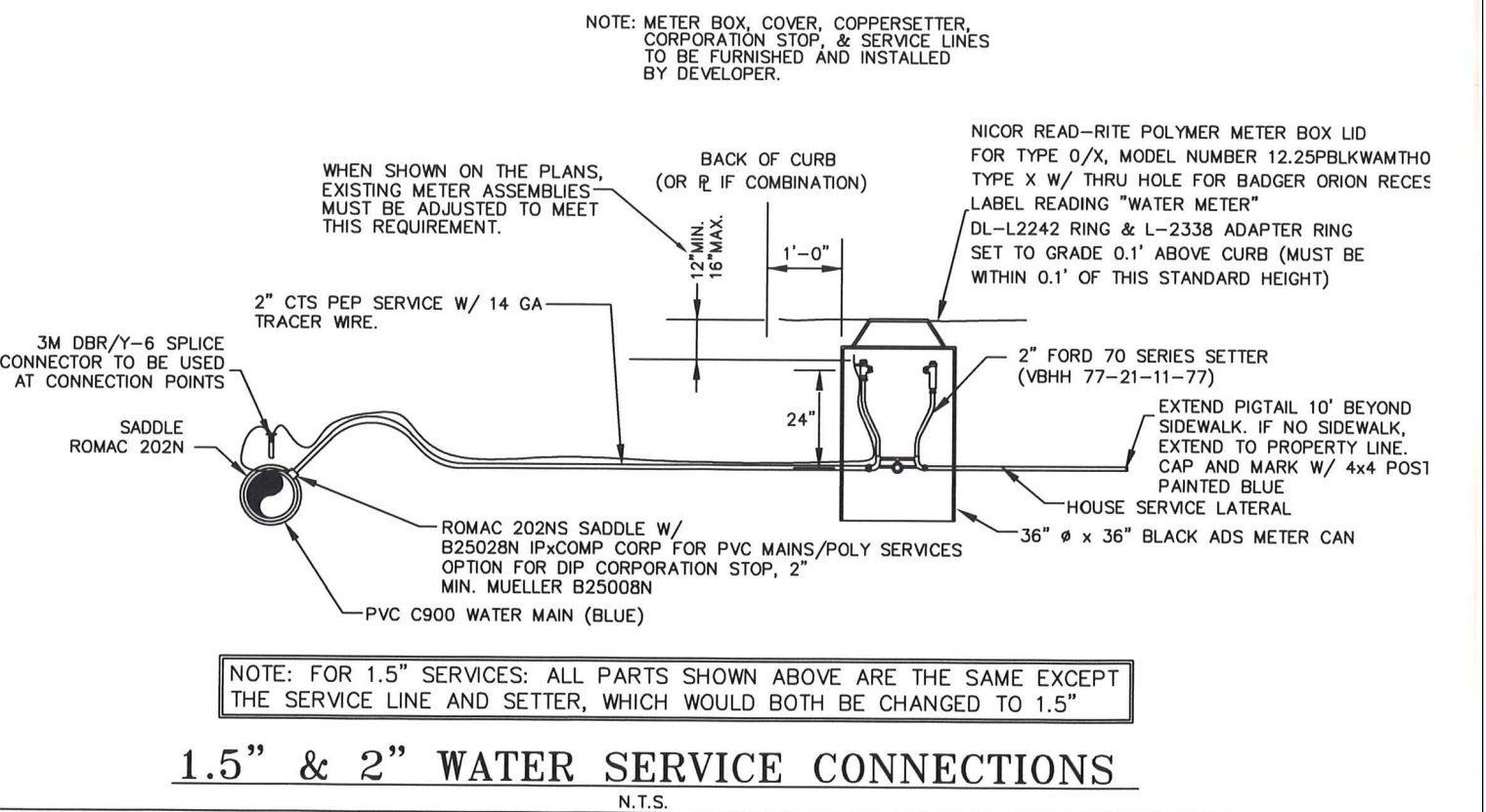


STANDARD LOT UTILITY LOCATIONS  
N.T.S.

STATEMENT OF USE			STANDARD LOT UTILITY LOCATIONS	STANDARD DRAWING NUMBER: 12
REVISION				



3/4" & 1" WATER SERVICE CONNECTIONS  
N.T.S.

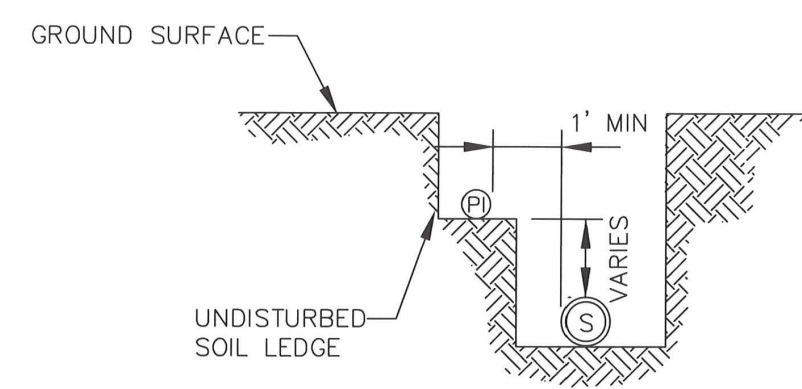


1.5" & 2" WATER SERVICE CONNECTIONS  
N.T.S.

STATEMENT OF USE			WATER SERVICE CONNECTION DETAIL	STANDARD DRAWING NUMBER: 27
REVISION				

Revisions

Date	2-2-2026
Scale	
By	BHT
Tracing No.	L-



NOTE:  
ALL PLUMBING PRACTICES SHALL CONFORM  
TO THE PLUMBING CODE ADOPTED BY  
ALPINE CITY

**SEWER & PI LATERALS  
IN COMMON TRENCH**  
N.T.S.

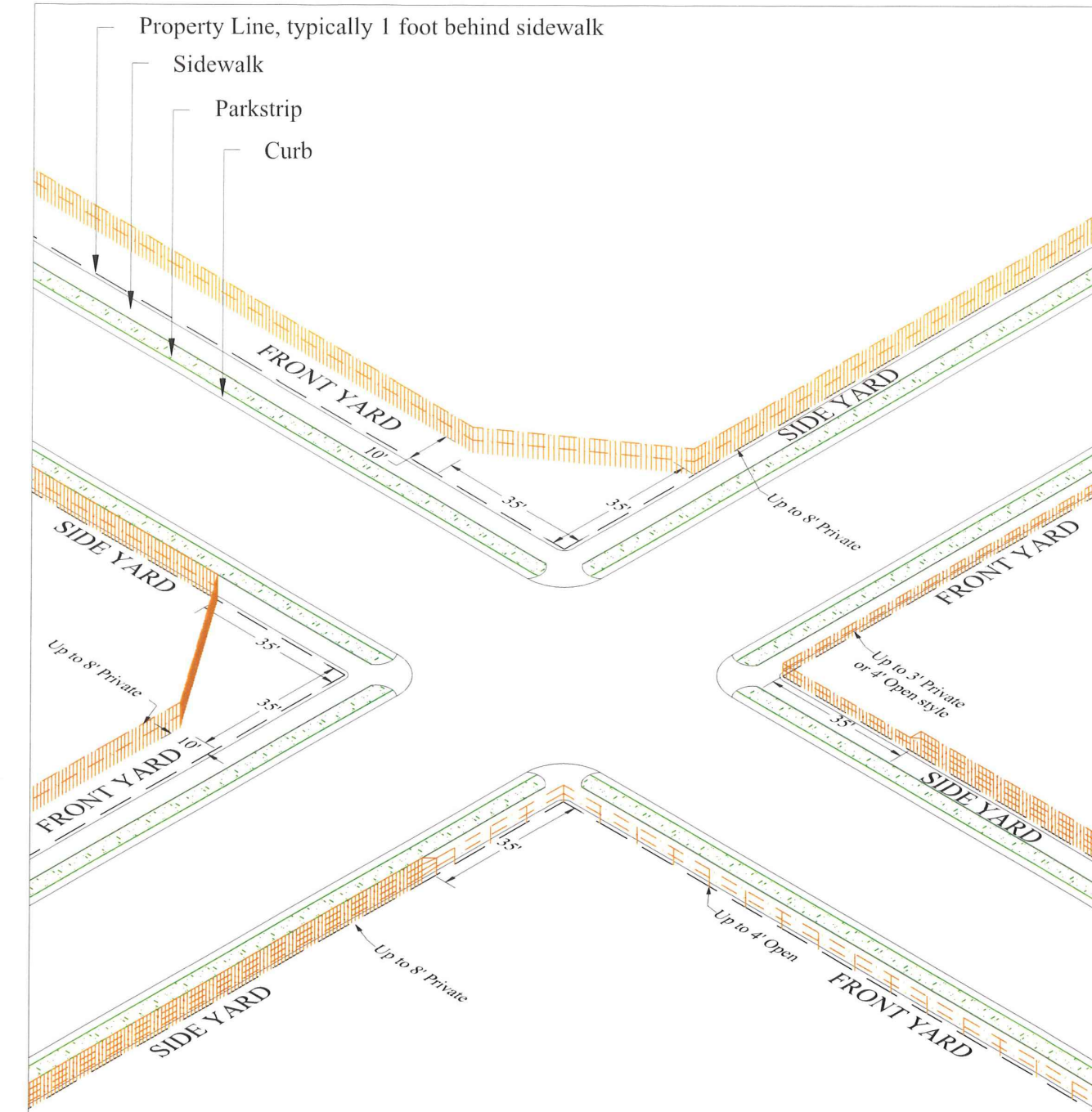
STATEMENT OF USE	
THIS DOCUMENT AND ANY ILLUSTRATIONS ARE PROVIDED AS INFORMATION ONLY. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALPINE, UTAH. THE CITY OF ALPINE, UTAH, DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALPINE, UTAH.	
REVISION	DATE



**CITY UTILITY LATERALS  
IN SAME TRENCH**

ALPINE CITY  
20 NORTH MAIN  
ALPINE, UTAH 84004

STANDARD DRAWING NUMBER	<b>14</b>
DATE	11/12/2022
DESIGNED BY	MM
CHECKED BY	MM
DATE PLOTTED	11/12/2022



NOTE: SEE DEVELOPMENT CODE SECTION 3.21.060  
ALL PARTS OF THE FENCE TO BE PLACED NO CLOSER THAN  
1 FOOT BEHIND SIDEWALK (OR ON PROPERTY LINES) WITH  
HEIGHTS AS SHOWN. FREE FENCE PERMIT  
REQUIRED.

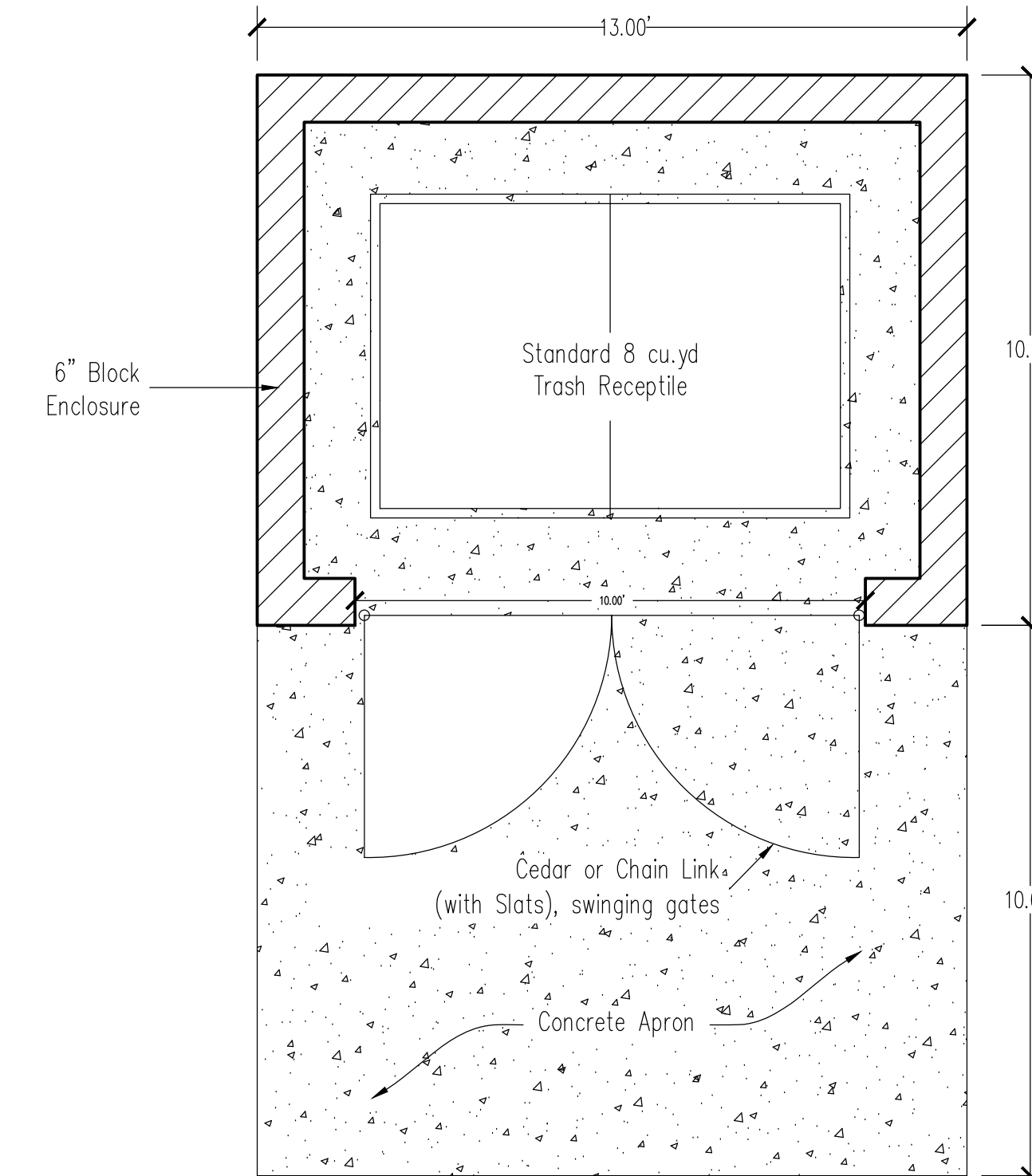
STATEMENT OF USE	
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REVISION	DATE



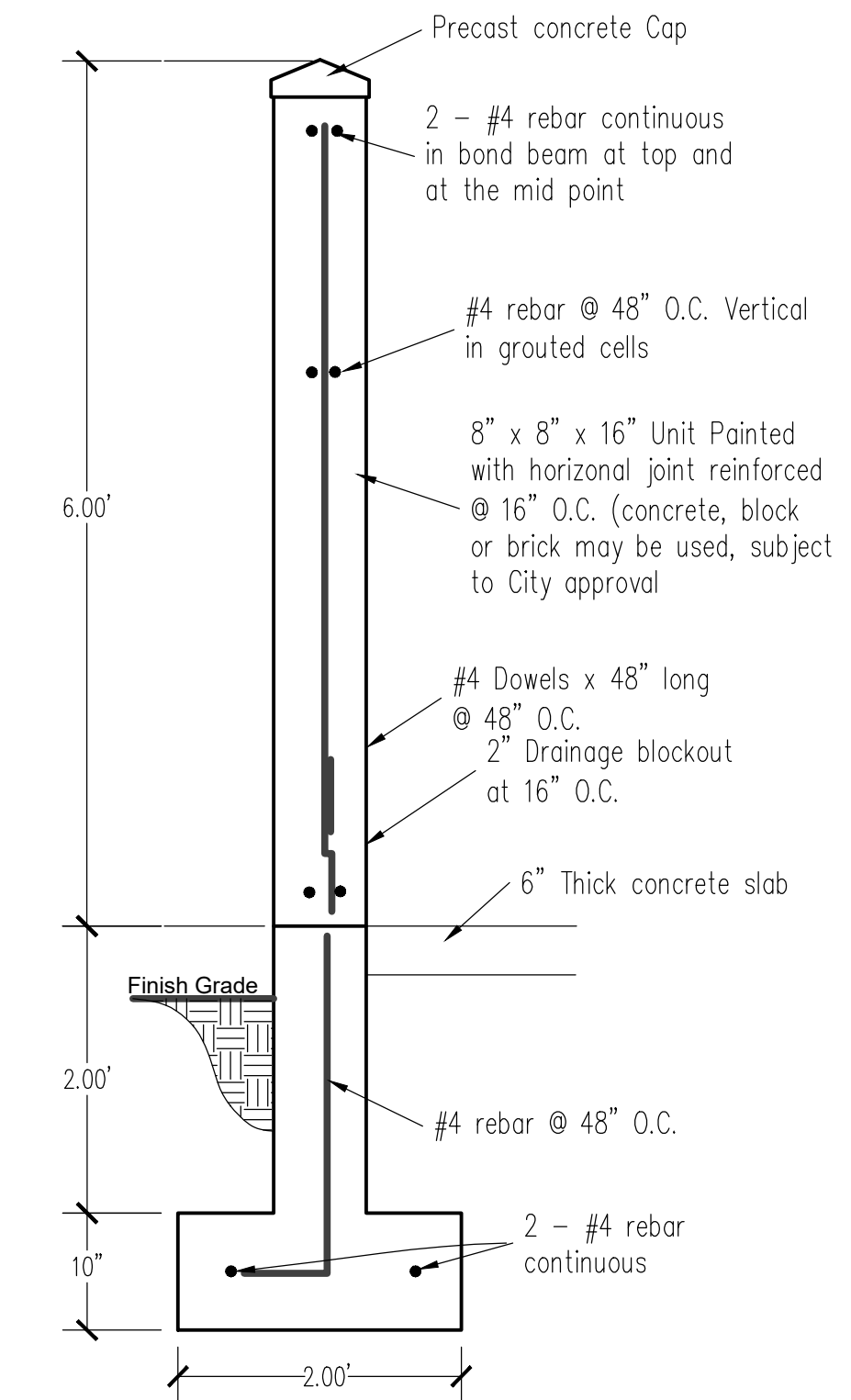
**FENCING  
REGULATIONS**

ALPINE CITY  
20 NORTH MAIN  
ALPINE, UTAH 84004

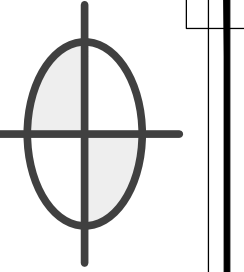
STANDARD DRAWING NUMBER	<b>30</b>
DATE	11/12/2022
DESIGNED BY	MM
CHECKED BY	MM
DATE PLOTTED	11/12/2022



Trash Enclosure Detail



Trash Enclosure Wall Detail



**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Long Range Shooters of Utah  
**DETAIL SHEET**

Utah

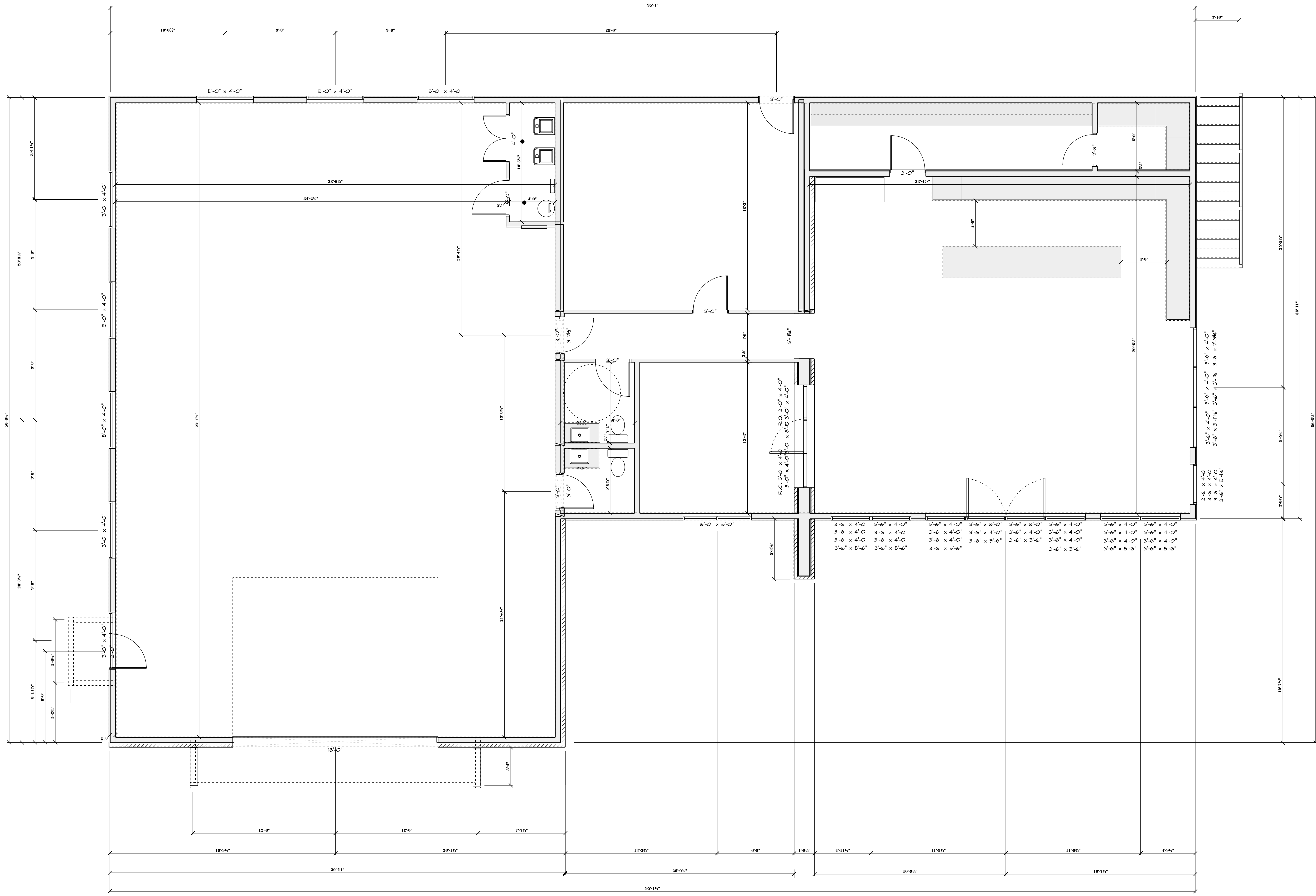
Alpine City

Revisions

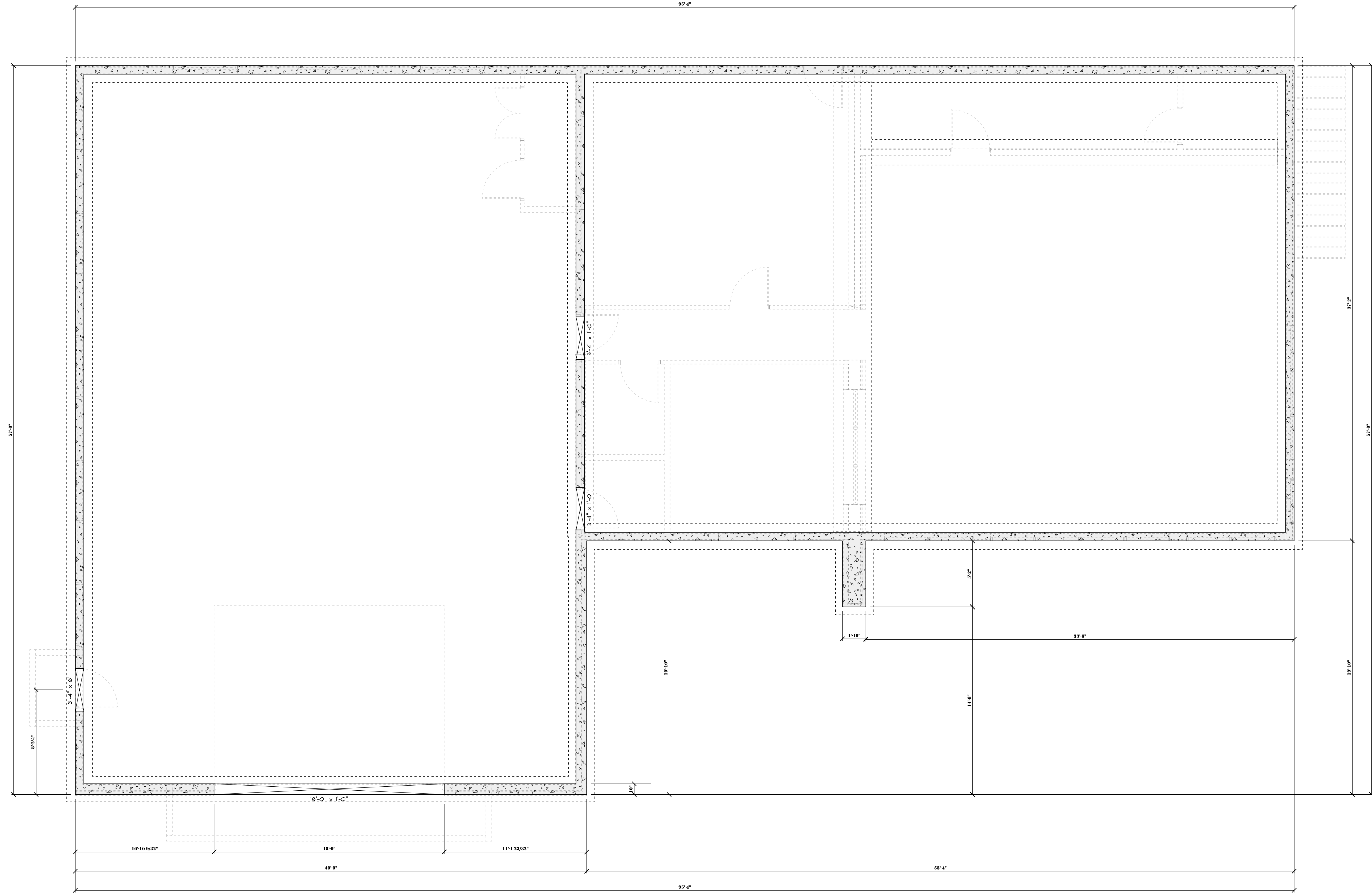
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2-2-2026  
Scale

By  
BHT  
Tracing No.  
L -

Sheet No.  
**C - 4**

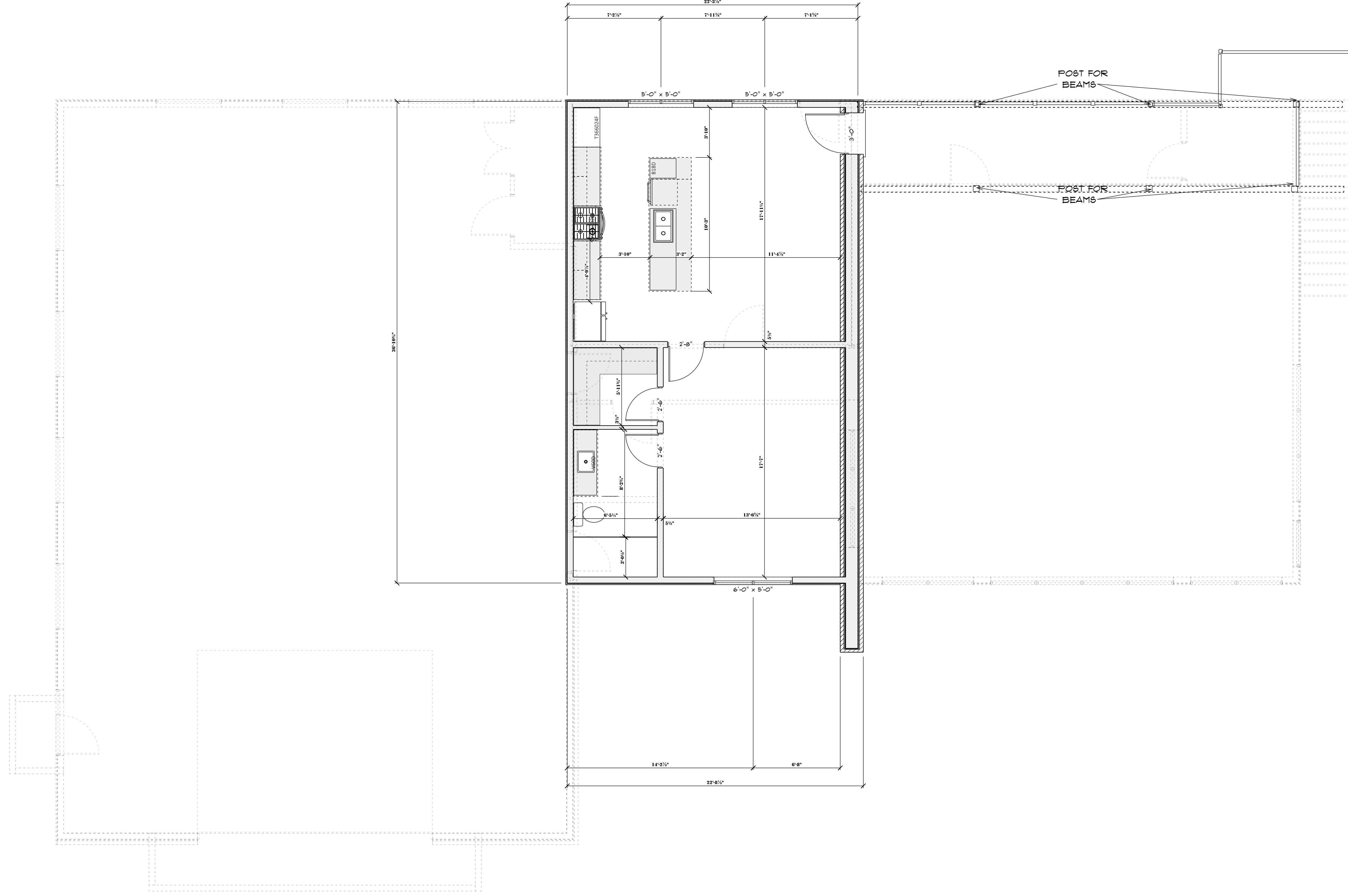


**MAIN FLOOR**  
SCALE: 1/4" = 1'-0"



**BASEMENT**  
SCALE: 1/4" = 1'-0"

**2ND FLOOR**  
SCALE: 1/4" = 1'-0"



**LRSU BUID**  
PHONE:  
FAX:  
MOBILE:

**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

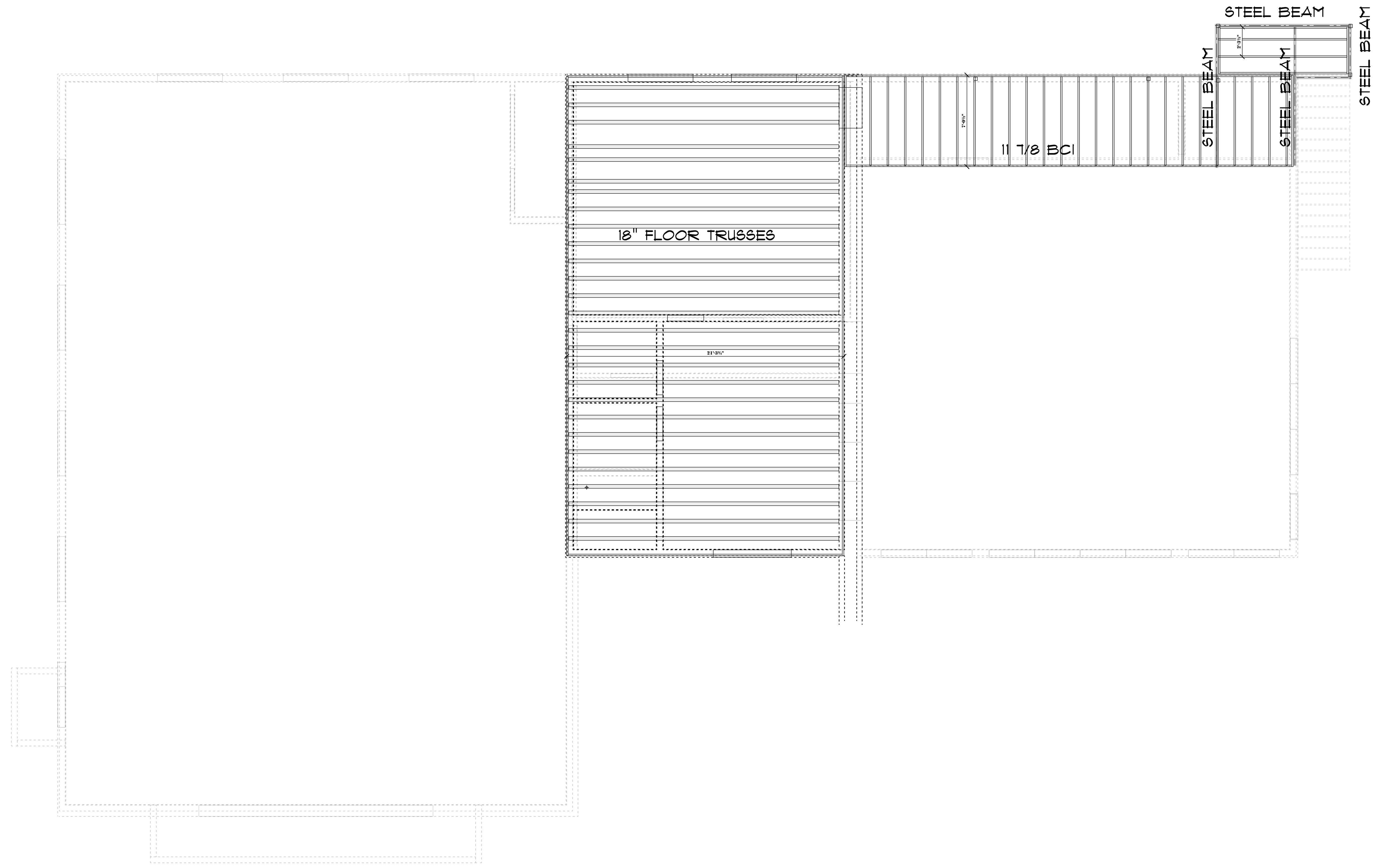
**Bent Nail Construction & Design**  
4891 West Camellia Lane  
Cedar Hills  
Utah  
84062  
PHONE: 801 6562574  
FAX:  
MOBILE: 801 6562574  
rickbull@gmail.com

SCALE: 1/4" = 1'-0"  
DRAWN BY:  
DATE: Thursday, February 26, 2026

SECTION LETTER  
**A**  
PAGE NUMBERS  
**11**

APPROVED:  
CHECKED BY:

PAGE: **A3/9**  
2ND FLOOR



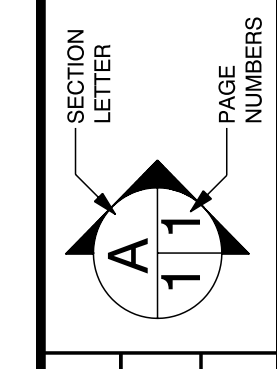
**2ND FLOOR FRAMING - FLOOR SYSTEM**  
 SCALE: 1/4" = 1'-0"

**LRSU Build**  
 PHONE:  
 FAX:  
 MOBILE:

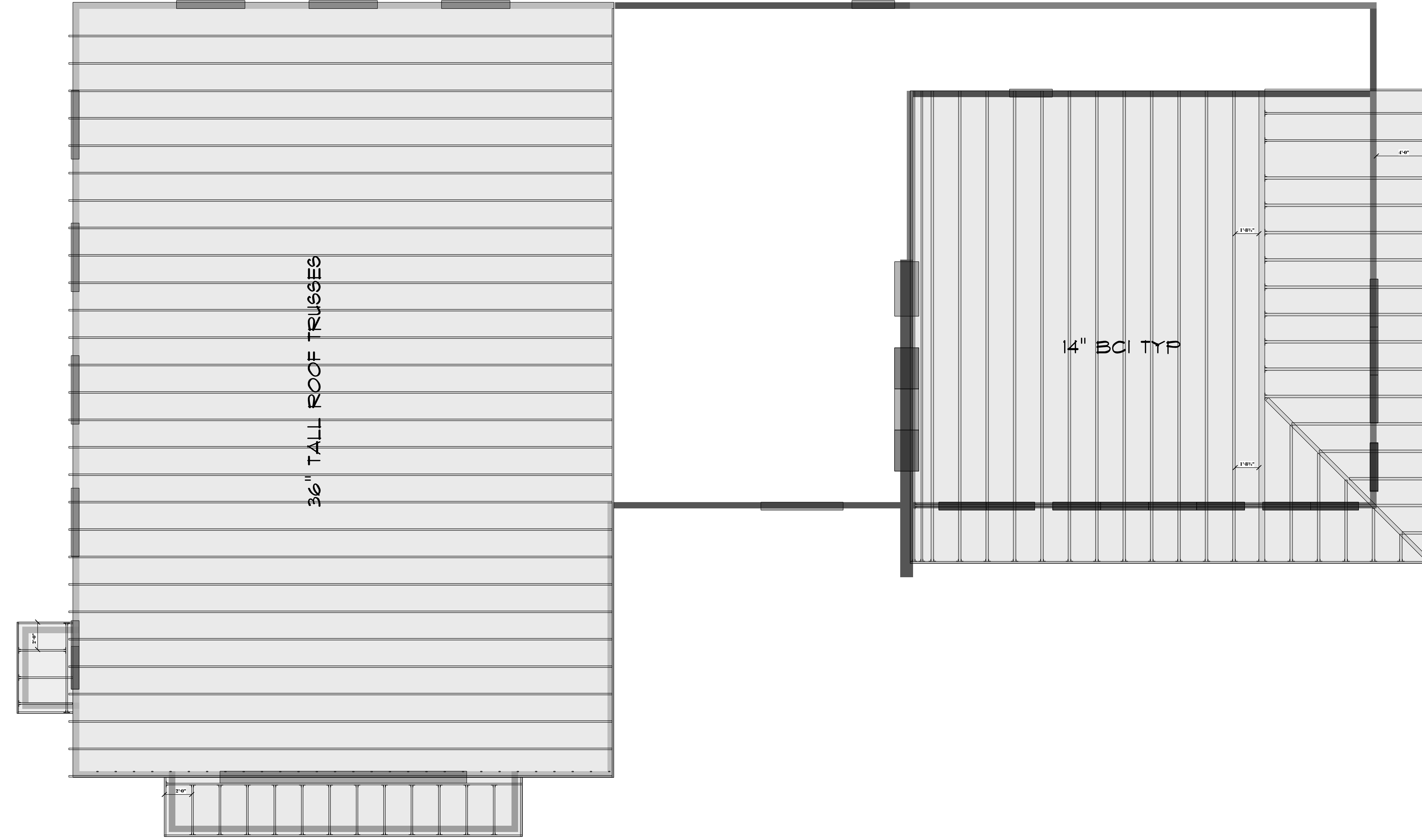


**Bent Nail Construction & Design**  
 4891 West Camellia Lane  
 Cedar Hills  
 Utah  
 84062  
 PHONE: 801 6562574  
 FAX:  
 MOBILE: 801 6562574  
 rickbull@gmail.com

SCALE: 1/4" = 1'-0"  
 DRAWN BY:  
 DATE: Thursday, February 26, 2026

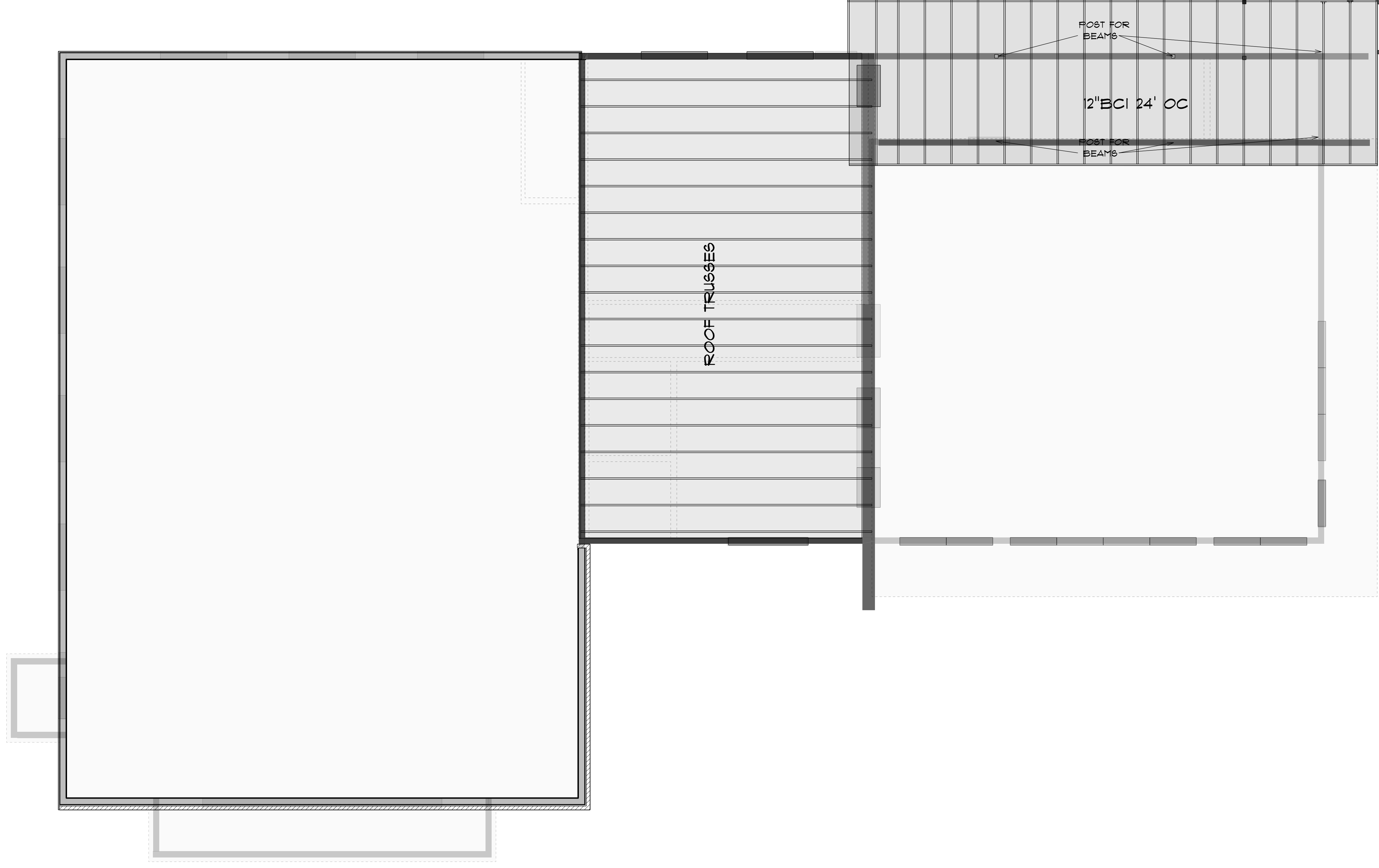


APPROVED:  
 CHECKED BY:

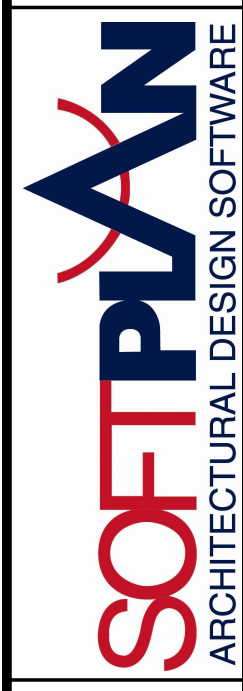


MAIN FLOOR ROOF FRAMING - ROOF  
SCALE: 1/4" = 1'-0"

**2ND FLOOR ROOF FRAMING - ROOF**  
 SCALE: 1/4" = 1'-0"

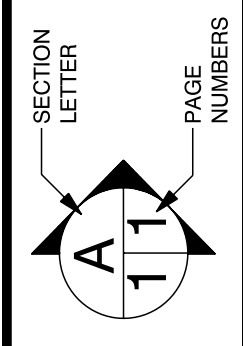


LRSU Build  
 PHONE:  
 FAX:  
 MOBILE:

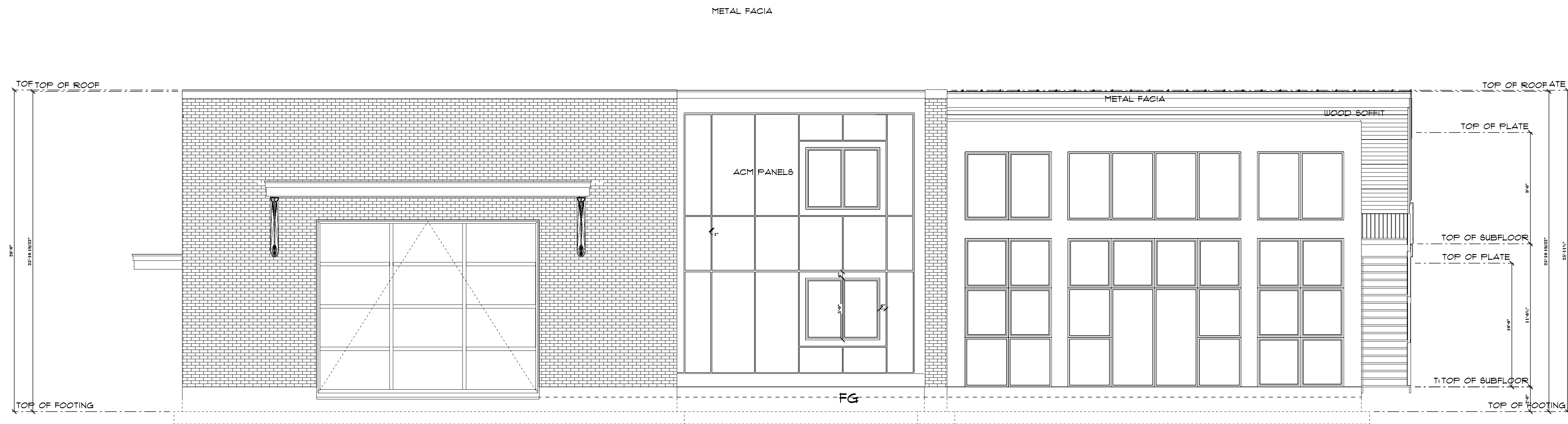


**Bent Nail Construction & Design**  
 4891 West Camellia Lane  
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 84062  
 PHONE: 801 6562574  
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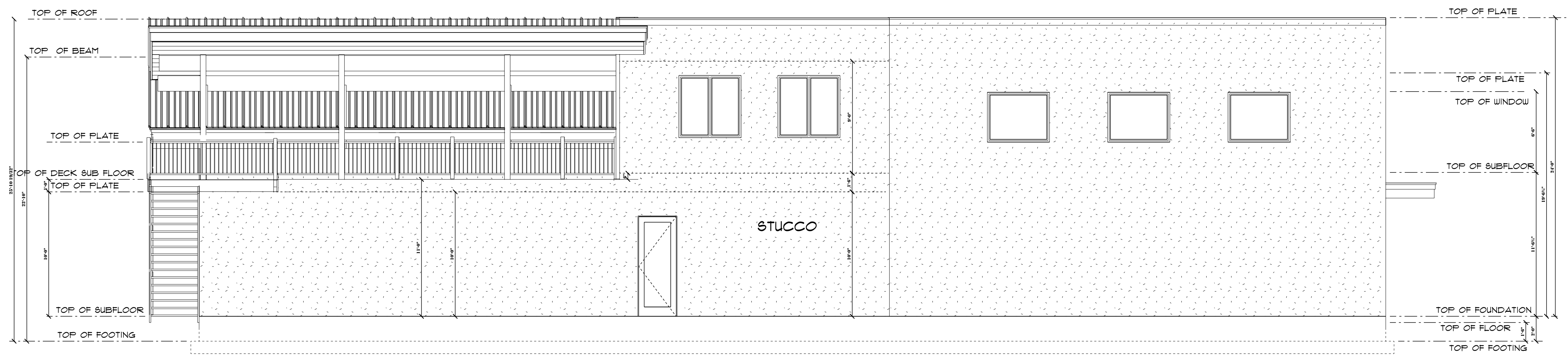
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 DRAWN BY:  
 DATE: Thursday, February 26, 2026



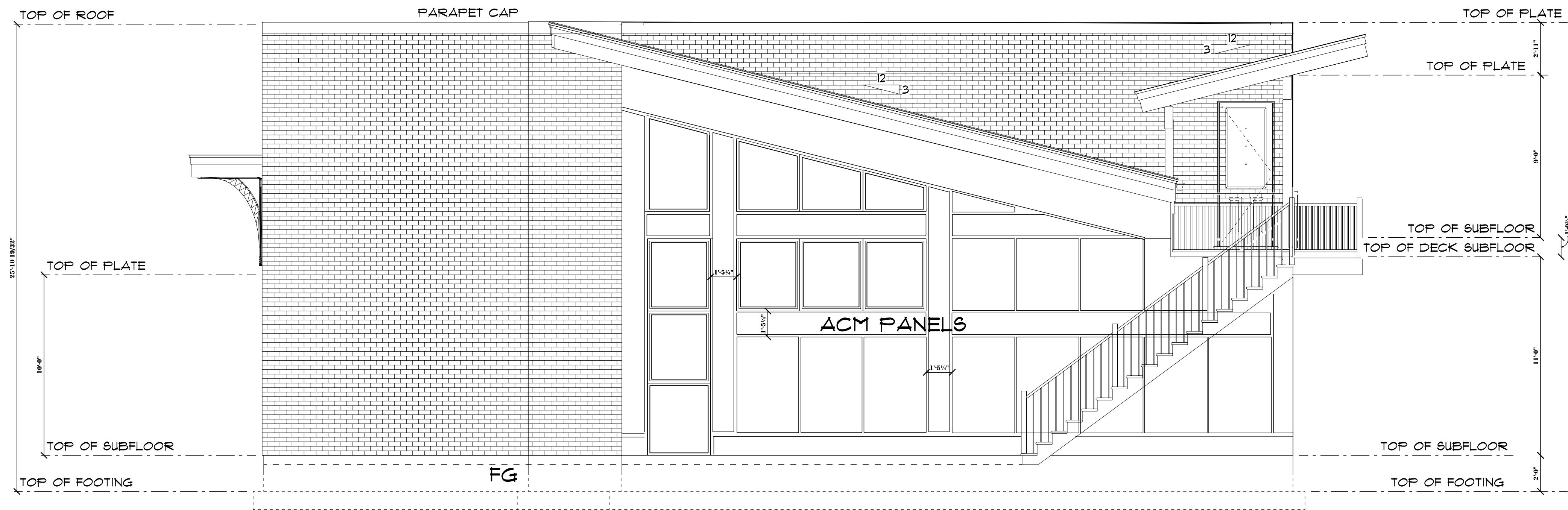
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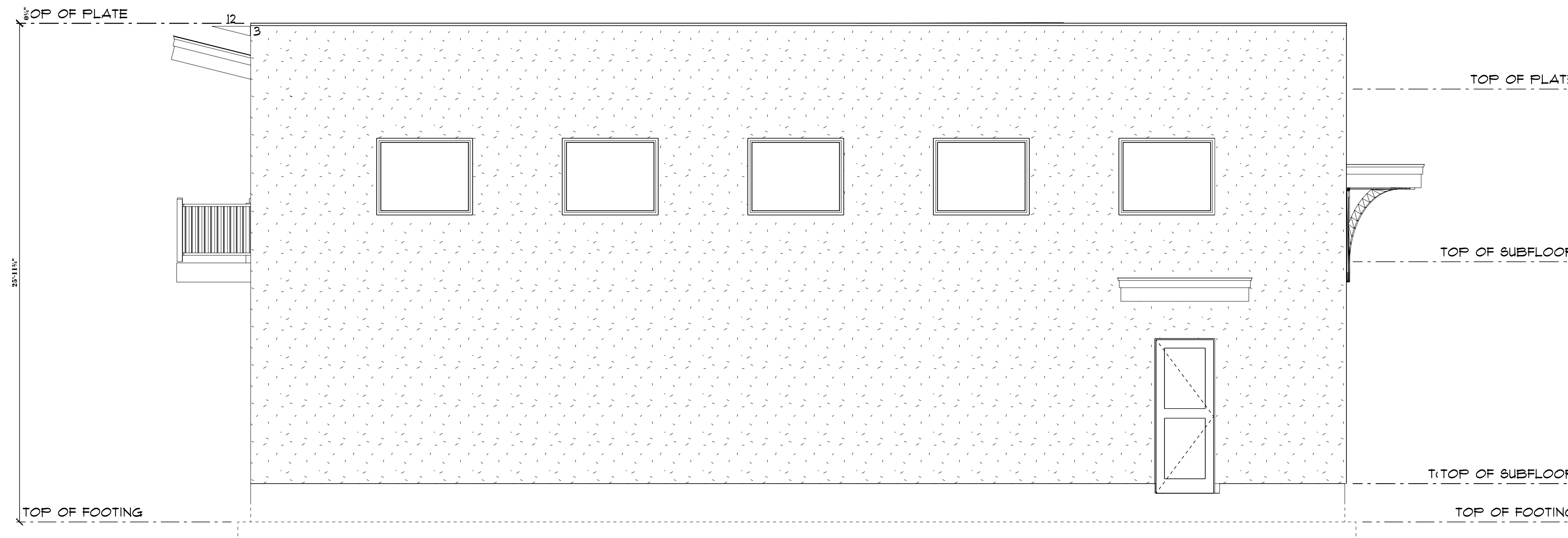
**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



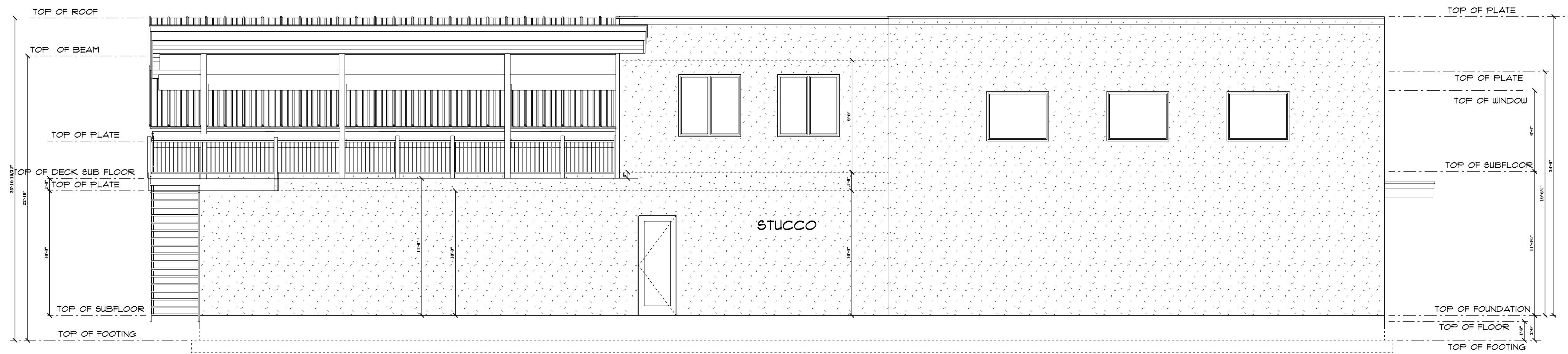
**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4"=1'



# SLING Series

SLENDER WALLPACK

tradeSELECT®

## FEATURES

- Two sizes for a variety of applications
- Ranges from 21W to 80W with up to 8000 lumens
- SG1 Series replaces from 100W-150W HID; SG2 Series replaces from 150W-250W HID
- Comfort lens available as an option or accessory provides glare control and enhanced uniformity
- Knuckle and trunnion accessory mounting kits available for flood applications
- IP65 and certified to UL 1598 for use in wet locations up to 40°C ambient



## SPECIFICATIONS

### HOUSING

- Rugged die-cast aluminum housing with corrosion resistant powder coat finish
- Heating dissipating fins provide superior thermal performance extending the life of the electronic components
- Impact resistant tempered glass offers zero uplight
- Comfort lens available as an option or accessory to reduce glare (7-10% lumen reduction) and provide better uniformity

### OPTICS

- 3000K, 4000K and 5000K CCT nominal with 70 CRI
- Smaller SG1 housing has 2 LEDs, larger SG2 housing has 3 LEDs

### INSTALLATION

- Side hinge allows for easy installation and wiring
- Side movement avoids damage to the lens and helps prevent injury common in drop down hinge designs
- Mounts to 4" junction box and includes a gasket to help seal electrical connections
- Four 1/2" threaded conduits hubs for surface conduit provided

### ELECTRICAL

- 120-277V, 50/60Hz electronic drivers
- 347V and 480V available in large SG2 housing
- 10KA surge protection included

### OPTIONS/CONTROLS

- Button photocontrol for dusk to dawn energy savings. Stock versions include 120V-277V PC with a cover which provides a choice to engage photocontrol or not. PC is installed in top hub
- Occupancy sensor available for on/off and dimming control in larger SG2 housing
- Battery backup options available in larger SG2 housing rated for either 0° C or -30° C. Performance exceeds NEC requirement providing 1 fc minimum over 10'x10' at 11' mounting height

### CERTIFICATIONS

- Listed to UL1598 for use in wet location, listed for -40°C to 40°C applications
- Complies with IDA standards with zero uplight for 3000K and warmer CCT's
- IP65

### WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	2263-8079
Wattage Range	21-80
Efficacy Range (LPW)	101-113
Weights lbs. (kg)	4.3-11 (2.0-5.0)

# SLING SERIES

SLENDER WALLPACK

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## ORDERING GUIDE

Example: SG1-20-3K7-FT-UNV-DBT-PCU-CS

CATALOG #

## ORDERING INFORMATION

Housing	CCT/CRI	Distribution	Voltage	Color/Finish	Control Options	Options
<b>SG1-10</b> Size 1,10W	<b>3K7</b> 3000K, 70 CRI	<b>FT</b> Fwd Throw	<b>UNV</b> 120V-277V	<b>BLT</b> Black Matte Textured	<b>PCU</b> Universal Button Photocontrol (120-277V)	<b>CS</b> Comfort Lens
<b>SG1-20</b> Size 1,20W	<b>4K7</b> 4000K, 70 CRI		<b>120</b> 120V	<b>BLS</b> Black Gloss Smooth	<b>SCP</b> <sup>1,2,3</sup> Occupancy Sensor Programmable (Dim)	<b>E</b> <sup>1,2</sup> Battery 0°C
<b>SG1-30</b> Size 1,30W	<b>5K7</b> 5000K, 70 CRI		<b>277</b> 277V	<b>DBT</b> Dark Bronze Matte Textured	<b>Specify MTG HT for OCC Sensor</b>	<b>EH</b> <sup>1,2</sup> Battery w/ heater -20°
<b>SG1-40</b> Size 1,40W			<b>UHV</b> 347V-480V	<b>DBS</b> Dark Brone Gloss Smooth	<b>8F</b> Up to 8'	
<b>SG2-50</b> Size 2,50W				<b>GTT</b> Graphite Matte Textured	<b>20F</b> Up to 20'	
<b>SG2-80</b> Size 2,80W				<b>LGS</b> Light Grey Gloss Smooth		
				<b>PSS</b> Platinum Silver Smooth		
				<b>WHT</b> White Matte Textured		
				<b>WHS</b> White Gloss Smooth		
				<b>VGT</b> Verde Green Textured		
				<b>Color Option</b>		
				<b>CC</b> Custom Color		

Notes:

- 1 Available in SG2 only, UHV available in SG2-50 only
- 2 Sensor controls & battery backup can not be used with flood accessory or kit or for inverted/up mounting, 120-227V only for SCO/SCP, 120 or 277 only for SWP, SWPM, E & EH
- 3 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120-277V only

## STOCK ORDERING INFORMATION

Catalog Number	CCT/CRI	Wattage	Mounting Height	Color	Color	Delivered Lumens	LPW	Weight lbs. (kg)
<b>SG1-10-PCU</b>	5000K/70	11W	8-12ft	120-277V	Dark Bronze	1349	122	4.3 (2.0)
<b>SG1-10-4K-PCU</b>	4000K/70	11W	8-12ft	120-277V	Dark Bronze	1424	129	4.3 (2.0)
<b>SG1-20-PCU</b>	5000K/70	21W	8-12ft	120-277V	Dark Bronze	2263	108	4.3 (2.0)
<b>SG1-20-4K-PCU</b>	4000K/70	21W	8-12ft	120-277V	Dark Bronze	2310	110	4.3 (2.0)
<b>SG1-30-PCU</b>	5000K/70	29W	10-15ft	120-277V	Dark Bronze	3270	113	4.3 (2.0)
<b>SG1-30-4K-PCU</b>	4000K/70	29W	10-15ft	120-277V	Dark Bronze	3060	105	4.3 (2.0)
<b>SG1-40-PCU</b>	5000K/70	38W	10-15ft	120-277V	Dark Bronze	4008	105	4.3 (2.0)
<b>SG1-40-4K-PCU</b>	4000K/70	38W	10-15ft	120-277V	Dark Bronze	4070	106	4.3 (2.0)
<b>SG2-50-PCU</b>	5000K/70	51W	12-18ft	120-277V	Dark Bronze	5548	110	11 (5.0)
<b>SG2-50-4K-PCU</b>	4000K/70	51W	12-18ft	120-277V	Dark Bronze	5526	109	11 (5.0)
<b>SG2-80-PCU</b>	5000K/70	80W	15-25ft	120-277V	Dark Bronze	8061	101	11 (5.0)
<b>SG2-80-4K-PCU</b>	4000K/70	80W	15-25ft	120-277V	Dark Bronze	8079	101	11 (5.0)

# SLING SERIES

SLENDER WALLPACK

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

## ORDERING GUIDE

### OPTIONS AND ACCESSORIES

	Catalog Number	Description	Weight lbs. (kg)
<input type="checkbox"/>	SG1-KNUCKLE	SG1 Series Knuckle/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SG2-YOKE	SG2 Series Yoke/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SG2-KNUCKLE	SG2 Series Knuckle/Floodlight mount kit, includes visor	2.0 (1.0)
<input type="checkbox"/>	SCP-REMOTE*	Remote control for SCP option. Order at least one per project to program and control fixtures	1 (.45)

# SLING SERIES

SLENDER WALLPACK

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## PERFORMANCE DATA

Description	# of LEDs	Drive Current	System Watts	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
SG1-10	2	140mA	11	1349	122	1	0	0	1424	129	1	0	0	1003	91	1	0	0
SG1-20	2	250mA	21	2449	115	1	0	0	2310	110	1	0	0	2054	95	1	0	0
SG1-30	2	350mA	29	3332	117	2	0	0	3060	106	1	0	0	2913	100	1	0	0
SG1-40	2	450mA	38	4008	105	2	0	0	4070	106	2	0	0	3845	100	2	0	0
SG2-50-UHV	3	350mA	44	4633	106	2	0	0	4609	105	2	0	0	3895	90	2	0	0
SG2-50	3	415mA	51	5548	109	2	0	0	5526	107	2	0	0	4700	92	2	0	0
SG2-80	3	650mA	80	7851	98	2	0	1	8079	103	2	0	1	6721	86	2	0	1

\*347 and 480 VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment application and inherent performance balances of the electrical components.

## ELECTRICAL DATA

Catalog number	# of Drivers	Input Voltage	Current (AMPS)	System Power
SG1-10	1	120	0.09	11.0
	1	277	0.04	11.0
SG1-20	1	120	0.18	21.0
	1	277	0.08	21.0
SG1-30	1	120	0.24	28.9
	1	277	0.10	28.9
SG1-40	1	120	0.32	38.3
	1	277	0.14	38.3
SG-50-UHV	1	347	0.13	43.5
	1	480	0.18	43.5
SG2-50	1	120	0.42	50.6
	1	277	0.18	50.6
SG2-80	1	120	0.68	79.8
	1	277	0.29	79.8

## PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11' L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.98	0.97	0.96	0.95	>791,000
40°C / 104°F	0.99	0.98	0.96	0.96	0.94	>635,000

1. Projected per IESNA TM-21-11 \* (Nichia 219B, 700mA, 85°C Ts, 10,000hrs) Data references the extrapolated performance projections for the base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08

# SLING SERIES

SLENDER WALLPACK

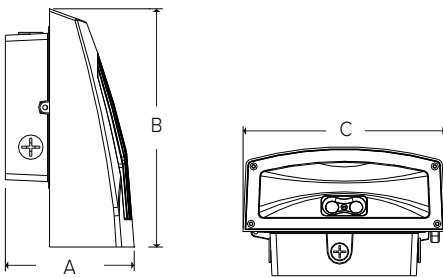
## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99
50° C	122° F	0.96

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

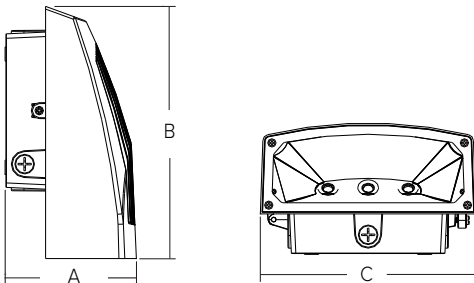
## DIMENSIONS

**SG1**



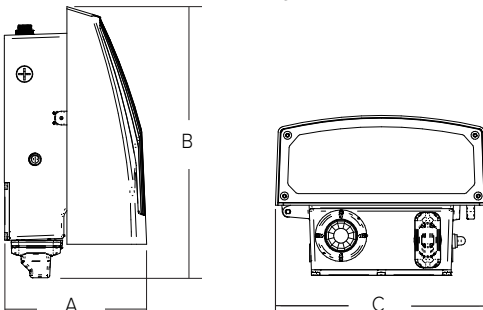
A	B	C	Weight
4.19" (107mm)	7.80" (198mm)	6.61" (168mm)	4.4lbs (2kg)

**SG2**



A	B	C	Weight
5.80" (147mm)	11.14" (283mm)	9.52" (242mm)	11lbs (5kg)

**SG2 with occupancy sensor and battery options**



A	B	C	Weight
7.26" (184mm)	13.64" (342mm)	9.52" (242mm)	11lbs (5kg)

# SLING SERIES

SLENDER WALLPACK

## PHOTOMETRY

### SG1-10-4K7

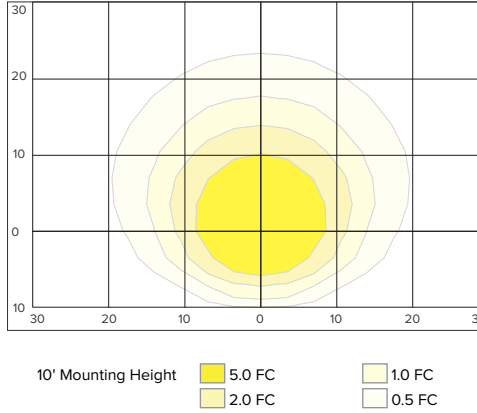
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	1424
Watts	11.4
Efficacy	125
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	996.6	70.0
Downward House Side	427.8	30.0
Downward Total	1424.4	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	1424.4	100.0

#### ISOMETRIC FOOTCANDLE



### SG1-20-4K7

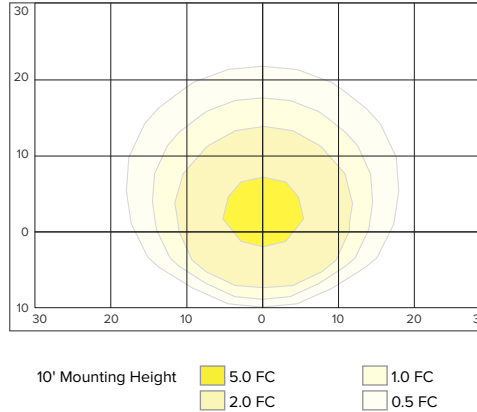
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	2310
Watts	20.9
Efficacy	111
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	1618	70.0
Downward House Side	692.1	30
Downward Total	2310	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	2310.3	100.0

#### ISOMETRIC FOOTCANDLE



### SG1-30

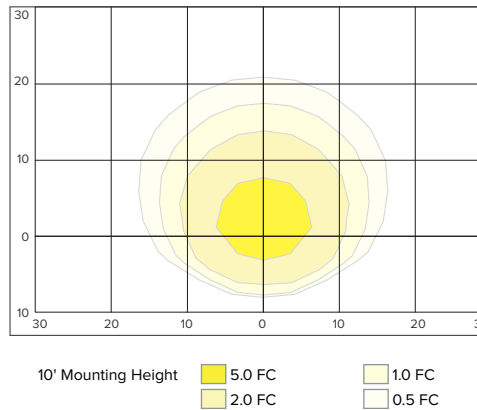
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	3060
Watts	29.1
Efficacy	105
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	2619.4	70.9
Downward House Side	890.4	29.1
Downward Total	3059.8	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	3059.8	100.0

#### ISOMETRIC FOOTCANDLE



# SLING SERIES

SLENDER WALLPACK

## PHOTOMETRY

### SG1-40-4K7

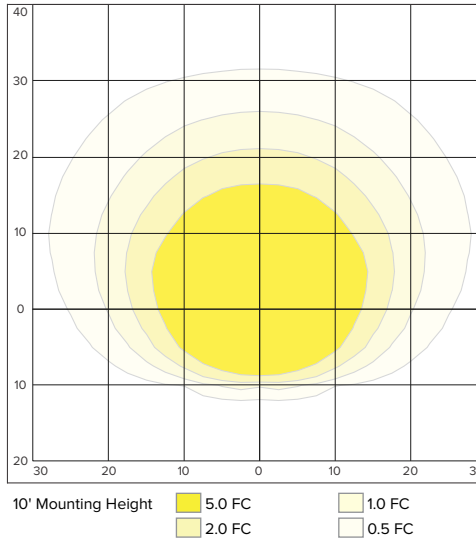
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	4070
Watts	38.1
Efficacy	107
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	2857.7	70.2
Downward House Side	1215.5	29.8
Downward Total	4070.2	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	4070.2	100.0

#### ISOMETRIC FOOTCANDLE



### SG2-50-4K7

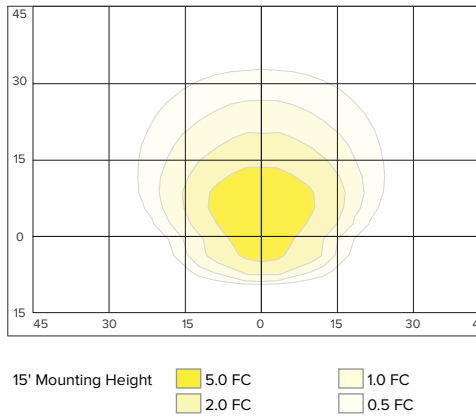
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	5525.7
Watts	51.7
Efficacy	107
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	4611.8	83.5
Downward House Side	913.9	16.5
Downward Total	5525.7	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	5525.7	100.0

#### ISOMETRIC FOOTCANDLE



### SG2-80-4K7

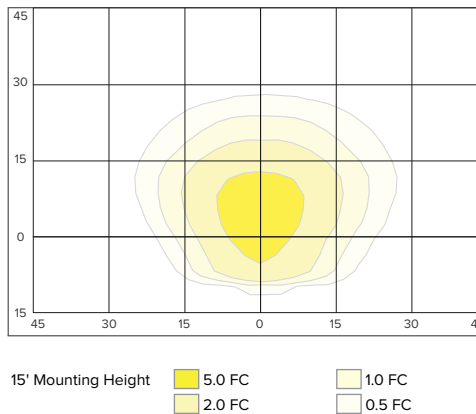
#### LUMINAIRE DATA

Description	4000 Kelvin, 70 CRI
Distribution Type	Forward Throw
Delivered Lumens	8453
Watts	78.5
Efficacy	108
Mounting	Wall

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	6677.7	79.0
Downward House Side	1775.5	21.0
Downward Total	8453.2	100.0
Upward Street Side	0.0	0.0
Upward House Side	0.0	0.0
Upward Total	0.0	0.0
Total Flux	8453.2	100.0

#### ISOMETRIC FOOTCANDLE



**SLING SERIES**  
SLENDER WALLPACK

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_




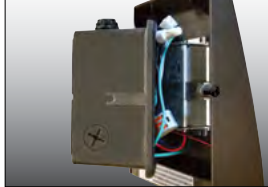
CATALOG #: \_\_\_\_\_

**ADDITIONAL INFORMATION**

Shipping Information

Catalog Number	G.W(kg)/ CTN	Carton Dimensions			Carton Qty. per Master Pack	Pallet Qty.
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)		
SG1	4.35lbs (2kg)	9.5 (24)	8.25 (21)	5.25 (13)	6	98
SG2	11lbs (5kg)	14 (36)	11.5 (29)	8 (20)	2	64

Accessories and Services

Visor	Mounting Options	Photocontrol	Hinged Housing Door
			
Visor accessory included with mounting accessory kits	Flood mounting accessories - 1/2" threaded knuckle or yoke (includes grommet and 3' SO cord)	Photocontrol option available for energy-saving dusk-to-dawn operation	Side hinged for easy installation and wiring access, single screw secures housing closure



**ALPINE CITY**  
**STAFF REPORT**  
June 12, 2026

**To:** Alpine City Planning Commission

**From:** Staff

**Prepared By:** Caden Lyon, Assistant City Administrator  
Planning & Zoning Department

Jason Judd, City Engineer  
Engineering & Public Works Department

**Re:** **PRELIMINARY – PAGE SENIOR HOUSING PLAT “A”**

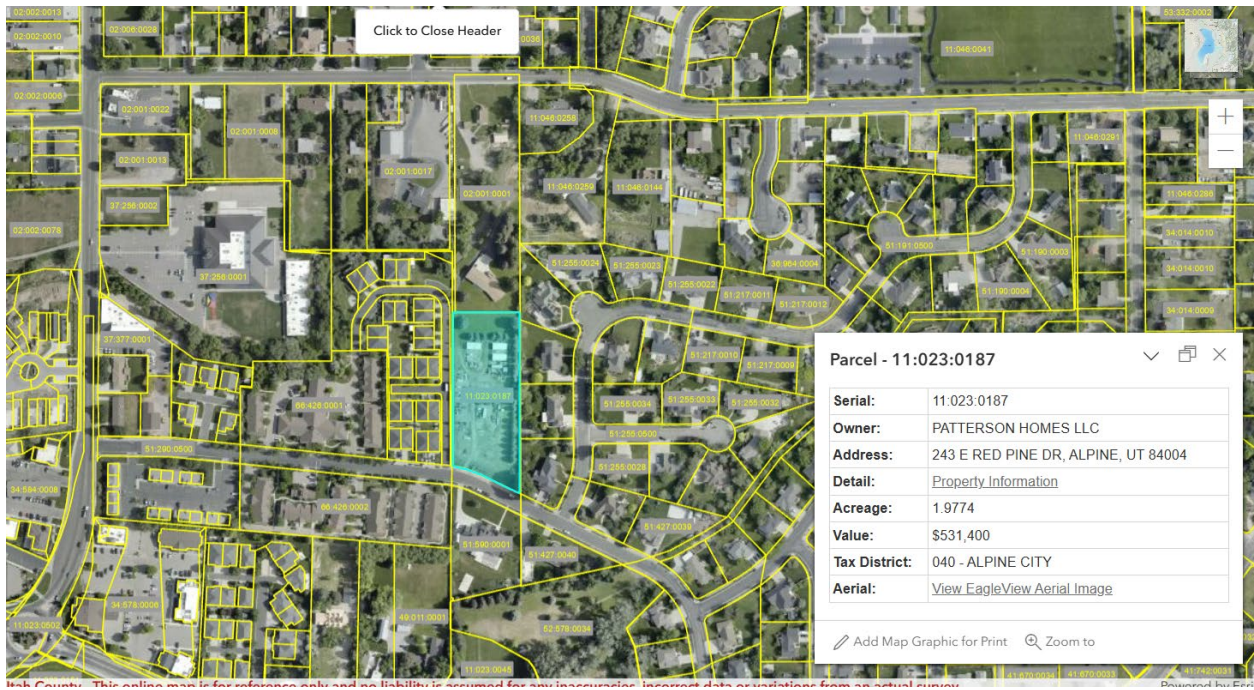
Applicant: Patterson Homes  
Project Location: 242 and 243 E RED PINE DR  
Zoning: Senior Housing Overlay Zone (SHOZ)  
Acreage: 3.23 Acres  
Lot Number & Size: 20 lots at 0.06 acres  
Request: Approve Preliminary Plan

**SUMMARY**

The Page Senior Housing Preliminary Plan consists of 20 lots on 3.23 Acres of Total Area. The development is located at 242 and 243 E Red Pine Dr and in the Business Commercial (BC) zone with the Senior Housing Overlay Zone (SHOZ). Based on DCA 4.04.010, Planning Commission is the Land Use Authority for any Preliminary Subdivision Application. The application is for preliminary approval.

**BACKGROUND**

Page Senior Housing Preliminary is on approximately one and a half separate parcels of land both owned by Patterson. There are stubbed road connections on the south side of the parcel along Red Pine Dr. The parcel went through a rezoning process with the City and received the Senior Housing Overlay Zone for the parcel, thus allowing this development. The parcel abuts another Senior Housing project, River Meadows PRD, to the east.



## **ANALYSIS**

### **Lot Width, Area, and Shape**

There is no minimum lot size for lots in the Senior Housing Overlay Zone, but rather a minimum acreage of 2 and maximum of 6 for the project, and only 8 units allowed per acre. The SHOZ allows for attached dwellings of no more than two attached. There are no width or area requirements. As far as lot shape is concerned, all lots meet the numbers of sides allowed; five or less sides, excluding the front property line.

### **Use**

The developer is proposing that the lots be used for single-unit attached dwellings, i.e. twin homes, which is consistent with the permitted uses for the SHOZ.

### **Trails**

There is a proposed private trail along Dry Creek, but due to constraints might have to be relocated to someone else between Red Pine Dr and 100 S. The precise location of the trail should be determined before Final Plat approval.

### **Other**

The developer will need to provide Alpine Irrigation Company water shares to satisfy the City's water requirements. The water policy will need to be met before the final plat can be recorded. A Developer's Agreement, as required per the Senior Housing Overlay Zone, will also required to be entered into with the City Council before the final plat can be approved.

## **REVIEWS**

## PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

## LONE PEAK FIRE DEPARTMENT REVIEW

Lone Peak Fire Department will review prior to Commission meeting

## ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

### Streets and Right-of-Way

All frontage is shown to be improved with curb/gutter and sidewalk per Alpine City Standards. Roadway widths and cul-de-sac also meet city code.

Street grades meet current code with a minimum of 1% slope (DCA 4.07.090.2). The road grades shown are between 0.50% & 0.94%.

### Utilities - General

Each utility system will be discussed in more detail below but in general, the development fits well within the city's adopted master plans; no issues regarding utilities were noted. Horrocks reviewed and approved a previous submitted plan for culinary water, pressurized irrigation, and sewer. For culinary waterline sizing, Horrocks had the following comment for the developer to consider: *"Fire flow available in the area surrounding the proposed improvements should be over 1750 gallons per minute at 20 psi for the proposed lines. If developer wishes to have greater fire flow for larger homes then water line should be looped to the east or a larger size installed to Healey Drive on High Bench road."*

### Utilities – Culinary Water

The subdivision is well below the 5,350-foot elevation, which is the highest elevation the existing water system can serve and still provide the minimum 40 psi required by ordinance. The culinary water master plan does not call for the need to upsize any mains within the development area but as noted in the Horrocks review, if the developer wishes to have greater fire flow for larger homes (larger than 4,800 sf), lines bigger than 8-inch would need to be installed. **Staff will work with the developer to see what their desires are in terms of home sizes for the area.**

1-inch laterals with ¾-inch meters are required, and shown, for each new lot.

The Fire Chief will review plans prior to Commission meeting and prior to final plan approval.

### Utilities – Pressurized Irrigation

Horrocks modeled the site and found no issues regarding the proposed development in terms of pressurized irrigation. The development can be served by the existing 8-inch main in High Bench Road. New 1-inch laterals are shown to be installed for each new lot. There is one existing 2-inch service that will be required to be removed and capped at the main line

### Utilities – Stormwater

The storm water system design and drainage report has been submitted, reviewed, and approved. The storm water system consists of six sumps that will retain the 100-yr (1% Annual Chance)

storm. Each lot within the development will also be required to retain the 80<sup>th</sup> percentile storm on its lot. All stormwater from this development will be retained onsite.

March 1, 2016, the State of Utah implemented into the General MS4 Permit (Small Municipal Separate Storm Sewer Systems) the requirement of all developments to evaluate Low Impact Development (aka - LID) for their site. LID is a measure of handling storm water and improving water quality. LID emphasizes conservation and the use of on-site natural features to protect water quality. There are many ways to meet the LID requirement. LID can be met by the use of drainage swales, rainwater harvesting, curb cuts to direct water to smaller local basins, and so on. The developer shows in the storm water calculations that LID will be implemented at the building permit level with each new lot retaining the 90<sup>th</sup> percentile storm, which equates to about a 2-year, 1-hr rainfall event for Alpine City. Recently, the state changed this requirement from the 90<sup>th</sup> percentile storm to the 80<sup>th</sup> percentile storm event. Retention of the 80<sup>th</sup> percentile storm is something Alpine is doing for all new homes within the city as required by the State. This is not just done as a measure of protecting water quality but also helps protect against runoff from one property to another.

#### Utilities – Sewer

The development can be served and is shown to connect to the existing 8-inch sewer system in High Bench Road. All lots are shown to gravity flow to that main line. The sewer master plan does not show the need to upsize any mains within the development. A new 4-inch sewer lateral is shown to be constructed to each new lot.

#### Geotechnical Report

The provided geotechnical report covers the standard items required by ordinance. No hazards were noted in the report or discovered in the process.

#### Hazard Reports

The proposed development does not fall within the Geologic Hazards Overlay Zone or the Urban/Wildland Interface and therefore no hazard reports were required of the developer.

#### Other

There are some minor redlines to correct on the plans.

### **FINDINGS**

- A. The proposed plan complies with the zoning ordinances of the BC and SHOZ, design standards and ordinances;
- B. All new construction is outside of the flood zone (AE)
- C. The plan requires no exceptions to ordinance.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission review the plans and make a motion to approve the proposed preliminary plat for the Page Senior Housing Plat A subdivision, with the conditions that:

- The trail location be determined before final plat approval
- The developer's agreement be entered into with the City before final plat approval

- Any minor redlines on the plat be corrected before final plat approval

**MODEL MOTIONS**

**SAMPLE MOTION TO APPROVE**

I move to approve the Preliminary application of the Page Senior Housing Plat A as proposed.

**SAMPLE MOTION TO APPROVE WITH CONDITIONS**

I move to approve the Preliminary application of Page Senior Housing Plat A with the following conditions:

**\*\*INSERT FINDINGS\*\***

**SAMPLE MOTION TO TABLE**

I move to table Page Senior Housing Plat A based on the following: **\*\*INSERT FINDINGS\*\***

**SAMPLE MOTION TO DENY**

I move to deny Page Senior Housing Plat A based on the following: **\*\*INSERT FINDINGS\*\***

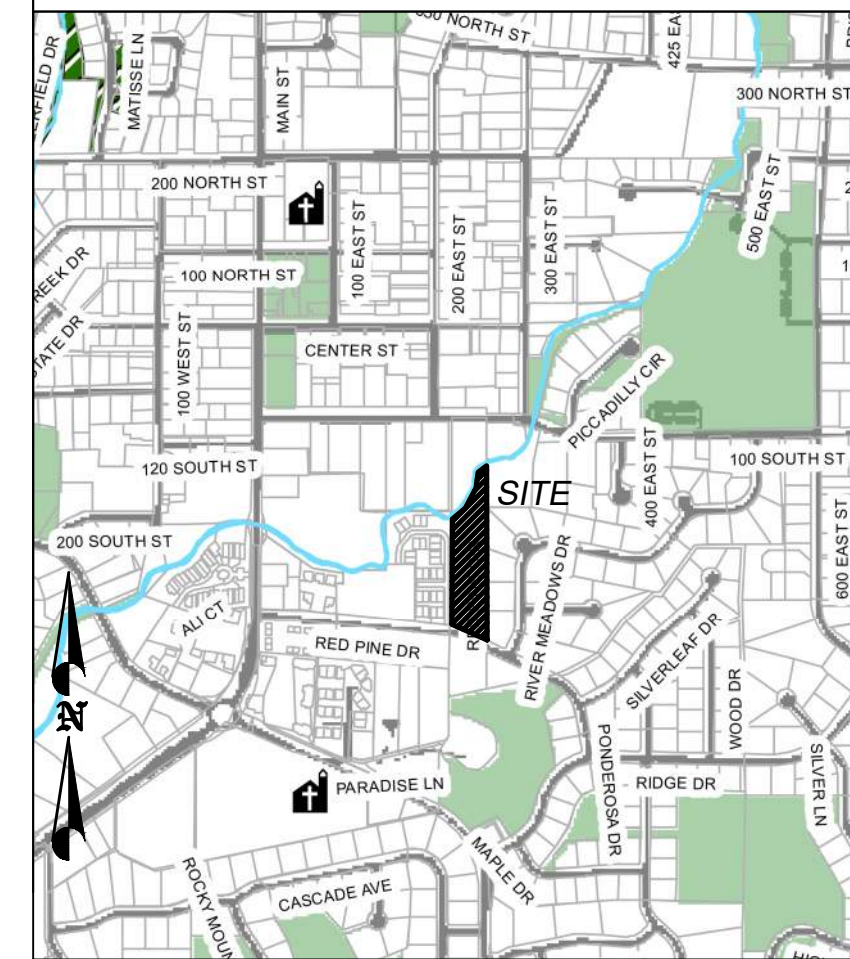
**TABULATIONS**

ZONE =	BC (SHO)
TOTAL AREA =	3.23 AC
AREA OF EXISTING ROADS =	0.00 AC
NET DEVELOPABLE AREA =	3.23 AC
NUMBER OF LOTS	20
DENSITY	6.19 DU/AC
REQUIRED LANDSCAPE AREA (30%)	0.97 AC
PROVIDED LANDSCAPE AREA (45%)	1.45 AC

**BOUNDARY DESCRIPTION**

BEGINNING AT THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN:  
 THENCE SOUTH 00°02'38" EAST 503.52 FEET; THENCE NORTH 64°13'00" WEST 123.67 FEET; THENCE ALONG THE ARC OF A 277.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 85.09 FEET (CURVE HAVING A CENTRAL ANGLE OF 17°36'04" AND A CHORD BEARS N73°01'02"W 84.76 FEET); THENCE NORTH 00°06'10" EAST 168.39 FEET; THENCE NORTH 00°27'45" EAST 392.36 FEET; THENCE EAST 7.07 FEET; THENCE NORTH 38°48'53" EAST 124.36 FEET; THENCE NORTH 26°26'56" EAST 63.78 FEET; THENCE NORTH 02°07'35" EAST 50.03 FEET; THENCE NORTH 25°23'15" EAST 91.98 FEET; THENCE NORTH 63°56'27" EAST 37.17 FEET; THENCE SOUTH 00°03'32" EAST 439.20 FEET TO THE POINT OF BEGINNING.  
 AREA = 140,810 SF OR 3.23 ACRES  
 BASIS OF BEARING IS SOUTH 00°02'38" EAST ALONG SECTION LINE FROM THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE EAST QUARTER CORNER OF SAID SECTION 25. (NAD 27)

**VICINITY SKETCH**



**GENERAL NOTES**

ALL CONSTRUCTION TO CONFORM TO ALPINE CITY STANDARD SPECIFICATIONS AND DETAILS

**SHEET INDEX**

C0	COVER
C1.0	LAYOUT
C2.0	OVERALL UTILITY PLAN
C3.0	GRADING PLAN
C4.0	230 EAST PLAN & PROFILE
C4.1	SECONDARY ACCESS PLAN & PROFILE
C5.0	SWPPP
C6.0	PRELIMINARY LANDSCAPE PLAN
DTL1-DTL2	CONSTRUCTION DETAILS
PLAT	PLAT "A"

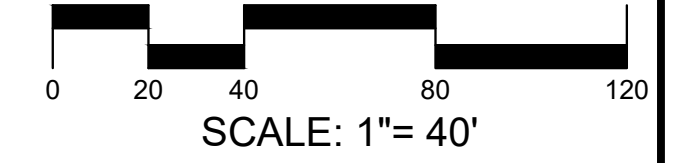
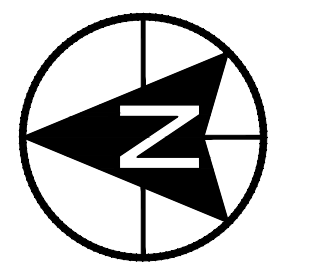
DEVELOPMENT

**PAGE SENIOR HOUSING**

DEVELOPER



3450 N TRIUMPH BLVD SUITE 200  
 LEHI, UT 84043  
 (801) 756-7303



1018 N Deer Crest Lane  
 Alpine UT, 84004  
 office (801) 492-1277  
 cell (801) 616-1677

REVISIONS		SEAL
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

ACTION	DATE
PRELIM	05/21/2026

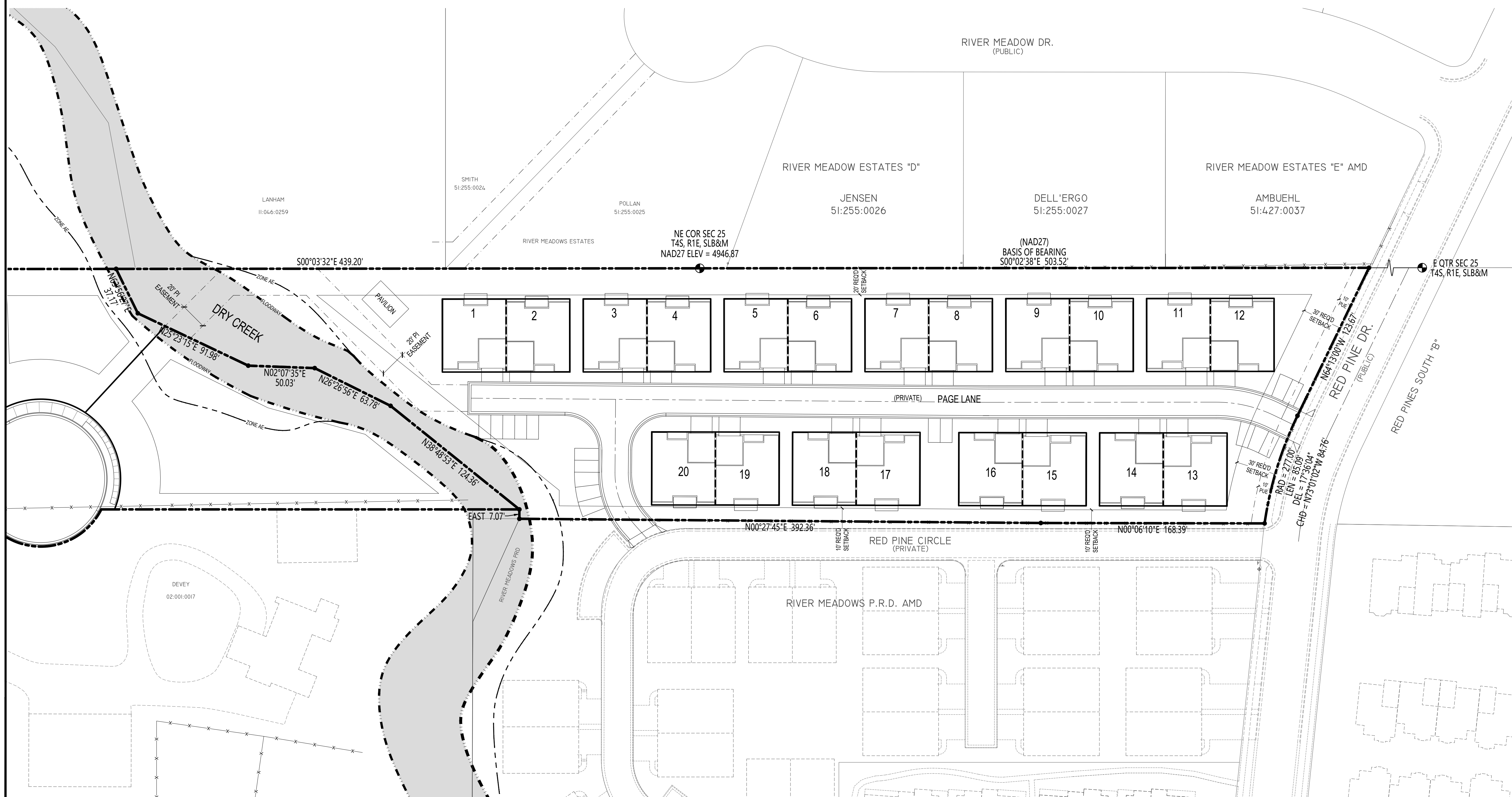
PROJECT

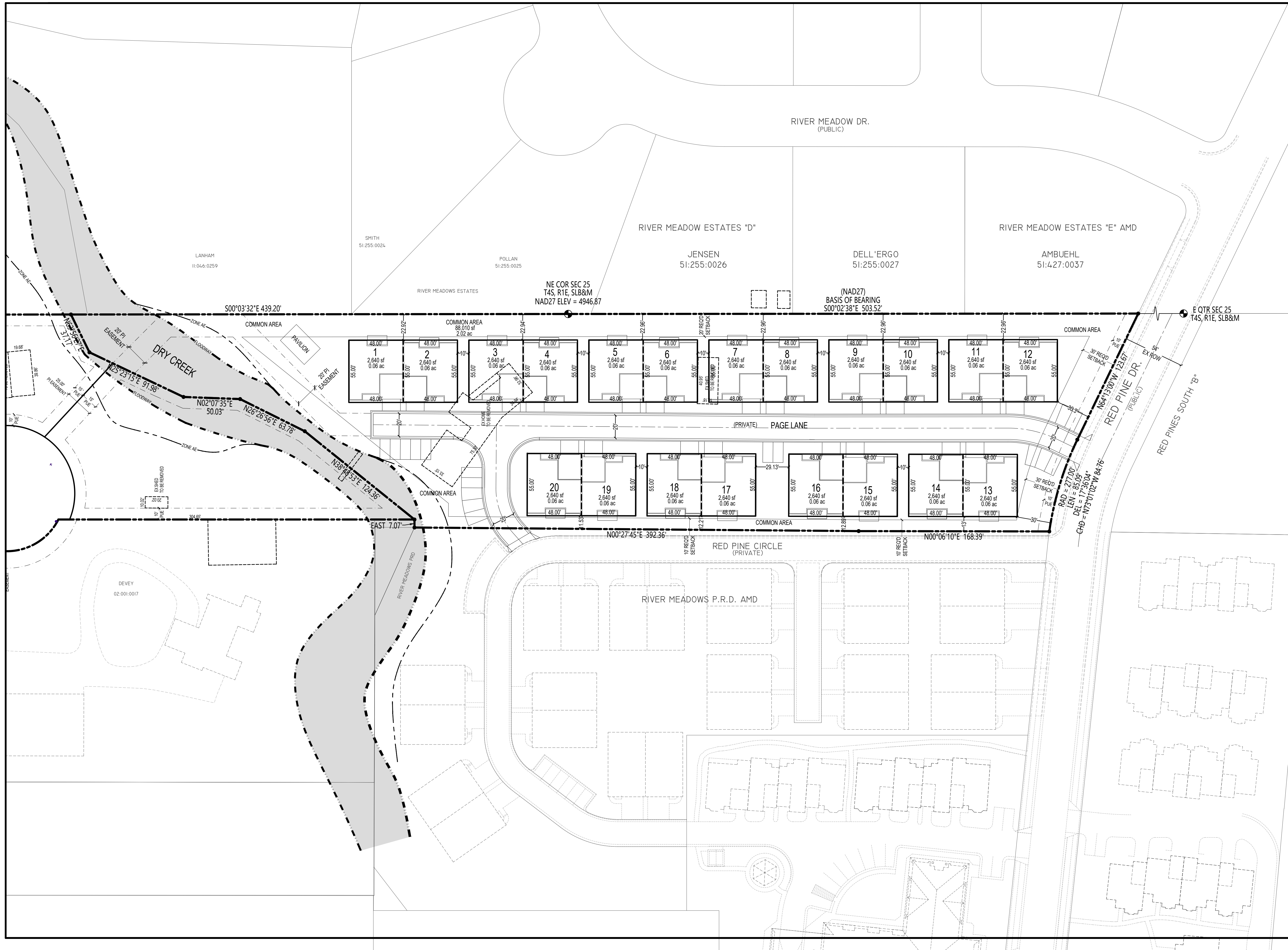
**PAGE SENIOR HOUSING**

DESCRIPTION

**PRELIMINARY PLAN**

SHEET NAME	SHEET NUMBER
COVER	C0






DEVELOPMENT

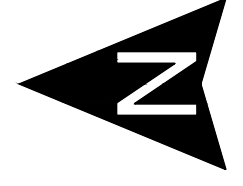

# PAGE SENIOR HOUSING

DEVELOPER




**PATTERSON  
HOMES**  
www.phutah.com

3450 N TRIUMPH BLVD SUITE 200  
LEHI, UT 84043  
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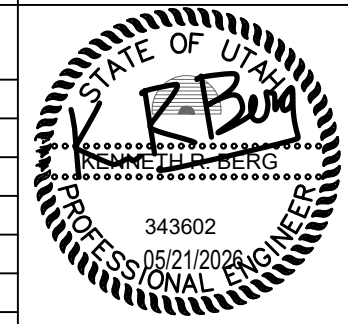



SCALE: 1"= 40'



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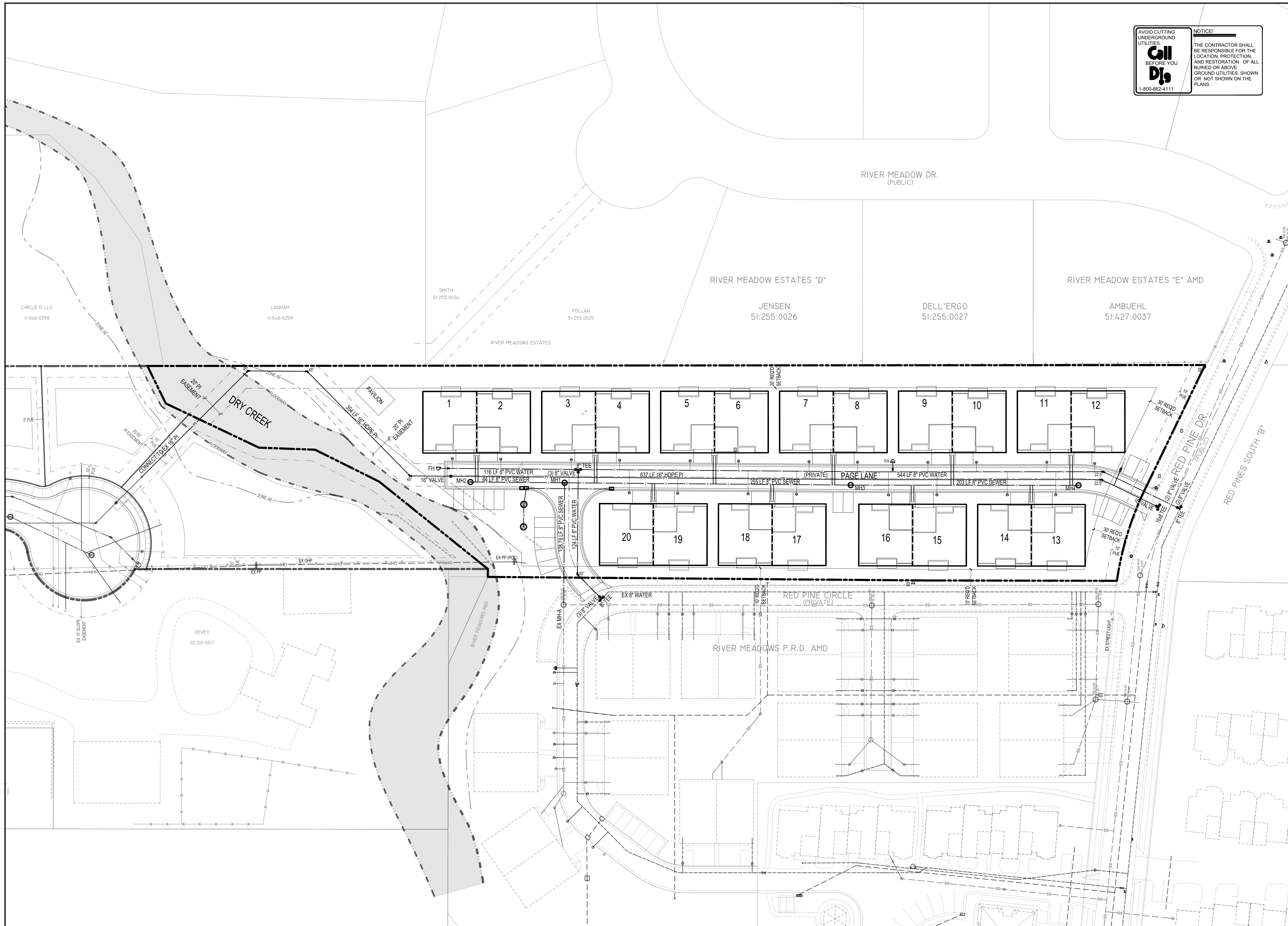
PROJECT

## PAGE SENIOR HOUSING

DESCRIPTION

### PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
LAYOUT	<b>C1.0</b>



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**NOTICE!**  
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DEVELOPMENT

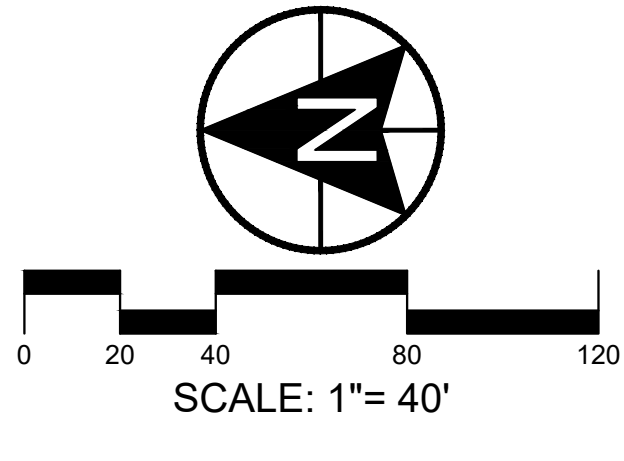
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DEVELOPER

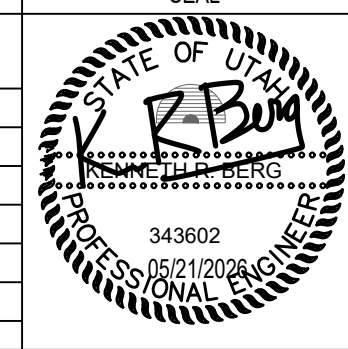


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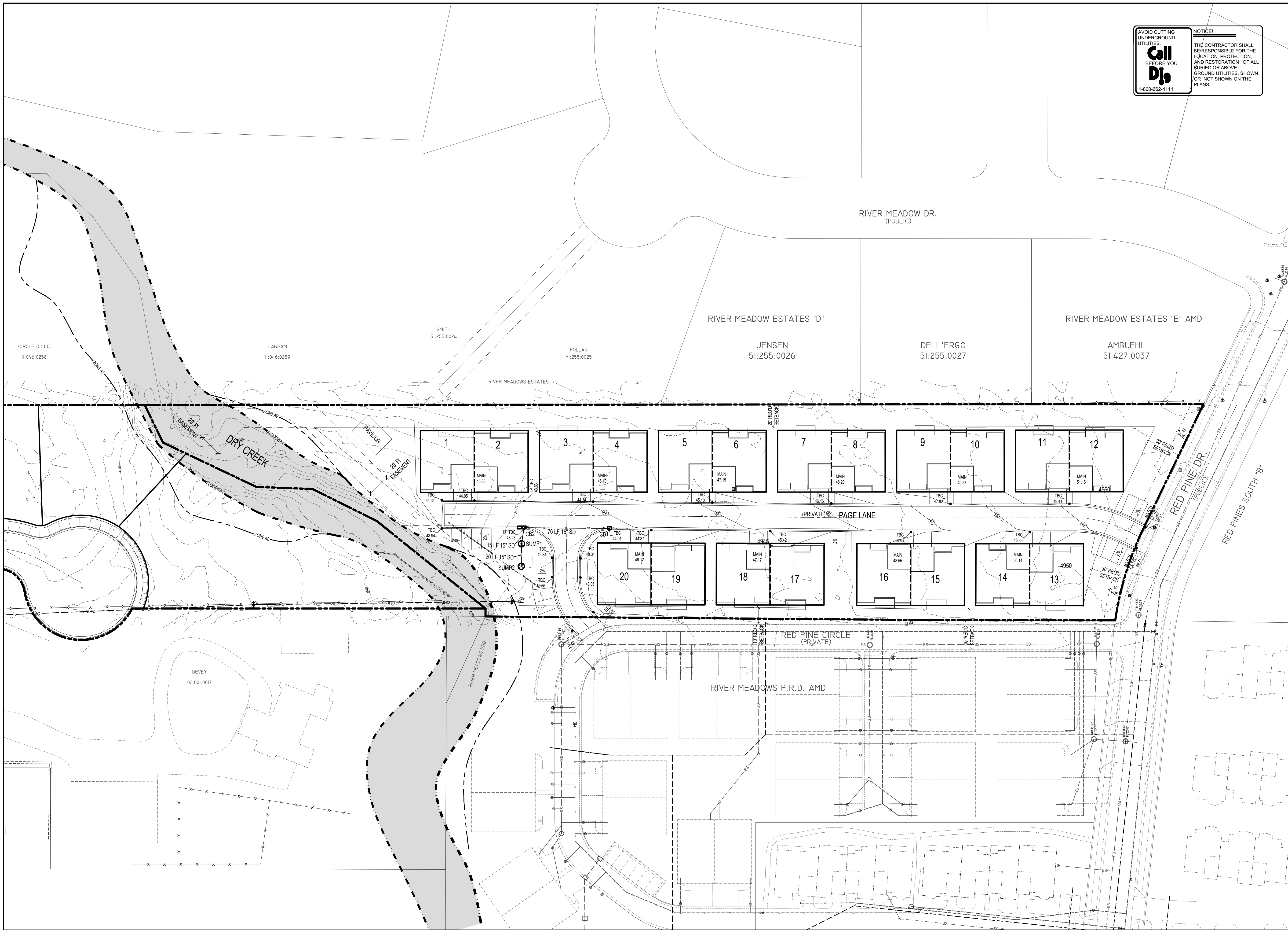
PROJECT

# PAGE SENIOR HOUSING

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
UTILITY PLAN	C2.0



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DEVELOPMENT

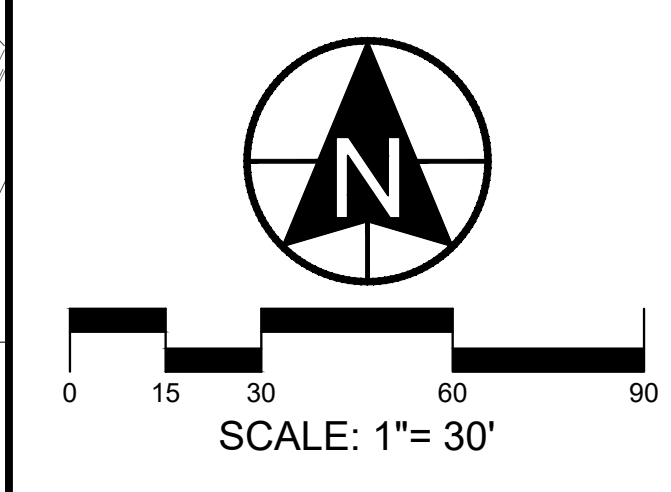
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DEVELOPER

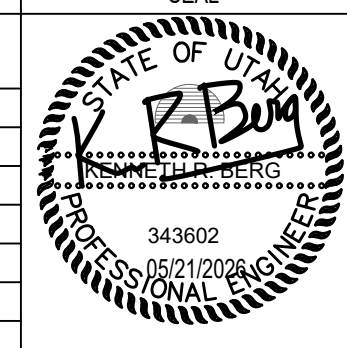


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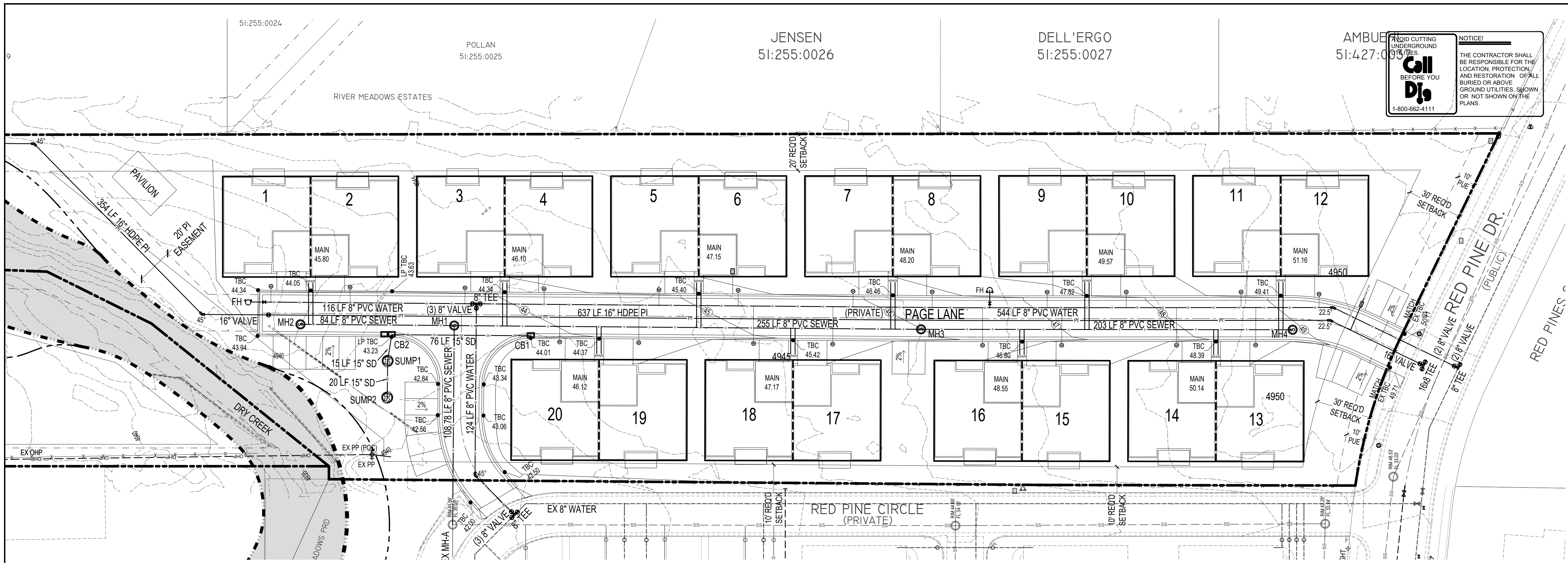
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# PAGE SENIOR HOUSING

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
GRADING PLAN	C3.0



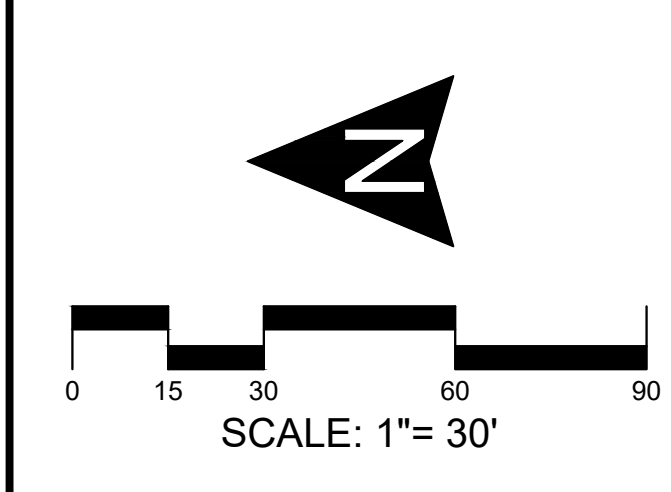
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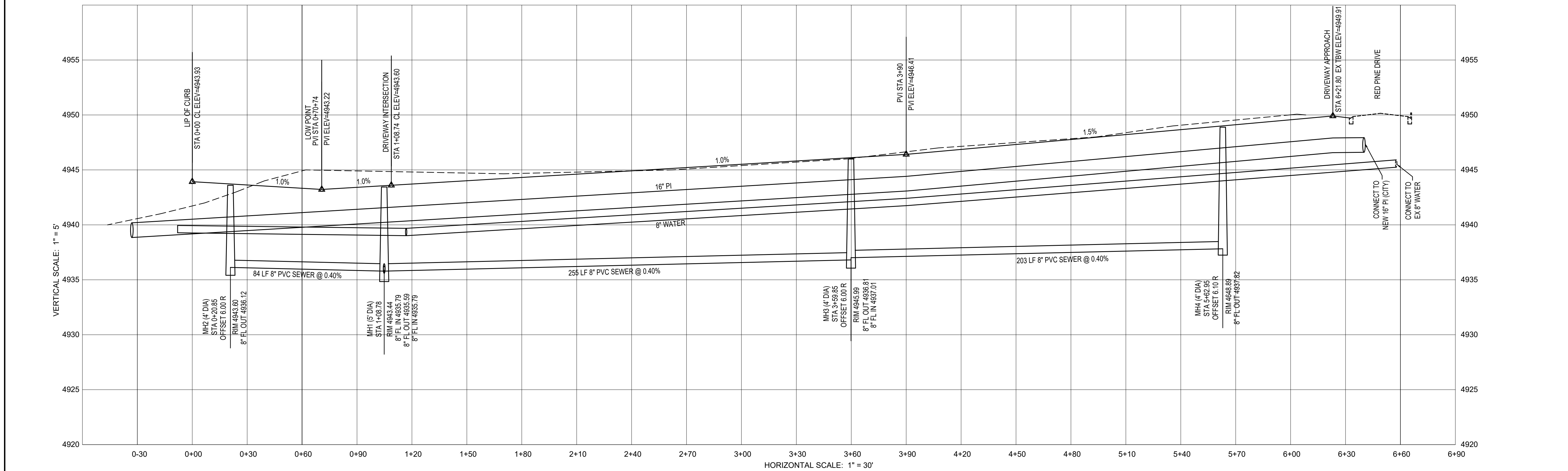
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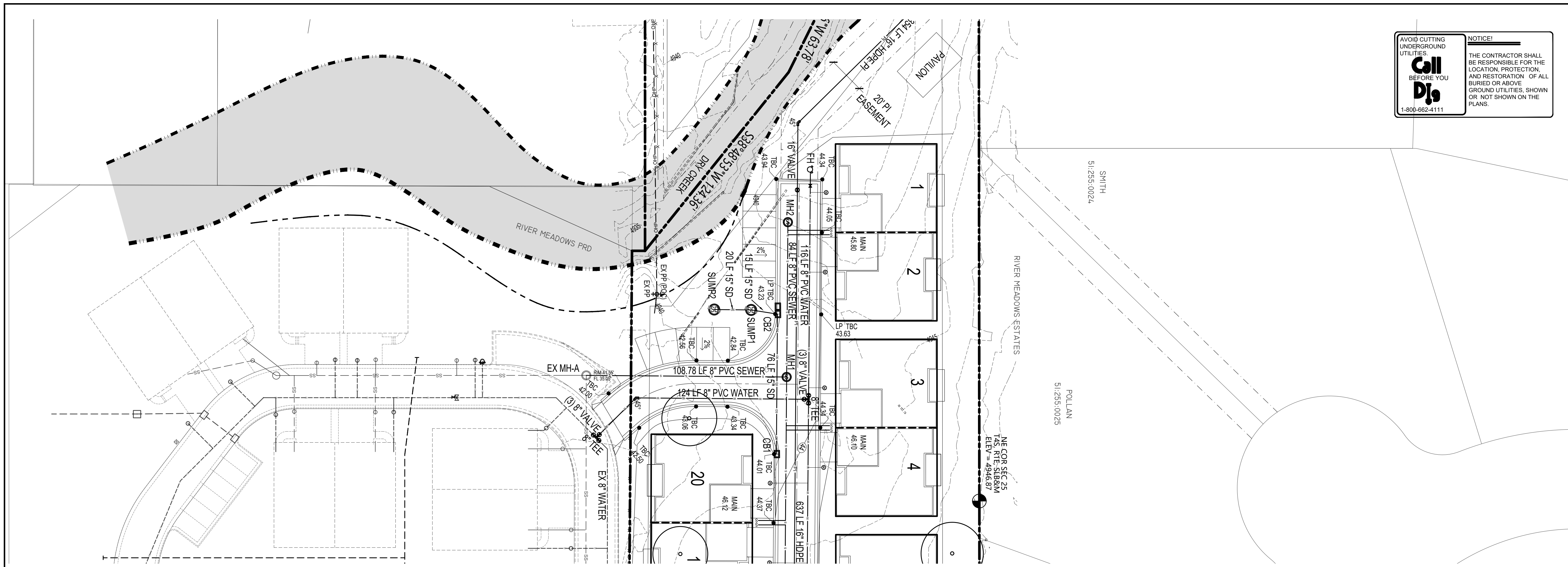
# PAGE SENIOR HOUSING

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME: 230 EAST ROAD PLAN  
 SHEET NUMBER: C4.0





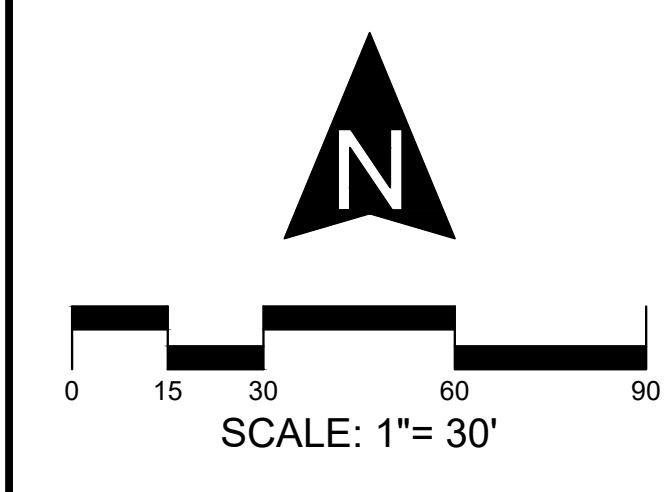
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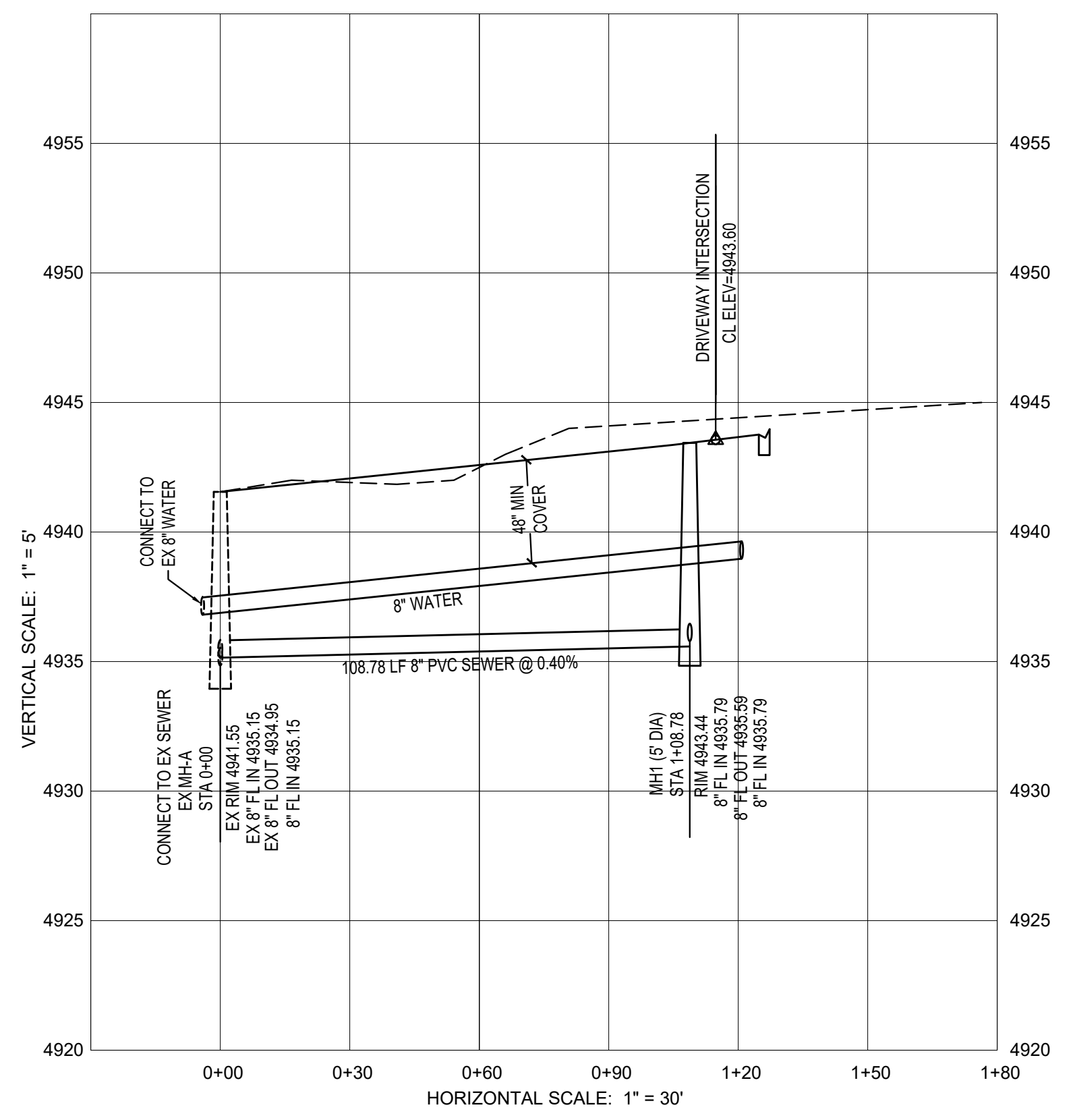
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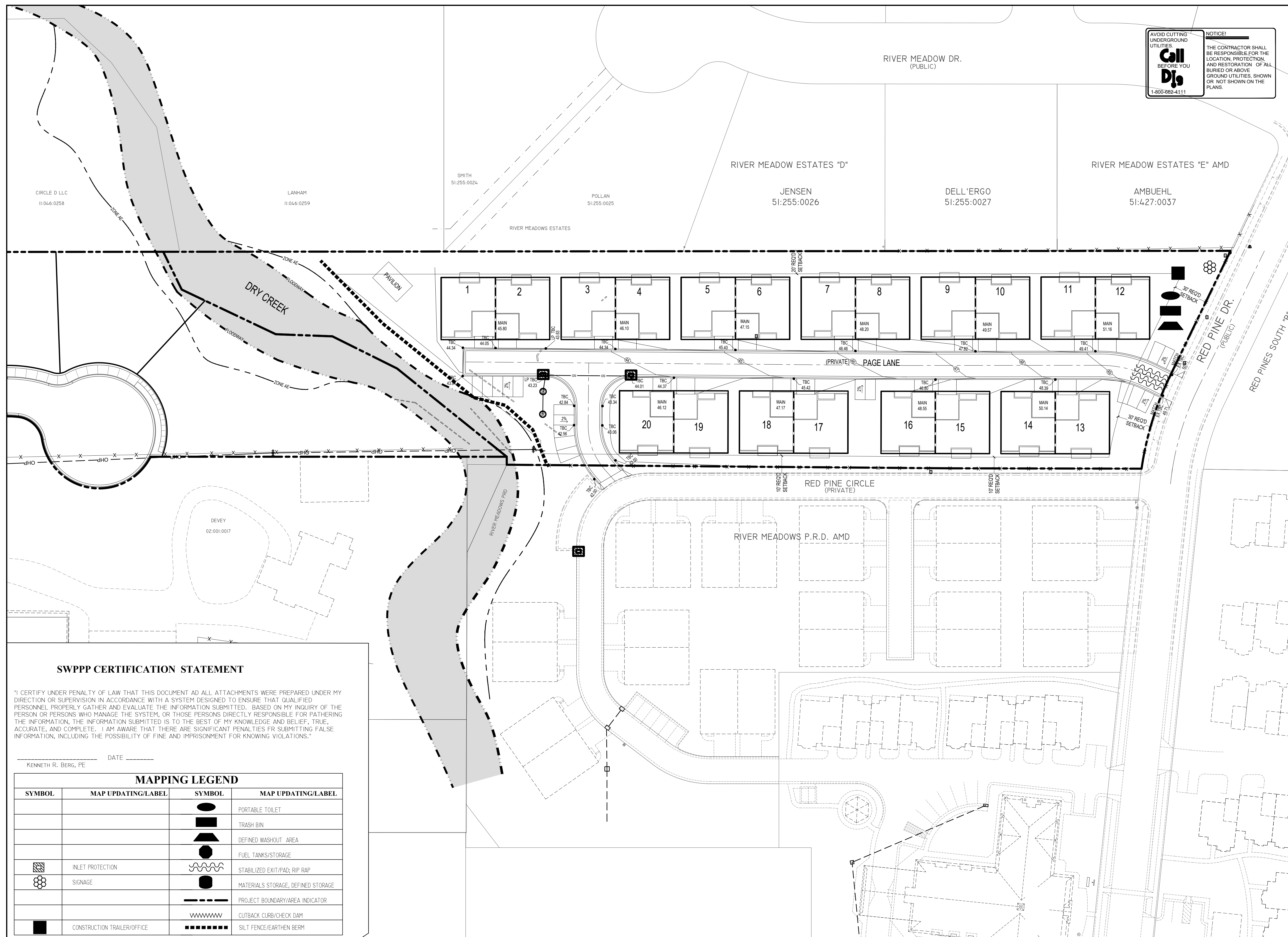
# PAGE SENIOR HOUSING

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
230 EAST ROAD PLAN	<b>C4.1</b>





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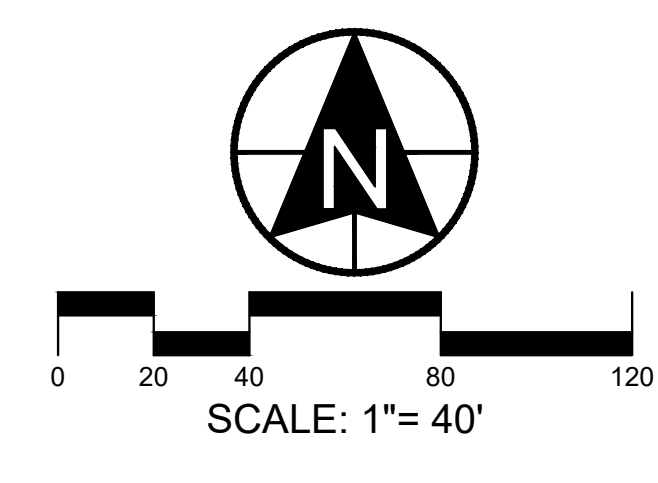
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# PAGE SENIOR HOUSING

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
SWPPP	C5.0

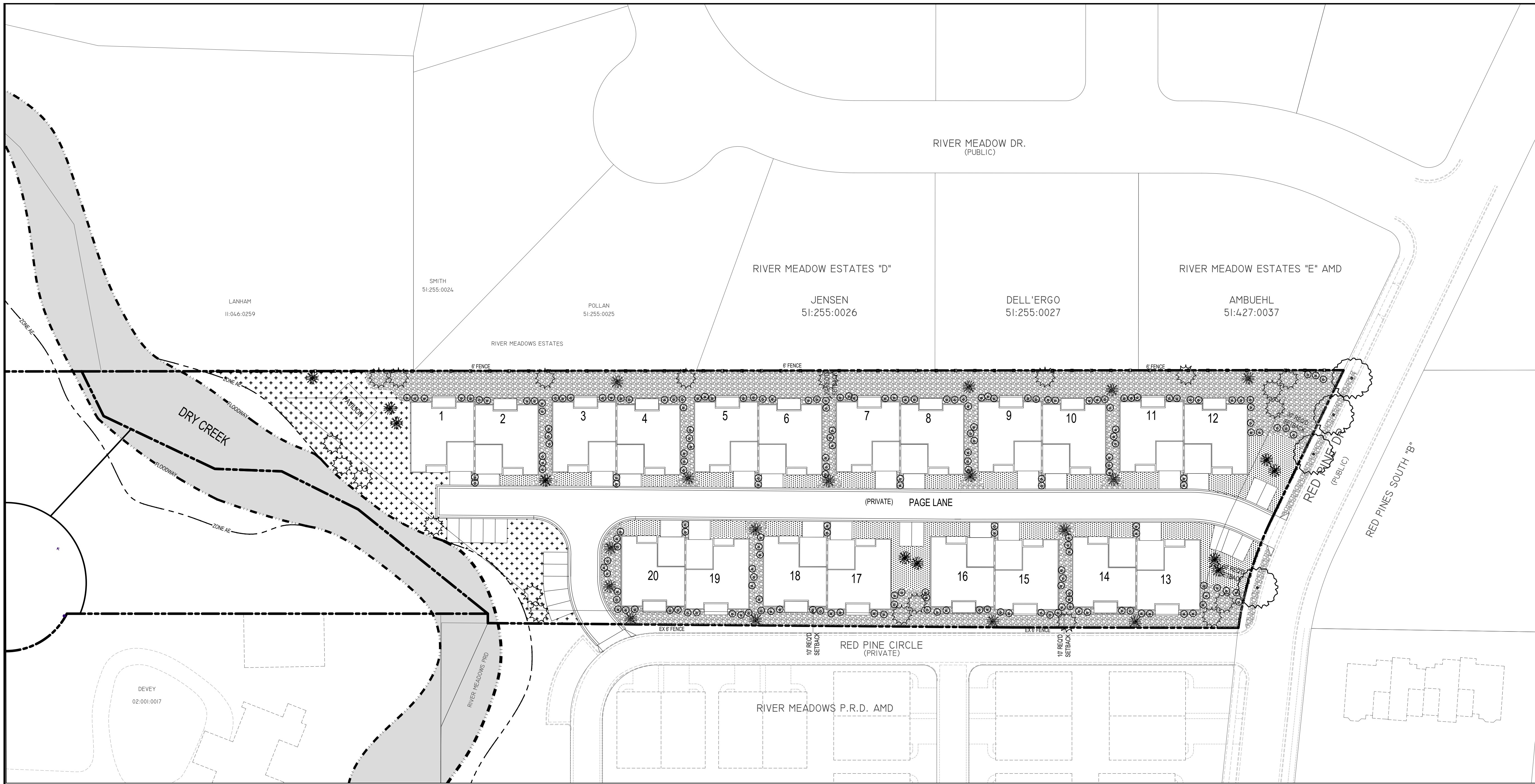
### SWPPP CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR PATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

\_\_\_\_\_, DATE \_\_\_\_\_  
 KENNETH R. BERG, PE

### MAPPING LEGEND

SYMBOL	MAP UPDATING/LABEL	SYMBOL	MAP UPDATING/LABEL
	PORTABLE TOILET		TRASH BIN
	DEFINED WASHOUT AREA		FUEL TANKS/STORAGE
	INLET PROTECTION		STABILIZED EXIT/PAD; RIP RAP
	SIGNAGE		MATERIALS STORAGE, DEFINED STORAGE
	PROJECT BOUNDARY/AREA INDICATOR		CUTBACK CURB/CHECK DAM
	CONSTRUCTION TRAILER/OFFICE		SILT FENCE/EARTHEN BERM



DEVELOPMENT

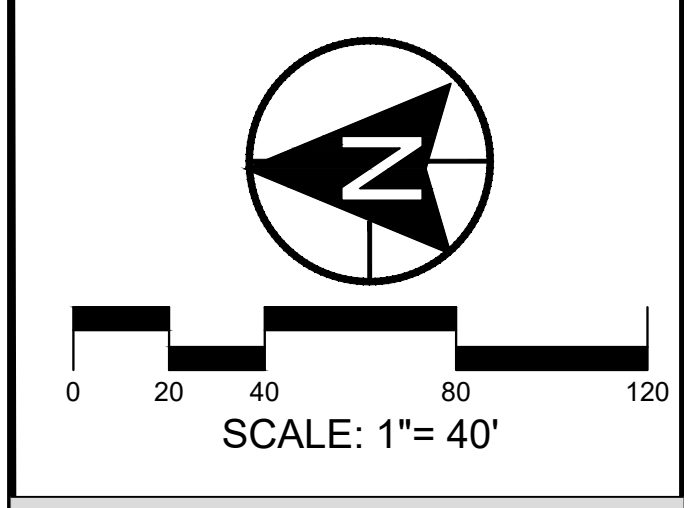
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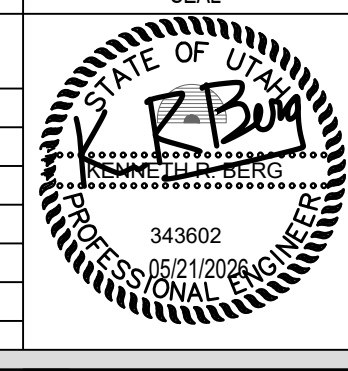


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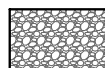
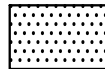
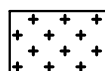
DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME: PRELIMINARY LANDSCAPE  
SHEET NUMBER: C6.0

**PLANT SCHEDULE**

TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE	DROUGHT TOLERANT
	26	Autumn Blaze Maple / Acer freemanii / Autumn Blaze	B&B	2"	Cal	Y
	4	Japanese Lilac Tree (Street Trees - as per Alpine City Req)	B&B	2"	Cal	Y
	21	Colorado Spruce / Picea pungens	B&B	6"		N
	200	SHRUBS (THREE DIFFERENT SPECIES)	1 GALLON			

GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT
	30,140 SF	4" CALICO COBBLE ROCK & 1" MOJAVE ROCK / 2 TYPES OF DECORATIVE ROCK MULCH W/ WEED BARRIER	
	9,408 SF	KENTUCKY BLUEGRASS / POA PRATENSIS	SOD
	11,650 SF	HOA ACTIVITY AREA - KENTUCKY BLUEGRASS / POA PRATENSIS	SOD

**REQUIRED LANDSCAPING**

TOTAL LANDSCAPED AREA	63,162 SF	(100%)
DRY CREEK (NATURAL OPEN SPACE)	11,964 SF	(19%)
HOA ACTIVE AREA	11,650 SF	(18%)
GRASS AREA	9,408 SF	(15%) (20% MAX)
XERISCAPE AREA	30,140 SF	(48%)
REQUIRED TREES	2 TREES/DU x 20 DU = 40 TREES	
PROPOSED STREET TREES	10 SHRUBS/DY x 20 DY = 200 SHRUBS	

ALL DECIDUOUS TREES TO BE MIN OF 2" CALIPER  
ALL EVERGREEN TREES TO BE 6' IN HEIGHT MIN  
AT LEAST 25% OF ALL SHRUBS TO BE 5 GALLON IN SIZE  
50% OF ALL TREES AND SHRUBS TO BE DROUGHT TOLERANT  
3' DIAMETER BUFFER AROUND EVERY TREE MUST BE KEPT CLEAR OF TURF AND ROCK MULCH.

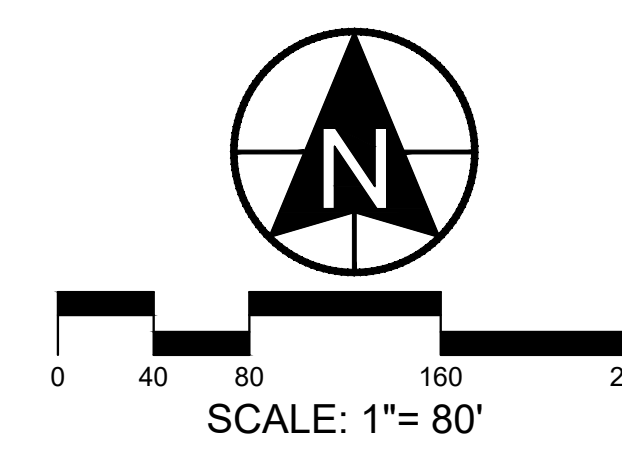
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# PAGE SENIOR HOUSING

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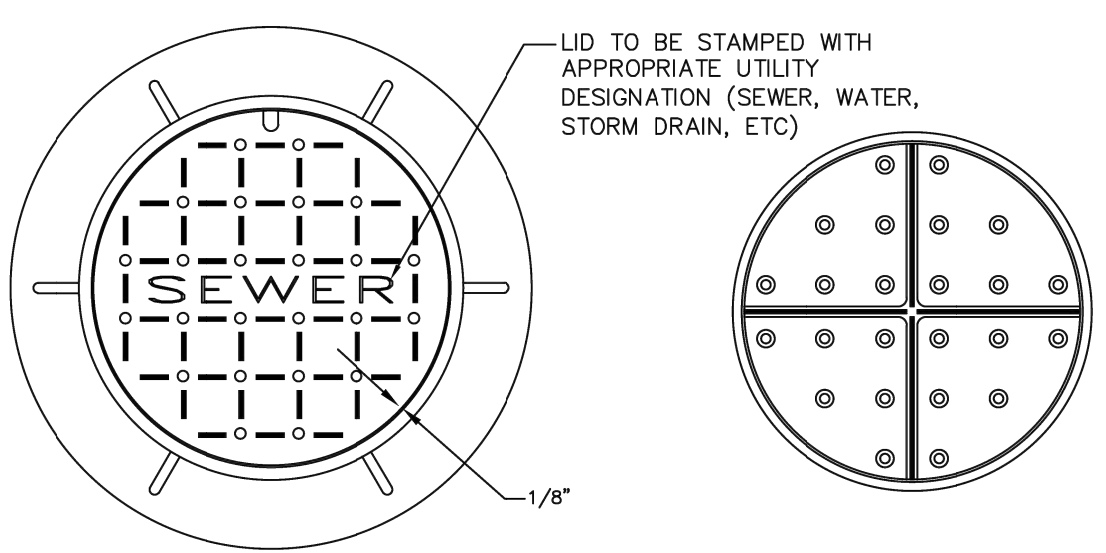
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DETAILS	DTL1

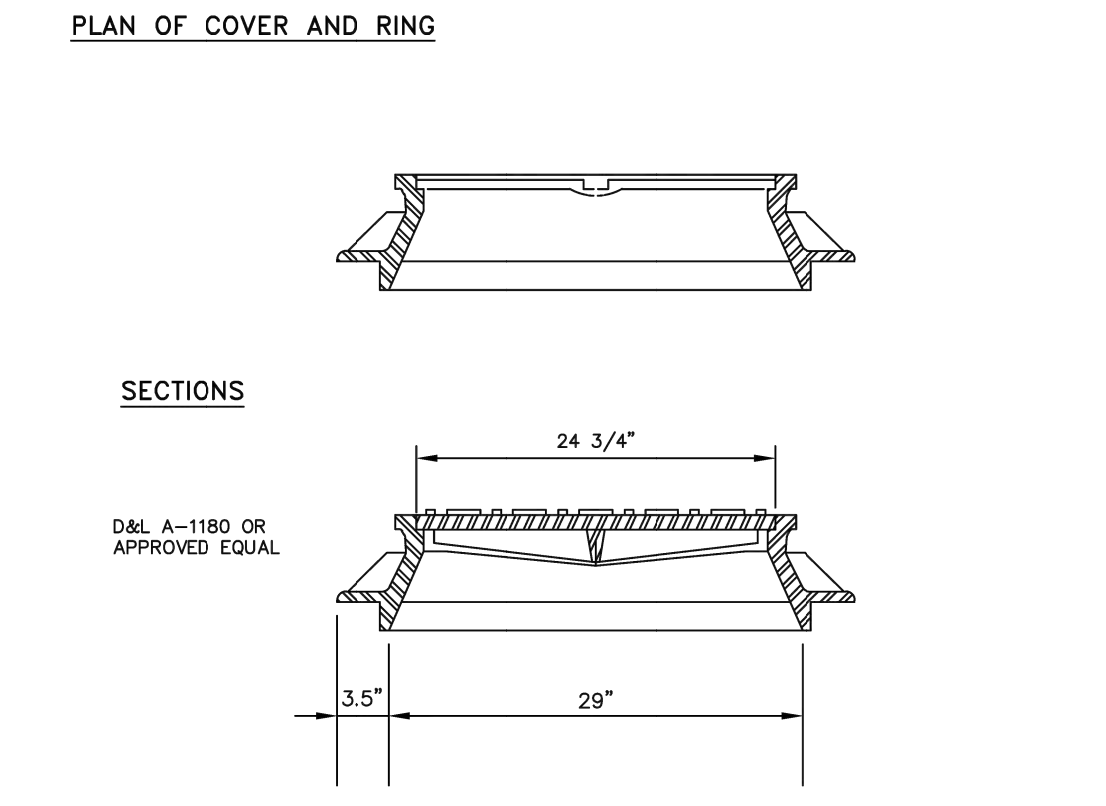
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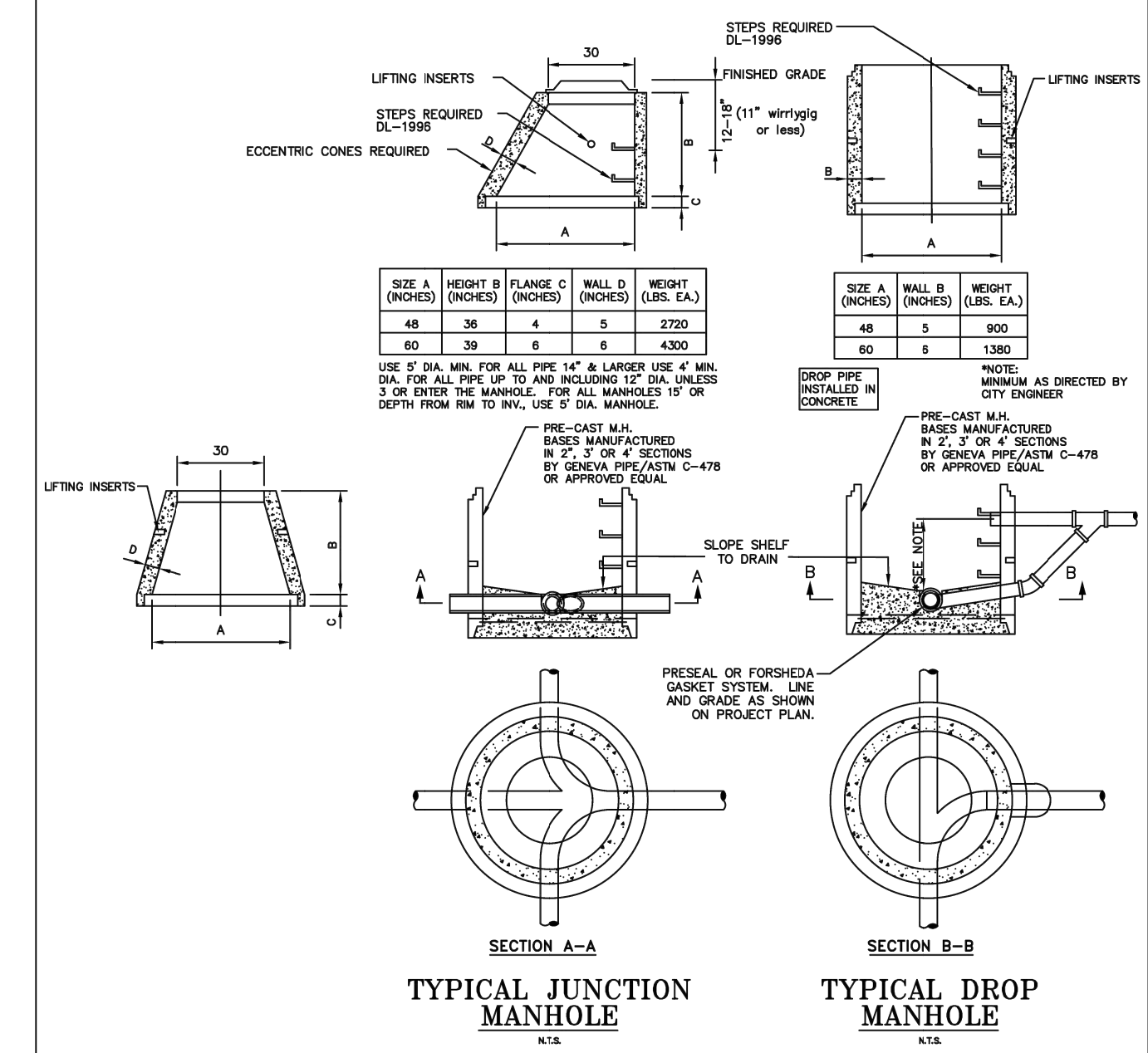


BOTTOM VIEW OF COVER

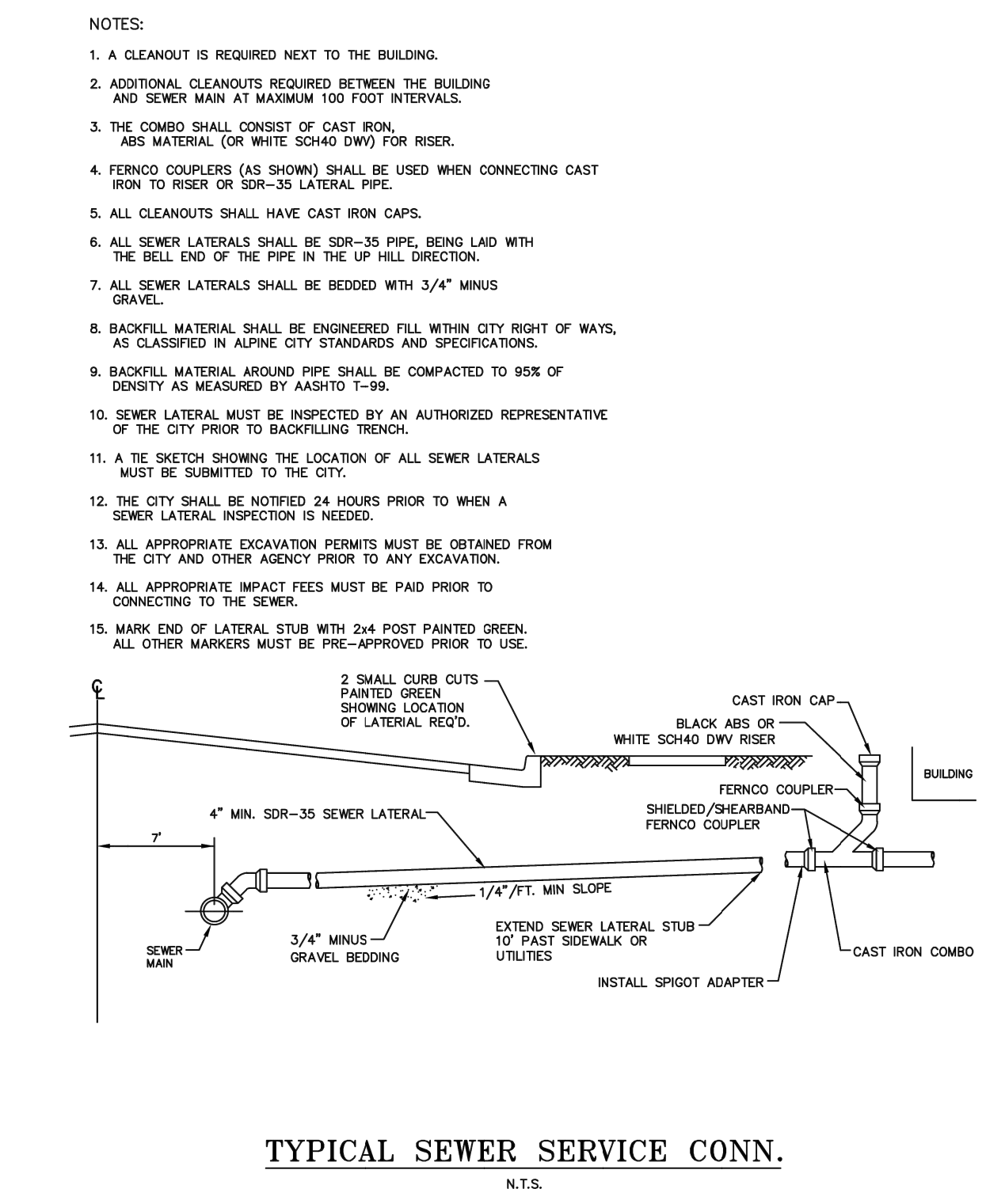


HEAVY DUTY, 400 LB. MINIMUM, MANHOLE RING AND COVER  
N.T.S.

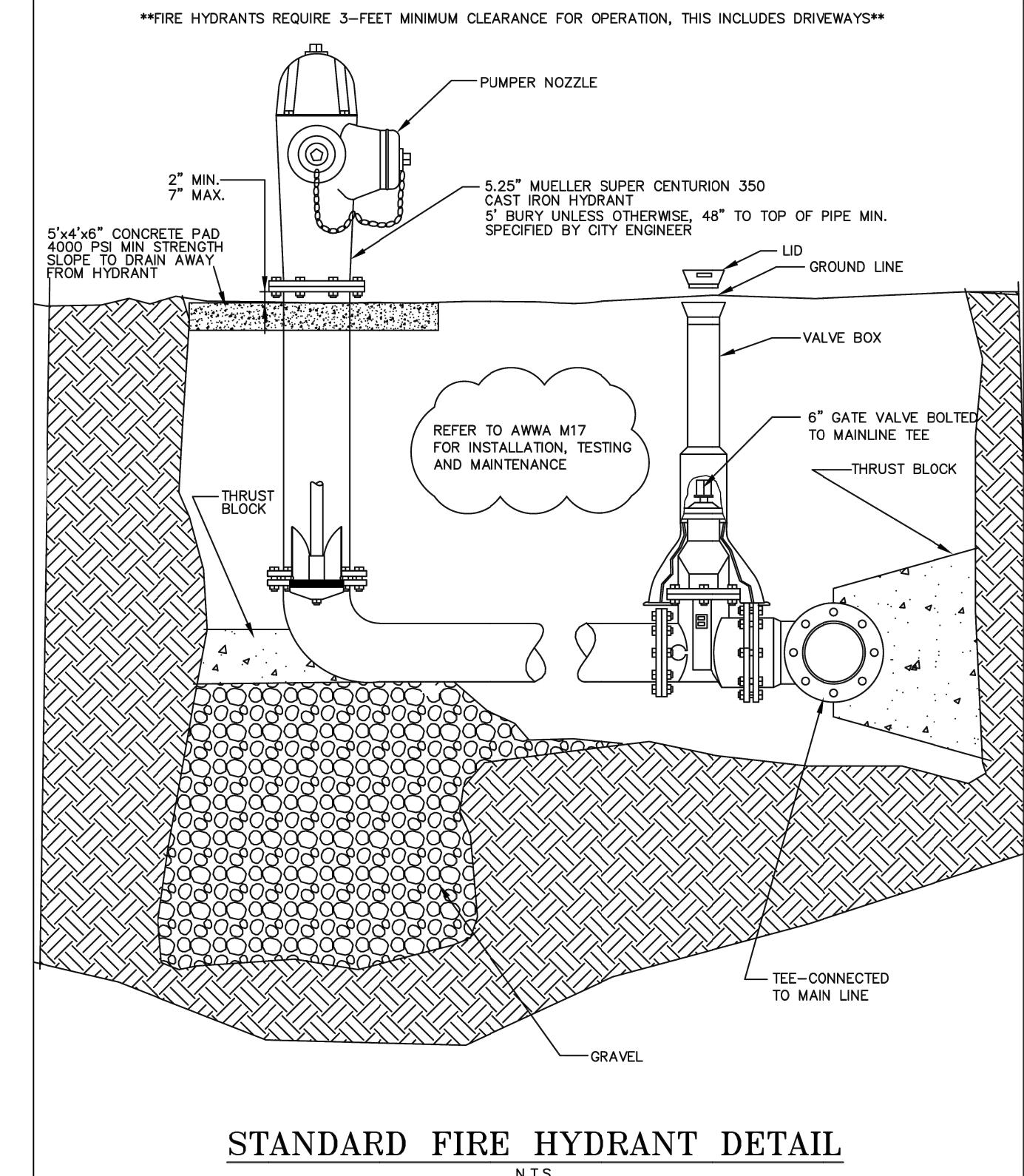
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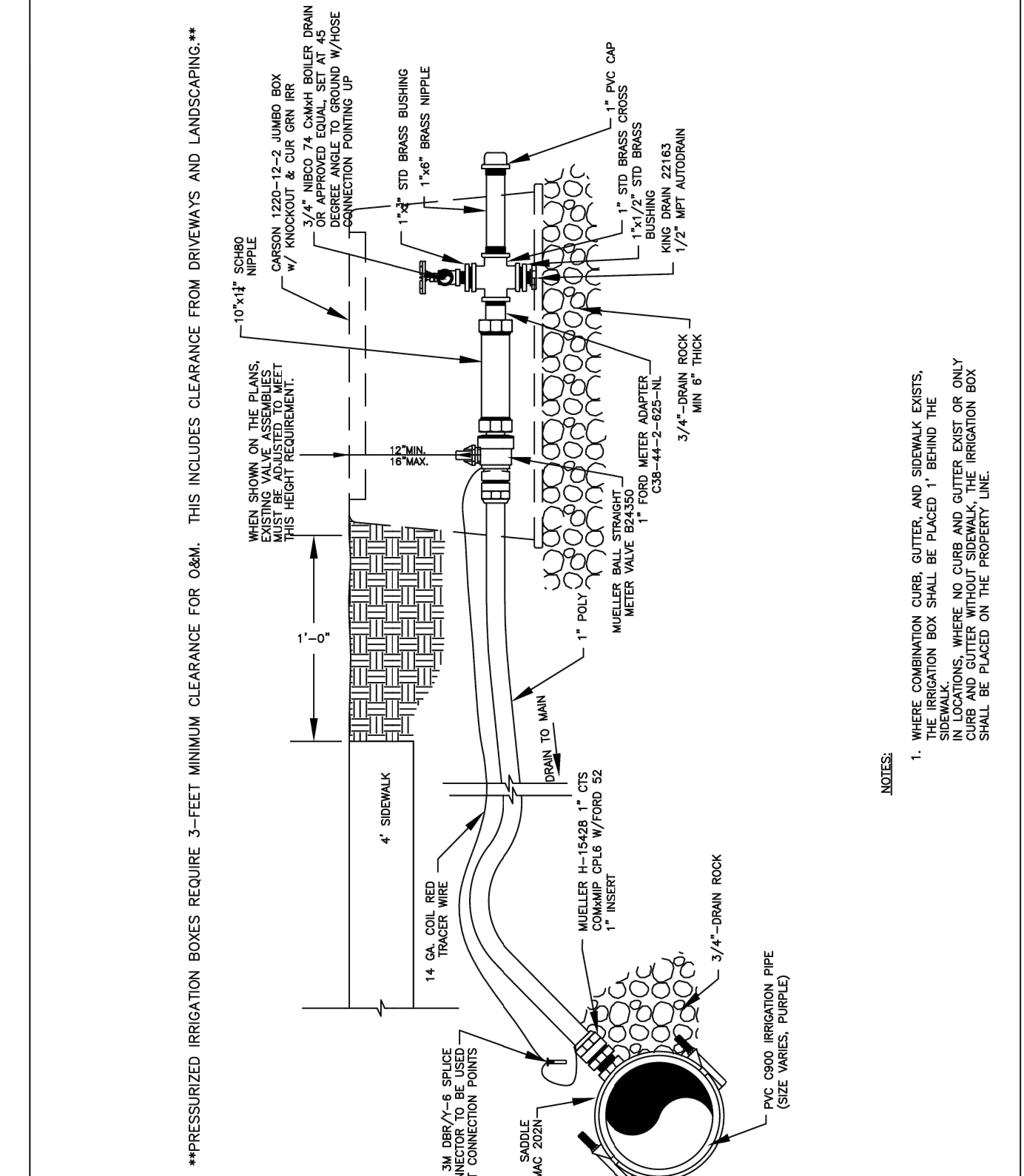
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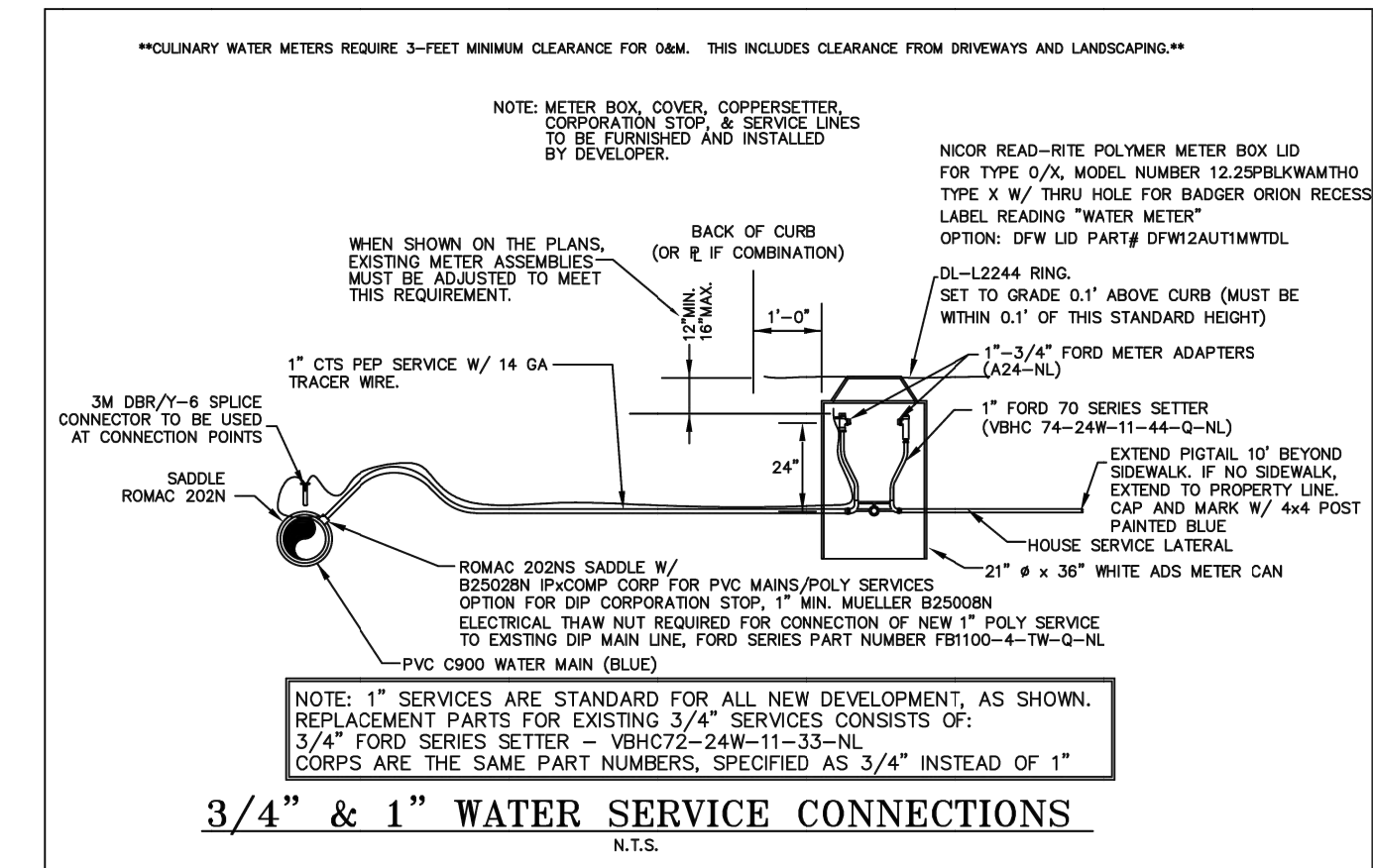
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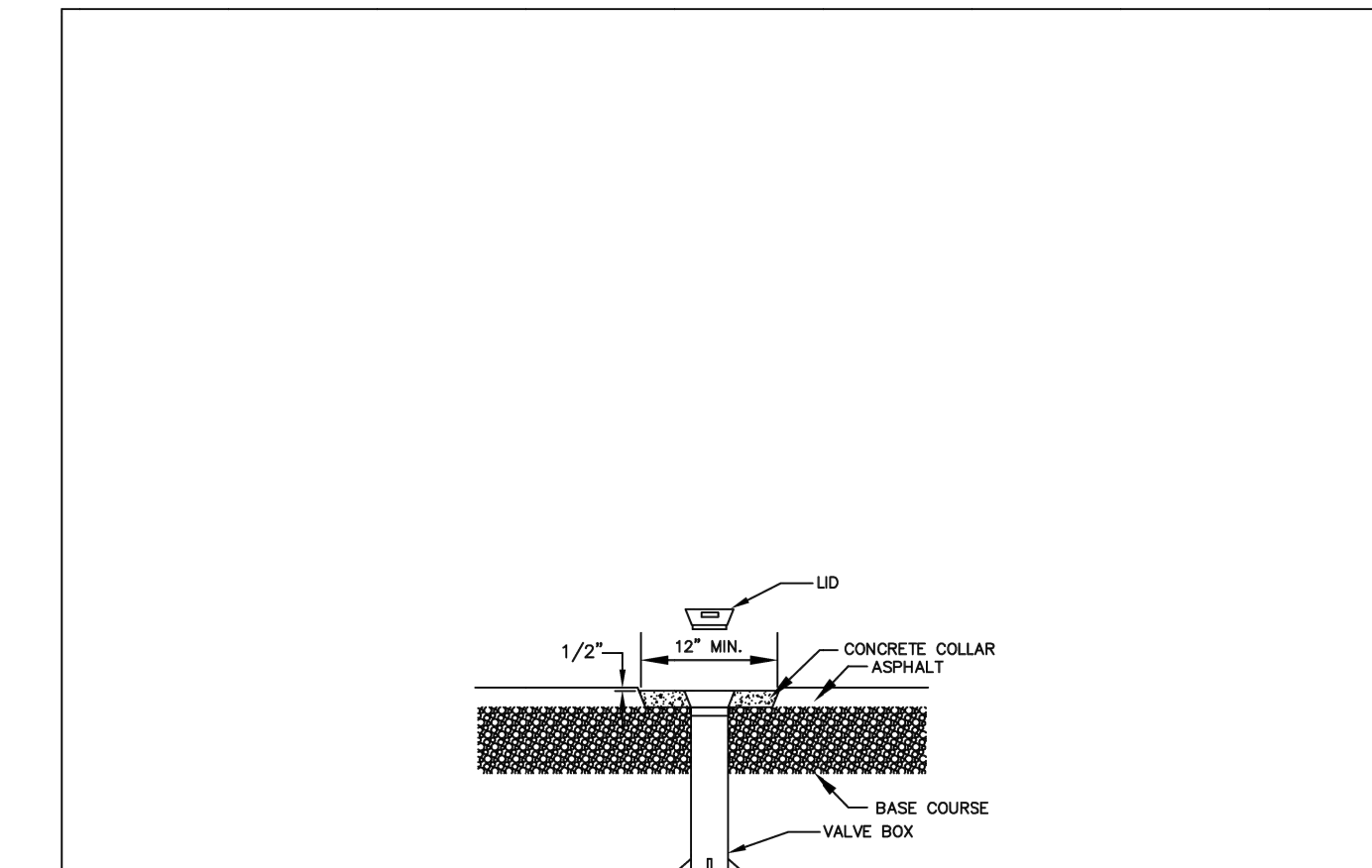
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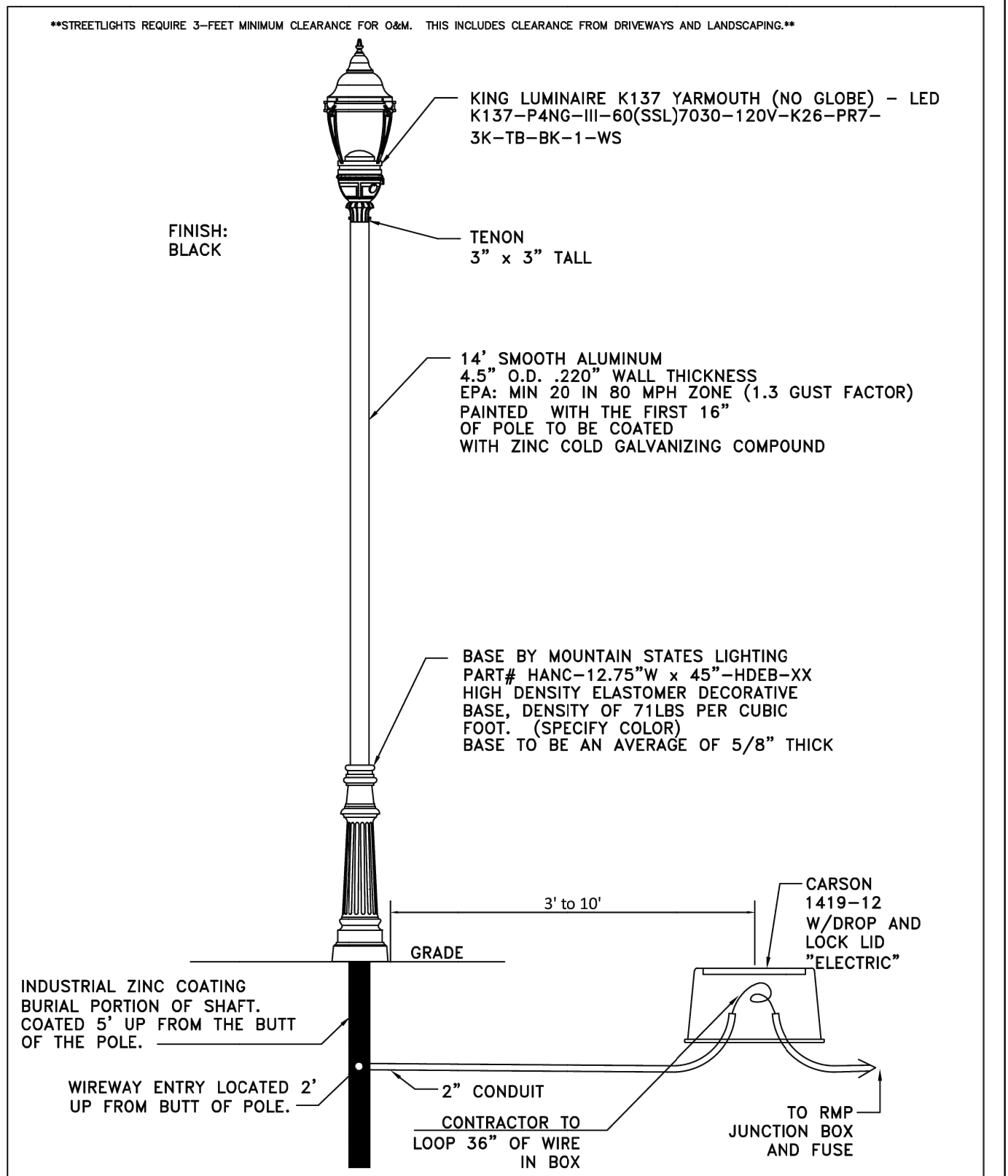
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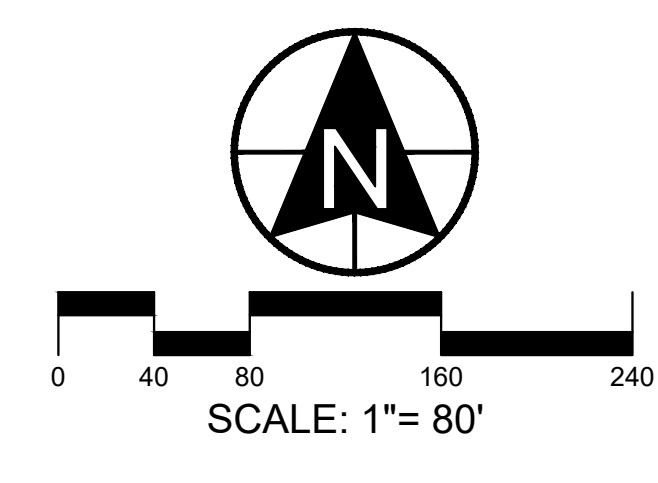
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DEVELOPMENT

# PAGE SENIOR HOUSING

DEVELOPER

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(801) 756-7303



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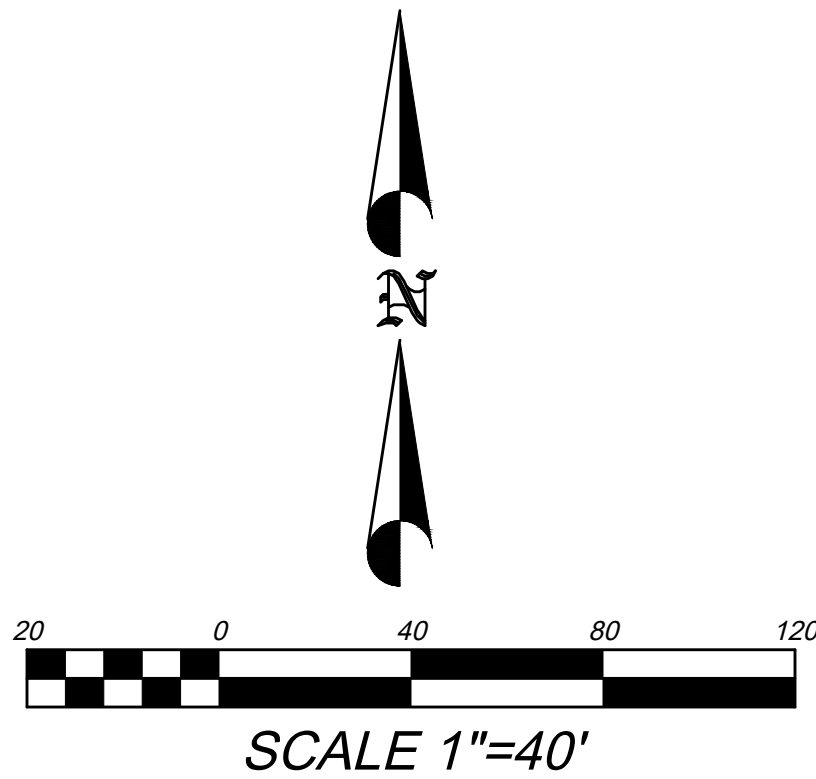
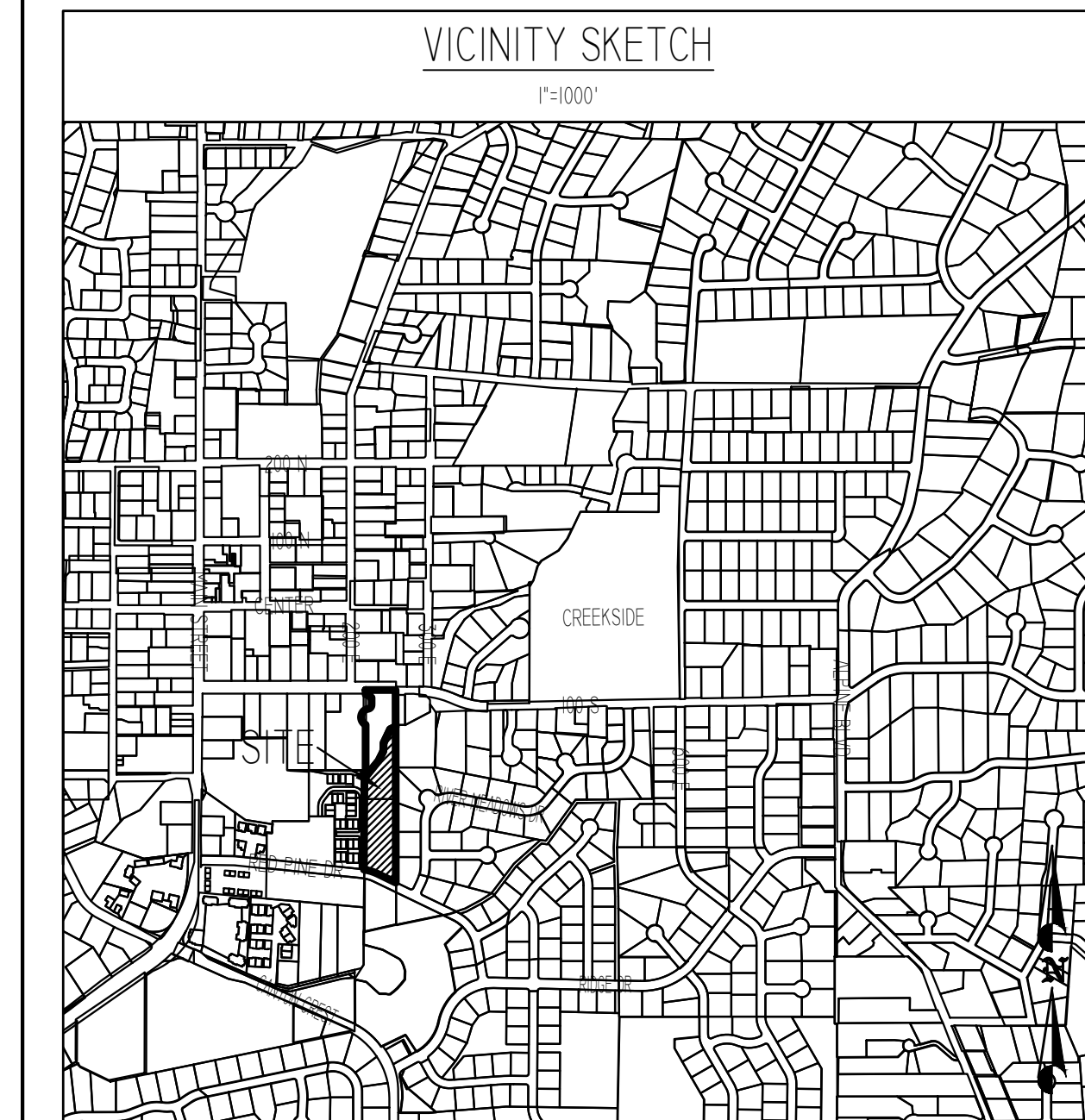
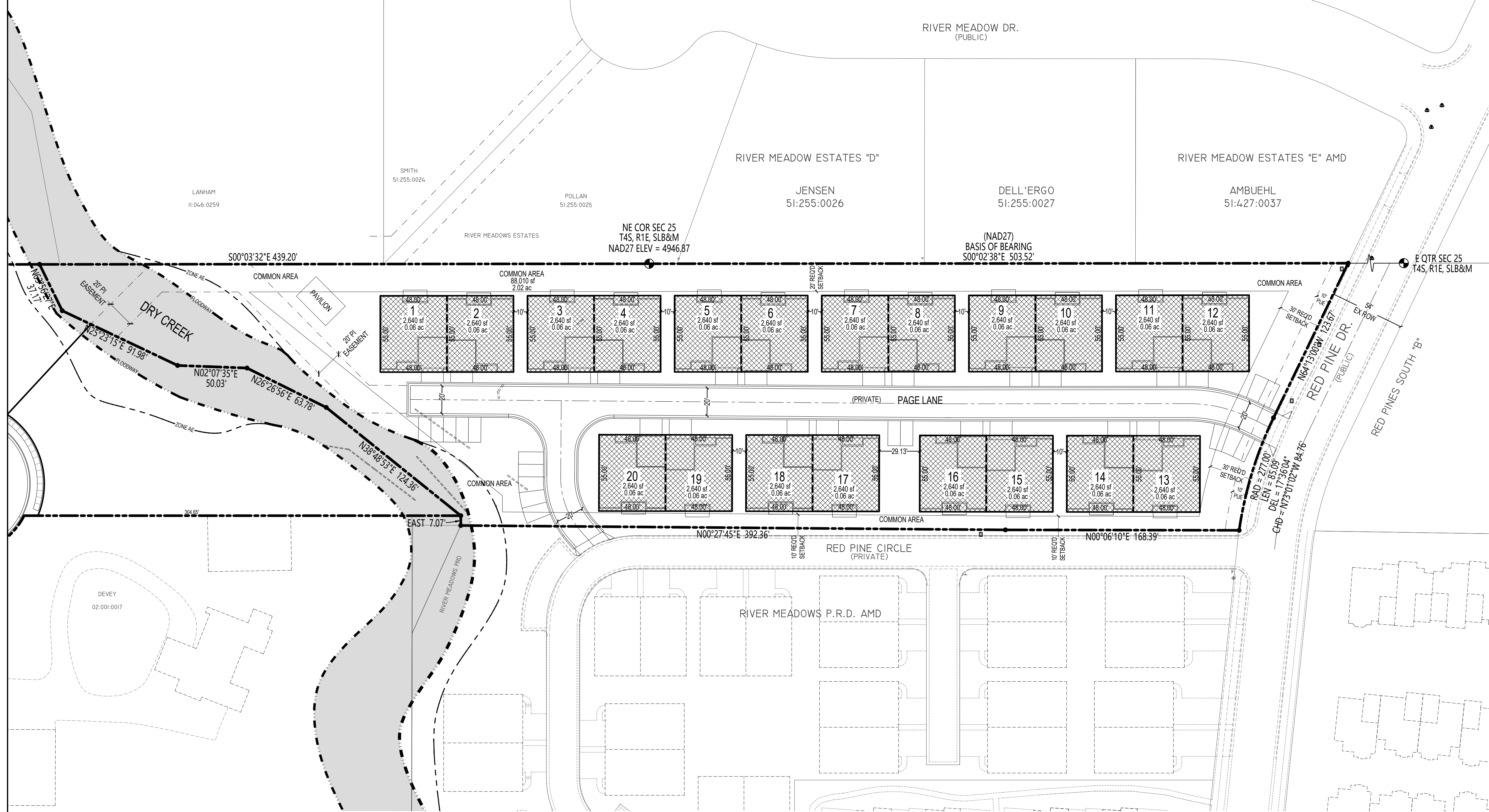
DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
DETAILS	DTL2

# PAGE SENIOR HOUSING PLAT "A"

LOCATED IN THE SE 1/4 OF SECTION 24, & NE 1/4 SECTION 25 T4S, R1E, S.L.B.8M  
ALPINE CITY, UTAH COUNTY, STATE OF UTAH



## PLAT NOTES

- DESIGN CRITERIA FOR ELEVATION OF 5,000 FEET
- DESIGN CRITERIA FOR SNOW LOAD OF 45 LB/SF
- THE INTERNATIONAL FIRE CODE MAY REQUIRE FIRE SPRINKLERS BASED UPON THE SIZE OF HOME AND FIRE FLOW CAPACITY. A FIRE FLOW TEST MAY BE REQUIRED AT THE TIME OF BUILDING PERMIT.
- IF FIRE SPRINKLERS ARE PROPOSED THE FIRE FLOW REQUIREMENT IS REDUCED BY 50%.

### RESERVATION OF COMMON AREAS & LIMITED COMMON EASEMENTS

THE OWNER, IN RECORDING THIS PLAT ("THE DEVELOPMENT") HAS DESIGNATED CERTAIN AREAS OF THE DEVELOPMENT AS COMMON AREAS AND LIMITED COMMON AREAS, INTENDED FOR THE OWNERS OF PAGE SENIOR HOUSING FOR INGRESS, EGRESS, RECREATIONAL AND OTHER RELATED USES AS SET FORTH IN THE DECLARATION OF PROTECTIVE EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS ("THE DECLARATION") PERTAINING TO THE DEVELOPMENT. THE DESIGNATED AREAS ARE NOT INTENDED, NOR ARE THEY DEDICATED, FOR USE BY THE GENERAL PUBLIC, BUT ARE RESERVED FOR THE COMMON USE AND ENJOYMENT OF THE OWNERS IN THE DEVELOPMENT, AS MORE FULLY PROVIDED IN THE DECLARATION RECORDED CONCURRENTLY WITH THE PLAT IN THE OFFICIAL RECORDS OF UTAH COUNTY, UTAH.

### PUBLIC UTILITY EASEMENTS

IN ADDITION TO THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, ALL COMMON AREAS ARE PUBLIC UTILITY EASEMENTS, INCLUDING FULL RIGHT-OF-WAY ACCESS THERETO, IN FAVOR OF ALPINE CITY.

## LEGEND:

- FOR SALE LOT
- COMMON AREA (P.U.E. & USES AS SPECIFIED)

## ADDRESS TABLE

LOT #	ADDRESS
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	

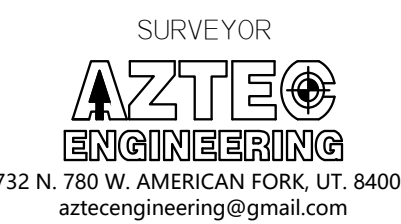
## TABULATIONS

ZONE =	TR 10,000
TOTAL AREA =	1.53 AC
AREA OF EXISTING ROADS =	0.11 AC
NET DEVELOPABLE AREA =	1.42 AC
AREA OF NEW ROADS =	0.32 AC
AREA IN LOTS =	1.10 AC
OPEN SPACE / LANDSCAPE	0.00 AC
NUMBER OF LOTS	3
DENSITY	1.96 DU/AC

### APPROVAL AS TO FORM

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

CITY ATTORNEY



## SURVEYOR'S CERTIFICATE

I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. \_\_\_\_\_ AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, OPEN SPACES, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE

SURVEYOR

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED NORTH 439.20 FEET AND WEST 0.45 FEET FROM THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 63°56'27" WEST 37.17 FEET; THENCE SOUTH 25°23'15" WEST 91.98 FEET; THENCE SOUTH 02°07'35" WEST 50.03 FEET; THENCE SOUTH 26°26'56" WEST 63.78 FEET; THENCE SOUTH 38°48'53" WEST 124.36 FEET; THENCE NORTH 314.54 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 51.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 128.37 FEET (CURVE HAVING A CENTRAL ANGLE OF 144°13'02" AND A CHORD BEARS N08°54'43"E 97.07 FEET); THENCE ALONG THE ARC OF A 24.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 31.24 FEET (CURVE HAVING A CENTRAL ANGLE OF 74°35'06" AND A CHORD BEARS N43°45'19"E 29.08 FEET); THENCE ALONG THE ARC OF A 82.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 9.39 FEET (CURVE HAVING A CENTRAL ANGLE OF 06°33'45" AND A CHORD BEARS N03°10'54"E 9.39 FEET); THENCE NORTH 00°05'59" EAST 37.37 FEET; THENCE NORTH 66°11'16" WEST 9.85 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 15.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 23.52 FEET (CURVE HAVING A CENTRAL ANGLE OF 89°50'08" AND A CHORD BEARS N45°01'02"W 21.18 FEET); THENCE NORTH 89°56'06" WEST 11.84 FEET; THENCE NORTH 27°07' FEET; THENCE EAST 180.83 FEET; THENCE SOUTH 00°03'32" EAST 220.80 FEET TO THE POINT OF BEGINNING.

AREA = 66,696 SF OR 1.53 ACRES

BASIS OF BEARING IS SOUTH 00°02'38" EAST ALONG SECTION LINE FROM THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE EAST QUARTER CORNER OF SAID SECTION 25. (NAD 27)

## OWNER'S DEDICATION

THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED ABOVE AND SHOWN ON THIS PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE ANY PUBLIC STREETS AND OTHER PUBLIC AREAS SHOWN THEREON FOR THE PERPETUAL USE OF THE PUBLIC. PURSUANT TO UTAH CODE 10-9A-604.(1)(D) THE OWNER HEREBY CONVEYS THE COMMON AREA AND LIMITED COMMON AREA AS INDICATED HEREON, TO THE \_\_\_\_\_ HOME OWNER ASSOCIATION WITH A MAILING ADDRESS OF \_\_\_\_\_

IN WITNESS WHEREOF WE HAVE HEREIN SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

## ACKNOWLEDGMENT

STATE OF UTAH )  
COUNTY OF UTAH )

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

NOTARY PUBLIC \_\_\_\_\_

NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH.

COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

## ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, OPEN SPACES, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_

MAYOR CARLA MERRILL \_\_\_\_\_ CLERK - RECORDER \_\_\_\_\_

CITY ENGINEER  
(SEE SEAL BELOW)

## PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE ALPINE CITY PLANNING COMMISSION.

DIRECTOR - SECRETARY \_\_\_\_\_ CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_

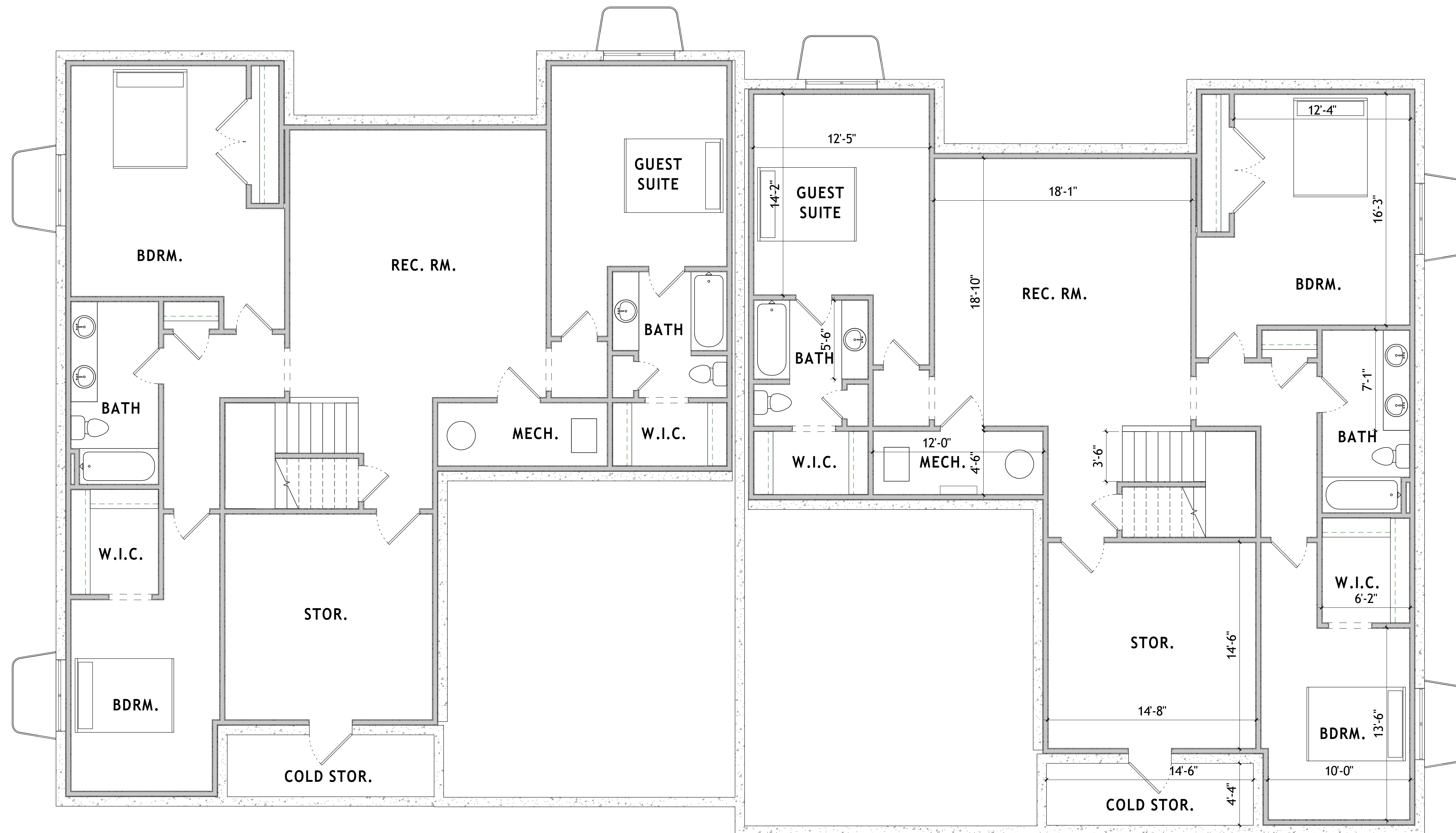
# PAGE SENIOR HOUSING PLAT "A"

LOCATED IN THE SE 1/4 OF SECTION 24, & NE 1/4 SECTION 25 T4S, R1E, S.L.B.8M  
ALPINE CITY, UTAH COUNTY, STATE OF UTAH

SCALE: 1"= 40' FEET

05/19/2026

CITY ENGINEER SEAL CITY RECORDER SEAL COUNTY INFORMATION



**1** UNIT PLAN A - LOWER LEVEL FLOOR PLAN  
 A-100 | SCALE: 1/4" = 1'-0"

**UNIT TYPE A: U-STAIR AND FLEX RM.**

**CEILING HEIGHTS**

- LOWER LEVEL:**
- 9'-0" CEILING HEIGHT
- MAIN LEVEL:**
- 9'-0" CEILING HEIGHT (UNLESS OTHERWISE NOTED)
- UPPER LEVEL:**
- 8'-0" CEILING HEIGHT (SLOPED AT EDGES)

**SQUARE FOOTAGE**

- LOWER LEVEL**
- LIVING SPACE 1,545 SF (3 BED, 2 BATH)
  - STORAGE 298 SF (COLD STOR. & MECH RM.)
- MAIN LEVEL**
- LIVING SPACE 1,922 SF (1 BED, 1.5 BATH)
  - GARAGE 491 SF
- UPPER LEVEL**
- OPT. BONUS RM. -315 SF
  - OPT. GUEST SUITE -315 SF (1 BED, 1 BATH)
- TOTAL**
- TOTAL 3,765 SF (4 BED, 3.5 BATH)
  - + BONUS RM. 4,080 SF
  - + GUEST SUITE 4,080 SF
  - + BOTH 4,395 SF

**PAGE ACTIVE  
 ADULT TWINHOMES**

PAGE LANE  
 ALPINE, UTAH  
 15 JANUARY 2025



233 SOUTH PLEASANT GROVE BLVD.  
 SUITE #105  
 PLEASANT GROVE, UTAH 84062  
 PHONE: (801) 769-3000  
 core@coreutah.com



**1** UNIT PLAN A - FLOOR PLAN - LEVEL 1  
 A-101 | SCALE: 1/4" = 1'-0"

**UNIT TYPE A: U-STAIR AND FLEX RM.**

**CEILING HEIGHTS**

- LOWER LEVEL:**
- 9'-0" CEILING HEIGHT
- MAIN LEVEL:**
- 9'-0" CEILING HEIGHT (UNLESS OTHERWISE NOTED)
- UPPER LEVEL:**
- 8'-0" CEILING HEIGHT (SLOPED AT EDGES)

**SQUARE FOOTAGE**

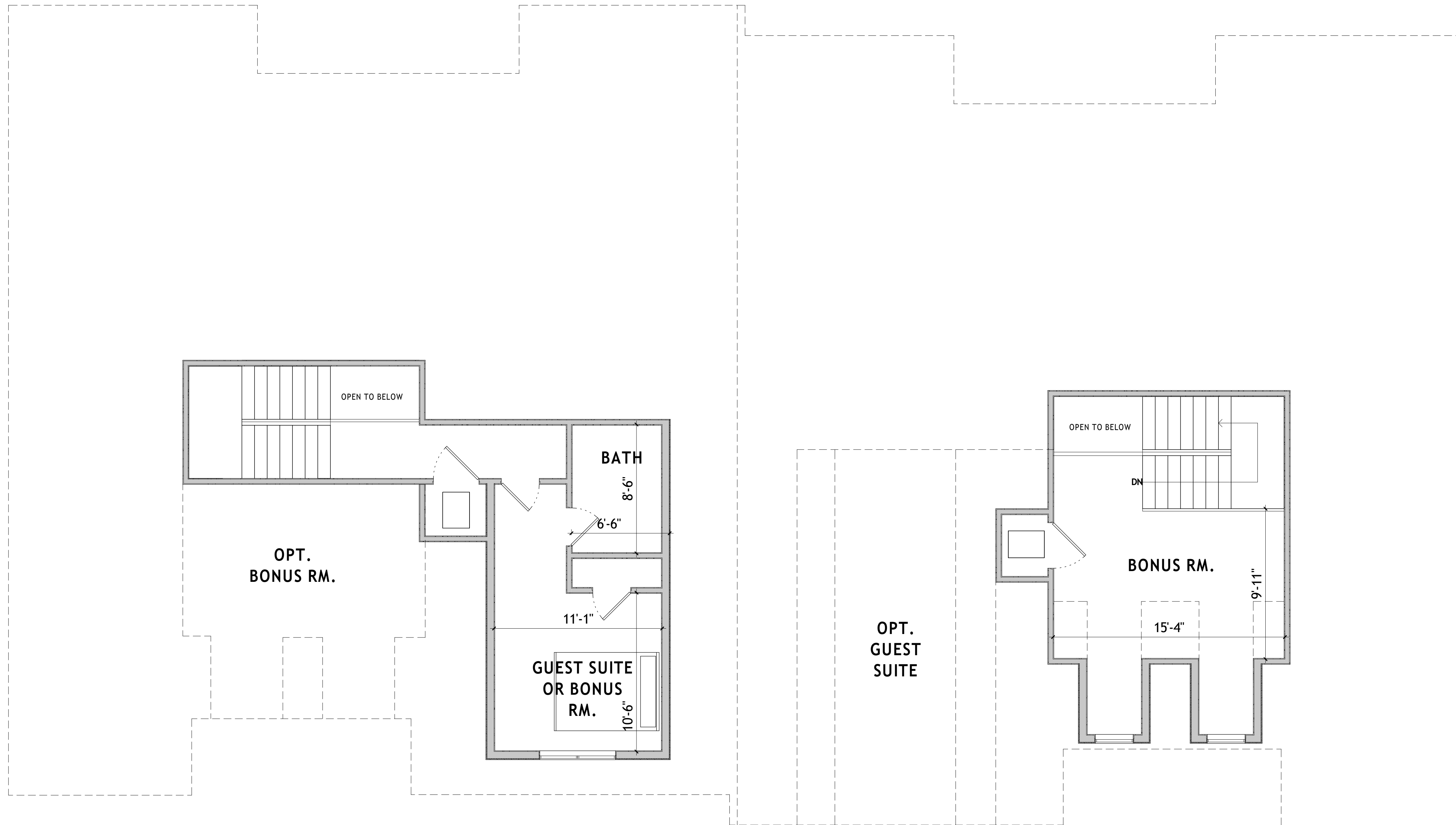
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**1** UNIT PLAN A - FLOOR PLAN - LEVEL 2  
 A-102 | SCALE: 1/4" = 1'-0"

**UNIT TYPE A: U-STAIR AND FLEX RM.**

**CEILING HEIGHTS**

- LOWER LEVEL:**
- 9'-0" CEILING HEIGHT
- MAIN LEVEL:**
- 9'-0" CEILING HEIGHT (UNLESS OTHERWISE NOTED)
- UPPER LEVEL:**
- 8'-0" CEILING HEIGHT (SLOPED AT EDGES)

**SQUARE FOOTAGE**

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- LIVING SPACE 1,545 SF (3 BED, 2 BATH)
  - STORAGE 298 SF (COLD STOR. & MECH RM.)
- MAIN LEVEL**
- LIVING SPACE 1,922 SF (1 BED, 1.5 BATH)
  - GARAGE 491 SF
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- OPT. BONUS RM. -315 SF
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 15 JANUARY 2025



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**1** FRONT ELEVATION -  
A-103 | SCALE: 3/16" = 1'-0"



**2** REAR ELEVATION  
A-103 | SCALE: 3/16" = 1'-0"

**PAGE ACTIVE  
ADULT TWINHOMES**

PAGE LANE  
ALPINE, UTAH  
15 JANUARY 2025



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**1** RIGHT ELEVATION  
A-104 | SCALE: 3/16" = 1'-0"



**2** LEFT ELEVATION  
A-104 | SCALE: 3/16" = 1'-0"

**PAGE ACTIVE  
ADULT TWINHOMES**

PAGE LANE  
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**1** FRONT ELEVATION - COLOR OPTION 2  
 A-105 | SCALE: 3/16" = 1'-0"



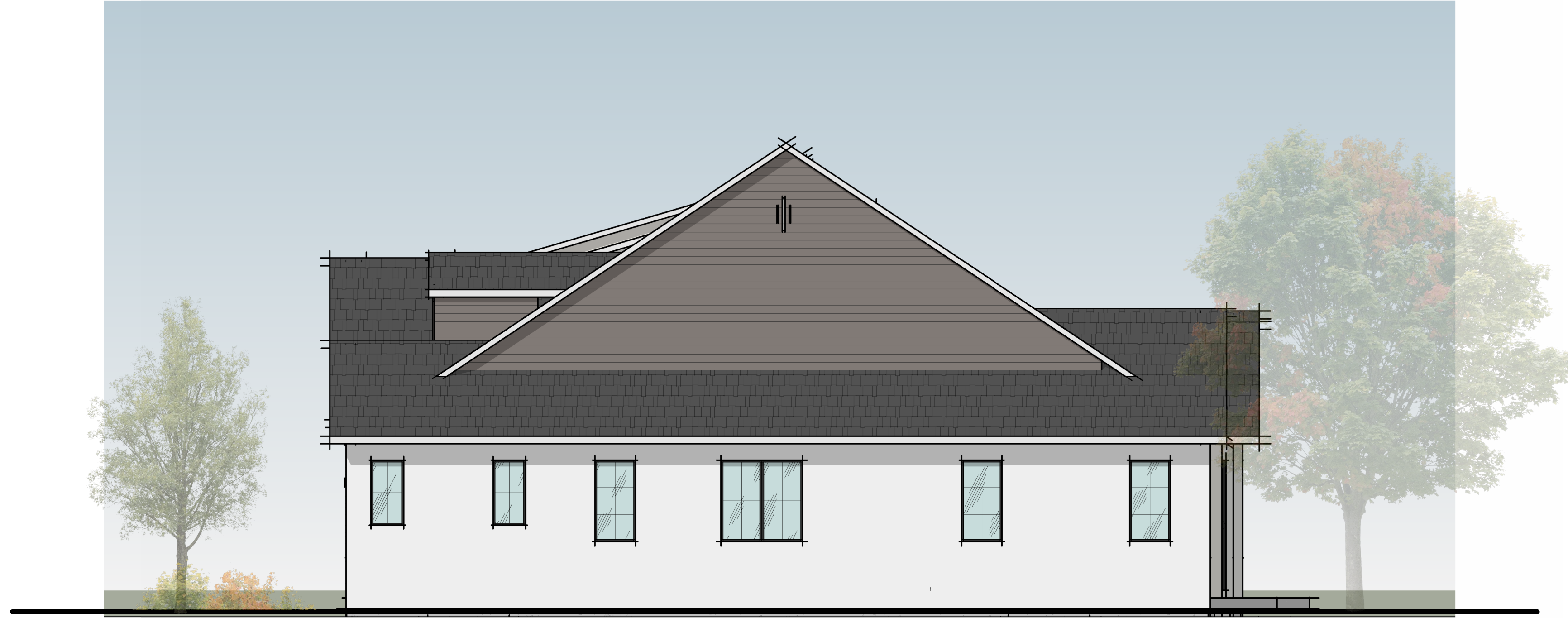
**2** REAR ELEVATION - COLOR OPTION 2  
 A-105 | SCALE: 3/16" = 1'-0"

**PAGE ACTIVE  
 ADULT TWINHOMES**

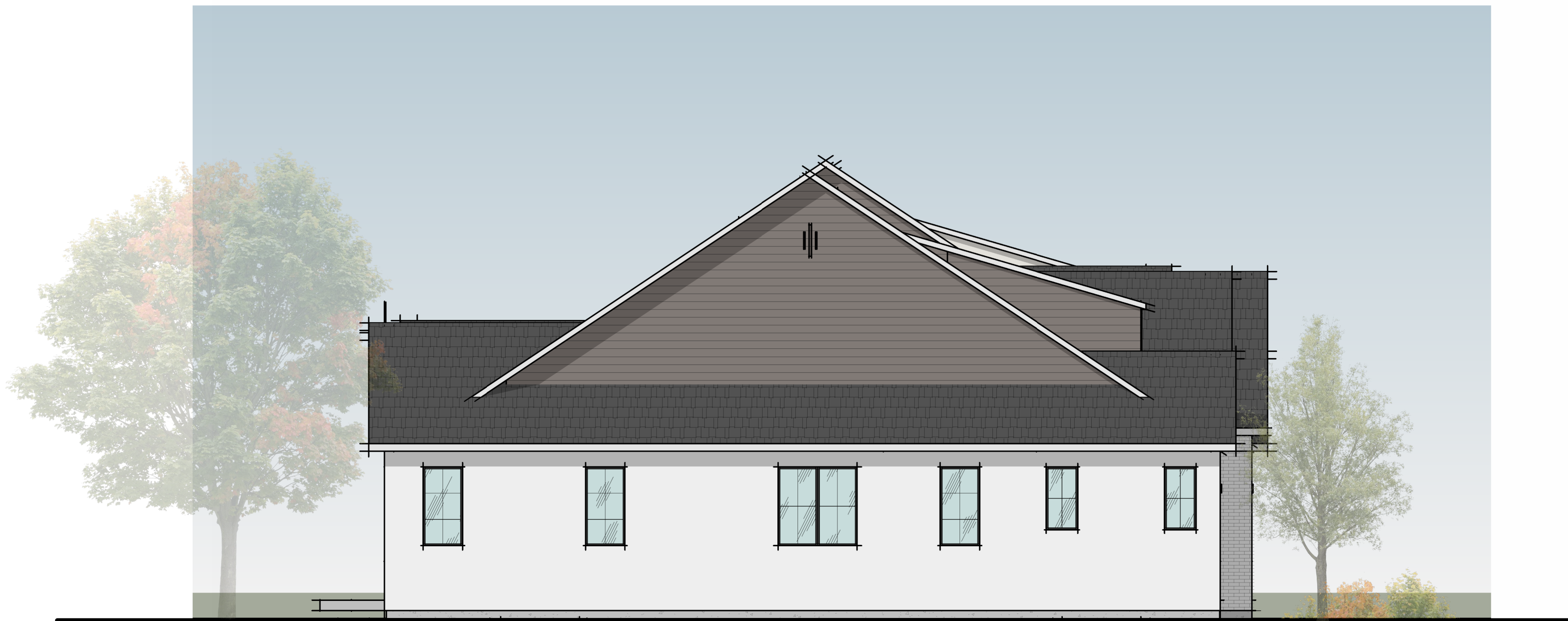
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**1** RIGHT ELEVATION - COLOR OPTION 2  
A-106 | SCALE: 3/16" = 1'-0"



**2** LEFT ELEVATION - COLOR OPTION 2  
A-106 | SCALE: 3/16" = 1'-0"

**PAGE ACTIVE  
ADULT TWINHOMES**

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15 JANUARY 2025



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**ALPINE CITY  
STAFF REPORT**  
June 12, 2026

**To:** Alpine City Planning Commission

**From:** Staff

**Prepared By:** Caden Lyon, Assistant City Administrator  
Planning & Zoning Department

Jason Judd, City Engineer  
Engineering & Public Works Department

**Re:** **PRELIMINARY – PAGE COURT PLAT “A”**

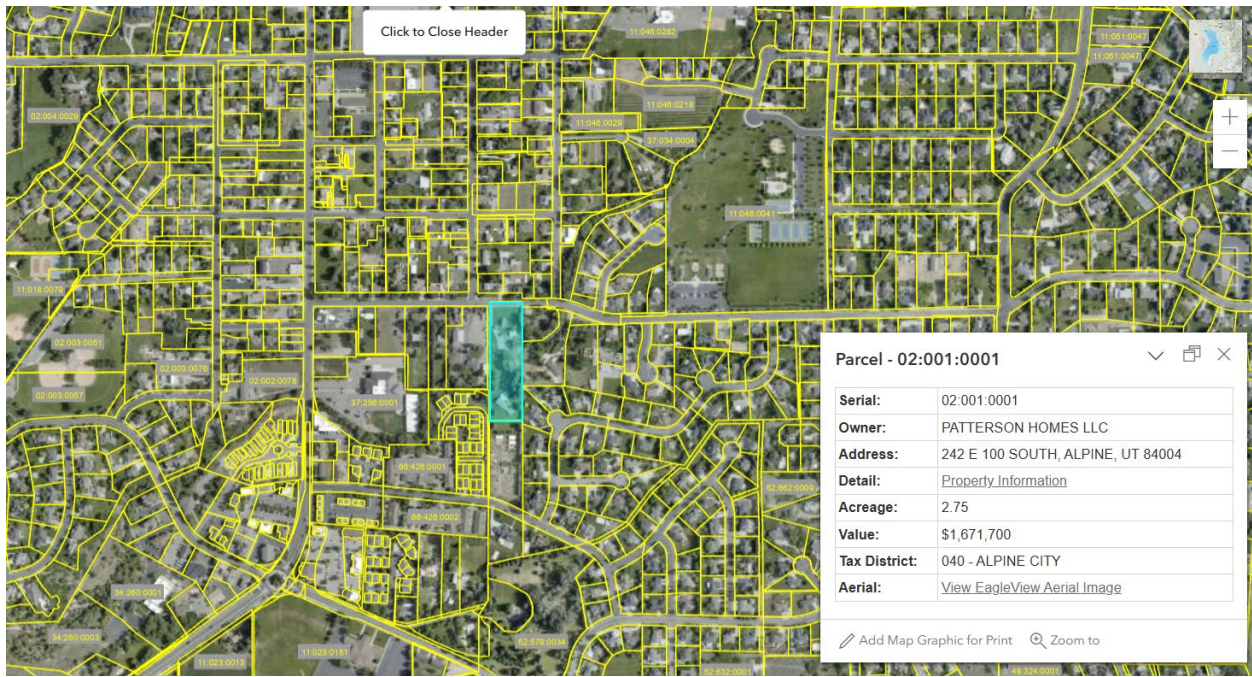
Applicant: Patterson Homes  
Project Location: 242 E 100 SOUTH  
Zoning: TR-10,000  
Acreage: 1.53 Acres  
Lot Number & Size: 3 lots between 0.23 and 0.62 acres  
Request: Approve Preliminary Plan

**SUMMARY**

The Page Court Plat “A” Preliminary Plat consists of 3 lots on 1.53 Acres of Total Area. The development is located at 242 E 100 S and is in the TR 10,000 Zone. Based on DCA 4.04.010, Planning Commission is the Land Use Authority for this application for any Preliminary Subdivision Application and based on the new road connection proposed. The application is for preliminary approval.

**BACKGROUND**

Page Court is on half a parcel of land owned by Patterson. There are stubbed road connections on the north side of the parcel along 100 S. The parcel to the south went through a rezoning process with the City and received the Senior Housing Overlay Zone for the parcel, thus allowing half of this parcel be dedicated with a new zoning classification and leaving the north half, this plat, in the TR-10,000. The applicant is working with the neighboring parcel to the west to allow for the new cul-de-sac.



## ANALYSIS

### Lot Width, Area, and Shape

There is no minimum lot size for lots in the Senior Housing Overlay Zone, but rather a minimum acreage of 2 and maximum of 6 for the project, and only 8 units allowed per acre. The SHOZ allows for attached dwellings of no more than two attached. There are no width or area requirements. As far as lot shape is concerned, all lots meet the numbers of sides allowed; five or less sides, excluding the front property line.

### Use

The developer is proposing that the lots be used for single-unit attached dwellings, i.e. twin homes, which is consistent with the permitted uses for the SHOZ.

### Trails

There is a proposed private trail along Dry Creek, but due to constraints might have to be relocated to someone else between Red Pine Dr and 100 S. The precise location of the trail should be determined before Final Plat approval.

### Roads

The proposed cul-de-sac is only meeting half of the requirements for cul-de-sac development. Staff assumes this is due to the applicant allowing the neighboring parcel to take on the responsibility of finishing out the full width requirements of the ROW if/when it develops. However, the applicant and neighboring parcel need to go through an exchange of property by receiving approval on a boundary line adjustment application for the possibility of the cul-de-sac. When doing the Adjustment, staff recommends that the boundary adjusted meet the ROW requirements of cul-de-sacs in §4.07.040. If the boundary is not adjusted to meet the ROW requirements, it will have to be readjusted later through a plat amendment.

Other

The developer will need to provide Alpine Irrigation Company water shares to satisfy the City's water requirements. The water policy will need to be met before the final plat can be recorded.

**REVIEWS**

PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

LONE PEAK FIRE DEPARTMENT REVIEW

Lone Peak Fire Department will review prior to Commission meeting

ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

Streets and Right-of-Way

All frontage is shown to be improved with curb/gutter and sidewalk per Alpine City Standards. Roadway widths and cul-de-sac also meet city code.

Street grades meet current code with a minimum of 1% slope (DCA 4.07.090.2). The road grades shown are between 0.50% & 0.94%.

Utilities - General

Each utility system will be discussed in more detail below but in general, the development fits well within the city's adopted master plans; no issues regarding utilities were noted. Horrocks reviewed and approved a previous submitted plan for culinary water, pressurized irrigation, and sewer. For culinary waterline sizing, Horrocks had the following comment for the developer to consider: *"Fire flow available in the area surrounding the proposed improvements should be over 1750 gallons per minute at 20 psi for the proposed lines. If developer wishes to have greater fire flow for larger homes then water line should be looped to the east or a larger size installed to Healey Drive on High Bench road."*

Utilities – Culinary Water

The subdivision is well below the 5,350-foot elevation, which is the highest elevation the existing water system can serve and still provide the minimum 40 psi required by ordinance. The culinary water master plan does not call for the need to upsize any mains within the development area but as noted in the Horrocks review, if the developer wishes to have greater fire flow for larger homes (larger than 4,800 sf), lines bigger than 8-inch would need to be installed. **Staff will work with the developer to see what their desires are in terms of home sizes for the area.**

1-inch laterals with ¾-inch meters are required, and shown, for each new lot.

The Fire Chief will review plans prior to Commission meeting and prior to final plan approval.

Utilities – Pressurized Irrigation

Horrocks modeled the site and found no issues regarding the proposed development in terms of pressurized irrigation. The development can be served by the existing 8-inch main in High

Bench Road. New 1-inch laterals are shown to be installed for each new lot. There is one existing 2-inch service that will be required to be removed and capped at the main line

#### Utilities – Stormwater

The storm water system design and drainage report has been submitted, reviewed, and approved. The storm water system consists of six sumps that will retain the 100-yr (1% Annual Chance) storm. Each lot within the development will also be required to retain the 80<sup>th</sup> percentile storm on its lot. All stormwater from this development will be retained onsite.

March 1, 2016, the State of Utah implemented into the General MS4 Permit (Small Municipal Separate Storm Sewer Systems) the requirement of all developments to evaluate Low Impact Development (aka - LID) for their site. LID is a measure of handling storm water and improving water quality. LID emphasizes conservation and the use of on-site natural features to protect water quality. There are many ways to meet the LID requirement. LID can be met by the use of drainage swales, rainwater harvesting, curb cuts to direct water to smaller local basins, and so on. The developer shows in the storm water calculations that LID will be implemented at the building permit level with each new lot retaining the 90<sup>th</sup> percentile storm, which equates to about a 2-year, 1-hr rainfall event for Alpine City. Recently, the state changed this requirement from the 90<sup>th</sup> percentile storm to the 80<sup>th</sup> percentile storm event. Retention of the 80<sup>th</sup> percentile storm is something Alpine is doing for all new homes within the city as required by the State. This is not just done as a measure of protecting water quality but also helps protect against runoff from one property to another.

#### Utilities – Sewer

The development can be served and is shown to connect to the existing 8-inch sewer system in High Bench Road. All lots are shown to gravity flow to that main line. The sewer master plan does not show the need to upsize any mains within the development. A new 4-inch sewer lateral is shown to be constructed to each new lot.

#### Geotechnical Report

The provided geotechnical report covers the standard items required by ordinance. No hazards were noted in the report or discovered in the process.

#### Hazard Reports

The proposed development does not fall within the Geologic Hazards Overlay Zone or the Urban/Wildland Interface and therefore no hazard reports were required of the developer.

#### Other

There are some minor redlines to correct on the plans.

### **FINDINGS**

- A. The proposed plan overall complies with the zoning ordinances of the TR-10,000 and design standards and ordinances;
- B. All new building footprints do not include areas of floodway but may include the flood zone (AE) and require additional approval from FEMA. This should be a note on the plat.
- C. The plan, if it meets the staff recommendation in this document, would not be requesting any exception to the ordinance.

**STAFF RECOMMENDATION**

Staff recommends that the Planning Commission review the plans and make a motion to approve the proposed preliminary plat for the Page Court Plat A subdivision, with the conditions that:

- The trail location be determined before final plat approval
- A boundary adjustment be completed between the applicant and the neighboring property that allows the full size of the ROW before final plat approval
- The plat includes a plat note dedicated the proposed public street to Alpine City
- The plat includes a plat note that says that any building footprints into the flood zone (AE) require additional approval from FEMA.

**MODEL MOTIONS**

**SAMPLE MOTION TO APPROVE**

I move to approve the Preliminary application of the Page Court Plat A as proposed.

**SAMPLE MOTION TO APPROVE WITH CONDITIONS**

I move to approve the Preliminary application of Page Court Plat A with the following conditions:

**\*\*INSERT FINDINGS\*\***

**SAMPLE MOTION TO TABLE**

I move to table the Preliminary application of Page Court Plat A based on the following:

**\*\*INSERT FINDINGS\*\***

**SAMPLE MOTION TO DENY**

I move to deny the Preliminary application of Page Court Plat A based on the following:

**\*\*INSERT FINDINGS\*\***

**TABULATIONS**

ZONE =	TR 10,000
TOTAL AREA =	1.53 AC
AREA OF EXISTING ROADS =	0.11 AC
NET DEVELOPABLE AREA =	1.42 AC
AREA OF NEW ROADS =	0.32 AC
AREA IN LOTS =	1.10 AC
OPEN SPACE / LANDSCAPE	0.00 AC
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DENSITY	1.96 DU/AC

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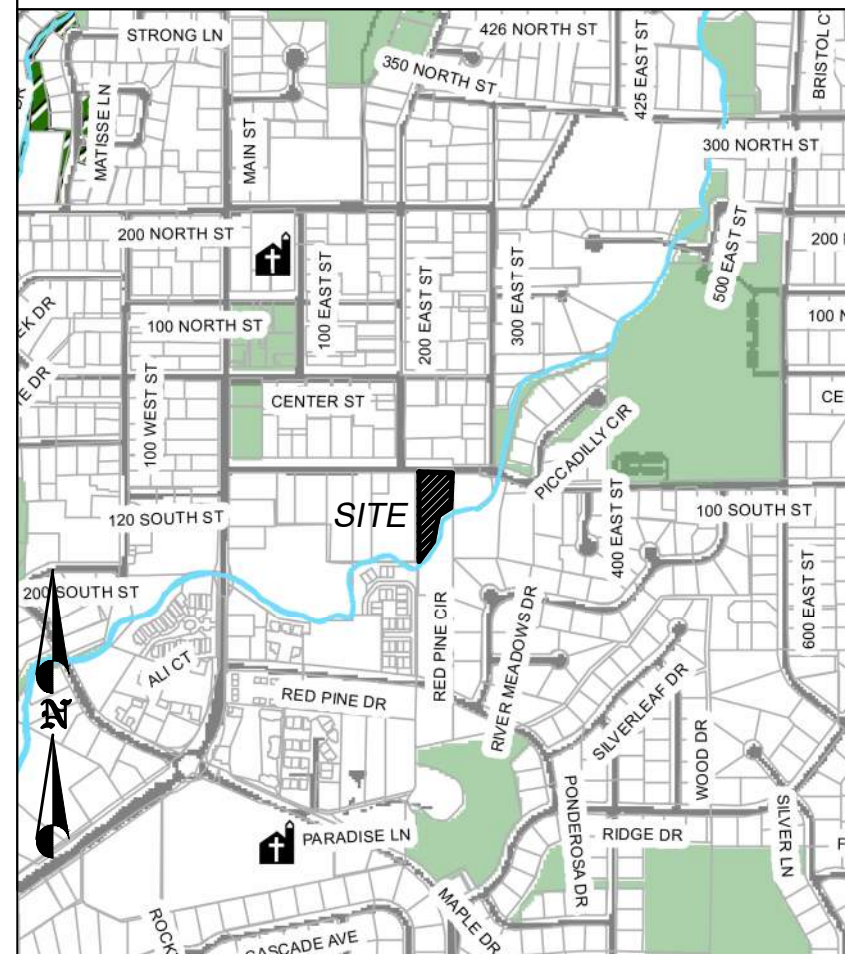
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AREA = 66,696 SF OR 1.53 ACRES

BASIS OF BEARING IS SOUTH 00°02'38" EAST ALONG SECTION LINE FROM THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE EAST QUARTER CORNER OF SAID SECTION 25. (NAD 27)

**VICINITY SKETCH**

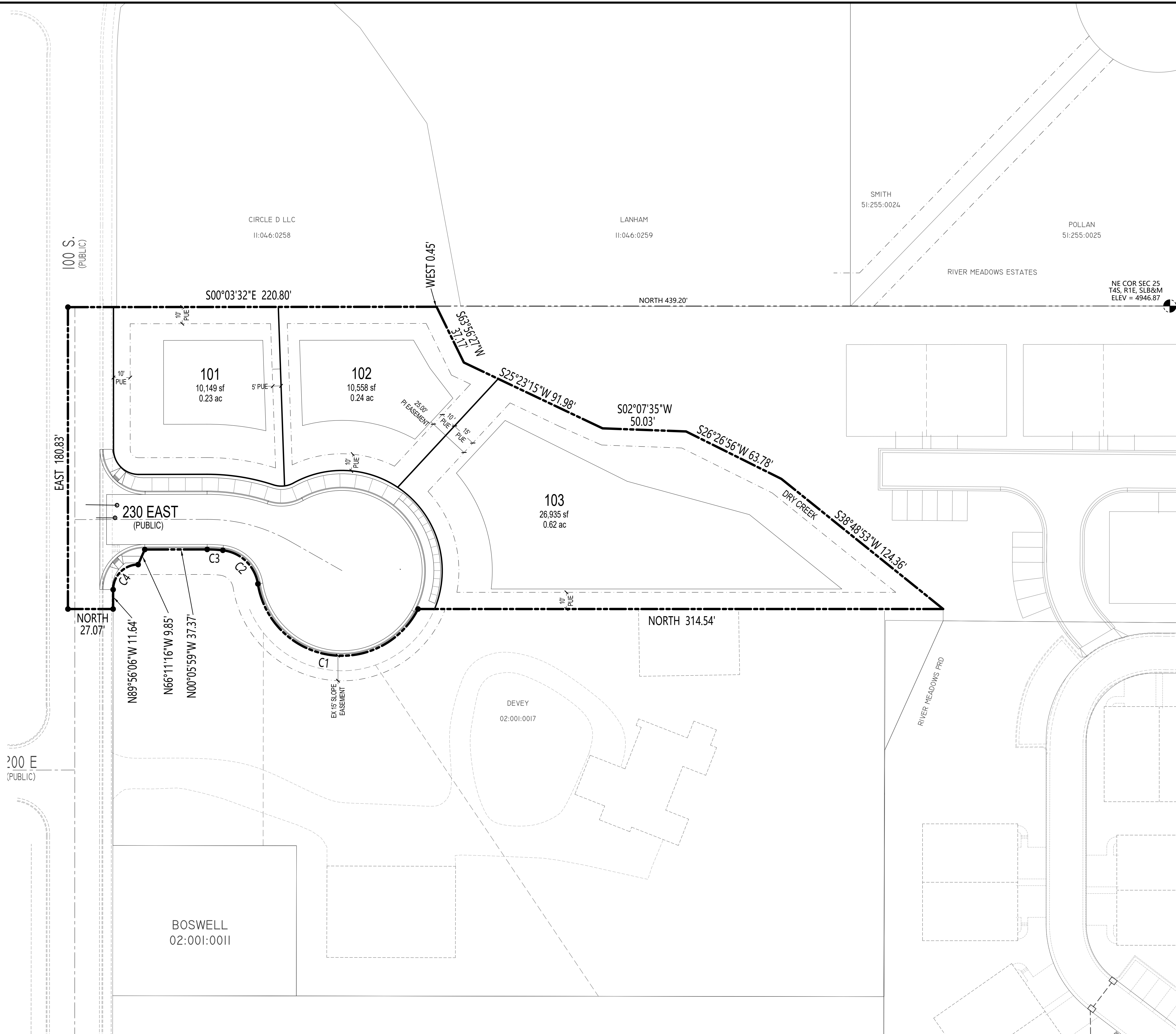


**GENERAL NOTES**

ALL CONSTRUCTION TO CONFORM TO ALPINE CITY STANDARD SPECIFICATIONS AND DETAILS

**SHEET INDEX**

C0	COVER
C1.0	LAYOUT PLAN
C2.0	OVERALL UTILITY PLAN
C3.0	GRADING PLAN
C4.0	230 EAST PLAN & PROFILE
C5.0	SWPPP
DTL1-DLT2	CONSTRUCTION DETAILS
PLAT	PRELIMINARY PLAT



DEVELOPMENT

# PAGE COURT SUBDIVISION

DEVELOPER

**PATTERSON HOMES**  
www.phutah.com

3450 N TRIUMPH BLVD SUITE 200  
LEHI, UT 84043  
(801) 756-7303

SCALE: 1"= 30'

**BERG CIVIL ENGINEERING**  
1018 N Deer Crest Lane  
Alpine UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

REVISIONS		SEAL
NO.	DATE	DESCRIPTION
1		
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7		

ACTION	DATE
PRELIM	05-19-2026

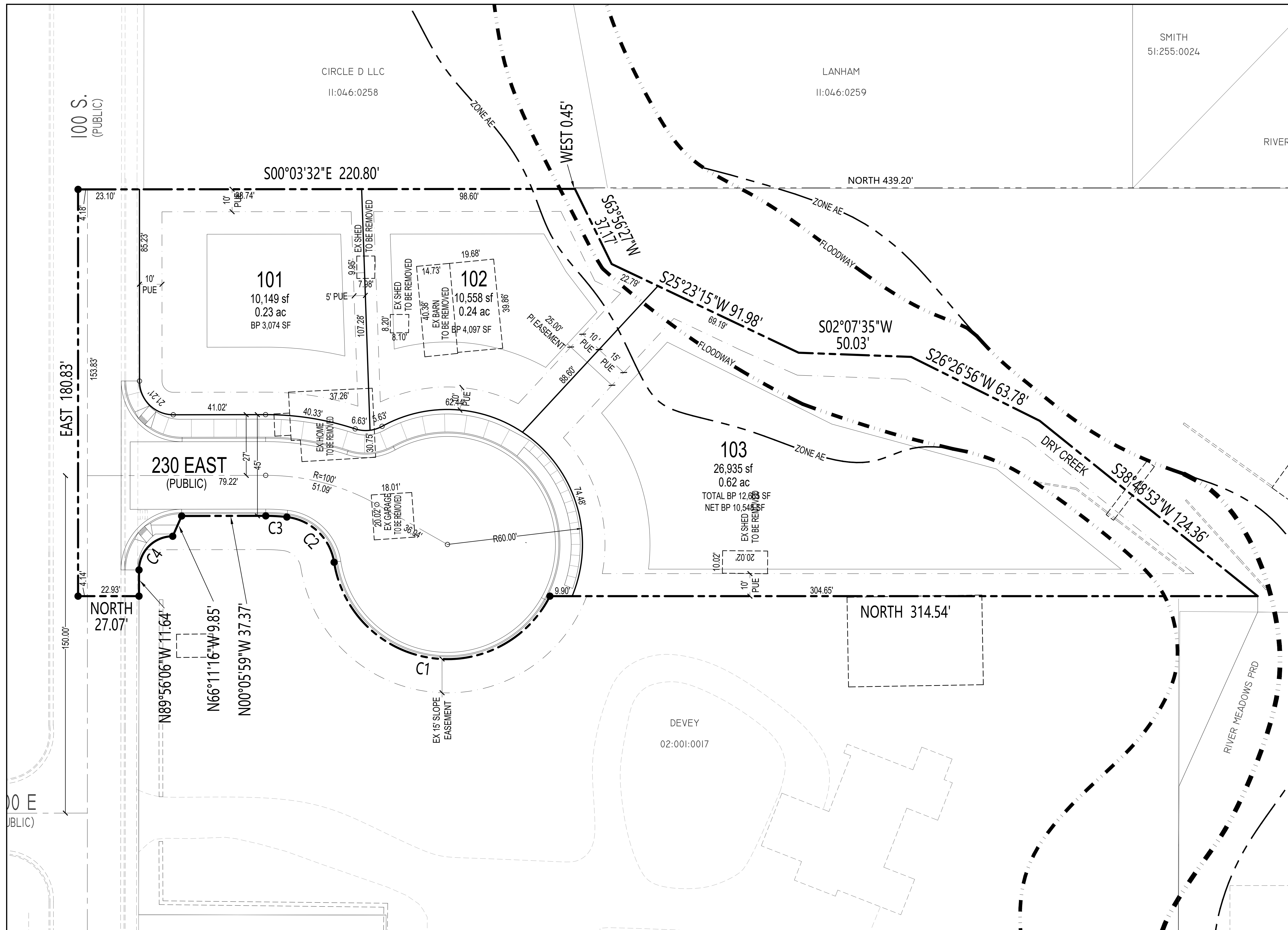
PROJECT

# PAGE COURT

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
COVER	C0



DEVELOPMENT

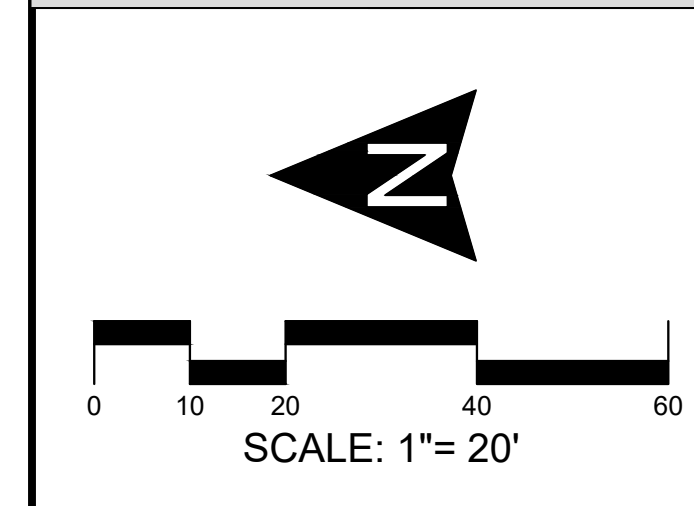
# PAGE COURT SUBDIVISION

DEVELOPER



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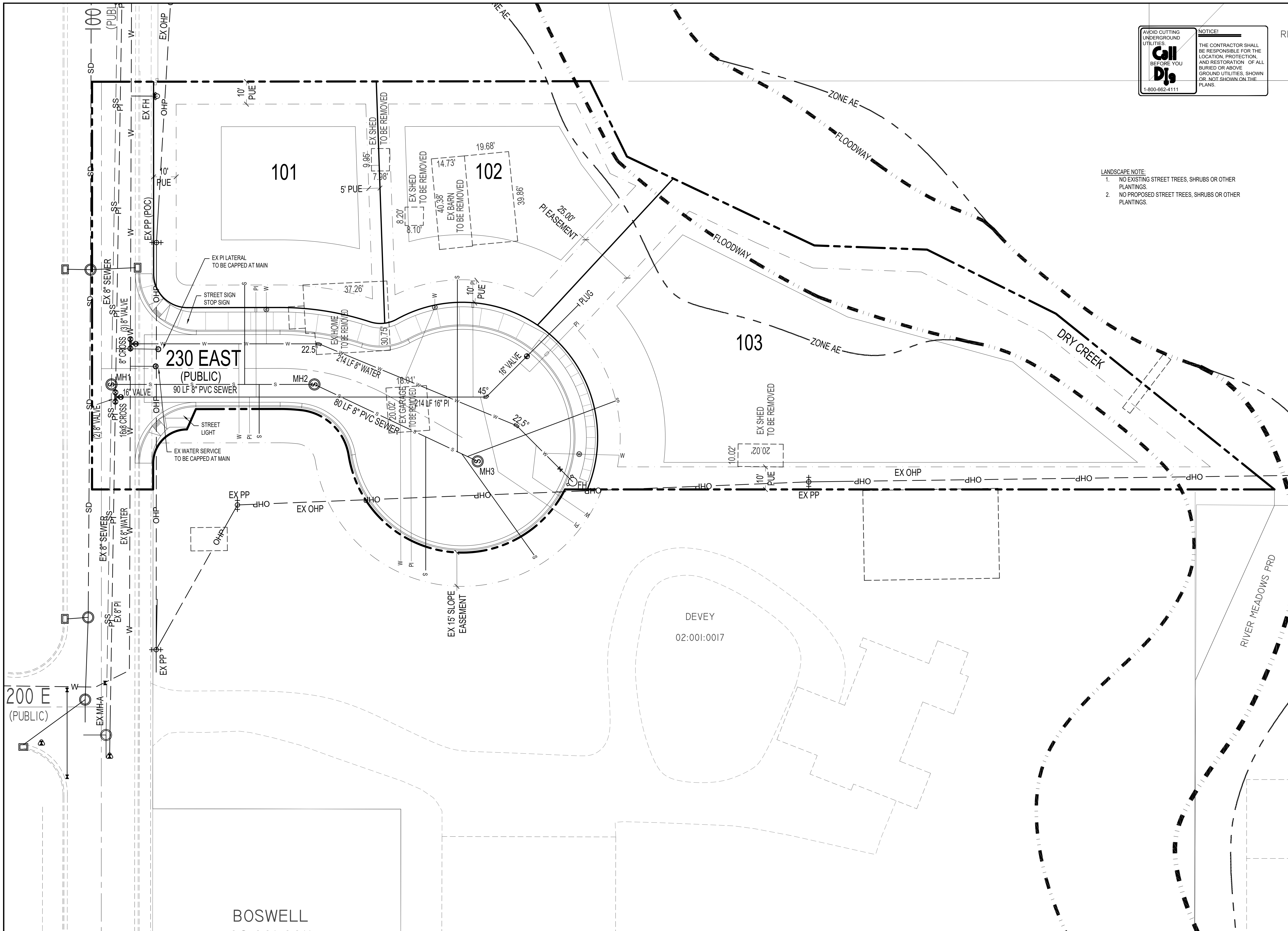
PROJECT

# PAGE COURT

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
LAYOUT	C1.0



**AVOID CUTTING UNDERGROUND UTILITIES BEFORE YOU Dig**  
1-800-662-4111

**NOTICE!**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

**LANDSCAPE NOTE:**  
1. NO EXISTING STREET TREES, SHRUBS OR OTHER PLANTINGS.  
2. NO PROPOSED STREET TREES, SHRUBS OR OTHER PLANTINGS.

DEVELOPMENT

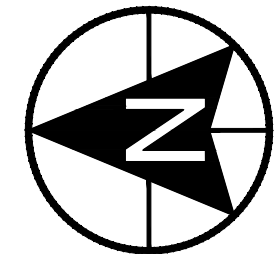
# PAGE COURT SUBDIVISION

DEVELOPER



**PATTERSON HOMES**  
www.phutah.com

3450 N TRIUMPH BLVD SUITE 200  
LEHI, UT 84043  
(801) 756-7303



SCALE: 1" = 20'



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Alpine, UT, 84004  
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ACTION	DATE
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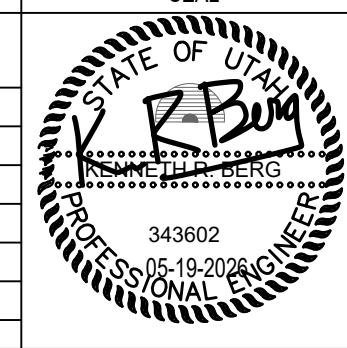
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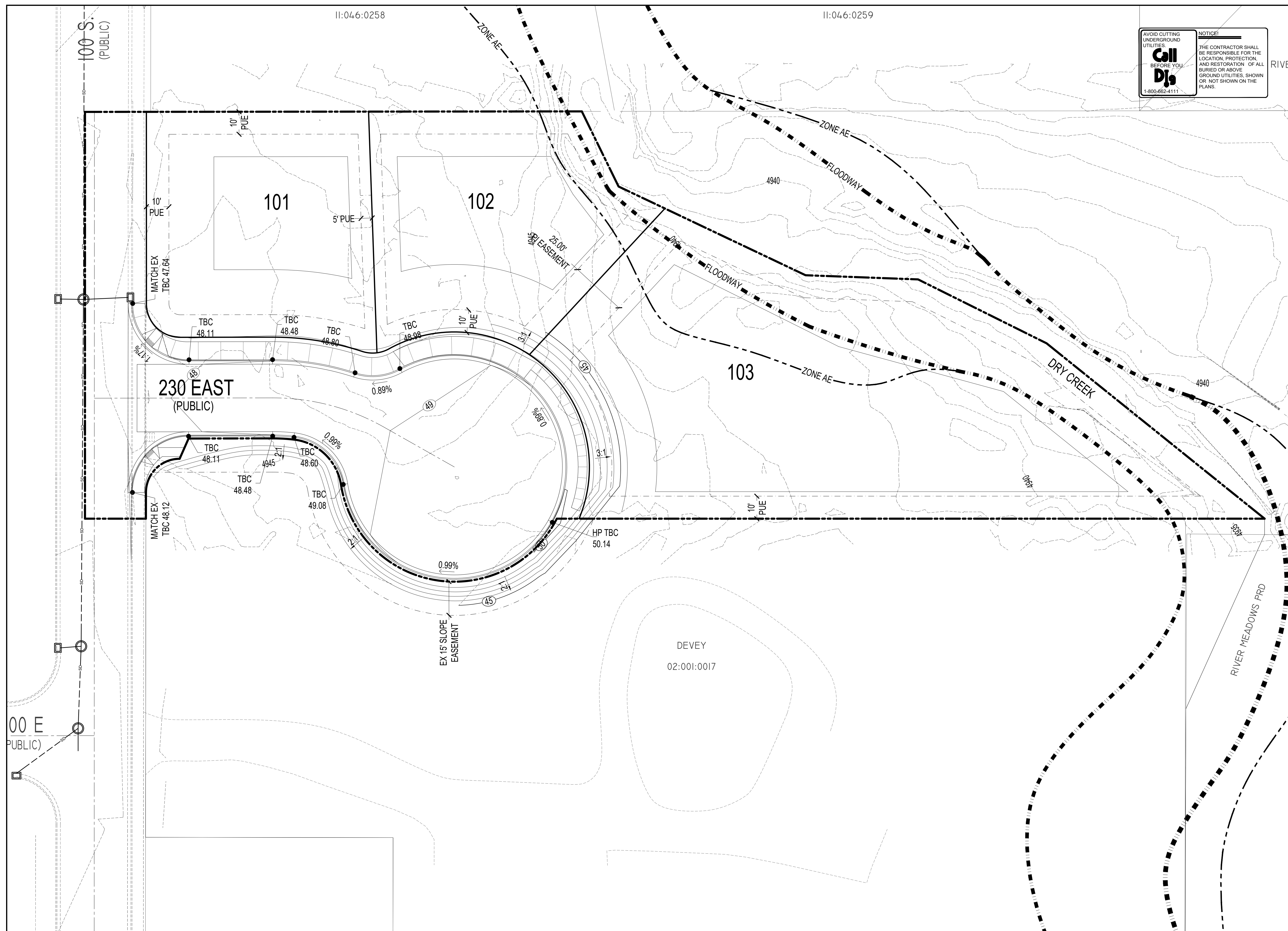
## PAGE COURT

DESCRIPTION

### PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
UTILITY PLAN	C2.0





**AVOID CUTTING UNDERGROUND UTILITIES BEFORE YOU DIG**  
**Call 811**  
 1-800-662-4111

**NOTICE!**  
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DEVELOPMENT

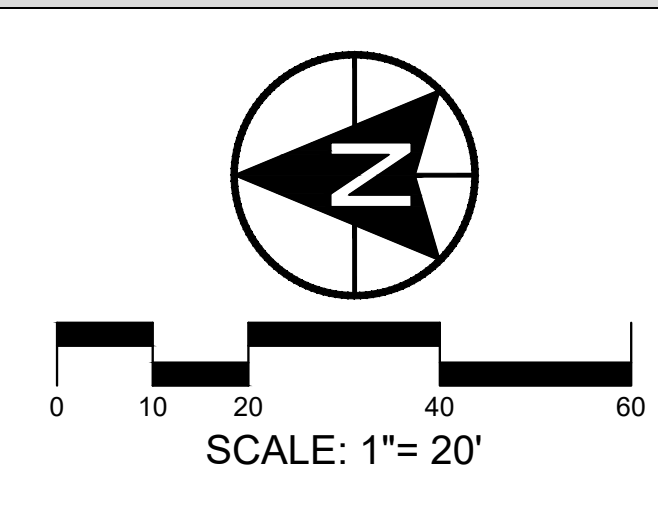
# PAGE COURT SUBDIVISION

DEVELOPER



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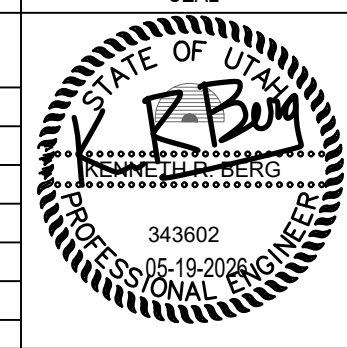
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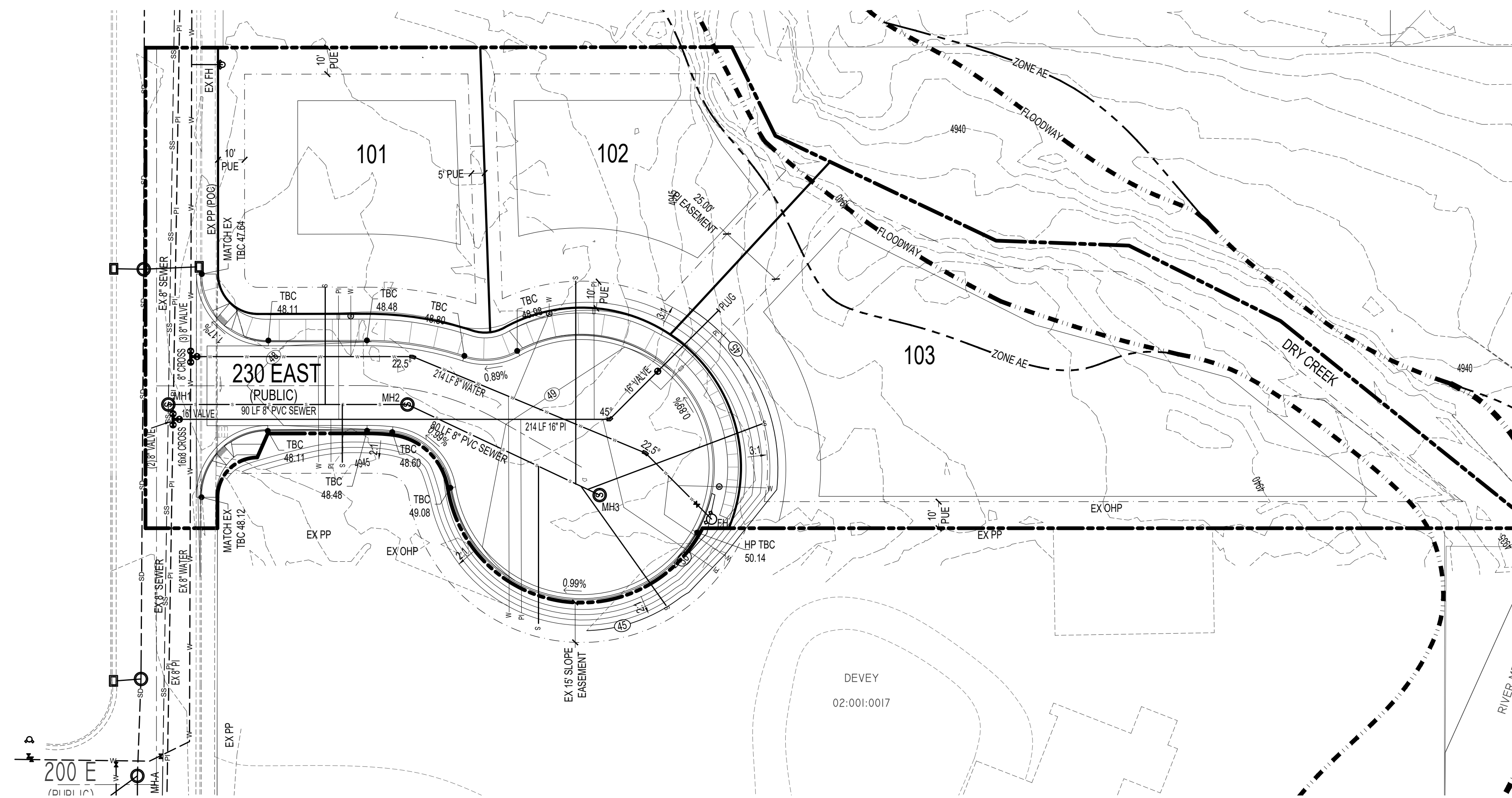
# PAGE COURT

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
GRADING PLAN	C3.0





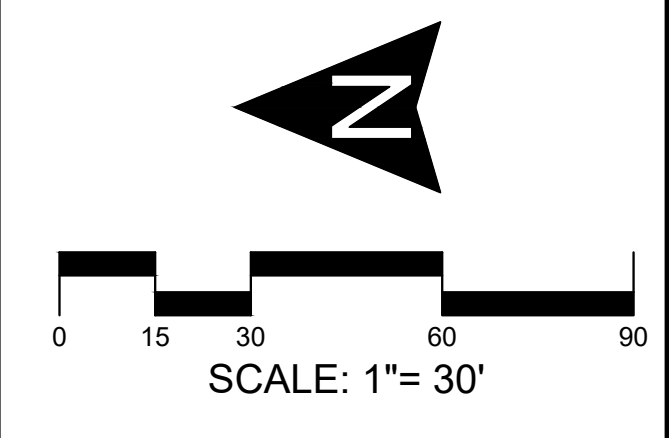
**AVOID CUTTING UNDERGROUND UTILITIES BEFORE YOU DIG**  
 NOTICE!  
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DEVELOPMENT

# PAGE COURT SUBDIVISION

DEVELOPER

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 LEHI, UT 84043  
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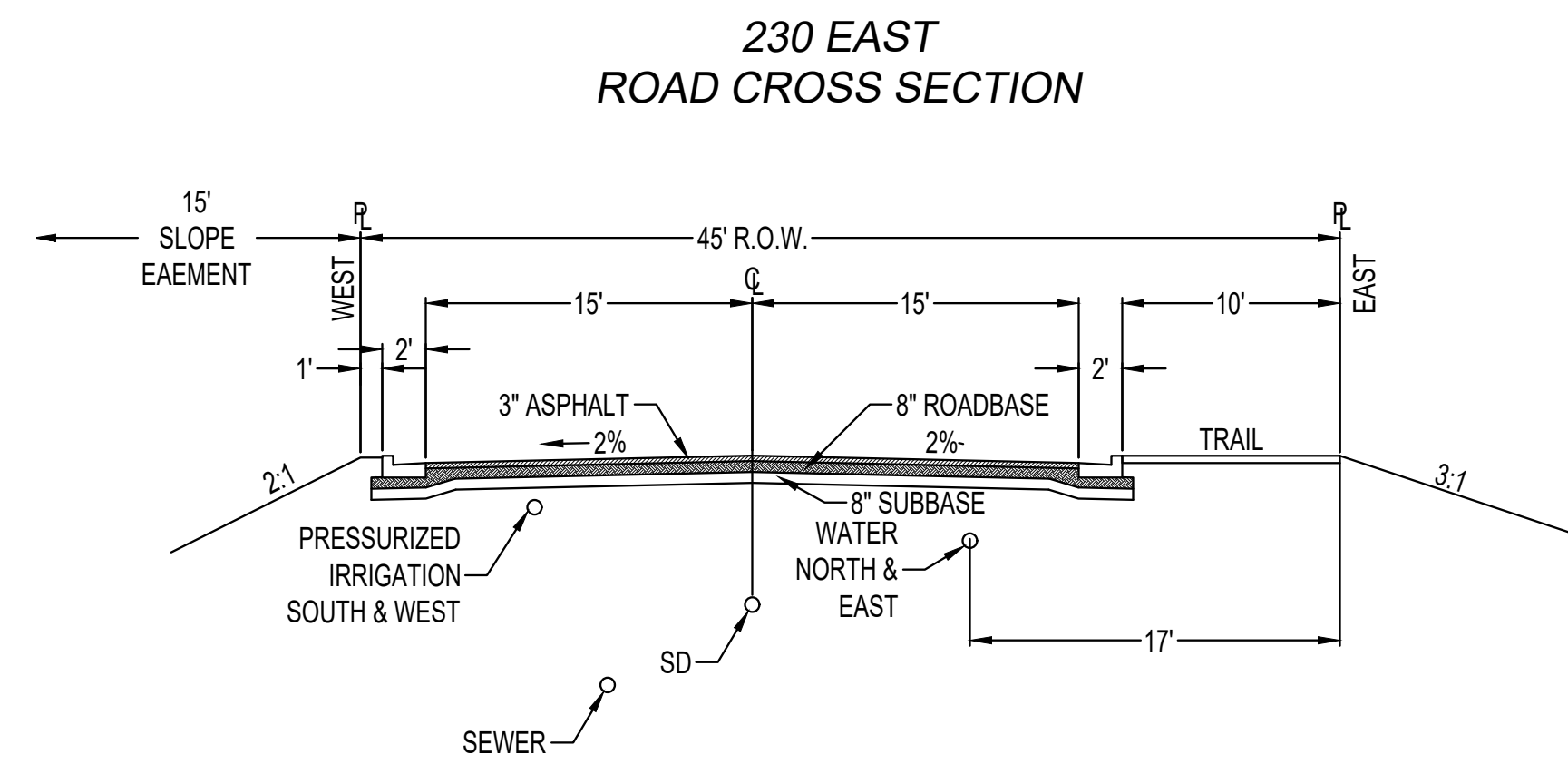
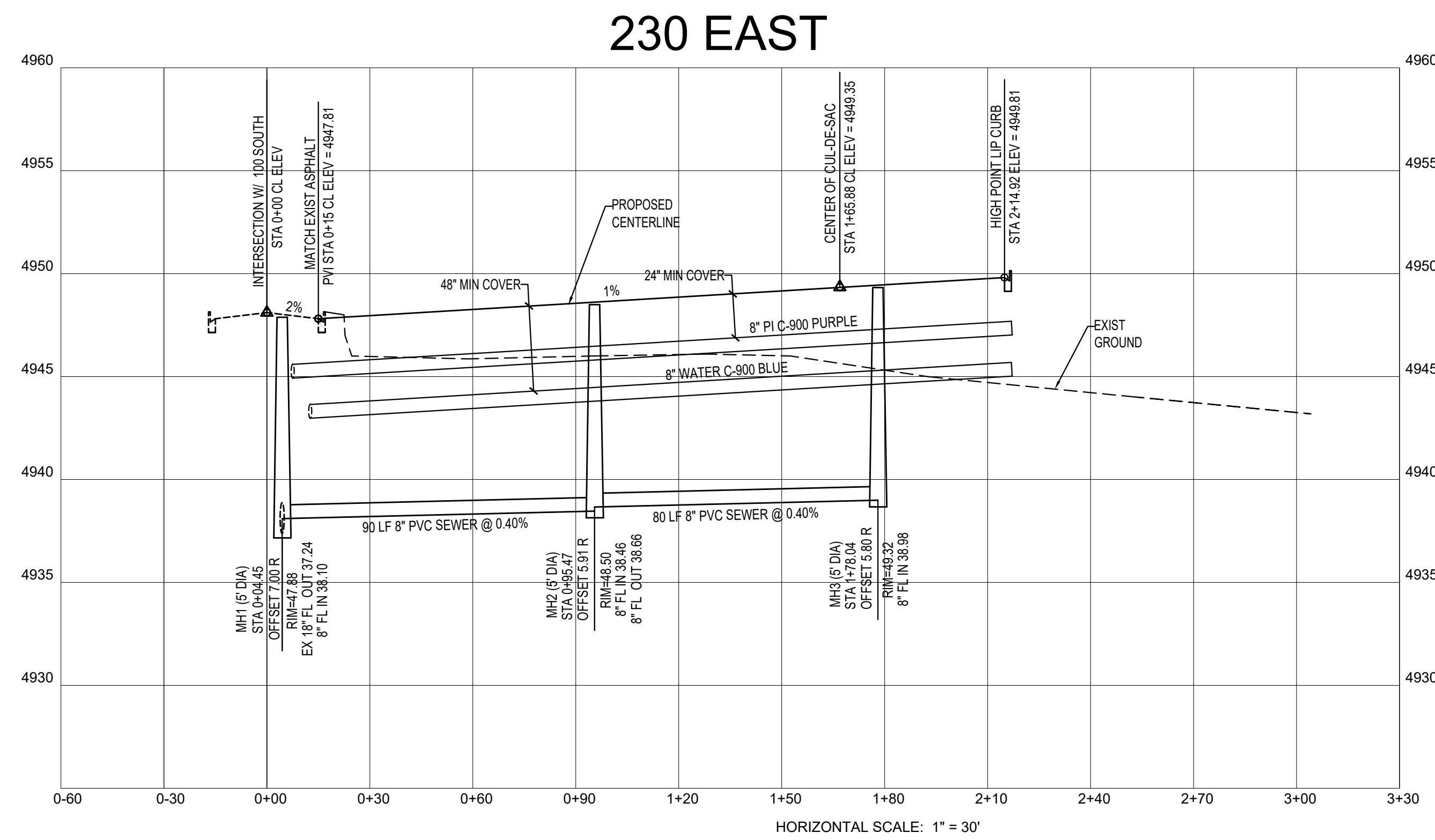
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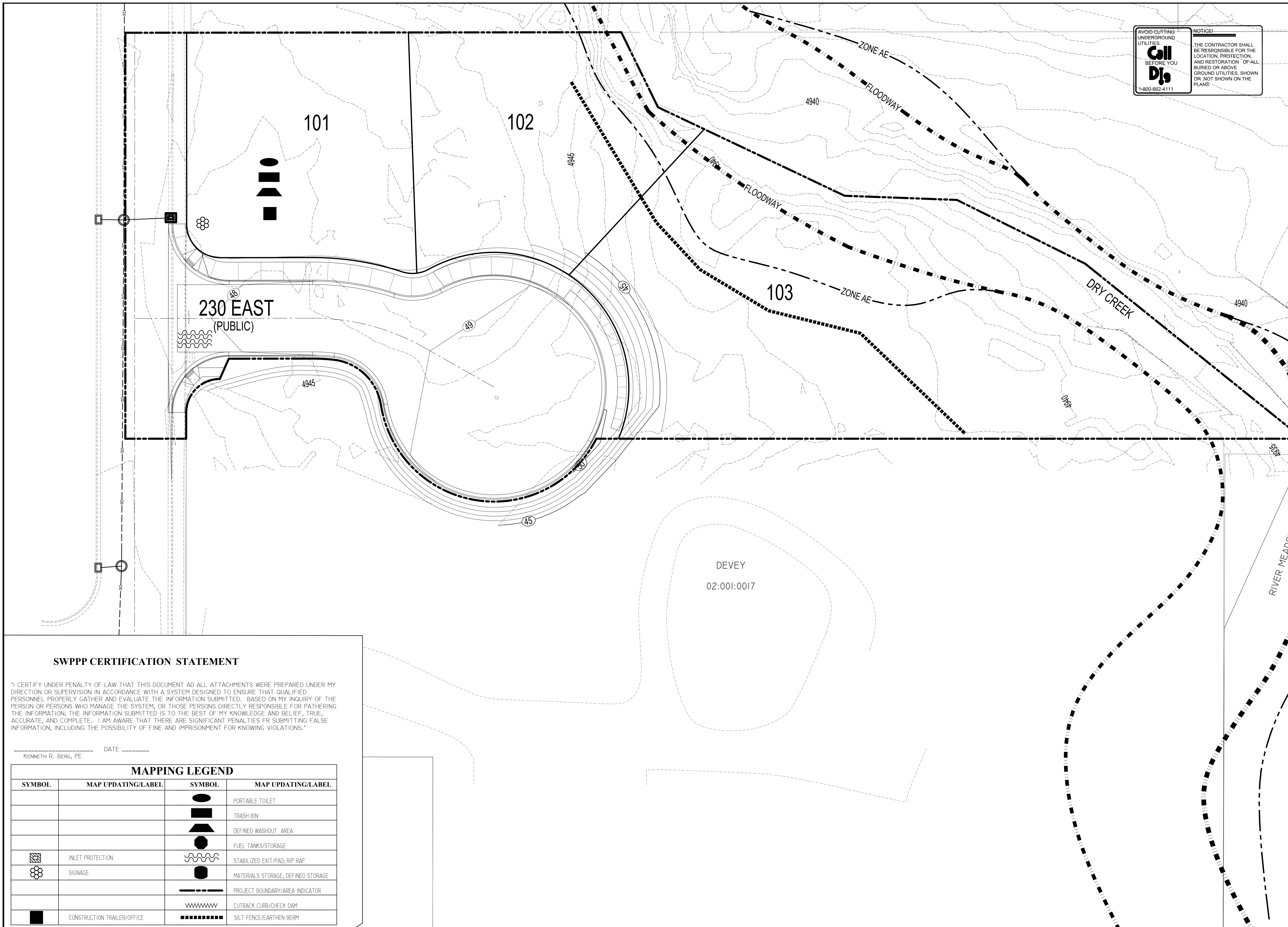
# PAGE COURT

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME: 230 EAST ROAD PLAN  
 SHEET NUMBER: C4.0





**AVOID CUTTING UNDERGROUND UTILITIES BEFORE YOU DIG**  
**Call 811**  
 1-800-662-4111

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DEVELOPMENT

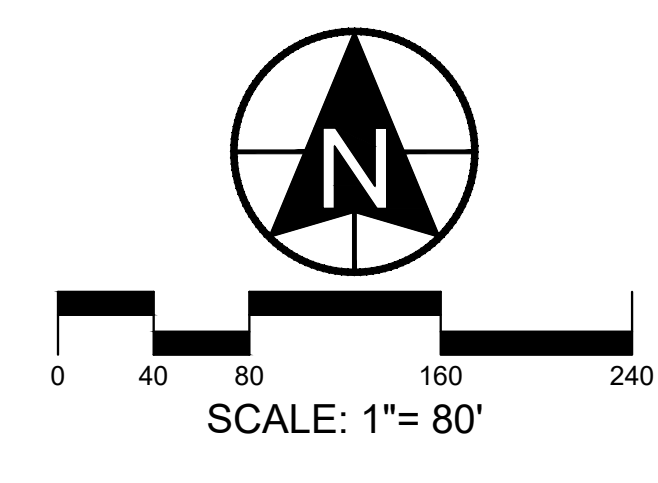
# PAGE COURT SUBDIVISION

DEVELOPER

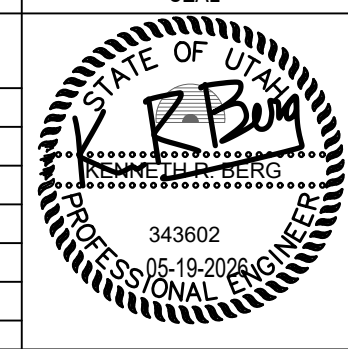


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ACTION	DATE
PRELIM	05-19-2026

PROJECT

# PAGE COURT

DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
SWPPP	C5.0

### SWPPP CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR PATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

\_\_\_\_\_, DATE \_\_\_\_\_  
 KENNETH R. BERG, PE

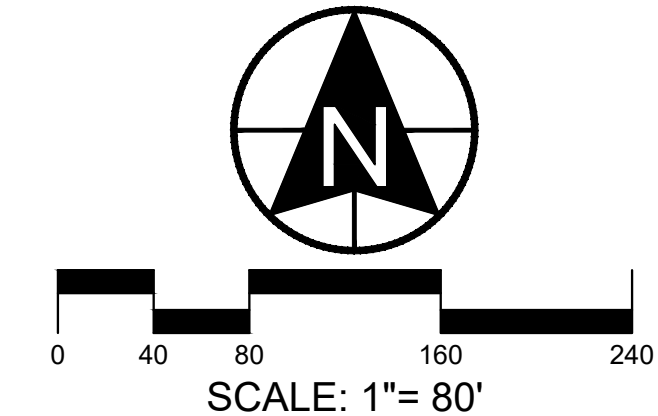
### MAPPING LEGEND

SYMBOL	MAP UPDATING/LABEL	SYMBOL	MAP UPDATING/LABEL
	PORTABLE TOILET		TRASH BIN
	DEFINED WASHOUT AREA		FUEL TANKS/STORAGE
	INLET PROTECTION		STABILIZED EXIT/PAD; RIP RAP
	SIGNAGE		MATERIALS STORAGE, DEFINED STORAGE
	PROJECT BOUNDARY/AREA INDICATOR		CUTBACK CURB/CHECK DAM
	CONSTRUCTION TRAILER/OFFICE		SILT FENCE/EARTHEN BERM

# PAGE COURT SUBDIVISION



3450 N TRIUMPH BLVD SUITE 200  
LEHI, UT 84043  
(801) 756-7303



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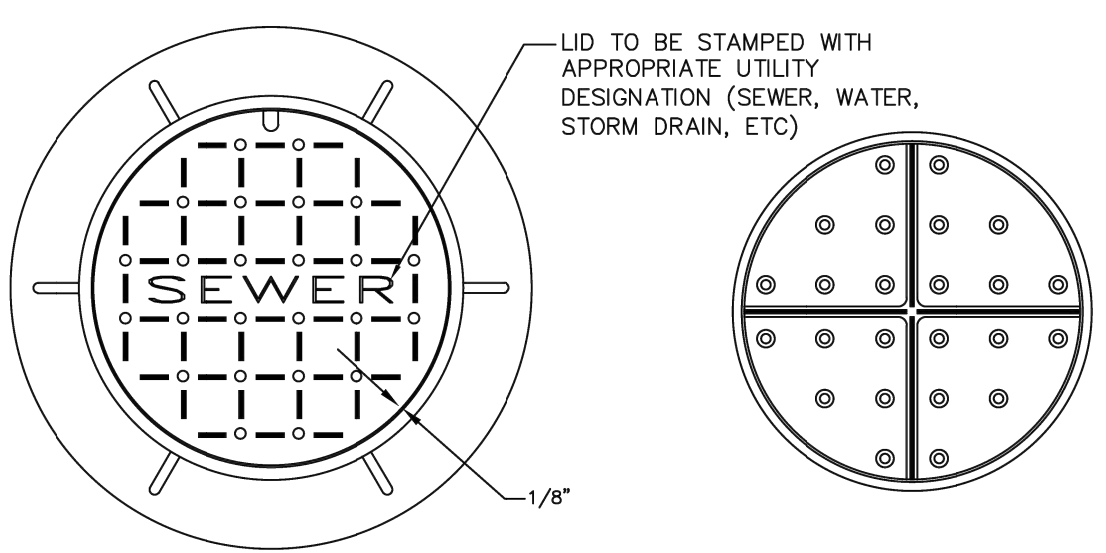
# PAGE COURT

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
DETAILS	DTL1

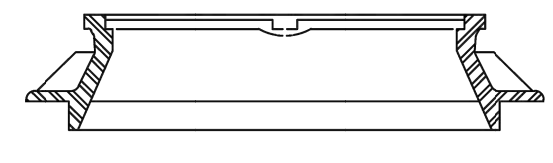
**AVOID CUTTING UNDERGROUND UTILITIES BEFORE YOU Dig**  
1-800-662-4111

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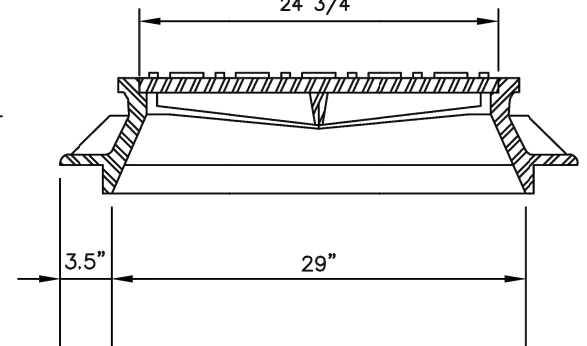
BOTTOM VIEW OF COVER

PLAN OF COVER AND RING



SECTIONS

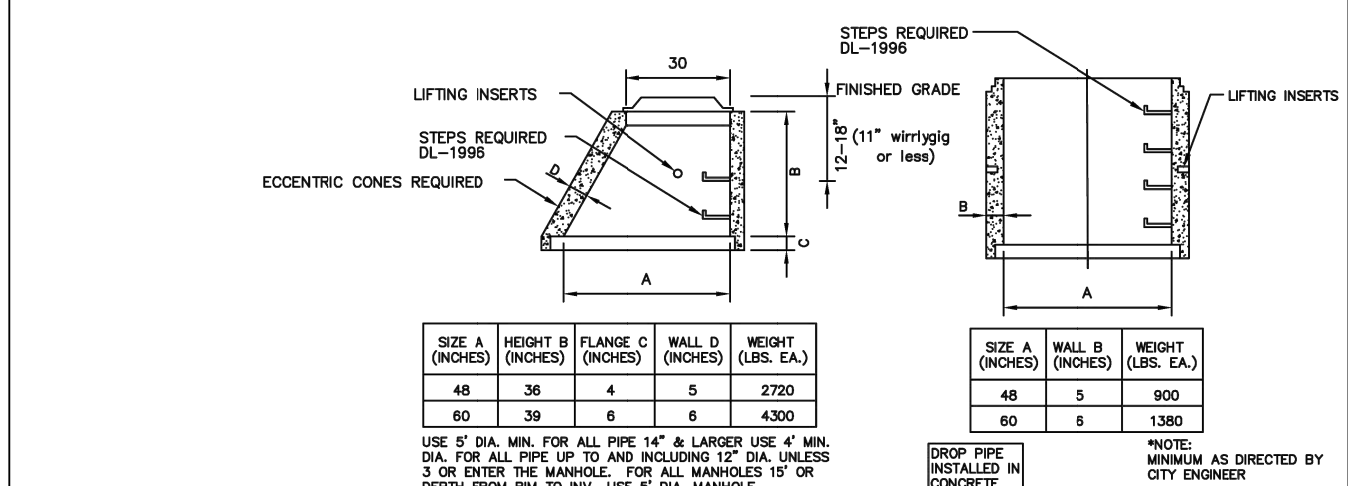
D&L A-1180 OR APPROVED EQUAL



### HEAVY DUTY, 400 LB. MINIMUM, MANHOLE RING AND COVER

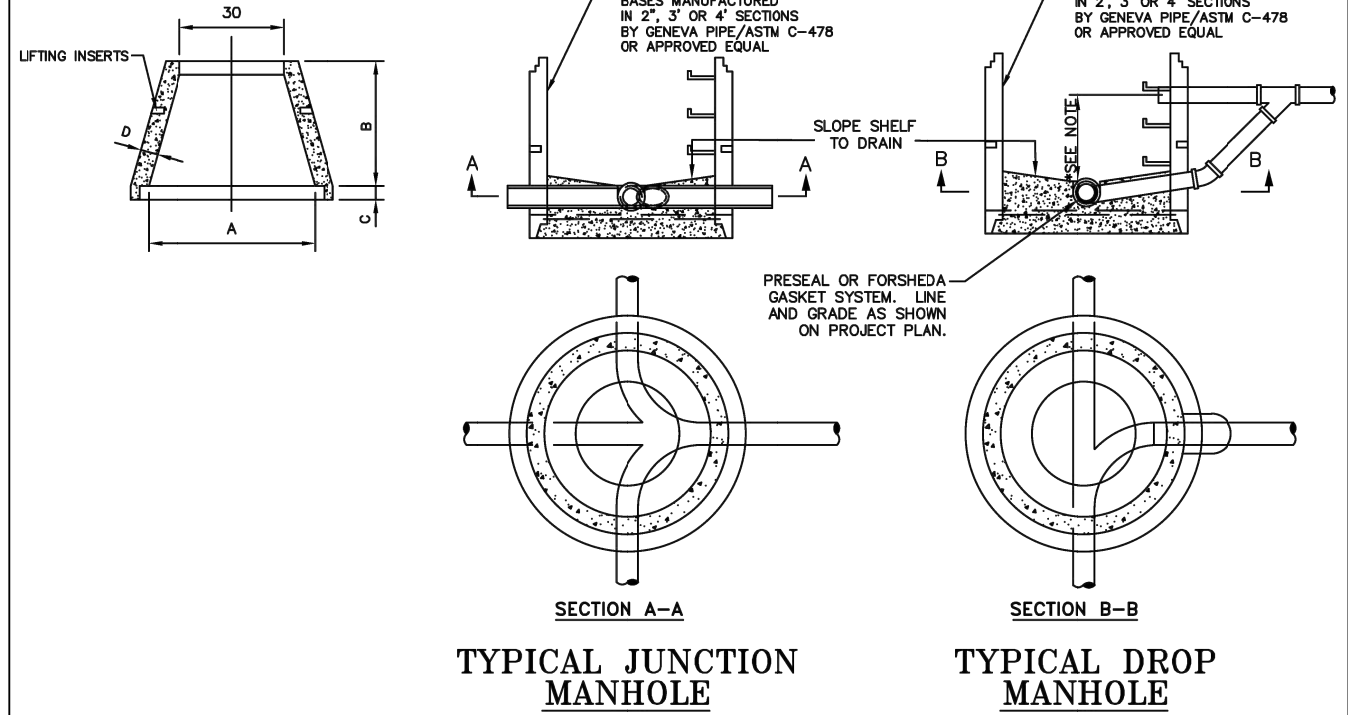
N.T.S.

STATEMENT OF USE	MANHOLE RING & COVER (typical)	STANDARD DRAWING NUMBER: 16
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS FOR THE CITY OF ALPINE, UT. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF THE CITY ENGINEER. THE CITY ENGINEER SHALL BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT. <td></td> <td>DESIGNED BY: KEM CHECKED BY: KEM APPROVED BY: KEM</td>		DESIGNED BY: KEM CHECKED BY: KEM APPROVED BY: KEM
REVISION		



TYPICAL JUNCTION MANHOLE

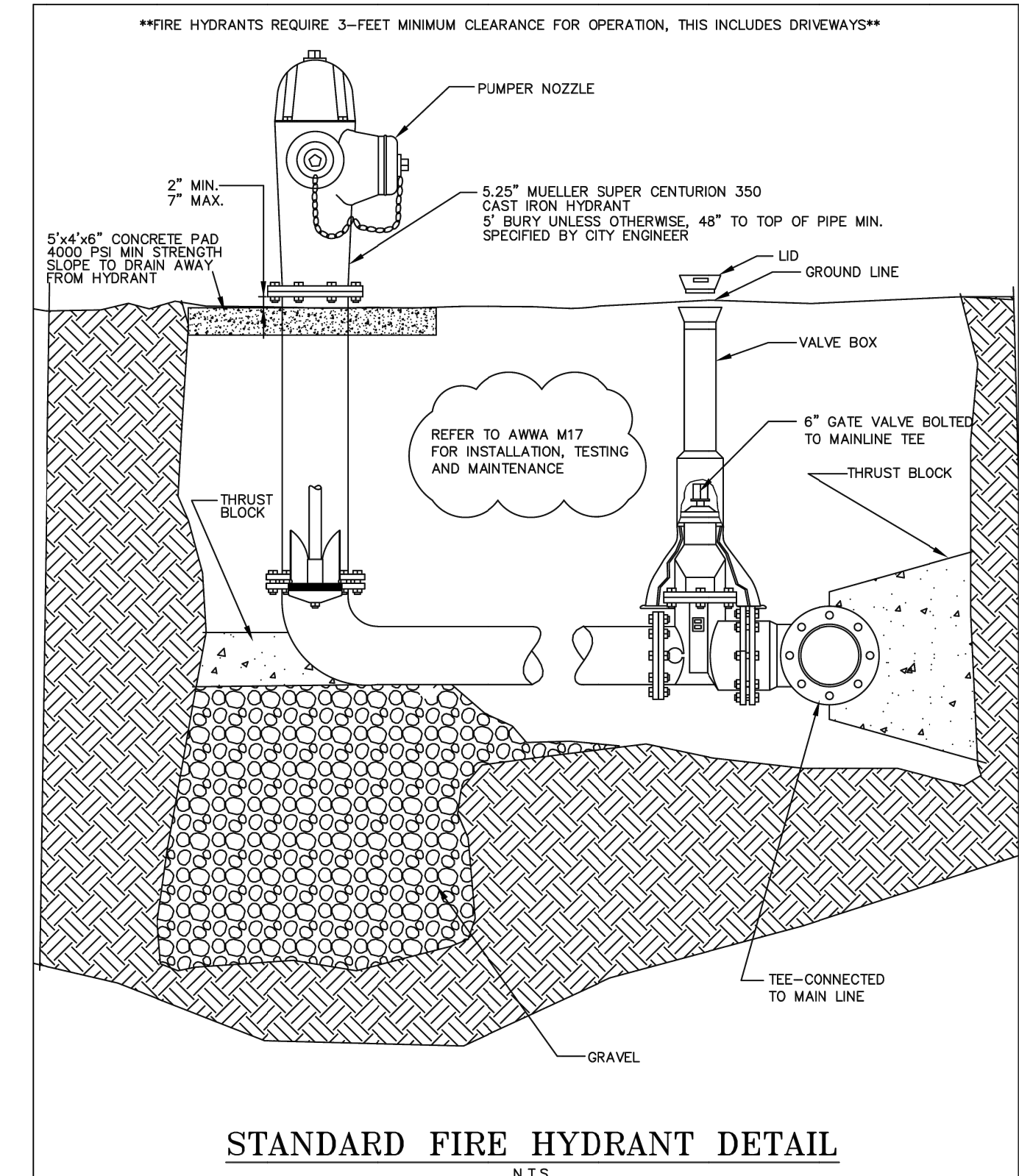
TYPICAL DROP MANHOLE



### TYPICAL SEWER SERVICE CONN.

N.T.S.

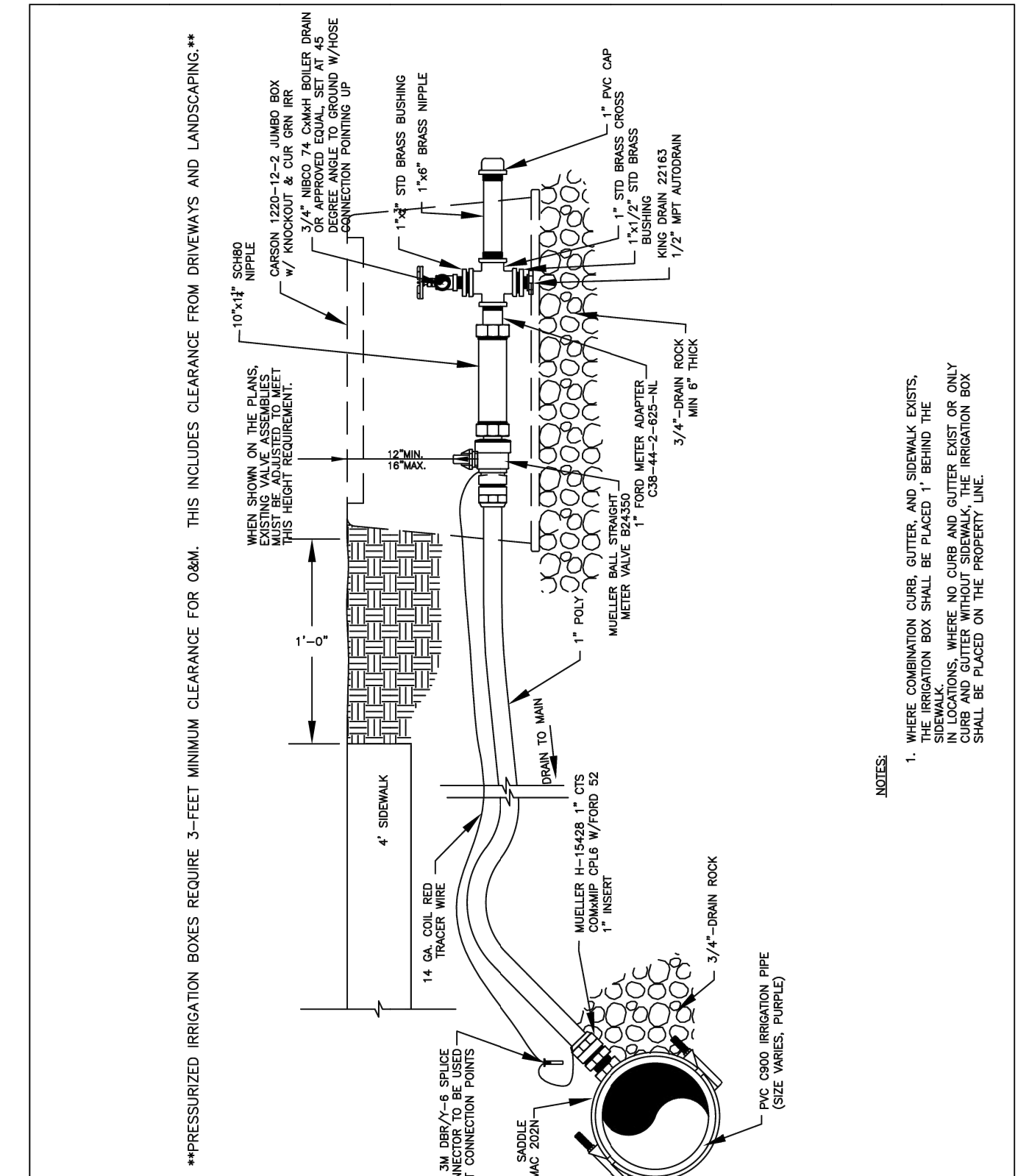
STATEMENT OF USE	TYPICAL SEWER SERVICE CONN.	STANDARD DRAWING NUMBER: 17a
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS FOR THE CITY OF ALPINE, UT. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF THE CITY ENGINEER. THE CITY ENGINEER SHALL BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.		DESIGNED BY: KEM CHECKED BY: KEM APPROVED BY: KEM
REVISION		



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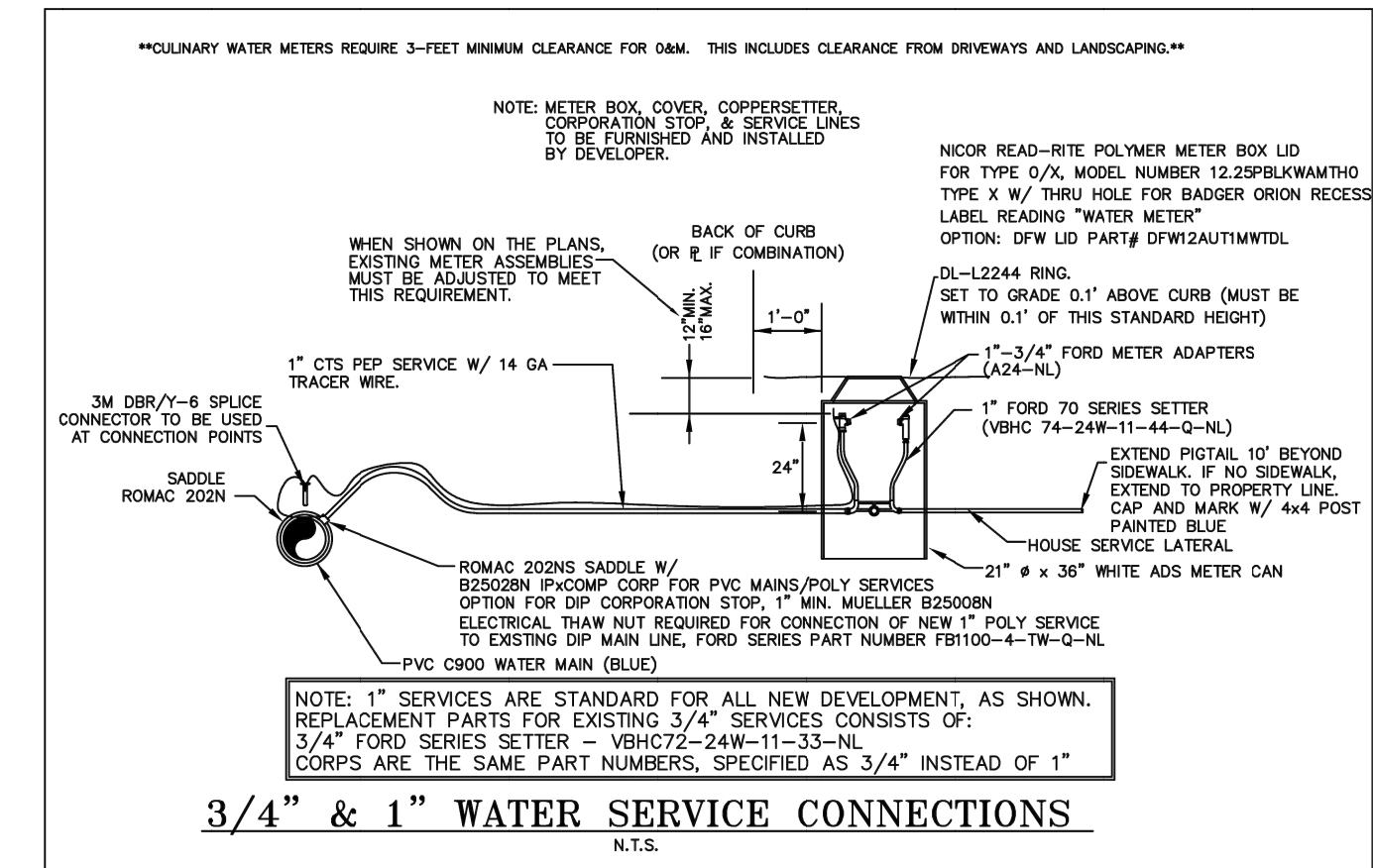
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DATE	11/15/10
DESIGNED BY	SKM
DRAWN BY	SKM
CHECKED BY	SKM
APPROVED BY	SKM



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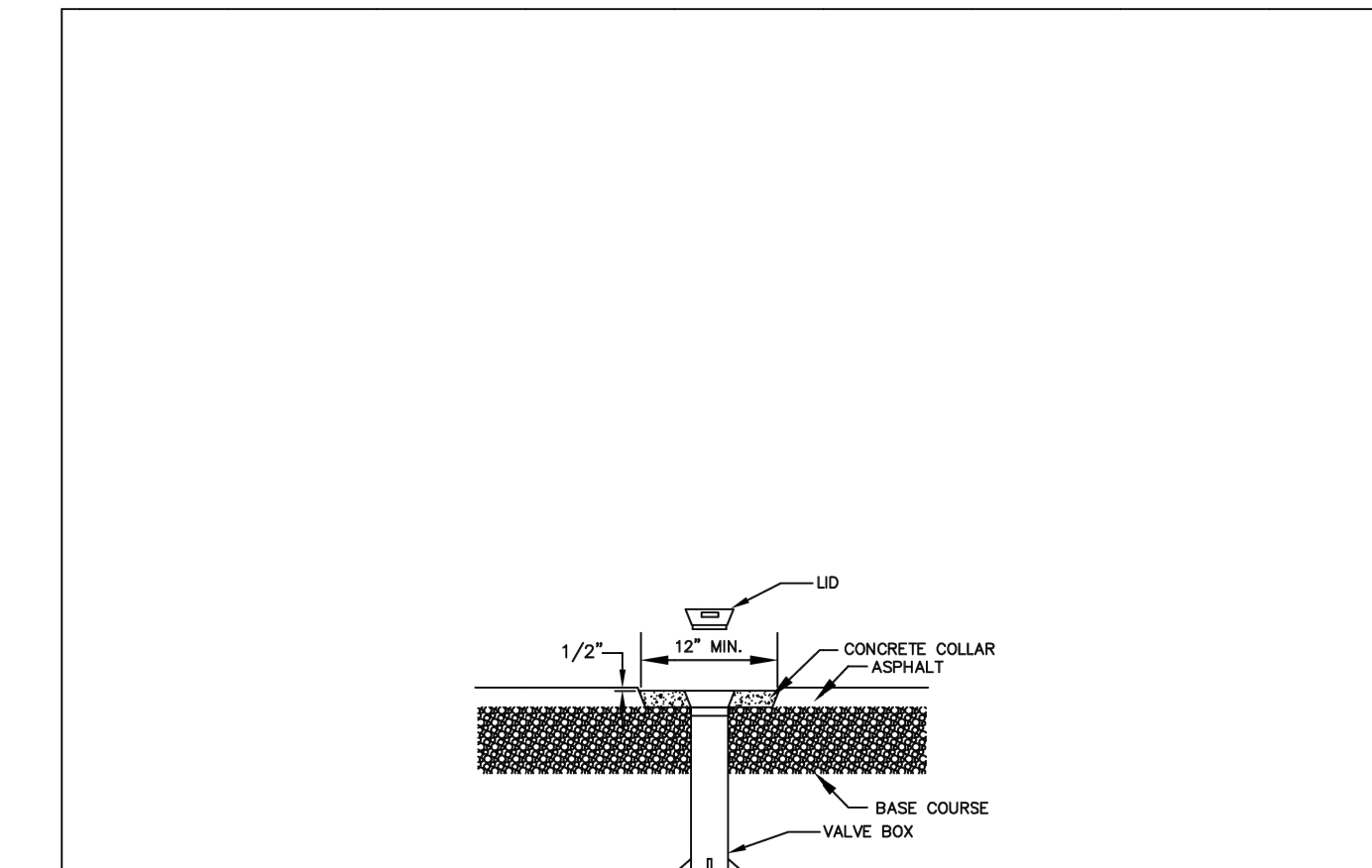
STANDARD DRAWING NUMBER	24
DATE	11/15/10
DESIGNED BY	SKM
DRAWN BY	SKM
CHECKED BY	SKM
APPROVED BY	SKM



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REVISION	NO.	DATE	DESCRIPTION

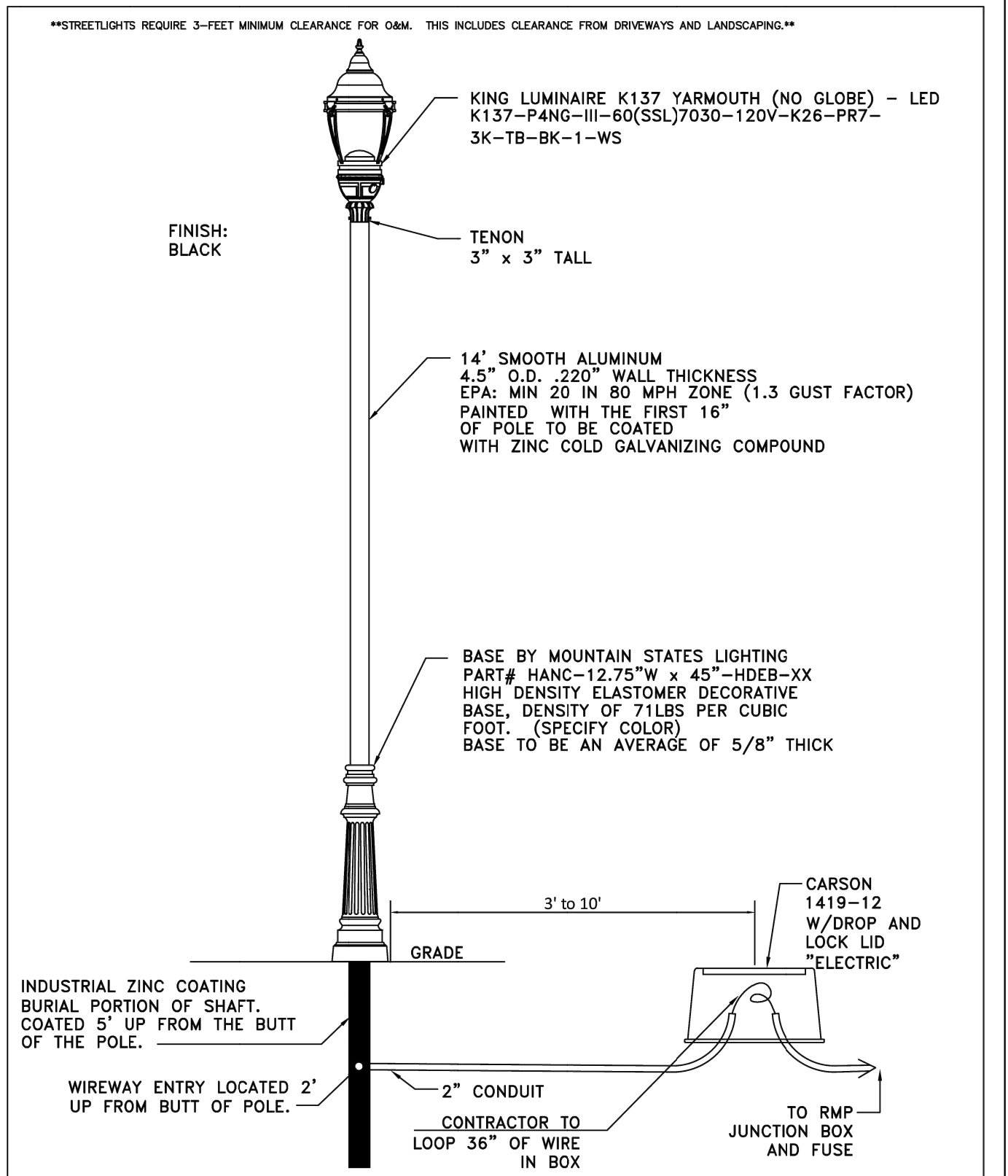
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DATE	11/15/10
DESIGNED BY	SKM
DRAWN BY	SKM
CHECKED BY	SKM
APPROVED BY	SKM



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REVISION	NO.	DATE	DESCRIPTION

STANDARD DRAWING NUMBER	27a
DATE	11/15/10
DESIGNED BY	SKM
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CHECKED BY	SKM
APPROVED BY	SKM



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REVISION	NO.	DATE	DESCRIPTION

STANDARD DRAWING NUMBER	31
DATE	11/15/10
DESIGNED BY	SKM
DRAWN BY	SKM
CHECKED BY	SKM
APPROVED BY	SKM

**AVOID CUTTING UNDERGROUND UTILITIES BEFORE YOU**

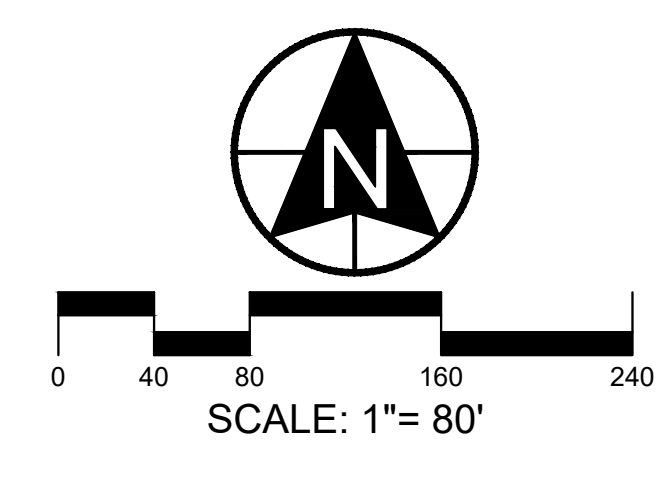
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DEVELOPMENT

# PAGE COURT SUBDIVISION

DEVELOPER

3450 N TRIUMPH BLVD SUITE 200  
LEHI, UT 84043  
(801) 756-7303



1018 N Deer Crest Lane  
Alpine UT, 84004  
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PROJECT

# PAGE COURT

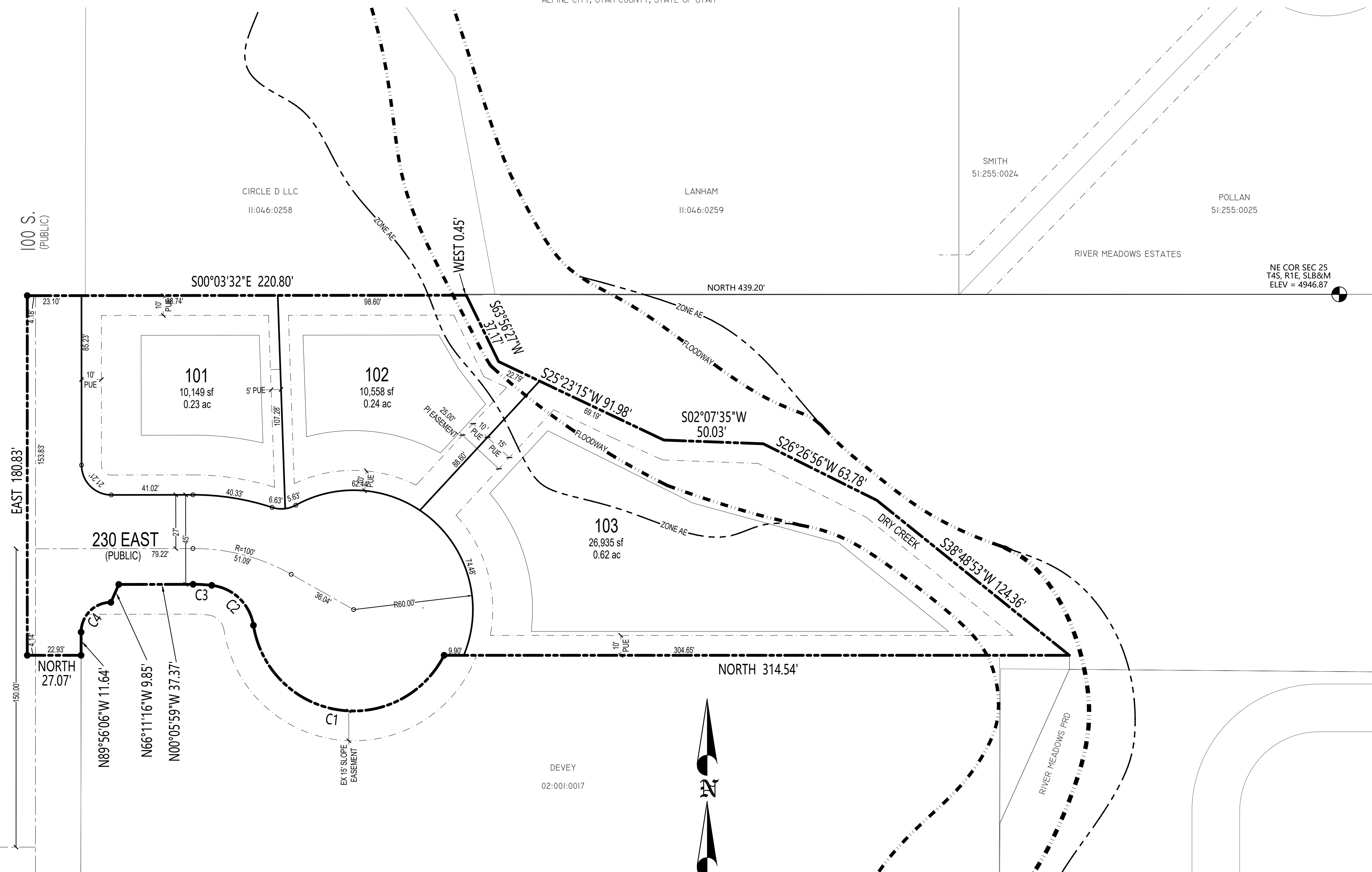
DESCRIPTION

## PRELIMINARY PLAN

SHEET NAME	SHEET NUMBER
DETAILS	DTL2

# PAGE COURT PLAT "A"

LOCATED IN THE SE 1/4 OF SECTION 24, T4S, R1E, S.L.B.&M  
ALPINE CITY, UTAH COUNTY, STATE OF UTAH



**SURVEYOR'S CERTIFICATE**  
I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. \_\_\_\_\_ AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, OPEN SPACES, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_

**BOUNDARY DESCRIPTION**  
BEGINNING AT A POINT LOCATED NORTH 439.20 FEET AND WEST 0.45 FEET FROM THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;  
THENCE SOUTH 63°56'27" WEST 37.17 FEET; THENCE SOUTH 25°23'15" WEST 91.98 FEET; THENCE SOUTH 02°07'35" WEST 50.03 FEET; THENCE SOUTH 26°26'56" WEST 63.78 FEET; THENCE SOUTH 38°48'53" WEST 124.36 FEET; THENCE NORTH 314.54 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 51.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 128.37 FEET (CURVE HAVING A CENTRAL ANGLE OF 144°13'02" AND A CHORD BEARS N08°54'43"E 97.07 FEET); THENCE ALONG THE ARC OF A 24.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 31.24 FEET (CURVE HAVING A CENTRAL ANGLE OF 74°35'06" AND A CHORD BEARS N43°45'19"E 29.08 FEET); THENCE ALONG THE ARC OF A 82.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 9.39 FEET (CURVE HAVING A CENTRAL ANGLE OF 06°33'45" AND A CHORD BEARS N03°10'54"E 9.39 FEET); THENCE NORTH 00°05'59" EAST 37.37 FEET; THENCE NORTH 66°11'16" WEST 9.85 FEET; THENCE ALONG THE ARC OF A NON-TANGENT 15.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 23.52 FEET (CURVE HAVING A CENTRAL ANGLE OF 89°50'08" AND A CHORD BEARS N45°01'02"W 21.18 FEET); THENCE NORTH 89°56'06" WEST 11.64 FEET; THENCE NORTH 27°07' FEET; THENCE EAST 180.83 FEET; THENCE SOUTH 00°03'32" EAST 220.80 FEET TO THE POINT OF BEGINNING.  
AREA = 66,696 SF OR 1.53 ACRES  
BASIS OF BEARING IS SOUTH 00°02'38" EAST ALONG SECTION LINE FROM THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE AND MERIDIAN, TO THE EAST QUARTER CORNER OF SAID SECTION 25. (NAD 27)

**OWNER'S DEDICATION**  
KNOWN ALL MEN BY THESE PRESENTS THAT WE, ALL THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, OPEN SPACE, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.  
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER \_\_\_\_\_ DATE \_\_\_\_\_

**ACKNOWLEDGMENT**  
STATE OF UTAH )  
COUNTY OF UTAH )  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.  
NOTARY PUBLIC \_\_\_\_\_  
NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH.  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
THE CITY COUNCIL OF ALPINE CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, OPEN SPACES, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

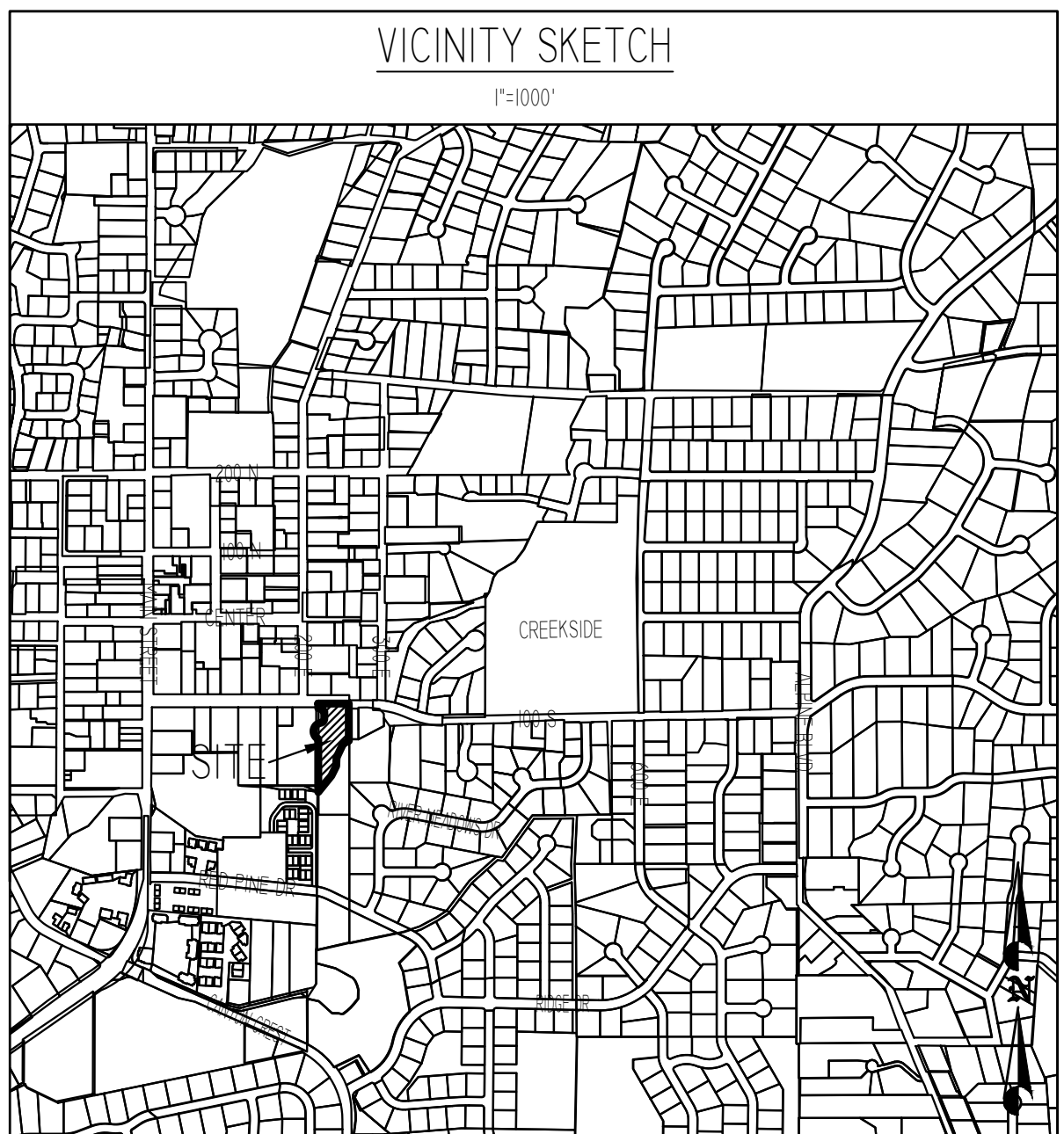
\_\_\_\_\_  
MAYOR CARLA MERRILL ATTEST \_\_\_\_\_ CLERK - RECORDER  
(SEE SEAL BELOW)

APPROVED \_\_\_\_\_ CITY ENGINEER  
(SEE SEAL BELOW)

**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE ALPINE CITY PLANNING COMMISSION.  
\_\_\_\_\_  
DIRECTOR - SECRETARY CHAIRMAN, PLANNING COMMISSION

**PAGE COURT PLAT "A"**  
LOCATED IN THE SE 1/4 OF SECTION 24, T4S, R1E, S.L.B.&M  
ALPINE CITY, UTAH COUNTY, STATE OF UTAH  
SCALE: 1" = 30' FEET

CITY ENGINEER SEAL CITY RECORDER SEAL COUNTY INFORMATION



- PLAT NOTES**
- DESIGN CRITERIA FOR ELEVATION OF 5,000 FEET
  - DESIGN CRITERIA FOR SNOW LOAD OF 45 LB/SF
  - THE INTERNATIONAL FIRE CODE MAY REQUIRE FIRE SPRINKLERS BASED UPON THE SIZE OF HOME AND FIRE FLOW CAPACITY. A FIRE FLOW TEST MAY BE REQUIRED AT THE TIME OF BUILDING PERMIT.
  - IF FIRE SPRINKLERS ARE PROPOSED THE FIRE FLOW REQUIREMENT IS REDUCED BY 50%.

**ADDRESS TABLE**

LOT #	ADDRESS
1	
2	
3	

APPROVAL AS TO FORM  
APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
\_\_\_\_\_  
CITY ATTORNEY

**TABULATIONS**

ZONE =	TR 10,000
TOTAL AREA =	1.53 AC
AREA OF EXISTING ROADS =	0.11 AC
NET DEVELOPABLE AREA =	1.42 AC
AREA OF NEW ROADS =	0.32 AC
AREA IN LOTS =	1.10 AC
OPEN SPACE / LANDSCAPE	0.00 AC
NUMBER OF LOTS	3
DENSITY	1.96 DU/AC

OWNER  
**PATTERSON HOMES**  
www.phutah.com  
3450 N TRIUMPH BLVD SUITE 200  
LEHI, UT 84043  
(801) 756-7303

SURVEYOR  
**AZTEC ENGINEERING**  
732 N. 780 W. AMERICAN FORK, UT. 84003  
aztecengineering@gmail.com

ENGINEER  
**berg CIVIL ENGINEERING**  
1018 N. Deer Creek Lane  
Alpine, UT, 84004  
office (801) 462-1272  
cell (801) 616-1677

05/19/2024

ALPINE CITY PLANNING COMMISSION MEETING  
Alpine City Hall, 20 North Main, Alpine, UT  
March 31, 2026

I. GENERAL BUSINESS

A. **Welcome and Roll Call:** The meeting was called to order at 6:00 p.m. by John MacKay.  
The following were present and constituted a quorum:

Chair: Alan Macdonald

Commission Members: Michelle Schirmer, John MacKay, Troy Slade, Susan Whittenburg

Excused: Jeff Davis, Greg Butterfield

Staff: Ryan Robinson, Marla Fox, Jason Judd, Heidi Smith

Others: Laura Dahl, Eliot Jacobsen, Kristin Eberting, Phill Williamson, Annie Williamson, Catherine Johnston, Steve Sorensen, Kim Sorensen, April Cooper, Mr. Cooper, Cori Fabian, David Fabian, Will Jones, Analisa Thomas, Karl Naegle, Grant Flygare, Diana Flygare, John Nash, Angelica Nash, Laura Lope, Brenda Webb, Layne Webb, Craig Skidmore

B. **Prayer/Opening Comments:** Susan Whittenburg

C. **Pledge of Allegiance:** Michelle Schirmer

II. REPORTS AND PRESENTATIONS

None

III. ACTION ITEMS

A. **Action Item: Approval for the Reconstruction of Non-Conforming Building  
480 East 100 South**

Ryan Robinson said the applicant, Cori Fabian, purchased the property at 480 East 100 South. There was a home and two other accessory buildings on the property that have since been demolished. The owner has applied for a building permit to construct a new home. Pursuant to Alpine Development Code 3.22.070, a non-conforming building may be reconstructed on a lot subject to prior approval of the City Council, after recommendation from the Planning Commission and compliance with several conditions. The reason for the non-conforming status of the home that existed on the property is that it was located on a 8,150 sf property with 80 feet of frontage in the TR-10,000 zone.

The conditions outlined in 3.22.070 are as follows:

***3.22.070 Extension (Enlargement) And Reconstruction of Non-Conforming Buildings; Conditions***

*A non-conforming building or structure or a building housing a non-conforming use may be extended or enlarged or reconstructed, subject to the prior approval by the City Council, after recommendation of the Planning Commission and such compliance with the following:*

- 1. The proposed extension or replacement shall be located entirely on the same lot or parcel as the present non-conforming structure and will conform with all current setback and location requirements.*

1 2. The applicant shall submit a detailed site plan showing the location of  
 2 existing and proposed structures on the site and in the vicinity, existing lot  
 3 boundaries, roads, driveways, parking areas, utilities and other significant  
 4 features on the site and in the immediate vicinity.

5 3. A finding made by a majority vote of the Council that:

6 1. The proposed enlargement or extension will not significantly alter  
 7 the character of the building or use or its impact upon the area.

8 2. The building or use, if extended, will not have the effect of  
 9 diminishing the value of property or the quality of living  
 10 environment of adjacent properties.

11 3. The proposed enlargement will not significantly increase the  
 12 number of vehicles or pedestrians, or result in the establishment or  
 13 increase of a safety hazard to the area.

14 4. The proposed enlargement will not result in the establishment of a  
 15 condition incompatible with the neighborhood area and the stated  
 16 objective of the zone in which it is located.

17 The Council may attach such conditions to its approval as are necessary to  
 18 adequately protect the property and uses in the surrounding territory and the  
 19 intent of the zone, including but not limited to, the providing of off-street parking  
 20 access ways, landscaping features and additional setback of structures.

21 Porches and external covered stairs shall be permitted within setbacks so long as  
 22 they do not extend beyond the original setbacks of the non-conforming structure  
 23 (i.e. the setbacks from the time of the original build), and may be approved at a  
 24 staff level.

25  
 26 Ms. Fabian has provided a site plan for a new home that meets the current location and  
 27 setback requirements of the zone. In making their recommendation to the City Council,  
 28 the Planning Commission could consider the same list of findings outlined for the City  
 29 Council in 3.22.070.

30  
 31 Staff recommend that the Planning Commission consider recommending to the City  
 32 Council the allowance for the reconstruction of a home at 480 East 100 South.

33  
 34 Susan Whittenburg said she was curious about the height of the home. Ryan Robinson said they  
 35 are only asking for non-conforming because of the lot size. They would still have to get a  
 36 building permit and meet all the requirements for setbacks and height that we have in place. He  
 37 said we measure from the average finished grade to the midpoint of the roof and couldn't exceed  
 38 34 feet.

39  
 40 **MOTION:** Planning Commission member Troy Slade moved to recommend approval of the proposed site  
 41 plan for reconstructing the home at 480 East 100 South as per the submitted site plan.

42  
 43 Susan Whittenburg seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion  
 44 passed.

45 **Ayes:**

46 Michelle Schirmer  
 47 John MacKay

**Nays:**

**Excused:**

Jeff Davis  
 Greg Butterfield

1 Troy Slade  
2 Alan Macdonald  
3 Susan Whittenburg  
4  
5

6 **B. Public Hearing: Three Falls Subdivision Plat H Amendment and Exceptions for a Lot with**  
7 **Five Sides**

8 Applicant: Property Owner  
9 Project Location: Lots 47, 48, & 49 of Three Falls Subdivision  
10 Zoning: CE-5 Zone.  
11 Acreage: Approximately 11.29 Acres.  
12 Request: Recommend approval of the plat amendment and an exception for a lot with five sides.  
13

14 **SUMMARY**

15 The property owner is petitioning the Planning Commission and City Council for a plat  
16 amendment to lots 47, 48, & 49 of the Three Falls Subdivision. The desire is to combine lots 47  
17 and 48, to swap land between public open space, private open space and private property, and an  
18 exception granted for a lot with more than five sides. In order to do so, a plat amendment is  
19 required which involves Public Open Space. Any modification/disposal of Public Open Space  
20 and exception to a lot with more than five sides requires a recommendation from the Planning  
21 Commission and approval by the City Council. Specifically, the open space modification will  
22 require a super majority vote of the City Council (ADC 3.16.040.2).  
23

24 **BACKGROUND**

25 The owner of the three lots built a fence on what was assumed as the edge of lot 47. After the  
26 fence was constructed, it was determined the fence was in fact within public open space. To  
27 save the fence in its existing location the applicant determined an adjustment of the owner’s lots  
28 could be made by swapping private land and private open space to public open space. This land  
29 swap does not reduce the amount of public open space within the Three Falls development.  
30  
31

32 Lot 49 is an existing odd shaped parcel with eight sides. With the lot line adjustments to address  
33 the fence issue, lot 49 will be adjusted to have six sides. Any lot with more than five sides needs  
34 an exception recommended by Planning Commission and approved by City Council.  
35

36 **THE PROPOSAL/REQUEST**

37 The developer and property owner have submitted the following proposal which is all reflected  
38 on the attached plat amendment:

- 39 1. The City deeds some of its public open space (by plat amendment) from public open  
40 space to the Owner.
- 41 2. The Three Falls Development deeds private open space (by plat amendment) to the  
42 Owner and to the City.
- 43 3. The Owner and Development deeds property to public open space (by plat  
44 amendment).
- 45 4. The plat amendment will also combine the adjusted lot 47 and lot 48.
- 46 5. The Owner/Development would pay for the plat amendment, combine the lots for the  
47 property owner, and have it recorded with the county.  
48

1 Ryan Robinson said we need the Public Hearing because we're doing a land swap that includes  
2 disposing of public property.

3

4 **STAFF RECOMMENDATION**

5 Jason Judd said the engineer got back to us late and said within the city you can't have a lot with more than  
6 15% of the lot with a slope greater than 25%. He showed on the map the area where if combined, it will be  
7 over that 15%. Due to slope issues exceeding city code, staff recommendation would be to table this until  
8 we can get this worked out. He said on the five-sided lot, staff recommendation is okay on that, but to  
9 make that happen, everything else needs to be figured out first.

10

11 John Mackay said the fence in question is in the aqua blue area. Jason Judd said it is up at the top in the  
12 dashed green area that is causing the slope issue.

13

14 Jason Judd said lots 47 and 48 were combined and a home was built there. He said we are fine with the  
15 sides because we're not counting the frontage. John Mackay asked why we care about lot 49 then. Jason  
16 Judd said because that is where the land swap takes place.

17

18 John MacKay said the issue is that we can't turn a legal lot into a non-conforming lot and that happens  
19 when the slopes are beyond the limits.

20

21 Steve Sorenson, lot owner, asked if the slope issue is on Lot 47 or Lot 49. Jason Judd said it is on Lot 47.  
22 When the lot is combined, it will push it over 15%. Mr. Sorenson asked why we are tabling this when the  
23 home is built. Jason Judd said it doesn't meet our code and we can't approve it. John MaxKay said  
24 anything that doesn't meet code, Planning commission has to recommend denial. It would still go to City  
25 Council but would go with a denial.

26

27 Jason Judd said because we're swapping the lots with public open space, that's why it's at Planning  
28 Commission. Ryan Robinson said this would also have to come through Planning Commission if the land  
29 swap created more than five sides. Jason Judd said correct, and that's lot 49.

30

31 John MacKay said swapping out for the green area adds two more sides to those lots. Jason Judd said  
32 when you're doing the five-sided lot, we don't count the frontage. John MacKay asked what the solutions  
33 are for the grade issue. Jason Judd said he didn't know if there was one. The engineer said they would  
34 look into it and go back out and survey it more, but we're just going off what we have today.

35

36 Susan Whittenburg asked if the survey is all we're waiting for and what is the staff recommendation.  
37 Jason Judd said he reached out to the engineer a week ago and just got his review back today. He said  
38 from all the data now, it doesn't work. It would be going from a 14% grade to 24% overall with the lots  
39 combined. He said he thinks we should table this until we can get this worked out, and it may come back  
40 and not work at all, or it comes back and it's great.

41

42 John MacKay opened the Public Hearing.

43

44 Will Jones, developer, said by accident, open space got fenced into lot 47. He said we don't want  
45 that area anyway because it's steep enough that it's taking a 14% lot and putting it in 20 plus  
46 percent and it's a piece of ground that's not important. He said he can't see how there are more  
47 than five sides on lot 49 because we're giving away ground that would have made it more. He said  
48 that lot is acting as a five-sided lot and we aren't adding more sides to it. Jason Judd said it is a  
49 little over five sides. Will Jones said every lot in Three Falls has more than five sides because they  
50 are large lots and we adjusted them a little bit to not create slope issues; that's why the lines are so

1 jagged. He feels like we can work something out on the slope. He said he feels like when it is  
2 surveyed, they'll be able to come back with a good thing.

3  
4 John MacKay closed the Public Hearing.

5  
6 **MOTION:** Planning Commission member Michelle Schirmer moved to recommend that the proposed  
7 Three Falls Plat H Subdivision be Tabled based on the following:

- 8
- 9 1. An engineers report to make sure that this will fall within the city code, that no more than 15% of
- 10 the lot can be greater than the 25% slope.
- 11 2. Make sure that in the land swap process the city is at least getting even or winning in the process of
- 12 that land swap, that we're getting better, more usable land for the city.
- 13

14 Steve Sorensen said if we're going to do a land swap, the city has to come out better, which they are. He  
15 said the city is ending up with more land in the end. He said it's better for the city; it's more usable land,  
16 it's flat land adjacent to the retention pond.

17  
18 Troy Slade seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

19	<u><b>Ayes:</b></u>	<u><b>Nays:</b></u>	<u><b>Excused:</b></u>
20	Michelle Schirmer		Jeff Davis
21	John MacKay		Greg Butterfield
22	Troy Slade		
23	Alan Macdonald		
24	Susan Whittenburg		

25  
26 **C. Public Hearing: Smooth Canyon Subdivision Phase 2**

27 Applicant: Patterson Homes  
 28 Project Location: Approximately 1000 South 1100 East  
 29 Zoning: CR-20,000 Zone  
 30 Acreage: 13.84 Acres  
 31 Lot Number & Size: 23 lots ranging from 0.46 acres to 0.52 acres  
 32 Request: Approve Preliminary Plan

33  
34 **SUMMARY**

35 The Smooth Canyon Subdivision Phase 2 consists of 23 lots on 13.84 acres, with lots ranging  
36 from 0.46 acres to 0.51 acres in size. The development is located at approximately 1000 South  
37 1100 East, and in the CR 20,000 zone. Based on DCA 4.04.010, Planning Commission is the  
38 Land Use Authority for any Preliminary Subdivision Application. The application is for  
39 preliminary approval.

40  
41 **BACKGROUND**

42 Smooth Canyon Phase 2 is on approximately half of two separate parcels of land which border  
43 Highland City. There are stubbed road connections on both east and west sides of the  
44 development. No connections will be made to Highland City with this development. It is  
45 anticipated that another phase of Smooth Canyon would eventually be developed to the south of  
46 Phase 2.

47  
48  
49

1 **ANALYSIS**

2 *Lot Width, Area, and Shape*

3 The proposed lots meet the minimum requirements for the zone, with the smallest lot being  
4 20,017 square feet or 0.46 acres in size. Lot width requirements for the CR-20,000 zone are 110  
5 feet for a standard lot as measured at the 30-foot front setback line, and 80 feet when lot abuts  
6 upon a cul-de-sac.(DCA 3.04.060). All proposed lots appear to meet the width requirement. As  
7 far as lot shape is concerned, all lots meet the numbers of sides allowed; five or less sides,  
8 excluding the front property line.

9

10 *Use*

11 The developer is proposing that the lots be used for single-unit detached dwellings which is  
12 consistent with the permitted uses for the CR-20,000 zone.

13

14 *Trails*

15 The Trail Master Plan shows a planned trail connection through the property connecting the  
16 Smooth Canyon Park trail system to the trail system on the southeast corner of the City. The  
17 proposed preliminary plan shows trails or trail connections to Smooth Canyon Park and to Forest  
18 Service land to the east.

19

20 *General Plan*

21 The Transportation Master Plan Map (TMPM), as part of the City General Plan, shows a  
22 connection between Alpine City and Highland City south of this location. The proposed plan  
23 complies with the General Plan.

24

25 *Other*

26 The developer will need to provide Alpine Irrigation Company water shares to satisfy the City's  
27 water requirements. The water policy will need to be met before the final plat can be recorded.

28

29 **REVIEWS**

30 **PLANNING AND ZONING DEPARTMENT REVIEW**

31 The analysis section in the body of this report serves as the Planning and Zoning Department  
32 review.

33

34 **LONE PEAK FIRE DEPARTMENT REVIEW**

35 Lone Peak Fire Department will review prior to Commission meeting

36

37 **HORROCKS REVIEW**

38 Horrocks reviewed a previous submittal for this project.

39

40 **ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW**

41 *Streets and Right-of-Way*

42 All frontage is shown to be improved with curb/gutter and sidewalk per Alpine City Standards.  
43 Roadway widths and cul-de-sac also meet city code.  
44 Street grades meet current code with a minimum of 1% slope (DCA 4.07.090.2). The road  
45 grades shown are between 0.50% & 0.94%.

46

47 *Utilities - General*

1 Each utility system will be discussed in more detail below but in general, the development fits  
2 well within the city's adopted master plans; no issues regarding utilities were noted. Horrocks  
3 reviewed and approved a previous submitted plan for culinary water, pressurized irrigation, and  
4 sewer. For culinary waterline sizing, Horrocks had the following comment for the developer to  
5 consider: "Fire flow available in the area surrounding the proposed improvements should be  
6 over 1750 gallons per minute at 20 psi for the proposed lines. If developer wishes to have  
7 greater fire flow for larger homes then water line should be looped to the east or a larger size  
8 installed to Healey Drive on High Bench road."  
9

#### 10 *Utilities – Culinary Water*

11 The subdivision is well below the 5,350-foot elevation, which is the highest elevation the  
12 existing water system can serve and still provide the minimum 40 psi required by ordinance.  
13 The culinary water master plan does not call for the need to upsize any mains within the  
14 development area but as noted in the Horrocks review, if the developer wishes to have greater  
15 fire flow for larger homes (larger than 4,800 sf), lines bigger than 8-inch would need to be  
16 installed. **Staff will work with the developer to see what their desires are in terms of home sizes  
17 for the area.**

18 1-inch laterals with ¾-inch meters are required, and shown, for each new lot.

19 The Fire Chief will review plans prior to Commission meeting and prior to final plan approval.  
20

#### 21 *Utilities – Pressurized Irrigation*

22 Horrocks modeled the site and found no issues regarding the proposed development in terms of  
23 pressurized irrigation. The development can be served by the existing 8-inch main in High  
24 Bench Road. New 1-inch laterals are shown to be installed for each new lot. There is one  
25 existing 2-inch service that will be required to be removed and capped at the main line  
26

#### 27 *Utilities – Stormwater*

28 The storm water system design and drainage report has been submitted, reviewed, and approved.  
29 The storm water system consists of six sumps that will retain the 100-yr (1% Annual Chance)  
30 storm. Each lot within the development will also be required to retain the 80<sup>th</sup> percentile storm  
31 on its lot. All stormwater from this development will be retained onsite.

32 March 1, 2016, the State of Utah implemented into the General MS4 Permit (Small Municipal  
33 Separate Storm Sewer Systems) the requirement of all developments to evaluate Low Impact  
34 Development (aka - LID) for their site. LID is a measure of handling storm water and improving  
35 water quality. LID emphasizes conservation and the use of on-site natural features to protect  
36 water quality. There are many ways to meet the LID requirement. LID can be met by the use of  
37 drainage swales, rainwater harvesting, curb cuts to direct water to smaller local basins, and so on.  
38 The developer shows in the storm water calculations that LID will be implemented at the  
39 building permit level with each new lot retaining the 90<sup>th</sup> percentile storm, which equates to  
40 about a 2-year, 1-hr rainfall event for Alpine City. Recently, the state changed this requirement  
41 from the 90<sup>th</sup> percentile storm to the 80<sup>th</sup> percentile storm event. Retention of the 80<sup>th</sup> percentile  
42 storm is something Alpine is doing for all new homes within the city as required by the State.  
43 This is not just done as a measure of protecting water quality but also helps protect against runoff  
44 from one property to another.  
45

#### 46 *Utilities – Sewer*

47 The development can be served and is shown to connect to the existing 8-inch sewer system in

1 High Bench Road. All lots are shown to gravity flow to that main line. The sewer master plan  
 2 does not show the need to upsize any mains within the development. A new 4-inch sewer lateral  
 3 is shown to be constructed to each new lot.

4  
 5 *Geotechnical Report*

6 The provided geotechnical report covers the standard items required by ordinance. No hazards  
 7 were noted in the report or discovered in the process.

8  
 9 *Hazard Reports*

10 The proposed development does not fall within the Geologic Hazards Overlay Zone or the  
 11 Urban/Wildland Interface and therefore no hazard reports were required of the developer.

12 *Other*

13 There are some minor redlines to correct on the plans.

14  
 15 Ryan Robinson said this subdivision will not connect into the Highland City side. He said we  
 16 are having a Public Hearing on this because it has come back with a few changes. Susan  
 17 Whittenburg said when this came before, we had a lot of pushback from Highland residents and  
 18 asked if the road connecting to Highland City would ever happen. Ryan Robinson said it could  
 19 connect at a later phase in the future if both parties want it, but we're not looking at that now.  
 20 Susan Whittenburg said all the traffic will come down High Bench or Healey Blvd. Ryan  
 21 Robinson said that is correct. Michelle Schirmer sked why two of the lots had a different name.

22  
 23 John MacKay opened the Public Hearing.

24  
 25 Ken Berg, resident and developer, said the entire parcel is controlled by his client, and those two  
 26 lots just got entered under a different name. He said Phase 3 will almost be a mirror of this one,  
 27 just further to the south.

28  
 29 John MacKay asked if there had been any further discussions with the City of Highland? Ken  
 30 Berg said no and the last time we did it, Highland did a study with UDOT with a big road going  
 31 down through. Now Central Utah has bought the gravel pit so that has gone away. He said they  
 32 will just meet Alpine City's Master Plan that says you connect the road.

33  
 34 John MacKay closed the Public Hearing.

35  
 36 Michelle Schirmer said the only thing that seemed undecided was the water with the fire  
 37 suppression system. She asked if this was anything we needed to worry about. Jason Judd said  
 38 staff will work with them on sizing to see if they need sprinklers or not. He said we're still  
 39 working through some of that but are not too concerned about what's there.

40  
 41 **STAFF RECOMMENDATION**

42 Review staff report and findings and make a motion to approve or table the proposed  
 43 subdivision. Findings are outlined below.

44 Findings for a Positive Motion:

- 45 A. The proposed plan complies with the TMPU, TPM, General Plan, design standards and  
 46 ordinances;  
 47 B. There are no geologic hazards of concern;

- C. Utility connections fit well within the master plans for the area
- D. The plan requires no exceptions to ordinance.

**MOTION:** Planning Commission member Susan Whittenburg moved to approve the Preliminary application of Smooth Canyon Phase 2 as proposed.

Troy Slade seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

**Ayes:**

**Nays:**

**Excused:**

- Michelle Schirmer
- John MacKay
- Troy Slade
- Alan Macdonald
- Susan Whittenburg

- Jeff Davis
- Greg Butterfield

**D. Public Hearing: Main Street Plan**

**BACKGROUND INFORMATION:**

The Alpine City Main Street and Gateway Corridors Small Area Plan provide a long-term framework to guide land use, transportation, urban design, and redevelopment along Main Street and the City’s primary gateway corridors. The plan focuses on improving traffic safety, multimodal mobility, and public spaces while preserving Alpine’s small-town character and supporting thoughtful economic development. The Planning Commission has decided to break the plan into sections and provide comments/feedback instead of reviewing the entire plan at once. Another public hearing will be held once the chapters pertaining to the Planning Commission have been reviewed before a recommendation is made to the City Council.

Ryan Robinson explained that we were awarded a grant from (MAG) Mountainland Association of Governments a little over a year ago to create a Small Area Plan. This area encompasses Main Street, and the Gateway Corridor which is Westfield, Alpine Highway, and Canyon Crest. It is a little over a hundred-page document with some great pictures. He said we’ve had a couple of open houses and hired a consultant to help with this. They’ve come multiple times to get feedback with the open houses and surveys with feedback from the residents to see what they want this area to look like.

Ryan Robinson said when most towns develop, they develop a Main Street. Alpine didn’t have that and over the last ten years have been trying to build some standards, so we have something uniform to go off when building Main Street.

Over the last several meetings, the Planning Commission has reviewed the sections of the draft plan that pertains to the Planning Commission and Gateway Historic Committee. The consulting firm gives us three rounds of edits that they will do as part of their contract. Edit one was a steering committee made up of City Council members and residents. The second edit will be taking all the motions to the consultant to review all the edits. Then it will be sent to the City Council for review. They can make some edits before it is sent back to the consultants for one final round of review from them.

1 Ryan Robinson said this is a vision document and is meant to be a planning tool to help the city  
 2 over the duration of this plan. This is to say we've studied and done our homework, and this is  
 3 the direction we want to go in as a community. He said this will not be written code and it can  
 4 be changed and amended. It is just a guiding tool for the Planning Commission and City Council  
 5 as things come in for Main Street and the Gateway area. He said this is not changing zoning or  
 6 changing code, it is just to help with decision making because we now have a vision.

7  
 8 The following motions were made pertaining to each section:

9  
 10 **MOTION:** Planning Commission member Michelle Schirmer moved to recommend Tabling the **Main**  
 11 **Street Corridor Gateway Historic District**  
 12 **Design Standards** until a future compilation, with these conditions:

- 13 1. The building style be defined as Utah Historic Traditional.
- 14 2. Secondary materials be removed, limiting allowed materials to red brick, wood, and black-  
 15 framed windows.

16  
 17  
 18 **MOTION:** Planning Commission member Troy Slade moved to recommend Tabling the  
 19 **Implementation Matrix of the Main Street Gateway Corridor Small Area**  
 20 **Plan**, with the recommendations proposed:

- 21 1. Remove Map Priority View Corridors and replace it with: Preserve  
 22 Open Space and Agricultural Views along Alpine Highway.
- 23 2. Remove the first two lines in the Operations and Safety Section,  
 24 Remove raised median by Mountainville Academy.
- 25 3. Remove construction of a mini roundabout at 1st South and Main  
 26 Street.

27  
 28  
 29 **MOTION:** Planning Commission member Michelle Schirmer moved to Table the  
 30 **Main Street & Gateway Corridor Master Plan: Traffic Management Plan**  
 31 until a future meeting with these recommendations:

- 32 1. Reduce Main Street speed to 25 mph.
- 33 2. Temporary no left turn during school drop off and pick up.
- 34 3. Use temporary bollards instead of a permanent median for traffic safety.
- 35 4. No roundabout at 120 South.
- 36 5. Lower Canyon Crest to 30 mph before adding other traffic calming  
 37 measures.
- 38 6. Prioritize Roundabout at Ridge Drive and Canyon Crest.
- 39 7. Work with UDOT to lower speed on Alpine Highway.

40  
 41 **MOTION:** Planning Commission member John MacKay moved to recommend  
 42 Tabling **the proposed Main 13 Street & Gateway Corridor Master Plan** with  
 43 these recommendations:

- 44 1. Extend the residential area to the southeast area south of the  
 45 roundabout.
- 46 2. Remove any language that identifies mixed use residential/commercial  
 47 in the field. That area should be used as a flex housing area for mixed use  
 48 housing like senior housing, and smaller homes, and extend the area  
 49 farther to the north up to the Art Center.

- 1           3. Preserve agricultural and open space as identified as linear park.  
 2           4. Language not consistent with residential be deleted from the Character  
 3           areas of The Field.  
 4

5           Once the public hearing is again held tonight, any additional recommendations should be  
 6           included in the motion to approve or deny the proposed draft to the City Council. Staff  
 7           will send all the proposed changes to the Consultants for changes before a draft is heard  
 8           by the City Council.  
 9

10           **GENERAL PLAN REFERENCE:**

11           *1. Encourage and maintain a safe, convenient and inviting atmosphere for*  
 12           *pedestrians within commercial areas by applying the Gateway Historic District*  
 13           *Design Guidelines. (Policy 1.4 page 5)*

14           *2. Preserve and beautify the three gateways into the City so that it is clear that you*  
 15           *are entering Alpine. (Policy 1.5 page 5)*

16           *3. Land zoned as B - C (Business Commercial) shall consist of professional office,*  
 17           *retail and other commercial uses serving the community and situated within an*  
 18           *environment which is safe and aesthetically pleasing. Limited residential shall be*  
 19           *permitted as set forth in the Alpine City Development Code. (Policy 2.2 Page 7)*

20           Land zoned as TR - 10,000 (Town Residential – 10,000 square foot minimum lot  
 21           size) shall include the area generally located within the originally settled town  
 22           center of Alpine that is considered appropriate for higher density residential  
 23           development. (Policy 2.3 page 7)

24           *4. Land zoned as CR - 20,000 (Country Residential – 20,000 square foot minimum lot*  
 25           *size) shall include, but is not exclusive to, traditional agricultural land and land*  
 26           *located at a lower elevation that is considered appropriate for medium density*  
 27           *residential development. These areas should provide for the perpetuation of the*  
 28           *rural and open space image of the City. (Policy 2.4 page 7)*

29           *5. Land zoned as CR - 40,000 (Country Residential – 40,000 square foot minimum lot*  
 30           *size) shall include, but is not exclusive to, land generally located around the*  
 31           *periphery of the City center considered appropriate for low density residential*  
 32           *development. These areas should provide for the perpetuation of the rural and*  
 33           *open space image of the City. (Policy 2.5 page 7)*  
 34

35           The Gateway Historic District Overlay Zone should maintain a high character of  
 36           community development by regulating the exterior architecture characteristics of  
 37           structures that are developed in the center of Alpine City (See Gateway Historic  
 38           District Design Guidelines). (Policy 3.1 page 9)

39           *1. Promote safe and efficient traffic circulation by following the Street Master Plan.*  
 40           *Pedestrian safety shall also be a key focus of the traffic circulation plan. (Policy*  
 41           *1.1 page 12)*

42           *2. Promote the use of roundabouts or other traffic flow options to prevent the need*  
 43           *for stop lights therefore maintaining the historic small - town rural atmosphere.*

1 (Policy 1.5 page 12)

2 3. *Seek to attract stable retail businesses that will stimulate economic growth and*  
3 *attract other likeminded businesses to the community.* (Policy 1.2 page 28)

4 4. *Seek to attract new low - impact businesses that fit the character and scale of*  
5 *Alpine City.* (Policy 1.3 page 28)

6 Ryan Robinson said we're grateful to (MAG) Mountainland Association of Governments for  
7 helping fund part of this.

8 John MacKay read through the past four motions with recommendations. He said they went  
9 through the plan on a line-by-line basis and came up with a few things they thought would  
10 enhance the plan.

- 11 1. There was language in there that said, *map priority view corridors* and we suggested  
12 replacing it with, *preserve open space and agricultural views along Alpine Highway.*
- 13 2. The plan recommended a mini-round-about between the current round-about and  
14 Mountainville Academy. We suggested removing that round-about and to remove the  
15 language that asked for a raised median to create a turning lane at the school.
- 16 3. We recommended reducing the speed limit on Main Street to 25 mph.
- 17 4. Create a temporary no left turn during school drop off and pick up.
- 18 5. Use temporary bollards instead of a permanent median for traffic safety.
- 19 6. Lower speed limit on Canyon Crest to 30 mph before adding other traffic calming  
20 measures.
- 21 7. Prioritize round-about at Ridge Crest and Canyon Crest.
- 22 8. Work with UDOT to lower speed on Alpine Highway.

23 John MacKay said the next section is a little more complicated. It has to do with the Gateway  
24 and the Southwest part of town. The plan called for a mixed-use development for the Bangerter  
25 property. He said the vision for that area would be to limit it to residential with no commercial  
26 development there, and to bring that residential status all the way up to the Alpine Art Center and  
27 go into the commercial area from there.

28 John MacKay said because the Bangerter property sits lower than the highway, we want to  
29 preserve the views looking down in that area to create open space and part of that is to have a  
30 nice, landscaped sidewalk linear park along the road. We want to keep any visual impairments  
31 away. Language that's not consistent with residential development be deleted from the character  
32 areas of the field.

33 John MacKay said in the last meeting, we made a few recommendations with regard to the  
34 design standards for the Gateway Historic District.

- 35 1. Define the architecture as Utah Historic Traditional.

1           2. Secondary materials be removed limiting the allowed materials to red brick, wood,  
2           and black framed windows,

3 John MacKay opened the Public Hearing.

4 April Cooper, resident, said she owns a house on Main Street and said she is very interested in  
5 this plan. She said typically years ago people had their house thirty feet back and a driveway in  
6 the front or a garage they would pull into. She said it feels like the city is designing this to put  
7 the parking in the back, which she said is great. She said she grew up in a place called  
8 Georgetown with a lot of town houses and beautiful architecture.

9 April Cooper likes the idea of having the buildings closer to the street, but right now in the town  
10 center you have a fifteen-foot setback, but when you get to Main Street you have a twenty-foot  
11 setback. She said if you have a twenty-foot setback and want parking in the back, it leaves the  
12 building envelope so small then nothing will be able to be done with some of these little homes  
13 on Main Street. She would like to see mixed use be allowed in the same building. Maybe an ice  
14 cream shop or a barber shop on the bottom and a townhouse on top for a twenty-five-year-old  
15 who can't afford a house. She said we allow commercial and residential buildings on the same  
16 lot, but not in the same building. She said she is waiting until the city allows them in the same  
17 building.

18 April Cooper said she would like to see shops or a bakery closer to the street where there is a  
19 door and windows. She said something like the storage units where you enter from the back,  
20 should be pushed further off the road.

21 Laura Cope, resident, said she has an amazing view by Cascade Avenue and asked if that was  
22 going to be blocked at some point. Michelle Schirmer said in the Master Plan this area will  
23 remain residential and not commercial. Laura Cope asked how tall the houses could be. Ryan  
24 Robinson said they would still have to follow the thirty-four-foot height from the average grade.

25 Analisa Thomas, resident, said she owns the property across the street from the city building on  
26 Main Street. She said she would like Main Street to be walkable, cute and with fifteen-foot  
27 setbacks. She said she is in the mixed area and would like to see townhomes above commercial.  
28 She is concerned that retail space might not be able to support itself. The housing would help to  
29 bring in money and to help create this look we want for Main Street to really give it a cute  
30 European downtown look with bakeries and little shops.

31 Catherine Johnston, resident, asked about what the plans were for the Purple factory property.  
32 John MacKay said it is privately owned we will look at the best use that the owners present. He  
33 said we have seen a concept by developers that want to create condominium garages for high end  
34 storage of collectible cars and that sort of thing. Ms. Johnston asked if their garages were not big  
35 enough to store these things. John MacKaysaid that brings up another issue of people building

1 outrageous garages, so it actually meets a need. He said it will be consistent, whatever happens  
2 there, with our new design guidelines.

3 Ms. Johnston asked if it would be open to a Public Hearing because there are a lot of concerns  
4 and wanted to know if there was no better vision for that area. John MacKay said it's a pretty  
5 ugly building that stands there now so we're looking to improve the aesthetics here. Ms.  
6 Johnston asked if we would consider getting outside help from university students coming to  
7 take a look at this and give us different ideas.

8 John MacKay said this property is privately owned. Michelle Schirmer said this has gone to the  
9 City Council and is sitting in their court right now. This would be the proper place to contact  
10 your City Council members and speak with them.

11 Liz Mego, resident, asked for the details of Canyon Crest and the width of the road. Heidi Smith  
12 showed a map of the area showing an example of one idea to have a T in the road. She said the  
13 Planning Commission did not support this idea and instead said they were more leaning towards  
14 the roundabout more. Ms. Mego was concerned about the width of the road. John MacKay said  
15 the pictures are to show the intent to have bike paths and sidewalks that are walkable with three  
16 lanes. One lane for each direction and a turn lane.

17 Ms., Mego said the road is pretty narrow and wanted to know how the city plans to do this.  
18 Michelle Schirmer said the plan is to make a common use path that would be bike and pedestrian  
19 friendly. Ms. Mego wanted to know where the space for this was coming from. John MacKay  
20 said we are not planning that tonight, just gathering ideas. Michelle Schirmer said she had been  
21 told that no land would be requisitioned from the homes there.

22 Karl Naegle, resident, said he supports the roundabout. He said he works in his yard a lot and  
23 said about once a week he hears a crash because that intersection is just terrible. He said that  
24 would slow the traffic down. Mr. Naegle said the new building materials would not match his  
25 home, and John MacKay said Mr. Naegle was not in the Historic area so that wouldn't apply to  
26 him. He asked about the fence along his property and wanted to know if that would be improved  
27 as part of this project. He said he maintains the fence and has put a gate in it but doesn't know if  
28 he owns it. He said he would like to see more details and done the right way. Ryan Robinson  
29 said the design standards will not impact residential uses and are only for commercial.

30 Gary Cooper, resident, asked what this document does and if it changed any zoning. John  
31 MacKay said it is a visioning document and will help us when projects come before us that  
32 require rezoning; we'll say, is this consistent with our vision in the Gateway areas? Mr. Cooper  
33 asked if the Planning Commission had ideas for the area. John MacKay said we don not give  
34 ideas to property owners. Mr. Cooper said his property on Main Street is an eye sore and he told  
35 the city administrator he's on board whenever the neighbors want to do something to make Main  
36 Street look better. He said if we could do something with the setbacks, it would allow for some  
37 progress. John Mackay said the neighbors should get together and come up with what their ideal

1 is and bring it to us. Tell us what changes need to be made in the ordinances to allow something  
2 like that to happen and we'll try to accommodate them. Ryan Robinson said we have a Main  
3 Street Committee that has been very involved with open houses, meetings, and getting feedback  
4 from residents.

5 John Nash, resident, said he's all for improving Alpine but doesn't want to bring additional  
6 traffic into town. He said we already have a lot of traffic on Main Street, and he's concerned  
7 about bringing in new businesses and the traffic that will create. He also asked where people are  
8 going to park if new businesses come in. There's only so much surface area and if there's going  
9 to be a bike lane, a walking path, sidewalk, and three lanes, where are people going to park? He  
10 said that it forces people to park in the neighborhoods, which is not very pleasant when you live  
11 there. He said he has to dart around kids running out and is concerned about safety.

12 John MacKay said the Planning Commission has been working on solutions by recommending  
13 reducing speed limits. Michelle Schirmer said the fifteen-foot setback pulls the commercial a  
14 little bit forward so we can have parking in the back.

15 John MacKay closed the Public Hearing.

16 Troy Slade said he feels like we have been thorough by breaking this up. He said he likes the  
17 way we've approached it and discussed everything and said we have been complete in our  
18 review of the things that we are responsible for.

19 Susan Whittenburg said she is anxious to get this to City Council because they're going to want  
20 to add some things. She said she loved the feedback from our citizens.

21 **MOTION:** Planning Commission member Alan MacDonald moved to recommend approval of  
22 the proposed Main Street & Gateway Corridor Master Plan Draft, incorporating the revisions and  
23 direction previously provided by the Planning Commission as contained in the motions that have  
24 been prepared for us in the staff reports that are a part of the record that we have reviewed  
25 tonight.

26 (From January 20, 2026, Meeting)

27 **MOTION:** Planning Commission member John MacKay moved to recommend  
28 **Tabling the proposed Main 13 Street & Gateway Corridor Master Plan** with  
29 these recommendations:

- 30 1. Extend the residential area to the southeast area south of the  
31 roundabout.
- 32 2. Remove any language that identifies mixed use residential/commercial  
33 in the field. That area should be used as a flex housing area for mixed use  
34 housing like senior housing, and smaller homes, and extend the area  
35 farther to the north up to the Art Center.
- 36 3. Preserve agricultural and open space as identified as linear park.
- 37 4. Language not consistent with residential be deleted from the Character

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(From February 3, 2026, Meeting)

MOTION: Planning Commission member Michelle Schirmer moved to Table the **Main Street & Gateway Corridor Master Plan: Traffic Management Plan** until a future meeting with these recommendations:

- 1. Reduce Main Street speed to 25 mph.
- 2. Temporary no left turn during school drop off and pick up.
- 3. Use temporary bollards instead of a permanent median for traffic safety.
- 4. No roundabout at 120 South.
- 5. Lower Canyon Crest to 30 mph before adding other traffic calming measures.
- 6. Prioritize Roundabout at Ridge Drive and Canyon Crest.
- 7. Work with UDOT to lower speed on Alpine Highway.

(From February 17, 2026, Meeting)

MOTION: Planning Commission member Troy Slade moved to recommend Tabling the **Implementation Matrix of the Main Street Gateway Corridor Small Area Plan**, with the recommendations proposed:

- 1. Remove Map Priority View Corridors and replace it with: Preserve Open Space and Agricultural Views along Alpine Highway.
- 2. Remove the first two lines in the Operations and Safety Section, Remove raised median by Mountainville Academy.
- 3. Remove construction of a mini roundabout at 1st South and Main Street.

(From March 3, 2026, Meeting)

MOTION: Planning Commission member Michelle Schirmer moved to recommend Tabling the **Main Street Corridor Gateway Historic District Design Standards** until a future compilation, with these conditions:

- 1. The building style be defined as Utah Historic Traditional.
- 2. Secondary materials be removed, limiting allowed materials to red brick, wood, and black-framed windows.

Troy Slade seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

**Ayes:**

- Michelle Schirmer
- John MacKay
- Troy Slade
- Alan Macdonald
- Susan Whittenburg

**Nays:**

**Excused:**

- Jeff Davis
- Greg Butterfield

1 **IV. COMMUNICATIONS**

2 Ryan Robinson said Caden Lyon is our new City Planner.  
3 Thanks to Ryan Robinson for being a great Planner, we'll miss you.

4  
5 **V. APPROVAL OF PLANNING COMMISSION MINUTES: March 3, 2026**

6  
7 **MOTION:** Planning Commissioner Troy Slade moved to approve the minutes for March 3, 2026  
8  
9 Michelle Schirmer seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The  
10 motion passed.

11	<b><u>Ayes:</u></b>	<b><u>Nays:</u></b>	<b><u>Excused:</u></b>
12	Michelle Schirmer		Jeff Davis
13	John MacKay		Greg Butterfield
14	Troy Slade		
15	Alan Macdonald		
16	Susan Whittenburg		

17  
18 **MOTION:** Planning Commission member Susan Whittenburg moved to adjourn the meeting.

19  
20 Michelle Schirmer seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The  
21 motion passed.

22	<b><u>Ayes:</u></b>	<b><u>Nays:</u></b>	<b><u>Excused:</u></b>
23	Michelle Schirmer		Jeff Davis
24	John MacKay		Greg Butterfield
25	Troy Slade		
26	Alan Macdonald		
27	Susan Whittenburg		

28  
29 The meeting was adjourned at 7:52 p.m.

ALPINE CITY PLANNING COMMISSION MEETING  
Alpine City Hall, 20 North Main, Alpine, UT  
June 2, 2026

I. GENERAL BUSINESS

A. **Welcome and Roll Call:** The meeting was called to order at 6:00 p.m. by Chair Alan Macdonald. The following were present and constituted a quorum:

Chair: Alan Macdonald

Commission Members: Michelle Schirmer, John MacKay, Troy Slade, Susan Whittenburg

Excused: Jeff Davis, Greg Butterfield

Staff: Caden Lyon, Marla Fox, Jason Judd, Heidi Smith

Others:

B. **Prayer/Opening Comments:** Susan Whittenburg

C. **Pledge of Allegiance:** Troy Slade

II. REPORTS AND PRESENTATIONS

None

III. ACTION ITEMS

A. **Action Item: Review of Five 12 Commercial Site Plan**

Caden Lyon said The Five.12 Commercial Site Plan is proposed for the address of 170 S Main Street in Alpine. The building is to support their ongoing operational needs and provide more space for their non-profit ventures. The design proposed incorporates modern elements as well as more contemporary materials.

The applicant has provided a site plan that overall meets the code requirements for §3.06 Business Commercial Zone and §3.11 Gateway/Historic Zone. There is only a need to adjust the materials slightly from any concrete to the materials that are permitted in the Gateway/Historic Design Guidelines. DCA §4.07, 4.08, and 4.10 have also been evaluated and affirmed compliance.

More details from the applicant:

We are pleased to warmly introduce the construction of a new warehouse addition and parking lot for the Five 12 foundation. Five 12 is a non-profit organization geared to helping feed children. Elementary school students in the United States are going home from school on Friday and coming back to school hungry on Monday. Five 12 provides weekend backpacks full of food for those students in need. This new warehouse will increase the foundation’s capacity to reach more children.

Located at 170 S Main Street Alpine, Ut 84004, a 6000 sq ft building addition and site parking improvements will be added to the lot that already includes the existing Five 12 distribution warehouse. The proposed asphalt parking lot will have 88 regular parking stalls, 4 ADA stalls and an entrance from South Main Street, ensuring easy access to community members and volunteers. From a utilities perspective, a storm drain system and underground storm water holding chamber will be placed

1 underneath the parking lot. A concrete pad for a proposed water tower will be located near that new south  
2 main entrance. Additionally, light poles staged throughout the lot will provide ample lighting.

3 Caden Lyon said staff recommend this proposal be sent to the City Council with a positive  
4 recommendation subject to the condition that the building materials meet the requirement of the Gateway  
5 Historic Design Guidelines and twenty percent of the area be improved with landscape.

6 Alan Macdonald said he is aware of Nick Greer's business and said it is amazing what they do. With  
7 respect to the building, he said he sees materials that are dark and some concrete, white trim work around  
8 the windows, and some wood or wood simulation and asked for more clarification on the materials.

9 Caden Lyon said there is cement fiber siding, which is painted, synthetic wood plank, metal roof, and  
10 stucco. Alan Macdonald asked if there were any samples here tonight to look at. He asked about the off-  
11 street parking ordinance and said the parking was a little unusual and asked about the future building next  
12 to Main Street.

13 Caden Lyon said there is no issue with off-street parking and there is more parking for this building than  
14 is needed.

15 Michelle Schirmer asked when the future building is built, will there be enough parking along with the  
16 twenty percent landscaping. Caden Lyon said he would have to take a better look at their plan to see if it  
17 met the twenty percent landscaping without including the part of the property saved for a future building.

18 Troy Slade said we should look at this for the current building they want to build and see if it meets the  
19 ordinance. Later, if they want to build another building, they will have to meet the ordinance then as  
20 well. As long as the applicant knows that now, they can plan for that in the future.

21 The Planning Commission had a discussion whether the property would have enough parking for all three  
22 buildings. Michelle Schirmer said tonight we are just looking at parking for the original building and the  
23 new building being proposed.

24 JD Heiner, Silver Fox Construction, said as they looked at the future phase, they built the parking for it.  
25 He said this is a warehouse and doesn't have a lot of employees, but they made sure it had ample parking.  
26 On peak nights, there are about seventy volunteers, but a lot of them carpool.

27 Alan Macdonald said whatever they do in the future, it will have to comply with parking and landscaping  
28 requirements. He said tonight, we are just looking at the application in front of us.

29 John MacKay asked if this is one lot or two. Caden Lyon said it is one lot.

30 Michelle Schirmer said we usually have a building built on Main Street with a parking lot in the back. Is  
31 there a way we could put the landscaping along Main Street to buffer the parking area. She is concerned  
32 that a new building may not be built for years.

33 JD Heiner said the city will get a nice-looking building with nice landscaping that will look better than it  
34 looks today.

1 Michelle Schirmer asked if the bollard and chain will remain in place. JD Heiner said for now it will stay  
2 because they need parking for their volunteers and not school traffic. He said they do not want to spend a  
3 lot of money landscaping the open dirt area, but they will keep it maintained.

4 John MacKay said part of the Gateway Historic is to have the area on Main Street look nice. He said  
5 sprinklers will already be there, could they bring them up to Main Street to water grass on that corner or  
6 at least rock it. The Planning Commission had a discussion about wanting Main Street to look good and  
7 agreed with John MacKay to at least landscape a fifteen-foot-wide greenbelt.

8 Alan Macdonald said the Planning Commissions job is to apply the Gateway Historic Guidelines. He  
9 read what the design criteria are, with building materials, street scaping, landscaping, etc. He said the  
10 proposal as it currently exists calls for cement fiber painted, synthetic wood panels, and metal roof siding.  
11 He said his issue is that the primary building materials that are encouraged are stone, brick, wood or  
12 stucco and this building doesn't seem to be using those materials.

13 JD Heiner said they are not married to this design and if the city wants brick, they can add brick. They  
14 were just looking at materials that don't need a lot of maintenance. He said they are flexible and will take  
15 another look at the materials. Alan Macdonald said we are looking in the near future to use red brick,  
16 wood accents, black framed windows, with some architectural elements to look a little more traditional to  
17 compliment Alpine. He said it might be worthwhile to look at those materials because when they come  
18 back to build the future building, these guidelines should be in place, and they may want both buildings to  
19 be cohesive.

20 Susan Whittenburg said this is right on Main Street and we want it to look good. JD Heiner said this is a  
21 warehouse so it's a balancing act to make it look good and be cost effective. Alan Macdonald said this is  
22 a unique application because you are choosing to build a warehouse on Main Street and it still needs to  
23 meet the guidelines. He said we don't have an industrial area or any other place this would go.

24 Susan Whittenburg asked if the applicant could bring back samples of the building materials.

25 **MOTION:** Planning Commission member John MacKay moved to table the proposed site plan for the new  
26 Five 12 building at 170 S Main Street and asked the applicant to revise the design incorporating the  
27 following:

- 28
- 29 1. Modify building materials to meet the Gateway Historic Design Guidelines with those being  
30 the use of stone, brick, wood or stucco.
  - 31 2. Modify the future building site on Main Street to reflect a fifteen-foot setback landscaping  
32 concept that would be used during an interim period.
- 33

34 Troy Slade seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

35 **Ayes:**

36 Michelle Schirmer  
37 John MacKay  
38 Troy Slade  
39 Alan Macdonald  
40 Susan Whittenburg

35 **Nays:**

36

35 **Excused:**

36 Jeff Davis  
37 Greg Butterfield

41  
42 **IV. COMMUNICATIONS**

1 Alan Macdonald said as we work on the small area design, we will tighten it up as we go along. We've  
2 talked about an architectural concept of Utah Traditional and maybe we could work with an architect to  
3 come up with the right language. He said we could build a file with pictures of buildings we think would  
4 fit this image. He showed some slides of examples of buildings that may be on the right track with the red  
5 brick and some architectural design details with black window package, awnings and overhangs on the  
6 doors and windows.

7  
8 Caden Lyon said the small area plan is a guiding document and an ordinance would need to be put in place  
9 with specifics.

10  
11 **V. APPROVAL OF PLANNING COMMISSION MINUTES: May 5, 2026**

12  
13 **MOTION:** Planning Commissioner Michelle Schirmer moved to approve the minutes for May 5, 2026

14  
15 Susan Whittenburg seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion  
16 passed.

<p>17 18 <b><u>Ayes:</u></b> 19 Michelle Schirmer 20 John MacKay 21 Troy Slade 22 Alan Macdonald 23 Susan Whittenburg</p>	<p>18 <b><u>Nays:</u></b></p>	<p>18 <b><u>Excused:</u></b> 19 Jeff Davis 20 Greg Butterfield</p>
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24  
25 **MOTION:** Planning Commission member Susan Whittenburg moved to adjourn the meeting.

26  
27 Troy Slade seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

<p>28 <b><u>Ayes:</u></b> 29 Michelle Schirmer 30 John MacKay 31 Troy Slade 32 Alan Macdonald 33 Susan Whittenburg</p>	<p>28 <b><u>Nays:</u></b></p>	<p>28 <b><u>Excused:</u></b> 29 Jeff Davis 30 Greg Butterfield</p>
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34  
35 The meeting was adjourned at 7:22 p.m.

1 **ALPINE CITY PLANNING COMMISSION / CITY COUNCIL WORK SESSION**  
2 **Alpine City Hall, 20 North Main, Alpine, UT**  
3 **June 3, 2026**

4  
5 **I. GENERAL BUSINESS**

6  
7 **A. Welcome and Roll Call:** The meeting was called to order at 3:00 p.m. by Planning  
8 Commission Chair Alan Macdonald. The following were present and constituted a quorum:  
9

10 City Council Members: Chrissy Hanneman, Andrew Young, and Jessica Smuin on Zoom

11 Planning Commission Chair: Alan Macdonald

12 Planning Commission Members: Michelle Schirmer, John MacKay

13 Staff: Shane Sorensen, Caden Lyon, Marla Fox

14  
15 Others: Chad Littlewood, Chase Hatheway, Seth Jones, Preston Reading, Ryan

16  
17 **III. ACTION ITEM**

18  
19 **A. Action Item: Finalization of Alpine Fire Station Addition/Remodel Exterior Design**

20 Alan Macdonald opened the meeting and said the Planning Commission would like to see some changes  
21 made to the design of the Fire Station.  
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23 Shane Sorensen said the site plan was approved by the City Council for the fire station with these conditions:  
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- 25 1. A landscape plan will be provided before installation.
- 26 2. The exception to the setbacks for parking be allowed.
- 27 3. The exterior design be reconfigured in congruence with the Planning Commission and the Main  
28 Street Guidelines.  
29

30 Sirq said they carry a contingency for changes that are included in the bid. This is the city's building so  
31 now is the time to make those changes. He said their hope is to come to a conclusion so they can get started.  
32 If square footage is removed, then the price can go down, but if it is a change order, the price never goes  
33 down and is just the nature of the process.  
34

35 Shane Sorensen said the mayor said there's been some concern expressed by a donor about design changes  
36 being made. The donor has committed \$250,000 based on the design that was presented to him, and he  
37 doesn't like the proposed changes.  
38

39 Jessica Smuin said those changes were the iterations to this final design that we are all leaning into and  
40 were iterative and not for public consumption and part of a process to get to where we were today. She  
41 said she's not sure the donor has seen our latest iterations. Chrissy Hanneman said we had the design option  
42 in the agenda and it was public and what we looked at, to clarify.  
43

44 Alan Macdonald said subject to timeline, the contracting process, and the desire not to disrupt the  
45 guaranteed matching price GMP, our suggestions were based on the likely forward look of a more  
46 traditional red brick type style building in Alpine. We would have liked to see more red brick on the fire  
47 station. He said what we don't know is if there's less stucco and more brick, does that change the timeline  
48 and the contracting process. Michelle Schirmer said the faux wood has come up again in the Five 12  
49 building and that's where you're putting the Planning Commission in a hard spot because with the current  
50 guidelines, faux wood is not allowed, and in future guidelines they'll be even tighter. If the city uses faux  
51 wood, then everybody is going to want to start using it.

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2 Alan Macdonald said he saw an iteration from Sarah Blackwell along the lines of what Planning  
3 Commission would like to see. He said it boils down to the use of more traditional materials in a more  
4 architecturally attractive application and asked if we could make changes without it costing more money  
5 and stay on time. John MacKay said he anticipates that our ordinance for the Main Street small area is  
6 going to get more rigorous, not less. He said it is very difficult because we have applicants coming in that  
7 we want to point in the right direction.  
8

9 Chrissy Hanneman said it will put the city in a difficult position if we allow the faux wood on our own  
10 building, but not future buildings by others.  
11

12 Alan Macdonald said we are just trying to firm things up going forward. He said he would like to make  
13 some changes now to give the fire station a timeless look. Chrissy Hanneman said there is no way to make  
14 a change order and not incur charges.  
15

16 Jessica Smuin said faux wood is \$65 a square ft and the brick veneer is \$24 a square foot. Alan Macdonald  
17 said the brick is about a third of the cost.  
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19 Chad Littlewood said the GMP gets frozen in time and the change order costs or credits get added later.  
20 The risk you take is that is no longer a competitive market, but the entire GMP will not be looked at, just  
21 the part you are changing. Sirq said there is a contingency fund included in the cost that could be used for  
22 the change order.  
23

24 Sirq said we need to look at timeline changes. If you build in the winter, cost could accrue, and asphalt  
25 needs to be laid.  
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27 Chad Littlewood said his timeline depends on the changes, because plans need to be revised and he doesn't  
28 know how long that will take.  
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30 Chrissy Hanneman said if this is going to be overly timely or overly costly, we can't go in this direction.  
31 Sirq said their concern is to get the asphalt laid. Jessica Smuin said there won't be any changes in the  
32 concrete.  
33

34 Caden Lyon showed a picture of the fire station showing more red brick, black window trim and a change  
35 to the roof. Chad Littlewood said they were required to use a thin brick. He said he would recommend a  
36 heavier brick which would increase the depth of the walls and need structural ledgers on the windows. If  
37 you went with the thin brick, the plan could stay as it is. The reason we went with a thin brick on the  
38 community center is because of the swing of the door.  
39

40 Jessica Smuin asked if the public would see a difference if we used both the thin veneer and the thicker  
41 brick in certain areas. Chad Littlewood showed a rendering showing brick where the faux wood previously  
42 was. He said we could use the faux brick above the garage bay doors. The gable entrance would be an  
43 easy place to use the brick but that would change the structure.  
44

45 Alan Macdonald, John MacKay, and Michelle Schirmer said they liked the brick and would like to see it  
46 go up higher in the columns by the bay doors, across the top of the bay doors, and if possible, in the top of  
47 the gable front. Chad Littlewood suggested a concrete precast ledge over the windows for architectural  
48 interest. Alan Macdonald asked if we could add brick on the west gable above the door.  
49

1 Caden Lyon showed an image of the entrance to City Hall to show the windows. This look is less heavy  
2 and bulky. Chad Littlewood said he would have to play with that and see what he could come up with. He  
3 said if you brick that whole west gable area, it has the look of an LDS church.  
4

5 Andrew Young asked if we changed the faux wood to natural wood, would that change the Planning  
6 Commission's mind or satisfy the guidelines. He asked if the brick veneer met the guidelines.  
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8 Chad Littlewood asked what the guidelines say about existing buildings. He said two thirds of this building  
9 is already stucco. Alan Macdonald said we don't have a problem with the stucco; we just would like to see  
10 as much brick as we can get.  
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12 Chad Littlewood said if we make these changes and change to the thicker brick, he feels confident in a  
13 twenty-one-day timeframe to make the design changes. Sirq said this is probably a six-week adjustment.  
14

15 Jessica Smuin asked if we could use the brick veneer instead of the thicker brick to save time and money.  
16 Alan Macdonald said we want this to last for fifty years. He said he is fine with a mix of brick and stucco.  
17 Andrew Young asked if we could see three different variations showing one with wood, one with more  
18 brick and one with a combination of the two. Jessica Smuin said she leans to the Alpine Historic look  
19 which would be gables, brick and natural materials.  
20

21 Chad Littlewood showed different renderings of the fire station and what they would look like with these  
22 three options. The Commissioners and Council members had a discussion about what they liked and tried  
23 to come up with a compromise. Andrew Young said he is in favor of keeping wood to satisfy the donor.  
24 He said it should be real wood. Sirq said real wood would be expensive and have a lot of upkeep.  
25

26 Chad Littlewood asked if we are keeping the white window trim or changing to black. Jessica Smuin said  
27 she would like to follow Sarah Blackwells design and keep the black window trim and white fascia. Chad  
28 Littlewood said he wants this decided because he doesn't want to have a meeting every time a decision is  
29 made by the builder.  
30

31 Chad Littlewood said the least impactful is the first option which is what is in the bid set. Number four  
32 where we keep the shed roof but add more brick would be next least expensive. The third would be the  
33 option with real wood. And number two, the most expensive one, would be the option with the most brick,  
34 which the Planning Commission and Sarah Blackwell like the most.  
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36 These options will be discussed at the next City Council meeting.  
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38 The meeting was adjourned at 5:12 p.m.