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AGENDA
PLANNING COMMISSION MEETING
Thursday, May 7, 2026
South Salt Lake Council Chambers
220 East Morris Avenue

PLANNING COMMISSION WORK MEETING AT 6:30 P.M.

1. Land Use & Development Ordinance Amendment Project Overview

PLANNING COMMISSION REGULAR MEETING AT 7:00 P.M.

- Pledge of Allegiance: George Pechman
Approve Agenda: Jeremy Carter

STAFF BUSINESS – INFORMATION ITEMS

1. None at this time

PLANNING COMMISSION BUSINESS

1. Approval of the February 19, 2026, Planning Commission Regular Minutes
ACTION ITEM
2. Approval of the March 5, 2026, Planning Commission Regular Minutes
ACTION ITEM

CONTINUING BUSINESS

None at this time

NEW BUSINESS

1. PUBLIC HEARING

A petition to amend Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the Department of Alcoholic Beverage Services measurement standards.

ACTION ITEM

Applicant: South Salt Lake City

2. PUBLIC HEARING

A petition for a subdivision plat amendment for a one-lot subdivision located at 2194 S West Temple.

ACTION ITEM

Applicant: dbURBAN Communities
Address: 2194 South West Temple

3. PUBLIC MEETING

A petition for approval for a Conditional Use Permit for a Micro-Unit Dwelling development, located at 2194 S West Temple.

ACTION ITEM

Applicant: dbURBAN Communities
Address: 2194 South West Temple

Join Zoom Webinar

<https://zoom.us/j/96565559652>

Webinar ID: 965 6555 9652

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING AUXILIARY COMMUNICATIVE AIDS OR OTHER SERVICES FOR THIS MEETING SHOULD CONTACT ELIZA UNGRICH, (801) 483-6013, GIVING AT LEAST 24 HOURS NOTICE.

Planning Commission Regular Meeting Minutes
Thursday, May 7, 2026
South Salt Lake Council Chambers
220 East Morris Avenue
Time: 7:00 PM

Commission Members Present:

Jeremy Carter, Chair
Christy Dahlberg
George Pechmann
Suzanne Slifka
Mary Anna Southey
Olivia Spencer
Kathy Self

Staff Members Present:

Brienne Bass, Deputy City Attorney (Zoom)
Jonathan Weidenhamer, Community Development Director
Spencer Cawley, Senior City Planner
Tereza Bagdasarova, City Planner
Jed Shum, City Planner

Other Attendees:

Dustin Holt, dbURBAN Communities
Bryon Head, Wasatch Front Regional Council
Jeff _____

Chair Jeremy Carter called the Planning Commission Work Meeting to order at 7:12 PM.

PLANNING COMMISSION MEETING

Pledge of Allegiance:

Commissioner Pechmann

Motion to Approve Agenda:

Motion:

Commissioner Pechmann

Second:

Commissioner Southey

Vote:

**Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;
Chair Carter – Yes.**

The vote was unanimous.

STAFF BUSINESS – INFORMATION ITEMS

1. None.

PLANNING COMMISSION BUSINESS

1. Approval of the February 19, 2026, Planning Commission Minutes.
ACTION ITEM

Motion to APPROVE the February 19, 2026, Planning Commission Minutes:

Motion: Commissioner Pechmann

Second: Commissioner Spencer

Vote: Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;
Chair Carter – Yes.

The vote was unanimous.

2. Approval of the March 5, 2026, Planning Commission Minutes.
ACTION ITEM

Motion to APPROVE the March 5, 2026, Planning Commission Minutes:

Motion: Commissioner Southey

Second: Commissioner Pechmann

Vote: Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;
Chair Carter – Yes.

The vote was unanimous.

CONTINUING BUSINESS

1. None.

NEW BUSINESS

1. PUBLIC HEARING

A Petition to Amend Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to Align City Proximity Requirements for Alcohol-Related Uses with the Department of Alcoholic Beverage Services Measurement Standards.

ACTION ITEM

Applicant: South Salt Lake City

Senior City Planner, Spencer Cawley, presented the Staff Report and indicated that the item was the result of internal Staff discussions regarding ways to streamline the application process and aid in economic development, as the City's business licensing requirements for alcohol-related uses were limiting the types of business the City was attracting. The item was discussed in a March City Council Work Meeting, and Staff was instructed to move forward with the amendment.

Mr. Cawley reviewed Title 5: Business Licensing. The City currently has four types of alcohol-related licenses:

Off-Premise Beer and Package Agency

- One license is allowed per 400 residents, for a maximum of 67 licenses.
- Only 27 licenses had been issued to date.

Bars and Taverns

- One license is allowed per 3,000 residents, for a total of nine.
- Eight licenses had been issued to date.
- A separate ordinance increased the number allowed in the downtown area to five, and four had been issued.

Special Use

- No limit.

Banquet/Catering, Manufacturing, Beer Recreational, and Restaurants (Beer Only, Limited Service, and Full Service)

- One license is allowed per 800 residents, for a total of 33.
- 22 licenses had been issued for restaurants.
- A total of 32 total licenses had been issued, with one in review and one restaurant on the waitlist.

The proposal was to establish a new category of business licenses for the following uses:

- Restaurant (Beer Only)
- Restaurant (Limited Service)
- Restaurant (Full Service)

The category would align with the Department of Alcoholic Beverage Services (“DABS”) 30/70 rule, which states that a maximum of 30% of an establishment’s sales can be from alcohol, and a minimum of 70% of sales must be from food. DABS enforces this rule, so no additional enforcement would be required from City Staff, and it would not require a cap on the number of restaurant licenses that can be issued. The amendment would allow for other alcohol-related uses in the City and attract restaurants that will both bring in visitors and encourage residents to spend their money in the City.

The proposed amendment to Title 17: Land Use and Development would modify the language regarding how proximity is measured. Sections 17.040.030: Permitted Uses with Specific Standards and 17.05.040: Conditional Uses with Specific Standards would be modified as follows:

- The phrase, *as measured at the closest Property Lines*, would be replaced with *as measured by the shortest route of ordinary pedestrian travel*.

Mr. Cawley reported that the current Code required the business to be at least 600 feet from a residential property and one-half mile from a homeless shelter, and the City had denied applicants who applied based on DABS standards due to this rule. Bringing the standard in line with DABS would ensure consistent enforcement.

No regulatory expansion was proposed, and no changes would be made to the Land Use Matrix, established Permitted and Conditional designations, buffer requirements, etc.

Staff determined that the amendment met the Following General Plan considerations:

- Economic Development Goal 1: Create a diverse and resilient local economy.
 - The proposed amendment encourages new businesses, providing a diverse market.
- Economic Development Goal 2: Make South Salt Lake the best place to do business in the Salt Lake Valley.
 - The amendment eliminates redundant City-level quotas already regulated by the State and streamlines the licensing process.
- Land Use and Neighborhoods Goal 1: Promote land use patterns that are consistent with the City’s vision for a vibrant, urban community.
 - Restaurants create vibrancy for a growing city.
- Land Use & Neighborhoods Goal 4: Ensure that land use regulations are clear, consistent, and easy to navigate.
 - Measurement standards that align with the DABS are predictable.

Staff recommended that the Planning Commission forward a recommendation of approval to the City Council.

In response to a question raised by Chair Carter, Mr. Cawley confirmed that the amendment would free up 22 licenses in the Banquet/Catering, Manufacturing, and Beer Recreational category, and at least two businesses were waiting to apply. There would be no City cap on restaurant licenses, as that would be handled through DABS.

In response to a question from Commissioner Southey, Mr. Cawley clarified that the Off-Premise Beer Package Agency category is for convenience and grocery stores.

Commissioner Self asked about the impact on restaurants with existing alcohol licenses. Mr. Cawley stated that they are already held to DABS standards.

Commissioner Southey expressed concern about how much the City may change if additional licenses are available. Mr. Cawley reported that the City Council had the same concern, specifically in regard to potential impacts on the Police and Fire Departments. He did not have the full historical context, but changes were likely put in place to prohibit problematic uses that required additional resources, and that goal was accomplished. Current uses had little negative impact on the City. Restaurants do not always apply for a liquor license, but Staff would like to give them that option. The City will still need to give local consent before the State will issue a license. DABS places a cap on the number of licenses that can be issued statewide. If none are available, the application will be denied. In response to a follow-up question, he stated that a license can be revoked if a business does not follow the 30/70 Rule.

Mr. Cawley clarified that the 22 licenses would only be available in the Banquet/Catering, Manufacturing, and Beer Recreational category and could not be issued to a bar, for example. Those uses did not typically result in increased calls for service.

Commissioner Dahlberg stated that it would be helpful to clarify proximity requirements and asked about recent State changes. Mr. Weidenhamer reported that City Attorney, Josh Collins, had stressed the importance of staying in alignment with State code. The City's current proximity requirements did not allow for licenses to be issued in areas of the City that are ideal for manufacturing and warehousing, and applying State code as written would allow for more redevelopment. Commissioner Dahlberg stated that she thought legislation had changed to allow cities to set their own requirements on distances from parks, for example. Mr. Weidenhamer reported that cities have some discretion, but he was unfamiliar with the referenced changes. Commissioner Dahlberg recommended that the matter be explored with the City Code update project. Assistant City Attorney, Brianne Brass, stated that she believed the referenced legislation failed, but she would research the matter and report back.

Chair Carter opened the public hearing. There were no comments. The public hearing was closed.

Chair Carter stated that there was a citizen uproar when the City decided to limit bar licenses, but those citizens could not offer a solution to the problem. It was nice to see that the issue was being addressed in a better way by granting additional licenses to establishments that generate fewer calls for service. Mr. Weidenhamer agreed that it was a cautious step forward. Mr. Cawley worked with the Legal Department to research and draft the legislation, and he was proud of the work they had done.

Motion to forward a recommendation of APPROVAL to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

Motion: Commissioner Southey

Second: Commissioner Slifka

Vote: Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;
Chair Carter – Yes.

The vote was unanimous.

2. PUBLIC HEARING

A Petition for a Subdivision Plat Amendment for a One-Lot Subdivision located at 2194 South West Temple.

ACTION ITEM

Applicant: dbURBAN Communities
Address: 2194 South West Temple

City Planner, Tereza Bagdasarova, presented the Staff Report and indicated that the application was for both a Subdivision Plat and Conditional Use Permit (“CUP”) for a 48-unit micro-unit development. An ordinance amendment to allow Micro-Unit Dwellings as a conditional multifamily use was approved on January 28, 2026. The Design Review Committee then reviewed the project on February 11, 2026. On April 29, 2026, the Council approved the vacation of the remaining portion of Wentworth Avenue between 107 West Utopia Avenue and 2194 South West Temple. Ms. Bagdasarova noted that the applicant, dbURBAN, was also the applicant for the Utopia Apartments located at 125 West Utopia Avenue, which was approved in 2022.

Site photographs, renderings, and elevations were reviewed. The 0.19-acre subject property was currently vacant and located in the Downtown District (“DT”) Station Subdistrict. Surrounding Land Use Districts were Downtown – Station, Downtown – Greenway, Downtown – Station, and Downtown – Mixed Use. The Site Plan indicates that amenities will be dedicated on each level of the project including a mailroom and secure bicycle storage on level one, a wellness center on level two, a club room and other amenities on level three, flex work space on level four, and a rooftop deck on level five. Murals will be painted on the north and west facades. There would be 48 total micro-units.

Staff determined that the amendment met the Following General Plan considerations:

- Land Use and Neighborhoods Goal 1: Identify areas of the City with appropriate infrastructure, amenities, and services to support households of various types and densities.
 - The development would bring in a different demographic that desires a micro-unit, frequents the Downtown area, and will utilize public transit.
- Land Use and Neighborhoods Goal 3: Maintain residential, business and industrial areas that are vibrant and where the health and safety of all are protected.
- Housing Goal 1: Encourage the equitable development of diverse, safe, affordable, and attractive housing that is accessible and appropriate for residents of all incomes, needs, ages, backgrounds, and familial status.
 - Rents will be at 80% adjusted median income.
- Transportation & Connectivity Goal 2: Increase connections within and between neighborhoods to improve access to amenities and services without requiring use of an automobile.
 - The development will be close to transit, provide bicycle storage and different ways for residents to frequent the area.

Staff recommended approval of the Preliminary Subdivision Plat Amendment based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Staff Report. Ms. Bagdasarova reviewed the recommended conditions.

In response to a question raised by Commissioner Dahlberg, Ms. Bagdasarova reported that the units would be for rent, not for sale.

Chair Carter opened the public hearing. There were no comments. The public hearing was closed.

Chair Carter stated that people are interested in micro-units, and he was excited to see the outcome.

Commissioner Self stated that there will be 15 parking stalls for 48 units and asked if residents would utilize street parking. She liked the idea of creating space for people who do not want a car, but there was no guarantee that residents would not have one. Commissioner Pechmann stated that the matter was previously discussed with the applicant, and the consensus was that potential renters will understand both the building's constraints and benefits. The type of tenant they were hoping to attract typically utilizes public transit. Commissioner Southey remarked that many people, especially younger people, do not want to drive, and the development will be near all TRAX lines.

In response to a question from Commissioner Dahlberg, Ms. Bagdasarova confirmed that the parking was unbundled. Commissioner Dahlberg stated that she personally believes the rent is too high for the unit size, but she is excited to see how the community responds to the project, as it will be the first micro-unit development in South Salt Lake City.

Motion to APPROVE the application by dbUphouse, LLC for a one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 South West Temple and the previously vacated portion of Wentworth Avenue, based on the following:

Findings of Fact:

- 1. On May 14, 2025, dbURBAN Communities (the Applicant) submitted a Subdivision application on behalf of dbUphouse, LLC to build and operate a Micro-Unit Dwelling development located at 2194 South West Temple;**
- 2. The subject property is located at 2194 South West Temple in South Salt Lake City; and the previously vacated portion of Wentworth Avenue;**
- 3. The subject property is on one lot;**
- 4. The subject property is located in the Downtown – Station subdistrict;**
- 5. The subject property is currently vacant;**
- 6. The total development area is .19 acres;**
- 7. The Applicant is petitioning to construct a 48-unit Micro-Unit Dwelling development and shall be consistent with the building design, amenities, and site configuration approved herein;**
- 8. The applicant applied for a Code Amendment on May 14, 2025;**
- 9. The Planning Commission reviewed the Code Amendment Application on January 15, 2026, and forwarded a positive recommendation to City Council;**
- 10. City Council reviewed and approved the Code Amendment on January 29, 2026. The ordinance amended multiple sections of Title 17 of the South Salt Lake City Municipal Code. Specifically, it introduced a definition for “Micro-Unit Dwelling” establishing this use as a conditional use within the Downtown Station District, and updated the Land Use Matrix, parking standards, design requirements, and provisions of the Downtown Form-Based Code;**
- 11. Micro-Unit Dwelling is a Conditional Use in the Downtown District;**
- 12. The South Salt Lake Municipal Code regulates Multi-Family Dwelling conditional uses through the standards found in 17.05.010, 17.05.020, 17.05.030, 17.05.050 and 17.05.060, as they exist as of the approval of the CUP;**
- 13. The Applicant applied for a subdivision application on May 14, 2025, to subdivide the subject parcel by Subdivision Plat to comply with South Salt Lake Municipal Code;**
- 14. The Applicant applied for a Conditional Use application on May 14, 2025 to comply with South Salt Lake Municipal Code;**

15. **The Applicant applied for a design review application on May 14, 2025, and worked with Planning staff on several aspects of the application, which resulted in a more compliant product;**
16. **On February 11, 2026, the Design Review Committee reviewed the application and provided no comments;**
17. **The application to vacate the remainder of Wentworth was approved by City Council on April 29, 2026;**
18. **The proposed development will be served by existing and new vehicular and pedestrian access points on 2194 South West Temple;**
19. **The development complied with the parking reduction requirements and incorporated the following measures: unbundled parking, a bike-share program, and transit passes for all Staff;**
20. **The Applicant has proposed full-time, on-site management; and**
21. **Staff has reviewed this Conditional Use Permit application for compliance with South Salt Lake Municipal Code Sections 17.05.010, 17.05.020, 17.05.030, 17.05.050, and 17.05.060, and has found that this Conditional Use Permit application, as specifically conditioned herein, is compliant with these sections, as conditioned below;**

Conclusions of Law:

1. **The subdivision and use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.**
2. **The subdivision and use, as specifically conditioned below is compatible in use, scale, and design with the allowed uses in Downtown District.**
3. **The subdivision and use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.**
4. **The subdivision and use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the City.**

Preliminary Subdivision Plat Conditions of Approval:

- 1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;**
- 2. Prior to plat recordation and any additional development of the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the Subdivision Plat attached hereto;**
- 3. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;**
- 4. The applicant shall dedicate a 10-foot public utility easement and a 37.1' Access and Utility Easement to the City of South Salt Lake for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;**
- 5. The applicant shall address all outstanding engineering comments per the third-party review prior to final plat approval;**
- 6. The proposed Multi-Family development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering Department;**
- 7. The applicant shall maintain the 15 parking stalls they are shown on the proposed plans;**
- 8. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;**
- 9. The applicant shall obtain a South Salt Lake City sign permit prior to any sign installation;**
- 10. The applicant shall obtain approval from South Salt Lake City prior to any murals being painted;**
- 11. The applicant shall apply for and complete a South Salt Lake Business License application prior to any rental activity; and**
- 12. All items of the Staff Report.**

Motion:

Commissioner Pechmann

Second: Commissioner Slifka

Vote: Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;
Chair Carter – Yes.

The vote was unanimous.

3. PUBLIC MEETING

A Petition for Approval for a Conditional Use Permit for a Micro-Unit Dwelling development located at 2194 South West Temple.

ACTION ITEM

Applicant: dbURBAN Communities

Address: 2194 South West Temple

This item was heard in conjunction with Item 2. Based on the information submitted in the application, supporting documentation, and analysis of the relevant Code sections and General Plan goals, Staff recommended that the Planning Commission approve the proposed CUP for the Micro-Unit Dwelling development based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Staff Report. Ms. Bagdasarova reviewed the recommended conditions.

Commissioner Southey stated that, to her recollection, both employees and residents would be provided with transit passes. The applicant, Dustin Holt, reported that yearly parking passes will be provided for employees, but it is more challenging to do so for residents. However, they had coordinated with UTA and other sites about providing monthly passes at a discounted rate. Two shared ebikes are required per the ordinance, but they will likely have four. Residents who need an ebike for three hours or longer must reserve it. Otherwise, they will be available on a first-come, first-served basis. Most parking will be unbundled, but the ordinance allows for three parking stalls to be bundled. He had been approached by other property owners about building similar developments, as micro-units are in demand. The subject property is an ideal location as it is less than 1,000 feet from both the S-Line and TRAX.

Chair Carter asked about the proposed signage. Mr. Holt reported that there will be one sign over the resident lobby entry, a leasing sign at the leasing office on the east façade, one sign over the parking entry, and one large sign on the main face of the building. All will be permanent installations. They also utilize feather banners and A-frame temporary signs that are replaced as needed.

In response to a question raised by Commissioner Slifka, Mr. Holt reported that one full Americans with Disabilities Act-compliant unit is required, but all units will be convertible for installation of

grab bars and other adaptive fixtures. If the full unit is unavailable, they will convert another unit for the tenant's needs. A total of 14 bicycle storage spaces will be available to residents in addition to two bicycle stations for visitors or guests. Bicycles are not permitted on balconies. Commissioner Slifka stated that she would like to participate in creating the performance report questions.

Commissioner Pechmann asked about soundproofing. Mr. Holt reported that shared walls will have double studs with a 1.5-inch air gap. They use resilient channels and two layers of sheetrock on the cabinet wall, and TV mounts are only placed on non-common walls.

Motion to APPROVE the application submitted for a Conditional use Permit, C25-00007, to operate a Micro-Unit Dwelling development located at 2194 South West Temple, based on the following:

Findings of Fact:

- 1. On May 14, 2025, dbURBAN Communities (the Applicant) submitted a Conditional Use Permit application on behalf of dbUphouse, LLC to build and operate a Micro-Unit, Dwelling development located at 2194 South West Temple;**
- 2. The subject property is located at 2194 South West Temple in South Salt Lake City, which is currently vacant land;**
- 3. The subject property is located in the Downtown – Station subdistrict;**
- 4. The total development area is .19 acres;**
- 5. The Applicant is petitioning to construct a 48-unit Micro-Unit, Dwelling development that shall be consistent with the building design, amenities, and site configuration approved herein;**
- 6. The applicant applied for a Code Amendment on May 14, 2025.**
- 7. The Planning Commission reviewed the Code Amendment Application on January 15, 2026, and forwarded a positive recommendation to City Council;**
- 8. City Council reviewed and approved the Code Amendment on January 29, 2026. The ordinance amended multiple sections of Title 17 of the South Salt Lake City Municipal Code. Specifically, it introduced a definition for “Dwelling, Micro-Unit” establishing this use as a conditional use within the Downtown Station District, and updated the Land Use Matrix, parking standards, design requirements, and provisions of the Downtown Form-Based Code;**
- 9. Micro-Unit Dwelling is a Conditional Use in the Downtown District;**

10. **The South Salt Lake Municipal Code regulates Multi-Family Dwelling conditional uses through the standards found in 17.05.010, 17.05.020, 17.05.030, 17.05.050 and 17.05.060, as they exist as of the approval of the CUP;**
11. **The Applicant applied for a subdivision application on May 14, 2025, to subdivide the subject parcel by Subdivision Plat to comply with South Salt Lake Municipal Code. The Subdivision Plat was approved by the Planning Commission on January 18, 2024;**
12. **The Applicant applied for a design review application on May 14, 2025, and worked with Planning staff on several aspects of the application, which resulted in a more compliant product;**
13. **On February 11, 2026, the Design Review Committee reviewed the application and provided no comments;**
14. **The proposed development will be served by existing and new vehicular and pedestrian access points on 2194 South West Temple;**
15. **The development has complied with the parking reduction requirements and incorporated the following measures: unbundled parking, a bike-share program, and transit passes for all Staff;**
16. **The Applicant has proposed full-time, on-site management; and**
17. **Staff has reviewed this Conditional Use Permit application for compliance with South Salt Lake Municipal Code Sections 17.05.010, 17.05.020, 17.05.030, 17.05.050, and 17.05.060, and has found that this Conditional Use Permit application, as specifically conditioned herein, is compliant with these sections, as conditioned below.**

Conclusions of Law:

1. **The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.**
2. **The use, as specifically conditioned below is compatible in use, scale, and design with the allowed uses in Downtown District.**
3. **The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.**

4. **The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the city.**

Conditions of CUP Approval:

1. **The proposed Micro-Unit development shall meet all requirements of the South Salt Lake Municipal Code in effect at the time of CUP approval. The Subdivision Plat shall be recorded prior to the issuance of any building permit;**
2. **The proposed Micro-Unit development shall comply with all applicable requirements of Downtown Form-Based Code at the time of the approval of the CUP;**
3. **The final design of the building shall comply with the Downtown Code Section 5, Building Types for Urban Style Building Type;**
4. **The site shall comply with the Downtown Code Section 7, Landscape Standards;**
5. **The property owner shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit for each phase of the development, as they exist at the approval of the CUP;**
6. **The property owner shall apply for and must obtain and comply with a South Salt Lake City sign permit prior to any sign installation;**
7. **The applicant shall obtain approval from South Salt Lake City prior to any murals being painted;**
8. **The property owner shall apply for, complete, and maintain a South Salt Lake Rental Business License;**
9. **The total of the residential units and the unit types for the project shall be as follows:**
 - **Total Site =**
 - **Unit A – 4 unit – 395 sq ft**
 - **Unit B – 8 units – 371 sq ft**
 - **Unit B-2 – 8 units – 385 sq ft**
 - **Unit B-3 – 8 units – 385 sq ft (net)**
 - **Unit C – 4 unit – 382 sq ft (net)**
 - **Unit D – 16 units – 271 sq ft (net)**
 - **Total of 48 units**

- 10. Each micro-unit shall include a functional kitchen and a private bathroom, consistent with the minimum unit requirements of the Code.**
- 11. The property owner shall meet all Building Features and Green Building amenity requirements as found in the Downtown Form Based Code in section 17.03.180 of the South Salt Lake Municipal Code, at the time of building permit issuance, and in accordance with the following phasing plan:**
 - **One ADA accessible parking stall will be included**
 - **Fourteen bike storage locations will be provided: seven secure, dedicated closets on each level, and seven additional spaces in common areas.**
 - **The installation of public art along a street facing façade or in a lobby wherein the art is plainly visible to the street, subject to approval by the South Salt Lake Community Development Department and the South Salt Lake Arts Council.**
 - **There shall be no advertising of any kind associated with the public art or the installation of public art within the project;**
 - **Shared washer and dryer will be included on every level;**
 - **Dedicated, on-site team responsible for leasing, management, maintenance and daily operations will be available during standard business hours.**
 - **Security-controlled access will be provided at all ground-level entrances, including the parking garage.**
 - **The project will utilize a valet waste service, with residents provided in-unit trash and recycling containers collected multiple times per week and transported to designated dumpsters in the parking garage. The development will include one 4-yard trash dumpster and one 4-yard recycling dumpster within a secured garage area. Collection will occur up to four times per week.**
 - **Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations.**
 - **Open space will meet minimum code requirements.**
 - **Required Open Space: $7,720 \text{ SF} \times 20\% = 1,544 \text{ SF}$**
 - **Provided Open Space**
 - **Street Facing Plaza: 343 SF**
 - **Level 2 South Balconies: 478 SF**
 - **Unit C Balconies (2 through 4): 200 SF**
 - **Rooftop Deck: 543 SF**
 - **Total Open Space 1,564 SF, 20.25%**
 - **Water reclamation strategies and/or smart metering/building management systems will be incorporated.**
 - **The project will incorporate water-efficient fixtures, daylighting strategies in interior common and private spaces, and water reclamation and/or smart**

building management systems and will include sound attenuation measures in units meeting applicable STC, IIC, or equivalent standards.

- 12. The property owner shall maintain all amenity requirements, in the Tenant Amenity Standards found in section 5.12 of the Downtown Form Based Code, applicable at the time of building permit issuance, and as approved as follows:**
 - The property owner shall construct and maintain the following amenities:**
 - Main Level Lobby and Social Area**
 - Level 2 - Indoor health, wellness and or fitness center**
 - Level 3 – Clubroom and social spaces, including interior amenities such as a kitchen, media room, or event room.**
 - Level 4 – Flex/Work Space Area**
 - Level 5 - Rooftop Deck with outdoor dining patio**
 - Mail/Package Rooms**
 - Secured bike storage**
 - Installation of a mural along the north and west facade. Mural design must be submitted to and reviewed by the South Salt Lake Community Development Department and an appropriately designed mural, in the reasonable discretion of the South Salt Lake Community Development Department and the South Salt Lake Arts Council.**
- 13. On-site amenities and useable open space will not be removed or repurposed without first obtaining written, Planning Commission approval and full compliance with the South Salt Lake City Code;**
- 14. The property owner will continuously comply with the parking demand rate reductions by providing the following on-site:**
 - Unbundled Parking for stalls available in the parking garage;**
 - Provide a minimum of two (2) Bike Share; and**
 - Provide Transit Passes for all employees.**
- 15. Residential loading, unloading, delivery, and move-in / move-out activities shall occur only within designated on-site loading areas. The property management team shall coordinate and schedule such activities in advance within designated daytime hours to minimize conflicts with on-site circulation and surrounding uses;**
- 16. All delivery staging, including moving trucks and service vehicles, shall occur within the designated loading zone on the north service drive, which shall provide direct access to the building's freight elevator. Mail and parcel delivery shall be accommodated at a designated entrance near the primary building entry with adjacent on-street parking for short-term use;**

- 17. The development shall maintain safe and efficient pedestrian circulation through on-site walkways and connections to adjacent public sidewalks, providing access between building entrances, parking areas, and nearby transit and amenities;**
- 18. The property owner shall provide and maintain a valet waste service, with waste and recycling collected from individual units multiple times per week and transported to designated collection areas within the parking garage. The development shall include one 4-yard dumpster for solid waste and one 4-yard dumpster for recycling, both located within a secured and enclosed area. Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations.**
- 19. The property owner shall retain a professional property management company and maintain a dedicated, on-site management team responsible for leasing, maintenance, and daily operations, with staff present during standard business hours, and shall reasonably maintain, as proposed:**

 - a. On-site management shall monitor daily the site for solid waste, litter, loitering, camping, spillover parking, remnants of criminal behavior, and other potential nuisances;**
 - b. On-site management shall monitor daily and shall maintain to the highest standard of repair and cleanliness, the residential amenity components of the building;**
- 20. The property owner shall implement building security measures, including ground-level, controlled access system (granting residents and their invited guests 24/7 access), installation of security cameras in common areas, and provision of 24/7 emergency access and communication for police and fire personnel. Current management contact information shall be provided to applicable emergency responders;**
- 21. The property owner shall ensure lease agreements establish clear expectations for tenant conduct, including provisions addressing nuisance behavior, and shall ensure timely response to tenant concerns and complaints;**
- 22. Residential occupancy shall be permitted 24 hours per day. The on-site management office shall operate during standard business hours, and all delivery and waste collection services shall be scheduled to reduce impacts on surrounding properties and the public right-of-way;**
- 23. The property owner shall submit, annually, a project-specific report or study as part of the City's evaluation of Micro-Unit Dwellings. The content, scope, and format of the report shall be reasonably determined by the City and may include, but is not limited to, analysis of resident behavior and occupancy**

patterns, transit usage, parking demand and impacts, e-mobility usage, and overall project performance. The purpose of the report is to inform future housing and land use policy decisions and evaluate the effectiveness of micro-unit housing in supporting the City's planning objectives, and shall remain an obligation of the property owner for a period of ten (10) years, or less if deemed no longer necessary by the City;

24. The provisions of this Section governing the conditional use standards for Dwelling, Micro-Unit developments shall remain in effect until a total of three (3) such projects have been entitled. Upon the entitlement of three (3) Dwelling, Multi-Family Micro-Unit developments, this use shall no longer be considered a conditionally permitted use unless specifically extended by the City Council following review and recommendation by the Planning Commission;
25. In addition to the foregoing, the property owner shall implement all items of the Staff Report, attached hereto and incorporated herein. In the event of an actual conflict between the terms of the staff report and the terms of this permit, the terms of this permit shall be controlled.

Motion: Commissioner Slifka

Second: Commissioner Pechmann

Vote: Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;
Chair Carter – Yes.

The vote was unanimous.

Motion to ADJOURN the Planning Commission Meeting:

Motion: Commissioner Self

Second: Commissioner Spencer

Vote: Commissioner Dahlberg – Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Slifka – Yes;
Commissioner Spencer – Yes;
Commissioner Self – Yes;

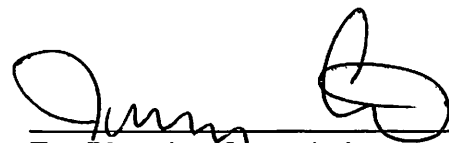
Chair Carter – Yes.

The vote was unanimous.

The Planning Commission Meeting adjourned at 8:05 PM.



Community Development



For Planning Commission

PLANNING COMMISSION MEETING SIGN-IN SHEET

Meeting Date:

May 7th, 2024

Please sign and pass on, thank you.

[illegible]

**Planning Commission Meeting Minutes
Thursday, February 19, 2026
South Salt Lake Council Chambers
220 East Morris Avenue
Time: 7:00 PM**

Commission Members Present:

Jeremy Carter, Chair
Christy Dahlberg (via Zoom)
George Pechmann
Kathy Self
Mary Anna Southey
Suzanne Slifka
Olivia Spencer

Staff Members Present:

Brianne Brass, Deputy City Attorney
Spencer Cawley, Senior City Planner
Tereza Bagdasarova, City Planner

Other Attendees:

Jeff Jensen, European Tile (online)

Chair Jeremy Carter called the Planning Commission Meeting to order at 7:00 PM.

PLANNING COMMISSION MEETING

Pledge of Allegiance:

Commissioner Slifka

Motion to Approve Agenda:

Motion:

Commissioner Pechmann

Second:

Commissioner Southey

Vote:

**Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Slifka – Yes;
Commissioner Southey – Yes;
Commissioner Self – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.**

The vote was unanimous.

STAFF BUSINESS – INFORMATION ITEMS

- 1. None.**

PLANNING COMMISSION BUSINESS

**1. Approval of the February 5, 2026, Planning Commission Minutes.
ACTION ITEM**

Motion to APPROVE the February 5, 2026, Planning Commission Minutes:

Motion: Commissioner Spencer

Second: Commissioner Self

Vote: Commissioner Dahlberg– Abstain;
Commissioner Pechmann – Yes;
Commissioner Slifka – Yes;
Commissioner Southey – Yes;
Commissioner Self – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.

The vote was unanimous.

**2. Approval of the Findings of Facts and Conclusions of Law for the 604 E Leland
Avenue Denial of Variance Appeal.
ACTION ITEM**

**Motion to APPROVE the Findings of Fact and Conclusions of Law for the 604 East Leland
Avenue Denial of Variance Appeal.**

Motion: Commissioner Southey

Second: Commissioner Slifka

Vote: Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Slifka – Yes;
Commissioner Southey – Yes;
Commissioner Self – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.

The vote was unanimous.

CONTINUING BUSINESS

1. None.

NEW BUSINESS

1. PUBLIC HEARING

A Petition to the Planning Commission to Forward a Positive Recommendation to the South Salt Lake City Council for an Ordinance Amendment Amending the Standard Road Profile for 600 West.

ACTION ITEM

Applicant: South Salt Lake

Senior City Planner, Spencer Cawley, reported that the Ordinance Amendment was similar to an application the Planning Commission considered in 2025 for Hayden Avenue and Central Point Place. The City did a comprehensive Code rewrite in 2020 and adopted standards for road profiles that categorizes roads by size and width. Staff had since inventoried existing roads and compared them with the codified rights-of-way (“ROW”) to identify discrepancies, and the 600 West corridor was identified as one that does not align with the width established by the associated standard road profile.

The amendment was also before the Planning Commission due to the next agenda item. The current profile required a 63-foot width, but 600 West is only 60 feet wide. The majority of properties are either platted or developed, and requiring a single owner to dedicate 1.5 feet to the City was counterintuitive to the purpose of standard road profiles. The amendment would reduce the burden on property owners while maintaining road functionality and ensuring that the current ROW is maintained.

The proposed standard road profile was a 60-foot ROW, which includes the following changes:

- No changes to travel lanes.
- Bike lanes will be reduced by one foot on each side to five feet per side.
- Park strips will be increased to six feet on the west side and eight feet on the east.
- Only one five-foot sidewalk will be required on the west side, which is consistent with existing conditions.
- No changes to curb and gutter or public utility easements.

Staff recommended that the Planning Commission forward a recommendation of approval to the City Council.

Chair Carter asked if the profile would extend the full length of 600 West. Mr. Cawley clarified that it would extend from 2100 South to the bend in 600 West.

In response to a question raised by Commissioner Southey, Mr. Cawley reported that City Engineer, Chris Merket, felt confident in the road profile because there is an existing sidewalk on a portion of 600 West. If the City were to decide to install additional sidewalk, it would lessen the cost burden while still providing a sidewalk. However, they reviewed data that indicated the road is more of a bicycle route than a pedestrian one, so their primary focus was on maintaining the bicycling infrastructure. Commissioner Southey stated that she understood the reasoning. However, if you build it, they will come, and walkability would encourage more people to walk.

Commissioner Pechmann asked if any consideration was given to the types of plantings allowed in the larger park strips, as expanding them will increase water usage. Mr. Cawley reported that the City's Landscape Ordinance requires certain materials in park strips depending on their location. Staff was in the process of reviewing that ordinance, and a recommendation to require waterwise landscaping would be brought before the Planning Commission.

Chair Carter spoke to Commissioner Southey's comment and noted that there are no residences in the area. It is heavy industrial and only has two access points. He was comfortable with maintaining the current sidewalk configuration. Commissioner Southey stated that in that case, the road may not need a sidewalk at all.

Commissioner Dahlberg reported that the item was not being shared in the Zoom meeting. The area is industrial, and she believes one sidewalk is standard for that use. She questioned why the item was being brought before the Commission at the time rather than in conjunction with citywide code updates. Mr. Cawley stated that the citywide amendments were in the early stages and would not be finalized until late 2026. The amendment was necessary for the next agenda item, as without it that applicant would be unable to obtain a building permit.

Chair Carter opened the public hearing. There were no comments. The public hearing was closed.

Move to forward a recommendation of APPROVAL to the City Council for an Ordinance Amending Section 17.10.120 of the South Salt Lake City Municipal Code ("Title 17"), Creating a Standard Road Profile for 600 West from 2100 South to 2890 South in the Flex District.

Motion: Commissioner Pechmann

Second: Commissioner Slifka

Vote: Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Slifka – Yes;
Commissioner Southey – Yes;
Commissioner Self – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.

The vote was unanimous.

2. PUBLIC HEARING

An Application for a Preliminary Subdivision Plat to create a One-Lot Subdivision located at 2575 South 600 West.

ACTION ITEM

Applicant: Jeff Jensen

Address: 2575 South 600 West

Mr. Cawley presented the Staff Report and stated that the Subdivision Plat application was for European Marble and Granite. The subject property is 2.5 acres and is located at 2575 South 600 West in the Flex District. The purpose of the application was to create a legally subdivided lot to allow the business to apply for a building permit and construct an addition to the existing commercial structure. The property is surrounded on all sides by the Flex District and fronts on 600 West.

Staff analyzed the application for General Plan and Ordinance compliance. The General Plan identifies the Roper Yard neighborhood as an economic catalyst for the City, and the petition would help maintain the area as such. The site contains existing water, sewer, and stormwater systems and has access to utilities and meets all zone requirements.

Mr. Cawley reviewed the recommended Conditions of Approval and noted that final Subdivision Plat approval would be contingent on the City Council adopting the new road profile for 600 West. If the amendment was not approved, the Subdivision Plat must be amended to dedicate 1.5 feet of ROW to the City. Staff recommended approval of the application based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Staff Report.

Chair Carter opened the public hearing. There were no comments. The public hearing was closed.

Motion to APPROVE the Application by JKRE, LLC to Create a One-Lot Subdivision located at 2575 South 600 West, based on the following:

Findings of Fact:

- 1. The property is located at 2575 South 600 West in the Flex District.**
- 2. The parcel number is 15-24-352-004-0000.**
- 3. The parcel contains 2.5 acres (108,900 sq. ft.).**
- 4. The property is improved and contains a commercial structure.**
- 5. The purpose of the proposed Subdivision is to create one lot to allow for an addition to the existing structure.**
- 6. There are no environmentally sensitive lands on site, and no impact is expected on environmentally sensitive lands.**

7. **The proposed Subdivision will comply with all requirements of the South Salt Lake Municipal Code.**
8. **Staff reviewed this Subdivision application for compliance with South Salt Lake Municipal Code Sections 17.10.120, 17.10.130, 17.10.140, 17.10.150, 17.10.160, 17.10.170, 17.10.180, 17.10.190 and 17.10.200, and finds that this subdivision application is compliant with these sections, as outlined above.**

Conclusions of Law:

1. **The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.**
2. **The use, as specifically conditioned below, is compatible in use, scale, and design with allowed uses in the Flex District.**
3. **The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed Development; Those residing or working in the vicinity of the proposed use or Development; or Property or improvements in the vicinity of the proposed use or Development.**
4. **The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of South Salt Lake.**

Conditions of Approval:

1. **The Applicant shall continue working with City Staff to make all necessary technical corrections before recording.**
2. **Prior to plat recordation and any additional Development of the subsequent Lot, the Applicant must provide City Staff the final plat mylar with notarized signatures of owners' consent to dedication and obtain signatures of all entities indicated on the Subdivision Plat attached hereto.**
3. **The plat shall indicate a 10-foot public utility easement along the front Lot line adjacent to the 600 West public Right-of-Way pursuant to South Salt Lake Municipal Code § 17.10.190(B)(2).**
4. **The Applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code.**
5. **The proposed Development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering Department.**

6. **The Applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake Building Permit.**
7. **The Applicant shall record the plat prior to the issuance of any Building Permits for the proposed addition. The plat shall be recorded with the Salt Lake County Recorder's Office within two years of receiving final plat approval.**
8. **The plat does not meet the current standard road profile for 600 West. It will be compliant with the new proposed standard road profile and final approval is conditioned upon adoption of the ordinance by City Council. Otherwise, the plat shall meet the current code if Council does not adopt the change.**
9. **All items of the Staff Report.**

Motion:

Commissioner Southey

Second:

Commissioner Spencer

Vote:

**Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Slifka – Yes;
Commissioner Southey – Yes;
Commissioner Self – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.**

The vote was unanimous.

Motion to ADJOURN the Planning Commission Meeting:

Motion:

Commissioner Pechmann

Second:

Commissioner Dahlberg

Vote:

**Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Slifka – Yes;
Commissioner Southey – Yes;
Commissioner Self – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.**

The vote was unanimous.

The Planning Commission Meeting adjourned at 7:24 PM.

For Planning Commission

Community Development

DRAFT

**Planning Commission Meeting Minutes
Thursday, March 5, 2026
South Salt Lake Council Chambers
220 East Morris Avenue
Time: 7:00 PM**

Commission Members Present:

Jeremy Carter, Chair
Christy Dahlberg (online)
George Pechmann
Mary Anna Southey
Olivia Spencer

Staff Members Present:

Eliza Ungricht, Deputy Community Development Director
Brianna Brass, Deputy City Attorney (online)
Spencer Cawley, Senior City Planner
Tereza Bagdasarova, City Planner

Other Attendees:

Angela Dean, Tracy Aviary
Tim Brown, Tracy Aviary
Oliver Pechmann

Chair Jeremy Carter called the Planning Commission Meeting to order at 7:00 PM.

PLANNING COMMISSION MEETING

Pledge of Allegiance:

Commissioner Pechmann

Motion to Approve Agenda:

Motion:

Commissioner Southey

Second:

Commissioner Pechmann

Vote:

**Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.**

The vote was unanimous.

STAFF BUSINESS – INFORMATION ITEMS

1. Parks Plan Update.

Deputy Community Development Director, Eliza Ungricht, reported that Parks Project Manager, Anthony Biamont presented the draft Parks Plan in a July 2024 Work Meeting. The City Council reviewed the latest draft at its February 25, 2026 meeting, and the final plan will be adopted at its March 25, 2026 meeting.

PLANNING COMMISSION BUSINESS

1. None.

CONTINUING BUSINESS

1. None.

NEW BUSINESS

1. PUBLIC HEARING

A petition to amend Title 17 to amend the parking requirements in the Tracy Aviary's Jordan River Nature Center (JRNC) District to allow for unpaved surfaces pending specific criteria are met and the City Engineer or their designee approve.

ACTION ITEM

Applicant: Angela Dean, AMD Architecture on behalf of Tracy Aviary
Address: 1111 West 3300 South

Ms. Ungricht reported that the Code Amendment would allow for permeable surfaces in the Jordan River Nature Center ("JRNC") District at 111 West 3300 South near the Men's Resource Center. The parcel was rezoned approximately four years previously, and Tracy Aviary was now requesting that the City allow permeable surfaces for a parking lot. The exception for permeable surfaces would only apply to the JRNC District; all other areas of the City require parking lots to be concrete or asphalt. Proposed standards outlined in the Staff Report were designed to ensure that fire trucks can access the property and the area remain free of weeds or sediment.

Prior to an exception being approved, the following documents would be required:

1. Parking and Traffic Study.
2. Geotechnical Report.
3. Drainage Plan and Report.
4. Site Plan to verify compliance with all other parts of commercial parking lot design criteria.
5. Material report that shows compliance with gradation requirements as listed in the Grading Requirements and Plasticity for Gravel chart.

Staff determined that the amended CUP meets the following General Plan consideration:

- Economic Development Strategy 4: Encourage development and preservation of neighborhood-based shops and services in strategic locations.
 - As it is a nature center, less pavement would fit the JRNC neighborhood character. It is also an overflow parking lot and will not always be in use.

Staff recommended that the Planning Commission forward a recommendation to the City Council to approve the petition to amend the South Salt Lake Municipal Code to allow for permeable surfaces subject to specific criteria and approval by the City Engineer and Fire Marshal or their designee, based upon its analysis and findings set forth in the Staff Report.

In response to a question raised by Chair Carter, Ms. Ungricht stated that Staff was not concerned about where the permeable surface will be located on the property. The proposed location was indicated on the aerial map. If the applicant moved the location, it would still need to meet the specific requirements. Typically, only the Planning Department reviews this type of application, but in this case there was cross-departmental input and no concerns were expressed by the Fire or Engineering Departments.

Chair Carter asked if a future owner would be able to turn the entire property into a parking lot. Ms. Ungricht stated that it would depend on the zoning at the time. Chair Carter stated that he was concerned about placement and future uses. The permeable surface would allow water to seep into the ground, but it may also introduce oil or other pollutants into the soil. Ms. Ungricht reported that the recommended standards were intended to address those concerns.

Commissioner Southey understood Chair Carter's concerns but noted that the JRNC District is specific to the property, so it would need to be rezoned if a future property owner no longer wanted to operate a nature center. Ms. Ungricht confirmed that they could be required to convert the parking lot to a hard surface.

Angela Dean of AMD Architecture and Tracy Aviary CEO, Tim Brown, spoke on behalf of the applicant. Mr. Brown stated that if they installed an asphalt parking lot, the runoff would go into a bioswale, so runoff would seep into the ground regardless of the surface. Permeable surfaces provide a better habitat for doves and pigeons, and asphalt would be an unnecessary expense.

Ms. Dean stated that per City requirements, all stormwater must be retained onsite. The site was designed to contain all runoff into a bioswale to the west of the parking lot, so stormwater will naturally percolate into the soil. Regarding expansion, the parking lot was designed with the property's full buildout capacity in mind. The final phase will be a visitor's center, and the property owner has no desire to build beyond that. Pathways, trails, and landscaping had already been installed, and their intent was to retain as much green space as possible.

Chair Carter opened the public hearing.

Oliver Pechmann resides in South Salt Lake City and asked how people will know where to park if the parking lot is gravel.

There were no further comments. The public hearing was closed.

In response to Mr. Pechmann's question, Ms. Dean stated that a physical barrier may be put in place to delineate the stalls.

Motion to forward a recommendation of APPROVAL to the City Council to approve a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code ("Code") to allow for unpaved surfaces pending specific criteria are met and approval by the City Engineer and the Fire Marshal or their designee, based on the following:

Findings of Fact:

1. The proposed Code Amendment would only be allowed in the Tracy Aviary's Jordan River Nature Center District;
2. In order for a permeable surface to be allowed this district the both the City Engineer and the Fire Marshal or their designee will need to approve the exception based off the provided documents.

Conclusions:

1. The proposed change is consistent with the goals of the City General Plan to promote development and perseverance in strategic locations.

Motion: Commissioner Pechmann

Second: Commissioner Spencer

Vote: Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.

The vote was unanimous.

Motion to ADJOURN the Planning Commission Meeting:

Motion: Commissioner Southey

Second: Commissioner Spencer

Vote: Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;

**Commissioner Southey – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.**

The vote was unanimous.

The Planning Commission Meeting adjourned at 7:19 PM.

For Planning Commission

Community Development



PLANNING COMMISSION STAFF REPORT

MEETING DATE:	May 7, 2026
PROJECT NUMBER:	OA26-0003
REQUEST:	A petition to amend Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the Department of Alcoholic Beverage Services measurement standards.
APPLICANT:	South Salt Lake City
TYPE OF ITEM:	Legislative – Ordinance Amendment
AUTHOR:	Spencer Cawley, Senior Planner

SYNOPSIS:

As part of proposed amendments to change the City's designations of City-issued alcohol licenses (a.k.a. local consent), City Staff recommends updating the method of measuring proximity of alcohol-related uses to align with the DABS method of measuring proximity. Because this requirement is in Title 17, the Planning Commission must make a recommendation to the City Council for consideration. This recommendation will be included with the broader ordinance to be reviewed by the City Council concurrently.

REASON FOR REVIEW:

The Planning Commission is the recommending body for amendments to Land Use ordinances.

§ 17.11.030 Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. Planning Commission.** The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake City Municipal Code to align City proximity requirements for alcohol-related Uses with the Department of Alcoholic Beverage Services (DABS) measurement standards.

BACKGROUND

On March 25, 2026, the City Council held a work meeting and discussed proposed amendments to Title 5 – Business Licensing (liquor license caps for restaurants) and Title 17 – Land Use and Development (proximity requirement clarifications) ([Staff Presentation](#), p. 69; [Meeting Minutes](#)).

Currently, Title 5 groups all City-issued liquor licenses for restaurants, recreational beer, banquet/catering, and manufacturing under a single category. This category is capped at 33 total licenses based on a ratio of one license per 800 residents.¹ Of these 33 licenses, 24 are currently held by restaurants. As of this report, 32 licenses have been issued, with one application under review and two additional applications on a waitlist.

To address the cap of available licenses and streamline the licensing process, this amendment proposes to:

1. **Title 5 (Business Licensing)** – Establish a standalone license type for restaurants with no proposed cap on city licenses. This change acknowledges that because DABS regulates restaurant-level alcohol sales, a local cap creates a redundant regulatory hurdle. Most importantly, this change will not require additional City enforcement or staff time.
2. **Title 17 (Land Use and Development)** – Amend the measurement methodology for alcohol-related uses. The current code requires measuring from the nearest property line to regulate proximity requirements. The amendment proposes to align with DABS standards codified in state law, measuring by the “shortest route of ordinary pedestrian travel.”

While the Planning Commission’s review is limited to the proposed amendments to Title 17, the proposed amendments to Title 5 are included in this report to provide necessary context for the overall policy shift.

ANALYSIS

I. GENERAL PLAN CONSIDERATIONS

The [South Salt Lake General Plan 2040](#) was adopted in 2021 and directs the development and growth of the City through goals and strategies that support the City’s community and economic values. The proposed amendments to Titles 5 and 17 are supported by the following goals of the General Plan:

Economic Development Goal 1.

Create a diverse and resilient local economy.

Analysis: The proposed amendment to Title 5 removes the restaurant liquor license cap, which currently sits at a near-capacity level. By eliminating this cap, the City ensures that the local economy can continue to grow and diversify without being hindered by a quota. This supports the entry of new dining establishments that are critical to a resilient economy.

Economic Development Goal 2.

Make South Salt Lake the best place to do business in the Salt Lake Valley.

¹ [§5.04.180](#) – City Alcoholic Beverage Caps

Analysis: This amendment streamlines the business licensing process by removing a redundant city-level cap for restaurants, which are already regulated by DABS. By reducing these administrative hurdles and aligning local requirements with State law, the City is actively making South Salt Lake a more attractive and competitive environment for business owners.

Land Use & Neighborhoods Goal 1

Promote land use patterns that are consistent with the City’s vision for a vibrant, urban community.

Analysis: Restaurants are essential to the “vibrant, urban community” vision described in the General Plan. Separating restaurant licenses from recreational beer, banquet/catering, and manufacturing allows the City to encourage dining-related land uses. Furthermore, changing the proximity measurements to “shortest route of ordinary pedestrian travel” in Title 17 reflects how people move within an urban environment.

Land Use & Neighborhoods Goal 4

Ensure that land use regulations are clear, consistent, and easy to navigate.

Analysis: The current discrepancy between City and DABS measurement methods creates confusion for applicants. Many applicants have researched the DABS website before applying and assume that the City’s regulations are the same. By adopting the DABS standard in Title 17, the City ensures its regulations are clear and consistent with State law. This alignment provides a predictable standard for business owners.

II. PROPOSED UPDATES TO TITLE 5 AND TITLE 17.

As outlined in the Background Section, the primary objective of these amendments is to align alcohol licensing standards with DABS standards regarding alcohol license types and the method of measuring proximity.

The following table provides a summary of the proposed amendments:

CODE SECTIONS	HIGHLIGHT OF CHANGES
Amending Section 5.04.180 City Alcoholic Beverage License Caps	- Changes all instances of “Department of Alcoholic Beverage Control” to “Department of Alcoholic Beverage Services”. - Removes Restaurant (Beer Only), Restaurant (Limited Service), & Restaurant (Full Service) from the 1-per-800 resident cap and establishes a standalone Restaurant-only license type. - Establishes administration of restaurant liquor licenses in conjunction with Utah Code Chapter 32B-6, which regulates DABS licenses under the food-to-alcohol ratio requirement.

Amending Section 17.04.030 Permitted Uses with Specific Standards	Replaces the phrase “as measured at the closest Property Lines” with “as measured by the shortest route of ordinary pedestrian travel” as the standard for measuring proximity requirements for alcohol-related Permitted Uses.
Amending Section 17.05.040 Conditional Uses with Specific Standards	Replaces the phrase “as measured at the closest Property Lines” with “as measured by the shortest route of ordinary pedestrian travel” as the standard for measuring proximity requirements for alcohol-related Conditional Uses.

III. ZONING TOOLS

The proposed amendments are a technical update to the measurement methodology for proximity and do not alter the underlying land use regulations currently in place.

- The existing minimum separation requirements for Alcoholic Beverage Uses remain unchanged. Specifically, the 600-foot buffer from residential districts and the 2,650-foot (one-half mile) buffer from Homeless Shelters remain the standard.
- Moving from a “property line to property line” measurement to the “shortest route of ordinary pedestrian travel” provides a more accurate reflection of how alcohol-related Uses interact with the community. This standard accounts for actual pedestrian barriers, such as fences, buildings, or major transit corridors, that the straight-line measurement ignores.
- These amendments do not recommend any changes to the Land Use Matrix. The zoning districts where Alcoholic Beverage Uses are currently designated as Permitted or Conditional remain unchanged, ensuring that the City’s established land use vision is preserved.
- By maintaining these proximity distances while adopting the DABS measurement method, the City provides a predictable, clear, and consistent regulatory environment for business owners without compromising community safety standards.

STAFF RECOMMENDATION

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the Department of Alcoholic Beverage Services measurement standards.

PLANNING COMMISSION OPTIONS

Option 1: Approval

Move to forward a recommendation of approval to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

Option 2: Denial

Move to forward a recommendation of denial to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

Option 3: Continuance

Move to table the recommendation to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

EXHIBITS

- A. Redlined Ordinance Amendment

5.04.180 City alcoholic beverage license caps.

The City shall limit its issuance of City alcoholic beverage licenses to the following license types in the amounts indicated below:

- A. Off-Premise Beer and Package Agency. The total number of City alcoholic beverage licenses issued for a corresponding state Department of Alcoholic Beverage ~~Control Services~~ Off-Premise Beer license or sublicense or Package Agency shall not exceed a ratio of one City alcoholic beverage license per 400 individuals of City population;
- B. Banquet and Catering, Beer Recreational, ~~Restaurant (Beer Only), Restaurant (Limited Service), Restaurant (Full Service),~~ and Manufacturing (Brewery, Winery, & Distillery). The total number of City alcoholic beverage licenses issued for a corresponding state Department of Alcoholic Beverage ~~Control Services~~ Banquet and Catering, Beer Recreational, ~~Restaurant (Beer Only), Restaurant (Limited Service), or Restaurant (Full Service)~~ or Manufacturing (Brewery, Winery, & Distillery) license or sublicense shall not exceed a ratio of one City alcoholic beverage license per 800 individuals of City population; and
- C. Bar Establishment and Tavern. The total number of City alcoholic beverage licenses issued for a corresponding state Department of Alcoholic Beverage ~~Control Services~~ Bar Establishment or Tavern license or sublicense shall not exceed a ratio of one City alcoholic beverage license per 3,000 individuals of City population, except that an additional five City alcoholic beverage licenses may be allowed in excess of the quota if they are issued in the Downtown District.
- D. ~~Restaurant (Beer Only), Restaurant (Limited Service), and Restaurant (Full Service). The number of City-issued alcoholic beverage licenses for the corresponding state Department of Alcoholic Beverage Services Restaurant (Beer Only), Restaurant (Limited Service), and Restaurant (Full Service) shall be administered in conjunction with Utah Code 32B-6. A license for Restaurant (Beer Only), Restaurant (Limited Service), and Restaurant (Full Service), shall be issued so long as the licensee maintains the food-to-alcohol ratios required by their specific state license type and all other requirements established by law. The total number of City alcoholic beverage licenses for a state Department of Alcoholic Beverage Services Restaurant (Beer Only), Restaurant (Limited Service), and Restaurant (Full Service) shall not be limited by population or other means.~~

For purposes of this Section, population shall be determined by the most recent United States decennial or special census.

(Ord. No. 2020-02, § II(Exh. A), 1-8-2020; Ord. No. 2022-19, § 1(Exh. A), 10-26-2022)

...

17.04.030 Permitted Uses with Specific Standards.

The Uses listed below require compliance with the following standards in addition to any other applicable requirements of this Code.

- A. Alcoholic Beverage Uses. All Alcoholic Beverage Uses designated as "P"—Permitted Uses—in the Title 17 Land-Use Matrix are subject to the following restrictions:
 - 1. Alcoholic Beverage, Banquet and Catering; Alcoholic Beverage, Beer Recreational; Alcoholic Beverage, Hotel; Alcoholic Beverage, Off-Premise Beer; Alcoholic Beverage, Package Agency; Alcoholic Beverage, Restaurant (Beer Only, Limited Service, and Full Service); and Alcoholic Beverage, Special Use (Educational, Scientific, and Industrial/Manufacturing) Uses may not be located (a) any closer to a residential district than six hundred (600) feet, ~~as measured at the~~

~~closest Property Lines~~; as measured by the shortest route of ordinary pedestrian travel, (b) any closer to a community location than permitted under section 32B-1-202 of the Utah Code, as amended, (c) nor any closer to a Homeless Shelter than two thousand six hundred forty (2,640) feet, ~~as measured at the closest Property Lines~~; as measured by the shortest route of ordinary pedestrian travel.

2. Such Uses shall incorporate plenary operational and management practices, including the use of properly licensed, bonded, and insured security personnel, as warranted, to prevent and mitigate adverse on-premises and offsite behavioral and safety impacts.
3. Such Uses shall maintain throughout all areas of the subject premises during all business hours a minimum of one (1) candle power light measured at a level five (5) feet above the floor.

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17.05.040 Conditional Uses with Specific Standards.

The Conditional Uses listed below require compliance with their corresponding specific standards in addition to any other applicable requirements of this Code, including the General Conditional Use standards in Section 17.05.020 and applicable Chapter 17.04 requirements.

- A. Adult Daycare. An Adult Daycare Use shall not include any overnight Residential Use and shall not be located within two thousand six hundred forty (2,640) feet of any Homeless Shelter Use. The distance shall be measured at the closest Property Lines.
- B. Alcoholic Beverage Uses. All Alcoholic Beverage Uses designated as "C"—Conditional Uses—in the Title 17 Land-Use Matrix are subject to the following, additional standards:
 1. Alcoholic Beverage, Bar Establishment; Alcoholic Beverage, Beer Wholesaler; Alcoholic Beverage, Liquor Warehouse; Alcoholic Beverage, Manufacturer; Alcoholic Beverage, Tavern; and Alcoholic Beverage, State Liquor Store Uses also may not be located (a) any closer to a residential district than six hundred (600) feet, ~~as measured at the closest Property Lines~~; as measured by the shortest route of ordinary pedestrian travel, (b) any closer to a community location than permitted under section 32B-1-202 of the Utah Code, as amended, (c) nor any closer to a Homeless Shelter than two thousand six hundred forty (2,640) feet, ~~as measured at the closest Property Lines~~; as measured by the shortest route of ordinary pedestrian travel.
 2. All such Uses shall incorporate plenary operational and management practices, including the use of properly licensed, bonded, and insured security personnel, to prevent and mitigate adverse on-premises and offsite behavioral and safety impacts.
 3. All such Uses shall maintain throughout all areas of the subject premises during all business hours a minimum of one candle power light measured at a level five feet above the floor.

...



PLANNING COMMISSION STAFF REPORT

MEETING DATE	May 7, 2024
PROJECT NUMBERS	S25-00010
REQUESTS	A petition for approval for a Subdivision Plat Amendment for a one-lot subdivision located at 2194 S West Temple.
ADDRESS	2194 S West Temple
PARCEL NUMBER	15242300060000
PROPERTY OWNERS	dbUphouse, LLC
APPLICANT	dbURBAN Communities
TYPE OF APPLICATION	Administrative - Subdivision

SYNOPSIS

dbURBAN Communities is petitioning the South Salt Lake Planning Commission for an approval for a Subdivision Plat for a one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple. The entitlement process for this petition includes the following applications: 1) Ordinance Amendment Petition; 2) Administrative Design Review; 3) Vacation Application; 4) Subdivision Plat application; and 5) Conditional Use Permit application. The Planning Commission held a public hearing on the ordinance amendment application on September 15, 2026, to establish Micro-Unit Dwelling as a conditionally permitted form of multifamily housing within the City of South Salt Lake and to provide an alternative to reduce parking requirement for this type of unit and forwarded a recommendation of approval to the City Council. The City Council held a public meeting on the ordinance amendment application on January 28, 2026, and voted to approve the petition. The South Salt Lake Design Review Committee reviewed the design review application on February 11, 2026. The design review analysis is available below in the staff report. The Planning Commission is the Land Use Authority on all Subdivision Plat applications.



STAFF RECOMMENDATION:

Staff recommends that the Planning Commission move to approve, with conditions, the petition for preliminary subdivision plat amendment for a one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple. Staff's recommendation is based upon its analysis and findings included below.

EXISTING ZONING	EXISTING USE	SURROUNDING LAND USE DISTRICTS	PROPOSED USES
Downtown District (DT) – Station Subdistrict	Vacant Land	North: DT – Downtown-Station South: DT – Downtown-Greenway East: Downtown-Station Subdistrict West: Downtown-Mixed Use	Micro-Unit Dwelling

GENERAL INFORMATION

Location: 2194 S W Temple

Multi-Family Project Size - .19 acres

Surrounding Land Use Districts:

North: Downtown – Station South:

Downtown – Greenway

East: Downtown – Station

West: Downtown – Mixed Use

Figure 1: Existing Lot Lines



Figure 2: Existing Site Conditions



Figure 3: Proposed Rendering





Figure 4: Applicant's Conceptual Site Plan

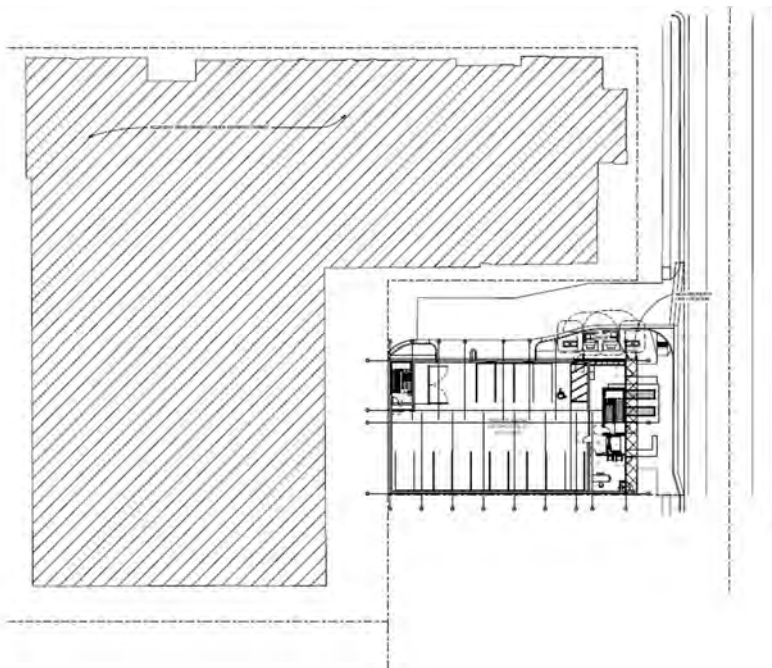


Figure 5: Site Plan – Level 1

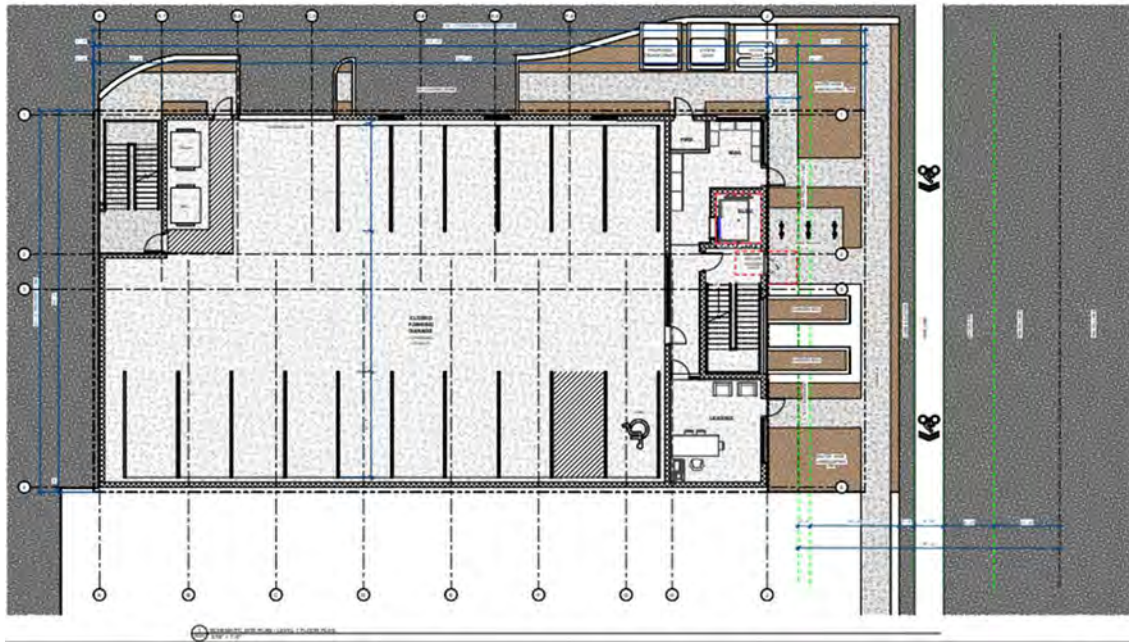


Figure 6: Site Plan – Level 2 to Level 5

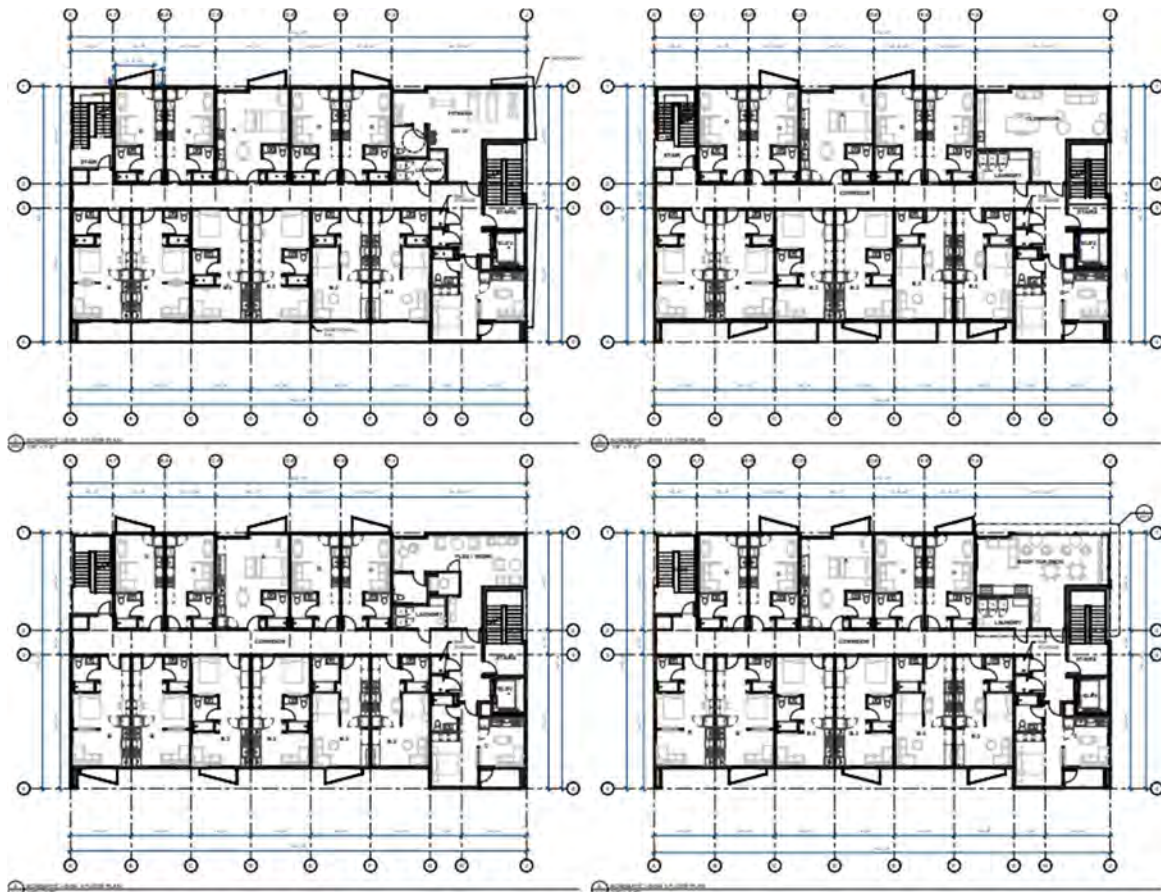


Figure 7: Rooftop Patio Floor Plan

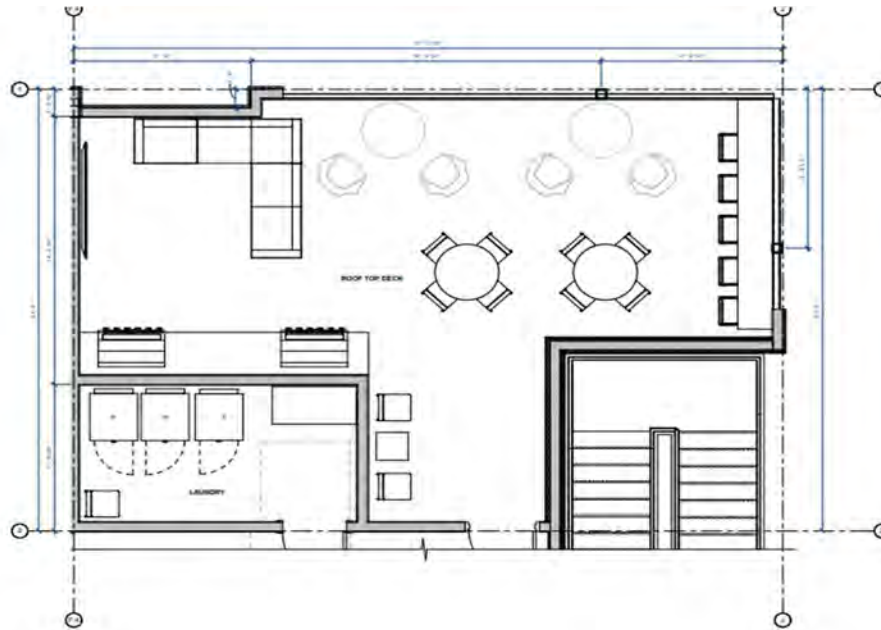


Figure 8: ALTA Survey

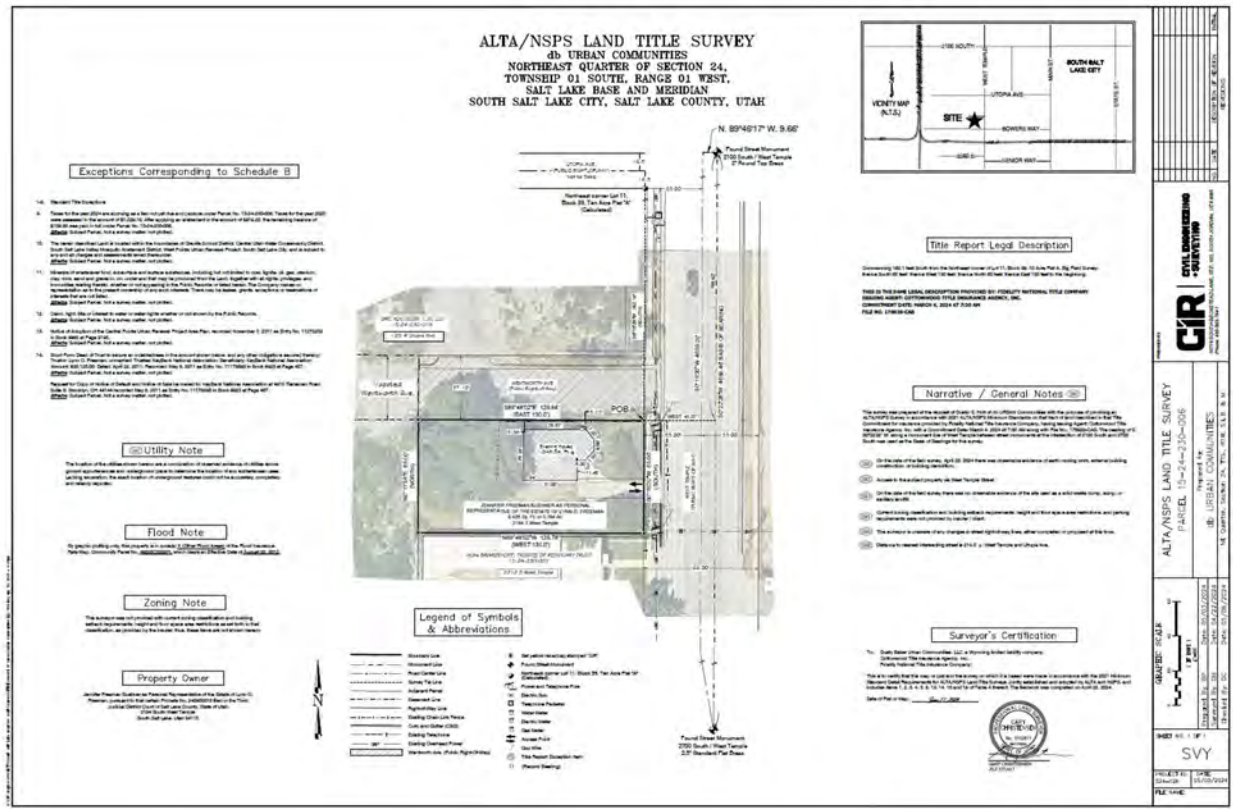


Figure 9: Preliminary Plat **Preliminary Plat in attachments**

AQUI 2194 SUBDIVISION
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 24
 TOWNSHIP 01 SOUTH, RANGE 01 WEST, SALT LAKE BASE & MERIDIAN
 SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH
 MARCH 2025

SUBDIVISION PLAT NOTES

EMPHASIS (SALT LAKE COUNTY - NOTE)

FOOT MOUNTAIN POWER

FLOOD NOTE

STORMWATER LAWSUITE

Legend of Symbols & Abbreviations

APPROVALS

SOUTH SALT LAKE CITY ENGINEER	SALT LAKE COUNTY HEALTH DEPARTMENT	SOUTH SALT LAKE CITY ENGINEER	PLANNING COMMISSION	APPROVAL AS TO FORM	SOUTH SALT LAKE CITY APPROVAL	SALT LAKE COUNTY RECORDER
_____ [Signature]	_____ [Signature]	_____ [Signature]	_____ [Signature]	_____ [Signature]	_____ [Signature]	_____ [Signature]

PLANNING COMMISSION AUTHORITY

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. Planning Commission. The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering, or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

GENERAL PLAN CONSIDERATION

Land Use and Neighborhoods Goal 1: Identify areas of the City with appropriate infrastructure, amenities, and services to support households of various types and densities.

Analysis: The proposed development encourages multi-family development in the Downtown District, an area with existing infrastructure, transit access, and amenities, supporting diverse household types and moderate density housing.

Land Use and Neighborhoods Goal 3: Maintain residential, business and industrial areas that are vibrant and where the health and safety of all are protected.

Analysis: The proposed development promotes compatible, well-designed development that contributes to a safe, active, and visually appealing Downtown environment.

Housing Goal 1: Encourage the equitable development of diverse, safe, affordable, and attractive housing that is accessible and appropriate for residents of all incomes, needs, ages, backgrounds, and familial status.

Analysis: The inclusion of the proposed Multi-Family Micro-Unit Housing development expands housing options in the Downtown District, providing smaller, attainable units that can meet the needs of a wider range of residents, supporting affordability and equity.

Transportation & Connectivity Goal 2: Increase connections within and between neighborhoods to improve access to amenities and services without requiring use of an automobile.

Analysis: By supporting higher-density residential development in the Downtown area and reducing required off-street parking, the ordinance encourages transit-oriented living, walkability, and reduced automobile dependence, improving connectivity to services and amenities.

DESIGN REVIEW ANALYSIS

In accordance with Section 10 of the Downtown Form Base Code, the Design Review Committee “shall review the application for its compatibility with the intent of this ordinance.”

A design review was conducted on February 11, 2026. The committee was comprised of the following departments: South Salt Lake Mayor, South Salt Lake Community Development, South Salt Lake Police, South Salt Lake Fire, South Salt Lake Engineering, South Salt Lake Public Works, South Salt Lake City Recorder, South Salt Lake Neighborhoods, South Salt Lake Finance, and South Salt Lake Attorney’s Office.

Topics discussed during the meeting:

Amenities –Amenities for the Aquí2194 project were presented, demonstrating compliance with the Downtown Form-Based Code amenity requirements for Urban Style development. These include a mix of building features, tenant amenities, and green building elements such as a rooftop terrace, public art, indoor fitness room, outdoor dining areas, secure bike storage, electric vehicle charging stations, and water-efficient and daylighting strategies. Additional amenities highlighted included shared laundry at each level, branded e-bikes for residents, and patios on select units.

Design –Design elevations were reviewed, and the proposed materials, architectural elevations, and overall design were presented. The project meets the applicable design requirements.

Parking - Parking was also reviewed, including the proposed number of stalls and the parking reduction. The development is located in Downtown and within a quarter mile of TRAX, supports long-term bicycle storage, and offers unbundled parking, allowing tenants the option to pay for parking separately rather than including it in rent. Transit passes will be provided to 100% of residents and Aquí staff.

The Design Review Committee did not have any feedback.

ORDINANCE ANALYSIS

South Salt Lake Municipal Code §17.05 sets forth the following standard for review for Conditional Use Permits.

ORDINANCE	FINDING	NOTES /INSUFFICIENCY
17.06.300(F) – Landscape Requirements Along Urban Corridors		
A. Installation of a minimum width of 15 feet of concrete sidewalk and street landscaping (measured from back of curb) along the entire length of the property between the back of the curb along dedicated Streets to any fence, Parking Area, or Structure on the Site is required.	A 15-foot sidewalk with water-wise landscaping will be installed along West Temple. The proposed improvements are compliant with SSL standards.	
B. Prohibited Uses and Activities. Parking, display, sales, storage, Structures (other than required raised planters), or temporary signage are not allowed in the Landscaped Areas.	The applicant does not intend to use the landscaped area for any of the prohibited uses and activities listed.	
C. Approved Local Access Roads and walkways are allowed to cross the urban landscape area.	There will be an access road along the west property line off Utopia Avenue, which will cross the landscape area.	
17.10.140 – Subdivision Development Lot Standards		
A. All Final Plats shall result in the creation of compliant Lots and Building sites.	The proposed new lot will be .19 acres. This lot is compliant with the standards of the Downtown District – Station subdistrict.	
B. Frontage on public street	The proposed building will front on West Temple. Access is proposed to come from Wentworth Avenue and West Temple.	
C. Street right-of-way shall be separate and distinct from subdivided lots.	The lot is separate from the Right of Way and all development is to take place within the proposed property lines and Downtown district setbacks.	
D. Minimum area and dimensions shall conform.	There is no acreage requirement in the Downtown district. The proposed lot area is .19 acres, this is sufficient to accommodate circulation and access, and landscape buffers.	

E. Side boundary lines shall be at right angles to the street.	All newly created side boundary lines are at right angles to all adjacent streets.	
F. Side boundary lines of lots shall be radial to center of a Cul-de-Sac	Not Applicable	
G. Corner lots for residential uses shall be platted wider than interior lots	Not Applicable	
H. Lots shall not divide City boundary	All existing and proposed parcels are located within South Salt Lake City.	
I. Double frontage lots	Not Applicable	
J. Multiple building yard areas	Only one building is proposed on the lot created with this subdivision.	
K. Side lot lines shall be at right angles to street lines	The newly created side lot lines are at a right angle to street lines.	
L. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings	The preliminary site plan indicates sufficient size to allow for erection of buildings.	
M. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities	The preliminary site plan provides adequate off-street parking per the Micro-Unit Dwelling requirements.	
N. New Single-Family lots	Not Applicable	
O. If Access from an Arterial or Collector Street is necessary for new adjoining lots, such lots shall be served by separate local street	Smaller local interior streets are currently in place to serve the lot.	
P. Driveways shall be designed and arranged to avoid vehicles backing onto Streets	There is ingress and egress provided on Wentworth Avenue.	
L. Lots shall be laid out to provide positive drainage away from all buildings.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.
17.10.160(A) - Drainage and Storm Sewers General Requirements		
A. Each plat shall make adequate provision for storm or flood water runoff.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.
17.10.160(B) – Nature of Stormwater Facilities		
A. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision.	Not applicable per Engineering review.	
B. Adequate underground stormwater systems shall be constructed and maintained.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.

C. Accommodation of Upstream Drainage Areas.	Not applicable	
D. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.
E. Areas of poor drainage shall be remediated as applicable.	Sufficient drainage is provided per Engineering review.	
F. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No flood plain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
17.10.170 - Water Facilities		
A. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat	The proposed development connects to an existing water meter. Adequate water supply provisions are proposed per SSL Engineering review.	
B. Applicant shall install adequate water facilities including fire hydrants.	There are two existing fire hydrants – one is located on the north side of Utopia Avenue, the second is located on the northeast corner of West Temple and Utopia Avenue. They are proposing a third additional fire hydrant on the turn off Wentworth Avenue and the private drive aisle.	
C. Fire flow shall be approved by the Fire Marshal.	A fire flow test was performed, and the results were reviewed by the Fire Marshall. The Fire Marshal has reviewed and approved all proposed fire flow rates.	
D. Water main extensions shall meet the City's standards.	A 10" water main enters the property from West Temple. The new water main meets SSL standards per SSL Engineering review. All work shall be inspected to ensure compliance with South Salt Lake standards.	
E. Location of all fire hydrants, all water and storage supply improvements shall be shown on the Preliminary and Final Plat.	The location of all proposed fire hydrants, all water and storage supply improvements that need to be served must be shown on the plat or site plan.	
F. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any.	Not applicable. There are no facilities at this location to be maintained by South Salt Lake City.	
G. Fire hydrants required for all plats.	There are two existing fire hydrants – one is located on the north side of Utopia Avenue, the second is located on the northeast corner of West Temple	

	and Utopia Avenue. They are proposing a third additional fire hydrant located on the northeast corner of the property, accessible on the turn off Wentworth Avenue.	
17.10.180 - Sewer Facilities		
A. The applicant shall install sanctuary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	The project will be part of the Public Infrastructure District (PID), which will increase the sewer capacity in this area.	
B. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority	The project will be part of the PID, which will increase the sewer capacity in this area.	
17.10.190 – Utilities		
A. Utility facilities shall be located underground in new subdivisions.	All new utilities are shown to be underground.	
B. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities; such easements shall be at least 10' wide	There is a 10 ft Public Utility Easement on the recently vacated portion of Wentworth Ave that fronts West Temple and a 37.1' Access and Utility Easement on the recently vacated portion of Wentworth Ave. Both easements are shown on the plat.	
17.10.200 - Sidewalks, Trails, and Bike Paths		
A. Subdivision shall comply with the applicable road profile.	Current right of way improvements along West Temple includes curb/gutter, sidewalk with tree grates approximately fifteen feet, and a two-foot utility easement. An 11-foot dedication is required along West Temple. The proposed improvements are compliant with SSL standards.	
B. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code.	
C. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not include any facilities adjacent to the subject property.	

STAFF RECOMMENDATION

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommend the Planning Commission move to approve with conditions the preliminary subdivision plat amendment based on the findings of fact, conclusions of law and conditions of approval for the subdivision in the staff report.

PLANNING COMMISSION OPTIONS

Option 1: Approval

Move to approve the application by dbUphouse LLC for one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple and the previously vacated portion of Wentworth Avenue. Staff's recommendation is based on the findings and conclusions in the staff report, with the conditions enumerated in the staff report and on the record.

Option 2: Denial

Move to deny the application by dbUphouse LLC for one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple and the previously vacated portion of Wentworth Avenue, for reasons stated on the record.

Option 3: Continuance

Move to table the decision on the application by dbUphouse LLC for one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple and the previously vacated portion of Wentworth Avenue, to a date certain to allow the Applicant and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Findings of Fact:

1. On May 14, 2025, dbURBAN Communities (the Applicant) submitted a Subdivision application on behalf of dbUphouse, LLC to build and operate a Micro-Unit Dwelling development located at 2194 S West Temple;
2. The subject property is located at 2194 S West Temple in South Salt Lake City; and the previously vacated portion of Wentworth Avenue;
3. The subject property is on one lot;
4. The subject property is located in the Downtown – Station subdistrict;
5. The subject property is currently vacant;
6. The total development area is .19 acres;
7. The Applicant is petitioning to construct a 48-unit Micro-Unit Dwelling development and shall be consistent with the building design, amenities, and site configuration approved herein;
8. The applicant applied for a Code Amendment on May 14, 2025;
9. The Planning Commission reviewed the Code Amendment Application on January 15, 2026, and forwarded a positive recommendation to City Council;
10. City Council reviewed and approved the Code Amendment on January 29, 2026. The ordinance amended multiple sections of Title 17 of the South Salt Lake City Municipal Code. Specifically, it introduced a definition for "Micro-Unit Dwelling" establishing this use as a conditional use within the Downtown Station District, and updated the Land Use Matrix,

parking standards, design requirements, and provisions of the Downtown Form-Based Code;

11. Micro-Unit Dwelling is a Conditional Use in the Downtown District;
12. The South Salt Lake Municipal Code regulates Multi-Family Dwelling conditional uses through the standards found in 17.05.010, 17.05.020, 17.05.030, 17.05.050 and 17.05.060, as they exist as of the approval of the CUP;
13. The Applicant applied for a subdivision application on May 14, 2025, to subdivide the subject parcel by subdivision plat to comply with South Salt Lake Municipal Code;
14. The Applicant applied for a conditional use application on May 14, 2025 to comply with South Salt Lake Municipal Code;
15. The Applicant applied for a design review application on May 14, 2025, and worked with Planning staff on several aspects of the application, which resulted in a more compliant product;
16. On February 11, 2026, the Design Review Committee reviewed the application and provided no comments;
17. The application to vacate the remainder of Wentworth was approved by City Council on April 29, 2026;
18. The proposed development will be served by existing and new vehicular and pedestrian access points on 2194 S West Temple;
19. The development complied with the parking reduction requirements and incorporated the following measures: unbundled parking, a bike-share program, and transit passes for all staff;
20. The Applicant has proposed full-time, on-site management;
21. Staff has reviewed this conditional use permit application for compliance with South Salt Lake Municipal Code Sections 17.05.010, 17.05.020, 17.05.030, 17.05.050, and 17.05.060, and has found that this conditional use permit application, as specifically conditioned herein, is compliant with these sections, as conditioned below;

Conclusions of Law:

1. The subdivision and use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The subdivision and use, as specifically conditioned below is compatible in use, scale, and design with the allowed uses in Downtown District.
3. The subdivision and use, as specifically conditioned below, does not compromise the

health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development

4. The subdivision and use, as specifically conditioned below does not impose disproportionate burdens on the citizens of the city.

Preliminary Subdivision Plat Conditions of Approval:

1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
2. Prior to plat recordation and any additional development of the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
4. The applicant shall dedicate a 10-foot public utility easement and a 37.1' Access and Utility Easement to the City of South Salt for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
5. The applicant shall address all outstanding engineering comments per the 3rd party review prior to final plat approval;
6. The proposed Multi-Family development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering department;
7. The applicant shall maintain the 15 parking stalls they are shown on the proposed plans;
8. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;
9. The applicant shall obtain a South Salt Lake City sign permit prior to any sign installation;
10. The applicant shall obtain approval from South Salt Lake City prior to any murals being painted;
11. The applicant shall apply for and complete a South Salt Lake Business License application prior to any rental activity;
12. All items of the staff report.

Attachments:

1. Plat
2. ALTA Survey
3. Aquir2194 S West Temple Elevations
4. Landscape Plan
5. Civils

AQUI 2194 SUBDIVISION
LOCATED IN THE NORTHEAST QUARTER OF SECTION 24
TOWNSHIP 01 SOUTH, RANGE 01 WEST, SALT LAKE BASE & MERIDIAN
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH
MARCH 2026

SUBDIVISION PLAT NOTES

1. The boundaries of this plat affect parcel number 15-24-230-006.

ENBRIDGE GAS UTAH – NOTE:

Questar Gas Company, dba Enbridge Gas Utah ("Enbridge"), approves this plat solely to confirm that the plat contains public utility easements. This approval does not (a) affect any right Enbridge has under Title 54, Chapter 8a, a recorded easement or right-of-way, prescriptive rights, or any provision of law; (b) constitute acceptance of any terms contained in any portion of the plat; and (c) guarantee any terms or waive Enbridge's right to require additional easements for gas service.

QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH

Approved this ____ day of _____, 20 ____

By: _____

Title: _____

ROCKY MOUNTAIN POWER

1. Pursuant to Utah Code Ann. § 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.
2. Pursuant to Utah Code Ann. § 17-27a-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains public utility easements and approximates the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under
- (1) A recorded easement or right-of-way
(2) The law applicable to prescriptive rights
(3) Title 54, Chapter 8a, Damage to Underground Utility Facilities, or
(4) Any other provision of law.

Approved this ____ day of _____, 20 ____

By: _____

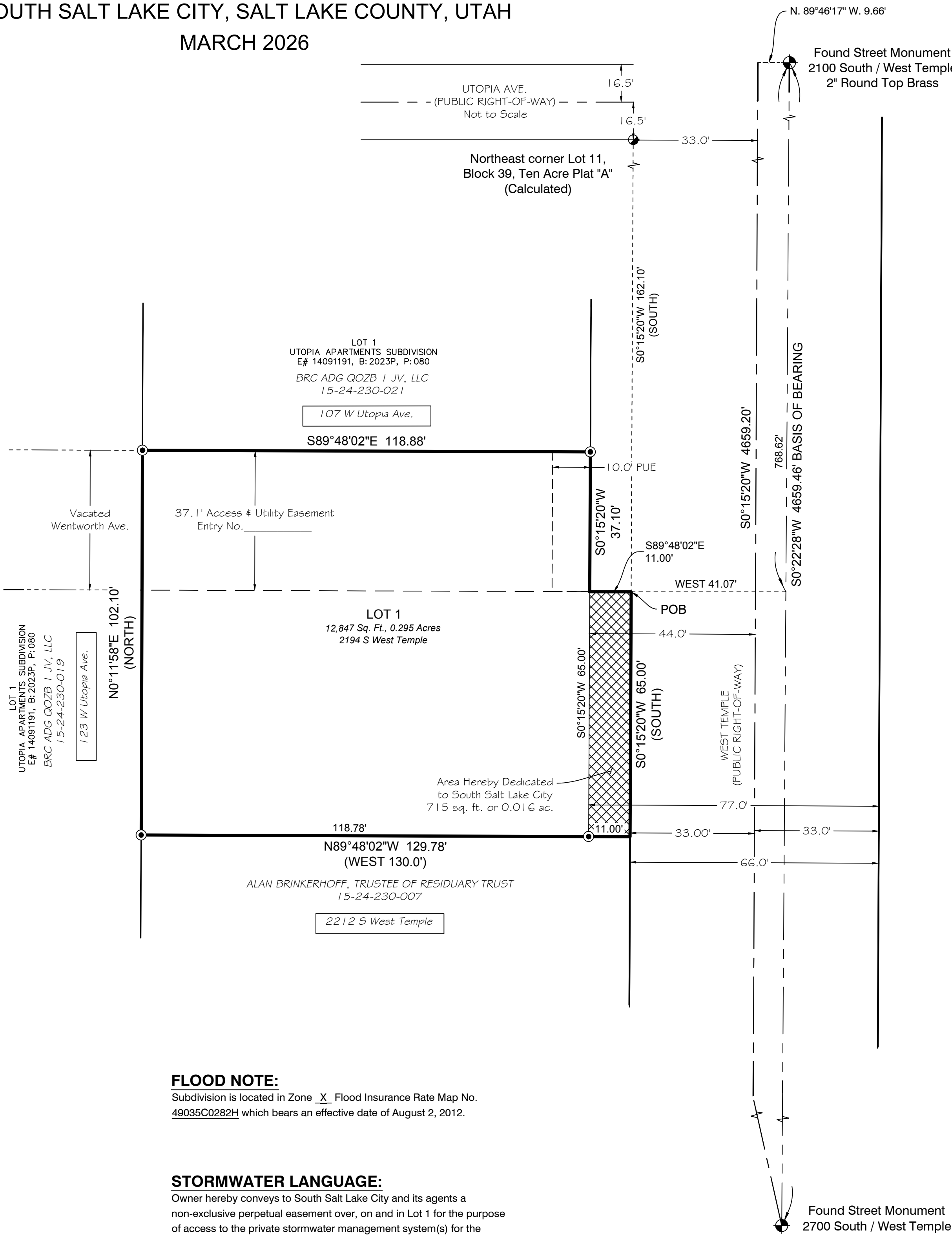
Title: _____

FLOOD NOTE:

Subdivision is located in Zone X Flood Insurance Rate Map No. 49035C0282H which bears an effective date of August 2, 2012.

STORMWATER LANGUAGE:

Owner hereby conveys to South Salt Lake City and its agents a non-exclusive perpetual easement over, on and in Lot 1 for the purpose of access to the private stormwater management system(s) for the management, inspection, maintenance and repair thereof.



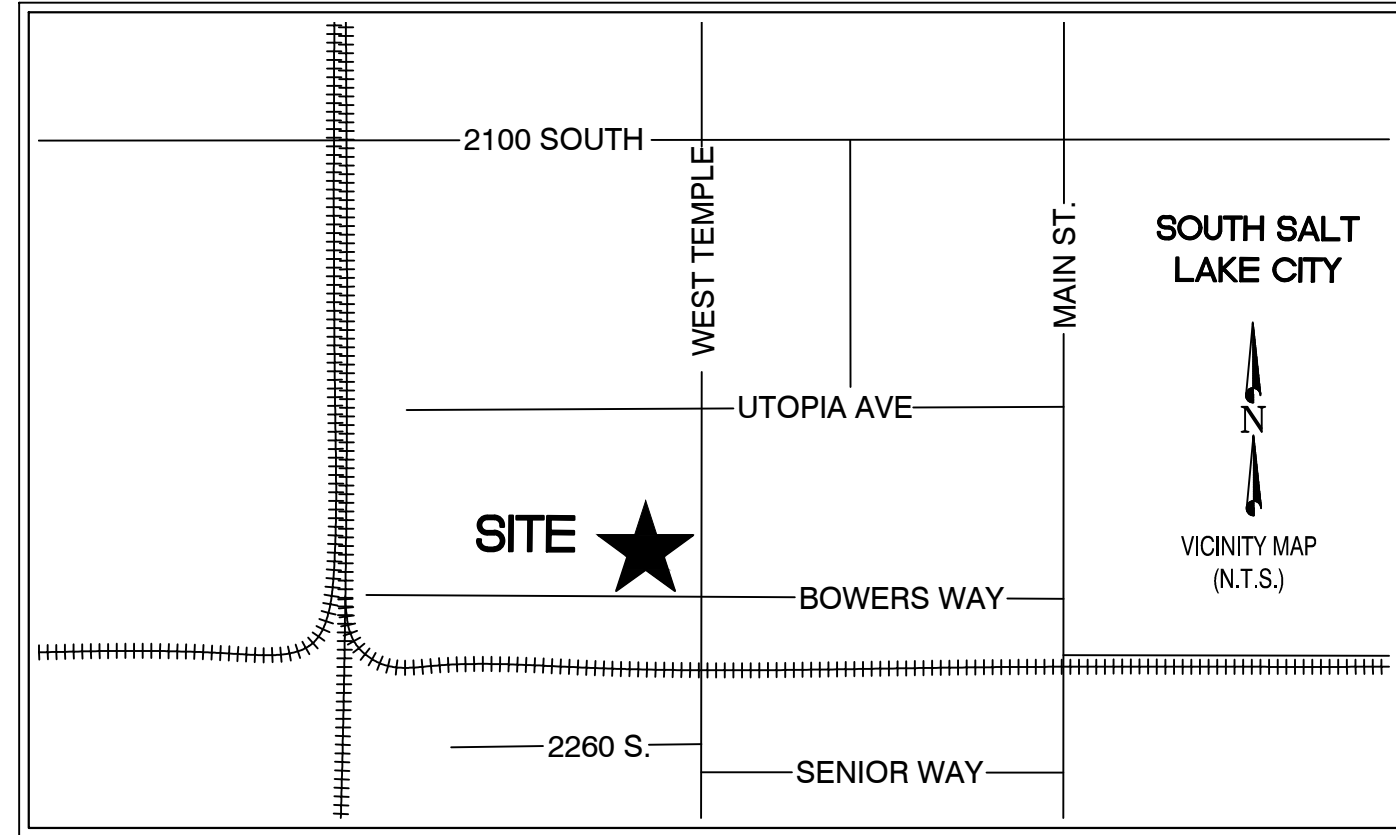
Legend of Symbols
& Abbreviations

- Boundary Line
— Adjacent Parcel Line
— Monument Line
— Road Centerline
- - - Survey Tie Line
- - - Easement Line Vacated Wentworth Ave.
- - - Easement Line Access & Utility
- - - Easement Line PUE
Area to be Dedicated to South Salt Lake City 715 sq. ft.
Set 5/8" rebar and plastic cap stamped "CIR"
Street Monument
Northeast corner Lot 11, Block 39, Ten Acre Plat "A" (Calculated)
() Record Bearing and Distance

OWNER / DEVELOPER:
dbUphouse, LLC
166 East 14000 South, Suite 110
Draper, UT 84020

PREPARED BY:

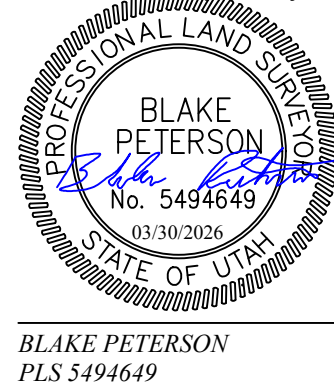
CIR CIVIL ENGINEERING
+ SURVEYING
10718 South Beckstead Lane, Suite 102, South Jordan, UT 84095
Phone: 435-503-7641



SURVEYOR'S CERTIFICATE

I, BLAKE PETERSON, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 5494649 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act; I further certify that by authority of the owners I have made a survey of the property described on this plat in accordance with 17-73-504, and have subdivided said property into 1 lot and together with easements, hereafter to be known as **AQUI 2194 SUBDIVISION** and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

Signed this ____ day of _____, 20 ____



BOUNDARY DESCRIPTION

An entire tract of land being all of the parcel of land described in that Personal Representative's Deed recorded June 20, 2024 as Entry No. 14254301 in Book 11498, at Page 9904 and all of that parcel of land described in that Wentworth Road Vacation document recorded June XX, 2025 as Entry No. _____ in Book _____, at Page _____ in the Office of the Salt Lake County Recorder. Said parcels of land are located in Lot 11, Block 39, Ten Acre Plat "A", Big Field Survey in the Northeast Quarter of Section 24, Township 1 South, Range 1 West, Salt Lake Base and Meridian and is described as follows:

Beginning at a point on the westerly right-of-way for West Temple Street, which is 768.62 feet S.00°22'28"W. and 41.07 feet West from a Street Monument at the Intersection of 2100 South and West Temple Street, said point is also 162.10 feet S.00°15'20"W. (Record=South) from the Northeast corner of said Lot 11, Block 39, Ten Acre Plat "A", Big Field Survey; thence S.00°15'20"W. (Record=South) 65.00 feet; thence N.89°48'02"W. 129.78 feet (Record=West 130.0') ; thence N.00°11'58"E. (Record=North) 102.10 feet; thence S.89°48'02"E. 118.88 feet to the westerly right-of-way for West Temple Street; thence thence S.00°15'20"W. 37.10 feet along said westerly right-of-way; thence S.89°48'02"E. 11.00 feet to the **Point of Beginning**.

The above-described entire tract contains 12,847 sq. ft., in area or 0.295 ac. more or less, 1 Lot.

Basis of Bearing is S.00°22'28"W. between the found Street Monuments at the intersection of 2100 South and West Temple and 2700 South and West Temple as shown on the Plat.

OWNER'S DEDICATION

Know all men by these presents that the undersigned are the owners dbUphouse, LLC., a Utah limited liability company, of the above described tract of land, to be hereafter known as:

AQUI 2194 SUBDIVISION

does hereby certify to have caused this plat to be prepared and does hereby dedicate for the perpetual use of the public all public roads and other areas shown on this plat as intended for public use. The undersigned owner(s) also hereby conveys to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance, and operation of utility lines and facilities. The undersigned owner(s) also hereby conveys any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

In witness whereof the owner has hereunto set this ____ day of _____ A.D., 20 ____.

dbUphouse, LLC, a Utah limited liability company,
Managing Member

NOTARY ACKNOWLEDGMENT

State of Utah)
) ss
County of Salt Lake)

On this ____ day of _____ in the year 20____, before me, _____ a Notary Public, personally appeared _____ of dbUphouse, LLC proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to in the foregoing owner's dedication and consent regarding the **AQUI 2194 SUBDIVISION** and was signed by him/her on behalf of said dbUphouse, LLC and acknowledged that he/she/they executed the same.

Commission Number _____
My Commission Expires _____

Signature: _____

Print Name: _____

A Notary Public Commissioned in Utah

AQUI 2194 SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 24,
TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SOUTH SALT LAKE COMMUNITY
DEVELOPMENT

Approved as to form this ____ day of _____, A.D., 20 ____.

Community Development Director

SALT LAKE COUNTY HEALTH
DEPARTMENT

Approved this ____ day of _____, A.D., 20 ____.

Salt Lake County Health Department

SOUTH SALT LAKE CITY ENGINEER

Approved as to form this ____ day of _____, A.D., 20 ____.

South Salt Lake City Engineer

PLANNING COMMISSION

Approved as to form this ____ day of _____, A.D., 20 ____.

Planning Commission Approval

APPROVAL AS TO FORM

Approved as to form this ____ day of _____, A.D., 20 ____.

South Salt Lake City Attorney

SOUTH SALT LAKE CITY APPROVAL

Approved as to form this ____ day of _____, A.D., 20 ____.

Mayor

Attest: Recorder

SALT LAKE COUNTY RECORDER

Recorder # _____
State of Utah, County of Salt Lake, Recorded and filed at the request of _____

Date: _____ Time: _____ Book: _____ Page: _____

Fee: _____ Deputy Salt Lake County Recorder

PROJECT: _____

NUMBER: _____

ACCOUNT: _____

SHEET 1

OF 1 SHEETS



SALT LAKE COUNTY SURVEYOR'S OFFICE

Bradley E Park, P.L.S., *Salt Lake County Surveyor*
Christopher C. Donoghue, P.L.S., *Chief Deputy Surveyor*
2001 South State Street, Suite N1-400
Salt Lake City, UT 84190
Phone: (385)468-8240 Fax: (385)468-8258
Email: surveyor@slco.org

05/01/2025

CIR Surveying
10718 South Beckstead Lane Suite 102
South Jordan, Utah 84095

Re: *Record of Survey Filing Notification*

Gary,

On 04/30/2025, a record of survey plat was submitted via E-Filing to this Office. We accepted that document and indexed it as follows:

<u>INDEX #:</u>	<u>CLIENT:</u>	<u>PROJ #:</u>	<u>STATUS:</u>
S2025-04-0372	Urban Communities LLC	S24-126	COMPLETE

If you have questions, comments and/or concerns please contact the Recordation Section of the Salt Lake County Surveyor's Office at (385) 468-8250, or email Surveyor@slco.org.

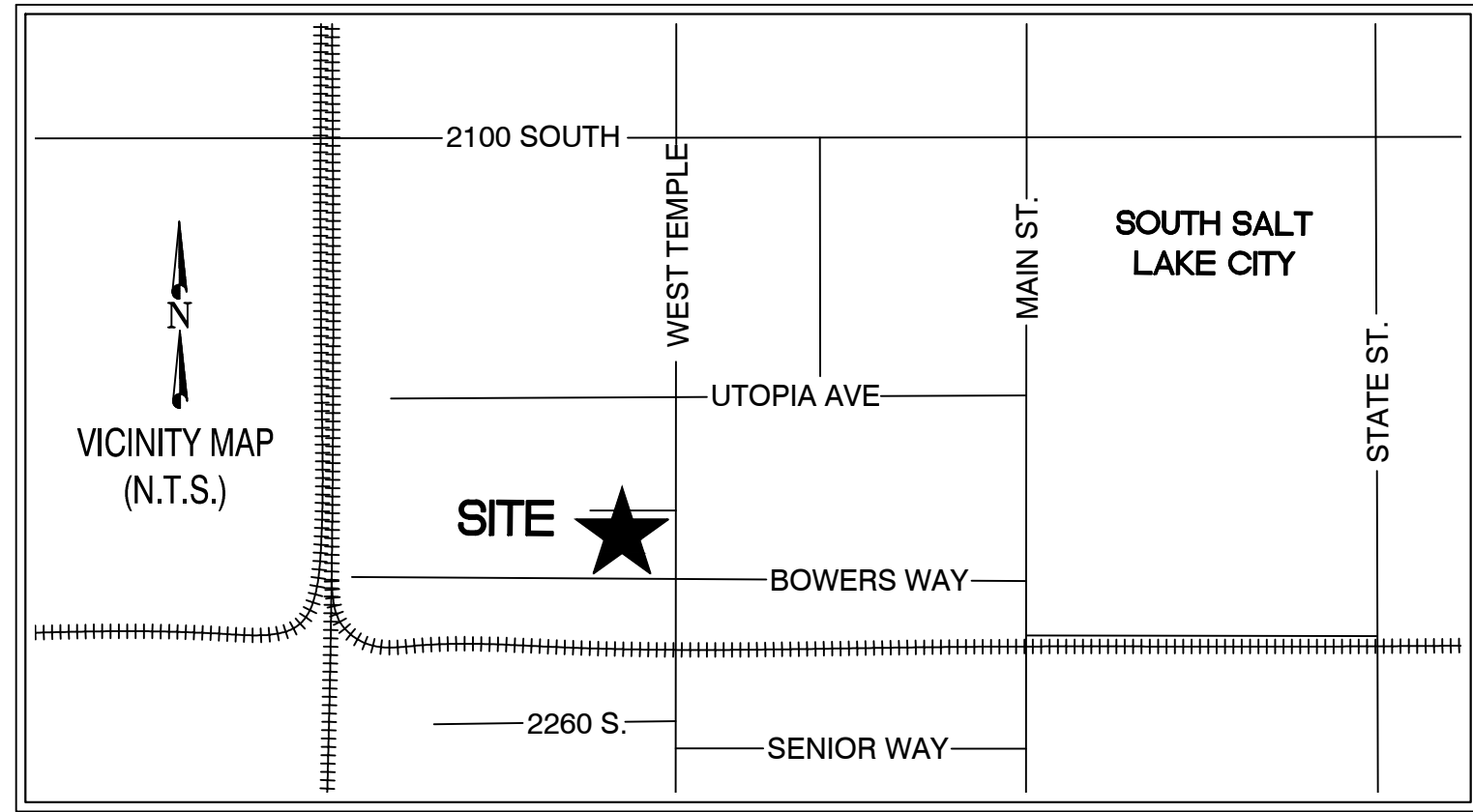
Respectfully,

Beau Perkins

Beau Perkins
Survey Review and Information Coordinator

cc: *Christopher C. Donoghue Chief Deputy Surveyor*

ALTA/NSPS LAND TITLE SURVEY
db URBAN COMMUNITIES
NORTHEAST QUARTER OF SECTION 24,
TOWNSHIP 01 SOUTH, RANGE 01 WEST,
SALT LAKE BASE AND MERIDIAN
SOUTH SALT LAKE CITY, SALT LAKE COUNTY, UTAH



Exceptions Corresponding to Schedule B

- 1-8. Standard Title Exceptions
9. Taxes for the year 2024 are accruing as a lien not yet due and payable under Parcel No. 15-24-230-006. Taxes for the year 2023 were assessed in the amount of \$1,029.10. After applying an abatement in the amount of \$919.22, the remaining balance of \$109.88 was paid in full under Parcel No. 15-24-230-006.
Affects: Subject Parcel. Not a survey matter, not plotted.
10. The herein described Land is located within the boundaries of Granite School District, Central Utah Water Conservancy District, South Salt Lake Valley Mosquito Abatement District, West Pointe Urban Renewal Project, South Salt Lake City, and is subject to any and all charges and assessments levied thereunder.
Affects: Subject Parcel. Not a survey matter, not plotted.
11. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed herein. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
Affects: Subject Parcel. Not a survey matter, not plotted.
12. Claim, right, title or interest to water or water rights whether or not shown by the Public Records.
Affects: Subject Parcel. Not a survey matter, not plotted.
13. Notice of Adoption of the Central Pointe Urban Renewal Project Area Plan, recorded November 3, 2011 as Entry No. 11273252 in Book 9963 at Page 9195.
Affects: Subject Parcel. Not a survey matter, not plotted.
14. Short Form Deed of Trust to secure an indebtedness in the amount shown below, and any other obligations secured thereby: Trustor: Lynn O. Freeman, unmarried; Trustee: KeyBank National Association; Beneficiary: KeyBank National Association; Amount: \$35,125.00; Dated: April 22, 2011; Recorded: May 6, 2011 as Entry No. 11178893 in Book 9923 at Page 457.
Affects: Subject Parcel. Not a survey matter, not plotted.

Request for Copy of Notice of Default and Notice of Sale be mailed to: KeyBank National Association at 4910 Tiedeman Road, Suite B, Brooklyn, OH 44144 recorded May 6, 2011 as Entry No. 11178895 in Book 9923 at Page 467.
Affects: Subject Parcel. Not a survey matter, not plotted.

Utility Note

The location of the utilities shown hereon are a combination of observed evidence of utilities above ground appurtenances and underground plans to determine the location of any subterranean uses. Lacking excavation, the exact location of underground features could not be accurately, completely, and reliably depicted.

Flood Note

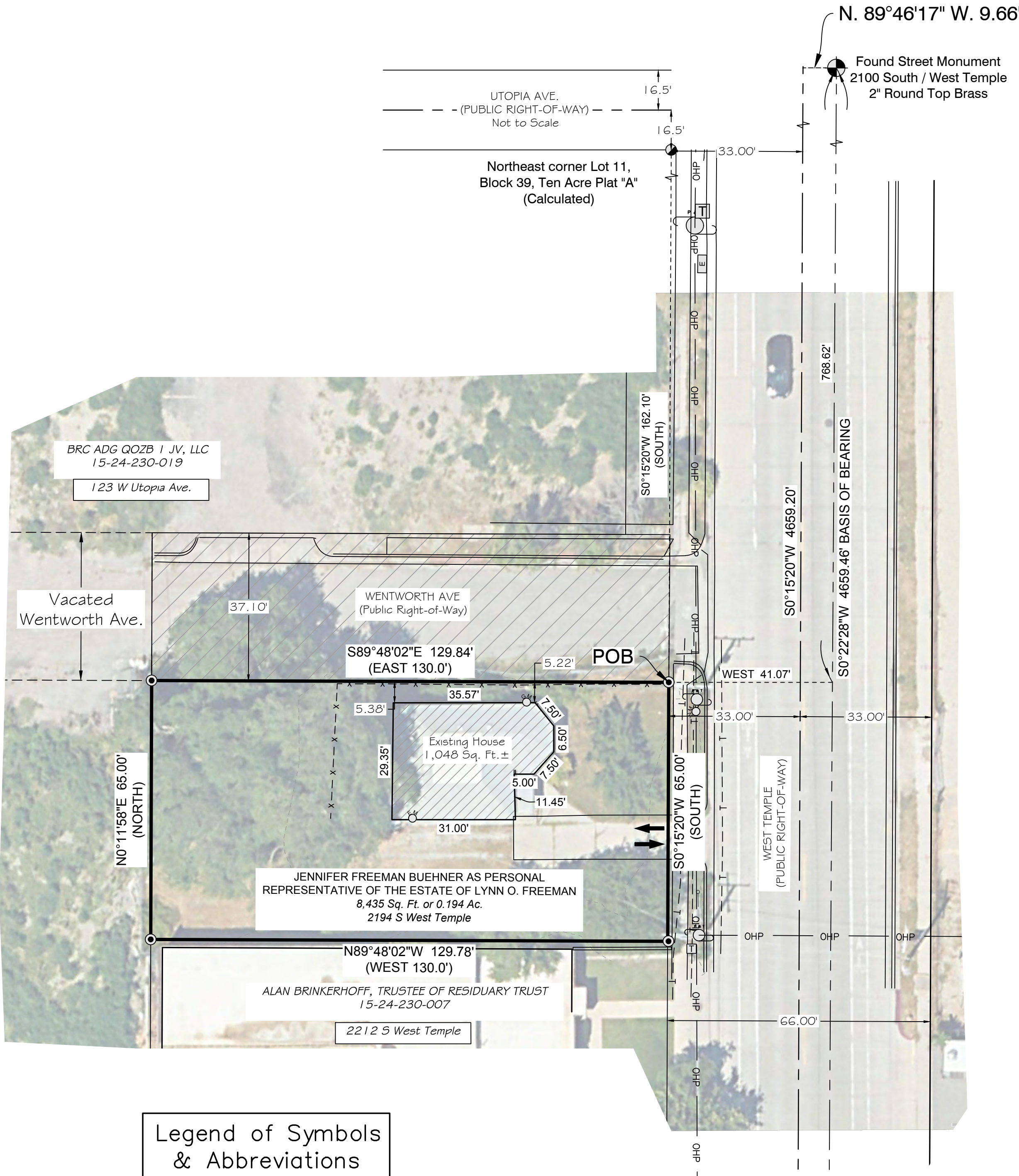
By graphic plotting only, this property is in zone(s) X (Other Flood Areas) of the Flood Insurance Rate Map, Community Panel No. 49035C0282H, which bears an Effective Date of August 02, 2012.

Zoning Note

This surveyor was not provided with current zoning classification and building setback requirements, height and floor space area restrictions as set forth in that classification, as provided by the insurer; thus, these items are not shown hereon.

Property Owner

Jennifer Freeman Buehner as Personal Representative of the Estate of Lynn O. Freeman, pursuant to that certain Probate No. 243900010 filed in the Third Judicial District Court of Salt Lake County, State of Utah
2194 South West Temple
South Salt Lake, Utah 84115



Legend of Symbols
& Abbreviations

- | | | | |
|---------------|--------------------------------------|-----|---|
| — | Boundary Line | ⊙ | Set yellow rebar/cap stamped "CIR" |
| — — — — — | Monument Line | ⬢ | Found Street Monument |
| — — — — — | Road Center Line | ⬤ | Northeast corner Lot 11, Block 39, Ten Acre Plat "A" (Calculated) |
| - - - - - | Survey Tie Line | ⊙ | Power and Telephone Pole |
| - - - - - | Adjacent Parcel | ⊠ | Electric Box |
| - - - - - | Easement Line | ⊠ | Telephone Pedestal |
| - - - - - | Right-of-Way Line | ⊠ | Water Meter |
| - x - x - x - | Existing Chain Link Fence | ⊠ | Electric Meter |
| — — — — — | Curb and Gutter (C&G) | ⊠ | Gas Meter |
| — — — — — | Existing Telephone | ⊠ | Access Point |
| — — — — — | Existing Overhead Power | ⊠ | Guy Wire |
| ⊠ | Wentworth Ave. (Public Right-Of-Way) | ⊠ | Title Report Exception Item |
| | | () | (Record Bearing) |

Title Report Legal Description

Commencing 162.1 feet South from the Northeast corner of Lot 11, Block 39, 10 Acre Plat A, Big Field Survey; thence South 65 feet; thence West 130 feet; thence North 65 feet; thence East 130 feet to the beginning.

THIS IS THE SAME LEGAL DESCRIPTION PROVIDED BY: FIDELITY NATIONAL TITLE COMPANY
ISSUING AGENT: COTTONWOOD TITLE INSURANCE AGENCY, INC.
COMMITMENT DATE: MARCH 4, 2024 AT 7:30 AM
FILE NO. 176928-CAB

Narrative / General Notes (GN1)

This survey was prepared at the request of Dustin E. Holt of db URBAN Communities with the purpose of providing an ALTA/NSPS Survey in accordance with 2021 ALTA/NSPS Minimum Standards on that tract of land described in that Title Commitment for Insurance provided by Fidelity National Title Insurance Company, having Issuing Agent: Cottonwood Title Insurance Agency, Inc. with a Commitment Date: March 4, 2024 At 7:30 AM along with File No.: 176928-CAB. The bearing of S. 00°22'28" W. along a monument line of West Temple between street monuments at the intersection of 2100 South and 2700 South was used as the Basis of Bearings for this survey.

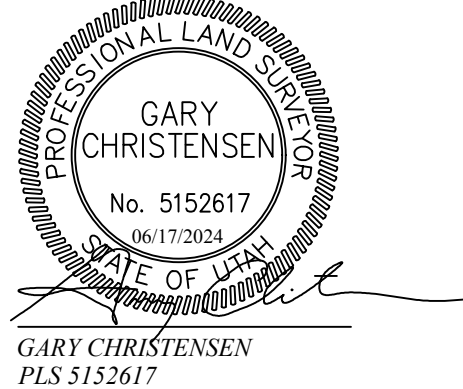
- (GN1) On the date of the field survey, April 22, 2024 there was observable evidence of earth moving work, external building construction, or building demolition.
- (GN2) Access to the subject property via West Temple Street.
- (GN3) On the date of the field survey there was no observable evidence of the site used as a solid waste dump, sump, or sanitary landfill.
- (GN4) Current zoning classification and building setback requirements, height and floor space area restrictions, and parking requirements were not provided by insurer / client.
- (GN5) This surveyor is unaware of any changes in street right-of-way lines, either completed or proposed at this time.
- (GN6) Distance to nearest intersecting street is 214.0' ±, West Temple and Utopia Ave.

Surveyor's Certification

To: Dusty Baker Urban Communities, LLC, a Wyoming limited liability company,
Cottonwood Title Insurance Agency, Inc.,
Fidelity National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 13, 14, 16 and 19 of Table A thereof. The fieldwork was completed on April 22, 2024.

Date of Plat or Map: June 17, 2024



CIVIL ENGINEERING + SURVEYING	
10718 SOUTH BECKSTEAD LANE, STE. 102, SOUTH JORDAN, UT 84095 Phone: 435-503-7641	
PREPARED BY:	db URBAN COMMUNITIES
ALTA/NSPS LAND TITLE SURVEY	PARCEL 15-24-230-006
SHEET NO. 1 OF 1	SVY
PROJECT ID: S24-126	DATE: 05/03/2024
FILE NAME:	

DOWNTOWN DISTRICT

REQUIRED SETBACKS*:

FRONT YARD	5'-0"
CORNER SIDE FRONTAGE YARD	5'-0" (N/A)
SIDE YARD	0
REAR YARD	0

*PORCHES, DECKS, EAVES, OVERHANGS, AWNINGS CAN PROJECT INTO YARD AREAS - SEE ZONING CODE.

TYPE VA CONSTRUCTION / S13R SPRINKLERED

ALLOWABLE STORIES ABOVE PARKING GARAGE = 4

LEVEL	# OF UNITS
ONE	0
TWO	12
THREE	12
FOUR	12
FIVE	12
TOTAL	48

PARKING STALLS = 15

PARKING RATIO = .31 STALLS PER UNIT

1. ALL GROUND FLOOR WINDOWS SHALL HAVE A MINIMUM TRANSPARENCY OF 60%
2. ALL WINDOWS ABOVE THE GROUND FLOOR SHALL HAVE A MINIMUM TRANSPARENCY OF 25%

	Project Building Area Totals		
	Net Sq. Ft	Gross Sq. Ft.	Deck Sq.Ft.
Residential	16,684 sq. ft.	18,196 sq. ft.	1,197 sq. ft.
Amenity	2,859 sq. ft.	3,103 sq. ft.	---
Office	290 sq. ft.	319 sq. ft.	---
Circulation	873 sq. ft.	958 sq. ft.	---
Parking	1,481 sq. ft.	1,616 sq. ft.	---
Bldg Totals	20,706 sq. ft.	22,576 sq. ft.	1,197 sq. ft.

Total Building Area On Site	23,773 sq. ft.
------------------------------------	-----------------------

Unit Totals		Parking Provided	
A	4 units	Standard	14 Stalls
B	8 units	ADA	1 Stalls
B.2	8 units		
B.3	8 units		
C	4 units		
D	16 units		
Total	48 units	Total	15 Stalls

LEVEL 1				
Area Type	---	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
Amenity	---	211 sq. ft.	243 sq. ft.	0 sq. ft.
Office	---	290 sq. ft.	319 sq. ft.	0 sq. ft.
Circulation	---	731 sq. ft.	792 sq. ft.	0 sq. ft.
Parking	---	5,529 sq. ft.	5,790 sq. ft.	0 sq. ft.
Grand Total	---	6,761 sq. ft.	7,144 sq. ft.	0 sq. ft.

LEVEL 2				
Unit Type	No. of Units	Nets Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.
B	2 units	385 sq. ft.	417 sq. ft.	77 sq. ft.
B.2	2 units	385 sq. ft.	417 sq. ft.	81 sq. ft.
B.3	2 units	385 sq. ft.	417 sq. ft.	81 sq. ft.
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. ^{1A}
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	605 sq. ft.
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.
Grand Total	--	4,833 sq. ft.	5,561 sq. ft.	605 sq. ft.

LEVEL 3					
Unit Type	No. of Units	Nets Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.	
A	1 units	395 sq. ft.	428 sq. ft.	0 sq. ft.	
B	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
B.2	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
B.3	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.	
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **	
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	180 sq. ft.	
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.	
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.	
Grand Total	--	4,833 sq. ft.	5,561 sq. ft.	180 sq. ft.	

LEVEL 4					
Unit Type	No. of Units	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.	
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.	
B	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
B.2	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
C	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
D	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.	
B.3	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **	
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	206 sq. ft.	
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.	
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.	
Grand Total	--	4,833 sq. ft.	5,561 sq. ft.	206 sq. ft.	

LEVEL 5					
Unit Type	No. of Units	Net Sq. Ft	Gross Sq. Ft	Deck Sq. Ft	
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.	
B	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
B.2	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
B.3	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *	
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.	
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **	
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	206 sq. ft.	
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.	
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.	
Grand Total	--	4,833 sq. ft.	5,561 sq. ft.	206 sq. ft.	

* Deck at (1) unit only
** Deck at (2) units only

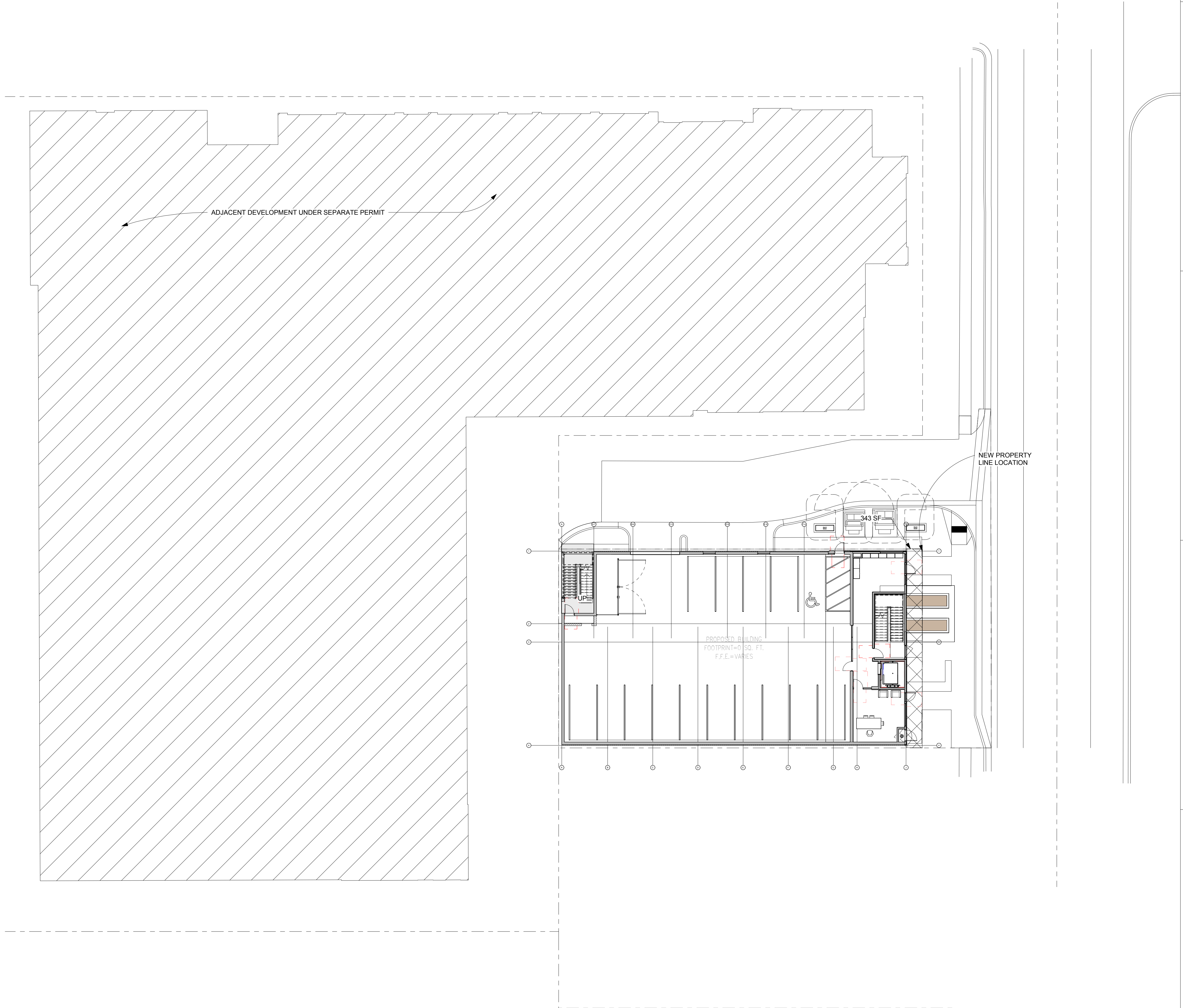
REQUIRED OPEN SPACE:
7,720 SF X 20% = 1,544 SF

PROVIDED OPEN SPACE:

STREET FACING PLAZA:	343 SF	4.44%
LEVEL 2 SOUTH BALCONIES:	478 SF	6.19%
UNIT C BALCONIES (2 THRU 4):	200 SF	2.55%
ROOFTOP DECK:	543 SF	7.03%
TOTAL OPEN SPACE:	1,564 SF	20.25%

*SEE DOWNTOWN DISTRICT FORM BASED CODE - SECTION 6.1 - TABLE 6.1

*SEE DOWNTOWN DISTRICT FORM BASED CODE - SECTION 6.1 - TABLE 6.1



PROJECT NAME

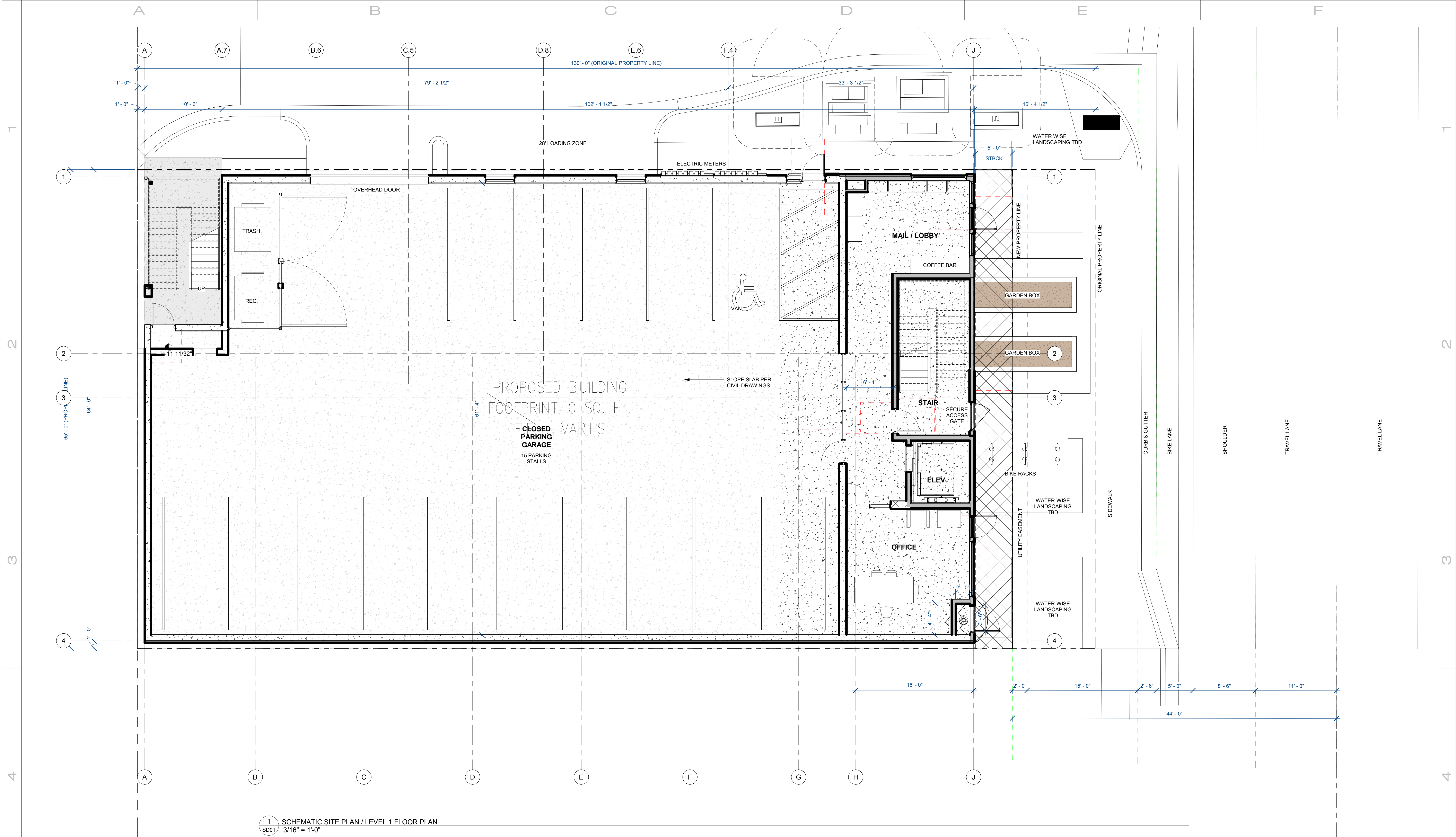
aQui 2194
2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

SHEET NO. _____

A100

20250512 - SCHEMATIC DESIGN



LANDSCAPE DESIGN INTENT

A DETAILED PLANTING PLAN WILL BE DEVELOPED WITH A LANDSCAPE ARCHITECT TO REFINE SPECIES SELECTION AND FINAL DESIGN INTEGRATION.

THE LANDSCAPE DESIGN WILL PRIORITIZE WATER-WISE, LOW-MAINTENANCE PLANTINGS THAT ENHANCE THE SITE'S AESTHETICS AND COMPLEMENT THE ARCHITECTURAL DESIGN AND ART MURALS. DROUGHT-TOLERANT SPECIES WILL PROVIDE SEASONAL INTEREST AND SHADE.

COMMUNITY GARDEN BOXES WILL OFFER RESIDENTS SPACE FOR URBAN GARDENING, FOSTERING ENGAGEMENT AND CONNECTION. LANDSCAPING WILL ALSO BE USED TO SCREEN UTILITY METERS ON THE NORTH SIDE OF THE BUILDING.

SOME EXAMPLES OF WATER-WISE PLANTS THAT WILL BE INCORPORATED:





2 SCHEMATIC LEVEL 2 FLOOR PLAN
SD02 1/8" = 1'-0"



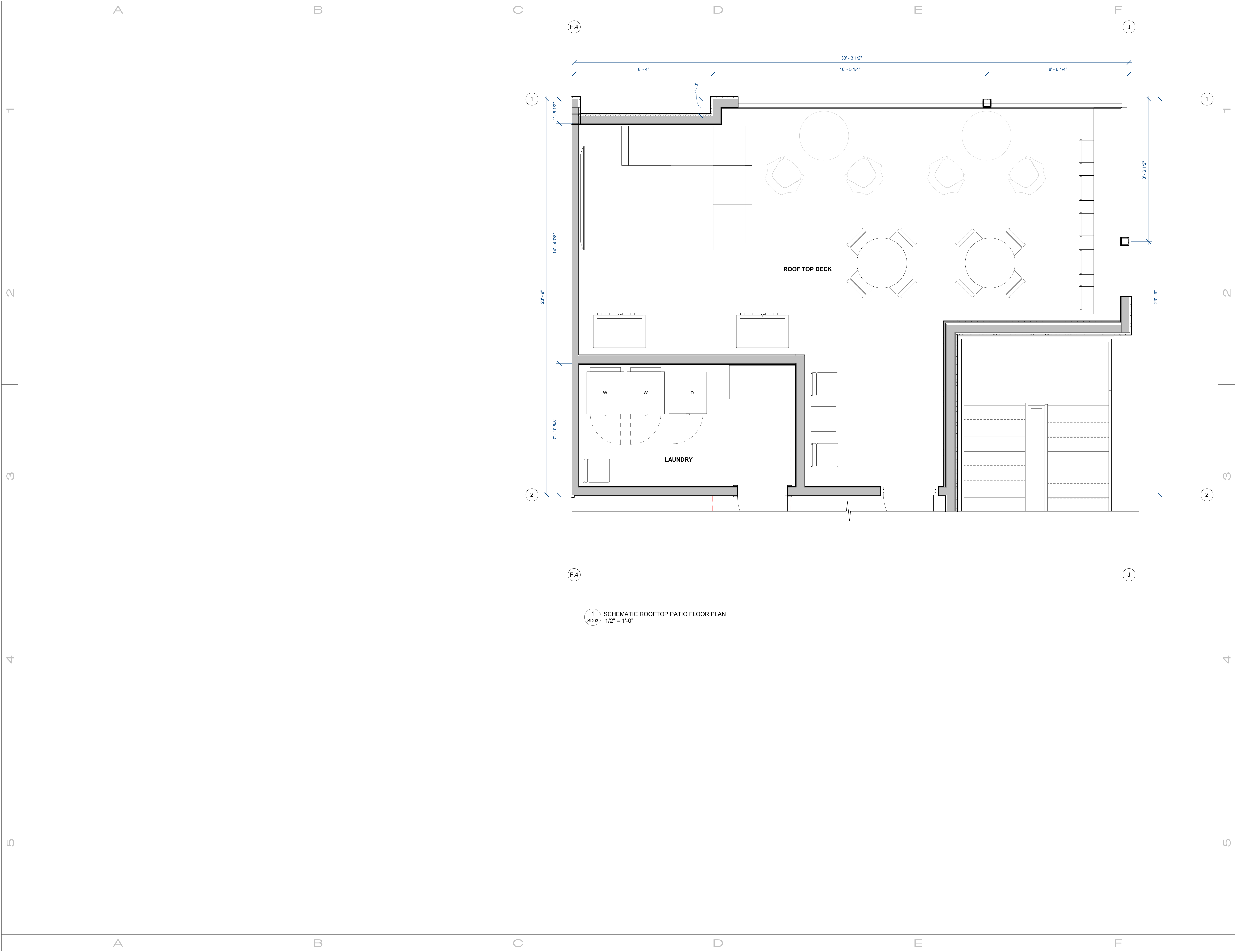
4 SCHEMATIC LEVEL 4 FLOOR PLAN
SD02 1/8" = 1'-0"

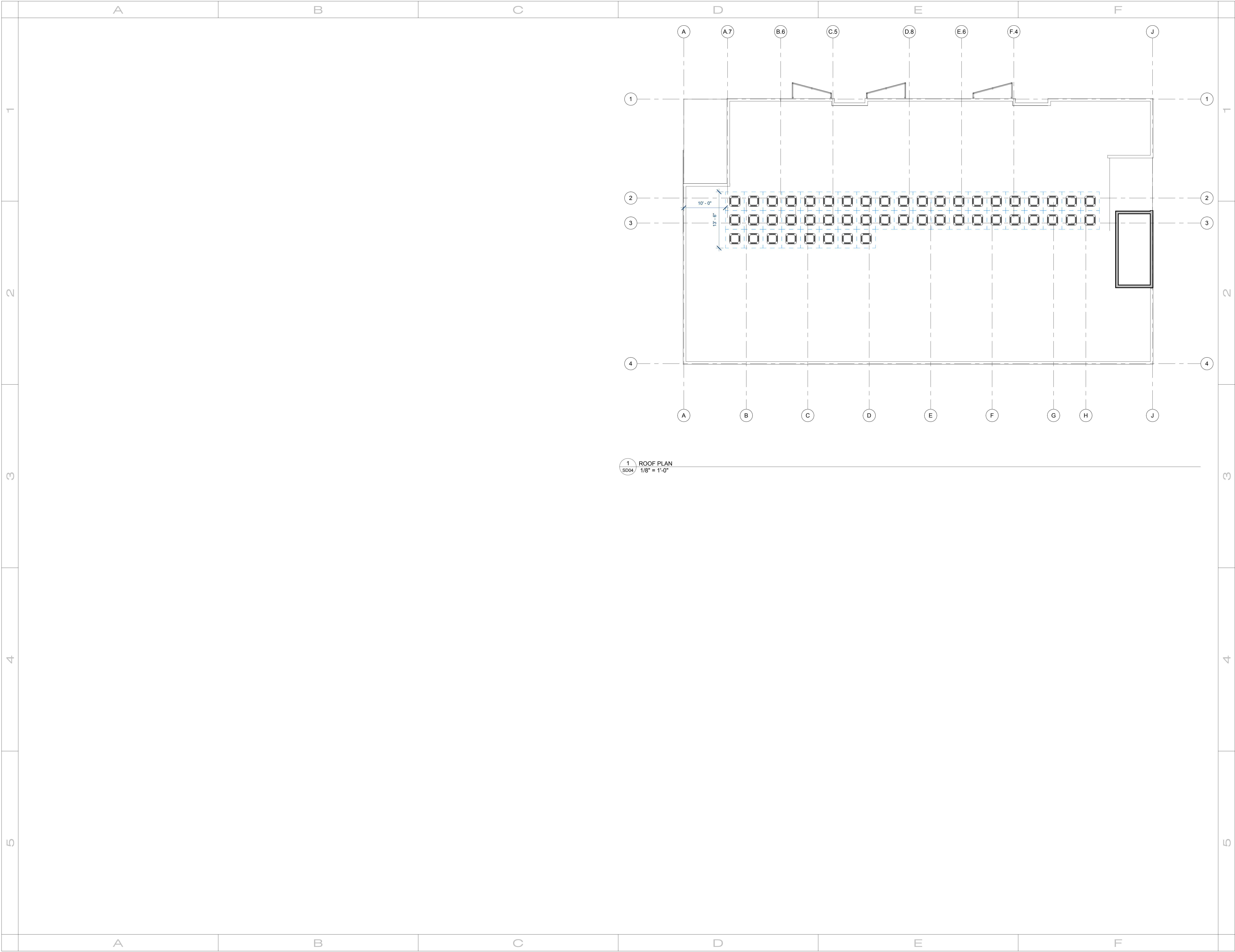


3 SCHEMATIC LEVEL 3 FLOOR PLAN
SD02 1/8" = 1'-0"



5 SCHEMATIC LEVEL 5 FLOOR PLAN
SD02 1/8" = 1'-0"





THE DESIGNS SHOW HEREIN
INCLUDING ALL TECHNICAL DRAWINGS,
GRAPHIC REPRESENTATION & MODELS
THEREOF, ARE PROPRIETARY & CAN
NOT BE COPIED, DUPLICATED, OR
COMMERCIALLY EXPLOITED IN WHOLE
OR IN PART WITHOUT THE SOLE AND
EXPRESS WRITTEN PERMISSION FROM
BLACKBOX, LLC.

THESE DRAWINGS ARE AVAILABLE FOR
LIMITED REVIEW AND EVALUATION BY
CLIENTS, CONSULTANTS,
CONTRACTORS, GOVERNMENT
AGENCIES, VENDORS, AND OFFICE
PERSONNEL ONLY IN ACCORDANCE
WITH THIS NOTICE.

PROJECT NAME

aQui 2194
2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.

2146

DRAWN BY

JD

CHECKED BY

DC

TITLE

**SCHEMATIC PLANS -
ROOF PLAN**

SHEET NO.

SD04

20250324 - SCHEMATIC DESIGN





BLACKBOX
design studios

183 W 2100 S EXPRESSWAY
SUITE 300
SOUTH SALT LAKE CITY, UT 84115
T 801.879.5089
WWW.BLACKBOXSLC.COM

THE DESIGNS SHOWN HEREIN
INCLUDING ALL TECHNICAL DRAWINGS,
GRAPHIC REPRESENTATION & MODELS
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EXPRESS WRITTEN PERMISSION FROM
BLACKBOX, LLC.

THESE DRAWINGS ARE AVAILABLE FOR
LIMITED REVIEW AND EVALUATION BY
CLIENTS, CONSULTANTS,
CONTRACTORS, GOVERNMENT
AGENCIES, VENDORS, AND OFFICE
PERSONNEL ONLY IN ACCORDANCE
WITH THIS NOTICE.

PROJECT NAME

aQui 2194
2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.
2146
DRAWN BY
JD
CHECKED BY
DC
TITLE
RENDERINGS

SHEET NO.
SD06

20250512 - SCHEMATIC DESIGN

		A	B	C	D	E	F		
1								1	
2								2	
3								3	
4								4	
5								5	
		A	B	C	D	E	F		



1
SD07 PERSPECTIVE A WITH NEIGHBOR - NORTHWEST



2
SD07 PERSPECTIVE B WITH NEIGHBOR - SOUTHWEST



3
SD07 PERSPECTIVE C WITH NEIGHBOR - SOUTHEAST



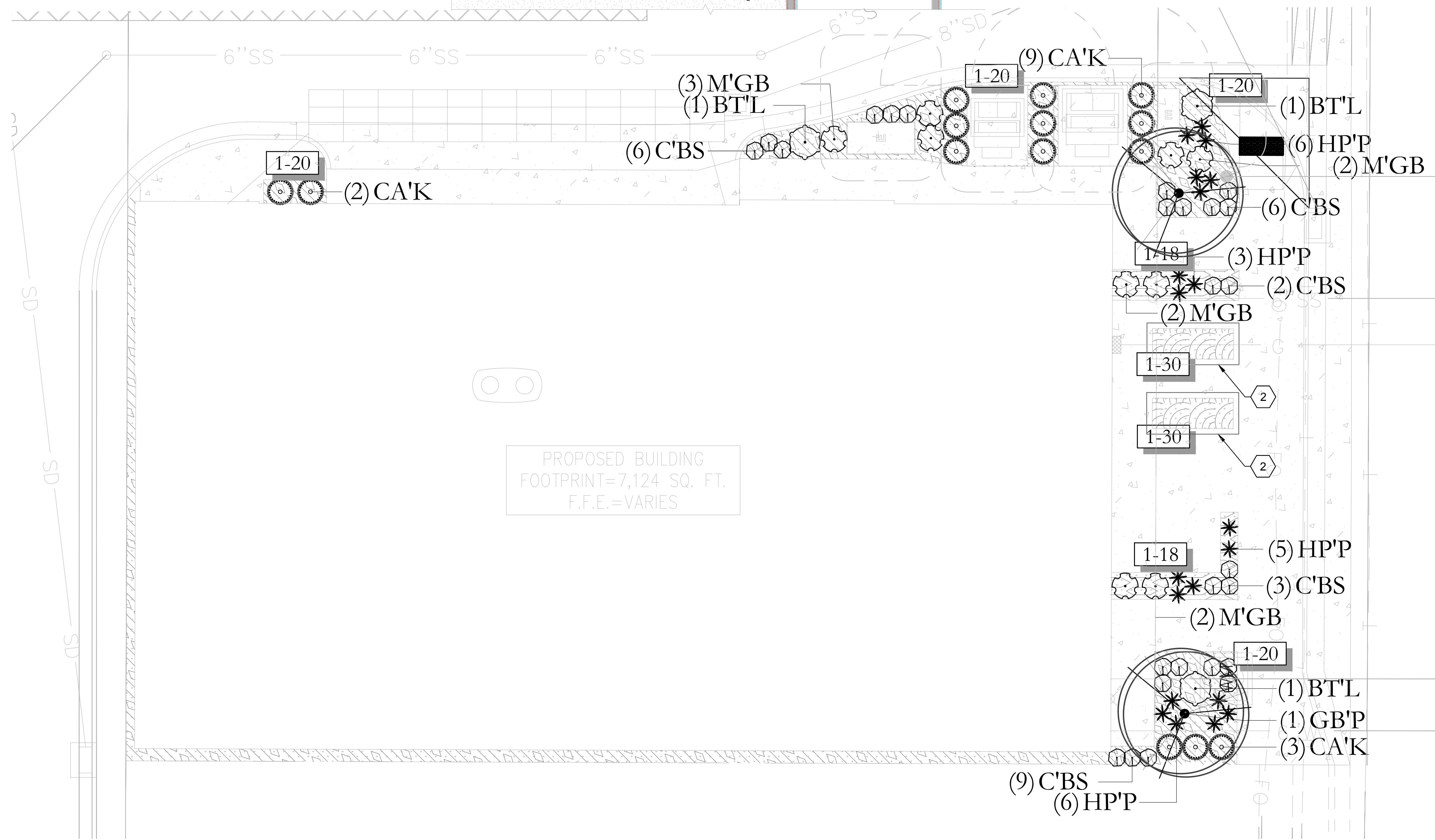
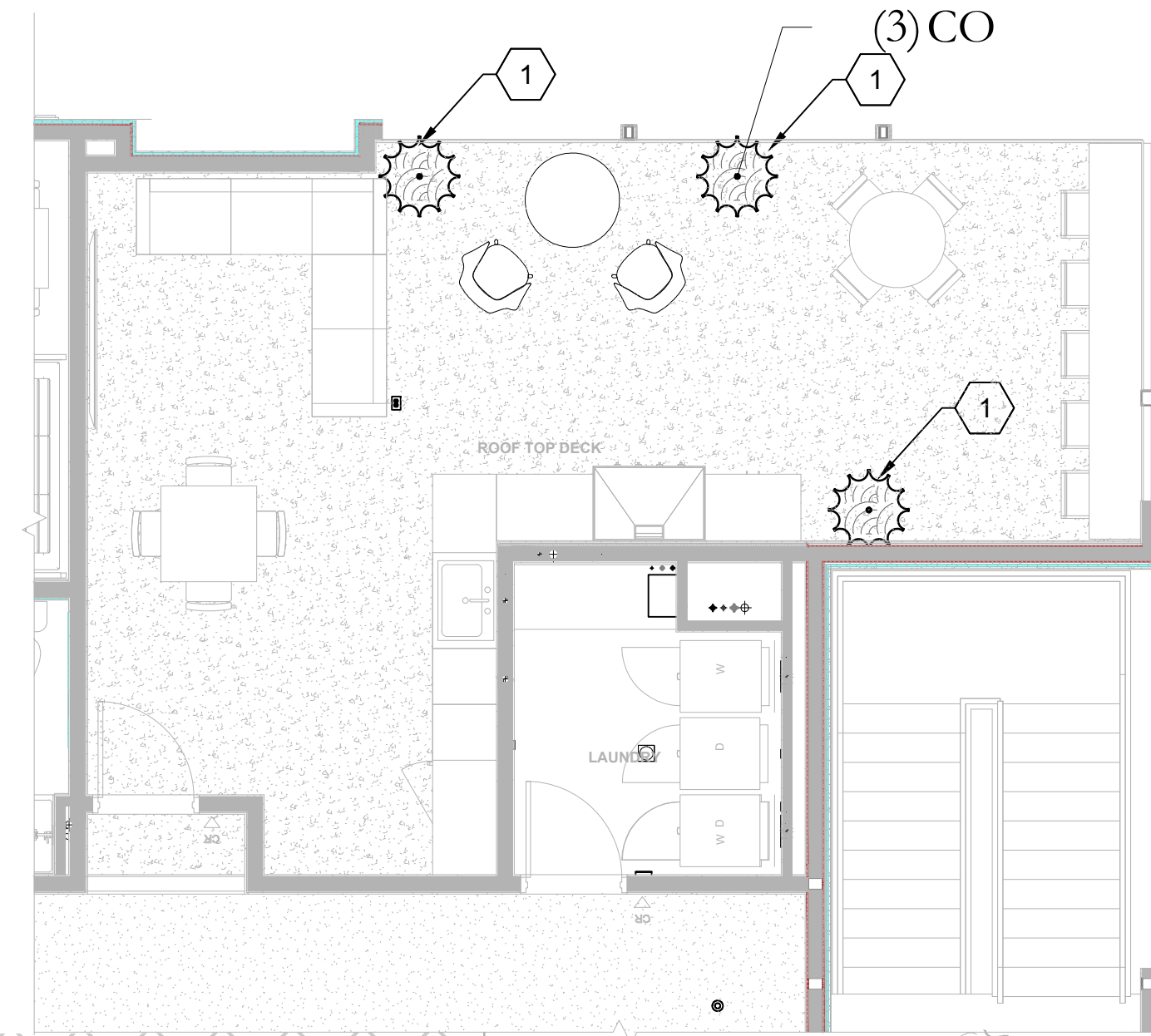
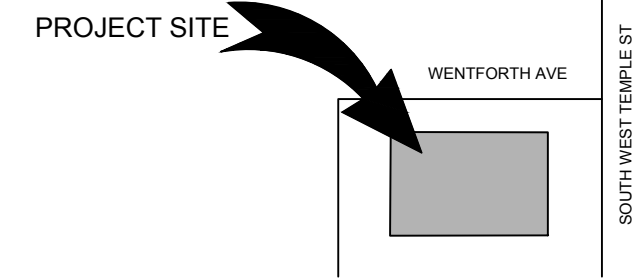
4
SD07 PERSPECTIVE D WITH NEIGHBOR - NORTHEAST





VICINITY MAP

ROOFTOP DECK



 PLANT MATERIALS (NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>
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DECIDUOUS SHRUBS

	BT/L	3	Berberis thunbergii 'Ballfin'™ Limoncello Barbery	5 gal
	CBS	26	Sd3; 4x4; AV28; full to partial sun; z4 Caryopteris x clandonensis 'Blauer Splatz' Sapphire Sun™ Bluebeard	5 gal

EVERGREEN SHRUBS

	HPP	20	Hesperaloe parviflora 'Perpa' TM Brakelights Red Yucca P1; 2x2; AV 7; sun; z5; Utah Lake water tolerant	5 gal
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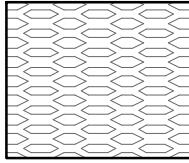
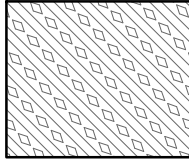
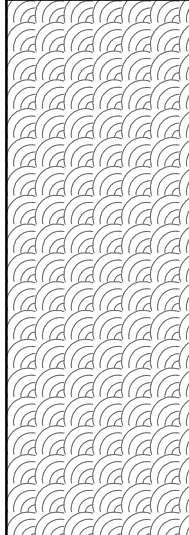
GRASSES

	CA/K	14	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass Tw2; 4x3; AV 7; sun; 24; Utah Lake water tolerant	1 gal
	CO	3	Calamagrostis x acutiflora 'Overdam' Overdam Feather Reed Grass	1 gal
	M/GB	9	Miscanthus sinensis 'Gold Bar' Gold Bar Maiden Grass Tw2; 5x3; AV 9; sun; 25; Utah Lake water tolerant	1 gal

SITE MATERIALS (NOTE: SITE MATERIALS QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

<u>SYMBOL</u>	<u>CODE</u>	<u>DESCRIPTION</u>	<u>QTY</u>
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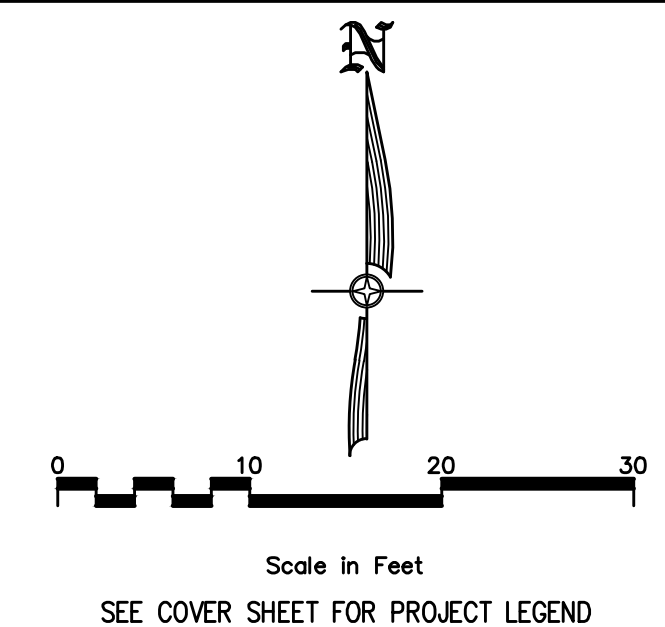
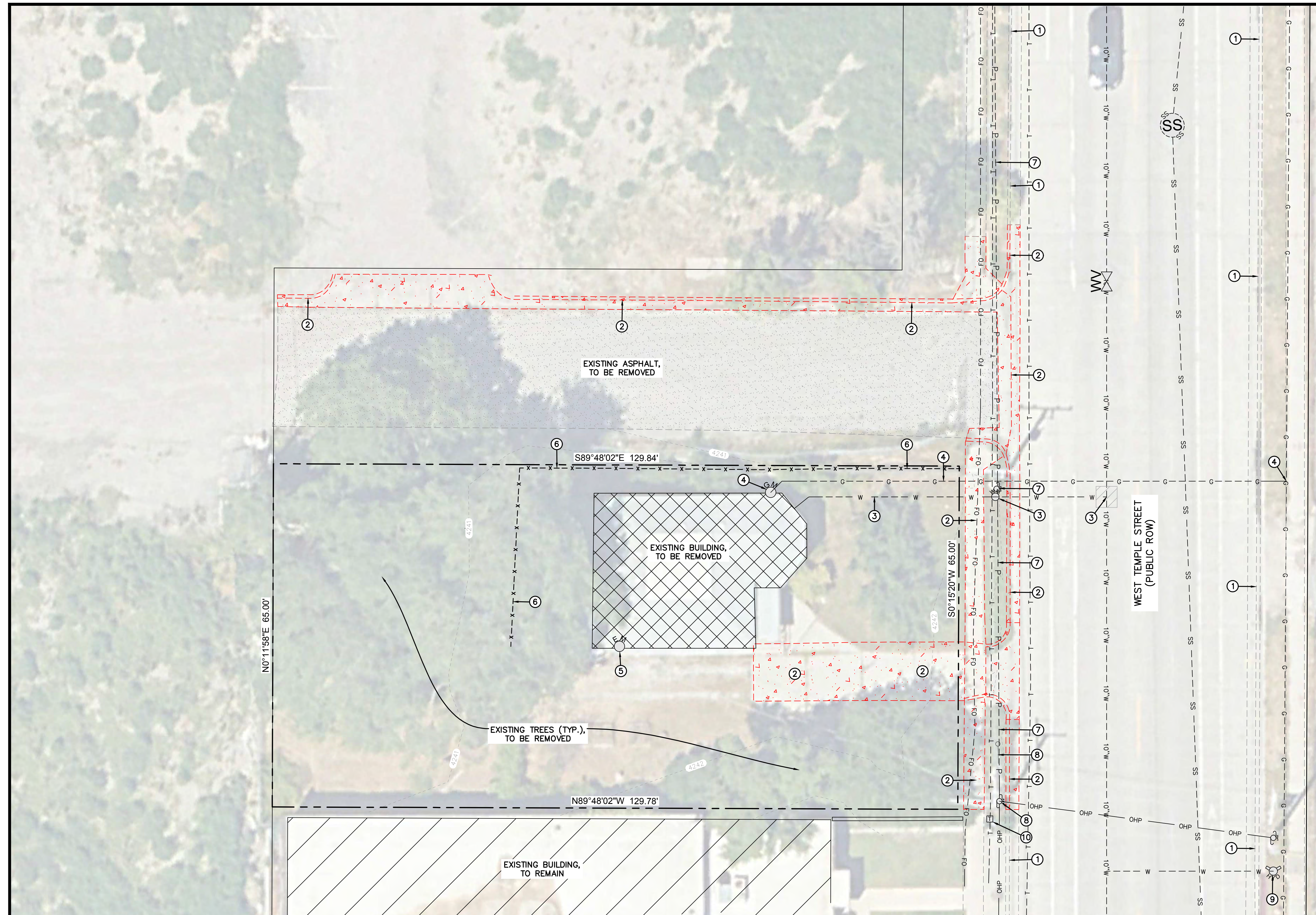
1 LANDSCAPE

	1-18 2.4" TAN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	112 sf
	1-20 2.4" BROWN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	650 sf
	1-30 UTEлите PLANTER SOIL MIX FILL RAISED PLANTER WITH UTEлите PLANTER SOIL MIX. WATER TO SETTLE MIX AND RE-FILL TO WITHIN 4 INCHES OF TOP OF PLANTER. 25% UTEлите SOIL CONDITIONER 50% SCREENED TOPSOIL 25% APPROVED COMPOST MECHANICALLY MIX COMPONENTS. WHEN STOCKPILING THE FINISHED MIX, COVER AND PILE WITH A PLASTIC TARP TO PREVENT DRYING OUT AND SOIL SEPARATION FROM RAIN. SCREENED TOPSOIL: 30%-50% SAND; 30%-50% SILT; 10%-25% CLAY; <5% ORGANIC MATTER. APPROVED COMPOST: pH 6-8; SOLUBLE SALTS <5; SAR <10; CARBON/NITROGEN <20:1; MOISTURE 25-35%; 3/8" COARSE MATERIAL 98% PASSING	99 sf

PRELIMINARY LANDSCAPE PLAN

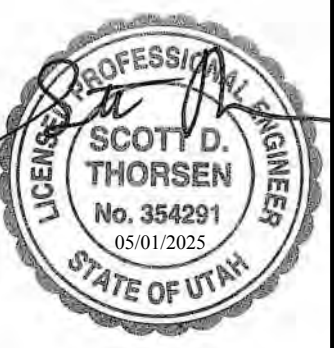
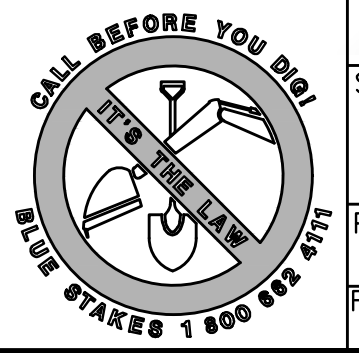
ISSUE DATE			PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO															
2/13/2026			UT25176	** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 10/15/2025			DANIELLE CLARK		P.L. JTA DRAWN: ACP CHECKED: KBA PLOT DATE: 2/13/2026															
<table><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr><tr><td>1</td><td>XXXX</td><td>XX-XX-XX</td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr><tr><td>4</td><td></td><td></td></tr></table>			NO.	REVISION	DATE	1	XXXX	XX-XX-XX	2			3			4			 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org						
NO.	REVISION	DATE																						
1	XXXX	XX-XX-XX																						
2																								
3																								
4																								
			 GRAPHIC SCALE: 1" = 8'																					

PROJECT ID:	DATE:
25-052	05/01/25
FILE NAME:	SCALE:
PRJ-SSLA	



- EXISTING SITE / DEMOLITION PLAN NOTES:**

NOTE:
CONTRACTOR IS RESPONSIBLE FOR
VISITING THE SITE AND FIELD
VERIFYING ALL NECESSARY
DEMOLITION AND/OR RELOCATION
OF UTILITIES AND STRUCTURES
PRIOR TO PROVIDING BID NUMBERS.



AQUI 2194

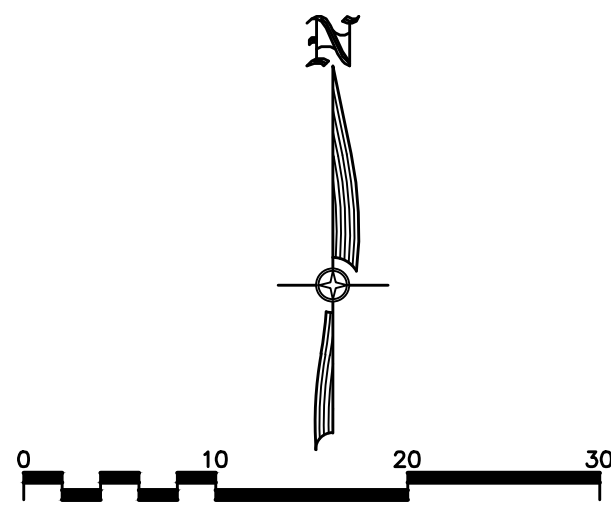
EXISTING SITE / DEMOLITION PLAN

ADJACENT UTOPIA APARTMENTS
PROJECT SHOWN ON THIS PLAN
SET FOR INFORMATIONAL
PURPOSES ONLY.

BRC ADG QOZB 1 JV, LLC
15-24-230-019

123 W Utopia Ave.

RIGHT TURN SIGHT TRIANGLE PER
AASHTO STANDARDS (220'). NO
OBSTACLES LARGER THAN 3.5' MAY
BE LOCATED INSIDE SIGHT TRIANGLE



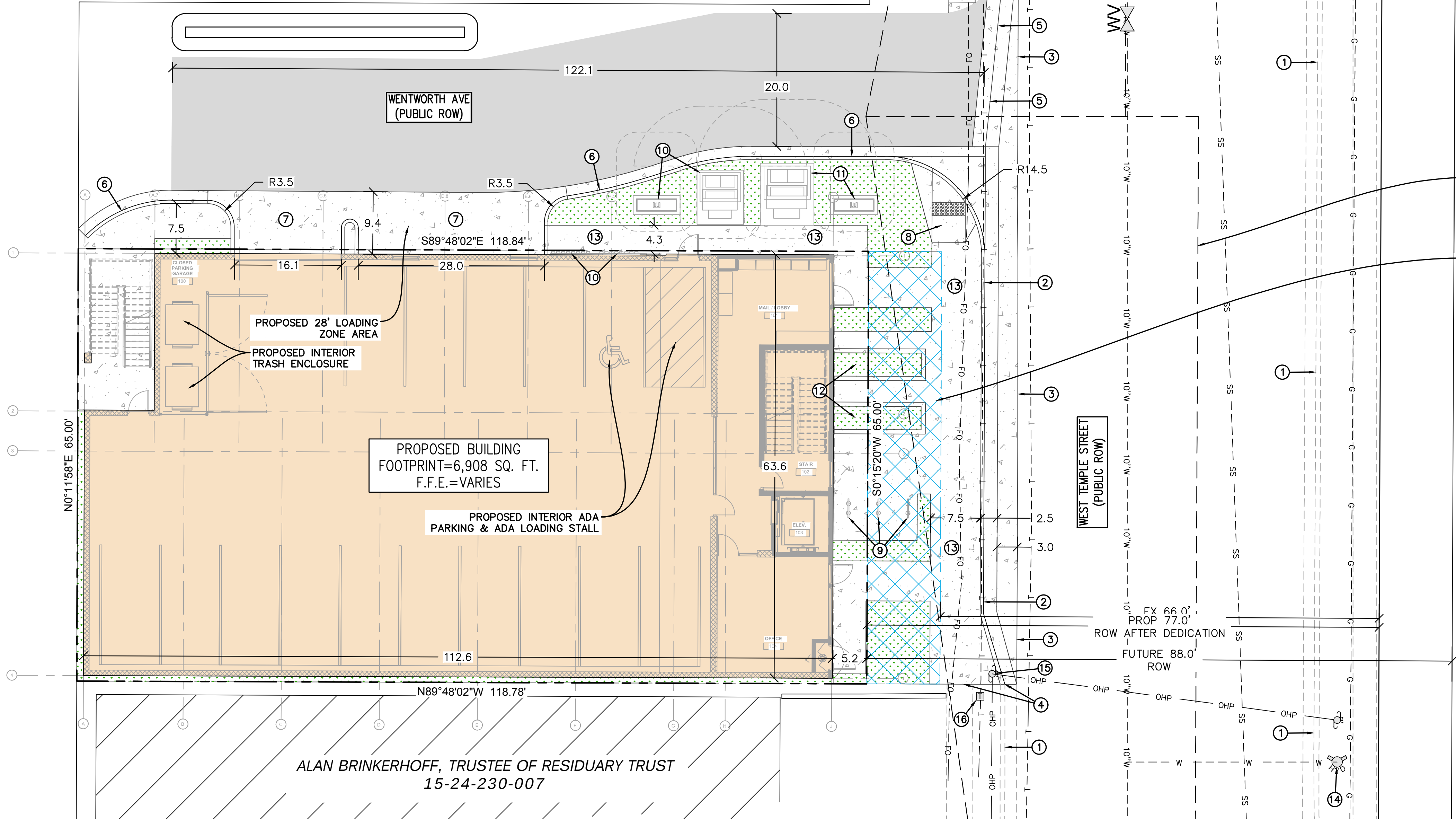
Scale in Feet
SEE COVER SHEET FOR PROJECT LEGEND

SHEET LEGEND
 PROP ROW DEDICATION
715 SQUARE FEET

SITE PARKING COUNT:
SEE ARCHITECTURAL PLAN SET FOR
DETAILS ON RESIDENTIAL UNIT BREAKDOWN
AND CORRESPONDING PARKING COUNT.

LEFT TURN SIGHT TRIANGLE PER
AASHTO STANDARDS (335'). NO
OBSTACLES LARGER THAN 3.5' MAY
BE LOCATED INSIDE SIGHT TRIANGLE

PROPOSED ROW DEDICATION TO BE DONE
AS PART OF THIS PROJECT.
TOTAL DEDICATION AREA = 715 SQ. FT.



LOT AREAS:

LOT	SQ. FT.	/	ACRES.
BUILDING FOOTPRINT	7,723	/	0.177
LANDSCAPE	6,908	/	0.159
CONCRETE	223	/	0.005
	593	/	0.014
ROADWAY IMPROVEMENTS	5,733	/	0.132
ASPHALT	2,471	/	0.057
LANDSCAPE	613	/	0.014
CONCRETE	2,649	/	0.061

NOTE:

1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN
CHANGE DUE TO CONSTRUCTION TOLERANCES.

SITE PLAN NOTES:

- EXISTING CURB & GUTTER.
- PROPOSED 30" CURB & GUTTER TO BE INSTALLED PER SSLC PLAN NO. 205.1. SEE SHEET C5.0 FOR DETAILS.
- CONTRACTOR TO SAWCUT, REMOVE AND REPLACE CONCRETE PANELS PER APWA PLAN NO. 256.1 AND 256.2. SEE SHEET C5.0 FOR DETAILS.
- CONTRACTOR TO SAWCUT EXISTING CURB & GUTTER AND EXISTING SIDEWALK TO PROVIDE A SMOOTH EDGE FOR PROPOSED CURB & GUTTER AND SIDEWALK TO MATCH INTO.
- PROPOSED 4' WIDE CONCRETE WATERWAY TO BE INSTALLED PER SSLC PLAN NO. 211. SEE SHEET C5.0 FOR DETAILS.
- PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 1/C4.0.
- PROPOSED DRIVE APPROACH TO BE INSTALLED PER APWA PLAN NO. 225. SEE SHEET C5.0 FOR DETAILS.
- PROPOSED ADA RAMP W/DETECTABLE WARNING STRIP TO BE INSTALLED PER APWA PLAN NO. 238. SEE SHEET C5.0 FOR DETAILS.
- PROPOSED BIKE RACK. SEE DETAIL 2/C4.0.
- PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER, SWITCHGEAR AND ELECTRICAL METERS) FOR AQU12194 PROJECT. SEE ELECTRICAL PLANS FOR SIZING DETAILS.

- PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER AND SWITCHGEAR) FOR ADJACENT UTOPIA APARTMENTS PROJECT. AREA TO BE RESERVED FOR ELECTRICAL GEAR AND CONDUITS TO BE INSTALLED UNDER WENTWORTH AVE ASPHALT.
- PROPOSED RAISED PLANTER/GARDEN BOXES. SEE ARCHITECTURAL & LANDSCAPE PLANS FOR DETAILS.
- PROPOSED PUBLIC ROW SIDEWALK TO BE INSTALLED PER SSLC PLAN NO. 231. SEE SHEET C5.0 FOR DETAILS.
- EXISTING FIRE HYDRANT.
- EXISTING OVERHEAD POWER POLE. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER ON GUY WIRE RELOCATION AROUND WEST TEMPLE STREET WIDENING IMPROVEMENTS.
- EXISTING COMMUNICATIONS PEDESTAL.

AQUI 2194

2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH

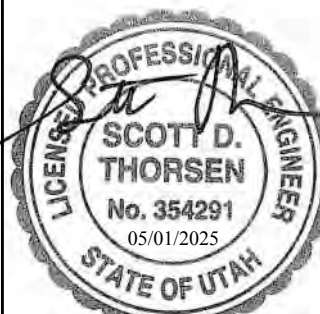
SITE PLAN

CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-5296

NO. REVISIONS BY DATE
DESIGNER: SDT PROJECT ENGINEER: SDT



SHEET NO.
C1.0

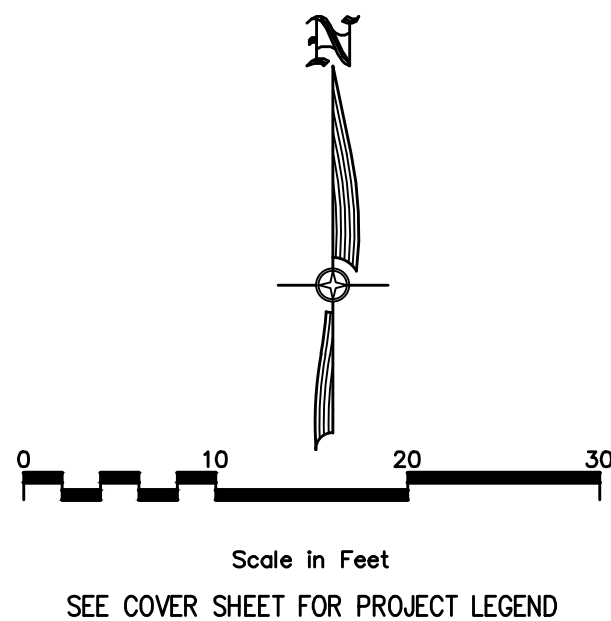
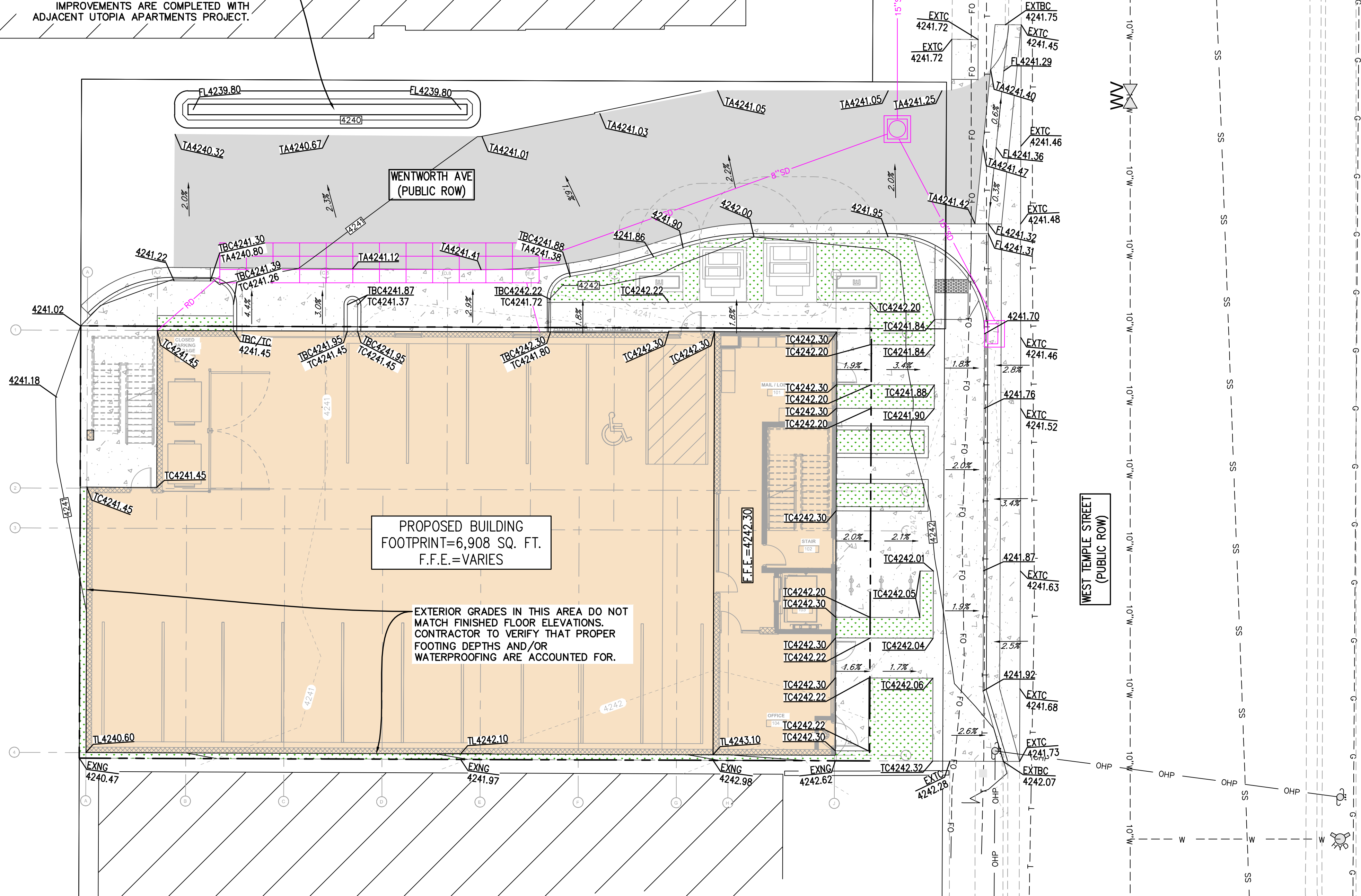
PROJECT ID: E25-052
DATE: 05/01/25
FILE NAME: PRJ-SSLA
SCALE: 1"=10'



ADJACENT UTOPIA APARTMENTS
PROJECT SHOWN ON THIS PLAN
SET FOR INFORMATIONAL
PURPOSES ONLY.

CONTRACTOR TO PROVIDE DEPRESSED AREA
FOR TEMPORARY RUNOFF FROM WENTWORTH
AVE TO POND AND PERCOLATE. DEPRESSED
AREA TO BE REPLACED WITH UNDERGROUND
CHAMBER SYSTEM WHEN WENTWORTH AVE
IMPROVEMENTS ARE COMPLETED WITH
ADJACENT UTOPIA APARTMENTS PROJECT.

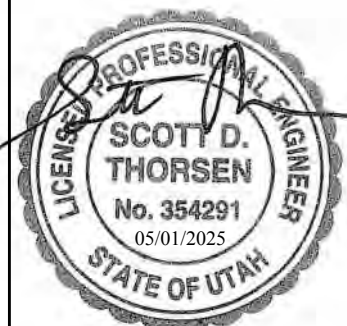
SEE SHEET C2.1 FOR CONTINUATION
OF STORM DRAIN DISCHARGE PIPE TO
NEARBY INLET BOX TO NORTH



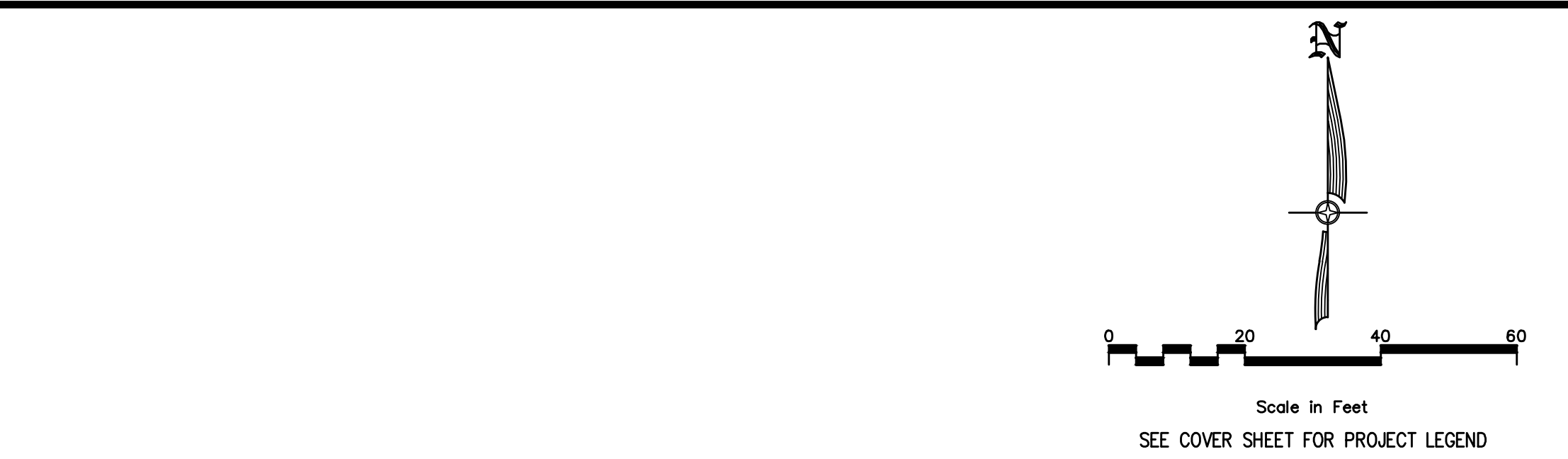
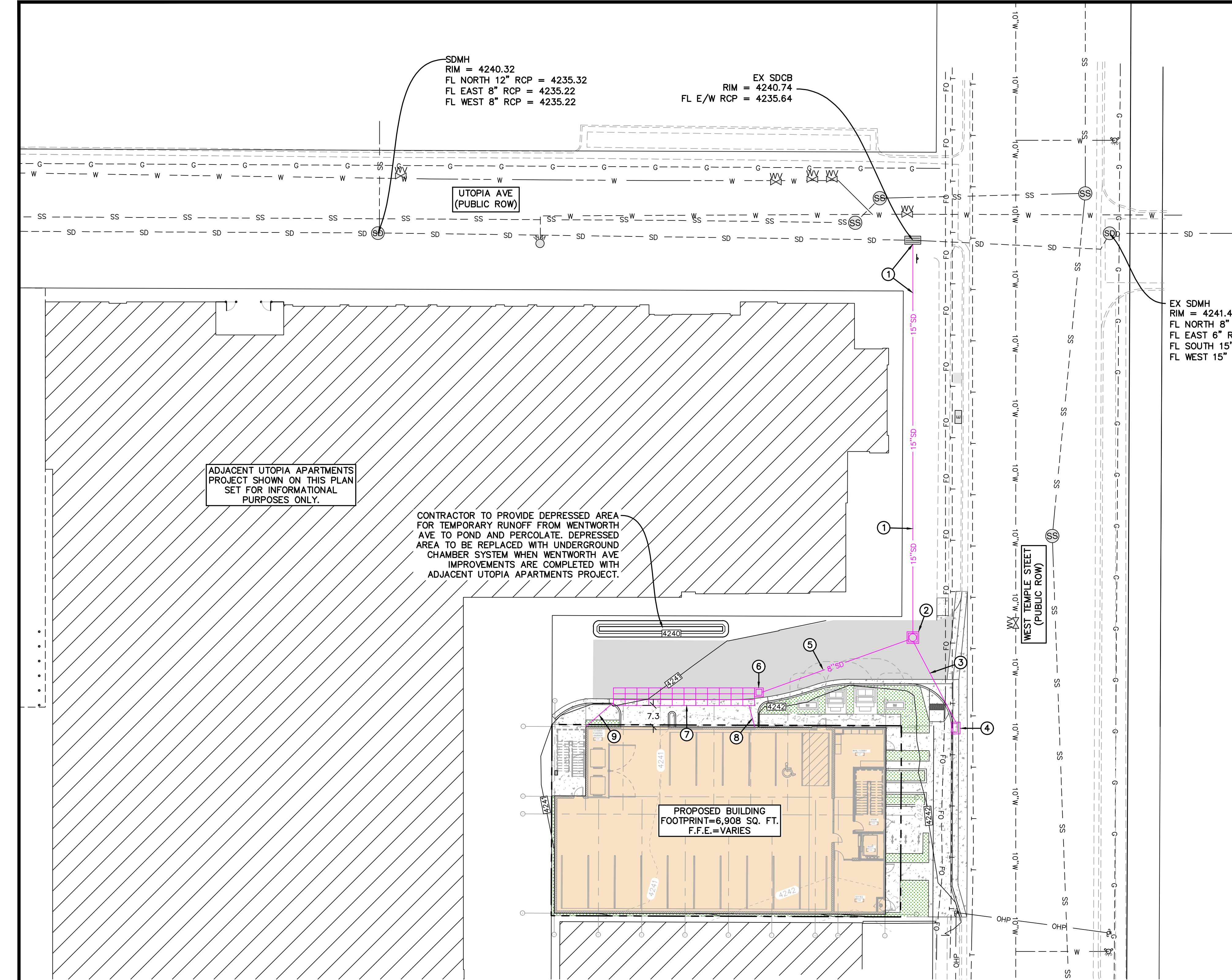
CIVIL ENGINEERING + SURVEYING
CIR
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-5296
DESIGNER: SDT PROJECT ENGINEER: SDT

AQUI 2194
2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
GRADING PLAN

WEST TEMPLE STREET ROADWAY WIDENING SLOPES NOTE:
AFTER CURB & GUTTER IS FORMED IN WEST TEMPLE
STREET (PRIOR TO BEING INSTALLED), CONTRACTOR TO
FIELD VERIFY WITH SURVEYING COMPANY THAT ROADWAY
DRIVING SURFACES ARE BETWEEN 2.0-4.0% CROSS SLOPES
AS SHOWN PER CIVIL GRADING PLAN AND CAN STILL BE
INSTALLED. IF SLOPES CANNOT BE INSTALLED PER GRADING
PLAN, CONTRACTOR TO NOTIFY CIVIL ENGINEER.



SHEET NO.	C2.0
PROJECT ID	E25-052
DATE	05/01/25
FILE NAME	PRJ-SSLA
SCALE	1"=10'



- DRAINAGE PLAN NOTES:**
- ① CONNECT TO EXISTING SD INLET BOX (I.E.=4235.64±) AND INSTALL 133'± OF 15" RCP PIPE, S=0.20%.
 - ② INSTALL 3'x3' INLET BOX W/ROUND 30" DIA. MANHOLE GRATE, TOG=4241.16, I.E.(SE)=4236.88, I.E.(SW)=4236.76, I.E.(N)=4235.91.
 - ③ INSTALL 32'± OF 15" RCP PIPE, S=0.20%.
 - ④ INSTALL CURB INLET BOX PER APWA PLAN NO. 315.1. TOG=4241.20, I.E.=4236.95. SEE SHEET C5.1 FOR DETAILS.
 - ⑤ INSTALL 54'± OF 8" ADS PIPE, S=0.40%.
 - ⑥ INSTALL 2'x2' JUNCTION BOX W/SOLID LID, SNOUT OIL/WATER SEPARATOR AND 3.0" ORIFICE PLATE., TOG=4241.36, I.E.(W)=4235.75, I.E.(E)=4236.98, SUMP=4232.75. SEE DETAILS 4/C4.0 & 5/C4.0.
 - ⑦ INSTALL STORMBRIXX 900-SERIES SD UNDERGROUND CHAMBER SYSTEM (OR EQUIVALENT APPROVED BY CIVIL ENGINEER). CHAMBER SYSTEM TO BE 48'x6'x3' AND LINED WITH A PERMEABLE LINER. BOTTOM OF CHAMBER SYSTEM = 4235.75. TOTAL VOLUME PROVIDED = 811 CUBIC FEET. SEE SHEET C4.0 FOR DETAILS.
 - ⑧ INSTALL 8'± OF 8" ADS PIPE FOR ROOF DRAIN CONNECTION, S=MIN.1.0%. END PIPE 5' FROM BUILDING AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
 - ⑨ INSTALL 13'± OF 8" ADS PIPE FOR ROOF DRAIN CONNECTION, S=MIN.1.0%. END PIPE 5' FROM BUILDING AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.

CIVIL ENGINEERING
+ SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

AQUI 2194

2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH

DRAINAGE PLAN

CALL BEFORE YOU DIG
BLUE STAKES 1 800 665 6171

PROFESSIONAL ENGINEER
SCOTT D. THORSEN
No. 354291
05/01/2025
STATE OF UTAH

SHEET NO.
C2.1

PROJECT ID: E25-052
DATE: 05/01/25
FILE NAME: PRJ-SSLA
SCALE: 1"=20'

ADJACENT UTOPIA APARTMENTS
PROJECT SHOWN ON THIS PLAN
SET FOR INFORMATIONAL
PURPOSES ONLY.

SEE SHEET C2.1 FOR
PROPOSED SITE DRAINAGE
IMPROVEMENTS

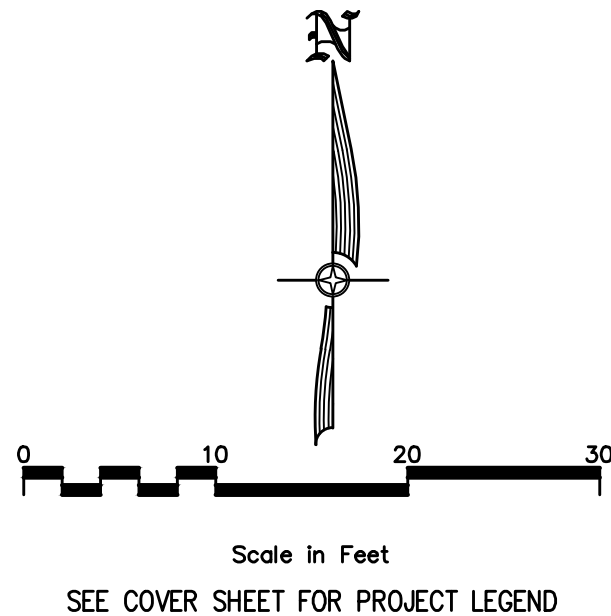
WENTWORTH AVE
(PUBLIC ROW)

PROPOSED BUILDING
FOOTPRINT=6,908 SQ. FT.
F.F.E.=VARIES

PROPOSED FIRE RISER
ROOM LOCATION

EX SSMH
RIM = 4242.03
FL NORTH 36" PVC = 4231.93
FL SOUTH 36" PVC = 4231.98

ADDITIONAL EXISTING FIRE HYDRANT
LOCATED AT NORTHEAST CORNER OF
NEARBY UTOPIA AVE & WEST TEMPLE
STREET INTERSECTION.
(APPROXIMATELY 212' FROM SITE)



FIRE FLOW REQUIREMENTS:	
LEVEL 1	
BUILDING AREA: 6,908 SF	
TYPE IA CONSTRUCTION	
FIRE SPRINKLER REDUCTION: 50%	
REQUIRED FIRE FLOW: 750 GPM	
LEVELS 2-5	
BUILDING AREA: 27,632 SF	
TYPE IIIA CONSTRUCTION	
FIRE SPRINKLER REDUCTION: 50%	
REQUIRED FIRE FLOW: 1,250 GPM	
COMBINED REQ'D FIRE FLOW: 2,000 GPM	
HYDRANTS REQUIRED: 2	
HYDRANTS PROVIDED: 3	

CONCRETE PANEL REPLACEMENT NOTE:
UTILITY TRENCH HATCHING (SHEET
CALLOUT #1) IS NOT AN ACCURATE
DEPICTION OF THE AMOUNT OF
CONCRETE PANELS THAT WILL NEED TO
BE REMOVED TO INSTALL UTILITY
LATERAL WORK. IT IS POSSIBLE THAT
EITHER MORE OR LESS SQUARE FOOTAGE
OF CONCRETE PANEL REMOVAL AND
REPLACEMENT WILL BE NEEDED.

UTILITY PLAN NOTES:

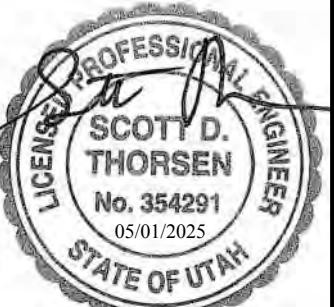
- REMOVE AND REPLACE EXISTING CONCRETE PANELS TO INSTALL UTILITY LATERAL WORK PER APWA PLAN NO. 256.1 AND SSLC PLAN NO. 256.2. ANY DAMAGED OR REMOVED CONCRETE PANELS AND ASSOCIATED PAVEMENT SECTION (ROAD BASE/SUBBASE) TO BE REPLACED IN KIND. SEE "CONCRETE PANEL REPLACEMENT NOTE" ON THIS SHEET AND SHEET C5.0 FOR DETAILS.
- CONNECT TO EXISTING 10" WATER MAIN AND INSTALL 10"x10"x6" TEE W/6" GATE VALVE AND THRUST BLOCKS.
- INSTALL 6" PVC C-900 WATER LINE.
- INSTALL FIRE HYDRANT W/THRUST BLOCKS PER APWA PLAN NO. 511. SEE SHEET C5.1 FOR DETAILS.
- END 6" PVC C-900 WATER LINE 5' FROM BUILDING AND SEE FIRE SPRINKLER PLANS FOR CONTINUATION INTO FIRE RISER ROOM.
- INSTALL WALL-MOUNTED FDC.
- INSTALL 1650 OR 3200 SERIES KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- CONNECT TO EXISTING 10" WATER MAIN AND INSTALL 2" CULINARY WATER LATERAL AND 2" CULINARY WATER METER & VAULT. ALL WORK TO BE DONE PER APWA PLANS NO. 505 AND 522. SEE SHEET C5.1 FOR DETAILS.
- INSTALL 2" POLY PIPE UP TO 1' PAST WATER METER VAULT. CONTRACTOR TO THEN UPSIZE CULINARY WATER LATERAL TO 4" PVC C-900 WATER LINE. END 4" PVC C-900 WATER LINE FROM BUILDING AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- CONNECT TO EXISTING 36" SEWER MAIN AND INSTALL 55'± OF 6" PVC SDR-35 SEWER PIPE, S=4.0%. I.E.(36"MAIN)=4231.42, I.E.(6"LAT)=4233.75. SEWER LATERAL TO BE CONNECTED INTO LARGER SEWER MAIN AT 80% CAPACITY ELEVATION. ALL WORK TO BE DONE PER APWA PLAN NO. 431. SEE SHEET C5.1 FOR DETAILS.
- END 6" PVC SDR-35 SEWER PIPE 5' FROM BUILDING AND INSTALL 6" CLEANOUT WYE. TOL=4242.21, I.E.=4235.95. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- TOP(10"W)=4237.93
I.E.(10"W)=4237.10
TOP(6"SS)=4234.86
I.E.(6"SS)=4234.36
- PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER, SWITCHGEAR AND ELECTRICAL METERS) FOR AQU12194 PROJECT. SEE ELECTRICAL PLANS FOR SIZING DETAILS.
- PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER AND SWITCHGEAR) FOR ADJACENT UTOPIA APARTMENTS PROJECT. AREA TO BE RESERVED FOR ELECTRICAL GEAR AND CONDUITS TO BE INSTALLED UNDER WENTWORTH AVE ASPHALT.
- EXISTING FIRE HYDRANT.

CIVIL ENGINEERING
+ SURVEYING

C1R

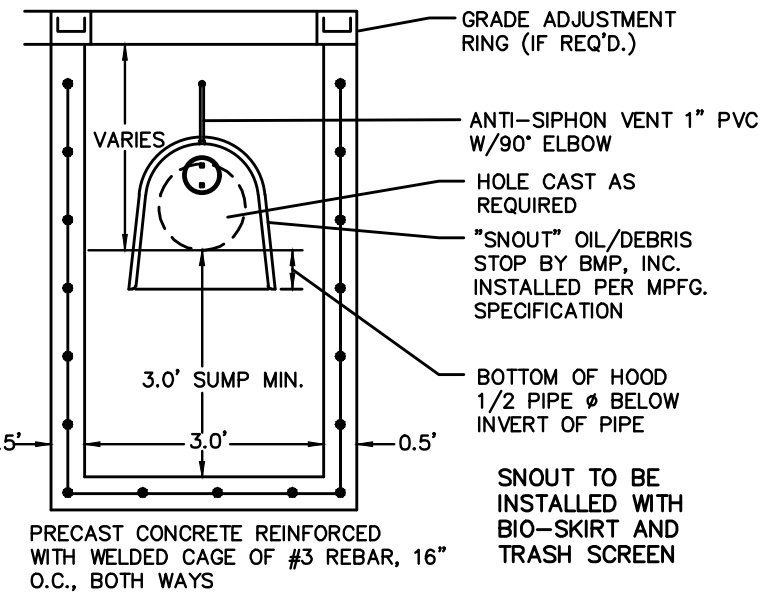
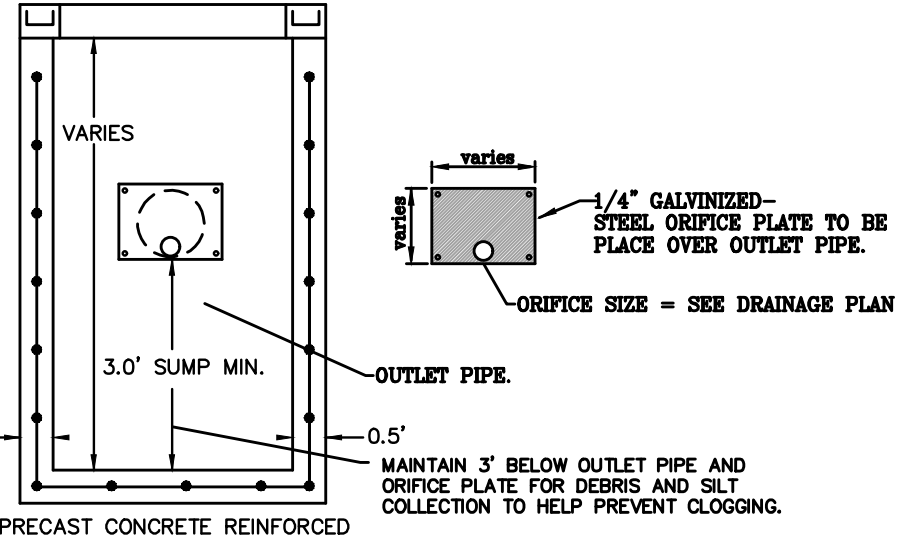
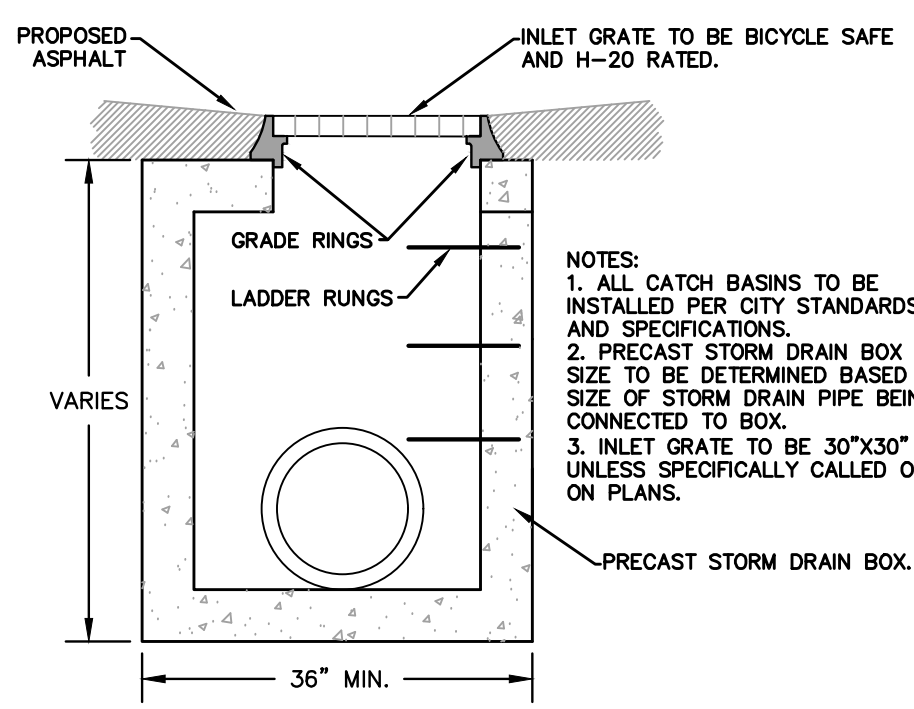
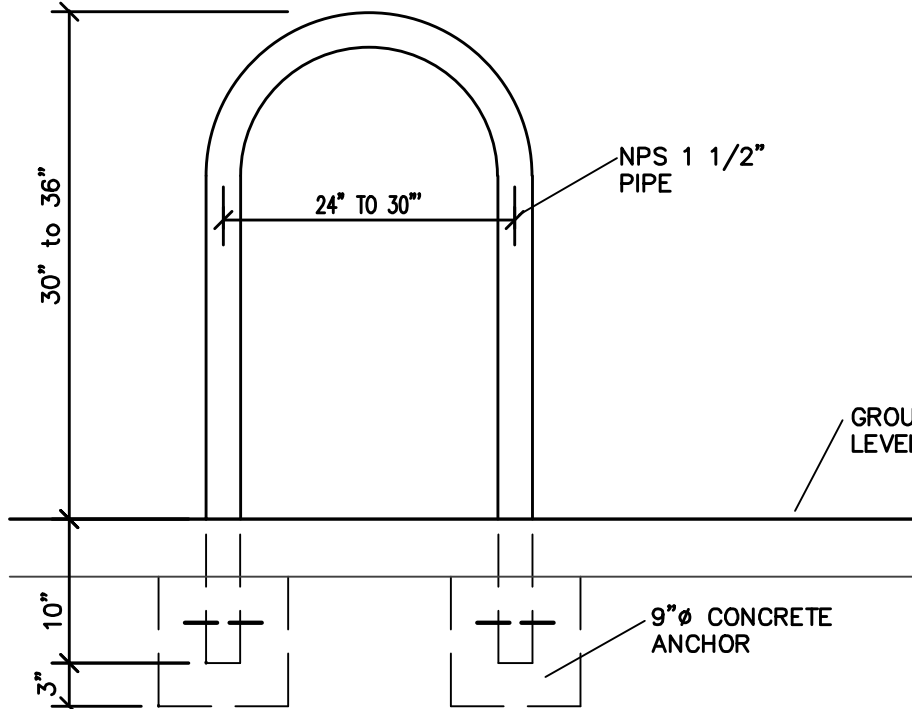
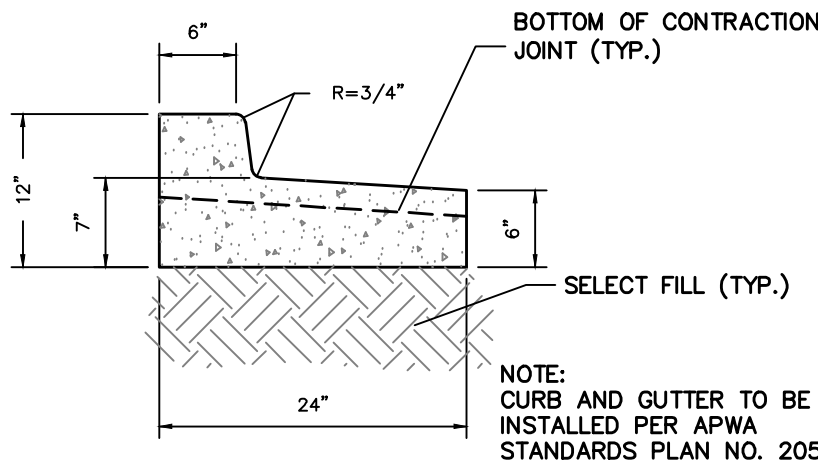
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-5296

AQU1 2194
2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
UTILITY PLAN



SHEET NO.	C3.0
PROJECT ID	E25-052
DATE	05/01/25
FILE NAME	PRJ-SSLA
SCALE	1"=10'





1 24" REVERSE PAN CURB & GUTTER
N.T.S.

2 INVERTED "U" BIKE RACK
N.T.S.

3 STANDARD STORM DRAIN INLET BOX
N.T.S.

4 ORIFICE PLATE
N.T.S.

5 SNOOUT OIL & DEBRIS STOP
N.T.S.

ACO StormBrixx®
StormBrixx 900 SD
October 2024

Half-Module 900 SD
part no. 13666

Side Panel 900 SD
part no. 13665

Universal Top Cover
part no. 14023

Half-Layer Top Plate
part no. 31465

Half-Layer Side Panel 900 SD
part no. 13667

ACO Specification Information

Telephone #: 888.490.9552

01

ACO StormBrixx®
StormBrixx 900 SD
October 2024

Side Panel 900 SD
part no. 13665

Universal Top Cover
part no. 14023

Half-Layer Top Plate
part no. 31465

Half-Layer Side Panel 900 SD
part no. 13667

ACO Specification Information

Telephone #: 888.490.9552

02

ACO StormBrixx®
StormBrixx 900 SD
October 2024

Remote Access Cover (Vented)
part no. 314133

Remote Access Cover (Non-Vented)
part no. 314132

Inspection Point Cover
part no. 314044

Remote Access Plate
part no. 314039

Remote Access Unit 900 SD
part no. 136141

ACO Specification Information

Telephone #: 888.490.9552

03

ACO StormBrixx®
StormBrixx 900 SD
October 2024

Extension Shaft
part no. 314038

Extension Shaft with Pipe Socket
part no. 314039

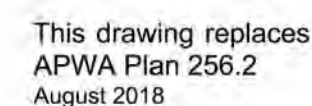
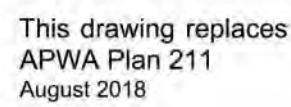
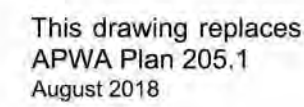
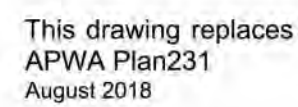
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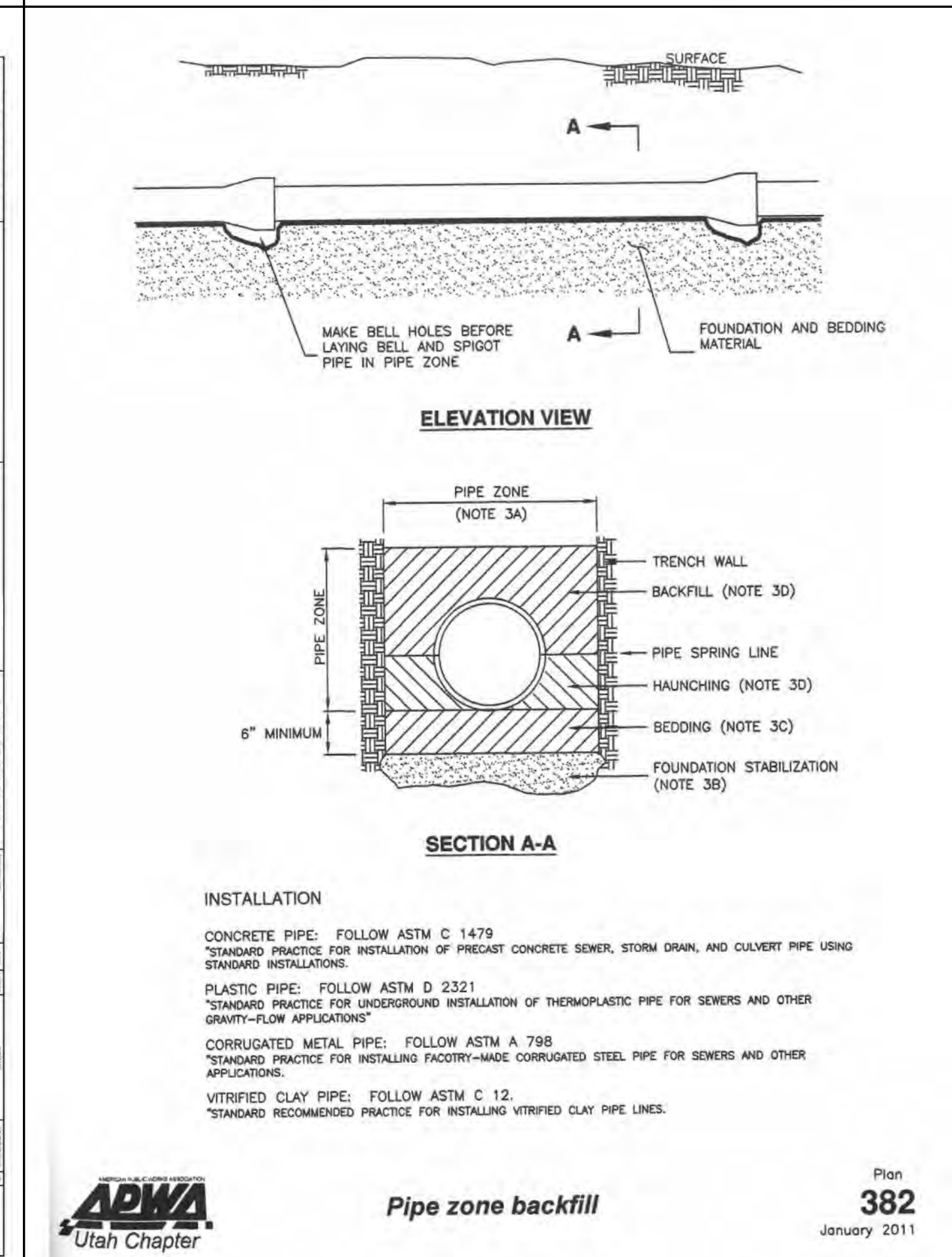
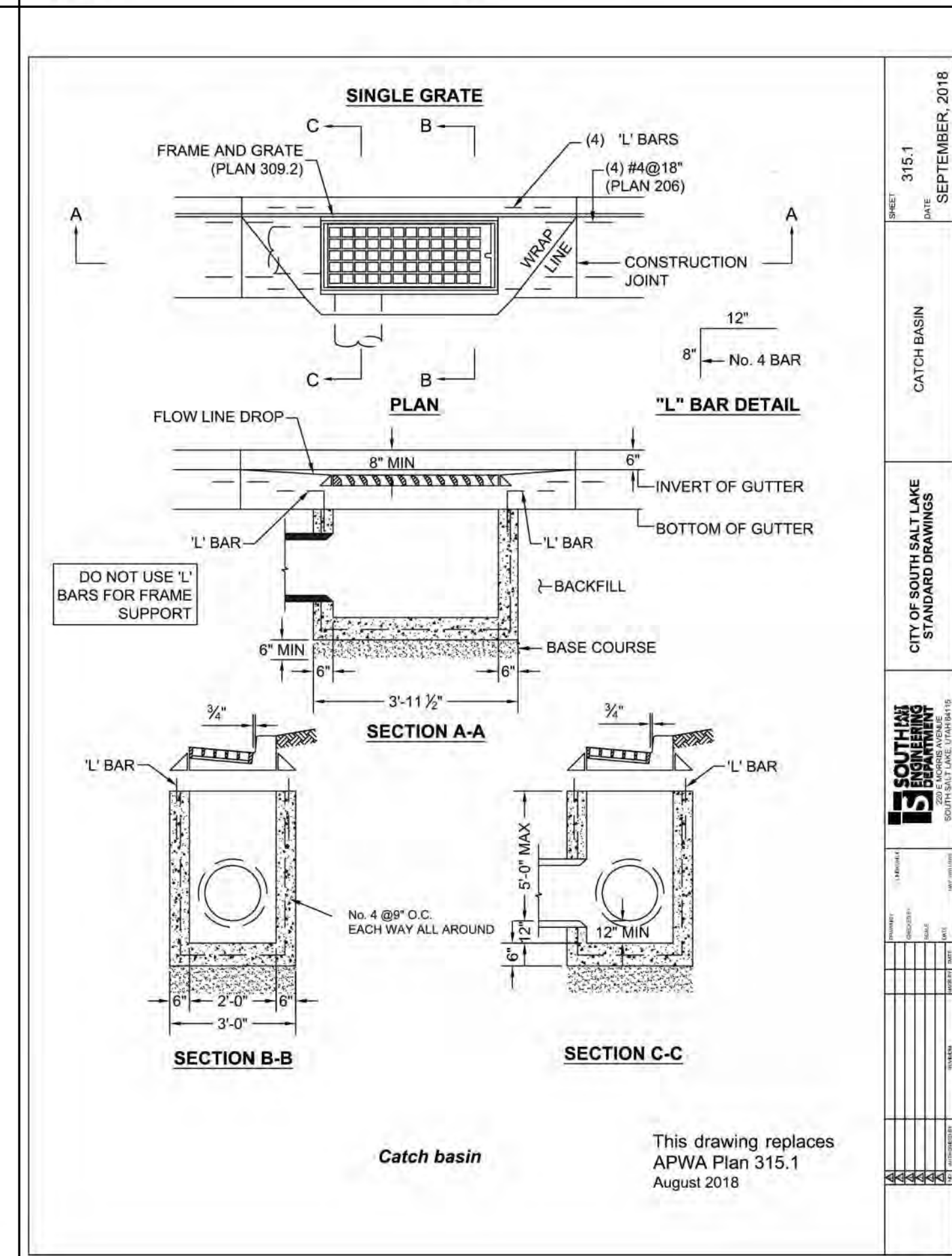
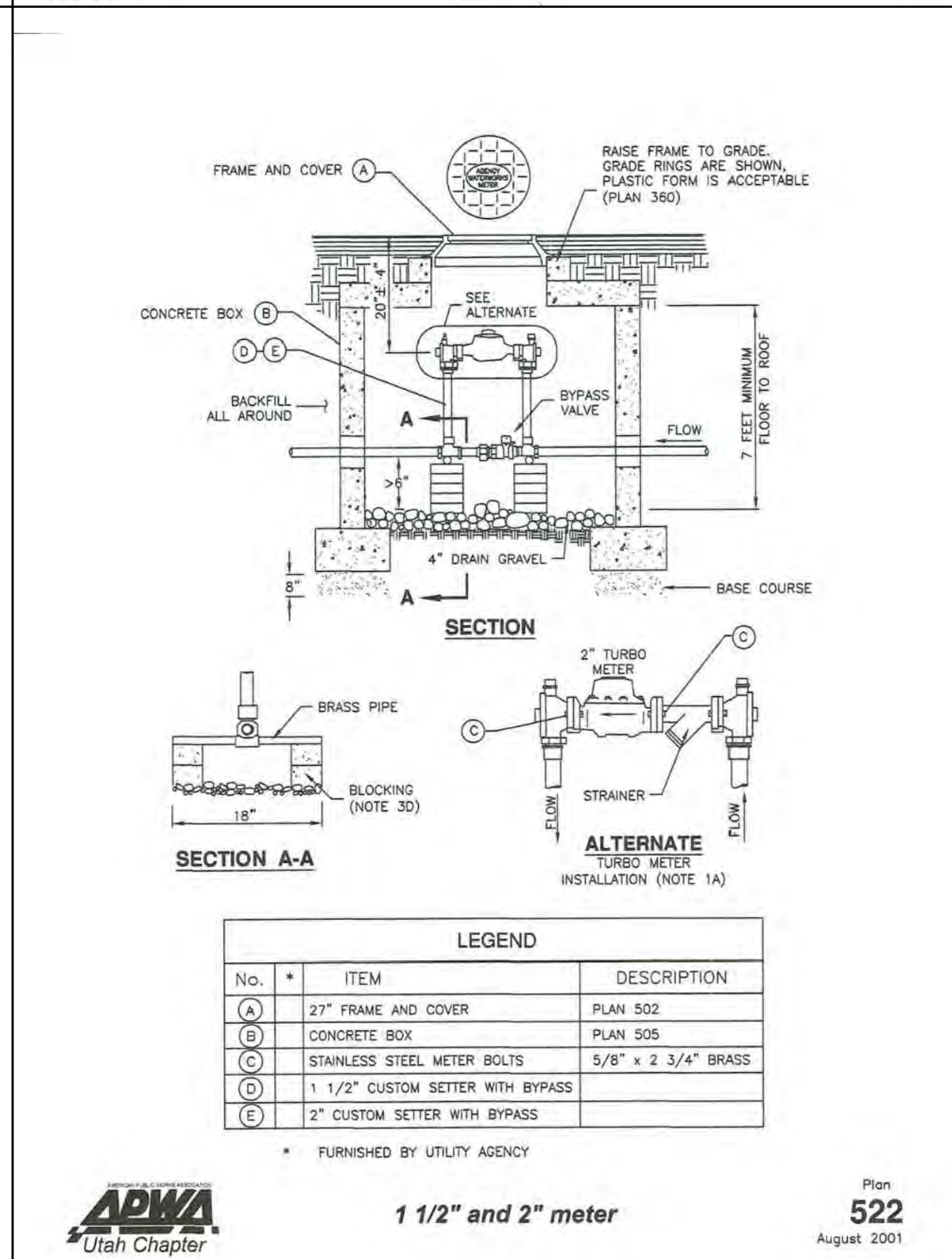
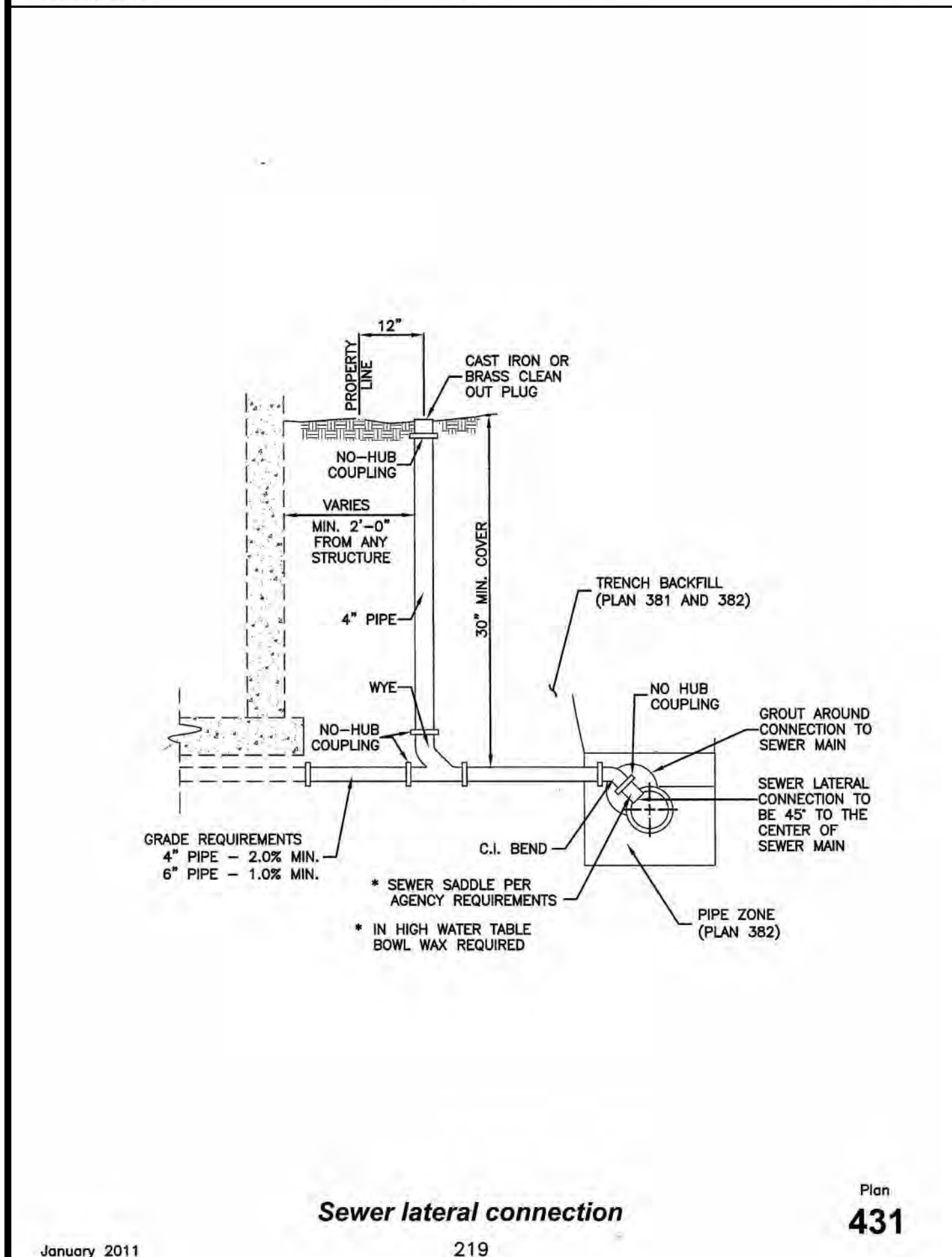
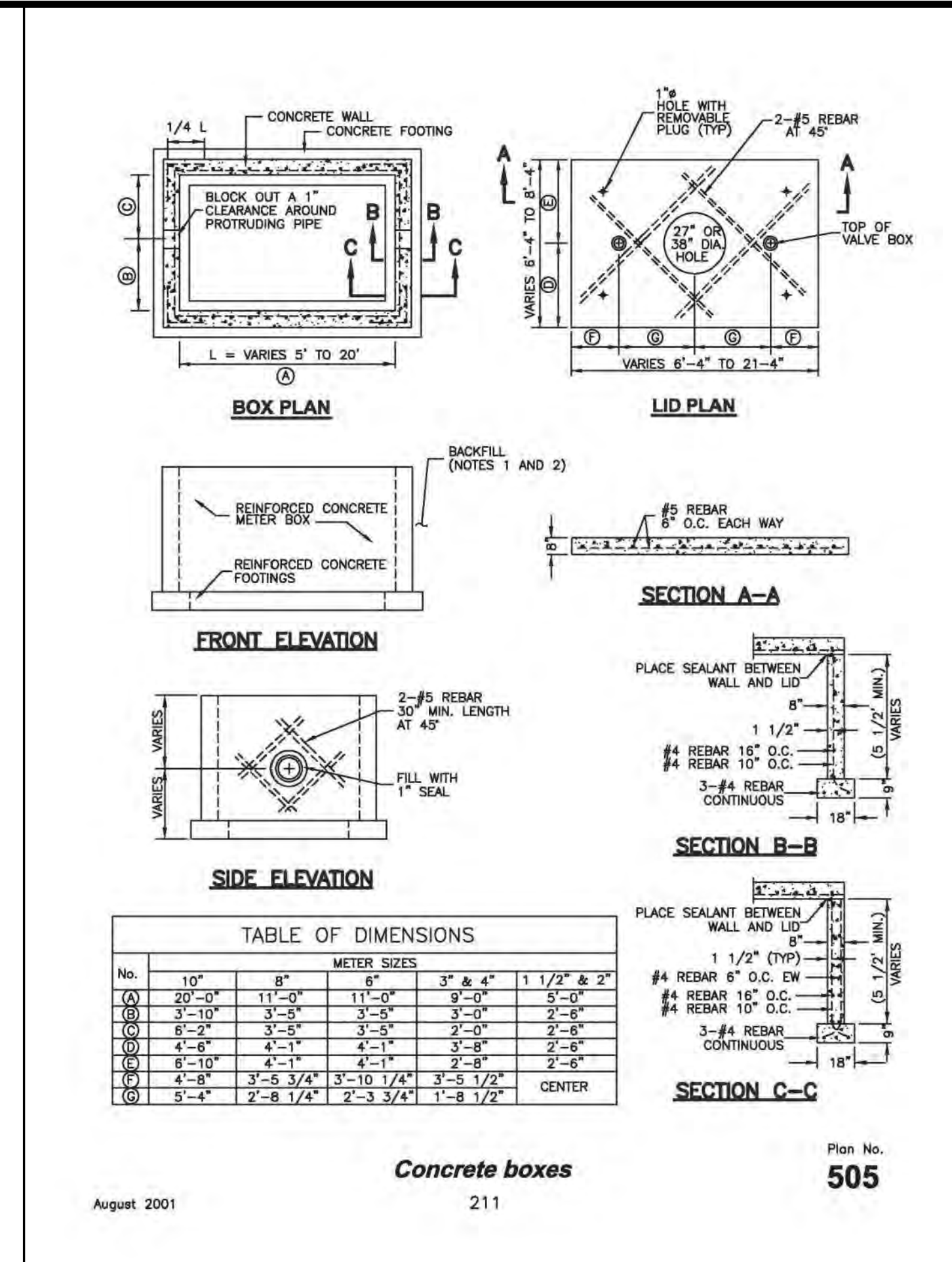
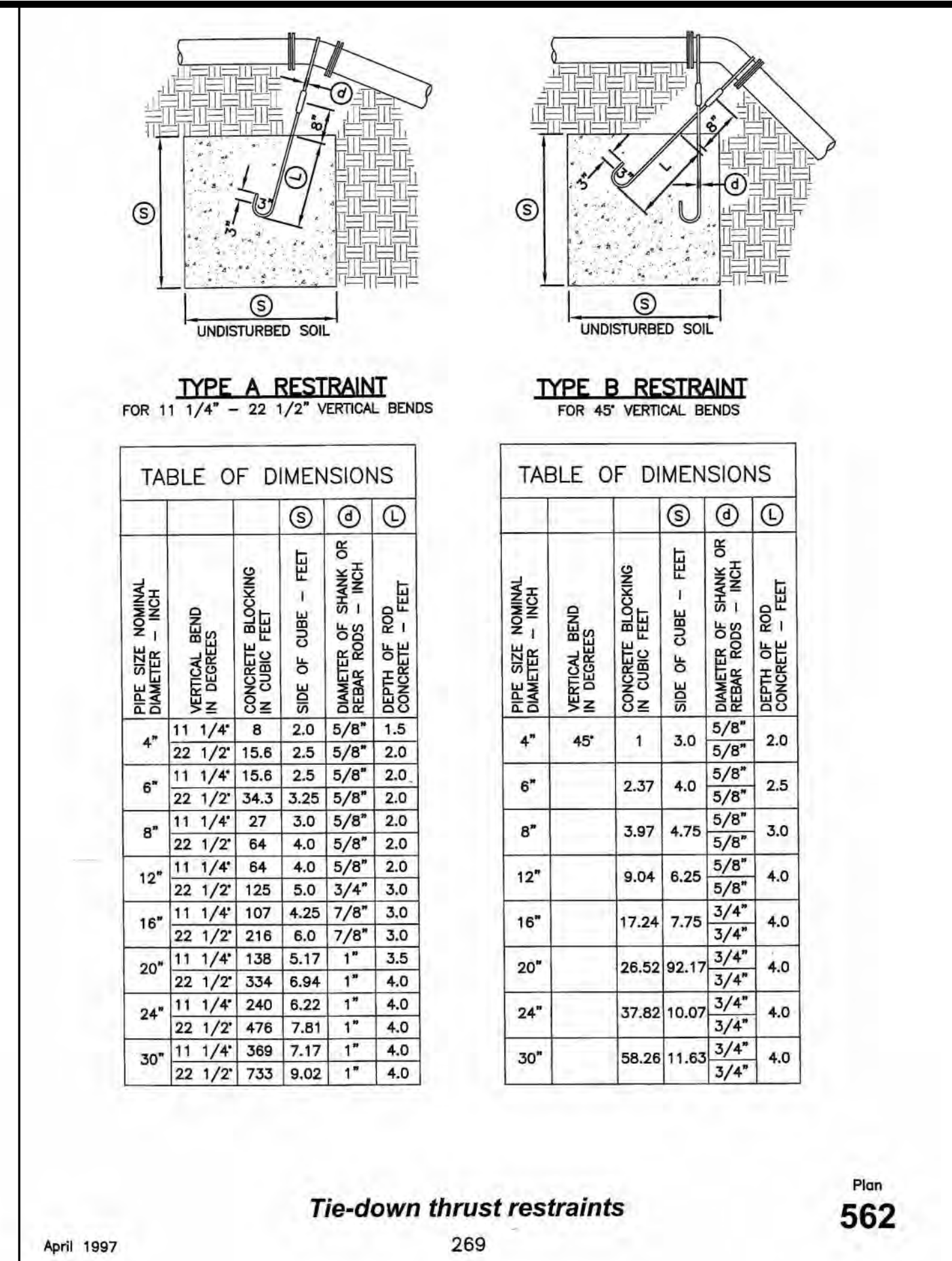
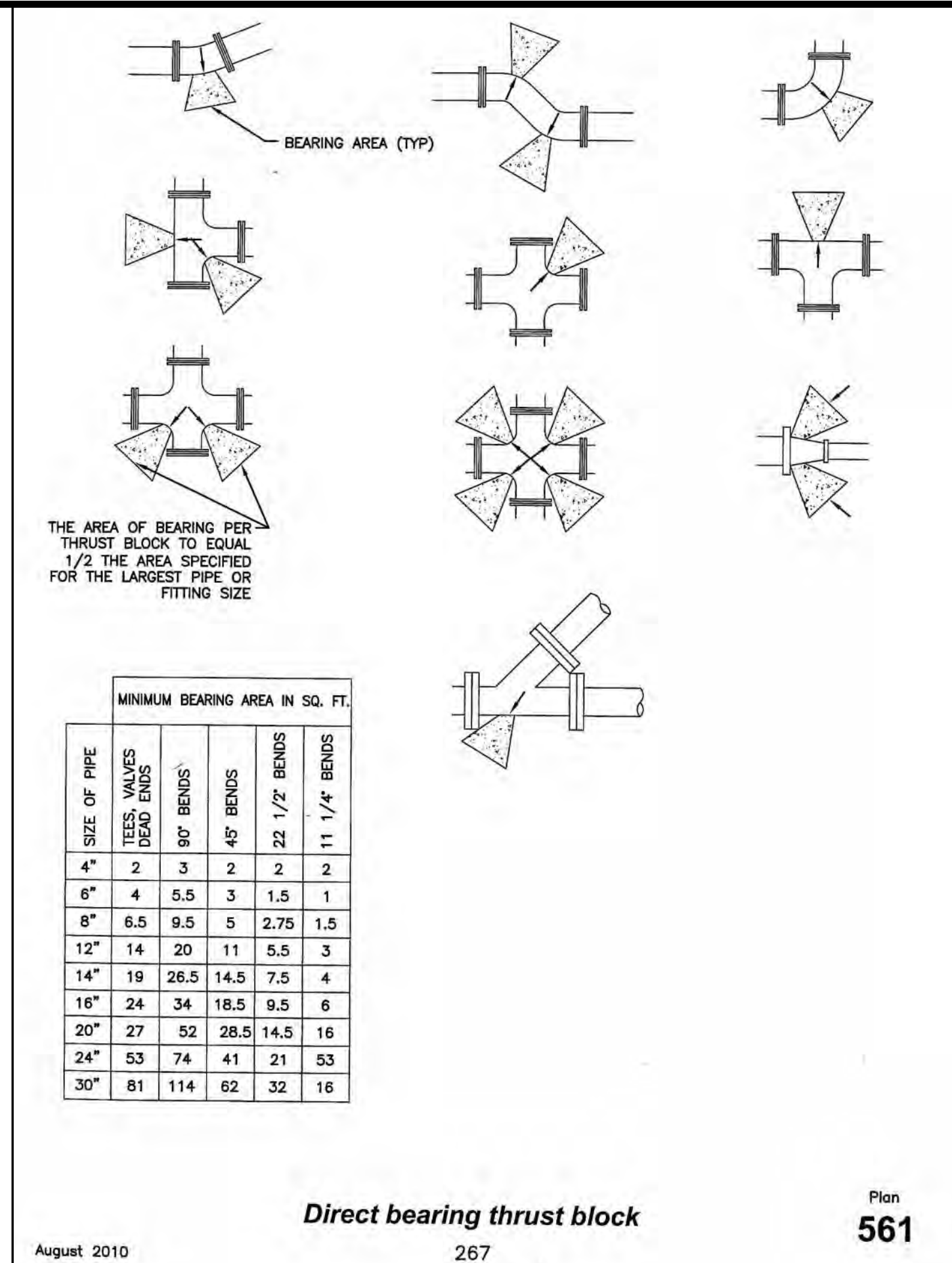
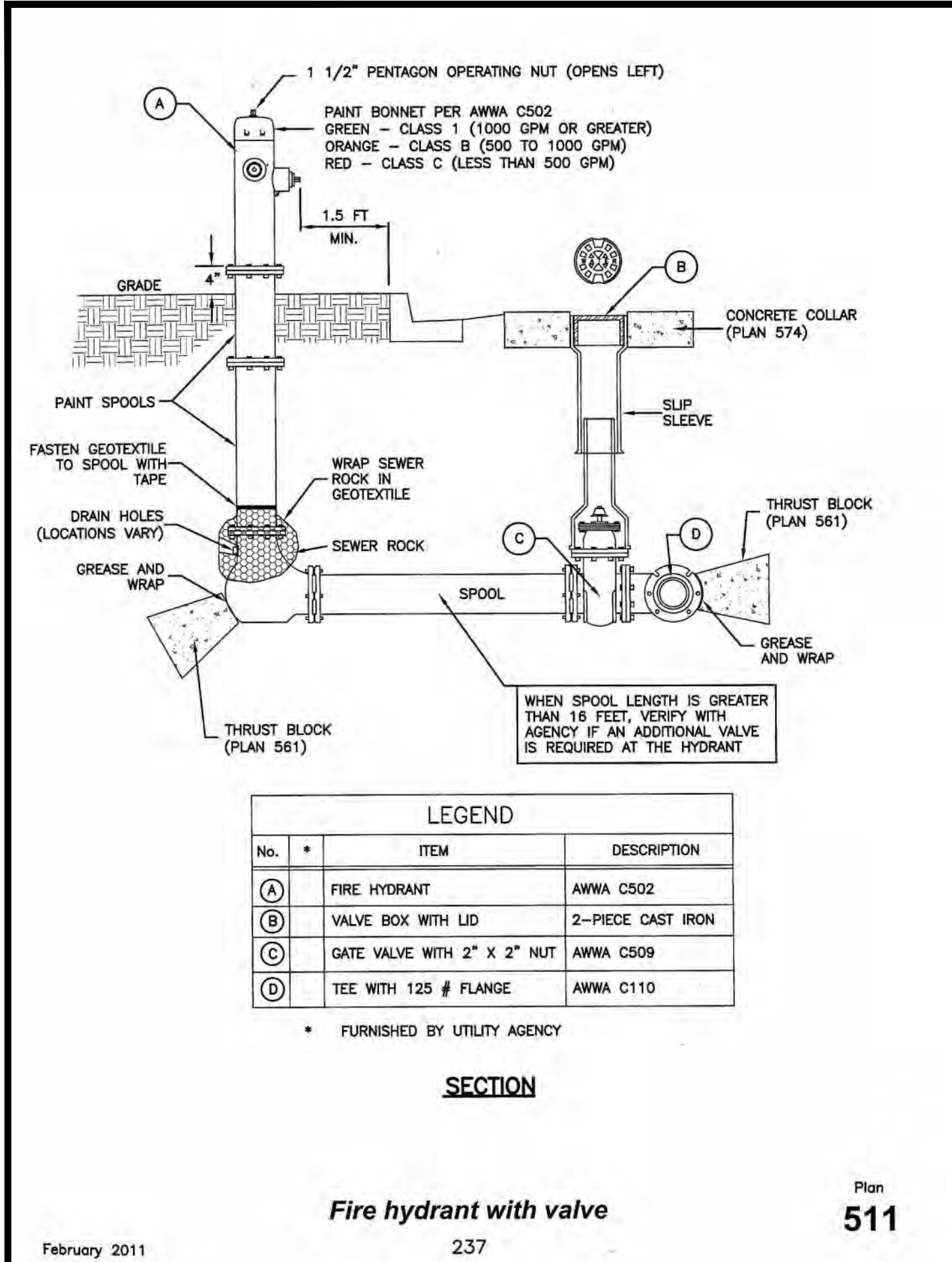
Horizontal Pipe Connector
part no. 314038

ACO Specification Information

Telephone #: 888.490.9552

04







PLANNING COMMISSION STAFF REPORT

MEETING DATE:	May 7, 2026
PROJECT NUMBERS:	2320034
REQUESTS:	A petition for approval for a Conditional Use Permit for a 48-unit Multi-Family Dwelling development.
ADDRESS: PARCEL NUMBER:	2194 S West Temple <i>Not Assigned until plat recorded</i>
PROPERTY OWNERS:	dbUphouse, LLC
APPLICANT:	dbURBAN Communities
TYPE OF APPLICATION:	Administrative – Conditional Use Permit

SYNOPSIS

dbURBAN Communities is petitioning the South Salt Lake Planning Commission for a Conditional Use Permit (CUP) to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple. The entitlement process for this petition includes the following applications: 1) Ordinance Amendment Petition; 2) Administrative Design Review; 3) Subdivision Plat application; and 4) Conditional Use Permit application. The Planning Commission held a public hearing on the ordinance amendment application on September 15, 2026, to establish Micro-Unit Dwelling as a conditionally permitted form of multifamily housing within the City of South Salt Lake and to provide an alternative to reduce parking requirements for this type of unit and forwarded a recommendation of approval to the City Council. The City Council held a public meeting on the ordinance amendment application on January 28, 2026, and voted to approve the petition. The South Salt Lake Design Review Committee reviewed the design review application on February 11, 2026. The design review analysis is available below in the staff report. The Planning Commission is the Land Use Authority on all Conditional Use Permit applications.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission move to approve, with conditions, the proposed Conditional Use Permit for a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple. Staff's recommendation is based upon its analysis and findings included below.



EXISTING ZONING	EXISTING USE	SURROUNDING LAND USE DISTRICTS	PROPOSED USES
Downtown District (DT) – Station Subdistrict	Vacant Land	North: DT – Downtown-Station South: DT – Downtown-Greenway East: Downtown-Station Subdistrict West: Downtown-Mixed Use	Micro-Unit Dwelling

GENERAL INFORMATION

Location & Multi-Family Project Size: 2194 S W Temple – .19 Acres

Figure 1: Proposed Location



Figure 2: Existing Site Conditions – View from West Temple



Figure 3: Proposed Rendering



Figure 4: Site Plan

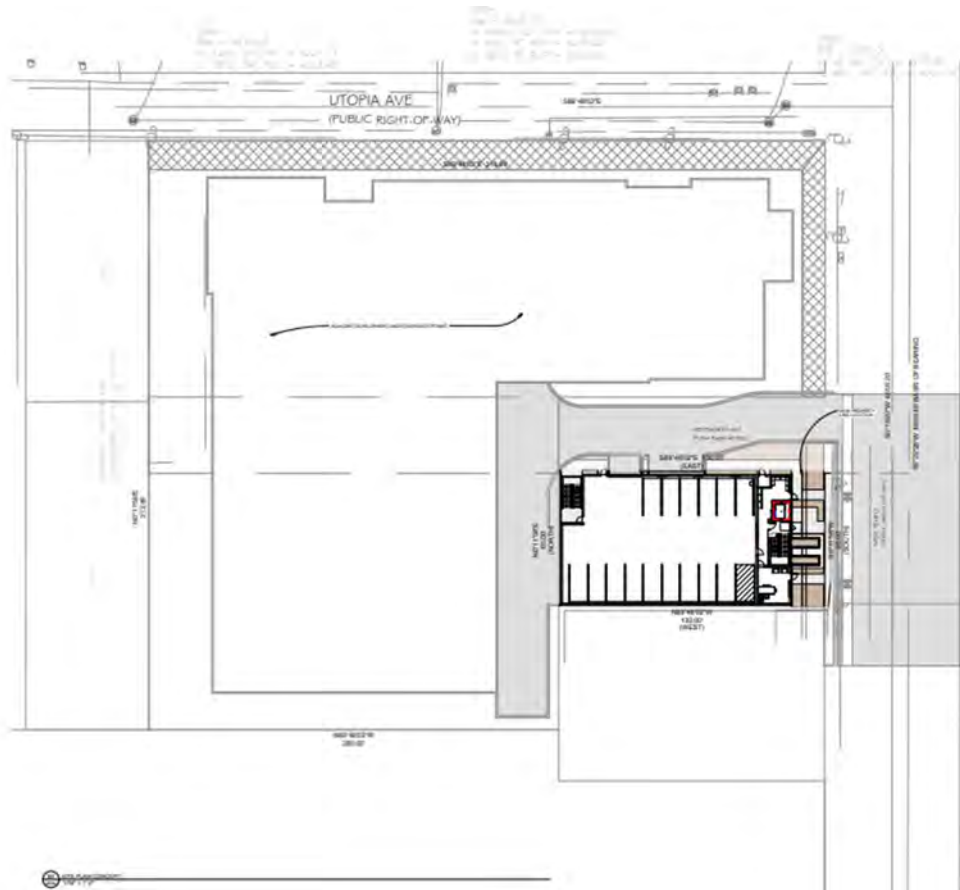


Figure 5: Site Plan – Level 1

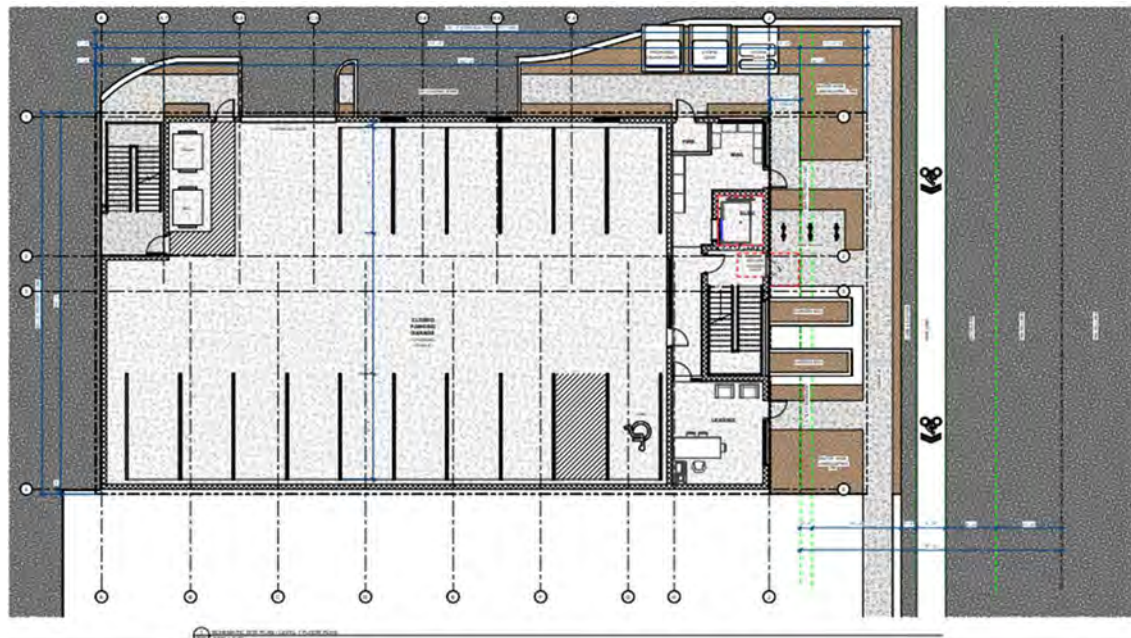


Figure 6: Site Plan – Level 2 to Level 5

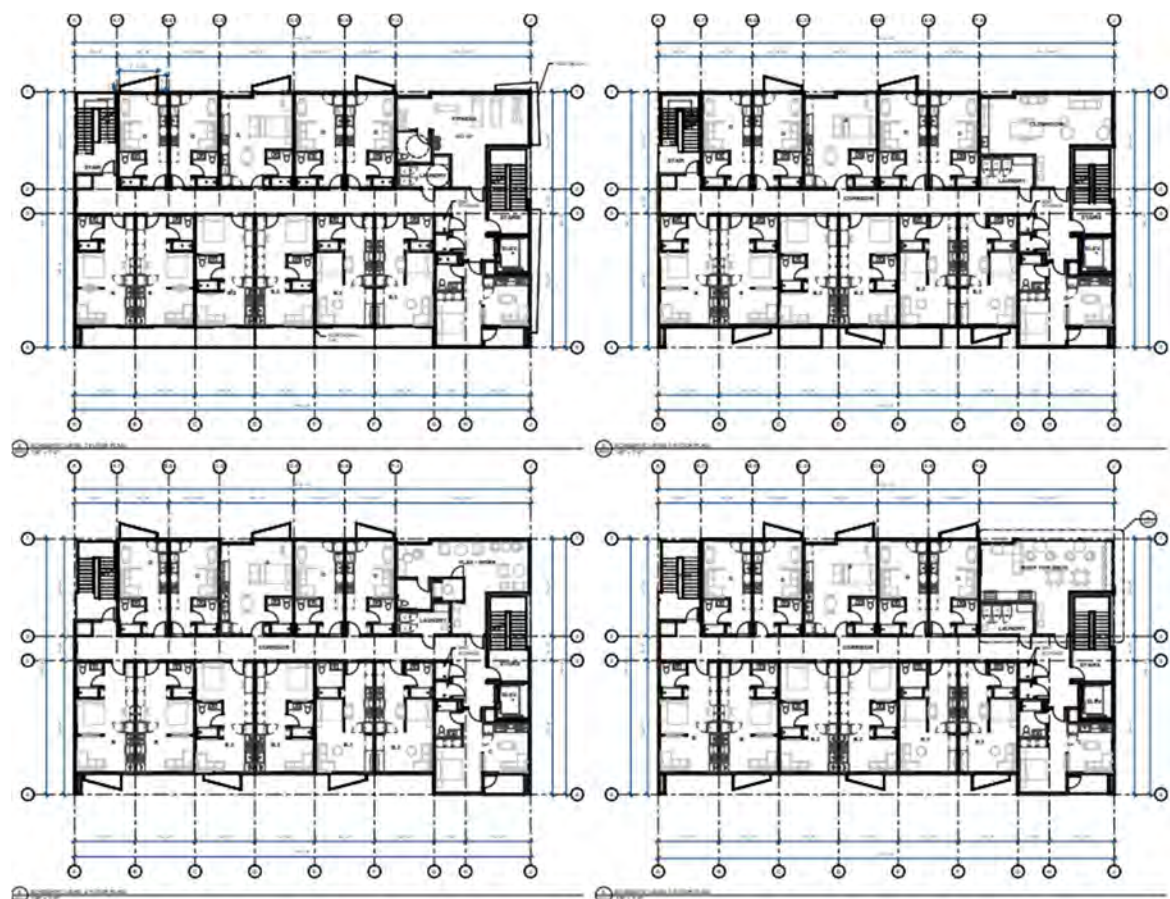
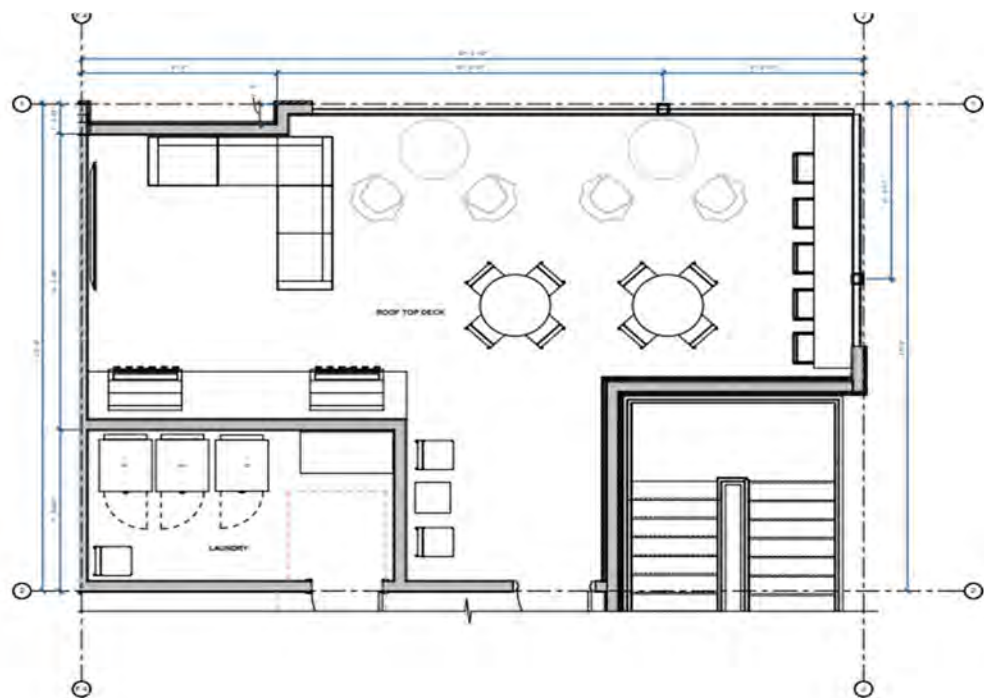


Figure 7: Rooftop Patio Floor Plan



PLANNING COMMISSION AUTHORITY

17.11.030. Land use authority designations.

Pursuant to state law, the following administrative land use authority designations are made:

- A. Planning Commission. The planning commission is the land use authority on issues of: subdivision and subdivision plat approval, vacating, altering, or amending a Subdivision Plat; Conditional Use Permit Applications; design review for Building Heights as established in this Title; design review for projects on Parcels where any portion of the Parcel abuts any residential district; and the issuance of a Building or demolition permit in a Historic and Landmark district.

CONDITIONAL USE REVIEW STANDARD:

Utah Code Ann. § 10-9a-507(2) sets forth the following standard of review for conditional uses by stating:

- a)
 - i. A land use authority shall approve a conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.
 - ii. The requirement described in Subsection (2)(a)(i) to reasonably mitigate anticipated detrimental effects of the proposed conditional use does not require elimination of the detrimental effects.
- b) If a land use authority proposes reasonable conditions on proposed conditional use, the land use authority shall ensure that the conditions are stated on the record and reasonably relate to mitigating the anticipated detrimental effects of the proposed use.
- c) If the reasonably anticipated detrimental effects of proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the land use authority may deny the conditional use.

South Salt Lake Municipal Code §17.05 sets forth the following standard for review for conditional uses by stating:

- A. A person seeking approval of a Conditional Use must file a Complete Application, using the forms established by the Community Development Department, and include payment of all fees. For any Application to construct a Building or other improvement to property for a Use that is defined by this Code as allowed in the zoning district in which the Building is proposed, the Community Development Department and the City Engineer must review the Application to determine

whether the proposal:

1. Is allowed within the district where it is proposed;
 2. Is proposed for Development on a legally subdivided Lot;
 3. Can be adequately serviced by Dedicated roads, improved to City Standards and existing or proposed utility systems or lines;
 4. Complies with all applicable Development requirements of that district, including Building Height, Setbacks, and Lot Coverage;
 5. Meets the applicable Development Standards requirements;
 6. Conforms to the Design Guidelines and the design review process established for that district;
 7. Requires additional conditions of approval;
 8. Complies with the Construction Codes; and
 9. Pertains to land for which all tax assessments have been paid
- B. The Community Development Department staff shall notify the Applicant of any specific deficiencies in the proposal.
- C. No permit or license issued shall be valid if any of the criteria listed in this Section have not been met.

GENERAL PLAN CONSIDERATION

Land Use and Neighborhoods Goal 1: Identify areas of the City with appropriate infrastructure, amenities, and services to support households of various types and densities.

Analysis: The proposed development encourages multi-family development in the Downtown District, an area with existing infrastructure, transit access, and amenities, supporting diverse household types and moderate density housing.

Land Use and Neighborhoods Goal 3: Maintain residential, business and industrial areas that are vibrant and where the health and safety of all are protected.

Analysis: The proposed development promotes compatible, well-designed development that contributes to a safe, active, and visually appealing Downtown environment.

Housing Goal 1: Encourage the equitable development of diverse, safe, affordable, and attractive housing that is accessible and appropriate for residents of all incomes, needs, ages, backgrounds, and familial status.

Analysis: The inclusion of the proposed Micro-Unit Housing development expands housing options in the Downtown District, providing smaller, attainable units that can meet the needs of a wider range of residents, supporting affordability and equity.

Transportation & Connectivity Goal 2: Increase connections within and between neighborhoods to improve access to amenities and services without requiring use of an automobile

Analysis: By supporting higher-density residential development in the Downtown area and reducing required off-street parking, the ordinance encourages transit-oriented living, walkability, and reduced automobile dependence, improving connectivity to services and amenities.

DESIGN REVIEW ANALYSIS

In accordance with Section 10 of the Downtown Form Base Code, the Design Review Committee “shall review the application for its compatibility with the intent of this ordinance.”

A design review was conducted on February 11, 2026. The committee was comprised of the following departments: South Salt Lake Mayor, South Salt Lake Community and Economic Development, South Salt Lake Police, South Salt Lake Fire, South Salt Lake Engineering, South Salt Lake Public Works, South Salt Lake City Recorder, South Salt Lake Neighborhoods, South Salt Lake Finance, and South Salt Lake Attorney’s Office.

Topics discussed during the meeting:

Amenities –Amenities for the Aquí2194 project were presented, demonstrating compliance with the Downtown Form-Based Code amenity requirements for Urban Style development. These include a mix of building features, tenant amenities, and green building elements such as a rooftop terrace, public art, indoor fitness room, outdoor dining areas, secure bike storage, electric vehicle charging stations, and water-efficient and daylighting strategies. Additional amenities highlighted included shared laundry at each level, branded e-bikes for residents, and patios on select units.

Design –Design elevations were reviewed, and the proposed materials, architectural elevations, and overall design were presented. The project meets the applicable design requirements.

Parking - Parking was also reviewed, including the proposed number of stalls and the parking reduction. The development is located in Downtown and within a quarter mile of TRAX, supports long-term bicycle storage, and offers unbundled parking, allowing tenants the option to pay for parking separately rather than including it in rent. Transit passes will be provided to 100% of residents and Aquí staff.

The Design Review Committee did not have any feedback.

ORDINANCE ANALYSIS

South Salt Lake Municipal Code §17.05 sets forth the following standard for review for Conditional Use Permits.

ORDINANCE	FINDING	NOTES /INSUFFICIENCY
17.05.020 – General Conditional Use Standards		
1. The size and location of the site.	The proposed development site is located at 2194 S West Temple. The site is approximately .19 acres in size. This site is located in the South Salt	

	Lake Downtown-Station District.	
2. Traffic generation, timing, and nature of traffic impacts and the existing condition and capacity of the Streets in the area.	Traffic Generation & Timing The project is anticipated to generate 1,116 vehicle trips per day. The peak hour was determined to be between 4:30 and 5:30 p.m. Approximately 104 of the 1,116 vehicle trips are expected to occur within this hour. The rest of the trips will be spread out among the other 23 hours of the day. Nature of Traffic Impacts Most vehicle trips will be residents traveling to and from the Aquic2194 project and the adjacent Utopia project with a smaller portion of the project trips being attributed to the retail component on the Utopia project site. The traffic study found that the impact of these trips on the surrounding roadways was minimal, as the levels of service were found to remain the same as existing conditions. No improvements are needed or recommended. Existing Conditions and Capacities Under existing conditions, all roadways in the study area were found to operate at acceptable levels of service. The traffic observed along the roadways was found to be below the capacities. It was also observed in the analysis that no significant delays occurred at the rail crossing on 2100 South.	
3. Utility demand and available capacity, including storm water retention.	Peak Water Demand = 310 GPM Avg. Daily Water Demand = 24,000 Gallons Stormwater Retention Required = 3,036 cubic feet Stormwater Retention Provided = 3,721 cubic feet The City Engineer has reviewed and approved the utility demand and availability. The applicant is part of the Public Infrastructure Districts ("PID"), which will increase the sewer capacity in this area of the city	
4. Emergency vehicle access and anticipated average and peak day demand.	The development site is accessible to emergency vehicles from 2194 S West Temple. The South Salt Lake Fire Marshal has reviewed the site plan and finds the layout complies with Fire Code requirements.	
5. Location and amount of off-Street parking.	The proposed Aquic2194 project is located within the Downtown District and within ¼ mile of a TRAX station, qualifying it for parking reductions pursuant to Section 17.06.160(D) of the South Salt Lake Municipal Code. The project incorporates several transportation demand management strategies, including long-term bicycle storage, unbundled parking, and the provision of transit passes to 100% of staff. Unbundled parking allows residents to opt into leasing a parking stall rather than including it in the base rent, which can reduce overall parking demand. In	

	combination with the project's proximity to high-capacity transit and other alternative transportation options, these features support a reduced parking ratio. Per the Code Amendment approved on January 28, 2026, developments within the Downtown Station District are required to provide one parking stall per studio/one-bedroom unit and 1.2 stalls per two/three-bedroom unit. The proposed development consists of 48 residential units, resulting in the following: Development Totals: • 48 Studio/One-Bedroom Units ○ 48 Stalls Required • Total Residential Units: 48 • Total Stalls Required: 48 The project proposes a total of 17 on-site parking stalls. Pursuant to Municipal Code provisions, Micro-Unit Dwelling housing located within the Downtown Station Subdistrict may receive up to a 65% parking reduction when meeting specified criteria. The Aquí2194 project meets these criteria through the following: • Location within the Downtown District and within ¼ mile of TRAX • Provision of long-term bicycle storage • Implementation of an unbundled parking strategy • Transit passes provided to all staff The proposed parking supply is consistent with the maximum allowable reduction permitted within the Downtown-Station Subdistrict. The requested reduction is supported by the project's location, design, and transportation demand management measures, and aligns with the intent of the Municipal Code to promote transit-oriented development and reduce reliance on single-occupancy vehicles. The requested parking reduction is consistent with the eligible parking reduction provisions outlined in Section 17.06.160.	
6. Internal vehicular and pedestrian circulation system, including delivery vehicles, loading and unloading	The project includes designated areas to accommodate internal vehicular circulation, including loading and unloading activities. These areas are primarily intended to support resident move-in and move-out operations. The property management team will coordinate scheduled time windows, typically limited to one- to two-hour periods during standard daytime business hours, to manage truck access and minimize conflicts	

	with other site circulation. Pedestrian circulation is provided through on-site walkways and connections to adjacent public sidewalks, ensuring safe and efficient access between building entrances, parking areas, and nearby transit and amenities.	
7. Fencing, Screening, and Landscaping to separate the Conditional Use from adjoining property and Uses.	The existing fencing along the north side of the development, adjacent to Wentworth Avenue and the neighboring Utopia Apartments project, will be removed. All rooftop mechanical equipment will be set back a minimum of 10 feet, will not be located along a public frontage, and will be fully screened in compliance with the Downtown Form-Based Code and South Salt Lake Municipal Code. The landscape design emphasizes water-wise, low-maintenance plantings that enhance the site's aesthetics and complement the architectural design and proposed art murals. Drought-tolerant species will provide seasonal interest and shade throughout the development. In addition, community garden boxes will be installed on the northeast side of the site, providing residents with opportunities for urban gardening. A complete landscaping plan shall be submitted for review and approval at the time of building permit application.	
8. Building mass, bulk, design, and orientation, and the location of Buildings on the site including orientation to Buildings on adjoining Lots or Parcels.	The proposed building will be constructed on a previously vacated lot. The primary exterior material will consist of fiber cement lap siding, with brick veneer, standard CMU, and honed CMU used as secondary materials. Aluminum tongue-and-groove cladding, in a Southern Yellow Pine color, will be incorporated as an accent feature. A public art mural is proposed along the ground floor. The building is consistent with surrounding development in terms of design, use, and siting. The primary façade, including the main lobby entrance, will face West Temple. The structure will be five stories in height.	
9. Usable open space.	Provided Open Space: Street Facing Plaza – 343 SF Level 2 South Balconies – 478 SF	

	Unit C Balconies (2 Through 4) – 200 SF Rooftop Deck – 543 SF Total Open Space – 1,564 SF	
10. Signs and lighting.	The applicant has not yet applied for a sign permit; all proposed signage shall comply with South Salt Lake Sign Code regulations. Proposed signage includes a roof-mounted sign over the leasing office on a second-story projection, canopy-mounted signs over key public entrances, “Resident Entry” (or similar wording) above the northeast corner entrance, “Leasing” over the leasing area, and a larger “Aqui 2194” building identification sign located generally consistent with the approved renderings.	
11. Physical design and Compatibility with surrounding structures in terms of mass, scale, style, design, and architectural detailing.	The proposed building demonstrates compatibility with surrounding structures in terms of mass, scale, style, and architectural detailing. The five-story structure is consistent with the height and general form of nearby development and is appropriately sited on a previously vacated lot, with the primary façade and lobby oriented toward West Temple. The building’s design incorporates a cohesive mix of materials, including fiber cement lap siding as the primary cladding, with brick veneer, standard CMU, and honed CMU as secondary elements. Aluminum tongue-and-groove cladding, in a Southern Yellow Pine color, is used as an accent feature to add visual interest and articulation. A public art mural is proposed at the ground level, contributing to pedestrian engagement and enhancing the streetscape. Overall, the building’s materials, proportions, and design elements are consistent with and complementary to the character of surrounding development.	
12. Noise, vibration, odors, steam, or other factors that might adversely affect people and property off-site.	All noise and vibration components are controlled and held to code standards.	
13. Control of delivery and service vehicles, loading and unloading zones.	Mail delivery will be located through a specific door located near the main entrance of the building with on-street parking located adjacent. Staging of deliveries, moving trucks, etc. will be located in a specific loading zone on the service drive on the west side of the building. This service drive will have direct access to a freight elevator in the building.	

14. Generation and Screening of waste.	The project will utilize a valet waste service. Residents will be provided with in-unit trash and recycling containers, which will be collected by staff multiple times per week and transported to designated collection areas within the parking garage. The development will include one 4-yard dumpster for solid waste and one 4-yard dumpster for recycling, both located within a secure area of the garage. Waste collection will occur multiple times per week, as needed (up to four times weekly), with service vehicles accessing the garage entrance to empty the dumpsters and returning them to their designated enclosed location. Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations.	
15. Recycling program and pickup areas.	Recycling services are paired with the above waste programming.	
16. The potential adverse impacts arising from the conduct of patrons, guests, employees, occupants, or their affiliates.	The property owner has partnered with a professional management company to oversee operations at the subject property. The development will be supported by a full-time, on-site team responsible for leasing, management, maintenance, and daily operations. Staff will be present during all standard business hours to ensure consistent oversight and responsiveness. Access to the building will be controlled through a secure, resident-only mobile app as part of a comprehensive security plan. To minimize potential nuisance behavior, expectations for appropriate conduct will be clearly outlined in all lease agreements and communicated to prospective tenants from the outset. The management team is trained to effectively address tenant concerns and resolve disputes in a timely manner. Contact information for the management team will be provided to the South Salt Lake Police Department, and both police and fire departments will have after-hours access to the building as well as 24/7 communication with management. In addition, all common areas will be monitored by security cameras.	
17. The impacts of the Use on public property and environmentally sensitive lands.	No flood plain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	

18. Hours of operation, delivery, and activity.	The residential occupancy of the building is anticipated to be 24/7. The on-site management office will operate from 8:00 AM to 5:00 PM. Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations. Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations.	
19. Special hazards arising from the Use or from its reasonably anticipated secondary effects, including its potential to attract criminal behavior.	No special hazards from proposed use or secondary effects.	
20. Demand for public infrastructure or services.	Utility Will Serve letters were received for Enbridge, Groove Technology Solutions, Rocky Mountain Power and Water, Sewer, and Stormwater services are provided by South Salt Lake City.	

STAFF RECOMMENDATION

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommends the Planning Commission move to approve the proposed Conditional Use Permit for the Micro-Unit Dwelling development based on the following findings of fact and conclusions of law and conditions of approval for the Conditional Use Permit attached hereto.

PLANNING COMMISSION OPTIONS

Option 1: Approval

Move to approve the application submitted for a Conditional Use Permit, C25-00007, to operate a Micro-Unit Dwelling development located at 2194 S West Temple based on the Findings of Facts, and Conclusions of Law and subject to the conditions of approval as presented and stated on the record.

Option 2: Denial

Move to deny the application submitted for a Conditional Use Permit, C25-00007, to operate a Micro-Unit Dwelling development located at 2194 S West Temple, based on the reasoning set forth in the record in compliance with Utah Code Ann. § 10-9a-507(2).

Option 3: Continuance

Move to table the decision on the application submitted for a Conditional Use Permit, C25-00007, to operate a Micro-Unit Dwelling development located at 2194 S West Temple, to a date certain to allow the Applicant and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Attachments:

1. Conditional Use Permit

WHEN RECORDED PLEASE RETURN TO:

SOUTH SALT LAKE CITY
220 E. MORRIS AVE SUITE 200 SOUTH
SALT LAKE CITY, UT 84115

CONDITIONAL USE PERMIT

Location: 2194 S West Temple
Use: Dwelling, Micro-Unit
Zone: Downtown District – Station Subdistrict
APN: Not Assigned until plat recorded
Fee Title Owner: dbUphouse LLC
File Number:

Date:

Permit Issued to: dbUphouse, LLC
2194 South West Temple
South Salt Lake City, UT 84115

Findings of Fact:

1. On May 14, 2025, dbURBAN Communities (the Applicant) submitted a Conditional Use Permit application on behalf of dbUphouse, LLC to build and operate a Micro-Unit, Dwelling development located at 2194 S West Temple;
2. The subject property is located at 2194 S West Temple in South Salt Lake City, which is currently vacant land;
3. The subject property is located in the Downtown – Station subdistrict;
4. The total development area is .19 acres;
5. The Applicant is petitioning to construct a 48-unit Micro-Unit, Dwelling development that shall be consistent with the building design, amenities, and site configuration approved herein;
6. The applicant applied for a Code Amendment on May 14, 2025.
7. The Planning Commission reviewed the Code Amendment Application on January 15, 2026, and forwarded a positive recommendation to City Council;
8. City Council reviewed and approved the Code Amendment on January 29, 2026. The ordinance amended multiple sections of Title 17 of the South Salt Lake City Municipal Code. Specifically, it introduced a definition for “Dwelling, Micro-Unit” establishing this use as a conditional use within the Downtown Station District, and updated the Land Use Matrix, parking standards, design requirements, and provisions of the Downtown Form-Based Code;

9. Micro-Unit Dwelling is a Conditional Use in the Downtown District;
10. The South Salt Lake Municipal Code regulates Multi-Family Dwelling conditional uses through the standards found in 17.05.010, 17.05.020, 17.05.030, 17.05.050 and 17.05.060, as they exist as of the approval of the CUP;
11. The Applicant applied for a subdivision application on May 14, 2025, to subdivide the subject parcel by subdivision plat to comply with South Salt Lake Municipal Code. The subdivision plat was approved by the Planning Commission on January 18, 2024;
12. The Applicant applied for a design review application on May 14, 2025, and worked with Planning staff on several aspects of the application, which resulted in a more compliant product;
13. On February 11, 2026, the Design Review Committee reviewed the application and provided no comments;
14. The proposed development will be served by existing and new vehicular and pedestrian access points on 2194 S West Temple;
15. The development has complied with the parking reduction requirements and incorporated the following measures: unbundled parking, a bike-share program, and transit passes for all staff;
16. The Applicant has proposed full-time, on-site management;
17. Staff has reviewed this conditional use permit application for compliance with South Salt Lake Municipal Code Sections 17.05.010, 17.05.020, 17.05.030, 17.05.050, and 17.05.060, and has found that this conditional use permit application, as specifically conditioned herein, is compliant with these sections, as conditioned below.

Conclusions of Law:

1. The use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The use, as specifically conditioned below is compatible in use, scale, and design with the allowed uses in Downtown District.
3. The use, as specifically conditioned below, does not compromise the health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development.
4. The use, as specifically conditioned below, does not impose disproportionate burdens on the citizens of the city.

Conditions of CUP Approval:

1. The proposed Micro-Unit development shall meet all requirements of the South

Salt Lake Municipal Code in effect at the time of CUP approval. The subdivision plat shall be recorded prior to the issuance of any building permit;

2. The proposed Micro-Unit development shall comply with all applicable requirements of Downtown Form-Based Code at the time of the approval of the CUP;
3. The final design of the building shall comply with the Downtown Code Section 5, Building Types for Urban Style Building Type;
4. The site shall comply with the Downtown Code Section 7, Landscape Standards;
5. The property owner shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit for each phase of the development, as they exist at the approval of the CUP;
6. The property owner shall apply for and must obtain and comply with a South Salt Lake City sign permit prior to any sign installation;
7. The applicant shall obtain approval from South Salt Lake City prior to any murals being painted;
8. The property owner shall apply for, complete, and maintain a South Salt Lake Rental Business License;
9. The total of the residential units and the unit types for the project shall be as follows:
Total Site =
 - Unit A – 4 unit – 395 sq ft
 - Unit B – 8 units – 371 sq ft
 - Unit B-2 – 8 units – 385 sq ft
 - Unit B-3 – 8 units – 385 sq ft (net)
 - Unit C – 4 unit – 382 sq ft (net)
 - Unit D – 16 units – 271 sq ft (net)Total of 48 units
10. Each micro-unit shall include a functional kitchen and a private bathroom, consistent with the minimum unit requirements of the Code.
11. The property owner shall meet all Building Features and Green Building amenity requirements as found in the Downtown Form Based Code in section 17.03.180 of the South Salt Lake Municipal Code, at the time of building permit issuance, and in accordance with the following phasing plan:
 - 1 ADA accessible parking stalls will be included
 - Fourteen bike storage locations will be provided: seven secure, dedicated closets on each level, and seven additional spaces in common areas.
 - The installation of public art along a street facing façade or in a lobby wherein

the art is plainly visible to the street, subject to approval by the South Salt Lake Community Development Department and the South Salt Lake Arts Council. There shall be no advertising of any kind associated with the public art or the installation of public art within the project;

- Shared washer and dryer will be included on every level;
- Dedicated, on-site team responsible for leasing, management, maintenance and daily operations will be available during standard business hours.
- Security-controlled access will be provided at all ground-level entrances, including the parking garage.
- The project will utilize a valet waste service, with residents provided in-unit trash and recycling containers collected multiple times per week and transported to designated dumpsters in the parking garage. The development will include one 4-yard trash dumpster and one 4-yard recycling dumpster within a secured garage area. Collection will occur up to four times per week. Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations.
- Open space will meet minimum code requirements.
 - Required Open Space: $7,720 \text{ SF} \times 20\% = 1,544 \text{ SF}$
 - Provided Open Space
 - Street Facing Plaza: 343 SF
 - Level 2 South Balconies: 478 SF
 - Unit C Balconies (2 through 4): 200 SF
 - Rooftop Deck: 543 SF
 - Total Open Space 1,564 SF, 20.25%
- Water reclamation strategies and/or smart metering/building management systems will be incorporated.
- The project will incorporate water-efficient fixtures, daylighting strategies in interior common and private spaces, and water reclamation and/or smart building management systems and will include sound attenuation measures in units meeting applicable STC, IIC, or equivalent standards.

12. The property owner shall maintain all amenity requirements, in the Tenant Amenity Standards found in section 5.12 of the Downtown Form Based Code, applicable at the time of building permit issuance, and as approved as follows:

- The property owner shall construct and maintain the following amenities:
 - Main Level Lobby and Social Area
 - Level 2 - Indoor health, wellness and or fitness center
 - Level 3 – Clubroom and social spaces, including interior amenities such as a kitchen, media room, or event room.
 - Level 4 – Flex/Work Space Area
 - Level 5 - Rooftop Deck with outdoor dining patio
 - Mail/Package Rooms
 - Secured bike storage
 - Installation of a mural along the north and west facade. Mural design must be submitted to and reviewed by the South Salt Lake Community Development Department and an appropriately designed mural, in the reasonable discretion of the South Salt Lake Community Development Department and the South Salt Lake Arts

Council.

13. On-site amenities and useable open space will not be removed or repurposed without first obtaining written, Planning Commission approval and full compliance with the South Salt Lake City Code;
14. The property owner will continuously comply with the parking demand rate reductions by providing the following on-site:
 - Unbundled Parking for stalls available in the parking garage;
 - Provide a minimum of two (2) Bike Share; and
 - Provide Transit Passes for all employees.
15. Residential loading, unloading, delivery, and move-in / move-out activities shall occur only within designated on-site loading areas. The property management team shall coordinate and schedule such activities in advance within designated daytime hours to minimize conflicts with on-site circulation and surrounding uses;
16. All delivery staging, including moving trucks and service vehicles, shall occur within the designated loading zone on the north service drive, which shall provide direct access to the building's freight elevator. Mail and parcel delivery shall be accommodated at a designated entrance near the primary building entry with adjacent on-street parking for short-term use;
17. The development shall maintain safe and efficient pedestrian circulation through on-site walkways and connections to adjacent public sidewalks, providing access between building entrances, parking areas, and nearby transit and amenities;
18. The property owner shall provide and maintain a valet waste service, with waste and recycling collected from individual units multiple times per week and transported to designated collection areas within the parking garage. The development shall include one 4-yard dumpster for solid waste and one 4-yard dumpster for recycling, both located within a secured and enclosed area. Waste collection and delivery activities shall be limited to the hours of 7:00 AM to 7:00 PM to avoid early morning and late evening operations.
19. The property owner shall retain a professional property management company and maintain a dedicated, on-site management team responsible for leasing, maintenance, and daily operations, with staff present during standard business hours, and shall reasonably maintain, as proposed:
 1. On-site management shall monitor daily the site for solid waste, litter, loitering, camping, spillover parking, remnants of criminal behavior, and other potential nuisances;
 2. On-site management shall monitor daily and shall maintain to the highest standard of repair and cleanliness, the residential amenity components of the building;
21. The property owner shall implement building security measures, including ground level, controlled access system (granting resident and their invited guests 24/7 access), installation of security cameras in common areas, and provision of 24/7

emergency access and communication for police and fire personnel. Current management contact information shall be provided to applicable emergency responders;

22. The property owner shall ensure lease agreements establish clear expectations for tenant conduct, including provisions addressing nuisance behavior, and shall ensure timely response to tenant concerns and complaints;
23. Residential occupancy shall be permitted 24 hours per day. The on-site management office shall operate during standard business hours, and all delivery and waste collection services shall be scheduled to reduce impacts on surrounding properties and the public right-of-way;
24. The property owner shall submit, annually, a project-specific report or study as part of the City's evaluation of Micro-Unit Dwellings. The content, scope, and format of the report shall be reasonably determined by the City and may include, but is not limited to, analysis of resident behavior and occupancy patterns, transit usage, parking demand and impacts, e-mobility usage, and overall project performance. The purpose of the report is to inform future housing and land use policy decisions and evaluate the effectiveness of micro-unit housing in supporting the City's planning objectives, and shall remain an obligation of the property owner for a period of ten (10) years, or less if deemed no longer necessary by the City;
25. The provisions of this Section governing the conditional use standards for Dwelling, Micro-Unit developments shall remain in effect until a total of three (3) such projects have been entitled. Upon the entitlement of three (3) Dwelling, Multi-Family Micro-Unit developments, this use shall no longer be considered a conditionally permitted use unless specifically extended by the City Council following review and recommendation by the Planning Commission;
26. In addition to the foregoing, the property owner shall implement all items of the staff report, attached hereto and incorporated herein. In the event of an actual conflict between the terms of the staff report and the terms of this permit, the terms of this permit shall be controlled.

FOR SOUTH SALT LAKE CITY:

Planning Commission Chair

Community Development

FOR THE OWNER/APPLICANT:

dbUphouse, LLC

STATE OF _____)
) ss.
COUNTY OF _____)

I certify that _____ at _____, South Salt Lake City, UT, who is known to me or who presented satisfactory identification, in the form of _____, personally appeared before me while in my presence and while under oath or affirmation has duly acknowledged to me that he/she has read the foregoing release, understands it and executes the release as his/her own free act.

DATED this _____ day of _____, 2026.

DL# _____

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2026.

NOTARY PUBLIC

Liquor License Amendments



*Planning Commission
May 7, 2026*

LICENSE TYPES & CAPS IN TITLE 5

Off-Premise Beer Package Agency

- 67 Licenses
(27 issued)
- 1 per 400 people

Bar Tavern

- 9 Licenses +5 Downtown
(8 issued; 4 in Downtown)
- 1 per 3,000 people

Special Use

- No Limit

Banquet/Catering
Manufacturing (Beer, Wine Distillery)
Beer Recreational

Restaurant (Beer Only)

Restaurant (Limited Service)

Restaurant (Full Service)

22 issued

- 33 Licenses
(32 issued; 1 in review; 1 waitlisted)
- 1 per 800 People



PROPOSAL

Establish New Category:

- Restaurant (Beer Only)
- Restaurant (Limited Service)
- Restaurant (Full Service)

Align with DABS 30/70 rule

- No additional enforcement from City Staff
- No cap on restaurant licenses

Maintain existing caps and categories

Update proximity language in Title 17 to “as measured by the shortest route of ordinary pedestrian travel”



OVERVIEW OF PROPOSED AMMENDMENTS

CODE SECTIONS	HIGHLIGHT OF CHANGES
Amending Section 5.04.180 City Alcoholic Beverage License Caps	• Changes all instances of “Department of Alcoholic Beverage Control” to “Department of Alcoholic Beverage Services”. • Removes Restaurant (Beer Only), Restaurant (Limited Service), & Restaurant (Full Service) from the 1-per-800 resident cap and establishes a standalone Restaurant-only license type. • Establishes administration of restaurant liquor licenses in conjunction with Utah Code Chapter 32B-6, which regulates DABS licenses under the food-to-alcohol ratio requirement.
Amending Section 17.04.030 Permitted Uses with Specific Standards	• Replaces the phrase “as measured at the closest Property Lines” with “as measured by the shortest route of ordinary pedestrian travel” as the standard for measuring proximity requirements for alcohol-related Permitted Uses.
Amending Section 17.05.040 Conditional Uses with Specific Standards	• Replaces the phrase “as measured at the closest Property Lines” with “as measured by the shortest route of ordinary pedestrian travel” as the standard for measuring proximity requirements for alcohol-related Conditional Uses.



PROPOSED UPDATES IN TITLE 17

1. Standardized Methodology
 - Transition to the DABS standard of “shortest pedestrian route.”
 - Accounts for physical barriers (e.g., fences, transit corridors).
2. No Regulatory Expansion
 - Land use regulations and Land Use Matrix remain unchanged.
 - Permitted and Conditional designations remain as established.
3. Maintained Buffer Requirements
 - 600 feet from residential districts.
 - 2,650 feet (1/2 mile) from homeless shelters.
4. Benefits
 - Ensures a predictable, consistent environment for business owners.
 - Preserves the City’s long-term land use vision and safety standards.



GENERAL PLAN GOALS

Economic Development

Goal 1: Resilience & Diversity – Encourages new businesses providing a diverse market.

Goal 2: Business-Friendly Environment – Eliminates redundant city level quotas already regulated by the State and streamlines the licensing process.

Land Use & Neighborhoods

Goal 1: Vibrant Urban Community – Restaurants create vibrancy for a growing city.

Goal 4: Regulatory Clarity – Measurement standards that align with the DABS are predictable.



RECOMMENDATION

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the Department of Alcoholic Beverage Services measurement standards.

Option 1: Approval

Move to forward a recommendation of approval to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

Option 2: Denial

Move to forward a recommendation of denial to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

Option 3: Continuance

Move to table the recommendation to the City Council for the ordinance amending Sections 17.04.030 and 17.05.040 of the South Salt Lake Municipal Code to align City proximity requirements for alcohol-related Uses with the DABS measurement standards.

