

**Notice of the Work Meeting Agenda of the
PLANNING COMMISSION OF LAYTON, UTAH
FOR
Tuesday, May 26, 2026**

PUBLIC NOTICE is hereby given that the work meeting of the Planning Commission of Layton, Utah, will be held on **Tuesday, May 26, 2026**, in the City Council Conference Room, 437 North Wasatch Drive, Layton, Utah, at **5:30 PM** for review of the agenda items listed below.

COMMISSION TRAINING

1. Ethics and Sexual Harassment – (45 min)

PUBLIC MEETING

2. Backstage Beauty and Ink – CONDITIONAL USE (5 min)
3. The Vineyards Phase 1 Subdivision – Amended – PLAT AMENDMENT PLAT (5 min)
4. Stevenson Fields PRUD Phases 1 and 2 – PRELIMINARY PLAT (10 min)

PUBLIC HEARING

5. Seasonal Outdoor Vendor Fencing – TEXT AMENDMENT (7 min)
6. Single-Family Waterwise Landscaping Requirements – TEXT AMENDMENT (15 min)

ADJOURNMENT

*Disclaimer: Times noted are an approximate duration for each item. Each item will be discussed by the Planning Commission without public input and may take more or less time than allotted.

This public notice is posted on the Utah Public Notice website www.utah.gov/pmn/, the Layton City website www.laytoncity.org and at the Layton City Center. Audio recordings and pending minutes for this advisory body can be requested in the Planning and Zoning Division of the Community Development Department, 437 N Wasatch Drive, or by calling 801-336-3780.

In compliance with the Americans with Disabilities Act, persons in need of special accommodations or services to participate in this meeting shall notify the City at least 48 hours in advance at 801-336-3826 or 801-336-3820.

**Notice of the Regular Meeting Agenda of the
PLANNING COMMISSION OF LAYTON, UTAH
FOR
Tuesday, May 26, 2026**

PUBLIC NOTICE is hereby given that the regular meeting of the Planning Commission of Layton, Utah, will be held on **Tuesday, May 26, 2026**, in the City Council Chambers, 437 North Wasatch Drive, Layton, Utah, at **7:00 PM**.

PLEDGE OF ALLEGIANCE AND INVOCATION

APPROVAL OF MINUTES: PLANNING COMMISSION WORK AND REGULAR MEETINGS – MAY 12, 2026.

PUBLIC MEETING

1. Backstage Beauty and Ink – CONDITIONAL USE

The applicant, Jessica Pickett, owner of Backstage Beauty and Ink, is requesting a conditional use permit for tattooing. The property is located at approximately 908 West Gordon Avenue, Suite 1.

2. The Vineyards Phase 1 - Amended – PLAT AMENDMENT

The applicant, Steven Clinger, is requesting approval of a plat amendment for Lot 103 to transfer a portion of the property located at 2402 West Gordon Avenue into Lot 103 for personal use. The properties are located at approximately 1057 North 2375 West and 2402 West Gordon Avenue.

3. Stevenson Fields PRUD Phases 1 and 2 – PRELIMINARY PLAT

The applicant, Shaun Athey with Destination Homes is seeking approval for the preliminary subdivision plat for phases one and two of the Stevenson Fields PRUD. The property is located at approximately 400 South 2200 West.

PUBLIC HEARING

4. Seasonal Outdoor Vendor Fencing – TEXT AMENDMENT

The applicant, Tyson Roberts, is requesting removal of the requirement that pumpkin patch seasonal vendors enclose the area with a six-foot temporary fence by amending Title 19 “Zoning”, Chapter 19.21 “Temporary and Seasonal Uses”, Section 19.21.070 “Seasonal Outdoor Vendors”.

5. Single-Family Waterwise Landscaping Requirements – TEXT AMENDMENT

Layton City is proposing to amend Title 19 “Zoning”, Chapter 19.16 “Landscaping, Fencing, and Clear View”, to modify the standards for single-family waterwise landscaping to enable residents the opportunity to participate in the Landscape Exchange program initiated by the State in 2023.

ADJOURNMENT

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In compliance with the Americans with Disabilities Act, persons in need of special accommodations or services to participate in this meeting shall notify the City at least 48 hours in advance at 801-336-3826 or 801-336-3820.

DRAFT

**LAYTON CITY PLANNING COMMISSION WORK MEETING MINUTES
MAY 12, 2026**

MEMBERS PRESENT:

Chair Trevor Steenblik, Vice Chair Justin Whitworth, Commissioners Scott Carter, Wesley Felice, Chase Freebairn, Zach Heslop, Peter McDonough, Bret Nielsen, and Julie Pierce

MEMBERS ABSENT:

OTHERS PRESENT:

Staff: City Planner Brad McIlrath, Secretary Michelle Williams, and Assistant City Attorney Jadyn Sanders

Council Member: Mike Kolendrianos

Chair Steenblik called the work meeting to order at 6:15 p.m.

COMMISSION TRAINING

1. Zoning and Development Regulations

City Planner McIlrath presented training on the Zoning and Development Regulations for the Commission and City.

Overview of Delegated Authority

- U.S. Constitution
- State Constitution
- Layton City Municipal Code
- Case law applies on all levels
 - Fairness on how applications are treated
 - 2016 Reed v. Town of Gilbert
 - sign code ordinance, cities cannot regulate signs on content

Utah State Code 10-20 – Municipal Land Use, Development, and Management Act (LUDMA)

- Purpose – Utah Code General Land Use Authority - 10-20-101
 - The purposes of this chapter are to:
 - Provide health, safety, and welfare;
 - Promote prosperity;
 - Improve the morals, peace, good order, comfort, convenience, and aesthetics of each municipality and each municipality's present and future inhabitants and businesses;

- Protect the tax base;
 - Secure economy in government expenditures;
 - Foster the state’s agricultural and other industries;
 - Protect both urban and nonurban development;
 - Protect and ensure access to sunlight for solar energy devices;
 - Provide fundamental fairness in land use regulation;
 - Facilitate orderly growth, allow growth in a variety of housing types, and contribute toward housing affordability; and
 - Protect property values.
- To accomplish the purposes of this chapter, a municipality may enact all ordinances, resolutions, and rules and may enter into other forms of land use controls and development agreements that the municipality considers necessary or appropriate for the use and development of land within the municipality, including ordinances, resolutions, rules, restrictive covenants, easements, and development agreements governing:
 - Uses;
 - Density;
 - Open spaces;
 - Structures;
 - Buildings;
 - Energy efficiency;
 - Light and air;
 - Transportation and public or alternative transportation;
 - Infrastructure;
 - Street and building orientation;
 - Width requirements;
 - Public facilities;
 - Fundamental fairness in land use regulation; and
 - Considerations of surrounding land uses to balance the foregoing purposes with a landowner’s private property interests and associated statutory and constitutional protections.
- Layton Municipal Code Titles 18, 19, 20
 - Title 18 – Land Use Development (Subdivision Ordinance)
 - Title 19 – Zoning
 - Title 20 – Sign Regulation
- Reviewed 19.01.030 – Scope and 19.01.040 – Purpose
 - Establishment of zoning districts and their purposes
 - Zoning Map Illustration
 - Municipal Code Exploration

2. Lindquist Memorial Park – GENERAL PLAN AMENDMENT, REZONE, and DEVELOPMENT AGREEMENT

City Planner McIlrath presented the request for a General Plan Amendment and rezone. The applicant would like to build a structure on the Antelope-fronting lot to house their construction and maintenance equipment. The lot is in a subdivision, so a subdivision amendment will be forthcoming.

Commissioner Carter asked if the only access would be from the interior street. City Planner McIlrath affirmed and noted that the maintenance building would have access from Antelope, but it wouldn't be a through access for the public. If there is an access off Antelope Drive, it would only be for employee parking for the maintenance building. Public parking will remain at the mortuary site.

Commissioner Felice asked if Antelope Drive was a UDOT road or a City road. City Planner McIlrath shared that Antelope is a UDOT road further west. This stretch of the road and curb cuts are managed by the City.

The overall project area was shown. The General Plan identifies the Antelope portion as Agriculture. The cemetery and mortuary are Institutional Use. The proposed General Plan amendment is meant to align the properties with the Institutional Use designation. The proposed zone aims to bring all properties within the PB (Professional Office) zone, replacing the current A (Agriculture) zone designation.

The applicant purchased the property with the intention of building a maintenance facility. The finger parcel needs to be combined with the main portion of the property. In 1998, the mortuary was split off from the cemetery for financial reasons. The issue is that a mortuary cannot be a standalone use in the A zone. A mortuary is an accessory use to a cemetery and therefore cannot stand alone on its own parcel in the A zone.

Staff worked with the applicant to find a solution. The applicant did not want to combine the properties to make the mortuary compliant in the A zone. It was determined that a rezone of the parcels to PB would allow for the cemetery and mortuary to remain as separate entities on separate parcels. This rezone will bring all of the properties under the same zoning regulations and restrictions while allowing the mortuary to be a standalone use.

A residential subdivision does not allow a parcel to exist without street frontage; however, commercial subdivisions can have such parcels. The rezone to PB, which is a commercial zone, allows the mortuary parcel to exist without direct street frontage onto Fairfield Road as part of a commercial subdivision.

The General Plan amendment is to amend the Antelope property, the rezone is for all the properties, and a Development Agreement will accompany the rezone, which will dictate that the property can only be used as a cemetery.

Commissioner McDonough questioned what would happen if the property changed hands. City Planner McIlrath responded that the Development Agreement would bind the successors to the allowed use as it is recorded on the property. Commissioner McDonough noted that a cemetery is a Conditional Use in the A zone and asked why it couldn't remain with the current zoning. City Planner McIlrath affirmed and clarified that the rezone was for the mortuary, which is on a parcel in the middle of the cemetery. The

mortuary parcel can only exist if it is a part of a commercial subdivision. Commissioner McDonough asked why the Antelope-fronting parcel couldn't remain in the A zone as he noted that this is a residential area now and questioned what could happen down the road when other residents want to follow and rezone their properties to PB. City Planner McIlrath stated they could petition such a rezone but there would be challenges, such as the APZ easement restrictions. Many of those properties are stuck as they are because of the federal easements that were purchased on those properties.

Commissioner Felice asked if the mortuary was legal nonconforming. City Planner McIlrath clarified that the parcels became legal nonconforming when the mortuary was split from the cemetery. Commissioner Felice asked why it was allowed to be subdivided. City Planner McIlrath responded that it wasn't an allowed subdivision. This will clean up the previous action recorded by the County. The actual use will not change; the only change is zoning paperwork.

Commissioner McDonough noted the applicant would be adding a building. City Planner McIlrath affirmed that a maintenance building as planned. Commissioner McDonough expressed concern about future rezone petitions. Commissioner Felice assured that the APZ protects the area.

Commissioner Nielsen clarified that if the next-door neighbor wanted to rezone to commercial, the City would not recommend approval based on the General Plan. City Planner McIlrath said the General Plan identifies this area as an Institutional Use, and the PB zone is supportive of the Institutional Use.

Commissioner McDonough stated the General Plan identifies the Antelope-facing parcel as A. City Planner McIlrath affirmed. Commissioner McDonough noted that the power company has an easement on that parcel. City Planner McIlrath affirmed and shared that it doesn't affect the subdivision process; however, it would be considered during the site plan review.

Commissioners discussed the history of other General Plan Amendment applications for change and rezone petitions that were denied in this area and compared the property differences and situations that pertain to this amendment and petition being supported.

Commissioner Pierce shared that property owners have conditional use options within the APZ and don't necessarily have to go through a General Plan Amendment. There are businesses already within the APZ.

Commissioner Freebairn noted that the applicant is also agreeing to a Development Agreement that would be recorded and encumber the property.

Vice Chair Whitworth asked why the applicant needed the lot for the construction of their maintenance building when they already have so much property. Commissioner Pierce responded that the current equipment storage area could be utilized differently if they used the additional parcel for storage and maintenance equipment.

Commissioner Carter asked if there were any state-purchased easements on the property to the north or any of its neighbors. City Planner McIlrath responded that he didn't know.

ADJOURNMENT:

At 6:59 p.m. Chair Steenblik adjourned the work session to proceed to the regular meeting.

Michelle Williams

Michelle Williams
Planning Commission Secretary

DRAFT

DRAFT

**LAYTON CITY PLANNING COMMISSION WORK MEETING MINUTES
MARCH 24, 2026**

MEMBERS PRESENT:

Chair Trevor Steenblik, Vice Chair Justin Whitworth, Commissioners Scott Carter, Chase Freebairn, Zach Heslop, Peter McDonough, Bret Nielsen, and Julie Pierce

MEMBERS ABSENT:

Commissioner Wesley Felice

OTHERS PRESENT:

Staff: City Planner Brad McIlrath, Secretary Michelle Williams, and Assistant City Attorney Jadynd Sanders

Council Member: Mike Kolendrianos

PLEDGE OF ALLEGIANCE AND INVOCATION (7:00 PM)

Chair Steenblik conducted the Pledge of Allegiance and offered the invocation.

APPROVAL OF MEETING MINUTES: PLANNING COMMISSION WORK AND REGULAR MEETING – April 14, 2026.

Chair Steenblik called for a motion to approve the minutes. Commissioner Pierce moved to accept the Planning Commission Work and Regular Meeting minutes for April 14, 2026. Commissioner Carter seconded the motion; following a roll-call vote, the meeting minutes were accepted and approved unanimously.

PUBLIC HEARING

1. Lindquist Memorial Park – GENERAL PLAN AMENDMENT, REZONE, and DEVELOPMENT AGREEMENT

The applicant, Robert Lindquist, Jr., is requesting a General Plan Amendment and rezone for properties located at approximately 790 East Antelope Drive and 1867 North Fairfield Road. The requests are intended to address existing lot and zoning issues and to accommodate the owners' desire to keep the mortuary and cemetery under separate ownership. The properties are located at 790 East Antelope Drive and 1867 North Fairfield Road.

City Planner McIlrath presented the item.

Background: *The applicant, Robert Lindquist, Jr., is requesting a General Plan Amendment and rezone for properties located at approximately 790 East Antelope Drive and 1867 North Fairfield Road. The 790 East Antelope Drive property is approximately 1.52 acres, currently vacant, and designated for Agricultural use in the General Plan; the applicant is requesting to amend this designation to Institutional Use. Both*

properties are currently zoned A (Agriculture), and the applicant is requesting to rezone them to PB (Professional Office). Combined, the properties total approximately 26.12 acres and include an existing cemetery and mortuary.

These requests are intended to address existing lot and zoning issues and to accommodate the owners' desire to keep the mortuary and cemetery under separate ownership. The current parcel configuration does not meet frontage or width requirements in the A zone, and a mortuary is not permitted as a standalone use in that zone. The proposed PB zoning would allow the uses to be on separate parcels and enable a commercial subdivision, addressing frontage, width, and ownership concerns while allowing for expansion of cemetery supportive operations on the Antelope Drive property.

Alternatives to the First Motion: Alternatives are to: 1) Recommend the City Council approve the General Plan Amendment request from Agriculture to Institutional Use; or 2) Recommend the City Council deny the General Plan Amendment request.

Alternatives to the Second Motion: Alternatives are to: 1) Recommend the City Council approve the rezone request from A (Agriculture) to PB (Professional Office); or 2) Recommend the City Council deny the rezone request.

Recommendations: Staff recommends the Planning Commission forward a positive recommendation to the City Council to approve the General Plan Amendment and rezone request subject to meeting all City requirements.

Planning Commission Comment:

Chair Steenblik asked if there were setbacks when a PB zoned parcel abuts a residential property, and are they more stringent than an A zoned parcel. City Planner McIlrath responded that it works out well as to where the proposed building would be set, it does meet the required setbacks.

Commissioner McDonough stated that he doesn't want to rezone the Antelope-facing parcel even though it is owned by the same entity. City Planner McIlrath explained that this situation is like a recent rezone petition when an owner wanted to rezone the back half of his property because he was going to combine the back portion with an adjacent parcel. It is best practice not to have split-zoned parcels because it eliminates regulating parcel parts in different ways due to the different zoning restrictions. Commissioner McDonough asked if that was an issue, even though the adjacent properties are residential. City Planner McIlrath affirmed and noted that the PB zone is an appropriate zone because it is a buffer zone between residential and commercial. The building location would have to meet the setbacks and powerline restrictions. This isn't an unprecedented action, and with the Development Agreement, the City is limiting the use to a cemetery and mortuary.

Commissioner Pierce noted that the City has other PB zoned properties in the residential areas and asked for clarification as to why the structure cannot stand as a separate structure owned by the same people on the A zoned lot. City Planner McIlrath shared that it is because the applicant wants to have the building as an accessory structure to the primary use of the cemetery. An accessory use cannot exist on a property

by itself; therefore, the properties must be combined. The maintenance building is an accessory use to the cemetery.

Vice Chair Whitworth noted that the new lot could be a cemetery because that is the primary use. City Planner McIlrath stated the primary use doesn't have to be a building. The primary use is the cemetery with the burial plots; the maintenance building is an accessory building to the primary use.

Vice Chair Whitworth asked what types of businesses are allowed in APZ. City Planner McIlrath responded that it is limited and it depends on the underlying zoning. The main concern is the number of individuals on the parcel within a set timeframe, such as 24 hours. An office building couldn't exist because of the number of people that would be in the building for an extended amount of time; however, an office warehouse could be acceptable.

Chair Steenblik noted gratitude and appreciation for the Lindquists for providing a cemetery in Layton for residents who have lived and raised their families in Layton.

Public Comment:

Chair Steenblik called for a motion to open the public hearing. Vice Chair Whitworth motioned for the Planning Commission to open the public hearing. Commissioner Heslop seconded the motion, which was approved unanimously following a roll-call vote.

NONE

Chair Steenblik called for a motion to close the public hearing. Vice Chair Whitworth motioned for the Planning Commission to close the public hearing. Commissioner Pierce seconded the motion, which was approved unanimously following a roll-call vote.

MOTION:

Commissioner Pierce motioned that the Planning Commission forward a positive recommendation to the City Council to approve the General Plan Amendment request from Agriculture to Institutional Use. Commissioner Nielsen seconded the motion, which was approved unanimously following a roll call vote.

Commissioner Nielsen motioned that the Planning Commission forward a positive recommendation to the City Council to approve the rezone request from A (Agriculture) to PB (Professional Office) with the Development Agreement. Commissioner Carter seconded the motion, which was approved unanimously following a roll call vote.

ADJOURNMENT

At 7:21 PM, Commissioner Pierce motioned to adjourn, which was approved unanimously following a roll-call vote.

Michelle Williams

Michelle Williams
Planning Commission Secretary

DRAFT

LAYTON CITY
AGENDA ITEM COVER SHEET

Item Number: 1

Subject: Conditional Use – Tattooing – 908 West Gordon Avenue, Suite 1

Contact: Zachary Kadin, Planner II


Background: The applicant, Jessica Pickett, who is the owner of Backstage Beauty & Ink, is requesting a conditional use to allow for a tattooing business at the subject property. Tattooing is an allowed use in the C-H (Planned Highway Commercial) zoning district, but requires conditional use approval. The subject property is double fronting, with frontages on Gordon Avenue and Main Street. Two buildings are existing on the property, one located along each street frontage. To the north, south, and east are existing commercial uses. To the west is a multifamily residential property.

Alternatives: Alternatives are to: 1) Grant conditional use approval for tattooing subject to the applicant meeting all conditions listed in the Staff Report; or 2) Grant conditional use approval for tattooing with additional conditions if the Planning Commission identifies additional reasonably anticipated detrimental effects of the proposed use that need to be mitigated; or 3) Deny conditional use approval finding that the request does not comply with Layton Municipal Code.

Recommendation: Staff recommends the Planning Commission grant conditional use approval for tattooing, subject to the applicant meeting all conditions listed in the Staff Report.



STAFF REPORT

To: Planning Commission
From: Zachary Kadin, Planner II 
Date: May 26, 2026
Re: Conditional Use for Tattooing

Location: 908 West Gordon Avenue, Suite 1

Zoning: C-H (Planned Highway Commercial)

Background

The applicant, Jessica Pickett, who is the owner of Backstage Beauty & Ink, is requesting a conditional use permit to allow for a tattooing business at the subject property. Tattooing is a conditional use in the C-H (Planned Highway Commercial) zoning district, with approval by the Planning Commission. The subject property is double fronting, with frontages on Gordon Avenue and Main Street. Two buildings are existing on the property, one located along each street frontage. To the north, south, and east are existing commercial uses. To the west is a multifamily residential property.

Staff Review

The tattooing business, Backstage Beauty & Ink, will occupy a 1,700 square foot suite located in the west end of the building that fronts onto Gordon Avenue. The business will offer services, including tattooing, body piercings, and other skincare treatments.

Parking

Code requires a minimum of 3 stalls per 1,000 square feet of the gross floor area for retail shopping centers. Based on the size of the buildings located on the property, a minimum of 73 stalls are required to be provided. There are 93 stalls existing on the property, exceeding the minimum parking requirement. Based on an analysis of existing businesses and the proposed business at this location, there is sufficient parking to accommodate the proposed tattoo business.

Staff Recommendation

Staff recommends approval of the conditional use permit for tattooing subject to the following conditions:

1. The following shall be completed prior to the issuance of a Business License for the proposed use:

- a. All Building Division, Planning Division, Engineering Division, Fire Department and Planning Commission requirements shall be met.
 - b. The facility shall receive a Body Art Permit from Davis County Health Department.
2. All services provided shall be performed by individuals who are First Aid trained and Bloodborne Pathogen Certified.



BACKSTAGE BEAUTY & INK

908 WEST GORDON AVENUE

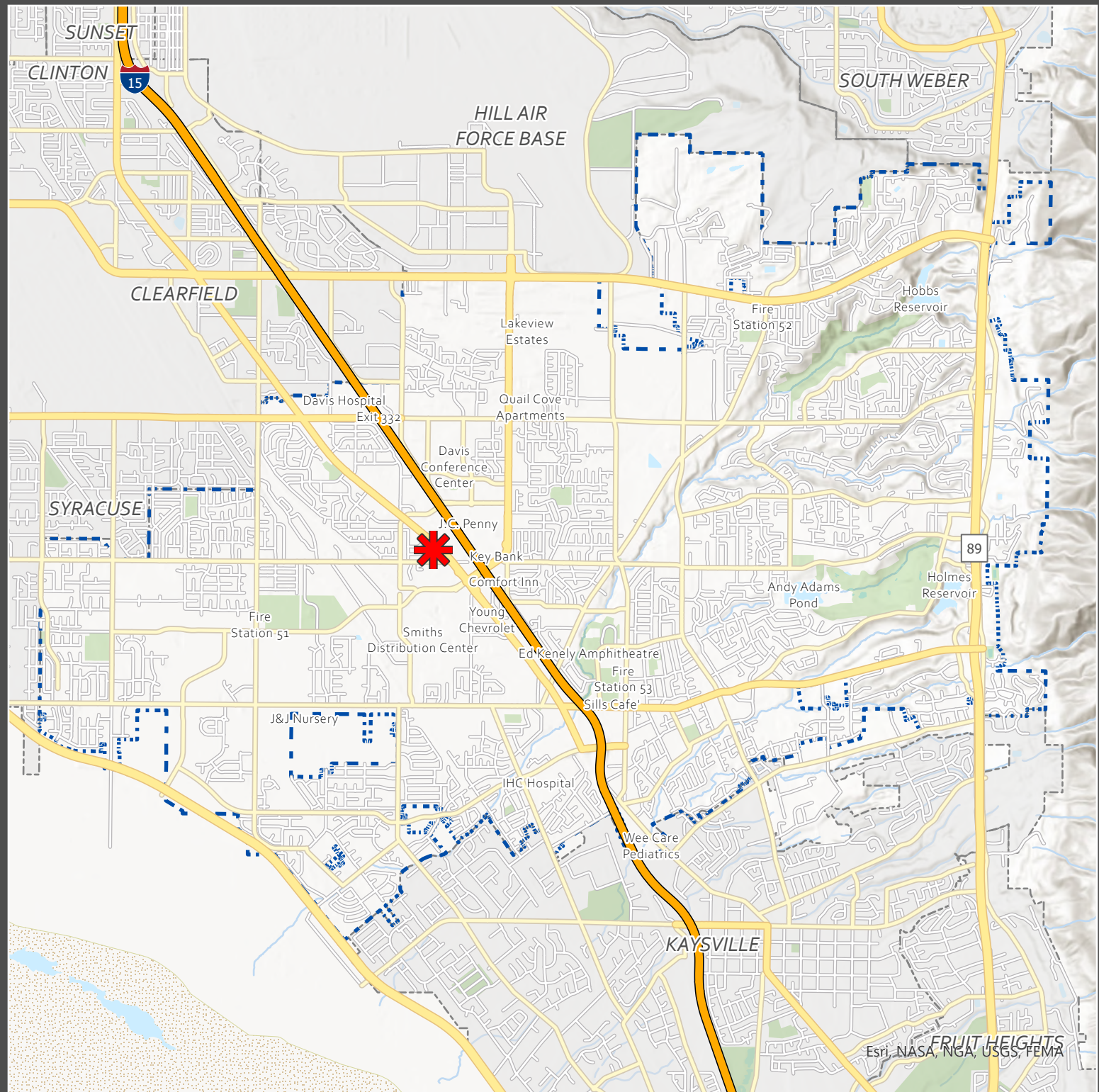
CONDITIONAL USE PERMIT FOR TATTOOING

- Layton City Boundary
- Parks
- City Boundaries
- Lakes
- Streams

- PROJECT SITE



Map 1










**BACKSTAGE BEAUTY
& INK**

**908 WEST
GORDON AVENUE**

**CONDITIONAL USE
PERMIT FOR
TATTOOING**

-  Layton City Boundary
-  Parks
-  City Boundaries
-  Lakes
-  Streams

 - PROJECT AREA



Map 2










**BACKSTAGE BEAUTY
& INK**

**908 WEST
GORDON AVENUE**

**CONDITIONAL USE
PERMIT FOR
TATTOOING**

-  Layton City Boundary
-  Parks
-  City Boundaries
-  Lakes
-  Streams

 - PROJECT AREA



Map 3



LAYTON CITY
AGENDA ITEM COVER SHEET

Item Number: 2

Subject: Plat Amendment – The Vineyards Phase 1 Lot 103 Amended Subdivision – Approximately 1057 North 2375 West and 2402 West Gordon Avenue

Contact: Whitney Black, Planner II

Background: The applicant, Steven Clinger, is requesting approval of a plat amendment for Lot 103 of The Vineyards Phase 1 Subdivision. The amendment would transfer a portion of the property located at 2402 West Gordon Avenue to the adjacent residential lot to increase the backyard area for personal use. As part of the amendment, 2402 West Gordon Avenue will be incorporated into the subdivision as Lot 125, Lot 103 will be renumbered as Lot 124, and existing public utility and drainage easements (PU&DE) will be updated to match the new lot configuration.

Alternatives to the Motion: Alternatives are to 1) Approve the plat amendment for The Vineyards Phase 1 Lot 103 Amended Subdivision; or 2) Identify that the plat amendment is not compliant with the Layton City Municipal Code and Development Standards and deny the request.

Recommendations: Staff recommends the Planning Commission approve the amendment for The Vineyards Phase 1 Lot 103 Amended Subdivision, subject to meeting all City requirements and conditions as outlined in the Staff memorandums.



**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

STAFF REPORT

TO: Planning Commission

FROM: Whittney Black, Planner II

A handwritten signature in black ink, appearing to read "Whittney Black", is written over a horizontal line.

DATE: May 26, 2026

RE: Plat Amendment – The Vineyards Phase 1 Lot 103 Amended Subdivision – Approximately 1057 North 2375 West and 2402 West Gordon Avenue

LOCATION: Approximately 1057 North 2375 West and 2402 West Gordon Avenue

CURRENT ZONING: R-S (Residential Suburban) and R-1-8 (Single Family Residential)

GENERAL PLAN: Neighborhood Residential (Residential Uses)

DESCRIPTION

The property owner and applicant, Steven Clinger, is requesting to amend Lot 103 of The Vineyards Phase 1 Subdivision. The subject properties are bordered by R-S and A zoning to the west, R-1-8 zoning to the north and east, and R-S and R-1-8 zoning to the south.

BACKGROUND

The purpose of this plat amendment is to transfer a portion of the property located at 2402 West Gordon Avenue to the adjacent residential lot, Lot 103 (1057 North 2375 West), to increase the backyard area for personal use. The applicant owns both properties. As part of this amendment, 2402 West Gordon Avenue will be incorporated into The Vineyard Phase 1 Subdivision as Lot 125, and Lot 103 will be renumbered as Lot 124.

The amendment will establish standard public utility and drainage easements (PU&DE) along the property lines of Lot 125. In addition, the existing 10-foot PU&DE on Lot 103 will be vacated and replaced with a new five-foot PU&DE along the new rear property line, and the existing side yard PU&DEs will be extended to match the updated lot configuration.

STAFF RECOMMENDATIONS







Staff recommends the Planning Commission approve the plat amendment for The Vineyards Phase 1 Lot 103 Amended Subdivision, subject to meeting all City requirements and conditions as outlined in the Staff memorandums.



**THE VINEYARDS
PHASE 1 LOT 103
AMENDED
SUBDIVISION**

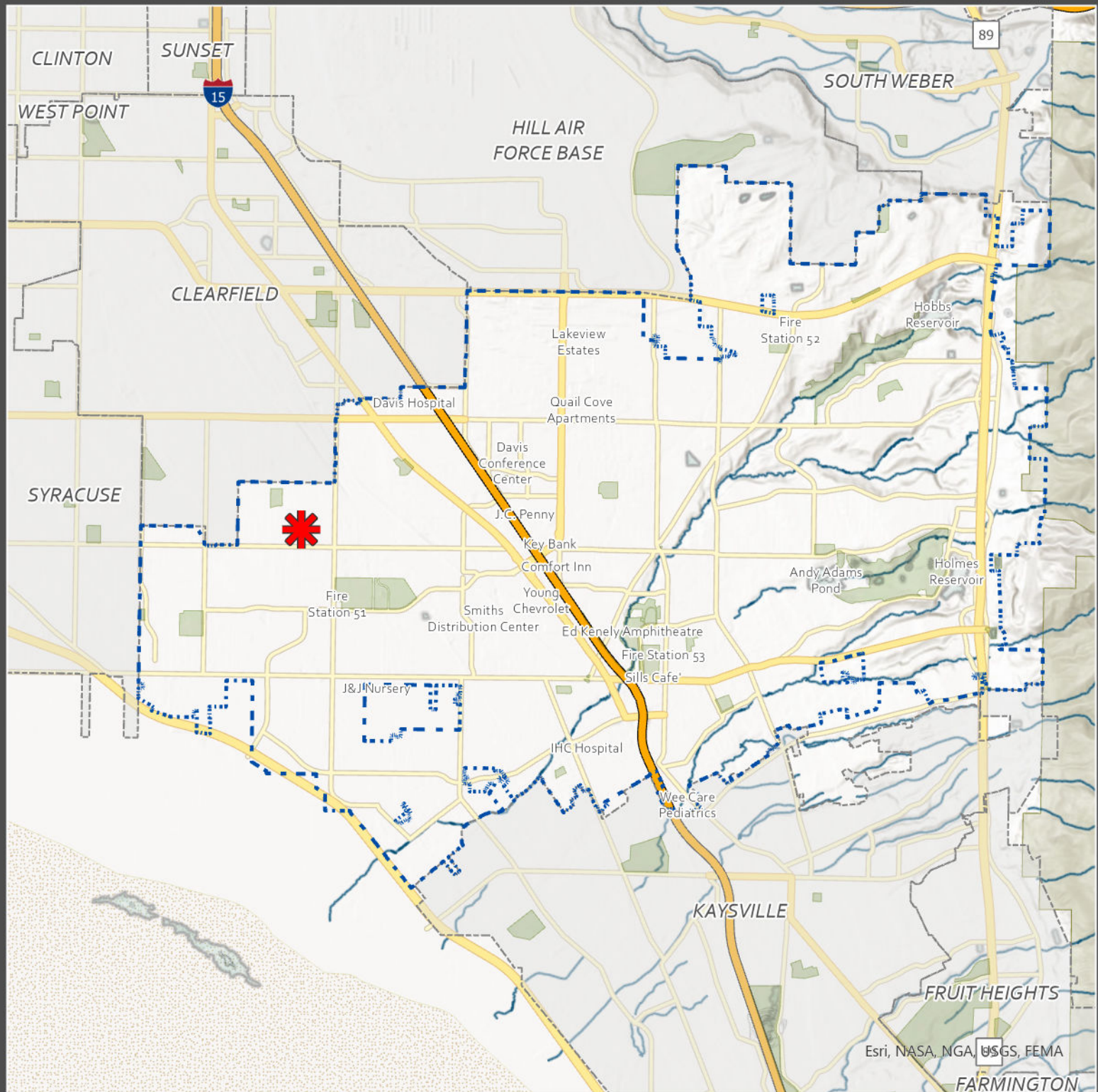
**1057 NORTH
2375 WEST
AND
2402 WEST
GORDON AVENUE**

PLAT AMENDMENT

-  Project Site
-  Layton City Boundary
-  Davis County Parks
-  City Boundaries
-  Lakes
-  Streams



Map 1











**THE VINEYARDS
PHASE 1 LOT 103
AMENDED
SUBDIVISION**

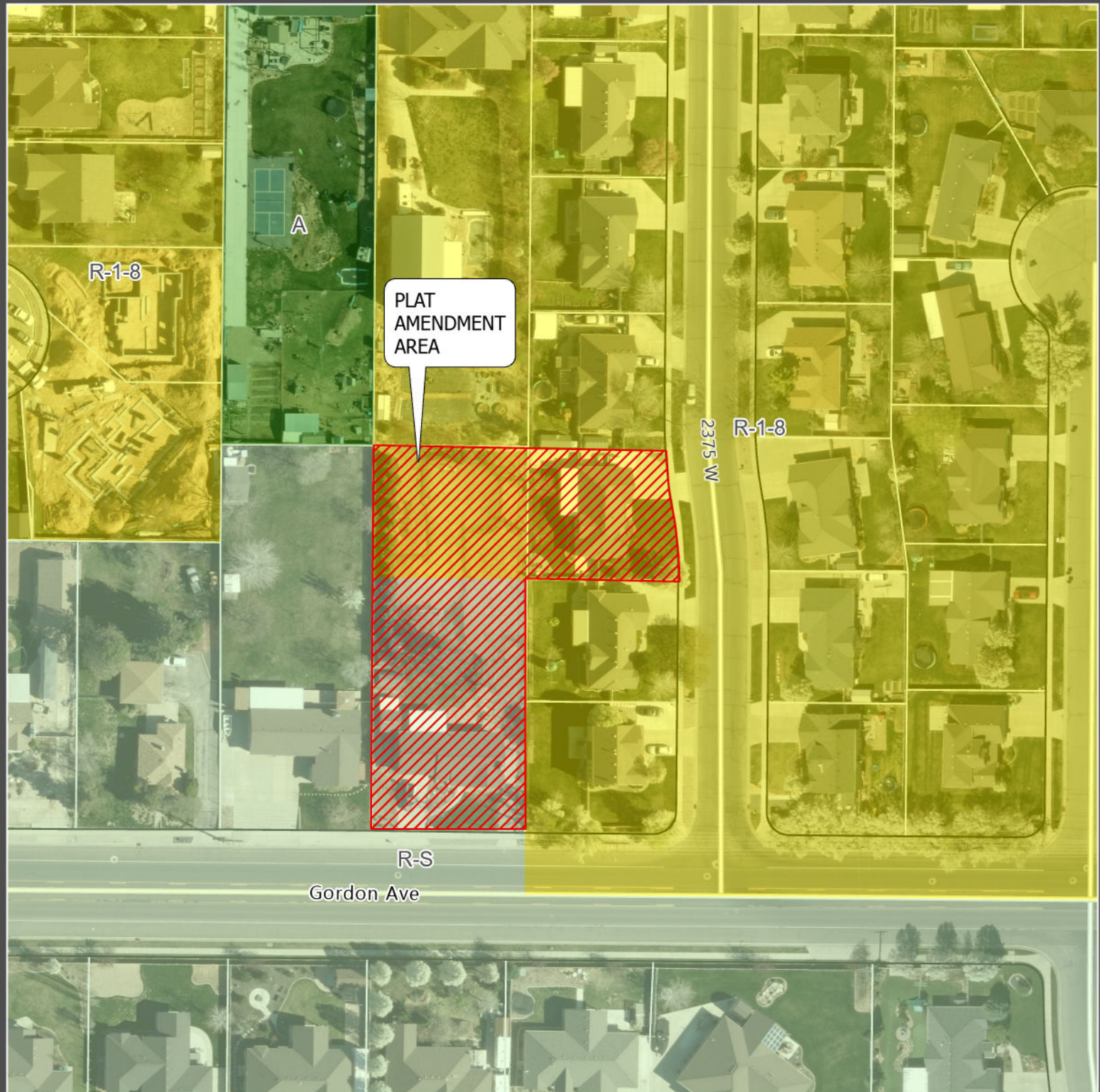
**1057 NORTH
2375 WEST
AND
2402 WEST
GORDON AVENUE**

PLAT AMENDMENT

-  Project Site
-  Layton City Boundary
-  Davis County Parks
-  City Boundaries
-  Lakes
-  Streams



Map 2











**THE VINEYARDS
PHASE 1 LOT 103
AMENDED
SUBDIVISION**

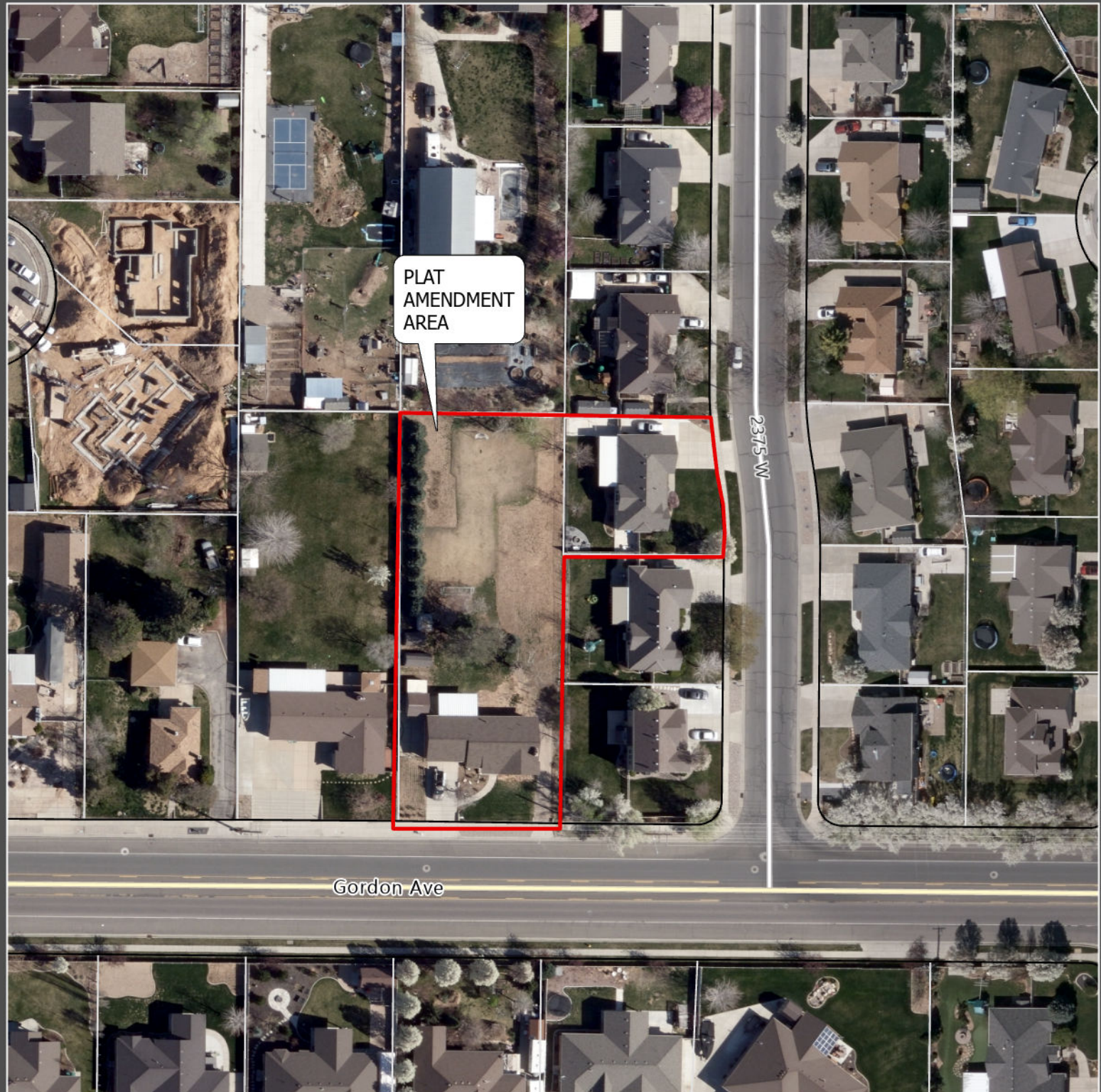
**1057 NORTH
2375 WEST
AND
2402 WEST
GORDON AVENUE**

PLAT AMENDMENT

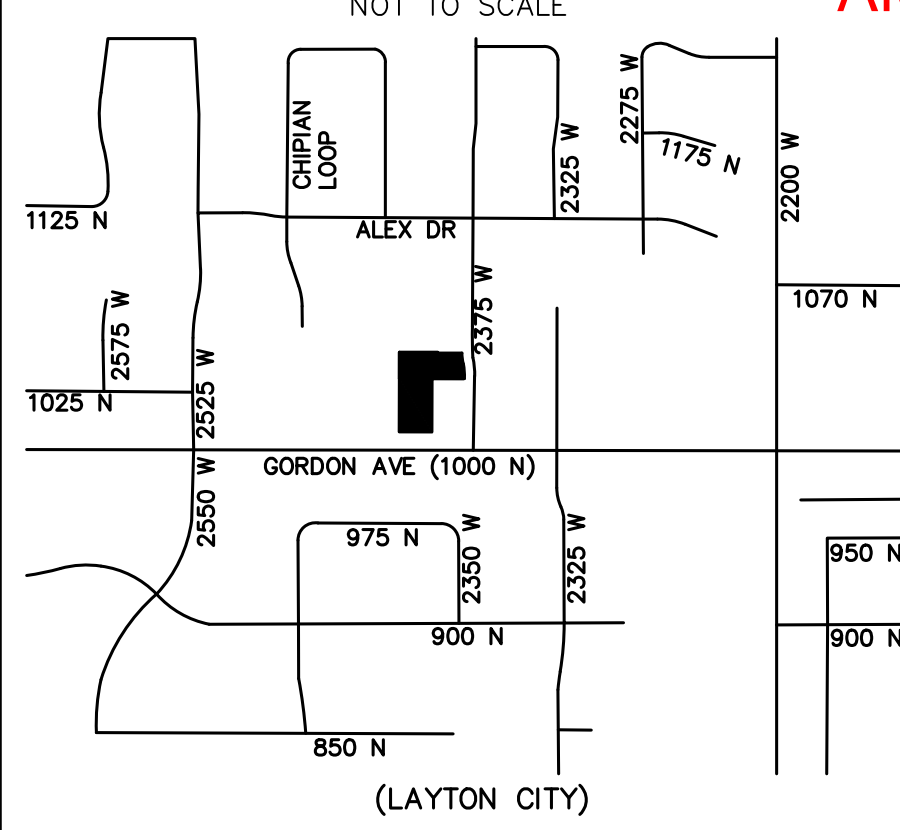
-  Project Site
-  Layton City Boundary
-  Davis County Parks
-  City Boundaries
-  Lakes
-  Streams



Map 3

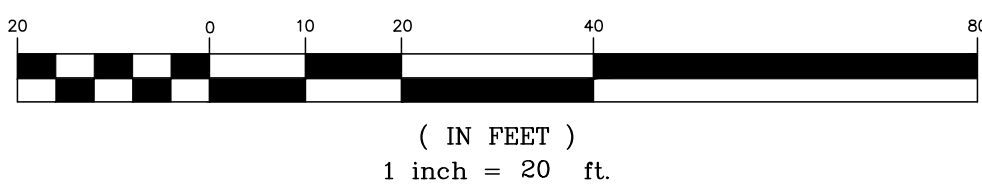


VICINITY MAP



AMENDED SUBDIVISION PLAT

GRAPHIC SCALE



THE VINEYARDS PHASE 1 LOT 103 AMENDED SUBDIVISION

AMENDING LOT 103 OF THE VINEYARDS PHASE 1 SUBDIVISION WITHIN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN

SURVEYOR'S CERTIFICATE

I, PHILLIP J. RICHTER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, HOLDING CERTIFICATE NO. 12947818 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH...



BOUNDARY DESCRIPTION

COMMENCING AT A 3.0 INCH BRASS CAP MONUMENT AT THE SOUTHEAST CORNER OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE SECTION LINE NORTH 89°50'42" WEST 893.14 FEET...

CONTAINS 34,436 SQUARE FEET OR 0.79 ACRE

BASIS OF BEARING

S89° 50' 42"E, BEING THE BEARING OF THE CALCULATED SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN PER FOUND MONUMENTS.

OWNER'S DEDICATION

KNOW THAT ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS AND PARCELS, TOGETHER WITH RIGHTS-OF-WAY AND EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS:

THE VINEYARDS PHASE 1 LOT 103 AMENDED SUBDIVISION

THE UNDERSIGNED OWNERS HEREBY GRANT AND CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES AND LAYTON CITY A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES.

STEVEN BRYCE CLINGER DATE
SADIE CLINGER DATE
STEVEN BRYCE CLINGER DATE
(2402 WEST GORDON AVENUE, LLC)

OWNER'S ACKNOWLEDGEMENT

ON THIS DAY OF A.D., 2026, STEVEN BRYCE CLINGER AND SADIE CLINGER PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF DAVIS IN THE STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT THEY SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC FULL NAME:
COMMISSION NUMBER:
MY COMMISSION EXPIRES:

A NOTARY PUBLIC COMMISSIONED IN UTAH:

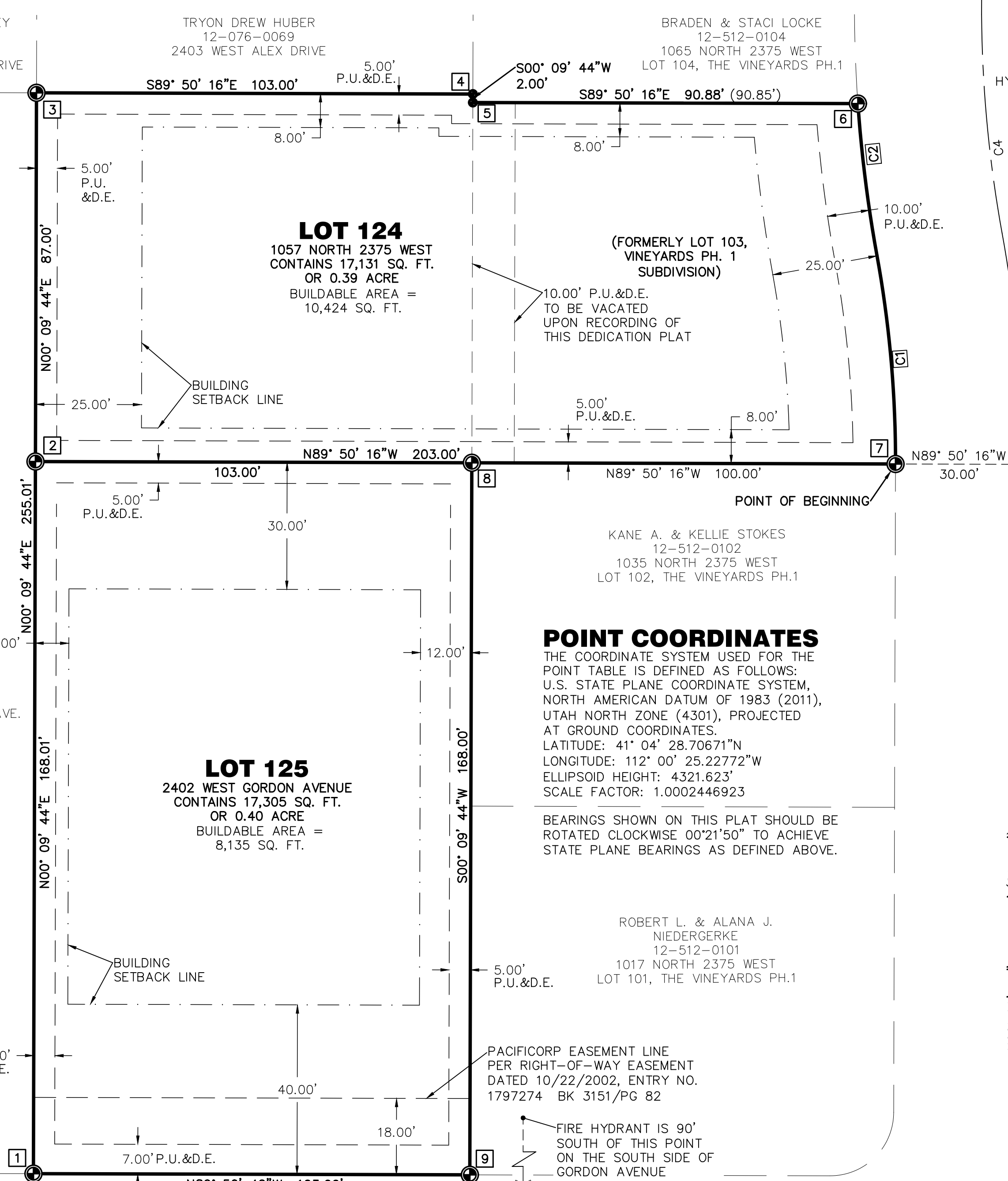
LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

ON THE DAY OF A.D., 2026, STEVEN BRYCE CLINGER PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF DAVIS IN THE STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE REPRESENTATIVE OF 2402 WEST GORDON AVENUE, LLC, A LIMITED LIABILITY COMPANY, THAT HE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC FULL NAME:
COMMISSION NUMBER:
MY COMMISSION EXPIRES:
A NOTARY PUBLIC COMMISSIONED IN UTAH:

POINT TABLE

Table with 3 columns: NO., NORTHING, EASTING. Contains 9 points for the subdivision.



POINT COORDINATES

THE COORDINATE SYSTEM USED FOR THE POINT TABLE IS DEFINED AS FOLLOWS: U.S. STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (2011), UTAH NORTH ZONE (4301), PROJECTED AT GROUND COORDINATES.

BEARINGS SHOWN ON THIS PLAT SHOULD BE ROTATED CLOCKWISE 00°21'50" TO ACHIEVE STATE PLANE BEARINGS AS DEFINED ABOVE.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

- (1) A RECORDED EASEMENT OR RIGHT-OF-WAY
(2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
(3) TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
(4) ANY OTHER PROVISION OF LAW.

APPROVED THIS DAY OF 2026.

ROCKY MOUNTAIN POWER COMPANY

BY:

TITLE:

STREET TREE LANDSCAPING AND INFRASTRUCTURE NOTICE

ALL LOTS ARE SUBJECT TO THE CITY'S TREE AND LANDSCAPING REQUIREMENTS. ALL TREES, VEGETATION, OR IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY (ROW), PARK STRIP, PUBLIC EASEMENTS, OR PUBLIC UTILITY AND DRAINAGE EASEMENTS (PUDE) ARE SUBJECT TO THE CITY'S RIGHT TO PRUNE OR REMOVE THEM WITHOUT COMPENSATION IF THEY INTERFERE WITH PUBLIC SAFETY OR INFRASTRUCTURE INCLUDING SIDEWALKS OR PUBLIC UTILITIES.

GORDON AVENUE (1000 NORTH STREET)

1759.11' (1759.38')
BASIS OF BEARING S89° 50' 42"E 2652.25'
(N89° 50' 42"W 2652.41' - VINEYARDS PH.1)

ENBRIDGE GAS UTAH

QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

APPROVED THIS DAY OF 2026, A.D.

QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH

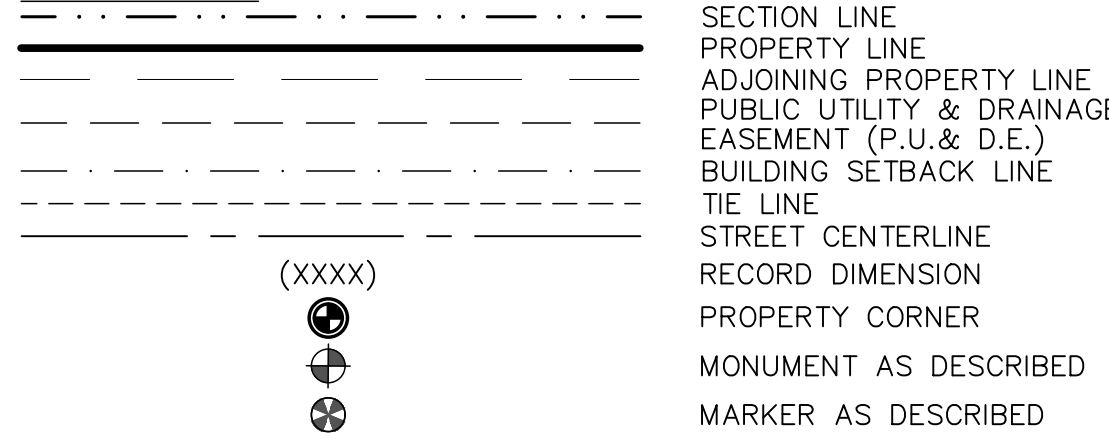
BY:

TITLE:

CURVE TABLE

Table with 7 columns: CURVE #, LENGTH, RADIUS, DELTA, CHR DIST, RECORD VALUE SHOWN IF MEASURED VARIES. Contains 4 curve entries.

LEGEND



LUMEN

APPROVED THIS DAY OF 2026, A.D.

LUMEN

PLANNING COMMISSION APPROVAL

APPROVED THIS DAY OF 2026, BY THE LAYTON CITY PLANNING COMMISSION.

LAYTON CITY PLANNING COMMISSION

CITY ATTORNEY APPROVAL

APPROVED AS TO FORM THIS DAY OF 2026.

LAYTON CITY ATTORNEY

CITY ENGINEER APPROVAL

APPROVED THIS DAY OF 2026, BY THE LAYTON CITY ENGINEER.

LAYTON CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS DAY OF 2026, BY THE LAYTON CITY COUNCIL.

ATTEST. CITY RECORDER CITY MAYOR

DAVIS COUNTY RECORDER

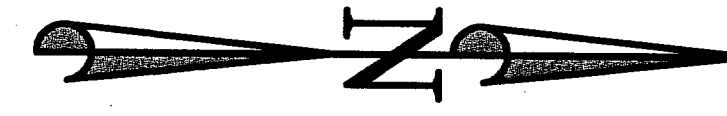
ENTRY NO. FEE PAID FILED FOR RECORD AND RECORDED THIS DAY OF 2026, A.D. AT IN BOOK OF OFFICIAL RECORDS PAGE

DAVIS COUNTY RECORDER BY: DEPUTY RECORDER

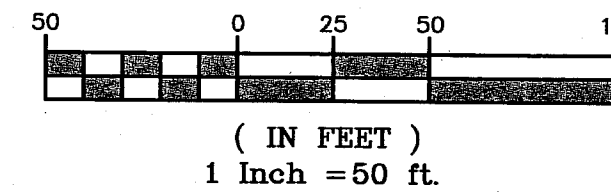
Vertical sidebar containing project information: THE VINEYARDS PHASE 1 LOT 103 AMENDED SUBDIVISION, 1057 NORTH 2375 WEST, SE 1/4, SE 1/4, SEC. 13, T4N R2W, S.L.B.M., UTAH, DAVIS COUNTY, LAYTON CITY, UTAH LINE WORKS, LLC, LAND SURVEYING, 1400 N 600 W, WEST BOUNTIFUL, UT 84087, UTAHLINEWORKS.COM, 250059, 04/20/2026, 1 OF 1.

THE VINEYARDS PHASE 1

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 13, T4N. R2W. SLB&M. LAYTON CITY, DAVIS COUNTY UTAH



GRAPHIC SCALE

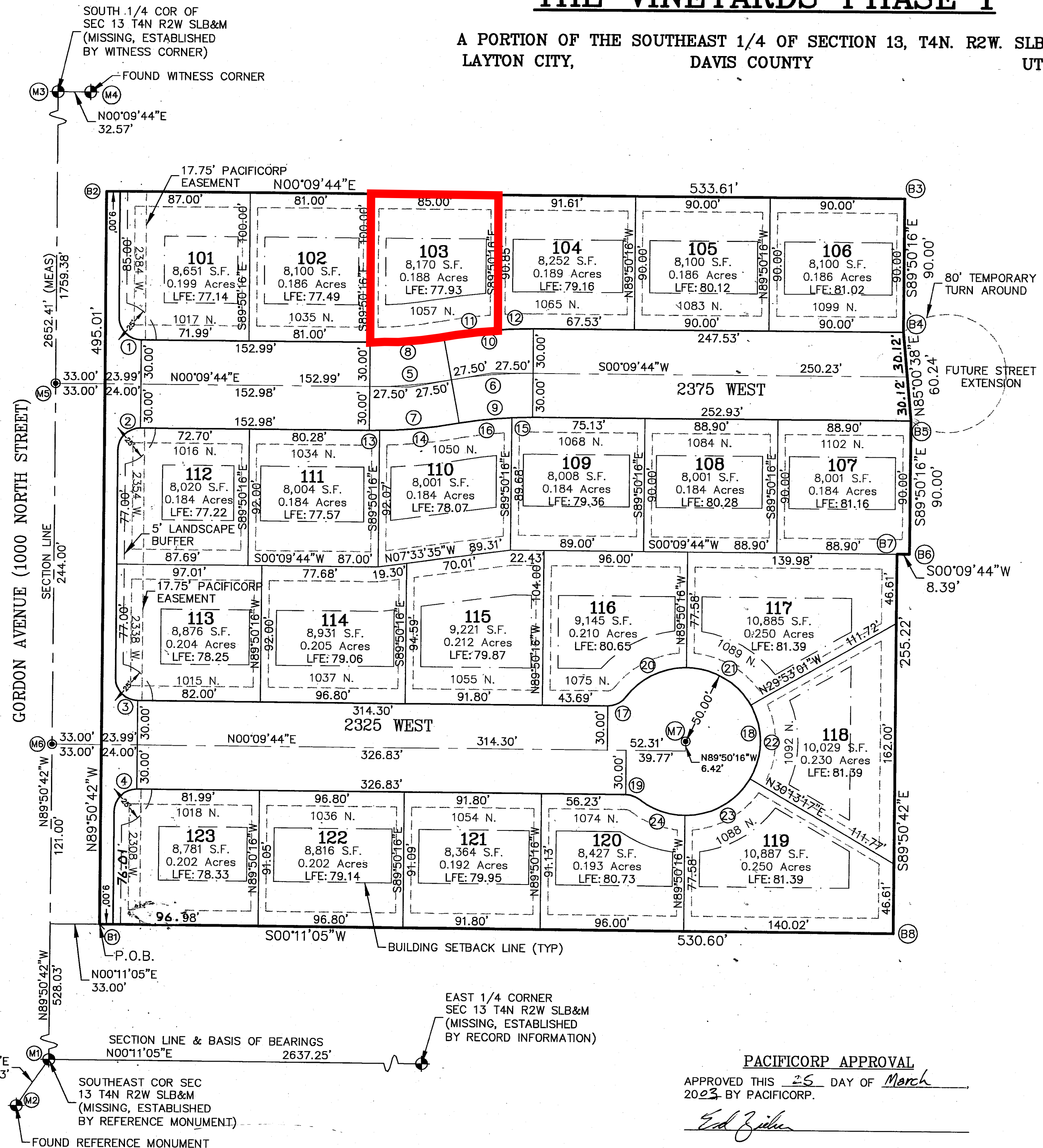


COORDINATE TABLE

NUM	NORTHING	EASTING
B1	5034.3584	4472.0832
B2	5035.6975	3977.0721
B3	5569.3070	3978.5830
B4	5569.0522	4068.5826
B5	5574.2916	4128.5977
B6	5574.0368	4218.5973
B7	5565.6483	4218.5736
B8	5564.9579	4473.7939
M1	4999.9301	5000.0021
M2	4967.7474	5048.0498
M3	5007.1055	2347.6018
M4	5039.6754	2347.6940
M5	5002.3459	4106.9782
M6	5001.6859	4350.9774
M7	5425.3038	4345.7599

CURVE DATA TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHD BRG	DELTA
1	15.00	23.56	15.00	21.21	N45°09'31"E	89°59'34"
2	15.00	23.56	15.00	21.21	S44°50'29"E	90°00'26"
3	15.00	23.56	15.00	21.21	N45°09'31"E	89°59'34"
4	15.00	23.56	15.00	21.21	S44°50'29"E	90°00'26"
5	300.00	54.85	27.50	54.77	N05°04'32"W	10°28'31"
6	300.00	54.85	27.50	54.77	S05°04'32"E	10°28'31"
7	330.00	60.33	30.25	60.25	N05°04'32"W	10°28'31"
8	270.00	49.36	24.75	49.30	N05°04'32"W	10°28'31"
9	270.00	49.36	24.75	49.30	S05°04'32"E	10°28'31"
10	330.00	60.33	30.25	60.25	S05°04'32"E	10°28'31"
11	330.00	36.23	18.13	36.21	S07°10'05"E	06°17'24"
12	330.00	24.11	12.06	24.10	S01°55'50"E	04°11'08"
13	330.00	6.72	3.36	6.72	N00°25'17"W	01°10'02"
14	330.00	53.61	26.86	53.55	N05°39'33"W	09°18'29"
15	270.00	13.87	6.94	13.87	S01°18'34"E	02°56'35"
16	270.00	35.50	17.78	35.47	S06°32'49"E	07°31'56"
17	15.00	14.03	7.58	13.52	N26°37'54"W	53°35'17"
18	50.00	236.76	48.87	69.90	S82°13'38"W	271°18'23"
19	15.00	9.87	5.12	9.70	S19°01'17"W	37°43'06"
20	50.00	46.76	25.25	45.08	S26°37'54"W	53°35'17"
21	50.00	52.32	28.84	49.97	S30°08'22"W	59°57'15"
22	50.00	52.45	28.93	50.08	N89°49'52"W	60°06'18"
23	50.00	52.31	28.83	49.96	N29°48'30"W	59°56'27"
24	50.00	32.92	17.08	32.32	N19°01'17"E	37°43'06"

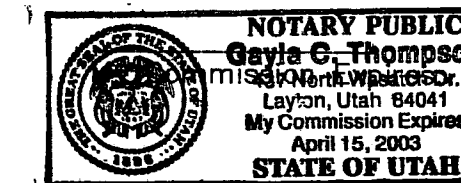


BOUNDARY DESCRIPTION

Beginning at a point on the North line of 1000 North Street (Gordon Avenue) at a point that lies North 89°50'42" West 528.03 feet along the section line and North 00°11'05" East 33.00 feet from the Southeast Corner of Section 13, Township 4 North, Range 2 West, Salt Lake Base and Meridian and running thence North 89°50'42" West 495.01 feet along said North line; thence North 00°09'44" East 533.61 feet; thence South 89°50'16" East 90.00 feet; thence North 85°00'38" East 60.24 feet; thence South 89°50'16" East 90.00 feet; thence South 00°09'44" West 8.39 feet; thence South 89°50'42" East 255.22 feet; thence South 00°11'05" West 530.60 feet to the point of beginning. Property contains 6.062 acres.

ACKNOWLEDGMENT

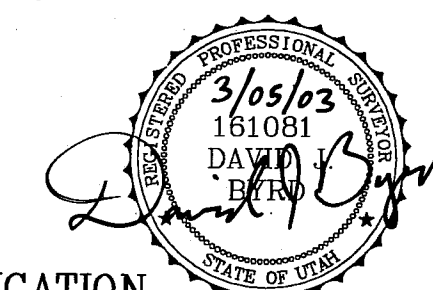
State of Utah County of DAVIS On the 28th day of March, 2003 personally appeared before me, Kent R. Mitchell and Rod Shelton who being duly sworn did say that they are a member of _____ and that said instrument was signed in behalf of said _____ by their authority; acknowledged to me that they are such member, executed the same in the name of the _____



Gayle C. Thompson Notary Public residing in Davis County

SURVEYOR'S CERTIFICATE

I, David J. Byrd, do hereby certify that I am a registered Land Surveyor holding Certificate No. 161081 as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this Plat and described hereon, and have subdivided said tract of land into lots and streets hereafter to be known as The Vineyards Phase 1 and that the same has been correctly surveyed and staked on the ground as shown on this plat.



OWNER'S DEDICATION

Known all men by these presents, that we the undersigned owners of the above described tract of land, having caused the same to be subdivided into lots and streets to be hereafter known as The Vineyards Phase 1, do hereby dedicate for perpetual use of the public all parcels of land shown on this plat for public use, and do warrant and defend and save the City harmless against any easements or other encumbrances on the dedicated streets which will interfere with the City's use, maintenance, and operation on the streets.

In witness whereof, we have here unto set our hand this _____

BY: Kent R. Mitchell BY: Rod Shelton

NARRATIVE

The purpose of this record of survey is to subdivide the hereon described property into lots and streets for the sale to third parties and dedication of streets to the city.

Basis of bearings is North 00°11'05" East between calculated monument positions at the Southeast Corner and South 1/4 Corner as shown hereon. The intent is to be in the same basis of bearings as the Chelsie Park subdivisions.

Chelsie Park subdivisions were placed based on found evidence within the subdivisions and their locations differed slightly from their ties to the section corners.

NOTES

- 1) All rear lot corners marked with 8" rebar & cap LS#161081.
 - 2) All front corners marked with same rebar & cap and/or a permanent marker in the curb & gutter at the extension of the lot line.
 - 3) All public utility easements shown hereon are 10' wide in the front and rear, 5' wide for all interior sides, and 10' wide along Gordon Avenue.
- Building setbacks are as follows: 25' front, 30' rear, 20' side yard on corner lots except 30' side yard along Gordon Avenue.

PACIFICORP APPROVAL

APPROVED THIS 25 DAY OF March 2003 BY PACIFICORP.

Ed Ziller

CITY ATTORNEY APPROVAL

APPROVED THIS 1st DAY OF April 2003, BY THE LAYTON CITY ATTORNEY.

[Signature] LAYTON CITY ATTORNEY

CITY ENGINEER APPROVAL

APPROVED THIS 3rd DAY OF April 2003, BY THE LAYTON CITY ENGINEER.

[Signature] LAYTON CITY ENGINEER

PLANNING COMMISSION APPROVAL

APPROVED THIS 14th DAY OF January 2003, BY THE LAYTON CITY PLANNING COMMISSION.

[Signature] PLANNING COMMISSION CHAIRMAN

CITY COUNCIL APPROVAL

PRESENTED TO THE LAYTON CITY COUNCIL THIS 6th DAY OF February, 2003, AT WHICH TIME IT WAS APPROVED.

[Signature] ATTEST: CITY RECORDER, MAYOR

COUNTY RECORDER

STATE OF UTAH COUNTY OF DAVIS RECORDED AND FILED AT THE REQUEST OF Layton City ENTRY NO. 1855053 BOOK NO. 3271 PAGE NO. 535 FILED THIS 17th DAY OF April, 2003, AT 11:29 AM BY: [Signature] RICHARD T. MAUGHAN COUNTY RECORDER

Byrd & Associates LLC.
Engineers & Land Surveyors
505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

CITY ATTORNEY APPROVAL
APPROVED THIS 1st DAY OF April 2003, BY THE LAYTON CITY ATTORNEY.
[Signature]
LAYTON CITY ATTORNEY

CITY ENGINEER APPROVAL
APPROVED THIS 3rd DAY OF April 2003, BY THE LAYTON CITY ENGINEER.
[Signature]
LAYTON CITY ENGINEER

PLANNING COMMISSION APPROVAL
APPROVED THIS 14th DAY OF January 2003, BY THE LAYTON CITY PLANNING COMMISSION.
[Signature]
PLANNING COMMISSION CHAIRMAN

CITY COUNCIL APPROVAL
PRESENTED TO THE LAYTON CITY COUNCIL THIS 6th DAY OF February, 2003, AT WHICH TIME IT WAS APPROVED.
[Signature]
ATTEST: CITY RECORDER, MAYOR

COUNTY RECORDER
STATE OF UTAH COUNTY OF DAVIS RECORDED AND FILED AT THE REQUEST OF Layton City ENTRY NO. 1855053 BOOK NO. 3271 PAGE NO. 535 FILED THIS 17th DAY OF April, 2003, AT 11:29 AM BY: [Signature] RICHARD T. MAUGHAN COUNTY RECORDER

**LAYTON CITY
AGENDA ITEM COVER SHEET**

Item Number: 3

Subject: Preliminary Subdivision Plat – Stevenson Fields PRUD Phases 1 & 2

Staff Contact: Brad McIlrath, City Planner

Background: The applicant, Shaun Athey with Destination Homes is seeking approval for the preliminary subdivision plat for phases one and two of the Stevenson Fields PRUD. On December 4, 2025 the City Council approved the annexation and rezone of the Stevenson Fields PRUD area to R-1-10 PRUD with a development agreement. The overall development includes 68.42 acres and has a project density of 4.89 units to the acre. The conceptual plan included in the development agreement shows 92 front-loaded single-family lots; 170 alley-loaded single-family lots; and 73 attached single-family (townhome lots). Open spaces with parks, trails, and landscaping are provided throughout the development as required by the PRUD ordinance. The development is planned in a total of five different phases with phases one and two commencing at the southern end of the development.

The PRUD ordinance requires that a preliminary plat be submitted for review by City Development Staff to ensure that the proposed PRUD complies with city ordinances and aligns with specific standards of an applicable development agreement. Phases one and two consist of 24.496 acres and will include 38 front-loaded single-family lots and 33 ally-loaded single-family lots. Each phase will provide open space areas and amenities as required by the PRUD ordinance as well as new streets and connections to existing streets at 2200 West, Sugar Pine Way, and Alberta Spruce Drive. The subdivision will also include the construction of this segment of the Utah Power and Light Corridor Trail and dedicate that to Layton City. That trail will run along the subdivision and the City stormwater detention basin.

The PRUD ordinance requires that this development provide a minimum of 20% open space. The overall project is providing 22.6% open space. To ensure that each phase can stand on it's own with open space for the residents in each phase, phases one and two each meet the 20% open space requirement with phase one providing 31.0% of the project area as open space and phase two providing 28.1% respectively. Within the open spaces, there will be two park areas with play areas, a community fire pit area, a pavilion and picnic table and connections to the trail system. There will also be a dog park that will include seating areas, a pavilion, watering station, and waste stations.

As required by the PRUD ordinance, in order to allow a project with a 4.89 unit per acre density, a 40% density bonus is required. The City-appointed Design Review Committee (DRC) met on May 13, 2026, to review the aspects of the development that would qualify for density bonuses to reach the 40% needed. Based upon the plans submitted the DRC determined that the project meets the requirements for the 40% density bonus and recommends that the Planning Commission grant approval of the preliminary plat with the density bonus of 40% to allow a project density of 4.89 units per acre.

Alternatives to the Motion: Alternatives are to: 1) Grant preliminary subdivision plat approval for Stevenson Fields PRUD Phases 1 & 2 subject to the recommendation of the DRC and meeting all City requirements and design standards; or 2) Deny the preliminary subdivision plat request for Stevenson Fields PRUD Phases 1 and 2 finding that the preliminary plat does not meet City requirements and design standards.

Recommendation: Staff recommends the Planning Commission approve the preliminary subdivision plat for Stevenson Fields PRUD Phases 1 & 2 subject to the recommendation of the DRC and meeting all City requirements and design standards.

STAFF REVIEW

Preliminary Plat

The PRUD ordinance requires that a preliminary plat be submitted for review by City Development Staff to ensure that the proposed PRUD complies with city ordinances and aligns with specific standards of an applicable development agreement. Phases one and two consist of 24.496 acres and will include 38 front-loaded single-family lots and 33 ally-loaded single-family lots. Each phase will provide open space areas and amenities as required by the PRUD ordinance as well as new streets and connections to existing streets at 2200 West, Sugar Pine Way, and Alberta Spruce Drive. The subdivision will also include the construction of this segment of the Utah Power and Light Corridor Trail and dedicate that to Layton City. That trail will run along the subdivision and the City stormwater detention basin.

Figure 2 below, shows the overall site plan for these first two phase of the PRUD. The streets throughout the development will be public with the exception of the alleys that are provided for the alley-loaded single-family homes and townhomes (future phases). Continuation of the street network will also continue with future phases to provide additional connections to 2200 West and Gentile Street as shown in Figure 1.

Lot and Building Standards

Buildings within the PRUD overlay zone must comply with specific development standards related to setbacks, building separation, height, entrance features, materials, etc. The development agreement includes the Stevenson Fields Pattern Book that provides the specific architectural and design standards for this neighborhood. The use of a Pattern Book and the development standards included therein comply with the code standards of the PRUD ordinance. Staff has reviewed the preliminary plat to confirm that all proposed lots comply with the standards of the Pattern Book. Each home will be required to meet the standards of the Pattern Book which will be verified upon application for a building permit.

Street Network

The proposed street network has been designed in accordance with Public Works standards to address traffic circulation and access to this neighborhood and from adjacent neighborhoods. Two residential collector streets (Collector Street A & B) are planned for the development Collector Street B as shown in figure 2 will provide access to 2200 West with connections to adjacent residential neighborhoods. Collector Street A will connect to Alberta Spruce Drive and Collector Street B. With the completion of the final phase of the development, Collector Street A will connect to Gentile Street. Both collector



Figure 2: Phase 1 & 2 Overall Site Plan

streets provide the primary points of access into the neighborhood and connect to local public streets and the private alleys. All of the planned street connections will improve traffic circulation and access in this area for residents and first responders. Stub streets are also provided for future connections to the east and the north of the subdivision.

Open Space and Amenities

Phases one and two are providing a mixture of open spaces and amenities that will benefit the residents of these two phases. Of the amenities provided, the construction and dedication of this segment of the power corridor trail will be accessible to the general public and will provide a recreational benefit for all residents in the area. Phase one includes construction of a portion of the power corridor trail along western edge of the Layton City stormwater detention area. This segment of the trail will connect to the sidewalk along 2200 West and will have a couple of benches. Two additional connections will be provided to Collector Street B along with access to the private trail system of the PRUD.

Phase two will include the construction of the eastern edge of the power corridor trail along the stormwater detention basin and the southern leg of the trail to the property's edge. Adjacent the trail along the southern leg will be a playground park space (See Figure 3). The playground space will include a landscape berm with two play tunnels, rocks and logs, and a community firepit. The private trail system will provide access to this park space as well as a connection to the power corridor trail. As required by the development agreement, each segment of the private and public trail system will be provided with a bench.

The eastern portion of phase two will include a fenced dog park with a pavilion, a water spigot, waste station, and multiple areas for seating including under the pavilion (See Figure 4). The dog park will be constructed at the southwest corner of Collector Street A and Street C. Another park will be constructed southeast of the dog park and on the eastern side of Collector Street A (See Figure 5). The playground areas in this park space will include peeled logs and landscape boulders like the playground areas in the park space

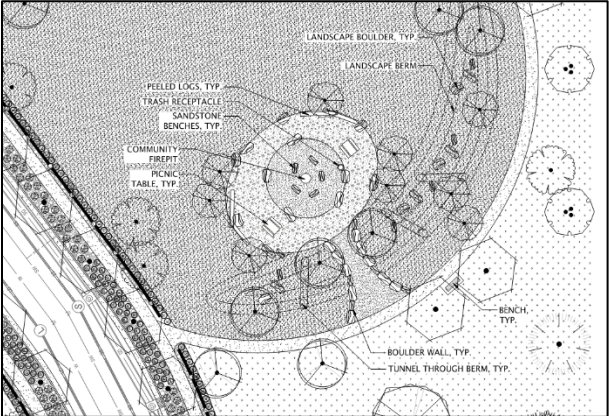


Figure 3: Southern Park Area

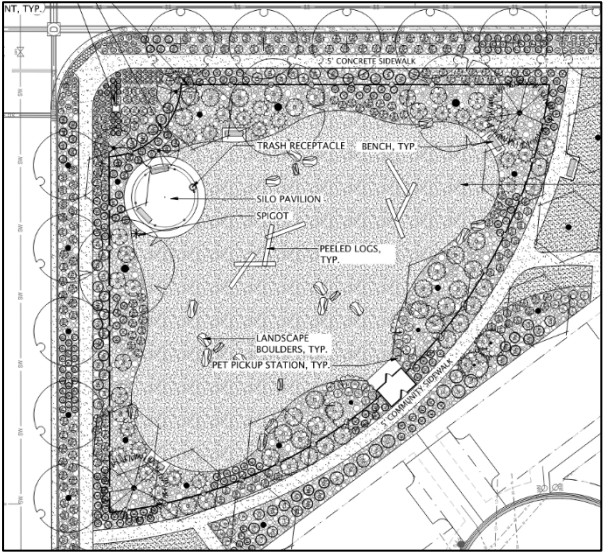


Figure 4: Dog Park Area

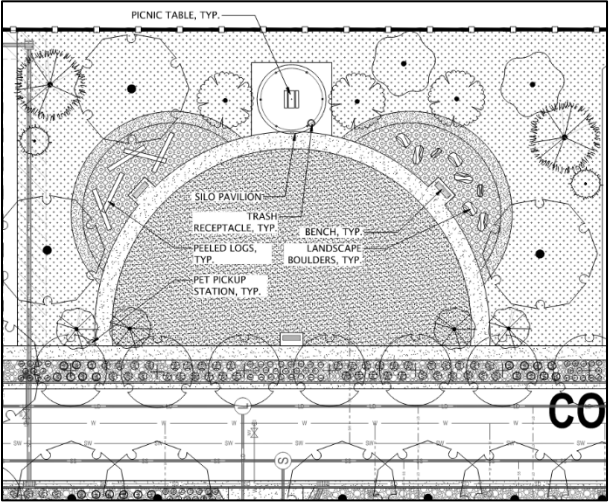


Figure 5: Eastern Park Area

located south of Collector Street B. A pavilion and picnic table will be provided for this park space as well along with benches and a half-circle trail. It is important to note that all the playground equipment located in these park areas are designed to be low to the ground due to the Rocky Mountain Powerline Corridor. In future phases of the PRUD that provide park spaces outside of the power corridor, other playground equipment may be provided.

Design Review Committee

On May 13, 2026, Planning Staff and the applicant met with the City-appointed Design Review Committee (DRC) to review the architectural plans, amenities, and open space plans to ensure compliance with the density standards of the PRUD ordinance. To achieve the proposed project density of 4.89 units per acre, a 40% density bonus is necessary, which is also the maximum density bonus allowed for PRUD developments. The following is a review of the density bonuses for these first two phases of the Stevenson Fields PRUD.

- Minimum Open Space Density Bonus: 15% Max. All PRUD developments are required to provide a minimum 12% open space. For properties identified in the General Plan with the “Neighborhood Ag Heritage Overlay,” an additional 8% is required for a minimum requirement of 20% open space. Overall, the two phases provide 22.6% open space with 31% of the land area in Phase one provided as open space and 28.1% of the land area in Phase two provided as open space. The DRC recommended a 15% density bonus.
- Recreation and Site Amenities: Max. 10%. As stated above, the development is providing multiple playgrounds, a dog park, and construction of this segment of the City’s power corridor trail. As such the DRC recommended a 10% density bonus.
- Enclosed Parking: Max. 10%. All of the housing types for the Stevenson Fields PRUD are provided with enclosed two-car garages. By meeting this standard, the DRC recommended the 10% density bonus.
- Fencing: Max 5%. The overall PRUD and these phases will be provided with a six-foot tall solid vinyl perimeter fence, split rail fence, and a four-foot ornamental iron fence around the dog park. The perimeter fence and split rail fence will have earthtones shown in the landscaping plans. The ornamental iron fence will be black. The proposed fencing meets the criteria for the density bonus. The DRC recommended the 5% density bonus.

Based on these four density bonus items, the DRC is recommending the Planning Commission to approve the preliminary plat with a 40% density bonus. It is important to note that the maximum density bonus that can be granted is 40%, which is also the percentage needed for the proposed project. With the 40% density bonus a project density of 4.89 units per acre complies with the PRUD ordinance with the zoning of R-1-10 PRUD.

STAFF RECOMMENDATION

Staff recommends the Planning Commission approve the preliminary subdivision plat for the Stevenson Fields PRUD Phases 1 & 2 with the 40% density bonus subject to compliance with all City requirements and design standards.



Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a final submittal. Thank you.

MEMORANDUM

TO: Planning Commission

CC: CED Dept/Fire Marshal/Parks Dept

FROM: Shannon Hansen, Assistant City Engineer - Development

DATE: May 6, 2026

SUBJECT: Stevenson Fields Subdivision, Phases 1 and 2
Preliminary Plan – 2nd review
2073 West Gentile (approximate)

I have reviewed the preliminary plans and supporting documents received in Engineering on April 20, 2026 for the proposed Stevenson Fields Subdivision Phases 1 & 2 located at approximately 2073 West Gentile Street. The Engineering Department recommends the approval of the development. The Engineering Department has found that the development plans meet the requirements as set forth in the Municipal Code and Engineering Standards and Design Guidelines.



Community • Prosperity • Choice

Mayor • Joy Petro
City Manager • Alex R. Jensen

• Fire Department •
Scott Maughan • Fire Chief
Telephone: (801) 336-3940
Fax: (801) 546-0901

Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a submittal of a preliminary plan and within 20 business days of a submittal of a final plan. Thank you.

M E M O R A N D U M

TO: Community Development

FROM: Douglas K Bitton, Fire Marshal

RE: Stevenson Fields (Phase 1 & 2)

CC: 1) Engineering
2) Cam Preston, cpreston@ensignutah.com
3) Shaun Athey, sathey@destinationhomes.com

DATE: May 11, 2026

I have reviewed the site plan submitted on April 20, 2026 for the above referenced project. The Fire Prevention Division of this department has the following comments/concerns.

1. The minimum fire flow requirement is 1,000 gallons per minute for 60 consecutive minutes for residential one- and two-family dwellings. Fire flow requirements may be increased to a maximum of 2,000 gallons per minute for residential one and two family dwellings with a building footprint equal to or greater than 3,600 square feet, or for buildings other than one and two family dwellings. Provide documentation that the fire flow has been confirmed through the Layton City Engineering Division, Water Model.
2. Fire hydrants and access roads shall be installed prior to construction of any buildings. All hydrants shall be placed with the 4 ½" connection facing the point of access for Fire Department Apparatus. Provide written assurance that this will be met. This shall be noted on the site and civil plans.
3. Prior to beginning construction of any buildings, a fire flow test of the new hydrants

shall be conducted to verify the actual fire flow available for this project. The Fire Prevention Division of this department shall witness this test and shall be notified a minimum of 48 hours prior to the test. This shall be noted on the site and civil plans.

- 4. As a Private Development, the Homeowners Association shall have the fire hydrants annually maintained and a 5-year flow test shall be performed in accordance with NFPA 24 and 25. All records shall be provided and submitted through The Compliance Engine found at <http://www.thecomplianceengine.com>. Ensure that this note is added to the approved plat.
- 5. The above two paragraphs need to be added to Sheet C-001 under Utility notes.

Add two required notes:
> Prior to beginning construction of any buildings, a fire flow test of the new hydrants shall be conducted to verify the actual fire flow available for this project. The Fire Prevention Division of this department shall witness this test and shall be notified a minimum of 48 hours prior to the test. **This shall be noted on the site and civil plans.**
> 4. As a Private Development, the Home Owners Association shall have the fire hydrants annually maintained and a 5-year flow test shall be performed in accordance with NFPA 24 and 25. All records shall be provided and submitted through The Compliance Engine found at <http://www.thecomplianceengine.com>. **Ensure that this note is added to the approved plat.**

UTILITY NOTES 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UFPAH DRINKING WATER REGULATION, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER. 2. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.	GRADING AND DRAINAGE NOTES 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS. 2. THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.) 3. THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING (2:1) OR BASE (2:1) OR SUB (2:1) OR FILL (2:1) TO IDENTIFY ANY SOFT AREAS. (MAY BE SOFT)	LEGEND SECTION CORNER EXISTING MONUMENT PROPOSED MONUMENT EXISTING REBAR AND CAP EXISTING EDGE OF ASPHALT PROPOSED EDGE OF ASPHALT EXISTING STRIPING PROPOSED STRIPING
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- 6. All fire apparatus access roads shall be a minimum all-weather, drivable and maintainable surface capable of supporting 75,000 pounds. There shall be a minimum clear and unobstructed width of not less than 26 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Dead-end roads created in excess of 150 feet in length shall be provided with an approved turn-around.
- 7. Sheet C-101, 102 note 12 for Fire Lane No Parking signs provide additional as shown. It is undetermined is Street M private or public. If private, Fire Lane – No Parking signs shall have towed at owners expense language.



Stevenson Fields (Phase 1 & 2) S26-065

May 11, 2026

Page 4

DB\#1 subdivision site plan.sh
Plan #S26-065 District #42
Project Tracker #LAY2504213446



Memorandum

To: Cam Preston, Shaun Athey
CC: Community Development, Fire, & Engineering
From: JoEllen Grandy, City Landscape Architect – Parks & Recreation
Date: April 28, 2026
Re: Stevenson Fields PH 1&2, Preliminary Approval – 2073 W. Gentile St.
Review: Review 2

Stevenson Fields located at 2073 West Gentile Street lies within the existing service areas of Harmony Place Park and Ellison Park.

The Parks & Recreation Department has reviewed the plans re-submitted on April 20th and has the following comment regarding Stevenson Fields:

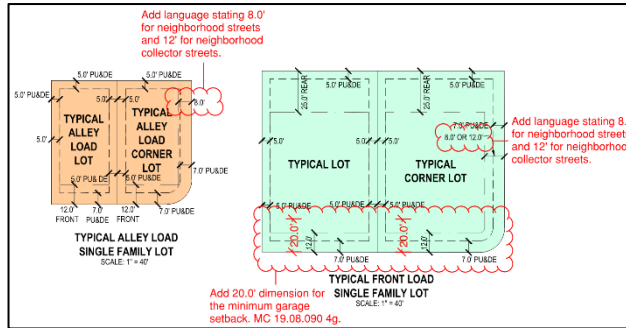
- This serves only as a reminder to have included on the plat when it is time to submit for review:
 - A note stating the “City will own and maintain the 10’ wide asphalt trail dedicated to Layton City in perpetuity after it is constructed by the developer.”
 - A note stating “All open space parcels, common space, landscape buffers, detention basin(s), trails (excluding the 10’ wide trail dedicated to Layton City) and/or other amenities shall be owned and maintained by the homeowner’s association with the specific maintenance responsibilities outlined within the CC&R’s.”
 - Label “20.0’ WIDE PUBLIC TRAIL & ACCESS EASEMENT DEDICATED TO LAYTON CITY” for the 10’ wide asphalt trail associated with the City’s UP&L Corridor Trail. (This would be applicable for the sections of the trail that are not within the City’s existing property.)

The Parks and Recreation Department has no other comments or concerns regarding Stevenson Fields Preliminary Approval.

Attention Engineers & Developers: Please do not resubmit plans until you have received comments from Layton City Fire Department, Parks Department, Engineering Division and Planning Division. You may expect to receive comments within 15 business days of a preliminary submittal and within 20 business days of a final submittal. Thank you.

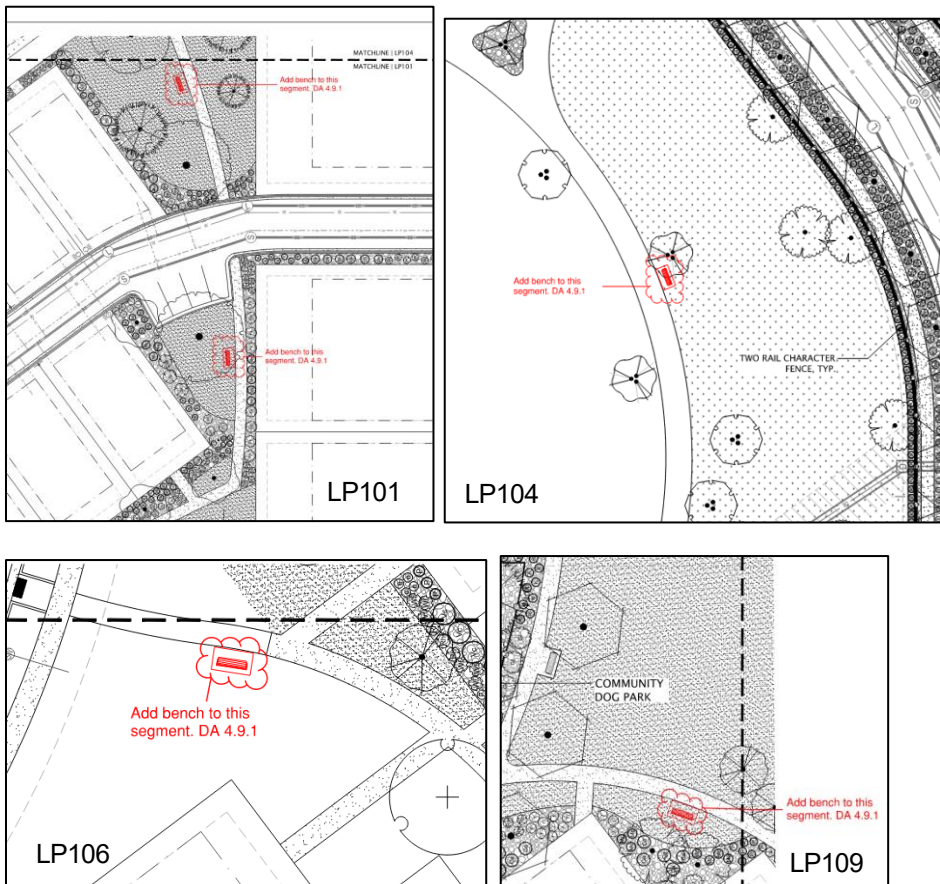


- a. Add language that the 8' corner side yard is for residential streets and the 12' corner side yard is for collector street. MC 19.08.090.4.b. **Addressed.**
- b. Revise the lot layouts to show the minimum garage setback of 20' per MC 19.08.090.4.g. **Addressed.**



Open Space and Amenities Comments:

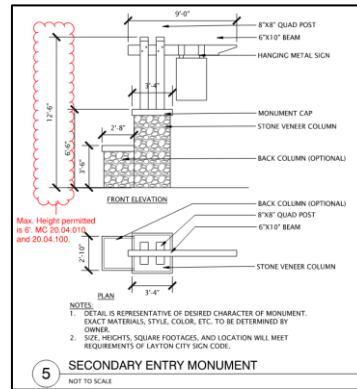
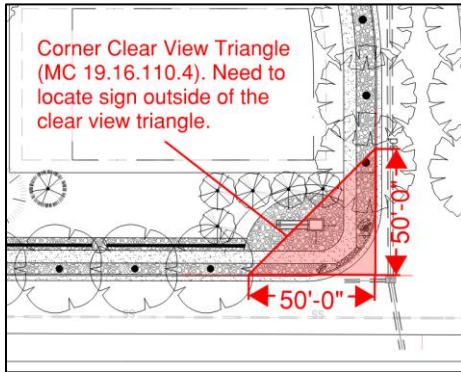
- 1. One bench is required per new segment of trail as specified in DA 4.9.1. Staff interprets this to include the internal walkway/trail system between the homes, but not the sidewalks along the public streets. There are segments of those connections as well as the power corridor trail without a bench. Please add one bench per segment. **Staff has noted the applicant's response and has identified the following locations that a bench will need to be added to address this comment.**



- 2. These first two phases of the development include three developed parks with one designated as a community dog park, another with a fire pit area, and the last with peeled logs and boulders. Will

there be any playground equipment located within any of these developed parks? If not, will any of the future phases include playground equipment? Staff recognizes that these developed parks may be limited due to the location under powerlines and therefore, lower ground equipment that is being proposed may be the most appropriate for these locations. Please provide additional details regarding this. **Addressed.**

3. The community dog park will need to be revised to address the following:
 - a. There needs to be one dog refuse station per trash receptacle as outlined in DA 4.9.3. If the applicant has determined the pickup station at the entrance to the dog park meets the standard with the receptacle at the pavilion, please indicate. **Addressed.**
 - b. Additional picnic benches tables need to be added in the pavilion. As stated in DA 4.9.2 a minimum of one picnic table is required, but additional tables shall be added proportionate to the size of the pavilion for larger pavilion areas. This appears to be a large pavilion and therefore should include more picnic tables proportionate to the size of the pavilion. **Please add 1 additional bench to the pavilion between the other two benches to provide adequate seating that is proportional to the size of the pavilion area.**
 - c. There appears to be a fence that surrounds the dog park, but there is no drawing indicating the fence design or material. Please revise the plans to include that information. **Addressed.**
 - d. The dog park area includes landscape boulders and peeled logs. There are three rectangles also shown in the dog park. Please indicate what those will be and if there will be any other equipment for the dog park. **Addressed.**
4. The developed park located on sheet LP108 will need to be revised to address the following.
 - a. One additional bench will need to be provided so the developed park has a total of three per DA 4.9.1. **Addressed.**
 - b. A dog refuse station will need to be added to this developed park per DA 4.9.3. **Addressed.**
 - c. Similar to the pavilion located in the community dog park, additional picnic tables are needed due to be proportionate to the size of the pavilion. See DA 4.9.2. **Addressed.**
5. The developed park located on sheet LP104 will need to be revised to address the following.
 - a. Benches are provided along the trail system, but not within the community fire pit area. Please indicate if the entire circular area that includes the community firepit area is deemed to be a developed park or just the firepit area. The firepit area appears to have seating with the boulders, but without a detail it is unclear. With the berm, the trail section appears to be cutoff from the firepit area. Additional detail on the berm height and connection of that area to the trail system would be helpful. **Addressed.**
 - b. A dog refuse station will need to be added to this developed park per DA 4.9.3. **Addressed.**
 - c. Similar to the pavilion located in the community dog park, additional picnic tables are needed due to be proportionate to the size of the pavilion. See DA 4.9.2. **Addressed.**
6. All neighborhood identification signage will need to comply with the standards found in MC 20.04.010 & 20.04.100. Please revise the plans to show compliance with these code standards including setbacks, height, and clear view (MC 19.16.110.4). **The primary identification sign will need to be located outside of clear view area as shown below. The maximum height for neighborhood identification signage is 6'. Please revise the plans to comply with signage standards.**



7. Irrigation plans will need to be provided for all the open spaces as part of the final plat submission.







As a reminder, please wait to resubmit until you have received comments from the Layton City Fire Department, the Engineering Division, the Legal Department (if applicable), the Parks & Recreation Department, and Planning Division. Resubmittals for this application can be submitted by emailing CEDApplications@laytoncity.org.



**STEVENSON FIELDS
PRUD
PHASES 1 & 2**

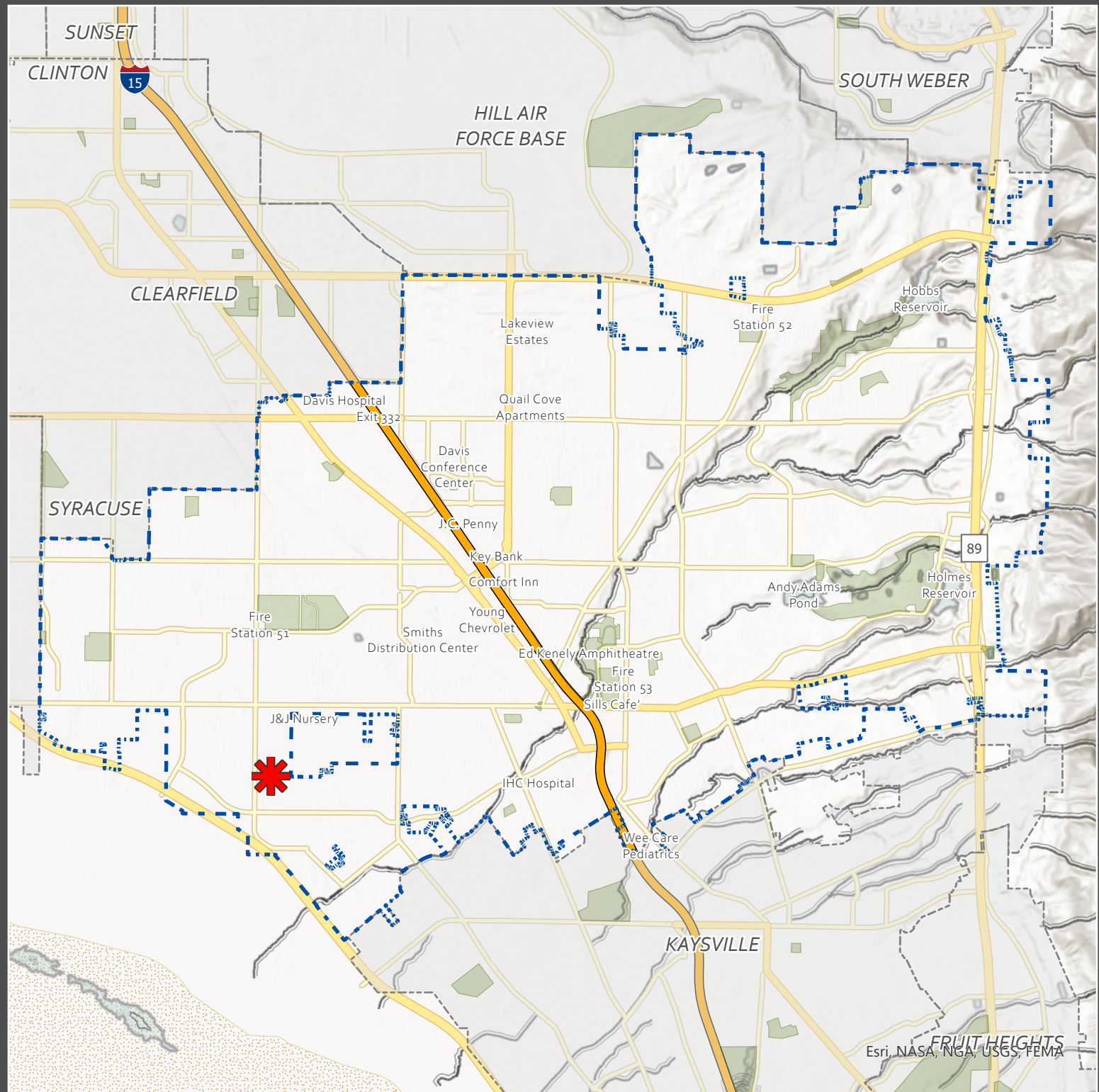
**APPROXIMATELY
400 SOUTH 2200 WEST**

**PRELIMINARY
SUBDIVISION PLAT**

-  Project Site
-  Layton City Boundary
-  Davis County Parks
-  City Boundaries
-  Lakes
-  Streams



Map 1





**STEVENSON FIELDS
PRUD
PHASES 1 & 2**

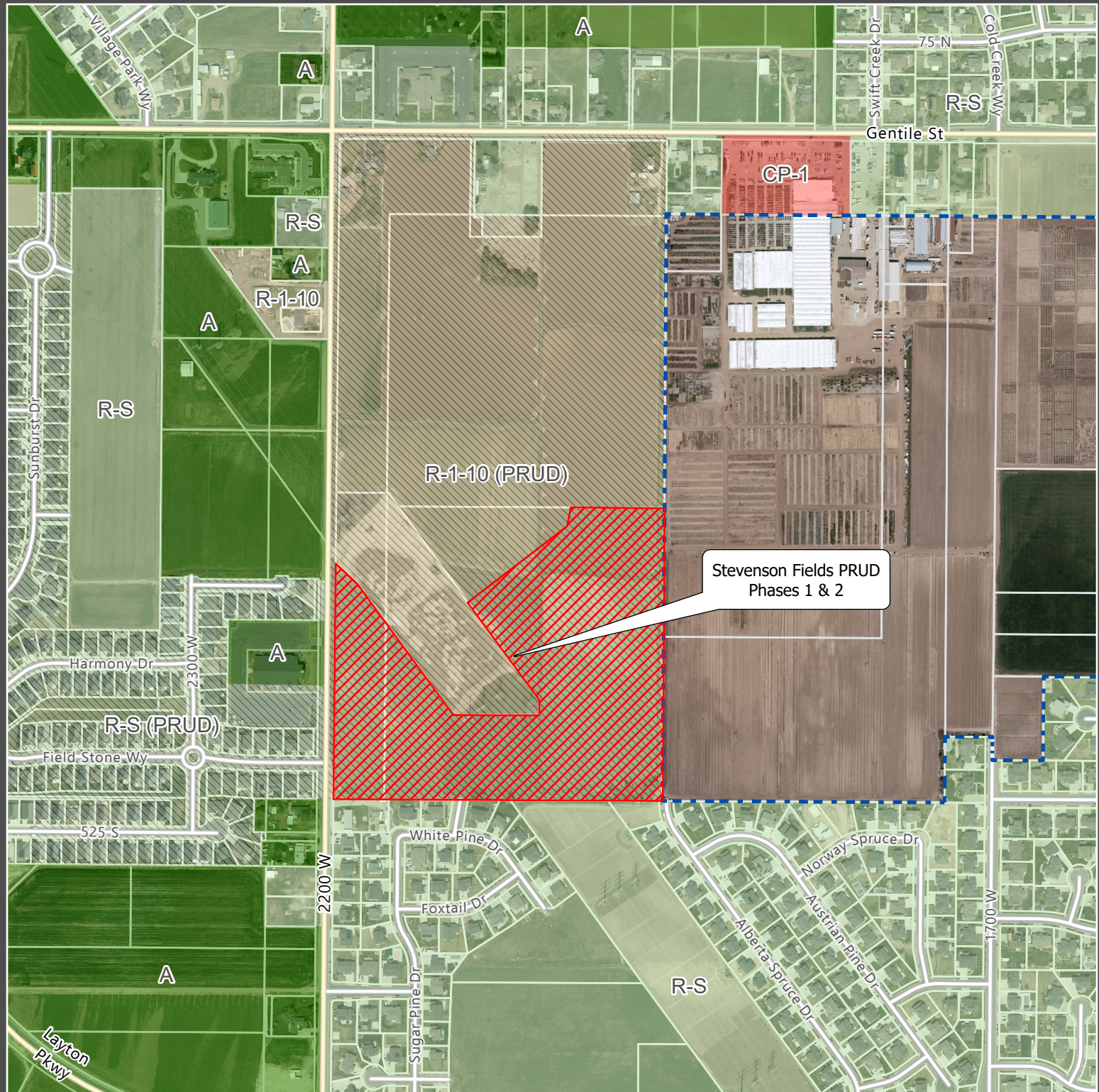
**APPROXIMATELY
400 SOUTH 2200 WEST**

**PRELIMINARY
SUBDIVISION PLAT**

- Project Site
- Layton City Boundary
- Davis County Parks
- City Boundaries
- Lakes
- Streams



Map 2











**STEVENSON FIELDS
PRUD
PHASES 1 & 2**

**APPROXIMATELY
400 SOUTH 2200 WEST**

**PRELIMINARY
SUBDIVISION PLAT**

-  Project Site
-  Layton City Boundary
-  Davis County Parks
-  City Boundaries
-  Lakes
-  Streams



Map 3



811
 Know what's below.
 Call before you dig.

CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.

BENCHMARK

NORTHWEST CORNER OF SECTION 30,
 TOWNSHIP 4 NORTH, RANGE 1 WEST
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4303.36'

STEVENSON PRUD PHASE 1-2 PRELIMINARY PLAT

PRELIMINARY
 FOR REVIEW
 NOT FOR CONSTRUCTION

DATE PRINTED
 April 16, 2026

GENTILE AND 2200 WEST STREET
 LAYTON, UTAH

INDEX OF DRAWINGS

C-001	GENERAL NOTES	C-201	PRELIMINARY GRADING AND DRAINAGE PLAN
C-002	PRELIMINARY OVERALL PHASING PLAN	C-202	PRELIMINARY GRADING AND DRAINAGE PLAN
C-100	PRELIMINARY OVERALL SITE PLAN	C-203	PRELIMINARY GRADING AND DRAINAGE PLAN
C-101	PRELIMINARY SITE PLAN	C-300	PRELIMINARY OVERALL UTILITY PLAN
C-102	PRELIMINARY SITE PLAN	C-301	PRELIMINARY UTILITY PLAN
C-103	PRELIMINARY SITE PLAN	C-302	PRELIMINARY UTILITY PLAN
C-104	PRELIMINARY SITE TRIANGLE AND POWER PLAN	C-303	PRELIMINARY UTILITY PLAN
C-200	PRELIMINARY OVERALL GRADING AND DRAINAGE PLAN	C-400	PRELIMINARY DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

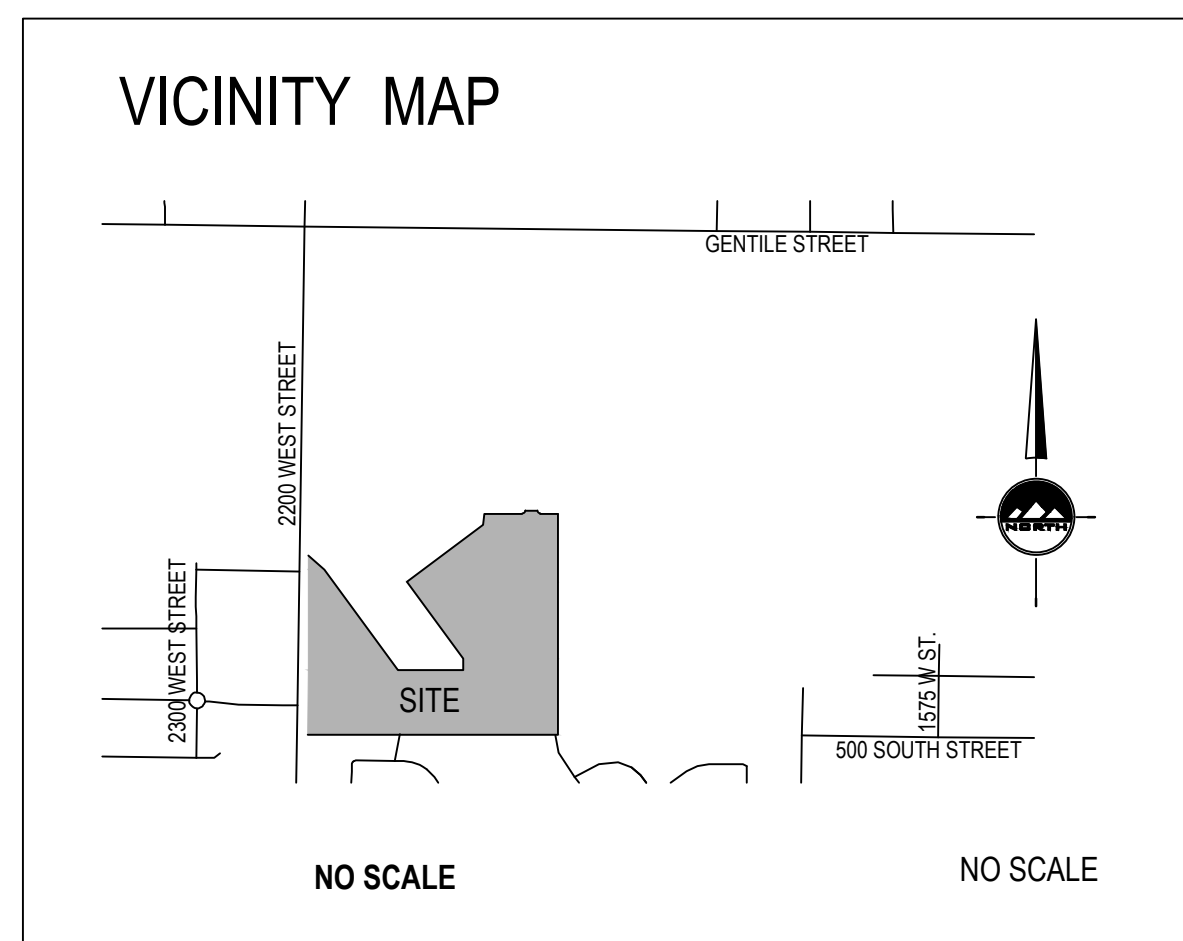
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

- ALL WORK SHALL CONFORM TO LAYTON CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



LAYTON
 919 North 400 West
 Layton, UT 84041
 Phone: 801.547.1100

SANDY
 Phone: 801.255.0529

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
 DESTINATION HOMES
 9350 SOUTH 150 EAST SUITE 800
 SANDY, UTAH 84070

CONTACT:
 SHAUN ATHEY
 PHONE: 307-277-0527

**STEVENSON PRUD PHASE 1-2
 PRELIMINARY PLAT - NOT TO BE RECORDED
 GENTILE AND 2200 WEST STREET
 LAYTON, UTAH**



NO. DATE REVIEW FOR REVIEW

COVER

PROJECT NUMBER 11032 PRINT DATE 4/16/26
 PROJECT MANAGER C.PRESTON DESIGNED BY M.ELMER



GENERAL NOTES

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
 - CONTRACTOR IS REQUIRED TO LOCATE AND POTHOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTAL AND VERTICALLY) THAT AFFECT THE PROPOSED CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-862-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER LAYTON CITY STANDARD SPECIFICATIONS (CURRENT EDITION) - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER LOCAL GOVERNING AGENCY'S STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET. EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TODs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CURBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
L	LAND DRAIN
LD	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MJ	MECHANICAL JOINT
MI	MATERIAL
NG	NATURAL GROUND
NO	NOT IN CONTRACT
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TCC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WIV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		PROPOSED DECORATIVE PICKET FENCE
	EXISTING WATER MANHOLE		EXISTING FLOW LINE
	PROPOSED WATER MANHOLE		PROPOSED FLOW LINE
	EXISTING WATER BOX		GRADE BREAK
	EXISTING WATER VALVE		EXISTING STORM DRAIN LINE
	PROPOSED WATER VALVE		PROPOSED STORM DRAIN LINE
	EXISTING FIRE HYDRANT		ROOF DRAIN LINE
	PROPOSED FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE DEPARTMENT CONNECTION		HIGHWATER LINE
	EXISTING SECONDARY WATER VALVE		EXISTING SANITARY SEWER
	PROPOSED SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	EXISTING IRRIGATION BOX		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION VALVE		EXISTING LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		
	DENSE VEGETATION		

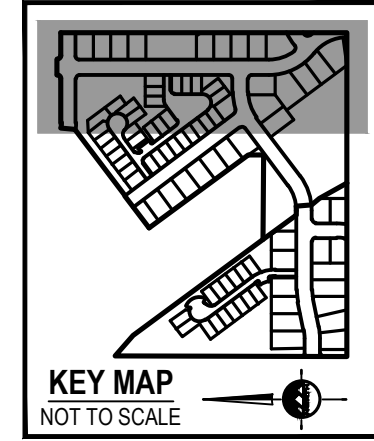
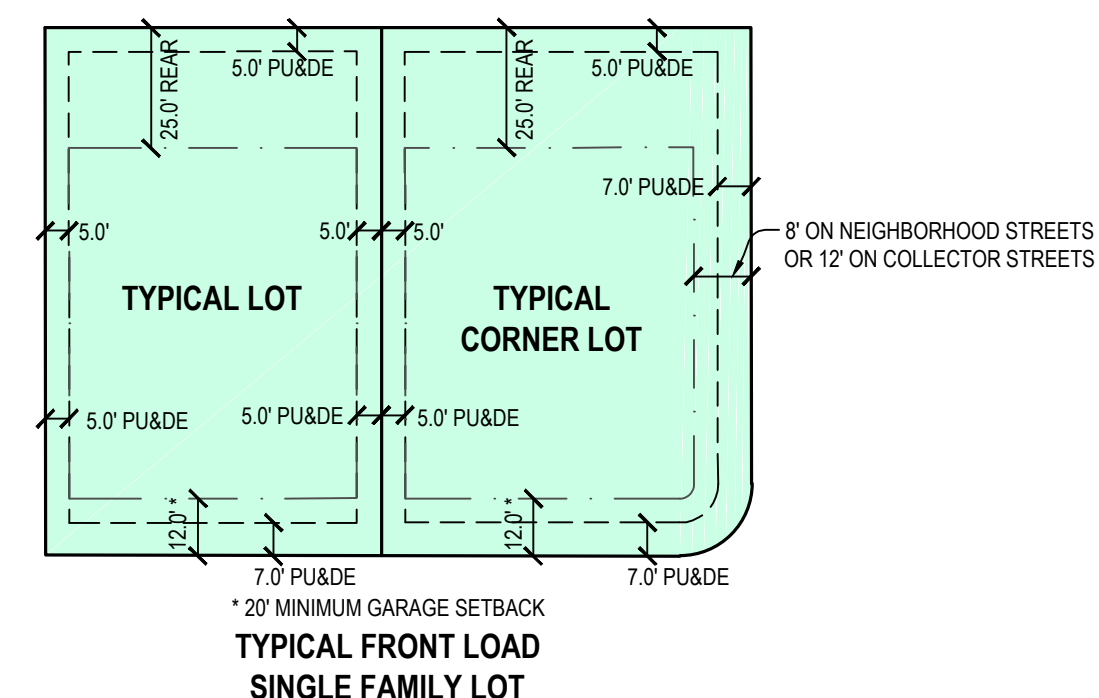
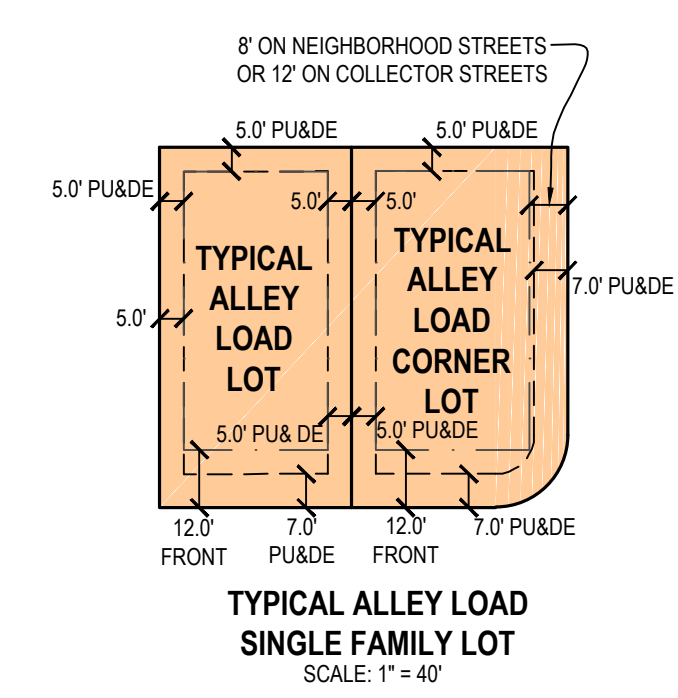
NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Call before you dig.

BENCHMARK
NORTHWEST CORNER OF SECTION 30,
TOWNSHIP 4 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4303.36'

KEY NOTES

- 1 INSTALL 30" CURB AND GUTTER PER LAYTON CITY STANDARD DRAWING ST-ST-09
- 2 INSTALL 24" COLLECTION CURB AND GUTTER PER DETAIL 3/C-400
- 3 INSTALL 24" REVERSE PAN CURB AND GUTTER PER DETAIL 4/C-400
- 4 INSTALL 4" THICK SIDEWALK PER LAYTON CITY STANDARD DRAWING ST-ST-10. WIDTH PER PLAN
- 5 INSTALL HANDICAP ACCESSIBLE RAMP W/ DETECTABLE SURFACE PER LAYTON CITY STANDARD DRAWING ST-ST-11B AND ST-ST-12
- 6 MATCH EXISTING IMPROVEMENTS
- 7 INSTALL STREET LIGHT SL-02 PER LAYTON CITY STANDARD DRAWING ST-LT-02. TO BE INSTALLED BY LAYTON CITY'S CONTRACTOR
- 8 SAWCUT AND REMOVE EXIST CURB, GUTTER AND SIDEWALK
- 9 INSTALL 24" TYPE "T" MOUNTABLE CURB AND GUTTER PER DETAIL 6/C-400
- 10 INSTALL 24" TYPE "T" MOUNTABLE REVERSE PAN CURB AND GUTTER PER DETAIL 7/C-400
- 11 INSTALL DRIVE APPROACH PER LAYTON CITY STANDARD DRAWING ST-ST-06
- 12 INSTALL "NO PARKING ANY TIME" SIGN PER DETAIL 8/C-400
- 13 10' WIDE ASPHALT UTAH POWER AND LIGHT CORRIDOR TRAIL WITH 20' EASEMENT PER LAYTON CITY STANDARDS AND SPECIFICATIONS. TO BE OWNED BY LAYTON CITY. SEE DETAIL 9/C-400
- 14 INSTALL STOP SIGN PER MUTCD STANDARDS AND SPECIFICATIONS
- 15 10' WIDE ASPHALT TRAIL PER LAYTON CITY STANDARDS AND SPECIFICATIONS OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. SEE DETAIL 9/C-400
- 16 INSTALL 6" PRIVACY FENCE
- 17 INSTALL STREET LIGHT SL-04 PER LAYTON CITY STANDARD DRAWING ST-LT-06. TO BE INSTALLED BY LAYTON CITY'S CONTRACTOR.
- 18 INSTALL FIRE HYDRANT AND VALVE COMPLETE PER LAYTON CITY STANDARD DRAWING ST-WL-16
- 19 INSTALL DECORATIVE PICKET FENCE PER OWNER
- 20 INSTALL "STOP HERE FOR PEDESTRIANS" TRAIL CROSSING SIGN PER MUTCD STANDARDS AND SPECIFICATIONS
- 21 INSTALL "LOOK BEFORE CROSSING" SIGN PER MUTCD STANDARDS AND SPECIFICATIONS
- 22 FIRE ACCESS LANE, PAINT BACK OF CURB RED



ENSIGN
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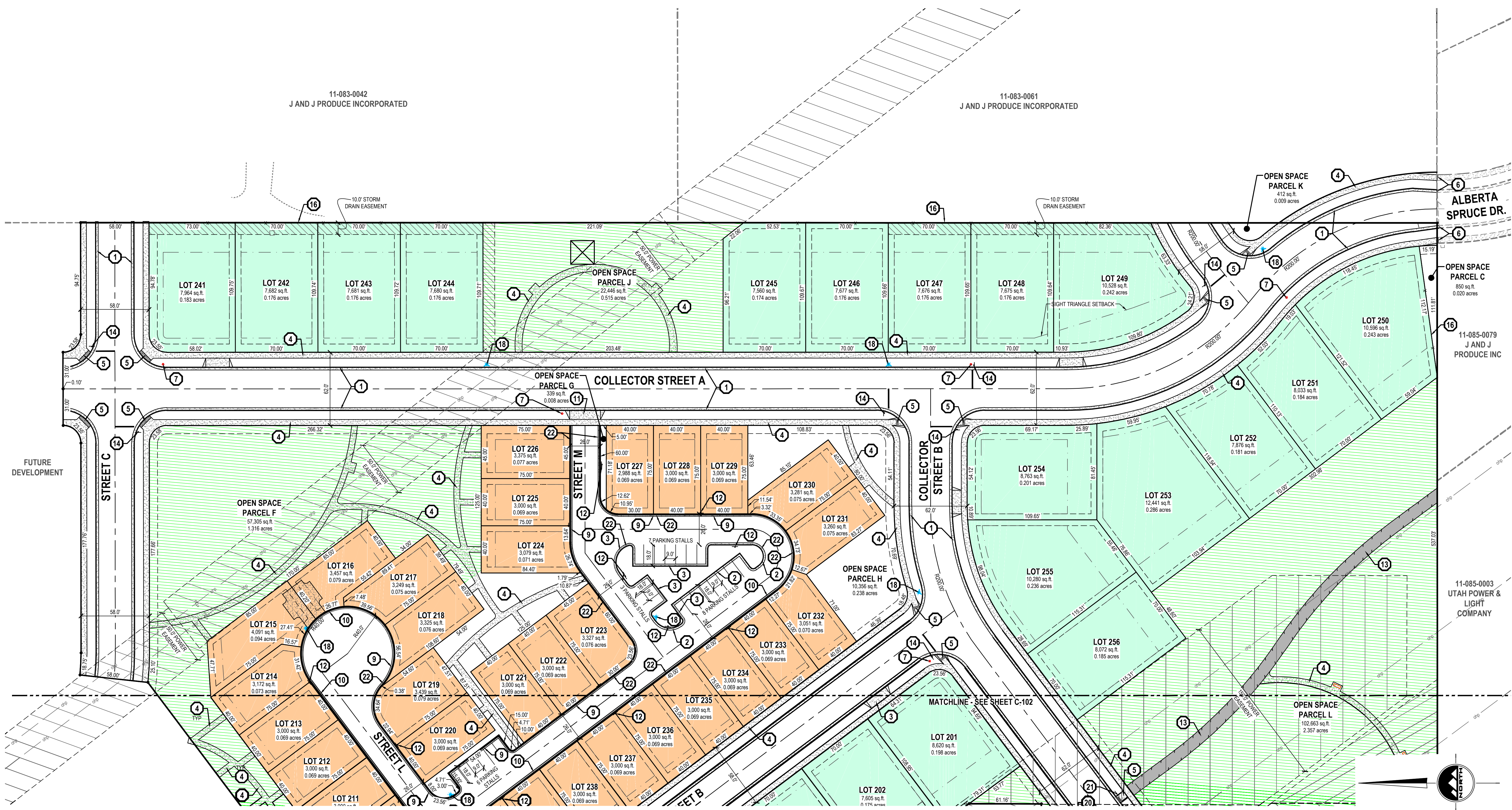
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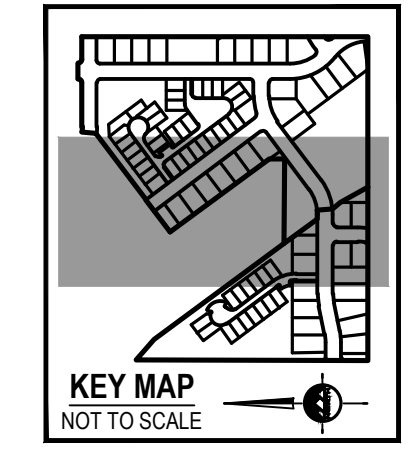
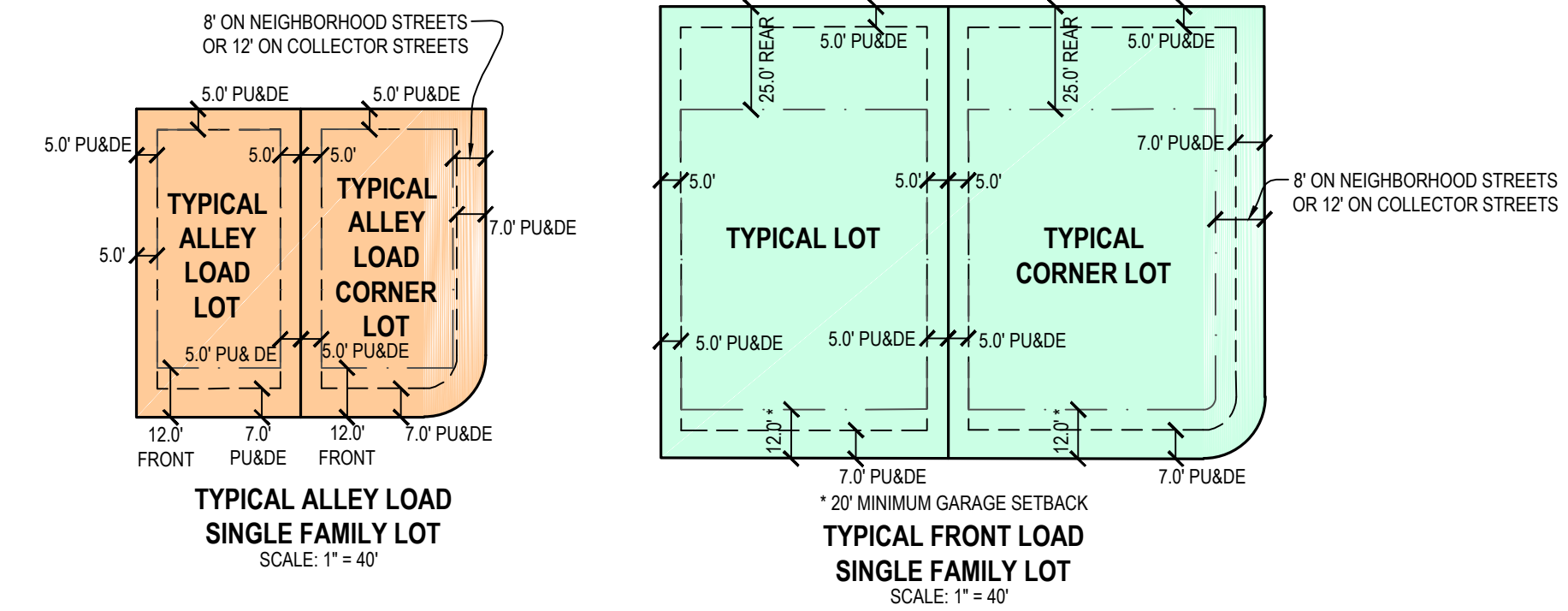
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PHONE: 307-277-0527



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NORTHWEST CORNER OF SECTION 30,
TOWNSHIP 4 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4303.36'

- KEY NOTES**
- INSTALL 30" CURB AND GUTTER PER LAYTON CITY STANDARD DRAWING ST-ST-09
 - INSTALL 24" COLLECTION CURB AND GUTTER PER DETAIL 3/C-400
 - INSTALL 24" REVERSE PAN CURB AND GUTTER PER DETAIL 4/C-400
 - INSTALL 4" THICK SIDEWALK PER LAYTON CITY STANDARD DRAWING ST-ST-10. WIDTH PER PLAN
 - INSTALL HANDICAP ACCESSIBLE RAMP W/ DETECTABLE SURFACE PER LAYTON CITY STANDARD DRAWING ST-ST-11B AND ST-ST-12
 - MATCH EXISTING IMPROVEMENTS
 - INSTALL STREET LIGHT SL-02 PER LAYTON CITY STANDARD DRAWING ST-L-02. TO BE INSTALLED BY LAYTON CITY'S CONTRACTOR
 - SAWCUT AND REMOVE EXIST CURB, GUTTER AND SIDEWALK
 - INSTALL 24" TYPE "F" MOUNTABLE CURB AND GUTTER PER DETAIL 6/C-400
 - INSTALL 24" TYPE "F" MOUNTABLE REVERSE PAN CURB AND GUTTER PER DETAIL 7/C-400
 - INSTALL DRIVE APPROACH PER LAYTON CITY STANDARD DRAWING ST-ST-06
 - INSTALL "NO PARKING ANY TIME" SIGN PER DETAIL 8/C-400
 - 10' WIDE ASPHALT UTAH POWER AND LIGHT CORRIDOR TRAIL WITH 20' EASEMENT PER LAYTON CITY STANDARDS AND SPECIFICATIONS. TO BE OWNED BY LAYTON CITY. SEE DETAIL 9/C-400
 - MATCH EXISTING IMPROVEMENTS
 - INSTALL STREET LIGHT SL-02 PER LAYTON CITY STANDARD DRAWING ST-L-02. TO BE INSTALLED BY LAYTON CITY'S CONTRACTOR
 - SAWCUT AND REMOVE EXIST CURB, GUTTER AND SIDEWALK
 - INSTALL 6" PRIVACY FENCE
 - INSTALL STREET LIGHT SL-04 PER LAYTON CITY STANDARD DRAWING ST-L-06. TO BE INSTALLED BY LAYTON CITY'S CONTRACTOR
 - INSTALL FIRE HYDRANT AND VALVE COMPLETE PER LAYTON CITY STANDARD DRAWING ST-WL-16
 - INSTALL DECORATIVE PICKET FENCE PER OWNER
 - INSTALL "STOP HERE FOR PEDESTRIANS" TRAIL CROSSING SIGN PER MUTCD STANDARDS AND SPECIFICATIONS
 - INSTALL "LOOK BEFORE CROSSING" SIGN PER MUTCD STANDARDS AND SPECIFICATIONS
 - FIRE ACCESS LANE. PAINT BACK OF CURB RED



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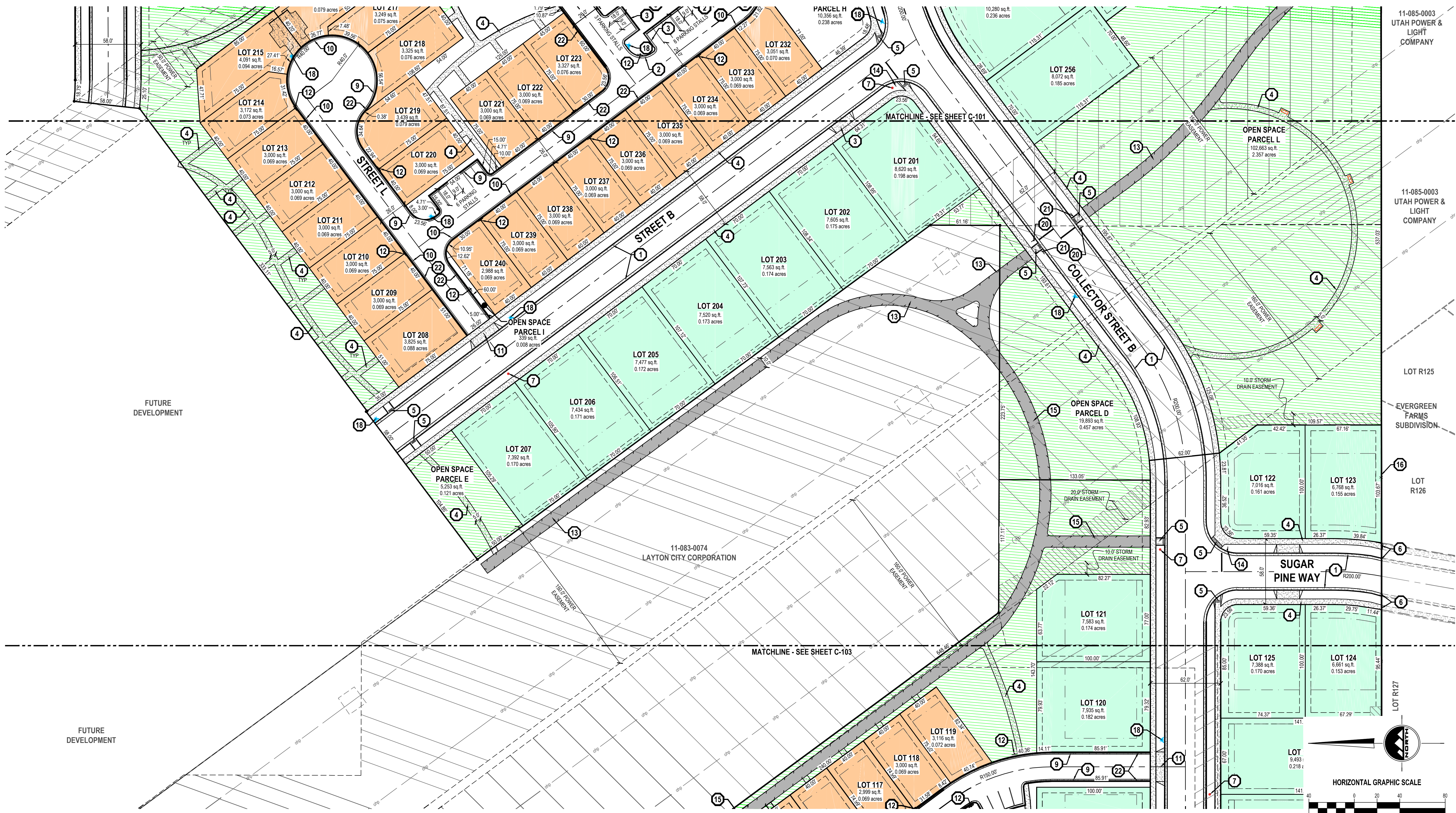
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LEGEND

	UNNAMED ROAD SIGHT TRIANGLE
	COLLECTOR STREET A SIGHT TRIANGLE
	STREET B SIGHT TRIANGLE
	SUGAR PINE WAY SIGHT TRIANGLE

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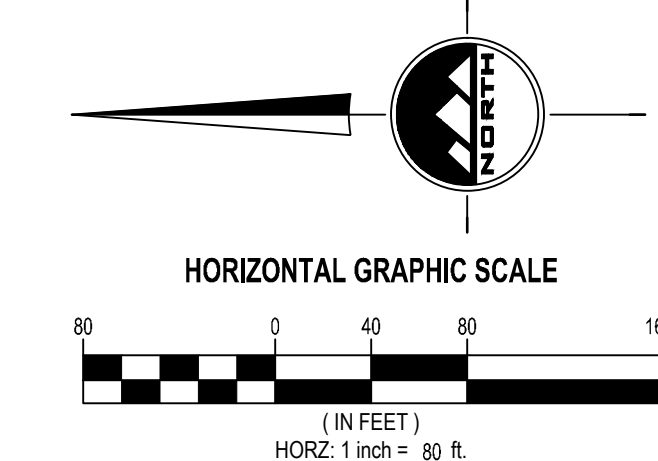
STEVENSON PRUD
PRELIMINARY PLAT-NOT TO BE RECORDED
GENTILE AND 2200 WEST STREET
LAYTON, UTAH



NOTES

1. INTERSECTION DECISION POINT LOCATED 14.5' BEHIND EDGE OF TRAVELED WAY (LIP OF CURB) PER AASHTO STANDARDS

DESIGN CONSIDERATIONS	
DESCRIPTION	QUANTITY
DESIGN SPEED	30
INTERSECTION SIGHT - CASE B1	335



SITE TRIANGLE AND POWER PLAN

PROJECT NUMBER 11032	PRINT DATE 4/16/26
PROJECT MANAGER C.PRESTON	DESIGNED BY M.ELMER

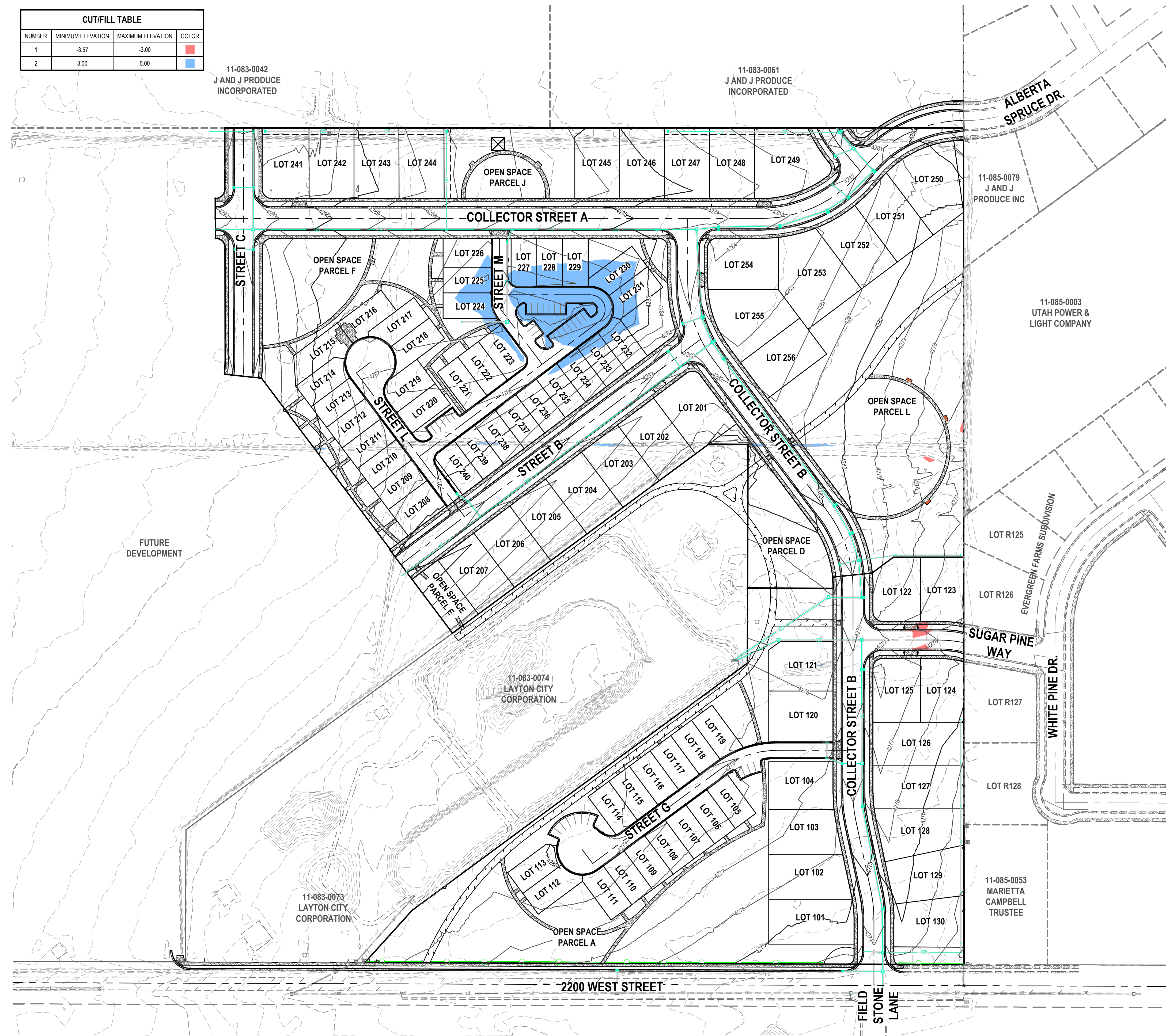
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CUT/FILL TABLE			
NUMBER	MINIMUM ELEVATION	MAXIMUM ELEVATION	COLOR
1	-3.57	-3.00	Red
2	3.00	5.00	Blue



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 3. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
 4. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 5. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 6. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 7. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
 8. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 9. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 10. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
 11. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 12. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
 13. ALL STORM DRAIN LINES OUTSIDE OF THE RIGHT OF WAY (WITHIN LOTS AND TOWNHOME AREAS) TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
 14. THE DRAINAGE STUDY AND CALCULATIONS WILL BE PROVIDED AT PRELIMINARY SUBMITTAL.

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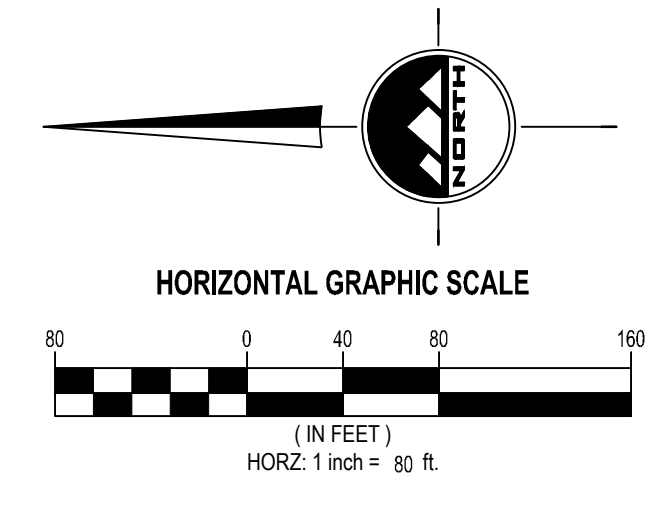


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PRELIMINARY OVERALL GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 11032
PRINT DATE: 4/16/26
PROJECT MANAGER: C.PRESTON
DESIGNED BY: M.ELMER

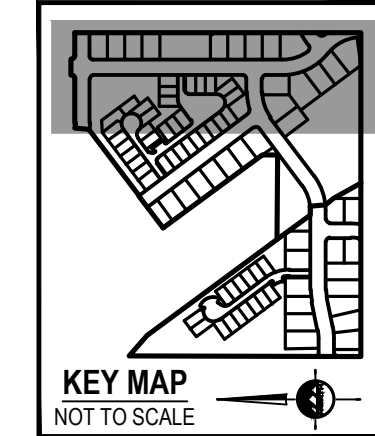
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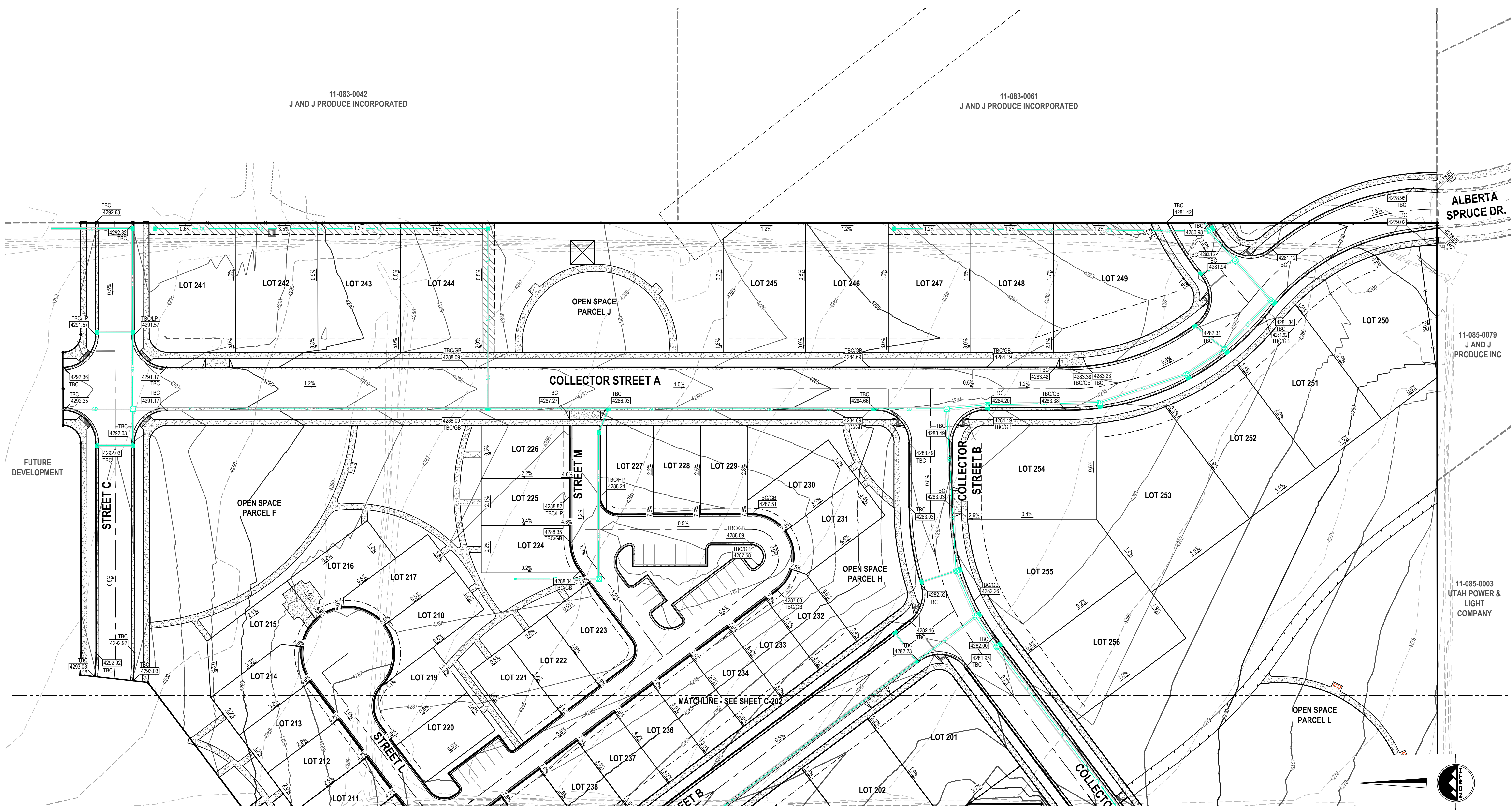
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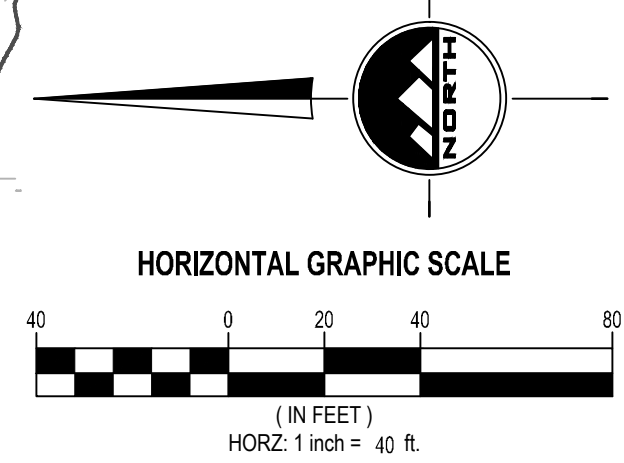


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PRELIMINARY GRADING PLAN

PROJECT NUMBER: 11032
PRINT DATE: 4/16/26
PROJECT MANAGER: C. PRESTON
DESIGNED BY: M. ELMER

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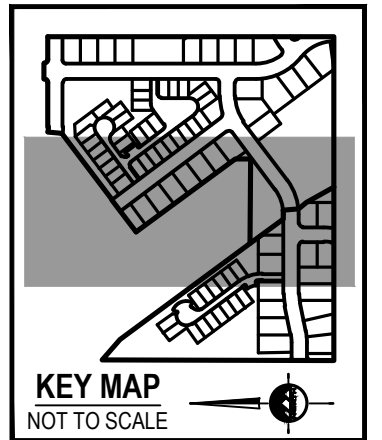


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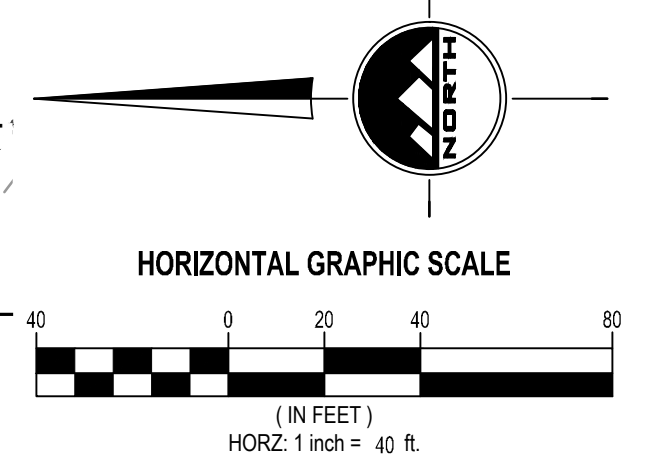
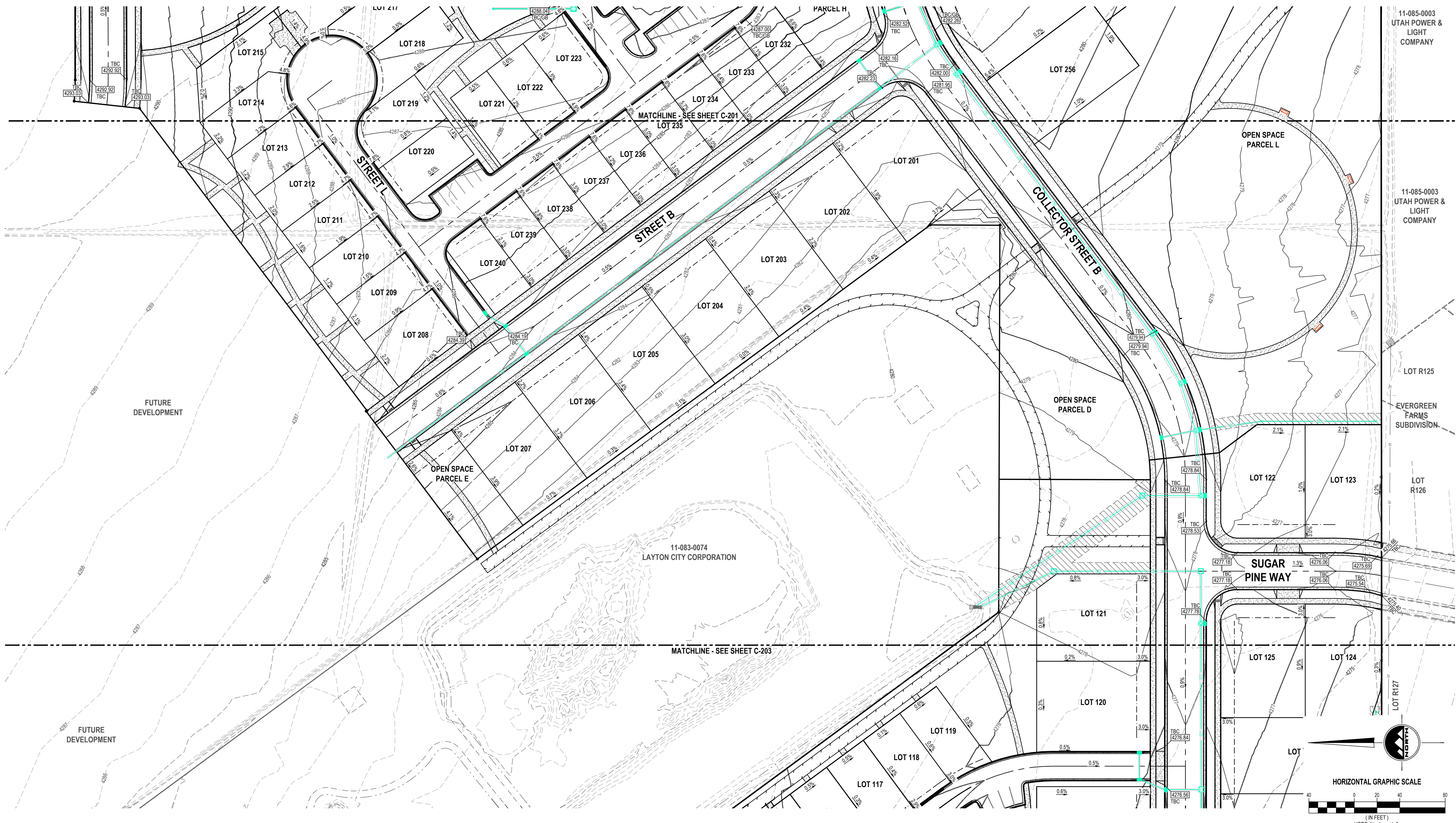


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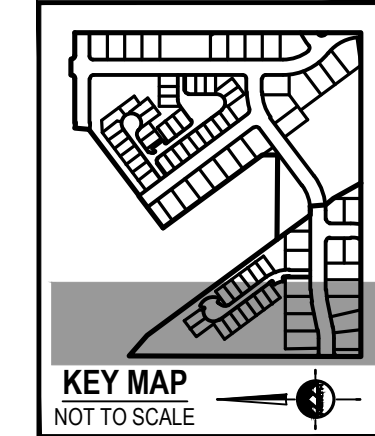
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PROJECT MANAGER C.PRESTON DESIGNED BY M.ELMER

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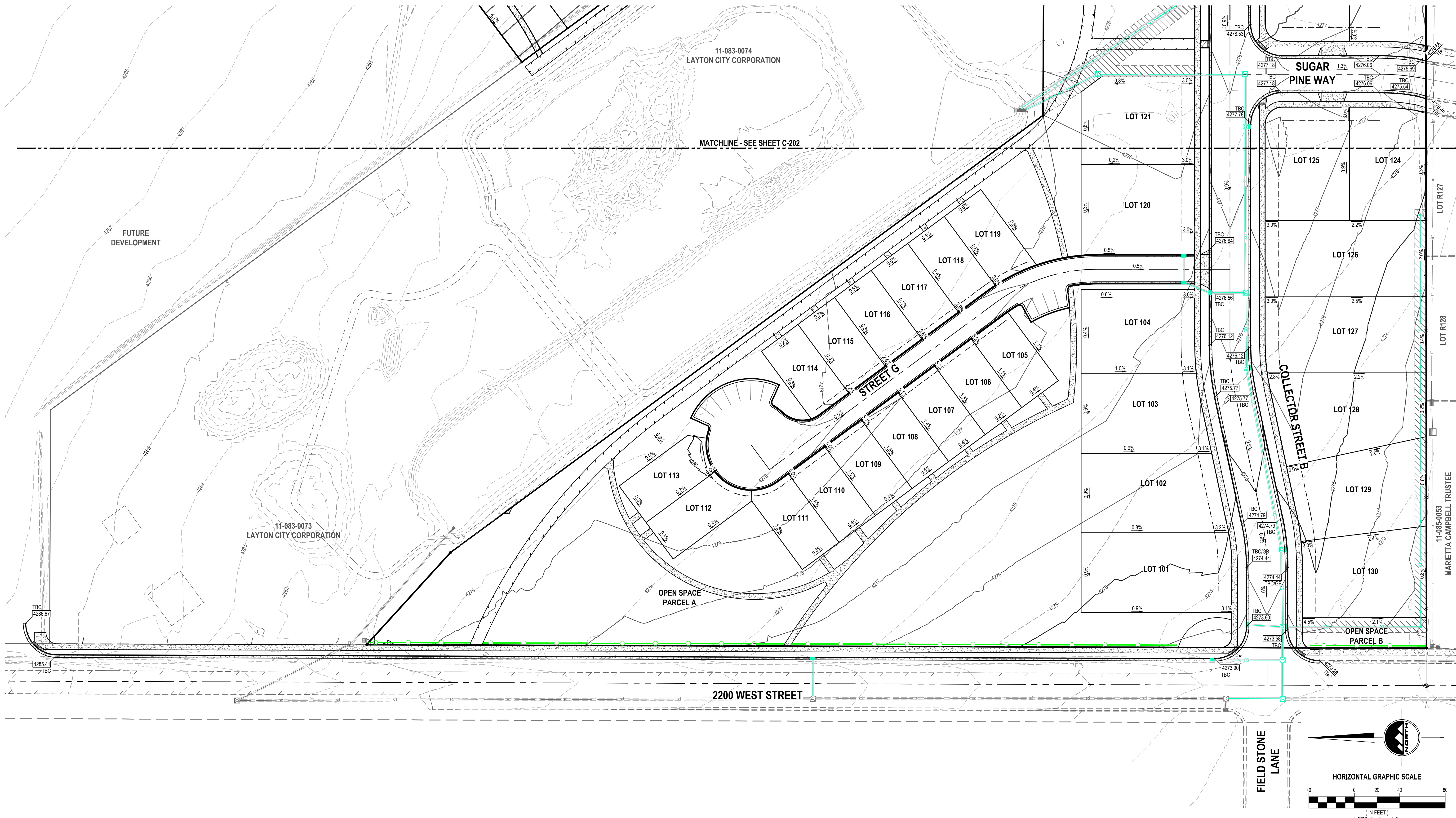
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 GENTILE AND 2200 WEST STREET
 LAYTON, UTAH

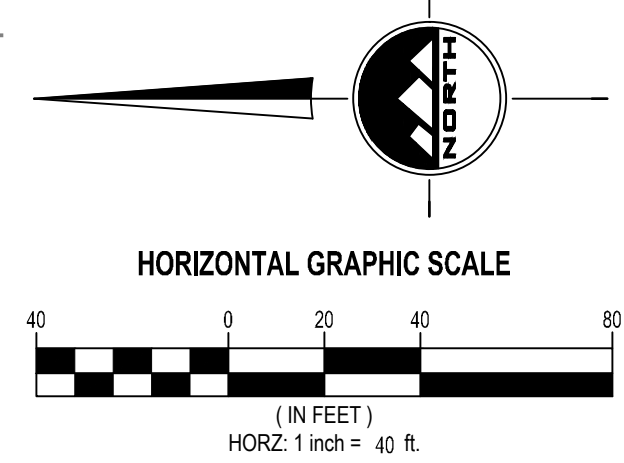


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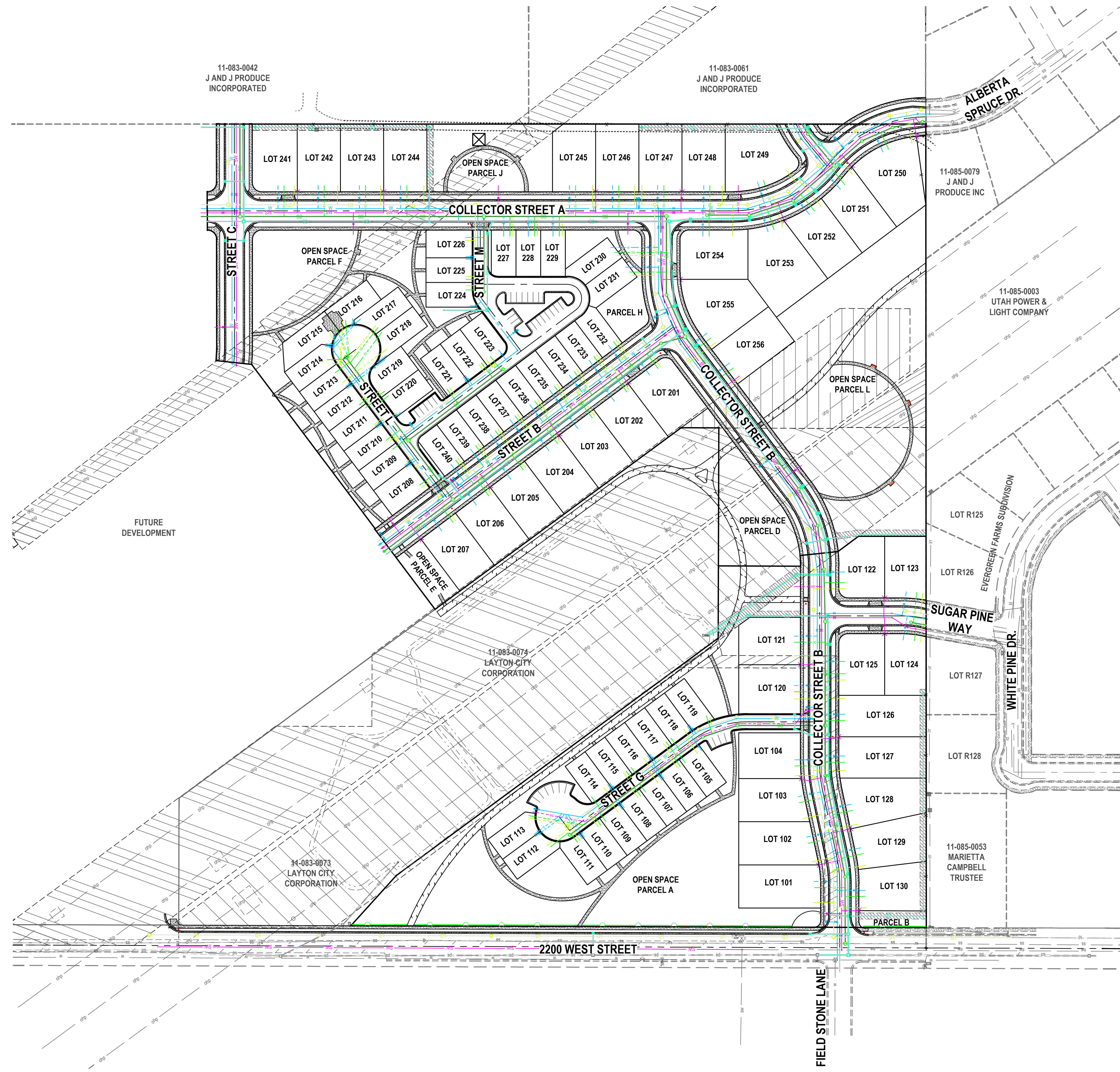
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 3. FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY BUILDINGS. ALL HYDRANTS SHALL BE PLACED WITH THE 4'-1/2" CONNECTION FACING THE POINT OF ACCESS FOR FIRE DEPARTMENT APPARATUS.
 4. PRIOR TO BEGINNING CONSTRUCTION OF ANY BUILDINGS, A FIRE FLOW TEST OF THE NEW HYDRANTS SHALL BE CONDUCTED TO VERIFY THE ACTUAL FIRE FLOW AVAILABLE FOR THIS PROJECT. THE FIRE PREVENTION DIVISION OF THIS DEPARTMENT SHALL WITNESS THIS TEST AND SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE TEST.
 5. IF A PRIVATE DEVELOPMENT EXISTS, THE HOME OWNERS ASSOCIATION SHALL HAVE THE FIRE HYDRANTS ANNUALLY MAINTAINED AND A 5-YEAR FLOW TEST SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 24 AND 25. ALL RECORDS SHALL BE PROVIDED AND SUBMITTED THROUGH THE COMPLIANCE ENGINE FOUND AT <http://www.thecomplianceengine.com>.
 6. ALL FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM ALL-WEATHER, DRIVABLE AND MAINTAINABLE SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS. THERE SHALL BE A MINIMUM CLEAR AND UNOBSTRUCTED WIDTH OF NOT LESS THAN 26 FEET AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES.
 7. UTILITIES OUTSIDE THE PUBLIC RIGHT-OF-WAY AND UTILITIES SERVING THE RESIDENTS OFF THE PRIVATE DRIVES/STREETS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 8. CURB STOPS PER LAYTON CITY STANDARD DRAWING ST-WL-10 WILL BE REQUIRED ON EACH LATERAL CONNECTION FOR THE TOWNHOME UNITS AND THE REAR LOAD SINGLE FAMILY LOTS.
 9. INDIVIDUAL METERS FOR TOWNHOMES AND REAR LOAD SINGLE FAMILY LOTS WILL NOT BE ALLOWED. MASTER METERS WILL BE REQUIRED AND EACH MAIN LINE CONNECTION AT A PUBLIC STREET.
 10. THE BACKFLOW ASSEMBLY AND VAULT ARE TO BE OWNED AND MAINTAINED BY THE HOA. THE LEVEL OF PROTECTION OF THE BACKFLOW ASSEMBLY IS DETERMINED BY THE TYPE OF DEVELOPMENT BEING PROPOSED AND WILL NEED TO BE COORDINATED THROUGH THE LAYTON CITY BACKFLOW PREVENTION SPECIALIST CREED BUHLER (801) 336-3720.
 11. A 3 FOOT CLEARANCE SHALL BE PROVIDED AROUND ALL FIRE HYDRANTS.
 12. DOUBLE CHECK VALVES ARE REQUIRED AFTER CULINARY WATER METERS ON ALL PRIVATE LOOPED SERVICE LINES.

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LAYTON, UTAH

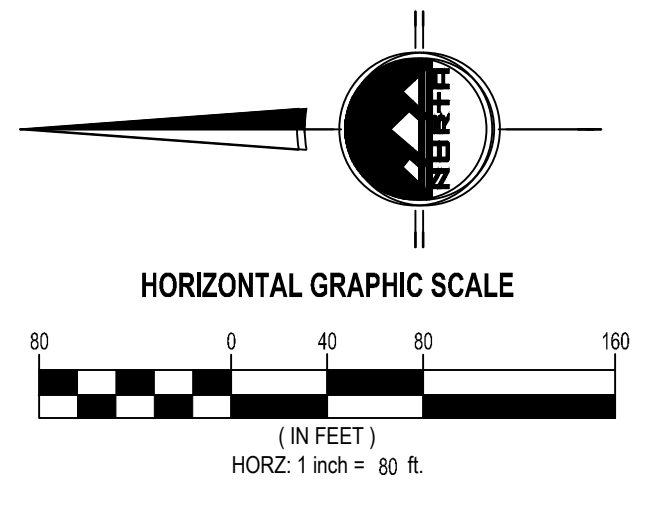


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PRELIMINARY OVERALL UTILITY PLAN

PROJECT NUMBER 11032 PRINT DATE 4/16/26
PROJECT MANAGER C.PRESTON DESIGNED BY M.ELMER

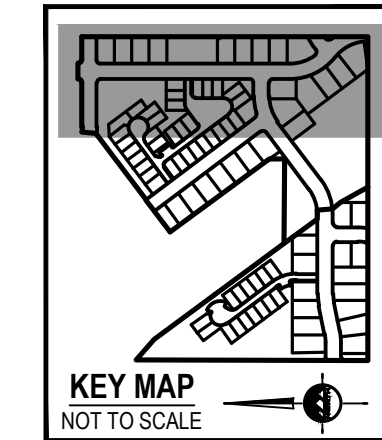
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- KEY NOTES**
- INSTALL FIRE HYDRANT AND VALVE COMPLETE PER LAYTON CITY STANDARD DRAWING ST-WL-18
 - INSTALL 4" SDR-35 SANITARY SEWER SERVICE @ 1.0% MIN SLOPE. INSTALLATION AND TRENCHING PER LAYTON CITY STANDARD DRAWING ST-SS-05
 - INSTALL 3/4" HDPE CTS-OD SDR-9 POLY CULINARY WATER SERVICE LATERAL WITH 5/8" METER PER LAYTON CITY STANDARD DRAWING ST-WL-01.
 - INSTALL 8" C900 DR-14 PVC CULINARY WATERLINE PER LAYTON CITY STANDARDS AND SPECIFICATIONS
 - INSTALL STREET LIGHT SL-02 PER LAYTON CITY STANDARD DRAWING ST-LT-02. TO BE INSTALLED BY LAYTON CITY CONTRACTOR
 - INSTALL 8" C-900 DR-14 PVC SECONDARY WATER LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - INSTALL 1" SINGLE SECONDARY WATER SERVICE LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - INSTALL 1-1/2" DUAL TURNOUT SECONDARY WATER SERVICE LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - CAP & BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION
 - CAP & BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION
 - FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE
 - FIELD LOCATE CONNECT TO EXISTING SECONDARY WATERLINE
 - INSTALL 2" SECONDARY WATER MASTER METER AND VAULT PER LAYTON CITY STANDARD DRAWING ST-SW-03
 - INSTALL 8" GATE VALVE PER LAYTON CITY STANDARDS AND SPECIFICATIONS.
 - INSTALL FLUSHING HYDRANT PER LAYTON CITY STANDARD DRAWING ST-WL-19
 - PIPE IRRIGATION DITCH ALONG 2200 WEST STREET
 - EXIST FIRE HYDRANT
 - INSTALL 4" PVC LAND DRAIN SERVICE @ 1.0% MIN SLOPE. INSTALLATION AND TRENCHING PER LAYTON CITY STANDARDS
 - EXISTING UTILITY POLE AND OVERHEAD POWER TO BE REMOVED AND BURIED, BY OTHERS
 - INSTALL 10" C-900 DR-14 PVC SECONDARY WATER LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - INSTALL 10" GATE VALVE PER LAYTON CITY STANDARDS AND SPECIFICATIONS
 - INSTALL CULINARY WATER QUALITY SAMPLING STATION PER LAYTON CITY STANDARDS AND SPECIFICATIONS



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Phone: 801.255.0529

TOOELE
Phone: 435.843.3590

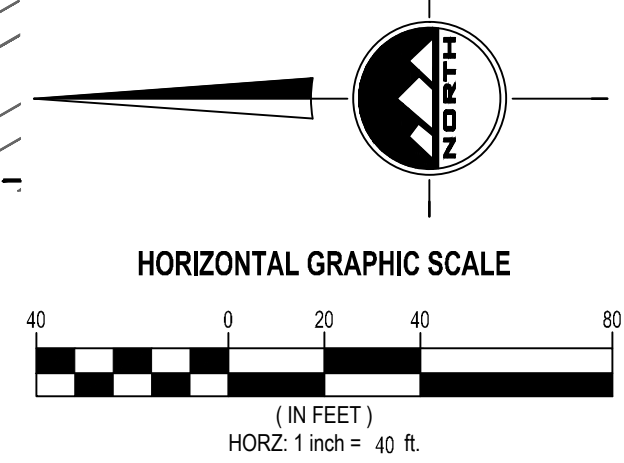
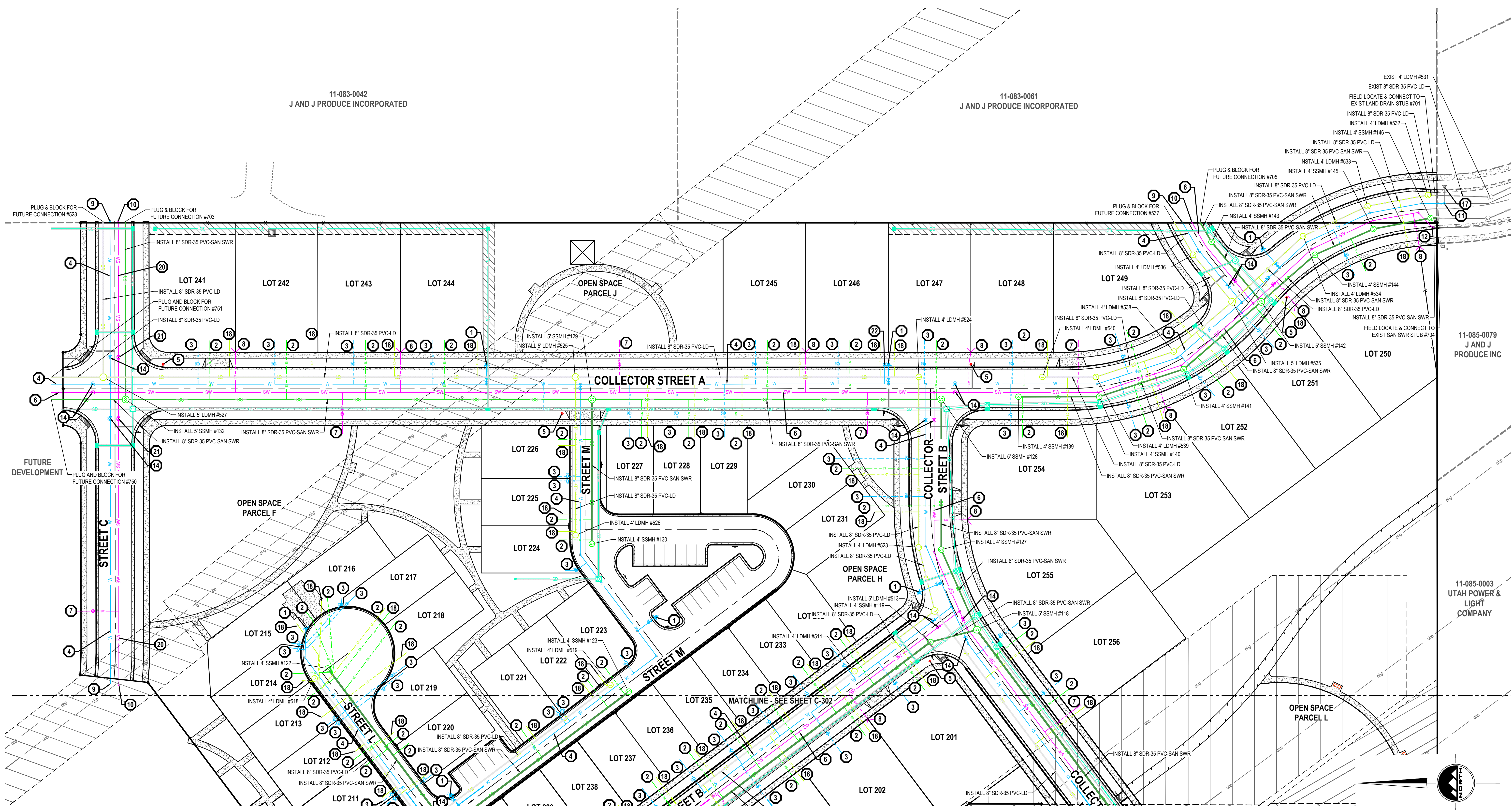
CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
DESTINATION HOMES
9350 SOUTH 150 EAST SUITE 800
SANDY, UTAH 84070

CONTACT:
SHAUN ATHEY
PHONE: 307-277-0527



STEVENSON PRUD PHASE 1-2
PRELIMINARY PLAT - NOT TO BE RECORDED
GENTILE AND 2200 WEST STREET
LAYTON, UTAH



NO.	DATE	REVISION FOR REVIEW

PRELIMINARY UTILITY PLAN

PROJECT NUMBER: 11032
PRINT DATE: 4/16/26

PROJECT MANAGER: C.PRESTON
DESIGNED BY: M.ELMER

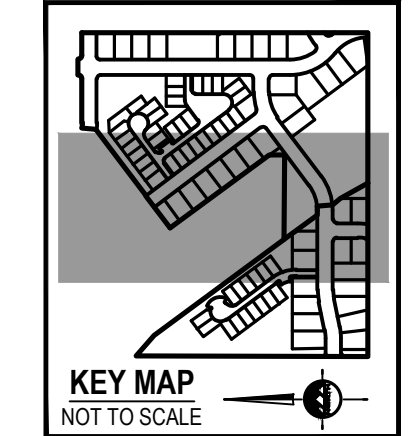
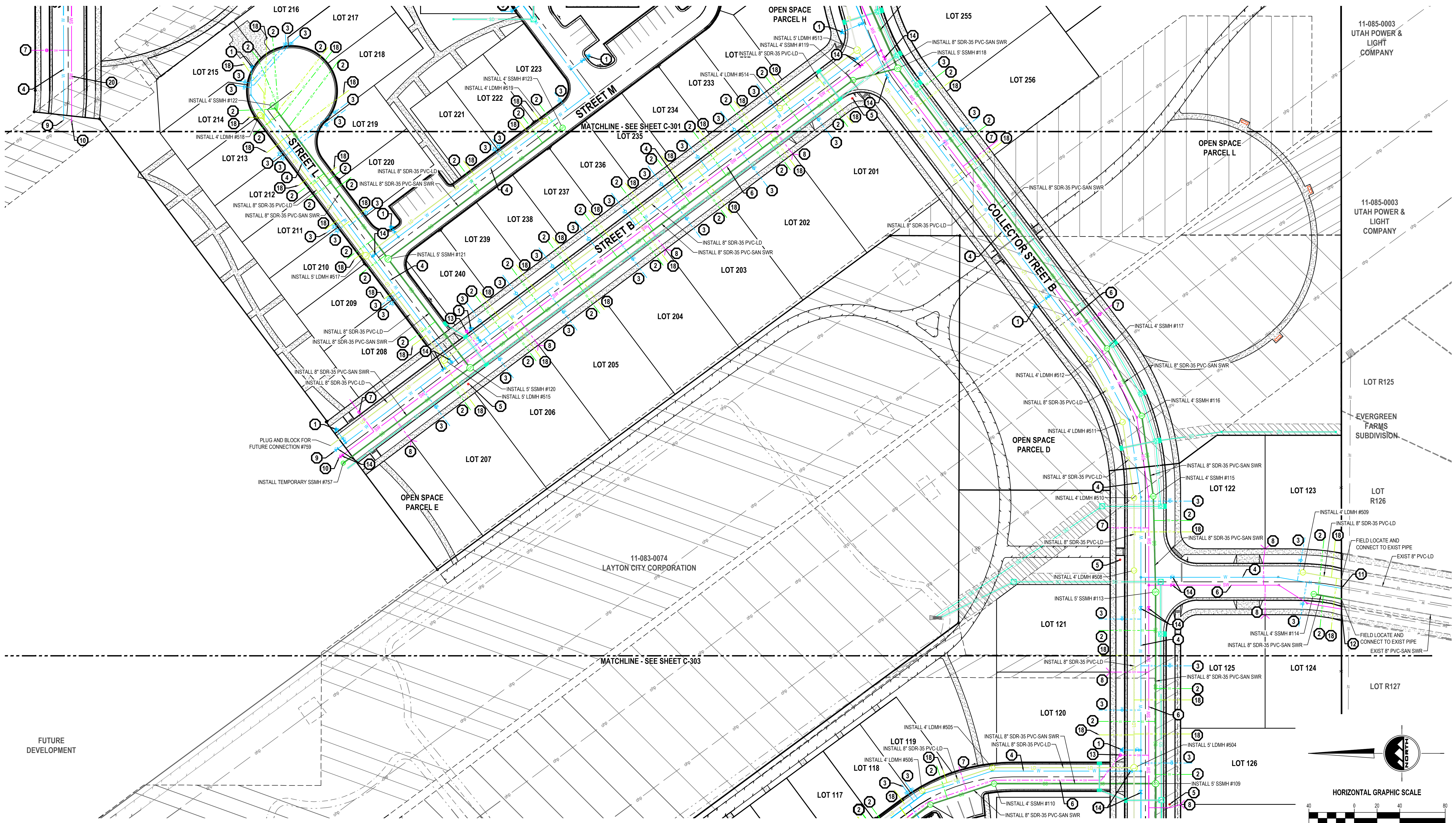
C-301

811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
NORTHWEST CORNER OF SECTION 30,
TOWNSHIP 4 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4303.36'

- KEY NOTES**
- INSTALL FIRE HYDRANT AND VALVE COMPLETE PER LAYTON CITY STANDARD DRAWING ST-WL-18
 - INSTALL 4" SDR-35 SANITARY SEWER SERVICE @ 1.0% MIN SLOPE. INSTALLATION AND TRENCHING PER LAYTON CITY STANDARD DRAWING ST-SS-05
 - INSTALL 3/4" HDPE CTS-OD SDR-9 POLY CULINARY WATER SERVICE LATERAL WITH 5/8" METER PER LAYTON CITY STANDARD DRAWING ST-WL-01.
 - INSTALL 8" C900 DR-14 PVC CULINARY WATERLINE PER LAYTON CITY STANDARDS AND SPECIFICATIONS
 - INSTALL STREET LIGHT SL-02 PER LAYTON CITY STANDARD DRAWING ST-LT-02. TO BE INSTALLED BY LAYTON CITY CONTRACTOR
 - INSTALL 8" C-900 DR-14 PVC SECONDARY WATER LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - INSTALL 1" SINGLE SECONDARY WATER SERVICE LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - INSTALL 1-1/2" DUAL TURNOUT SECONDARY WATER SERVICE LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - CAP & BLOCK CULINARY WATERLINE FOR FUTURE CONNECTION
 - CAP & BLOCK SECONDARY WATERLINE FOR FUTURE CONNECTION
 - FIELD LOCATE AND CONNECT TO EXISTING CULINARY WATERLINE
 - FIELD LOCATE AND CONNECT TO EXISTING SECONDARY WATERLINE
 - INSTALL 2" SECONDARY WATER MASTER METER AND VAULT PER LAYTON CITY STANDARD DRAWING ST-SW-03
 - INSTALL 8" GATE VALVE PER LAYTON CITY STANDARDS AND SPECIFICATIONS.
 - INSTALL FLUSHING HYDRANT PER LAYTON CITY STANDARD DRAWING ST-WL-19
 - PIPE IRRIGATION DITCH ALONG 2200 WEST STREET
 - EXIST FIRE HYDRANT
 - INSTALL 4" PVC LAND DRAIN SERVICE @ 1.0% MIN SLOPE. INSTALLATION AND TRENCHING PER LAYTON CITY STANDARDS
 - EXISTING UTILITY POLE AND OVERHEAD POWER TO BE REMOVED AND BURIED, BY OTHERS
 - INSTALL 10" C-900 DR-14 PVC SECONDARY WATER LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - INSTALL 10" GATE VALVE PER LAYTON CITY STANDARDS AND SPECIFICATIONS
 - INSTALL CULINARY WATER QUALITY SAMPLING STATION PER LAYTON CITY STANDARDS AND SPECIFICATIONS



ENSIGN
THE STANDARD IN ENGINEERING

LAYTON
919 North 400 West
Layton, UT 84041
Phone: 801.547.1100

SANDY
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FOR: DESTINATION HOMES
9350 SOUTH 150 EAST SUITE 800
SANDY, UTAH 84070

CONTACT:
SHAUN ATHHEY
PHONE: 307-277-0527

STEVENSON PRUD PHASE 1-2
PRELIMINARY PLAT - NOT TO BE RECORDED
GENTILE AND 2200 WEST STREET
LAYTON, UTAH



NO. DATE REVISION FOR REVIEW

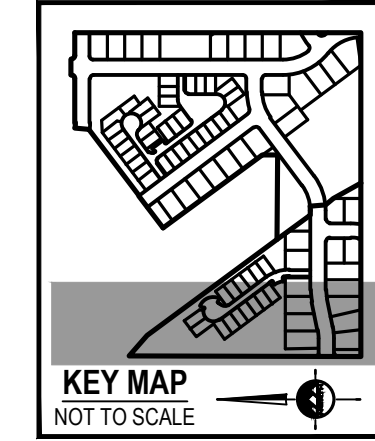
PRELIMINARY UTILITY PLAN

PROJECT NUMBER 11032 PRINT DATE 4/16/26
PROJECT MANAGER C.PRESTON DESIGNED BY M.ELMER

C-302

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
NORTHWEST CORNER OF SECTION 30,
TOWNSHIP 4 NORTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4303.36'



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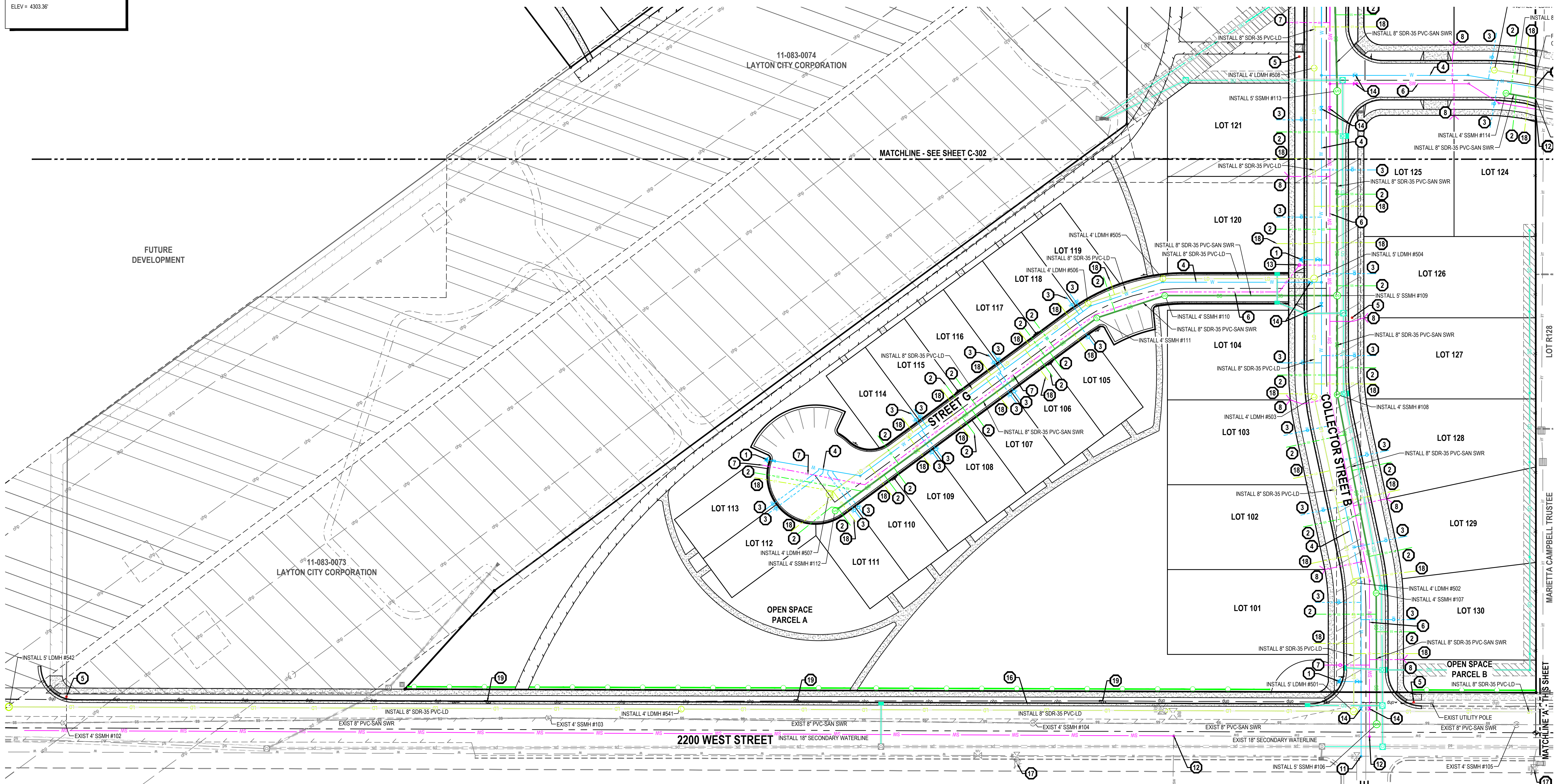
CEDAR CITY
Phone: 435.865.1453

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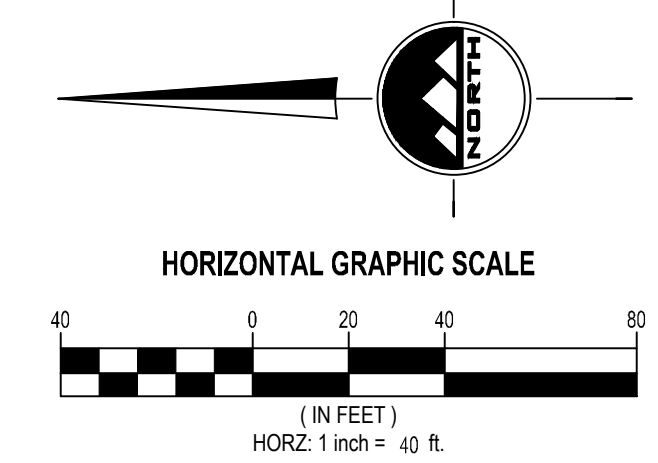
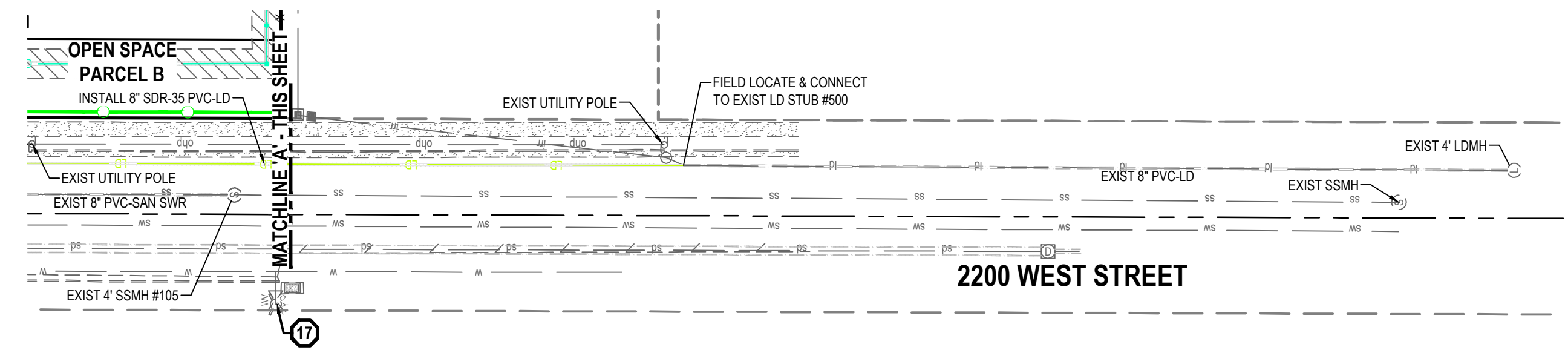
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FOR:
DESTINATION HOMES
9350 SOUTH 150 EAST SUITE 800
SANDY, UTAH 84070

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PHONE: 307-277-0527



- KEY NOTES**
- 1 INSTALL FIRE HYDRANT AND VALVE COMPLETE PER LAYTON CITY STANDARD DRAWING ST-WL-18
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 - 15 INSTALL FLUSHING HYDRANT PER LAYTON CITY STANDARD DRAWING ST-WL-19
 - 16 PIPE IRRIGATION DITCH ALONG 2200 WEST STREET
 - 17 EXIST FIRE HYDRANT
 - 18 INSTALL 4" PVC LAND DRAIN SERVICE @ 1.0% MIN SLOPE. INSTALLATION AND TRENCHING PER LAYTON CITY STANDARDS
 - 19 EXISTING UTILITY POLE AND OVERHEAD POWER TO BE REMOVED AND BURIED BY OTHERS
 - 20 INSTALL 10" C-900 DR-14 PVC SECONDARY WATER LINE PER LAYTON CITY STANDARD DRAWING ST-SW-01
 - 21 INSTALL 10" GATE VALVE PER LAYTON CITY STANDARDS AND SPECIFICATIONS
 - 22 INSTALL CULINARY WATER QUALITY SAMPLING STATION PER LAYTON CITY STANDARDS AND SPECIFICATIONS



STEVENSON PRUD PHASE 1-2
PRELIMINARY PLAT - NOT TO BE RECORDED
GENTILE AND 2200 WEST STREET
LAYTON, UTAH

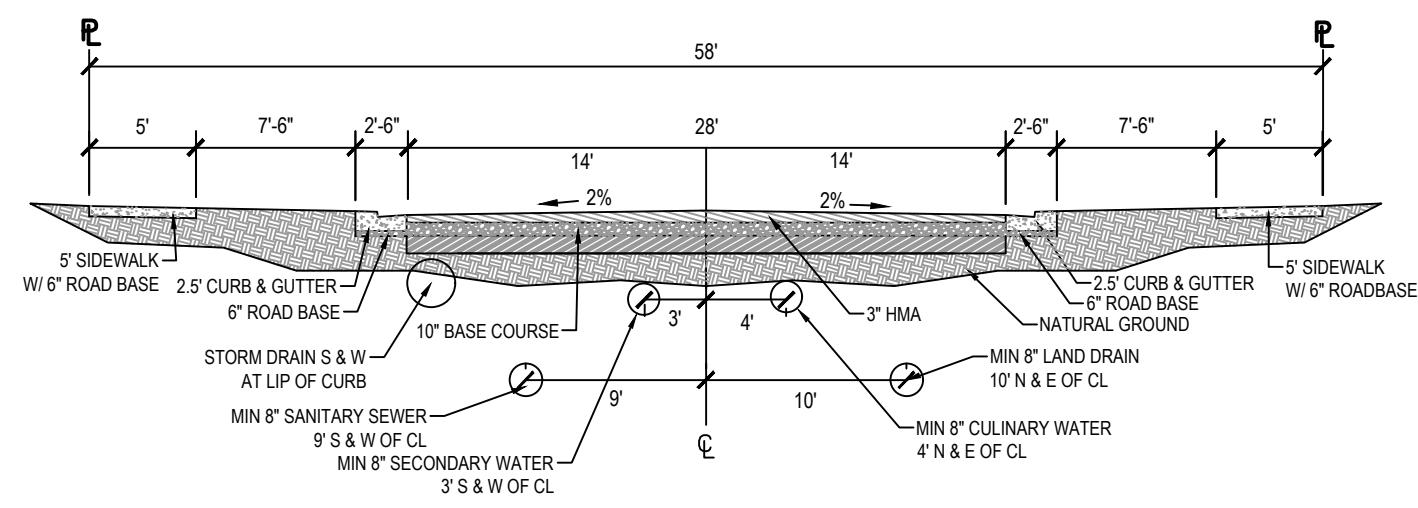


NO. DATE REVISION FOR REVIEW

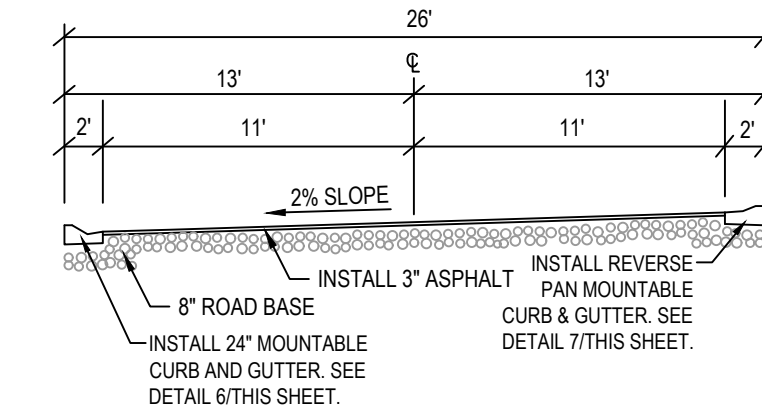
PRELIMINARY UTILITY PLAN

PROJECT NUMBER 11032 PRINT DATE 4/16/26
PROJECT MANAGER C.PRESTON DESIGNED BY M.ELMER

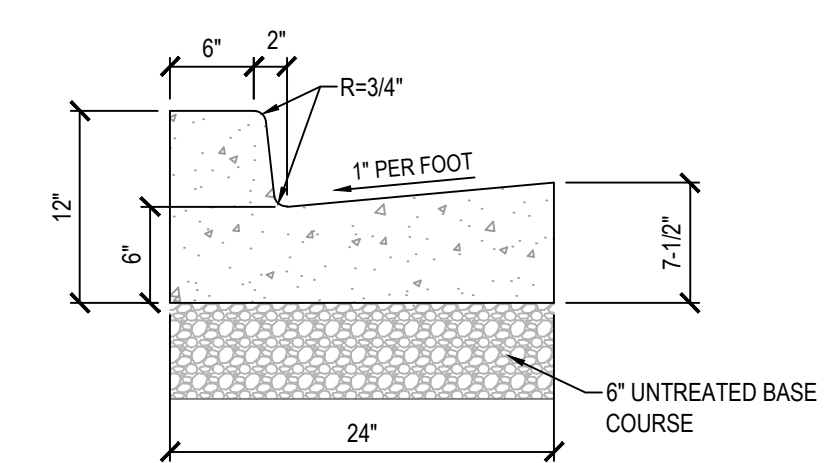
C-303



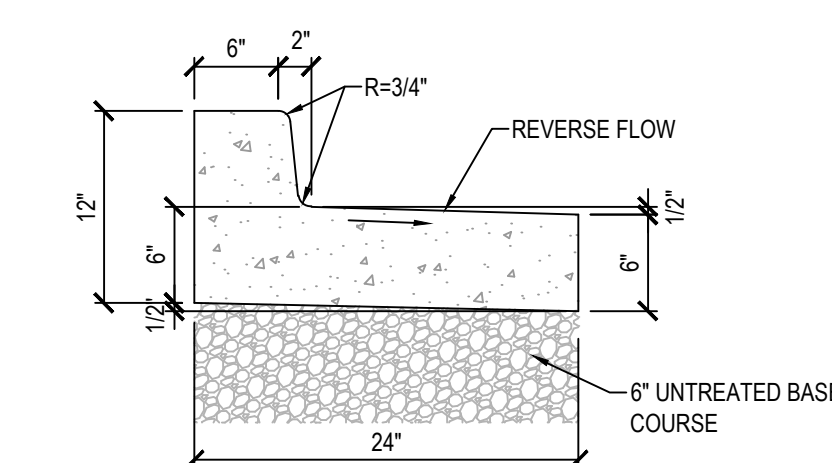
1 TYPICAL 58' ROAD CROSS SECTION SCALE: NONE



2 26' PRIVATE ALLEY CROSS SECTION SCALE: NONE



NOTE:
1. CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

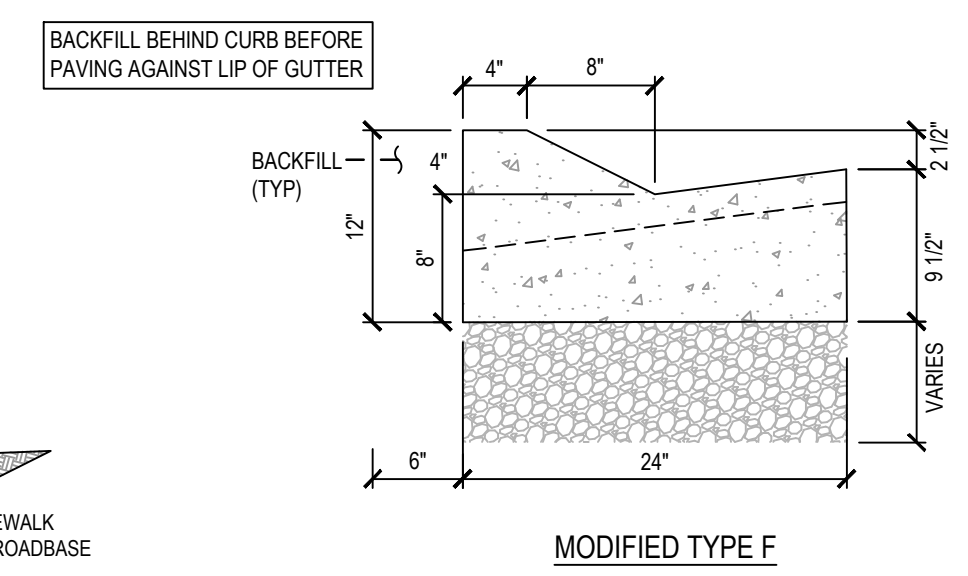


NOTE:
1. CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

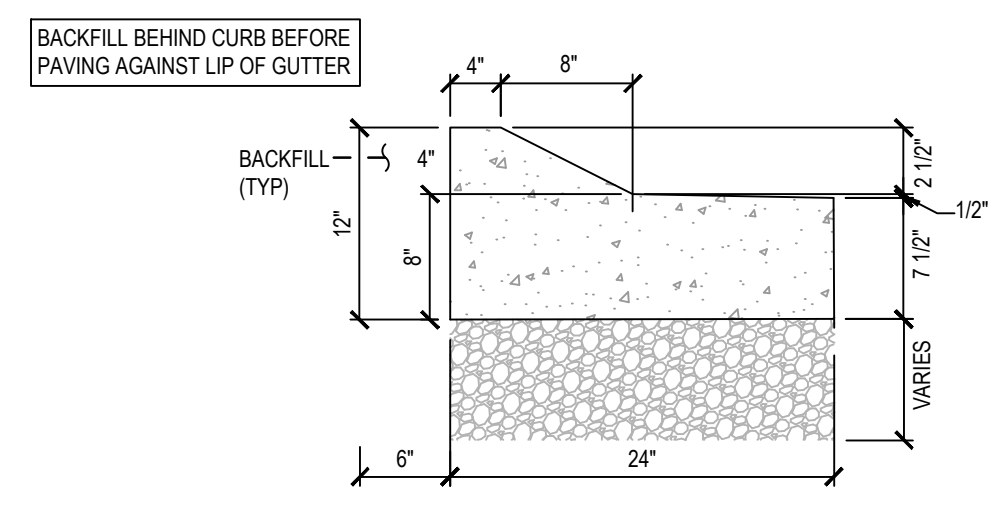
3 PRIVATE 24" COLLECTION CURB AND GUTTER SCALE: NONE

4 PRIVATE 24" REVERSE PAN CURB AND GUTTER SCALE: NONE

- GENERAL
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
 - Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS
 - Base Course: Untreated base course, APWA section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION
 - Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (±0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density. APWA Section 31 23 26.
 - Concrete Placement: APWA Section 03 30 10.
 - Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.
 - Install contraction joints vertical, 18-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.
 - Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.

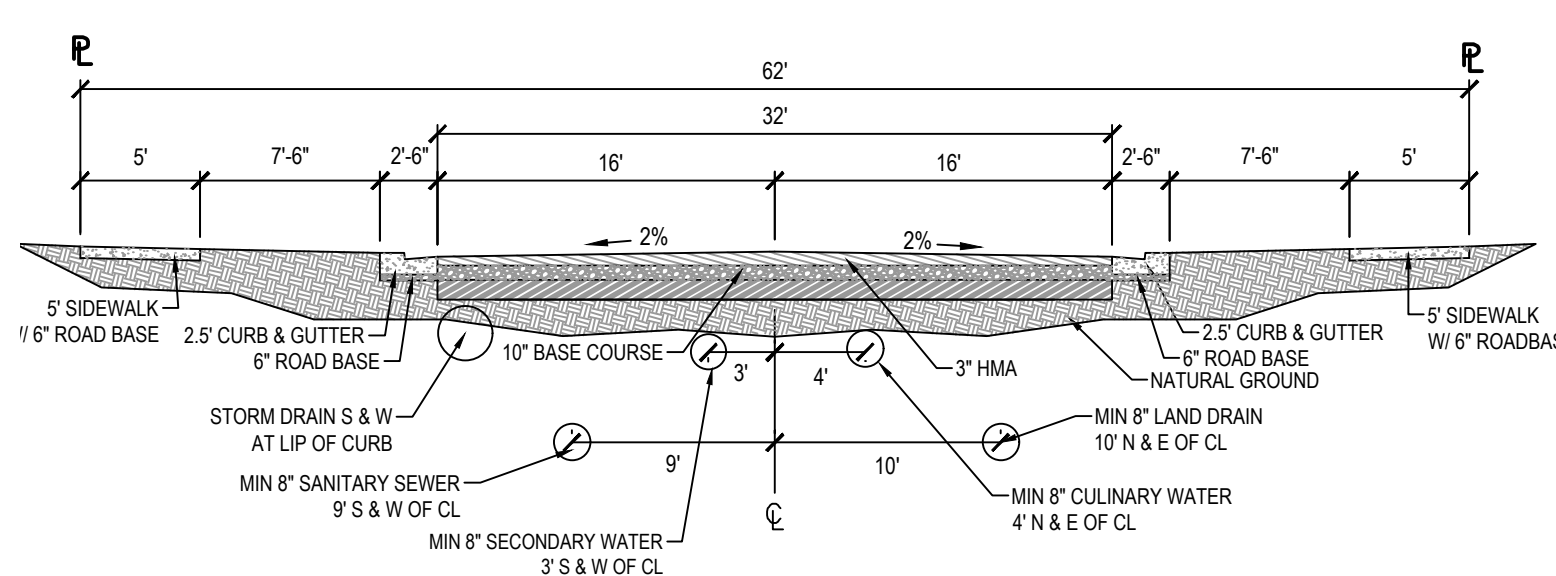


6 PRIVATE MODIFIED 24" TYPE 'F' CURB AND GUTTER SCALE: NONE



7 PRIVATE MODIFIED 24" REVERSE PAN TYPE 'F' CURB AND GUTTER SCALE: NONE

- GENERAL
 - Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.
 - Additional requirements are specified in APWA Section 32 16 13.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
 - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
 - Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- EXECUTION
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 - Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
 - Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



5 TYPICAL 62' ROAD CROSS SECTION SCALE: NONE

Provide "Fire Lane No Parking" Signs

Code Section
International Fire Code 2006 Edition

503.3 Marking. Where required by the fire code official, approved signs or other approved notices shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs or notices shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

Layton City Municipal Code

10.62.040. Fire lane designations; Authority; Prohibitions
(1) The chief of the fire department or representative thereof has the authority to designate the location of fire lanes. The fire chief, the chief of police and their respective departments are authorized to enforce the provisions of designated fire lanes.
(2) With the exception of subsection (1) above, it shall be unlawful for any person to establish, create, post, mark or otherwise designate areas as fire lanes or fire access roadways.

10.64.040. Fire lanes
It is unlawful for any person to stop, stand or park any vehicle within City designated fire lanes. Any vehicle found within said area is subject to the enforcement procedure of Chapter 10.68 as well as other enforcement measures.

Explanation
Only required fire apparatus access roads as designated by the Fire Department shall be posted with signage which reads "No Parking (in 3" letters, 3/8 inch stroke) Fire Access Roadway Layton City Ordinance (in 1 inch letters, 1/4 inch stroke)".

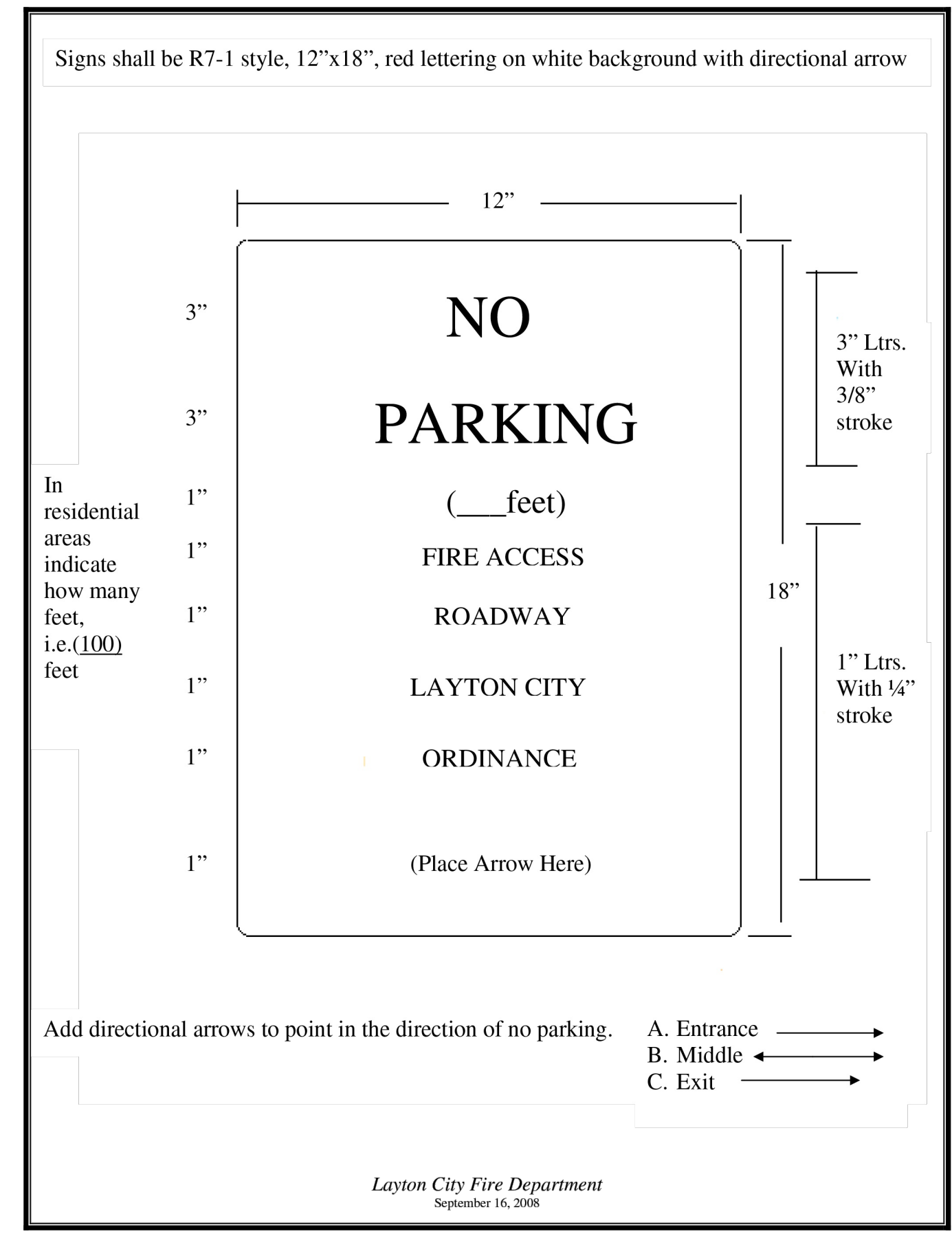
Signs shall be the R7-1 style as outlined in the manual on Uniform Traffic Control devices as approved by the Utah State Code. Signs shall be 12 inches by 19 inches with red lettering on white background with a directional arrow indicating the direction of the no parking regulation. Signs shall be placed at both of the entrance and exits of required accessways and shall be adequately spaced between the egress and ingress points. Signs shall be a minimum height of five feet from grade to the bottom of the sign. In pedestrian traffic areas these shall be seven feet from grade to the bottom of the sign. In addition to this signage, curbs may be painted red in designated fire lanes.

These signs, curb paintings, or a combination of these will identify fire lanes which have been required by the Fire Department and in which the Police Department may issue citations for parking violations.

Rationale
Fire apparatus accessways must be kept clear of obstructions at all times. These includes the parking of vehicles. Dimensions of fire apparatus access is required to be provided at 26 feet width and 13.5 feet height. This width will allow fire apparatus to pass around another fire apparatus when it is parked at the scene of a fire or other emergency. The vertical clearance is required so that our apparatus can pass under any overhead obstructions.

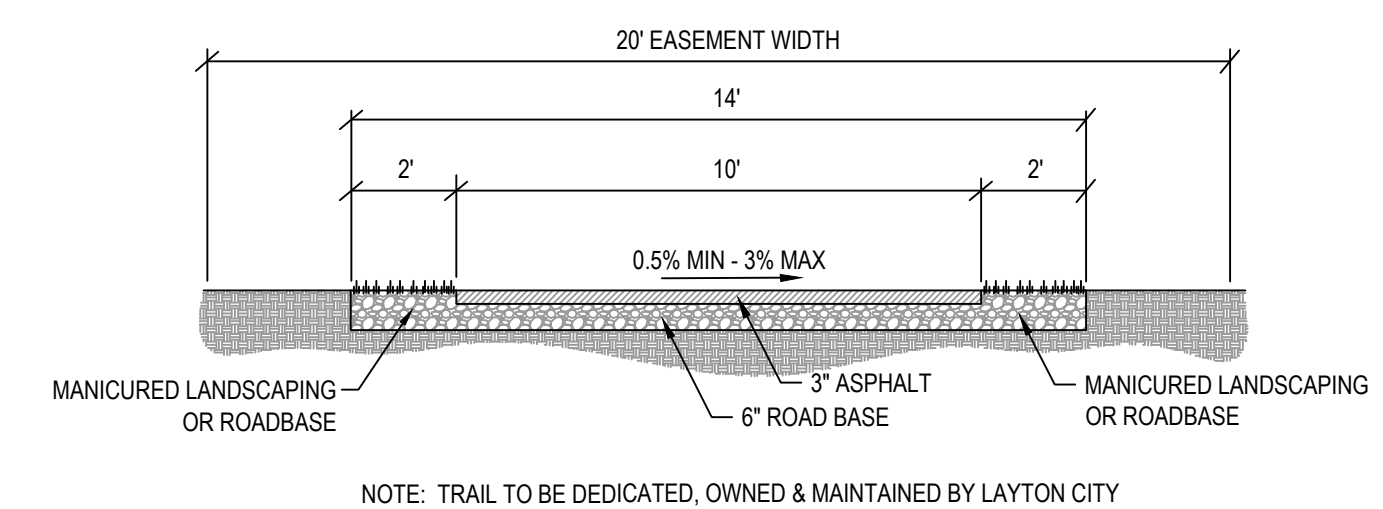
Layton City Fire Department
September 16, 2008

8 "NO PARKING" SIGN SCALE: NONE

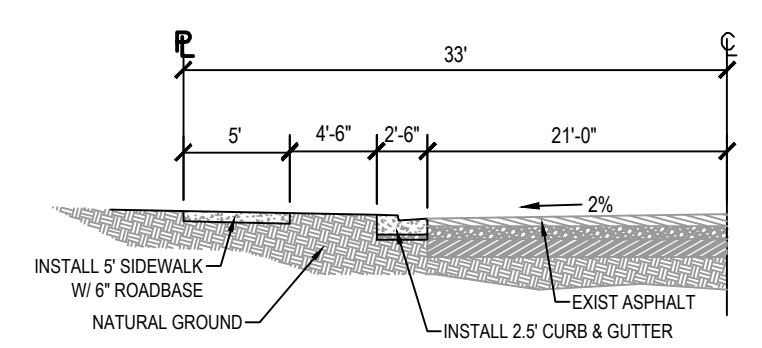


9 LAYTON CITY STANDARD TRAIL SECTION SCALE: NONE

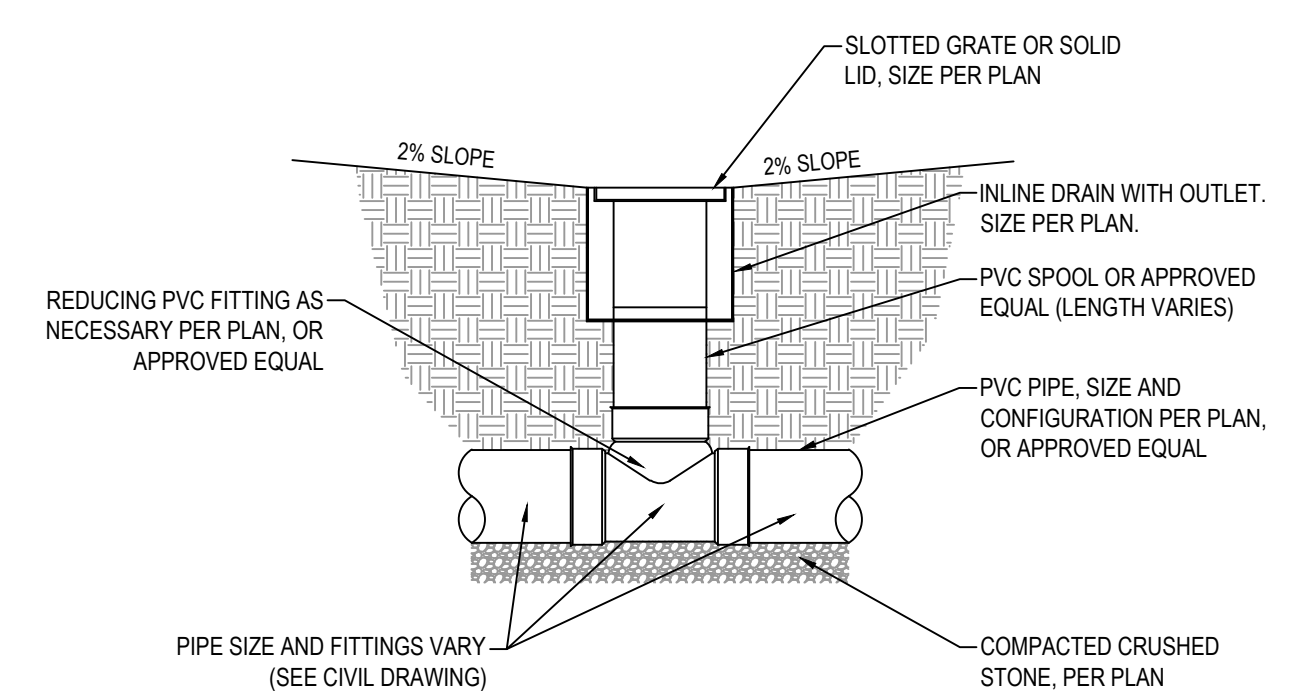
10 33' HALF-WIDTH CROSS SECTION 2200 WEST STREET SCALE: NONE



9 LAYTON CITY STANDARD TRAIL SECTION SCALE: NONE



10 33' HALF-WIDTH CROSS SECTION 2200 WEST STREET SCALE: NONE



11 YARD DRAIN SCALE: NONE

ENSIGN
THE STANDARD IN ENGINEERING

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919 North 400 West
Layton, UT 84041
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SANDY
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STEVENSON PRUD PHASE 1-2
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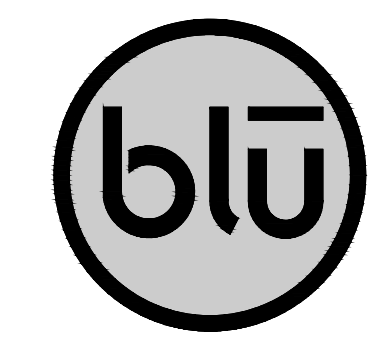


NO. DATE REVISION FOR REVIEW

DETAILS

PROJECT NUMBER 11032 PRINT DATE 4/16/26
PROJECT MANAGER C.PRESTON DESIGNED BY M.ELMER

C-400



blu line designs
 planning | landscape architecture | design
 8719 S. Sandy Parkway
 Sandy, UT 84070
 p 801.679.3157

PLANT SCHEDULE PHASE 1 AND 2

SYMBOL BOTANICAL / COMMON NAME

DECIDUOUS TREES

- ACER GINNALA 'FLAME' / FLAME AMUR MAPLE
- ACER PLATANOIDES 'EMERALD QUEEN' / EMERALD QUEEN NORWAY MAPLE
- ACER TRUNCATUM 'PACIFIC SUNSET'™ / PACIFIC SUNSET MAPLE
- GLEDITSIA TRIACANTHOS 'SHADEMASTER' / HONEY LOCUST
- LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SWEET GUM
- PLATANUS X ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE
- QUERCUS RUBRA / NORTHERN RED OAK
- TILIA AMERICANA 'MCKENTRY' / AMERICAN LINDEN
- ZELKOVA SERRATA 'GREEN VASE' / ZELKOVA

EVERGREEN TREES

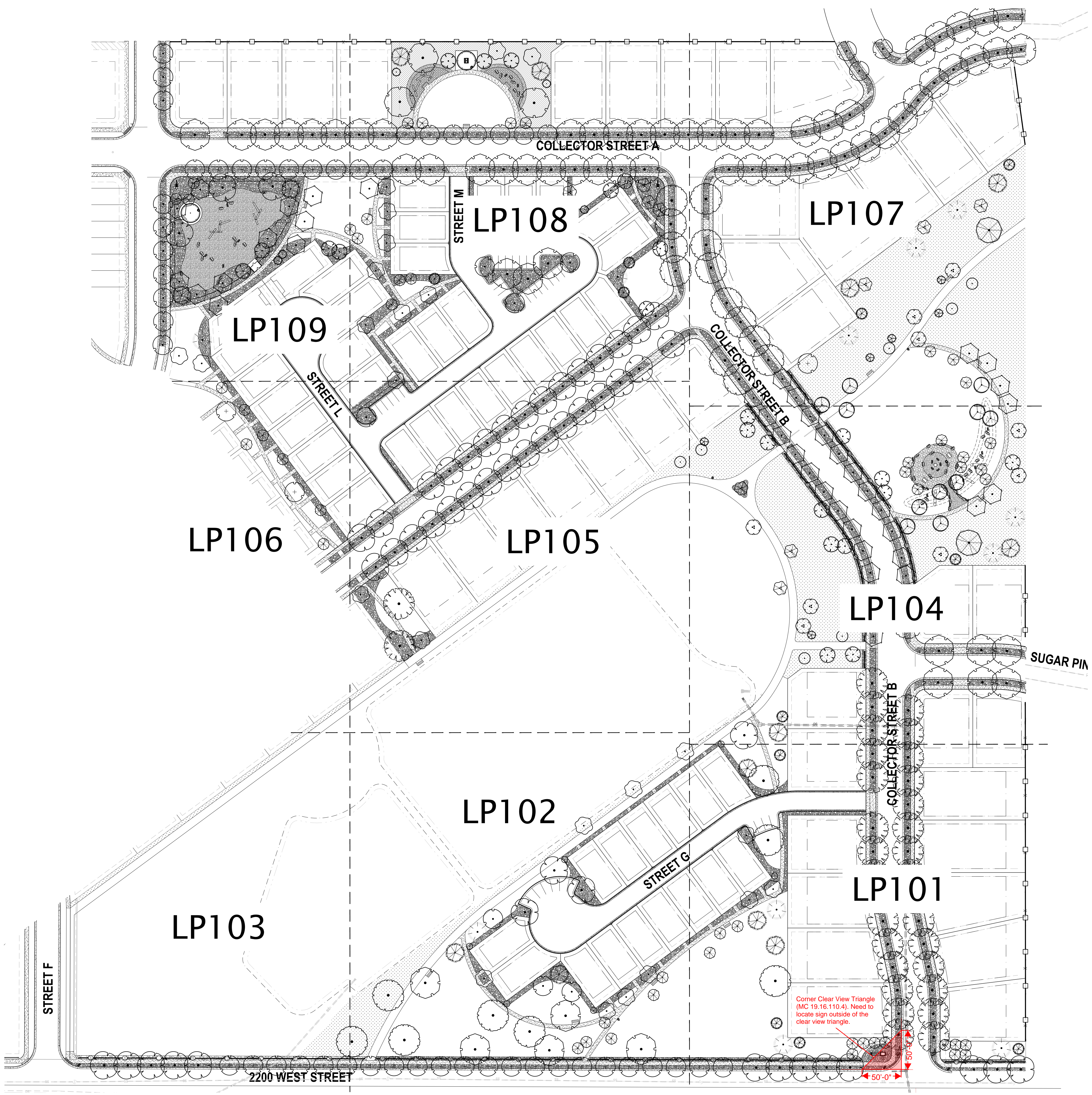
- JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER
- PICEA PUNGENS 'COLORADO GREEN' / COLORADO GREEN BLUE SPRUCE
- PICEA PUNGENS GLAUCA 'HOOPSII' / COLORADO BLUE SPRUCE
- PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE
- PINUS LEUCODERMIS 'HEIDREICHI' / BOSNIAN PINE
- PINUS NIGRA / AUSTRIAN PINE

ORNAMENTAL TREES

- CERCIS CANADENSIS / EASTERN REDBUD
- CRATAEGUS CRUS-GALLI INERMIS / THORNLESS COCKSPUR HAWTHORN
- MALUS X 'ROYAL RAINDROPS' / ROYAL RAINDROPS CRABAPPLE
- MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE
- PRUNUS X YEDOENSIS 'YOSHINO' / YOSHINO CHERRY
- SYRINGA RETICULATA / JAPANESE TREE LILAC

GROUND COVERS

- BIOMEADOW BY BIOGRASS / BIOMEADOW
- COMPACTED GRAVEL
- CRUSHER FINES / COMPACTED
- ENGINEERED WOOD FIBER / MULCH
- NATIVE GRASS
- PLANTING BED / ROCK MULCH
- POA PRATENSIS / KENTUCKY BLUEGRASS



Corner Clear View Triangle
 (MC 19-16-110-4) - Need to
 locate sign outside of the
 clear view triangle.

Scale: 1" = 60'-0"



STEVENSON PRUD
 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

REVISIONS	
NO.	DESCRIPTION

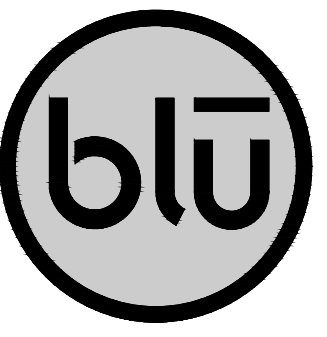
Stamp

Designed By: RD
 Drawn By: THLW
 Date: 04/16/2026
 Checked By: RD
 Project No: 25-116

Drawing Title
**OVERALL
 LANDSCAPE
 PLAN**

Drawing number
LP100

PRELIMINARY SUBMITTAL

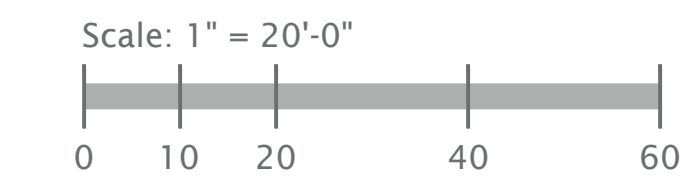
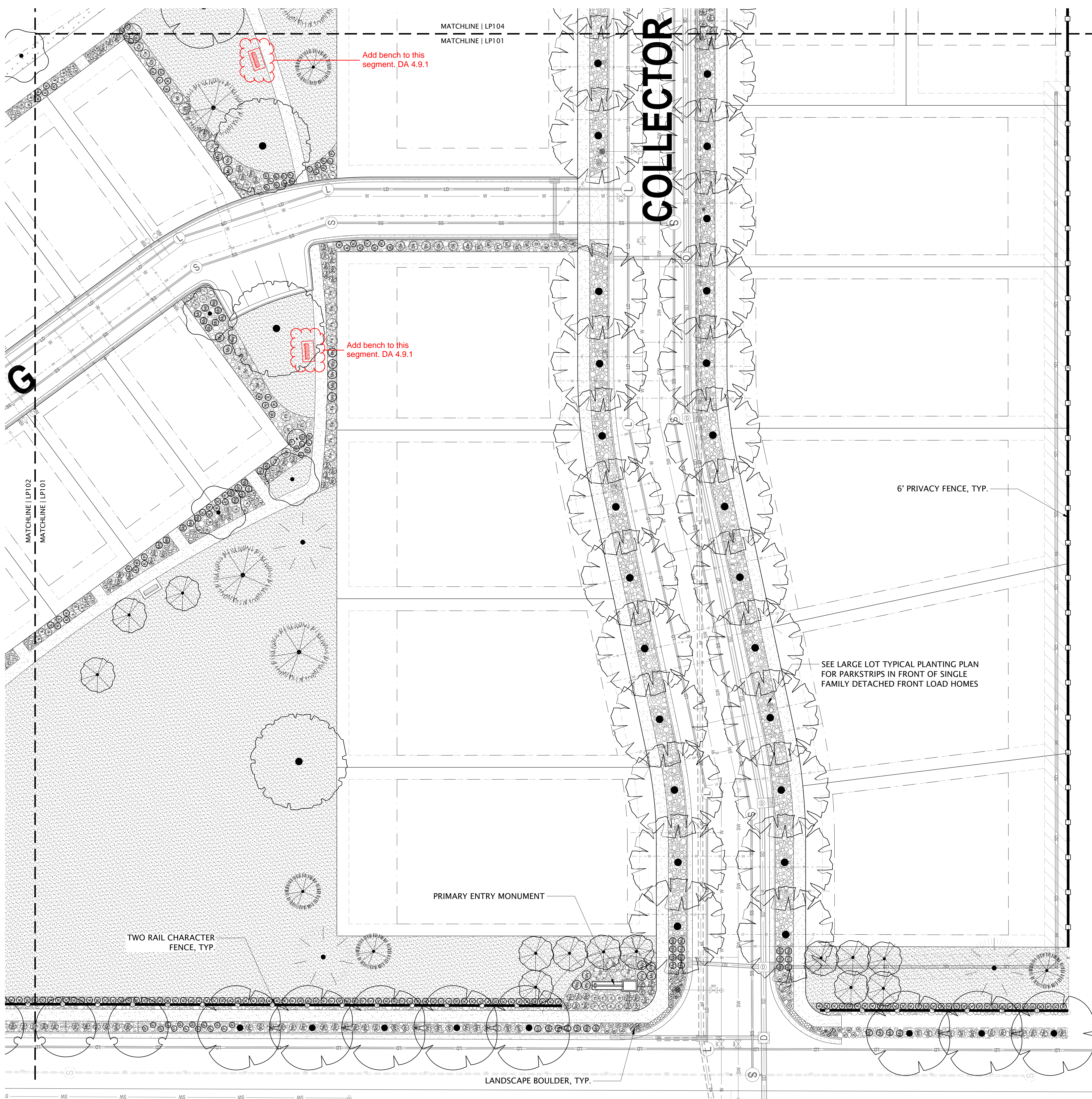


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 planning | landscape architecture | design
 8719 S. Sandy Parkway
 Sandy, UT 84070
 p 801.679.3157

PLANT SCHEDULE PHASE 1 AND 2

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
	PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK
	PINUS MUGO 'SLOWMOUND' / MUGO PINE
	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
	SYRINGA X 'SMNJRPU' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA
ORNAMENTAL GRASSES	
	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS
PERENNIALS	
	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE
GROUND COVERS	
	BIOMEADOW BY BIOGRASS / BIOMEADOW
	COMPACTED GRAVEL
	CRUSHER FINES / COMPACTED
	ENGINEERED WOOD FIBER / MULCH
	NATIVE GRASS
	PLANTING BED / ROCK MULCH
	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
 1. SEE SHEET L100 FOR OVERALL TREE PLANTING PLAN AND TREE SPECIES.
 2. SEE SHEET L501 FOR OVERALL PLANT QUANTITIES. PLAN QUANTITY TOTALS DO NOT INCLUDE PLANTS IN PARK STRIPS IN FRONT OF SINGLE FAMILY HOMES. NEITHER IS ANY ON-LOT LANDSCAPING INCLUDED IN THESE TOTALS.



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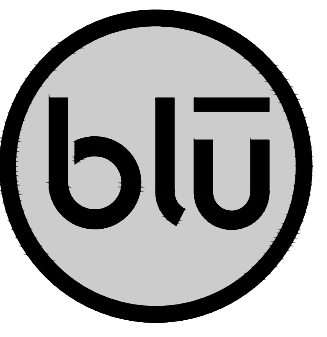
NO.	DATE	DESCRIPTION

Designed By: RD
 Drawn By: THLW
 Date: 04/16/2028
 Checked By: RD
 Project No: 25-116

Drawing Title
LANDSCAPE PLAN

Drawing number
LP101

PRELIMINARY SUBMITTAL

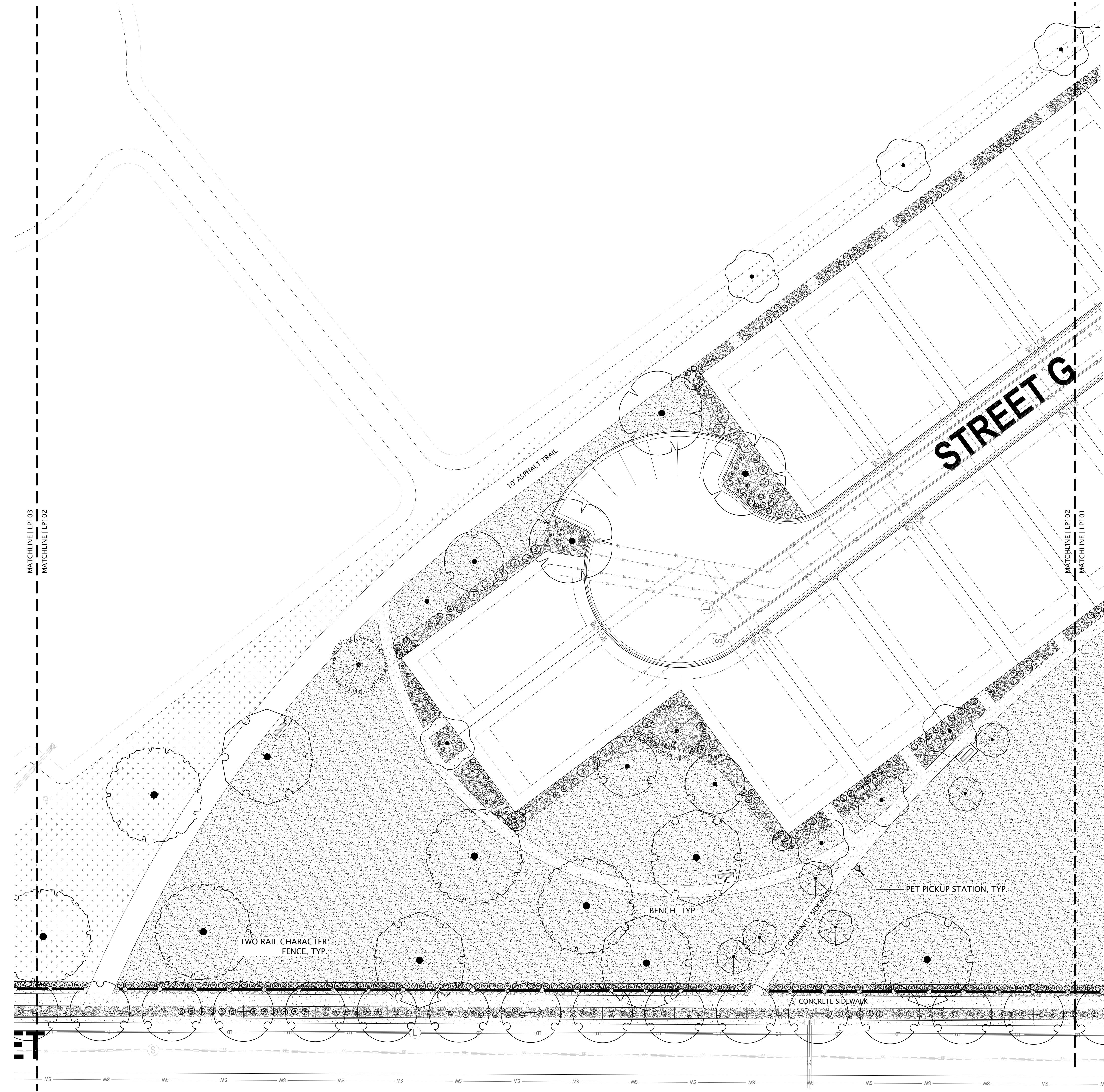


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PLANT SCHEDULE PHASE 1 AND 2

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
(Symbol)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(Symbol)	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
(Symbol)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(Symbol)	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
(Symbol)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(Symbol)	PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK
(Symbol)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(Symbol)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(Symbol)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(Symbol)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(Symbol)	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
(Symbol)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(Symbol)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(Symbol)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(Symbol)	SYRINGA X 'SMNRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(Symbol)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(Symbol)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(Symbol)	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA
ORNAMENTAL GRASSES	
(Symbol)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(Symbol)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(Symbol)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(Symbol)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(Symbol)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS
PERENNIALS	
(Symbol)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(Symbol)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(Symbol)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(Symbol)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(Symbol)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(Symbol)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(Symbol)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(Symbol)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(Symbol)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE
GROUND COVERS	
(Symbol)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(Symbol)	COMPACTED GRAVEL
(Symbol)	CRUSHER FINES / COMPACTED
(Symbol)	ENGINEERED WOOD FIBER / MULCH
(Symbol)	NATIVE GRASS
(Symbol)	PLANTING BED / ROCK MULCH
(Symbol)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
 1. SEE SHEET L100 FOR OVERALL TREE PLANTING PLAN AND TREE SPECIES.
 2. SEE SHEET L501 FOR OVERALL PLANT QUANTITIES. PLAN QUANTITY TOTALS DO NOT INCLUDE PLANTS IN PARK STRIPS IN FRONT OF SINGLE FAMILY HOMES. NEITHER IS ANY ON-LOT LANDSCAPING INCLUDED IN THESE TOTALS.



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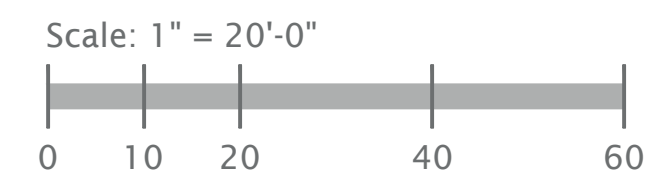
REVISIONS	
NO.	DESCRIPTION

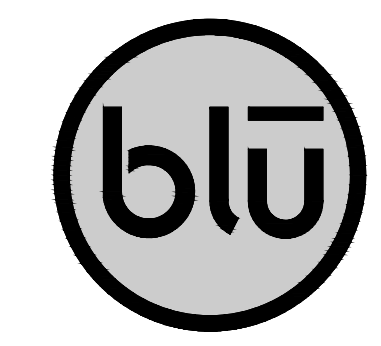
Designed By: RD
 Drawn By: THLW
 Date: 04/16/2028
 Checked By: RD
 Project No: 25-116

Drawing Title
LANDSCAPE PLAN

Drawing number
LP102

PRELIMINARY SUBMITTAL





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PLANT SCHEDULE PHASE 1 AND 2

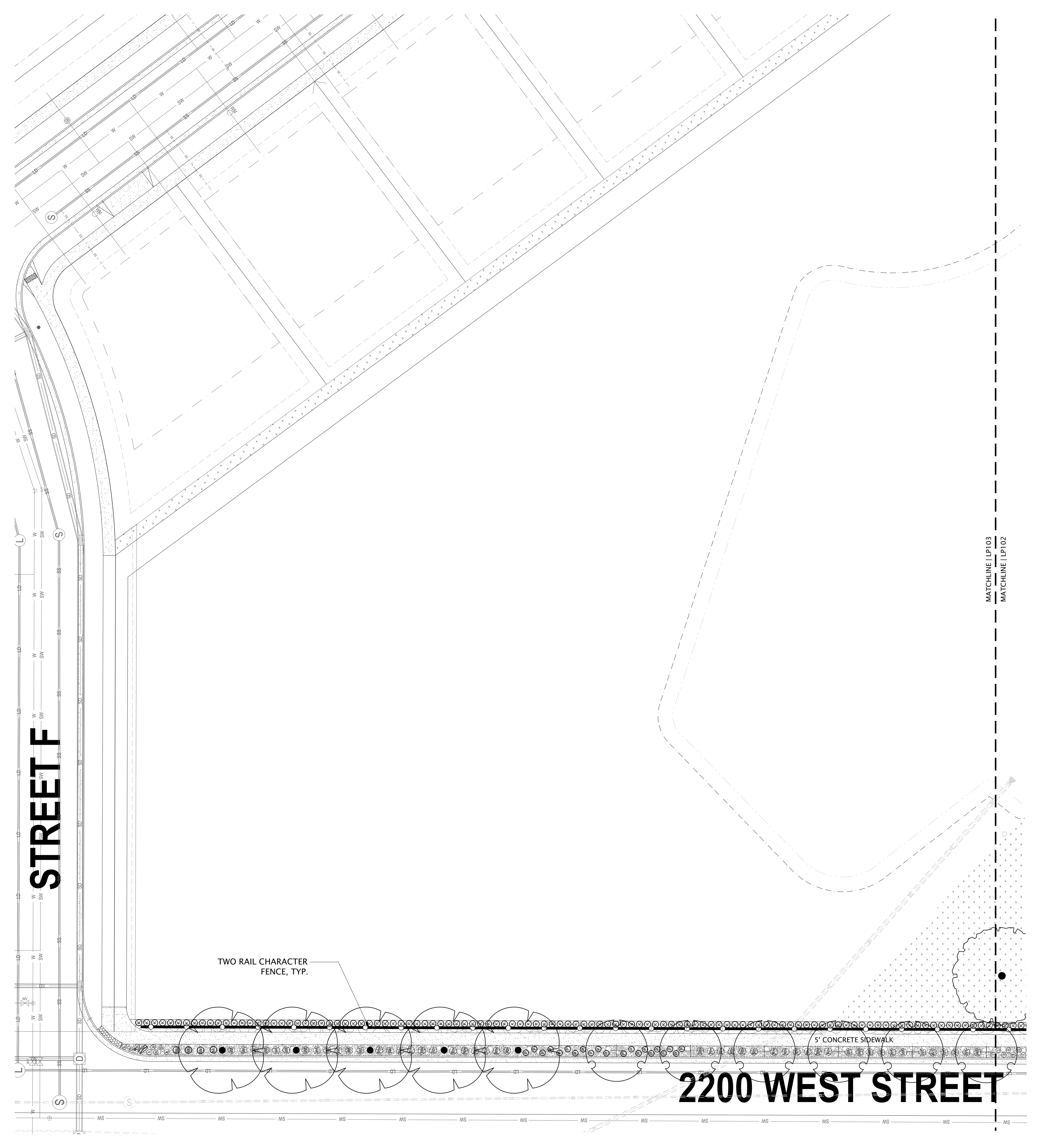
SYMBOL	BOTANICAL / COMMON NAME
(DK)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(DR)	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
(FR)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(FS)	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
(JC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(NA)	PHYSOCARPUS OPULIFOLIUS 'HOOGIO16' / LITTLE ANGEL™ NINEBARK
(MP)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(AB)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(GL)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(WD)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(RD)	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
(NW)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(BS)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(PK)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(BP)	SYRINGA X 'SMNRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(CB)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(EN)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(VF)	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA

SYMBOL	BOTANICAL / COMMON NAME
(BA)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(CA)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(MS)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(MC)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(PF)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS

SYMBOL	BOTANICAL / COMMON NAME
(PE)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(GB)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(SD)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(FC)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(LV)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(NL)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(OE)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(RS)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(SN)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE

SYMBOL	BOTANICAL / COMMON NAME
(BG)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(CG)	COMPACTED GRAVEL
(CF)	CRUSHER FINES / COMPACTED
(EW)	ENGINEERED WOOD FIBER / MULCH
(NG)	NATIVE GRASS
(PB)	PLANTING BED / ROCK MULCH
(PK)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
 1. SEE SHEET L100 FOR OVERALL TREE PLANTING PLAN AND TREE SPECIES.
 2. SEE SHEET L501 FOR OVERALL PLANT QUANTITIES. PLAN QUANTITY TOTALS DO NOT INCLUDE PLANTS IN PARK STRIPS IN FRONT OF SINGLE FAMILY HOMES. NEITHER IS ANY ON-LOT LANDSCAPING INCLUDED IN THESE TOTALS.



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 LAYTON, UT 84041

REVISIONS	
NO.	DESCRIPTION

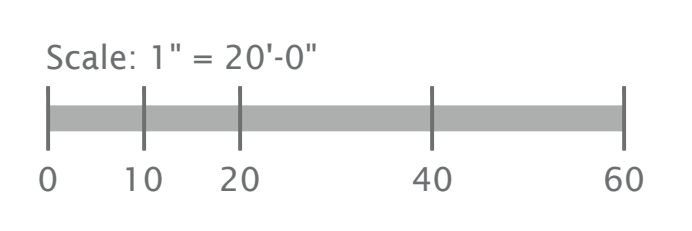
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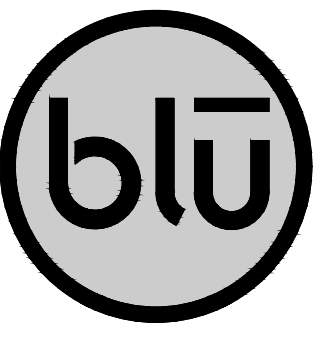
Designed By:	RD
Drawn By:	THLW
Date:	04/16/2026
Checked By:	RD
Project No.:	25-116

Drawing Title
LANDSCAPE PLAN

Drawing number
LP103

PRELIMINARY SUBMITTAL





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PLANT SCHEDULE PHASE 1 AND 2

SYMBOL

SYMBOL	BOTANICAL / COMMON NAME
(Symbol)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(Symbol)	CORNUS ALBA 'JEFREB' / LITTLE REBEL® / LITTLE REBEL DOGWOOD
(Symbol)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(Symbol)	FORSYTHIA X INTERMEDIA 'MINFOR6' / SHOW OFF® STARLET FORSYTHIA
(Symbol)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(Symbol)	PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK
(Symbol)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(Symbol)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(Symbol)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(Symbol)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(Symbol)	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
(Symbol)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(Symbol)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(Symbol)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(Symbol)	SYRINGA X 'SMNJRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(Symbol)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(Symbol)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(Symbol)	WEIGELA FLORIDA 'VERWEIG9' / MIDNIGHT SUN / MIDNIGHT SUN WEIGELA

ORNAMENTAL GRASSES

(Symbol)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(Symbol)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(Symbol)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(Symbol)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(Symbol)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS

PERENNIALS

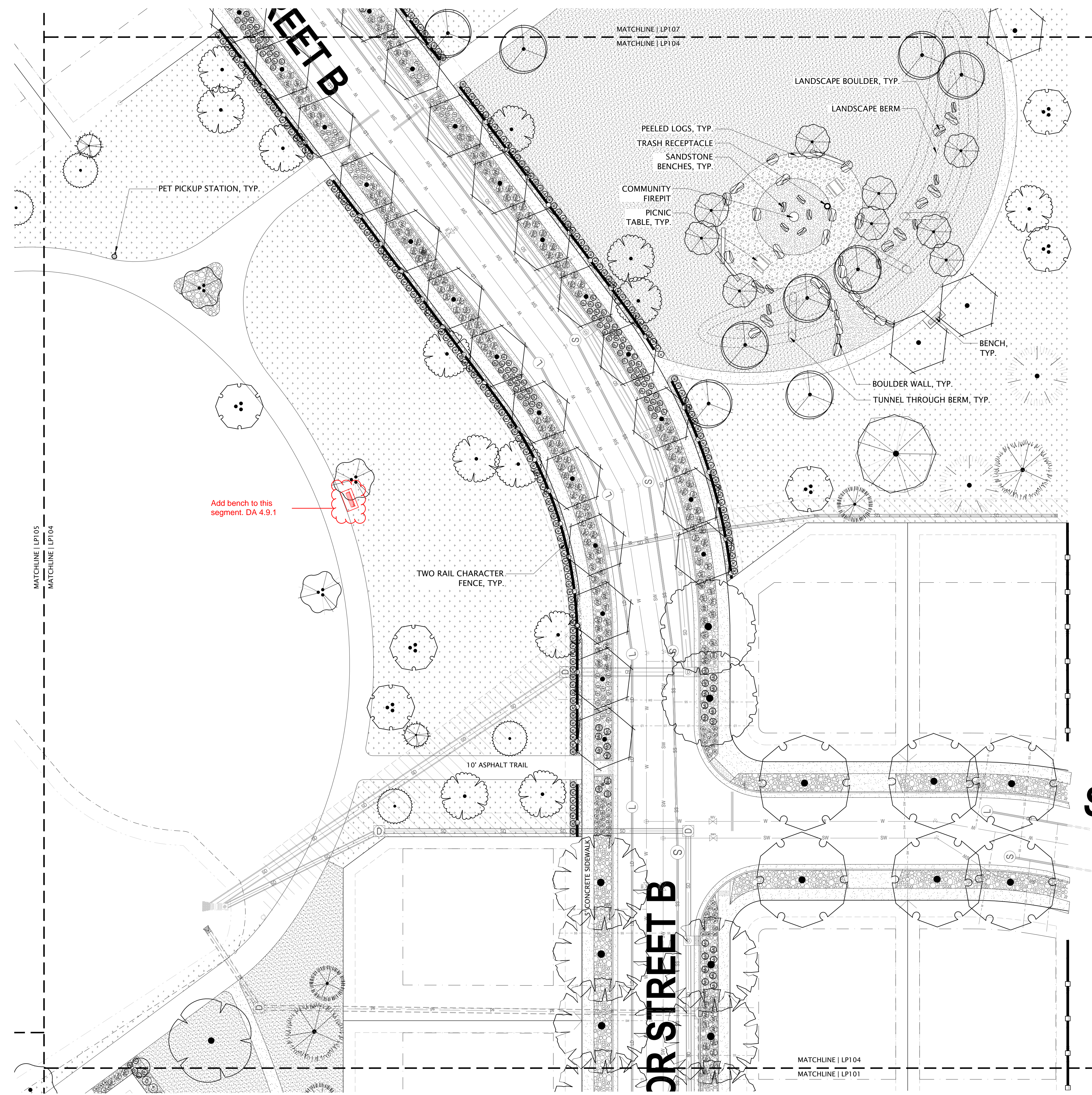
(Symbol)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(Symbol)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(Symbol)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(Symbol)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(Symbol)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(Symbol)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(Symbol)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(Symbol)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(Symbol)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE

SYMBOL

GROUND COVERS

(Symbol)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(Symbol)	COMPACTED GRAVEL
(Symbol)	CRUSHER FINES / COMPACTED
(Symbol)	ENGINEERED WOOD FIBER / MULCH
(Symbol)	NATIVE GRASS
(Symbol)	PLANTING BED / ROCK MULCH
(Symbol)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
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Add bench to this segment. DA 4.9.1

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REVISIONS	
NO.	DESCRIPTION

Stamp

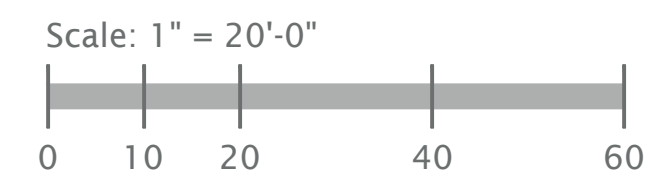
Designed By: RD
 Drawn By: THLW
 Date: 04/16/2028
 Checked By: RD
 Project No: 25-116

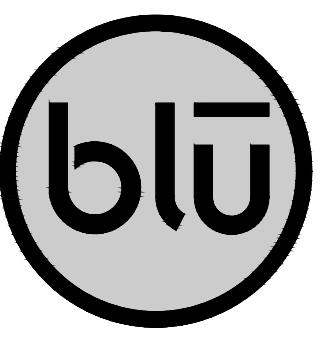
Drawing Title
 LANDSCAPE PLAN

Drawing number

LP104

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PLANT SCHEDULE PHASE 1 AND 2

SYMBOL

BOTANICAL / COMMON NAME

SHRUBS

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- CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
- CORNUS ALBA 'JEFREB' / LITTLE REBEL® / LITTLE REBEL DOGWOOD
- FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
- FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
- JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
- PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK
- PINUS MUGO 'SLOWMOUND' / MUGO PINE
- POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
- RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
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- ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
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- SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
- SYRINGA X 'SMNJRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
- VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
- VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
- WEIGELA FLORIDA 'VERWEIG9' / MIDNIGHT SUN / MIDNIGHT SUN WEIGELA

ORNAMENTAL GRASSES

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- BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
- CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
- MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
- MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
- PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS

PERENNIALS

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- ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
- GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
- HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
- HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
- LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
- NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
- OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
- RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
- SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE

SYMBOL

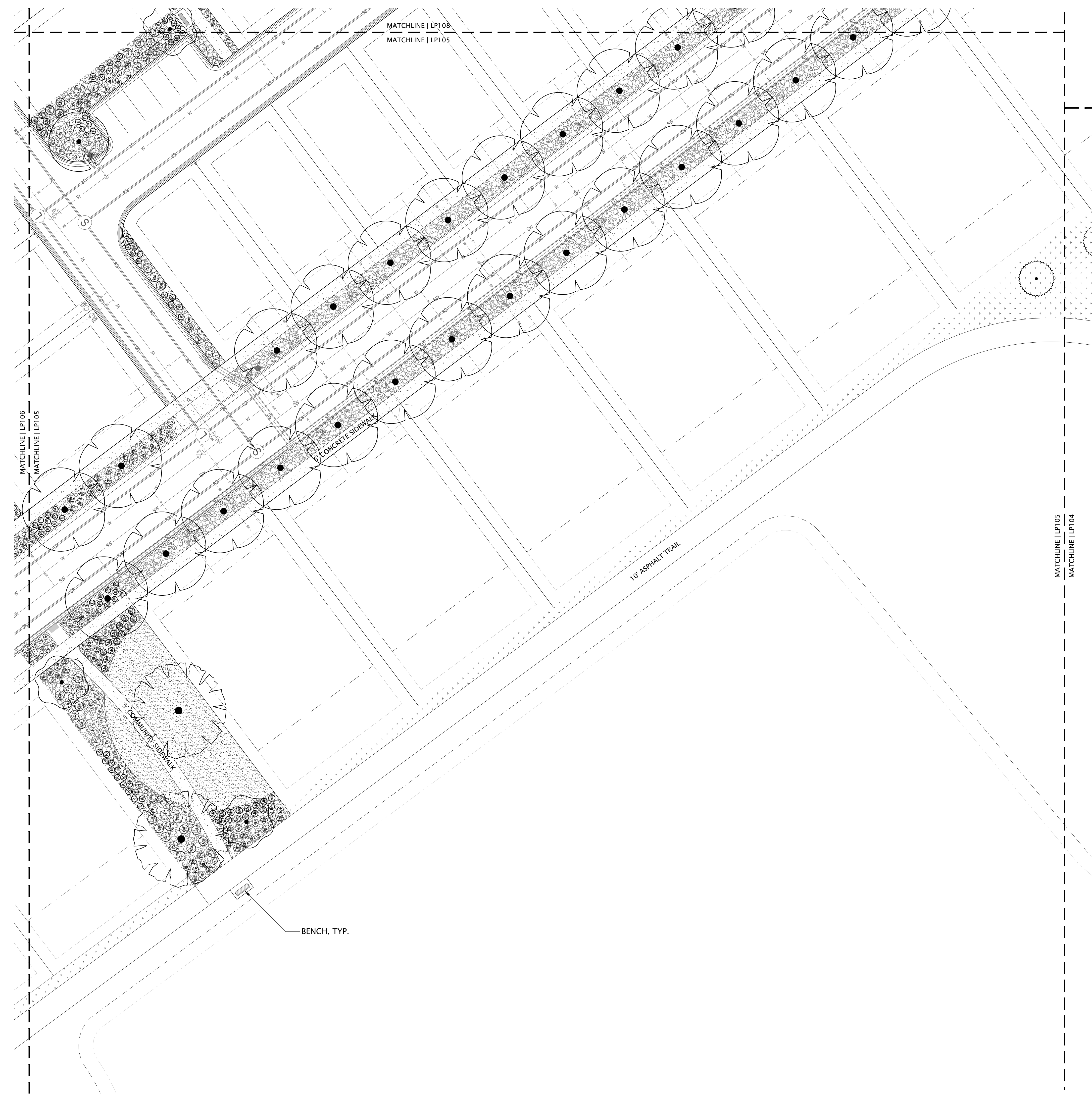
BOTANICAL / COMMON NAME

GROUND COVERS

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- BIOMEADOW BY BIOGRASS / BIOMEADOW
- COMPACTED GRAVEL
- CRUSHER FINES / COMPACTED
- ENGINEERED WOOD FIBER / MULCH
- NATIVE GRASS
- PLANTING BED / ROCK MULCH
- POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
 1. SEE SHEET L100 FOR OVERALL TREE PLANTING PLAN AND TREE SPECIES.
 2. SEE SHEET L501 FOR OVERALL PLANT QUANTITIES. PLAN QUANTITY TOTALS DO NOT INCLUDE PLANTS IN PARK STRIPS IN FRONT OF SINGLE FAMILY HOMES. NEITHER IS ANY ON-LOT LANDSCAPING INCLUDED IN THESE TOTALS.



STEVENSON PRUD
 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

REVISIONS

NO.	DATE	DESCRIPTION

Stamp

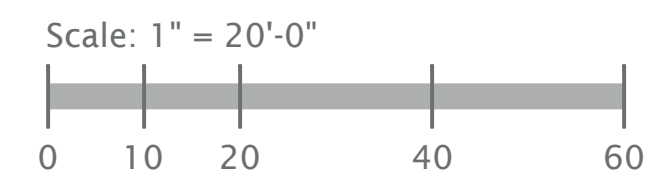
Designed By: RD
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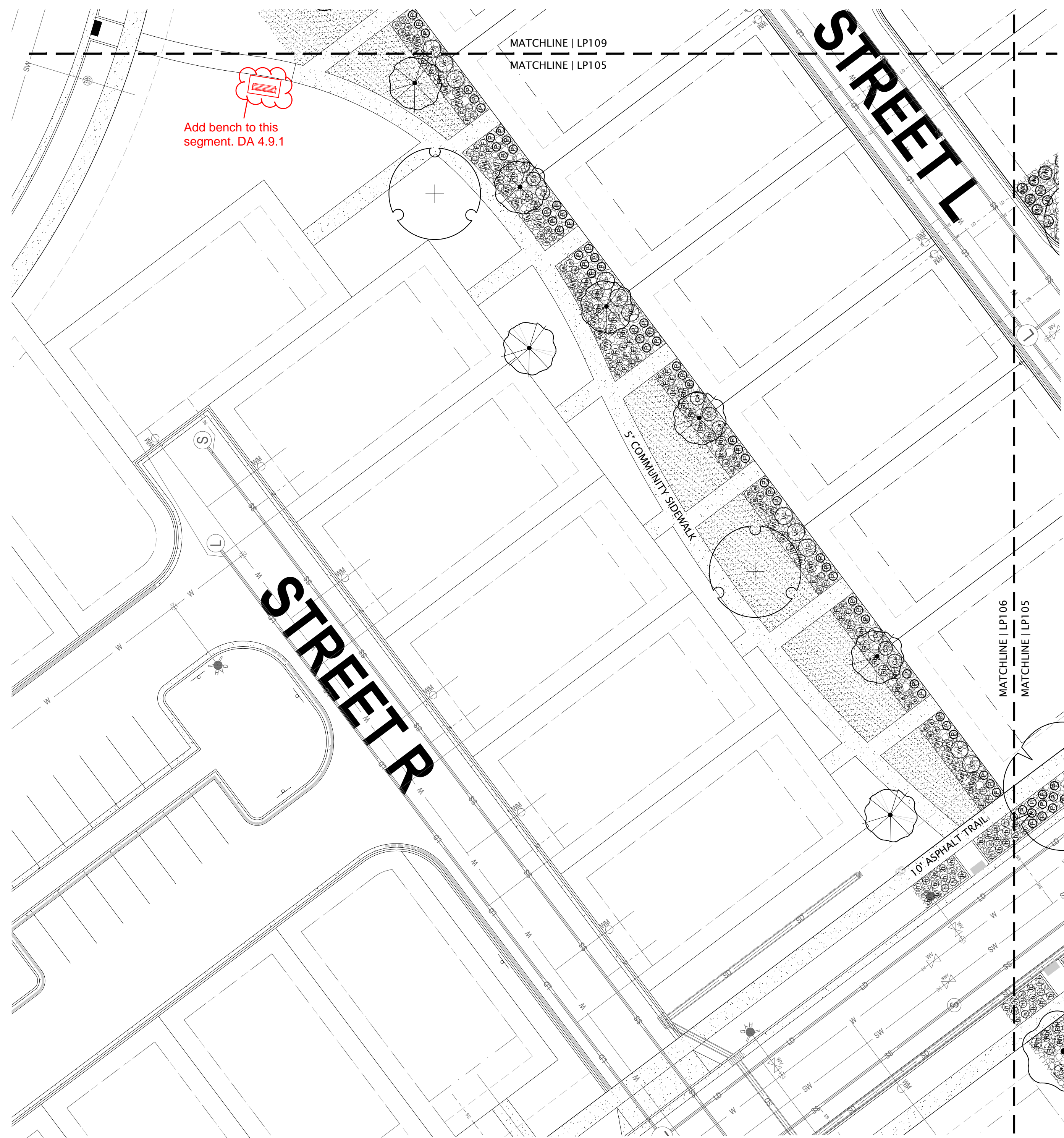
Drawing Title
 LANDSCAPE PLAN

Drawing number

LP105

PRELIMINARY SUBMITTAL





PLANT SCHEDULE PHASE 1 AND 2

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
(DK)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(DR)	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
(FR)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(FS)	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
(JC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(NA)	PHYSOCARPUS OPULIFOLIUS 'HOOGIO16' / LITTLE ANGEL™ NINEBARK
(MP)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(AB)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(GL)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(WD)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(RD)	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
(NW)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(BT)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(PK)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(PP)	SYRINGA X 'SMNJRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(EC)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(EN)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(VF)	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA

SYMBOL	BOTANICAL / COMMON NAME
ORNAMENTAL GRASSES	
(BG)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(CF)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(YJ)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(PM)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(HF)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS
PERENNIALS	
(PE)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(WB)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(SS)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(FC)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(ME)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(WL)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(EP)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(GS)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(MS)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE

SYMBOL	BOTANICAL / COMMON NAME
GROUND COVERS	
(BG)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(CG)	COMPACTED GRAVEL
(CF)	CRUSHER FINES / COMPACTED
(EW)	ENGINEERED WOOD FIBER / MULCH
(NG)	NATIVE GRASS
(PB)	PLANTING BED / ROCK MULCH
(PK)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
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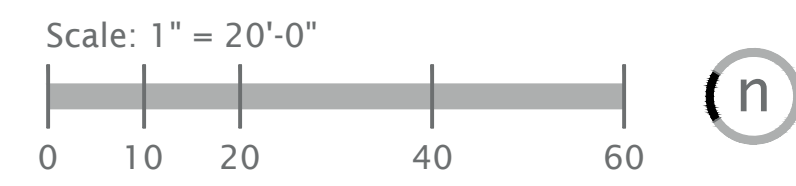
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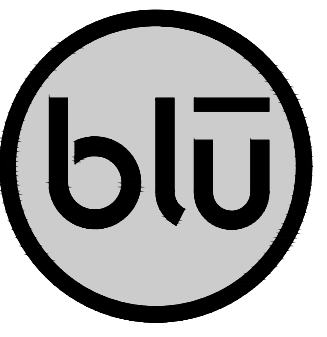
Designed By: RD
 Drawn By: THLW
 Date: 04/16/2026
 Checked By: RD
 Project No: 25-116

Drawing Title
LANDSCAPE PLAN

Drawing number
LP106

PRELIMINARY SUBMITTAL





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PLANT SCHEDULE PHASE 1 AND 2

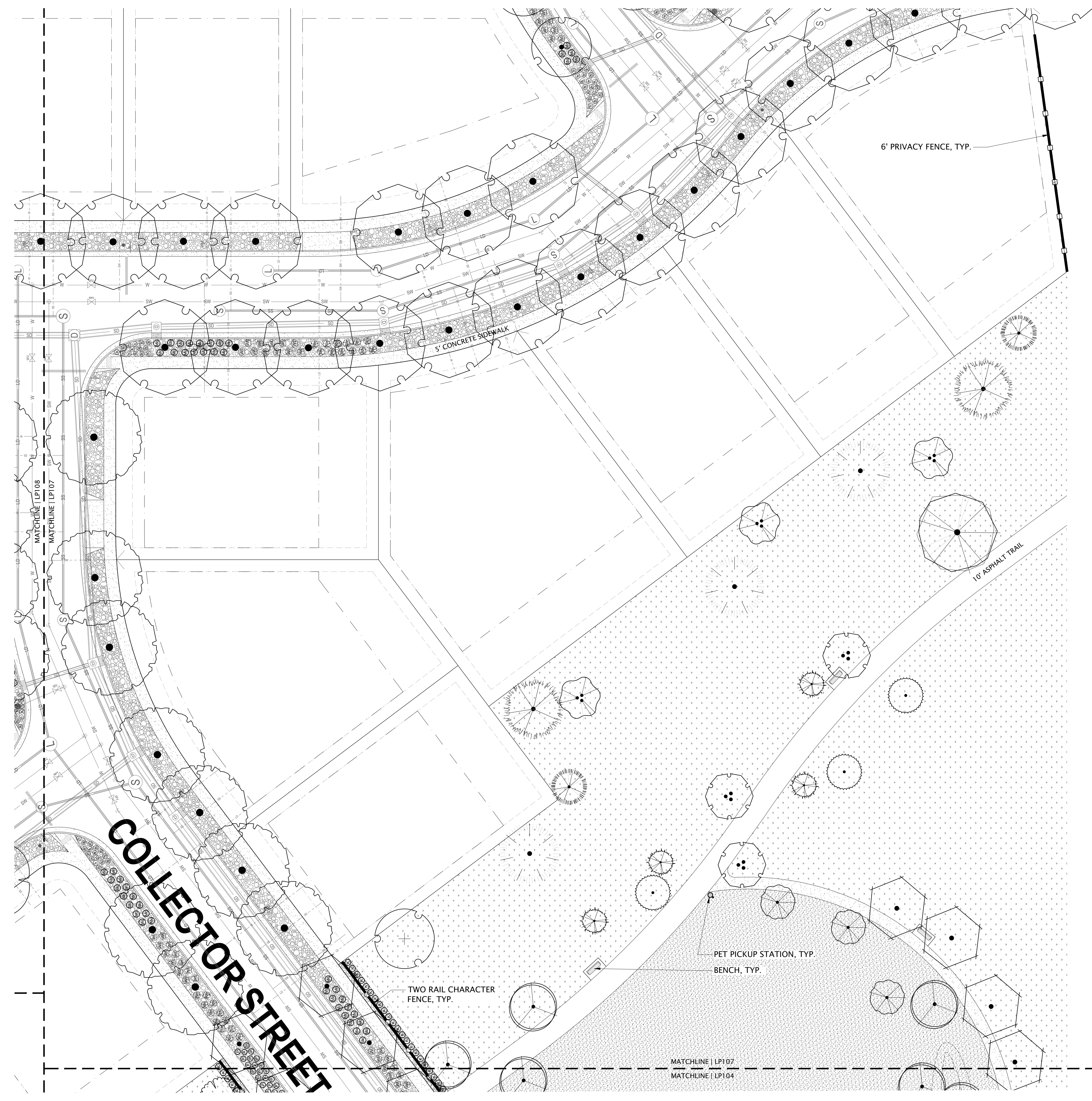
SYMBOL	BOTANICAL / COMMON NAME
(S)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(R)	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
(F)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(S)	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
(J)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(A)	PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK
(P)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(B)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(G)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(R)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(R)	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
(R)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(S)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(S)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(S)	SYRINGA X 'SMNRP' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(V)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(V)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(W)	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA

SYMBOL	BOTANICAL / COMMON NAME
(B)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(C)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(M)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(M)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(P)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS

SYMBOL	BOTANICAL / COMMON NAME
(E)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(G)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(H)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(H)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(L)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(N)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(O)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(R)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(S)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE

SYMBOL	BOTANICAL / COMMON NAME
(B)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(C)	COMPACTED GRAVEL
(F)	CRUSHER FINES / COMPACTED
(E)	ENGINEERED WOOD FIBER / MULCH
(N)	NATIVE GRASS
(P)	PLANTING BED / ROCK MULCH
(P)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
 1. SEE SHEET L100 FOR OVERALL TREE PLANTING PLAN AND TREE SPECIES.
 2. SEE SHEET L501 FOR OVERALL PLANT QUANTITIES. PLAN QUANTITY TOTALS DO NOT INCLUDE PLANTS IN PARK STRIPS IN FRONT OF SINGLE FAMILY HOMES. NEITHER IS ANY ON-LOT LANDSCAPING INCLUDED IN THESE TOTALS.



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NO.	DATE	DESCRIPTION

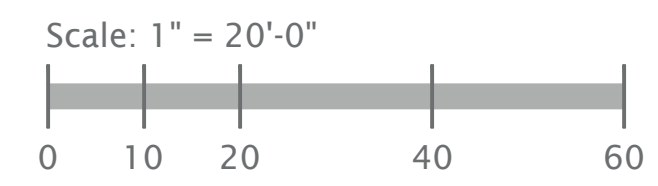
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 Drawn By: THLW
 Date: 04/16/2028
 Checked By: RD
 Project No: 25-116

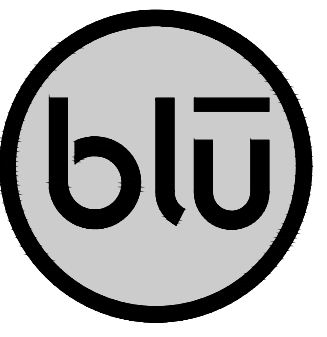
Drawing Title
LANDSCAPE PLAN

Drawing number

LP107

PRELIMINARY SUBMITTAL



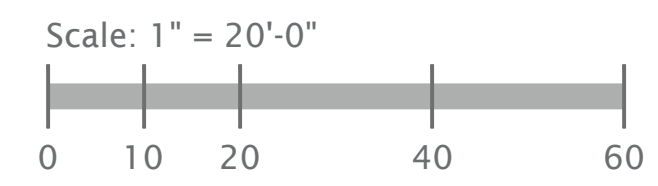
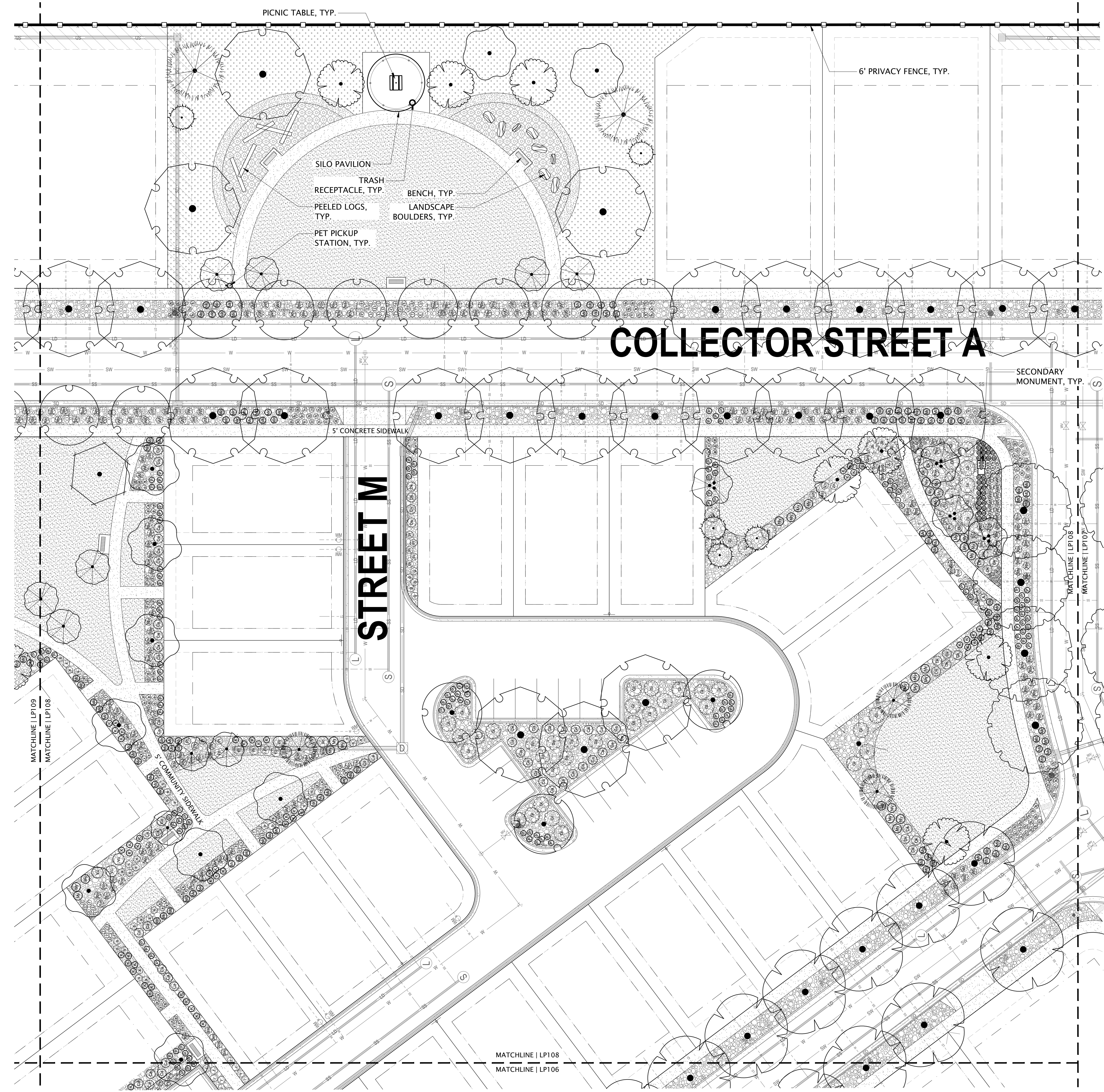


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PLANT SCHEDULE PHASE 1 AND 2

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
(Symbol)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(Symbol)	CORNUS ALBA 'JEFREB' / LITTLE REBEL® / LITTLE REBEL DOGWOOD
(Symbol)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(Symbol)	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
(Symbol)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(Symbol)	PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK
(Symbol)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(Symbol)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(Symbol)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(Symbol)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(Symbol)	ROSA X 'MEIGALPIO' / RED DRIFT® GROUNDCOVER ROSE
(Symbol)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(Symbol)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(Symbol)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(Symbol)	SYRINGA X 'SMNJRPU' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(Symbol)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(Symbol)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(Symbol)	WEIGELA FLORIDA 'VERWEIG9' / MIDNIGHT SUN / MIDNIGHT SUN WEIGELA
ORNAMENTAL GRASSES	
(Symbol)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(Symbol)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(Symbol)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(Symbol)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(Symbol)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS
PERENNIALS	
(Symbol)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(Symbol)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(Symbol)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(Symbol)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(Symbol)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(Symbol)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(Symbol)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(Symbol)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(Symbol)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE
GROUND COVERS	
(Symbol)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(Symbol)	COMPACTED GRAVEL
(Symbol)	CRUSHER FINES / COMPACTED
(Symbol)	ENGINEERED WOOD FIBER / MULCH
(Symbol)	NATIVE GRASS
(Symbol)	PLANTING BED / ROCK MULCH
(Symbol)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
 1. SEE SHEET L100 FOR OVERALL TREE PLANTING PLAN AND TREE SPECIES.
 2. SEE SHEET L501 FOR OVERALL PLANT QUANTITIES. PLAN QUANTITY TOTALS DO NOT INCLUDE PLANTS IN PARK STRIPS IN FRONT OF SINGLE FAMILY HOMES. NEITHER IS ANY ON-LOT LANDSCAPING INCLUDED IN THESE TOTALS.



STEVENSON PRUD
 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

REVISIONS

NO.	DESCRIPTION

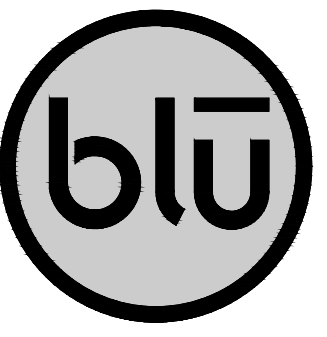
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Designed By: RD
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 Project No: 25-116

Drawing Title
LANDSCAPE PLAN

Drawing number
LP108

PRELIMINARY SUBMITTAL



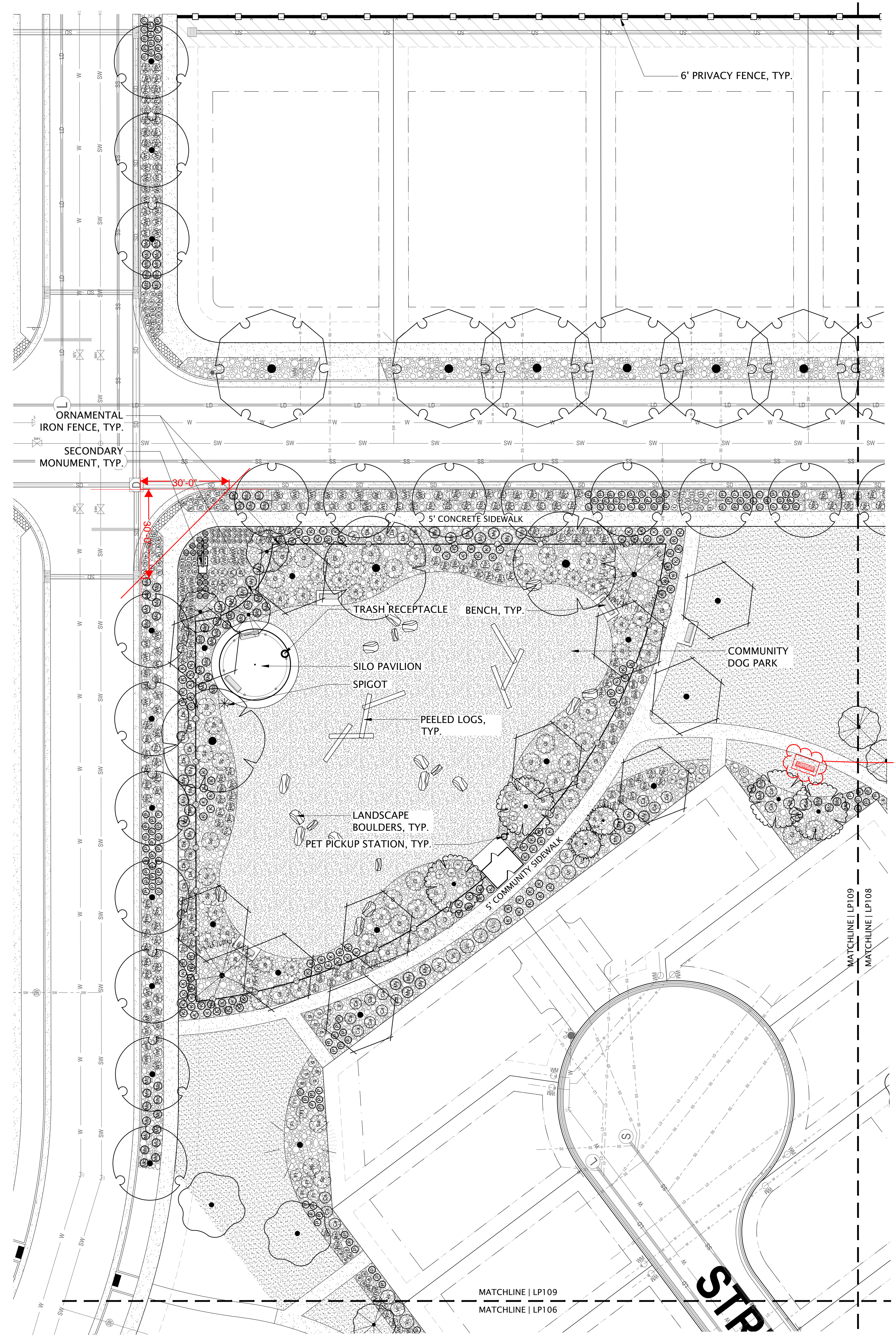
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 p 801.679.3157

PLANT SCHEDULE PHASE 1 AND 2

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
(DK)	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
(CR)	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD
(FR)	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA
(FO)	FORSYTHIA X INTERMEDIA 'MINFORG' / SHOW OFF® STARLET FORSYTHIA
(JC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER
(PA)	PHYSOCARPUS OPULIFOLIUS 'HOOGIO16' / LITTLE ANGEL™ NINEBARK
(PM)	PINUS MUGO 'SLOWMOUND' / MUGO PINE
(PT)	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL
(RF)	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
(RH)	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE
(RD)	ROSA X 'MEICALPIO' / RED DRIFT® GROUNDCOVER ROSE
(RW)	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE
(SB)	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
(SK)	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC
(SP)	SYRINGA X 'SMNRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC
(VE)	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH
(VI)	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM
(WG)	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA
ORNAMENTAL GRASSES	
(BG)	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA
(CF)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
(JM)	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS
(MH)	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS
(PF)	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS
PERENNIALS	
(CE)	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER
(GB)	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
(HS)	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY
(HC)	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS
(LV)	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER
(NL)	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT
(OE)	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE
(RU)	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
(SN)	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE

SYMBOL	BOTANICAL / COMMON NAME
GROUND COVERS	
(BG)	BIOMEADOW BY BIOGRASS / BIOMEADOW
(CG)	COMPACTED GRAVEL
(CF)	CRUSHER FINES / COMPACTED
(EW)	ENGINEERED WOOD FIBER / MULCH
(NG)	NATIVE GRASS
(PB)	PLANTING BED / ROCK MULCH
(PK)	POA PRATENSIS / KENTUCKY BLUEGRASS

NOTES:
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Add bench to this segment. DA 4.9.1

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 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

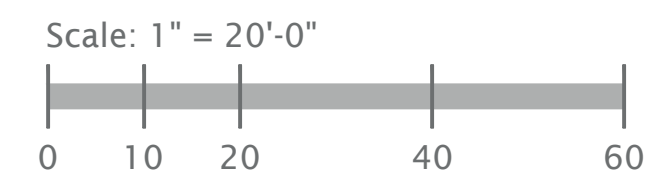
REVISIONS	
NO.	DESCRIPTION

Designed By: RD
 Drawn By: THLW
 Date: 04/16/2026
 Checked By: RD
 Project No: 25-116

Drawing Title
LANDSCAPE PLAN

Drawing number
LP109

PRELIMINARY SUBMITTAL



LANDSCAPE NOTES:

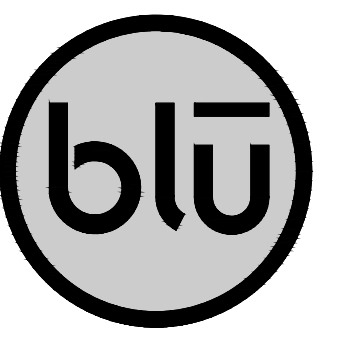
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND LAYTON CITY STANDARDS, SPECIFICATIONS, AND DETAILS.
- ALL PLANT MATERIAL SHALL BE GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THIS WORK AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 UNLESS OTHERWISE NOTED. PROVIDE TREES OF NORMAL GROWTH AND UNIFORM HEIGHTS, ACCORDING TO SPECIES, WITH STRAIGHT TRUNKS AND WELL DEVELOPED LEADERS, LATERALS, AND ROOTS.
- THE CONTRACTOR SHALL CALL BLUE STAKES AT 1-800-662-4111 FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- EXISTING UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, TYPE, AND STRUCTURES TO BE ENCOUNTERED ON THE PROJECT PRIOR TO ANY EXCAVATION AND CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS, LICENSES, AND APPROVALS REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, DISPOSAL, OR RELOCATION OF ALL OBSTRUCTIONS AND DEBRIS WITHIN THE DELINEATED CONSTRUCTION AREA PRIOR TO STARTING NEW CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM NEW CONSTRUCTION.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING FEATURES AND FACILITIES SCHEDULED TO REMAIN AS PART OF THE FINISHED CONSTRUCTION. REPAIR, REPLACEMENT, AND/OR REMOVAL AS DETERMINED BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL ROUGH GRADE TO WITHIN +/- A TENTH OF A FOOT FROM FINISH GRADE.
- ALL COMPACTED AREAS DEVELOPED THROUGH CONSTRUCTION WITHIN PROPOSED LANDSCAPE AREAS SHALL BE SCARIFIED AND LOOSENED TO A DEPTH OF 12" PRIOR TO LANDSCAPE AND IRRIGATION WORK BEGINNING.
- ALL PLANTING PITS SHALL RECEIVE PLANTING BACKFILL MIX PER SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL A MIN. OF 4 INCHES OF ROCK MULCH ON WEED BARRIER FABRIC IN ALL SHRUB BEDS. APPLY PRE-EMERGENT TO ALL PLANTING BEDS BEFORE INSTALLING MULCH. PROVIDE 6" STEEL EDGER BETWEEN ALL LANDSCAPE BEDS AND GRASS/NATIVE SEED
- NO PLANT SPECIES SUBSTITUTIONS WILL BE MADE WITHOUT APPROVAL OF OWNER.
- ALL PLANT LAYOUT SHALL BE VERIFIED AND APPROVED IN FIELD BY OWNER PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL MAY RESULT IN RE-WORK BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL AREAS WITHIN AND AFFECTED BY THIS PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.
- ALL CLARIFICATIONS OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BEGINNING OF WORK.
- CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL FROM THE DATE OF FINAL ACCEPTANCE.

PLANT SCHEDULE PHASE 1 AND 2

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
DECIDUOUS TREES				
	ACER GINNALA 'FLAME' / FLAME AMUR MAPLE	B&B	2" CAL	9
	ACER PLATANOIDES 'EMERALD QUEEN' / EMERALD QUEEN NORWAY MAPLE	B&B	2" CAL	67
	ACER TRUNCATUM 'PACIFIC SUNSET' TM / PACIFIC SUNSET MAPLE	B&B	2" CAL	41
	GLEDTISIA TRIACANTHOS 'SHADEMASTER' / HONEY LOCUST	B&B	2" CAL	2
	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SWEET GUM	B&B	2" CAL	6
	PLATANUS X ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE	B&B	2" CAL	23
	QUERCUS RUBRA / NORTHERN RED OAK	B&B	2" CAL	32
	TILIA AMERICANA 'MCKSENTRY' / AMERICAN LINDEN	B&B	2" CAL	20
	ZELKOVA SERRATA 'GREEN VASE' / ZELKOVA	B&B	2" CAL	51
EVERGREEN TREES				
	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	B&B	6-8' HT	7
	PICEA PUNGENS 'COLORADO GREEN' / COLORADO GREEN BLUE SPRUCE	B&B	6' HT MIN.	11
	PICEA PUNGENS GLAUCOU 'HOOPSII' / COLORADO BLUE SPRUCE	B&B	6' HT MIN.	8
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B&B	6' HT MIN.	11
	PINUS LEUCODERMIS 'HEIDREICHII' / BOSNIAN PINE	B&B	6-8' HT	6
	PINUS NIGRA / AUSTRIAN PINE	B&B	6' HT MIN.	13
ORNAMENTAL TREES				
	CERCIS CANADENSIS / EASTERN REDBUD	B&B	2" CAL	24
	CRATAEGUS CRUS-GALLI INERMIS / THORNLESS COCKSPUR HAWTHORN	B & B	2" CAL	10
	MALUS X 'ROYAL RAINDROPS' / ROYAL RAINDROPS CRABAPPLE	B&B	2" CAL	51
	MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B&B	2" CAL	24
	PRUNUS X YEDOENSIS 'YOSHINO' / YOSHINO CHERRY	B&B	2" CAL	11
	SYRINGA RETICULATA / JAPANESE TREE LILAC	B&B	2" CAL	42

* ALL SHOWN QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE TO CONDUCT INDEPENDENT TAKEOFFS TO ESTABLISH QUANTITIES. PLAN SYMBOL QUANTITIES OVERRIDE QUANTITIES SHOWN IN SCHEDULE. PLANT QUANTITIES DO NOT INCLUDE ANY ON-LOT LANDSCAPING OR PARKSTRIP PLANTINGS IN FRONT OF SINGLE FAMILY LOTS.

SYMBOL	BOTANICAL / COMMON NAME	CONT	SF PER PLANT	QTY
SHRUBS				
	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB	5 GAL		43
	CORNUS ALBA 'JEFREB' LITTLE REBEL® / LITTLE REBEL DOGWOOD	5 GAL		112
	FORSYTHIA X 'SUNRISE' / SUNRISE FORSYTHIA	5 GAL		8
	FORSYTHIA X INTERMEDIA 'MINFOR6' / SHOW OFF® STARLET FORSYTHIA	5 GAL		41
	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL		28
	PHYSOCARPUS OPULIFOLIUS 'HOOGI016' / LITTLE ANGEL™ NINEBARK	5 GAL		39
	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL		14
	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL	5 GAL		9
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		79
	ROSA HYBRID 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE	5 GAL		505
	ROSA X 'MEIGALPIO' / RED DRIFT® GROUNDCOVER ROSE	5 GAL		6
	ROSA X 'NEARLY WILD' / NEARLY WILD FLORIBUNDA ROSE	5 GAL		123
	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA	5 GAL		70
	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	5 GAL		30
	SYRINGA X 'SMNJRPJ' PP29831 BLOOMERANG® DWARF PURPLE / DWARF PURPLE BLOOMERANG LILAC	5 GAL		68
	VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH	5 GAL		46
	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM	5 GAL		4
	WEIGELA FLORIDA 'VERWEIG9' MIDNIGHT SUN / MIDNIGHT SUN WEIGELA	5 GAL		417
ORNAMENTAL GRASSES				
	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL		49
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		821
	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS	1 GAL		95
	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	1 GAL		389
	PENNISETUM ALOPECUROIDES 'HAMELN' / DWARF FOUNTAIN GRASS	1 GAL		520
PERENNIALS				
	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER	1 GAL		74
	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	1 GAL		29
	HEMEROCALLIS X 'STELLA SUPREME' / STELLA SUPREME DAYLILY	1 GAL		395
	HEUCHERA X 'FIREFLY' / FIREFLY CORAL BELLS	1 GAL		61
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL		225
	NEPETA X FAASSENII 'WALKER'S LOW' / CATMINT	5 GAL		30
	OENOTHERA MISSOURIENSIS / BIGFRUIT EVENING PRIMROSE	5 GAL		48
	RUDBECKIA FULGIDA SULLIVANTHII 'GOLDSTURM' / BLACK-EYED SUSAN	1 GAL		68
	SALVIA NEMEROSA 'MAY NIGHT' / MEADOW SAGE	1 GAL		101
SYMBOL	BOTANICAL / COMMON NAME	CONT		QTY
GROUND COVERS				
	BIOMEADOW BY BIOGRASS / BIOMEADOW	SOD		10,743 SF
	COMPACTED GRAVEL	BED		1,696 SF
	CRUSHER FINES / COMPACTED	BED		12,181 SF
	ENGINEERED WOOD FIBER / MULCH	BED		1,747 SF
	NATIVE GRASS	SEED		102,762 SF
	PLANTING BED / ROCK MULCH	BED		99,882 SF
	POA PRATENSIS / KENTUCKY BLUEGRASS	SOD		130,694 SF



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STEVENSON PRUD
 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

REVISIONS	
NO.	DESCRIPTION

Stamp

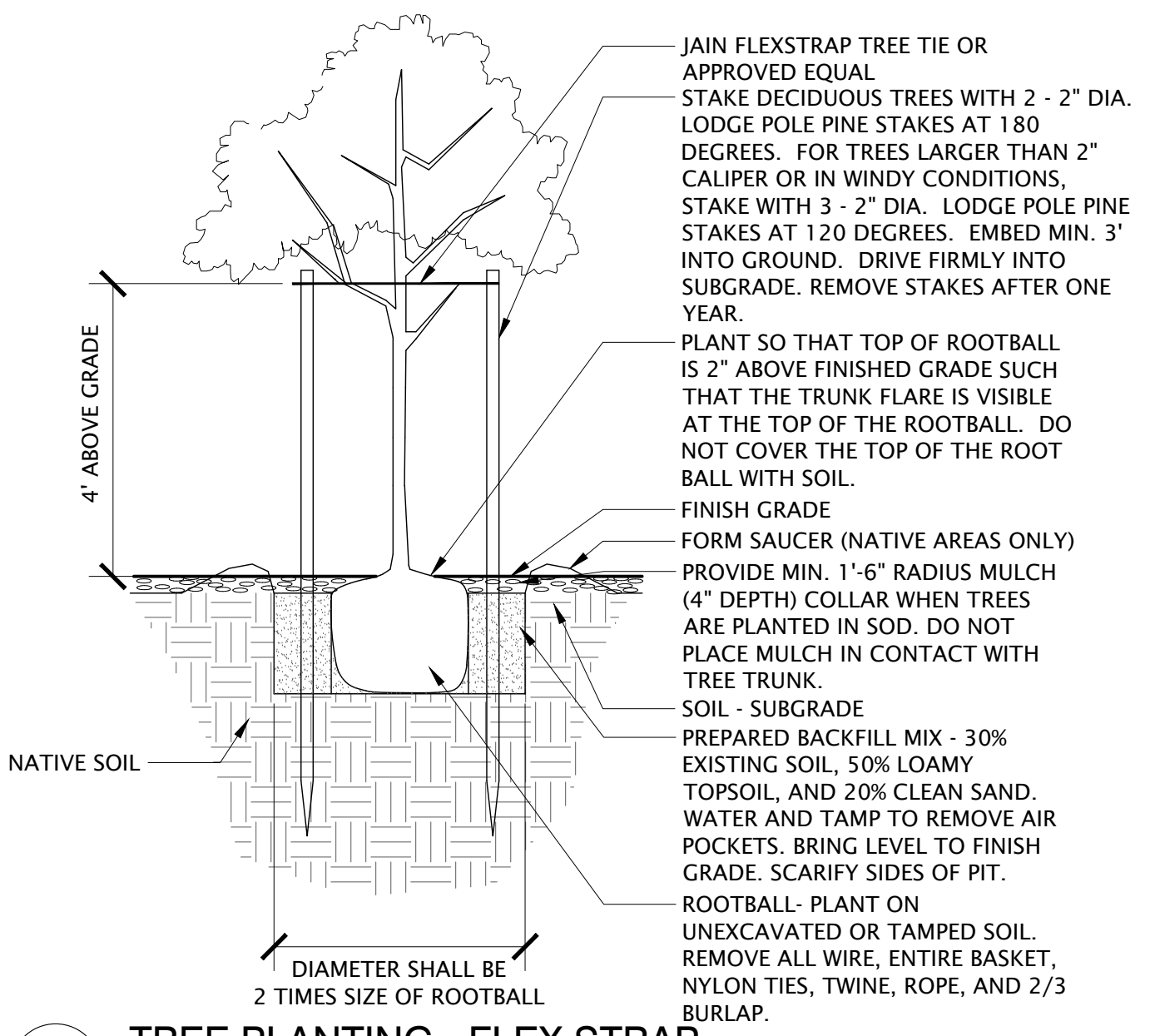
Designed By: RD
 Drawn By: THLW
 Date: 04/16/2028
 Checked By: RD
 Project No: 25-116

Drawing Title
LANDSCAPE NOTES & SCHEDULE

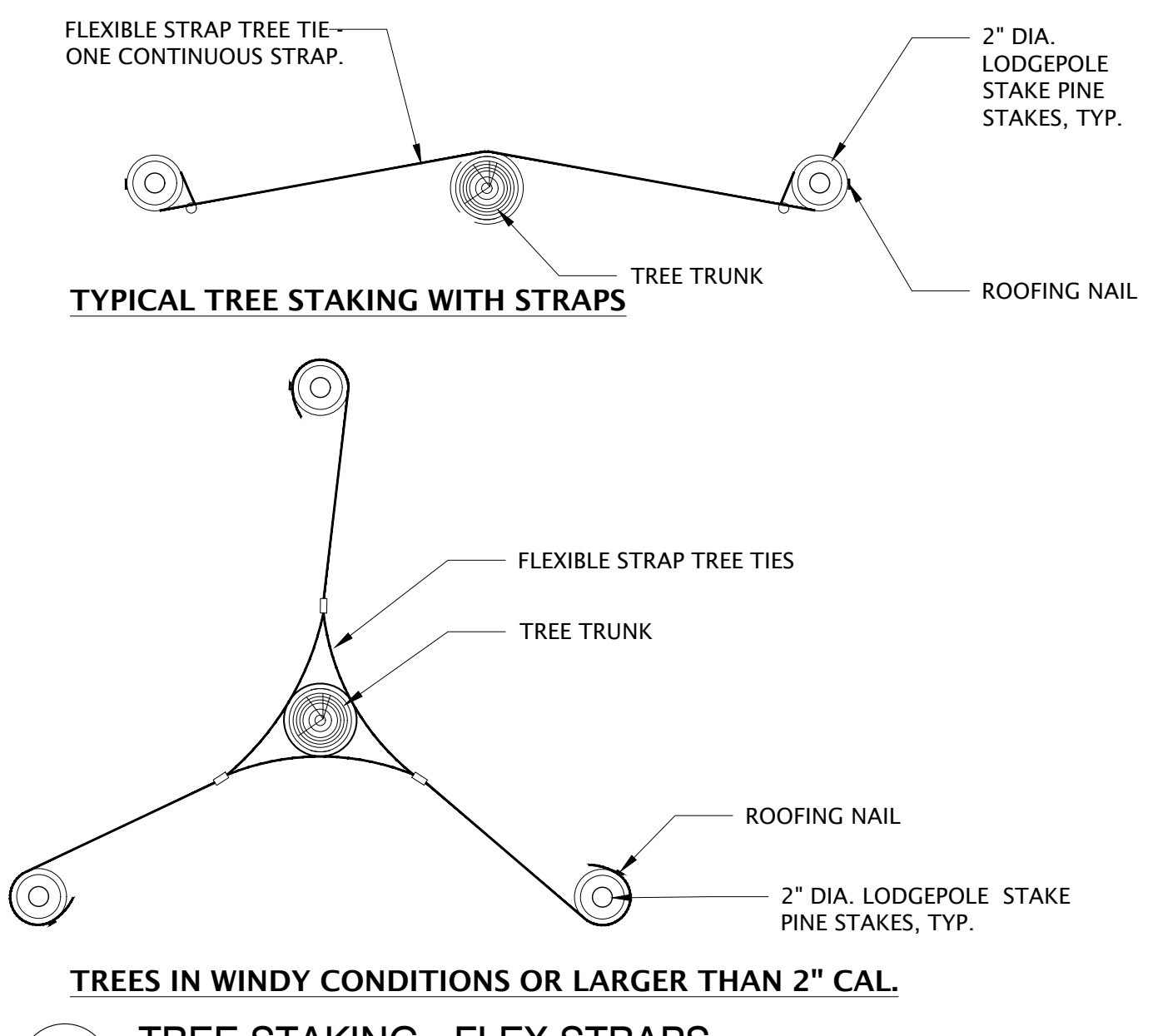
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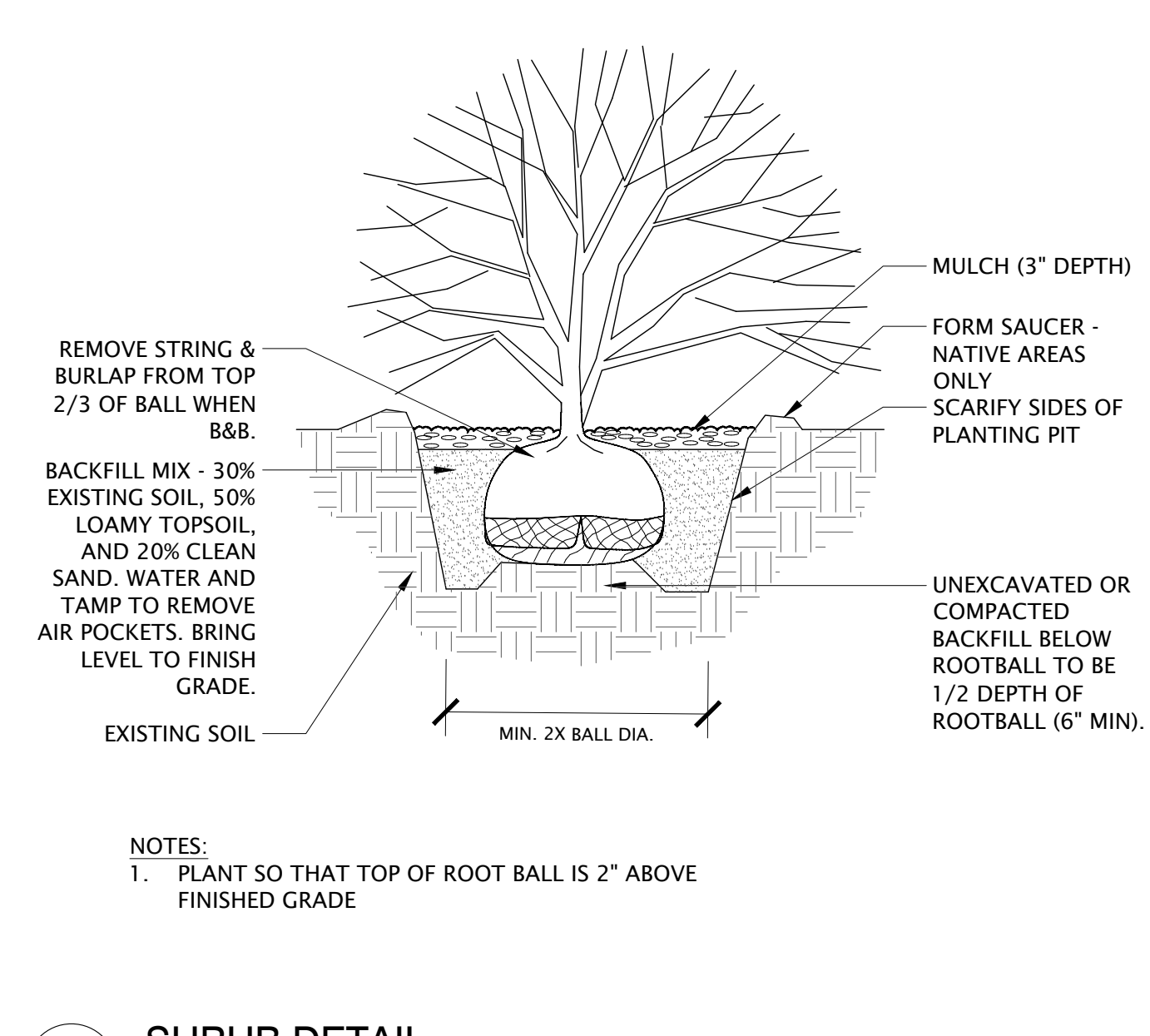
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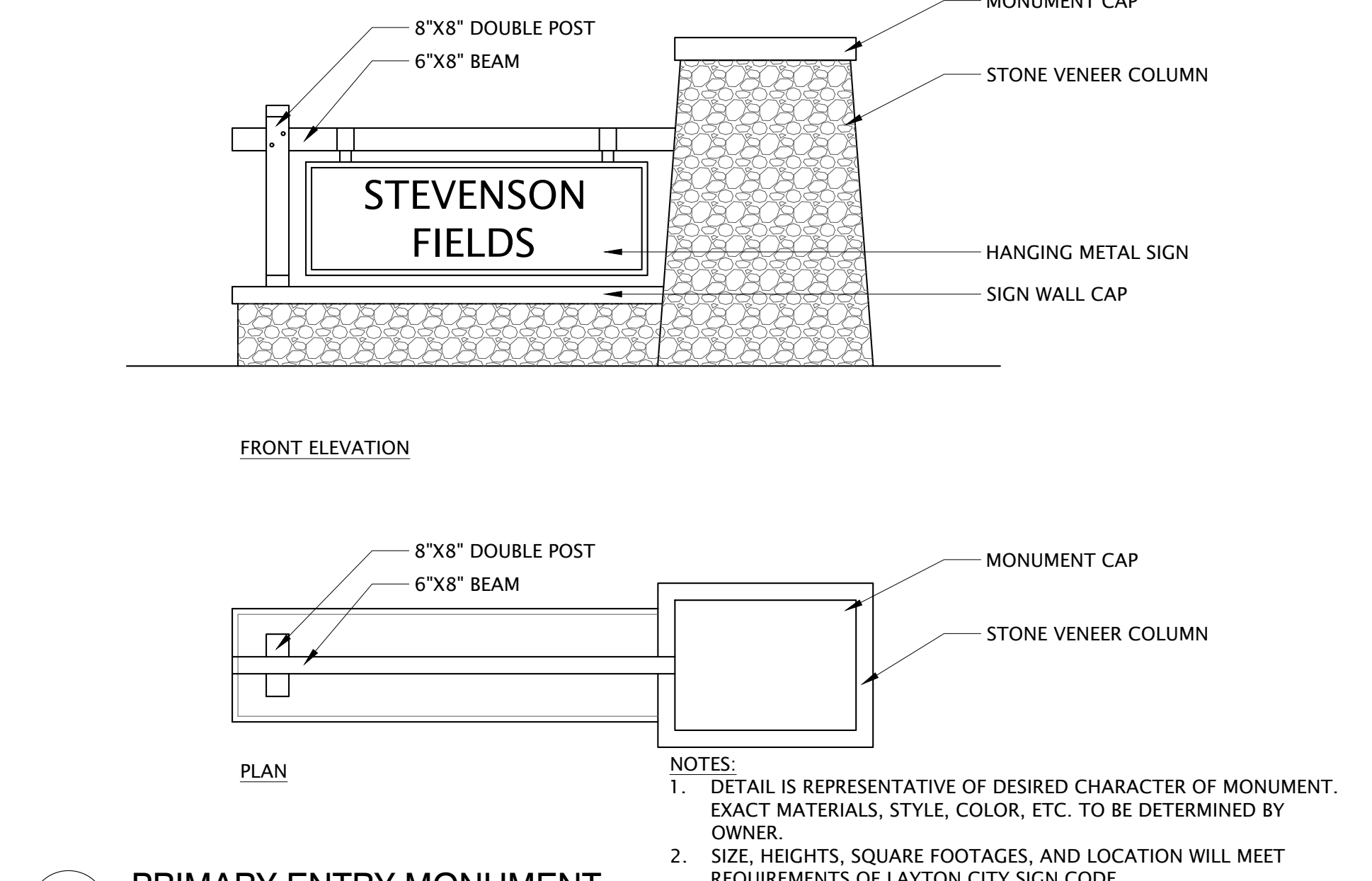
1 TREE PLANTING - FLEX STRAP
 NOT TO SCALE



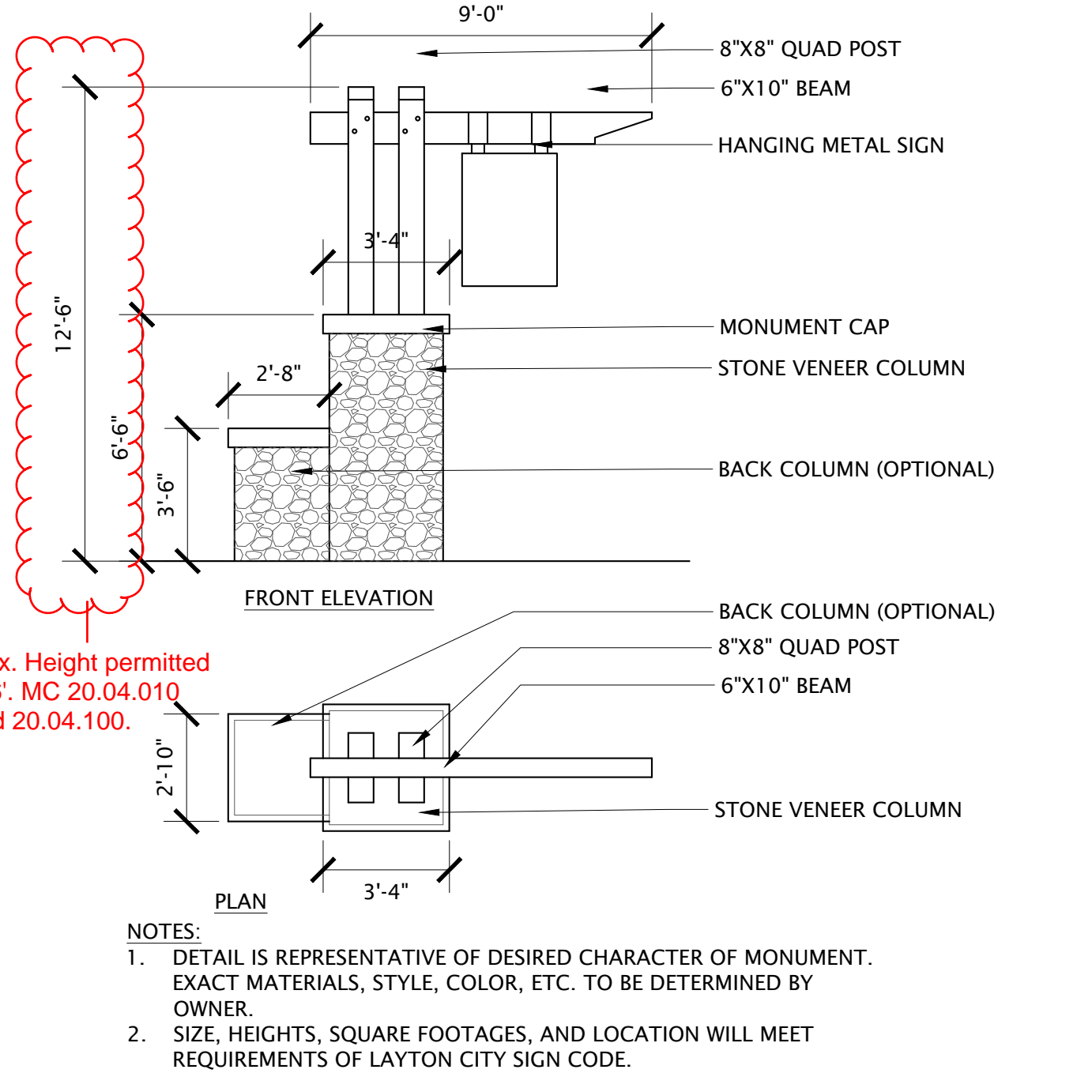
2 TREE STAKING - FLEX STRAPS
 NOT TO SCALE



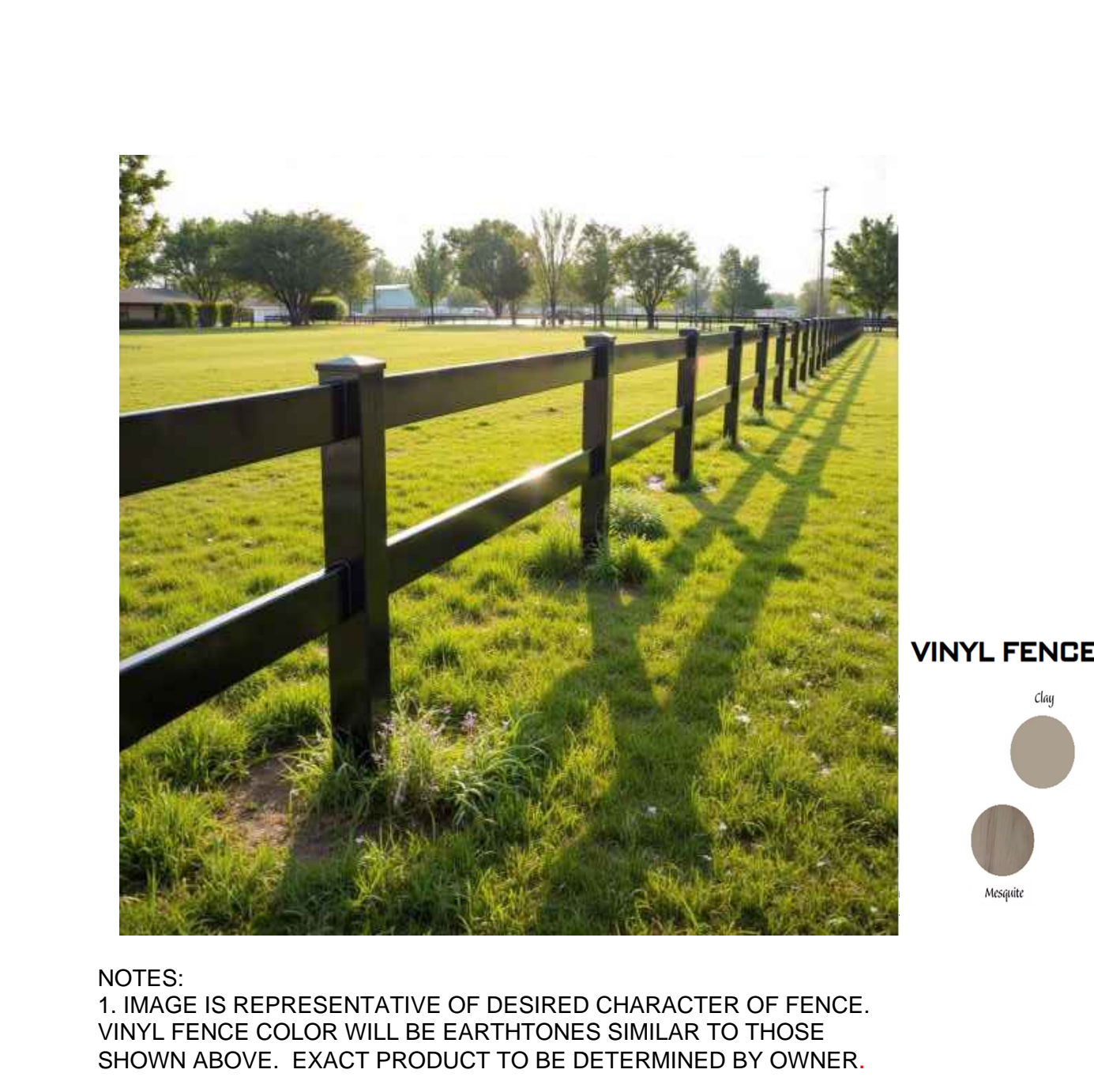
3 SHRUB DETAIL
 NOT TO SCALE



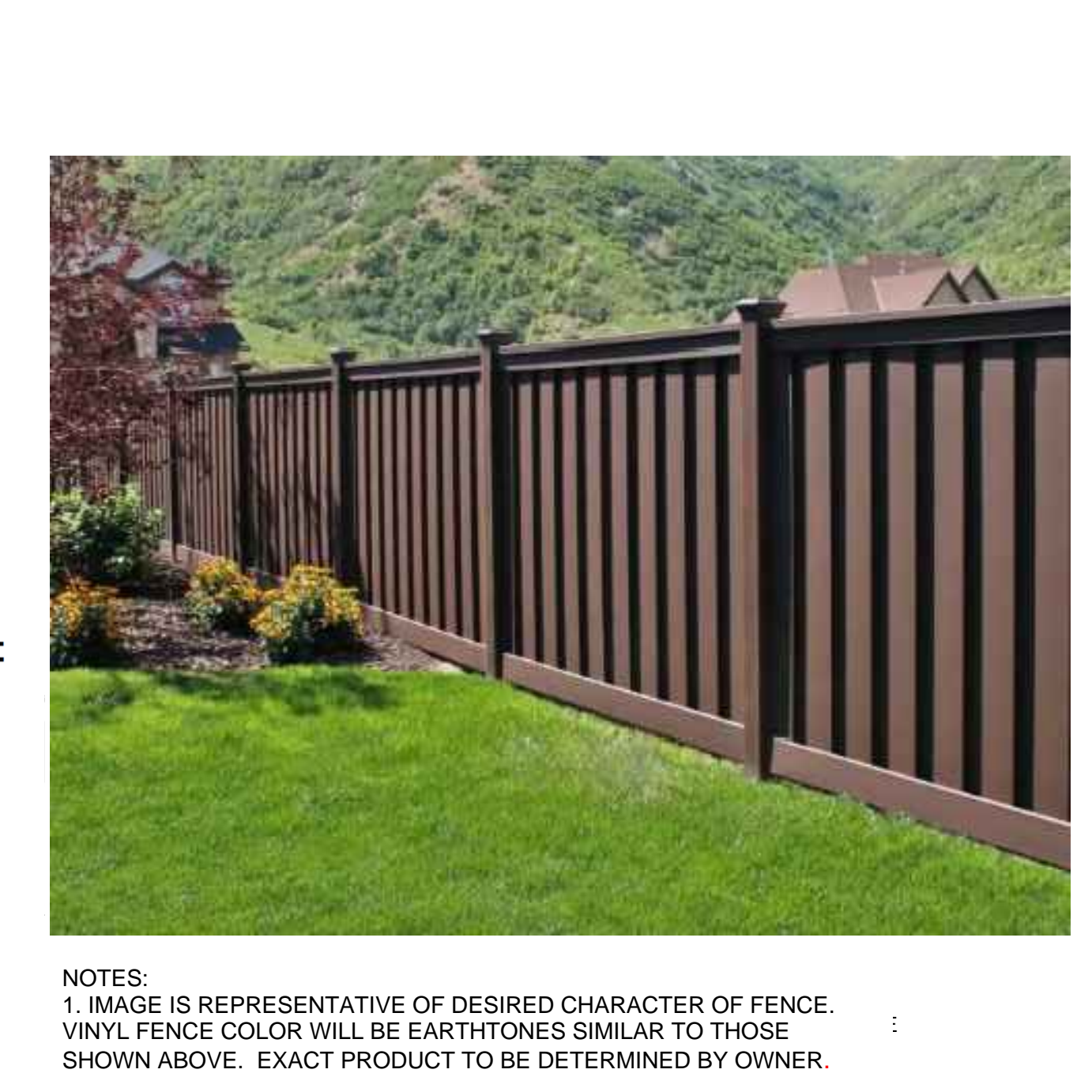
4 PRIMARY ENTRY MONUMENT
 NOT TO SCALE



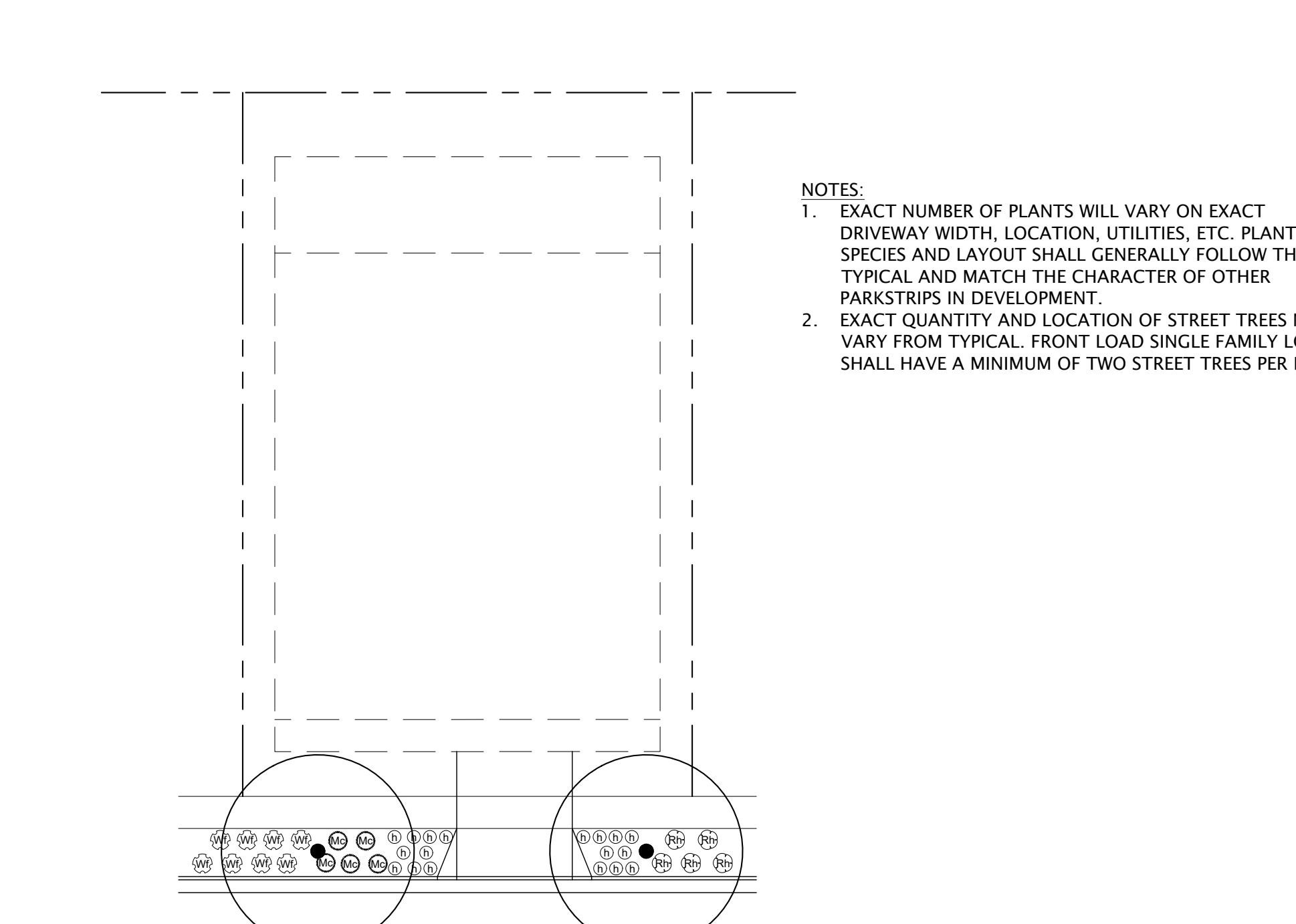
5 SECONDARY ENTRY MONUMENT
 NOT TO SCALE



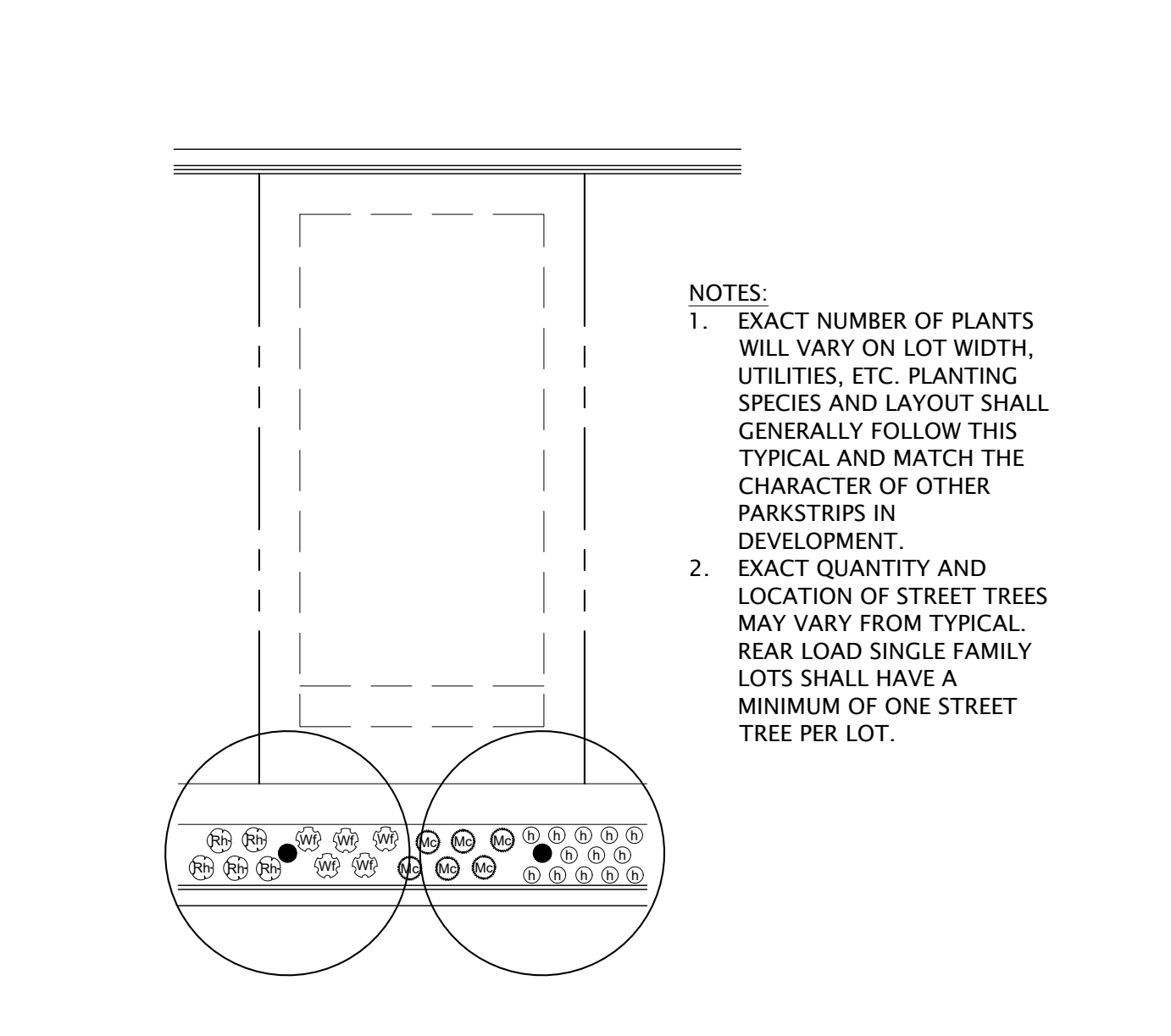
6 TWO RAIL CHARACTER FENCE
 NOT TO SCALE



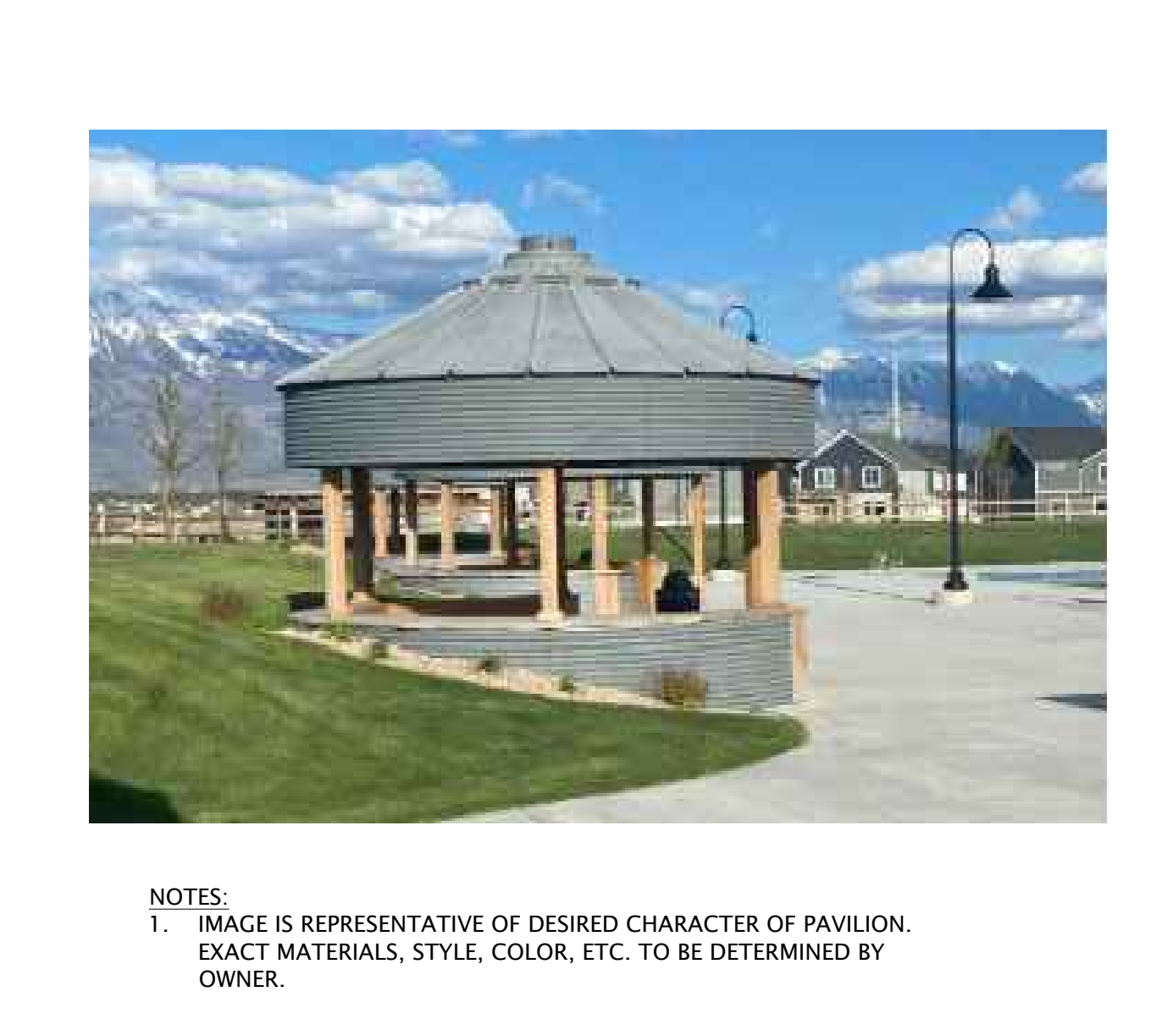
7 6' PRIVACY FENCE
 NOT TO SCALE



8 FRONT LOAD SINGLE FAMILY TYPICAL
 NOT TO SCALE



9 REAR LOAD SINGLE FAMILY TYPICAL
 NOT TO SCALE



10 SILO PAVILION
 NOT TO SCALE



11 ORNAMENTAL IRON FENCE (4' HEIGHT)
 NOT TO SCALE



12 SANDSTONE BENCH
 NOT TO SCALE

STEVENSON PRUD
 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

REVISIONS	
NO.	DESCRIPTION

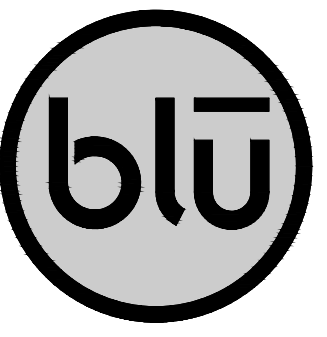
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 Project No: 25-116

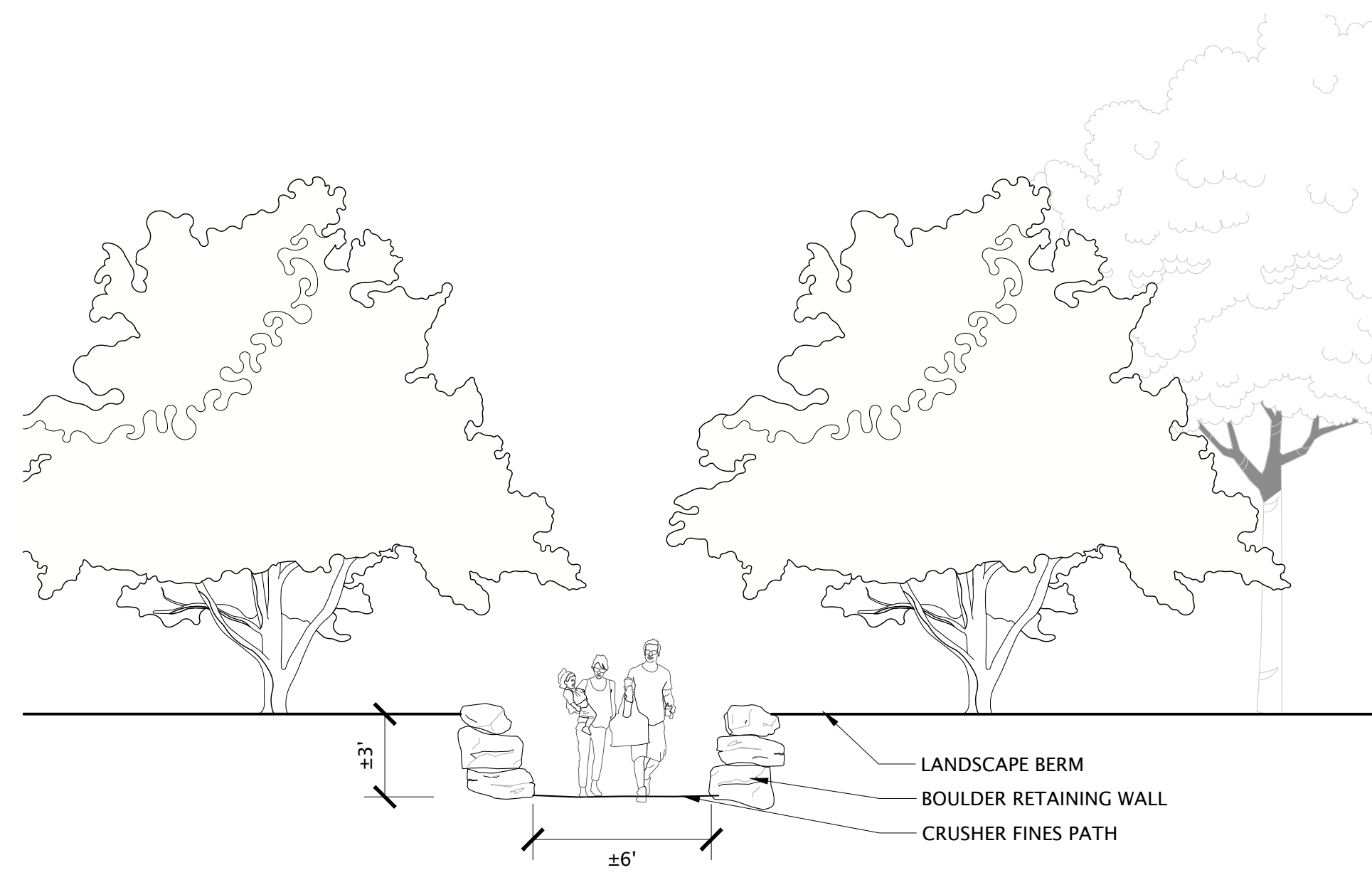
Drawing Title
LANDSCAPE DETAILS

Drawing number
LP502

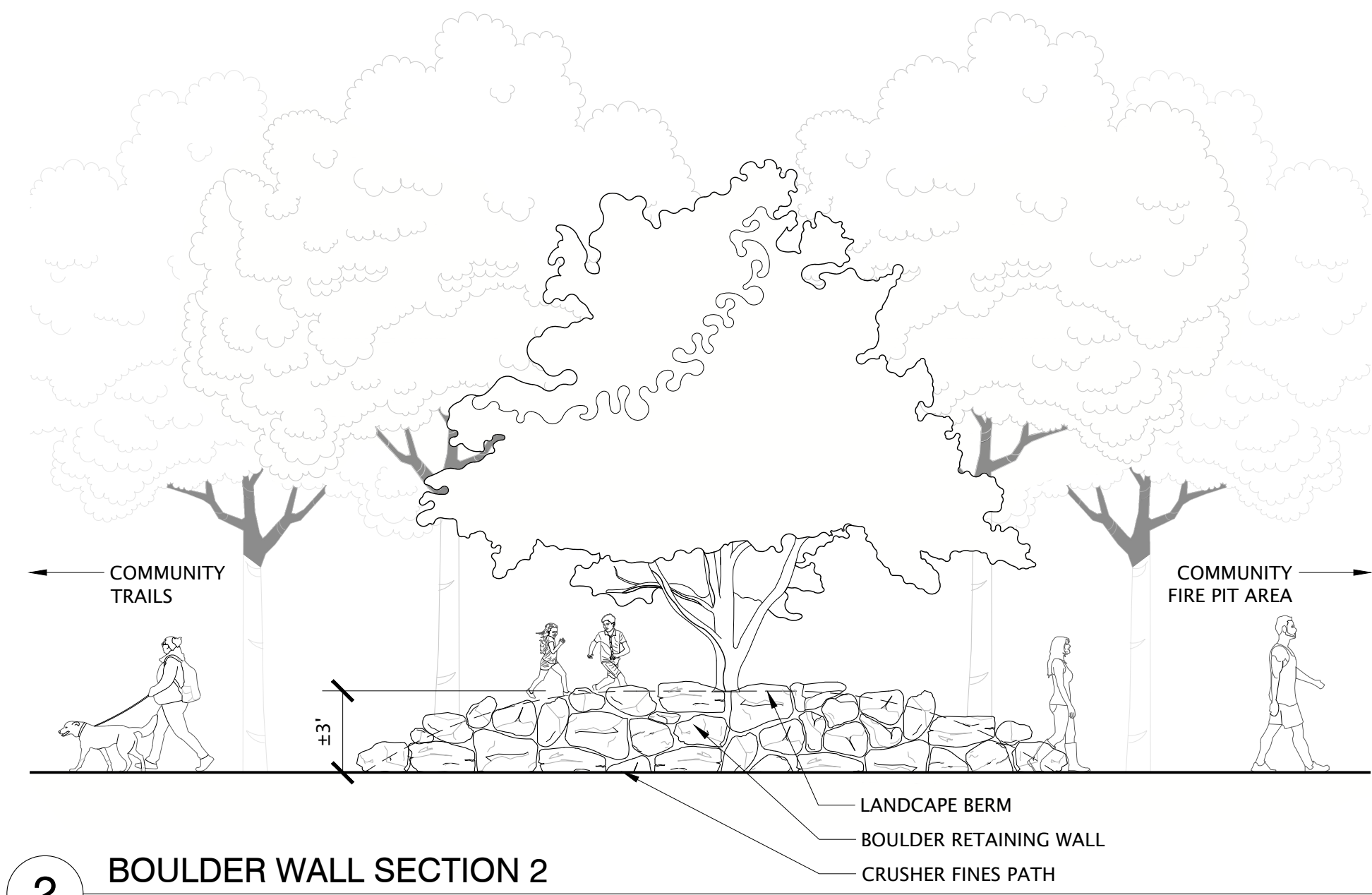
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1 BOULDER WALL SECTION 1
 NOT TO SCALE



2 BOULDER WALL SECTION 2
 NOT TO SCALE

STEVENSON PRUD
 GENTILE AND 2200 WEST STREET
 LAYTON, UT 84041

REVISIONS	
NO.	DESCRIPTION

Stamp

Designed By: RD
 Drawn By: THLW
 Date: 04/16/2026
 Checked By: RD
 Project No: 25-116

Drawing Title
**LANDSCAPE
 DETAILS**

Drawing number

LP503

PRELIMINARY SUBMITTAL

**LAYTON CITY
AGENDA ITEM COVER SHEET**

Item Number: 4

Subject: Proposal to Amend Layton City Municipal Code Title 19 “Zoning”, Chapter 19.21 “Temporary and Seasonal Uses”, Section 19.03.005 “Seasonal Outdoor Vendors”

Staff Contact: Brad McIlrath, City Planner

Background and Analysis: That applicant, Tyson Roberts, is requesting removal of the requirement that pumpkin patch seasonal vendors enclose the area with a six-foot temporary fence. Both Christmas tree lots and pumpkin patch areas are regulated by the same code, which requires the areas to be enclosed with a six-foot temporary fence around the perimeter of the use as outlined in Section 19.21.070.4.c.

Each year in the city there is typically only one pumpkin patch location and three to four Christmas tree locations. The general purpose of the temporary fencing is intended to reduce trespassing, vandalism, and/or theft of equipment and display items. Based on information provided by the Police Department, there have been no incidences related to either Christmas tree lots or pumpkin patches within the City that would have been solved or mitigated by the fencing requirement. Staff also conducted a review of the municipal codes of all cities within Davis County and outside of Layton City, Clinton City is the only other city in Davis County that requires any type of perimeter fencing for seasonal vendors.

Based upon the information provided by the Police Department, the data collected regarding how these uses are regulated throughout the County, and the limited use and scope of these two seasonal uses; the method of securing and screening should be left to the business owners. As such, Staff recommends the removal of the fencing requirement found in Subsection 19.21.070.4.c for Seasonal Outdoor Vendors. Other elements of the seasonal outdoor vendors ordinance for cleanliness and maintenance of the area are to remain unchanged.

The proposed ordinance would change the 6-foot perimeter fence, from being required, to optional. In addition, the proposed amendment includes a minor clarification for the required site plan associated with seasonal uses, the clarification aligns with the codification method found in the previous two lines.

Alternatives to the Motion are: 1) Recommend the Council adopt the proposed amendments to Layton Municipal Code Title 19 “Zoning”, Chapter 19.21 “Temporary and Seasonal Uses”, Section 19.03.005 “Seasonal Outdoor Vendors” as presented; 2) Recommend the Council adopt the proposed amendments to Layton Municipal Code Title 19 “Zoning”, Chapter 19.21 “Temporary and Seasonal Uses”, Section 19.03.005 “Seasonal Outdoor Vendors” with modifications; or 3) Recommend the Council deny the proposed amendments.

Recommendation:

Staff recommends the Planning Commission forward a recommendation of approval to the City Council to adopt the proposed amendment Layton City Municipal Code Title 19 “Zoning”, Chapter 19.21 “Temporary and Seasonal Uses”, Section 19.03.005 “Seasonal Outdoor Vendors” as presented.

19.21.070 Seasonal Outdoor Vendors

In addition to the regulations listed in Section 19.21.020, seasonal outdoor vendors shall also meet the following requirements:

1. Vendors shall not utilize more than 25% of the required off-street parking for the onsite merchant;
2. All seasonal outdoor structures and display areas shall have a professional appearance. All equipment associated with the use shall be maintained in a new or near-new condition. All retail items shall be displayed orderly, and all debris associated with the use shall be contained within the confines of the use and be cleaned at the end of each business day. A business license will not be issued or may be revoked if structures or equipment are tattered, torn, frayed, significantly faded, have chipped or peeling paint or otherwise do not have a professional appearance;
3. In addition to requirements (1) and (2) above, firework retailers shall adhere to the following standards:
 - a. Firework retailers are permitted in any CP-1 (Planned Neighborhood Commercial), CP-2 (Planned Community Commercial), CP-3 (Planned Regional Commercial), or C-H (Highway Regional Commercial) zoning district;
 - b. Firework retailers shall adhere to all requirements of the Layton Municipal Code Chapter 9.64 – Fireworks;
 - c. Each firework retailer shall be allowed up to two banners for signage each with a maximum size of 30 square feet. The use of banners shall be allowed in conjunction with a valid business license. No separate banner application is required and no additional banners are allowed; and
 - d. A firework retailer shall submit with each business license a picture or detailed drawing of any structure or equipment to illustrate conformance with all Building Code, Fire Code, and appearance standards.
4. In addition to requirements (1) and (2) above, Christmas tree and pumpkin patch areas shall adhere to the following requirements:
 - a. Christmas tree and pumpkin patch areas are permitted in any CP-1 (Planned Neighborhood Commercial), CP-2 (Planned Community Commercial), CP-3

(Planned Regional Commercial), or C-H (Highway Regional Commercial) zoning district;

- b. Christmas tree and pumpkin patch areas shall be allowed 50 square feet of signage with an approved business license. Signage shall be attached to fencing, an on-site structure, or on poles within the boundaries of the fenced area being used;
- c. Fencing may be used for screening and security purposes. If used, fencing shall be temporary, pervious to sight, and not greater than six feet tall.
~~Christmas tree and pumpkin patch areas shall be enclosed with a six foot temporary fence around the perimeter of the use;~~ and
- d. Applications shall include a detailed site plan with the following items in addition to those required in Section 19.21.020:
 - i. Location and dimensions of the display area;
 - ii. Location and number of parking stalls for customers; and
 - iii. Location of sales booth and any other temporary structure.

**LAYTON CITY
AGENDA ITEM COVER SHEET**

Item Number: 5

Subject: Proposed Amendments to Layton City Municipal Code, Title 19 “Zoning”, Chapter 19.02 “Definitions”; and Chapter 19.16 “Landscaping and Fencing, Fencing and Clear View”; to Incorporate Water-Wise Standards for Single-Family Dwellings

Staff Contact: Brad McIlrath, City Planner

Background:

In 2023 Layton City adopted significant changes to the landscaping standards to promote water-efficient landscaping designs throughout the City. A key component of the proposed ordinance language was the limitation of turf grass to be no greater than 35% of the front and side yard areas for single-family residential properties. At the time the code language was adopted to strongly encourage that limitation for all single-family developments and properties but not to have it be a requirement except for single-family properties in new Planned Residential Unit Developments (PRUDs).

The emphasis for the adoption of the water-efficient landscape standards was brought upon serious drought conditions at the time and efforts by the State Legislature during the 2023 legislative session to incentivize the conversion of high-water use landscapes to water-efficient landscapes. The changes made by the State Legislature at the time established a landscape exchange program, which is identified as the Utah Water Savers rebate. In coordination with the Weber Basin Water Conservancy District (WBWCD) Layton residents could then benefit from different landscape exchange programs offered by the State and administered by WBWCD. The two main programs offered for landscaping modifications were the “Flip Your Strip” program and the “Landscape Lawn Exchange” program. The Landscape Lawn Exchange rebate was available to all residents within a WBWCD municipality with specific criteria. In order for Layton City residents to qualify for the rebate, the City’s landscape ordinance would need to be modified to meet the criteria determined by the WBWCD. The proposed ordinance changes would limit the amount of turf grass in front and side yards to a maximum of 35% and not permit turf grass within park strips and areas less than eight feet in width for newly constructed detached single-family dwellings.

Upon adoption of the ordinance, certain criteria such as the 35% turf limitation were not applied as broadly as intended by WBWCD or the State of Utah. Even though the water-efficient landscape standards were a significant step in the promotion of water conservation in the City, the ordinance did not meet the thresholds to qualify Layton residents for the Landscape Lawn Exchange program. Residents have been able to qualify for the Flip Your Strip program and the results have been no other city has utilized that program more than Layton City.

With recent drought conditions, WBWCD has discontinued the Flip Your Strip program and is now processing all applications under the Landscape Lawn Exchange program. Layton residents are able to qualify for a rebate of \$1.25 per square foot. If the water-efficient landscape standards are updated to meet WBWCD and State requirements, Layton residents would then be able to qualify for a rebate of \$2.50 per square foot. In light of this recent update to the rebate structure, continued drought conditions, and the recent adoption of the Water and Preservation Element of the General Plan (which encouraged the proposed ordinance updates), Staff is proposing these updated changes to the water-efficient landscaping standards.

The proposed changes include the following updates:

1. Limitation of turf grass to no more than 35% of all front and side yard areas for all new and fully replaced single-family property landscapes.
2. Prohibition of turf grass in all park strips and landscape areas less than eight feet wide.
3. Updates to the available plant lists that can be used to include the Jordan Valley Water Conservancy District plan list as well as other lists or resources used for plant selection in the Great Basin region upon Zoning Administrator approval.
4. Other minor formatting changes related to these proposed changes.

Staff finds that the proposed changes align with the goals and objectives of the Layton City General Plan, namely the Water and preservation element; that the changes meet the water-efficient landscaping standards for Layton residents to qualify for the higher rebate; and that application of these standards will lead to greater water efficiency and conservation (where applied) for single-family property landscapes.

Alternatives to the Motion: Alternatives are to: 1) Recommend the Council adopt the proposed amendments to Title 19 “Zoning”, Chapter 19.02 “Definitions”, and Chapter 19.16 “Landscaping, Fencing, and Clear View as presented; 2) Recommend the Council adopt the proposed amendments to Title 19 “Zoning,” Chapter 19.02 “Definitions”, and Chapter 19.16 “Landscaping, Fencing, and Clear View with modifications; or 3) Recommend the Council deny the proposed amendments.

Recommendation:

Staff recommends the Planning Commission forward a recommendation of approval to the City Council to adopt the proposed amendments to Title 19 “Zoning”, Chapter 19.02 “Definitions”; and Chapter 19.16 “Landscaping and Fencing, Fencing and Clear View” as presented.

19.02.020 Definitions

"Lot" means a tract of land, regardless of any label, that is created by and shown on a subdivision plat that has been recorded in the office of the county recorder.

"Parcel": Any real property that is not a lot.

"Turf Grass": Means any living grass material that is commonly referred to as lawn, turf, grass, or other similar term. Artificial turf is not considered turf grass.

"Yard": A space on a lot or parcel, other than a court, unoccupied and unobstructed from the ground upward except as otherwise provided in this Title.

"Yard, Front": Any yard between the front lot property line and the setback line foundation of a main building and extending for the full width of the lot, as outlined in Diagrams A-2, A-3.

"Yard, Rear": A yard between the rear lot property line and the setback line rear foundation of a main building, extending across the full width of inside lot the yard excluding the corner side yards and for corner lots a yard between the rear lot line and the setback line of the building and extending between the side lot line and the front yard lying opposite thereto, as outlined in (See Diagrams A-2, A-3.)

"Yard, Side": Any yard between the side lot property line and the setback line foundation of a main building, extending from the front yard to the rear yard. (See as outlined in Diagrams A-2, A-3.)

"Yard, Street Corner Side": On corner lots, the yard determined by the owner to be the side yard on the street and running from the front setback line to the rear property line area(s) between the main building and the street(s) property line extending the full length of the lot, excluding the front yard, as outlined in Diagrams A-2, A-3.

19.16 Landscaping, Fencing and Clear View

19.16.035 Submission of Landscape Plans

1. General Landscape Plan Requirements.
 - a. Landscape plans for all commercial, industrial, mixed-use, multi-family, townhome, community use and PRUD developments, and common areas managed by a homeowner's association or community association shall be prepared and stamped by a Licensed Landscape Architect registered with the State of Utah (common areas for residential developments).
 - b. Preliminary landscape plan(s) shall be submitted prior to, or included with, the submittal for a development plan or preliminary plat. Final landscape plan(s) shall be submitted following approval of preliminary landscape plan(s) with a final application.
 - c. Landscape plans and details shall be drawn to-scale and in a professional manner with credible representations of planting specifications and site features and shall include the following; a north arrow, all buildings, parking lots, streets, sidewalks, walkways, detention areas, existing vegetation, and utilities shall be shown for reference and orientation.
 - d. Landscape plans shall be of adequate size and detail so the decision making body can see the land area to be planted and the appearance of plantings at 75% of mature growth.
 - e. Development Staff may reject plans which do not contain the minimum requirements outlined in this section.
2. Preliminary Landscape Plan. Preliminary landscape plans shall depict general ground coverage type (such as mulch, turf, or hardscape areas) and typical planting types (such as plant bed areas, turf areas, evergreen trees, or deciduous trees), with a summary of the area for each landscape surface type as a percentage of the total site.
 - a. Planting Schedule. The preliminary landscape plan shall be accompanied by a planting schedule that identifies the following:
 - i. common name and scientific name of each plant species;
 - ii. the size and type of plant material to be installed;
 - iii. identification of plant materials that are included on either the Weber Basin Water Conservancy District (WBWCD) or the Jordan Valley Water Conservancy District (JWWCD) recommended plant lists as required in 19.16.036.1.g. Alternative water-efficient or water-wise plant lists or resources utilized for the selection of successful plant

materials used in the Great Basin region may be used upon approval by the Zoning Administrator or designee.

3. Final Landscape Plan. Final landscape plans shall include specific landscape surface types and areas, an irrigation installation plan, and the construction design and detailed specifications of fencing or other landscape structures or features.
 - a. The landscape plan shall include notation and description of post-construction soil scarification and soil amendment and tilling to be included as part of the landscape installation (see 19.16.036.1.h).
 - b. Tabulation showing the percentage of plants shown in the WBWCD or JWCD recommended plant list or approved alternative resource.
 - c. Irrigation Plan. The irrigation plan shall show the irrigation zones, sprinkler head locations and types, drip irrigation plan, and water mains and valves consistent with the final landscape plan design. Sprinkler heads, bubblers and emitters shall be specified to not exceed the sufficient amount of water required for proper plant growth and survival.
 - d. Owner Acknowledgement. The landscape plan shall include an owner acknowledgement stating that the project developer/owner representative approves of the landscape plan, and agrees to pay the required bond fee and complete landscape installation as required in this Chapter. The Owner Acknowledgement shall be signed and dated prior to approval of the final landscape plan.

HISTORY:

Ord. No. [21-07](#), Adopted 6/17/2021

19.16.036 Plant Material Specification and Installation

1. Planting Design Standards. The following standards apply to all commercial, industrial, mixed-use, multi-family, townhome, community use and PRUD developments, and common areas managed by a homeowner's association or community association:
 - a. the maximum percentage of turf grass (~~tawn~~) area applied to nonresidential uses, and townhome, multi-family, or mixed-use residential development landscape areas shall be 15%, except for additional turf grass area that may be applied to outdoor recreational use areas or a quasi-public facility such as a cemetery;
 - b. turf grass area applied to a single family residential use within a PRUD development shall be limited to 35% of the total landscape area of the lot;
 - c. turf grass shall not be installed in areas less than eight feet wide;
 - d. turf grass shall not be allowed in landscape buffers, parking lot landscaping and other planted bed landscape areas;

- e. turf grass shall not be allowed on slopes with a grade over 25%;
 - f. at least 80% of shrubs and ornamental grasses shall be planted and maintained in groupings of at least three to increase the microclimate shade area above plant root zones, and to provide a pleasing and balanced aesthetic of plant material massing in the landscape. Groupings may consist of straight rows, grids or triangulation planting patterns;
 - g. Water-wise plant materials. At least 90% of the plants and trees specified for a project landscape plan shall be selected from the WBWCD, JWCD, or an approved alternative recommended plant list or resource. These plant materials are suitable for the local climate with respect to temperature ranges and moderate to high drought tolerance;
 - h. Soil Scarification, Soil Amendments, and Tilling.
 - i. Soil scarification, the process of breaking up soil by fracturing or tilling, is required to a depth of at least six inches to allow for water and air exchange in soil following site work compaction.
 - ii. Soil amendments (organic material) shall also be added and tilled into the soil to a minimum depth of six inches to increase organic content and improve water retention.
 - iii. Soil amendment type and quantity shall be recommended by the Landscape Architect (designer) based on a review of the soil conditions.
 - i. All buildings shall incorporate plant beds with foundational plantings along elevations visible from street(s), except where pedestrian and loading access approaches require a paved surface, patio or walkway adjacent to the building.
 - i. The typical plant bed width shall be a minimum of three feet; the minimum plant bed width shall be one and a half feet for ornamental grasses, perennials, and ground covers, and one foot for planters for climbing vines.
 - ii. Plant beds may be substituted by planters and streetscape amenities as approved by the Zoning Administrator and detailed in Table 16-1, Footnote 5 - Urban Streetscape Alternative.
 - j. Deciduous trees shall have a minimum two inch caliper trunk measured at a height of 48" and coniferous trees shall be balled and burlapped and a minimum of 48" in height. All heights to be measured from the finished landscape surface.
2. Irrigation Design Standards.
- a. Irrigation Controller. Landscaped areas shall be provided with a WaterSense labeled smart irrigation controller which automatically adjusts the frequency

and/or duration of irrigation events in response to changing weather conditions. All controllers shall be equipped with automatic rain delay or rain shut-off capabilities ~~(WBWGD)~~.

- b. Each valve shall irrigate a landscape with similar site, slope and soil conditions, and plant materials with similar watering needs. Turf and non-turf areas shall be irrigated on separate valves. Drip emitters and sprinklers shall be placed on separate valves ~~(WBWGD)~~.
- c. Drip emitters or bubblers shall be provided for each tree planted in landscape beds. Bubblers shall not exceed one and a half gallons per minute per device. Bubblers for trees shall be placed on a separate valve unless specifically exempted by the City due to the limited number of trees on the project site.
- d. Drip irrigation or bubblers shall be used to irrigate plants in all non-turf areas.
- e. Pop-up spray heads shall be at a minimum of four inches in height to clear turf.
- f. Sprinklers shall have matched precipitation rates with each control valve circuit.
- g. Sprinkler heads shall be attached to rigid lateral lines with flexible material (swing joints) to reduce potential for breakage.
- h. Valves with spray or stream sprinklers shall be scheduled to operate between 6 p.m. and 10 a.m. to reduce water loss from wind and evaporation.
- i. Valves shall be programmed for multiple repeat cycles where necessary to reduce runoff, particularly on slopes and soils with slow infiltration rates.

HISTORY:

Ord. No. [21-07](#), Adopted 6/17/2021

19.16.038 Single Family Residential Lot/Parcel Landscaping Requirements

1. As required in 19.16.030.2, landscaping shall be completed for detached single family dwellings on individual lots/[parcels](#) within a period of one year for the front [and side](#) yard areas and a period of two years for the rear yard area beginning at the time of final certificate of occupancy is issued.
2. [The following standards apply to all new single-family residential landscapes.](#)
 - a. Landscaping areas on single family residential lots/[parcels](#) with slopes greater than ten percent shall be completed within a period of one year.
 - b. Landscaping shall be installed in front, [side, and corner side](#) yards ~~between the front line of the house and the front property line along the entire width of~~

~~the property, excluding the driveways. On corner lots, landscaping shall be installed in the areas between the property line and the side of the house between the front and rear property lines which are visible from the public right-of-way.~~

- c. Front and side yards shall comply with the following standards for all new construction and fully remodeled landscapes. A fully remodeled landscape is deemed to be the entirety of one area (front, side, or corner side yard) alone or the combination of more than one entire area. The net combined landscaped area in ~~a~~ front and side yards shall include:
- i. a minimum of one tree;
 - ii. a minimum of 35% ~~50%~~ coverage of plant materials using a combination of shrubs, annual plants, perennial plants, ground cover, and/or turf grass. Species, size, and placement of landscape elements shall be determined by the homeowner.
 - iii. Turf grass shall not exceed 35% of the net combined landscaped area of front and side yards as defined in Section 19.02.020.
 - iv. Turf grass shall not be placed in areas within the front and side yard less than eight feet wide.
 - v. Overhead/popup spray irrigation shall be limited to turf grass areas.
- d. The following park strip design and landscaping standards shall apply:
- ~~No more than 50% of the park strip may be poured concrete or similar solid paving surface for driveway, walkway approaches, and vehicle drop off areas. Asphalt is not allowed in the park strip. Rock or bark mulch may be used in single family residential park strips. To prevent mulch from spreading onto sidewalks or street areas, bark/wood mulch and pea gravel or similar rock mulch less than a minimum sorted size of one inch, shall not be allowed in the park strip or adjacent to a street or sidewalk, except for the following:~~
- ~~i. rock mulch of the same type, color and texture may include a variety of cobble sizes; or~~
 - ~~ii. crushed aggregate fines intended for pathway, or similar application may be applied:~~
 - i. Turf grass is prohibited within park strips.
 - ii. No more than 50% of the park strip may be poured concrete or similar solid paving surface for driveway, walkway approaches, and vehicle drop off areas.
 - iii. Asphalt is not allowed in the park strip.

- iv. Rock or bark mulch may be used in single family residential park strips. To prevent mulch from spreading onto sidewalks or street areas, bark/wood mulch and pea gravel or similar rock mulch less than a minimum sorted size of one inch, shall not be allowed in the park strip or adjacent to a street or sidewalk, except for the following:
 - 1. Rock mulch of the same type, color and texture may include a variety of cobble sizes; or
 - 2. Crushed aggregate fines intended for pathway, or similar application may be applied.

~~2.3.~~ Where secondary water is not available, at the time the water supply line to a house is installed, the builder shall furnish and install a stop-and-waste valve with an access sleeve and capped mainline to the surface to facilitate future sprinkler system installation. The stop-and-waste valve may also be located inside the home with a mainline extended to the exterior of the foundation wall and capped (see Development Plan Requirements in Section 19.13.050.3.f.iii)

~~3.4.~~ It is highly recommended, but not required, that single family residential properties install a water-wise landscape using the following elements:

- a. soil scarification and soil amendment as outlined in 19.16.036.1.ih;
- b. irrigation design standards as outlined in 19.16.036.2;
- c. park strip design as outlined in 19.16.070.a. and 19.16.075;
- ~~d. turf grass should not exceed 35% of the lot landscape area property and not placed in an area less than eight feet wide as outlined in 19.16.036.1.c;~~
- d. 90% of plant materials should be water-wise as outlined in the WBWCD or JWCD recommended plant lists, or approved alternative resource as outlined in 19.16.036.1.h;
- e. rock/bark mulch used in plant beds should have a depth of three to four inches to prevent weed growth and retain soil moisture as outlined in 19.16.050.2.

HISTORY:

Ord. No. [21-07](#), Adopted 6/17/2021