



CALL TO ORDER—INVOCATION- PLEDGE OF ALLEGIANCE

PUBLIC FORUM: Members of the audience may bring to the attention of the Mayor and Council any item that is not on the agenda. Please sign in. Speakers are generally given two to three minutes, at the discretion of the Mayor to address the Council. State law prohibits the Council from acting on items that do not appear on the agenda. **The Mayor reserves the right to amend the order of the agenda items and to delete items no longer required for consideration.**

PRESENTATION ITEMS:

- **Pioneer Days Executive Committee.**
- **Presentation of donation check to Mapleton Community Theatre from Northridge Valley Event Center proceeds from the First Annual Gala for the Arts in support of the new community theatre.**
- **Mapleton Youth City Council to present ideas for a future library.**

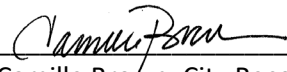
CONSENT AGENDA: Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Council may ask to remove any items from the consent agenda to be considered individually. Unless that is done, one motion may be used to adopt all recommended actions. If the public has questions or comments regarding the consent agenda, please contact staff prior to the meeting.

1. Approval of City Council meeting minutes- May 6, 2026
2. Consideration of a Resolution appointing a new alternate member of the Planning Commission. **Sean Conroy, Assistant City Administrator/Community Development Director**
3. Consideration of a resolution to approve the contract with Holbrook Asphalt for \$285,034.43 for the 2026 HA5 High Density Mineral Bond project. **Rob Hunter, Public Works Director/City Engineer**
4. Consideration of a resolution to approve the contract with Keller Associates for \$97,800 for the South Main Street Improvements design. **Rob Hunter, Public Works Director/City Engineer**

**MAYOR, COUNCIL AND ADMINISTRATIVE REPORTS
ADJOURNMENT FROM REGULAR SESSION**

CLOSED MEETING:

Mapleton City Council may adjourn the regular meeting and convene into a closed session pursuant to §52-4-205, as provided by Utah Code.



Camille Brown, City Recorder

The public is invited to participate in all Mapleton city council meetings. This meeting will also be streamed via You Tube at Mapleton City Meetings. There will be no public comment via You Tube viewing. The link for the meeting is: <https://www.youtube.com/channel/UCx8-QGmCOXWQOsZq8pGYrsAgendag>

THIS AGENDA IS SUBJECT TO CHANGE WITH A MINIMUM OF 24 HOURS NOTICE

A copy of the agenda was posted at the City Offices May 14, 2026, at 4:00 pm also delivered to the Mayor, City Council members. In compliance with the Americans with Disabilities Act, the city will make reasonable accommodations to ensure accessibility to this meeting. If you need special assistance to participate in this meeting, please contact the City Recorder at 801-806-9106 at least three working days prior to the meeting.



City Council Staff Report

Date:

5/20/2026

Applicant:

N/A

Location:

N/A

Prepared By:

Sean Conroy, Community
Development Director

Public Hearing:

No

Attachments:

Resolution

REQUEST

Consideration of a Resolution appointing a new alternate member of the Planning Commission.

BACKGROUND & DESCRIPTION

Mapleton City Code (MCC) Chapter 16.03.010 authorizes the mayor to appoint citizens to the Planning Commission with the consent of the City Council. The Commission consists of five regular members and up to two alternates. The Commission currently has just one alternate. The mayor is recommending Scott Colagrossi to fill the vacant alternate position.

RECOMMENDATION

Adopt the attached Resolution.

RESOLUTION NO. 2026-

A RESOLUTION OF THE MAPLETON CITY COUNCIL APPOINTING A NEW ALTERNATE MEMBER OF THE PLANNING COMMISSION

WHEREAS, Mapleton City Code (MCC) Chapter 16.03.010 authorizes the Mayor to appoint citizens to the Planning Commission with the consent of the City Council; and

WHEREAS, MCC Chapter 16.03.010 indicates that the commission shall consist of five regular members and up to two alternates; and

WHEREAS, MCC Chapter 16.03.020 indicates that regular commissioners may serve up to two consecutive three-year terms.

NOW THEREFORE, BE IT RESOLVED by the City Council of Mapleton, Utah, to appoint Scott Colagrossi to serve as an alternate member of the Planning Commission.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF MAPLETON, UTAH, this 20th Day of May, 2026.

Therin Garrett
Mayor

ATTEST:

Camille Brown
City Recorder

Publication Date:

Effective Date:



City Council Staff Report

Date:

May 20, 2026

Applicant:

Mapleton City Public Works

Location:

Various existing streets

Prepared By:

Rob Hunter, City Engineer/
Public Works Director

Public Hearing:

No

Attachments:

Holbrook Proposal
Project Map

REQUEST

Approve the contract with Holbrook Asphalt for \$285,034.43 for the 2026 HA5 High Density Mineral Bond project.

BACKGROUND & DESCRIPTION

In July 2016 the City Council adopted a Road Utility Fund to be assessed for road maintenance projects. In addition to this fund, the City receives Class C road funds from the State for roadway improvements for City streets. It is the responsibility of the Public Works Director to allocate these funds to ensure the city street network is maintained and preserved in order to avoid the premature need of costly roadway reconstruction.

EVALUATION

The HA5 High Density Mineral Bond treatment is a proprietary product only available through Holbrook Asphalt, and is widely used throughout Utah County and the State. For several years, Mapleton City has direct-selected Holbrook Asphalt to apply HA5 on Mapleton City roads due to its high performance in providing several years of asphalt protection. This proposal complies with State Code, which allows municipalities to award individual road projects up to ±\$375,000 (increases every year by the construction cost index) without a standard bid process.

Public Works recommends continuing to use Holbrook Asphalt’s HA5 High Density Mineral Bond as one of the local street pavement maintenance treatments.

RECOMMENDATION

Approve the contract with Holbrook Asphalt for \$285,034.43 for the 2026 HA5 High Density Mineral Bond project.

RESOLUTION NO. 2026-

A RESOLUTION OF THE CITY OF MAPLETON, UTAH TO APPROVE THE CONTRACT WITH HOBROOK ASHALT FOR \$285,034.43 FOR THE 2026 HA5 HIGH DENSITY MINERAL BOND PROJECT

WHEREAS, the City Council values and prioritizes well-maintained City streets; and

WHEREAS, the City has a Road Utility Fund created specifically for the maintenance and preservation of City streets; and

WHEREAS, the Class C Road funds are also available to fund road maintenance projects; and

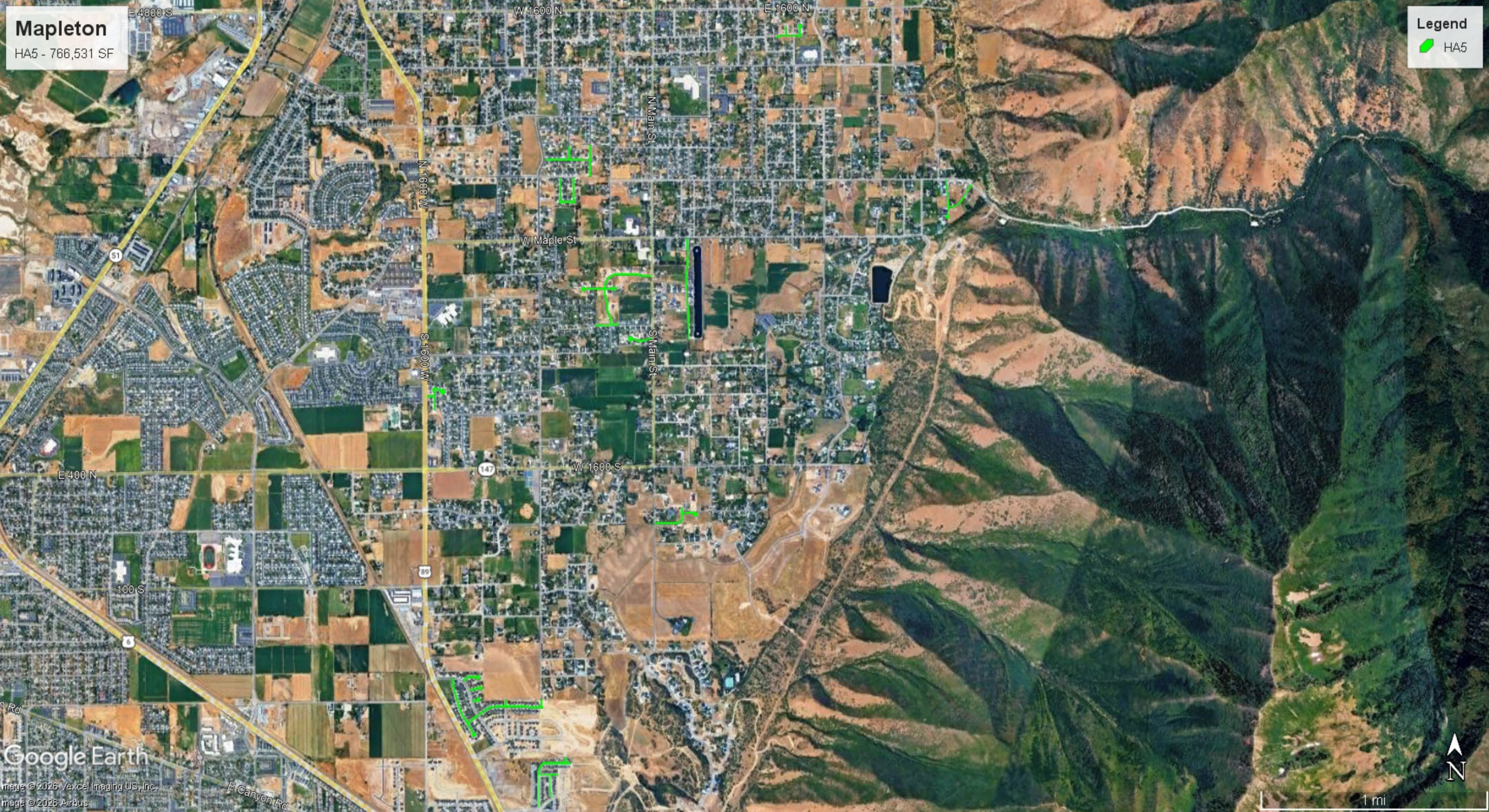
NOW THEREFORE, BE IT RESOLVED by the City Council of Mapleton, Utah, that: the City approves the contract with Holbrook Asphalt for the bid proposal of \$285,034.43 for the 2026 HA5 High Density Mineral Bond project.

This resolution adopted this 20th day of May 2026, by the City Council of Mapleton City, Utah.

Therin Garrett
Mayor

ATTEST:

Camille Brown
City Recorder



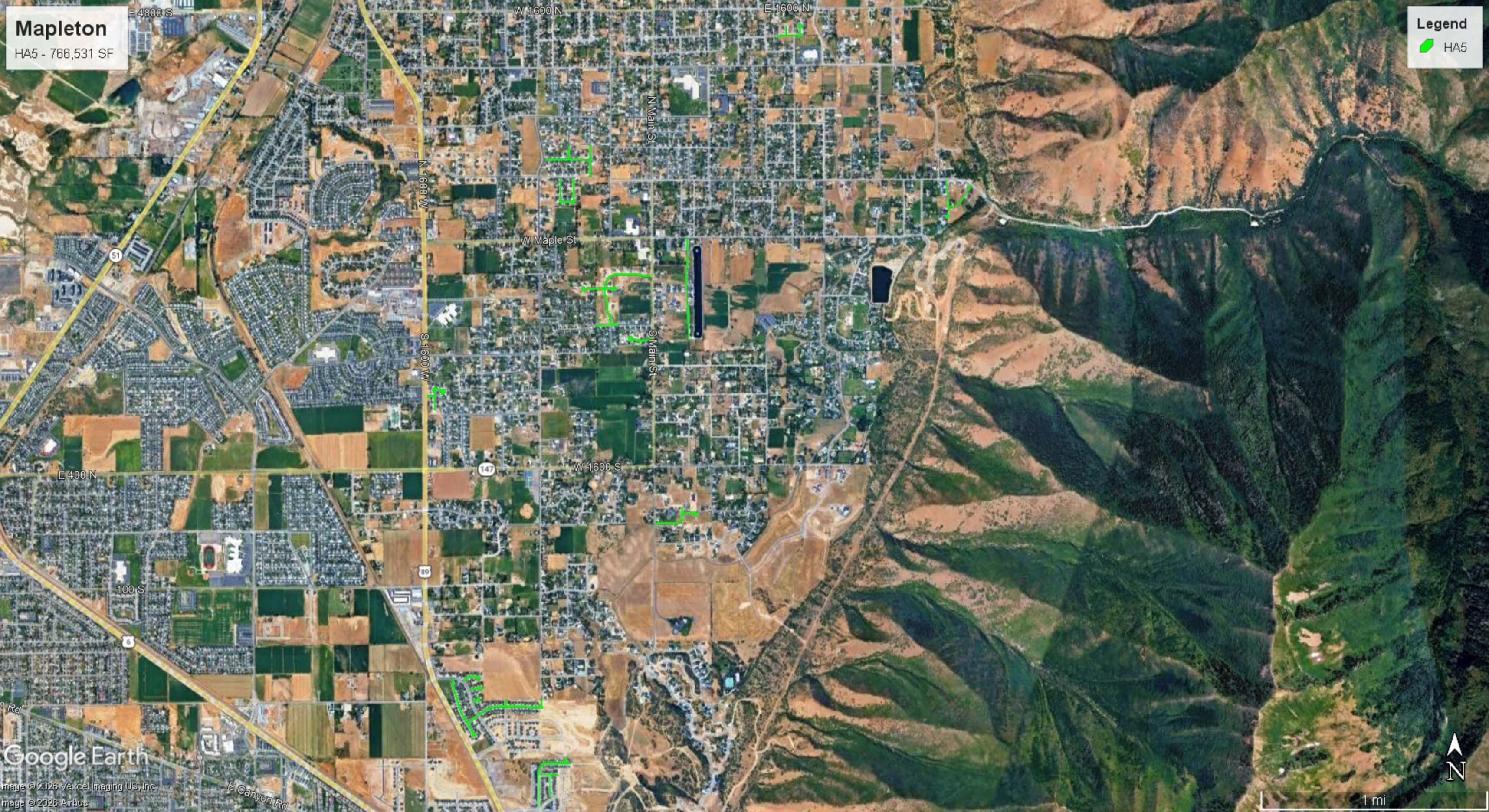
Mapleton
HA5 - 766,531 SF

Legend
HA5

Google Earth

Image © 2025 Vexcel Imaging US, Inc.
Image © 2025 Airbus

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Project Location	Proposal #	Date Issued	PO/LD #
City of Mapleton Various Locations Mapleton UT 84664	HAU953833	5/4/2026	

Terms
Due Upon Completion

Adviser Information
Aaron Eppley
P: 435-703-0023 | E: aaron@holbrookasphalt.com

Description
Mapleton HA5 26

Bill To

City of Mapleton
Attn: Seth Barrus
125 W 400 N
Mapleton UT 84664

Item	Quantity	UM	Rate	Amount
Map				
HA5 Clean & prepare surface using high pressure air & wire bristle brooms. Install "HA5" High Density Mineral Bond advanced performance pavement preservation treatment. No guarantee surface treatments will adhere to areas saturated with motor oil. HA5 meets demands of High Density Mineral Bond Specification established by agency engineers.	765,113	SqFt	0.36	275,440.68
Paint and Stripe Includes all stripes, symbols, and lettering on the pavement surface to follow existing pattern. Pricing is based on work being completed in one day (one mobilization), unless stated otherwise. Any striping or painting items not specified on this proposal line are not included. Any addition or reduction in work requires a signed change order. Change order will be billed upon completion.		LS		2,250.00
HA5 HA5 Traffic Control		LS		7,343.75
Note (1) Traffic control will require 24-hour road closures. If additional closures or methods are required, additional traffic control costs will be added. (2) Taxes are not included in this proposal. If required by jurisdiction, those costs will be added to the project invoices. (3) Standard cleaning is included in the unit price. Items NOT considered to be standard cleaning includes heavy dirt, mud, construction or landscaping debris, and foreign material on the pavement surface. All non-standard cleaning requirements must be completed and approved by a Holbrook Asphalt representative prior to the start of project. If required, additional/heavy cleaning will be invoiced at \$1,750 per crew per day.				

Total	\$285,034.43
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Please sign for proposal acceptance: **Do not sign this page, see final page for signing**

Date	Number
5/4/2026	HAUB22014

Terms and Conditions

TERMS AND CONDITIONS: Any proposals returned to Holbrook Asphalt Company ("Contractor") more than 14 days after the proposal is submitted to the Client is subject to revision, updated pricing, or may be voided by Contractor. Engineering, tests, permits, inspection fees and bonding fees are not included in price unless stated otherwise. Pricing based on no more than area and depth dimensions listed. Upon construction, if it is determined that concrete or asphalt area or depth is greater than the estimation, client agrees to pricing adjustment as a result of project overrun. Client specifically represents and warrants that either the Client is the owner of the premises where the work is to be performed, or, in the alternative, Client has authority from the owner of the premises authorizing the Work to be performed on the said premises.

GENERAL EXCLUSIONS: Contractor is not liable for any ADA compliance, if needed, Client should consult with an ADA compliance professional prior to specific project approval. Contractor not responsible for claims related to pavement markings or lack thereof during or following project work. Contractor will not be responsible for its product failure if said failure is directly or indirectly caused by "Existing Surface Conditions," as defined below, and any written or implied warranty will become void. Existing Surface Conditions are defined as: water drainage issues or delamination or failure of existing paint, asphalt, surface sealer, wearing course or any other material that is in a failing or in an unstable state. If any portion of the project area has Existing Surface Conditions not caused or created by Contractor that impact Contractor's HA5 product or any other product Contractor applies to project area, the warranty is void. Client is responsible for having entry gates open on day of work. Any damage to gates, sensors or loop sensors above or below asphalt are responsibility of Client. Any hot-applied sealants will not be exactly level with pavement surface as material settles to fill voids. There may also be excess material on pavement surface. Regarding asphalt, concrete and excavation work: Contractor is not responsible for subgrade scarification, re-compaction or concrete damage due to removal of asphalt. Contractor is not responsible for existing condition of subgrade, drainage in areas of less than 1% grade, adjustments of utilities, manholes and valve covers. Contractor is not responsible for any damage to underground utilities and cost to repair the same.

PAYMENT TERMS: Payment is due upon completion of work (Completion by line item 'Progress Billing' and/or completion of project core). Payment is due upon Client receipt of invoice. Client understands and agrees that it will be billed for towing or relocation as incurred and will be due on receipt, this includes projects involving warranty work. If the Client has a discrepancy with the Contractor regarding the contracted work, a retention of 5% of invoice up to a maximum of \$750.00 may be retained by Client up to 45 days. Client agrees that it may be billed as each line item is completed and each item may become their own respective invoice and due upon receipt of the same. Contractor reserves the right to charge up to 50% of Proposal Total if client cancels project within 25 days of scheduled project commencement. Upon request, post-project walk-throughs may be scheduled to review concerns.

Client agrees that interest accrues on all past-due amounts at 14% per annum from invoice date, until paid in full; and may be billed collection fees of up to 40% and all fees incurred by collection efforts. Total Proposal price includes one mobilization unless stated otherwise. Additional mobilizations may be billed up to \$3,500 per additional mobilization. This agreement provides Client written Notice of Right to Lien. Pricing does not include bonding or prevailing wage/Davis Bacon Certification, unless stated otherwise. By signing this proposal (contract), Client agrees that Contractor may not be held liable for delays, conditions, or Acts of God beyond their control, which situations may delay or cause cancelation partially or entirely on any project. Delays include project demand and material supply.

INSURANCE: These insurance limits are listed by Contractor to inform Client of such. Any premiums above the following to be paid by Client. This disclosure overrules any other contract language wherein Contractor agrees to differing limits. Certificates available upon request. **GENERAL LIABILITY:** \$1m (inc.), \$2m (agg.) **AUTO:** \$1m **UMBRELLA:** \$2m (inc.), \$2m (agg.) **PERSONAL INJ:** \$1m **WORKERS COMP:** \$1m

ADDITIONAL HA5 WARRANTY LIMITATIONS AND EXCLUSIONS: No claim will be honored unless Holbrook Asphalt has been notified in writing and is given the opportunity to inspect the claimed failure. Surface treatments applied previous to HA5 being installed are not covered under this warranty. (For example, if a previously applied preservation treatment is peeling or delaminating from the pavement surface—even if the surface was cleaned and prepped prior to HA5 being installed on top of it—this warranty does not cover HA5 in these circumstances.) Any attempt to repair the surface prior to Holbrook Asphalt's inspection will render this warranty invalid. Areas where HA5 was installed over pavements with motor oil, brake fluid, hydraulic fluid, or other substances that disturb the adhesion of HA5 and that lead to delamination are not covered under warranty. This warranty does not cover structural defects in the asphalt (e.g. base failure or damage caused by faulty construction and or design), cracks, exposure to fuel, oil, or other chemicals determined to be harmful to the HA5 treatment, areas exposed to frequent sprinkler water run-off, or standing and/or ponding water, damage caused by heavy truck or equipment traffic, damage caused by equipment inflicting excessive stress or scraping to the pavement surface, damage caused by landscaping installation, or damage caused by earthquakes or other acts of God. Mechanical disturbances by snowplow chatter, studded tires, etc. are excluded from warranty. This warranty is not valid for areas located in elevations above 6500 feet. A valid Warranty Certificate must be signed with a copy returned to Holbrook Asphalt within 60 days of the HA5 installation for the warranty to be valid and executable.

Pre-mature wear of HA5 during the five-year period is defined as anything less than 70% residual inter-aggregate coverage of HA5 to the asphalt binder of the treated surface. If premature failure of HA5 is deemed by Holbrook Asphalt or an approved third-party expert within the five year period, reinstallation will take place at no charge or at the reduced rate identified on the Warranty Certificate for the project. Contractor reserves the right appoint the third-party expert should there be a dispute regarding the premature failure between the Client and Contractor. Client and Contractor agree to be bound by and abide by the decision of the third party expert regarding whether a premature failure has occurred.

I have read and agree with these terms and conditions. I elect to proceed with the signed option below.

HAU953833 - Mapleton HA5 26 (Sign to accept this proposal)

Name _____ Signature _____ Date _____ Contractor _____



City Council Staff Report

Date:

May 20, 2026

Applicant:

Mapleton City Public Works

Location:

S Main St – 1600 S to Magnolia Lane

Prepared By:

Rob Hunter, City Engineer/
Public Works Director

Public Hearing:

No

Attachments:

Proposed scope and fee

REQUEST

Approve the contract with Keller Associates, Inc. for \$97,800 for the South Main Street Improvements design.

BACKGROUND & DESCRIPTION

In March, Public Works presented proposed roadway projects to the City Council. One of the proposed projects was for South Main St from 1600 South to Magnolia Lane. This project is needed because of increasing traffic on South Main approaching 1600 South from the south, where pavement is very narrow and in very poor condition.

The project would complete the missing segment of pressurized irrigation from Magnolia Lane to 1600 South. The plan would also include widening pavement to the full street width approaching the intersection with 1600 South, curb and gutter on both sides approaching the 1600 South intersection, and curb & gutter and sidewalk on the east side down to existing improvement north of Magnolia Lane. The project will also include either removal and repaving or milling and overlaying the existing poor condition pavement, as appropriate. Additional right-of-way will be required from some adjacent property owners for the roadway project. Therefore, Public Works will begin coordination with adjacent property owners at the start of survey and design, and project details will be finalized as part of that coordination.

The direction from the City Council was to move forward with design for the S Main Improvements. Public Works selected Keller Associate, Inc. for the project design, who is on our small road design projects list (design contracts less than \$100,000).

EVALUATION

Public Works considers the proposed design costs to be fair for the scope of work, and as a percentage of the anticipated construction costs. As presented to the City Council in March, Public Works proposes to use Class “C” road fund reserves to pay for this design. The future construction will be a combination of Class “C” Road funds, transportation utility fee, and pressurized irrigation funds.

Note that survey, including property boundary survey and documentation to aid Public Works in coordinating with adjacent property owners on right-of-way needs, is a separate survey firm and not included in this contract.

RECOMMENDATION

Approve the contract with Keller Associates, Inc. for \$97,800 for the South Main Street Improvements design.

RESOLUTION NO. 2026-

A RESOLUTION OF THE CITY OF MAPLETON, UTAH TO APPROVE THE CONTRACT WITH KELLER ASSOCIATES, INC. FOR \$97,800 FOR THE SOUTH MAIN STREET IMPROVEMENTS DESIGN

WHEREAS, the Mapleton City Transportation Master Plan shows street improvements on South Main St south of 1600 South as a high priority need; and

WHEREAS, the Mapleton City Water Systems Master Plan also shows the need to complete the pressurized irrigation system on South Main Street; and

WHEREAS, the City has funding available to cover design costs for this project;

NOW THEREFORE, BE IT RESOLVED by the City Council of Mapleton, Utah, that: the City approves the contract with Keller Associates, Inc. for \$97,800 to design the South Main Street Improvements.

This resolution adopted this 20th day of May, 2026, by the City Council of Mapleton City, Utah.

Therin Garrett
Mayor

ATTEST:

Camille Brown
City Recorder

**TASK ORDER NO. 1
FOR
SOUTH MAIN STREET IMPROVEMENTS**

This Task Order, entered between Mapleton City (“Owner”), and **Keller Associates, Inc.** (“Consultant”), is subject to the provisions of the Agreement for Professional Services (“Agreement”), dated 11/7/2024 and is effective as of the date of the last signature to the Agreement (Effective Date).

Owner and Consultant agree to the following scope of services, schedule, and compensation.

SCOPE: Consultant’s services under this Task Order include roadway and pressure irrigation design for Main Street between 1600 South and Magnolia Lane, as further described in Attachment A.

SCHEDULE: The Task Order shall commence on the Effective Date of the Agreement. Consultant anticipates completing its services in approximately 200 days.

COMPENSATION:

Basic Services. As compensation for services to be performed by Consultant, Owner will pay Consultant on a lump sum basis with an estimated fee of \$97,800 (ninety seven thousand eight hundred dollars).

Additional Services. Compensation for performing Additional Services will be pursuant to a mutually agreed upon Addendum to this Task Order.

In Witness Whereof, the parties hereto have executed this Task Order Agreement by their signatures below.

OWNER: Mapleton City

CONSULTANT: KELLER ASSOCIATES, INC.

Signature: _____

Signature: _____

Name: _____

Name: _____

Title: _____

Title: Principal

Address: _____

Address: 100 East Bower Street, Suite 110
Meridian, ID 83642

Telephone: _____

Telephone: (208) 288-1992

Date: _____

Date: _____

ATTACHMENT A

City of Mapleton, Utah South Main Street Improvements Scope of Work Civil Design Services

PROJECT DESCRIPTION

City of Mapleton, Utah (“Owner”) is proposing roadway improvements along Main Street from approximately 1600 South to Magnolia Lane. The project is anticipated to include reconstruction and rehabilitation of existing roadway pavement, construction of curb, gutter, sidewalk, roadway drainage improvements, street lighting, installation of a 12 inch pressure irrigation pipeline, and associated roadway improvements. The City’s typical cross section for Main Street is 36 feet of pavement width and two foot curb and gutter within a 40 foot right of way section, with sidewalk and planter strip improvements located within a public utility easement (PUE). The north section, about 350 feet, from 1600 South to 1690 South, is anticipated to require full asphalt replacement. The south section, about 975 feet, from 1690 South to Magnolia Lane, is anticipated to require a 1.5 inch mill and 2 inch overlay. Roadway drainage design is anticipated to be accommodated through roadside underground chamber systems. Owner has requested that **Keller Associates, Inc.** (“Consultant”) provide civil design services. Consultant will perform all tasks listed in the following scope of work, unless otherwise noted.

SCOPE OF WORK

Task 1: Design Phase Services

Consultant Responsibilities:

- 1.1 Project Management. Manage design contract administration. Establish and maintain project schedule, budget, invoicing, progress reporting and quality control. Provide oversight of the civil project team.
- 1.2 Topographical Surveying Support. Mapleton City will contract separately for topographical surveying services for this project. This task includes consultant support and coordination with the selected surveying consultant.

Assumption: Survey will be completed and delivered to Consultant within 3 weeks of Notice to Proceed

- 1.3 Concept Design. Meet virtually with Owner to discuss draft roadway and pressure irrigation alignment concepts and proposed implementation of key elements and desired outcomes. Figure 1, provided by the Owner, highlight improvement extents identified by the Owner at the time of drafting this scope of work.

Timeline: 5 weeks



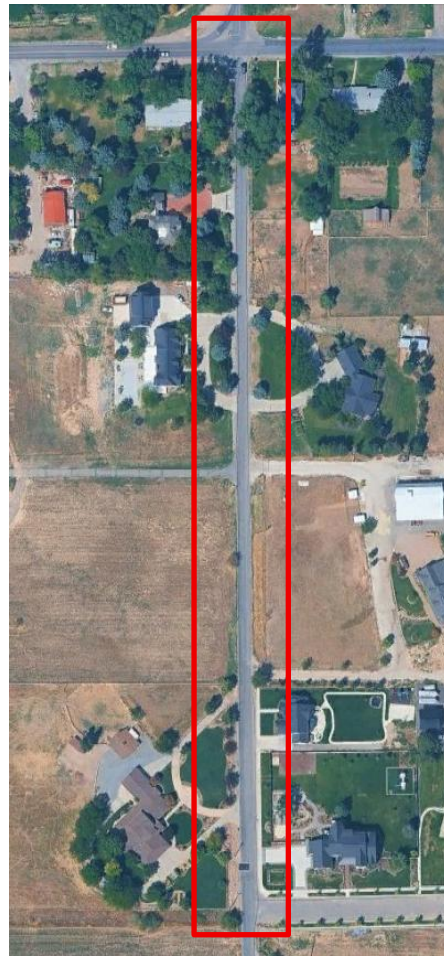


Figure 1 – South Main Project Extents

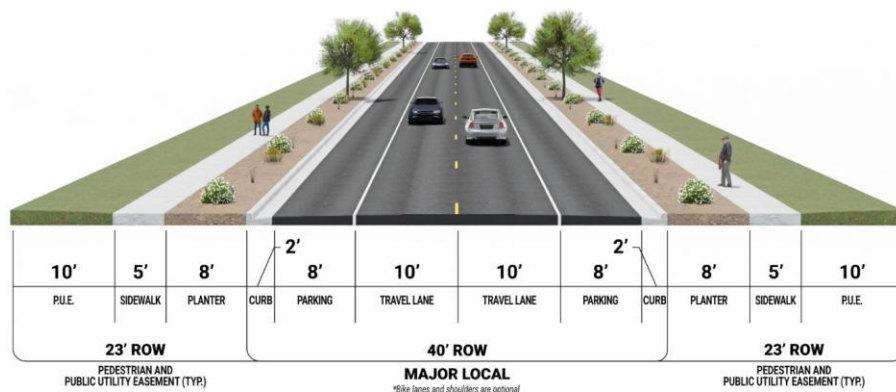


Figure 2 – South Main Project Cross Section (from TMP)

- **60% Design.** Incorporate concept design comments from Owner and advance concept level design to 60% design development level drawings. Develop a model of the roadway improvements to establish proposed roadway alignment and vertical grade and to show proposed contours, grading, cut/fill transitions, grade breaks, and catch points. Drawings to



show line and grade roll plot of the project, roadway plan and profile information, construction standard drawings, grading and drainage details, utility details, and typical roadway sections. Project will include street lighting within the project area per City standards. Utility coordination will include identification of conflicts with existing utilities and outreach to utility companies for coordination on the design. One virtual coordination meeting with UDOT is anticipated to discuss the right turn lane on 1600 N. Any design beyond the right turn lane and associated curbline would be an additional service.

Size storm drain infrastructure by performing storm drainage calculations in accordance with City of Mapleton standards (24 hour, 100 year storm and a 60 minute, 25 year storm) for the curbed sections of road (assumes use of StormTech chambers or similar product per discussion with Owner). Storm drainage design will include basin area evaluation and subsurface infiltration facilities, as applicable, to support roadside drainage. Prepare preliminary quantities from the CAD model and an opinion of probable construction cost based on anticipated bid items and recent comparable projects.

60% drawings are anticipated to include title sheet, project overview, typical sections, roadway plan and profile sheets, grading and drainage details, utility coordination information, roadway details, and signing and pavement marking information to a 60% level of completeness. Pressure irrigation plans to be plan view only (no profiles). Submit 60% drawings and storm calculations to Owner. Includes participation in up to one 60% design virtual meeting with Owner.

Timeline: 10 weeks

1.4 Final Design. Incorporate comments from Owner and advance 60% design level drawings to final. Complete a unit price bid schedule. Drawings to include design development phase drawings. Construction documents phase to include the following design levels:

- 95% Design Review – Drawings and bid schedule will be reviewed by the Owner.
- Bid Set – Comments from Owner review will be incorporated, and drawings will be finalized for bid phase. Stamp final set and submit final PDF copy to Owner.

Includes participation in up to one virtual meeting with Owner.

Timeline: 12 weeks

Assumptions:

- Design will be limited to pavement widening, pressure irrigation, curb & gutter, ADA ramps, striping, storm drainage and street lights. Scope does not include landscaping, or property acquisition. Assumes City will coordinate with power service provider for street lights. Does not include roundabout design, SWPPP design, geotechnical investigation, or traffic control plans.
- Underground retention/infiltration systems will be designed to be built under the roadway unless they can reasonably be placed in the park strip. Where layout shows combination curb, gutter and sidewalk, those systems may be designed to be built below the sidewalk.
- Based on Owner/Consultant conversations, underground percolation rates in the project area are unknown. Owner to provide geotechnical report within 30 days of receipt of Notice to Proceed, including percolation rates.



- If the scope of the project is changed by the Owner, an amendment to these services will be required.
- Power poles needing to be relocated will be shown in the plan as being relocated by others.
- Consultant will only provide plans and no other bidding documents.

Deliverables:

- Concept Design Civil Drawings – electronic PDF copy
 - 8 weeks (including survey time)
- 60% set – electronic PDF copy
 - 10 weeks
- Construction Documents Civil Drawings & Specifications:
 - 95% Review – electronic PDF copy
 - 8 weeks
 - Bid Set – electronic PDF copy
 - 2 weeks
- Final Opinion of Probable Cost – electronic PDF copy

Task 2: Bid Phase Services (Additional Service)

Consultant Responsibilities:

2.1 Bidding Support. Consultant to provide the following bidding support services:

- Answer Bid Phase Questions – Respond to bid phase questions related to the civil design offered up by interested contractors and suppliers (up to five hours).

Assumptions:

- Owner to lead bidding effort.
- This task is based on one bid period and if rebidding is requested or required, additional compensation may be necessary.
- If additional bid phase services are needed from Consultant, then an addendum to these services may be necessary.

Deliverables:

- No review of bids by Consultant.
- Includes a single bid process. If a rebid occurs, an amendment to this scope and fee may be needed.
- Consultant will not participate in a pre-bid meeting.

Task 3: Construction Phase Services (Additional Service)

Consultant Responsibilities:

3.1 Construction Administration. During the construction phase, Consultant will provide the following construction administration tasks:

- Submittal Review – Review contractor submittals for civil design components, including shop drawings and material data sheets, in accordance with project specifications and drawings.



- Requests for Information (RFI) – Respond to contractor RFIs and questions related to the civil design.
- Progress Meetings – Participate in up to two construction phase progress meetings held onsite.
- Substantial Completion Walkthrough – Walk jobsite with Owner and develop punch list of outstanding civil related work to be completed prior to final completion.
- Final Completion Walkthrough – Walk jobsite with Owner and issue recommendation to Owner for final acceptance of civil related items once all civil related work has been completed.

Assumptions:

- For budgeting purposes, a construction time frame of 60 calendar days is assumed. If the contractor's schedule is delayed or approved for extension, an amendment to these services may be required.
- Does not include construction observation or inspection services.
- Owner to provide primary construction management/administration, construction observation, and inspection.
- As-built drawings is not currently included in the scope of work. If these services are required, an amendment to these services will be required.

COMPENSATION

As compensation for services to be performed by Consultant, the Owner will pay Consultant as described in the following table. The total authorized budget amount shall not be exceeded without authorization from the Owner. For time and materials tasks, compensation will be according to Consultant Associates' standard billing rates updated bi-annually in January and July.

TASK	Cost	Type
Task 1 – Design Phase Services		
Task 1.1 – Project Management	\$3,400	LS
Task 1.2 – Topographic Survey Support	\$1,200	LS
Task 1.3 – Concept Design	\$16,000	LS
Task 1.4 – 60% Design	\$32,500	LS
Task 1.5 – Final Design	\$44,700	LS
Task 2 – Bid Phase Services	TBD	T&M
Task 3 – Construction Phase Services	TBD	T&M
Total	\$ 97,800	

LS: Lump Sum T&M: Time and Materials

