



ALPINE CITY PLANNING COMMISSION MEETING

NOTICE is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah will hold a **Public Hearing and a Regular Meeting at Alpine City Hall**, 20 North Main, Alpine, Utah on **Tuesday, March 3, 2015 at 7:00 pm** as follows:

I. GENERAL BUSINESS

- | | |
|-----------------------------|-----------------|
| A. Welcome and Roll Call: | Steve Cospes |
| B. Prayer/Opening Comments: | Chuck Castleton |
| C. Pledge of Allegiance: | By Invitation |

II. PUBLIC COMMENT

Any person wishing to comment on any item not on the agenda may address the Planning Commission at this point by stepping to the microphone and giving his or her name and address for the record.

III. ACTION ITEMS

- A. State Farm and Alpine Capital Office Building Site Plan - 134 South Main Street - Eli Slesk and Brandon Maughan**
The Planning Commission will review the site plan for a new office building; specifically a preliminary architectural design.
- B. River Meadows Senior Living Phase 4 Revised Site Plan - 134 E. Red Pine Drive - Patterson Construction**
The Planning Commission will review some revisions to a building pad alignment for the final phase of this development.
- C. Melby Property Annexation Proposal**
A proposal regarding annexation of property at the north end of the City will be presented to the Planning Commission.
- D. Article 3.22 Non-Conforming Ordinance Amendment**
A proposed amendment will be presented to the Planning Commission that would amend the Non-Conforming Ordinance.

IV. COMMUNICATIONS

V. APPROVAL OF PLANNING COMMISSION MINUTES: February 17, 2014

ADJOURN

Chairman Steve Cospes
January 27, 2015

THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS. If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being a bulletin board located inside City Hall at 20 North Main and located in the lobby of the Bank of American Fork, Alpine Branch, 133 S. Main, Alpine, UT; and the bulletin board located at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html.

PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length, and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing v. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: State Farm Insurance and Alpine Capital Office Building Site Plan

FOR CONSIDERATION ON: 3 March 2015

PETITIONER: Eli Slesk and Brandon Maughan

**ACTION REQUESTED BY PETITIONER: Make Recommendation of
Approval to City Council**

**APPLICABLE STATUTE OR ORDINANCE: Article 3.7 (Business/Commercial)
Article 3.11 (Gateway/Historic)**

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

At the February 17, 2015 Planning Commission meeting, the preliminary architectural drawings were discussed extensively. The Planning Commission asked that some new drawings be created implementing some of the ideas that were discussed that night. The Planning Commission will review these new drawings and consider making a recommendation to the City Council regarding the site plan.

STAFF RECOMMENDATION:

Staff recommends that approval of the proposed site plan be granted provided the following items are addressed:

- **An exception be considered by the Planning Commission and City Council regarding setbacks.**
- **An exception be considered by the Planning Commission and City Council regarding six (6) parking stalls location within the setback.**
- **An agreement provided between property owners regarding the excess parking stall proposed to be on the adjacent property be considered by the Planning Commission and City Council.**
- **No trees be planted within the sight triangle and other landscaping be placed in a way that will never affect visibility on the Corner of 120 South and Main Street.**
- **The preliminary architectural design drawings be considered by the Planning Commission and City Council.**



Date: February 17, 2015

By: Jason Bond
City Planner

**Subject: Planning and Zoning Review - UPDATED
State Farm Insurance Building Site Plan
134 South Main Street**

Background

The proposed State Farm Insurance office building is located on the corner of Main Street and 120 South. The property is 10,043 square feet and is located in the Business Commercial zone. Office buildings are a permitted use in the BC zone. The proposed building will be 2 stories with 2,497.75 square feet per floor.

The Gateway/Historic zone will also apply to this proposal. The Gateway/Historic zone gives the Planning Commission the ability to allow flexibility to the requirements set forth in the BC zone. The Planning Commission may recommend exceptions regarding parking, building height, signage, setbacks and use if it finds that the plans proposed better implement the design guidelines to the City Council for approval (Section 3.11.3.3.5).

Location (Section 3.7.5)

The setback requirements in the BC zone are as follows:

Front setback (or from any street) - 30'

Side and Rear setback - 20'

The proposed office building will need an exception from the setback requirements. This requires a recommendation from the Planning Commission and an approval from the City Council where circumstances justify. The applicant is proposing to have a 17' setback (13' exception) from 120 South, a 15.5' setback (14.5' exception) from Main Street, and an 6' setback (14' exception) from the property line to the south. From a planning perspective, I offer my support on these exceptions.

There is a very small corner of the proposed building that would be in the sight triangle on the

corner of 120 South and Main Street. There should be no flexibility on this requirement since it is primarily for traffic safety reasons. Some very minor changes should be required to address this issue.

Street System/Parking (Sections 3.7.8.3 and 3.24.3)

The off-street parking requirements for an office building are as follows:

Four (4) spaces per 1,000 sf

The site plan shows 15 parking stalls. With the square footage of the building, 20 parking stalls are required. The applicant proposes to use excess stalls on the adjacent property to the south and connect parking lots for traffic circulation. An agreement would be made between the property owners. Based on calculations of the adjacent building received from the applicant's engineer, it appears that there are 4 more parking stalls than are required. The Planning Commission will need to recommend an exception to the City Council for approval in order for the parking requirement to be sufficiently addressed. From a planning perspective, I offer my support on this exception and proposed agreement.

The site plan proposes to access the site from 120 South. A new drive approach will be created there removing curb, gutter, and sidewalk. The existing drive approach on Main Street will be replaced with standard curb, gutter and sidewalk. To mitigate the negative impact of street parking, it is proposed that the curb fronting 120 South and Main Street be painted red to prohibit parking.

The parking stall and aisle dimensions meet the minimum requirements. However, there are 6 stalls that are located within the required 30' setback (Section 3.7.5.1). The Planning Commission will need to recommend an exception to the City Council for approval in order for these 6 stalls to remain on the plan as is. From a planning perspective, I offer my support on this exception.

Special Provisions (Section 3.7.8)

- Trash Storage - The applicant proposes to use residential type storage for garbage and recycling materials. The cans will be in an enclosed area at the southeast corner of the building.
- Landscaping - A landscaping plan has been provided. A minimum of 20% of the total site is required to be landscaped. The site will need 2,009 sf of landscaping based on the square footage of the site (10,043 sf). The applicant has indicated that they will have 2,304.75 sf of landscaping and the existing tree at the northwest corner of the property will be removed.

- Design - Preliminary architectural design drawings were submitted and need to be reviewed by the Planning Commission.

RECOMMENDATION

The Planning and Zoning Department recommends approval of the proposed site plan provided the following items are addressed:

- **An exception be considered by the Planning Commission and City Council regarding setbacks.**
- **An exception be considered by the Planning Commission and City Council regarding six (6) parking stalls location within the setback.**
- **An exception be considered by the Planning Commission and City Council regarding the number of parking stalls. An agreement made with the adjacent property owners should be considered to help address the parking issue.**
- **Minor changes be made to address the building being within the sight triangle. In addition, no trees be planted within the sight triangle and other landscaping be placed in a way that will never affect visibility on the corner of 120 South and Main Street.**
- **The preliminary architectural design drawings be considered by the Planning Commission and City Council.**



Date: January 7, 2015

By: Jed Muhlestein, P.E. *JM*
Assistant City Engineer

**Subject: Engineering Review
State Farm Insurance Building Site Plan
134 South Main Street**

The engineering department received a site plan application for review January 7, 2015 to be on the January 20th Planning Commission meeting. The application is for a State Farm Insurance Building located at 134 S. Main Street. This is a code review from an engineering standpoint; a separate review from the City Planner will also be done for the site plan. The review is as follows:

Street System

The site plan does not propose any new street system but does include a new parking lot with parking stalls. This would fall under section 3.24 of the Development Code, Off-street Parking.

The parking stall dimensions, surface material (asphalt), concrete work, and new ADA ramp at the corner of 120 South and Main appear to meet code. It is not specified on the plan, but it would be required that the new driveway ramp be 6-inch thick concrete, the standard design for a typical commercial driveway approach.

The site plan does not mention any specific lighting plan for the parking; this will need to be discussed prior to approval.

Sewer System

The property is served by an existing 4-inch sewer lateral that connects to the sewer main line in 120 South. Connection to the existing sewer lateral would be required.

Culinary Water System

The property currently has a 3/4-inch water meter service that the structure would be connected to. There is an existing fire hydrant 85 feet south of the property along Main Street that would

serve for fire protection. The Fire Marshall will need to determine if the existing fire protection is adequate or if installation of other means is necessary.

The water policy was met when a previous structure was built on the property. That structure has been demolished and removed from the property.

Pressurized Irrigation System

A 1-inch pressurized irrigation lateral currently serves the property; connection to it would be required.

Storm Water Drainage System

The site plan proposes a sump system to retain all onsite drainage however no calculations or details were provided with this proposal. As a condition of approval, details and calculations would be required.

A storm water pollution prevention plan would be required for the site addressing best management practices that will be implemented to control erosion on the site during construction. A Land Disturbance Permit will be required prior to construction.

General Remarks

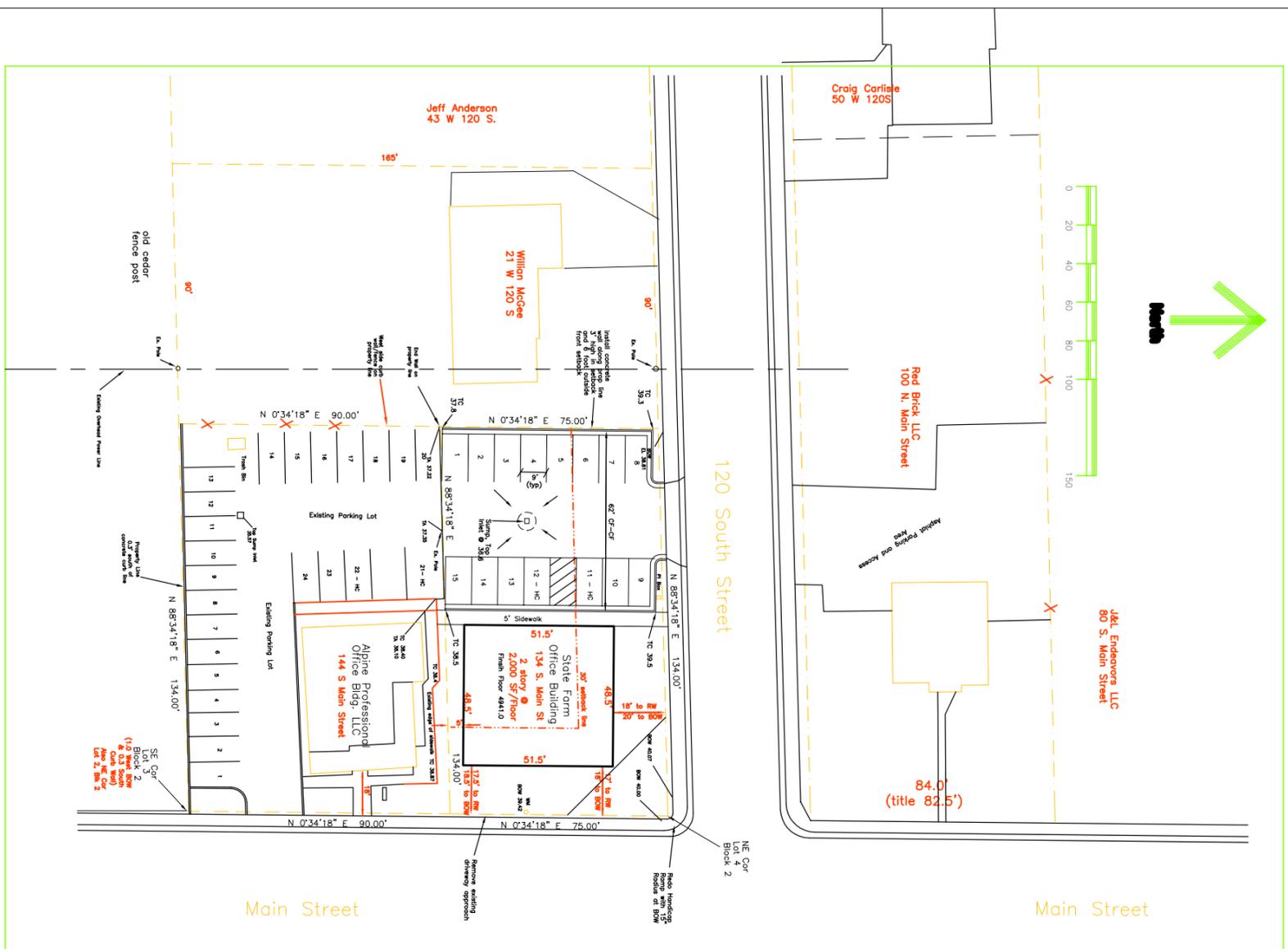
There is an existing power pole on the southern edge of the proposed parking that is shown to be relocated.

There are some minor redlines on the plan to be corrected

RECOMMENDATION

The Engineering Department recommends that approval of the proposed site plan be granted provided the following engineering items are addressed:

- **The Developer provide storm drainage calculations and details for the plan**
- **The Developer address the site plan redlines**
- **The Developer provide a lighting plan**
- **The Fire Marshal approves the site plan**



State Farm Insurance Building Site Plan

Property Description

Commencing at the Northeast Corner of Lot 4, Block 2 Alpine City Survey which point is located N 89°46'19" East 147.95108' along T&S Section 12 and North D134719" East from the SE 1/4 of the 4th Principal Meridian, T4S, R10E, S12E, and North D134719" West 75.00' along Main Street; thence S 89°34'18" W 134.00'; thence N 0°34'18" E 75.00'; thence N 89°34'18" E 134.00' along the south boundary of 120 South Street to the point of beginning.
Area = 10,043 SF

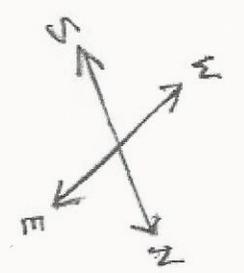
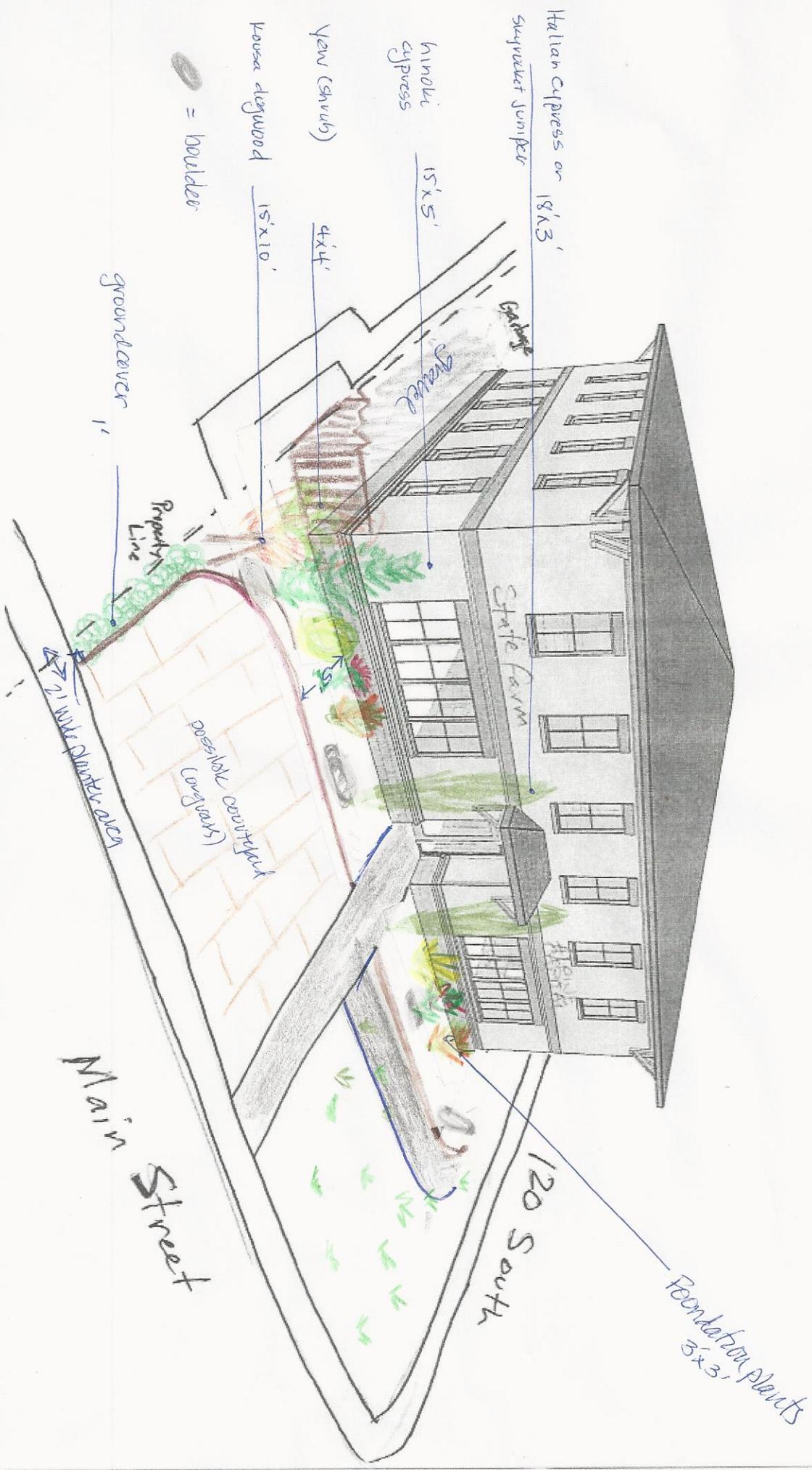
General Notes

1. Property is located in the Alpine City B-C Zone.
2. The applicant desires to operate an office building which is a permitted use of the zone.
3. The applicant desires to build a 0.0 story building with 2,000 SF per floor.
4. The applicant desires to use an excess stall on the adjacent property to the south and connect parking lots for traffic circulation as shown. There will be an agreement with the adjacent owner.
5. The applicant is asking for variance regarding the 30' front yard setback from the street. The desire is to request 20' from Main Street and 22' feet from 120 South Street as shown. The existing bank building and the office to the south of this project has setbacks less than that which is being requested. With the property being a corner lot, it is difficult to develop without a variance in the setback for the building and the parking lot.
6. The minimum landscaping required is 20% of the parcel or 2,000 SF. The proposed site plan will provide approximately 2,800 SF.
7. City utility services of water, sewer one at the site and can serve the property adequately. Other utility services of power, gas and telecommunication are the property.
8. The applicant desires to place a solid wooden or vinyl fence along the west property line.
9. The applicant desires to place a solid wooden or vinyl fence along the west property line.
10. To mitigate negative impact of street parking the applicant is proposing to red curb the property fronting on 120 South and Main Street.
11. All storm water will be retained onsite by installing a deep sump in the parking lot area as shown on the site plan.
12. The applicant proposes to use residential type storage for garbage and recycled material. The cans will be in an enclosed area at the southwest corner of the building.

Improvement Notes

1. 2" wide standard c&g will border the parking area with drainage away from the curb face as shown.
2. The parking area will be improved with 8" road base and 3" asphalt.
3. All concrete (sidewalk, c&g, and stairs) will be on minimum of 6" road base.
4. The existing concrete will be removed and replaced with standard c&g and sidewalk.
5. The existing tree by the northwest corner of the property will be removed.
6. The existing combination c&g will be removed for the new 120 South driveway approach.
7. The applicant will deed property to the city and improve the turning radius and handicap approach at the corner.
8. Parking concrete bumpers will need to be used to prevent damage to the wall and over handling onto the sidewalk area.
9. Landscaping will be mainly grass along 120 South and Main Street to maintain good sight distances. Other types of landscaping will be next to the building to add beauty.
10. The existing pole in the parking area will be move.

Site Plan		Utah
State Farm Insurance Building		
Alpine, Surveyor/Engineer K. Edward Gifford 6163 W. 9600 N. Highland, UT 84003 Phone 801-592-4150	Owner/Representative Rep: Will S. Jones 375 S. Main St, Suite 2 Alpine, UT 84004 Phone 801-836-7465	Date: 5 Jan 2014 Scale 1" = 30' (24x36)





Possible area
for climbing vine?

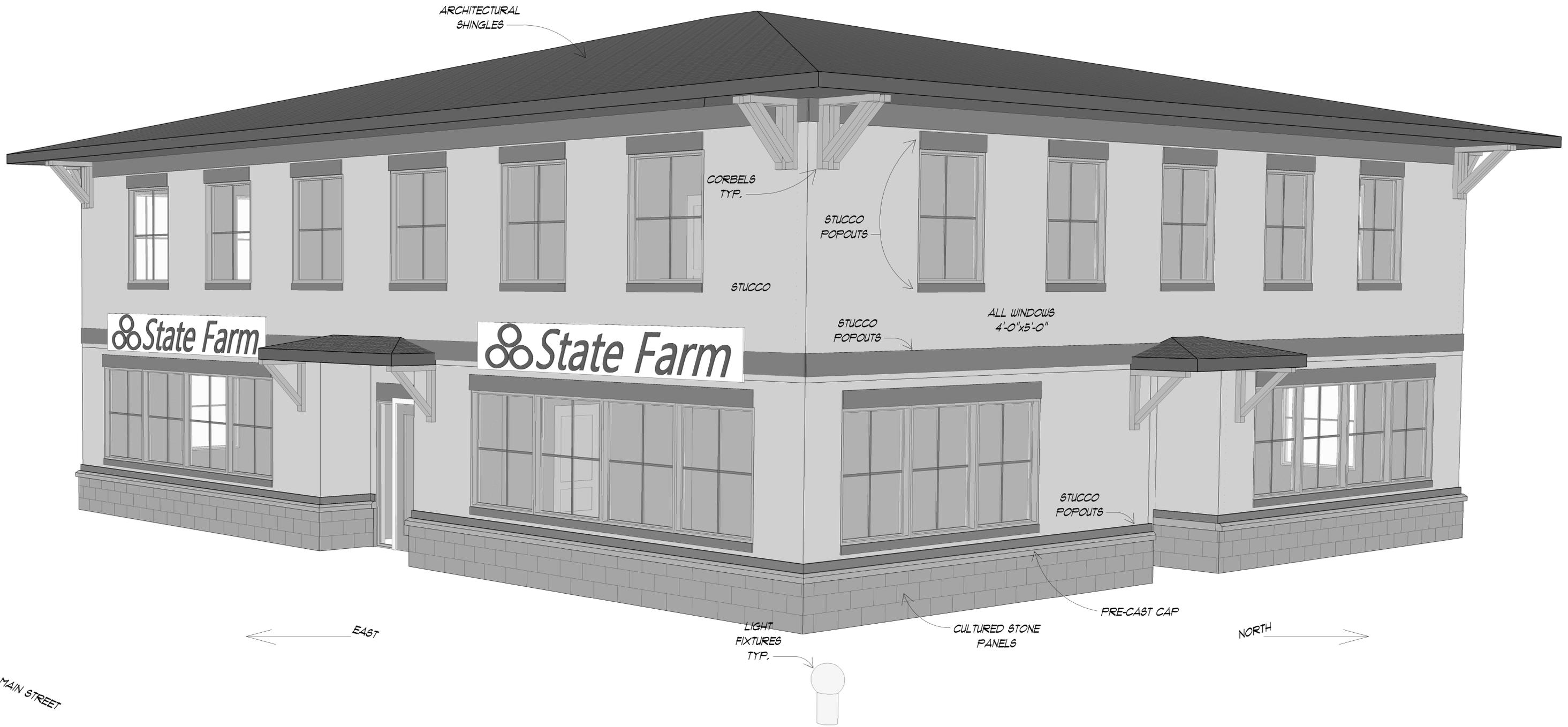
15' x 10'
100sq feet

foundation
plants 3x3

1' Boxwood
wedge

5' x 5'





ARCHITECTURAL SHINGLES

CORBELS TYP.

STUCCO POPOUTS

STUCCO

STUCCO POPOUTS

ALL WINDOWS 4'-0" x 5'-0"

STUCCO POPOUTS

LIGHT FIXTURES TYP.

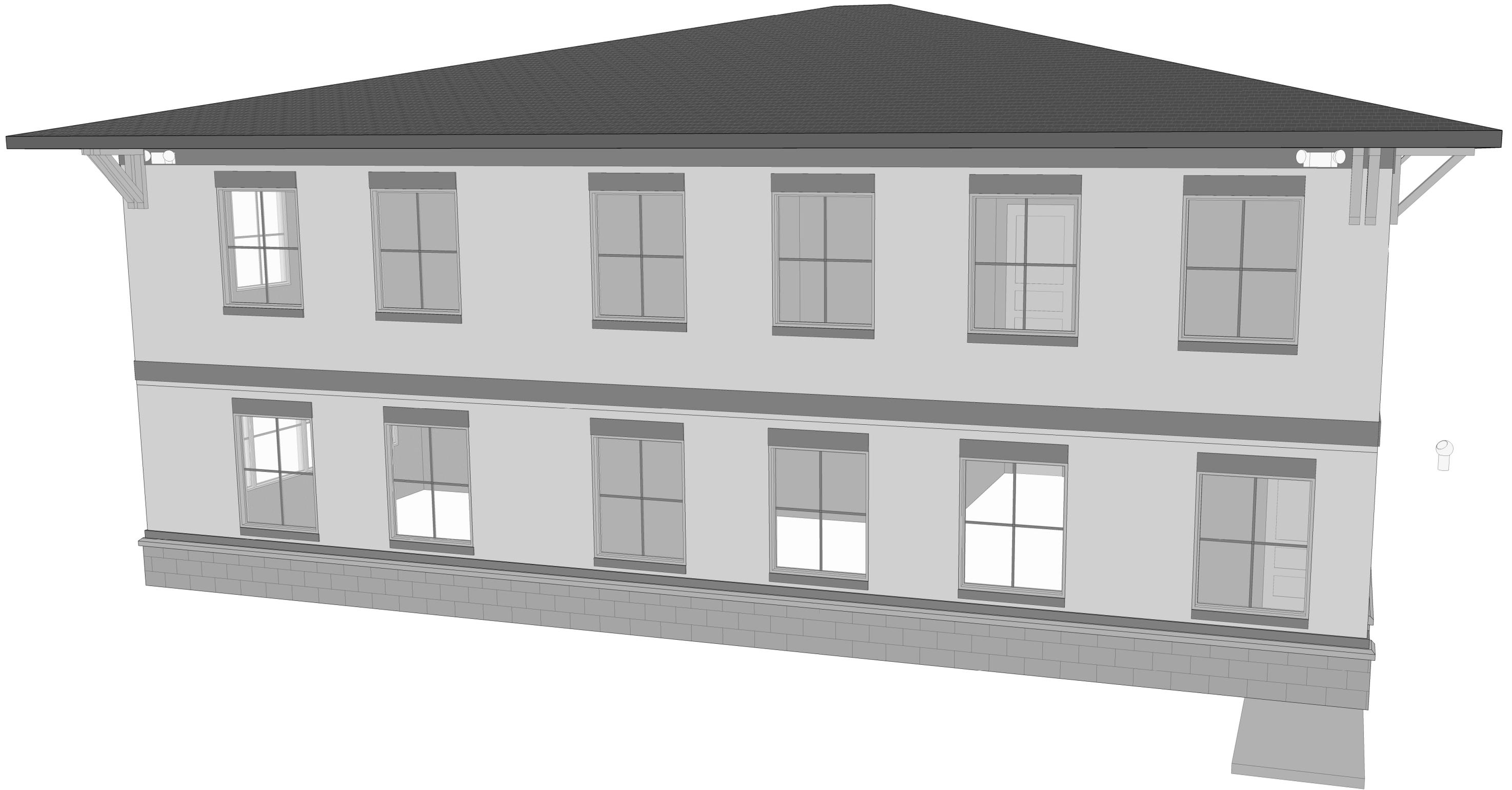
CULTURED STONE PANELS

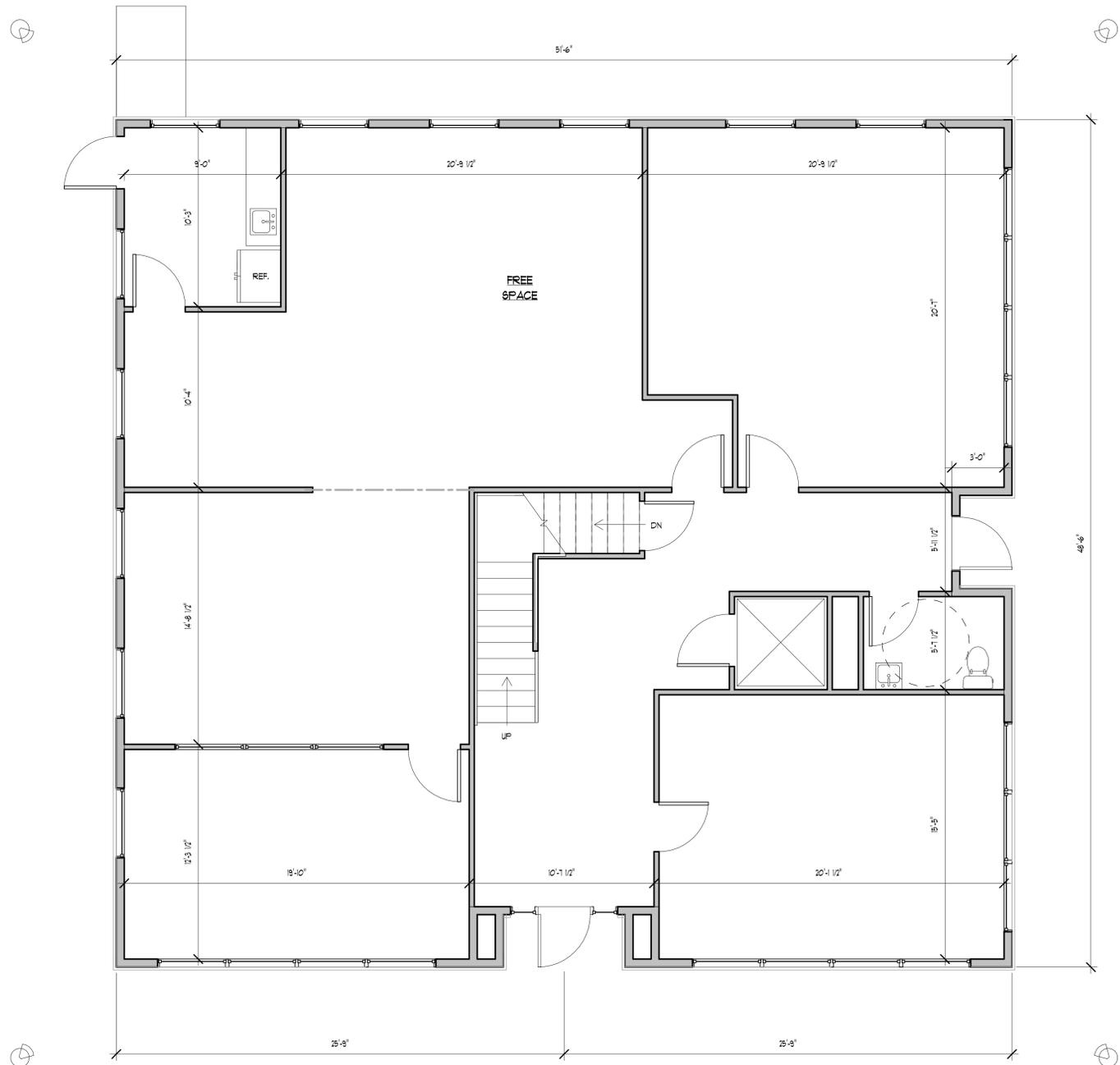
PRE-CAST CAP

EAST

NORTH

MAIN STREET





MAIN FLOOR PLAN
 SCALE 1/4"=1'-0"
 2461 SQ. FT.

#	Revision
1	
2	
3	
4	
5	
6	

Drawn By: CWD
 Engineered By: ENGINEER
 Plan #:
 Plan Name:

Notes
 Each Sub-Contractor Shall Check And Understand All Dimensions, Notes And Other Aspects Of This Project Applicable To Their Trade And Affecting Other Trades Prior To And During Construction.
 Notify Designer Or Engineer In Writing Of Any Discrepancies Or Changes On The Drawings Before Proceeding With Any Work.
 Each Sub-Contractor Shall Coordinate Work With Other Trade Through The General Contractor.
 The Designer Will Not Assume Responsibility For Any Misuse Or Misreading Of These Plans Where Information Is Available But Unclear. The Person Using These Plans Is Responsible For Clarifying Any Questions According To The Conditions Stated Above.

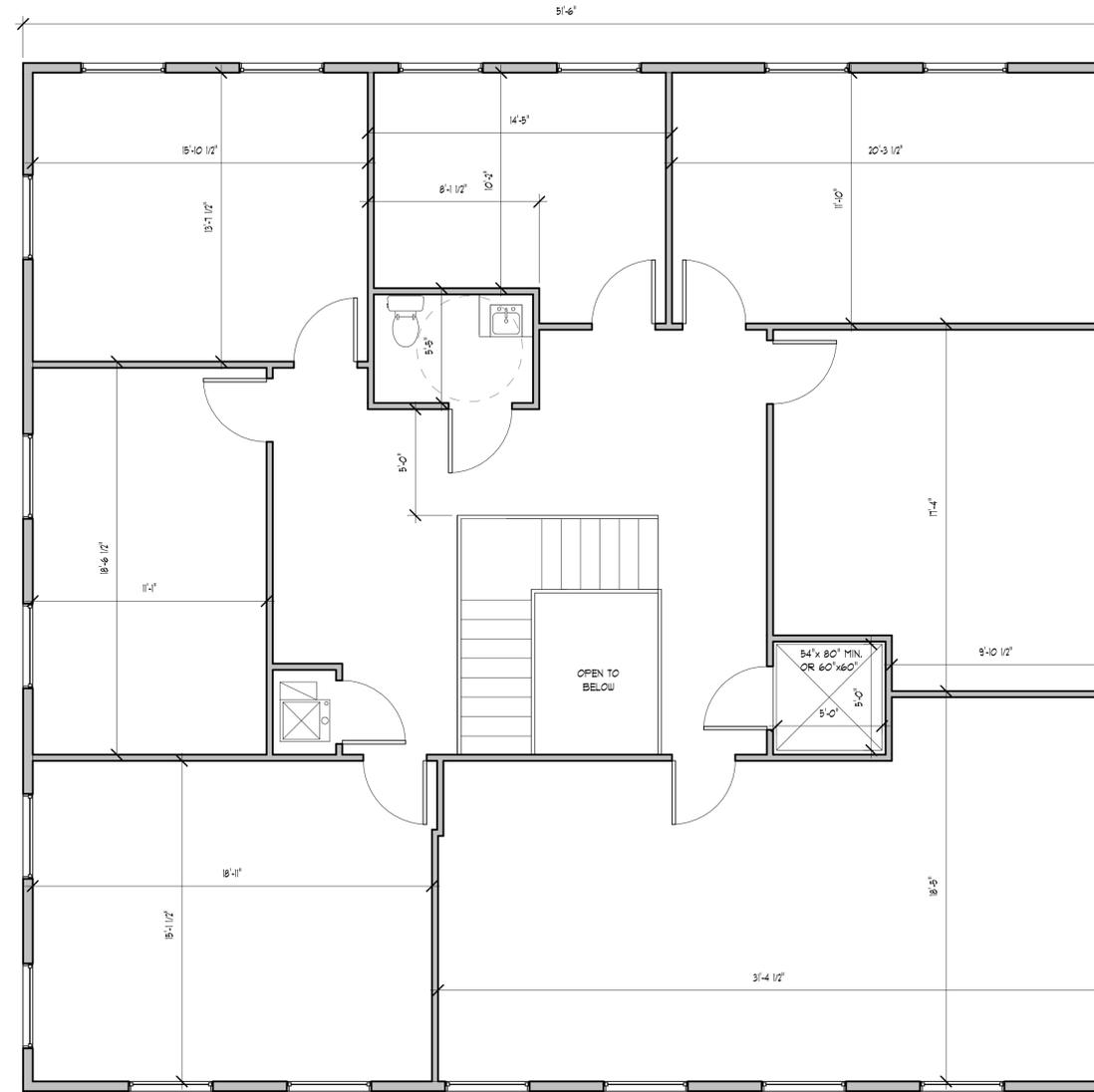


NAME
 ADDRESS

PRINT DATE
 DATE
 SHEET
A3.0

BID SET ONLY
 NOT FOR CONSTRUCTION

MAIN FLOOR PLAN



UPPER FLOOR PLAN

SCALE 1/4"=1'-0"
2591 SQ.FT.

#	Revision
1	
2	
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4	
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6	

Drawn By: CWD	Engineered By: ENGINEER
Plan #:	Plan Name:

Notes

Each Sub-Contractor Shall Check And Understand All Dimensions, Notes And Other Aspects Of This Project Applicable To Their Trade And Affecting Other Trades Prior To And During Construction.

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NAME	ADDRESS
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PRINT DATE	DATE
SHEET	A3.1

BID SET ONLY
NOT FOR CONSTRUCTION

UPPER FLOOR PLAN

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: River Meadows Senior Housing Phase 4 Revised Site Plan

FOR CONSIDERATION ON: 3 March 2015

PETITIONER: Patterson Construction

**ACTION REQUESTED BY PETITIONER: Make Recommendation of
Approval to City Council**

APPLICABLE STATUTE OR ORDINANCE: Article 3.18 (Senior Housing)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The Planning Commission and City Council have previously approved the River Meadows Senior Assisted Living Plan which lies within the Senior Housing Overlay Zone. The reason this is coming to the Planning Commission and City Council is to request approval for modification of building pad locations. An exhibit is attached showing the approved vs. revised layout for the building pads.

STAFF RECOMMENDATION:

Staff recommends that the proposed site plan be approved:



Date: February 25, 2015

By: Jed Muhlestein, P.E. *JMA*
Assistant City Engineer

**Subject: River Meadows Senior Living Phase 4 – Revised Site Plan
8 Units on approximately 0.70 Acres**

Background

The Planning Commission and City Council have previously approved the River Meadows Senior Assisted Living Plan which lies within the Senior Housing Overlay Zone. The reason this is coming to Planning Commission and City Council is to request approval for modification of building pad locations. An exhibit is attached showing approved vs revised layout for the building pads.

Due to the alteration of the building pad locations, the rest of the zone requirements were reviewed and are outlined below.

Senior Housing Overlay Zone Requirements

The Senior Housing Overlay Zone requires 2 parking spaces per dwelling and 30 foot front setbacks with 20 foot rear and side yard setbacks. The site plan meets these guidelines.

The architectural character of the proposed units will match the existing units and is attached as an exhibit.

The total landscaped area of the project is 2.84 acres, or 31 percent of the project. The ordinance requires that a minimum of 30% of the total project area be landscaped. The provided landscaping plan is meant to blend in with the existing landscaping.

Street System/Parking Areas

The development plan shows a private street meeting the 20 foot minimum width. Parking lot

lighting is shown at the end of the street which should be sufficient. The existing portion of the development does have lighting in place.

Sewer System

There is an existing 8-inch sewer line in Red Pine Drive that could serve the development.

Culinary Water System

There is an existing 8-inch water line in Red Pine Drive that could serve the development. The location of proposed fire hydrants has been approved by the Fire Marshal.

Pressurized Irrigation System

There is an existing 8-inch pressurized irrigation line in Red Pine Drive that could serve the development.

Storm Water Drainage System

The storm drain design was submitted and approved previously. The drainage from this part of the development flows to Red Pine Drive and is collected there and piped to a detention basin by Dry Creek that serves the entire development for runoff control.

General Subdivision Remarks

The developer met the water policy when Spring Creek Plat A AMD was recorded.

We recommend that approval of the proposed development be approved.



Dark lines are the new proposed unit locations

Light gray lines are what was previously approved

S 84°04'05" E 170.01'

S 84°04'05" E 267.19'

N 5°55'55" E 155.51'

N 05°55'55" E 173.48'

N 84°54'0" W 242.68'

S 0°53'18" W 174.43'

C1

SP4

SP5

1.49'

S

SP6

C5

W

SP7

27.31'

C2

SP8

49.81'

6.86'

20' P.U.E.

33

34

35

36

154.98'

10' P.U.

141.61'

70.30'

SP9



RIVER MEADOWS SENIOR LIVING PHASE 4

A PORTION OF LOT 2 OF SPRING CREEK SUBDIVISION
134 E. RED PINE DRIVE
ALPINE CITY, UTAH COUNTY, UTAH

DEVELOPMENT
RIVER MEADOWS SENIOR LIVING PHASE 4
134 EAST RED PINE DRIVE
ALPINE CITY, UTAH COUNTY, UTAH

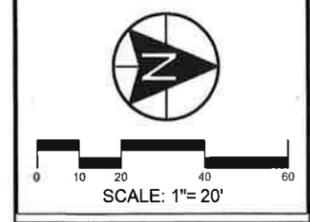
DEVELOPER
AUTUMN MOUNTAIN, LLC
11038 N HIGHLAND BLVD.
HIGHLAND, UT 84003
(801) 756-7303

SHEET INDEX

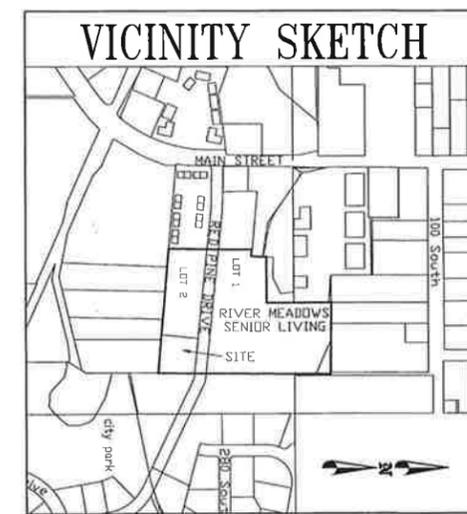
C1	SITE PLAN
C2	OVERALL UTILITY PLAN
C3	GRADING & DRAINAGE PLAN
C4	LANDSCAPING PLAN
SW1-3	SWPPP

ADDRESS TABLE

UNIT	ADDRESS
29	134 E. RED PINE DRIVE UNIT 29
30	134 E. RED PINE DRIVE UNIT 30
31	134 E. RED PINE DRIVE UNIT 31
32	134 E. RED PINE DRIVE UNIT 32
33	134 E. RED PINE DRIVE UNIT 33
34	134 E. RED PINE DRIVE UNIT 34
35	134 E. RED PINE DRIVE UNIT 35
36	134 E. RED PINE DRIVE UNIT 36



berg
CIVIL ENGINEERING
11038 N Highland Blvd Suite 400
Highland Ut, 84003
office (801) 492-1277
cell (801) 616-1677



PROJECT STATUS			SEAL
NO.	DATE	DESCRIPTION	
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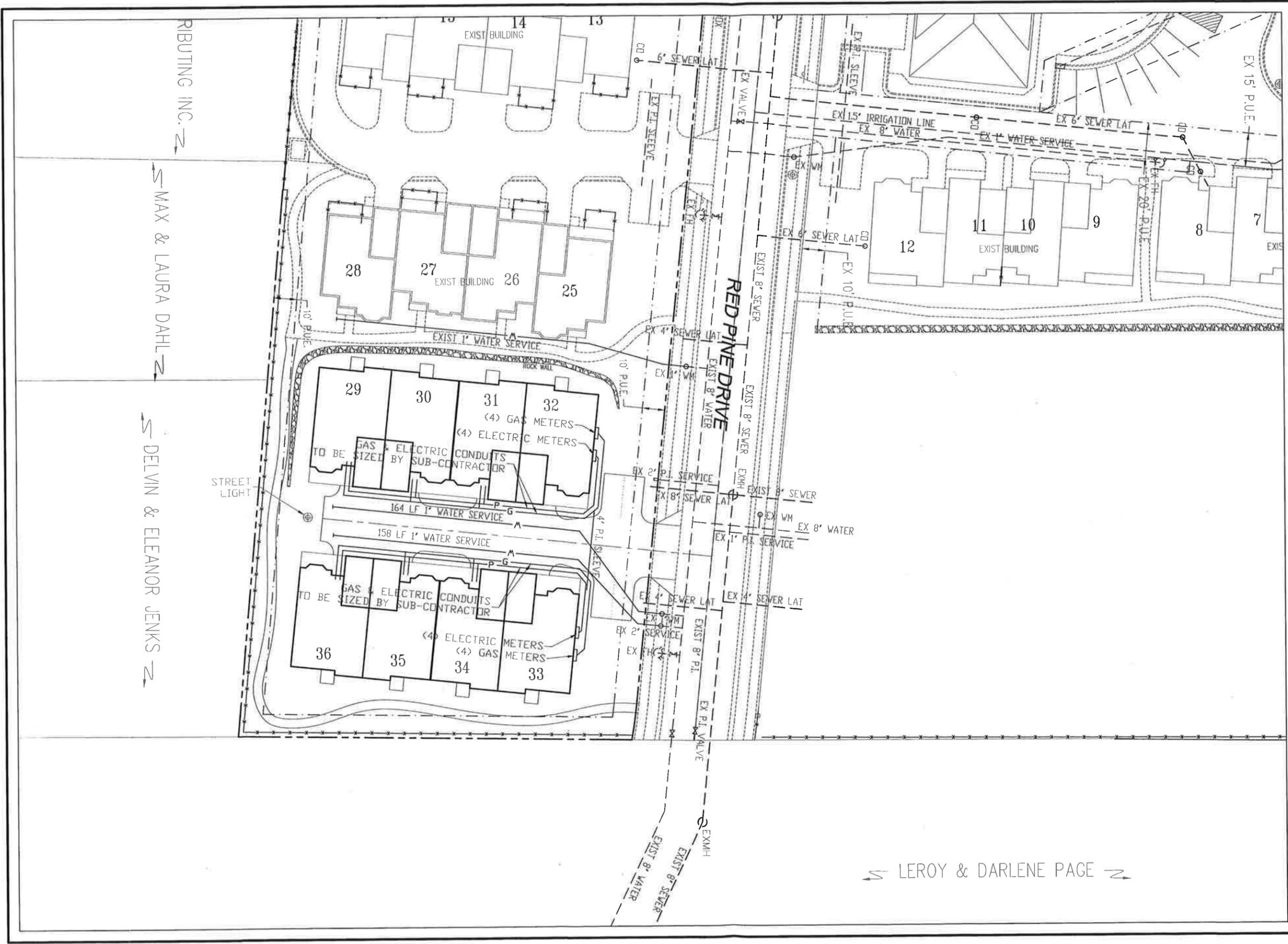
ACTION	DATE
FINAL	01/26/2015

PROJECT
RIVER MEADOWS SENIOR LIVING PHASE 4

DESCRIPTION
CONSTRUCTION DRAWINGS

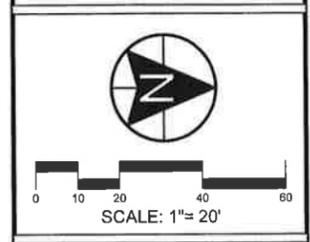
SHEET NAME: **COVER** SHEET NUMBER: **C1**

LERoy & DARLENE PAG



DEVELOPMENT
RIVER MEADOWS SENIOR LIVING PHASE 4
 134 EAST RED PINE DRIVE
 ALPINE CITY, UTAH COUNTY, UTAH

DEVELOPER
AUTUMN MOUNTAIN, LLC
 11038 N HIGHLAND BLVD.
 HIGHLAND, UT 84003
 (801) 756-7303



berg
 CIVIL ENGINEERING
 11038 N Highland Blvd Suite 400
 Highland UT, 84003
 office (801) 492-1277
 cell (801) 616-1677

PROJECT STATUS		SEAL
NO.	DATE	DESCRIPTION
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ACTION: FINAL DATE: 01/26/2015

PROJECT
RIVER MEADOWS SENIOR LIVING PHASE 4

DESCRIPTION
CONSTRUCTION DRAWINGS
OVERALL UTILITY PLAN

SHEET NAME: UTILITY SHEET NUMBER: **C2**

← LEROY & DARLENE PAGE →



RIBBING INC. ↗

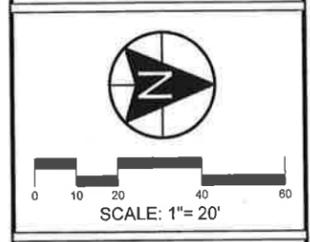
↖ MAX & LAURA DAHL ↗

↖ DELVIN & ELEANOR JENKS ↗

↖ LEROY & DARLENE PAGE ↗

DEVELOPMENT
RIVER MEADOWS SENIOR LIVING PHASE 4
 134 EAST RED PINE DRIVE
 ALPINE CITY, UTAH COUNTY, UTAH

DEVELOPER
AUTUMN MOUNTAIN, LLC
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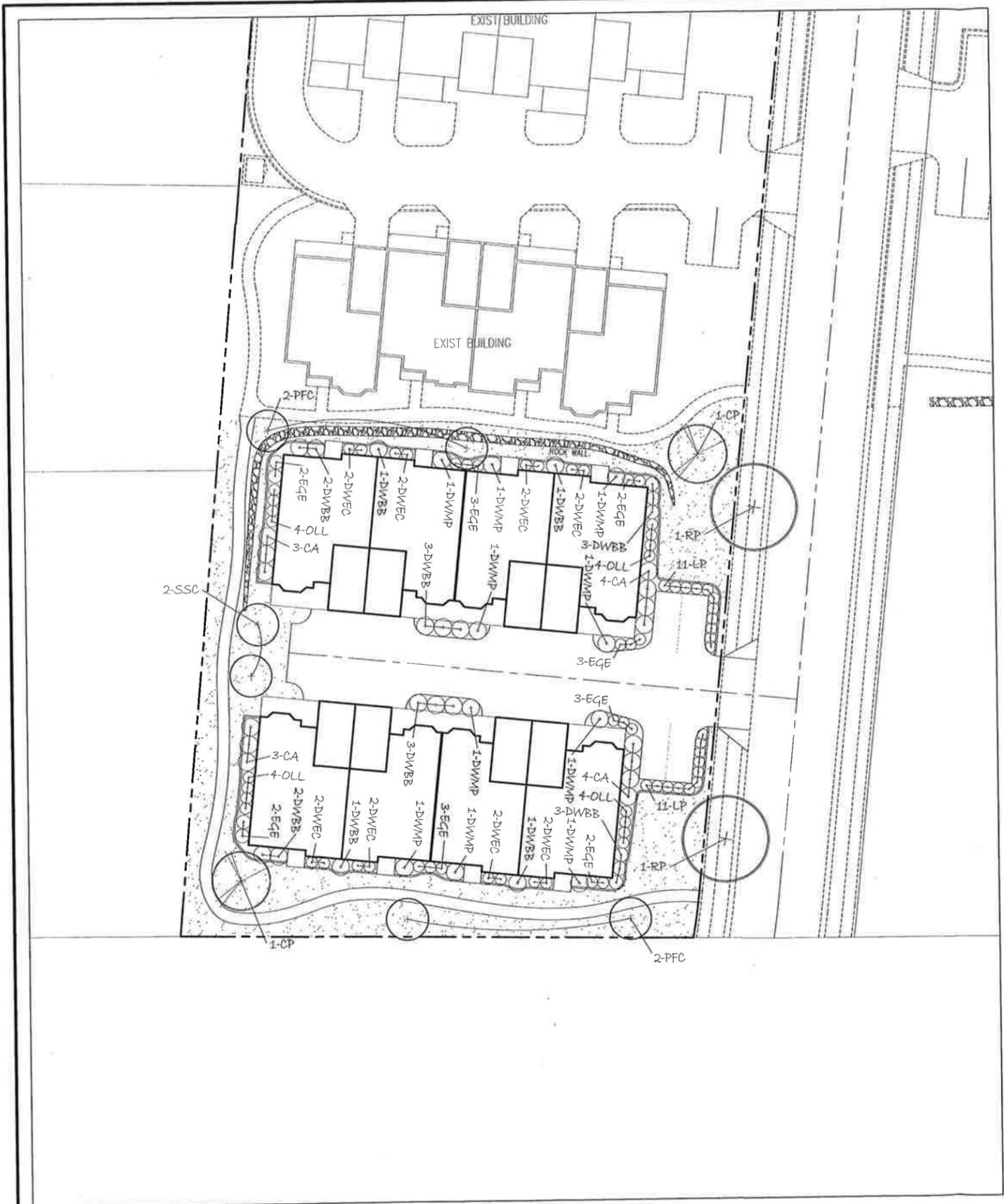
PROJECT STATUS		SEAL
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ACTION	DATE
FINAL	01/26/2015

PROJECT
RIVER MEADOWS SENIOR LIVING PHASE 4

DESCRIPTION
**CONSTRUCTION DRAWINGS
 GRADING & DRAINAGE PLAN**

SHEET NAME SHEET NUMBER
GRADING C3



PLANT LEGEND

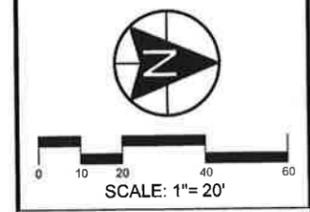
QUANTITY	ABBR.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
SHADE TREES					
2	RP	PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE PEAR	2" CAL	30' O.C.
ORNAMENTAL TREES					
14	CA	POPULUS TREMULA 'BRECTA'	COLUMNAR ASPEN	2" CAL	AS SHOWN
2	DP	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2" CAL	AS SHOWN
4	PF	MALUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRAPAPPLE	2" CAL	AS SHOWN
2	SSC	MALUS 'SPRING SNOW'	SPRING SNOW CRAPAPPLE	2" CAL	AS SHOWN
MEDIUM AND LARGE SHRUBS					
20	DWBB	EDONYMUS ALATUS COMPACTA	DWARF BURNING BUSH	5 GAL	5' O.C.
20	EGE	EDONYMUS FORTUNEI 'EMERALD GAITY'	EMERALD GAITY EDONYMUS	5 GAL	3' O.C.
10	DWMP	PRUNUS MUGO MUGUS	DWARF MUGO PRUNE	3 GAL	8' O.C.
16	OLL	PRUNUS LAMBROZASIS	OTTO LUYKEN LAUREL	3 GAL	3' O.C.
16	DWEC	VIBURNUM OPULIS 'NANUM'	DWARF EUROPEAN CRANBERRY	5 GAL	4' O.C.
22	LP	LIGSTRUM VULGARE 'LOBENSE'	LOBENSE PRIVET	1 GAL	3' O.C.
GROUNDCOVERS AND LAWN					
			LAWN (SOB)	(SOB)	N.A.

PLANT NOTES

- 1) ALL PLANTER BEDS TO BE MULCHED TO A MINIMUM 2" DEPTH.
- 2) AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED IN ALL LAWN AND SHRUB BED AREAS.
- 3) 6" CONCRETE MOW STRIP TO BE INSTALLED AT PLANTER BEDS AS SHOWN.

DEVELOPMENT
RIVER MEADOWS SENIOR LIVING PHASE 4
 134 EAST RED PINE DRIVE
 ALPINE CITY, UTAH COUNTY, UTAH

DEVELOPER
AUTUMN MOUNTAIN, LLC
 11038 N HIGHLAND BLVD.
 HIGHLAND, UT 84003
 (801) 756-7303



berg
 CIVIL ENGINEERING
 11038 N Highland Blvd Suite 400
 Highland UT, 84003
 office (801) 492-1277
 cell (801) 616-1677

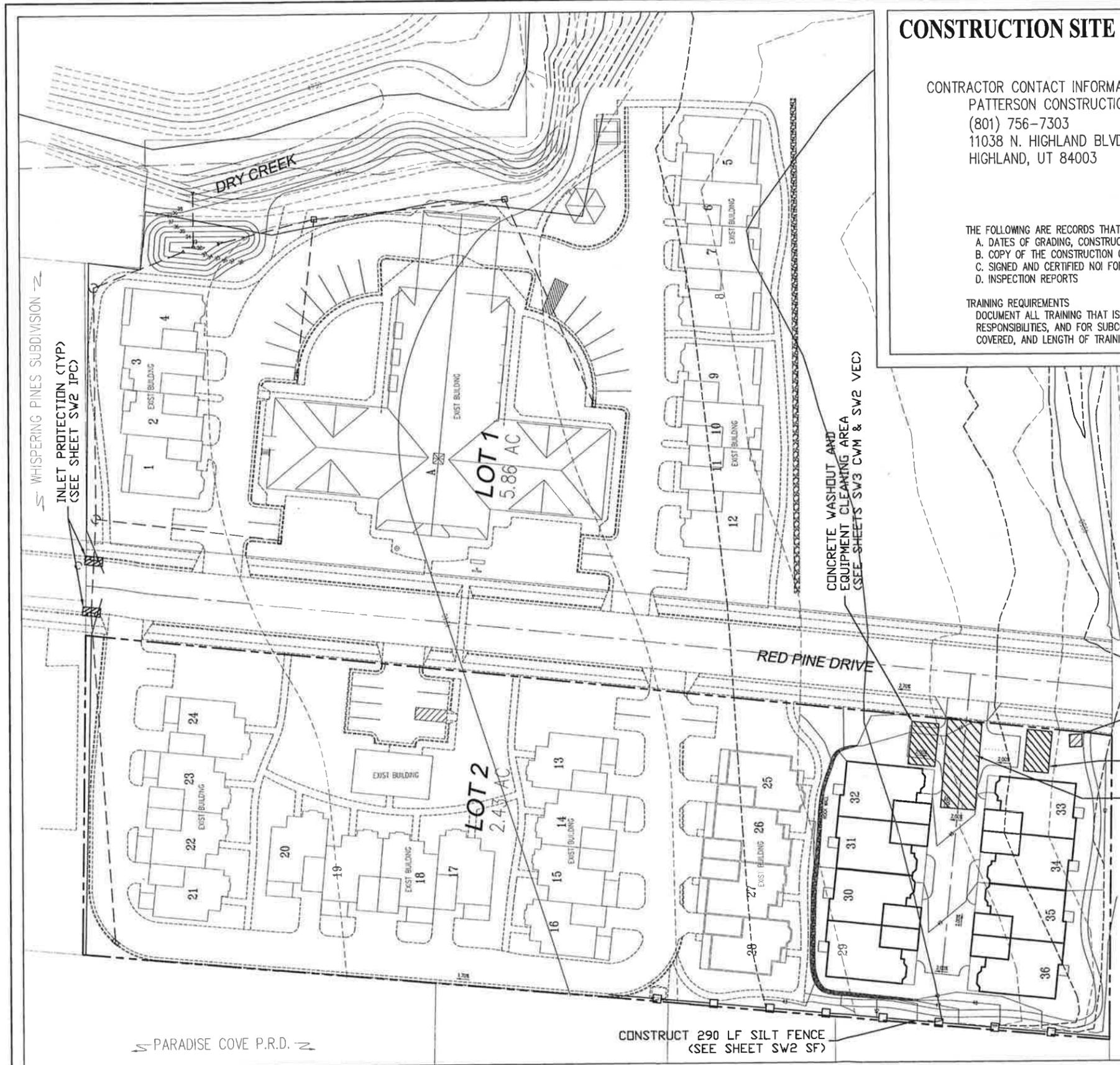
PROJECT STATUS		SEAL
NO.	DATE	DESCRIPTION
1		
2		
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ACTION	DATE
FINAL	01/26/2015

PROJECT
RIVER MEADOWS SENIOR LIVING PHASE 4

DESCRIPTION
**CONSTRUCTION DRAWINGS
 LANDSCAPE PLAN**

SHEET NAME: LANDSCAPE SHEET NUMBER: **C4**



CONSTRUCTION SITE SWPPP

CONTRACTOR CONTACT INFORMATION:
 PATTERSON CONSTRUCTION
 (801) 756-7303
 11038 N. HIGHLAND BLVD
 HIGHLAND, UT 84003

- THIS PLAN CONSISTS OF THE FOLLOWING ELEMENTS (SEE LOCATIONS ON PLAN AND ATTACHED DETAILS):
- A. BMP INSPECTION AND MAINTENANCE
 - B. CONTAMINATED OR ERODIBLE SURFACE AREAS
 - C. CONCRETE WASTE MANAGEMENT
 - D. DUST CONTROLS
 - E. PORTABLE TOILETS
 - F. SPILL CLEANUP
 - G. VEHICLE AND EQUIPMENT CLEANING
 - H. GRADING PRACTICES
 - I. WASTE DISPOSAL
 - J. PROVIDE TEMPORARY INLET PROTECTION
 - K. STABILIZE CONSTRUCTION ENTRANCE AND WASH AREA
 - L. MATERIALS STORAGE
 - M. SILT FENCE
 - N. HAZARDOUS WASTE MANAGEMENT

- THE FOLLOWING ARE RECORDS THAT SHOULD BE KEPT ONSITE FOR INSPECTORS TO REVIEW
- A. DATES OF GRADING, CONSTRUCTION ACTIVITY, AND STABILIZATION
 - B. COPY OF THE CONSTRUCTION GENERAL PERMIT
 - C. SIGNED AND CERTIFIED NOI FORM OR PERMIT APPLICATION FORM
 - D. INSPECTION REPORTS

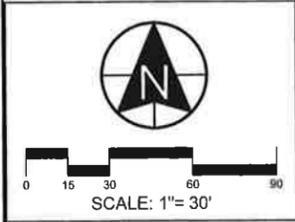
TRAINING REQUIREMENTS
 DOCUMENT ALL TRAINING THAT IS CONDUCTED FOR STAFF, FOR THOSE WITH SPECIFIC STORMWATER RESPONSIBILITIES, AND FOR SUBCONTRACTORS. INCLUDE DATES, NUMBER OF ATTENDEES, SUBJECTS COVERED, AND LENGTH OF TRAINING

POTENTIAL SOURCES OF POLLUTION

1. SEDIMENT FROM DISTURBED AREAS
2. CONCRETE WASHOUT AREA
3. TRASH / WASTE / DEBRIS
4. VEHICLE GREASE / OIL

DEVELOPMENT
RIVER MEADOWS SENIOR LIVING PHASE 4
 134 EAST RED PINE DRIVE
 ALPINE CITY, UTAH COUNTY, UTAH

DEVELOPER
AUTUMN MOUNTAIN, LLC
 11038 N HIGHLAND BLVD.
 HIGHLAND, UT 84003
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Berg
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PROJECT STATUS		SEAL
NO.	DATE	DESCRIPTION
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7		

ACTION	DATE
FINAL	01/26/2015

PROJECT
RIVER MEADOWS SENIOR LIVING PHASE 4

DESCRIPTION
STORMWATER POLLUTION PREVENTION PLAN

SHEET NAME SHEET NUMBER
SWPPP SW1

DEVELOPMENT

RIVER MEADOWS SENIOR LIVING PHASE 4

134 EAST RED PINE DRIVE
ALPINE CITY, UTAH COUNTY, UTAH

DEVELOPER

AUTUMN MOUNTAIN, LLC

11038 N HIGHLAND BLVD.
HIGHLAND, UT 84003
(801) 756-7303



PROJECT STATUS			SEAL
NO.	DATE	DESCRIPTION	
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2			
3			
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6			

ACTION	DATE
FINAL	01/26/2015

PROJECT

RIVER MEADOWS SENIOR LIVING PHASE 4

DESCRIPTION

STORMWATER POLLUTION PREVENTION PLAN

SHEET NAME	SHEET NUMBER
SWPPP	SW3

BMP: BMP Inspection and Maintenance BMPIM



APPLICATIONS

- Manufacturing
- Material Handling
- Vehicle Maintenance
- Construction
- Commercial Activities
- Roadways
- Waste Containment
- Housekeeping Practices

DESCRIPTION:
Inspect and maintain all installed BMP's (both existing and new) on a routine basis to remove pollutants from entering storm drain inlets. This includes the establishment of a schedule for inspections and maintenance.

APPROACH:
Regular maintenance of all installed BMP's is necessary to ensure their proper functionality.

APPROACH:

- Avoid inspections
- Perform maintenance to clean, maintain, and repair or replace structures in areas beginning with the highest pollutant loading
- Construct BMP's in high pollutant areas just below the wet season to remove sediments as debris accumulates during the summer and fall
- Keep accurate logs of what structures were maintained and when they were maintained, record the amount of debris collected.

LIMITATIONS:

- Availability of trained staff

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oxygen Demanding Substances
- Oil & Grease
- Flocculable Materials
- Bacteria & Viruses

IMPLEMENTATION REQUIREMENTS

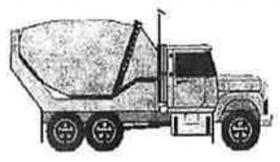
- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Concrete Waste Management CWM



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout on-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on site.
- Perform washout of concrete trucks at site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information Sheet.)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Dust Controls DC



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

APPLICATION:
Dust control is used in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

INSTALLATION/APPLICATION CRITERIA:

- Two kinds of street sweepers are common: both and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
- Mechanical equipment should be operated according to the manufacturer's recommendations and should be inspected regularly.
- Water may be sprayed on the ground surface to maintain dry soils, making it less susceptible to wind erosion.

LIMITATIONS:

- Street sweeping is labor and equipment intensive and may not be effective for all pollutants.
- Water sprayed from water trucks must be done at a rate such that the water is absorbed in the soil; if excessive amounts of water are used, it may run off, carrying soil with it.

MAINTENANCE:
If excess water results from water spraying, dual containment waters should not be allowed to run off site. Areas may need to be reseeded to keep dust from spreading.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Contaminated or Erodible Surface Areas CESA



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from contaminated or erodible surface areas by leaving as much vegetation on site as possible, minimizing soil exposure time, stabilizing exposed soils, and preventing storm water runoff and runoff.

APPLICATION:
This BMP addresses soils which are not so contaminated as to exceed criteria but the soil is eroding and carrying pollutants off in the storm water.

INSTALLATION/APPLICATION CRITERIA:
Contaminated or erodible surface areas can be controlled by:

- Preservation of natural vegetation
- Re-vegetation
- Chemical stabilization
- Removal of contaminated soils
- Geosynthetics.

LIMITATIONS:
Disadvantages of preserving natural vegetation or re-vegetating include:

- May not be cost-effective with high land costs.
- Lack of rainfall and/or poor soils may limit the success of re-vegetated areas.

Disadvantages of chemical stabilization include:

- Creation of impervious surfaces.
- May cause harmful effects on water quality.
- Is usually more expensive than vegetative cover.

MAINTENANCE:
Maintenance should be minimal, except possibly if irrigation of vegetation is necessary.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

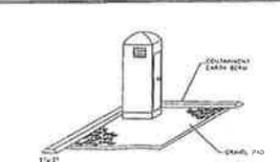
- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Portable Toilets PT



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), center for spill/protection lead.
- Stake toilets to prevent them from tipping.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be disposed in sanitary sewer system for treatment with appropriate agency approval.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Spill Clean-Up SCU



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Practices to clean up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites.

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:

- Clean up spills/leaks immediately and remediate cause.
- Use spill kits where possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIALS.
- Use bags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone 480-536-4100) for any spill of reportable quantity.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

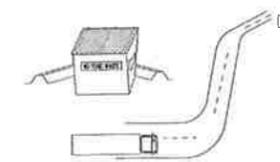
- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Waste Disposal WD



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Controlled storage and disposal of solid waste generated by construction activities.

APPLICATION:
All construction sites.

INSTALLATION:

- Designate one or several waste collection areas with easy access for construction vehicles and personnel. Ensure no waterways or storm drainage inlets are located near the waste collection areas.
- Construct compacted earthen berm (See Earth Berm Barrier BMP Fact Sheet), or similar perimeter containment around collection area for impoundment in the case of spills and to trap any windblown soil.
- Use water tight containers with covers to remain closed when not in use. Provide separate containers for different waste types where appropriate and label clearly.
- Ensure all on-site personnel are aware of and utilize designated waste collection areas properly and for intended use only (e.g. all toxic, hazardous, or recyclable materials shall be properly disposed of separately from general construction waste).
- Arrange for periodic pickup, transfer and disposal of collected waste at an authorized disposal location. Include regular Porta-potty service in waste management activities.

LIMITATIONS:

- On-site personnel are responsible for correct disposal of waste.

MAINTENANCE:

- Discuss waste management procedures at progress meetings.
- Collect site trash daily and deposit in covered containers at designated collection areas.
- Check containers for leakage or inadequate covers and replace as needed.
- Randomly check disposed materials for any unauthorized waste (e.g. toxic materials).
- During daily site inspections check that waste is not being incorrectly disposed of on-site (e.g. burial, burning, surface discharge, discharge to storm drain).

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Other Waste

IMPLEMENTATION REQUIREMENTS

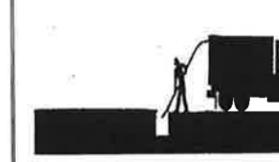
- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

BMP: Catch Basin Cleaning CBC



PROGRAM ELEMENTS

- Now Development
- Residential
- Commercial Activities
- Industrial Activities
- Municipal Facilities
- Regul Discharges

DESCRIPTION:
Maintain catch basins and stormwater inlets on a regular basis to remove pollutants, reduce high pollutant concentrations during the first flush of storms, prevent clogging of the downstream conveyance system, and restore the catch basins' sediment trapping capacity. A catch basin is distinguished from a stormwater inlet by having its base a sediment sump designed to catch and retain sediments below the overflow point. This information sheet focuses on the cleaning of accumulated sediments from catch basins.

APPROACH:
Regular maintenance of catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the key to effective catch basins are:

- All local annual inspections.
- Prioritize maintenance to clean catch basins and inlets in areas with the highest pollutant loading.
- Clean catch basins in high pollutant load areas just before the wet season to remove sediments and debris accumulated during the summer.
- Keep accurate logs of the number of catch basins cleaned.
- Record the amount of waste collected.

LIMITATIONS:
There are no major limitations to this best management practice.

MAINTENANCE:
Regular maintenance of public and private catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the keys to effective catch basins are:

- Annual/monthly inspection of public and private facilities to ensure structural integrity, a clean sump, and a silencing of catch basins and inlets.
- Keep logs of the number of catch basins cleaned.
- Record the amount of waste collected.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flocculable Materials
- Bacteria & Viruses

IMPLEMENTATION REQUIREMENTS

- High Impact
- Medium Impact
- Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

High Medium Low

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: Melby Property Annexation Proposal

FOR CONSIDERATION ON: 3 March 2015

PETITIONER: Ted Didas, McNeil Engineering

**ACTION REQUESTED BY PETITIONER: Recommend Annexation
to City Council**

APPLICABLE STATUTE OR ORDINANCE: Chapter 5 (Annexations)

PETITION IN COMPLIANCE WITH ORDINANCE: No

BACKGROUND INFORMATION:

A formal request has been made for approximately 68 acres of land at the north end of Alpine City to be annexed. However, this land is not included within the Alpine City Annexation Declaration Policy Plan. There will need to be an extensive process to fulfill this request. The applicant is requesting that the Planning Commission make a recommendation to the City Council that starts the process to ultimately annex the Melby property.

STAFF RECOMMENDATION:

Staff suggests that the Planning Commission make a recommendation to the City Council concerning this request:



8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com

February 19, 2015

Mr. Jason Bond
Alpine City
20 North Main Street
Alpine, UT 84004

Via Email: jbond@alpinecity.org

**RE: Melby Property
Annexation Request**

Dear Jason,

We are submitting this letter as a formal request for an Amendment to the Alpine City Annexation policy to allow the "Melby Property" to be annexed into Alpine City. The Melby Property is approximately 68 acres in size and includes the following tax parcels:

110420028
110420033
110420014
110420030

Our request is for a zoning of CR-40,000. We have previously provided a Conceptual Site Plan representing our requested layout for the project, if annexed into Alpine City. The Conceptual Plan includes a summary of our density calculations for the project based on our understanding of the Planned Residential Developments (PRD). The proposed plan also designates the steep portions of the site (generally the western area) as Open Space.

With this application for annexation, we are also making formal request to be served by Alpine City services including water and sewer.

We appreciate your consideration of this request. If you have any questions or need additional information, please do not hesitate to call.

Sincerely,

Ted Didas, PE
President, McNeil Engineering

ALPINE PLANNING COMMISSION AGENDA

SUBJECT: Non-Conforming Amendment

FOR CONSIDERATION ON: 3 March 2015

PETITIONER: Staff

ACTION REQUESTED BY PETITIONER: Provide feedback and make any necessary recommendations for the City Council to consider.

APPLICABLE STATUTE OR ORDINANCE: Article 3.22 (Non-Conforming)

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed amendment will clarify the City's position on non-conforming buildings and uses in Alpine City.

RECOMMENDED ACTION:

That the Planning Commission provide feedback to staff and make any necessary recommendations before the proposed amendment is reviewed by the City Council.

ARTICLE 3.22

NON-CONFORMING BUILDINGS AND USES

3.22.1 Purpose. This chapter describes the status of the uses of land or structures which were lawful before this ordinance was passed but which are now prohibited or restricted. It is the purpose of this ordinance to ~~prevent the expansion or enlargement of non-conforming uses.~~ define how non-conforming buildings and uses will be administered.

3.22.2 Status of Pre-existing Illegal Uses. Any building or use of land or any construction thereon, or any subdivision of land, which was not authorized by or under the pre-existing zoning or subdivision regulations, as amended, or which is illegal under such regulations, shall remain unauthorized and illegal unless expressly authorized or permitted in the provisions of this Ordinance.

3.22.3 Uses on Leased Land to Comply With Ordinance. Any person who may obtain State or Federal properties by purchase, lease or other arrangement must utilize such properties in accordance with the provisions of this Ordinance.

3.22.4 Non-conforming Buildings and Uses May Be Continued - Repair Permitted. The owners of land and buildings shall not be deprived of any use of property for the purpose to which it is lawfully devoted at the time of enactment of this ordinance.

Any building, structure or use of land, including but not limited to the raising of livestock, which is existing and lawful at the time of the enactment of this Ordinance, but which does not conform to the provisions of this Ordinance, shall be considered a non-conforming use and shall be allowed to continue, to the same extent and character as that which legally existed on the effective day of the application regulations, although such use does not conform to provisions of the Ordinance or amendment.

Repairs may be made to a non-conforming building or structure, or to a building or structure housing a non-conforming use, provided such repair:

1. Shall be made in accordance with the provisions of the City building regulations, when applicable, and
2. Does not have the effect of increasing the size or altering the character of the non-conforming building, structure or use.

3.22.5 Damaged Building and Structure May Be Restored. A non-conforming building or structure or a building or structure occupied by a non-conforming use which is damaged or destroyed by fire, flood or other calamity or act of nature may be restored or reconstructed and the use thereof resumed, provided that such restoration or reconstruction:

1. Is commenced within a period of two years from the date of occurrence of the damage, and
2. Does not have the effect of increasing the size of the building or structure or the floor space in excess of that which existed at the time the building became non-conforming, except when approved in accordance with the provisions of Section ~~3.1.6.6~~ 3.22.7 below.

Any such restored or reconstructed structure shall be constructed in accordance with the provisions of the current City building regulations.

3.22.6 Expansion of Non-conforming Uses Within Existing Structures Permitted. A non-conforming use located within a building may be extended through the same building in which said non-conforming use is located, provided no structural change is made or proposed in the building for the purpose of accommodating such extension.

3.22.7 Extension (Enlargement) and Reconstruction of Non-conforming Buildings - Conditions. A non-conforming building or structure or a building housing a non-conforming use may be extended or enlarged or reconstructed, subject to the prior approval by the City Council, after recommendation of the Planning Commission and such compliance with the following:

1. The proposed extension or replacement shall be located entirely on the same lot or parcel as the present non-conforming structure and will conform with all existing setback and location requirements.
2. The applicant shall submit a detail site plan showing the location of existing and proposed structures on the site and in the vicinity, existing lot boundaries, roads, driveways, parking areas, utilities and other significant features on the site and in the immediate vicinity.
3. A finding made by a majority vote of the Council that:
 - a. The proposed enlargement or extension will not significantly alter the character of the building or use or its impact upon the area.
 - b. The building or use, if extended, will not have the effect of diminishing the value of property or the quality of living environment of adjacent properties.
 - c. The proposed enlargement will not significantly increase the number of vehicles or pedestrians, or result in the establishment or increase of a safety hazard to the area.
 - d. The proposed enlargement will not result in the establishment of a condition incompatible with the neighborhood area and the stated objective of the zone in which it is located.

The Council may attach such conditions to its approval as are necessary to adequately protect the property and uses in the surrounding territory and the intent of the zone, including but not limited to, the providing of off-street parking access ways, landscaping features and additional setback of structures.

3.22.8 Substitution of Non-conforming Uses. A non-conforming use or building may be changed to a conforming use or building. Any non-conforming building or use, which has been changed to a conforming building or use shall not thereafter be changed back to a non-conforming use.

A non-conforming use of a building or lot shall not be changed to another non-conforming use whatsoever. Changes in the use shall be made only to a conforming use.

3.22.9 Discontinuance or Abandonment. A non-conforming building or structure or portion thereof, or a lot occupied by a non-conforming use which is, or which hereafter becomes, abandoned or discontinued for a continuous period of two (2) years or more shall not thereafter be occupied, except by a use which conforms to the regulations of the zone in which it is located. Provided, the City Council may, upon appeal, authorize the re-establishment of a non-conforming use which as been discontinued for a period longer than provided herein, where the weight of evidence clearly shows that the owner had no intention to terminate the non-conforming use and that the longer period of discontinuance was beyond the control of the owner.

3.22.10 Reclassification of Territory. The provisions pertaining to non-conforming uses of land and buildings shall also apply to land and buildings which hereafter become non-conforming due to an amendment of this Ordinance or the zone map.

3.22.11 Non-conforming Lots of Record. In all zones where one-family dwellings are listed as a permitted use, a one-family dwelling may be constructed on any lot or parcel of land, even though

such lot or parcel does not comply with the area or width requirements for one-family dwellings within the zone, subject to a determination by the Zoning Administrator that the lot complies with all of the following:

1. The lot or parcel qualifies as a non-conforming lot of record (existed as separately described parcel on the records of the County Recorder prior to the effective date of the Ordinance) and the parcel does not constitute an illegal subdivision lot.
2. One-family dwellings are listed as a permitted use in the present zone, and
3. All setbacks, height, access, building size, utility and special provision requirements of the existing zone and all applicable supplementary regulations can be met.

The authorization in this Section 3.22.11 shall be applicable only in the instance of one-family dwellings. The ~~Board of Adjustment~~ [Hearing Officer](#) shall not have the authority to approve a dwelling having two or more dwelling units on a parcel which does not fully comply with the requirements applicable thereto.

**ALPINE CITY PLANNING COMMISSION MEETING at
Alpine City Hall, 20 North Main, Alpine, Utah
Feb 17, 2015**

I. GENERAL BUSINESS

A. Welcome and Roll Call: The meeting was called to order at 7:00pm by Chairman Steve Cospers. The following commission members were present and constituted a quorum.

Chairman: Steve Cospers

Commission Members: Bryce Higbee, Steve Cospers, David Fotheringham, Jason Thelin, Chuck Castleton, Steve Swanson, Judi Pickell

Commission Members Not Present:

Staff: Jason Bond, Marla Fox

Others: Roger Bennett, Eli Slesk, Brandon Maughan, Erin Darlington, Tony DiConza, Greg Schwarz

B. Prayer/Opening Comments: David Fotheringham

C. Pledge of Allegiance: By Invitation

II. PUBLIC COMMENT

Erin Darlington said she is concerned about the buildings on Main Street and how it's developing. She said the design standards are not defined and developers need to know what those are. She said the properties that are left are very precious and every time a building goes up that is not an asset to the city, it's a lost opportunity. She said the city needs to preserve the look we want for Main Street or at least define it and then be very clear about that look to the developers. She said if some groundwork were laid, it would prevent headaches for both sides. She said a lot of people are disappointed with how Main Street looks and they would rather not have any buildings built than buildings that detract from the look of Main Street. She said what's happened has happened and we need to fix it and move forward so people can feel confident about businesses coming into Alpine.

Steve Cospers said this will be a challenge because what may be abhorrent to one person may be beautiful to another which makes architectural standards tricky. Erin Darlington said there may not need to be one specific style but there needs to be some sort of a standard that needs to be kept. She said you can set and define an overall feel and then allow people to have some lateral movement.

Judi Pickell said we need to bring cohesion to the buildings that are being built through elements, form, rhythm, color, and size so that we can have a Main Street feel. She said it will be a big project to come up with design standards but these standards need to be in the code so developers know up front what is expected if they want to build on Main Street. She said we want to be business friendly and when developers come in, we don't want any surprises for them. For example, to spring on them that the front entrance has to face Main Street after they have been working on their design for over a month. She said she read the code and it did say that the entrance of the building had to face Main Street.

Judi Pickell said if we require certain elements to be the same on all of the buildings, then it will create a cohesive look and feel for Main Street. She also said that other cities require all the fencing on Main Street to be the same so it flows and looks aesthetically pleasing.

Steve Cospers said he would like a committee to get together and come up with some standards to bring back to the Planning Commission to discuss. Tony DiConza at 13 S Wildflower Drive said he would like to offer his services and be on the committee because he has had experience with this same topic at Heriman City.

Steve Swanson said he would like to see some resolution on retaining walls and would like to adopt or amend the Draper retaining wall code. He said he has already brought it before the Planning Commission and he said he feels like it is adequate for what we are trying to do. Jason Bond said he could take a look at it and bring it back to be looked at a future meeting. Judi Pickell wanted to know if we needed the engineers to look over the code to see if it was something we could adopt. Jason Bond said it would have to be looked into further.

III. ACTION ITEMS

A. State Farm Office Building Site Plan – Eli Slesk

The proposed State Farm Insurance office building is located on the corner of Main Street and 120 south. The property is 10,043 square feet and is located in the Business Commercial zone. Office buildings are a permitted use in the BC zone. The proposed building will be 2 stories with 2,000 square feet per floor.

At the February 20, 2015 Planning Commission meeting, the preliminary architectural drawings were discussed extensively. The Planning Commission asked that some new drawings be created implementing some of the ideas that were discussed that night. The Planning Commission will review these new drawings and consider making a recommendation to the City Council regarding the site plan.

Jason Bond said the developers brought in a new site plan which adds a little bit more square footage, the front door now faces Main Street and they have added some awnings over the doors. This will add a little over 400 square feet to each floor. The developers are asking to have 17 foot setback on the north side of the building, the south side setback will now be 8 feet, and a front setback of 16.

Jason Bond said we need to discuss an exception on the parking and an agreement with the neighboring building to share a parking stall. He said there will need to be a small shift of the building to align with Main Street and meet the sight triangle.

Brandon Maughan said they will have a north entrance that will mirror the Main Street entrance but felt like no one will use the Main Street entrance. He showed on the plans where the hallway and stairs will be. They decided to not put the hallway all the way from east to west because it will cut too much into the State Farm offices. He said the floor plan of the second story has not changed. He said they would like to make the second floor windows a little bit larger.

Eli Slesk said he would like to move his sign from his current building in the Clock tower building to this new building. The Planning Commission talked about the sign ordinance and asked if the sign ordinance overrides the Historic Gateway requirements.

Jason Thelin said he would like to see a signed legal document from the neighboring business stating they will give up one of their parking stalls. Brandon Maughan said they have not discussed a legal document but it would be a win/ win for both businesses because the businesses in the dermatology building will be able to exit their back parking lot through State Farms parking to get out onto 120 south.

Chuck Castleton asked how many employees will be working in the building. Greg Schwarz said he doesn't envision there being more than one employee per office suite which will equate to approximately twelve employees. He said they also planned on parking on the street if needed on 120 south. Jason Thelin said he doesn't want to pass something that requires street parking and he said he sees parking issues in the future. Greg Schwarz said whatever building goes on that property will have the same parking issues. The Planning Commission said not necessarily because a one story building could be built there with less parking needs.

Jason Thelin said we are missing the lighting plan and the landscaping plan so he didn't think a motion could be made tonight. He said some thought needs to be put into the lighting plan so beams of light don't face into the neighbor's and is placed in the best spot. He said this is something that needs to be reviewed by the engineers. Jason Bond said that Jed Muhlestein asked the developers to provide a lighting plan for review. Jason Bond said they will also need to provide a landscaping plan. Jason Thelin said a landscape plan should include what types of trees and bushes will be planted so we can see how big they will be. He said they need to put some more thought into it and think about what will work with the signage and the sight triangle.

The Planning Commission asked the developers to go back to the drawing board and come back next time with a landscaping plan that show types and sizes of plants, lighting plan, signage, square up the building, window design, and parking agreement.

1 **B. Bennett Farms Plat F – Roger Bennett**

2 The proposed Bennett Farms Plat F Subdivision consists of 6 lots on 6.59 acres. The lots range in size from 40,260
3 to 42,320 square feet. The development is located on the northern end of Country Manor Lane and completes the
4 final phase of Bennett Farms Development, which has received Concept and Preliminary approvals. The developer
5 is seeking Final Approval for the last phase of this development. The proposed development is located in the CR-
6 40,000 zone.

7
8 Jason Thelin asked what trail access to Lambert Park will be at the north end of the subdivision next to the Stake
9 Center. Roger Bennett said the city has a twenty foot strip of property going over to their pond and from the pond
10 on, is city property. He said he donated 20 feet of his property to the city when they put in the pressurized
11 irrigation. He also said the city has an easement over by the Stake Center but he's not sure of the details of that
12 easement.

13
14 Jason Thelin asked Mr. Bennett if the easement starts with his fence line. Roger Bennett said the easement will start
15 three feet past the fence line because the fence is not completely accurate. Jason Thelin asked if this information is
16 from Shane Sorensen and Roger Bennett said no, it's coming from Ed Gifford, who is a surveyor. Jason Bond said
17 that Jed Muhlestein looked at it and in his reviews; he didn't see any issues with the subdivision or this final plat.

18
19 Jason Thelin wanted to know if the fence was pushed back three feet, would there be issues with the road and
20 getting a vehicle up around the corner. Roger Bennett said it will not be a two lane road, but it is a road and there
21 should be no issue. Jason Thelin said our engineer needs to look into this and double check on it. He said he doesn't
22 want a developer saying he's moving the fence three feet without the city coming back and verifying it is correct.
23 He said there needs to be a process on the City's side to verify that the survey Mr. Bennett did is correct. Mr.
24 Bennett said the city could send Jed Muhlestein up there and survey to make sure it is correct. He said the property
25 he gave has been deeded to the city and they will have their full twenty feet for access. He showed on the map what
26 he gave to the city and where the Stake Center property line is. He said he's not concerned about where his fence is.
27 He said the fence was put up in the same place as an old fence, but that doesn't mean that's where the property line
28 is. He said he can't encroach on to city property and the city can't encroach on to his property.

29
30 **MOTION:** Jason Thelin moved to recommend approval of Bennett Farms Final Plat F.

31
32 Bryce Higbee seconded the motion. The motion passed and was unanimous with 7 Ayes and 0 Nays. Bryce
33 Higbee, Jason Thelin, David Fotheringham, Steve Cosper, Chuck Castleton, Steve Swanson and Judi Pickell all
34 voted Aye.

35
36 **C. Article 3.22 Non-Conforming Ordinance Amendment**

37 The proposed amendment will clarify the City's position on non-conforming buildings and uses in Alpine.
38 Jason Bond said the last sentence just needs to be tweaked a little bit so it makes more sense. He said he changed it
39 to say: It is the purpose of the ordinance to define how non conforming buildings and uses will be administered.

40
41 Steve Cosper said he didn't think the changes made would have helped with the six plex that came through the
42 Planning Commission last month. Jason Bond said he disagrees and feels like that one sentence was contradictory
43 to the rest of the ordinance and we weren't quite sure which direction to go. The Planning Commission discussed
44 this issue and said it is good to clean up the ordinance.

45
46 Bryce Higbee said we need to get rid of all reference to the Board of Adjustment in our ordinances. Jason Bond said
47 the Board of Adjustment would only really listen to variances but he said he will go through and clean it up.

48
49 Steve Cosper said he would like to have a Public Hearing on this because he didn't think it was properly done at the
50 last meeting. He asked Jason Bond to put this back on the agenda for next time and to also clean up the ordinances
51 some more by removing references to the Board of Adjustment.

52
53 **V. COMMUNICATIONS**

54 Steve Cosper said there were strong emotions on both sides of the James Lawrence building and neither side was
55 happy. He said the City Council did not make Mr. Lawrence rip anything out and start over. He said the dormers
56 are gone because the roof pitch went from an eight twelve to a six twelve. Jason Bond gave a report of what was

1 discussed in the DRC meeting and what Mr. Lawrence would be required to do to his building. He said Mr.
2 Lawrence will be required to put shutters on the windows, add a divider to the two top windows so they match the
3 two bottom windows, and put a keystone above the door and it was suggested to plant some ivy to grow up the
4 building.

5
6 Steve Swanson wanted to know what would be done in the future to prevent this from happening again. He said
7 there is nothing we can do about this building now because it is already built and has been approved. Steve Cosper
8 said we have talked about bringing back the Gateway Historic committee to have a last look at it before it is turned
9 into the city. Jason Bond said he doesn't think there has been any further talk about the Gateway Historic
10 committee, but in the future he will look at all plans that have been through the Planning Commission and City
11 Council process when they come into the building department. Steve Swanson said there should be something that
12 states that if there is any variance in the approved plans, they must come back to City Council for approval.

13
14 Judi Pickell asked about the building department requirements and who looks at the plans. She wanted to know if
15 there is a checklist that someone looks over before the building is approved. Jason Bond said we contract with
16 Sunrise Engineering and they work off those plans to make sure the building is built up to code, but they don't look
17 at aesthetics or to make sure it complies with conditions of the City Council. Judi Pickell said there is a missing link
18 in the system at Alpine City that needs to be repaired. She said there needs to be a file with all the approved
19 conditions that the Planning and Building Departments follow.

20
21 Steve Cosper said mistakes need to be caught before the City puts their stamp of approval on it. Erin Darlington
22 said this is exactly why there needs to be some design standards and criteria for the developers to follow. She said
23 drawing up building plans is expensive and developers need to know what is expected of them. She said then if the
24 building is not built to that standard the city should make them go back and change it. She said the buildings will
25 either attract or detract and we only have one chance to make it right.

26
27 Steve Swanson asked Jason Bond why the DRC didn't tell James Lawrence that he had to make the building look
28 like the original plan, why didn't they take that stand. He said the DRC did a bad job and they should have made Mr.
29 Lawrence conform to the original drawing, period. He said he doesn't want to leave the Gateway Historic to the
30 DRC based upon what he's just seen. The Planning Commission said this is the reason why they didn't want the
31 DRC to handle this. Steve Cosper said the City Council sent this decision back to the DRC.

32
33 Bryce Higbee said James Lawrence was in Planning Commission multiple times and said all he cared about was
34 creating a beautiful building and he didn't even want people to know that this was an auto body shop. Bryce Higbee
35 said that James Lawrence can lay blame on a signed document, but he is the one who came to the meetings and
36 agreed to the original plan and he needs to be responsible for that.

37
38 Judi Pickell asked Roger Bennett how the City Council can help our staff. She said we are giving them ordinances
39 to rewrite without providing Sterling Codifiers to help them. She said we are saying we want design review
40 standards when every other city hires consultants. She said we say we want trails and other amenities when other
41 cities have support staff to do that. She said we keep piling all this stuff on the staff and expect them to do a better
42 job when we only have a bare bones staff. We tell them to do this and do that and then a little bit more and then get
43 back to us. When the staff is overworked, you get a bad product. Roger Bennett said it is a budgetary issue and there
44 is a limit to what Alpine can do without any businesses.

45
46 Jason Bond said the Leakage Study will be on the City Council agenda on March 10th.

47 48 **VI. APPROVAL OF PLANNING COMMISSION MINUTES OF: Feb 03, 2015**

49
50 **MOTION:** Jason Thelin moved to approve the Planning Commission Minutes for Feb 03, 2015 subject to changes.

51
52 Steve Swanson seconded the motion. The motion passed unanimously with 7 Ayes and 0 Nays. Bryce Higbee,
53 Steve Cosper, David Fotheringham, Jason Thelin, Chuck Castleton, Steve Swanson and Judi Pickell all voted Aye.

54
55 Jason Thelin stated that the Planning Commission had covered all of the items on the agenda and adjourned the
56 meeting at 8:55pm.