



Planning Commission Meeting

June 11, 2026

6:00pm

125 West 400 North
Mapleton, UT 84664



PLANNING COMMISSION AGENDA

Thursday, June 11, 2026 at 6:00pm
125 West Community Center Way (400 North), Mapleton, Utah 84664

The order of agenda items is subject to change at the discretion of the Planning Commission Chair.

6:00 p.m. Call to order: Pledge, Invocation, and Introductions/Announcements.

Consent Item

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission may ask that any items be considered individually for purposes of Commission discussion and/or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

1. Planning Commission Meeting Minutes – May 28, 2026.

Action Items

2. Consideration of a Preliminary Plat application for the Mapleton Corner subdivision consisting of three lots in the A-2 (TDR-R) Zone located at 630 North 1600 East.
3. Consideration of a Preliminary Plat application for the Harmony Ridge Plat "K" subdivision consisting of 72 lots in the Planned Development (PD-3) Zone located at approximately 300 East 4500 South.

PUBLIC COMMENT MAY BE ACCEPTED AT THE DISCRETION OF THE CHAIR

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during the meeting/hearing should notify April Houser at the Community Development Office, at Mapleton City, 125 West 400 North, Mapleton UT 84664, or by phone, 801-489-6138, giving at least 24 hours notice. Signature on this document certifies that it was posted in the City Office on 6/4/26.

THIS AGENDA SUBJECT TO CHANGE WITH A MINIMUM OF 24 HOURS NOTICE
(Last Modified June 4, 2026)

April Houser, Executive Secretary

Item:

2

Date:

6/11/2026

Applicant:

Elevate Engineering, Melissa Cannon

Location:

630 N 1600 E

Prepared By:

Sean Conroy, Community Development Director

Public Hearing:

No

Zone:

A-2, TDR-R

Attachments

1. Standard findings.
2. Application information.
3. DRC comments.
4. Correspondence.

REQUEST

Consideration of a Preliminary Plat application for the Mapleton Corner subdivision consisting of three lots in the A-2, TDR-R zone located at 630 N 1600 E.

BACKGROUND & DESCRIPTION

The subject property is approximately 6.5 acres in size and has frontage on 1600 E. The property is currently zoned A-2 with a Transferable Development Right Receiving site Overlay (TDR-R). There is an existing single-family dwelling that is located on the eastern side of the lot approximately 550 feet from 1600 East. There is a detached barn and a large field in between the road and the dwelling.

In 2024, the City approved a subdivision that proposed to create one new two-acre lot on the site. However, the subdivision plat has never been recorded. The applicant is now proposing the following:

- Utilize a TDR to create two new one-acre lots;
- The existing dwelling would remain on a 4.1-acre lot;
- Curb, gutter and sidewalk improvements along 1600 E; and
- A new country lane road that would provide access and frontage to the three lots.

EVALUATION

Subdivision applications are considered administrative in nature. If the application complies with City standards, the applicant is entitled to an approval. Special conditions may be added in order to mitigate reasonably anticipated detrimental effects. The Planning Commission is the final land use authority for preliminary plat applications.

General Plan: The General Plan designates this site a “Rural Residential”. The General Plan states the following regarding this designation:

The Rural Residential land use category is maintained along the east and south edges of the City, permitting single-family residential development on lots that are a minimum of two-acres in extent. One acre lots are allowed with the use of TDRs. Smaller lots may also be proposed as part of a conservation subdivision provided the overall densities are not increased. Larger vacant and undeveloped properties are encouraged to develop as Conservation Subdivisions, helping to preserve the rural, open feel of the City.

Below are some relevant goals and policies from the General Plan for the Commission to also consider:

Goal 1: Preserve and enhance Mapleton's rural atmosphere and agricultural history through careful planning and the preservation of open space.

Goal 2: Continue the established focus on large lot, single-family residential uses as the primary means for preserving Mapleton's rural character.

Goal 3: Ensure land uses are compatible and/or utilize adequate buffers to enhance compatibility.

Goal 9: Continue to implement the Transferable Development Rights (TDR) program by ensuring that there are sufficient areas that can qualify as TDR-Receiving sites.

The proposed density of three units on 6.5 acres, the proposed lot sizes, and the use of a TDR are all consistent with the General Plan.

TDR Ordinance: This site has already been approved as a TDR-R. For project sites of 15 acres or less, the maximum density increase using TDRs is 50%. In the A-2 zone, the standard lot size is two acres, therefore the base density on this site is three lots. In this case, the applicant is not requesting an increase in the allowed number of lots. The TDR just allows two of the lots to be one acre in size rather than the standard two acres. The application is consistent with the TDR ordinance. Staff also notes that there are several other parcels that have used, or have been approved to use, TDRs in the vicinity as well as several lots that are one acre in size or less.

Subdivision Requirements: Subdivisions of two lots or more require preliminary approval by the Planning Commission. Final plat approval is granted by the Development Review Committee (DRC). MCC section 17.04.050.B outlines the review standards the Commission is to consider, which are included in attachment "1". The proposed plat is consistent with the subdivision standards.

Roadway: Each lot in the A-2 zone is required to have a minimum of 200 feet of frontage on a City road. The frontage requirement is reduced to 125 feet with the use of a TDR. In order for each lot to meet the frontage requirement, the applicant is constructing a new country lane road that will end in a cul-de-sac. The county lane cross section includes 28 feet of asphalt with no curb, gutter or sidewalk. The road will also provide future access to the vacant parcel to the south.

RECOMMENDATION

Approve the preliminary plat with the condition that all outstanding DRC comments be addressed prior to Final Plat approval.

Attachment "1" Findings for Decision		
No.	Findings	
1.	The plans, documents and other submission materials (including technical reports where required) are sufficiently detailed for proper consideration.	✓
2.	The submitted plans, documents and submission materials conform to applicable city standards.	✓
3.	The proposed development conforms to city zoning ordinances and subdivision design standards.	✓
4.	There are not natural or manmade conditions existing on the site or in the vicinity of the site defined in the preliminary plan that, without remediation, would render part or all of the property unsuitable for development.	✓
5.	The project provides for safe and convenient traffic circulation and road access to adjacent properties under all weather conditions.	✓
6.	The project does not impose an undue financial burden on the City.	✓
7.	The location and arrangement of the lots, roads, easements and other elements of the subdivision contemplated by the project are consistent with the city's general street map and other applicable elements of the general plan.	✓
8.	The project plan recognizes and accommodates the existing natural conditions.	✓
9.	The public facilities, including public utility systems serving the area are adequate to serve the proposed development.	✓
10.	The project conforms to the intent of the Subdivision Ordinance as described MCC Chapter 17.01.	✓

Attachment "2" Application Information



Subject Property

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38:476:0001

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67:218:0303

67:220:0401

67:220:0402

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54:189:0009

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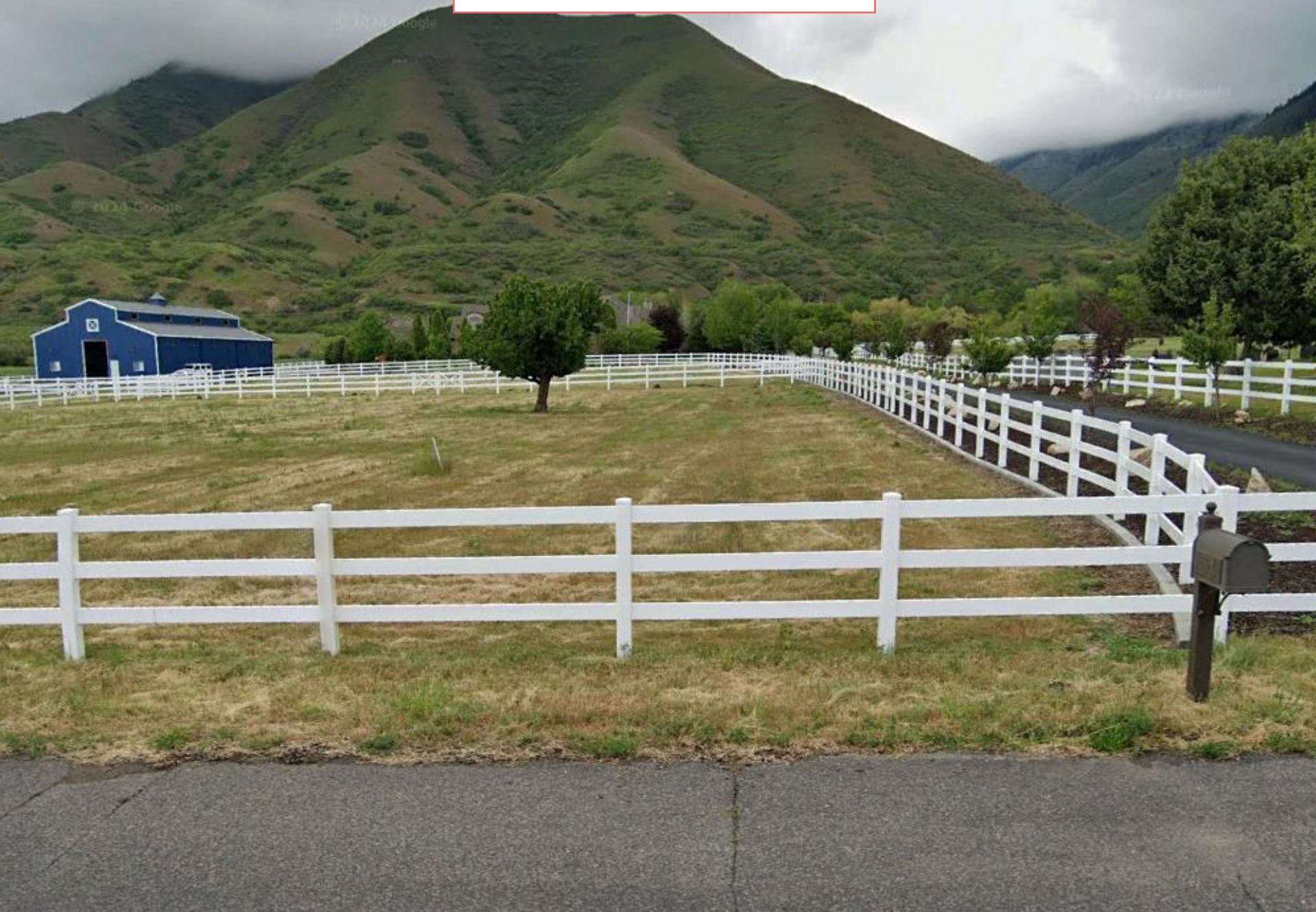
26

Existing Zoning
Green = A-2
Blue Hatch = TDR-R



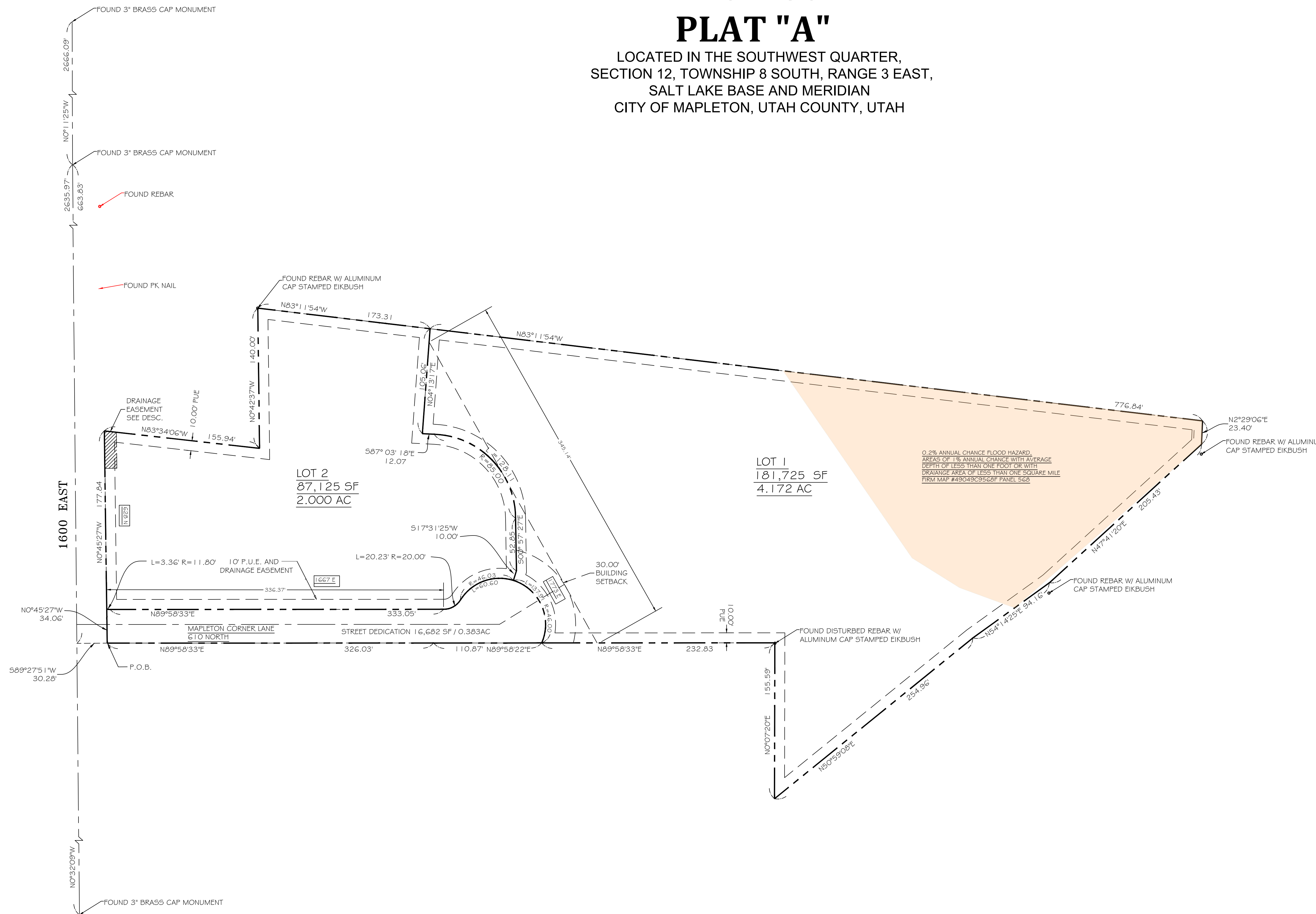
Subject Property

Looking east from 1600 E



MAPLETON CORNER PLAT "A"

LOCATED IN THE SOUTHWEST QUARTER,
SECTION 12, TOWNSHIP 8 SOUTH, RANGE 3 EAST,
SALT LAKE BASE AND MERIDIAN
CITY OF MAPLETON, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, SHAWN CHRISTENSEN, DO HEREBY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 354373 IN ACCORDANCE WITH UTAH CODE, TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT AT THE REQUEST OF THE OWNER OF THE BELOW-DESCRIBED LAND, I PERFORMED A SURVEY OF SAID LAND IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE; THAT THE BOUNDARY DESCRIPTION BELOW CORRECTLY DESCRIBES THE LAND SURFACE UP ON WHICH WILL BE CONSTRUCTED VIGOREN CONSOLIDATION, THAT I HAVE VERIFIED ALL MEASUREMENTS, AND THAT THE REFERENCE MARKERS SHOWN ON SAID PLAT ARE LOCATED AND ARE SUFFICIENT TO READILY RETRACE THIS SURVEY.

BOUNDARY DESCRIPTION

COMMENCING AT A POINT LOCATED SOUTH 00°11'25" EAST ALONG THE EAST SECTION LINE 2666.09 FEET FROM THE WEST QUARTER CORNER OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 00°11'25" 663.83 FEET, THENCE NORTH 89°27'51" EAST TO THE POINT OF BEGINNING;

THENCE NORTH 89°58'33" EAST 326.03 FEET; THENCE NORTH 89°59'22" EAST 110.87 FEET; THENCE NORTH 89°58'33" EAST 232.83 FEET; THENCE SOUTH 00°07'20" WEST 155.59 FEET; THENCE NORTH 50°59'08" EAST 254.96 FEET; THENCE NORTH 54°14'25" EAST 94.16 FEET; THENCE NORTH 47°41'20" EAST 205.43 FEET; THENCE NORTH 02°29'06" EAST 23.40 FEET; THENCE NORTH 83°11'54" WEST 950.15 FEET; THENCE SOUTH 00°42'37" EAST 140.00 FEET; THENCE SOUTH 83°34'06" EAST 155.94 FEET; THENCE SOUTH 00°45'27" EAST 211.90 FEET TO THE POINT OF BEGINNING. CONTAINING 43,137 SQUARE FEET.

OWNERS DEDICATION

THE UNDERSIGNED OWNERS ("OWNER" WITHOUT REGARD TO NUMBER OR GENDER) OF THE ABOVE DESCRIBED LAND HEREBY CERTIFIES THAT: OWNER HAS CAUSED A SURVEY TO BE MADE OF SAID LAND AND HAVE CAUSE THIS PLAT TO BE PREPARED FOR THE

JOHNSON PARCEL MAP

IN WITNESS WHEREOF, WE HAVE HERETO SET ASIDE OUR HAND THIS ____ DAY OF _____, A.D. 20__.

XX _____ XX

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF SALT LAKE) S.S.

ON THE ____ DAY OF _____, A.D. 20__, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE IN THE STATE OF UTAH, _____ WHO AFTER BEING DULY SOWN, ACKNOWLEDGED TO ME THAT DULY ACKNOWLEDGED BEFORE ME THAT HE/ SHE DID EXECUTE THE SAME FREELY AND VOLUNTARILY AND FOR THE PURPOSED THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSION UN UTAH RESIDING IN SALT LAKE COUNTY

MY COMMISSION NO: _____ PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF MAPLETON, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSED FOR THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF _____, A.D. 20__.

CITY ENGINEER
(SEE SEAL BELOW)

APPROVED BY MAYOR ATTEST CITY RECORDER

UTAH COUNTY RECORDER

MAPLETON CORNER PLAT "A"

LOCATED IN THE SOUTHWEST QUARTER
SECTION 12, TOWNSHIP 8 SOUTH, RANGE 3 EAST,
SALT LAKE BASE AND MERIDIAN
CITY OF MAPLETON, UTAH COUNTY, UTAH

SCALE: 1" = 50 FEET

PREPARED BY:

CHRISTENSEN & PLOUFF
LAND SURVEYING

380 E MAIN STREET, SUITE 201
MIDWAY, UT 84604
435-654-3945
www.cpsurveying.com

SURVEYOR'S SEAL

NOTARY PUBLIC SEAL

CITY ENGINEER SEAL

CLERK RECORDER SEAL

COUNTY RECORDER

C:\CP Land Surveying\Mapleton\Mapleton Plat A.dwg

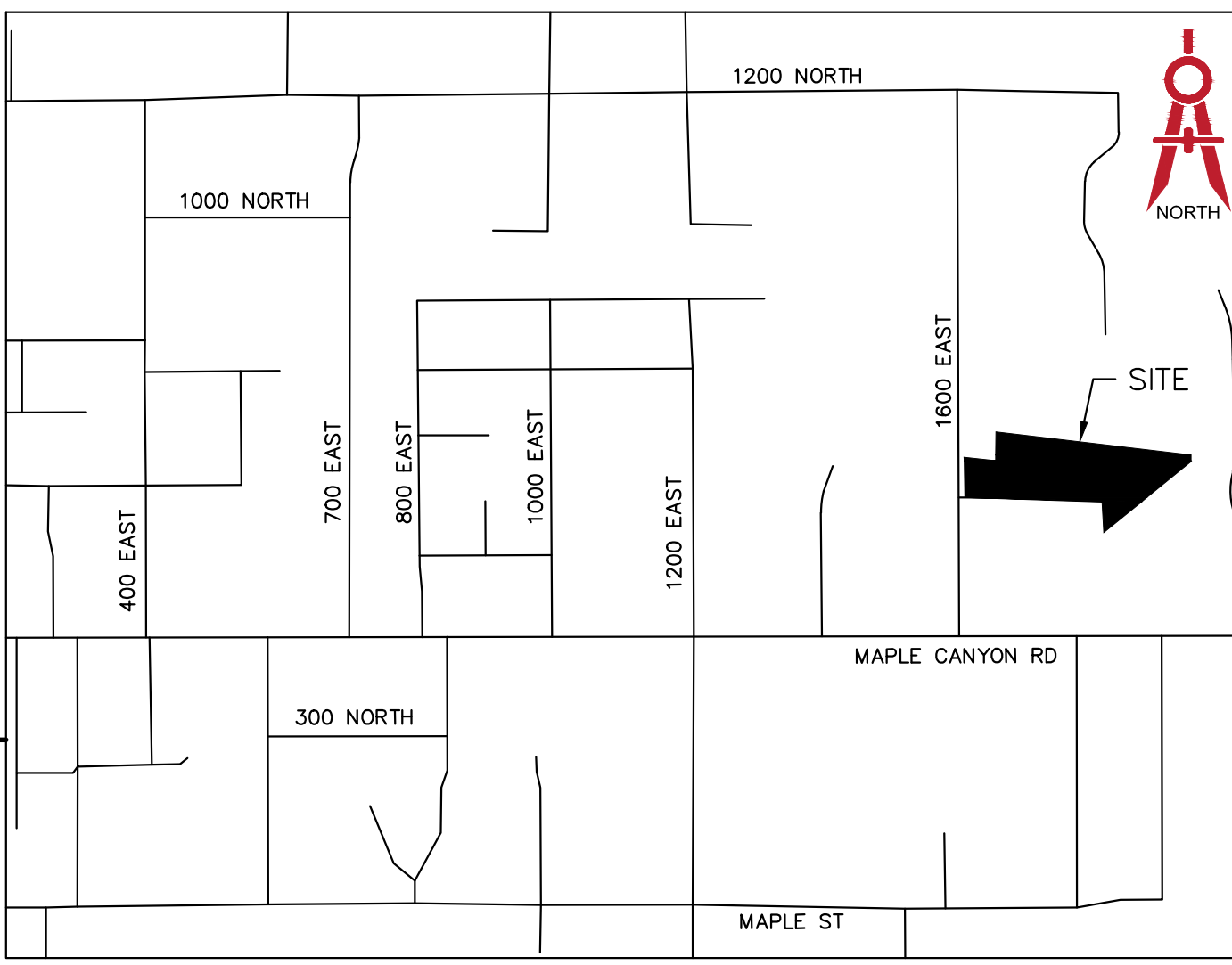
MAPLETON CORNER SUBDIVISION CONSTRUCTION PLANS

MAPLETON CITY, UTAH

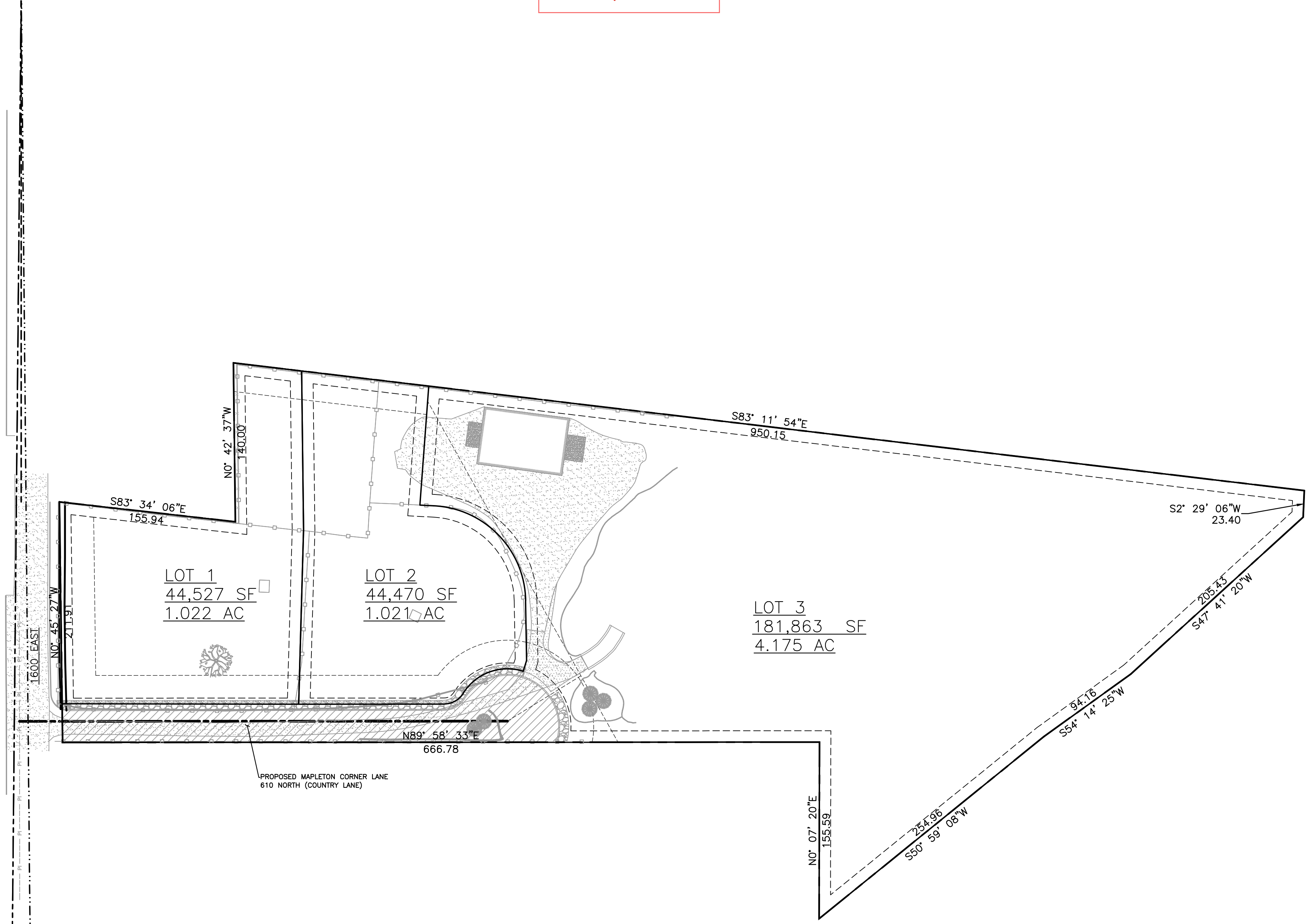
PART OF THE SOUTHWEST QUARTER OF SECTION 12,
TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN,
MAPLETON, UTAH COUNTY, UTAH

New Proposed Plan

SHEET INDEX	
SHEET	DESCRIPTION
G1-0	COVER SHEET
MAPLETON CORNER SUBDIVISION PLAT	
C0-1	LOT LAYOUT
C1-0	PAVING PLAN
C2-0	DRAINAGE PLAN
C3-0	UTILITY PLAN
C4-1	ROAD DETAILS
C4-2	UTILITY DETAILS

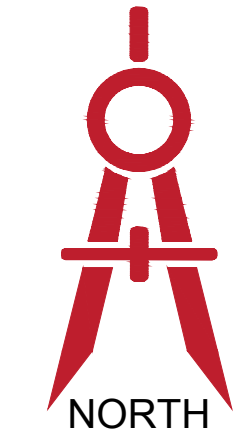


VICINITY MAP
NTS



ZONE A-2 (AGRICULTURAL-RES)

ALL WORK WITHIN THE RIGHT-OF-WAY
DEDICATED TO MAPLETON CITY
SHALL CONFORM TO MAPLETON
STANDARDS AND SPECIFICATIONS



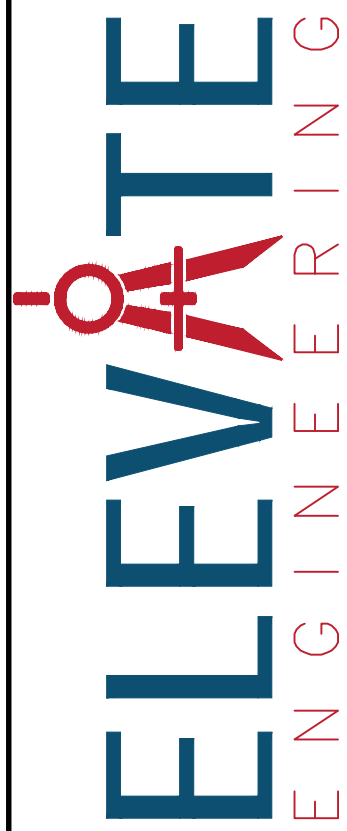
PROJECT ENGINEER:
LARVIN POLLOCK
ELEVATE ENGINEERING
531 WEST 3800 NORTH
SPANISH FORK, UT 84660
(801) 718-5993
LARVIN@ELEVATENG.COM

SITE MAP
SCALE: 1" = 60'

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP

ELEVATE ENGINEERING
531 WEST 3800 NORTH
SPANISH FORK, UT 84660
PHONE: (801) 718-5993
larvin@elevateng.com



MAPLETON CORNER SUBDIVISION
COVER SHEET
630 NORTH 1600 EAST, MAPLETON UT

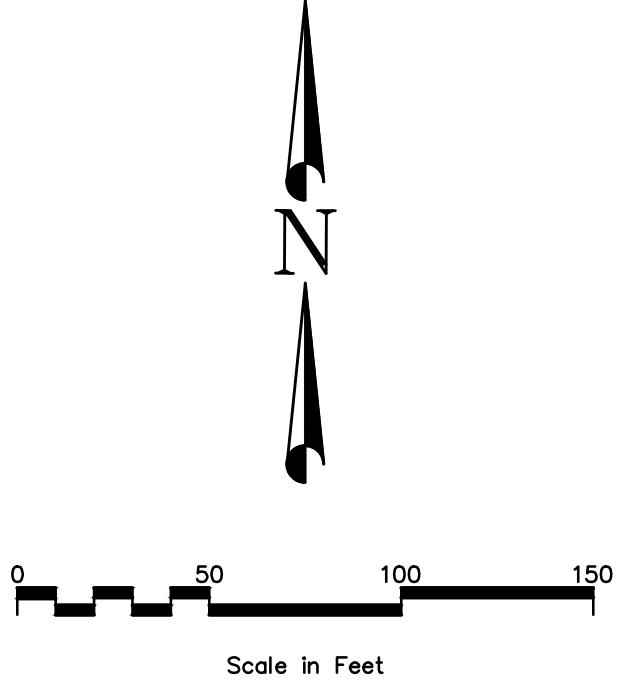
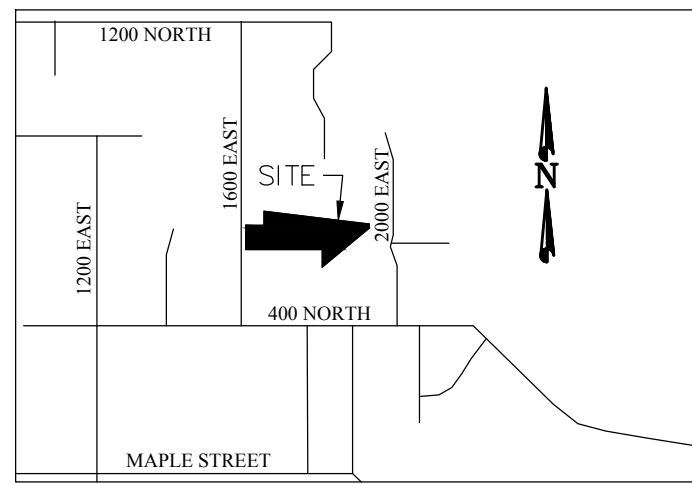
NOT FOR
CONSTRUCTION

SHEET:
G1-0

DATE:
May 07, 2026

FOUND 1955 UTAH COUNTY BRASS CAP MONUMENT FOR THE WEST QUARTER CORNER, SECTION 12, T8S, R3E, SL&M

11012
451.81'
BASIS OF BEARINGS
S0°32'11"E 2636.12'
EAST 29.46'
1600 EAST
(PUBLIC RIGHT-OF-WAY)
N0°45'27"W 211.91'
182.20'
29.70'



SURVEYOR'S CERTIFICATE

I, CORY B. NEERINGS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 5183760 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT BEING SOUTH 0°32'11" EAST 451.81 FEET ALONG THE SECTION LINE AND EAST 29.46 FEET FROM THE WEST QUARTER CORNER OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE SOUTH 83°34'06" EAST 155.94 FEET;
 THENCE NORTH 0°42'37" WEST 140.00 FEET;
 THENCE SOUTH 83°11'54" EAST 950.15 FEET;
 THENCE SOUTH 2°29'06" WEST 23.40 FEET;
 THENCE SOUTH 47°41'20" WEST 205.43 FEET;
 THENCE SOUTH 54°14'25" WEST 94.16 FEET;
 THENCE SOUTH 50°59'08" WEST 254.96 FEET;
 THENCE NORTH 0°07'20" EAST 155.59 FEET;
 THENCE SOUTH 89°58'33" WEST 666.78 FEET;
 THENCE NORTH 0°45'27" WEST 211.91 FEET TO THE POINT OF BEGINNING.

CONTAINS
 3 LOTS
 6.555 ACRES
 285,533 SQUARE FEET, MORE OR LESS

BASIS OF BEARINGS

BASIS OF BEARINGS WAS ESTABLISHED AS SOUTH 0°32'11" EAST BETWEEN THE WEST QUARTER CORNER AND THE SOUTHWEST CORNER OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN, ACCORDING TO NAD83 UTAH CENTRAL ZONE BEARINGS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I, THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE

MAPLETON CORNER SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.
 IN WITNESS WHEREOF I HAVE HEREUNTO SET MY / OUR HAND(S) THIS ___ DAY OF _____ 20__

MELISSA JOHNSON
 PRINT NAME _____
 SIGNATURE _____
 DATE _____

ACKNOWLEDGEMENT

STATE OF UTAH }
 COUNTY OF UTAH }
 ON THE ___ DAY OF _____, A.D. 20__ PERSONALLY APPEARED BEFORE ME, _____ THE SIGNER OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT SHE DID FREELY AND VOLUNTARILY EXECUTE THE SAME FOR THE PURPOSES THEREIN MENTIONED.
 MY COMMISSION EXPIRES: _____ COMMISSION NUMBER: _____
 NOTARY PUBLIC _____ NOTARY PUBLIC _____
 COMMISSIONED IN UTAH _____ RESIDING IN _____ COUNTY
 (SEE SEAL BELOW)

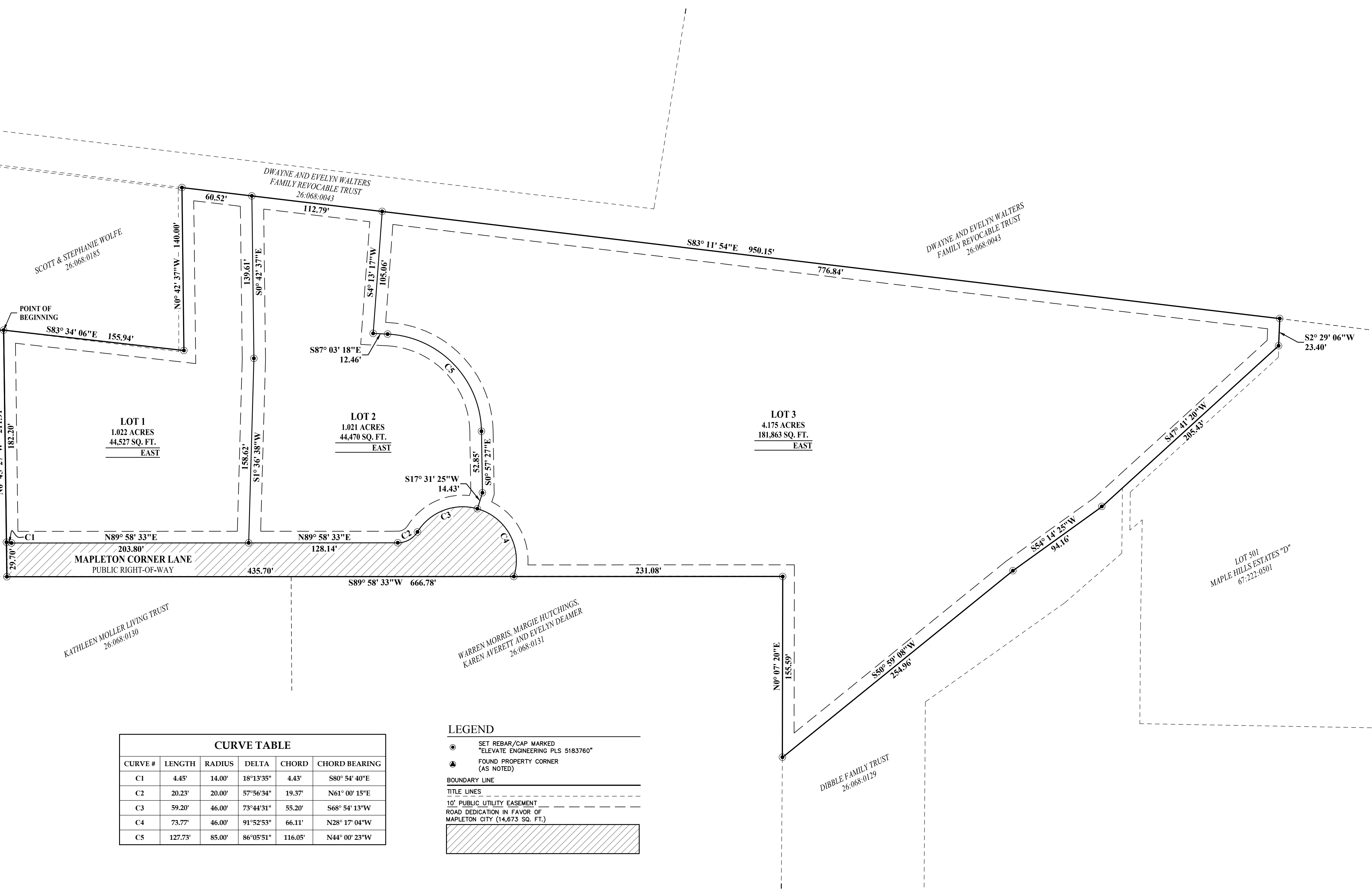
MAPLETON CORNER SUBDIVISION
 PART OF THE SOUTHWEST QUARTER OF SECTION 12,
 TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN,
 MAPLETON, UTAH COUNTY, UTAH



SURVEYOR SEAL 	NOTARY SEAL	CITY ENGINEER SEAL	CLERK/RECORDER SEAL
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Recorder	DATE: 5/3/26
	SCALE: 1"=50'
	PAGE: 1 OF 1
	PROJECT: S26-016

REVIEW COPY



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	4.45'	14.00'	18°13'35"	4.43'	S80°54'40"E
C2	20.23'	20.00'	57°56'34"	19.37'	N61°00'15"E
C3	59.20'	46.00'	73°44'31"	55.20'	S68°54'13"W
C4	73.77'	46.00'	91°52'53"	66.11'	N28°17'04"W
C5	127.73'	85.00'	86°05'51"	116.05'	N44°00'23"W

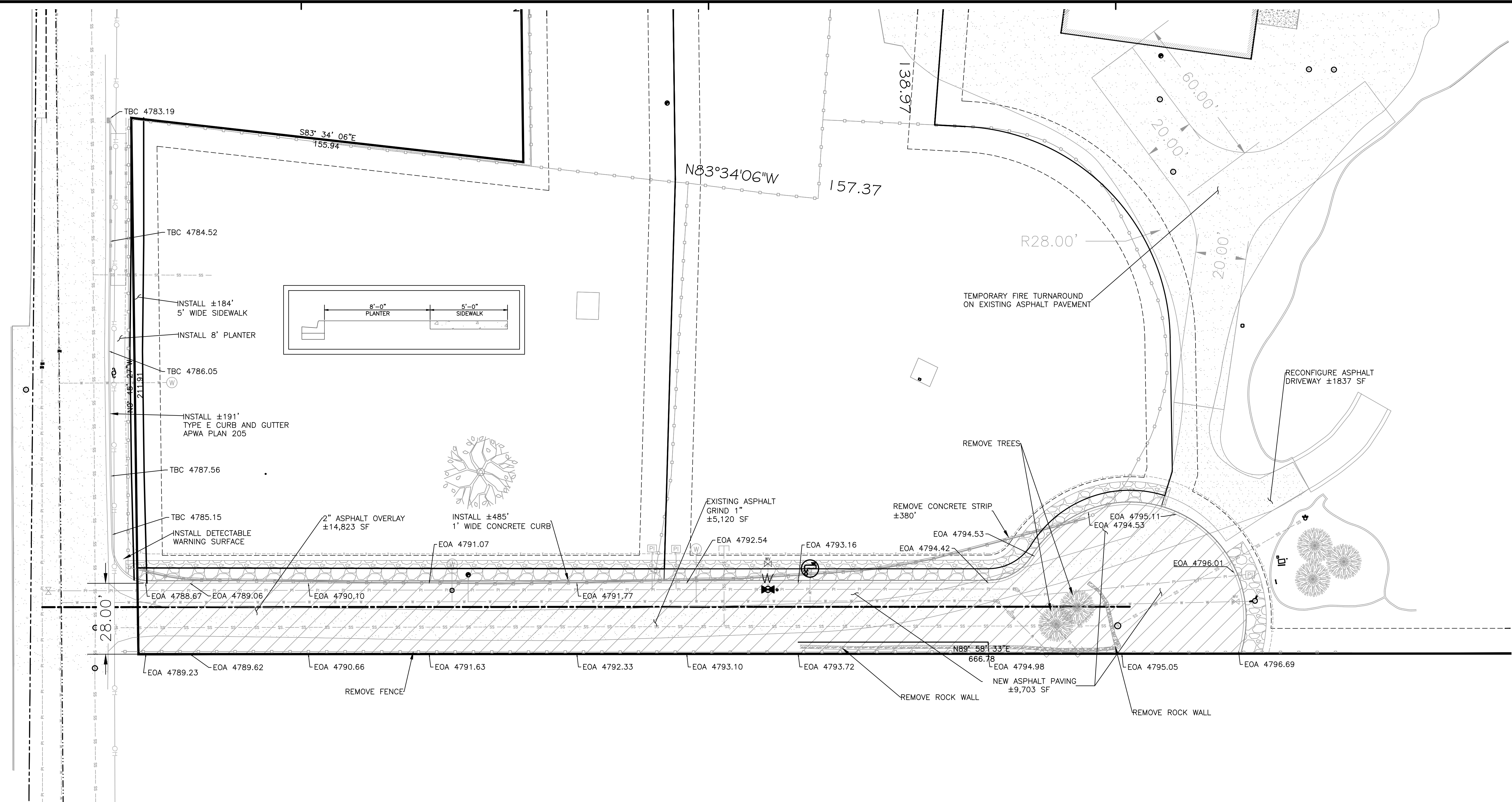
LEGEND

- SET REBAR/CAP MARKED "ELEVATE ENGINEERING PLS 5183760"
- ▲ FOUND PROPERTY CORNER (AS NOTED)

BOUNDARY LINE
 TITLE LINES
 10' PUBLIC UTILITY EASEMENT
 ROAD DEDICATION IN FAVOR OF MAPLETON CITY (14,673 SQ. FT.)

FOUND 2019 UTAH COUNTY BRASS CAP MONUMENT FOR THE SOUTHWEST CORNER, SECTION 12, T8S, R3E, SL&M

MAPLETON IRRIGATION APPROVAL APPROVED THIS ___ DAY OF _____, 20__ MAPLETON IRRIGATION DISTRICT AND COMPANY	ACCEPTANCE BY LEGISLATIVE BODY ON THE ___ DAY OF _____, A.D. 20__, THE CITY COUNCIL OF MAPLETON CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC. MAPLETON CITY, MAYOR _____ CLERK/RECORDER (SEE SEAL BELOW)	COMMUNITY DEVELOPMENT APPROVAL APPROVED THIS ___ DAY OF _____, 20__ DIRECTOR, COMMUNITY DEVELOPMENT	PLANNING COMMISSION APPROVAL APPROVED THIS ___ DAY OF _____, 20__ CHAIRMAN, PLANNING COMMISSION	CITY ENGINEER APPROVAL APPROVED THIS ___ DAY OF _____, 20__ MAPLETON CITY ENGINEER
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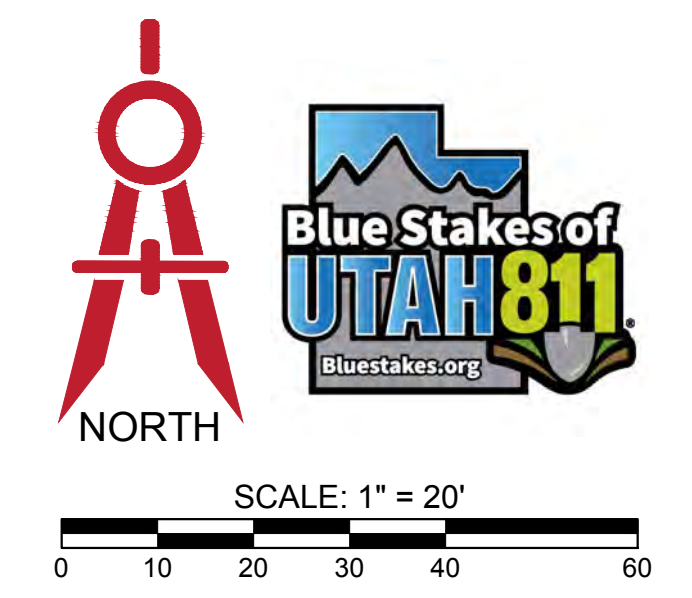
- GENERAL NOTES**
1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
 2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
 3. ALL PROPOSED WATER LINES TO A MINIMUM OF 5' OF COVER
 4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS
 5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND
 6. ALL WORK TO BE PERFORMED TO CITY AND/OR APWA STANDARDS
 7. NO UNDERGROUND UTILITIES TO BE BURIED BEFORE CITY INSPECTION

ABBREVIATIONS

AD	AREA DRAIN
ADJ	ADJACENT
A/C	AIR CONDITIONING
BLDG	BUILDING
BW	BOTTOM OF WALL
C/L	CENTERLINE
CLF	CHAIN-LINK FENCE
CONC	CONCRETE
COMM	COMMUNICATION
E'LY	EASTERLY
ELEC	ELECTRIC
EL	ELEVATION
FOW	FACE OF WALL
ICV	IRRIGATION CONTROL VALVE
LND	LANDING
N'LY	NORTHERLY
NE'LY	NORTHEASTERLY
NW'LY	NORTHWESTERLY
OH	OVERHANG
P/L	PROPERTY LINE
PLTR	PLANTER
RET	RETAINING
S'LY	SOUTHERLY
SE'LY	SOUTHEASTERLY
SW'LY	SOUTHWESTERLY
STP	STOOP
TW	TOP OF WALL
TYP	TYPICAL
W'LY	WESTERLY
WF	WOOD FENCE

LEGEND:

	WOOD FENCE		WATER LINE
	CHAIN-LINK FENCE		SEWER LINE
	OVERHEAD WIRES		FIRE HYDRANT
	SEWER LINE		WATER METER
	RD CENTERLINE		PI METER
	PROPERTY LINE		WATER VALVE
	BUILDING		PLUG AND CAP
	WALL		SEWER MANHOLE
	EXISTING PAVEMENT		
	TREE TRUNK, APPROXIMATE DIAMETER IN INCHES		
	TREE DRIPLINE		



NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
 531 WEST 3800 NORTH
 SPANISH FORK, UT 84660
 PHONE: (801) 718-6993
 for@elevateeng.com



**MAPLETON CORNER SUBDIVISION
 PAVING PLAN**
 630 NORTH 1600 EAST, MAPLETON UT

NOT FOR CONSTRUCTION

SHEET:
C1-0
 DATE: May 07, 2026



Development Review Committee Minutes

May 26, 2026

On May 12, 2026, plans were submitted for the Mapleton Corner subdivision consisting of 3 lots. The items below include 1) requested changes to the submitted plans, 2) other items required as part of the application and/or 3) informational items regarding city standards.

Community Development Division

Jeni Crookston, Planner

Phone: (801) 806-9108

Email: jcrookston@mapleton-ut.gov

1. The rear portion of lot 1 is in the 500 year flood plain. Please show on the plat (see FIRM map #49049C9568F panel 568).
2. Include the addresses on the plat shown in red in the attached plans.
3. The applicant can apply for a reimbursement agreement to have some of the utility expenses paid back, if/when the Warren parcel develops. Reimbursement agreement must be finalized prior to plat recording.

Engineering and Public Works Division

Rob Hunter, P.E. Public Works Director/City Engineer

Phone (801) 489-6253

Email: rhunter@mapleton-ut.gov

Seth Barrus, P.E. Assistant City Engineer

Phone (801) 489-6253

Email: sbarrus@mapleton-ut.gov

Plat

1. Include a note that homeowners are required to pipe the V-ditch below their desired driveway access to their lot and that homeowners are responsible to maintain the ditch.

Changes to the Plans

1. Final plans will need to have a professional engineering stamp and signature.
2. Change wording on "remove fence" on the south extents of the project to ensure that the fence is relocated to the edge of new asphalt. Sheet C1-0.



3. Note 3 on "General Notes" can be changed to say that "All proposed water lines to have a minimum of 4' of cover, maximum of 5', except to cross existing utilities."
4. Relocate the leader line for the "Install Detectable Warning Surface" note to land on the ADA ramp, not the planter strip. Sheet C1-0.

Culinary Water

1. Update plans to show installation of a valve with the next 8" culinary water line near the tee of the existing main in 1600 East. Sheet C3-0.

Pressurized Irrigation

1. If desired, the individual pressurized irrigation services can be a 1.5" dual PI service off the main that splits into two 1" services at the property line.

Storm Drain

1. Show two points of access for future maintenance.

Roadway

1. Update plans to show location of a street sign at the intersection.

Details

Informational Items

These items are intended for reference purposes only. Notice to proceed with construction will not be given until these items are either noted on the plans or discussed in a pre-construction meeting).

An excavation permit, available online at www.mapleton.org will be required for all work performed in the city right-of-way.

A 2" conduit system with services to each home will be required in the PUE. Please note such on the plans. Contractor to contact Public Works for details.

All utility crossings will be marked with etchings in the back of curb.

Public Works inspections will be required on all utilities prior to backfill. Inspections will include GPS data collection of all fittings and appurtenances.

Please follow APWA standards and specifications unless otherwise identified in the Mapleton City Supplement to APWA Standards and Specifications available online at www.mapleton.org.



A Storm Water Pollution Prevention Plan (SWPPP) permit will be required. Please contact JD Shepherd at Mapleton City Public Works with questions.

Any work on Mapleton Irrigation Company ditches will be approved by the Irrigation Company.

Any work on dry utilities including but not limited to power, gas, and communications will be coordinated and approved by the relevant utility company and must be installed within the public utility easement.

Concrete Collars will be required on all valves and manholes in the roadway.

Any work in UDOT Right-of-Way will require a separate UDOT access and encroachment permit.

Please ensure 10' separation between culinary water and sanitary sewer lines.

A maintenance plan and agreement will be required and recorded for all storm drain retention basins.

A note must be placed on the plans to identify any existing fences and/or improvements on adjacent properties. If construction requires the removal of or results in damage to these items, they must be replaced before the final development inspection can be completed.

A stamped and signed plan set will be delivered electronically to the City Engineer prior to commencement of any construction.

FYI, Prior to plat recording:

- Revise drawings to address any outstanding issues raised in the DRC comments and/or project conditions.
- Applicant may choose to either 1) establish a performance bond and durability bond agreement prior to plat recording (see attached bond estimate) or 2) to install any required improvements (i.e. utilities, roads, curb, gutter, sidewalk, etc.) without a performance bond (10% durability bond still required). If option 2 is selected, the plat will not be recorded until the City has accepted the improvements.
- Payment of engineering inspection fee of \$675.
- Pay water impact fee of \$5,560.
- Pay sewer impact fee of \$7,007.24
- Payment of slurry seal fees of \$.38 a square foot of public asphalt.
- Pay all rollback taxes if applicable.
- Submit final mylar with all required signatures.



- Submit a check made out to Utah County Recorder for \$50 per page + \$2 per lot.
- Dedicate acre feet of water.
- Contact post office regarding mailboxes.

**Attachment "4"
Correspondence**

Hi Sean,

I own the property right across from this and I'm probably impacted by this more than anyone else.

I 100% full heartedly support this.

Thanks,

Cameron Rich

Item:

3

Date:

6/11/2026

Applicant:

Edge Homes

Location:

300 E 4500 S

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

No

Zone:

PD-3

Attachments

1. Standard findings.
2. Approved concept.
3. Preliminary plat plans.
4. DRC comments.

REQUEST

Consideration of a Preliminary Plat application for the Harmony Ridge Plat "k" subdivision consisting of 72 lots in the Planned Development (PD-3) zone.

BACKGROUND & DESCRIPTION

The subject property is approximately 460 acres in size and is located at the southern end of the City with frontage on Highway 89 and Highway 6. In 2011, the City approved a development agreement and the PD-3 zoning for the Harmony Ridge project on the site. On May 17, 2023, the City Council approved several amendments to the development agreement and concept plan, and authorized up to 990 residential units.

The Planning Commission has already approved plats A through J consisting of 760 units. The applicant is now requesting approval of the preliminary plat for the Harmony Ridge Plat "K" subdivision consisting of 72 additional single-family detached lots.

Subdivision applications are considered administrative in nature. This means that if the application complies with City standards and the requirements of the development agreement, the applicant is entitled to an approval. Special conditions may be included to mitigate reasonably anticipated detrimental effects that may be identified.

EVALUATION

PD-3 Zone: The PD-3 zone was adopted specifically for this project. Staff has included a summary of some of the requirements below followed by a brief staff response.

- *The zone allows for a maximum of 990 residential units.*

Response: The development agreement includes a concept plan showing generally how the project will be developed with the maximum of 990 units. This phase includes 72 lots and is consistent with the approved concept plan.

- *The HOA shall have an architectural review committee review building permits to ensure compliance with the adopted design guidelines.*

Response: The adopted design guidelines are meant to create quality designs and a visually interesting development. The design review will take place prior to issuance of a building permit and after the plat has been approved.

- *A minimum of 40% of the site shall be preserved as permanent open space.*

Response: The approved concept plan exceeds the 40% open space requirement. This plat includes approximately 19 acres of open space that will be owned and maintained by the HOA.

Subdivision Requirements: Subdivisions of two lots or more require preliminary approval by the Planning Commission. Final plat approval is granted by the Development Review Committee (DRC). MCC section 17.04.050.B outlines the review standards the Commission is to consider, which are included in attachment "1". The proposed plat is consistent with the subdivision standards.

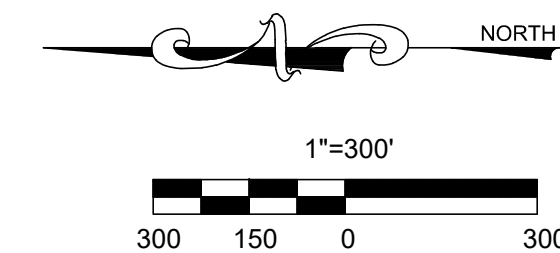
Trails: The development agreement outlines a number of trails that will be built by the applicant and maintained by Mapleton City for public use. This phase includes natural surface trails through the open space parcels that will connect with the overall trail network.

RECOMMENDATION

Approve the preliminary plat with the condition that all outstanding DRC comments be addressed prior to Final Plat approval.

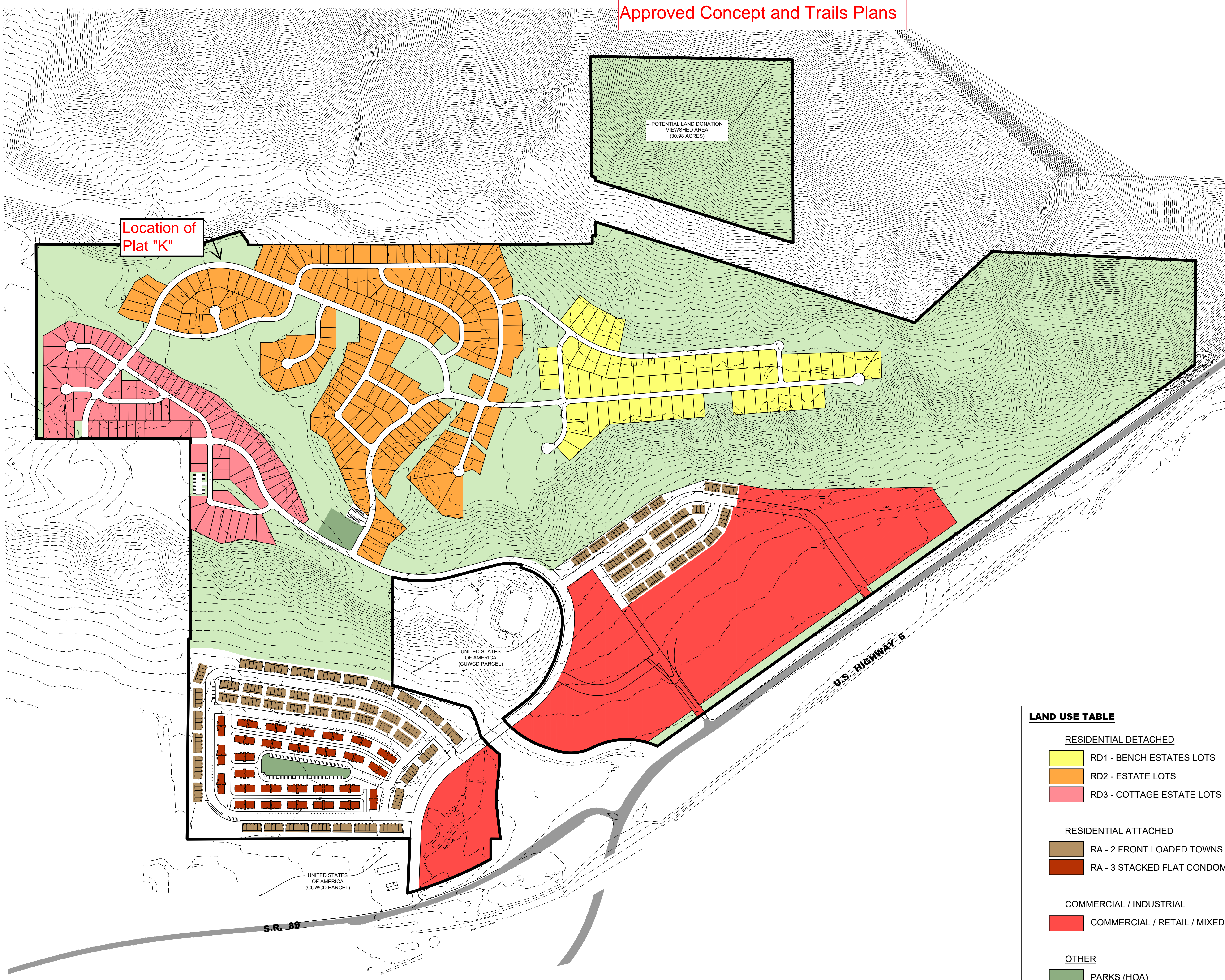
Attachment "1" Findings for Decision		
No.	Findings	
1.	The plans, documents and other submission materials (including technical reports where required) are sufficiently detailed for proper consideration.	✓
2.	The submitted plans, documents and submission materials conform to applicable city standards.	✓
3.	The proposed development conforms to city zoning ordinances and subdivision design standards.	✓
4.	There are not natural or manmade conditions existing on the site or in the vicinity of the site defined in the preliminary plan that, without remediation, would render part or all of the property unsuitable for development.	✓
5.	The project provides for safe and convenient traffic circulation and road access to adjacent properties under all weather conditions.	✓
6.	The project does not impose an undue financial burden on the City.	✓
7.	The location and arrangement of the lots, roads, easements and other elements of the subdivision contemplated by the project are consistent with the city's general street map and other applicable elements of the general plan.	✓
8.	The project plan recognizes and accommodates the existing natural conditions.	✓
9.	The public facilities, including public utility systems serving the area are adequate to serve the proposed development.	✓
10.	The project conforms to the intent of the Subdivision Ordinance as described MCC Chapter 17.01.	✓

Attachment "2"
Approved Concept and Trails Plans



LEI
- A Utah Corporation -
**ENGINEERS
SURVEYORS
PLANNERS**
3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION



LAND USE TABLE		RESIDENTIAL UNITS
RESIDENTIAL DETACHED		
	RD1 - BENCH ESTATES LOTS	68
	RD2 - ESTATE LOTS	205
	RD3 - COTTAGE ESTATE LOTS	103
RESIDENTIAL ATTACHED		
	RA - 2 FRONT LOADED TOWNS	334
	RA - 3 STACKED FLAT CONDOMINIUMS	280
COMMERCIAL / INDUSTRIAL		
	COMMERCIAL / RETAIL / MIXED	
OTHER		
	PARKS (HOA)	
	APPROXIMATE PRESERVED OPEN SPACE / PUBLIC FACILITIES	

HARMONY RIDGE
MAPLETON, UTAH
EXHIBIT E - DENSITY PLAN

REVISIONS
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LEI PROJECT #:
2022-0022

DRAWN BY:
TJP

DESIGNED BY:
NKW

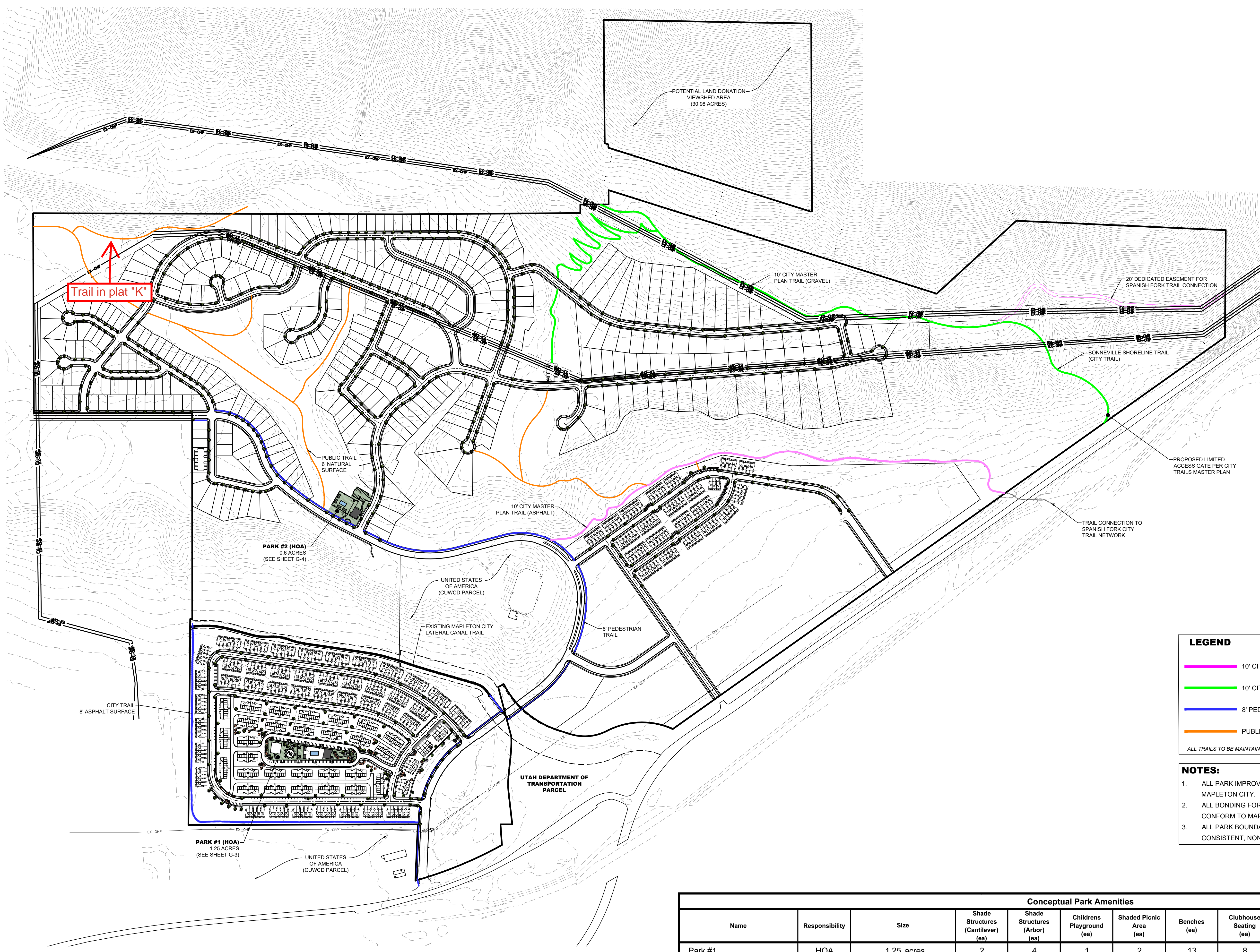
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DATE:
5/17/2023

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NOT FOR
CONSTRUCTION

**HARMONY RIDGE
MAPLETON, UTAH**
EXHIBIT G-2 PARKS AND OPEN SPACE



LEGEND

- 10' CITY MASTER PLAN TRAIL (ASPHALT) ± 3,287 LFT.
- 10' CITY MASTER PLAN TRAIL (GRAVEL) ± 5,076 LFT.
- 8' PEDESTRIAN TRAIL ± 8,230 LFT.
- PUBLIC TRAIL - 6' NATURAL SURFACE ± 7,445 LFT.

ALL TRAILS TO BE MAINTAINED BY THE CITY UNLESS OTHERWISE NOTED

- NOTES:**
- ALL PARK IMPROVEMENTS AND AMENITIES (HOA AND PUBLIC) TO BE APPROVED BY MAPLETON CITY.
 - ALL BONDING FOR PARK IMPROVEMENTS AND AMENITIES (HOA AND PUBLIC) TO CONFORM TO MAPLETON CITY STANDARDS.
 - ALL PARK BOUNDARIES SHARED WITH SINGLE FAMILY LOTS SHALL HAVE CONSISTENT, NON-PRIVACY FENCING.

Conceptual Park Amenities												
Name	Responsibility	Size	Shade Structures (Cantilever) (ea)	Shade Structures (Arbor) (ea)	Childrens Playground (ea)	Shaded Picnic Area (ea)	Benches (ea)	Clubhouse Seating (ea)	Clubhouse (ea)	Swimming Pool (ea)	Pickleball Court (ea)	Parking Lot (sf)
Park #1	HOA	1.25 acres	2	4	1	2	13	8	1	1	2	54,410
Park #2	HOA	0.60 acres	4	2	0	0	0	0	1	1	0	6,735
Viewshed	City	30.98 acres	0	0	0	0	0	0	0	0	0	0
Total		32.83 acres	6	6	1	2	13	8	2	2	2	61,145

REVISIONS

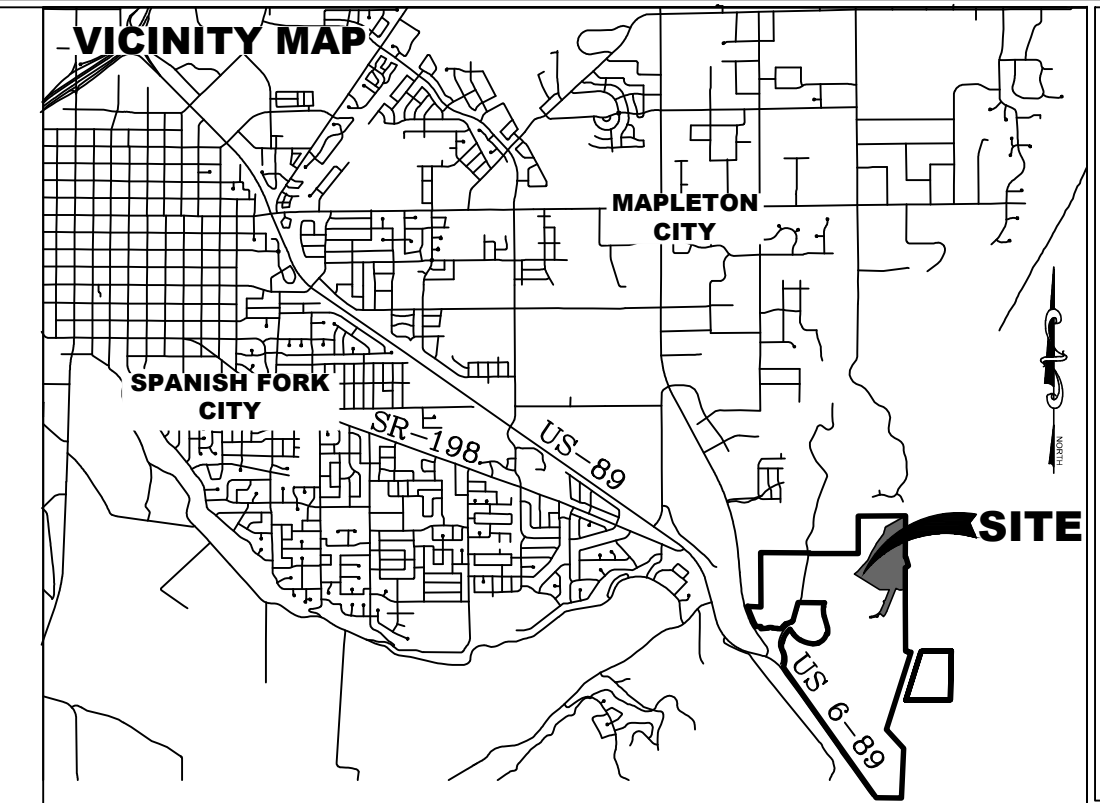
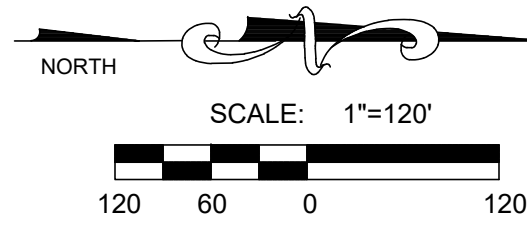
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TJP
DESIGNED BY:
NKW
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HARMONY RIDGE

HARMONY RIDGE PLAT K FINAL PLANS



**CIVIL
STRUCTURAL
SURVEY**

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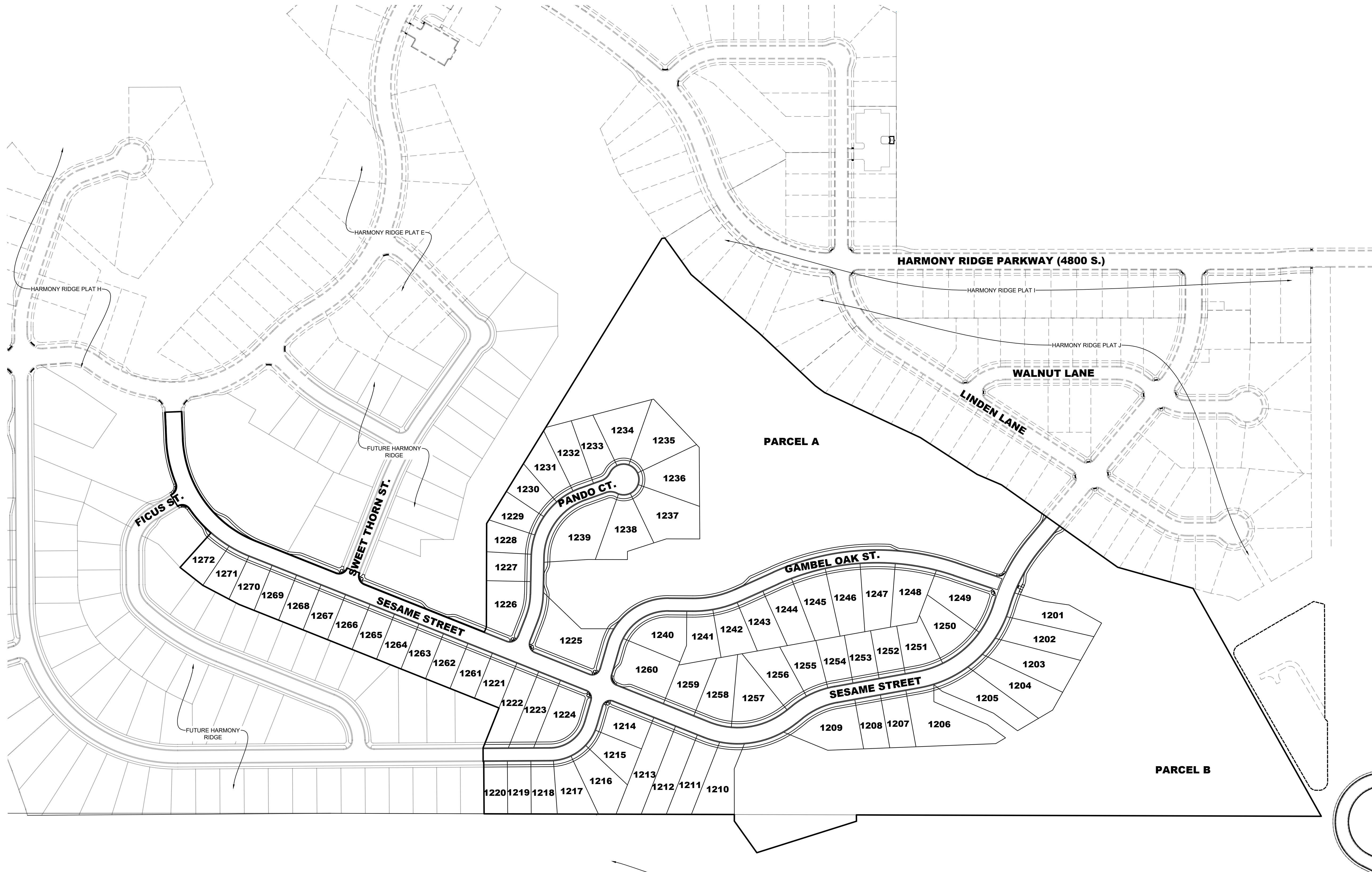


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	FINAL PLAT K (SHEET 2 OF 3)
	FINAL PLAT K (SHEET 3 OF 3)
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SHEET 202	UTILITY PLAN #2
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SHEET 302	GRADING DETAILS
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SHEET 402	SESAME STREET PLAN & PROFILE #2
SHEET 403	SESAME STREET PLAN & PROFILE #3
SHEET 404	SESAME STREET PLAN & PROFILE #4
SHEET 405	GAMBEL OAK ST. PLAN & PROFILE #1
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TABULATIONS:

TOTAL AREA:	39.79 ACRES
LOT AREA:	16.45 ACRES
STREET AREA:	3.90 ACRES
OPEN SPACE:	19.44 ACRES
# OF LOTS:	72 UNITS
# OF PARCELS:	2 PARCELS

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
EX-S	S	SEWER PIPE
EX-SM	SM	SEWER MANHOLE
EX-SR	SR	SEWER SERVICE
EX-SD	SD	STORM DRAIN PIPE (RCP)
EX-SDM	SDM	STORM DRAIN MANHOLE
EX-CI	CI	CURB INLET
EX-CB	CB	COMBO BOX
EX-CB4	CB4	4'x4' CATCH BASIN
EX-CB3	CB3	3'x3' CATCH BASIN
EX-W	W	INLET/OUTLET W/ GRATE
EX-W45	W45	CULINARY WATER PIPE 45' PIPE ELBOW (W)
EX-W225	W225	22.5' PIPE ELBOW (W)
EX-W1125	W1125	11.25' PIPE ELBOW (W)
EX-FH	FH	FIRE HYDRANT
EX-SM5	SM5	SERVICE & METER (W)
EX-PRV	PRV	PRV (W)
EX-AV	AV	AIR-VAC VALVE (W)
EX-BO	BO	BLOW-OFF (W)
EX-TBO	TBO	TEMP. BLOW-OFF (W)
EX-V	V	VALVE (W & SW)
EX-T	T	TEE
EX-CROSS	CROSS	CROSS
EX-PI45	PI45	PRESSURIZED IRRIGATION 45' PIPE ELBOW (PI)
EX-PI225	PI225	22.5' PIPE ELBOW (PI)
EX-PI1125	PI1125	11.25' PIPE ELBOW (PI)
EX-SW	SW	SINGLE SW SERVICE
EX-DUAL	DUAL	DUAL SW SERVICE
EX-AVPI	AVPI	AIR-VAC VALVE (PI)
EX-BOPI	BOPI	BLOW-OFF (PI)
EX-TBOPI	TBOPI	TEMP. BLOW-OFF (PI)
EX-STOP	STOP	STOP SIGN
EX-STREET	STREET	STREET SIGN
EX-MON	MON	MONUMENT
EX-FENCE	FENCE	FENCE
EX-STREET	STREET	STREET LIGHT
EX-POLE	POLE	POWER POLE
EX-DITCH	DITCH	DITCH
EX-FIBER	FIBER	FIBER OPTIC
EX-GAS	GAS	GAS
EX-OHP	OHP	OVERHEAD POWER
EX-ARROW	ARROW	FLOW ARROW
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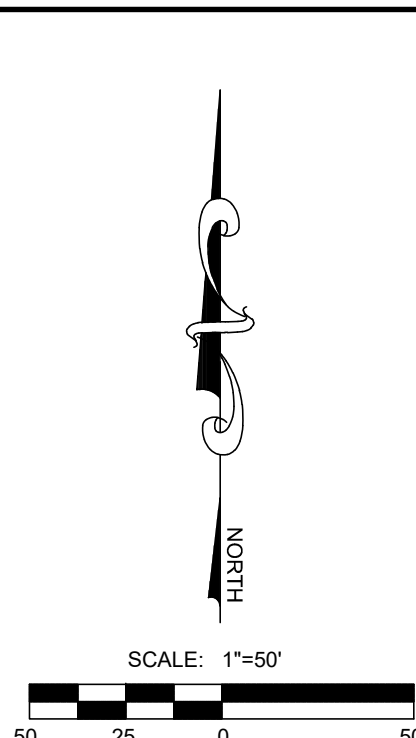
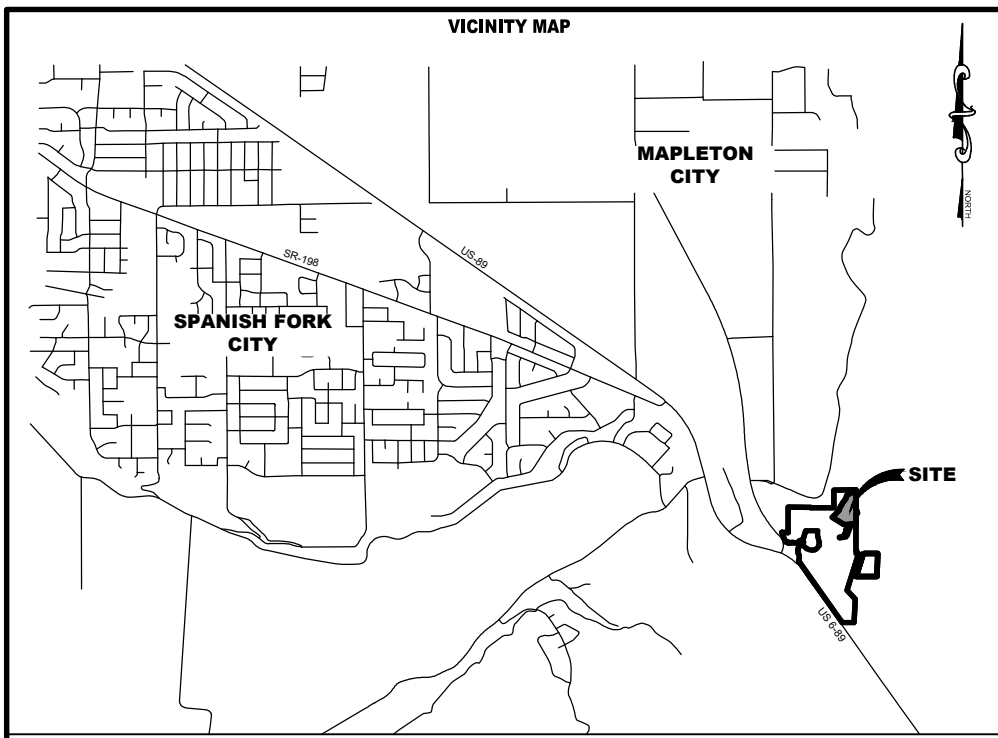
NOT FOR
CONSTRUCTION

HARMONY RIDGE - PLAT K FINAL
MAPLETON, UTAH
COVER

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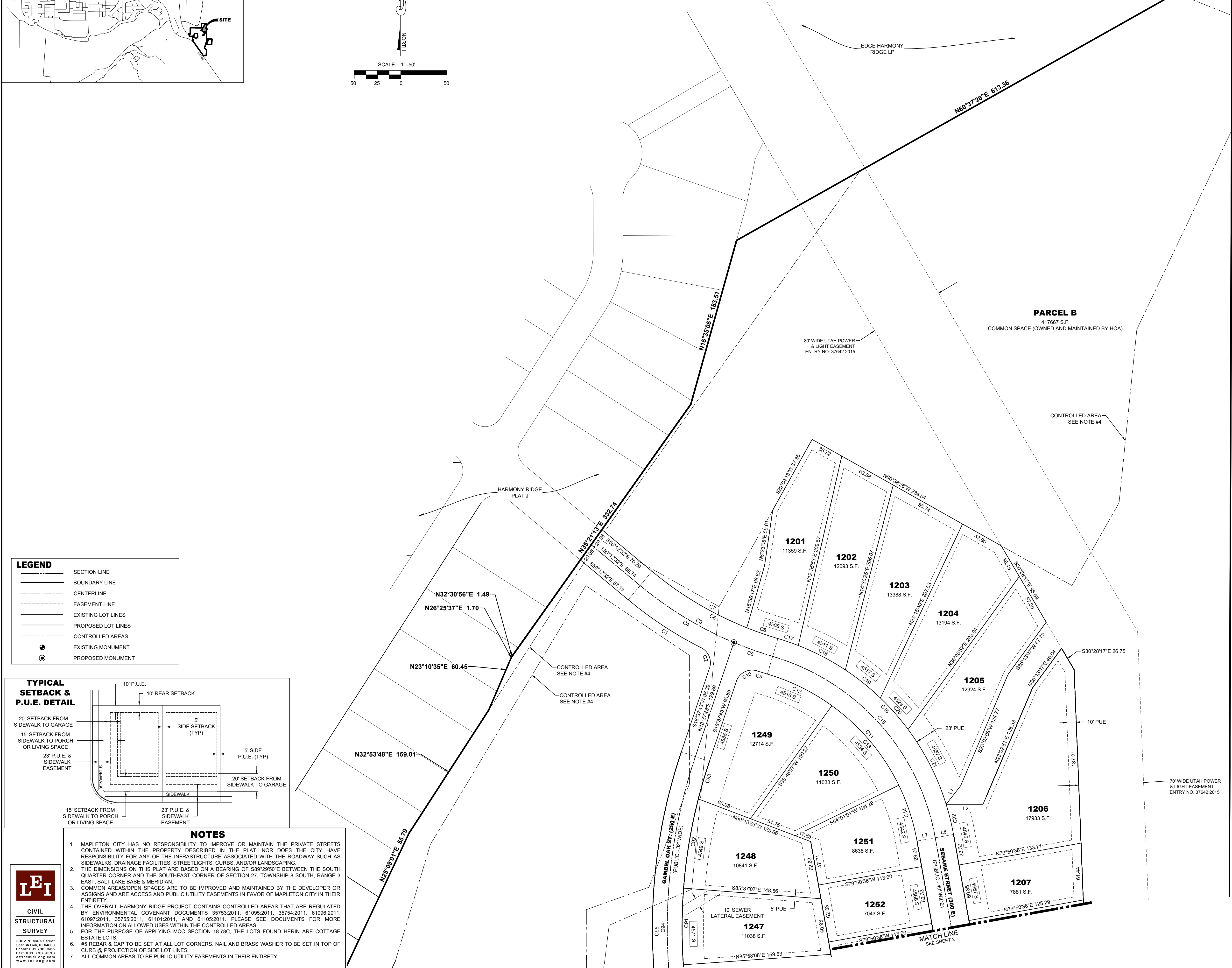
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2022-0022
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DESIGNED BY:
NKW
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05/05/2026

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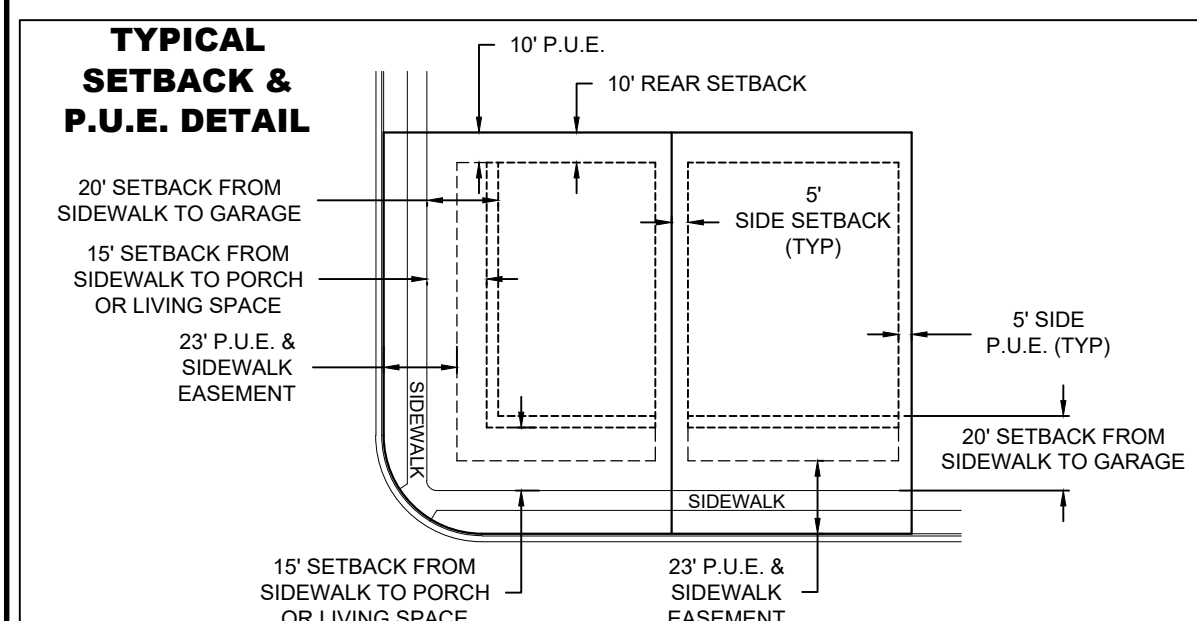
HARMONY RIDGE PLAT K

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26 AND THE SOUTHEAST QUARTER OF SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
CITY OF MAPLETON, UTAH COUNTY, UTAH



LEGEND

- SECTION LINE
- BOUNDARY LINE
- CENTERLINE
- - - EASEMENT LINE
- - - EXISTING LOT LINES
- - - PROPOSED LOT LINES
- - - CONTROLLED AREAS
- EXISTING MONUMENT
- PROPOSED MONUMENT



- NOTES**
- MAPLETON CITY HAS NO RESPONSIBILITY TO IMPROVE OR MAINTAIN THE PRIVATE STREETS CONTAINED WITHIN THE PROPERTY DESCRIBED IN THE PLAT. NOR DOES THE CITY HAVE RESPONSIBILITY FOR ANY OF THE INFRASTRUCTURE ASSOCIATED WITH THE ROADWAY SUCH AS SIDEWALKS, DRAINAGE FACILITIES, STREETLIGHTS, CURBS, AND/OR LANDSCAPING.
 - THE DIMENSIONS ON THIS PLAT ARE BASED ON A BEARING OF S89°29'50"E BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHEAST CORNER OF SECTION 27, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN.
 - COMMON AREAS/OPEN SPACES ARE TO BE IMPROVED AND MAINTAINED BY THE DEVELOPER OR ASSIGNS AND ARE ACCESS AND PUBLIC UTILITY EASEMENTS IN FAVOR OF MAPLETON CITY IN THEIR ENTIRETY.
 - THE OVERALL HARMONY RIDGE PROJECT CONTAINS CONTROLLED AREAS THAT ARE REGULATED BY ENVIRONMENTAL COVENANT DOCUMENTS 35753-2011, 61095-2011, 35754-2011, 61096-2011, 61097-2011, 35755-2011, 61101-2011, AND 61105-2011. PLEASE SEE DOCUMENTS FOR MORE INFORMATION ON ALLOWED USES WITHIN THE CONTROLLED AREAS.
 - FOR THE PURPOSE OF APPLYING MCC SECTION 18.78C, THE LOTS FOUND HEREIN ARE COTTAGE ESTATE LOTS.
 - #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
 - ALL COMMON AREAS TO BE PUBLIC UTILITY EASEMENTS IN THEIR ENTIRETY.



SURVEYOR'S CERTIFICATE
I, RYAN HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 6310734 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 26, THE SOUTHEAST QUARTER OF SECTION 27 AND THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT LOCATED N89°12'04"E ALONG THE SECTION LINE 504.52 FEET AND NORTH 376.29 FEET FROM THE SOUTHWEST CORNER OF SECTION 26, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN; THENCE N58°23'48"W 784.82 FEET; THENCE N08°58'22"W 7.14 FEET TO THE SOUTHERLY BOUNDARY CORNER OF HARMONY RIDGE PLAT I, RECORDED AS ENTRY NO. 15766-2026 IN THE OFFICE OF THE UTAH COUNTY RECORDER; THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES: N54°21'55"E 105.49 FEET; THENCE N40°41'13"E 209.92 FEET; THENCE N43°06'04"E 27.48 FEET; THENCE N43°07'46"E 154.10 FEET TO AND ALONG THE EASTERLY BOUNDARY OF HARMONY RIDGE PLAT J, RECORDED AS ENTRY NO. _____ IN THE OFFICE OF THE UTAH COUNTY RECORDER; THENCE ALONG SAID BOUNDARY THE FOLLOWING ELEVEN (11) COURSES: N36°32'51"E 28.78 FEET; THENCE N25°07'21"E 192.32 FEET; THENCE N25°09'01"E 55.79 FEET; THENCE N32°53'48"E 159.01 FEET; THENCE N23°10'35"E 60.45 FEET; THENCE N26°25'37"E 1.70 FEET; THENCE N32°30'56"E 1.49 FEET; THENCE N35°21'13"E 332.74 FEET; THENCE N15°35'05"E 183.51 FEET; THENCE N60°37'20"E 613.36 FEET; THENCE S00°10'07"W 1090.88 FEET; THENCE N89°29'09"E 15.00 FEET; THENCE S17°29'47"E 245.02 FEET; THENCE S54°32'32"W 91.14 FEET; THENCE S89°57'45"W 15.26 FEET; THENCE S00°10'07"W 587.04 FEET; THENCE S89°38'49"W 122.50 FEET; THENCE S00°23'11"E 1.39 FEET; THENCE S89°38'49"W 32.00 FEET; THENCE N68°17'00"W 100.70 FEET; THENCE S21°43'00"W 656.76 FEET; THENCE S27°47'30"W 95.88 FEET; THENCE S38°15'49"W 67.85 FEET; THENCE N48°09'16"W 108.02 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 76.16 FEET WITH A RADIUS OF 310.00 FEET THROUGH A CENTRAL ANGLE OF 14°04'37", CHORD: S48°19'09"W 75.97 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 30.35 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 86°56'15", CHORD: S11°53'20"W 27.52 FEET; THENCE S58°25'13"W 32.00 FEET; THENCE N31°34'47"W 4.04 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 28.11 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 80°31'01", CHORD: N71°50'18"W 25.85 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 106.02 FEET WITH A RADIUS OF 310.00 FEET THROUGH A CENTRAL ANGLE OF 19°39'43", CHORD: S77°42'03"W 105.50 FEET; THENCE S87°29'54"W 63.99 FEET; THENCE N02°30'06"W 40.00 FEET; THENCE N87°29'54"E 63.99 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 309.99 FEET WITH A RADIUS OF 270.00 FEET THROUGH A CENTRAL ANGLE OF 65°46'54", CHORD: N54°36'27"E 293.24 FEET; THENCE N21°43'00"E 203.44 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 31.53 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 90°20'23", CHORD: N23°27'11"W 28.37 FEET; THENCE N21°22'37"E 32.00 FEET; THENCE S68°37'23"E 0.43 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 31.30 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 89°39'37", CHORD: N66°32'49"E 28.20 FEET; THENCE N21°43'00"E 303.01 FEET; THENCE N68°17'00"W 12.50 FEET; THENCE N89°52'14"W 242.79 FEET TO THE POINT OF BEGINNING.
CONTAINS: ±1733237 SQUARE FEET OR 39.79 ACRES

DATE _____ SURVEYOR _____
(See Seal Below)

OWNERS DEDICATION
KNOW ALL BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20 _____

LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT
STATE OF UTAH _____ S.S. _____
COUNTY OF _____
ON THIS _____ DAY OF _____, A.D. 20 _____, PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT (S)HE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY LEGISLATIVE BODY
THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS; EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20 _____

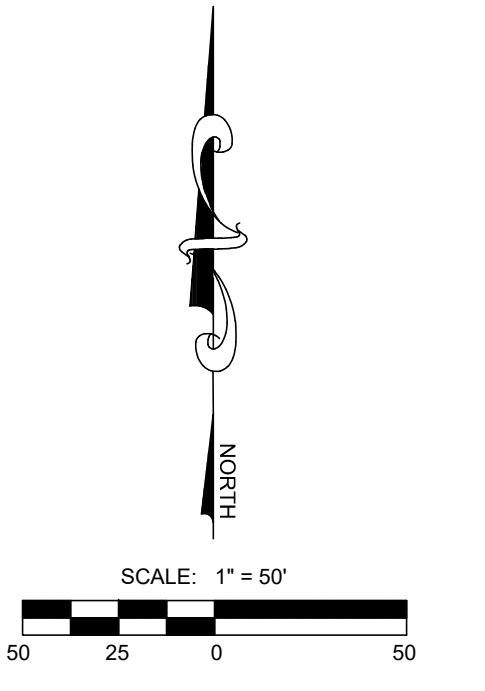
APPROVED BY _____ ATTEST _____
ENGINEER (See Seal Below) CLERK-RECORDER (See Seal Below)

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, A.D. 20 _____ BY THE _____ PLANNING COMMISSION
DIRECTOR-SECRETARY _____ CHAIR, PLANNING COMMISSION _____

**HARMONY RIDGE
PLAT K**
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26 AND THE SOUTHEAST QUARTER OF SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
CITY OF MAPLETON, UTAH COUNTY, UTAH

SHEET 1 OF 3

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
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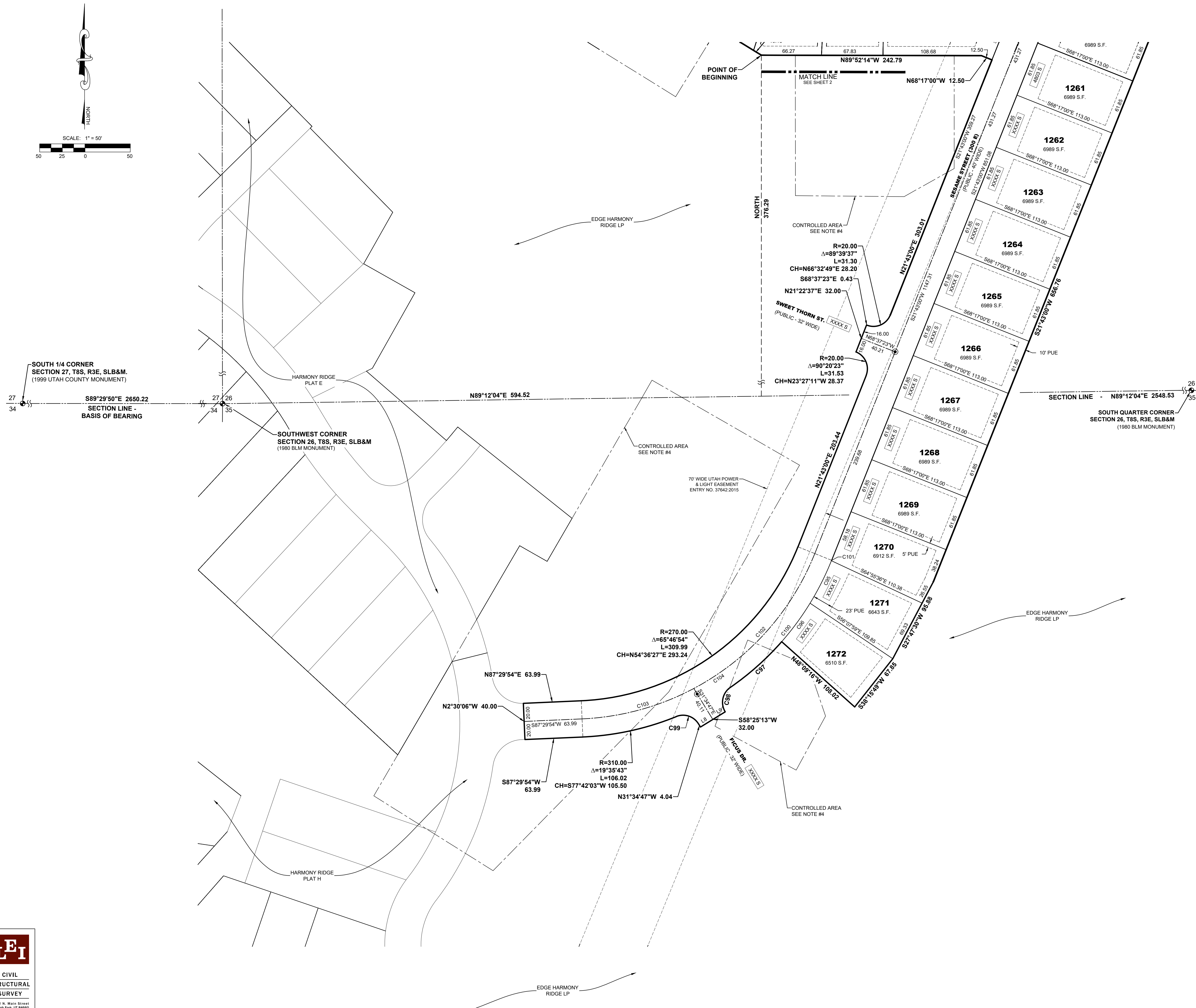
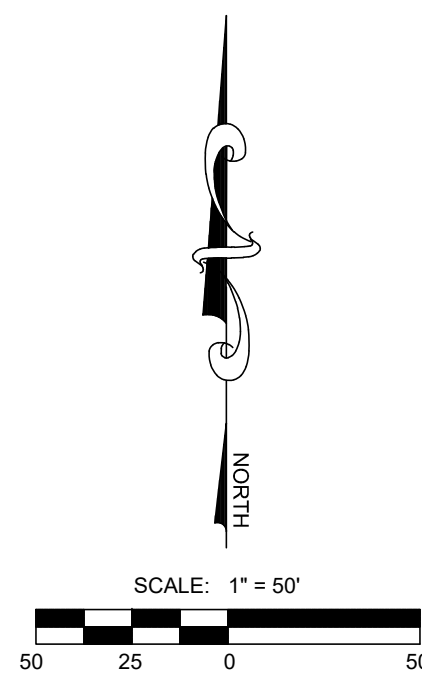
LEGEND	
	SECTION LINE
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	CONTROLLED AREAS
	EXISTING MONUMENT
	PROPOSED MONUMENT

HARMONY RIDGE PLAT K

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26 AND THE SOUTHEAST QUARTER OF SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
CITY OF MAPLETON, UTAH COUNTY, UTAH

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0055
Fax: 801.798.3333
off@leisurvey.com
www.lei-eng.com

This form approved by Utah County and the municipalities therein.



CURVE TABLE				CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD	CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	420.00	12°53'34"	94.51	S56°39'19"E 94.31	C56	176.00	15°04'40"	46.32	S48°35'03"E 46.18
C2	18.00	81°43'49"	25.68	N22°14'11"W 23.55	C57	176.00	15°04'40"	46.32	S33°30'23"E 46.18
C3	400.00	23°22'28"	163.18	S61°53'45"E 162.05	C58	176.00	6°21'54"	19.55	S22°47'06"E 19.54
C4	400.00	17°00'18"	118.72	S58°42'41"E 118.28	C59	160.00	69°13'03"	193.29	S54°12'40"E 181.75
C5	400.00	6°22'08"	44.46	S70°23'54"E 44.44	C60	144.00	69°13'03"	173.96	S54°12'40"E 163.57
C6	380.00	23°22'28"	155.02	S61°53'45"E 153.95	C61	33.00	45°34'23"	26.25	N42°23'21"W 25.56
C7	380.00	18°01'35"	119.56	S59°13'20"E 119.06	C62	33.00	45°34'23"	26.25	S3°11'02"W 25.56
C8	380.00	5°20'51"	35.47	S70°54'33"E 35.45	C63	37.00	271°08'46"	175.10	S70°23'51"W 51.80
C9	420.00	1°33'26"	11.42	S72°48'15"E 11.42	C64	37.00	39°36'42"	25.58	S45°22'11"E 25.07
C10	18.00	89°20'45"	28.07	S63°18'06"W 25.31	C65	37.00	45°01'05"	29.07	S3°03'17"E 28.33
C11	230.00	63°25'36"	254.61	S41°52'10"E 241.81	C66	37.00	45°01'05"	29.07	S41°57'48"W 28.33
C12	230.00	19°23'05"	77.82	S63°53'26"E 77.44	C67	37.00	45°01'05"	29.07	S86°58'54"W 28.33
C13	230.00	28°12'54"	113.26	S40°05'26"E 112.12	C68	37.00	45°01'05"	29.07	N48°00'01"W 28.33
C14	230.00	15°49'37"	63.53	S18°04'11"E 63.33	C69	37.00	45°01'05"	29.07	N2°58'56"W 28.33
C15	250.00	63°25'36"	276.75	S41°52'10"E 262.83	C70	37.00	6°28'37"	4.16	N22°44'55"E 4.16
C16	270.00	63°25'36"	298.89	S41°52'10"E 283.86	C71	20.00	89°39'37"	31.30	N66°32'49"E 28.20
C17	270.00	4°55'51"	23.24	S71°07'03"E 23.23	C72	18.00	95°30'23"	30.00	N26°02'11"W 26.85
C18	270.00	12°10'08"	57.34	S62°34'03"E 57.24	C73	18.00	84°29'37"	26.54	N63°57'49"E 24.20
C19	270.00	10°16'53"	48.45	S51°20'32"E 48.38	C74	150.00	74°12'58"	194.30	S36°40'54"E 181.00
C20	270.00	9°36'36"	45.29	S41°23'47"E 45.23	C75	150.00	14°51'12"	38.89	S66°21'47"E 38.78
C21	270.00	19°18'35"	91.00	S29°56'12"E 90.57	C76	150.00	59°21'46"	155.41	S29°15'18"E 148.55
C22	270.00	7°07'32"	33.58	S13°43'08"E 33.56	C77	134.00	74°12'58"	173.57	N36°40'54"W 161.69
C23	180.00	28°36'58"	89.90	S24°27'51"E 88.97	C78	118.00	74°12'58"	152.85	S36°40'54"E 142.38
C24	200.00	28°36'58"	99.89	S24°27'51"E 98.85	C79	118.00	11°06'03"	22.93	S68°13'21"E 22.89
C25	220.00	28°36'58"	109.88	S24°27'51"E 108.74	C80	118.00	63°04'55"	129.92	S31°06'52"E 123.45
C26	220.00	4°07'58"	15.87	S12°13'22"E 15.87	C81	266.00	24°38'20"	114.39	N11°53'35"W 113.51
C27	220.00	14°07'35"	54.24	S21°21'08"E 54.10	C82	266.00	12°53'36"	59.86	N16°12'32"W 59.73
C28	220.00	10°21'24"	39.77	S33°35'38"E 39.71	C83	266.00	10°11'20"	47.30	N4°40'04"W 47.24
C29	180.00	60°29'20"	190.03	S8°31'40"E 181.33	C84	266.00	11°33'24"	7.23	N23°26'02"W 7.23
C30	180.00	43°44'27"	137.42	S16°54'06"E 134.10	C85	250.00	24°38'20"	107.51	N11°53'35"W 106.68
C31	180.00	16°44'53"	52.62	S13°20'34"W 52.43	C86	234.00	24°38'20"	100.63	N11°53'35"W 99.85
C32	200.00	60°29'20"	211.15	S8°31'40"E 201.48	C87	563.00	42°50'27"	420.96	S2°47'31"E 411.23
C33	220.00	60°29'20"	232.28	S8°31'40"E 221.62	C88	563.00	3°23'38"	33.35	S22°30'56"E 33.34
C34	220.00	9°28'26"	36.38	S34°02'07"E 36.34	C89	563.00	8°23'19"	82.43	S16°37'27"E 82.35
C35	220.00	25°28'30"	97.82	S16°33'39"E 97.01	C90	563.00	8°23'55"	82.53	S8°13'50"E 82.45
C36	220.00	15°10'33"	58.27	S3°45'52"W 58.10	C91	563.00	8°24'46"	82.67	S0°10'31"W 82.59
C37	220.00	10°21'52"	39.80	S16°32'04"W 39.74	C92	563.00	9°56'30"	97.69	S9°21'09"W 97.57
C38	18.00	95°30'23"	30.00	S26°02'11"E 26.65	C93	563.00	4°18'19"	42.31	S16°28'33"W 42.30
C39	116.00	73°24'12"	148.81	N37°05'17"W 138.65	C94	579.00	42°50'27"	432.93	N2°47'31"W 422.91
C40	116.00	5°56'07"	12.02	N70°49'19"W 12.01	C95	595.00	42°50'27"	444.89	S2°47'31"E 434.60
C41	116.00	21°14'55"	43.02	N57°13'49"W 42.77	C96	310.00	9°45'10"	52.77	N36°24'15"E 52.70
C42	116.00	21°14'37"	43.01	N35°59'03"W 42.76	C97	310.00	14°04'37"	76.16	S48°19'09"W 75.97
C43	116.00	21°14'45"	43.01	N14°44'22"W 42.77	C98	20.00	86°56'15"	30.35	S11°53'20"W 27.52
C44	116.00	3°43'48"	7.55	N2°15'05"W 7.55	C99	20.00	80°31'01"	28.11	N71°50'18"W 25.85
C45	100.00	73°24'12"	128.11	N37°05'17"W 119.53	C100	310.00	33°38'27"	182.02	N38°32'14"E 179.41
C46	84.00	73°24'12"	107.61	N37°05'17"W 100.40	C101	310.00	9°48'40"	53.08	N26°37'20"E 53.02
C47	18.00	84°29'37"	26.54	S63°57'49"W 24.20	C102	290.00	40°20'07"	204.15	N41°53'03"E 199.97
C48	20.00	90°20'23"	31.53	N23°27'11"W 28.37	C103	290.00	25°26'48"	128.80	N74°46'31"E 127.74
C49	144.00	20°11'49"	50.76	N78°43'17"W 50.50	C104	290.00	65°46'54"	332.95	S54°36'27"W 314.96
C50	160.00	20°11'49"	56.40	S78°43'17"E 56.11					
C51	176.00	20°11'49"	62.04	N78°43'17"W 61.72					
C52	176.00	69°13'03"	212.62	S54°12'40"E 199.92					
C53	176.00	1°56'50"	5.98	S87°50'47"E 5.98					
C54	176.00	15°04'40"	46.32	S79°20'02"E 46.18					
C55	176.00	15°40'19"	48.14	S63°57'33"E 47.99					

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S38°01'28"W	25.46
L2	N90°00'00"W	39.73
L3	S38°46'20"E	18.48
L4	S38°46'20"E	16.09
L5	S38°46'20"E	18.48
L6	N79°50'38"E	20.00
L7	N79°50'38"E	20.00
L8	N58°25'13"E	16.00
L9	N58°25'13"E	16.00

LEGEND	
---	SECTION LINE
---	BOUNDARY LINE
---	CENTERLINE
---	EASEMENT LINE
---	EXISTING LOT LINES
---	PROPOSED LOT LINES
---	CONTROLLED AREAS
●	EXISTING MONUMENT
○	PROPOSED MONUMENT

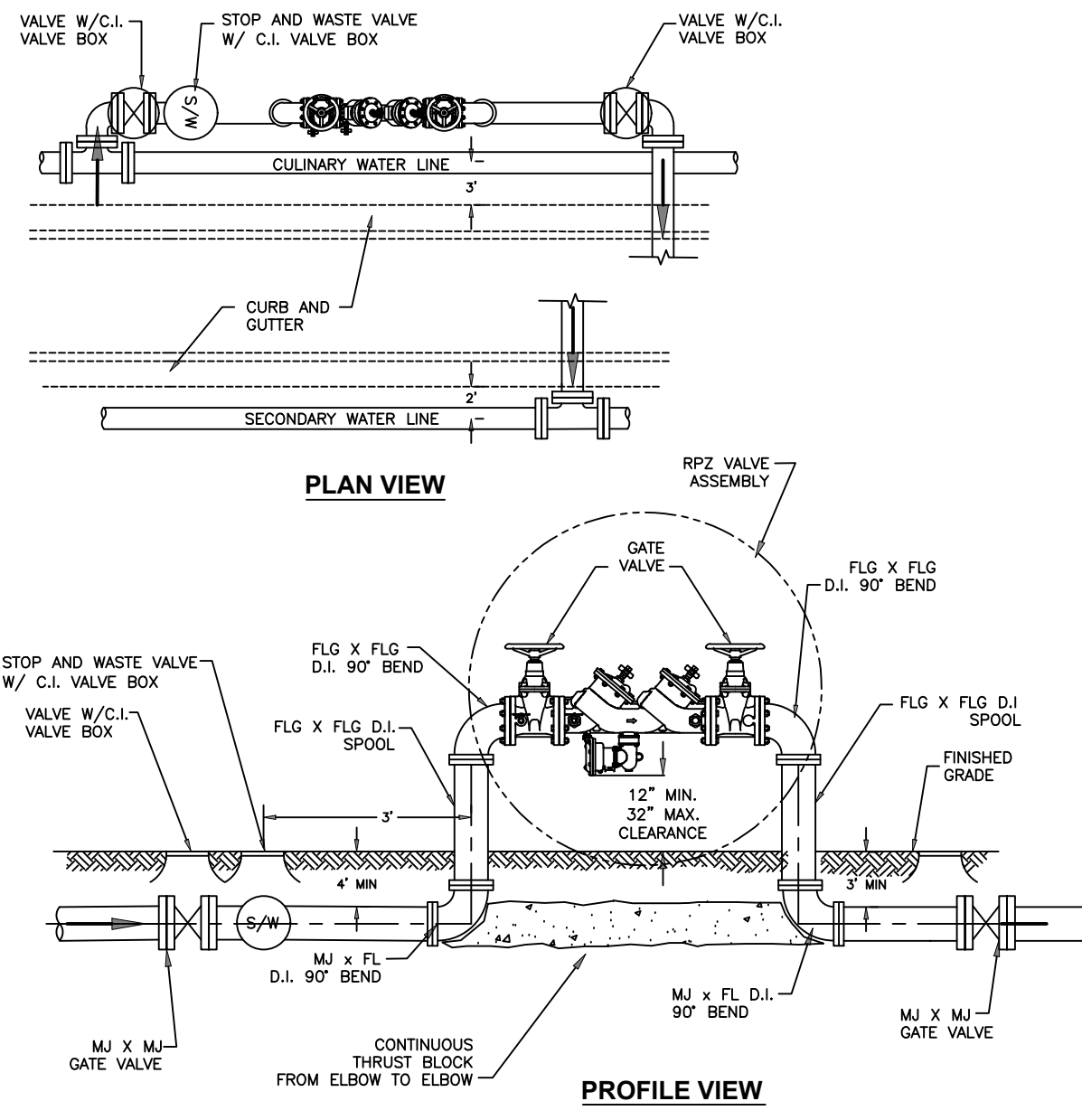
HARMONY RIDGE PLAT K

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26 AND THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN CITY OF MAPLETON, UTAH COUNTY, UTAH



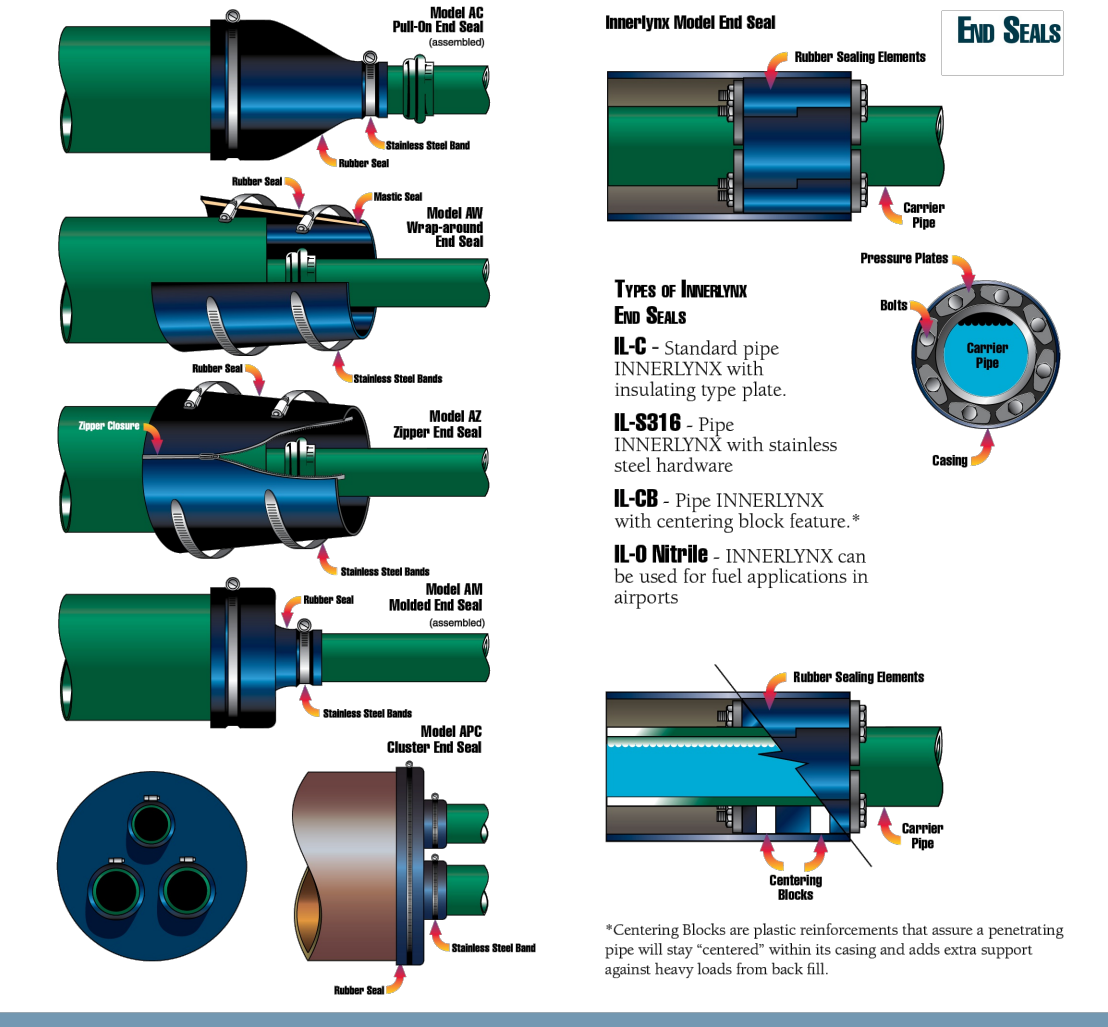
NOT FOR
 CONSTRUCTION

HARMONY RIDGE - PLAT K FINAL
 MAPLETON, UTAH
 CONSTRUCTION DETAILS #3



- NOTES:**
1. TO BE USED WHEN CHARGING THE PI SYSTEM WITH CULINARY WATER.
 2. RPZ VALVE ASSEMBLY & PIPES TO MATCH PI MAIN SIZE.
 3. ABOVE GROUND FITTINGS TO BE EPOXY PAINTED BLUE ON THE CULINARY SIDE, PURPLE ON THE PI SIDE.
 4. SHOP DRAWINGS TO BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO SHIPMENT.
 5. THE RPZ ASSEMBLY SHALL BE VERIFIED PER MANUFACTURERS RECOMMENDATIONS.
 6. PROVIDE BOLLARDS OR OTHER PROTECTION IF AND AS DIRECTED BY CITY INSPECTOR.

1 RPZ BACKFLOW CROSS CONNECT DETAIL



APS manufactures full conical shaped end seals in the seamless pull-on, wrap-around, zipper and cluster styles. All five are made of 1/8" thick synthetic rubber assuring excellent chemical resistance and resiliency and can accommodate any combination of pipe sizes. These products out perform the costly and labor intensive brick and mortar method of sealing casing ends. While soil stress and pipe movement cause mortar to crack, the APS End Seals move with the pipe, ensuring the integrity of your seal.

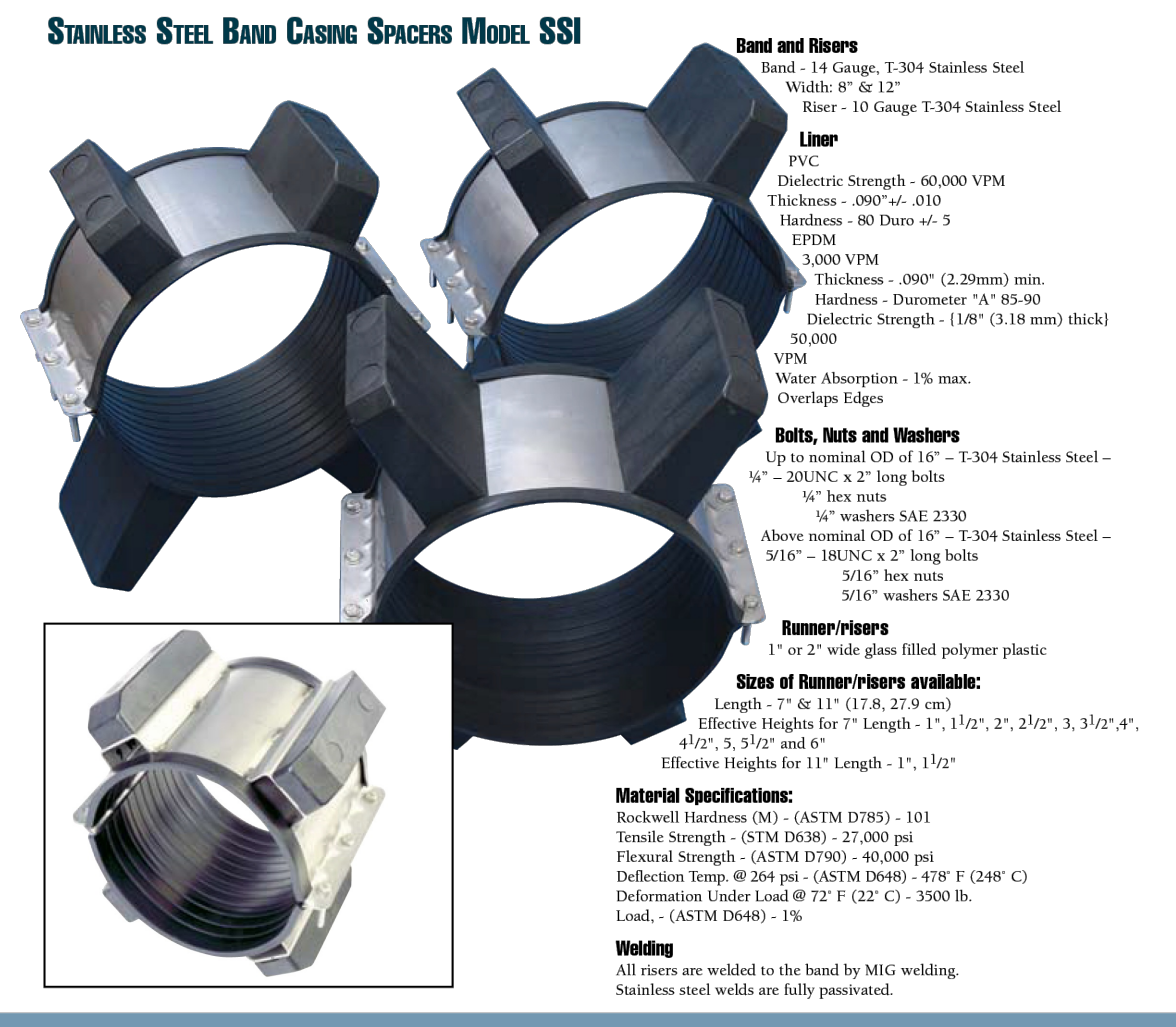
The model AC and AM end seals can easily be installed at the time of construction. Models AC, AW and AZ can be produced in concentric (for centered carrier pipes) and eccentric (for non-centered pipes). The model AW wrap-around end seals are designed to facilitate installation when the carrier line has already been installed and the pull is complete. Simply wrap around the carrier and casing, remove the release liner from the two pressure sensitive based mastic strips and press the adhesive strips down to form a seal.

Model AZ, zipper type end seal, is designed for use on new construction and on existing casings that require modifications or extension. Stainless steel zippers are pressure molded to the rubber and feature a protective rubber stop attached to the seal under the zipper to prevent damage or abrasion to the pipe. They are also easy to install. The seal wraps around the casing end and carrier pipe and zips shut to provide a tight seal while still allowing for pipe movement.

Model APC, cluster end seals, are now available for multi-carrier installations. Contact customer service for more information. All five types of APS End Seals are secured with 1-304 stainless steel banding straps with a 100% non-magnetic worm gear mechanism to insure the integrity of the clamp. Only a screwdriver is needed for installation.

In addition, InnerLynx forms a mechanical seal between pipelines and casing. InnerLynx forms a hydrostatic seal and electrically insulate the carrier pipe from the casing. InnerLynx can be installed by one person and requires no special tools.

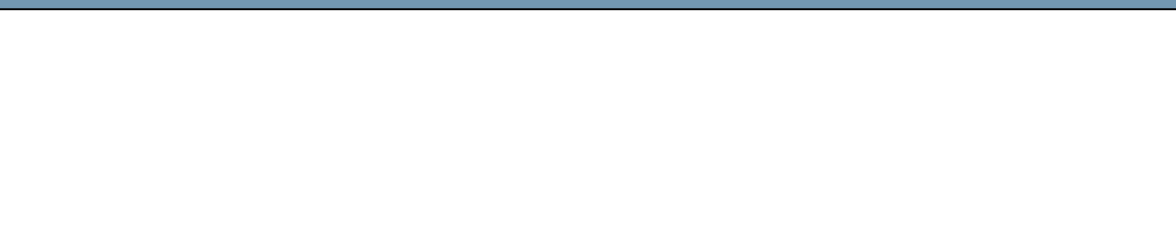
3 PIPE CASING DETAILS



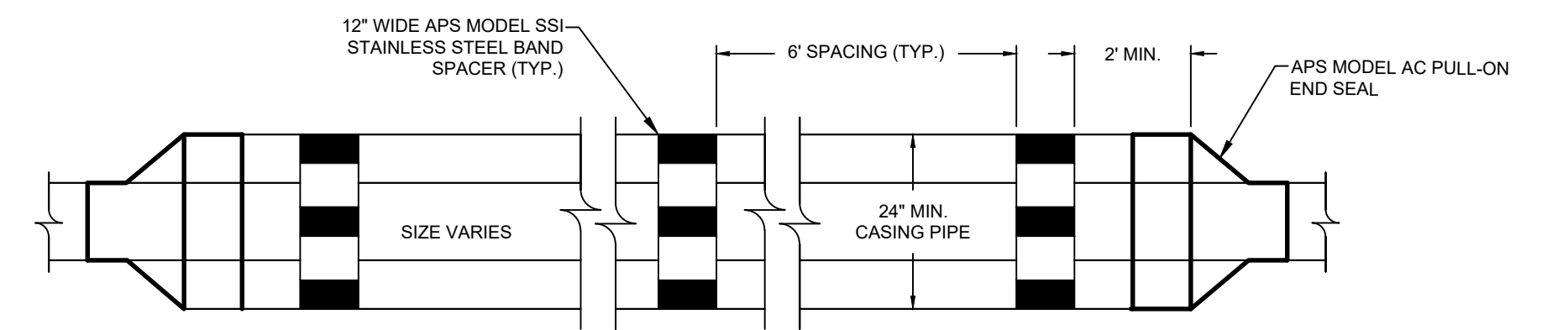
Stainless Steel Band Spacers & Runners (Main SSI)

Heavy duty two-piece stainless steel bands serve practically every piping application and should be utilized inside casing that is 2 or 3 sizes larger than the carrier pipe. APS stainless steel band casing spacers are available in two models: the SSB model, which is 8" in width and recommended for carrier pipe 4" to 24", and the SSI12 model, which is 12" in width and is recommended for pipe 20" to 120" and larger. Stainless steel band spacers are recommended for every 8 to 8 feet of pipeline.

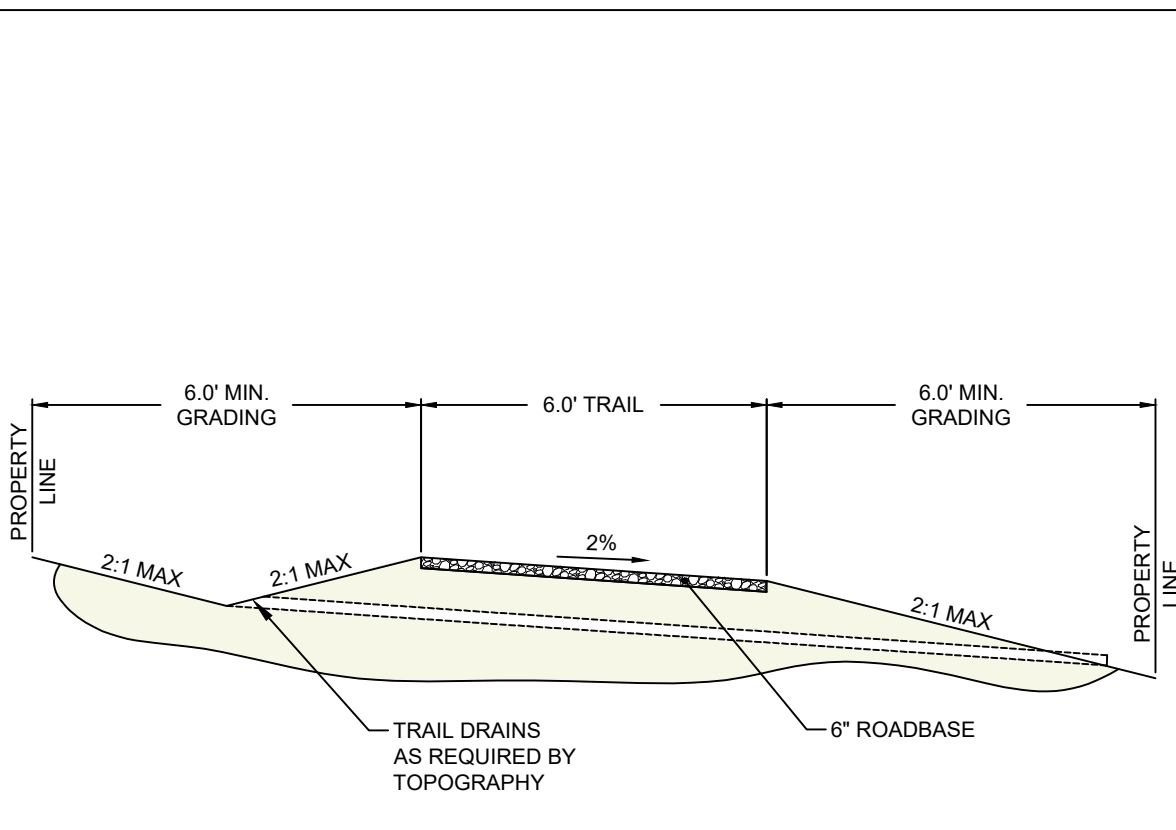
For larger diameter pipelines and bell and spigot applications, APS Spacers are available with runners/risers to provide an extra margin of safety. The bands are constructed of 14 gauge stainless steel with a 0.008" EPDM liner. Stainless steel spacers are available in grade 304.



4 6' SOFT TRAIL CROSS SECTION WITH SWALE



- NOTE:**
1. PROVIDE CATHODIC PROTECTION FOR STEEL CASING.
 2. CONSTRUCTION OBSERVATION BY RAILPROS IS REQUIRED.



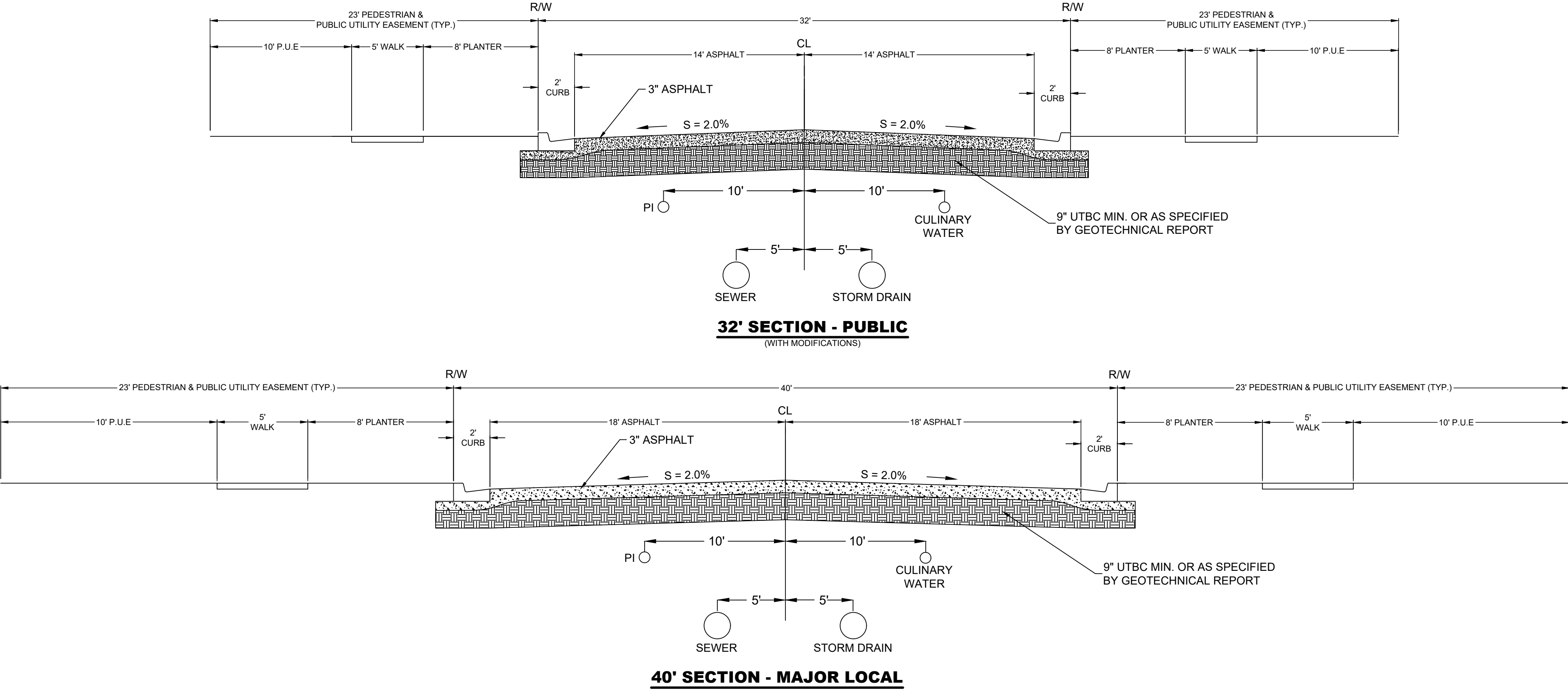
- NOTES:**
1. REVEGETATE DISTURBED SLOPES ACCORDING TO CITY STANDARDS.
 2. WHERE TRAIL FOLLOWS CREST OF HILL NO DRAINAGE REQUIRED.

Specifications for compacted two inch (2") dolomite limestone material:

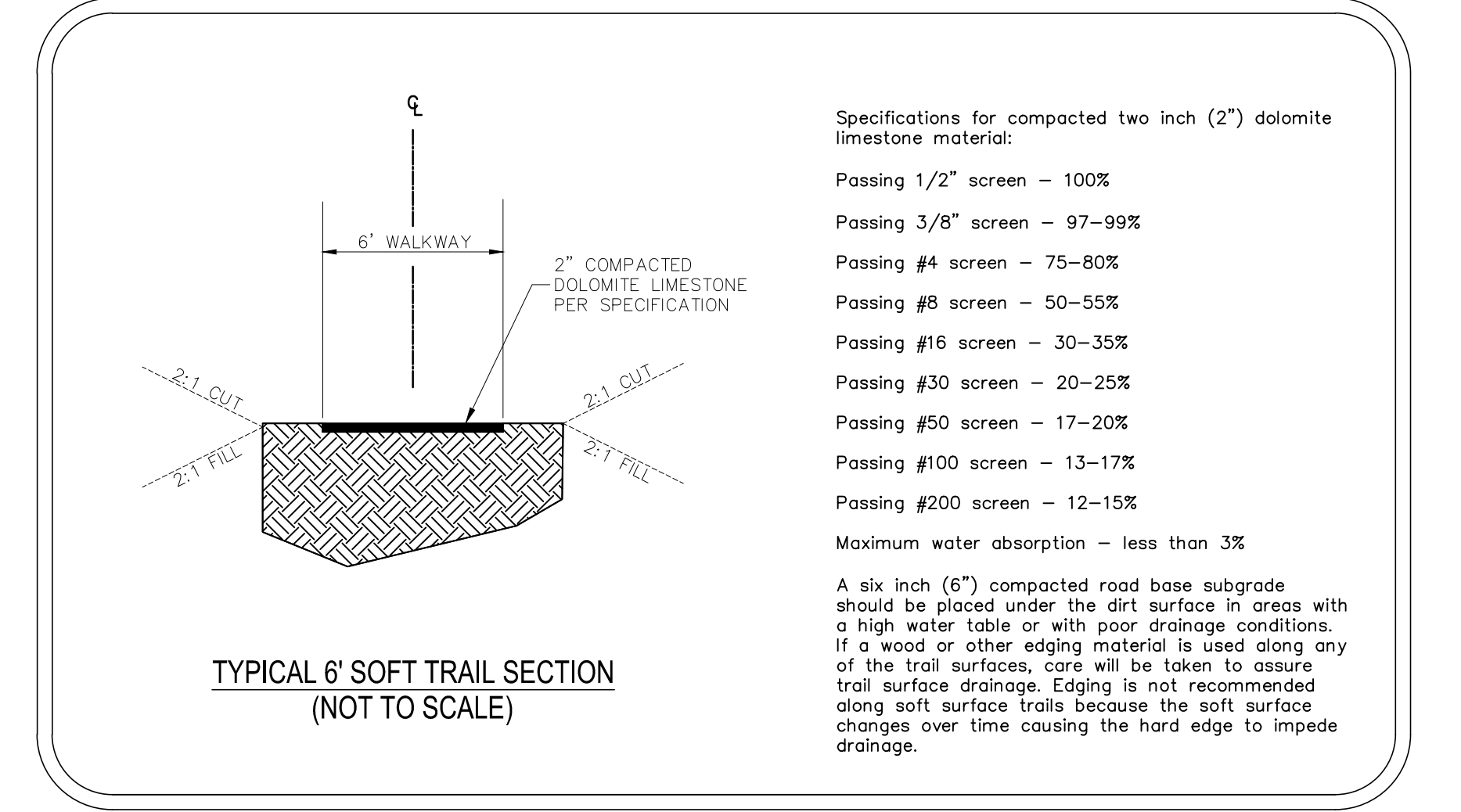
Passing 1/2" screen - 100%
 Passing 3/8" screen - 97-99%
 Passing #4 screen - 75-80%
 Passing #8 screen - 50-55%
 Passing #16 screen - 30-35%
 Passing #30 screen - 20-25%
 Passing #50 screen - 17-20%
 Passing #100 screen - 13-17%
 Passing #200 screen - 12-15%
 Maximum water absorption - less than 3%

A six inch (6") compacted road base subgrade should be placed under the dirt surface in areas with a high water table or with poor drainage conditions. If a wood or other edging material is used along any of the trail surfaces, care will be taken to assure trail surface drainage. Edging is not recommended along soft surface trails because the soft surface changes over time causing the hard edge to impede drainage.

2 CROSS SECTION DETAILS



5 6' SOFT TRAIL CROSS SECTION



REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #:
 2022-0022
 DRAWN BY:
 CJI/BAP
 DESIGNED BY:
 NKW
 SCALE:
 N.T.S.
 DATE:
 05/05/2026

SHEET
603

U:\V_L\PROJECTS\2022\0022-0022 HARMONY RIDGE - MAPLETON\ROADWAY\FINALS\PLAT K\3022-0022 HARMONY RIDGE - PLAT K - DETAILING 5/4/2026 4:44 PM



Development Review Committee Minutes

June 1, 2026

On, May 26, 2026, revised plans were submitted for the Harmony Ridge Plat "K" subdivision consisting of 72 lots. The items below include 1) requested changes to the submitted plans, 2) other items required as part of the application and/or 3) informational items regarding city standards.

Community Development Division

Sean Conroy, Community Development Director
Phone: (801) 806-9101
Email: sconroy@mapleton.org

1. Please include the addresses shown to the redlined plat.

Engineering and Public Works Division

Rob Hunter, P.E. Public Works Director/City Engineer
Phone (801) 489-6253
Email: rhunter@mapleton.org
Seth Barrus, P.E. Assistant City Engineer
Phone (801) 489-6253
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Engineering Reports

1. Ensure that Culinary and PI Pipe sizing matches the hydraulic memo. Pipe in Sesame Street to be upsized from 8" to 10".
2. The Geotechnical Report states in section 6.8 of "Pavement Section" that a "minimum of 10" of UTBC is to be used for 3" pavement sections on sand and gravel soils. Where clay or silt soils are exposed, the UTBC should be increased to 15". Alternatively, a pavement section consisting of 3" asphalt over 6" UTBC over 6" of subbase may be used for pavements of sand and gravel soil. For pavements on clay and silt soils the granular borrow should be increased to 12 inches."
 - a. The roadway cross section detail in the plan set currently states 9" on UTBC. Please review Geotechnical report and update the pavement cross section accordingly. Sheet 603.
3. As phases closest to the frontal canyons are being submitted, it does not appear that the overall development geotechnical report addresses debris flow potential from those frontal canyons. In the drainage report, protective drainage swales are proposed in principal to protect from frontal canyon runoff, though there are not any



sizing calculations. A geotechnical assessment of debris flow potential from the frontal canyons is needed, with recommendations for sediment bulking and/or debris protection such as debris fences or a debris basin. Protective drainage swales for frontal canyon flows should then be sized accordingly and shown on the plans.

Required Modifications to Plans

1. Professional Engineering stamp and signature required on the final plans.

Streets

1. Stub street Gamble Oak is required to have a temporary turn-around at the end of the stub (see sheet 201).
2. Approved cul-de-sacs are required to be designed with at least a 45-foot radius. The cul-de-sac in Pando Ct currently shows a 37-foot radius.
3. Bulb-outs are required on all legs at the intersections of minor and major streets. Update the following intersections accordingly:
 - a. Pando Ct and Sesame Street
 - b. Gambel Oak St and Sesame Street on both instances.
 - c. Sweet Thorn St and Sesame Street
 - d. Ficus Street and Sesame Street
4. Ensure that the K-value for all vertical curves for all sags is greater than or equal to 26. See sheet 401 at Sta. 23+64.43 and sheet 406 at Sta. 44+06.89.

Sewer

1. Increase the slope of the sewer main in Pando Ct. to 1% to ensure proper scouring velocity. (see sheet 407)
 - a. Or provide updated sewer calculations to show that a scouring velocity of 2 fps is met in these pipes.

Storm Drain

1. A 20' stormdrain easement is required where the offsite 30" SD pipe and casing cross into lot 1201. Sheet 201.

Culinary Water

1. The hydraulic memo indicates the culinary water pipelines in Sesame Street should be 10". Update the plans to show the upsize from 8" to 10".

Pressurized Irrigation

1. The PI valve coming from Gamble Oak St as it crosses the RMP easement towards Ficus St needs to be moved from out of the future park strip and into the roadway. Sheet 202.



Informational Items

These items are intended for reference purposes only. Notice to proceed with construction will not be given until these items are either noted on the plans or discussed in a pre-construction meeting).

An excavation permit, available online at www.mapleton.org will be required for all work performed in the city right-of-way.

A 2" conduit system with services to each home will be required in the PUE. Please note such on the plans. Contractor to contact Public Works for details.

All utility crossings will be marked with etchings in the back of curb.

Public Works inspections will be required on all utilities prior to backfill. Inspections will include GPS data collection of all fittings and appurtenances.

Please follow APWA standards and specifications unless otherwise identified in the Mapleton City Supplement to APWA Standards and Specifications available online at www.mapleton.org.

A Storm Water Pollution Prevention Plan (SWPPP) permit will be required. Please contact JD Shepherd at Mapleton City Public Works with questions.

Any work on Mapleton Irrigation Company ditches will be approved by the Irrigation Company.

Any work on dry utilities including but not limited to power, gas, and communications will be coordinated and approved by the relevant utility company and must be installed within the public utility easement.

Concrete Collars will be required on all valves and manholes in the roadway.

Any work in UDOT Right-of-Way will require a separate UDOT access and encroachment permit.

Please ensure 10' separation between culinary water and sanitary sewer lines.

A maintenance plan and agreement will be required and recorded for all storm drain retention basins.

A note must be placed on the plans to identify any existing fences and/or improvements on adjacent properties. If construction requires the removal of or results in damage to these items, they must be replaced before the final development inspection can be completed.



A stamped and signed plan set will be delivered electronically to the City Engineer prior to commencement of any construction.

FYI, Prior to plat recording:

- Revise drawings to address any outstanding issues raised in the DRC comments and/or project conditions.
- Applicant may choose to either 1) establish a performance bond and durability bond agreement prior to plat recording (see attached bond estimate) or 2) to install any required improvements (i.e. utilities, roads, curb, gutter, sidewalk, etc.) without a performance bond (10% durability bond still required). If option 2 is selected, the plat will not be recorded until the City has accepted the improvements.
- Payment of engineering inspection fee of \$16,200.
- Payment of slurry seal fees of \$.38 a square foot of public asphalt.
- Pay all rollback taxes if applicable.
- Submit final mylar with all required signatures.
- Submit a check made out to Utah County Recorder for \$50 per page + \$2 per lot.
- The water dedication requirement for this phase is 51.93 acre-feet (25.2 indoor, 26.73 outdoor). Half of the outdoor water requirement, or 13.4 acre-feet must be purchased from the City's ULS allocation for \$68,340. The remaining will be deducted from your total credit.
- Contact post office regarding cluster mailbox.
- Payments to be included with building permit per lot:
 - Boundary Adjustment Fee = \$6,687.73