



NOTICE AND AGENDA BRIGHAM CITY PLANNING COMMISSION

Tuesday, June 02, 2026, 6:00 PM
City Council Chambers, 20 North Main

- 6:00 Pledge of Allegiance
- 6:02 Approval of Minutes
- 6:05 Application #26-048 / Conditional Use Permit ¹ / Self-Service Enclosed Storage Facility / 1177 West 100 South / Brinton Neff
- 6:30 Training

¹ Each individual is limited to 3 minutes.

In compliance with the Americans with Disabilities Act, persons needing auxiliary communicative aids or services for this meeting should contact Destry Larsen (435-734-6604) at least 48-hours in advance of the meeting.

CERTIFICATE OF POSTING

The above notice and agenda were posted in three places within Brigham City Limits. A copy was also provided to the Box Elder News Journal and posted on the City Website and the State Public Meeting Notice website on May 21, 2026

**BRIGHAM CITY, UTAH
PLANNING COMMISSION
STAFF EVALUATION**

APPLICANT: Brinton Neff
PROPERTY OWNER: Hot Iron Storage LLC
PROPERTY ADDRESS: 1177 W 100 S
PARCEL NO.: 03-118-0043

APPLICATION NO.: 26-048
PARCEL AREA: 5.75 acres
ZONING DISTRICT: M-D
DATE: May 28, 2026

PLANNING COMMISSION MEETING: June 2, 2026
APPLICATION TYPE: Administrative
PLANNING COMMISSION ROLE: Land Use Authority

NATURE OF REQUEST:

Conditional Use Permit – Self-Service Enclosed Storage Facility

OVERVIEW:

The applicant would like to develop Lot 1 “R”, KEB Subdivision No. 4 as a storage unit facility (Aspen Springs Storage) with a 20’ x 20’ office. There are proposed two access points from 100 South Street. The drivable surface is asphalt. Installation of the 10 foot wide historic orchard path along 1200 West Street will be completed with this project. There are certain city code standards and requirements for storage units as conditions of approval. A response by the applicant to each of the standards and requirements is attached for review with the plans. Civil site and utility plans, the landscape plan, elevations, renderings, unit height and dimensions, and pictures of an existing project with similar construction are provided with the submission. The Planning Commission is the Land Use Authority for this application.

STAFF COMMENTS:

Building Division:

1. No comments at this time. Will be more involved at the building permit stage.

Community & Economic Development Department:

1. Access points will need to be adjusted to meet City standards. See Engineering Department comments.
 - A. The main office/parking (west) access is too close to the intersection of 100 South and 1200 West.
 - B. The emergency exit (east access) must meet the minimum offset from the east property line.
2. Office Parking. The ADA stall and access aisle width must meet Federal ADA standards.
3. 1200 West Street corridor standards.
 - A. Install the 10 ft wide concrete trial as shown and noted in Public Works Standards – Sheet R3.
 - B. Install the type of landscape shown and noted in Public Works Standards – Sheet R3.
 - C. Install a 6 ft masonry fence/wall as shown and noted in Public Works Standards – Sheets R3 and L3. Update General Notes #9.

- D. Once installed, Brigham City will maintain the trail and landscape between the street curb and masonry fence/wall.
- 4. South Property Line. There is a 15 ft setback along the south property line. The City Code language is being reviewed by City Attorney.
 - A. Per City Code Section 156.157 Area, Width, Frontage, Yard and Coverage Regulations, *no industrial building shall be located closer than 15 feet to any residential district boundary line or to any public right-of-way that continues as frontage into a residential district within the same city block, not including Main Street and West Forest Street.*
 - B. The south adjacent property is currently zoned A-5 Agricultural. The General Plan Future Land Use Map designates the south adjacent property as Medium Density Residential.
 - C. If setback is required, screening/fencing would need to be considered.
- 5. Outdoor Lighting Plan. Provide an Outdoor Lighting Plan prepared and certified by a professional architect or professional engineer demonstrating compliance with Brigham City Code Section 156.361 Outdoor Lighting Standards. The plans are to be stamped and have some verbiage certifying they are in compliance with said City Code section.
- 6. Landscaping. Support the proposed landscape plan with the following:
 - A. Provide trees as shown in the 15 ft PUE/setback area along 1200 West Street between the 6 ft masonry fence/wall and the storage units. Shrubs in this area would not be required where they would not be visible to the public.
 - B. Modify General Notes #1 to replace gravel with decorative rock. The ground cover between the masonry fence/wall and storage units can be gravel material where it would not be visible to the public.
- 7. PUE. There is one reference for the 15 ft PUE along 100 South. Please show more clearly and label along both 100 South and 1200 West.
- 8. Sign Permit. Please add a note to the General Notes that states, Obtain a Brigham City sign permit prior to installing any signage on the property or buildings.
- 9. Fire Hydrant and Water Line. Please verify requirements with City Public Works Department and hydrant placement by City Fire Marshal.
- 10. Use. Add to General Notes.
 - A. Outside storage is prohibited.
 - B. Storage units are not to be used as a place of business.

Engineering Department:

- 1. 1200 W is classified as a future arterial road on the city streets master plan. As per city standards R9, please adjust drive access to be no closer than 250' from the 1200 W intersection.
- 2. It was agreed when the KEB development was built that each lot would include its own storm drain detention system.
- 3. Please specify on the plat that the fire line and the fire hydrant are to be privately owned and maintained.
- 4. Please verify with the fire department that a single hydrant is sufficient for the development, and that it is adequately placed.
- 5. The fire hydrant is located in phase two. Please specify that it is to be constructed along with the first phase of development.
- 6. It appears that the corners of most of the buildings do not provide a sufficient turning radius for firetrucks as specified in the city standard and international fire code hammerhead turnaround. Please redesign or verify with Fire Marshall.
- 7. Power service must be shown on the utility plan.

8. This site has two water, fire, sewer, and irrigation services stubbed to the site. Please verify if both services will be required. If both services are not required, coordinate with Public Works to terminate and abandon the unused services.
9. Along 1200 West, please follow the approved City Standard cross section which includes a masonry along the frontage of the property.

Fire Department:

1. I calculate Buildings 2, 3, 4, and 5 being above 10,000 square feet. Are these going to have some sort of fire separation in them to bring the individual fire areas below the 10,000-foot threshold?
2. We will also need a Knox switch on any electric fence for emergency access. For chained and padlocked fences, they can do a Knox padlock otherwise we will cut the locks.
3. I would like to see a turning model for our trucks on this one.

Police Department:

1. No comments provided

Public Power Department:

1. Power needs to be included on the Utility Plan.
2. Coordinate with Public Power on Power infrastructure
3. Need load calculation sheet
<https://www.bcutah.gov/documents/departments/public-power/standards-guide-and-load-sheet/566377>

Public Works Department:

(Culinary Water, Street, and Wastewater Treatment/ Storm Drain Divisions)

1. No written comments provided.
2. Comment made in Staff DRT meeting that the water line in the project would need to be private.

PLANNING COMMISSION RESPONSIBILITY:

1. The Planning Commission is the Land Use Authority for this application.
2. The Planning Commission is responsible for verifying the City standards and regulations are being addressed.
3. The Planning Commission should be specific in their motion.

STAFF RECOMMENDATIONS:

1. Support the application subject to addressing the staff review comments and the noted stipulations.

STIPULATIONS:

1. Address staff review comments and any applicable requirements by the Planning Commission. Following the Planning Commission meeting update plans and submit for a second review by staff.

FINDINGS OF FACT:

1. A self-service enclosed storage facility is allowed in the industrial districts through a conditional use permit.
2. The subject property is zoned M-D (Manufacturing-Distribution District), which is one of the industrial districts.

3. The City Code has specific standards and regulations for self-service enclosed storage facilities, identified in sections 156.605 to 156.610.
 4. The application is also subject to established standards and regulations for the 1200 West Street corridor, Public Works Standards, and Industrial Districts.
 5. On May 21, 2026, the City Council adopted an amendment to the City Code prohibiting self-service enclosed and self-service outside storage facilities west of 1200 West Street/Watery Lane and on properties abutting the east side of 1200 West Street/Watery Lane.
 6. The subject property is located on the east side of 1200 West Street and abuts said street.
 7. This application was submitted prior to the noted City Code amendment, which language “and on properties abutting the east side of 1200 West Street/Watery Lane” was added by the City Council that was not part of the initial draft or Planning Commission recommendation.
 8. The City Council was informed of the application submission at its May 21, 2026 meeting and acknowledged the applicant’s right to continue processing the application despite the pending code amendment.
 9. The Planning Commission is the Land Use Authority for this application.
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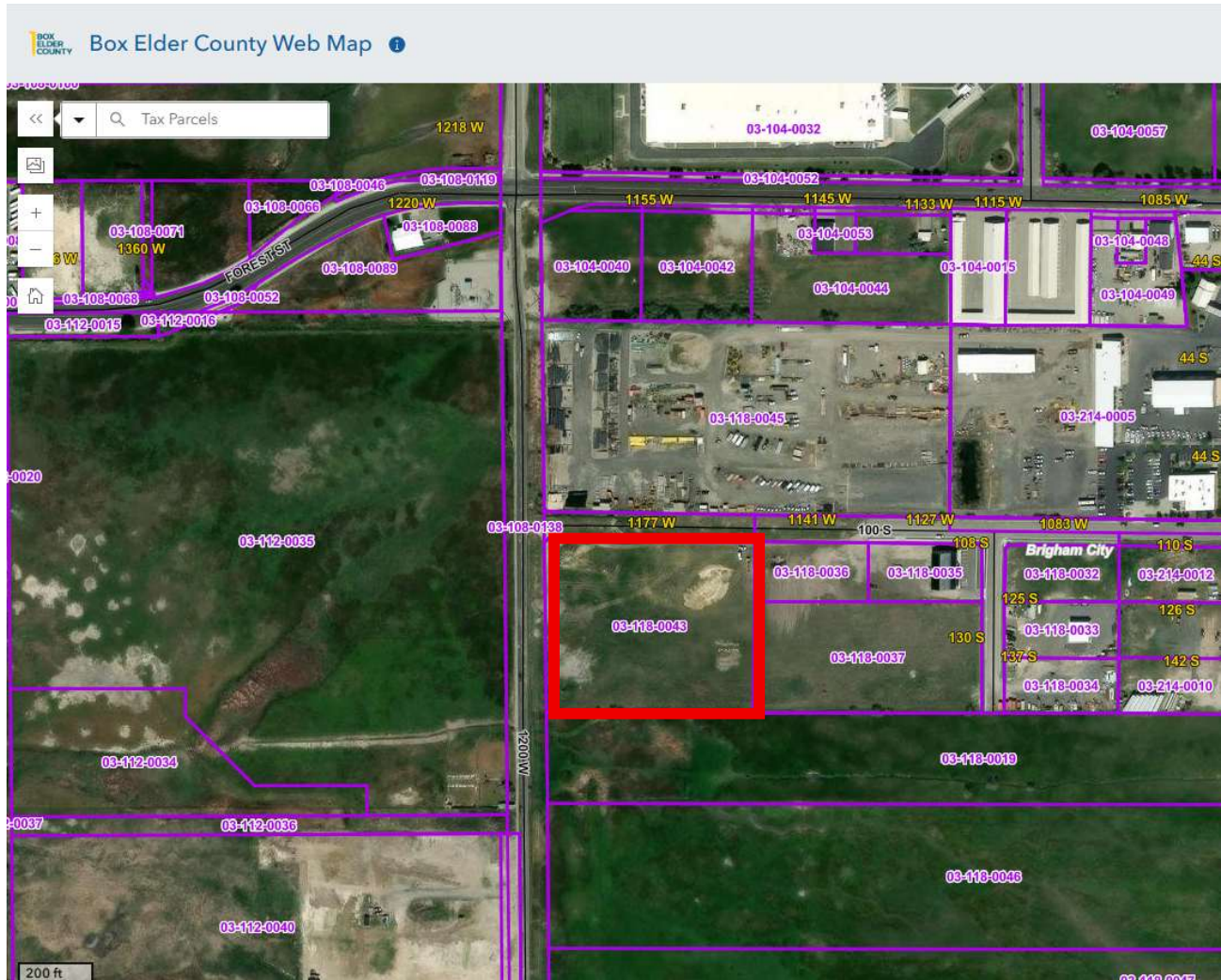
ATTACHMENTS:

1. Locator and Parcel Map
2. Zoning and General Plan Future Land Use Maps
3. Response to City Code Standards and Regulations
4. Pictures of Existing Storage Units
5. Renderings
6. Size and Material Schedule for Buildings
7. Color Section Guide
8. Elevations
9. KEB Subdivision No. 4
10. Civil Site and Utility Plans
11. Landscape Plan
12. Public Works Standards Sheet R3 – Street Section
13. Public Works Standards Sheet L3 – Masonry Fence Detail and Landscape Detail

LOCATOR MAP



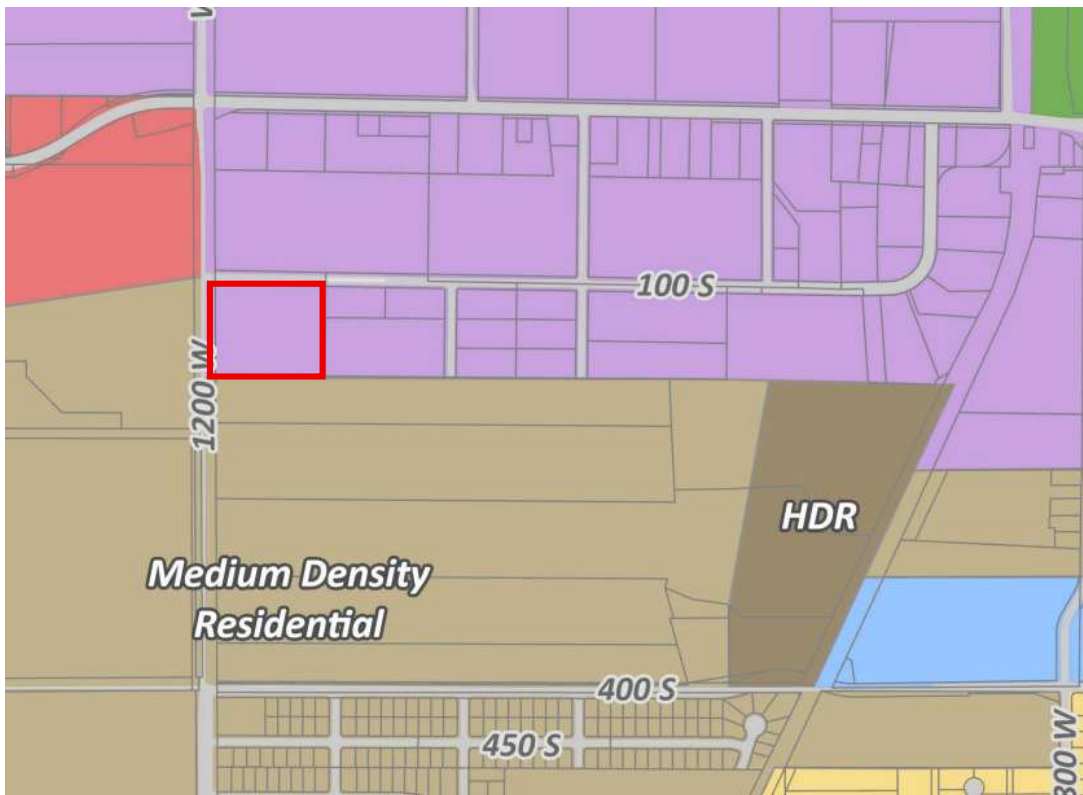
PARCEL MAP



ZONING MAP



GENERAL PLAN FUTURE LAND USE MAP



APPLICANT RESPONSE SHEET

156.608 Standards and Regulations

(D) General Standards and Regulations [ES - Self-Service Enclosed Storage Facility]

Access Lanes, Internal. Interior access lanes shall be maintained and kept open and free from storage as required by the fire department to provide adequate access for fire protection. The width of the access lane(s) will be reviewed and approved based on adequate access and maneuvering within the storage area.

Referenced in note 7) on drawing no. 1, Also rental contract enforces this. Anything left out will be discarded

Building, Primary Office. When applicable and as determined by the use and conditional use permit, construct and maintain a permanent primary office building. The exterior building materials shall be approved by the Planning Commission. Typical improvements and utility connections are required.

Utilities available from when 100 South was constructed.

Buildings, Other. All buildings and structures will be reviewed as part of the conditional use permit application.

Landscaping. Setback areas (area between street and building and/or fencing) shall be landscaped. Provide a detailed landscape plan to be reviewed by the Planning Commission as part of the conditional use review. No vehicles shall be parked or displayed within the areas designated for landscaping.

Referenced in drawing no. 2.

Fences referenced in notes 8) and 9) on drawing no. 1.

Lighting. Site, security, and operational lighting shall be installed so that it does not create traffic hazards or impacts on adjacent land uses. A lighting plan shall be submitted and approved as part of the conditional use request. Lighting for parking shall comply with the Lighting standards as identified in §§ [156.445](#) through [156.465](#) of this chapter.

will comply with the new City adopted standards and will provide an Outdoor Lighting Plan per City Code 156.361 Outdoor Lighting Standards to be reviewed with the second review submission.

Loading or Unloading of Vehicles. Vehicle staging areas shall be provided outside of the public accessible areas where vehicles are loaded or unloaded. No loading or unloading or storage of any vehicles is permitted within the public right-of-way, the customer parking lot, or required setback area from the public right-of-way.

Referenced in note 7) on drawing no. 1

APPLICANT RESPONSE SHEET

Parking. When applicable and as determined by the use and conditional use permit, provide adequate off-street customer and employee parking that complies with the standards of §§ [156.445](#) through [156.465](#) of this chapter. Customer parking must be separate from the vehicle storage area and accessible from the public road without being restricted with fences or gates. Operable licensed vehicles being displayed for sale shall be located in a separate designated area and are not required to be screened with a visual barrier.

There are to be 4 parking stalls available. One of which will be a handicap parking stall. One stall for employee and two for customers.
Code 156.448 met.

Setback, Buildings. Setbacks for all buildings are subject to the standards in §§ [156.155](#) through [156.160](#) of this chapter.

No buildings built within 15' of public right of ways. Also building #8 is on property line, still in accordance with code 156.157 as the district to the south of the property is agriculture rather than residential.

Setback, Water Sources (stream, creek, river, irrigation ditch, etc.). Setbacks for all water sources will be reviewed based on the nature of the site, water source, water feature, flood elevation, vegetation, etc.

N/A

Signage. Identification and business signage shall comply with §§ [156.480](#) through [156.491](#) of this chapter. No signage shall be permitted on the screen fencing unless specifically authorized by the Planning Commission.

Referenced in note 3) on drawing no. 1

Site Maintenance. All grounds and buildings shall be maintained free of insect and rodent harborage and infestation. The site shall be maintained free of organic waste, or inappropriately stored flammable materials. Materials that are customary to the business shall be stored in accordance with applicable laws.

Referenced in note 11) on drawing no. 1

Storm Drainage. Storm drainage is subject to compliance with the City Public Works Standards and review and approval by the City Engineer.

Referenced in drawing no. 2. Storm calculations provided.

Surface. The surface area between the drive approach and the storage facility or required parking area shall be paved with an asphalt or concrete surface. Required off-street parking shall comply with the Surfacing standards as identified in §§ [156.445](#) through [156.465](#) of this chapter and the city's *Public Works Standards*. The storage area shall be surfaced with an asphalt, concrete, gravel, or road base surface. The thickness of surfacing and material types shall be prescribed by a licensed geotechnical engineer based on the existing site soil conditions and proposed use in accordance with City Public Works Standards. A copy of the geotechnical report shall be provided to the City Engineer for review.

APPLICANT RESPONSE SHEET

Referenced in note 6) on drawing no. 1

(E) Special Regulations:

(2) Self-Service Enclosed Storage Facilities

(a) Outside Storage. Outside storage is prohibited unless the facility is approved for both enclosed and outside storage.

Screening requirement referenced in notes 8) and 9) on drawing no. 1.

(b) Prohibited Activities: See Section 156.606 of this chapter.

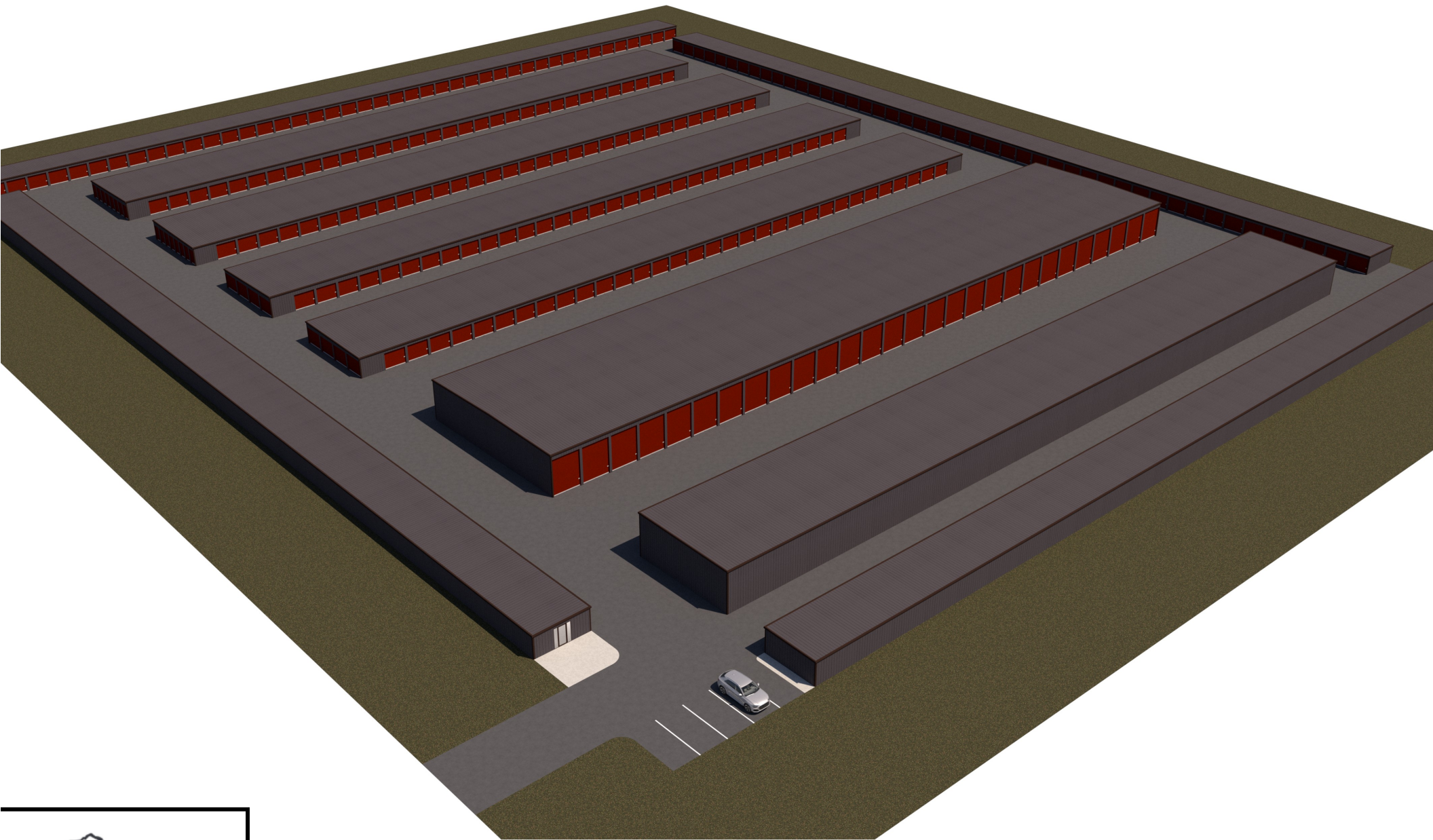
Will comply with this section.





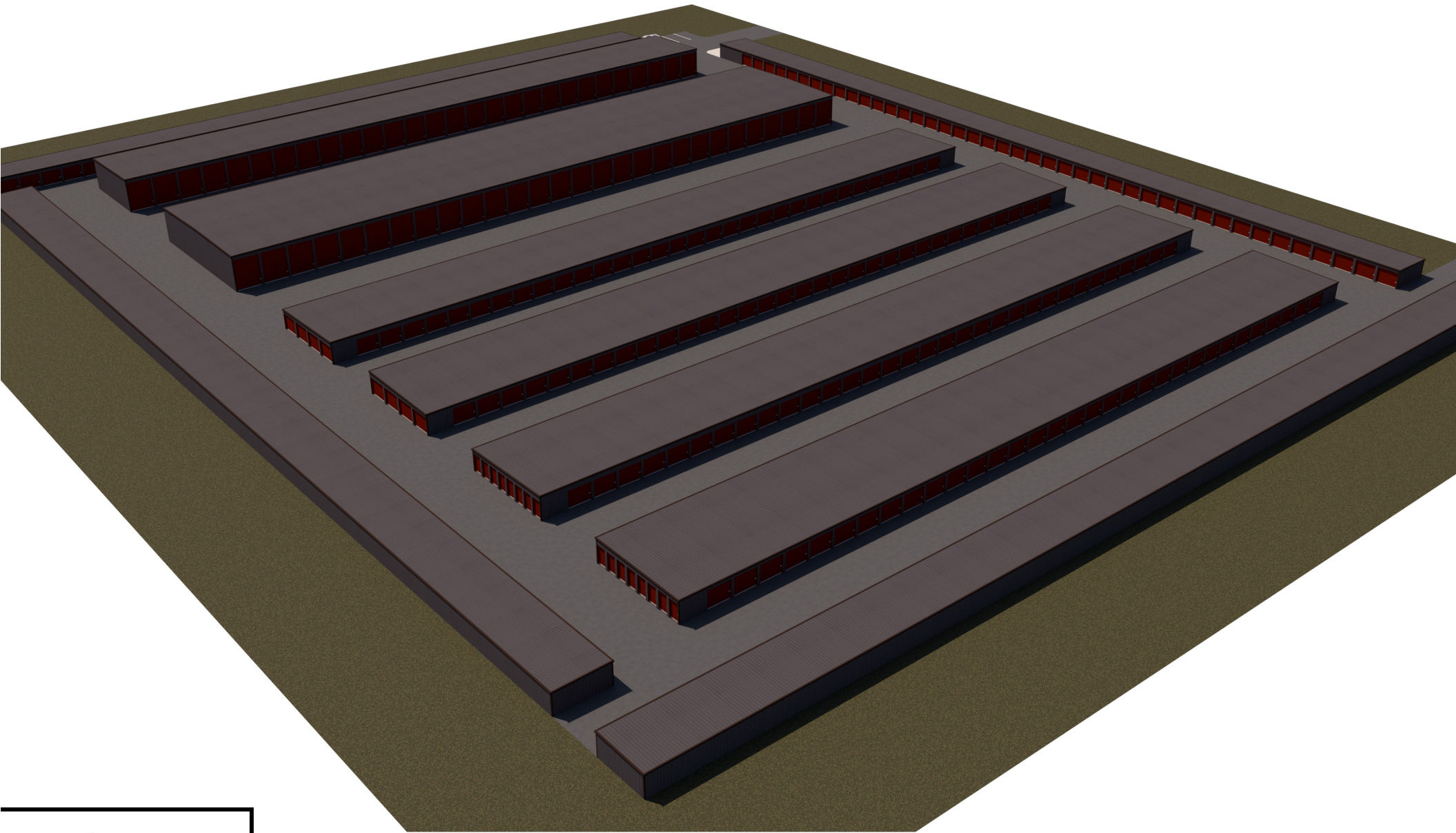






Office Corner Render

Aspen Springs Storage - Brigham



Back Corner Render

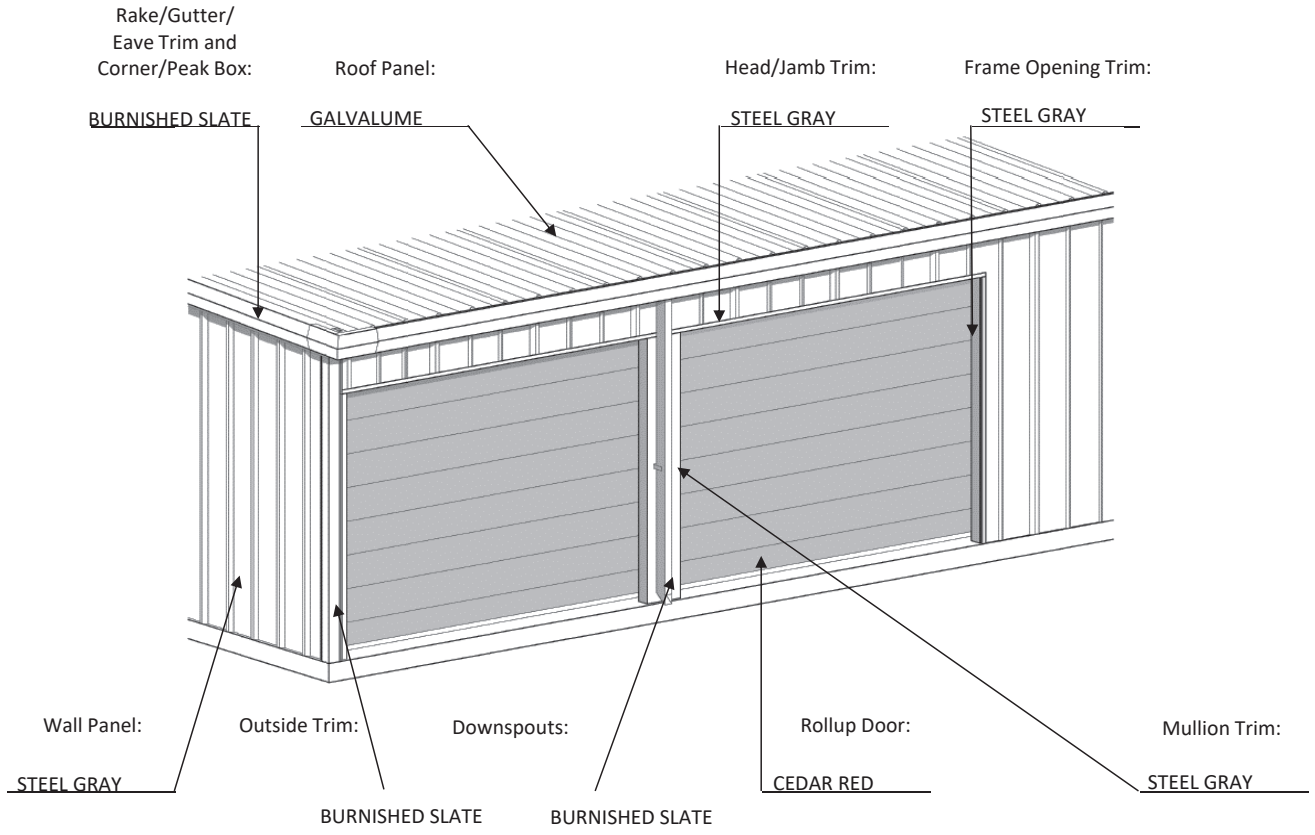
Aspen Springs Storage - Brigham

	Eave	Width	Length
Building 1	11'	20'	390'
Building 2	16'	40'	336'
Building 3	16'	70'	336'
Building 4	11'	40'	340'
Building 5	11'	40'	340'
Building 6	11'	40'	340'
Building 7	11'	40'	340'
Building 8	11'	20'	480'
Building 9	11'	20'	430'

Buildings to be Metal

Color Selection Guide

Job Number: BRINTON NEFF
Location: FARR WEST, UT





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2. THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES UPON THE FOUNDATION.

DOOR SCHEDULE

□ (16) EACH 9'-0" X 7'-0" ROLL-UP DOOR

ELEVATION & SLAB PLAN

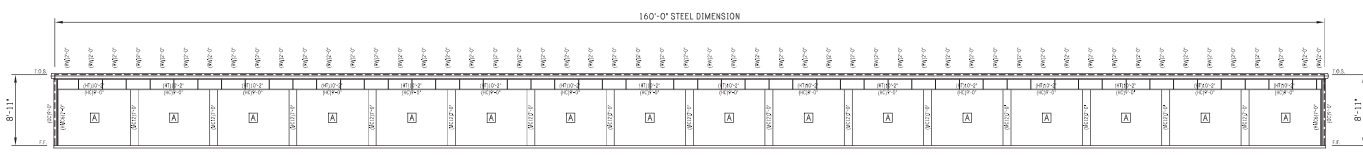


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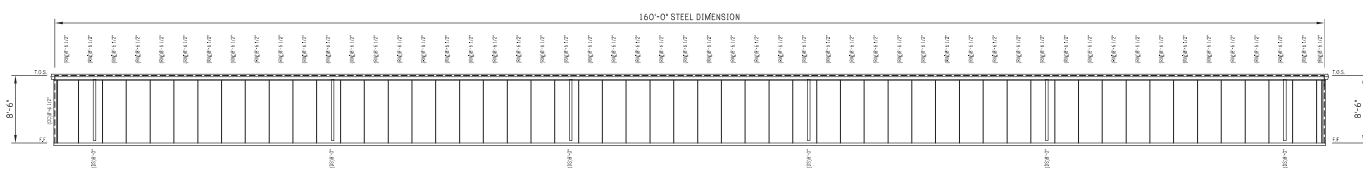
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 42801 S. 654 Rd.
 Jay, Oklahoma 74316
 Phone: 918-314-6328

PEAK STEEL
 CLIENT: P.O. BOX 1275
 Madison, GA 30650
 Phone: (844) 333-7325
 Fax: (706) 343-1968

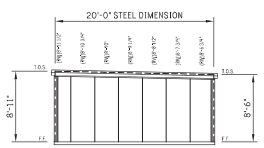
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7983-26011	7/1/21	CFH	DSM
SHEET NO:	DRAWING NO:	REVISION:	
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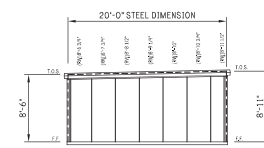
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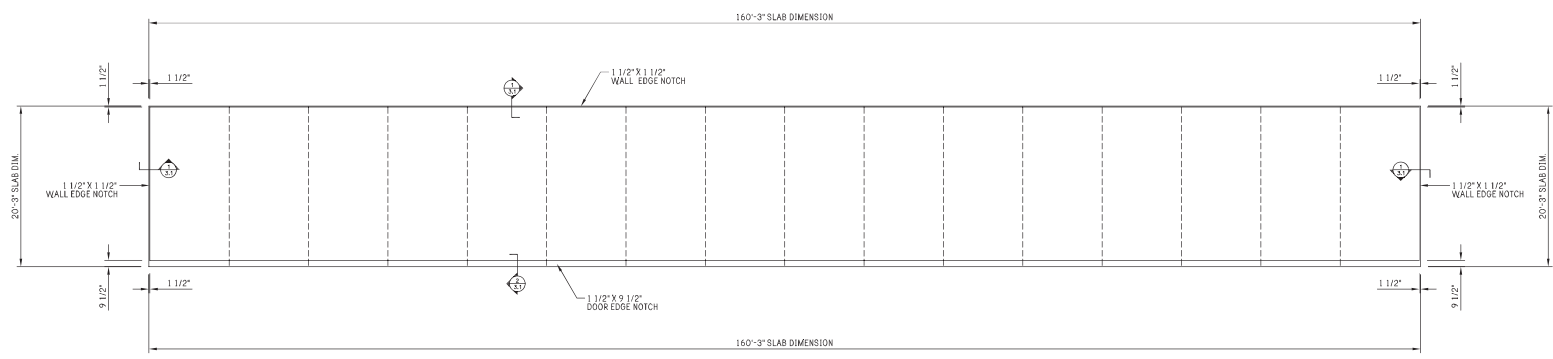
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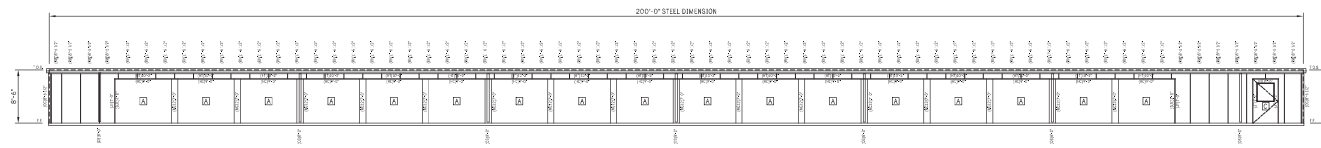
RIGHT ELEVATION



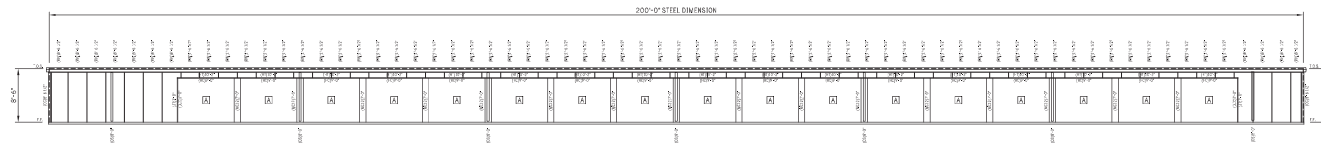
LEFT ELEVATION



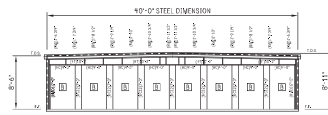
SLAB PLAN



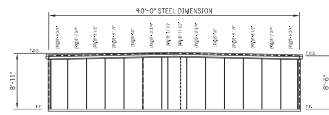
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

ELEVATION PLAN

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Notes:

DOOR SCHEDULE	
A	(34) EACH 9'-0" X 7'-0" FRAMED OPENING
B	(8) EACH 4'-0" X 7'-0" FRAMED OPENING
C	(1) EACH 4'-0" X 7'-0" HG WALK DOOR



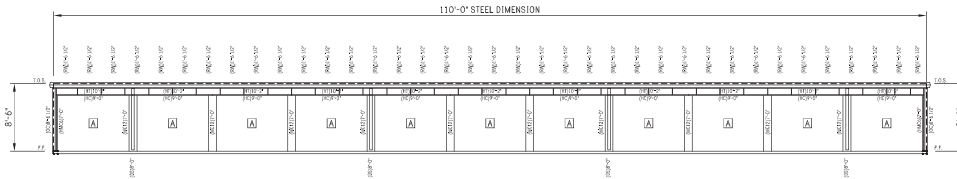
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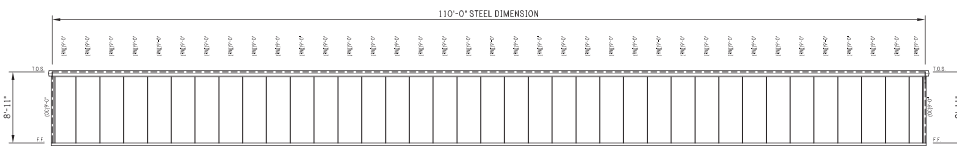
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FILE:	3344 N. 2000 WEST FARR WEST, UT 84404		
TITLE:	40' x 200' x 8'-6"		
JOB NO:	7983-26012	DATE:	7/1/21
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		REVISION:	

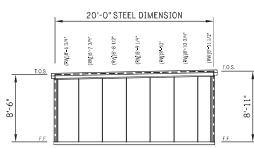
ELEVATION PLAN



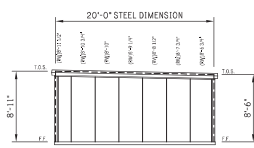
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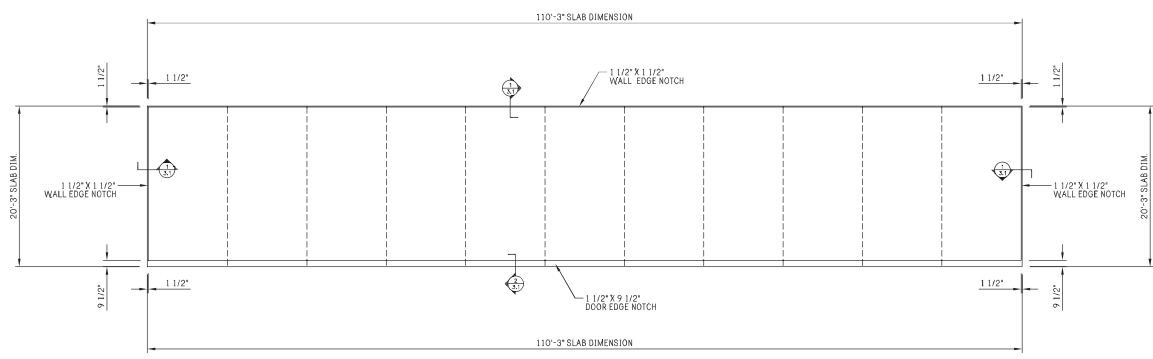
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



SLAB PLAN

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2. THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES UPON THE FOUNDATION.

DOOR SCHEDULE	
[A]	(11) EACH 9'-0" X 7'-0" ROLL-UP DOOR



REV:	DESCRIPTION:	BY:	DATE:
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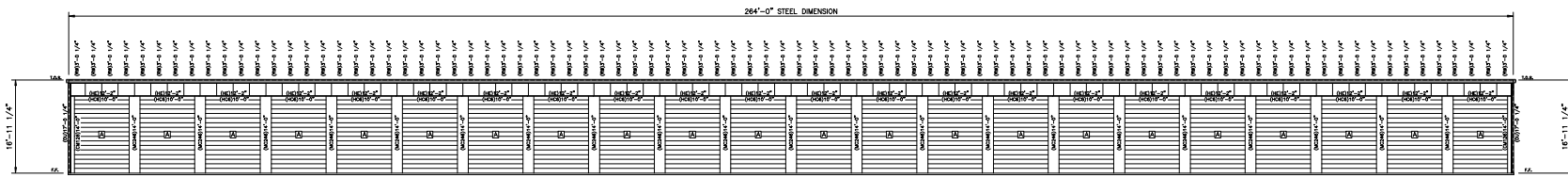
PEAK STEEL
 CLIENT: P.O. BOX 1275
 Madison, GA 30650
 Phone: (844) 333-7325
 Fax: (706) 343-1968

SITE: 3344 N. 2000 WEST
 FARR WEST, UT 84404

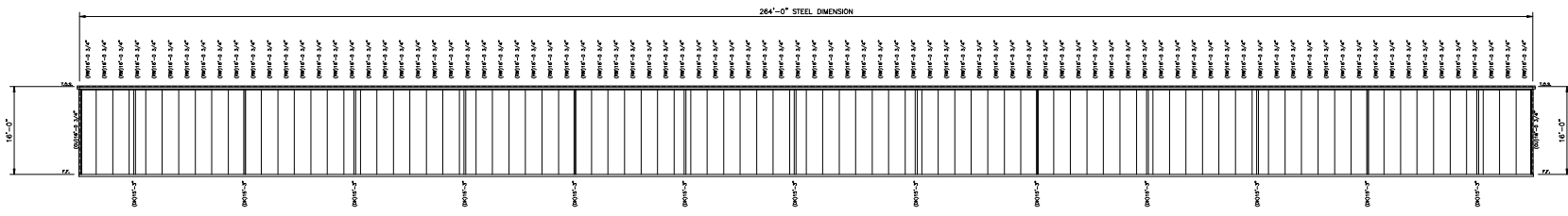
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SHEET NO:	DRAWING NO:	REVISION:	
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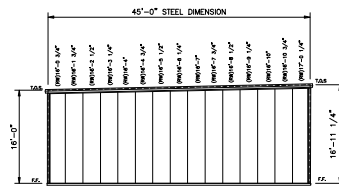
ELEVATION & SLAB PLAN



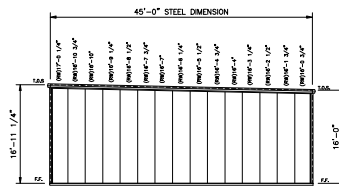
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REAR ELEVATION
scale - 3/32" = 1'-0"

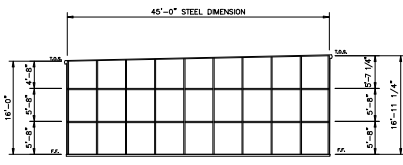


LEFT ELEVATION
scale - 3/32" = 1'-0"



RIGHT ELEVATION
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DOOR SCHEDULE
100 DOOR 10'-0" x 14'-0" F/0 ONLY



GIRT LOCATIONS
scale - 3/32" = 1'-0"

CHANGE ORDER #	JDA 03/13/25
CONSTRUCTION	GN 12/23/24
PRINTS ISSUED FOR	BY
	DATE

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PROJECT: 45 x 264 x 16-0 LS (Bldg.50)
 LOCATION: Smithfield, UT 84335



DWG #24-54148-CL1

Sheet

2 OF 10

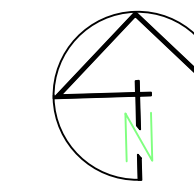


ASPEN SPRINGS STORAGE

LOT 1 OF THE K.U.B. SUBDIVISION NO. 4

PART OF THE NORTHWEST QUARTER OF SECTION 23,
TOWNSHIP 9 NORTH, RANGE 2 WEST,
SALT LAKE BASELINE AND MERIDIAN
BRIGHAM CITY, UTAH

CONDITIONAL USE



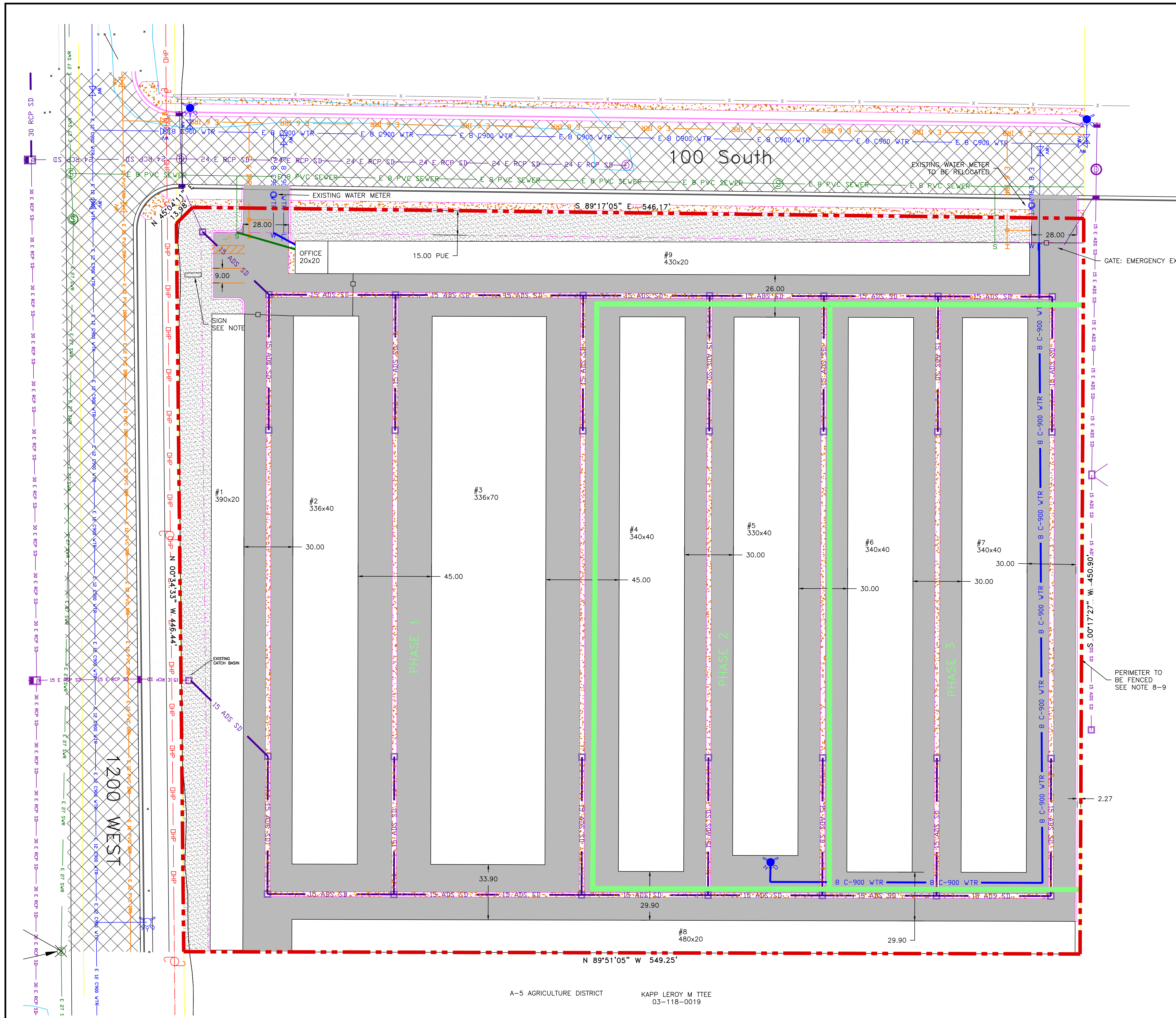
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SCALE: 1" = 30' (22x34 PLAN SET)

LEGEND	
	LOT LINE
	EXISTING WATER AS NOTED
	EXISTING SEWER AS NOTED
	PROPOSED IRRIGATION AS NOTED
	EXISTING STORM AS NOTED
	OVERHEAD POWER LINE
	GATE
	PHASE LINE
	EXISTING CONCRETE
	PROPOSED CONCRETE
	EXISTING ASPHALT
	PROPOSED ASPHALT
	PROPOSED GRAVEL
	PROPOSED LANDSCAPING - SEE PLAN

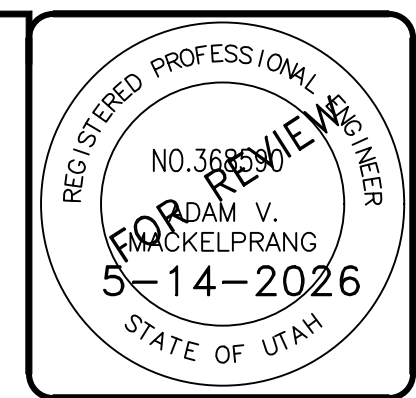
GENERAL NOTES

- TOTAL SIZE OF LOT: 250,674 S.F. 5.75 AC.
- CURRENT ZONE: M-D, MANUFACTURING - DISTRIBUTION DISTRICT
- SIGN TO BE A MONUMENT SIGN, 10' WIDE X 2.5' TALL. COLOR TO BE DETERMINED.
- BUILDINGS #1-9 TO BE USED AS SELF-SERVICE ENCLOSED STORAGE.
- SIDEWALK ON SOUTH SIDE OF 100 SOUTH STILL TO BE CONSTRUCTED.
- FUTURE PHASES TO BE FILLED IN WITH GRAVEL AND USED AS OUTSIDE PARKING UNTIL BUILT.
- NO LOADING, UNLOADING, AND STORAGE OF ANY VEHICLE IN PARKING LOT, IN PUBLIC RIGHT-OF-WAY, OR WITHIN 15' OF THE PUBLIC RIGHT-OF-WAY.
- 6" CHAIN LINK FENCE WITH SLATS TO BE BUILT ALONG SOUTH AND EAST PROPERTY LINES EXCEPT WHERE BUILDINGS ARE CLOSE TO PROPERTY LINE.
- NO FENCE ALONG NORTH AND WEST PROPERTY LINES. BUILDINGS TO ACT AS VISUAL BARRIER FROM STREETS.
- BUILDING #8 IS TO BE BUILT AGAINST THE PROPERTY LINE PER CODE 156.157.
- OWNER TO MAINTAIN AND KEEP GROUNDS AND BUILDINGS INSECT AND RODENT FREE.
- IN COMPLIANCE WITH ALL CITY STANDARDS.

VICINITY MAP



A-5 AGRICULTURE DISTRICT KAPP LEROY M TTEE
03-118-0019



ALLIANCE CONSULTING ENGINEERS
150 EAST 200 SOUTH, SUITE P
BRIGHAM CITY, UTAH 84301
(435) 755-5191
alliancecog@aaho.com

OWNER:
HOT IRON STORAGE
C/O BRINTON NEFF
(801) 648-5640

NO.	REVISIONS/SUBMISSIONS	DATE

DRAWN: _____ PROJECT NO.: _____
REVIEWED: _____ CDD FILE: _____

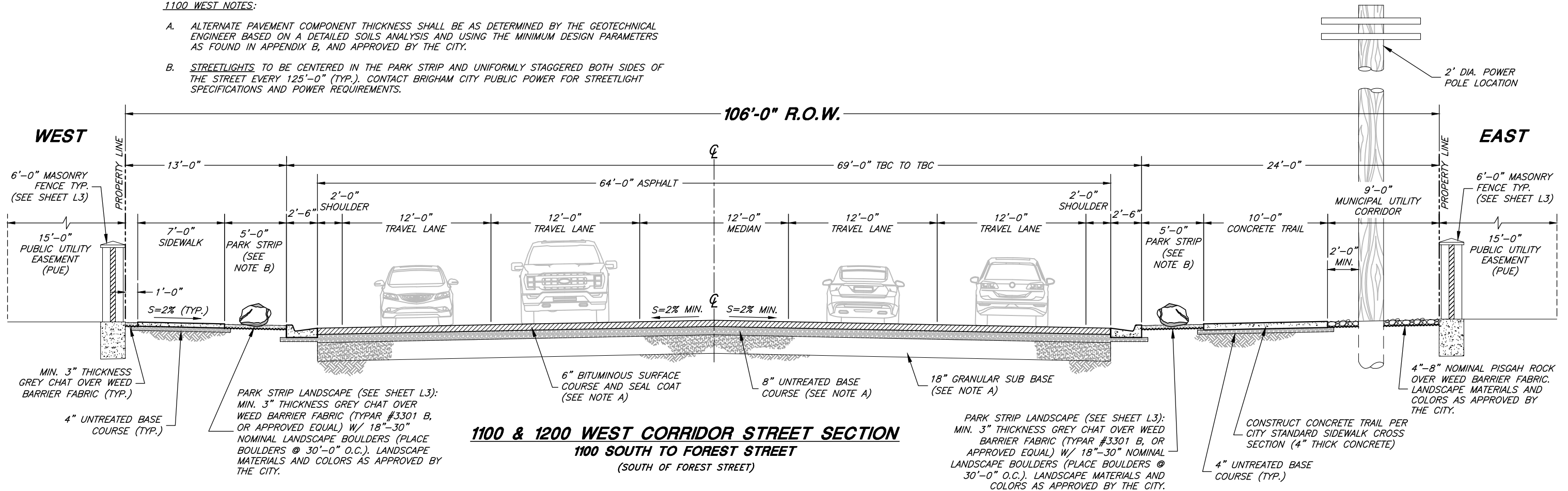
PROJECT TITLE
ASPEN SPRINGS STORAGE
LOT 1 OF K.U.B. SUBDIVISION NO. 4
PART OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 9
NORTH, RANGE 2 WEST,
SALT LAKE BASELINE AND MERIDIAN
BRIGHAM CITY, UTAH

DRAWING TITLE
CONDITIONAL USE

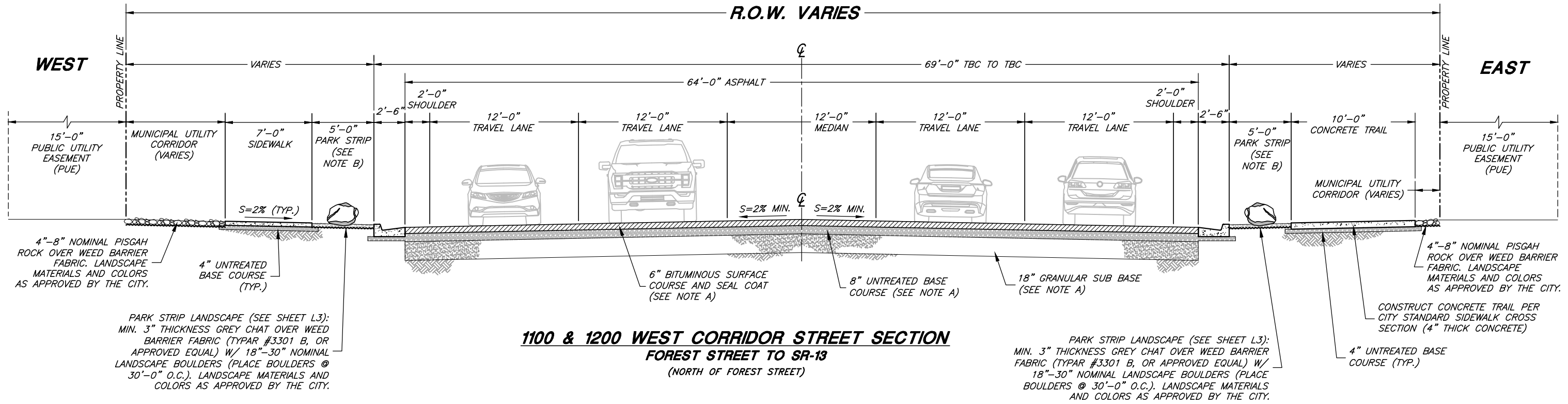
DATE: MAY, 2026
DRAWING No. 1

1100 WEST NOTES:

- A. ALTERNATE PAVEMENT COMPONENT THICKNESS SHALL BE AS DETERMINED BY THE GEOTECHNICAL ENGINEER BASED ON A DETAILED SOILS ANALYSIS AND USING THE MINIMUM DESIGN PARAMETERS AS FOUND IN APPENDIX B, AND APPROVED BY THE CITY.
- B. STREETLIGHTS TO BE CENTERED IN THE PARK STRIP AND UNIFORMLY STAGGERED BOTH SIDES OF THE STREET EVERY 125'-0" (TYP.). CONTACT BRIGHAM CITY PUBLIC POWER FOR STREETLIGHT SPECIFICATIONS AND POWER REQUIREMENTS.



1100 & 1200 WEST CORRIDOR STREET SECTION
1100 SOUTH TO FOREST STREET
 (SOUTH OF FOREST STREET)

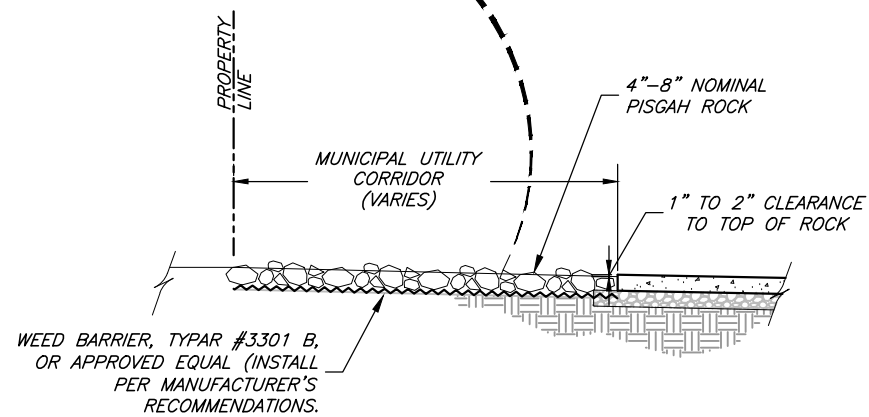


1100 & 1200 WEST CORRIDOR STREET SECTION
FOREST STREET TO SR-13
 (NORTH OF FOREST STREET)

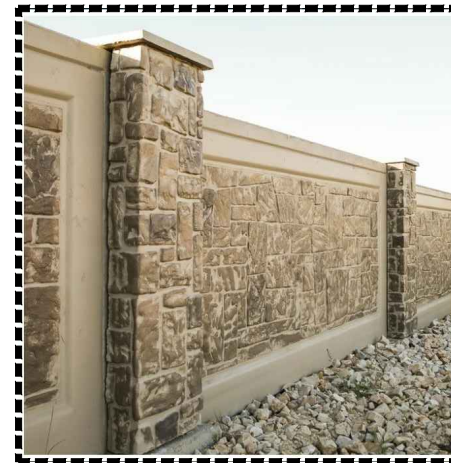
	R1 05/2025 MODIFIED THE 1200 WEST CORRIDOR STREET SECTIONS (REMOVED TREES, UPDATED LANDSCAPING, ETC.)	SCALE: N.T.S.		CONSULTING ENGINEERS 6080 Fashion Point Drive South Ogden, Utah 84403 (801) 476-9767 www.jonescivil.com		BRIGHAM CITY CORPORATION PUBLIC WORKS - ROAD IMPROVEMENT STANDARDS 1100 & 1200 WEST CORRIDOR STREET SECTIONS	SHEET: R3 OF 48 SHEETS 0
	DESIGNED _____ DRAWN _____ CHECKED _____	DATE: DECEMBER 2024					



NOTE:
LANDSCAPE MATERIALS AND
COLORS AS APPROVED BY
THE CITY.



**1100 & 1200 WEST CORRIDOR
MUNICIPAL UTILITY CORRIDOR
LANDSCAPING DETAIL**



DRY STACK PRIVACY WALL



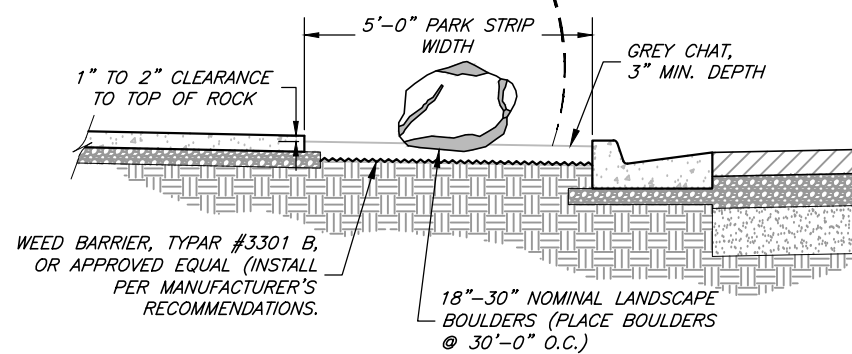
DRY STACK PRIVACY WALL



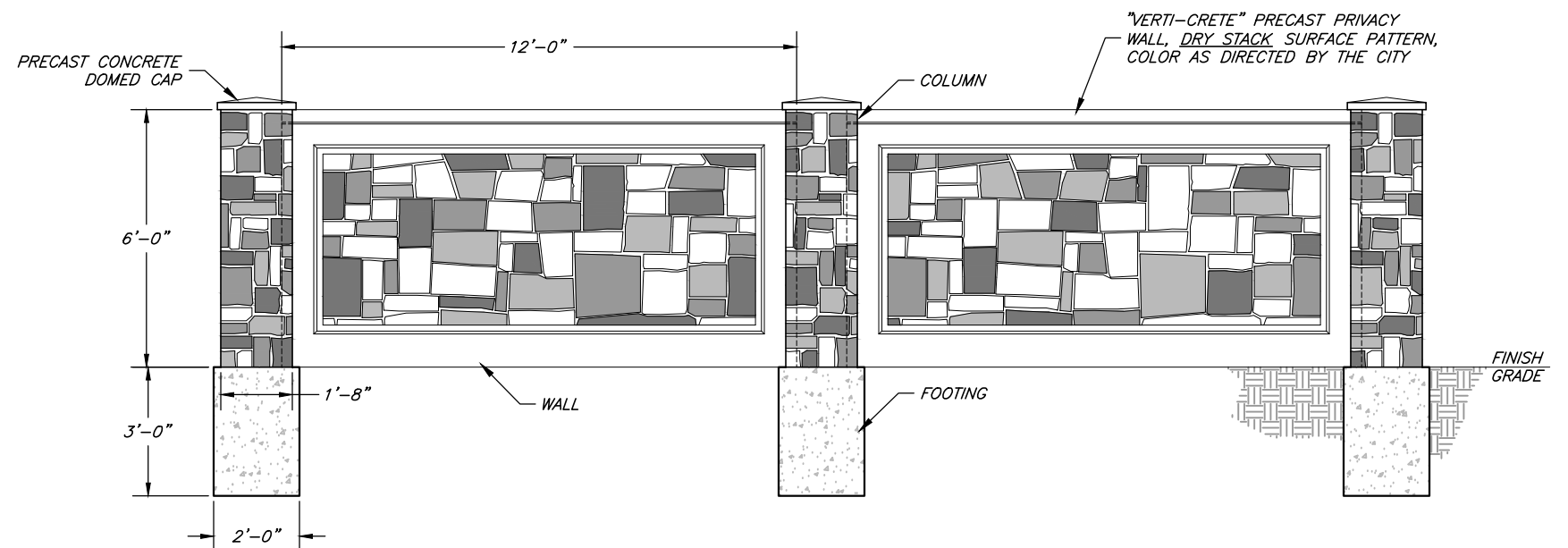
DRY STACK PRIVACY WALL



NOTE:
LANDSCAPE MATERIALS AND
COLORS AS APPROVED BY
THE CITY.



**1100 & 1200 WEST CORRIDOR
PARK STRIP LANDSCAPING DETAIL**



**1100 & 1200 WEST CORRIDOR
MASONRY FENCE DETAIL**

FENCE NOTES:

1. INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
2. POST AND PANEL CONCRETE TO BE 5,000 PSI.
3. FOOTING CONCRETE TO BE 3,000 PSI.
4. MIN. SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT OF DEPTH BELOW GRADE.
5. MIN. ALLOWABLE SOIL BEARING PRESSURE: 2,000 PSF
6. DIMENSIONS MAY BE REDUCE TO FIT PROJECT REQUIREMENTS.
7. GROUT BETWEEN POST AND FOOTING TO BE 2,500 PSI.



Brett M. Jones
CITY ENGINEER
MAY 2025
DATE

R1	05/2025	ADDED NEW DETAIL SHEET FOR THE UPDATED 1200 WEST CORRIDOR STREET SECTION LANDSCAPING

SCALE:
N.T.S.

DESIGNED _____
DRAWN _____
CHECKED _____



CONSULTING ENGINEERS
6080 Fashion Point Drive
South Ogden, Utah 84403 (801) 476-9767
www.jonescivil.com



PUBLIC WORKS

BRIGHAM CITY CORPORATION
PUBLIC WORKS - LANDSCAPING STANDARDS
1100 & 1200 WEST CORRIDOR LANDSCAPING DETAILS

SHEET:
L3
OF 48 SHEETS
0