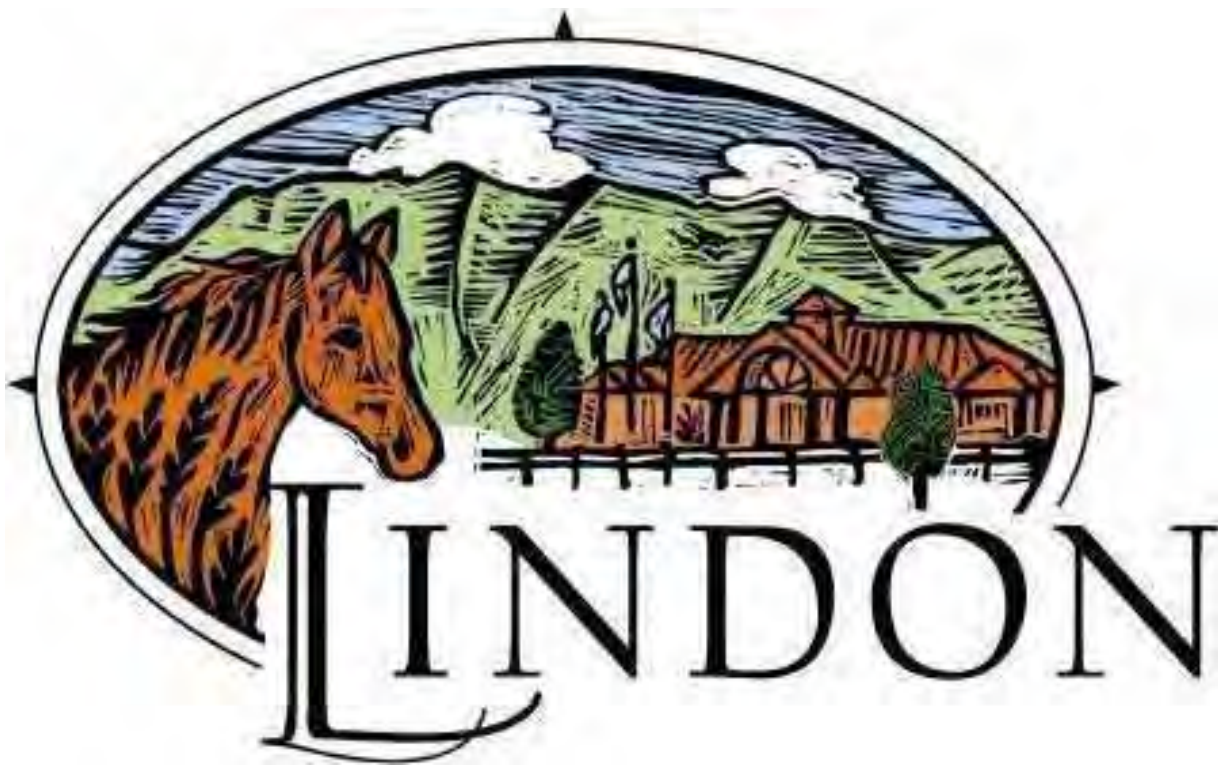


Lindon City Planning Commission Staff Report



June 09, 2026

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, June 09, 2026**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **6:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. Meetings are broadcast live at www.youtube.com/LindonCity. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order

2. Approval of minutes - Planning Commission 05/26/2026

3. Public Comment

4. Conditional Use Permit – D/R Programming Car Solution

Jhon Duran with D/R Programming Car Solution is requesting a conditional use permit to operate an auto servicing business specializing in vehicle diagnostics, programming, and calibration services. (15 minutes)

5. Site Plan Approval – Battle Creek Plaza

Troy Dana with Westland Development is requesting site plan approval to develop four office/warehouse buildings totaling 53,509 square feet. (15 minutes)

6. Major Subdivision – Battle Creek Plaza

Troy Dana with Westland Development is requesting preliminary major subdivision approval to subdivide the property into two lots and 56 commercial condominium units encompassing four office/warehouse buildings. (15 minutes)

7. Public Hearing – Subdivision Ordinance Amendment

Lindon City is proposing to amend ordinance §17.32.090 to modify the requirement that a lot cannot be more than three (3) times as long as it is wide. (15 minutes)

8. Community Development Director Report - General City Updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Community Development Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindon.gov. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Britni Laidler at 785-1971, giving at least 24 hours' notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindon.gov websites.

**The duration of each agenda item is approximate only*

Posted By: Britni Laidler, City Recorder

Date: 06/05/2026 **Time:** 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Notice of Meeting
Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Karen Danielson
Ryan Done

2 The Lindon City Planning Commission held a regularly scheduled meeting on Tuesday, May 26,
2026 beginning at 6:00 p.m. at the Lindon City Center, City Council Chambers, 100 North State
4 Street, Lindon, Utah.

REGULAR SESSION – 6:00 P.M.

6 Conducting: Rob Kallas, Chairperson
8 Invocation: Ryan Done, Commissioner
Pledge of Allegiance: Karen Danielson, Commissioner

PRESENT

12 Rob Kallas, Chairperson
Sharon Call, Commissioner
14 Mike Marchbanks, Commissioner
Karen Danielson, Commissioner
16 Ryan Done, Alternate Commissioner
Michael Florence, Community Dev. Director
18 Brittany Wilde, City Planner
Whitney Hatfield, Deputy Recorder
20 Aubrie Ivie, Deputy Recorder

EXCUSED

Brian Haws, City Attorney
Steve Johnson, Commissioner
Jared Schauers, Commissioner
Scott Thompson, Commissioner

22 **1. CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

24 **2. APPROVAL OF MINUTES** –The minutes of the regular meeting of the Planning
Commission meeting of May 12, 2026, were reviewed.

26 COMMISSIONER DANIELSON MOVED TO APPROVE THE MINUTES OF THE
REGULAR MEETING OF MAY 12, 2026 AS PRESENTED. COMMISSIONER DONE
28 SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

30 **3. PUBLIC COMMENT** – Chairperson Kallas called for comments from any audience
member who wishes to address any issue not listed as an agenda item. There were no
public comments.

32 **CURRENT BUSINESS** –

34 **4. Minor Subdivision Lindon - Harbor Industrial Park** Deny Farnworth is proposing a
minor subdivision to divide the property located at 1283 W 300 S into two (2) lots.

36 COMMISSIONER MARCHBANKS MOVED TO POSTPONE AGENDA ITEM #4:
MINOR SUBDIVISION – LINDON HARBOR INDUSTRIAL PARK, UNTIL THE MEETING
ON JUNE 23, 2026. COMMISSIONER CALL SECONDED THE MOTION. ALL PRESENT
38 VOTED IN FAVOR. THE MOTION CARRIED.

2 **5. Public Hearing - Lindon City Development Manual Amendment** Lindon City is
3 proposing an amendment to development standard 8a for standard cul-de-sacs to bring
4 the design standard into compliance with the International Fire Code.

5 Community Development Director, Michael Florence, presented a proposed amendment
6 to Development Standard 8a, which governs cul-de-sac turnaround design. The amendment
7 would bring Lindon City's standard into compliance with the International Fire Code (IFC),
8 which requires a minimum 56-foot radius for cul-de-sac turnarounds. The current Lindon City
9 standard calls for a 50-foot outside radius (47-foot interior radius), resulting in a cul-de-sac
10 approximately 100 feet across from back of sidewalk to back of sidewalk. The new standard
11 would produce a 96-foot face-of-curb-to-face-of-curb dimension, with a 112-foot total right-of-
12 way section.

13 Director Florence noted that Orem City, which provides fire and emergency services to
14 Lindon under contract, initiated this conversation and that the increased dimensions are driven by
15 the growing size of modern fire apparatus. The amendment would affect both the development
16 manual drawing and Lindon City Code Section 17.32.110, Subsection 7. A typographical error in
17 the draft ordinance referencing "50-foot" was identified and confirmed to be corrected to read
18 "56-foot."

19 Commissioners raised several questions during the discussion. Commissioner
20 Marchbanks asked whether the larger bulb size could render some properties undevelopable,
21 particularly in smaller subdivisions. Director Florence acknowledged this was possible but noted
22 that no active applications would currently be affected, and that the Home Builders Association
23 had been informed. Chairperson Kallas asked whether a variance could be granted on lot size in
24 cases of hardship. Director Florence clarified that the fire code minimum is a mandatory
25 standard, but that alternative turnaround configurations listed in the IFC—such as
26 hammerheads—could potentially be considered for specific situations. Commissioner Call
27 confirmed that the 56-foot standard is consistent with what other municipalities following the
28 IFC are required to implement.

29 Director Florence also noted that Mayor Lundberg has expressed interest in separately
30 reviewing the city's 650-foot maximum cul-de-sac length standard, as many comparable cities
31 allow lengths of 850 to 1,000 feet. This item was not noticed for this meeting and would be
32 brought forward in a future meeting.

33 **COMMISSIONER CALL MOVED TO OPEN THE PUBLIC HEARING.**
34 **COMMISSIONER DANIELSON SECONDED THE MOTION. THE MOTION CARRIED.**

35 Chairperson Kallas asked if anyone wished to speak. Hearing none, he called for a
36 motion to close the public hearing.

37 **COMMISSIONER DONE MOVED TO CLOSE THE PUBLIC HEARING.**
38 **COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE MOTION CARRIED.**
39 **COMMISSIONER DONE MOVED TO CLOSE THE PUBLIC HEARING.**
40 **COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE MOTION CARRIED.**

2 Chairperson Kallas asked for any further comments or discussion from the Commission.
Hearing none, he called for a motion.

4
6 COMMISSIONER CALL MOVED TO APPROVE OF ORDINANCE AMENDMENT
2026-10-O AS PRESENTED. COMMISSIONER DANIELSON SECONDED THE MOTION.
THE VOTE WAS RECORDED AS FOLLOWS:

8 CHAIRPERSON KALLAS AYE

COMMISSIONER CALL AYE

10 COMMISSIONER DONE AYE

COMMISSIONER DANIELSON AYE

12 COMMISSIONER MARCHBANKS AYE

THE MOTION CARRIED UNANIMOUSLY.

14
16 **6. Community Development Director Report**

- Upcoming agenda items
- General City Updates

18
20 **ADJOURN** –

22 COMMISSIONER DANIELSON MOVED TO ADJOURN THE MEETING AT 6:31
PM. COMMISSIONER CALL SECONDED THE MOTION. ALL PRESENT VOTED IN
FAVOR. THE MOTION CARRIED.

24
26 Approved, June 9, 2026

28
30 _____
Rob Kallas, Chairperson

32
34
36 _____
Michael Florence, Community Development Director

Item 4: D/R Programing Car Solutions, LLC – Conditional Use Permit

Date: June 09, 2026
Applicant: Jhon Duran
Presenting Staff: Brittany Wilde

General Plan: Mixed Commercial
Current Zone: Mixed Commercial

Property Owner: MS Business Properties Group 1, LLC
Address: 525 N Geneva Rd
Parcel ID: 14:064:0068
Lot Size: 1.0586 acre

Type of Decision: Administrative
Council Action Required: No



SUMMARY OF KEY ISSUES

The applicant is requesting a conditional use permit to operate an auto servicing business specializing in vehicle diagnostics, programming, and calibration services.

OVERVIEW

1. The applicant requests conditional use permit approval to operate an auto servicing business at 525 N Geneva Rd. The standard land use table requires that businesses doing auto servicing in the Mixed Commercial zone obtain a conditional use permit.
2. All work on the vehicles will be done entirely indoors with the outdoor space used only for employee and customer parking or temporary storage of the vehicles that are waiting to be serviced.

MOTION

I move to (*approve, deny, continue*) the applicant's request for a conditional use permit to use the property located at 525 N Geneva Rd for an auto servicing business, with the following conditions:

1. Vehicles may not be stored outdoors for longer than 72 hours unless the owner is waiting on delivery of parts;
2. No vehicle parts will be stored outside of the building;
3. No parking of vehicles waiting to be serviced or for pick-up in UDOT right of way;
4. If the applicant business includes changing fluid, the applicant will submit a fluid waste storage and management plan;
5. The applicant will comply with all the Mixed Commercial Special Provisions requirements found in section 17.50.120 of the Lindon City Code; and
6. All items of the staff report.

SURROUNDING ZONING AND LAND USE

North: Mixed Commercial – Warehouse/Office space

East: Mixed Commercial – Warehouse/Office space

South: Light Industrial – Warehouse/Office space

West: Anderson Farms Planned Development – Vacant lot

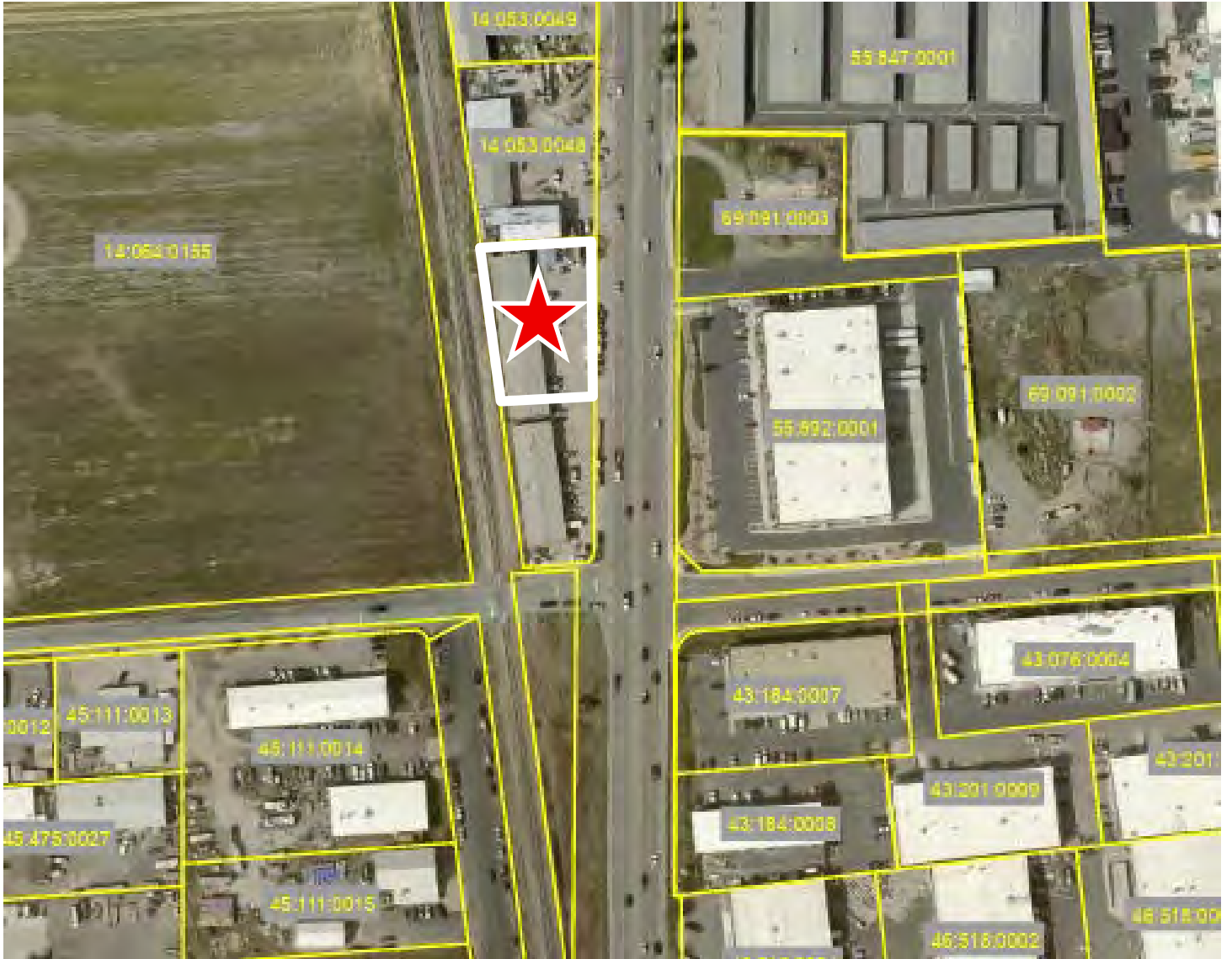
STAFF ANALYSIS

City Staff find that this business will have a minimal impact on surrounding properties and will be compatible with other uses in the Mixed Commercial zone.

EXHIBITS

1. Aerial Image

Exhibit 1: Aerial Image



Item 5: Site Plan Approval – Battle Creek Plaza

Date: June 09, 2026

Applicant: Troy Dana
Presenting Staff: Brittany Wilde

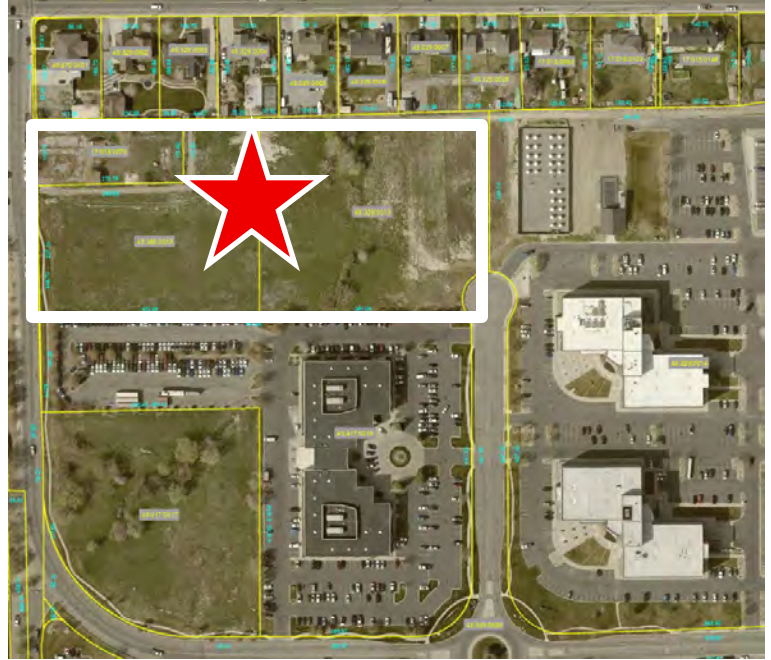
General Plan: Flex Commercial
Current Zone: Regional Commercial

Property Owner: Battle Creek Plaza LLC

Address: 231 S 800 W, 345 S 800 W, 338 S 670 W

Parcel ID: 17:015:0076, 45:386:0015, 45:329:0013

Type of Decision: Administrative
Council Action Required: No
Project #: 26-021-2



SUMMARY OF KEY ISSUES

1. The applicant is requesting site plan approval for a proposed 92,600-square-foot office and warehouse development consisting of four buildings.

OVERVIEW

- The city council amended the general plan and zoning on September 16, 2025.
- The planning commission and city council approved an amended development agreement for this development on April 20, 2026. The development agreement helps to guide the site development and building design for the project.

MOTION

I move to (*approve, deny, or continue*) the applicant's request for site plan approval for the property located at 231 S 800 W, 345 S 800 W, 338 S 670 W with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering plans;
2. The plans will meet zoning and development specifications as found in the Lindon City Development Manual;
3. Mechanical equipment on the ground or roof will be screened;
4. Final building and site design will meet the requirements of the Regional Commercial zone, applicable development requirements as found in Title 17 of the Lindon City Code, and adopted development agreement;
5. All items of the staff report.

Surrounding Zoning Designations and Land Use

North: R1-20 – Single Family Housing

East: Research & Business (RB) – Office building

South: Research & Business (RB) – Office building

West: Light Industrial – Steel manufacturing plant

Site Development Standards

Parking

Parking standards are based on uses in the building and their respective square footage.

Office use: 1 stall per 350 square feet

Warehouse use: 1 stall per 500 square feet

Required	Provided	Compliant?
211	319	Yes
Drive isle 24' width	26'	Yes
Bicycle parking, 9 required	16	Yes

Landscaping Standards

Landscaping standards are based on the zone and the number of parking stalls.

Interior Parking Lot Landscaping Standards	Compliant?
A parking lot with 10 or more required parking spaces shall provide at least 40 sq. ft. of interior landscaped area for each parking space. 40 x 319 = 12,760 sq ft required.	Yes – 13,167 sq ft
The landscape materials shall consist of at least 75% living vegetation and 25% of xeriscape materials.	Yes
Trees must be installed within the interior parking lot landscaping areas at a ratio of 1 tree for every 10 required parking stalls.	Unsure; Staff noted this requirement on the plan review, as it was not included in the original submittal

Required Site Landscaping	Provided	Compliant?
A landscape strip 16'-20' in width from the back of the sidewalk.	Ranges from 26'-36'	Yes
70% plant coverage/30% mulch	Not Provided	No, but appears to meet the percentage. Staff noted this requirement on the plan review. The site plan shows landscaping around the buildings but the landscape plan does not. Landscaping will need to be added.
Trees must be planted every 30 ft on center along public street frontages	One or two trees need to be added to the frontage	No; Staff noted this requirement on the plans review

Other Site Requirements

Site requirements are based on the development standards for the indicated zone

Requirements	Provided	Compliant?
Minimum Lot Size of Zone is 20,000 sq ft	6.8333 acres	Yes
Building Setback <ul style="list-style-type: none"> • Front: 30' • Rear: 30' • Side: 30' • Side 30' 	The building is a minimum of 30' from each property line.	Yes
Building Height: 80'	35'	Yes

Traffic Conditions

The development will be served by two access points from the public street.

Building Design and Architectural Standards

Architectural Design

Design Element	Design Standard Requirement	Proposed Design Element
Façade Articulation	Buildings over 20,000 sq ft shall have multiple bays and facades that articulate every 50'. Building articulation is important to visually engage the populace. This can be accomplished through façade modulation, use of engaged columns or other expressions of the structural system, horizontal and vertical divisions through differing textures and materials.	The developer has proposed multiple individual tenant spaces that divide the building into modules. The 50' façade articulation requirement has been met. There is a change in materials, window and door fenestration, and colors and vertical divisions with the canopies
Façade Articulation	Avoid flat looking walls/façades and large, boxy buildings. Break up the flat front effect by introducing projecting elements such as wings, porticos, bay windows, trellises, pergolas, port-cocheres, awnings, recessed balconies and/or alcoves, cornices, or other offsets, changes in plane, and changes in height. Staggered bays will also contribute to a greater definition of a façade.	The facades do include canopies over the entrances and upper windows. The corner entrance canopies and windows wrap the two corners of the building.
Buffer zone	Buffer between commercial and residential properties Landscaped area between residential and commercial property	A minimum seven-foot wall will be constructed as noted on the plans and in the development agreement Residential property boundary will be landscaped. Both sides of the trail will also be landscaped where applicable. Trees will be planted every thirty feet along the length of buildings A and C.
Building Orientation	Orient buildings to the main street	Buildings A and B have the west building entrances oriented to 800 W. to meet architectural requirements of Lindon City Code §17.54.050 and the development agreement
Roof Variation	Variation in rooflines is appropriate through the use of dormer windows, overhangs, arches, stepped roofs, gables or similar devices.	The building includes "pop-ups" on the roofline for each tenant space with a decorative cornice treatment.
Building Lighting	Photometric study ensures no light trespass or spill over into the residential neighborhood	The study shows that there is a small amount of light at the property line that comes from the north elevations of buildings A and C. This may be

		blocked by the wall and trees separating the commercial and residential. City staff have asked for additional information from the engineer.
Building Materials	Concrete tilt up construction is permitted when stamped, stained, or textured panels are used to add character and appeal to the building; wainscot is also recommended to break up the façade; use change of color or change of material to break up large walls of cement; plain cement panels without decorative features are not permitted; windows can also be used to add character and break up the wall area.	The applicant is proposing concrete tilt-up buildings. Architectural features will consist of glass storefront windows, a board form texture pressed into the concrete, metal canopies, and a wood texture pressed into the concrete and brick entry.
Color	Avoid large areas of the same color and/or materials with no relief. Conversely, avoid the use of too many materials and/or colors, which may create busy or incongruous façades. Earth tones are generally preferred over harsh or loud colors, except where more vibrant colors are used as accents to the primary colors.	The applicant is proposing four different color variations. The four colors meet the Lindon Color Palette.
Building Entry	Building entries shall have one (1) or more of the following treatments: canopy, overhang, awning or arch; recesses or projections in the building façade including display windows surrounding the entrance; peaked roof or raised parapet structures over the door.	Each entry has a canopy above the entry door.
Windows	The ground floor of the primary façade shall be sixty percent (60%) fenestration at the pedestrian level.	The south and west primary facades meet the minimum 60% window and door fenestration requirement. Clerestory windows will be located on the north elevations of buildings A and C
Exterior Trim and Decorative Detailing	Some form of detailing or fenestration should be used every fifteen feet (15') to twenty-five feet (25') along each side of small building (every thirty feet (30') to forty feet (40') for large buildings). Windows, doors, art or architectural detailing at the first floor level are all options for a blank wall.	The design has both window fenestration every 15 feet, changes in materials, and canopies. No overhead doors to be installed on the north elevations of Building A and C. All overhead doors are required to be constructed of glass to increase the architectural design.
Roofing	Use no more than two (2) roof types in a single structure; i.e., a primary and secondary roof type. Variations in rooflines through dormer windows, overhangs, arches, stepped roofs, gables or other similar devices promote visual interest.	One roof type Pop-ups for each tenant space

	Parapets require cornice treatments.	Decorative cornice treatment
Mechanical and service areas	<p>Mechanical, electrical, and communications equipment such as heating and cooling units, transformers, control boxes, and antennas should not be located on primary façades.</p> <p>Rooftop mechanical units are desirable where possible and should be screened from view with integrated architectural elements (walls, parapets, etc.).</p> <p>Ground mechanical units must be screened from view with wing walls, landscaping, or a combination of both. Appropriate vegetative buffers shall be placed to screen and buffer all utility boxes and pedestals.</p> <p>Meters, stacks, and service pipes should be located conveniently for service and use, but not on primary façades.</p> <p>Loading docks should be located near parking facilities, in alley ways or private drive aisles, and designed or screened in a way that minimizes their visual impact.</p>	<p>Staff has made it a condition of approval that all mechanical areas whether on the ground or roof need to be screened</p> <p>There are no proposed loading docks on the plans.</p>
Outdoor Storage	Outdoor storage is not permitted between the north elevation of buildings A and C	There is no proposed outdoor storage provided on the plans. This area will be landscaped.

Engineering Requirements

The City Engineer is working through technical issues related to the civil engineering plans and will ensure all engineering related issues are resolved before final approval is granted.

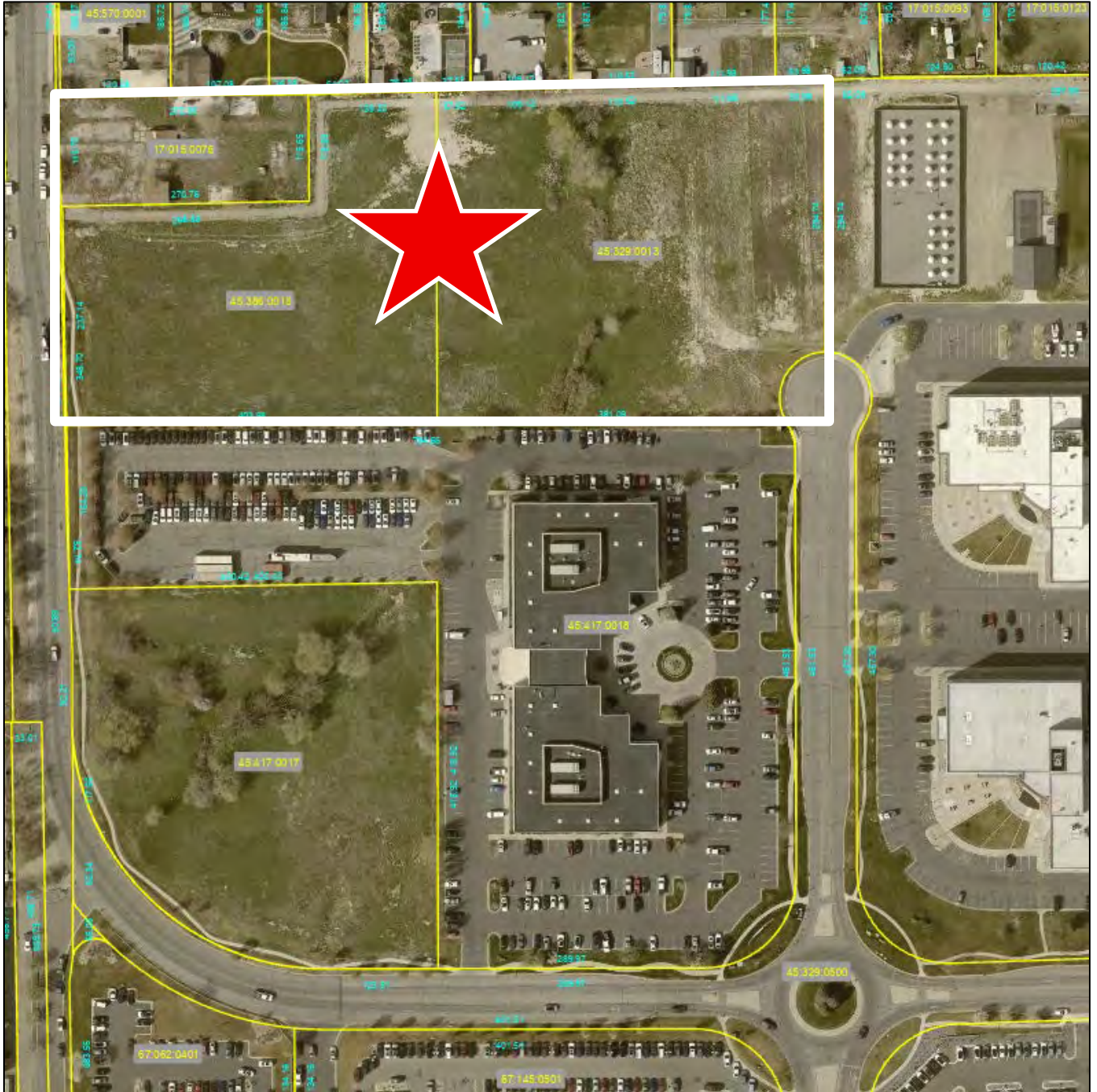
Staff Analysis

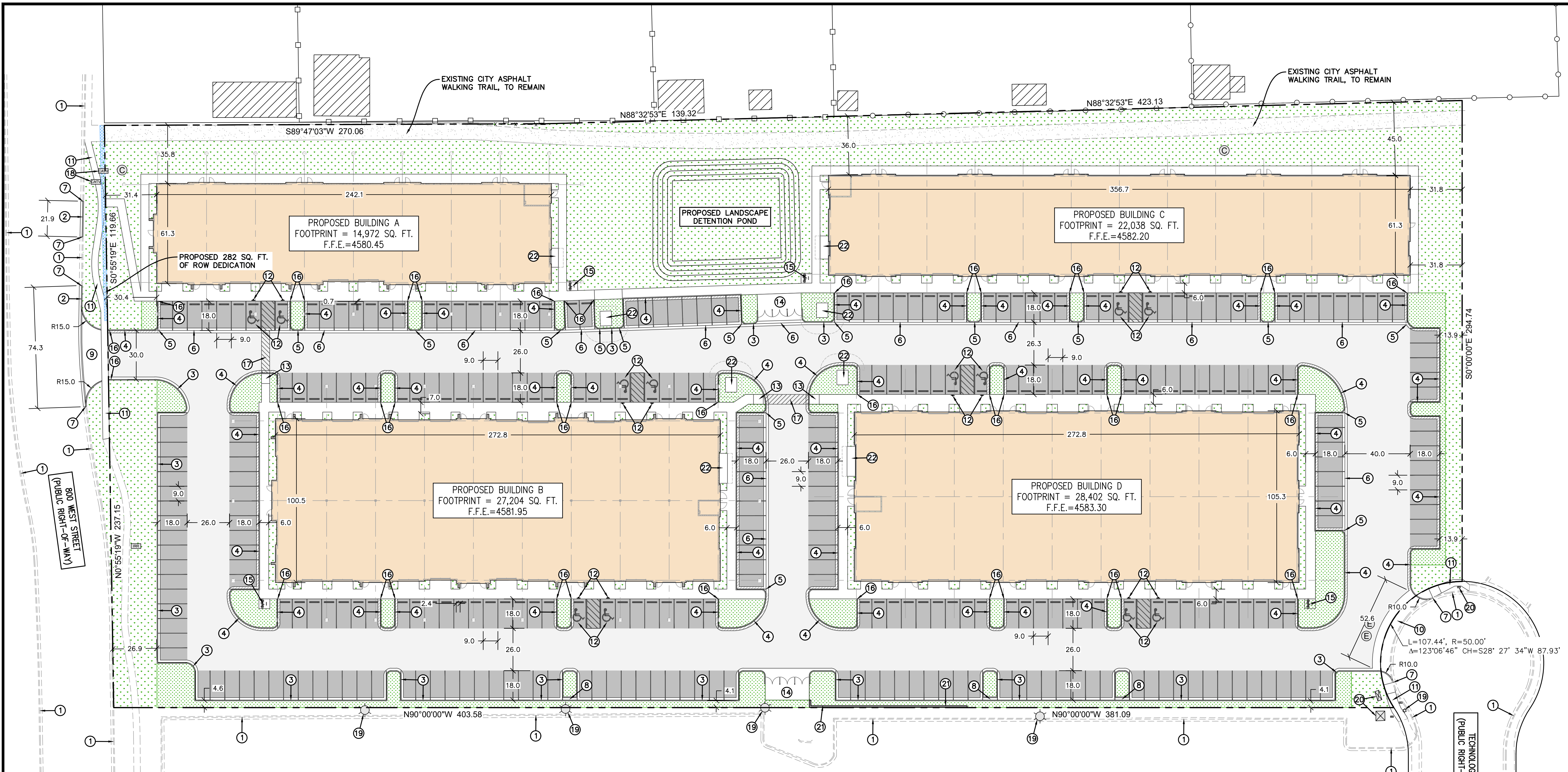
Staff believe the building meets the architectural requirements of the Regional Commercial zone. The site will be well landscaped and will be a benefit to the adjacent Canopy Business Park.

EXHIBITS

1. Aerial photo
2. Site plan
3. Landscape plan
4. Building renderings
5. Development Agreement

Exhibit 1. Aerial Photo





- SITE PLAN NOTES:**
- ① EXISTING CURB & GUTTER.
 - ② PROPOSED 24" CURB & GUTTER PER LINDON CITY STANDARD DRAWING #3. SEE SHEET C5.0 FOR DETAILS.
 - ③ PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.0.
 - ④ PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 2/C4.0.
 - ⑤ CONTRACTOR TO PROVIDE A SMOOTH TRANSITION BETWEEN CATCH CURB & GUTTER, REV. PAN CURB & GUTTER AND 3' WIDE WATERWAY.
 - ⑥ PROPOSED 3' WIDE WATERWAY. SEE DETAIL 4/C4.0.
 - ⑦ CONTRACTOR TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING CURB & GUTTER AND PROPOSED CURB & GUTTER.
 - ⑧ CONTINUE GUTTER THROUGH PLANTER AREA PROVIDING A CONCRETE WATERWAY TO ALLOW STORM WATER TO FLOW THROUGH. SEE DETAIL 5/C4.0.
 - ⑨ PROPOSED DRIVE APPROACH PER APWA PLAN NO. 225. SEE SHEET C5.0 FOR DETAILS.
 - ⑩ PROPOSED DRIVE APPROACH PER APWA PLAN NO. 215. SEE SHEET C5.0 FOR DETAILS.
 - ⑪ PROPOSED 4' WIDE MEANDERING SIDEWALK IN PUBLIC ROW PER LINDON CITY STANDARD DRAWING #3. SIDEWALK TO BE THICKENED ACROSS DRIVE APPROACH. SEE SHEET C5.0 FOR DETAILS.
 - ⑫ ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAILS 7/C4.0 & 8/C4.0.
 - ⑬ ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 3/C4.0.
 - ⑭ PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
 - ⑮ PROPOSED BIKE RACK. SEE DETAIL 9/C4.0.
 - ⑯ CONTRACTOR TO TAPER CURB & GUTTER TO BE FLUSH WITH ADJACENT SIDEWALK/ASPHALT. SEE DETAIL 6/C4.0.
 - ⑰ PROPOSED PAINTED PEDESTRIAN WALKING PATH.
 - ⑱ EXISTING TELECOMMUNICATIONS VAULT.
 - ⑲ EXISTING STREET/SITE LIGHTING POLE.
 - ⑳ EXISTING ELECTRICAL GEAR.
 - ㉑ PROPOSED BLOCK (OR ALT. APPROVED BY CIVIL ENGINEER) RETAINING WALL. WALL TO REMAIN LESS THAN 2' IN HEIGHT. SEE SHEET C2.0 FOR SPOT ELEVATIONS.
 - ㉒ PROPOSED TRANSFORMER AND ELECTRICAL GEAR. SEE SITE ELECTRICAL PLANS FOR DETAILS.

LOT AREAS:

LOT	SQ. FT.	ACRES.
BUILDING FOOTPRINT	297,373	6.827
ASPHALT	92,616	2.126
TOTAL LANDSCAPING	100,762	2.313
TOTAL LANDSCAPING	59,078	1.356
PARKING LANDSCAPING	13,167	0.302
REMAINING LANDSCAPING	45,910	1.054
CONCRETE	44,918	1.031
EX ASPHALT TRAIL	7,695	0.177

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
PARKING PROVIDED	319	40.0 SQ.FT. PER STALL
PARKING AREA LANDSCAPING	13,167	12,760 SQ. FT. REQ'D
TOTAL LANDSCAPING PROVIDED	59,078	
		19.87% PROVIDED

- NOTES:
- PARKING AREA DOES NOT INCLUDE TRUCK MANEUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
 - LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
 - ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT PARKING REQUIREMENTS:

	SQ. FT.	CITY REQ'T
WAREHOUSE	69,462	139 1 PER 500 SQ.FT.
OFFICE	25,190	72 1 PER 350 SQ.FT.
TOTAL REQUIRED	211	
TOTAL PROVIDED	319	
ACCESSIBLE SPACES	12	(8 REQ'D 301 TO 400)
BICYCLE SPACES	16	(8% OF STALLS OR 16 MAX)

- NOTE:
- ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.
 - BICYCLE CALCULATIONS - (326*0.8) = 26.08 OR MAX OF 16

CONCRETE PAVEMENT SECTIONS NOTE:
BELOW IS BREAKDOWN OF THE REQUIRED CONCRETE (SPECIFICALLY SIDEWALK) PAVEMENT SECTIONS THROUGHOUT THE SITE:

PUBLIC ROW SIDEWALK -
6" CONCRETE OVER 4" AGG. BASE COURSE

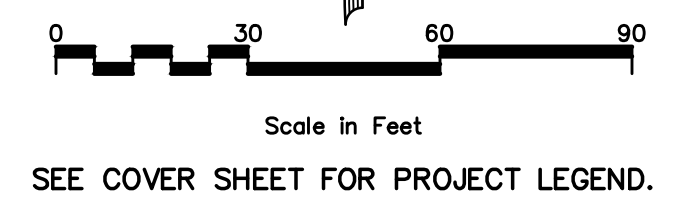
PUBLIC ROW SIDEWALK ACROSS DRIVE APPROACH -
8" CONCRETE OVER 8" AGG. BASE COURSE

SITE SIDEWALK, DRIVABLE (IN FRONT OVERHEAD DOORS) -
6" CONCRETE OVER 4" AGG. BASE COURSE

SITE SIDEWALK, NON DRIVABLE -
4" CONCRETE OVER 4" AGG. BASE COURSE

SHEET LEGEND

- PARKING STALL ASPHALT SEE DETAIL 16/C4.0
- DRIVE AISLE ASPHALT SEE DETAIL 17/C4.0
- PROP ROW DEDICATION 282 SQ. FT.



LINDON WESTLAND DEVELOPMENT
345 SOUTH 800 WEST, LINDON, UTAH

SITE PLAN

CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

NO. _____

REVISIONS _____

BY _____ DATE _____

DESIGNER: SDT PROJECT ENGINEER: SDT

SHEET NO. **C1.0**

PROJECT ID: E25-135 DATE: 05/08/26
FILE NAME: PRJ-LWB SCALE: 1"=30'

PLANT MATERIALS (NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY	CONT	CAL	SIZE
CONIFERS						
	CGP	Chamacyparis nootkatensis glauca 'Pendula'	6	B & B		7'-9'
	JCS	Juniperus chinensis 'Spartan'	4	B & B		6'
	JSW	Juniperus scopulorum 'Woodward'	8	B & B		6'
	PN'O	Pinus nigra 'Oregon Green'	16	B & B		6'
DECIDUOUS TREES						
	BPP	Betula platyphylla 'Jefpark'	16	B & B		2"Cal
	MSS	Malus x 'Spring Snow'	4	B & B		2"Cal
	PSP	Prunus x virginiana 'PO02S' TM	13	B & B		2"Cal
	QR'A	Quercus robur x alba 'JFS-KW1QX' TM	17	B & B		2"Cal
	STS	Syringa reticulata 'Ivory Silk'	11	B & B		2"Cal
	TCG	Tilia cordata 'Greenspire'	8	B & B		2"Cal
	UX'F	Ulmus x 'Frontier'	8	B & B		2"Cal

SYMBOL CODE BOTANICAL / COMMON NAME QTY CONT

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY	CONT
DECIDUOUS SHRUBS				
	AA'O	Amelanchier alnifolia 'Obelisk' TM	14	5 gal
	CFG	Caragana frutex 'Globosa'	41	5 gal
	CA'B	Cornus alba 'Bailhalo' TM	29	5 gal
	CLP	Cotoneaster lucidus	11	5 gal
	FPA	Fallugia paradoxa	21	5 gal
	POT	Physocarpus opulifolius 'SMPOTW'	68	5 gal
	RFC	Rhamnus frangula 'Columaris'	24	5 gal
	RG'L	Rhus aromatica 'Gro-Low'	30	5 gal

EVERGREEN SHRUBS

	HPP	Hesperaloe parviflora 'Perpa' TM	30	5 gal
	J'PW	Juniperus horizontalis 'Prince of Wales'	42	5 gal

GRASSES

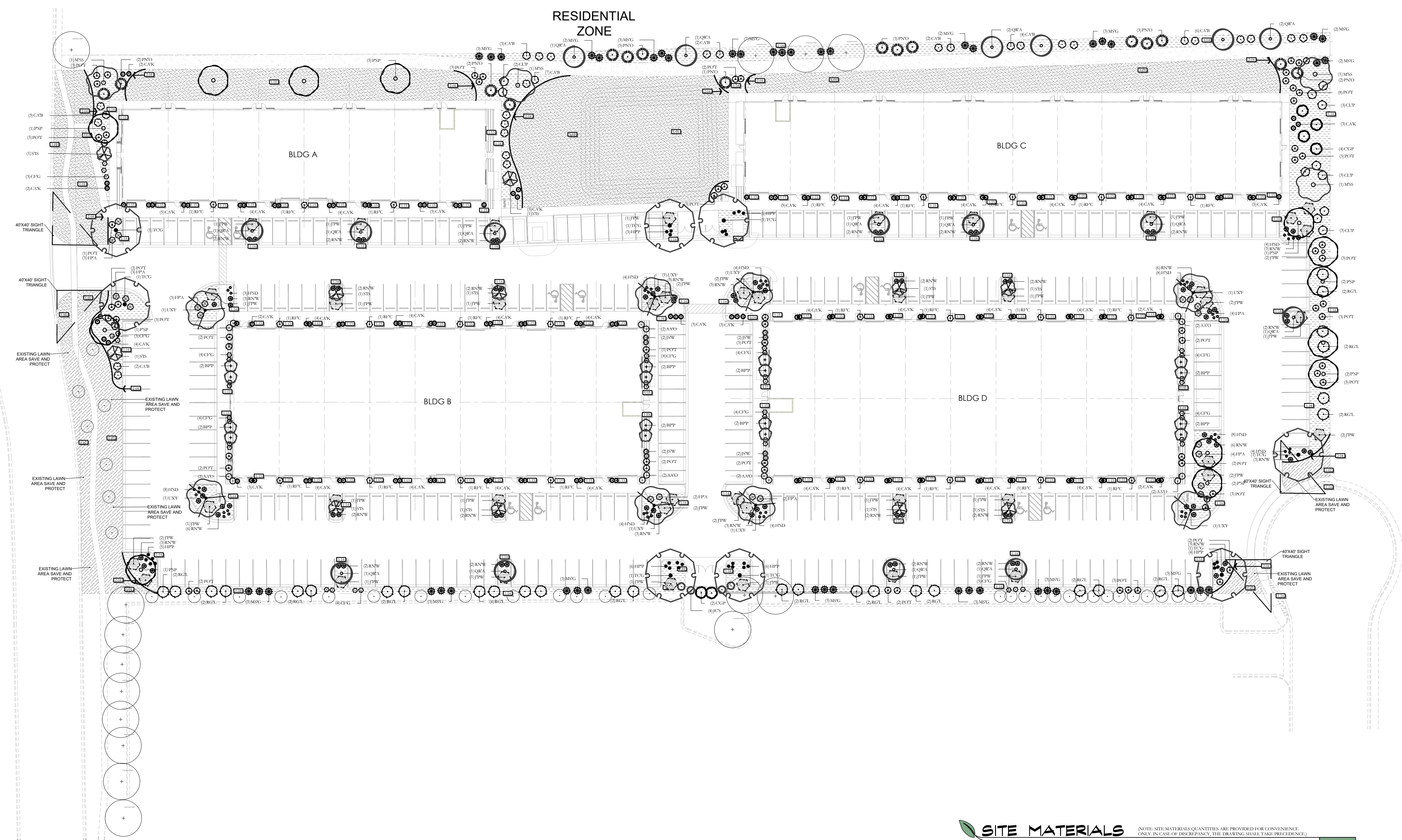
	CA'K	Calamagrostis x acutiflora 'Karl Foerster'	137	1 gal
	MS'G	Miscanthus sinensis 'Gracillimus'	45	2 gal

PERENNIALS

	H'SD	Hemerocallis x 'Stella de Oro'	51	1 gal
--	------	--------------------------------	----	-------

ROSES

	RN'W	Rosa x 'Noaschnee' TM	87	5 gal
--	------	-----------------------	----	-------



SITE MATERIALS (NOTE: SITE MATERIAL QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	CODE	DESCRIPTION	QTY
1 LANDSCAPE			
	L-101	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH DROUGHT TOLERANT KENTUCKY BLUE GRASS OR APPROVED EQUAL. SEE SOD LANDSCAPE NOTES FOR FURTHER INFORMATION. SHEET LP-101.	25,839 sf
	L-102	EXISTING LAWN TO REMAIN. REPLACE ANY AREAS DISTURBED DURING CONSTRUCTION.	3,896 sf
	L-114	1" MINUS TAN CRUSHED ROCK SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	25,434 sf
	L-115	1" MINUS GREY CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	4,297 sf
2 HARDSCAPE			
	Z-104	6" CONCRETE MOW CURB SEE DETAIL SHEET FOR ADDITIONAL INFORMATION. SHEET LP-501.	481 lf

ISSUE DATE 4/27/2026	PROJECT NUMBER UT26023	PLAN INFORMATION THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 03/12/2026	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO															
<h1 style="margin: 0;">WESTLAND PROJECT</h1> <p style="margin: 0;">800 W 345 S LINDON, UTAH</p>				AE URBIA JESSE@AEURBIA.COM			PM: JTA DRAWN: ACP CHECKED: KBA PLOT DATE: 4/27/2026															
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>CITY COMMENT</td> <td>04-23-2026</td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> </tbody> </table>		NO.	REVISION	DATE	1	CITY COMMENT	04-23-2026	2			3			4								
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<p style="font-size: small;">COPYRIGHT: PKJ DESIGN GROUP</p> <p style="font-size: x-small;">THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN ARE AN INSTRUMENT OF PROFESSIONAL SERVICE. IS PROPERTY OF PKJ DESIGN GROUP. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PKJ DESIGN GROUP.</p>						<p style="font-weight: bold; font-size: large;">LANDSCAPE OVERALL PLAN</p> <p style="font-weight: bold; font-size: large;">CITY PERMIT SET</p> <p style="font-size: x-large; font-weight: bold;">LP-100</p>																







ae **urbia**
ARCHITECTS & ENGINEERS



ae urbia
ARCHITECTS & ENGINEERS





















Exhibit 5 - Development Agreement, Developer Obligations

“R&B Zone” to Regional Commercial (the “RC Zone”); and

WHEREAS, the Developer and the City acknowledge that the development and improvement of the Property pursuant to this Agreement will provide certainty useful to the Developer and to the City in ongoing and future dealings and relations among the Parties; and

WHEREAS, the City has determined that the proposed development contains features which advance the policies goals and objectives of the Lindon City General Plan, encourage economic development, preserve and buffer existing neighborhoods, or contribute to capital improvements which substantially benefit the City and will result in planning and economic benefits to the City and its citizens; and

WHEREAS, this Agreement shall only be valid upon approval of such by the Lindon City Council (the “City Council”), pursuant to Resolution 2026-07-R, a copy of which is attached as Exhibit D and which replaces Resolution 2025-22-R, which adopted the original Agreement; and

WHEREAS, the City and the Developer acknowledge that the terms of this Agreement shall be enforceable and the rights of the Developer relative to the Property shall vest only if the City Council, in its sole legislative discretion, approves a general plan amendment for the Property currently designated at Flex Office to Flex Commercial and zone change for the Property currently zoned as Research and Business to a zone designated as Regional Commercial.

NOW THEREFORE, based upon the foregoing recitals and in consideration of the mutual covenants and promises contained set forth herein, the Parties agree as follows:

TERMS

A. Recitals; Definitions. The recitals set forth above are incorporated herein by this reference. Any capitalized term used but not otherwise defined in this Agreement shall have the meaning ascribed to such term in the Planning and Land Use Ordinance of Lindon City.

B. Enforceability. The City and the Developers acknowledge that the terms of this Agreement shall be enforceable, and the rights of the Developers relative to the Property shall vest, only if the City Council, in its sole legislative discretion, approves a zone change for the Property currently zoned as the Research and Business (R&B) Zone to a zone designated as Regional Commercial (RC) Zone.

C. Conflicting Terms. The Property shall be developed in accordance with the requirements and benefits provided for in relation to a Regional Commercial (RC) zone under the City Code as of the Effective Date. In the event of a discrepancy between the requirements of the City Code, including the Regional Commercial (RC) zone, and this Agreement shall control.

D. Developer Obligations:

1. The Developer agrees to construct the development consistent with the Concept Site Plan and Architectural Plans and the requirements set forth in this Agreement and the City Code.

2. The Developer will construct four office/warehouse buildings of approximately 132,000 total square feet, as identified in Exhibit B, for office, warehouse, retail, and manufacturing spaces on four separate pad sites. The buildings will be constructed with the design and materials as shown in Exhibit C, including the architectural requirements as found in the Regional Commercial zoning ordinance – 17.54.
3. The maximum height of any building will be thirty-five feet (35') to the top of the parapet. Buildings A and C will be setback a minimum of 30' from the residential zone.
4. A minimum seven-foot wall will be constructed as a buffer between the commercial and residential properties.
5. Only down-directed lighting will be permitted on the north elevation of buildings A and C. A photometric study will be provided for the development as part of the site plan approval review to ensure no light trespass or spill over into the residential neighborhood.
6. No overhead doors will be installed on the north elevations of Buildings A and C. Only Clerestory windows will be located on the north elevations of Buildings A and C. All overhead doors are required to be constructed of glass to increase the architectural design of the buildings.
7. Buildings A and B will have the west building entrances oriented to 800 W. to meet the architectural requirements of Lindon City Code 17.54.050
8. The area between Buildings A and C and the residential property boundary will be landscaped. Both sides of the trail will also be landscaped, where applicable. Trees meeting the City's development requirements will be planted every thirty feet along the length of buildings A and C.
9. No outdoor storage is permitted between the north elevation of Buildings A and C and the residential property boundary.
10. The zone map amendment is conditioned upon the applicant signing the development agreement, applying to amend the existing subdivision plats and parcel, approval of the subdivision by Lindon City, and the subdivision plat being recorded with the Utah County Recorder's Office within one year from the date the Lindon City Council approves the zone map amendment. In the event that the development agreement is not signed by the applicant, the property is not subdivided or the subdivision plat is not recorded within one year from approval by the Lindon City Council to amend the zoning of the property, then the Research and Business (R&B) zone will remain in effect.
11. The Developer shall be allowed to subdivide the development into two (2) legally platted lots for the ability to phase the development. The plats shall provide appropriate cross-access easements for vehicular and pedestrian circulation, emergency service access, and utility easements.
12. The Developer agrees that the following uses are prohibited:
 - a. Gasoline service station with convenience store.
 - b. Dance club/music venue.
 - c. Exhibit halls.
 - d. Convention centers.
 - e. Amusement parks.
 - f. Golf driving range. Indoor permitted
 - g. Recreation center/bowling lanes/roller skating rink.

- h. Water slides.

E. City Obligations:

1. Development Review. The City shall review development of the Property in a timely manner, consistent with the City's routine development review practices and in accordance with all applicable laws and regulations.

F. Vested Rights and Reserved Rights .

1. Vested Rights. Consistent with the terms and conditions of this Agreement, City agreed Developer has the vested right to develop and construct the Property in accordance with: (i) the Regional Commercial zoning designation, subject to any express modifications contained herein; (ii) the City Code in effect as of the Effective Date and; (iii) the terms of this Agreement.

2. Reserved Rights. Developer acknowledges that the City is restricted in its authority to limit its police power by contract and that the limitations, reservations and exceptions set forth herein are intended to reserve to the City all of its police power that cannot be so limited. Notwithstanding the retained power of the City to enact such legislation under the police powers, such legislation shall only be applied to modify the vested rights of Developer under this Agreement and with respect to use under the zoning designations as referenced in *Section III.A.* above under the terms of this Agreement based upon the policies, facts and circumstances meeting the compelling, countervailing public interest exception to the vested rights doctrine in the State of Utah. Any such proposed change affecting the vested rights of the Property shall be of general application to all development activity in the City and Utah County (the "County"); and, unless in good faith the City declares an emergency, Developer shall be entitled to prior written notice and an opportunity to be heard with respect to the proposed change and its applicability to the Property under the compelling, countervailing public interest exception to the vested rights doctrine. The City shall have the right to enforce all provisions of the Lindon City Code, pursuant to the process and procedures outlined therein, unless such provision has been expressly modified by this Agreement. Nothing in the Agreement shall be interpreted or construed as a waiver by the City of governmental immunity or other statutory or constitutional rights of municipalities or local governments afforded to Lindon City under Federal, State or Local laws. The notice required by this paragraph shall be that public notice published by the City as required by State statute.

G. General Provisions.

1. Notices. All notices, filings, consents, approvals, and other communication provided for herein or given in connection herewith shall be validly given, filed, made, delivered or served if in writing and delivered personally or sent by registered or certified U.S. Postal Service mail, return receipt requested, postage prepaid to the following addresses or to such other addresses as either party may from time to time designate in writing and deliver in like manner. Any such change of address shall be given at least 10 days before the date on which the change is to become effective:

Item 6: Battle Creek Plaza – Major Subdivision

Date: June 09, 2026

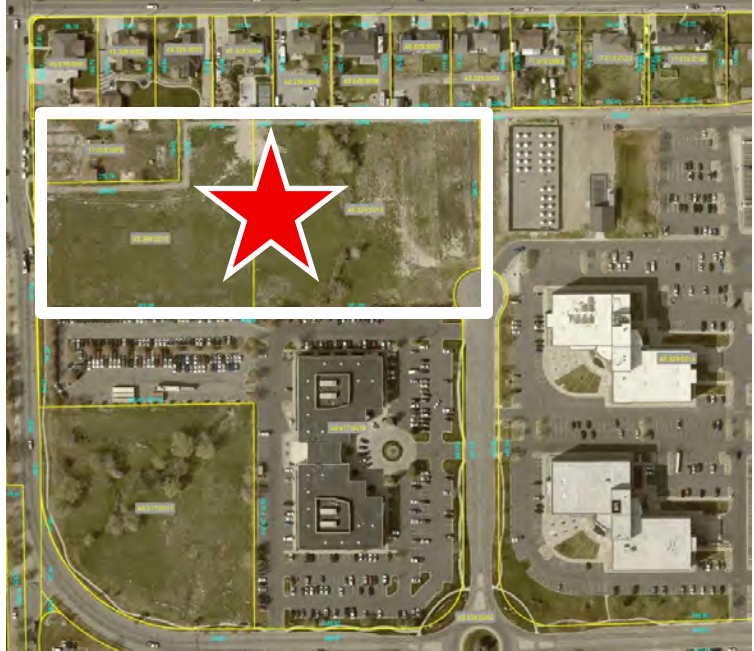
Applicant: Troy Dana
Presenting Staff: Brittany Wilde

General Plan: Flex Office
Current Zone: Regional Commercial

Property Owners: Battle Creek Plaza LLC

Parcel ID's: 17:015:0076,
45:386:0015, 45:329:0013

Council Action Required: No



SUMMARY OF KEY ISSUES

1. Troy Dana with Westland Development is seeking preliminary major subdivision approval to subdivide the property into two lots and construct four office/warehouse buildings containing a total of 56 office/warehouse condominium units.
 - a. Phase 1
 - i. Buildings A & B total 26 office/warehouse units
 - b. Phase 2
 - i. Buildings C & D total 30 office/warehouse units

MOTION

I move to (approve, deny or continue) the applicant's request for preliminary approval of the Lindon Westland major subdivision with the following conditions:

1. The applicant will continue to work with city staff to make all final corrections to the plat for recording;
2. The applicant will provide an interior elevation for each unit to be subdivided;
3. Prior to plat recording the applicant will provide staff with a final plat mylar to include notarized signatures of owner's consent to dedication as identified on the attached subdivision plat;
4. Prior to recording the applicant will provide staff with a final set of CC&R's and bylaws to include notarized signatures for recording;
5. The plat will meet the applicable requirements as found in the Lindon City Development Manual;
6. All items of the staff report.

Surrounding Zoning and Land Use

North: R1-20 – Single-family homes

East: Research & Business (RB) – Office buildings

South: Regional Commercial (RC) – Office/warehouse buildings

West: Light Industrial – Steel manufacturing plant

Lot Requirements – Regional Commercial Zone

Required	Compliant
Minimum lot size: 20,000 sq/ft	Yes; the property totals 6.83 acres
Plat provides cross-access easements for vehicular and pedestrian circulation, emergency service access, and utility easements	Yes

Subdivision Requirements

Required	Compliant
For condominiums, three dimensional drawings of unit areas and property surface description	No, applicant is working on the interior unit condominium legal descriptions. This requirement was added as a condition of approval.
Conditions, Covenants and Restrictions and bylaws for the condominium subdivision	Yes, reviewed by the applicant’s attorney and city staff

Engineering Requirements

City staff are working through technical issues related to the plat and will ensure all engineering related issues are resolved before final approval is granted.

EXHIBITS

1. Lot Plat with Condominium plats

LINDON WESTLAND CONDOMINIUM AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B", AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"

A UTAH CONDOMINIUM

LOCATED IN THE NORTHWEST QUARTER OF SECTION 04,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

LINDON CITY, UTAH COUNTY, UTAH

MAY 2026

OWNER'S DEDICATION

Know all men by these presents that the undersigned are owners of the above described tract of land hereby cause the same to be divided into Parcel and streets, together with easements as set forth to be hereafter known as:

**LINDON WESTLAND CONDOMINIUM AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B",
AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"**

And do hereby dedicate for perpetual use of the public all roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and iteration of utility lines and facilities. The undersigned owners also hereby convey any other easements and shown on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof, I have hereunto set my hand this ____ day of _____, A.D. 2026.

WEST LAND DEVELOPMENT

Owner's Name and Position _____

Print Name _____

NOTARY ACKNOWLEDGMENT

State of Utah)
)ss
County of Utah)

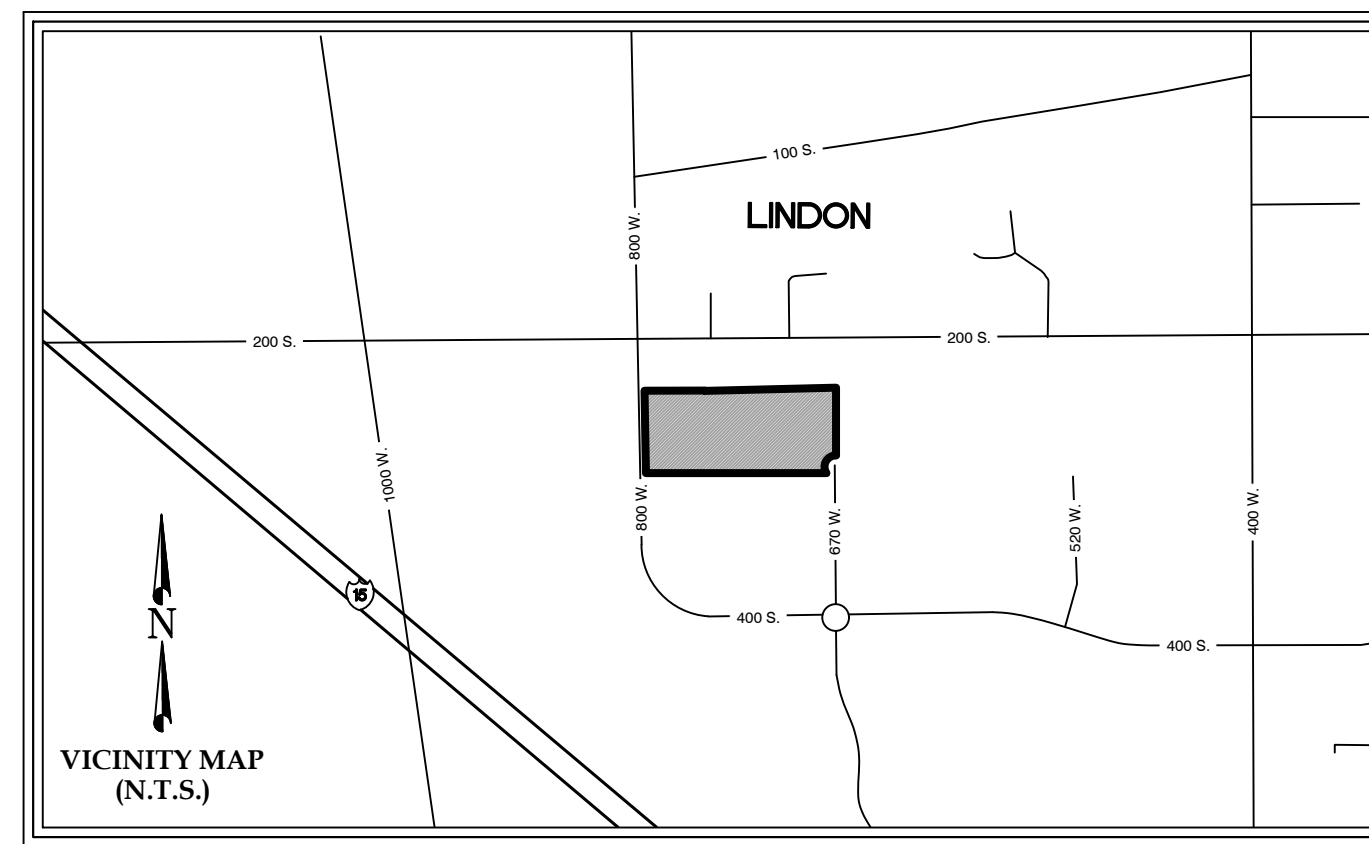
On this ____ day of _____, in the year 2026, before me, _____ a Notary Public, personally appeared _____ the _____ of _____ proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to in the foregoing owner's dedication and consent regarding the **LINDON WESTLAND CONDOMINIUM AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B", AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"** and was signed by him/her on behalf of said _____ and acknowledged that he/she/they executed the same.

Commission Number _____
My Commission Expires _____

Signature: _____

Print Name: _____

A Notary Public Commissioned in Utah



PLAT NOTES

- Offset pins to be set in top back of curb and 5/8" x 24" rebar and cap stamped "CIR" to be set at all other lot and boundary corners.
- Subject to existing right-of-ways, easements and restrictions per the Lindon Gateway Plat "A" Subdivision, recorded March 12, 2001, as Entry No. 23051:2001, having Map No. 8982, and per the Lindon Gateway Plat "B" Subdivision, recorded June 28, 2004, as Entry No. 74059:2004, having Map No. 10563 in the Office of the Utah County Recorder.
- The Property is in Zone C, Commercial Zone.
- Statement of Accuracy: Minimum linear closure of 1:15,000

SURVEYOR'S CERTIFICATE

I, CAMERON J. LISTER, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12286353 in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act; I further certify that by authority of the owners I have made a survey of the tract of land in accordance with Section 17-23-504 and have verified all measurements and that the description describes the land known as **LINDON WESTLAND CONDOMINIUM AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B", AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"**. I further certify that this condominium plat is accurate and has been prepared in compliance with the provisions of the Utah Condominium Ownership Act, and that the same has been surveyed and staked on the ground as shown on this map, and that the building dimensions are or will be as shown on this plat.

Signed this ____ day of _____, 2026

BOUNDARY DESCRIPTION

A part of an entire tract of land described in that Special Warranty Deed recorded December 23, 2010, as Entry No. 112925:2010 in the Office of the Utah County Recorder and is located in the Northwest Quarter of Section 4, Township 6 South, Range 2 East, Salt Lake Base and Meridian and is described as follows:

Beginning at the Southwest Corner of Lot 1, Lindon Gateway II Subdivision Plat "A", recorded September 17, 2015, as Entry No. 85062:2015, having Map No. 14767, in the Office of the Utah County Recorder, said point also being on the Easterly right-of-way line of 800 West Street; which is 33.00 feet N.89°45'36"E. along the Section Line and 219.60 feet S.00°55'19"E. from the Northwest Corner of Section 4, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence along the southerly line of said Lot 1, Lindon Gateway II Subdivision Plat "A" and the southerly line of Lots 2 through 8, Lindon Gateway Plat "A", recorded March 12, 2001, as Entry No. 23051:2001, having Map No. 8982 in said Office the following four (4) courses: 1) N.89°49'41"E. 283.59 feet; 2) S.00°55'39"E. 1.33 feet; 3) N.89°47'03"E. 6.44 feet; 4) N.88°32'53"E. 562.45 feet; thence South 294.74 feet to a point of non-tangency with a 50.00-foot radius curve to the left, concave Southeasterly (Radius point bears S.00°00'16"E.); thence Southwesterly 107.41 feet along the arc of said curve, through a central angle of 123°04'37" (Chord bears S.28°27'42"W. 87.91 feet); thence West 784.66 feet to the easterly right-of-way line of 800 West Street; thence along said easterly right-of-way line the following five (5) courses: 1) N.00°55'19"W. 237.14 feet; 2) S.88°55'55"W. 1.87 feet; 3) N.01°23'10"W. 119.71 feet; 4) N.89°47'01"E. 2.84 feet; 5) N.00°55'19"W. 1.53 feet to the **Point of Beginning**.

The above described entire tract of land contains 298,027 sq. ft. in area or 6.842 acres, more or less. Contains four (4) lots.

LINDON WESTLAND CONDOMINIUM
AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B",
AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"
A COMMERCIAL SUBDIVISION
LOCATED IN THE NW 1/4 OF SECTION 04, TOWNSHIP 6 SOUTH, RANGE 2 EAST
SALT LAKE BASE & MERIDIAN
LINDON CITY, UTAH COUNTY, UTAH

SCALE 1" = 40' SHEET 1 OF 8

ACCEPTANCE BY LEGISLATIVE BODY

The city of Lindon, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public this ____ day of _____, A.D. 2026.

Mayor: _____

Approved: _____ Attest: _____
City Engineer (See Seal Below) Clerk/Recorder (See Seal Below)

PLANNING COMMISSION APPROVAL

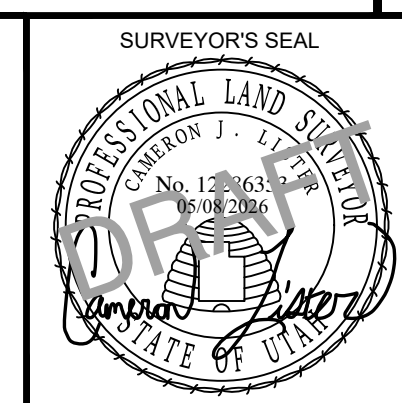
Approved this ____ day of _____, A.D. 2026, by the Planning Commission.

Director-Secretary _____ Chair _____
Planning Commission

PREPARED BY:

CIR CIVIL ENGINEERING
+ SURVEYING

10718 South Beckstead Lane, Suite 102, South Jordan, Utah 84095
Phone: (435) 503-7641



CITY ENGINEER'S SEAL

CITY RECORDER'S SEAL

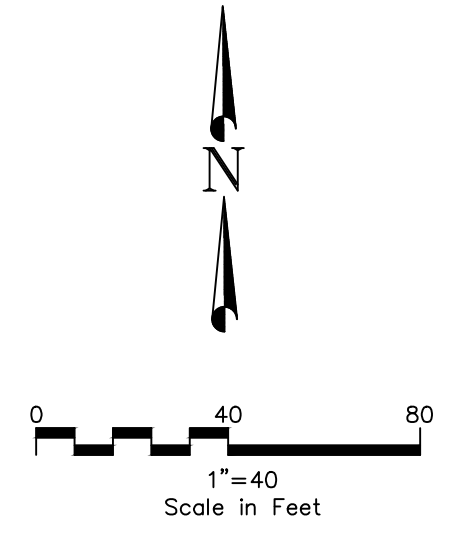
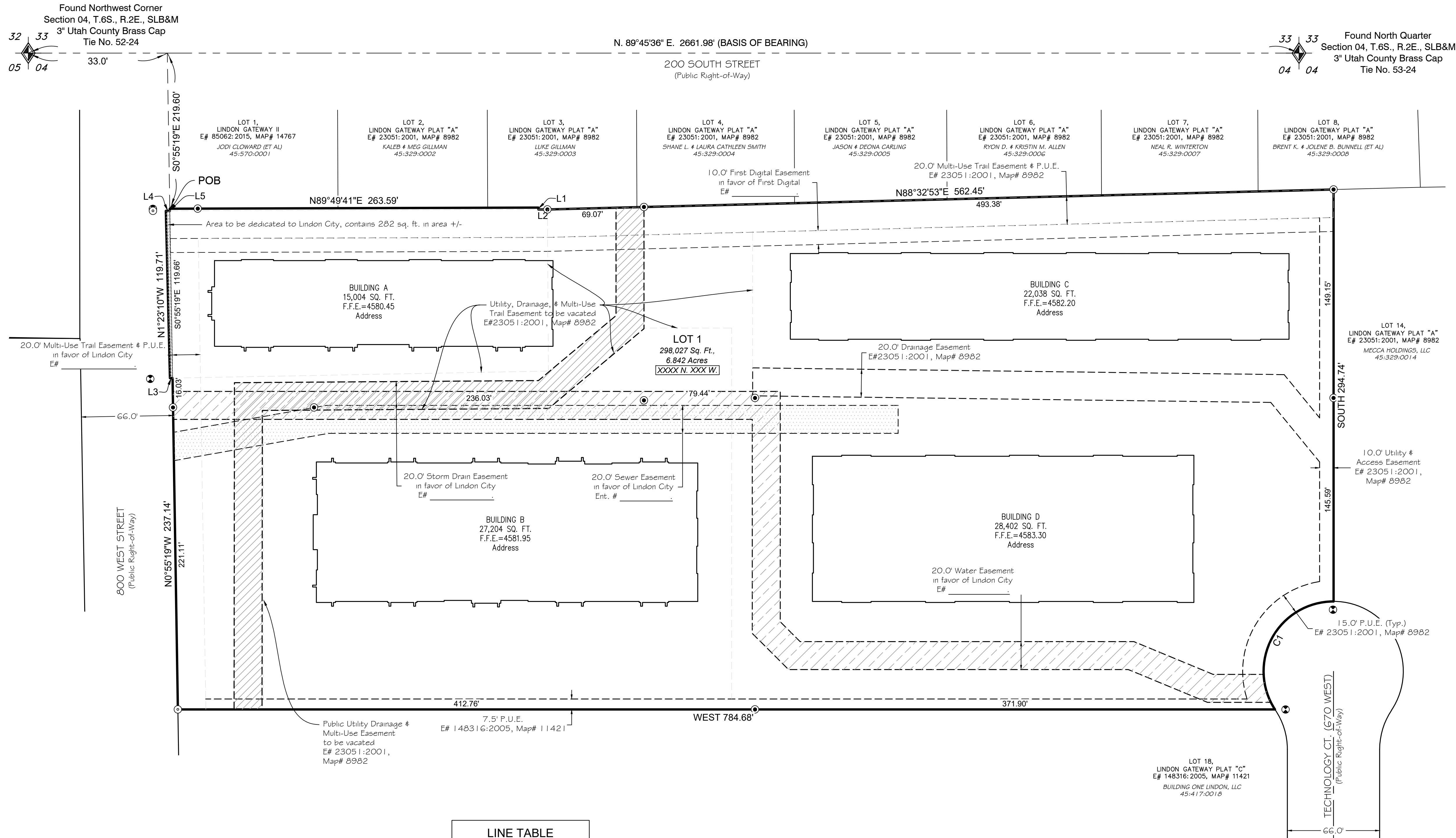
COUNTY RECORDER SEAL

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TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN
LINDON CITY, UTAH COUNTY, UTAH

MAY 2026



Legend of Symbols & Abbreviations

- Boundary Line
- Adjacent Parcel Line
- Road Right-of-Way
- Road Centerline
- Section Line
- Public Utility & Access Easement Line
- First Digital Easement Line
- Multi-Use Trail & P.U.E. Easement Line
- Road Dedication Area = 282 sq. ft. +/-
- Storm Drain Easement
- Sewer Easement
- Water Easement
- Set yellow rebar/cap stamped "CIR"
- Found nail on boundary line (Held)
- Found rivet (Held)

LINE TABLE		
LINE #	LENGTH	BEARING
L1	1.33	S0° 55' 39"E
L2	6.44	N89° 47' 03"E
L3	1.87	S88° 55' 55"W
L4	2.84	N89° 47' 01"E
L5	1.53	N0° 55' 19"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	107.41	50.00	123°04'37"	S28° 27' 42"W	87.91

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SCALE 1" = 40' SHEET 2 OF 8

PREPARED BY:

10718 South Beckstead Lane, Suite 102, South Jordan, Utah 84095
Phone: (435) 503-7641

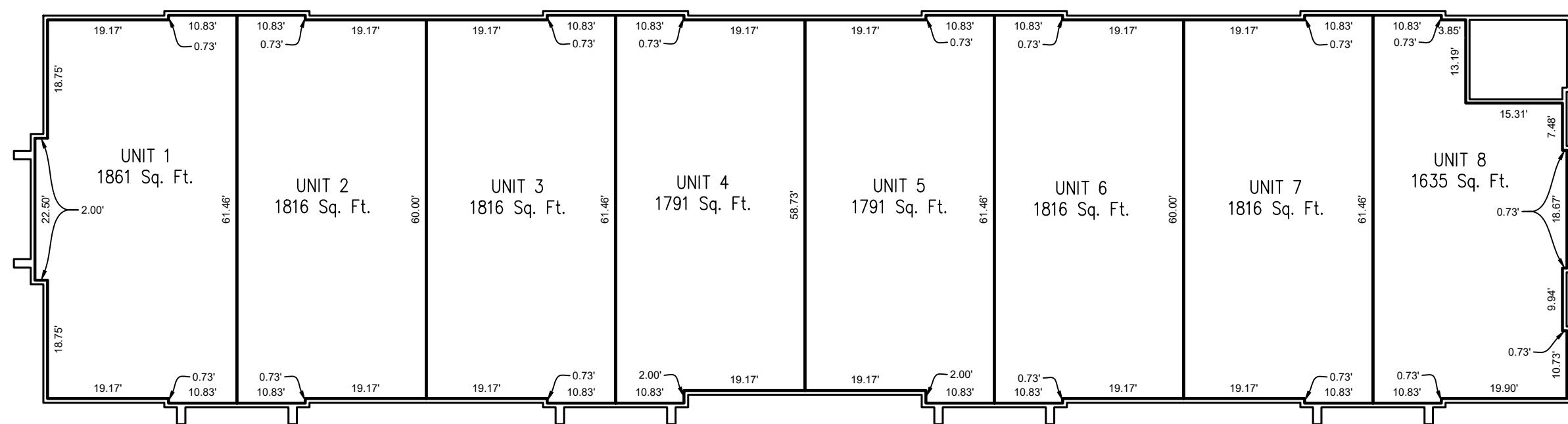
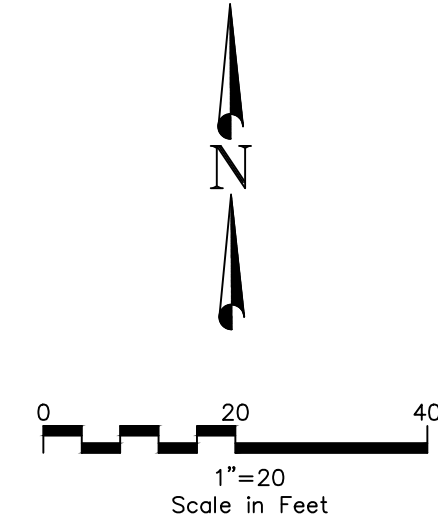
SURVEYOR'S SEAL 	CITY ENGINEER'S SEAL	CITY RECORDER'S SEAL	COUNTY RECORDER SEAL
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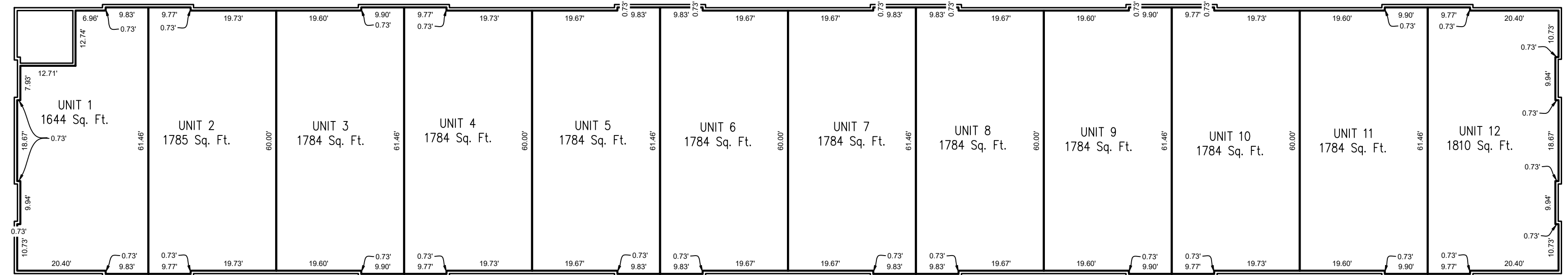
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LOCATED IN THE NORTHWEST QUARTER OF SECTION 04,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN
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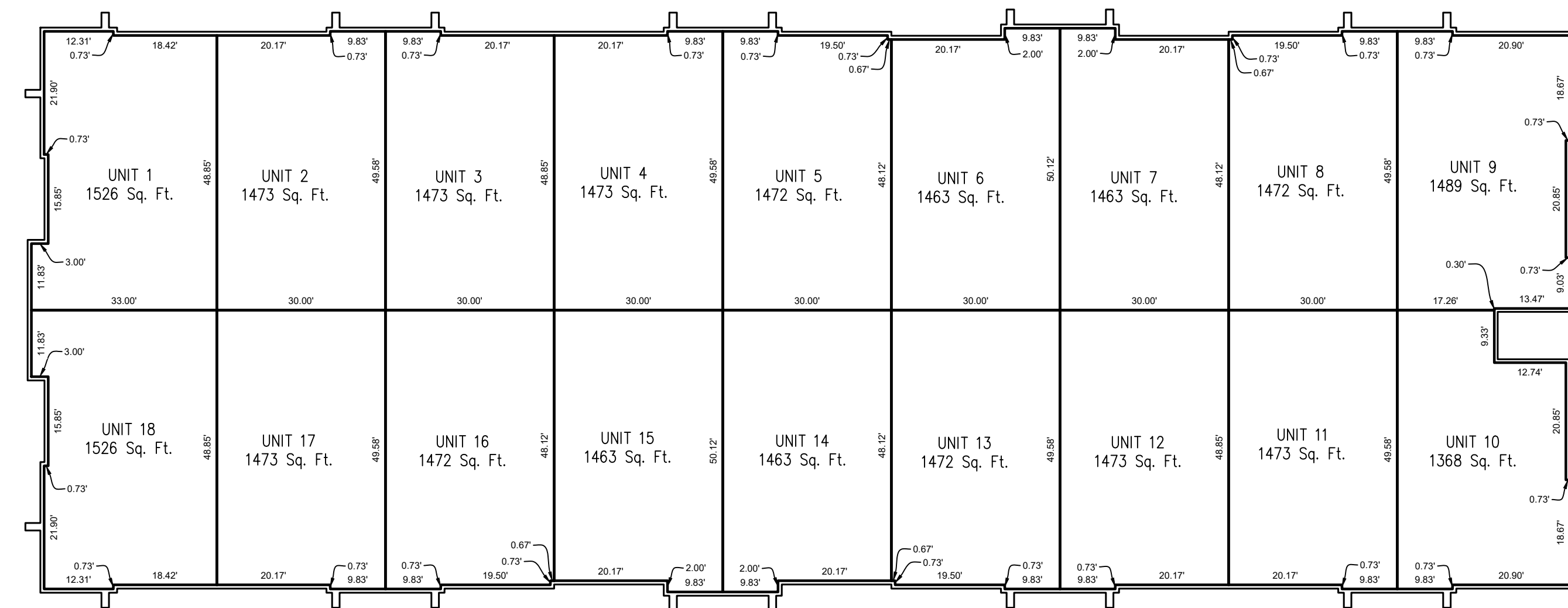
MAY 2026



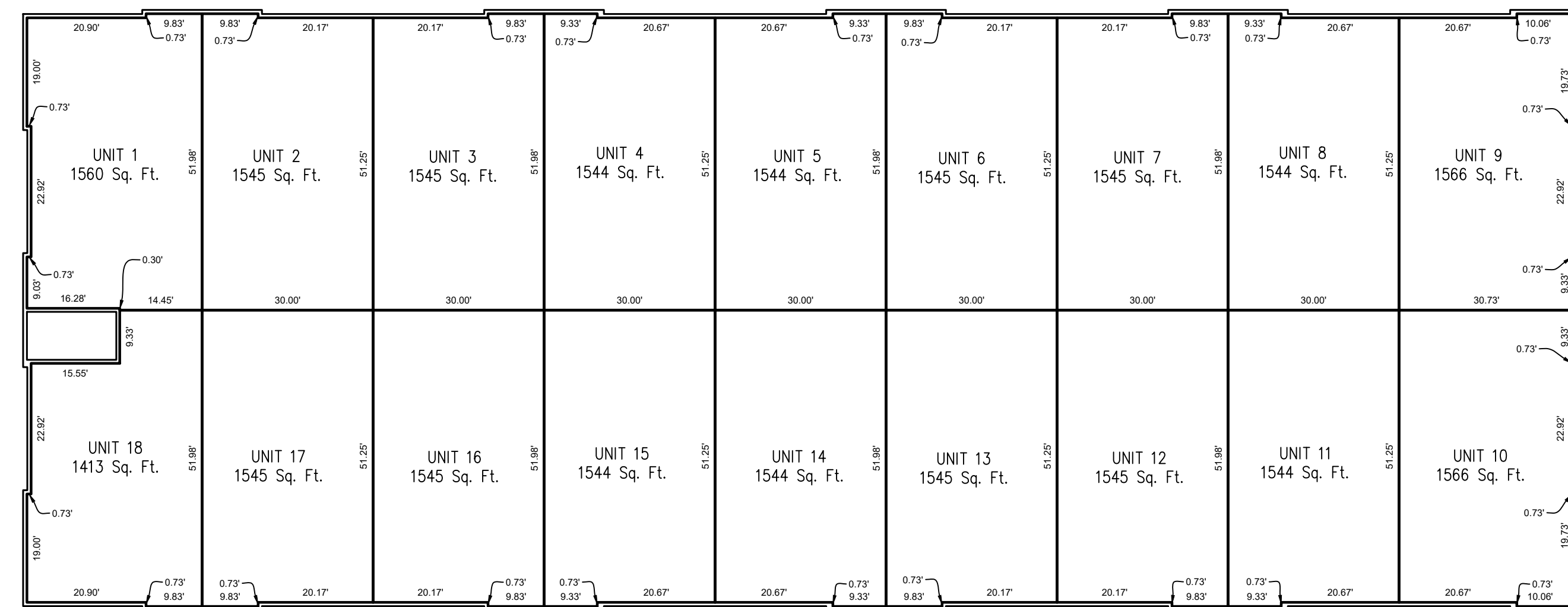
BUILDING A
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F.F.E.=4580.45



BUILDING C
22,038 SQ. FT.
F.F.E.=4582.20



BUILDING B
27,204 SQ. FT.
F.F.E.=4581.95



BUILDING D
28,402 SQ. FT.
F.F.E.=4583.30

UNIT FOOTPRINT

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SCALE 1" = 20' SHEET 4 OF 8

PREPARED BY:
CIR CIVIL ENGINEERING
+SURVEYING
10718 South Beckstead Lane, Suite 102, South Jordan, Utah 84095
Phone: (435) 503-7641

SURVEYOR'S SEAL 	CITY ENGINEER'S SEAL	CITY RECORDER'S SEAL	COUNTY RECORDER SEAL
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LINDON WESTLAND CONDOMINIUM AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B", AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"

A UTAH CONDOMINIUM

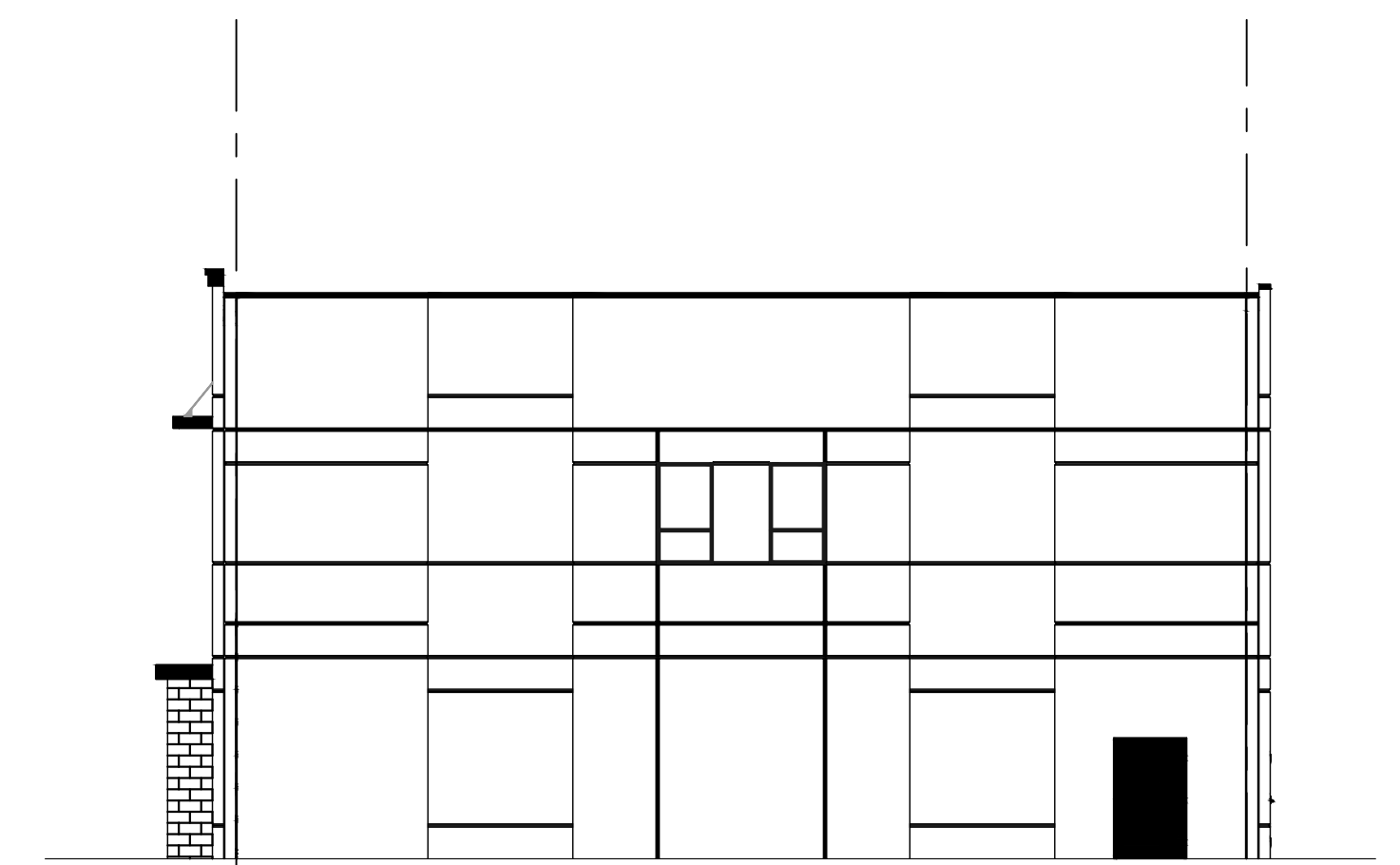
LOCATED IN THE NORTHWEST QUARTER OF SECTION 04,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

LINDON CITY, UTAH COUNTY, UTAH

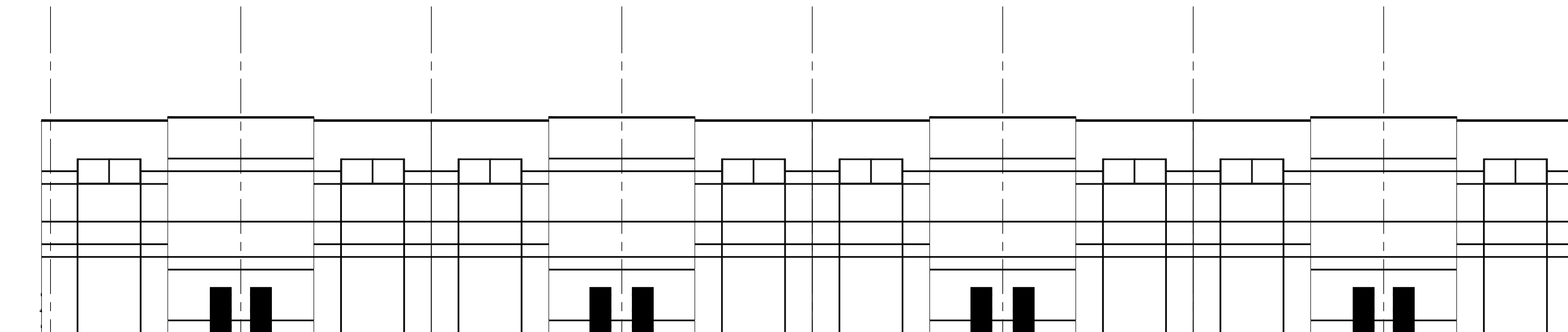
MAY 2026



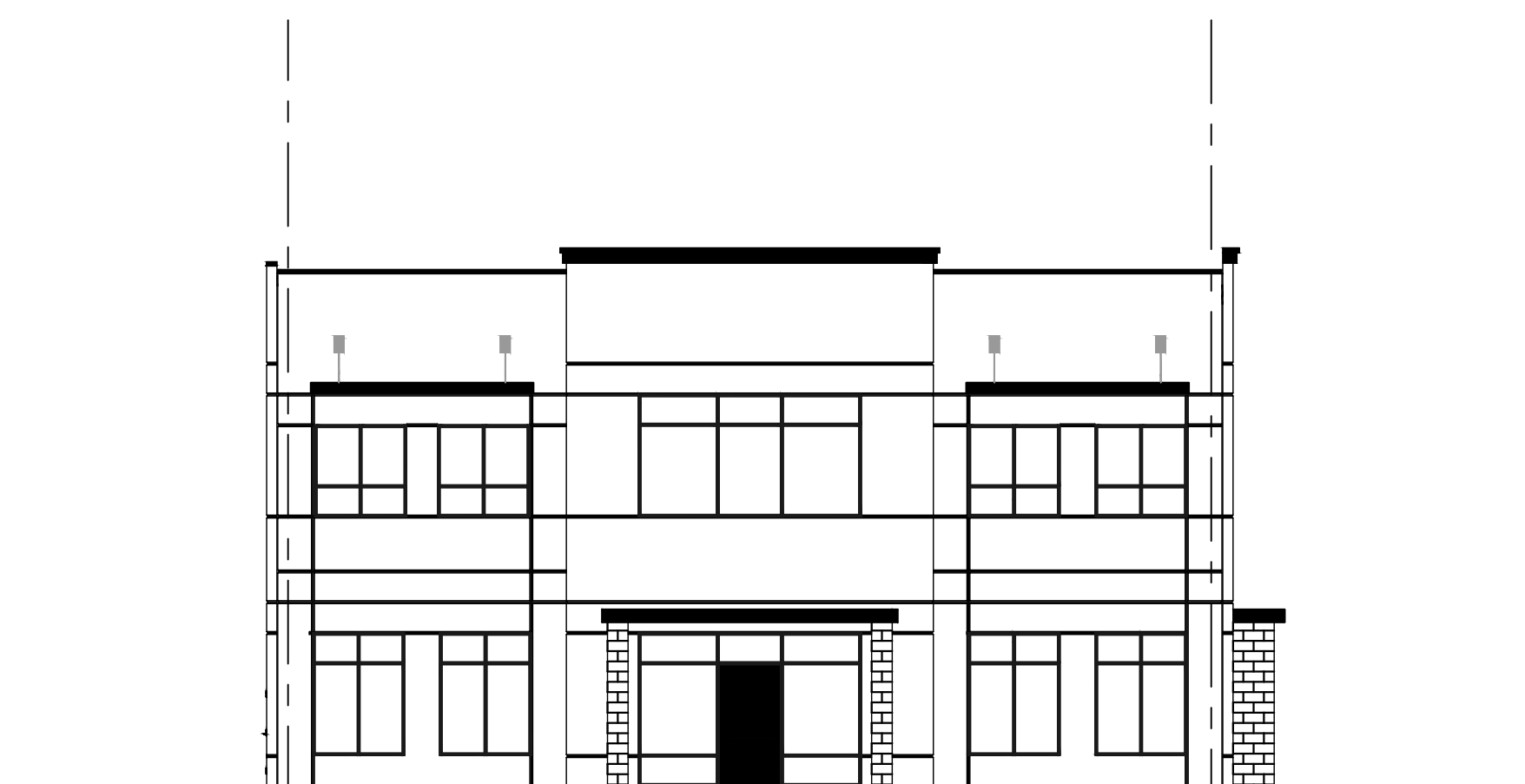
South Elevation



East Elevation



North Elevation



West Elevation

BUILDING A

PREPARED BY:

CIR CIVIL ENGINEERING
+SURVEYING

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Phone: (435) 503-7641

LINDON WESTLAND CONDOMINIUM
AMENDING AND EXTENDING LOT 15, LINDON GATEWAY PLAT "B",
AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"
A COMMERCIAL SUBDIVISION
LOCATED IN THE NW 1/4 OF SECTION 04, TOWNSHIP 6 SOUTH, RANGE 2 EAST
SALT LAKE BASE & MERIDIAN
LINDON CITY, UTAH COUNTY, UTAH

SHEET 5 OF 8

<p style="font-size: small;">SURVEYOR'S SEAL</p>	<p style="font-size: small;">CITY ENGINEER'S SEAL</p>	<p style="font-size: small;">CITY RECORDER'S SEAL</p>	<p style="font-size: small;">COUNTY RECORDER SEAL</p>
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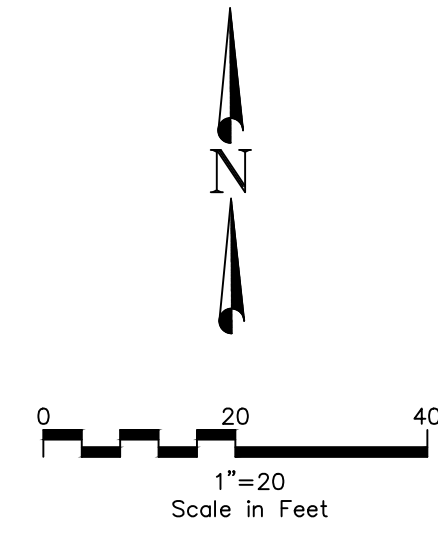
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A UTAH CONDOMINIUM

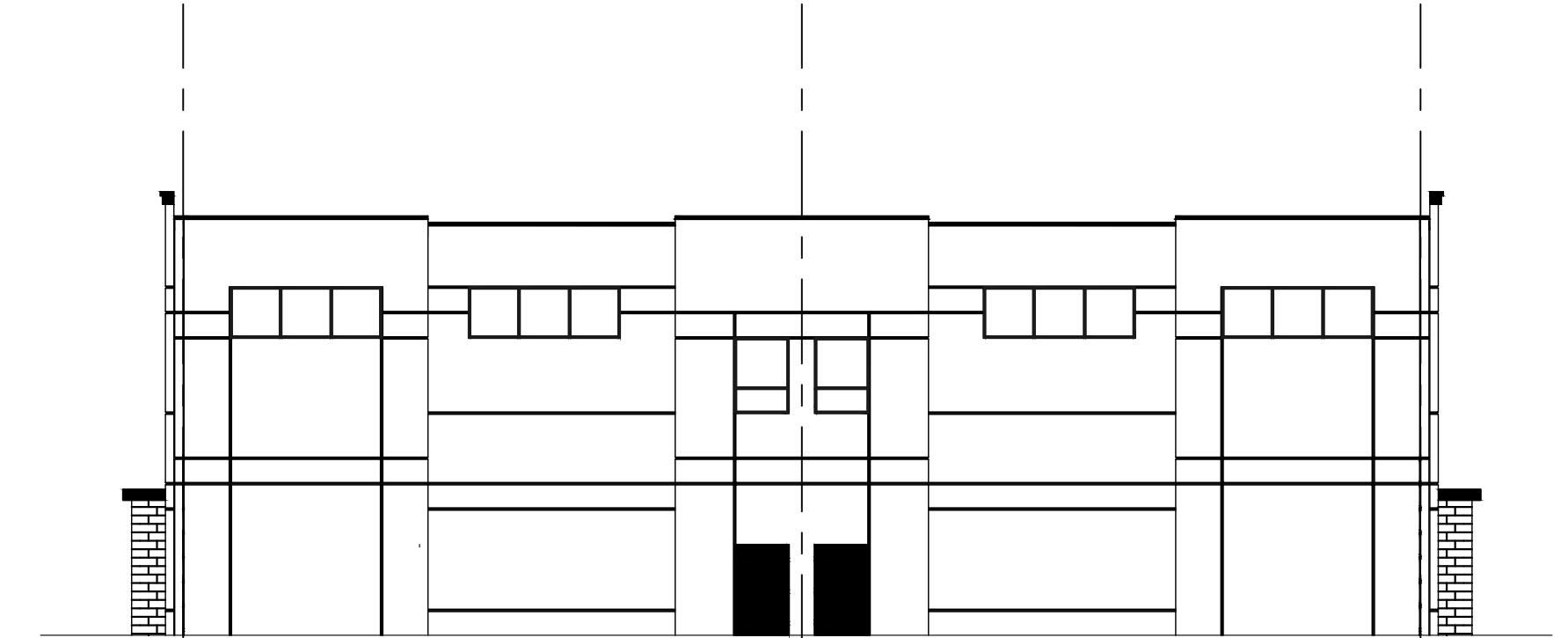
LOCATED IN THE NORTHWEST QUARTER OF SECTION 04,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

LINDON CITY, UTAH COUNTY, UTAH

MAY 2026



South Elevation

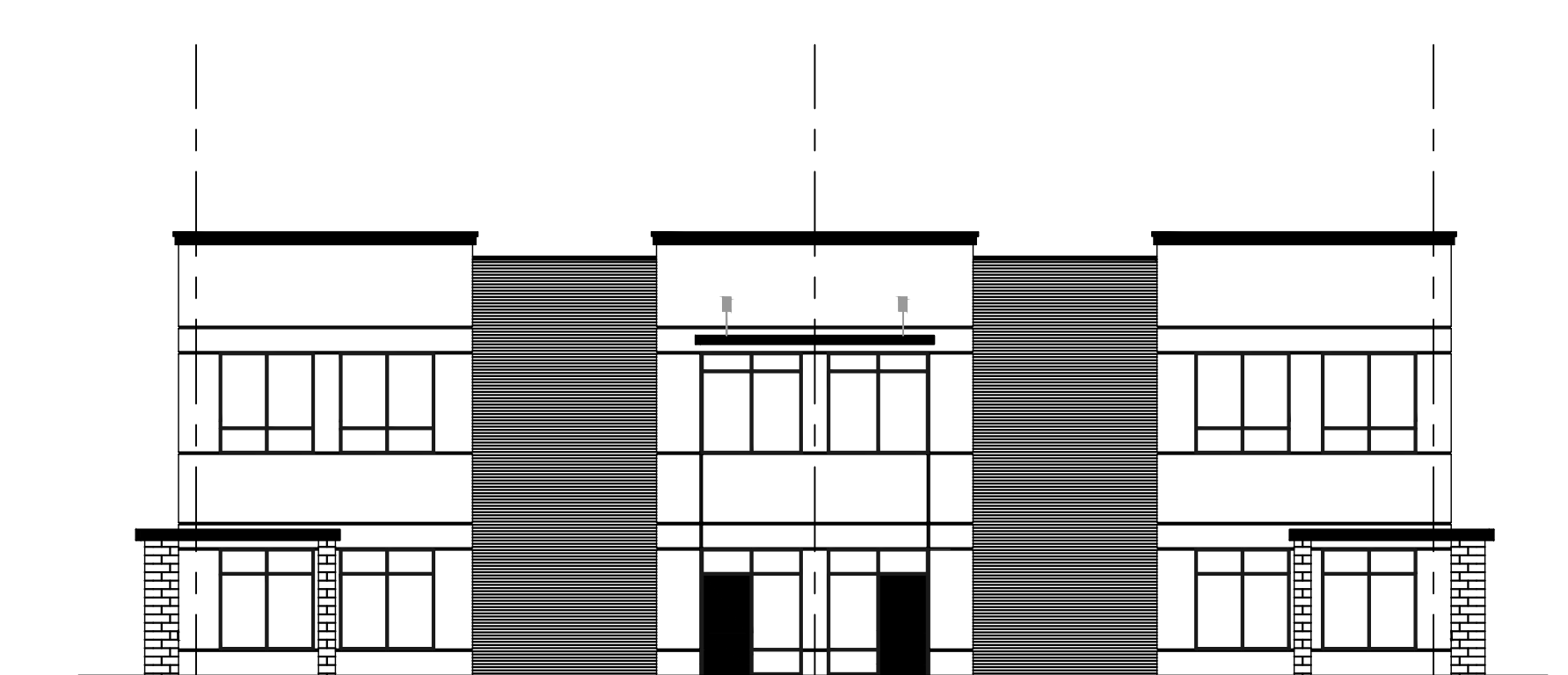


East Elevation



North Elevation

BUILDING B



West Elevation

PREPARED BY:

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LINDON WESTLAND CONDOMINIUM
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AND AMENDING LOT 13, LINDON GATEWAY PLAT "A"
A COMMERCIAL SUBDIVISION
LOCATED IN THE NW 1/4 OF SECTION 04, TOWNSHIP 6 SOUTH, RANGE 2 EAST
SALT LAKE BASE & MERIDIAN
LINDON CITY, UTAH COUNTY, UTAH

SHEET 6 OF 8

<p style="font-size: small;">SURVEYOR'S SEAL</p>	<p style="font-size: small;">CITY ENGINEER'S SEAL</p>	<p style="font-size: small;">CITY RECORDER'S SEAL</p>	<p style="font-size: small;">COUNTY RECORDER SEAL</p>
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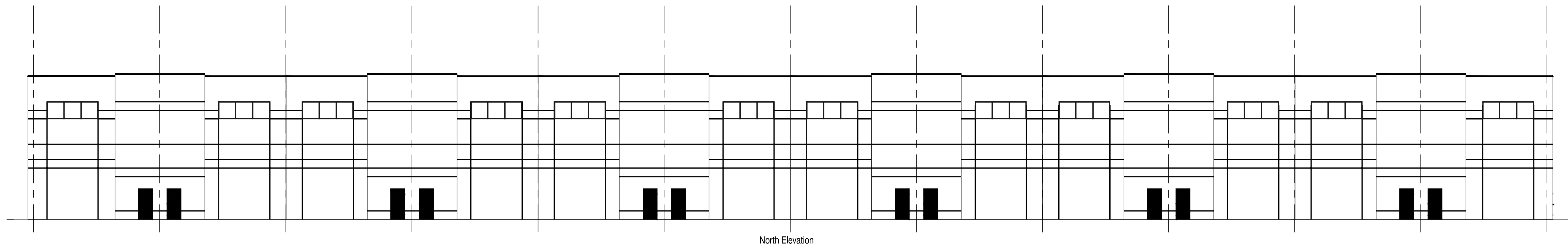
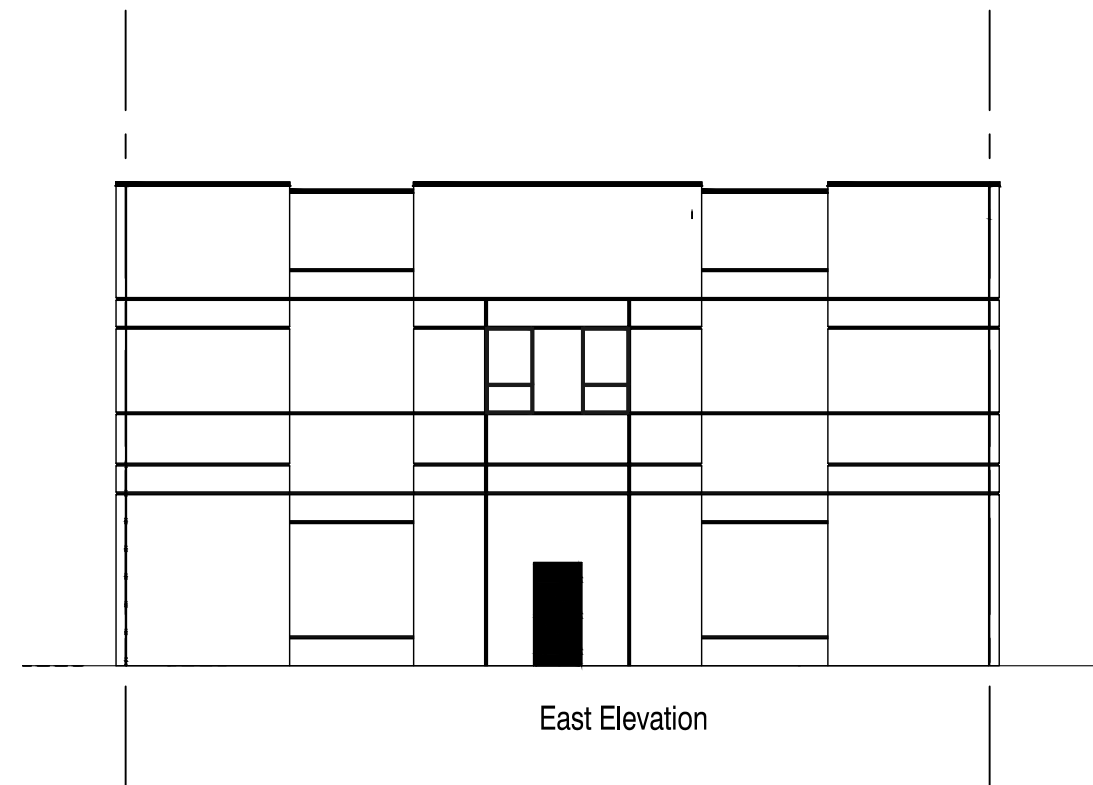
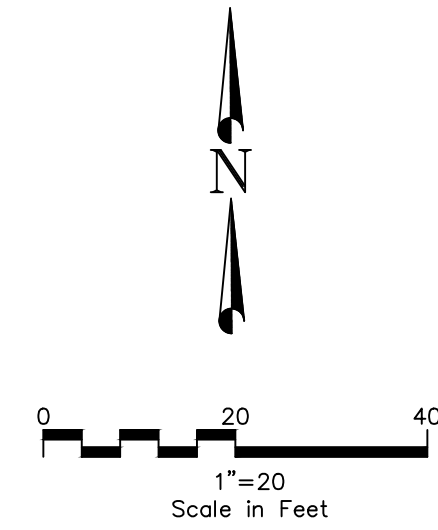
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A UTAH CONDOMINIUM

LOCATED IN THE NORTHWEST QUARTER OF SECTION 04,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

LINDON CITY, UTAH COUNTY, UTAH

MAY 2026



BUILDING C

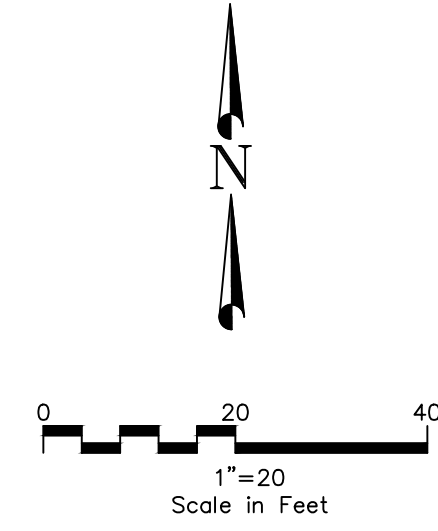
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A UTAH CONDOMINIUM

LOCATED IN THE NORTHWEST QUARTER OF SECTION 04,
TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN

LINDON CITY, UTAH COUNTY, UTAH

MAY 2026



North Elevation
BUILDING D

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SALT LAKE BASE & MERIDIAN
LINDON CITY, UTAH COUNTY, UTAH
SCALE 1" = 20' SHEET 8 OF 8

SURVEYOR'S SEAL 	CITY ENGINEER'S SEAL	CITY RECORDER'S SEAL	COUNTY RECORDER SEAL
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Item 7: - Ordinance Amendment – 17.32.090 – Subdivision General Standards

Date: June 9, 2026
Applicant: Lindon City
Presenting Staff: Michael Florence
Type of Decision: Legislative
Council Action Required: Yes, the planning commission is the recommending body on this application.

MOTION

I move to recommend (*approval, denial, or continue*) of ordinance amendment 2026-12-O (*as presented, or with changes*).

Summary of Key Issues

- Lindon City is proposing to amend the subdivision requirement that “no lot containing five (5) acres or less shall be created which is more than three (3) times as long as it is wide. The planning commission may approve up to a twenty percent (20%) increase in the depth of a lot if they determine that the proposed development is the best use of the property and in the best interest to the city and surrounding properties.”
- In researching this code requirement, it looks as though most communities apply a minimum lot size, frontage, buildable area, and lot width requirement. Lindon City does call out lot size, and lot width, lot frontage, or both requirements in each zoning district.
- In staff’s research, it appears that Duchesne County (5:1 ratio) and Price City (3:1 ratio) still use the width-to-length ratio as a requirement for subdivisions.
- The amendment would apply to residential, commercial, and industrial lots.
- Lindon’s flag lot ordinance is exempt from the width-to-length ratio.

Draft Ordinance Amendment Language

17.32.090 - Current Ordinance

3. No lot containing five (5) acres or less shall be created which is more than three (3) times as long as it is wide. The planning commission may approve up to a twenty percent (20%) increase in the depth of a lot if they determine that the proposed development is the best use of the property and in the best interest to the city and surrounding properties.

17.32.090 – Draft Ordinance

All lots and parcels created through the subdivision of real property shall comply with the minimum lot area, lot width, frontage, and buildable area requirements of the applicable zoning district.

At a minimum, each lot shall contain a buildable area sufficient to accommodate the principal structure, access, parking, sidewalks, landscaping, drainage facilities, utility easements, required setbacks, and, where applicable, fire apparatus access and turnaround areas. Additional building and site requirements identified in Title 17 and the Lindon City Land Development Policies, Standard Specifications, and Drawings may also be required as part of the buildable area. The buildable area shall be clearly identified on all preliminary subdivision plats and plans.

Lots shall be designed to provide a practical and functional building site. Lots shall not contain narrow extensions, irregular configurations, or elongated areas created primarily to satisfy minimum lot area, frontage, width, or dimensional requirements that do not contribute to the functional use of the lot.

The land use authority recognizes that existing development patterns may result in irregular lot lines or lot configurations. In reviewing subdivision applications, the land use authority may consider such circumstances and determine whether the proposed lot design satisfies the intent and requirements of this section.

Family Impact Consideration:

The Lindon City Planning Commission and City Council have reviewed and considered the impact that the proposed ordinance may have on family health, stability, and formation.

Exhibits

1. Ordinance

ORDINANCE NO. 2026-12-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING LINDON CITY SUBDIVISION ORDINANCE 17.32.090 AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Lindon City Council is authorized by state law to enact and amend ordinances establishing land use regulations; and

WHEREAS, the proposed amendment is consistent with the goal of the Lindon City General Plan to continue to plan for future growth and change; and

WHEREAS, the proposed amendment is consistent with the goal of the Lindon City General plan to consider existing development patterns, environmental conditions, infrastructure needs, transportation requirements, and fiscal impacts when planning future land uses; and

WHEREAS, the Lindon City Council has reviewed and considered the impact that the proposed ordinance may have on family health, stability, and formation; and

WHEREAS, the Lindon City Council finds that it is necessary to amend the Lindon City Subdivision ordinance 17.32.090; and

WHEREAS, on June 9, 2026, the Planning Commission held a properly noticed public hearing to hear testimony regarding the ordinance amendment; and

WHEREAS, after the public hearing, the Planning Commission further considered the proposed ordinance amendment and recommended that the City Council adopt the attached ordinance; and

WHEREAS, the Council held a public meeting on _____, 2026, to consider the recommendation and the Council received and considered all public comments that were made therein.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: Amend Lindon City Code 17.32.090 as follows:

17.32.090 General standards.

1. The design and development of subdivisions shall preserve, insofar as possible, the natural terrain, natural drainage, existing topsoil, and trees.
2. Land subject to hazardous conditions, such as slides, mud-flows, rock-falls, snow avalanches, possible mine subsidence, shallow water table, open quarries, floods, and polluted or nonpotable water supply, shall be identified and shall not be subdivided until the hazards have been eliminated or will be eliminated by the subdivision and construction plans. As applicable, proposed subdivisions shall follow required technical studies, reports, and recommendations as found in the following chapters:

- a. Chapter 17.56, SA-Sensitive Area District;
- b. Chapter 17.57, HP-Hillside Protection District;
- c. Chapter 17.62, Flood Damage Prevention.

~~3. No lot containing five (5) acres or less shall be created which is more than three (3) times as long as it is wide. The planning commission may approve up to a twenty percent (20%) increase in the depth of a lot if they determine that the proposed development is the best use of the property and in the best interest to the city and surrounding properties.~~

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The land use authority recognizes that existing development patterns may result in irregular lot lines or lot configurations. In reviewing subdivision applications, the land use authority may consider such circumstances and determine whether the proposed lot design satisfies the intent and requirements of this section.

SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provided by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day of _____, 2026.

Carolyn O. Lundberg, Mayor

ATTEST:

Britni Laidler,
Lindon City Recorder

SEAL