



DEVELOPMENT REVIEW COMMITTEE

Tuesday, May 12, 2026, at 10:00 AM
Council Chambers at City Hall Building and Online
110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Taco Bell Site Plan

MEETING MINUTES APPROVAL

2. Meeting Minutes - April 14, 2026

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.gov, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:

Stephanie Christensen, City Recorder

CONTACTS:

OWNER/DEVELOPER:
DDO-UTAH, LLC
PO BOX 4179
KINGMAN, AZ 86402

ENGINEER:
MCCLURE ENGINEERING COMPANY
1700 SWIFT AVE., SUITE 100
NORTH KANSAS CITY, MO 64116
PHONE: 816-756-0444
CONTACT: BRIAN KEMP

SURVEYOR:
AWA ENGINEERING
2010 NORTH REDWOOD RD
SALT LAKE CITY, UT 84116
PHONE: 801-521-8529

SANTAQUIN TACO BELL RESTAURANT SITE DEVELOPMENT PLANS

LOCATED IN:
**60 N 400 STREET
SANTAQUIN, UTAH**

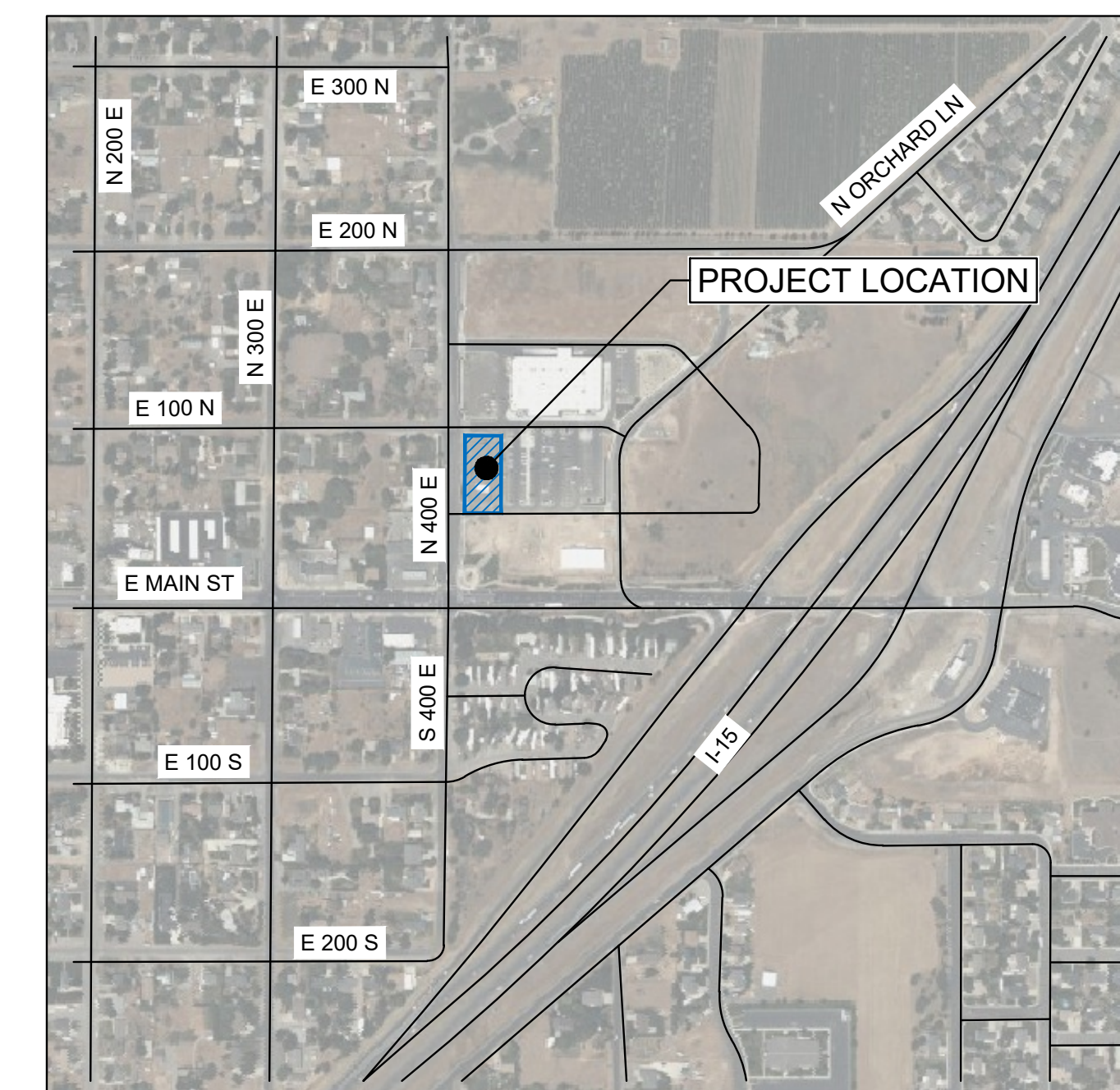
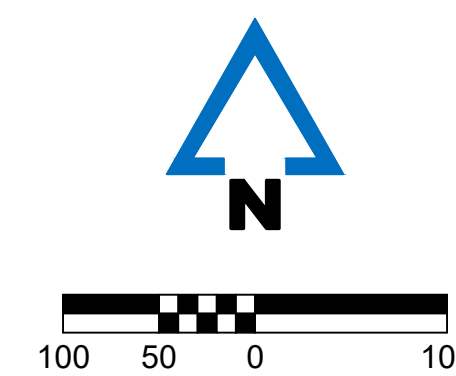
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Coralville, IA | Council Bluffs, IA
Fort Dodge, IA | Sioux City, IA
Columbia, MO | Macon, MO
North Kansas City, MO | Springfield, MO
Lenexa, KS
Portsmouth, NH

NOTICE:
McClure Engineering Co. is not responsible or liable for any issues, claims, damages, or losses (collectively, "Losses") which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for Losses which arise from failure to obtain and/or follow the engineers' or surveyors' guidance with respect to any alleged errors, omissions, inconsistencies, ambiguities, or conflicts contained within the Plans and Specifications.

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C4	UTILITY PLAN
C5	EROSION CONTROL PLAN
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C8	DETAIL SHEETS
C9	DETAIL SHEETS
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LO	LIGHTING PLAN



LOCATION MAP - SANTAQUIN, UTAH



VICINITY MAP
NOT TO SCALE
SANTAQUIN, UTAH COUNTY, UTAH

REVISIONS

PROJECT INFO
2025002749
ENGINEER: B. KEMP
DRAWN BY: J. ALVAREZ
CHECKED BY: B. KEMP

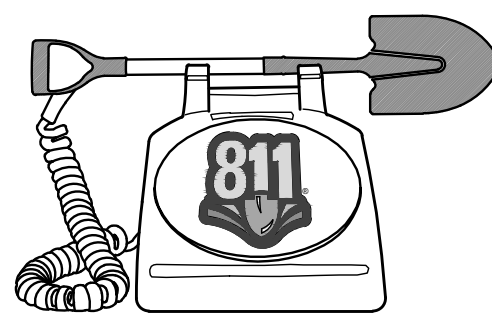
UTILITY CONTACTS:

ROCKY MOUNTAIN POWER, ELECTRIC
PHONE: 1-888-221-7070

QUESTAR, GAS
PHONE: 1-800-323-5517

CITY OF SANTAQUIN WATER DEPARTMENT
110 S. CENTER STREET
SANTAQUIN, UT 84655
PHONE: 801-754-3211

CITY OF SANTAQUIN PUBLIC WORKS
110 S. CENTER STREET
SANTAQUIN, UT 84655
PHONE: 801-754-3211



SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655
SITE DEVELOPMENT PLANS
COVER SHEET
P:\2025002749\001\04-DRAWINGS\CIVIL\25-2749 TBLK.DWG

DRAWING NO.
T1

GENERAL NOTES:

- EXISTING BOUNDARY, TOPOGRAPHIC INFORMATION, AND SITE FEATURES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY AWA ENGINEERING OF SALT LAKE CITY, UTAH IN DECEMBER OF 2025.
- PLANS REFERENCE UTAH STATE PLANES; NAD83 DATUM, CENTRAL ZONE, US FOOT.
- PROPERTY LOCATED AT 60 NORTH 400 EAST STREET, SANTAQUIN, UTAH.
- ASSESSORS MAP: RIDLEY'S SUBDIVISION, LOT 3.
- ZONING DISTRICT: C1 - GENERAL COMMERCIAL
- EXISTING USE: VACANT GRAVEL LOT
PROPOSED USE: FAST FOOD RESTAURANT (2,285 SF) WITH DRIVE-THRU
- WRITTEN DIMENSIONS ON THIS PLAN SET SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR IS ADVISED TO EXERCISE CAUTION WHEN SCALING REPRODUCED PLANS AND ADVISE THE ENGINEER OF ANY DISCREPANCIES.
- ALL CONSTRUCTION MUST COMPLY WITH THE APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF SANTAQUIN, COMMONWEALTH OF UTAH, AND ALL RELEVANT FEDERAL AGENCIES.
- ALL SITE AND BUILDING CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION FOR THIS PROJECT. ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND ANY STANDARD CONSTRUCTION DRAWINGS PROVIDED BY THE OWNER AND/OR DEVELOPER.
- LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THESE PLANS ARE BASED UPON RECORDS AVAILABLE TO THE ENGINEER AND ARE NOT GUARANTEED. LOCATIONS OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO PERFORMING ANY WORK.
- THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH DIGSAFE AT 811 PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION ACTIVITIES. A SIGN PERMIT SHALL BE OBTAINED PRIOR TO FABRICATION AND/OR INSTALLATION.
- ALL CONSTRUCTION IN PUBLIC RIGHTS OF WAY SHALL CONFORM TO THE APPLICABLE LOCAL REGULATIONS INCLUDING PUBLIC WORKS AND ENGINEERING STANDARDS, COMMONWEALTH OF UTAH, AND UTAH DEPARTMENT OF TRANSPORTATION (UDOT) REQUIREMENTS.
- DURING OPERATIONS WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL EMPLOY TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNING ARRANGEMENTS IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- CONTRACTOR TO MAINTAIN ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS ISSUED BY LOCAL, STATE, AND FEDERAL AGENCIES.

DEMOLITION NOTES:

- DEMOLITION ACTIVITIES SHALL ADHERE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS. EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONNEL AND PREVENTING DAMAGE TO ADJACENT STRUCTURES AND SITE IMPROVEMENTS DURING DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A DEMOLITION PERMIT FROM THE MUNICIPALITY PRIOR TO COMMENCEMENT OF THE WORK.
- DEMOLITION ACTIVITIES SHALL BE CONDUCTED IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH PUBLIC ACCESS AREAS INCLUDING ROADS, SIDEWALKS, AND ADJACENT FACILITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH DIGSAFE AT 811 PRIOR TO ANY EXCAVATION. ALL EXISTING UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY PROVIDER.
- USE WATER OR ALTERNATIVE APPROVED DUST CONTROL METHODS TO LIMIT THE AMOUNT OF DUST IN THE AIR DURING DEMOLITION.
- EXPLOSIVES ARE PROHIBITED UNLESS OTHERWISE NOTED. PERMISSION AND WRITTEN CONSENT MUST BE PROVIDED BY THE DEVELOPER AND AUTHORITIES PRIOR TO USE.
- ALL VOIDS RESULTING FROM DEMOLITION SHALL BE BACKFILLED WITH COMPACTED, GRANULAR MATERIAL FREE OF ORGANICS AND DEBRIS. BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 6 INCHES AND COMPACTED TO 95% OPTIMUM DENSITY.
- ALL DEBRIS AND WASTE RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. NO MATERIALS SHALL BE STORED, SOLD, OR BURNED ON SITE.
- SHUT OFF, DISCONNECT, AND SEAL ALL UTILITIES SERVING ANY STRUCTURES INDICATED TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF THE DEMOLITION ACTIVITY. LOCATE ALL UTILITY, DRAINAGE, AND SANITARY LINES AROUND THE DEMOLITION. PROTECT ALL ACTIVE DRAINAGE OR UTILITY LINES. NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF ANY UTILITY SERVICE INTERRUPTIONS. NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF THE SERVICE.
- FEATURES LABELED ON THE PLANS "TO BE REMOVED" OR "REMOVE AND DISPOSE" ARE DESIGNATED FOR DEMOLITION. ALL OTHER EXISTING FEATURES SHALL REMAIN UNLESS SPECIFIED OTHERWISE.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTINGS, WALLS, PAVEMENTS, AND SITE FEATURES NOT DESIGNATED FOR REMOVAL.
- ANY DAMAGE TO EXISTING ROADWAYS, INFRASTRUCTURE, OR PROPERTIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING GRASS, LANDSCAPED, OR VEGETATED AREAS WITHIN THE LIMITS OF WORK PROPOSED TO BE RECONSTRUCTED AS PAVEMENT, SIDEWALK, OR OTHER STRUCTURE SHALL HAVE ALL PLANTINGS, SHRUBS, MULCHES, TOPSOIL, AND ORGANIC MATERIAL REMOVED TO FULL DEPTH PRIOR TO PREPARING SUBGRADE. TOPSOIL SHALL BE STOCKPILED AND REUSED IN PROPOSED LANDSCAPE AREAS AND/OR REMOVED FROM THE SITE UPON COMPLETION.

GRADING & DRAINAGE NOTES:

- ELEVATIONS SHOWN ARE REFERENCED TO VERTICAL DATUM NAVD88.
- CONTRACTOR SHALL VERIFY EXISTING SITE ELEVATIONS UPON ESTABLISHING CONTROL ON THE SITE. ANY DEVIATIONS BETWEEN EXISTING TOPOGRAPHY AND THAT SHOWN ON THE PLANS SHALL BE IDENTIFIED AND COORDINATED WITH THE ENGINEER.
- ALL PROPOSED STRUCTURES, SIDEWALKS, AND PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLAN GRADES, OR AS OTHERWISE DIRECTED BY THE ENGINEER.

- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- WHERE PROPOSED PAVEMENT MEETS EXISTING, EXISTING PAVEMENT SHALL BE SAWCUT AND A PAVEMENT JOINT SHALL BE INSTALLED TO ENSURE A SMOOTH AND CONTINUOUS GRADE.
- IN LANDSCAPED AREAS, THE TOP/RIM ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS, THE TOP/RIM ELEVATION OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL PROPOSED CATCH BASINS SHALL BE CONSTRUCTED WITH 4-FOOT SUMPS. OUTLETS SHALL BE FITTED WITH AN APPROVED OUTLET HOOD TO PREVENT SEDIMENT MIGRATION.
- ALL PROPOSED STORM DRAINAGE PIPE SHALL BE DUAL-WALL, N-12, SPOIL TIGHT (STIB) CORRUGATED HDPE WITH A SMOOTH INTERIOR AND INTEGRAL BELL & GASKET SPIGOT JOINTS, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL ROOF DRAIN PIPE SHALL BE 6" PVC (SDR-35) BELL & GASKET SPIGOT, EXCEPT WITHIN 10 FEET OF A BUILDING FOUNDATION WHERE CAST IRON PIPE SHALL BE USED. COORDINATE WITH PLUMBING ENGINEER AND/OR INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD-ADJUSTING GRADES TO ENSURE PROPER DRAINAGE FROM ALL SURFACES.
- ALL ADA ACCESSIBLE WALKWAYS AND CROSSWALKS SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. ACCESSIBLE RAMPS SHALL NOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS SHALL NOT EXCEED 2.5 FEET IN ELEVATION CHANGE OR 30 FEET IN LENGTH BEFORE PROVIDING A LEVEL LANDING, NOT EXCEEDING 2% IN ALL DIRECTIONS. ACCESSIBLE PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL COORDINATE THE SCHEDULE AND TIMING OF FINAL GRADING WITH LOAM AND SEEDING OPERATIONS.
- PIPE DATA PROVIDED ON PLANS IS CALCULATED TO CENTER OF STRUCTURE.
- ALL PROPOSED DRAINAGE STRUCTURES SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.

UTILITY NOTES:

- THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND BASED ON INFORMATION AVAILABLE TO THE SURVEYOR AND ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG SAFE (DIAL 811) AND THE LOCAL WATER DEPARTMENT AND UTILITY PROVIDERS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO HAVE ALL UTILITIES LOCATED AND MARKED.
- THE SITE IS SERVED BY MUNICIPAL WATER AND SEWER. CONTRACTOR SHALL COORDINATE WITH THE LOCAL WATER DEPARTMENT FOR ACCESS TO WATER DURING CONSTRUCTION. USE OF A BACKFLOW PREVENTER MAY BE REQUIRED. APPLICATION AND PAYMENT OF ALL ASSOCIATED FEES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH OSHA TRENCHING AND SHORING REQUIREMENTS FOR ALL UTILITY TRENCHING AND INSTALLATION.
- WATER SERVICE INSTALLATION SHALL CONFORM TO MUNICIPAL AND/OR LOCAL WATER DEPARTMENT STANDARDS.
- ALL NEW ELECTRIC AND COMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND IN CONFORMANCE WITH THE UTILITY COMPANY'S SPECIFICATIONS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- CONTRACTOR SHALL PROVIDE MARKING TAPE FOR ALL UNDERGROUND UTILITIES.
- ALL SEWER SERVICES SHALL BE PVC SDR-35 PIPE, WITH A MINIMUM SLOPE OF 2% UNLESS OTHERWISE NOTED.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHEN CONDITIONS PREVENT ACHIEVING A SEPARATION OF 10 FEET LATERALLY, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE VERTICAL SEPARATION BETWEEN THE UTILITIES SHALL BE AT LEAST 18 INCHES.
- ALL WATER PIPE SHALL BE COPPER (TYPE K) UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

EROSION AND SEDIMENT CONTROL MAINTENANCE NOTES
CITY OF SANTAQUIN, UTAH

- ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED PRIOR TO ANY EARTH-DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS APPROVED BY THE CITY.
- THE CONTRACTOR SHALL COMPLY WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) GENERAL CONSTRUCTION STORMWATER PERMIT AND ALL APPLICABLE CITY OF SANTAQUIN REQUIREMENTS.
- ALL BMPs SHALL BE INSPECTED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF 0.5 INCHES OR GREATER.

A WRITTEN LOG OF ALL INSPECTIONS, DEFICIENCIES, AND CORRECTIVE ACTIONS SHALL BE MAINTAINED ON-SITE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MADE AVAILABLE TO THE CITY UPON REQUEST.
- ALL BMPs SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES. DAMAGED, FAILED, OR INEFFECTIVE BMPs SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED IMMEDIATELY.
- SEDIMENT SHALL BE REMOVED FROM BMPs, INCLUDING SILT FENCE, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS, WHEN ACCUMULATION REACHES ONE-THIRD (1/3) OF THE DEVICE HEIGHT OR AS REQUIRED TO MAINTAIN FUNCTION.
- SEDIMENT TRACKED OR DEPOSITED ONTO PUBLIC STREETS SHALL BE REMOVED IMMEDIATELY AND NO LESS THAN DAILY. STREET CLEANING SHALL BE PERFORMED BY MECHANICAL SWEEPING OR OTHER APPROVED METHODS. WASHING SEDIMENT INTO STORM DRAINS IS STRICTLY PROHIBITED.
- STABILIZED CONSTRUCTION ENTRANCES AND EXIT POINTS SHALL BE MAINTAINED TO MINIMIZE TRACKING. ADDITIONAL AGGREGATE SHALL BE PLACED AS NECESSARY TO MAINTAIN EFFECTIVENESS.
- ALL DISTURBED SOILS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED AS SOON AS PRACTICABLE, BUT NO LATER THAN FOURTEEN (14) DAYS AFTER CONSTRUCTION ACTIVITY HAS CEASED IN THAT AREA, UNLESS OTHERWISE APPROVED BY THE CITY.

- SEDIMENT-LADEN RUNOFF SHALL BE RETAINED ON-SITE. NO SEDIMENT OR TURBID WATER SHALL BE ALLOWED TO ENTER THE CITY STORM DRAIN SYSTEM, IRRIGATION SYSTEMS, OR ADJACENT PROPERTIES.
- BMPs DAMAGED OR DISPLACED BY CONSTRUCTION ACTIVITIES OR WEATHER EVENTS SHALL BE REPAIRED OR REINSTALLED IMMEDIATELY.
- THE SWPPP SHALL BE KEPT CURRENT AND ON-SITE AT ALL TIMES. THE SWPPP SHALL BE UPDATED TO REFLECT FIELD CONDITIONS AND ANY CHANGES IN BMPs OR CONSTRUCTION PHASING.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND INCIDENT RESPONSE NECESSARY TO PREVENT OFF-SITE SEDIMENT DISCHARGE OR POLLUTION.
- THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NECESSARY TO PREVENT WIND EROSION IN ACCORDANCE WITH CITY REQUIREMENTS.
- FAILURE TO COMPLY WITH THESE REQUIREMENTS OR WITH CITY OF SANTAQUIN STORMWATER REGULATIONS MAY RESULT IN STOP WORK ORDERS, FINES, OR OTHER ENFORCEMENT ACTIONS.
- FINAL STABILIZATION SHALL BE ACHIEVED PRIOR TO NOTICE OF TERMINATION (NOT) OF THE UPDES PERMIT AND ACCEPTANCE BY THE CITY OF SANTAQUIN.

LEGEND

BIT	BITUMINOUS
CB	CATCH BASIN
CEM	CEMENT
CLF	CHAINLINK FENCE
CI	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
DMH	DRAIN MANHOLE
EXIST/EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
HMA	HOT MIX ASPHALT
INV	INVERT
LF	LINEAR FOOT
MEG	MATCH EXISTING GRADE
OCS	OUTLET CONTROL STRUCTURE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
R	RADIUS
SS	SANITARY SEWER
TC	TOP OF CURB
TYP	TYPICAL
VCC	VERTICAL CONCRETE CURB
VGC	VERTICAL GRANITE CURB
WSO	WATER SHUTOFF
⊗	STREET LIGHT
⊕	UTILITY POLE
⊙	CATCH BASIN
⊙	STORM DRAIN MANHOLE
*	CONIFEROUS TREE
⊕	TREE STUMP
⊕	DECIDUOUS TREE
⊕	WATER SHUT OFF
⊕	FIRE HYDRANT
⊗	GATE VALVE
[HH]	HANDHOLE
[BM]	GAS METER
⊕	BENCHMARK
☆	CONTROL POINT
=====	BACK AND FACE OF CURB
=====	SIDEWALK
=====	PAVEMENT STRIPING
— SAN —	SANITARY SEWER
— STR —	STORM DRAIN
— W —	WATER
— P —	UNDERGROUND ELECTRIC
— G —	GAS
— T —	UNDERGROUND COMMUNICATIONS
□ □ □ □	WOOD GUARDRAIL
— — — —	METAL GUARDRAIL
— — — —	CHAIN LINK FENCE
— — — —	STOCKADE FENCE
— — — —	POST & RAIL FENCE
— — — —	WIRE FENCE
90	CONTOUR ELEVATION
⊙	TREE
⊕	UTILITY POLE
⊕	GUY WIRE
— OHP —	OVERHEAD WIRE
=====	TREELINE
⊕	SIGN
⊙	DRAIN MANHOLE
⊙	CATCH BASIN
⊙	ROOF DRAIN
⊙	CLEANOUT
⊙	VENT
⊙	SEWER MANHOLE
⊕	TELEPHONE MANHOLE
⊕	ELECTRIC MANHOLE
⊕	WATER MANHOLE
⊕	MANHOLE
⊕	GAS VALVE
⊕	GAS SHUT OFF
⊕	WATER VALVE
⊕	WATER SHUT OFF
⊕	FIRE HYDRANT
⊕	BOLLARD
⊕	LIGHT POLE



McCLURE™

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Ankeny, IA | Carroll, IA
Cedar Rapids, IA | Clive, IA
Coralville, IA | Council Bluffs, IA
Fort Dodge, IA | Sioux City, IA
Columbia, MO | Macon, MO
North Kansas City, MO | Springfield, MO
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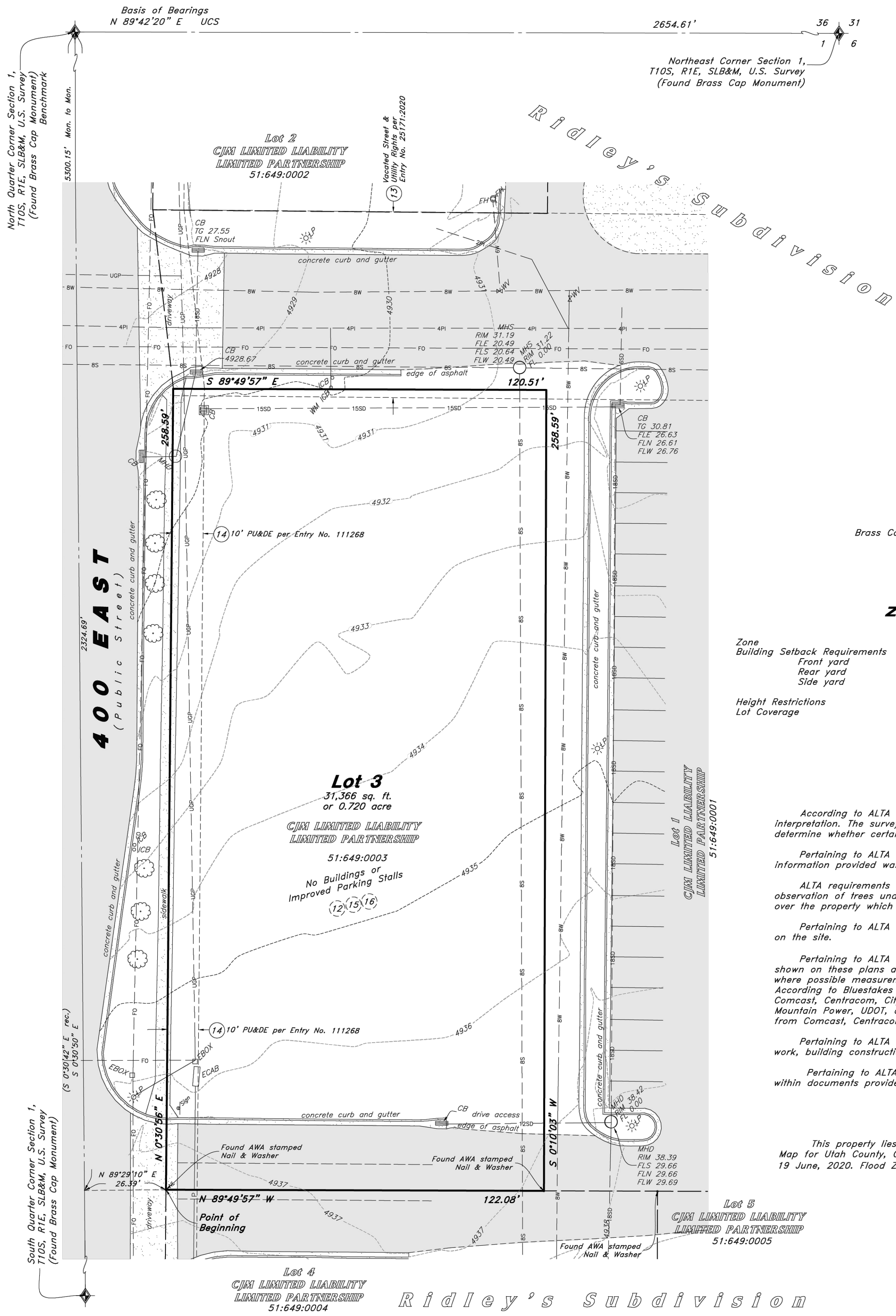
ENGINEER DRAWN BY CHECKED BY
B. KEMP J. ALVAREZ B. KEMP

**SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655**

**SITE DEVELOPMENT PLANS
GENERAL NOTES**

P:\2025002749\004-DRAWINGS\CONV\25-2749 TELC.DWG

DRAWING NO.
T1.1



THIS SHEET NOT TO SCALE
Scale: 1" = 20'

Legend

	Asphalt		Property Line
	Concrete		Easement Line
	Contour		Adjoiner Line
	Section Corner		Sanitary Sewer Line
	Manhole		Cullinary Water Line
	Catch Basin		Storm Drain Line
	Fire Hydrant		Gas Line
	Water Valve		Overhead Power
	Gas Meter		Underground Power
	Power Pole		Telecommunications Line
	Guy Wire		Fence Line
	Sign		Section Line
	Inlet Box		Center Line
	Light Pole		Fiber Optic Line
	Telecommunications Box		
	Electrical Box		
	Deciduous Tree		

Benchmark
Brass Cap Monument for the North Quarter Corner Section 1,
T10S, R1E, SLB&M Elevation = 4876.80 feet
(NGVD29 UTCO EL = 4876.97')

Zoning Information

Zone	=	C-1 (General Commercial)
Building Setback Requirements	=	
Front yard	=	10'
Rear yard	=	5', (10' from Private Street/ Drive Aisle Curb)
Side yard	=	5', (10' from Private Street/ Drive Aisle Curb)
Height Restrictions	=	48'
Lot Coverage	=	None

Notes

According to ALTA standards, the surveyor cannot certify a survey based upon an interpretation. The surveyor is not authorized to interpret zoning codes, nor can the surveyor determine whether certain improvements are burdening or actually benefiting the property.

Pertaining to ALTA Table A Item No. 6: No zoning report or letter was supplied for review, information provided was found on the Santaquin City Zoning Website.

ALTA requirements do not mention trees or vegetation. The Surveyor has shown significant observation of trees under Table A Item Number 8. Trees from Adjoining Parcels may canopy over the property which may not show on this survey.

Pertaining to ALTA Table A Item No. 8: There were no observed areas of substantial refuse on the site.

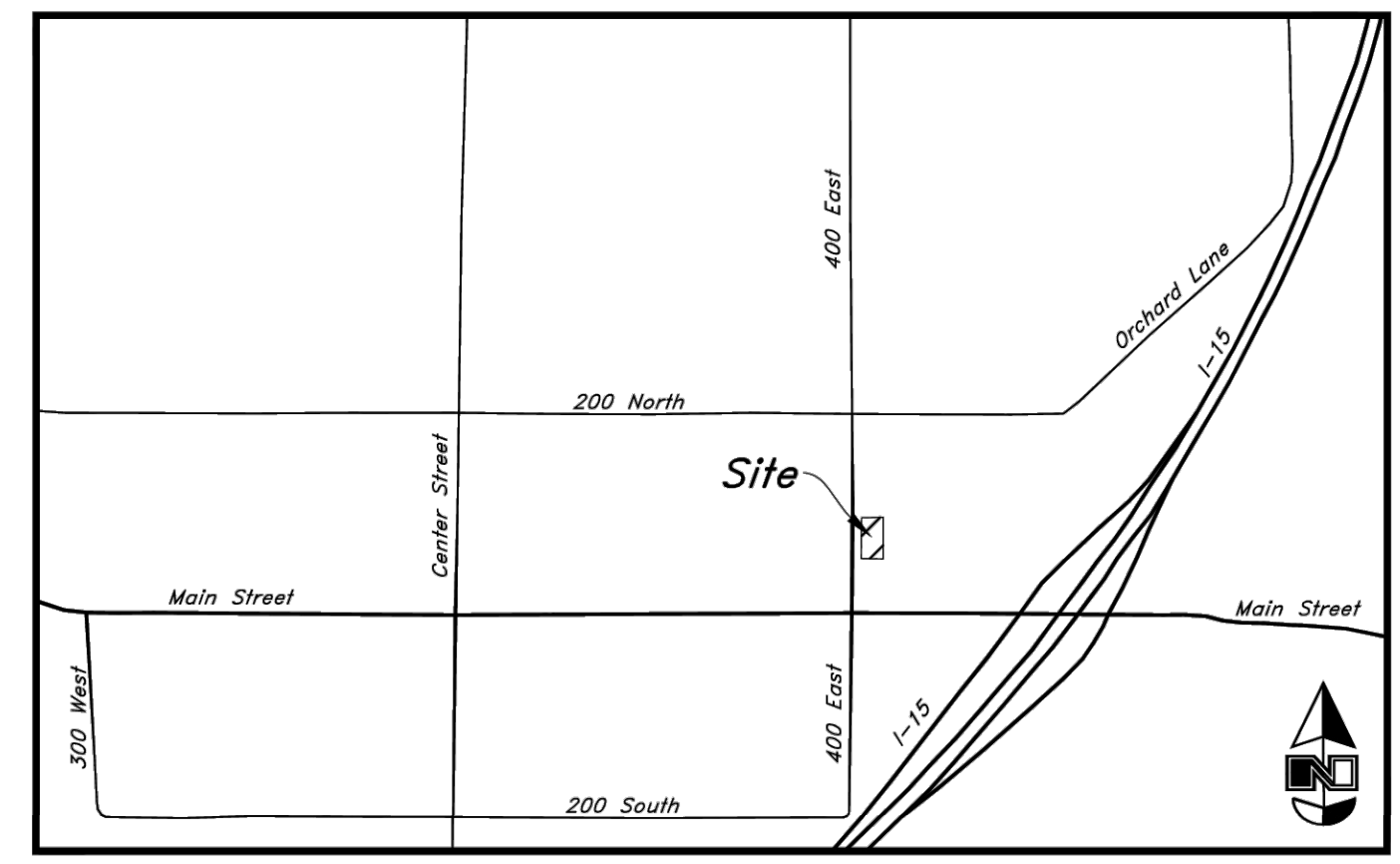
Pertaining to ALTA Table A Item No. 11(a): The location and/or elevation of existing utilities shown on these plans are based on records of the various utility companies, design plans, and where possible measurements taken in the field. No underground explorations were performed. According to Bluestakes of Utah the following companies have Utilities in the area: AT&T, Comcast, Centracom, City of Santaquin, Naphi City, Enbridge, Lumen, Utopia Fiber, Rocky Mountain Power, UDOT, and Zayo. The Surveyor has requested maps and received no responses from Comcast, Centracom, and Enbridge Gas.

Pertaining to ALTA Table A Item No. 16: There is no observable evidence of earth moving work, building construction or building additions within recent months.

Pertaining to ALTA Table A Item No. 18: No plottable offsite easements were revealed within documents provided.

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Utah County, City of Santaquin and Incorporated Areas Map Number 49049C0975F dated 19 June, 2020. Flood Zone X is defined as "Area of Minimal Flood Hazard"



Vicinity Map
Not to Scale

Narrative

This Survey was requested by Brian Kemp from McClure Vision prerequisite to the development of this property.

This Survey retraces and honors Lot 3 of Ridley's Subdivision recorded under Entry No. 111268:2020.

A line between monuments found for the North Quarter Corner and the Northeast Corner of Section 1 was assigned the Utah County bearing of North 89°42'20" East as the Basis of Bearings.

This Survey honors road dedications to Santaquin City per Entry No. 25170:2020.

No Property Corners were placed with this Survey.

Title Information

This survey was completed using Title Report File No. NCSUT01800 dated October 23, 2025 from Fidelity National Title Insurance Company:

The following survey related items circled (Solid) from Schedule B, Part II of the title report are plotted on the survey:

The following survey related items circled (Dashed) from Schedule B, Part II of the title report blanket all or a portion of this site but contain nothing to plot:

The following survey related items not circled from Schedule B, Part II of the title report could not be plotted:

- (12) A Resolution Approving a Development Agreement recorded October 7, 2019 as Entry No. 101935:2019 of Official Records. Blankets lots of Ridley's Subdivision, details previous dedications and vacations of public streets.
 - (13) A Warranty Deed conveys a vacated 100 North Street, being recorded February 27, 2020 as Entry No. 25171:2020 of Official Records. Said vacation is made expressly subject to all existing rights of way and easements of all public utilities of any and every description now located in, on, under or over the confines of the herein described property. Also, Subject to the rights of entry thereon for the purpose of inspecting, maintaining, repairing, replacing, removing, altering or rerouting said utilities. Vacated 100 North Street is north of subject Lot 3.
 - (14) Easements and notes as shown on the plat of Ridley's Subdivision being recorded July 31, 2020 as Entry No. 111268 and Map Filing 17189 of Official Records.
 - (15) A Memorandum of Lease and Grants of Permanent Easements recorded February 16, 2023 as Entry No. 9709:2023 of Official Records. A lease to McDonalds on Lot 7 establishing cross access and utility provisions spanning common areas of the Subdivision.
 - (16) A Covenant Not to Compete recorded February 16, 2023 as Entry No. 9710:2023 of Official Records. Restricts lots in the subdivision from selling hamburgers. Blankets site.
- * Exception No.'s 1-11 and 18 are general and/or standard exceptions that do not reveal matters of survey.
- ** Exception No. 17 describes and affects this site but does not reveal survey matters.

Record Description

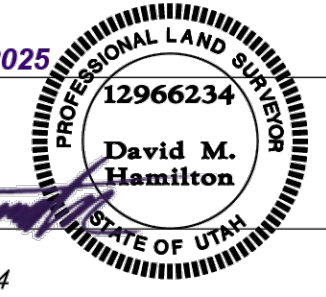
Lot 3, Ridley's Subdivision, according to the official plat thereof, on file and of record in the office of the Utah County Recorder.

Certification

To McClure Vision, DDO-Utah, L.L.C., a Utah limited liability company, CJM Limited Liability Limited Partnership, an Idaho limited partnership, and Fidelity National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(b)(2), 8, 9, 11(a), 13, 16, 18 and 19 of Table A thereof. The fieldwork was completed on November 25, 2025.

Date: 12 Dec, 2025
12966234
David M. Hamilton
Utah PLS No. 12966234



<p>ALTA / NSPS Land Title Survey</p> <p>Taco Bell Santaquin 60 North 400 East Street City of Santaquin, Utah County, Utah A Part of the Northeast Quarter of Section 1, T10S, R1E, SLB&M, U.S. Survey</p>	<p>Designed by: DH Drafted by: LC Client Name: McClure Vision 25-222 as</p>
<p>2010 North Redwood Road, Salt Lake City, Utah 84116 (801) 521-8529 - www.altaengineering.net</p>	
<p>9 Dec, 2025</p> <p>SHEET NO. 1</p>	








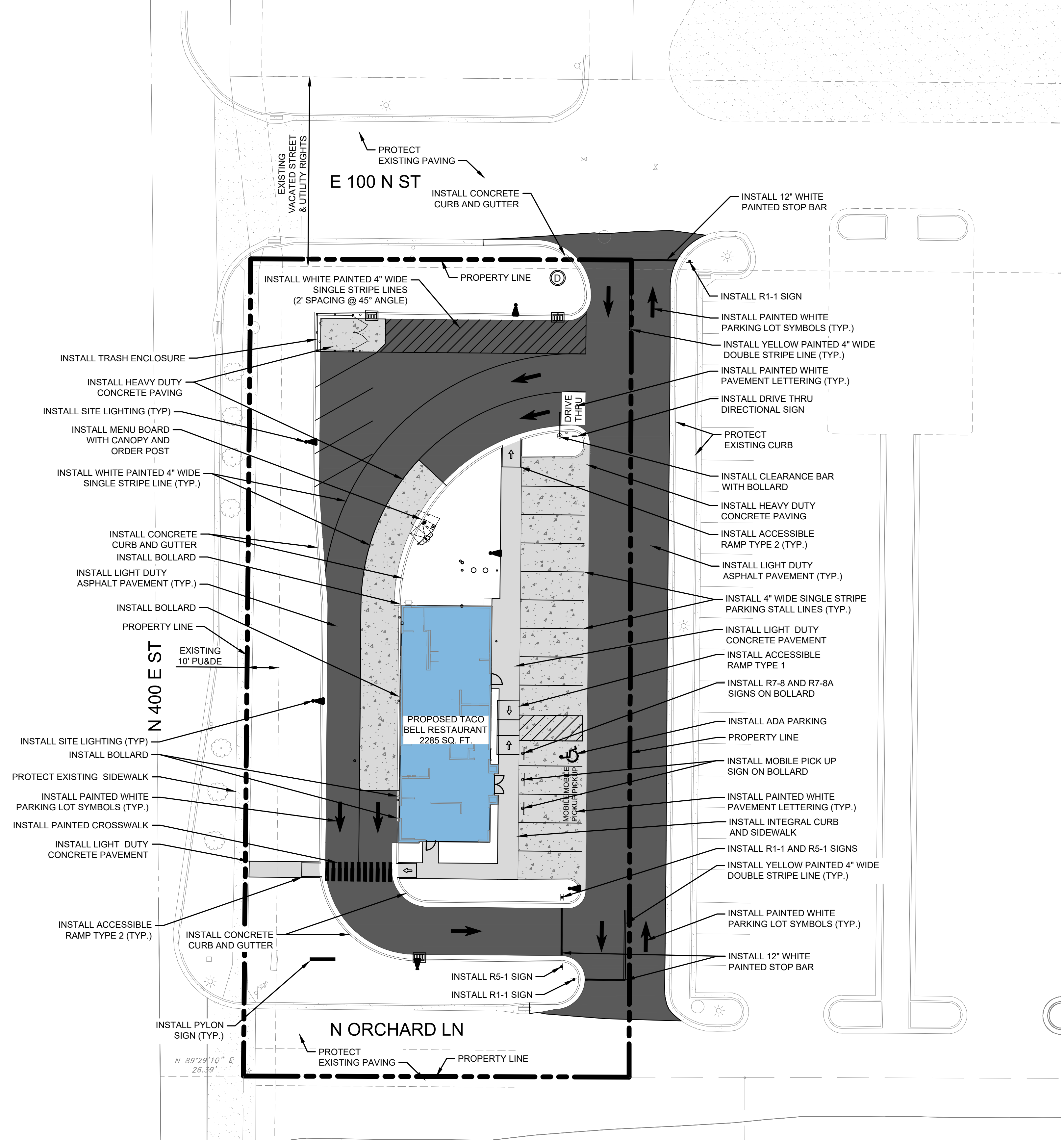
McCLURE™
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LEGEND

	HEAVY DUTY CONCRETE PAVEMENT (FOR PARKING/DUMPSTER ENCLOSURE/ DRIVE THRU LANE)
	SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	BUILDING FOOTPRINT
	PROPOSED PROPERTY LINE



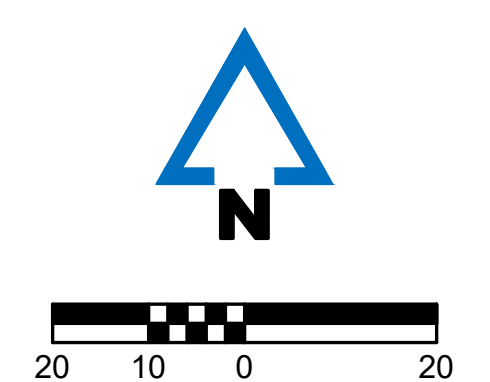
REVISIONS


PROJECT INFO
2025002749

ENGINEER	DRAWN BY	CHECKED BY
B. KEMP	J. ALVAREZ	B. KEMP

SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655
 SITE DEVELOPMENT PLANS
 SITE PLAN

DRAWING NO.
C1





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REVISIONS

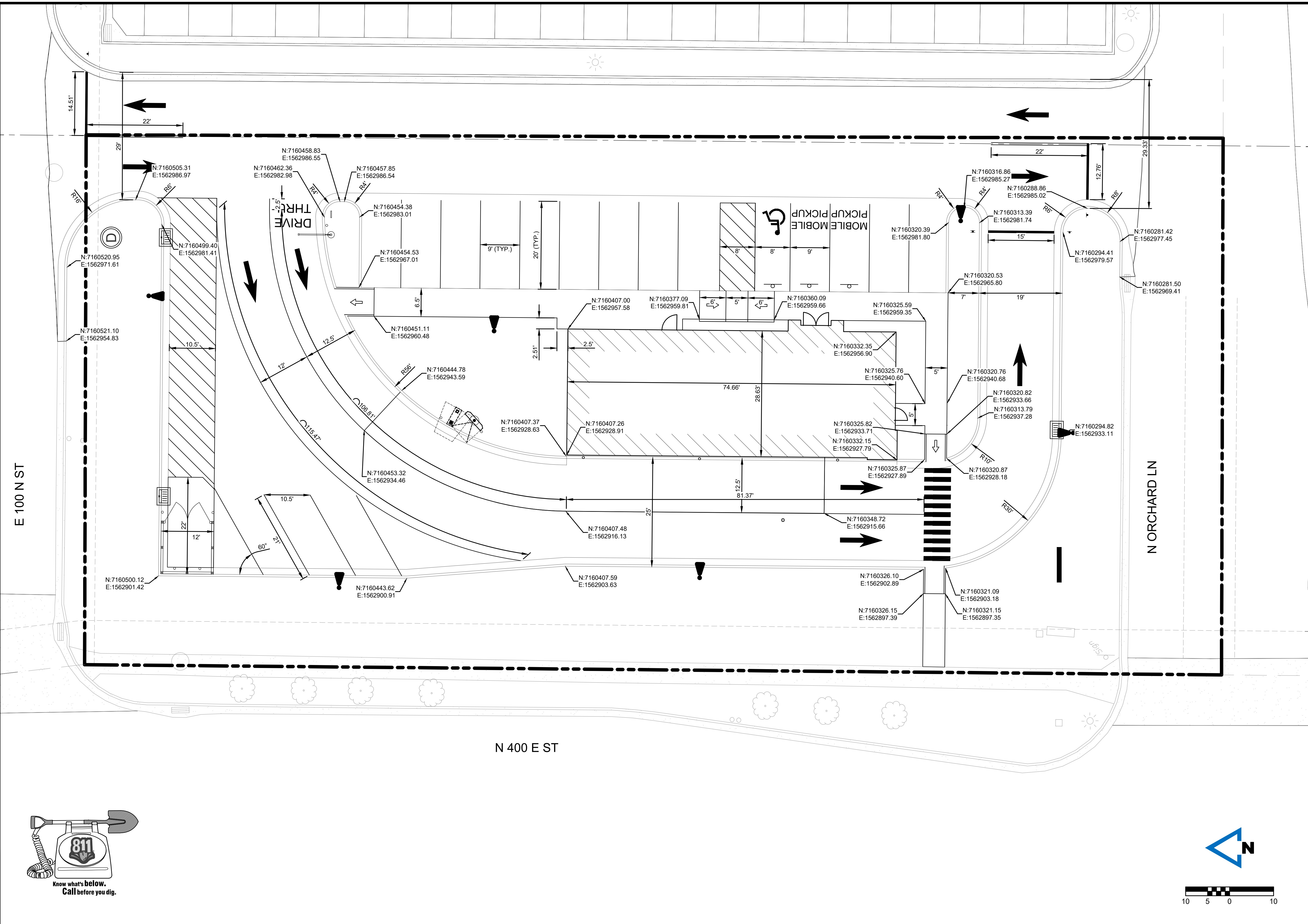
PROJECT INFO
 2025002749

ENGINEER: B. KEMP DRAWN BY: J. ALVAREZ CHECKED BY: B. KEMP

SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655
 SITE DEVELOPMENT PLANS
 DIMENSION PLAN

DRAWING NO.

C2





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REVISIONS

PROJECT INFO
 2025002749

ENGINEER DRAWN BY CHECKED BY
 B. KEMP J. ALVAREZ B. KEMP

SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655
 SITE DEVELOPMENT PLANS
 GRADING AND DRAINAGE PLAN

DRAWING NO.

C3

LEGEND:

- DRY CURB
- WET CURB
- - - 499 EXISTING 1' CONTOUR
- - - 500 EXISTING 5' CONTOUR
- 499 PROPOSED 1' CONTOUR
- 500 PROPOSED 5' CONTOUR
- GRADE BREAK

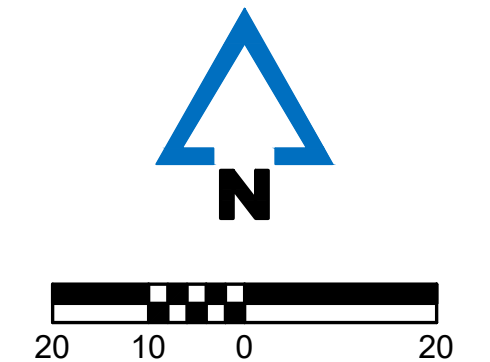
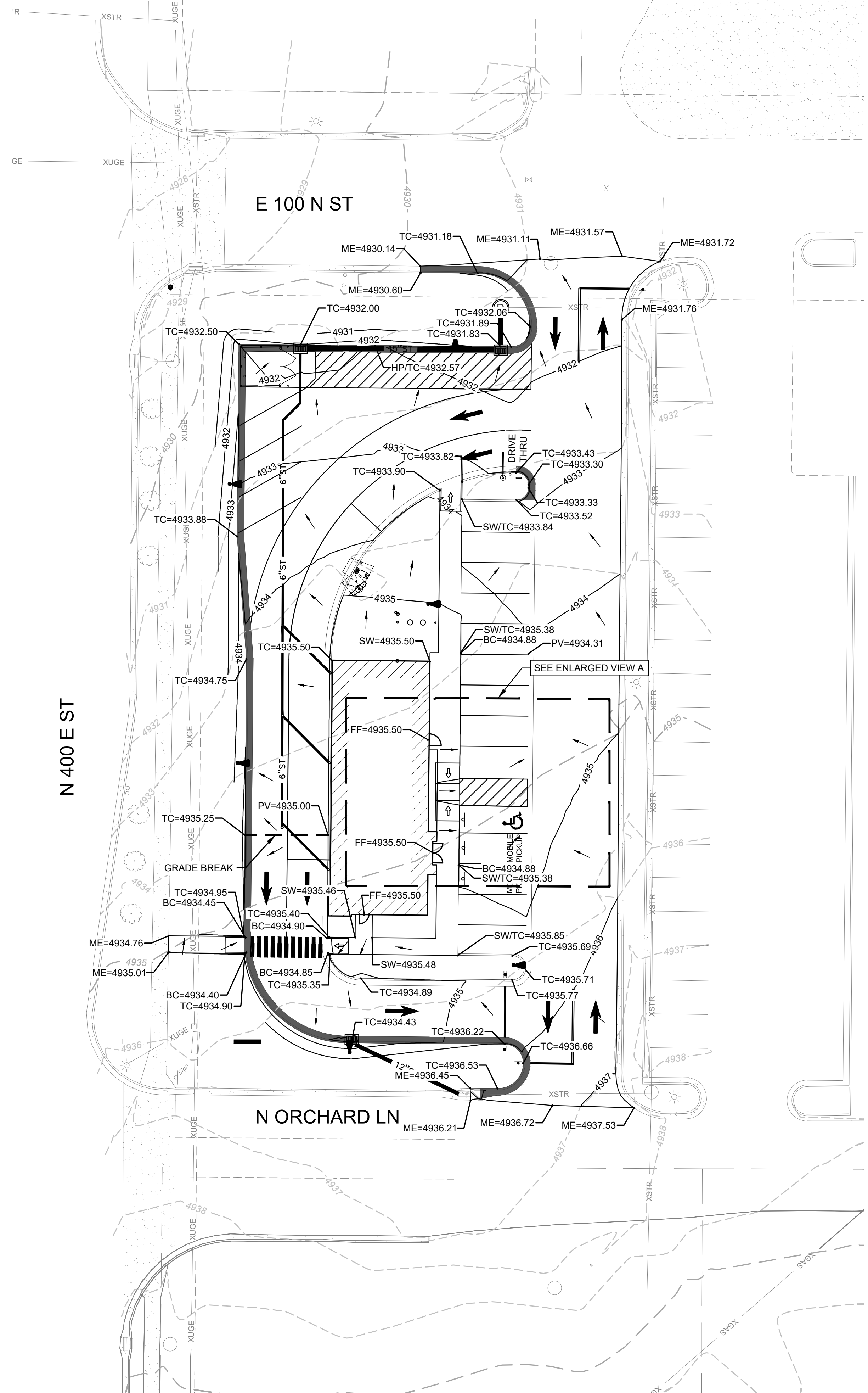
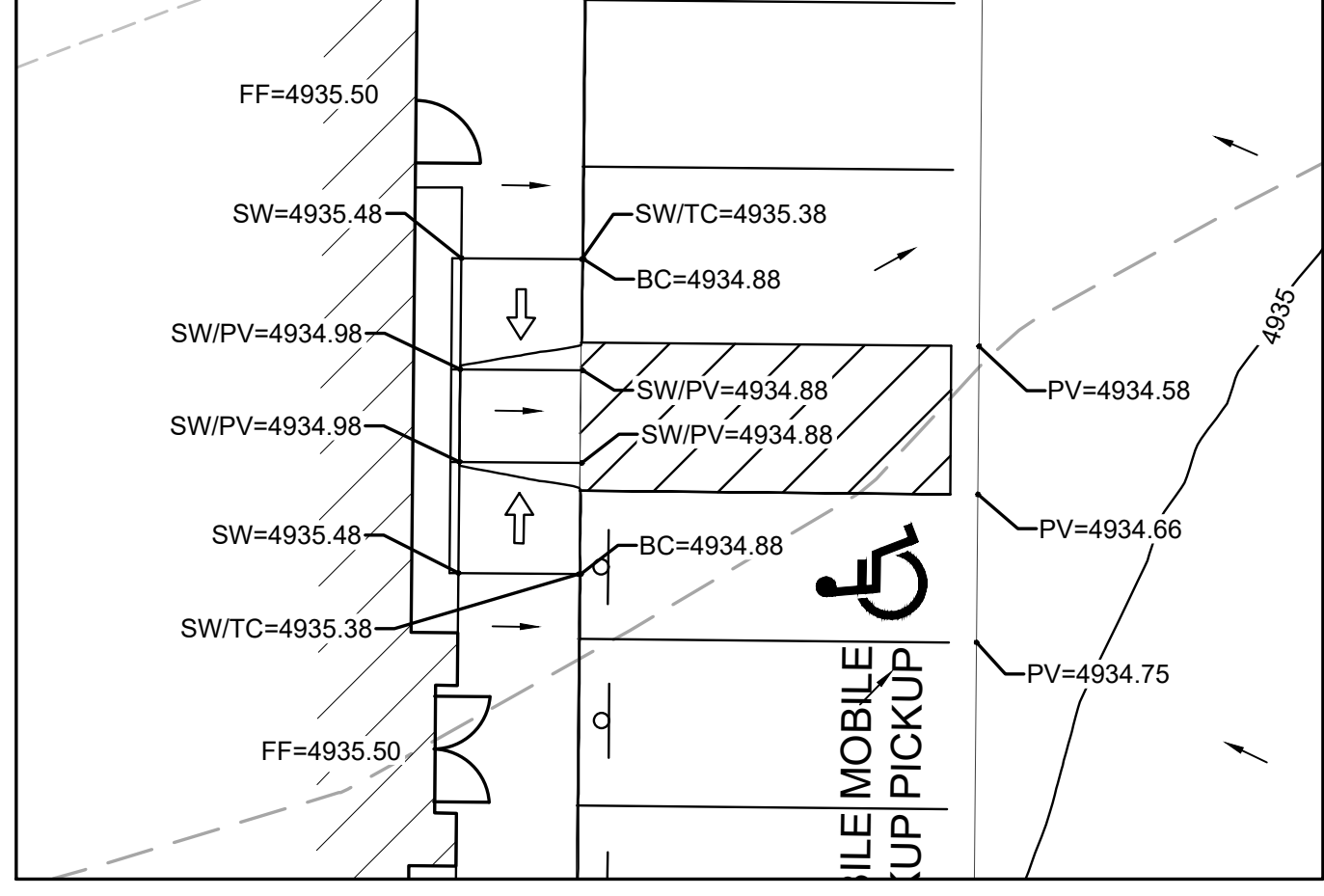
SPOT ELEVATION LEGEND:

- SW = TOP OF SIDEWALK ELEVATION
- PV = TOP OF PAVEMENT ELEVATION
- TC = TOP OF CURB
- BC = BOTTOM OF CURB
- TG = TOP OF GROUND
- FF = FINISHED FLOOR ELEVATION
- HP = HIGH POINT
- ME = MATCH ELEVATION
- ↘ = DRAINAGE DIRECTION

NOTE:

SEE SHEET T1.1 FOR GENERAL NOTES.

ENLARGED GRADING VIEW A



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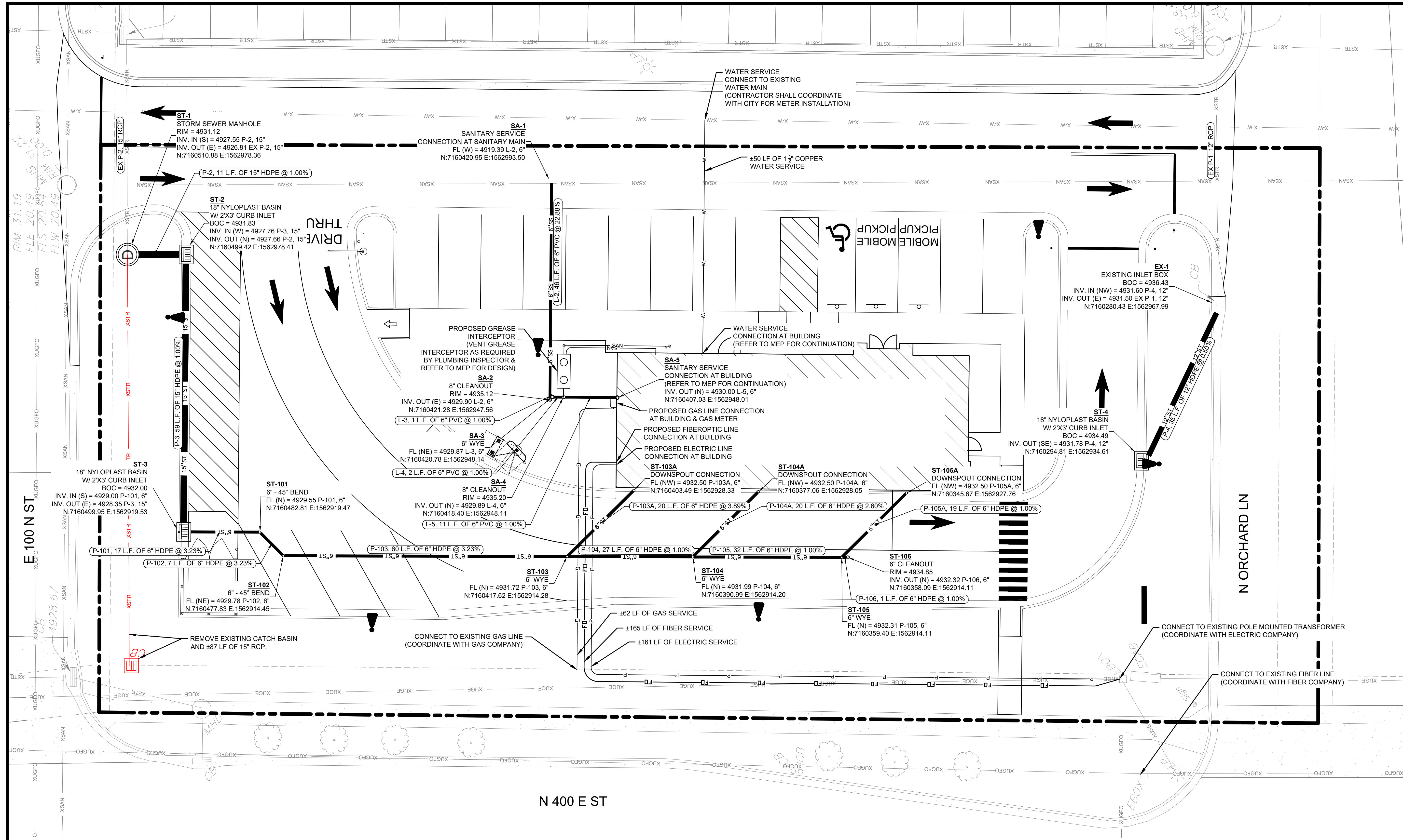
REVISIONS

PROJECT INFO
 2025002749

ENGINEER DRAWN BY CHECKED BY
 B. KEMP J. ALVAREZ B. KEMP

SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655
SITE DEVELOPMENT PLANS
UTILITY PLAN

DRAWING NO.
C4



LEGEND

- XSAN EX. SANITARY SEWER LINE
- XSTR EX. STORM SEWER LINE
- X-W EX. WATER LINE
- XOHP EX. OVERHEAD ELECTRIC LINE
- XUGFO EX. UNDERGROUND FIBER LINE
- SS NEW SANITARY SEWER LINE
- ST NEW STORM SEWER LINE
- W NEW WATER LINE
- FO NEW FIBEROPTIC LINE
- P NEW ELECTRIC LINE
- G NEW GAS LINE
- PROPERTY LINE

NOTE:
 SEE SHEET T1.1 FOR GENERAL NOTES.







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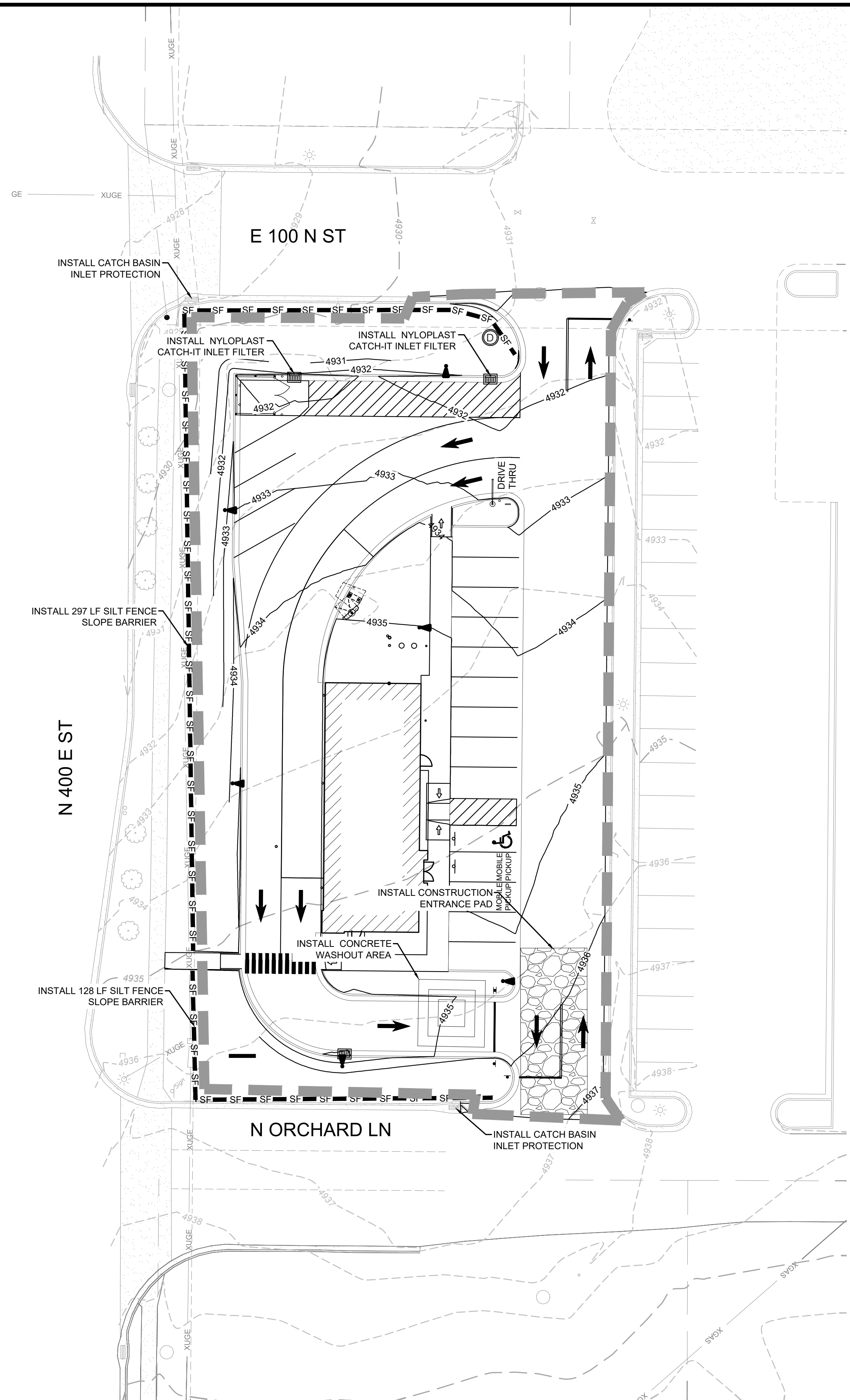
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LEGEND:

- - - 4499 - - - EXISTING 1' CONTOUR
- - - 4500 - - - EXISTING 5' CONTOUR
- 4499 — PROPOSED 1' CONTOUR
- 4500 — PROPOSED 5' CONTOUR
- ▬▬▬ LIMITS OF DISTURBANCE
- SF — SF — SILT FENCE SLOPE BARRIER
-  GRAVEL CONSTRUCTION SITE ENTRANCE.
-  CONCRETE WASHOUT AREA.

NOTE:
 SEE SHEET T1.1 FOR GENERAL NOTES.



REVISIONS

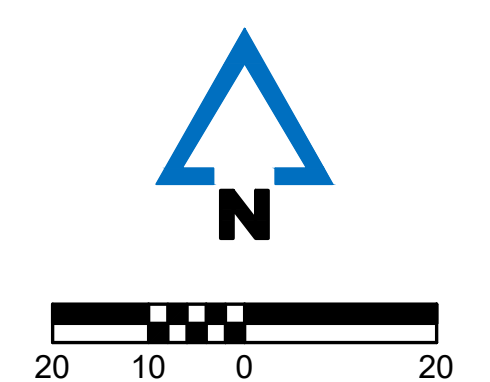
PROJECT INFO
 2025002749

ENGINEER	DRAWN BY	CHECKED BY
B. KEMP	J. ALVAREZ	B. KEMP

SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655
SITE DEVELOPMENT PLANS
EROSION CONTROL PLAN

DRAWING NO.

C5





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REVISIONS

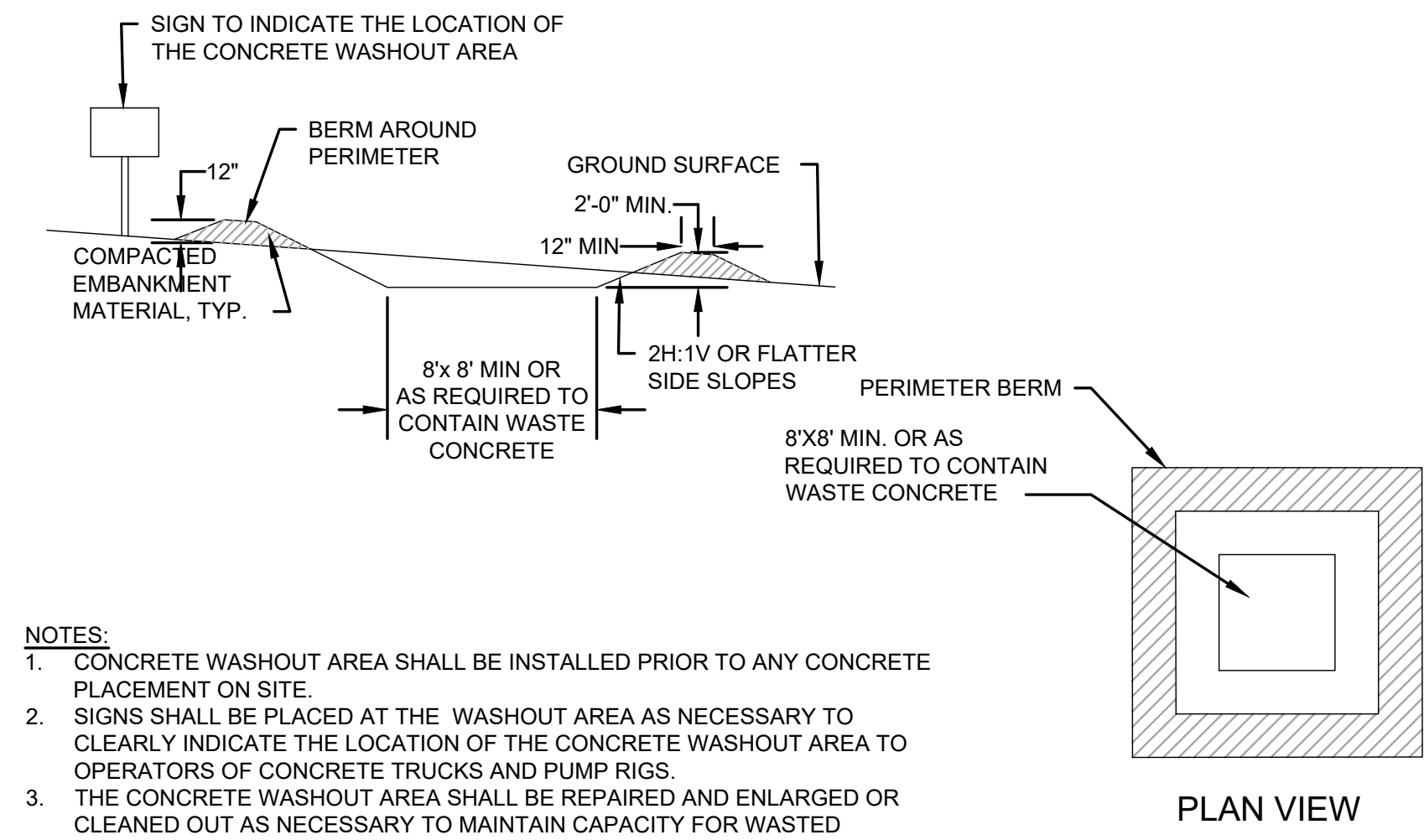
PROJECT INFO
 2025002749

ENGINEER: B. KEMP DRAWN BY: J. ALVAREZ CHECKED BY: B. KEMP

SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655
 SITE DEVELOPMENT PLANS
 CONSTRUCTION DETAILS

DRAWING NO.

C6



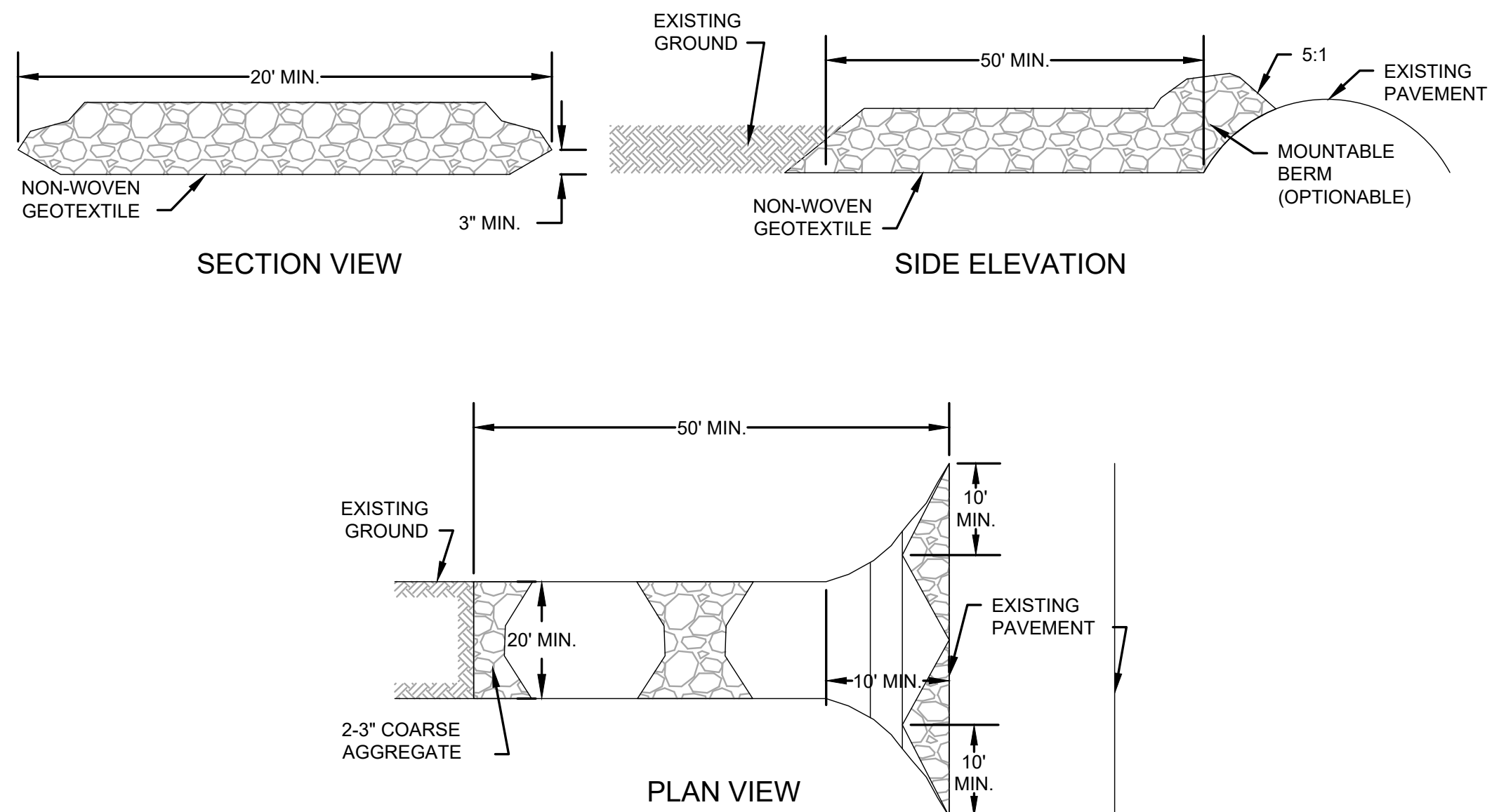
- NOTES:**
- CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 - SIGNS SHALL BE PLACED AT THE WASHOUT AREA AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 - THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 - AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
 - WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CONCRETE WASHOUT AREA
 NOT TO SCALE

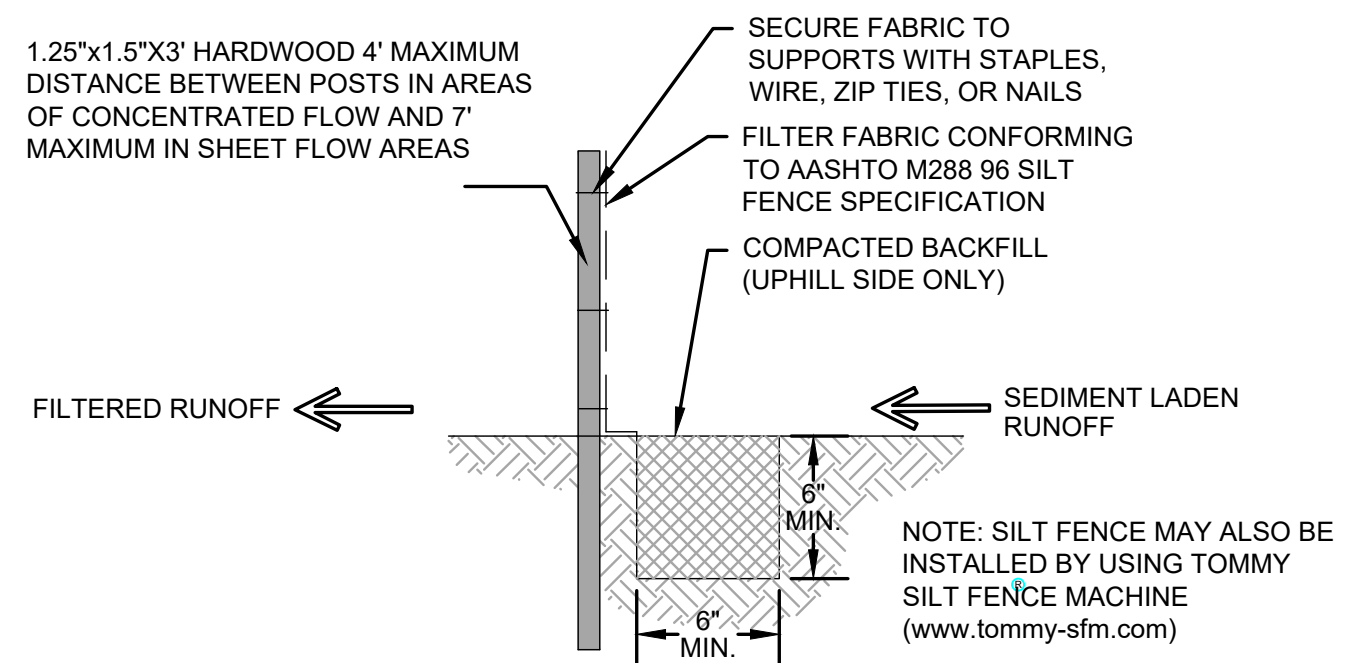
- TEMPORARY CONSTRUCTION ENTRANCE PAD NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. IF POSSIBLE, LOCATE WHERE PERMANENT ROADS WILL EVENTUALLY BE CONSTRUCTED.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - IF SLOPE TOWARDS THE PUBLIC ROAD EXCEEDS 2%, CONSTRUCT A 6 TO 8 INCH HIGH RIDGE WITH 3H:1V SIDE SLOPES ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE EDGE OF THE PUBLIC ROAD TO DIVERT RUNOFF AWAY FROM IT.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES ALONG PUBLIC ROADS.
 - PLACE STONE TO DIMENSIONS AND GRADE AS SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
 - DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE.
 - IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE STABILITY.

- TROUBLESHOOTING:**
- IF RUNOFF CONTROL IS INADEQUATE TO THE EXTENT THAT SEDIMENT WASHES ONTO THE PUBLIC ROAD, INSTALL DIVERSIONS OR OTHER RUNOFF CONTROL MEASURES.
 - IF SMALL STONE, THIN PAD, OR ABSENCE OF GEOTEXTILE FABRIC RESULTS IN RUTS AND MUDDY CONDITIONS AS STONE IS PRESSED INTO SOIL, INCREASE STONE SIZE OR PAD THICKNESS OR ADD GEOTEXTILE FABRIC.
 - IF THE PAD IS TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC, EXTEND PAD BEYOND THE MINIMUM 50 FOOT LENGTH AS NECESSARY.

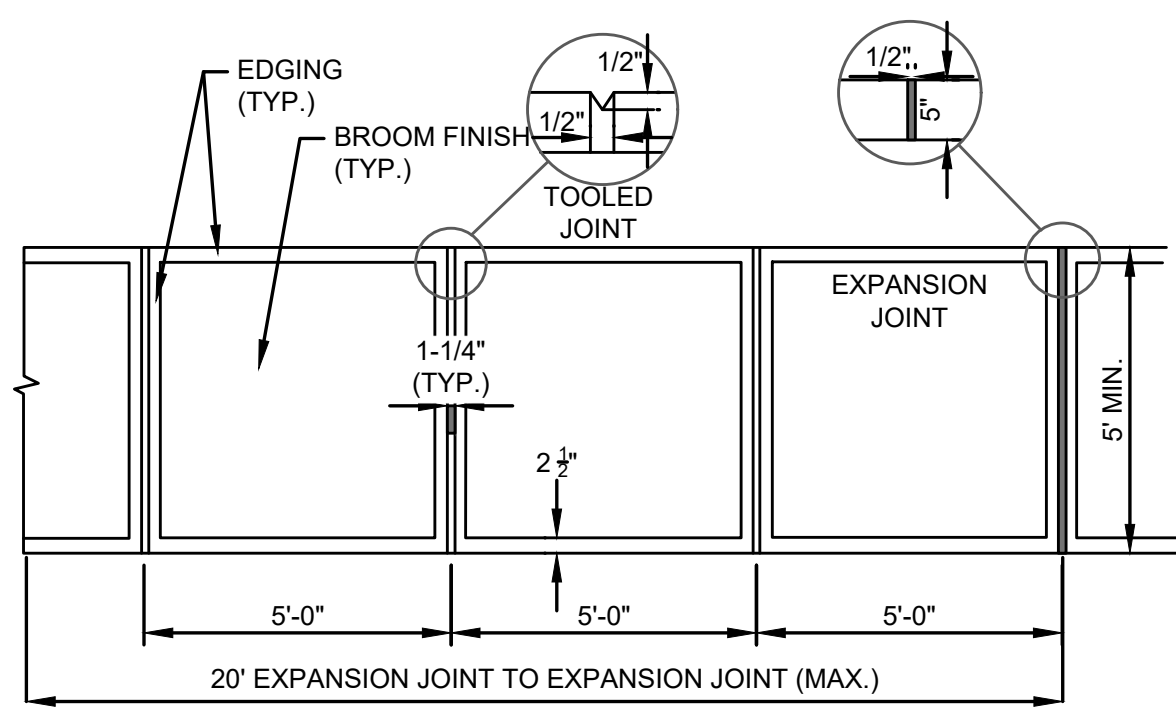
- INSPECTION AND MAINTENANCE:**
- INSPECT STONE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER 1/2 INCH OR GREATER STORM EVENTS.
 - RESHAPE PAD AS NEEDED FOR PROPER DRAINAGE AND RUNOFF CONTROL.
 - TOPDRESS WITH CLEAN 2 AND 3 INCH STONE AS NEEDED.
 - IMMEDIATELY REMOVE MUD OR SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
 - REMOVE ALL TEMPORARY ROAD MATERIALS FROM AREAS WHERE PERMANENT VEGETATION WILL BE ESTABLISHED.



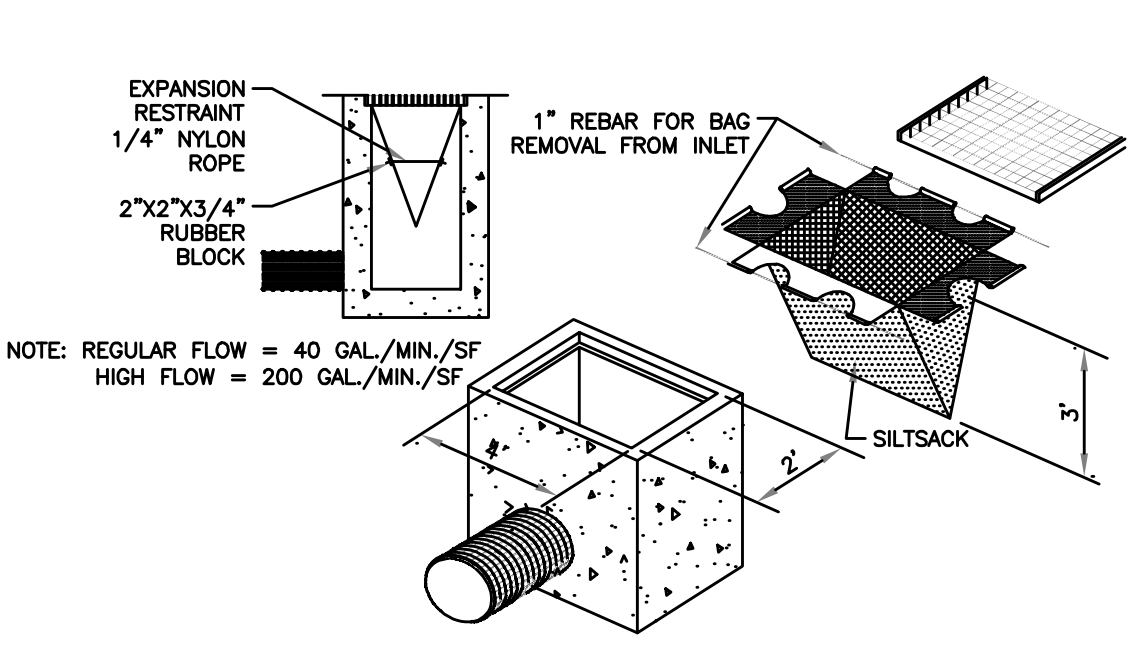
CONSTRUCTION SITE ENTRANCE PAD
 NOT TO SCALE



SILT FENCE SLOPE BARRIER
 NOT TO SCALE

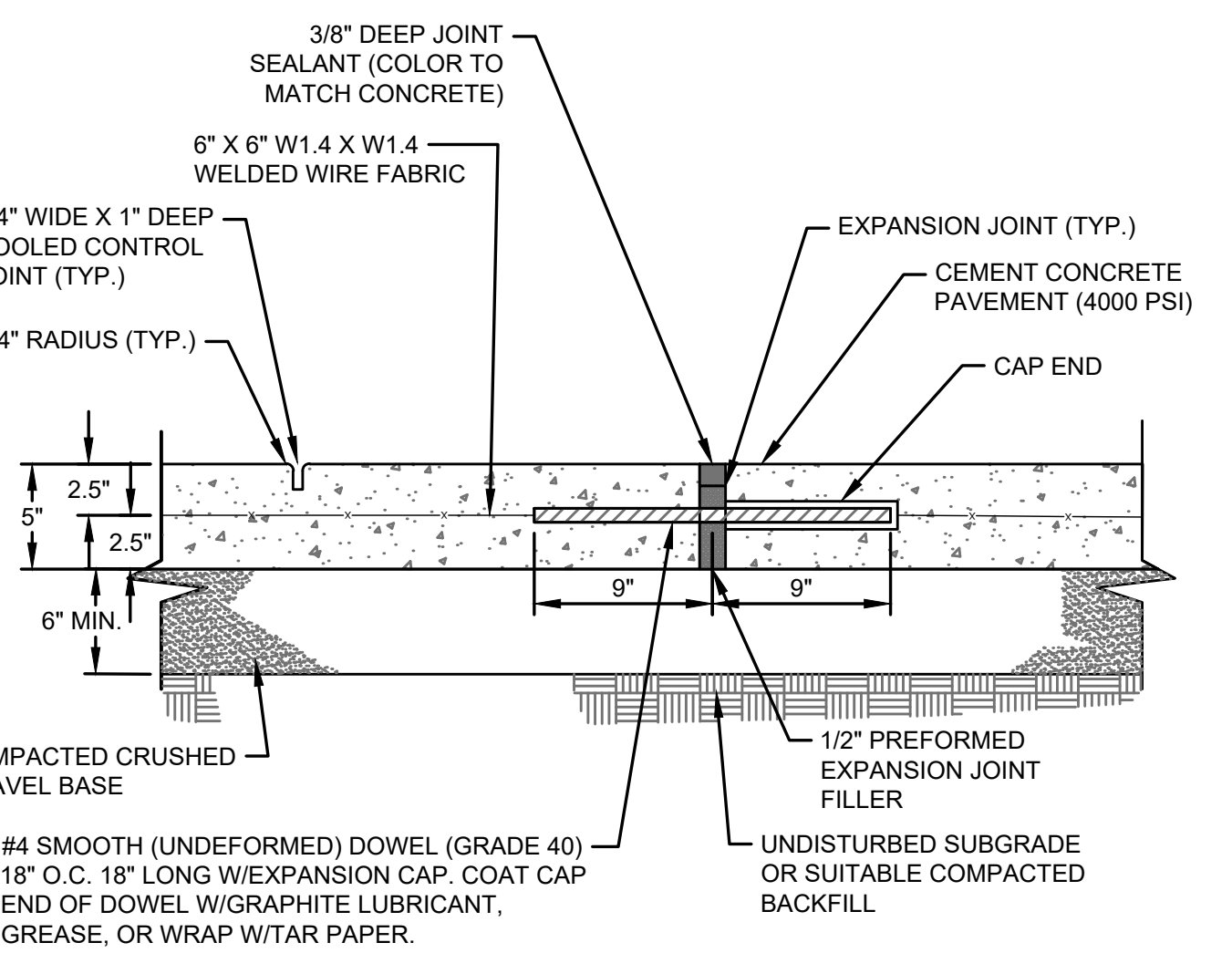


CONCRETE SIDEWALK AND JOINT EDGING
 NOT TO SCALE



CATCH BASIN INLET PROTECTION
 NOT TO SCALE

NOTE: REGULAR FLOW = 40 GAL./MIN./SF
 HIGH FLOW = 200 GAL./MIN./SF



CEMENT CONCRETE SIDEWALK AND JOINT
 NOT TO SCALE

- NOTES:**
- MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL.
 - CONTROL JOINTS TO BE LOCATED 5 FT. ON CENTER.
 - EXPANSION JOINTS TO BE LOCATED 20 FT. ON CENTER.

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REVISIONS

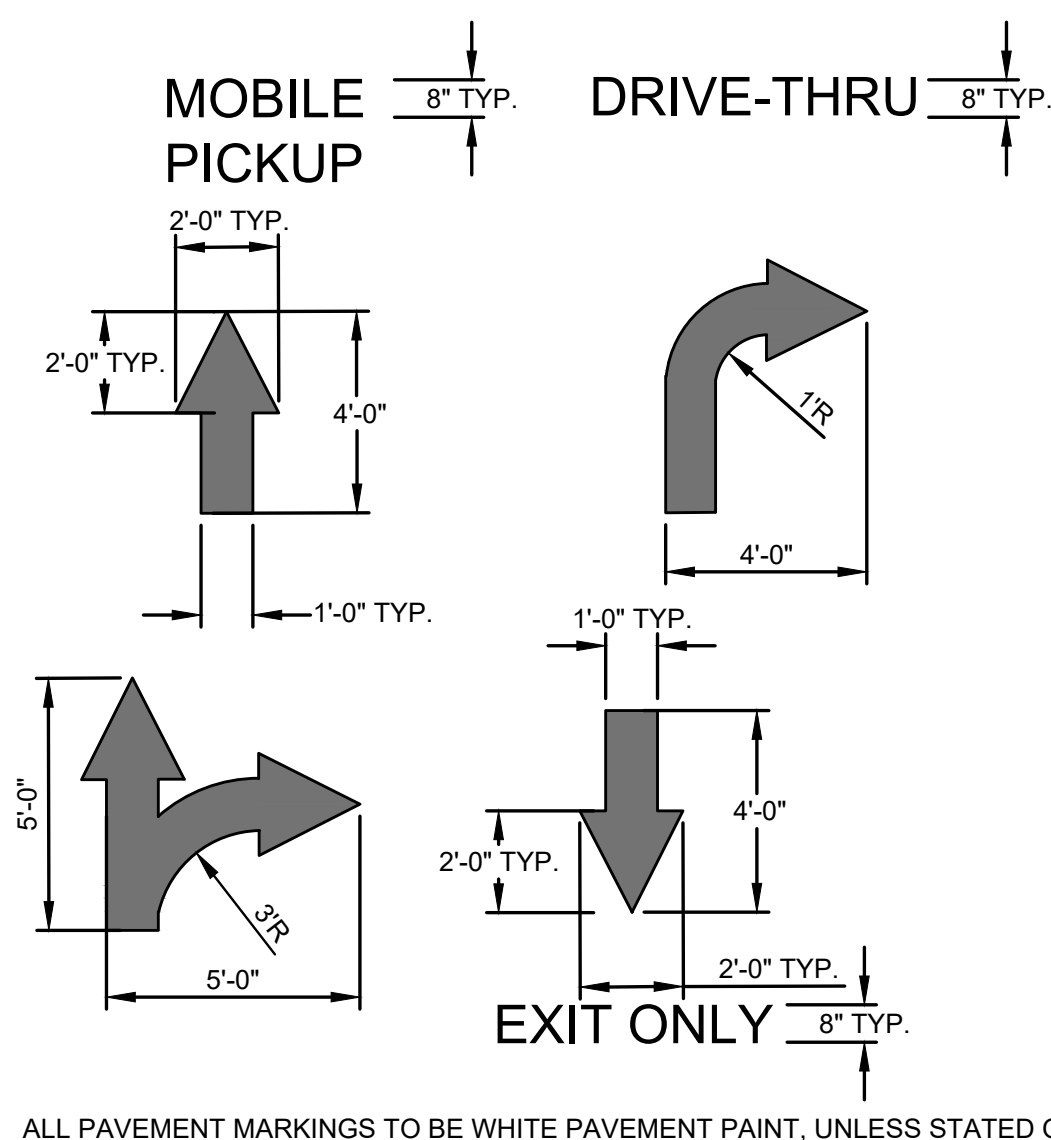
PROJECT INFO
 2025002749

ENGINEER: B. KEMP
 DRAWN BY: J. ALVAREZ
 CHECKED BY: B. KEMP

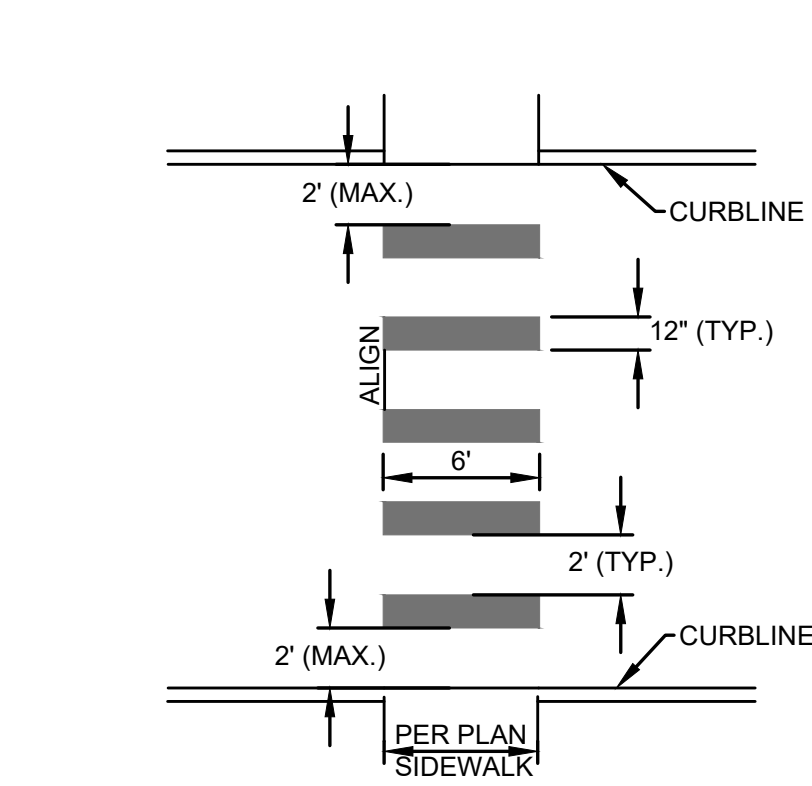
SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655
 SITE DEVELOPMENT PLANS
 CONSTRUCTION DETAILS

DRAWING NO.

C7

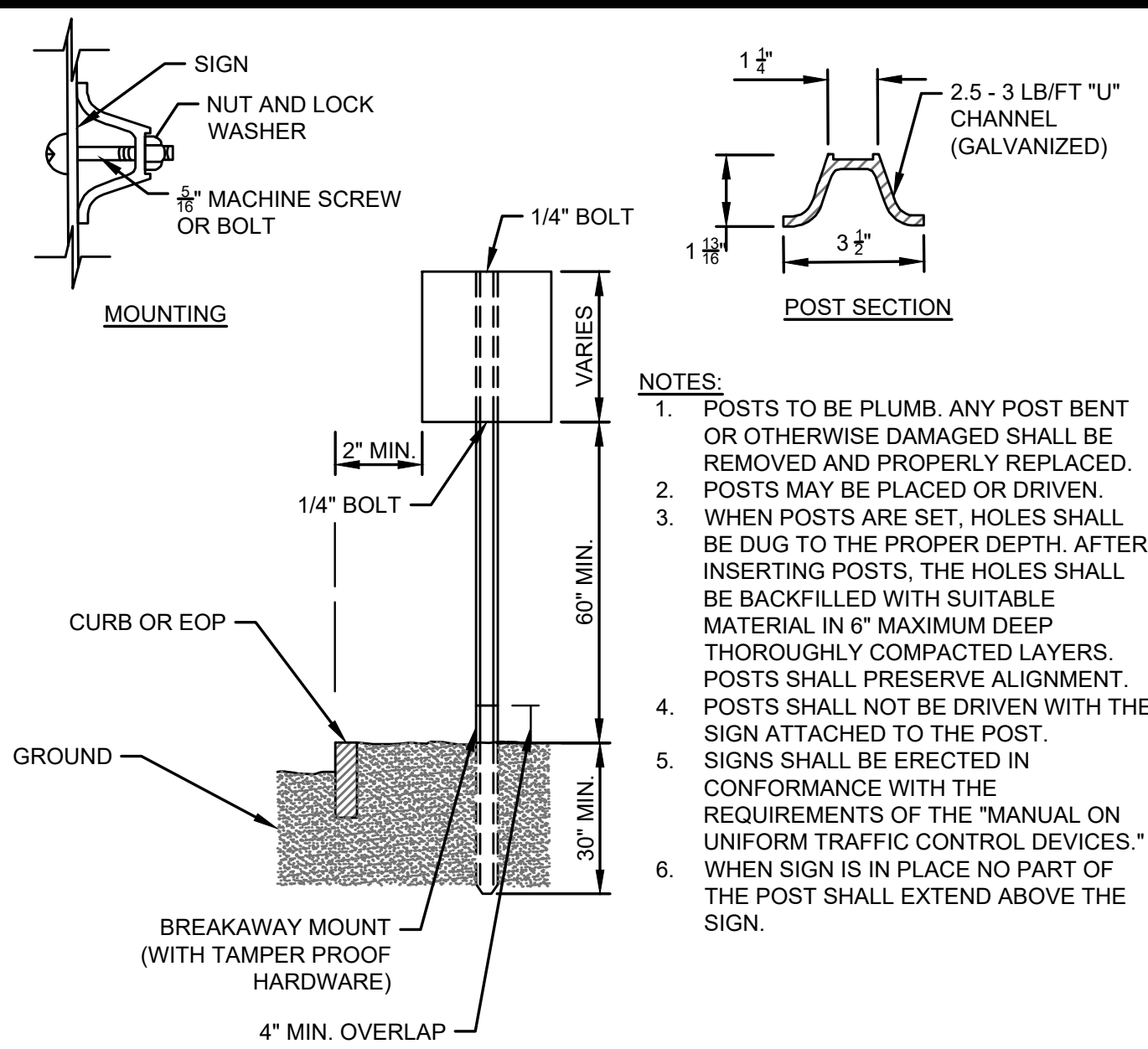


PAVEMENT MARKING DETAILS
 NOT TO SCALE



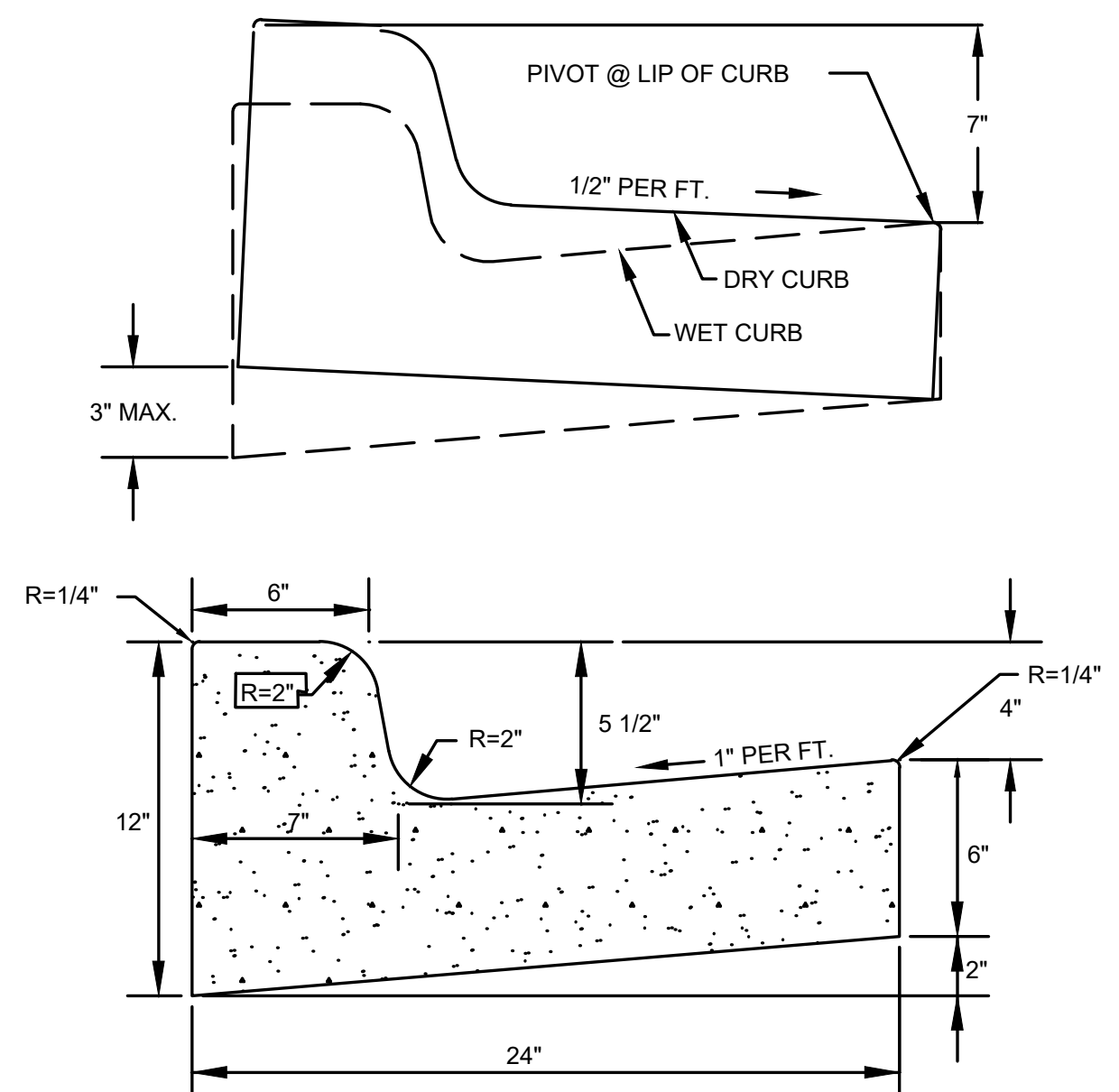
CROSSWALK
 NOT TO SCALE

NOTES:
 1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.

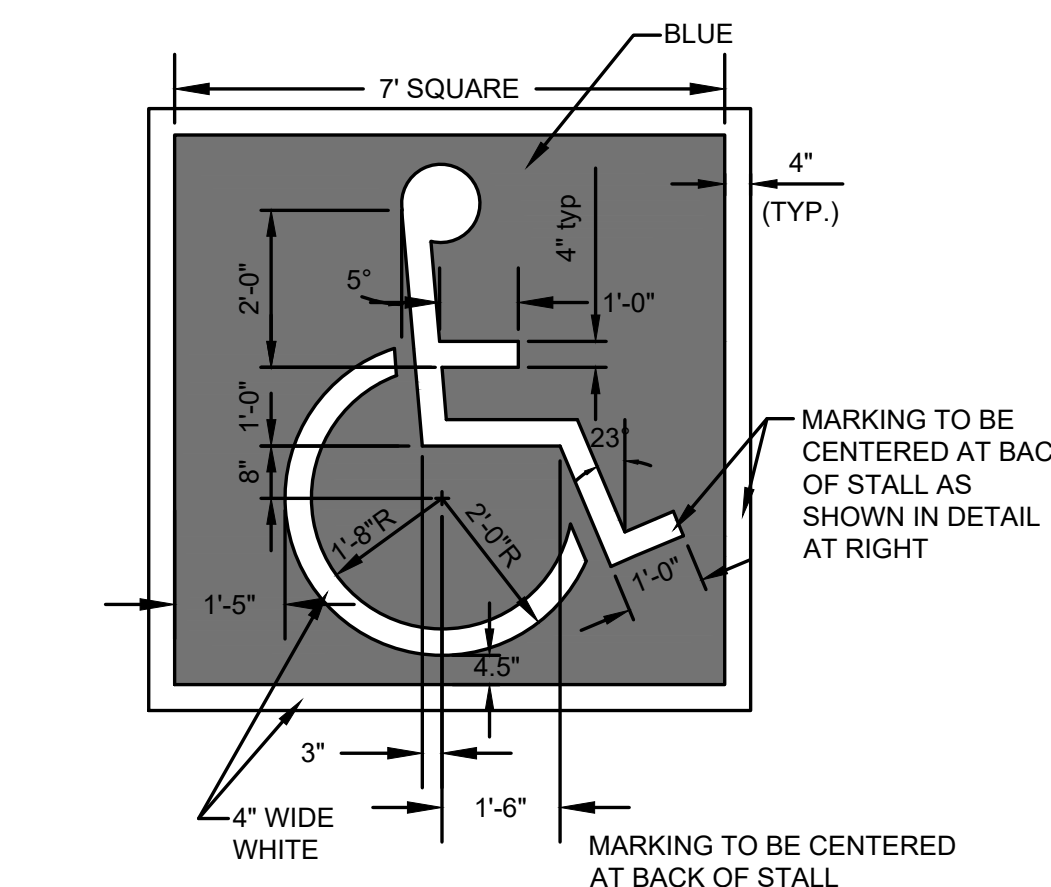


SIGN INSTALLATION DETAILS
 NOT TO SCALE

NOTES:
 1. POSTS TO BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE PLACED OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN 6" MAXIMUM DEEP THOROUGHLY COMPACTED LAYERS. POSTS SHALL PRESERVE ALIGNMENT.
 3. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 4. SIGNS SHALL BE ERRECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 5. WHEN SIGN IS IN PLACE NO PART OF THE POST SHALL EXTEND ABOVE THE SIGN.

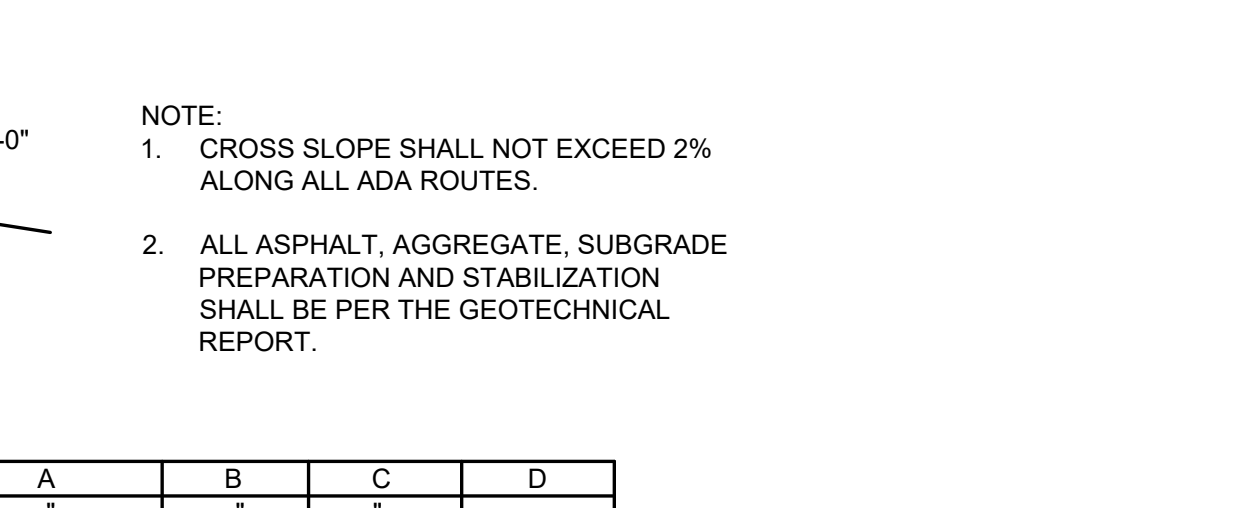
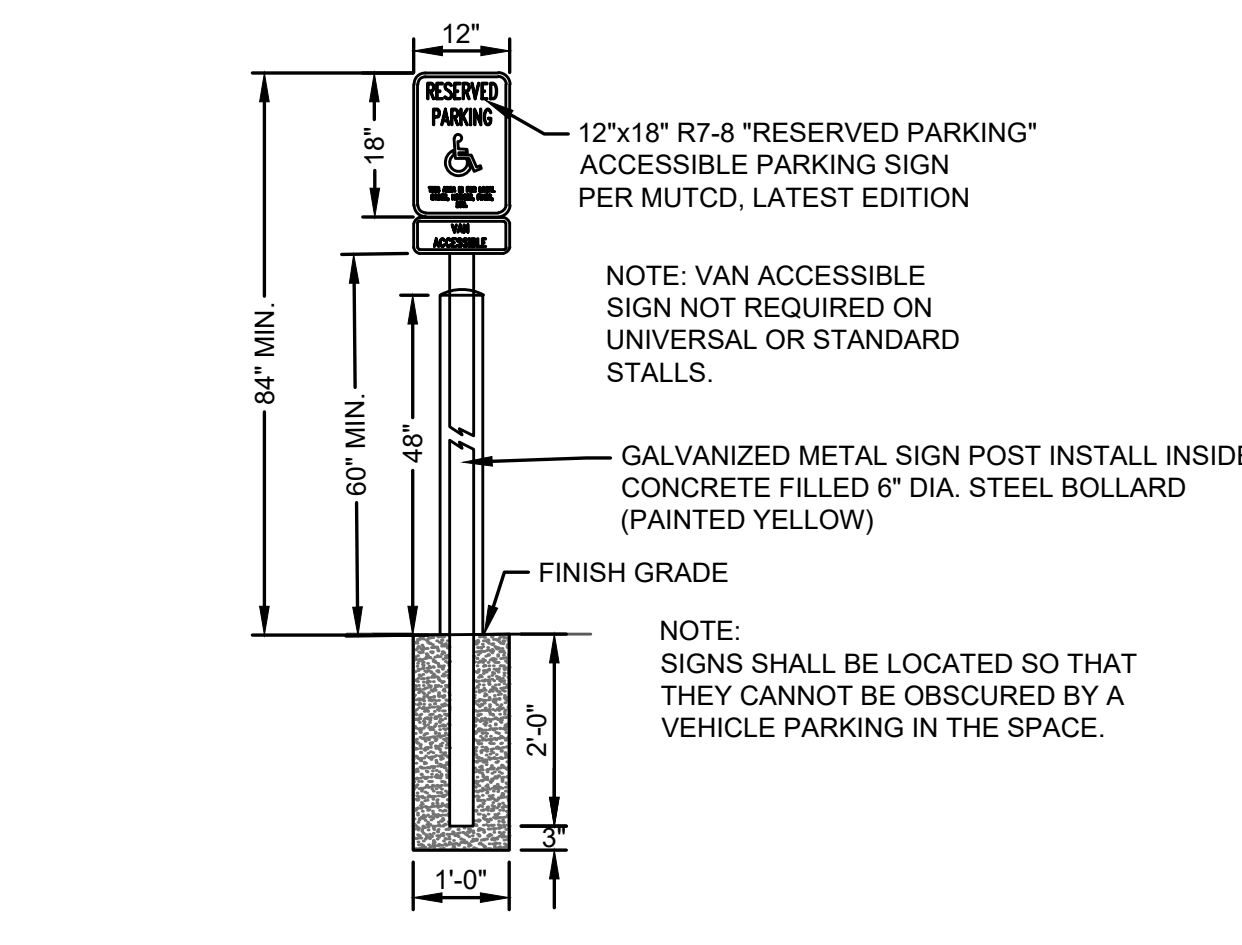
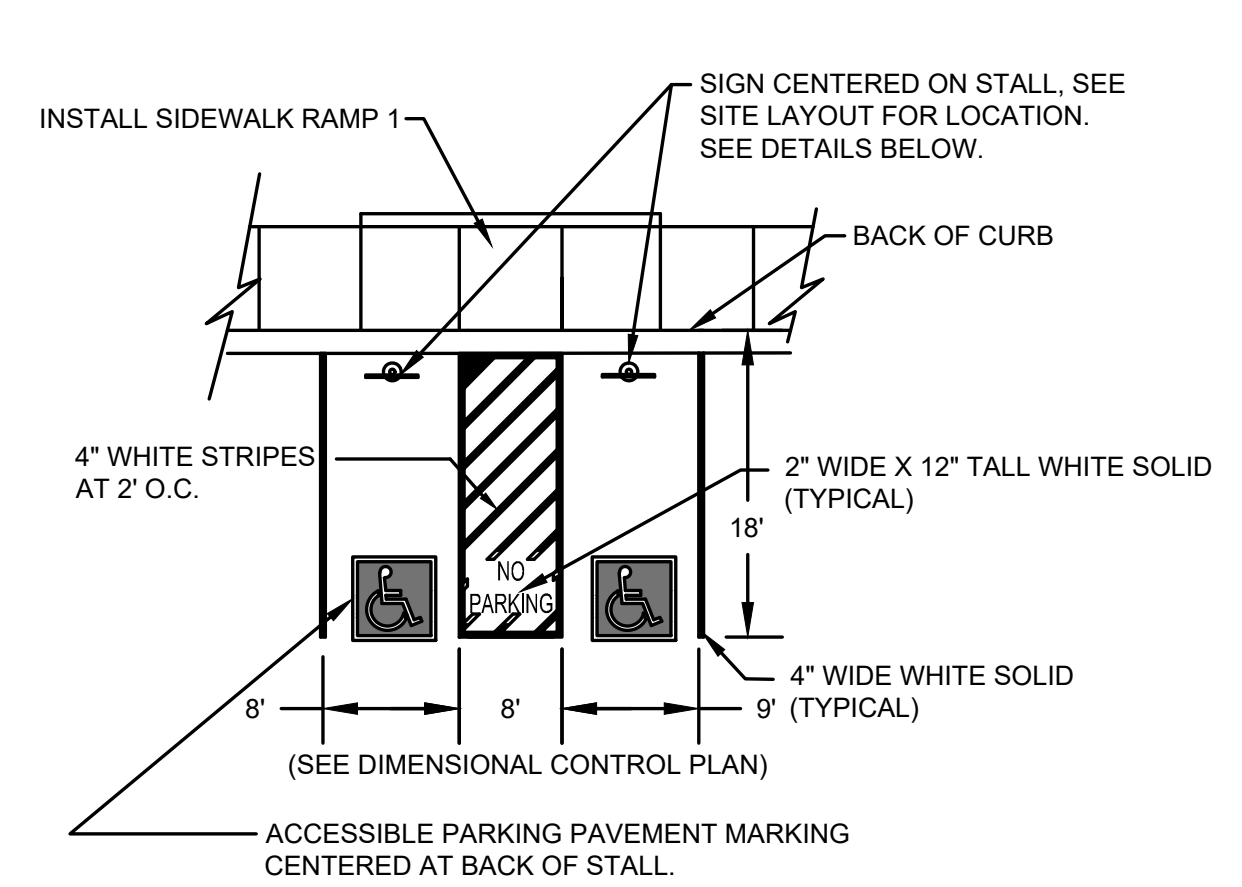


TYPICAL CURB AND GUTTER
 NOT TO SCALE

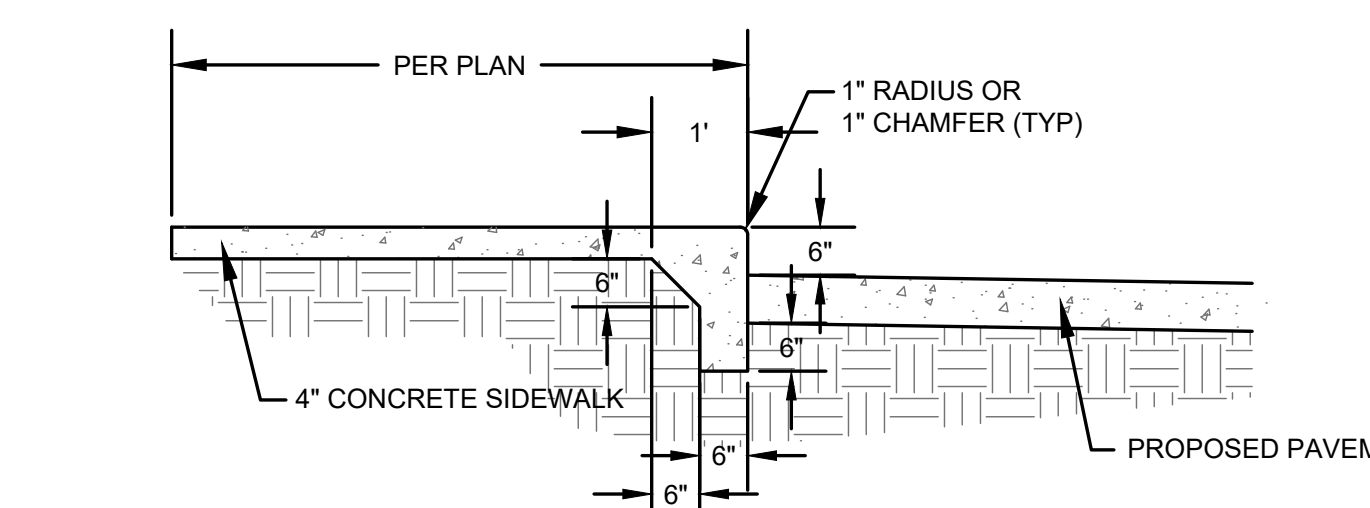
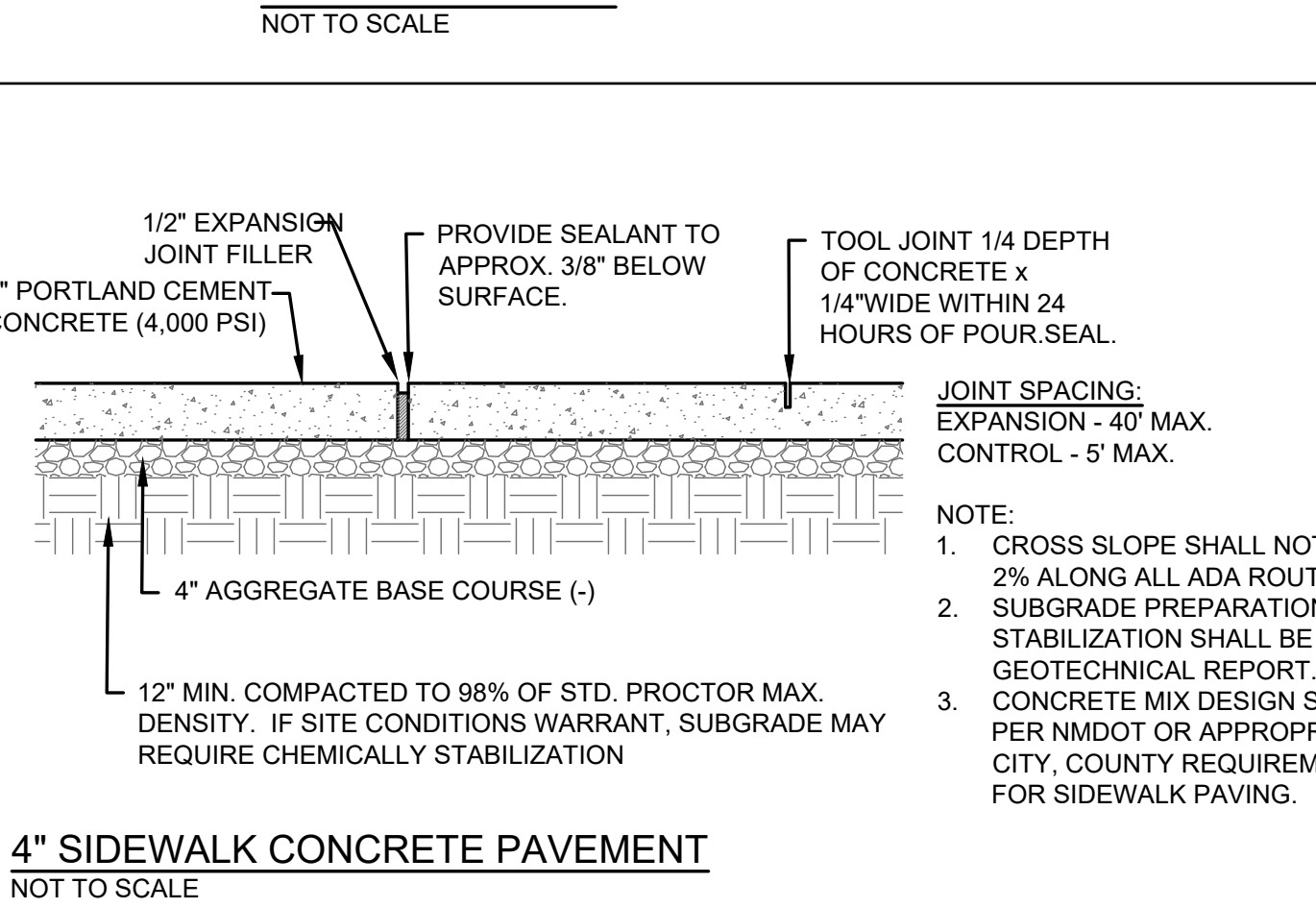
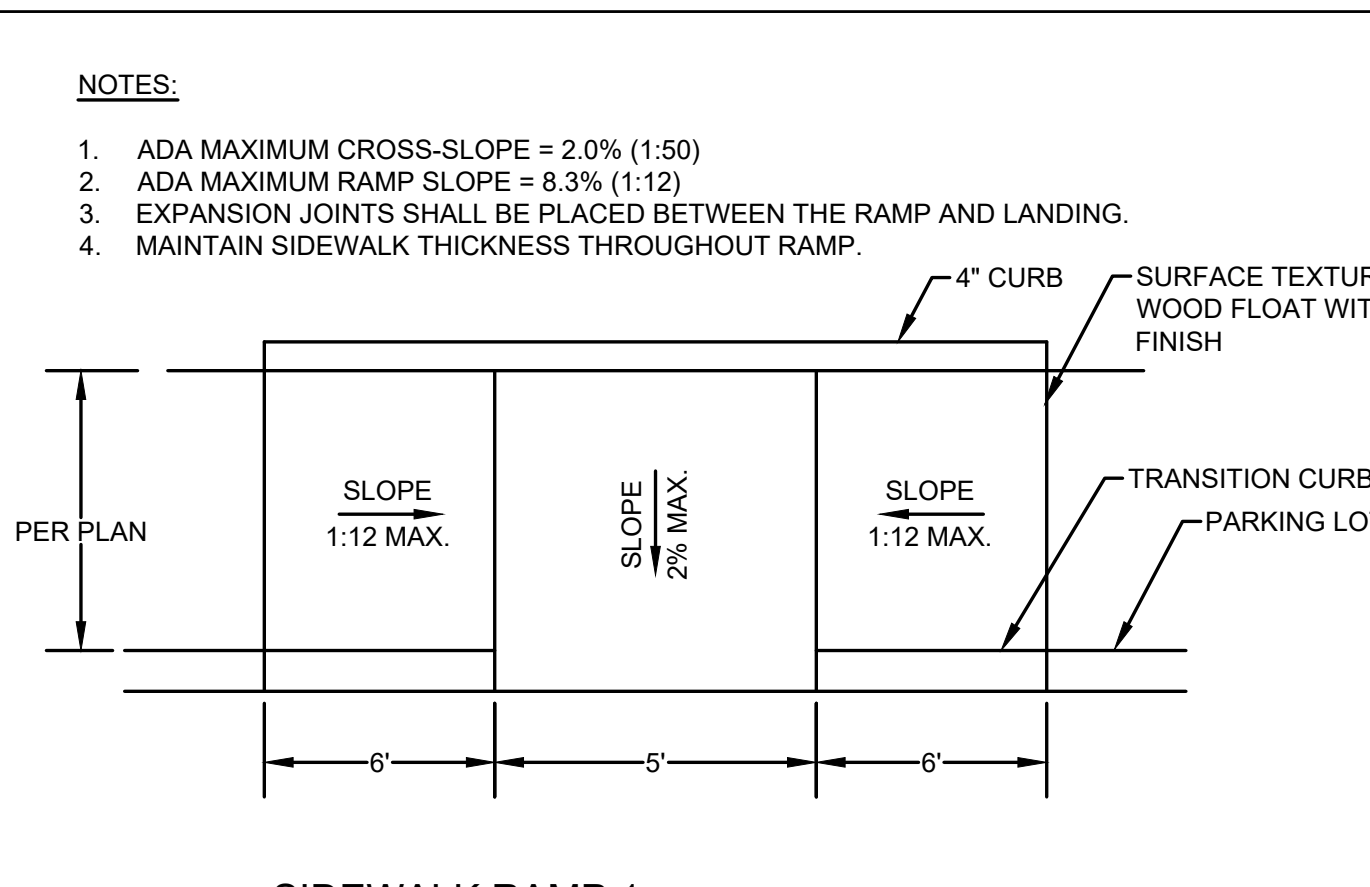


ACCESSIBLE STALL DETAIL
 NOT TO SCALE

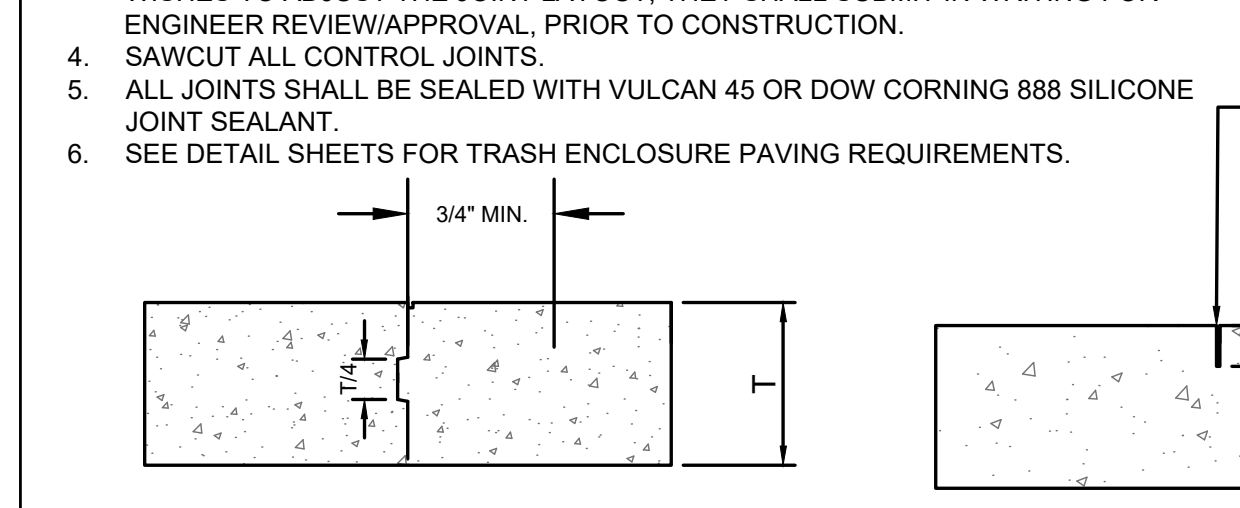
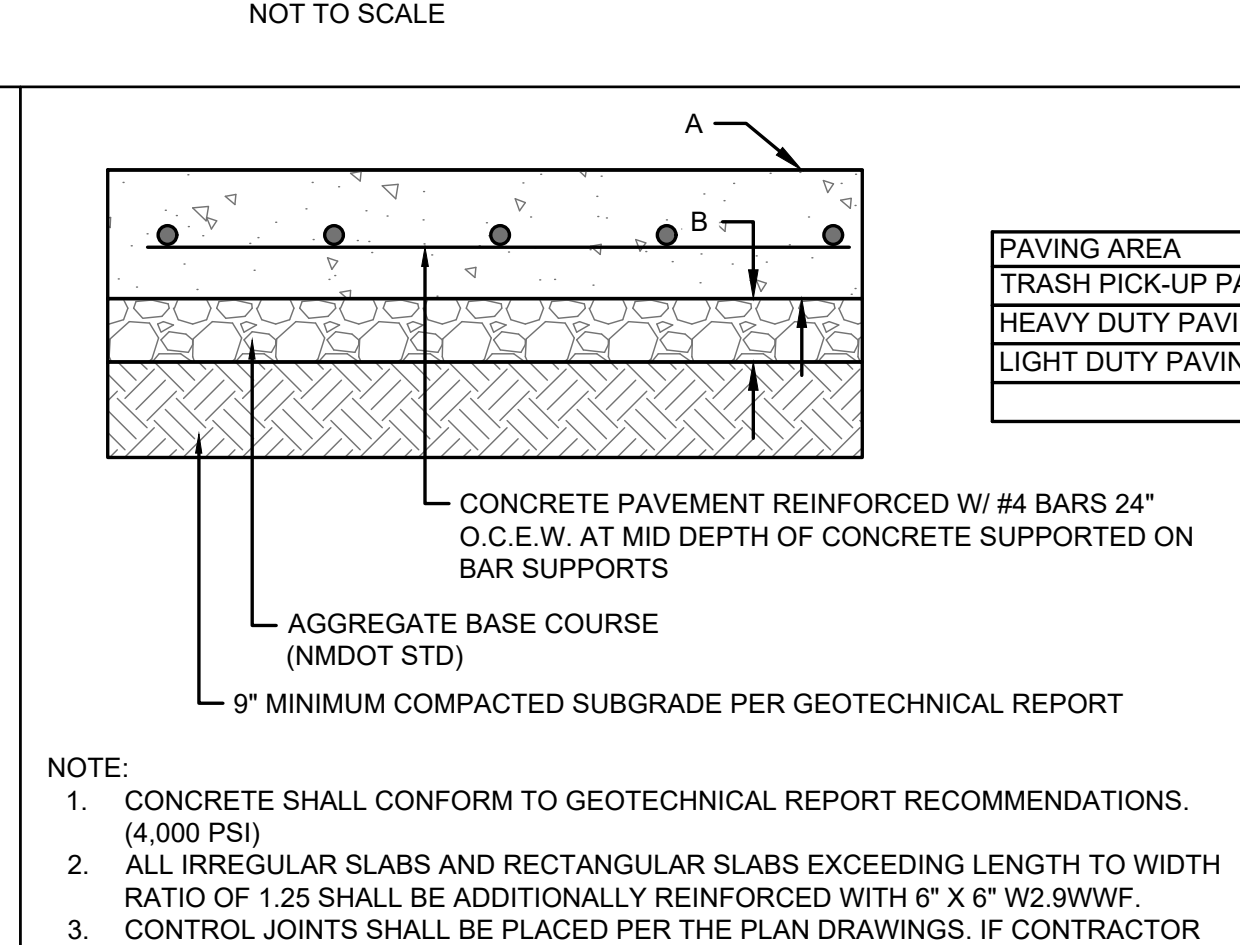
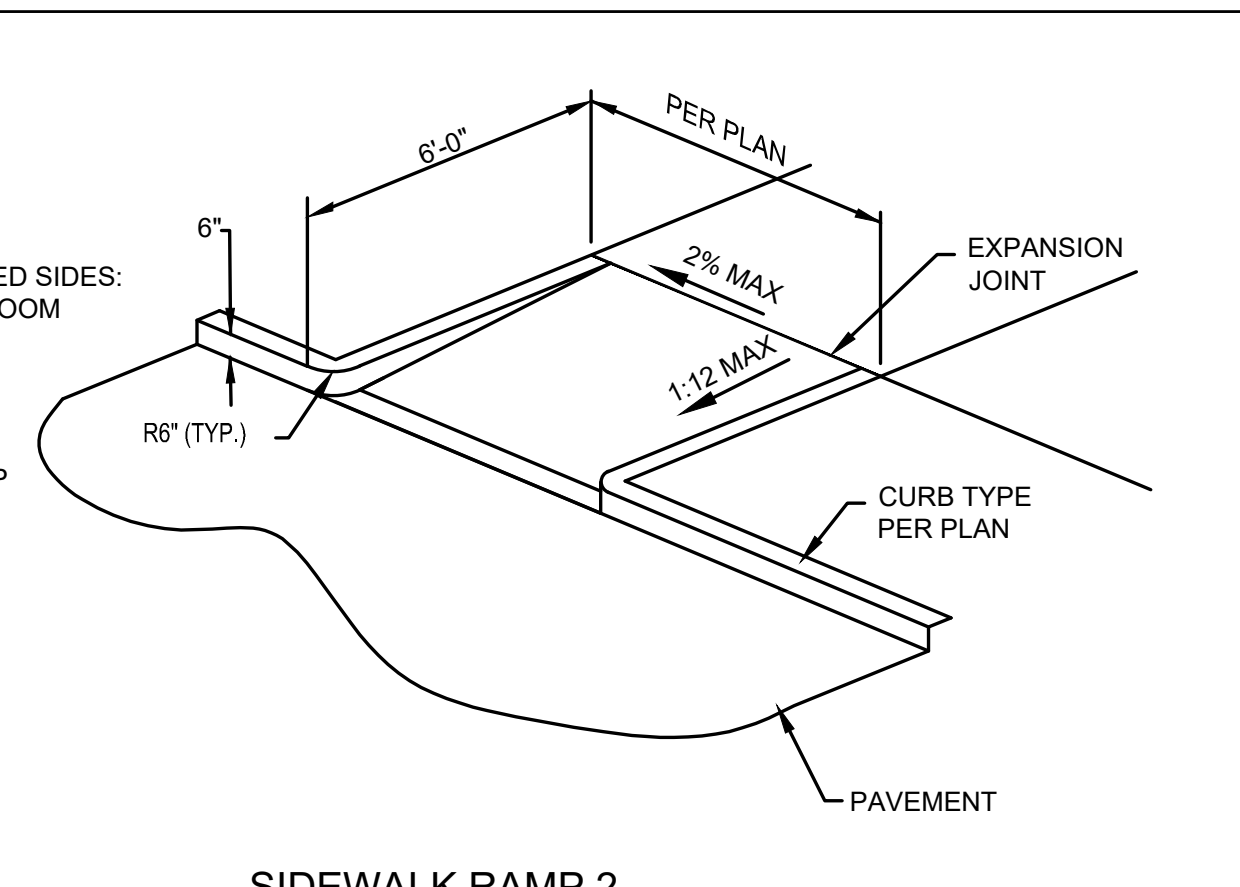
NOTE: ACCESSIBLE SIGN TO BE CENTERED ON PARKING STALL. SEE SITE LAYOUT SHEET FOR LOCATION.



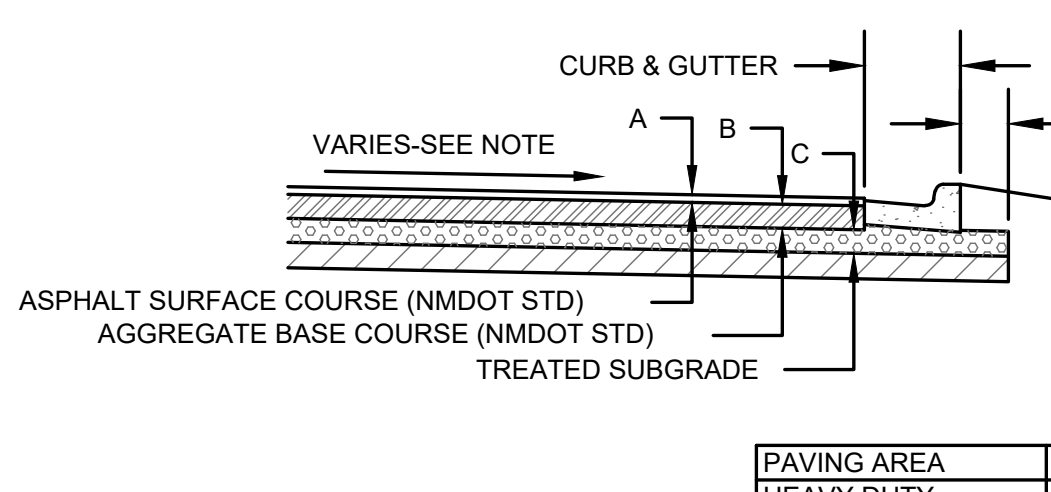
ACCESSIBLE PARKING PAVEMENT MARKING
 NOT TO SCALE



INTEGRAL CURB AND SIDEWALK
 NOT TO SCALE



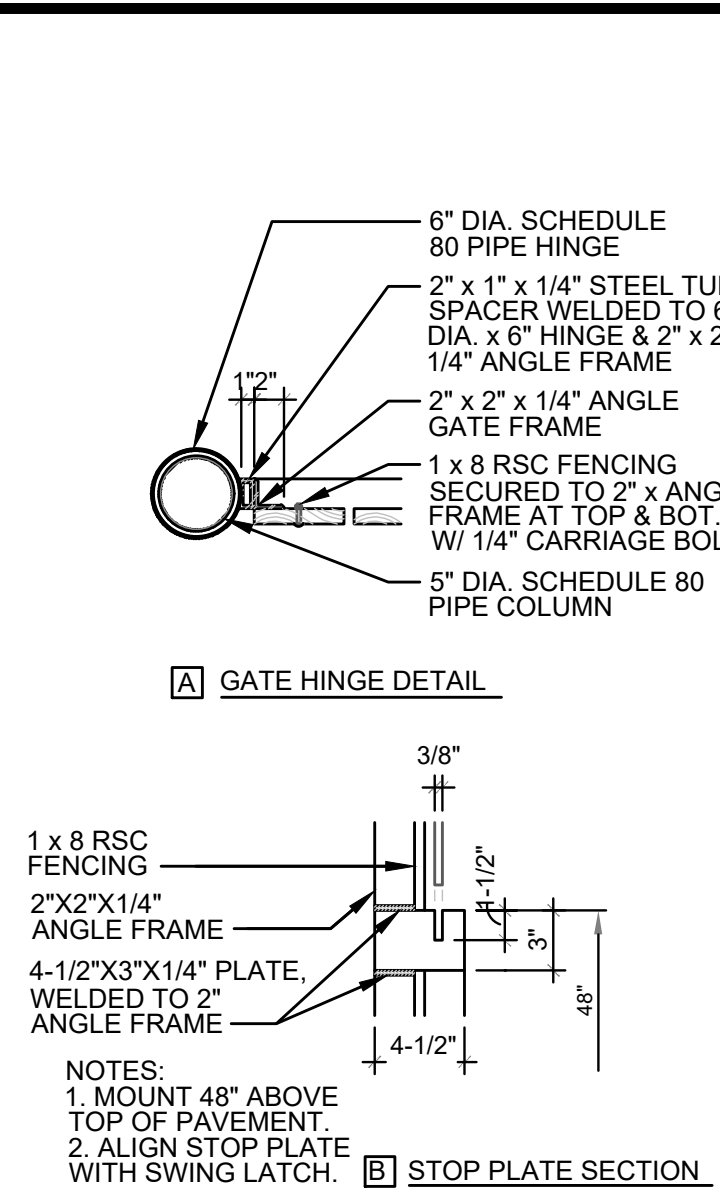
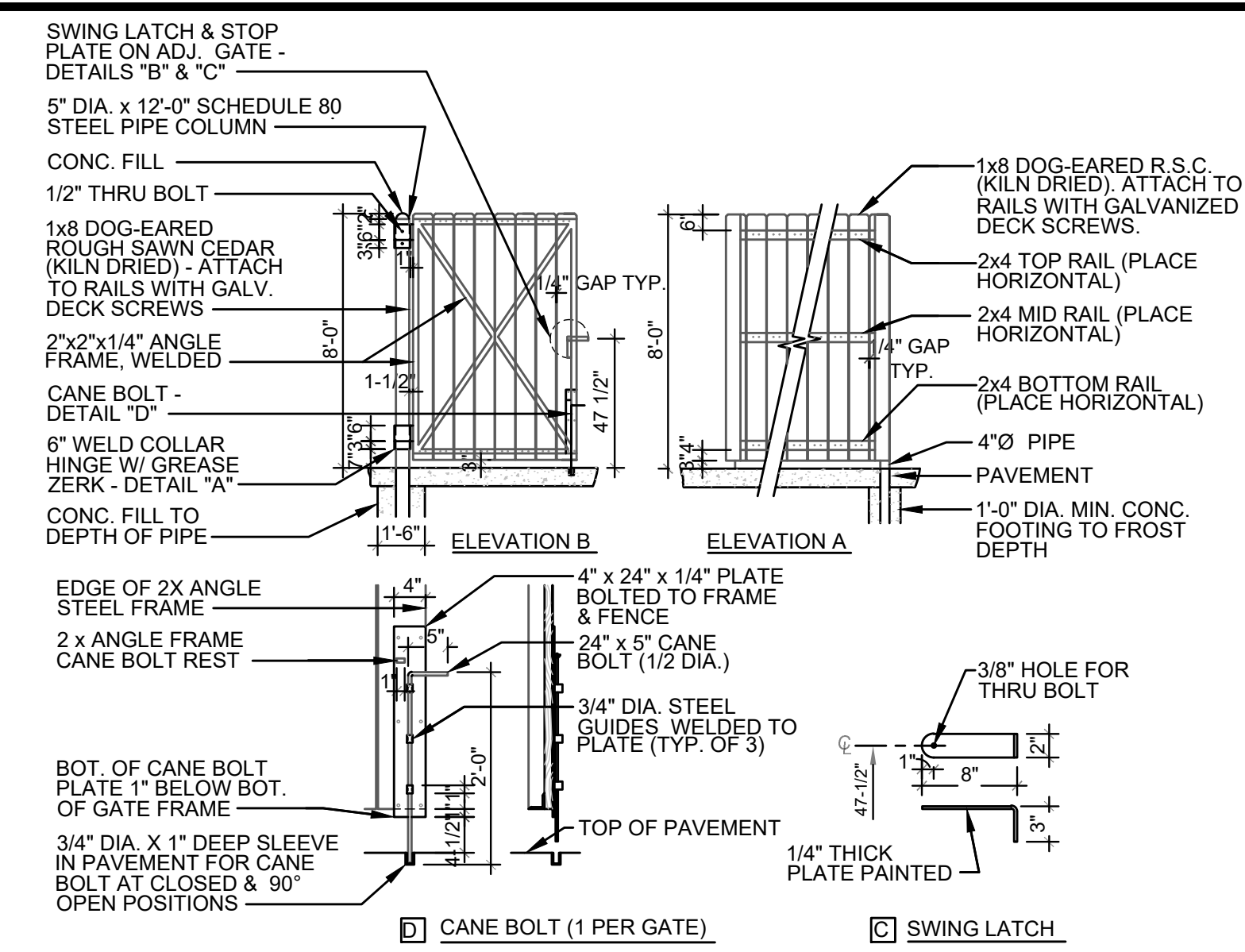
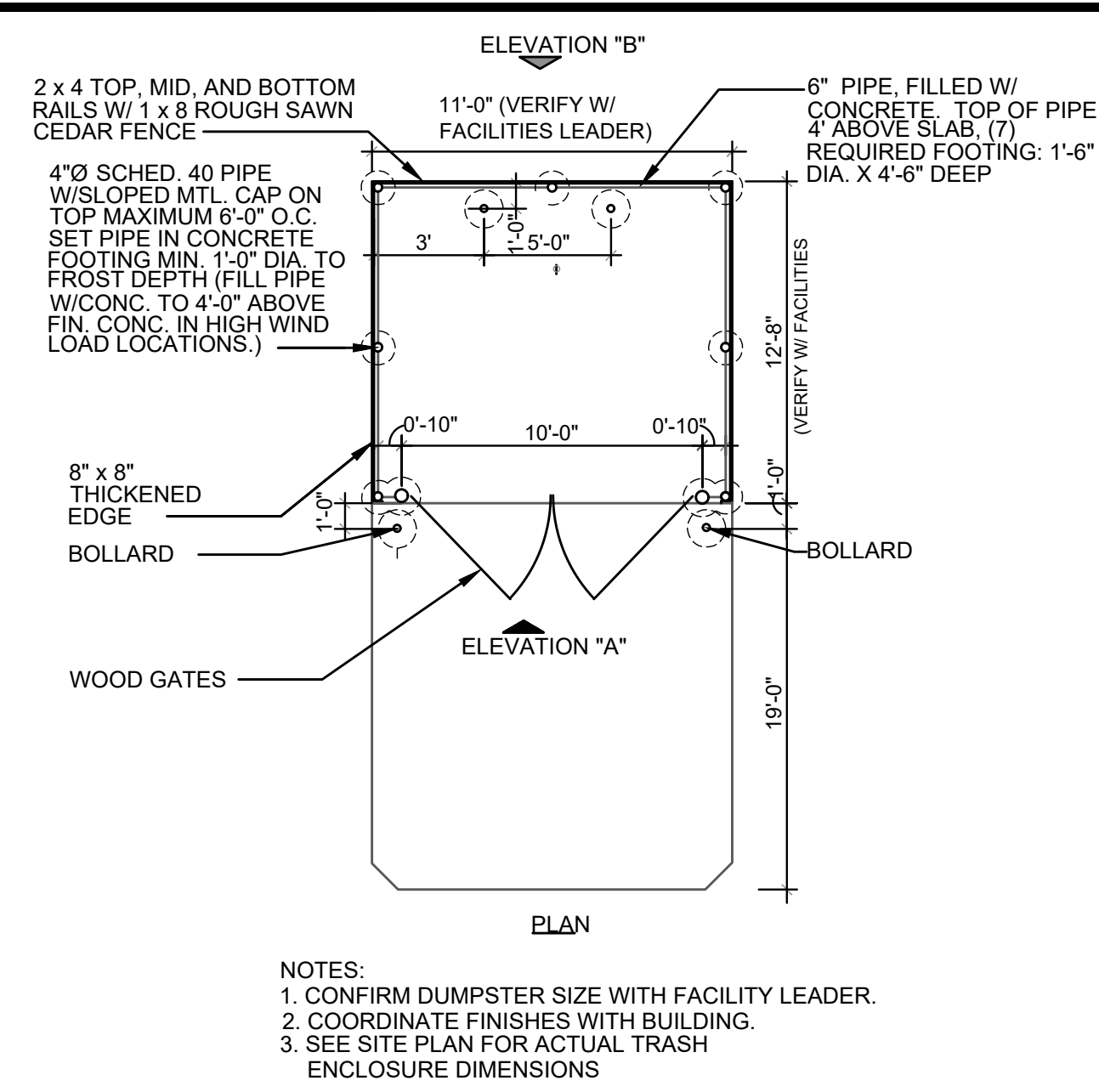
CONCRETE PAVEMENT
 NOT TO SCALE



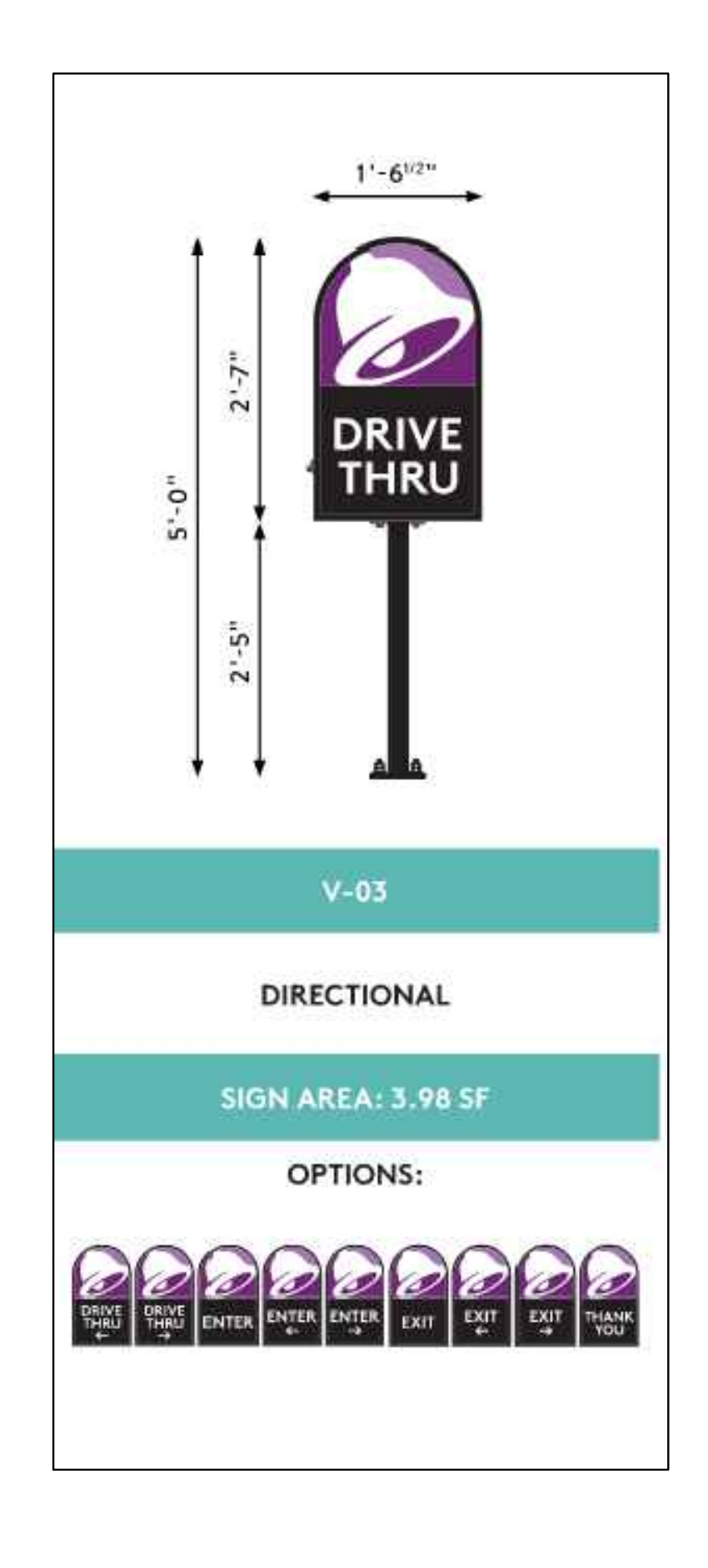
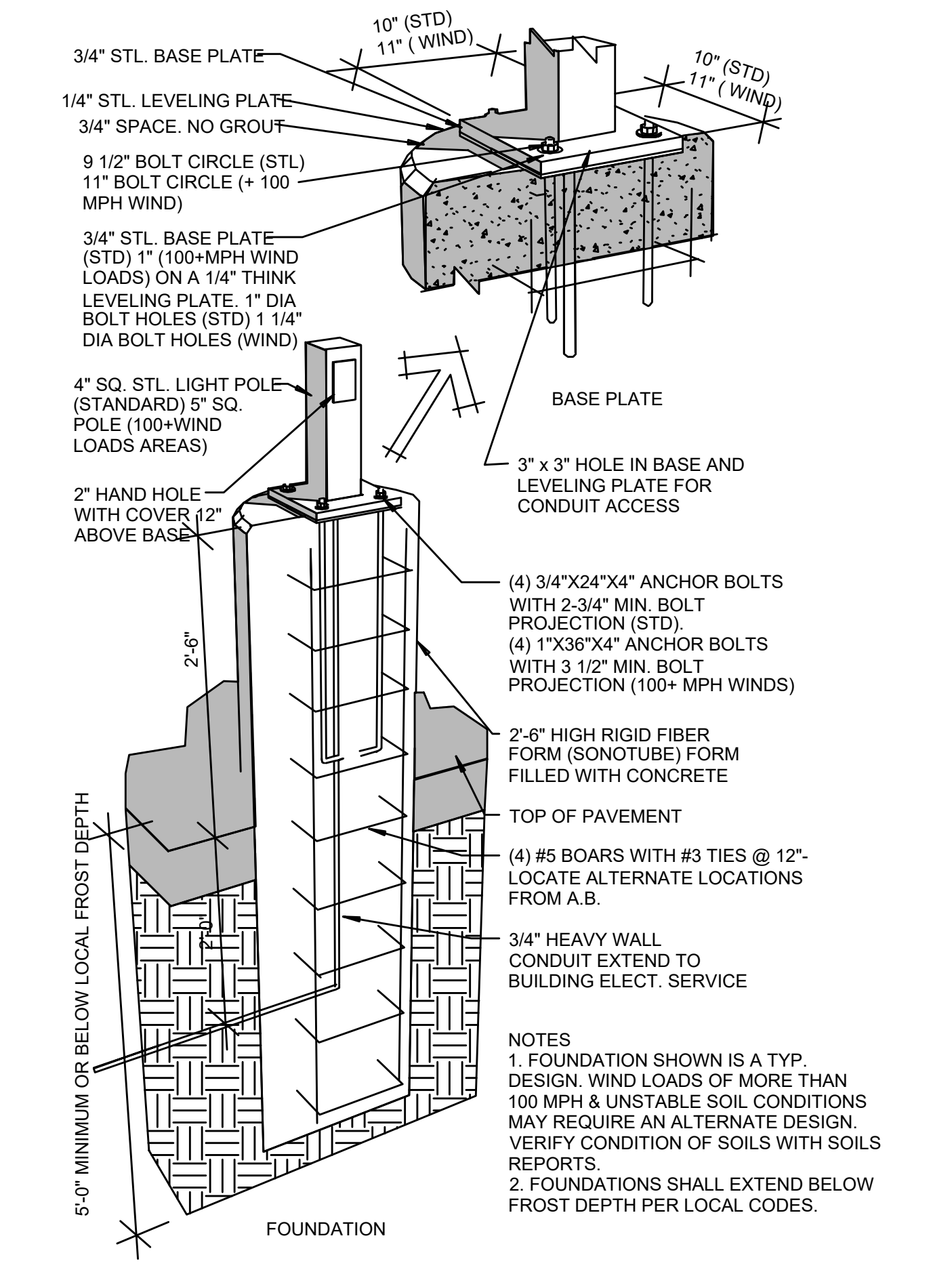
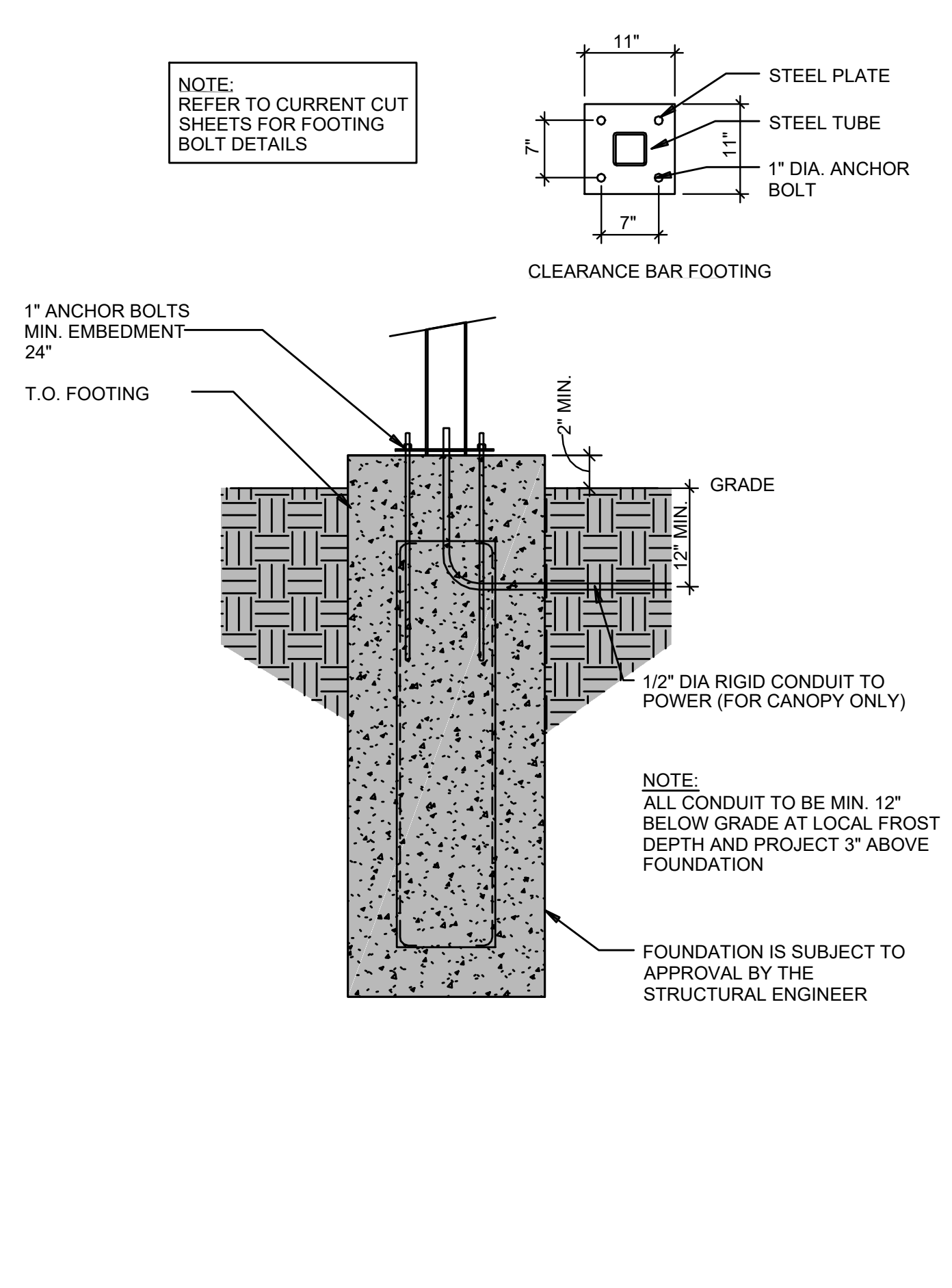
ASPHALT PAVEMENT
 NOT TO SCALE

PAVING AREA	A	B	C	D
HEAVY DUTY	-"	-"	-"	-"
HEAVY DUTY PAVING	6"	6"	6"	6"
LIGHT DUTY PAVING	5"	6"	6"	6"

REFER TO SITE PLAN SHEET FOR PAVING TYPE DESIGNATION.



TRASH ENCLOSURE DETAILS
NOT TO SCALE



McCLURE™

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REVISIONS

PROJECT INFO
2025002749

ENGINEER DRAWN BY CHECKED BY
B. KEMP J. ALVAREZ B. KEMP

SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655

SITE DEVELOPMENT PLANS
CONSTRUCTION DETAILS

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REVISIONS

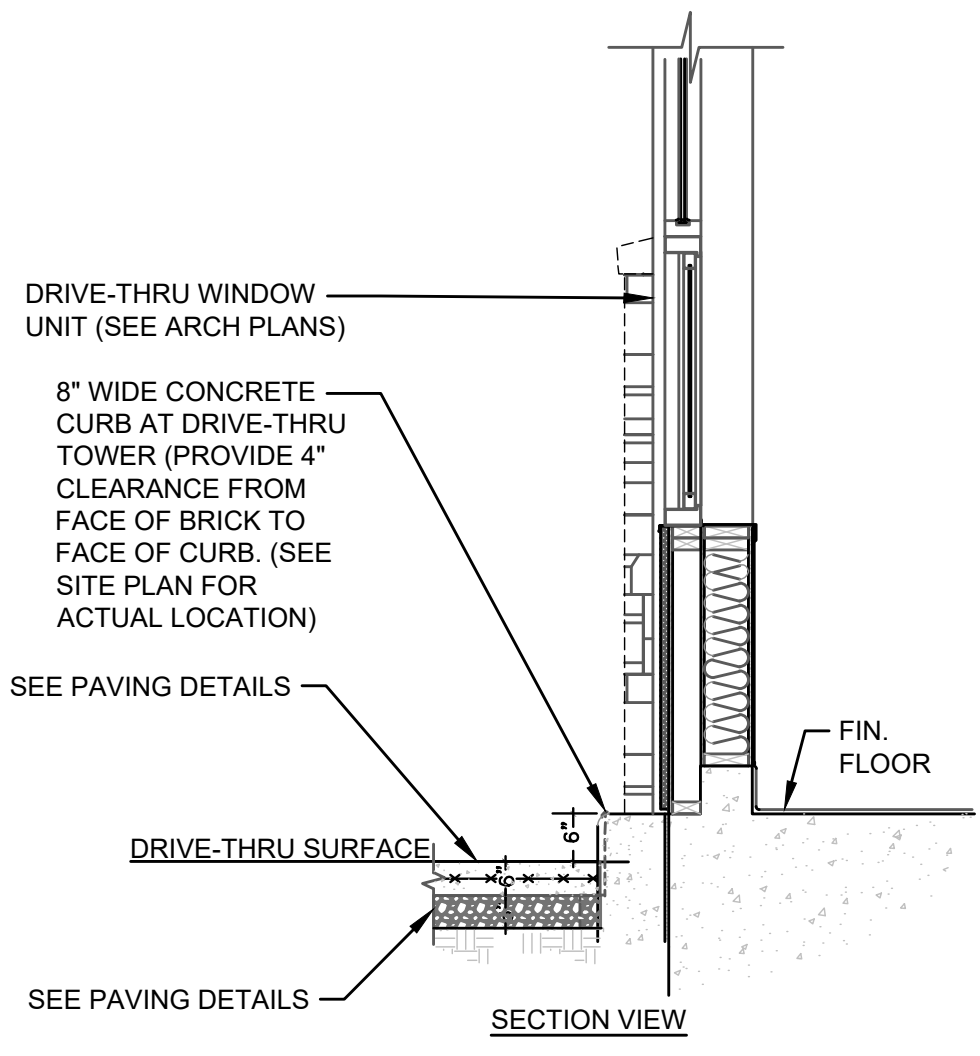
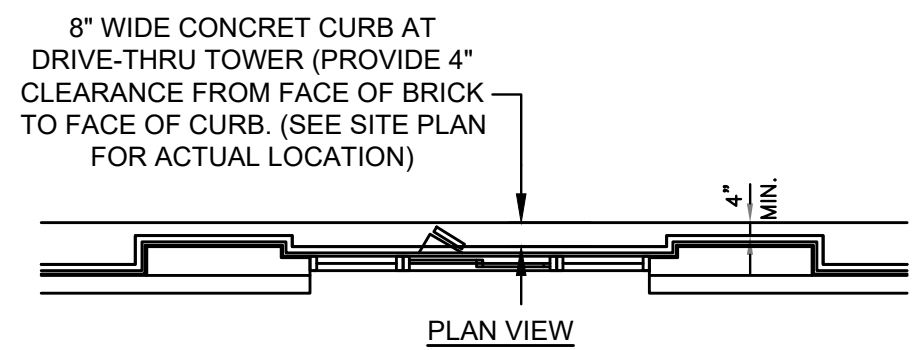
PROJECT INFO

ENGINEER: B. KEMP
 DRAWN BY: J. ALVAREZ
 CHECKED BY: B. KEMP

SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655
SITE DEVELOPMENT PLANS
CONSTRUCTION DETAILS

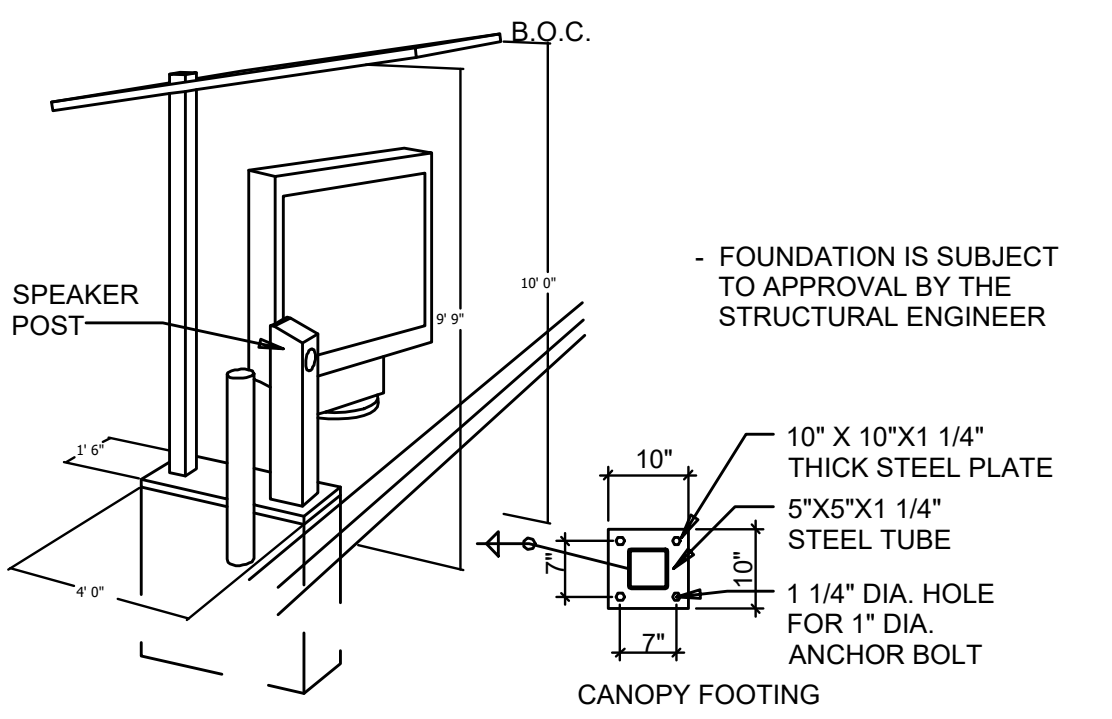
DRAWING NO.

C9



NOTE: FOR SLABS SUBJECTED TO WHEEL LOADS, IT IS RECOMMENDED THAT INTEGRAL CURBS BE UTILIZED OR BE THICKENED AN ADDITIONAL 2 INCHES. TYPICALLY, THE TRANSITION FROM THE THICKENED EDGE TO THE NOMINAL CONCRETE THICKNESS WILL OCCUR OVER A 36-INCH LENGTH AS MEASURED FROM THE EDGE OF THE SLAB.

CONCRETE PAD AND CURB AT DRIVE THRU WINDOW NOT TO SCALE



CANOPY AND SPEAKER FOOTING NOT TO SCALE

SOW FOR DMB INSTALL AND VENDORS

- RSCS TO SUPPLY DMB AND CABLE
- SIGN VENDOR TO SUPPLY ANCHOR BOLTS AND BOLT PATTERN TO GC
- SITE SURVEY -SIGN VENDOR

NEW BUILD

- TRENCHING/ CONDUIT-GC
- FORMING/ FOUNDATION/ ANCHOR BOLTS -GC
- DMB INSTALL -SIGN VENDOR
- DMB CABLE PULL -SIGN VENDOR
- DMB FINAL CONNECTION AND SYSTEM CHECK -SIGN VENDOR
- ELECTRICAL -PULL BY GC -DEDICATED CIRCUIT

REMODEL (SUCCESSOR MANDATORY -MIDTERM OPTIONAL FOR FZ)

- EXISTING FOOTING (SKIP TO STEP 4) -SIGN VENDOR
- TRENCHING/ CONDUIT -SIGN VENDOR
- FORMING/ FOUNDATION/ ANCHOR-BOLTS (SKIP TO STEP 5) -SIGN VENDOR
- ANCHOR BOLTS -SIGN VENDOR
- DIGITAL MD INSTALL -SIGN VENDOR
- DMB CABLE PULL -SIGN VENDOR
- DMB FINAL CONNECTION AND SYSTEM CHECK -SIGN VENDOR

JUST DMB INSTALL

- PERMITTING -SIGN VENDOR
- EXISTING FOOTING (SKIP TO STEP 4) -SIGN VENDOR
- TRENCHING/ CONDUIT -SIGN VENDOR
- FORMING/ FOUNDATION/ ANCHOR-BOLTS (SKIP TO STEP 5) -SIGN VENDOR
- ANCHOR BOLTS -SIGN VENDOR
- DIGITAL MD INSTALL -SIGN VENDOR
- DMB CABLE PULL -SIGN VENDOR
- DMB FINAL CONNECTION AND SYSTEM CHECK -SIGN VENDOR

FOUNDATION IS FURTHER THAN 6'	REMODEL RECOMMEND NEW FOUNDATION WORK FOUNDATION PERFORMED BY GC	NEW BUILDING N/A	RETROFIT RECOMMEND NEW FOUNDATION WORK PERFORMED BY GC
USING EXISTING FOUNDATION (ALTHOUGH NOT RECOMMENDED)	-	N/A	-
INTEGRATED CANOPY EXISTS	-	N/A	-
BOLLARDS NEEDED -DO NOT PLACE IN FRONT OF MENUBOARD	WORK PERFORMED BY SIGNAGE INSTALLER	WORK PERFORMED BY SIGNAGE INSTALLER	WORK PERFORMED BY SIGNAGE INSTALLER

CONDUIT SCHEDULE

DEVICE	POWER	DATA
DIRECTIONAL	(1) 3/4"	-
SPEAKER POST	(1) 1"	(1) 1"
MENU BOARD	(1) 1"	(2) 1"
PREVIEW BOARD	(1) 1"	(2) 1"

NOTE: BOLT PATTERN PROVIDED AS EXAMPLE -OBTAIN ANCHOR BOLT TEMPLATE FROM SUPPLIER

OPTIONAL

ANCHOR PLATE

(3) 1 inch CONDUITS

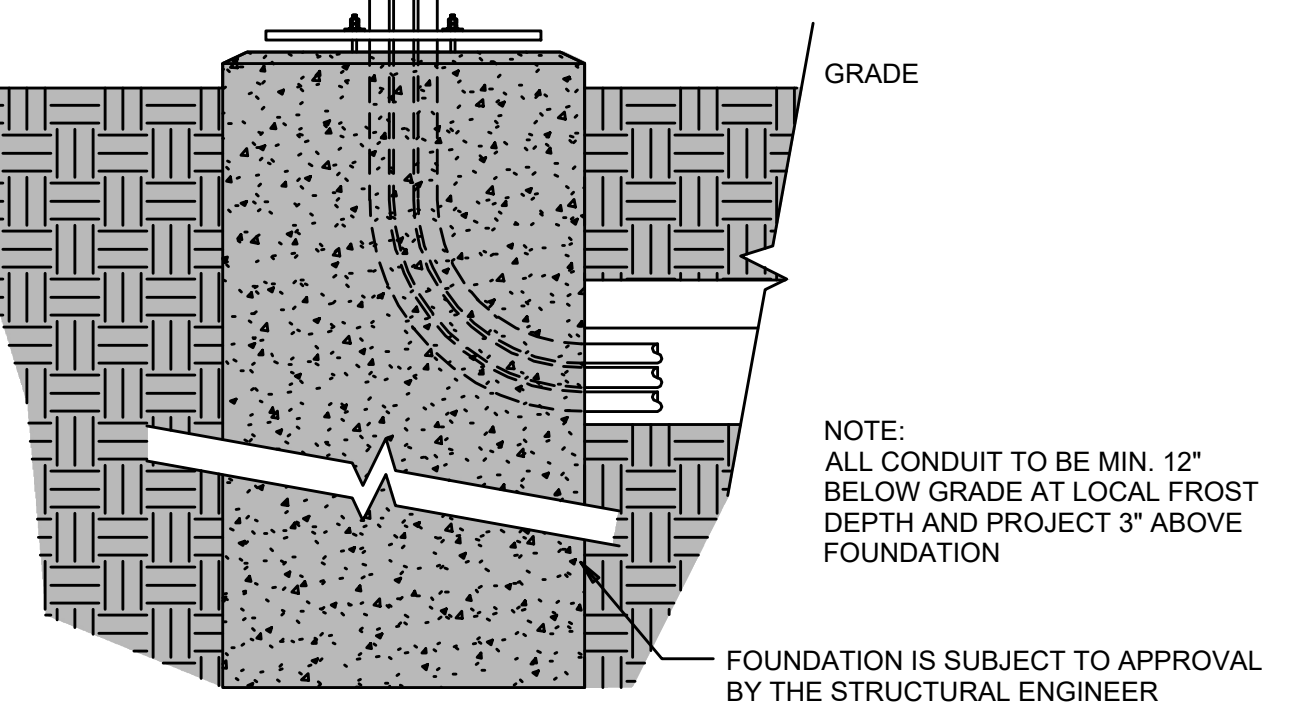
8"

8"

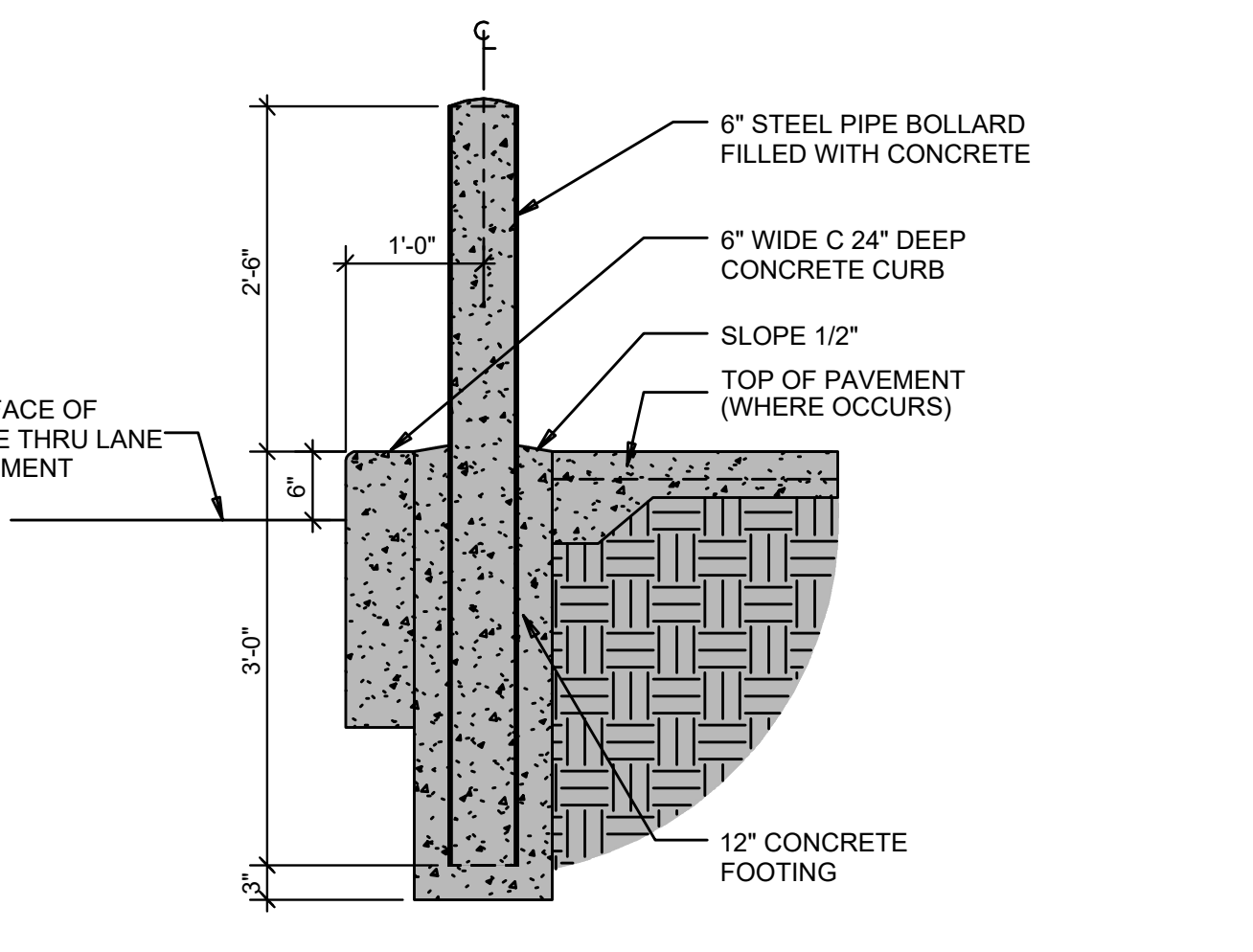
NOTE: BOLT PATTERN PROVIDED AS EXAMPLE -OBTAIN ANCHOR BOLT TEMPLATE FROM SUPPLIER

OPTIONAL

MENU BOARD -(3) CAT 6
 PREVIEW BOARD(2) CAT 6
 SPEAKER POST -(1) CAT 6

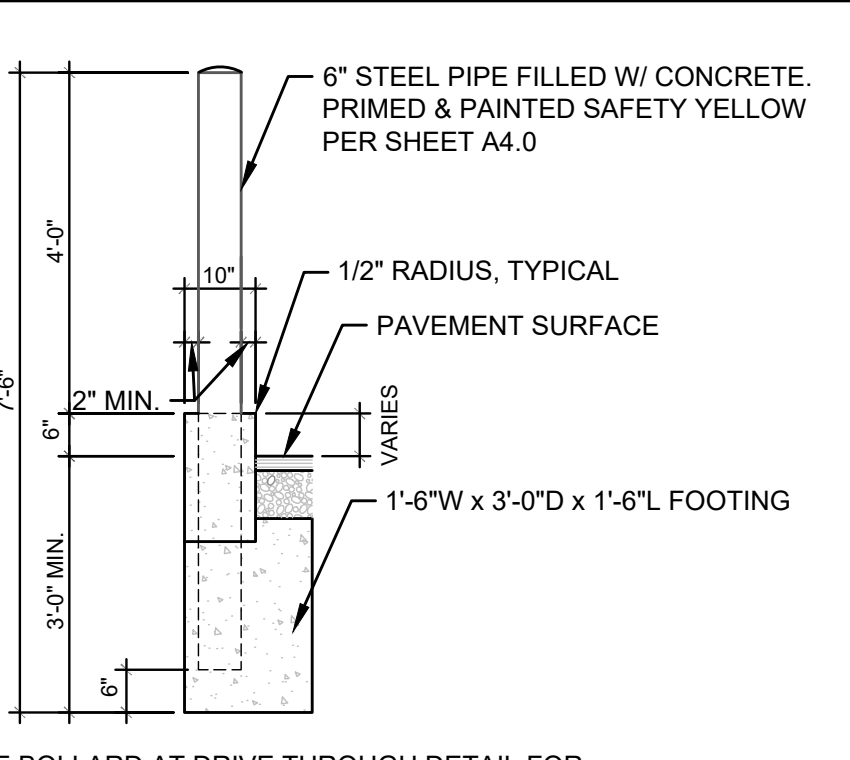


MENU FOUNDATION NOT TO SCALE

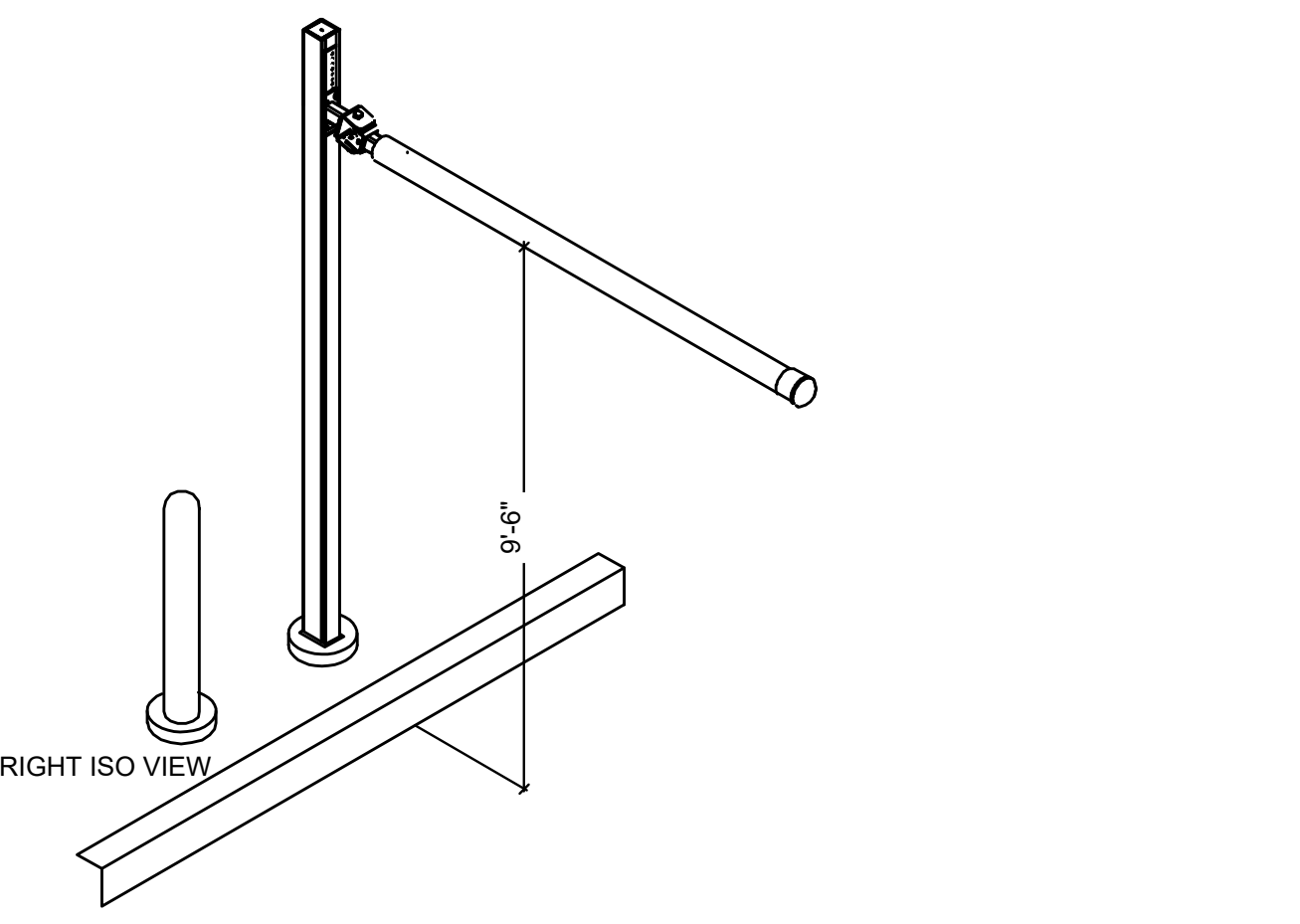


BOLLARD AT DRIVE THRU NOT TO SCALE

MENU BOARD SOW NOT TO SCALE



BOLLARD DETAIL NOT TO SCALE

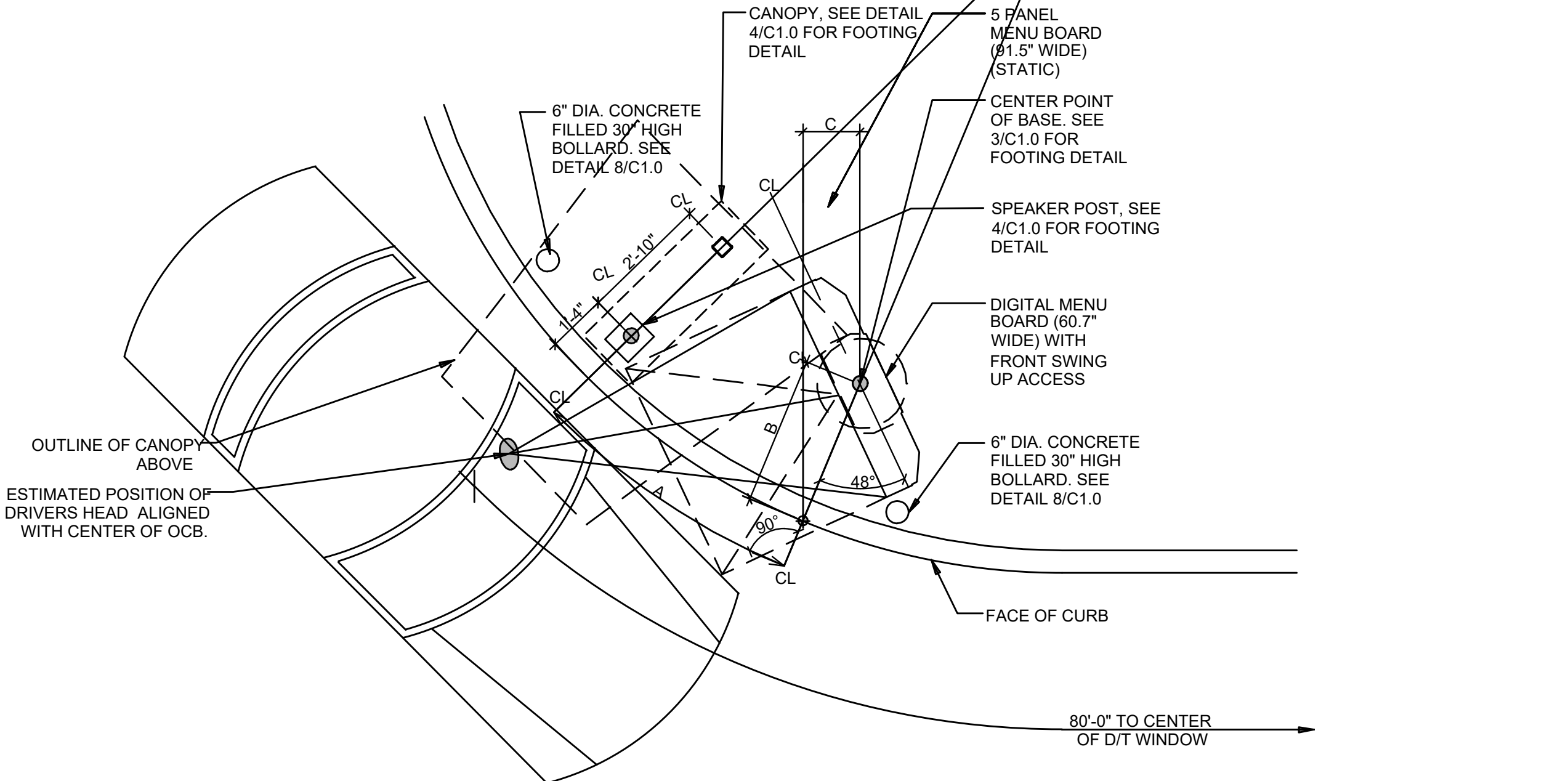


CLEARANCE BAR PLACEMENT DETAIL NOT TO SCALE

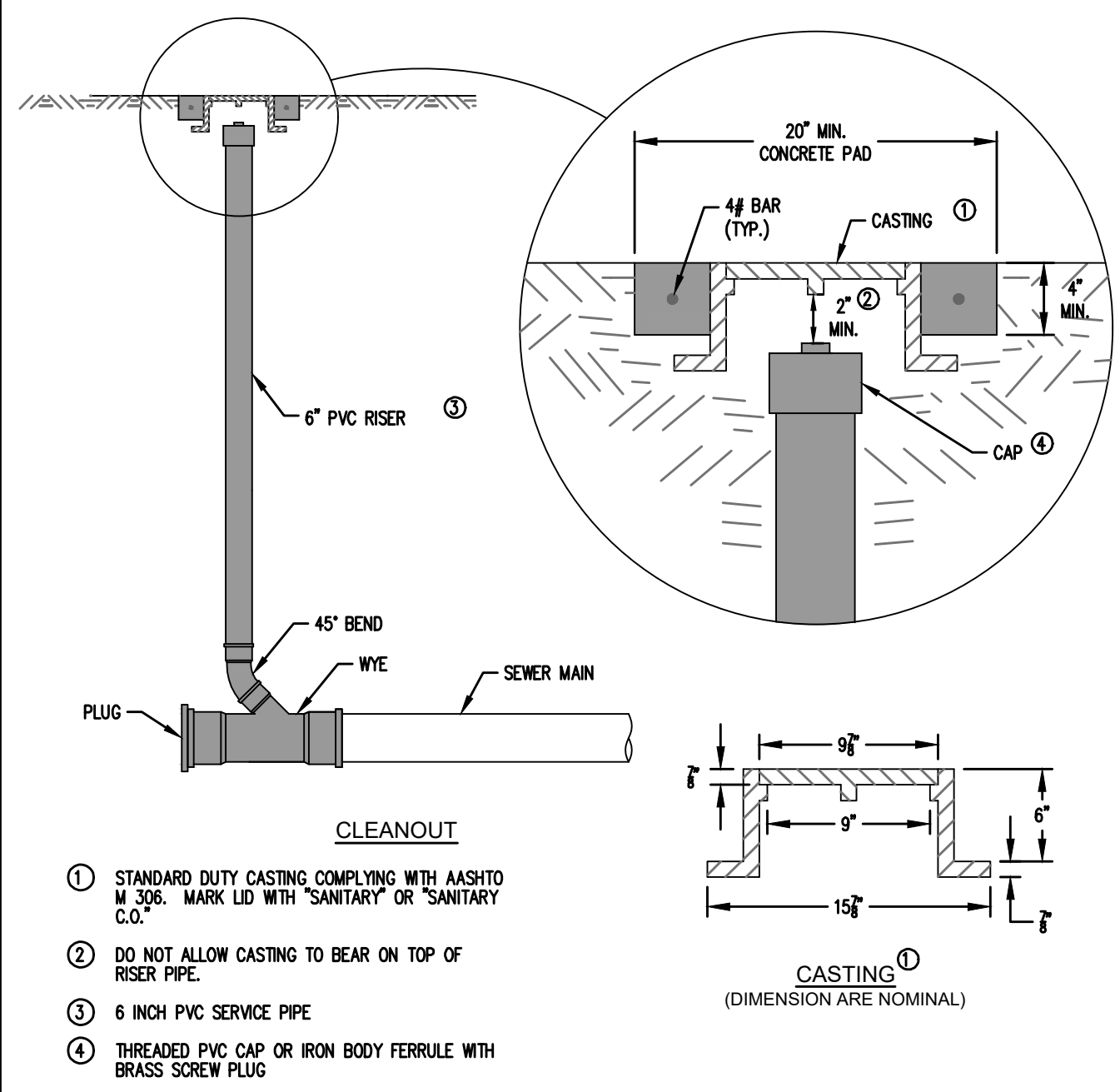
- NOTES**
- ALL AREAS OF THE MB MUST BE VISIBLE TO DRIVER LOCATED AT SPEAKER POST. ASSUME DRIVERS LOCATION IS 24" FROM FACE OF CURB, CENTERED ON SPEAKER POST.
 - CENTER OF MB TO BE 5'-6" TO 9'-0" FROM DRIVERS POINT OF VIEW.
 - PROVIDE (2) 1" CONDUITS FROM BUILDING TO SPEAKER POST FOR LOW VOLTAGE WIRING

CORNER DIMENSIONS

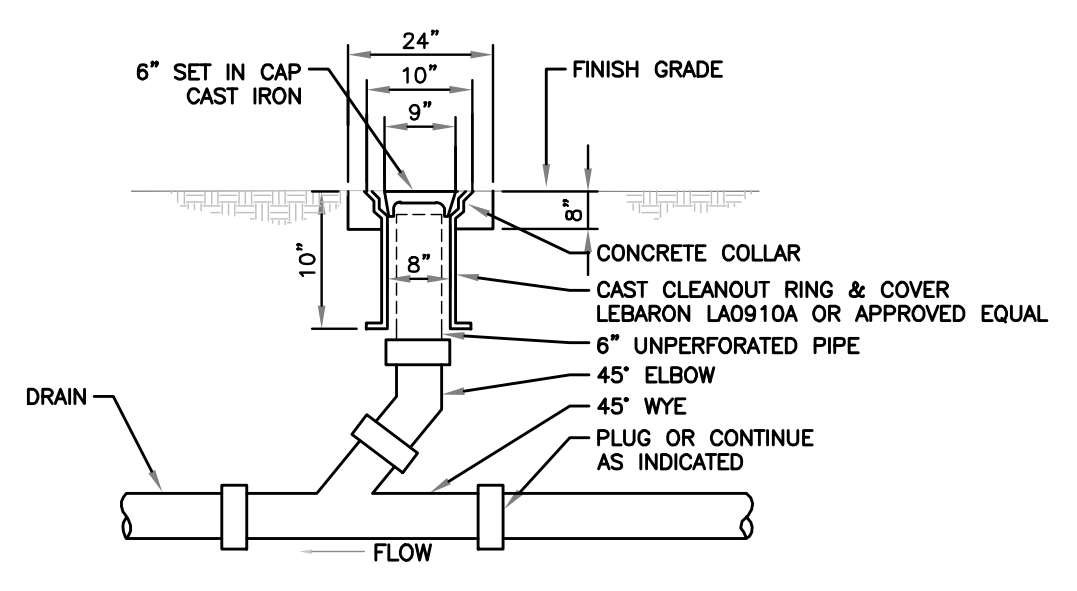
RADIUS	A	B	C	MENU BRD DEG TILT
15'-0"	6'-3"	3'-3"	1'-3"	48°
18'-0"	5'-10"	3'-6"	1'-7"	52°
20'-0"	5'-11"	3'-7"	1'-9"	54°



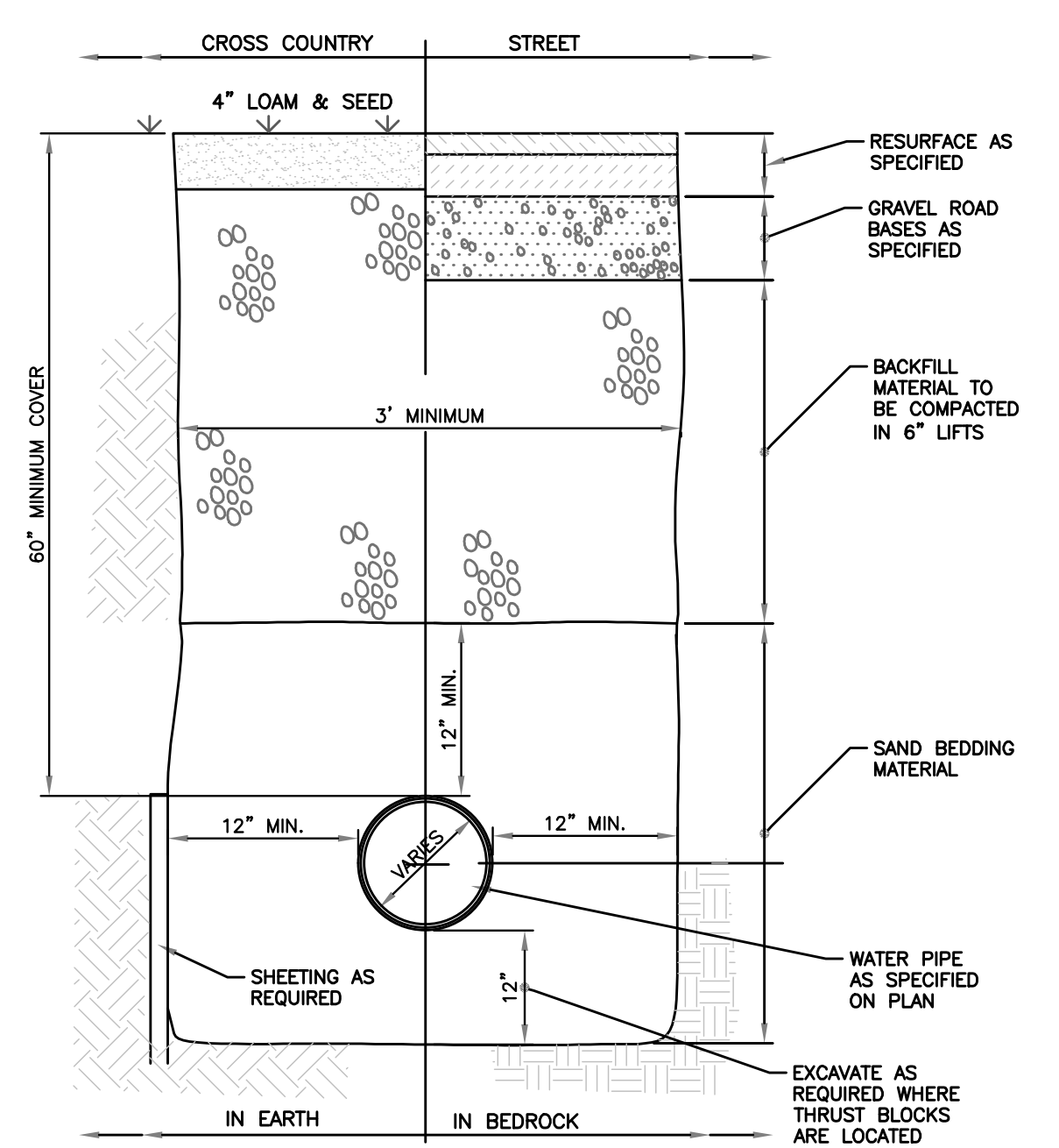
ENLARGED MENU BOARD DETAIL @ CURVED CURB NOT TO SCALE



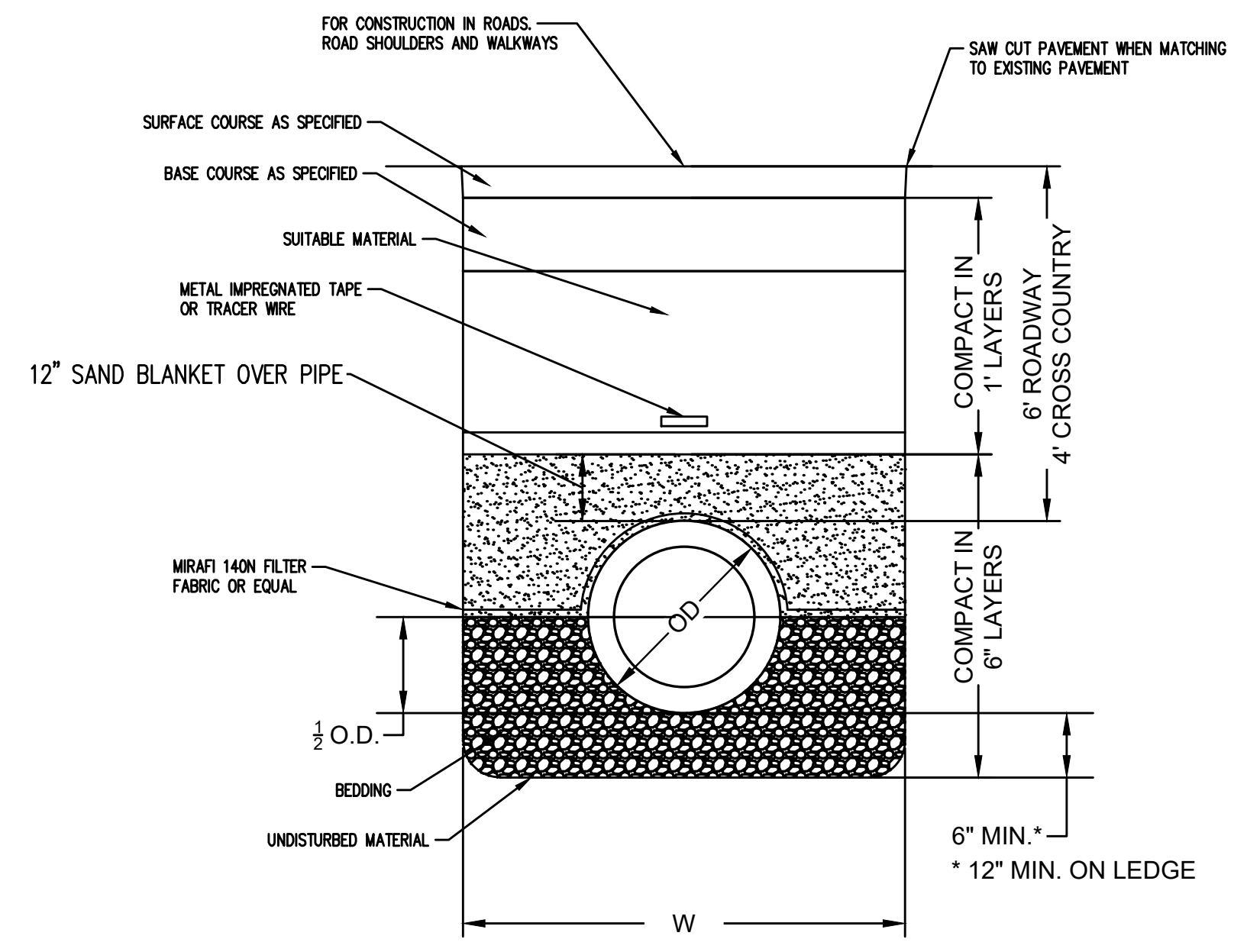
SANITARY SEWER CLEANOUT
NOT TO SCALE



TYPICAL DRAIN CLEANOUT
NOT TO SCALE



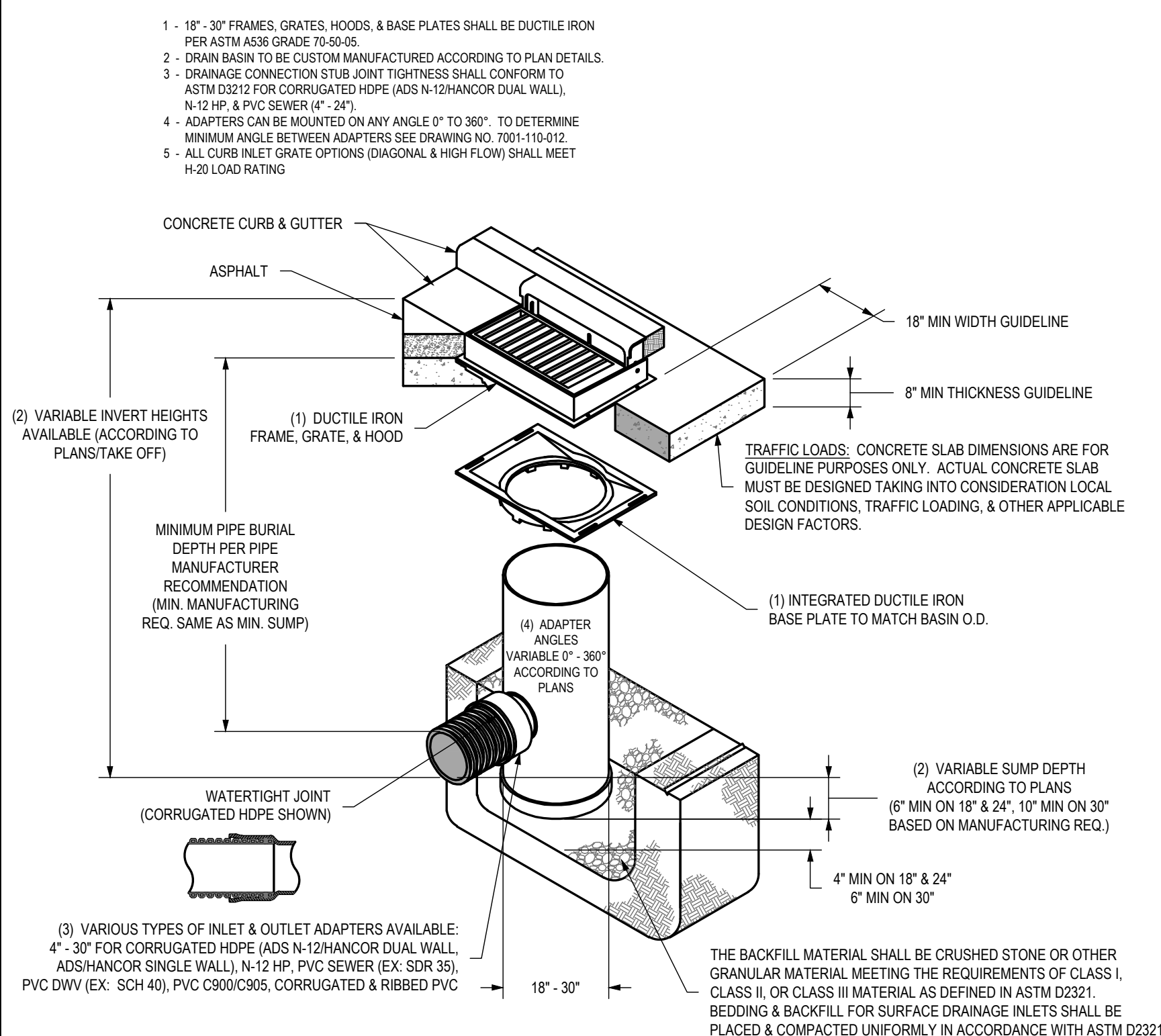
TRENCH SECTION FOR WATER SERVICE
NOT TO SCALE



CONTRACTOR TO INSULATE WHERE COVER IS LESS THAN 6' OF COVER IN PAVEMENT AND 4' IN LANDSCAPE AREAS WITH 2" RIGID INSULATION. INSULATION MUST BE POSITIONED ABOVE THE BLANKET MATERIAL AND EXTEND ACROSS THE FULL WIDTH OF THE TRENCH, IN COMPLIANCE WITH ENV_WQ704.11(F)

W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" ABOVE THE PIPE. FOR PIPES 15" NOMINAL DIAMETER OR LESS, W SHALL BE 24" PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.

SANITARY SEWER TRENCH
NOT TO SCALE



NYLOPLAST DRAIN BASIN WITH CURB INLET
NOT TO SCALE

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4" (100mm)	21" (533mm)
6" (150mm)	23" (584mm)
8" (200mm)	26" (660mm)
10" (250mm)	28" (711mm)
12" (300mm)	30" (762mm)
15" (375mm)	34" (864mm)
18" (450mm)	39" (991mm)
24" (600mm)	48" (1219mm)
30" (750mm)	56" (1422mm)
36" (900mm)	64" (1629mm)
42" (1050mm)	72" (1829mm)
48" (1200mm)	80" (2032mm)
60" (1500mm)	96" (2438mm)

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LIVE LOADING CONDITION

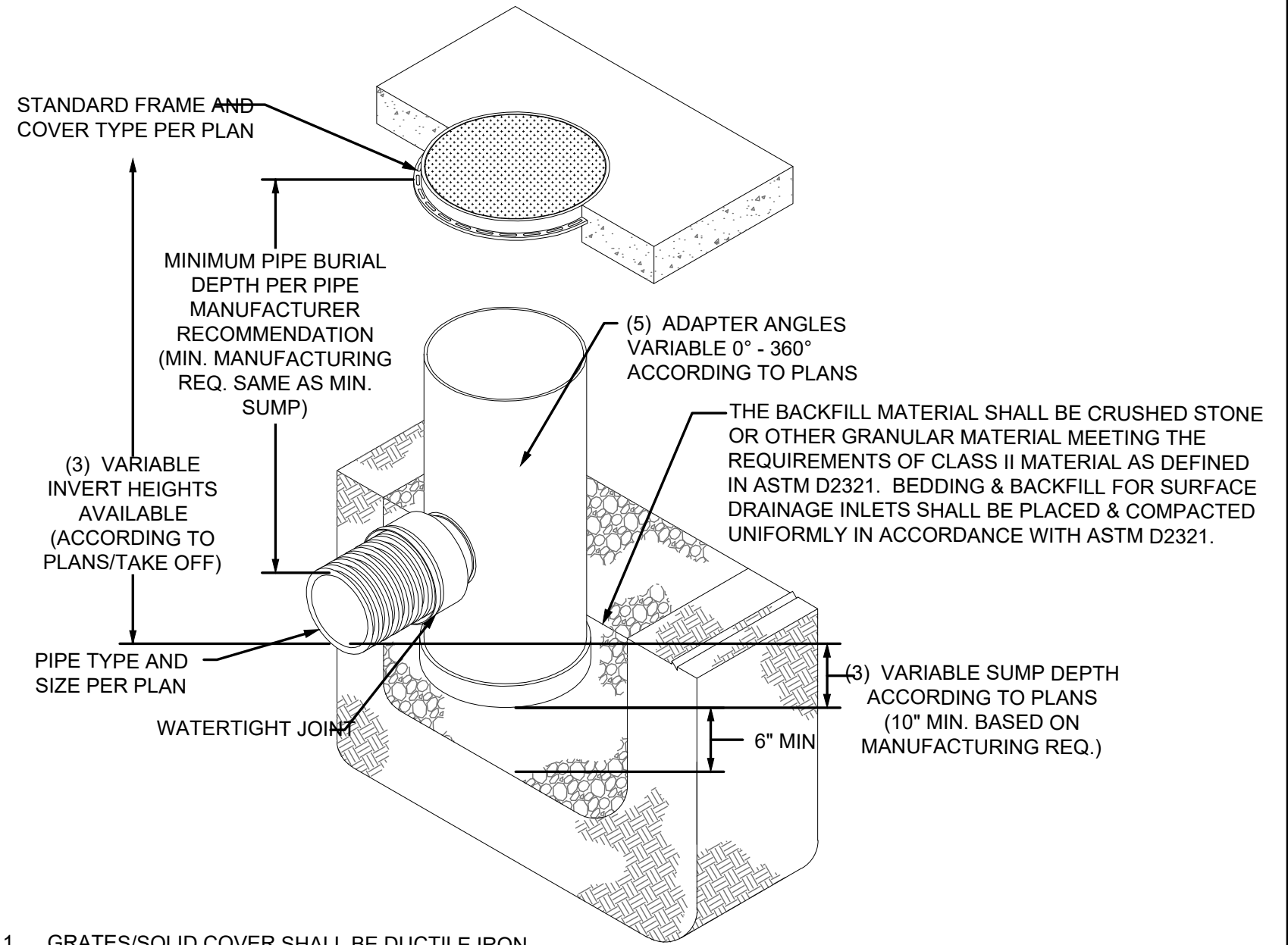
PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-20	HEAVY CONSTRUCTION (75T AXLE LOAD)*
12" - 48" (300mm - 1200mm)	12" (305mm)	48" (1219mm)
60" (1500mm)	24" (610mm)	60" (1524mm)

MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS I			CLASS II			CLASS III		
	COMPACTED	DUMPED	95%	90%	95%	95%	95%	95%	
4" (100mm)	37 (11.3m)	18 (5.5m)	25 (7.6m)	18 (5.5m)	16 (5.5m)	16 (5.5m)	16 (5.5m)	16 (5.5m)	
6" (150mm)	44 (13.4m)	20 (6.1m)	29 (8.8m)	20 (6.1m)	21 (6.4m)	21 (6.4m)	21 (6.4m)	21 (6.4m)	
8" (200mm)	32 (9.8m)	15 (4.6m)	22 (6.7m)	15 (4.6m)	16 (4.9m)	16 (4.9m)	16 (4.9m)	16 (4.9m)	
10" (250mm)	38 (11.6m)	18 (5.5m)	25 (7.6m)	18 (5.5m)	18 (5.5m)	18 (5.5m)	18 (5.5m)	18 (5.5m)	
12" (300mm)	35 (10.7m)	17 (5.2m)	24 (7.3m)	17 (5.2m)	17 (5.2m)	17 (5.2m)	17 (5.2m)	17 (5.2m)	
15" (375mm)	39 (11.6m)	17 (5.2m)	25 (7.6m)	17 (5.2m)	19 (5.8m)	19 (5.8m)	19 (5.8m)	19 (5.8m)	
18" (450mm)	36 (11.0m)	17 (5.2m)	24 (7.3m)	17 (5.2m)	17 (5.2m)	17 (5.2m)	17 (5.2m)	17 (5.2m)	
24" (600mm)	28 (8.5m)	13 (4.0m)	20 (6.1m)	13 (4.0m)	14 (4.3m)	14 (4.3m)	14 (4.3m)	14 (4.3m)	
30" (750mm)	28 (8.5m)	13 (4.0m)	20 (6.1m)	13 (4.0m)	14 (4.3m)	14 (4.3m)	14 (4.3m)	14 (4.3m)	
36" (900mm)	26 (7.9m)	12 (3.7m)	18 (5.5m)	12 (3.7m)	13 (4.0m)	13 (4.0m)	13 (4.0m)	13 (4.0m)	
42" (1050mm)	23 (7.0m)	11 (3.4m)	16 (4.9m)	11 (3.4m)	11 (3.4m)	11 (3.4m)	11 (3.4m)	11 (3.4m)	
48" (1200mm)	25 (7.6m)	11 (3.4m)	17 (5.2m)	11 (3.4m)	12 (3.7m)	12 (3.7m)	12 (3.7m)	12 (3.7m)	
60" (1500mm)	25 (7.6m)	11 (3.4m)	17 (5.2m)	11 (3.4m)	12 (3.7m)	12 (3.7m)	12 (3.7m)	12 (3.7m)	

NOTE: FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12, LOAD RESISTANCE FACTOR DESIGN (LRF) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS: NO HYDROSTATIC PRESSURE. UNIT WEIGHT OF SOIL (γ_s) = 120 PCF

NYLOPLAST STORM SEWER TRENCH DETAILS
NOT TO SCALE



NYLOPLAST JUNCTION STRUCTURE
NOT TO SCALE

REVISIONS

PROJECT INFO
2025002749

ENGINEER: B. KEMP
DRAWN BY: J. ALVAREZ
CHECKED BY: B. KEMP

SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655

SITE DEVELOPMENT PLANS
CONSTRUCTION DETAILS

DRAWING NO.
C10



Ankeny, IA | Carroll, IA
 Cedar Rapids, IA | Clive, IA
 Coralville, IA | Council Bluffs, IA
 Fort Dodge, IA | Sioux City, IA
 Columbia, MO | Macon, MO
 North Kansas City, MO
 Lenexa, KS
 Portsmouth, NH | Boston, MA

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REVISIONS

PROJECT INFO
 2025002749-000

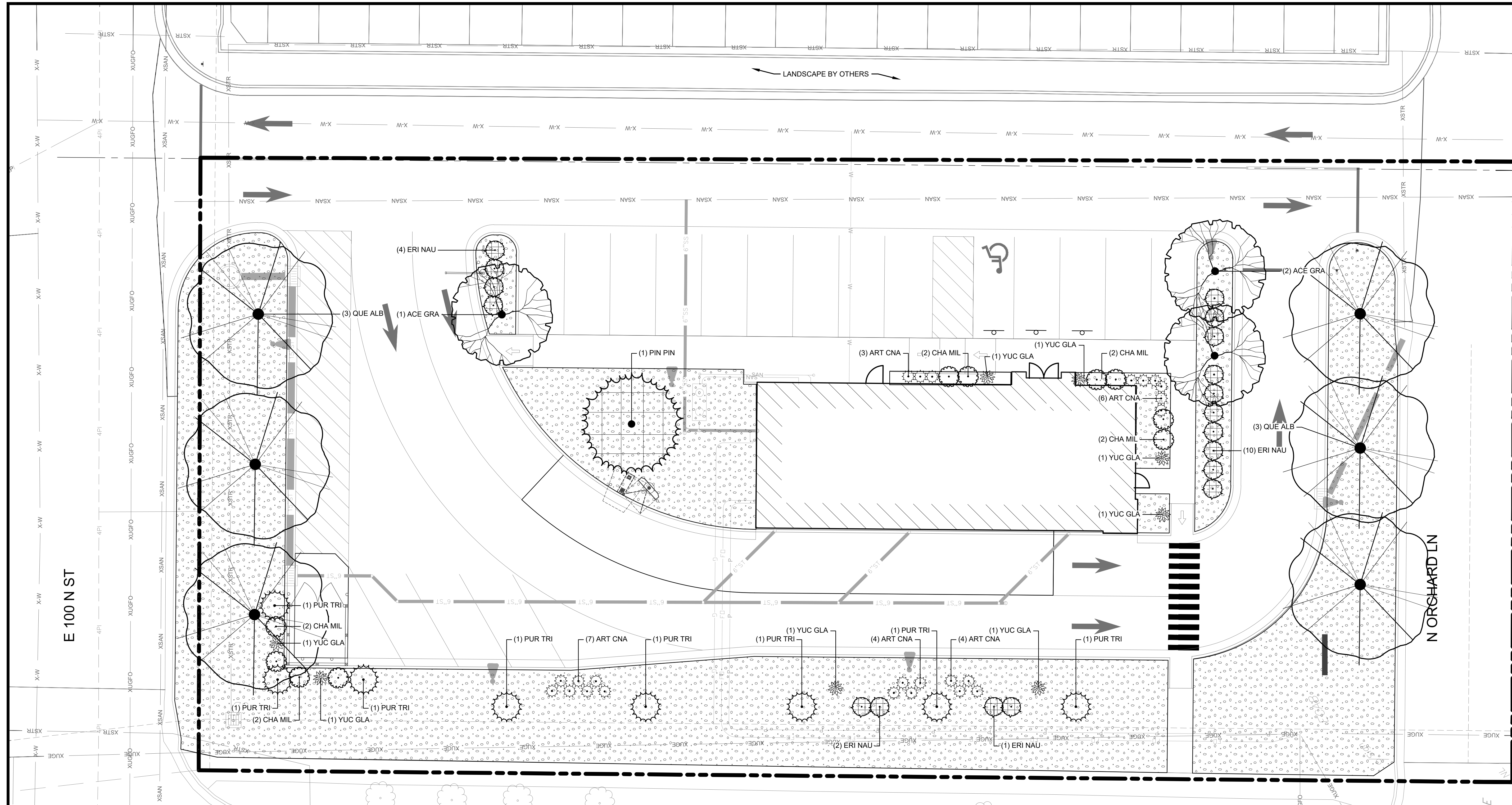
ENGINEER: JA
 DRAWN BY: AD
 CHECKED BY: JR

SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655

LANDSCAPE PLAN

DRAWING NO.

L1



SANTAQUIN, UTAH LANDSCAPE REQUIREMENT TABLE

CODE:	REQUIREMENT:	CALCULATIONS	PROVIDED:	NOTES:
10.52.030.B.8 - MINIMUM LANDSCAPE REQUIREMENTS	ZONE C1 = 10% MINIMUM LANDSCAPE AREA	.72 AC LOT @ 10% = MINIMUM .072 AC (3,137 SF) OF LANDSCAPE AREA	22 AC (9,681 SF) PROVIDED	
10.52.030.C.2.c - LANDSCAPE YARDS AND SCREENING	1 TREE PER 40 LF OF PROPERTY LINE ABUTTING FRONT AND SIDE STREETS	N 400 E ST.: 258 LF OF FRONTAGE @ 1 TREE PER 40 LF = 6.45 TREES REQUIRED N ORCHARD LN.: 122 LF OF FRONTAGE @ 1 TREE PER 40 LF = 3.05 TREES REQUIRED E 100 N ST.: 21 LF OF FRONTAGE @ 1 TREE PER 40 LF = 3.01 TREES REQUIRED	7 EXISTING TREES PROVIDED 3 NEW TREES PROVIDED 3 NEW TREES PROVIDED	
10.52.030.C.5 - UTILITY SCREENING	ALL UTILITY EQUIPMENT TO BE SCREENED WITH VEGETATION OR CONSTRUCTED WALL	N/A	PROVIDED PER PLAN	
10.52.030.D.1 - BUILDING LANDSCAPE	6' WIDE BEDS ALONG 50% OF BUILDING WALL FACING ARTERIAL OR COLLECTOR STREETS	N 400 E ST.: PROVIDED PER PLAN	PROVIDED PER PLAN	
10.52.030.D.2 - TRASH ENCLOSURE	MINIMUM 5' WIDE BED ON 3 SIDES W/ MIN 4 SHRUBS PER SIDE	N/A	5' WIDE BEDS ON 2 SIDES	BEDS ON 3 SIDES NOT FEASIBLE
10.52.030.E.1 - LANDSCAPE AREAS	6% OF INTERIOR PARKING LOT TO BE LANDSCAPED	6,267 SF OF PARKING AREA @ 6% = 376 SF REQUIRED	516 SF PROVIDED	
10.50.030.E.4 - PLANTER ISLANDS	1 SHADE TREE + 4 SHRUBS PER 80 SF OF PLANTER AREA	270 SF OF PLANTER ISLANDS = 3.38 SHADE TREES + 13.5 SHRUBS	3 SHADE TREES + 14 SHRUBS PROVIDED	
10.52.030.F.11 2-5	LAWN SHALL NOT BE LESS THAN 8' WIDE AT ITS NARROWEST	PROVIDED PER PLAN		
	LAWN SHALL NOT BE INSTALLED IN PARK STRIPS >25% SLOPE	PROVIDED PER PLAN		
	LAWN SHALL NOT EXCEED 25% OF TOTAL LANDSCAPE AREA	22 AC (9,681 SF) OF LANDSCAPE AREA @ 25% = .055 AC (2,420 SF) MAX LAWN AREA		

PLANT SCHEDULE OVERALL

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES				
	ACE GRA	3	Acer grandidentatum / Bigtooth Maple	B&B, 2" Cal.
	PIN PIN	1	Pinus edulis / Pinyon Pine	B&B, 8-12' Ht
	QUE ALB	6	Quercus alba / White Oak	B&B, 2" Cal.
SHRUBS				
	ART CNA	24	Artemisia cana / Silver Sagebrush	5 gal
	CHA MIL	10	Chamaebatiaria millefolium / Fernbush	5 gal
	ERI NAU	18	Ericameria nauseosa / Rubber Rabbitbrush	5 gal
	PUR TRI	8	Purshia tridentata / Antelope Bitterbrush	5 gal
	YUC GLA	8	Yucca glauca / Soapweed	5 gal
GROUND COVERS				
	RCK MLH	9,682 sf	2-6" Rio Cobble / From Old Mill Landscape Supply or Approved Equal	SF

LANDSCAPE NOTES:

- FIELD VERIFY UTILITIES SHOWN ON PLANS PRIOR TO WORK COMMENCEMENT. INFORMATION SHOWN ON PLAN IS FROM AVAILABLE INFORMATION AND ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES MADE FROM CONSTRUCTION ACTIVITY. IMMEDIATELY NOTIFY PROJECT LANDSCAPE ARCHITECT AND ENGINEER IF DISCREPANCIES ARISE.
- COMPLETE REQUIRED LANDSCAPING FOR THE ENTIRE SITE IN CONFORMANCE TO THE PLANS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO: SEEDED AREAS, SODDED AREAS, SHRUB BEDS, AND SITE CLEAN-UP.
- VERIFY QUANTITIES PRIOR TO COMMENCING WORK. REPORT DISCREPANCIES TO THE LANDSCAPE ARCHITECT. PLANT MATERIAL TO BE SPACED AS SHOWN, UNLESS OTHERWISE NOTED.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK (A.S.N.S.) LATEST EDITION PUBLISHED BY (ANLA) ANSI Z60.1. THIS IS A REPRESENTATIVE GUIDELINE SPECIFICATION ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR THE PLANT MATERIAL.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL, TYPE, SIZE AND/OR QUANTITY. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.S.N.S. VEGETATION SUBSTITUTIONS SHALL BE APPROVED BY PROJECT LANDSCAPE ARCHITECT. SUBSTITUTIONS MADE WITHOUT WRITTEN APPROVAL WILL BE REPLACED WITH APPROVED SELECTIONS AT CONTRACTOR'S COST.
- DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITIES NOT IDENTIFIED ON THESE PLANS SHALL BE REPAIRED AND RESTORED TO ORIGINAL OR BETTER CONDITIONS AT CONTRACTOR'S COST. SOD WITH A TURF-TYPE TALL FESCUE BLEND SHALL BE PROVIDED FOR AREAS NOT DESIGNATED AS BEDS & PAVEMENT.
- CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING. REFER TO SPECIFICATIONS FOR PLANT MATERIAL, SOILS, AND INSTALLATION METHODS.
- INSTALL PLANT MATERIAL IN ACCORDANCE WITH A.S.N.S. STANDARDS AND THE CITY OF SANTAQUIN'S STANDARD LANDSCAPE SPECIFICATIONS
- INSTALL FINISHED GRADES OF SOD, LANDSCAPE BEDS, AND MULCH 1" BELOW ABUTTING PAVEMENT SURFACES TO ALLOW UNINHIBITED DRAINAGE TO NON-PAVEMENT SURFACES.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM TREE AND SHRUB ROOT BALLS. REMOVE ALL PLASTIC WRAP, FABRIC ROPE, ROT PROOF WRAP, AND PLANT IDENTIFICATION TAGS.
- TREES SHALL NOT BE PLANTED CLOSER THAN EIGHT HORIZONTAL FEET OF UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED OR PER PLANS. MODIFICATIONS TO TREE PLACEMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CAN BE SUBJECT TO CITY REVIEW AND APPROVAL. CONTRACTOR IS RESPONSIBLE FOR UNAPPROVED RELOCATION(S) OR MODIFICATION(S) TO TREE LOCATIONS.

- PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
- PLANT MATERIAL AND IRRIGATION SYSTEM TO BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE. PLANT MATERIALS SHALL BE A ONE-TIME-REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
- PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSI STANDARDS.
- WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING ROUTINE UNTIL SUBSTANTIAL PROJECT COMPLETION. CONTRACTOR IS REQUIRED TO COORDINATE WATERING REQUIREMENTS TO THE OWNER THEREAFTER.

IRRIGATION NOTES:

- DELEGATED DESIGN: CONTRACTOR SHALL ENGAGE A QUALIFIED DESIGN PROFESSIONAL TO PREPARE DESIGN DRAWING(S) FOR REVIEW AND APPROVAL BY THE OWNER AND ENGINEER/LANDSCAPE ARCHITECT.
- ANY EXISTING IRRIGATION SYSTEM ON THE PROJECT SITE SHALL BE REVIEWED BY THE DESIGN PROFESSIONAL, INCLUDING ALL CONNECTIONS TO EXISTING WATER SOURCES AND EXPANDABILITY OF ANY EXISTING CONTROLLERS. CONTRACTOR SHALL MATCH EQUIPMENT TYPE TO ENSURE COMPATIBILITY WITH ANY EXISTING SYSTEM.
- IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
- INSTALL (2) 4" DIAMETER PVC PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT. PLACE SLEEVES AND MARK CLEARLY ABOVE GROUND FOR EASE OF FINDING.
- IRRIGATE LANDSCAPED AND TURF AREAS SHALL BE WITH PERMANENT, AUTOMATED SYSTEM. PROVIDE A DESIGN TO COVER THE NEW LANDSCAPE AREAS WITH HEAD TO DRIP IS PERMITTED.
- COORDINATE BACKFLOW, TAP & METER WITH THE GENERAL CONTRACTOR (GC) AND THE GC'S LICENSED PLUMBER.



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REVISIONS

PROJECT INFO
2025002749-000

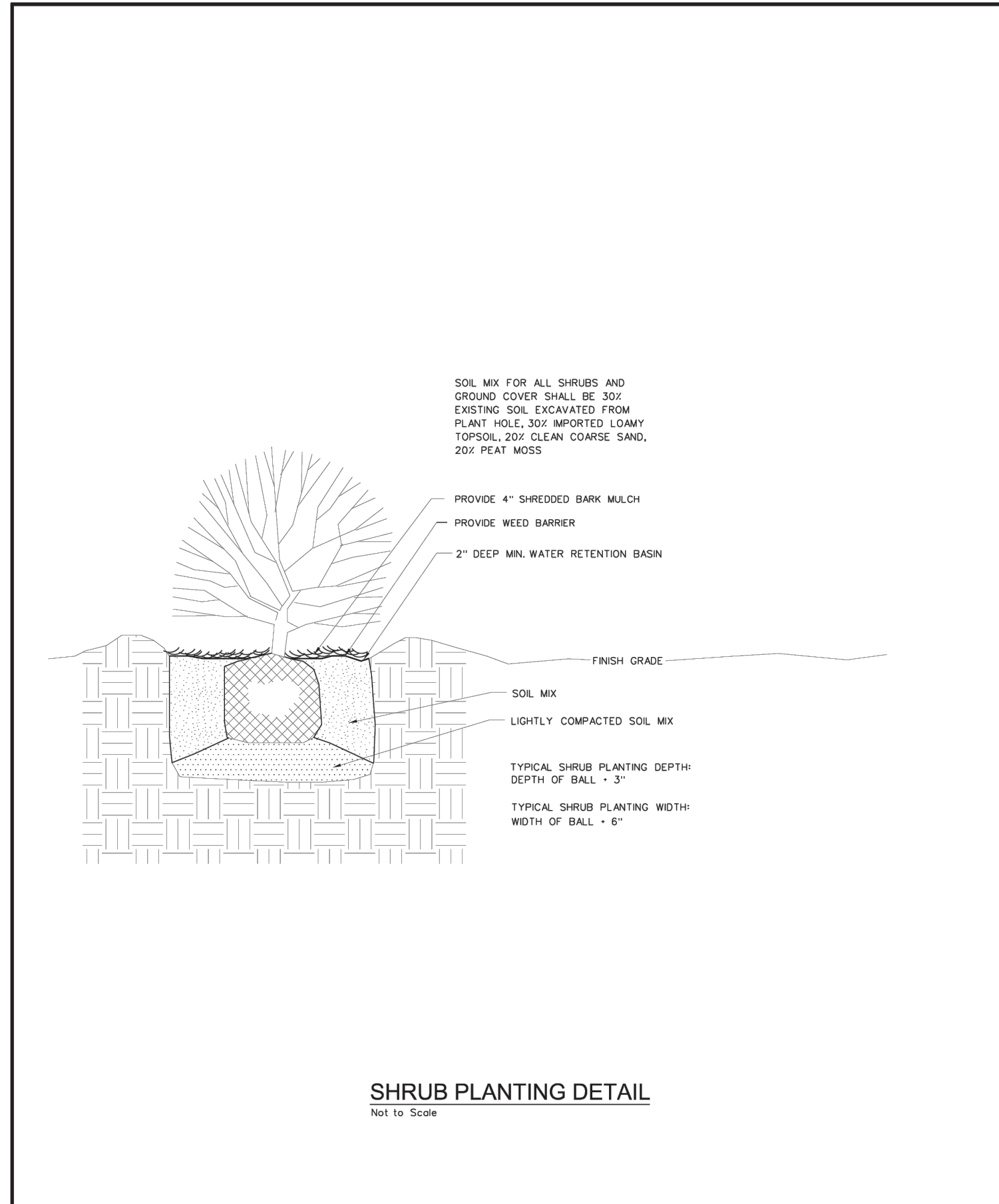
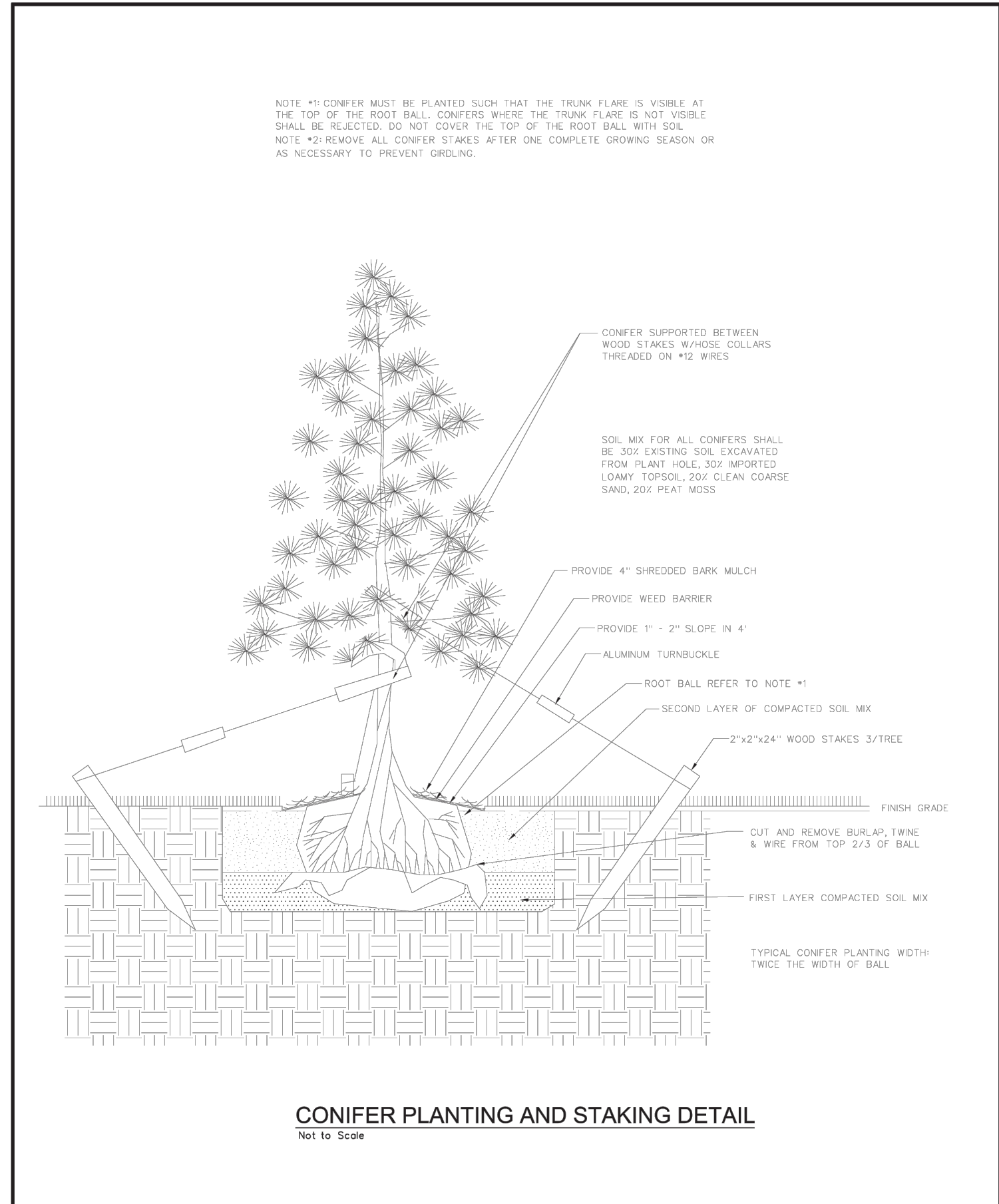
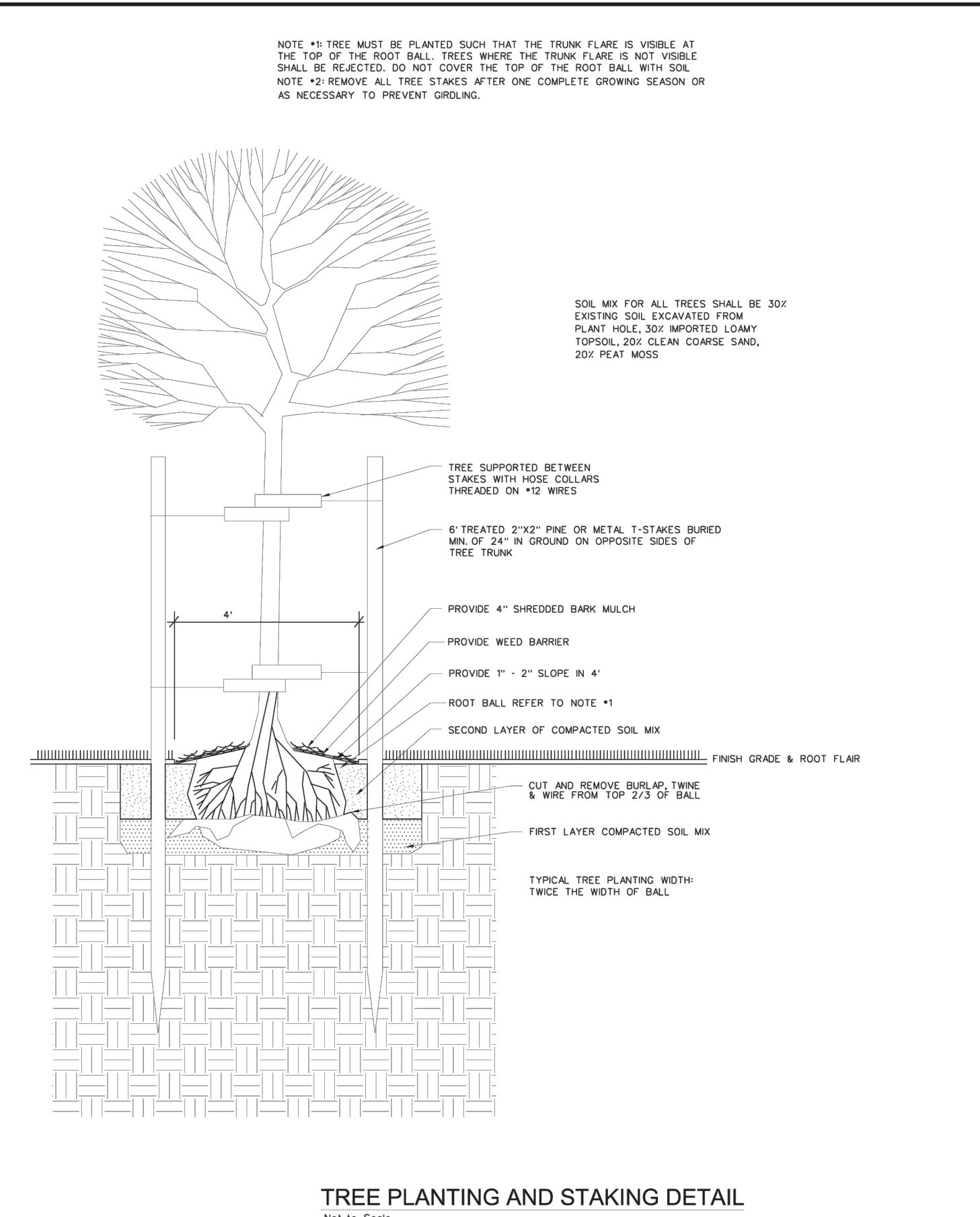
ENGINEER DRAWN BY CHECKED BY
JA AD JR

SANTAQUIN TACO BELL
60 N 400 E ST.
SANTAQUIN, UT 84655

LANDSCAPE DETAILS & NOTES
P:\2025002749-000\04-DRAWINGS\LANDSCAPE\25-2749_LDPS_PLAND.DWG

DRAWING NO.

L2



<p>STATEMENT OF WORK</p> <p>THE DOCUMENT AND ANY ATTENDING NOTES ARE ISSUED AS CHANGED CONSTRUCTION DETAILS WITH THE UNDERSTANDING THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTAQUIN.</p> <p>REVISION</p>	<p>TREE PLANTING & STAKING DETAIL</p> <p>SANTAQUIN CITY 110 SOUTH CENTER STREET</p>	<p>LA1</p> <p>DATE: 11/19/25</p> <p>BY: JAC</p> <p>APP: JAC</p>
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REVISIONS

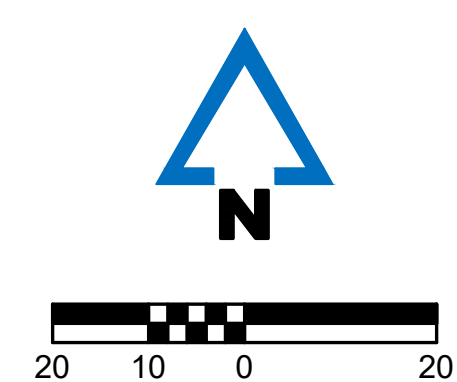
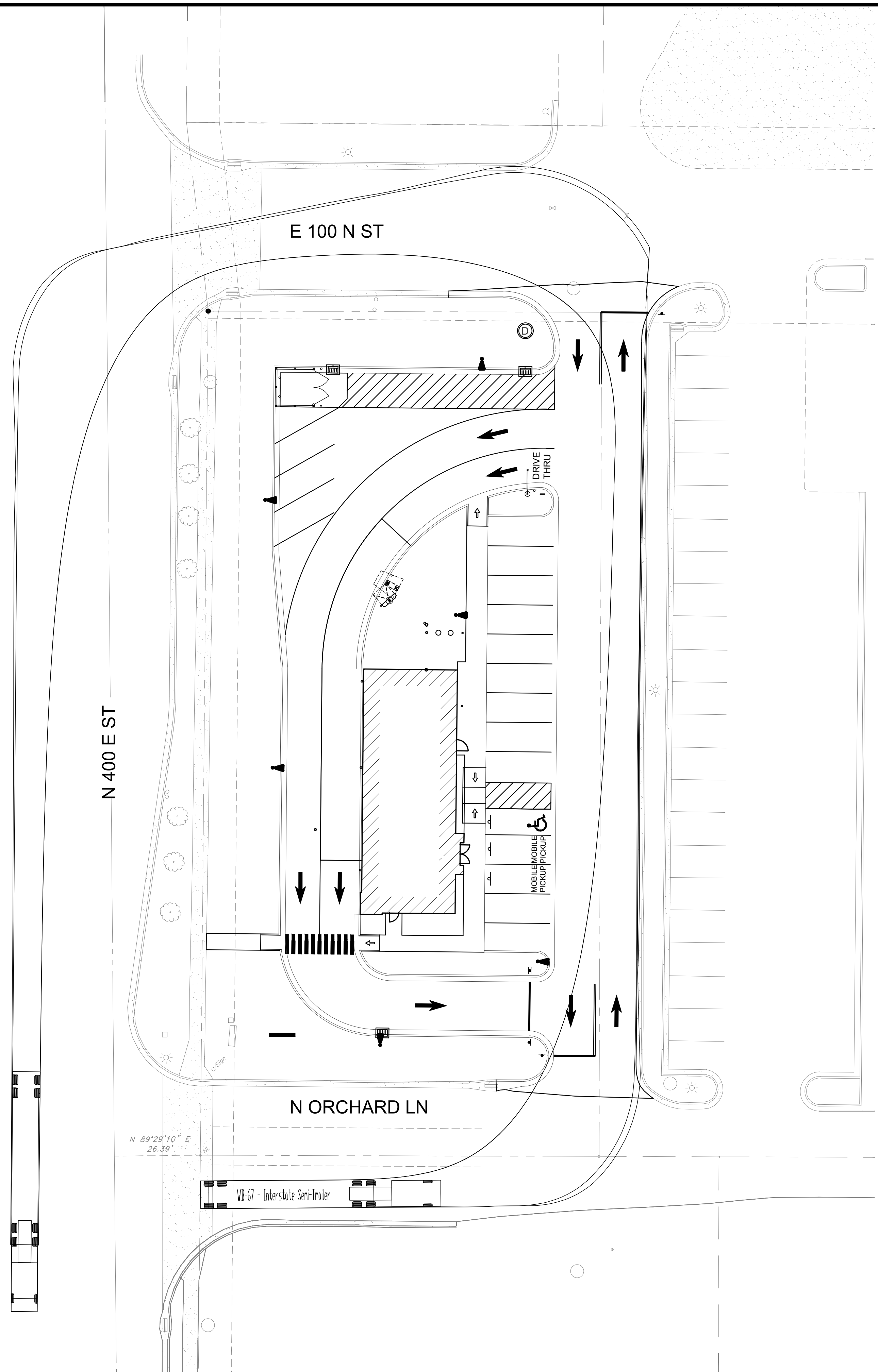
PROJECT INFO
2025002749

ENGINEER	DRAWN BY	CHECKED BY
B. KEMP	J. ALVAREZ	B. KEMP

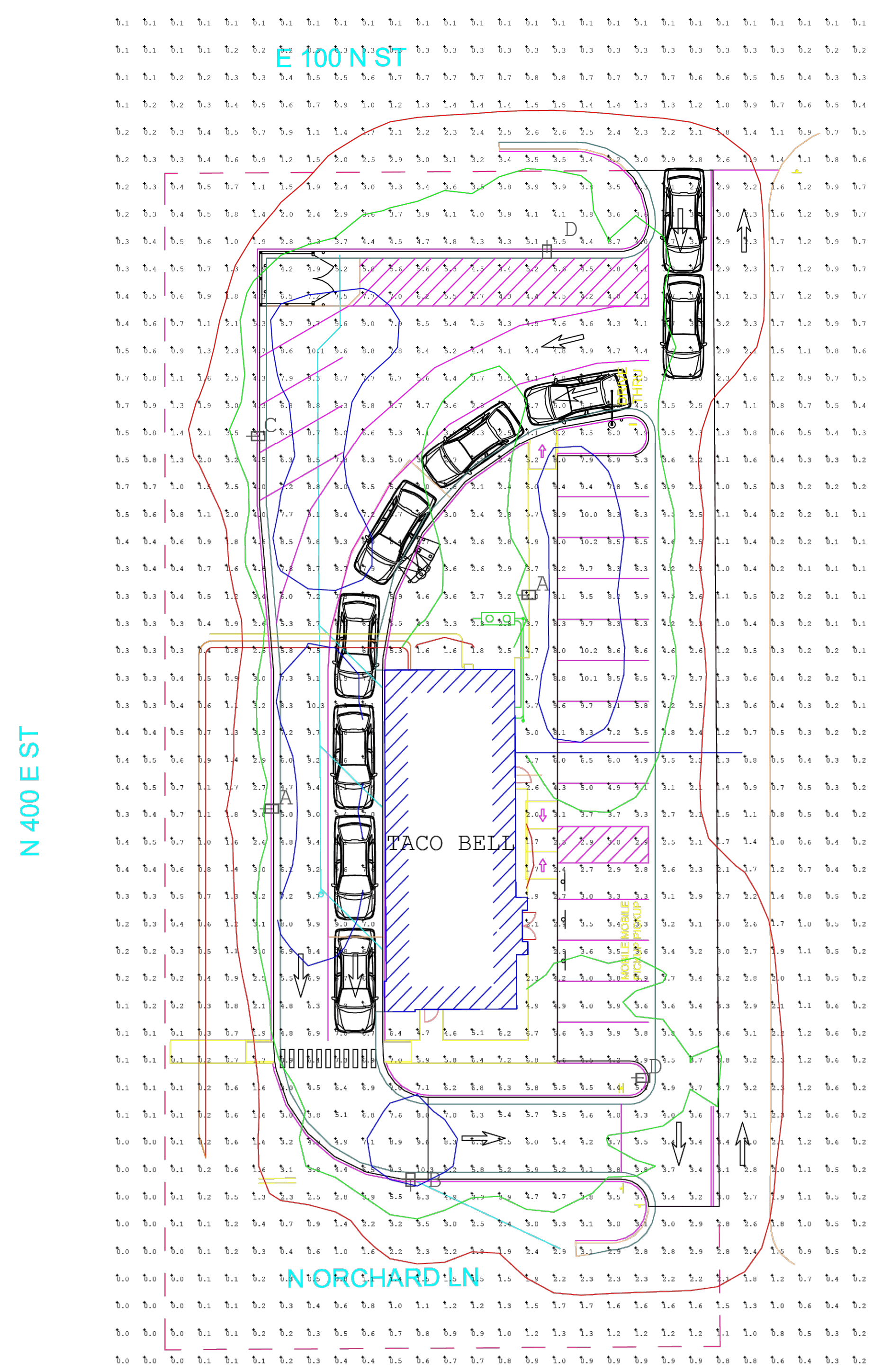
SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655
 SITE DEVELOPMENT PLANS
 VEHICLE TURNING MOVEMENT PLAN

DRAWING NO.

VT



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TACO BELL
 SANTAQUIN, UT
 MARCH 20, 2026

ACCUSERV LIGHTING & EQUIPMENT
 877-707-7378
 DESIGNED BY: JOHN BUJAKE
 jbjake@accu-serv.com
 QUOTATIONS BY: TESSA PARISE
 tparise@accu-serv.com

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
ENTRANCE	2.76	13.3	0.8	16.4	16.6
PARKING & DRIVE-THRU SURFACES	5.59	13.3	2.1	6.36	6.30

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Luminaire Lumens	LF	CCT	Luminaire Watts	Mounting Height	Description
A	2	A	STRIP	29751	0.900	4000K	222	20	VP-2-2202-210-487-3-UNV-A-DBT / SES-17.5-40-01-A-B3-DBP
B	1	B	STRIP	29751	0.900	4000K	144	20	VP-2-2202-140-487-4P-UNV-A-DBT / SES-17.5-40-01-A-B3-DBP
C	1	C	STRIP	29354	0.800	4000K	222	20	VP-2-2202-210-487-4W-UNV-A-DBT / SES-17.5-40-01-A-B3-DBP
D	2	D	Single	26727	0.900	4000K	239	20	VP-9Y-2-721-240-487-3SW-UNV-A-DBT / SES-17.5-40-01-A-B3-DBP

NOTES: FIXTURE MOUNTING HEIGHT NOT TO EXCEED 20' AFF
 FOLE BASES ARE 2'-6" AFF

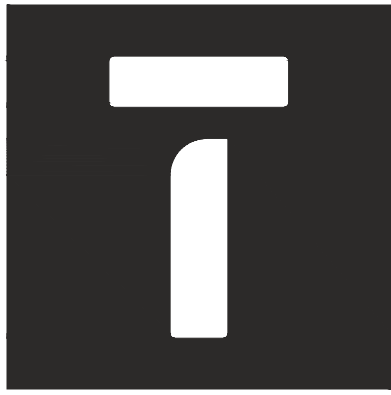
REVISIONS

PROJECT INFO
 2025002749

ENGINEER: B. KEMP
 DRAWN BY: J. ALVAREZ
 CHECKED BY: B. KEMP

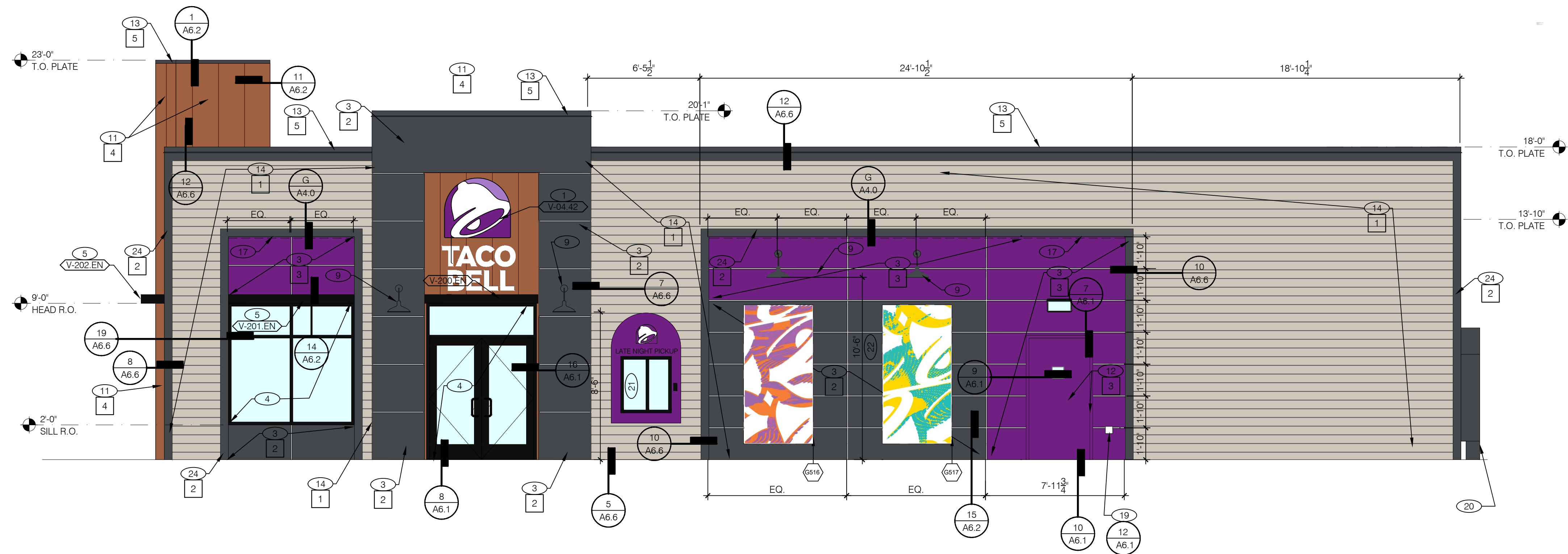
SANTAQUIN TACO BELL
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 SITE DEVELOPMENT PLANS
 LIGHTING PLAN

DRAWING NO.
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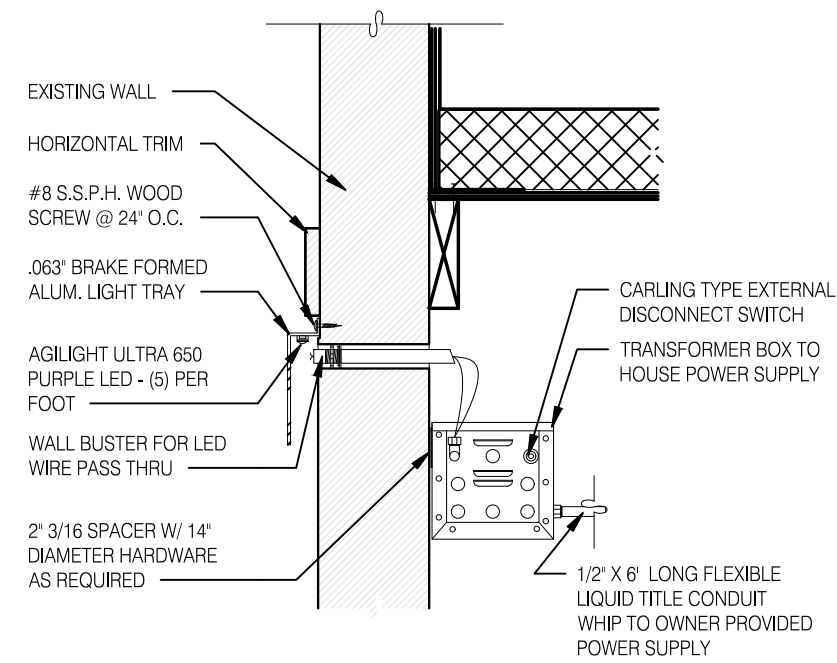


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MAIN ENTRY SIDE ELEVATION 1/4" = 1'-0" **A**



INSTALL SUCH THAT FIXTURE EXTENDS THRU WALL AT 12-9" AND THAT TRANSFORMER BOX IS MOUNTED BELOW ROOF DECK. COORDINATE WITH TRUSS FOR JOIST INSTALLATION AND PROVIDE CONDUIT AS REQUIRED. DO NOT PENETRATE ROOF OR PARAPET WALL MEMBRANE.

LED WALL WASHER DETAIL N.T.S. **G**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
SIDE ENTRY			
V-200.EN	1	SIDE ENTRY AWNING 6' 6" X 6' 3" BLACK	A4.0
V-V-04.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
V-19-12W	1	12" WHITE CHANNEL LETTERS	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 6" X 4' 0" BLACK	A4.1
V-101.PP	1	DT AWNING (OVER DT) 4'-0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16'-9 1/2" X 6' H X 1'-4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 4'-0" L X 6' H X 1'-4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 7'-3" L 6' H X 1'-4" D BLACK	A4.0

SIGNAGE PERMITTED UNDER SEPARATE COVER. G.C. SHALL BE RESPONSIBLE FOR FINAL CONSTRUCTION.

SIGNAGE SCHEDULE **F**

MISCELLANEOUS

- A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
- B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
- C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS

A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

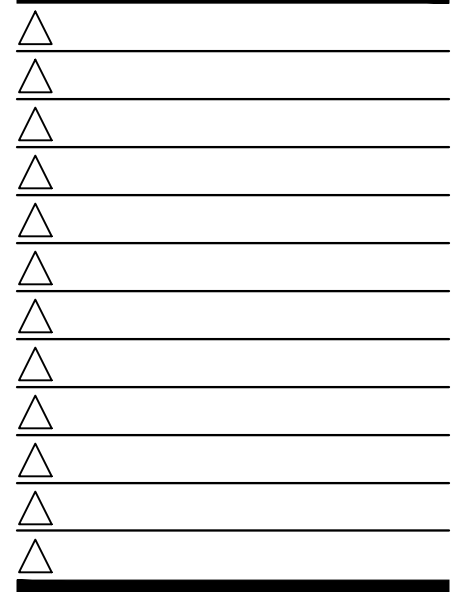
NOTE: SIGNAGE PERMITTED UNDER SEPARATE COVER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE VENDOR FOR THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

GENERAL NOTES **D**

NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION	
G-507	Glitch bells	A	M02	48x96	A4.0
G-508	Glitch bells	A	M02	48x96	A4.0
G-509	Glitch bells	A	M02	48x96	A4.1
G-508	Glitch bells	A	M02	48x96	A4.1

ARTWORK SCHEDULE **B**

13048R26001



CONTRACT DATE: 03.23.26
 BUILDING TYPE: END. SMALL
 PLAN VERSION:
 SITE NUMBER:
 STORE NUMBER: XXXXXX

TACO BELL

721 GAR HWY
 SOMERSET, MA



ENDEAVOR 2.0
 SMALL

EXTERIOR ELEVATIONS

A4.0

PAINING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W8300
 FINISH: 2 COATS SW A82-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.
 A-100 EXTERIOR LATEX SATIN.
 SIDING: ARTISAN V-GROOVE/ 144" X 8.25" W. 7" EXPOSURE COMES PRIMED FOR PAINT

SYMBOL	FINISH	MANUFACTURER	COLOR	NOTES
1	PAINT	SHERWIN WILLIAMS	SW7043 - "WORLDLY GRAY", SEMI-GLOSS	TB SIDING/SCUPPER/DOWNSPOUT
2	PAINT	SHERWIN WILLIAMS	SW7076 - "CYBERSPACE", SEMI-GLOSS	LOWER HARDIE PANEL/SIDING TRIM
3	PAINT	SHERWIN WILLIAMS	TB2603 - "TB PURPLE", SEMI-GLOSS	UPPER HARDIE PANEL/ SECURITY DOOR
4	METAL PANELS	WESTERN STATES	WEATHERED RUSTIC, T-GROOVE, 24GA., 18"	DRIVE-THRU TOWER
5	24GA GALV COPING	BY GC	KYNAR 500 COATING-SW7076 - "CYBERSPACE"	

ALUMINUM TRIM PROFILES [ALTERNATE SOURCE]	
DESCRIPTION	ITEM ID - MANUFACTURER
SURROUND J CHANNEL TRIM	T2 - FRY REGLET JMS - TAMLYN
SURROUND VERTICAL TRIM	V2 - FRY REGLET W516RV - TAMLYN
VENT SCREEN	VST38 - TAMLYN
SURROUND HORIZONTAL TRIM	W2 - TAMLYN
SURROUND DRAINAGE FLASHING	XWF - TAMLYN
SURROUND OUTSIDE CORNER TRIM	OC9 - FRY REGLET XOCR516 - TAMLYN
SURROUND INSIDE CORNER TRIM	IC1 or IC21 - FRY REGLET XIC516 - TAMLYN

- 1 BUILDING SIGN. BY VENDOR. SEE STRUCTURAL BLOCKING ELEVATIONS, SHEET S5.0 FOR MORE INFORMATION. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
- 2 DRIVE THRU WINDOW. SEE SHEET A2.0.
- 3 HARDIE PANEL VERTICAL SIDING.
- 4 STOREFRONT, TYPICAL. SEE SHEET A1.1.
- 5 AWNING PROVIDED BY SIGNAGE VENDOR. G.C. SHALL COORDINATE & PROVIDE PROPER BLOCKING
- 6 SWITCH GEAR. PAINT TO MATCH WALL. FINISH WALL PRIOR TO INSTALLATION.
- 7 PIPE BOLLARDS. WHERE OCCURS. REFER TO CIVIL PLANS
- 8 OVERFLOW SCUPPER.
- 9 LIGHT SCENCE. SEE ELECTRICAL.
- 10 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 11 METAL PANEL SYSTEM.
- 12 SECURITY DOOR SEE SHEET A1.1.
- 13 24 GA. PARAPET COPING. FACTORY PAINTED KYNAR COATING. SEE DETAIL 12/A6.6.
- 14 ARTISAN V-GROOVE SIDING. SEE SIDING SCHEDULE
- 15 SCUPPER AND DOWNSPOUT.
- 16 GAS METER. DO NOT PAINT.
- 17 PURPLE STRIP LIGHT WALL WASHER BELOW PROVIDED BY SIGN VENDOR. SEE DETAIL D & WALL SECTIONS.
- 18 NOT USED.
- 19 HOSE BIB BOX AT 18" A.F.F.
- 20 CO2 ENCLOSURE BY GC. MATCH BUILDING COLORS.
- 21 WALK-UP WINDOW.
- 22 TYPICAL HEIGHT @ MAIN WALL.
- 23 TYPICAL HEIGHT @ TOWER.
- 24 5 1/2" HARDIE TRIM.

- 17 PURPLE STRIP LIGHT WALL WASHER BELOW PROVIDED BY SIGN VENDOR. SEE DETAIL D & WALL SECTIONS.
- 18 NOT USED.
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EXTERIOR FINISH SCHEDULE **E**

KEY NOTES **C**



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REVISIONS

PROJECT INFO
 202502749

ENGINEER DRAWN BY CHECKED BY
 #####

SANTAQUIN TACO BELL
 60 N 400 E ST.
 SANTAQUIN, UT 84655

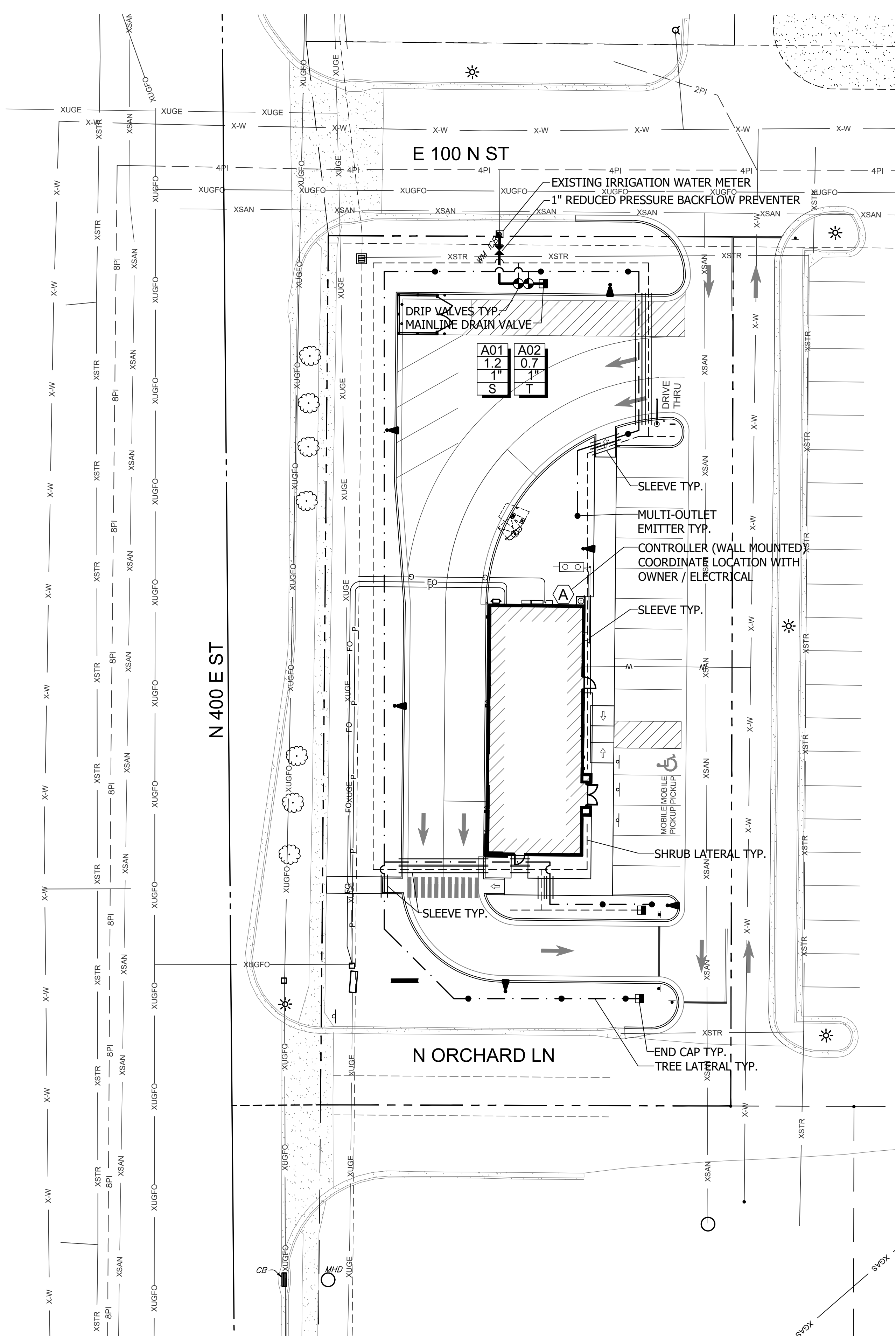
IRRIGATION PLAN

D:\TACO BELL - SANTAQUIN\UTCD10.01 BASE.DWG

DRAWING NO.
 L3

IRRIGATION LEGEND																																						
SYMBOL	EQUIPMENT / DESCRIPTION																																					
	EXISTING IRRIGATION WATER METER - SEE CIVIL DRAWINGS																																					
	1" REDUCED PRESSURE BACKFLOW PREVENTER - FEBCO 825YA WITH: GUARDSHACK ENCLOSURE AND FROST BAG FOR WINTERIZATION																																					
	ELECTRIC CONTROL VALVE (TREES AND SHRUBS) HUNTER DRIP VALVE ASSEMBLY - ICZ-101 WITH: SENNINGER 1" Y FILTER AND 3/4" PRESSURE REGULATOR WITH HUNTER EZ DECODER - ICC2 CONTROLLER																																					
	1" MAINLINE PIPE - SCHEDULE 40 PVC																																					
	TREE LATERAL PIPE - CLASS 200 PVC - SIZE AS REQUIRED WITH: MULTI-OUTLET EMITTERS - BOWSMITH ML200 SERIES OR EQUAL (1) MULTI-OUTLET EMITTER PER TREE - 4 OPENINGS PER TREE																																					
	SHRUB LATERAL PIPE - CLASS 200 PVC - SIZE AS REQUIRED WITH: SINGLE OUTLET EMITTERS - BOWSMITH SL200 SERIES OR EQUAL (1) SINGLE OUTLET EMITTER PER SHRUB																																					
	SLEEVING - SCHEDULE 40 PVC - SIZE TO BE 2X THE SIZE OF PIPE WITHIN																																					
	PIPES CROSSING - UNCONNECTED																																					
	CONTROLLER AND STATION NUMBER FLOW IN GALLONS PER MINUTE VALVE SIZE IN INCHES ZONE TYPE - G=GRASS, T=TREE, S=SHRUB																																					
	END CAP - FLUSH TYPE - MAINLINE DRAIN VALVE FOR FREEZE PROTECTION																																					
	CONTROLLER - WALL MOUNTED HUNTER ICC2 - 2 WIRE CONTROLLER - I2CF-800-SS WITH EZ DECODER EZ-DM																																					
<table border="1"> <thead> <tr> <th colspan="2">PIPE SCHEDULE - SCHEDULE 40 PVC</th> <th colspan="2">PIPE SCHEDULE - CLASS 200 PVC</th> <th colspan="2">SLEEVE SCHEDULE</th> </tr> <tr> <th>PIPE SIZE</th> <th>GPM</th> <th>PIPE SIZE</th> <th>GPM</th> <th>PIPE SIZE</th> <th>SLEEVE SIZE</th> </tr> </thead> <tbody> <tr> <td>3/4"</td> <td>0-7</td> <td>3/4"</td> <td>0-10</td> <td>3/4"</td> <td>1 1/2"</td> </tr> <tr> <td>1"</td> <td>8-12</td> <td>1"</td> <td>11-16</td> <td>1"</td> <td>2"</td> </tr> <tr> <td>1 1/2"</td> <td>13-30</td> <td>1 1/2"</td> <td>17-34</td> <td>1 1/2"</td> <td>3"</td> </tr> <tr> <td>2"</td> <td>31-50</td> <td>2"</td> <td>35-55</td> <td>2"</td> <td>4"</td> </tr> </tbody> </table>			PIPE SCHEDULE - SCHEDULE 40 PVC		PIPE SCHEDULE - CLASS 200 PVC		SLEEVE SCHEDULE		PIPE SIZE	GPM	PIPE SIZE	GPM	PIPE SIZE	SLEEVE SIZE	3/4"	0-7	3/4"	0-10	3/4"	1 1/2"	1"	8-12	1"	11-16	1"	2"	1 1/2"	13-30	1 1/2"	17-34	1 1/2"	3"	2"	31-50	2"	35-55	2"	4"
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- IRRIGATION GENERAL NOTES**
- IRRIGATION PLAN IS DIAGRAMMATIC. IRRIGATION MAINLINE, LATERALS, AND EQUIPMENT MAY BE SHOWN IN PAVEMENT FOR GRAPHIC CLARITY. ALL IRRIGATION EQUIPMENT IS TO BE LOCATED AND INSTALLED WITHIN LANDSCAPE AREAS.
 - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE CONDITIONS PRIOR TO BIDDING, ORDERING MATERIALS, AND THE START OF CONSTRUCTION / INSTALLATION.
 - ANY DISCREPANCIES AND CONFLICTS BETWEEN THE CONSTRUCTION DRAWINGS AND THE SITE ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF THE CONTRACTOR FAILS TO NOTIFY THE LANDSCAPE ARCHITECT, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATION TO THE SYSTEM.
 - BLUE STAKE PRIOR TO DIGGING.
 - LANDSCAPE CONTRACTOR IS TO COORDINATE WITH THE GENERAL CONTRACTOR FOR SLEEVING INSTALLATION PRIOR TO ANY HARDSCAPE AND ASPHALT PAVING. CONTRACTOR TO PROVIDE SLEEVING UNDER HARDSCAPE AS REQUIRED WHETHER IT IS SHOWN ON THE DRAWINGS OR NOT.
 - ALL SLEEVES ARE TO BE SCHEDULE 40 PVC OR BETTER.
 - ALL SLEEVES ARE TO BE A MINIMUM 2 TIMES THE DIAMETER OF THE PIPE.
 - PIPE DETAILS SHOW PIPE DEPTH FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE TO INSTALL PIPES AT THE APPROPRIATE DEPTH BELOW THE FROST LINE AS REQUIRED.
 - IF THE PROJECT IS GEOGRAPHICALLY LOCATED IN AN AREA PRONE TO FREEZING, MANUAL DRAIN VALVES ARE TO BE USED AND LOCATED AT LOW POINTS OF THE IRRIGATION MAINLINES AND LATERAL LINES.
 - THE IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 60 PSI FROM THE WATER SOURCE.
 - CONTRACTOR IS RESPONSIBLE TO VERIFY THE PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR IS RESPONSIBLE TO PROGRAM STATIONS SO OVERLAP OF STATIONS DOES NOT CAUSE SIGNIFICANT PRESSURE LOSS.
 - REFER TO SPECIFICATIONS AND DETAILS FOR INSTALLATION DIRECTION.
 - CONTRACTOR TO INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER RECOMMENDATION AND THE BEST STANDARD OF PRACTICE FOR THIS WORK.
 - GENERAL CONTRACTOR / ELECTRICAL CONTRACTOR RESPONSIBLE FOR 120 VOLT SERVICE AT IRRIGATION CONTROLLER LOCATION.
 - CONTRACTOR IS RESPONSIBLE TO CONNECT ELECTRICAL POWER TO THE IRRIGATION CONTROLLER IN ACCORDANCE WITH ALL NATIONAL AND LOCAL ELECTRIC UTILITY CODES.
 - LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE CONNECTION AND PROGRAMMING OF THE CONTROLLER.
 - CONTRACTOR TO PROVIDE THE OWNER WITH AS BUILT DRAWINGS, WRITTEN INSTRUCTIONS FOR OPERATION AND MAINTENANCE OF THE SYSTEM, AND A CONTROLLER CHART.
 - LANDSCAPE CONTRACTOR RESPONSIBLE TO PROTECT EXISTING IMPROVEMENTS. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE GOVERNING AGENCY PRIOR TO CONSTRUCTION / INSTALLATION.



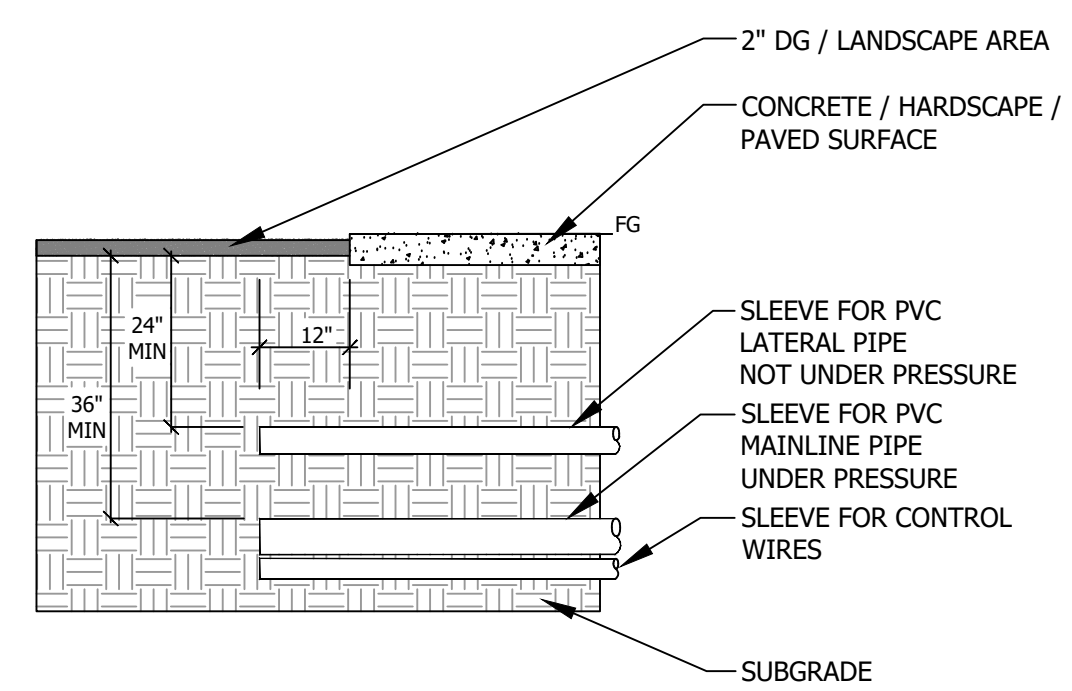
IRRIGATION PLAN

SCALE: 1"=20'-0"

0 5' 10' 20' 40'

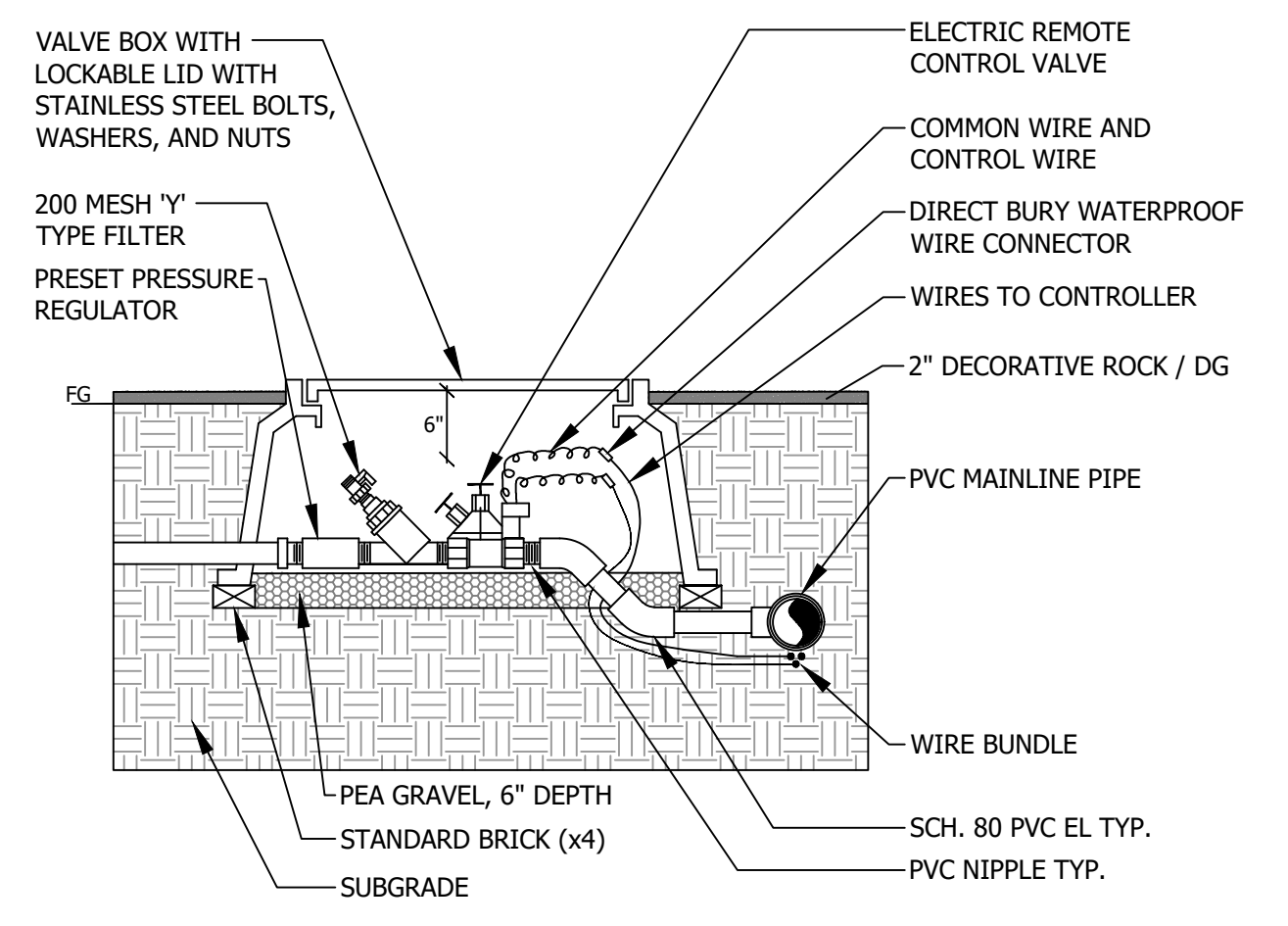
N



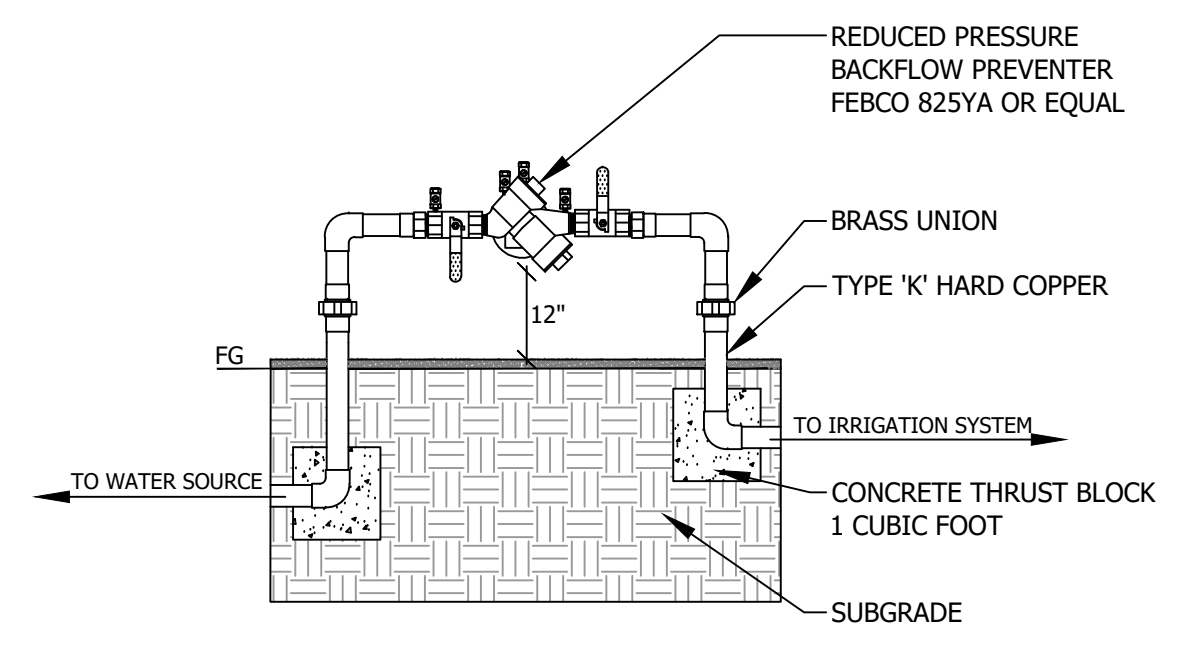


- NOTES:
- ALL SLEEVES TO EXTEND 12" PAST THE EDGE OF THE HARDSCAPE AREA
 - SLEEVES ARE TO BE SIZED AT 2.5 TIMES THE DIAMETER OF THE PIPE.
 - SLEEVES ARE TO BE A MINIMUM OF SCHEDULE 40 PVC.

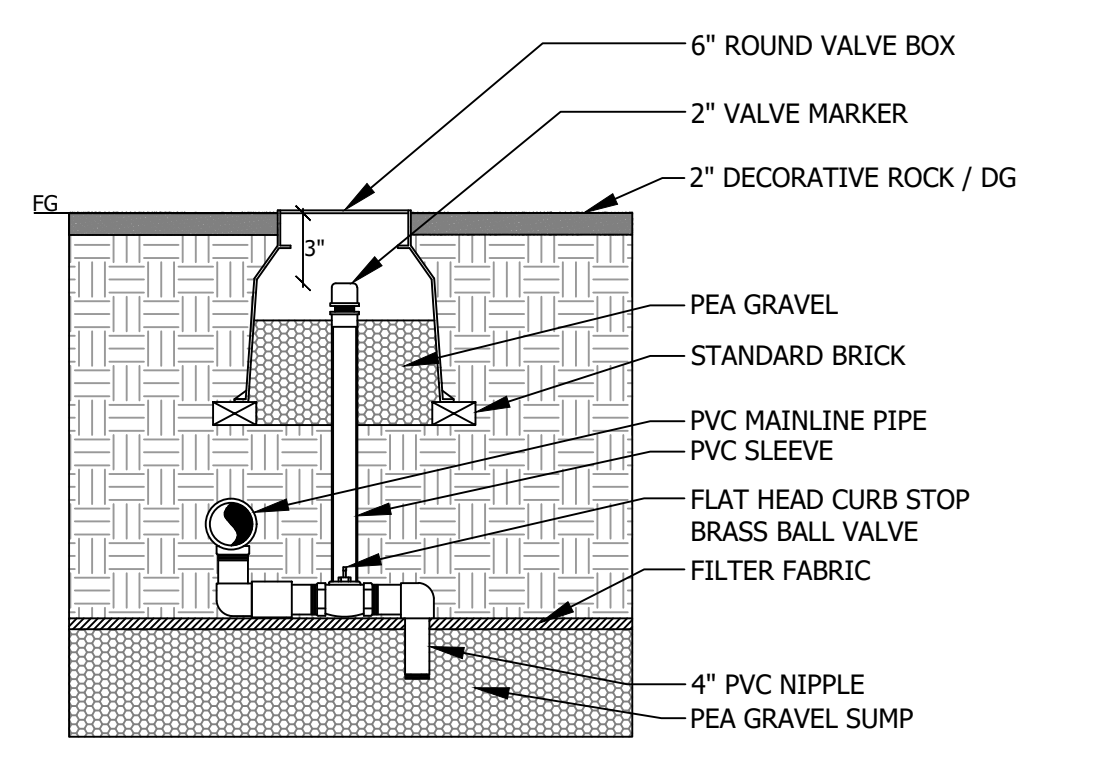
IRRIGATION SLEEVING DETAIL
N.T.S.



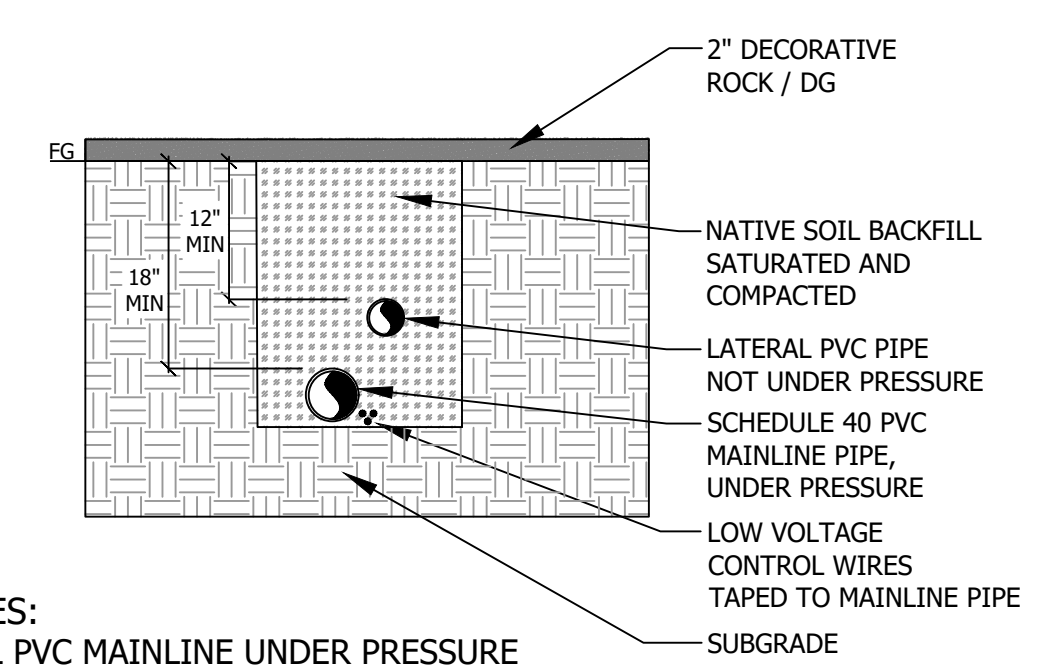
DRIP CONTROL VALVE DETAIL
N.T.S.



BACKFLOW PREVENTER DETAIL
N.T.S.

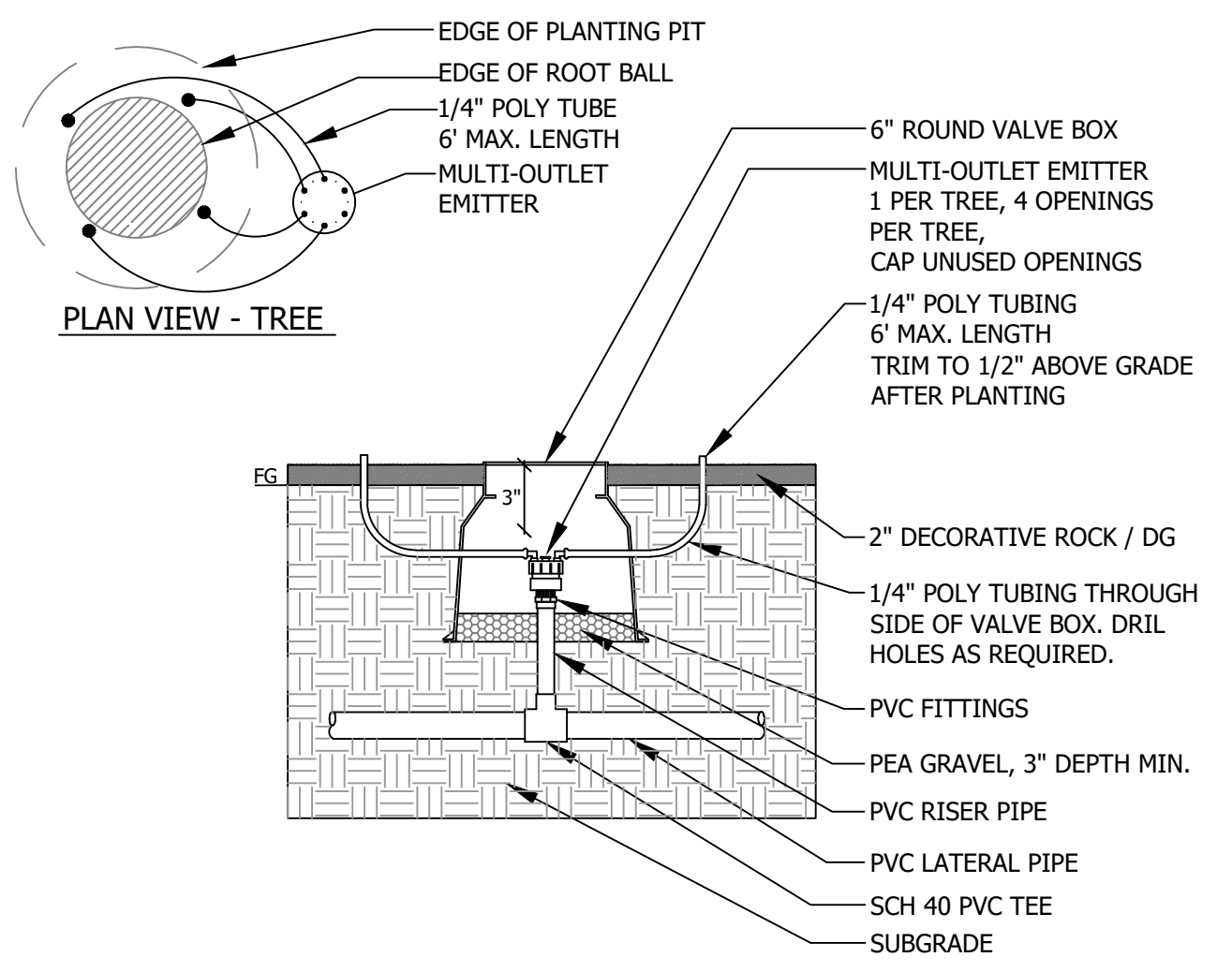


MANUAL DRAIN VALVE DETAIL
N.T.S.

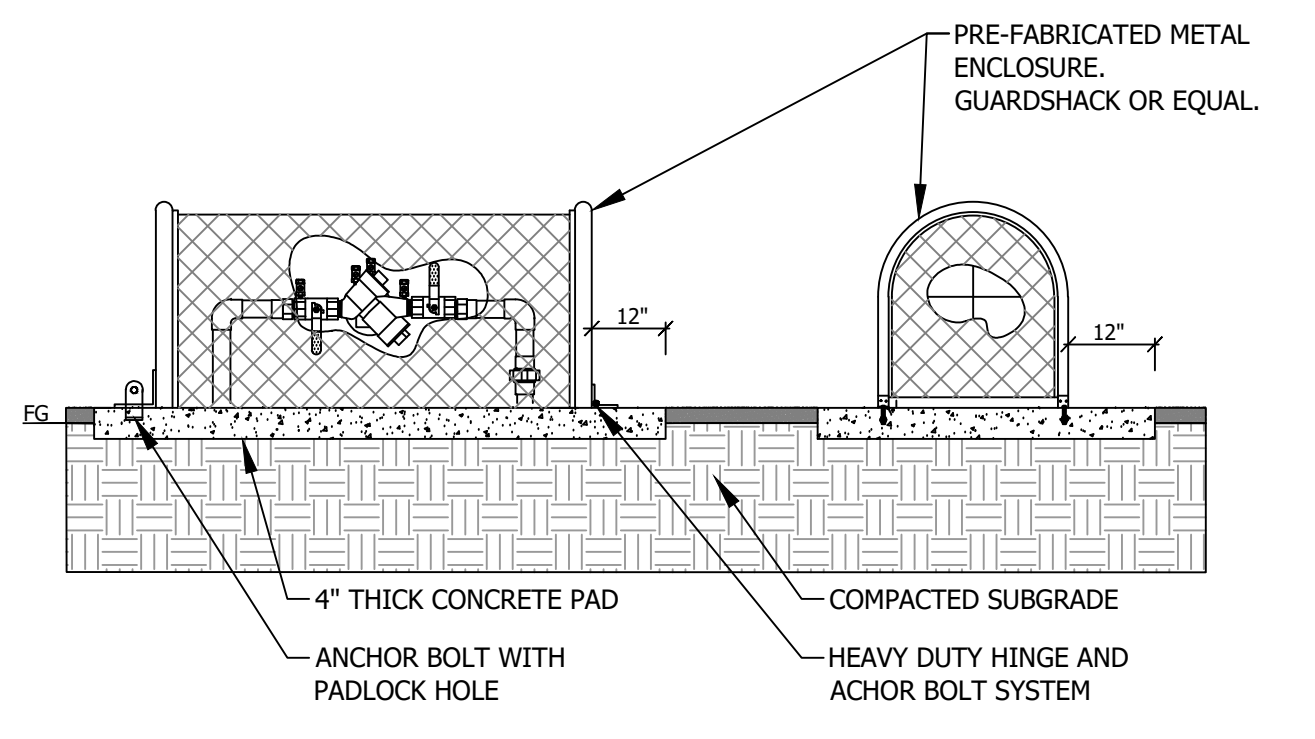


- NOTES:
- ALL PVC MAINLINE UNDER PRESSURE IS TO BE BURIED AT A MINIMUM DEPTH OF 36" UNDER PAVEMENT AND TO BE LOCATED IN PVC SLEEVE.

IRRIGATION TRENCHING DETAIL
N.T.S.

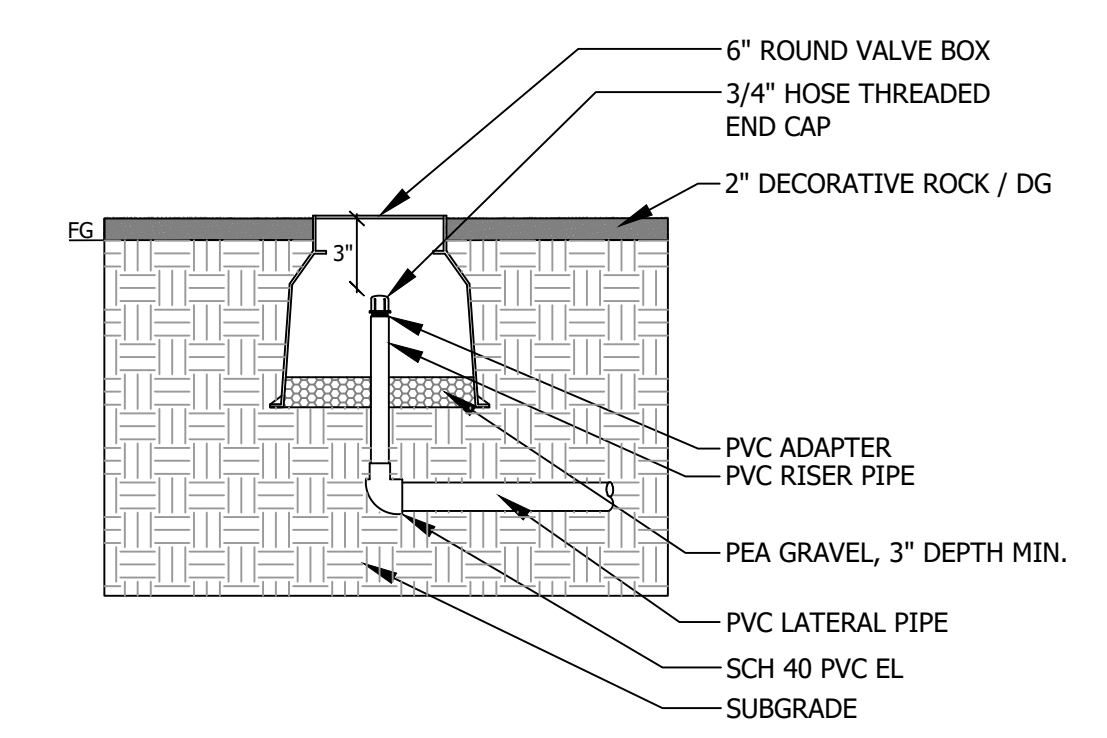


MULTI-OUTLET EMITTER DETAIL
N.T.S.

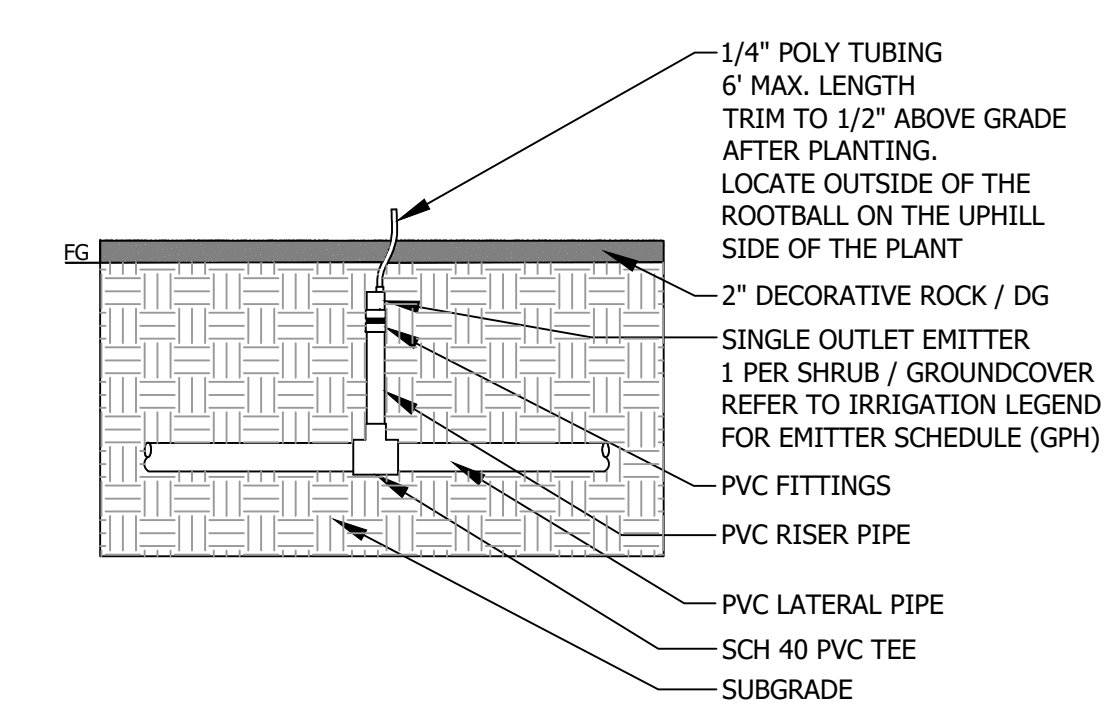


- NOTES:
- CONTRACTOR TO SIZE ENCLOSURE AS REQUIRED SO THAT THERE IS A MINIMUM OF 6" CLEARANCE BETWEEN THE BACKFLOW PREVENTER AND THE CAGE ON ALL SIDES.
 - ENCLOSURE TO HAVE A POWDER COATED PAINT FINISH, COLOR AS SELECTED TO BLEND NATURALLY INTO THE SURROUNDING LANDSCAPE.

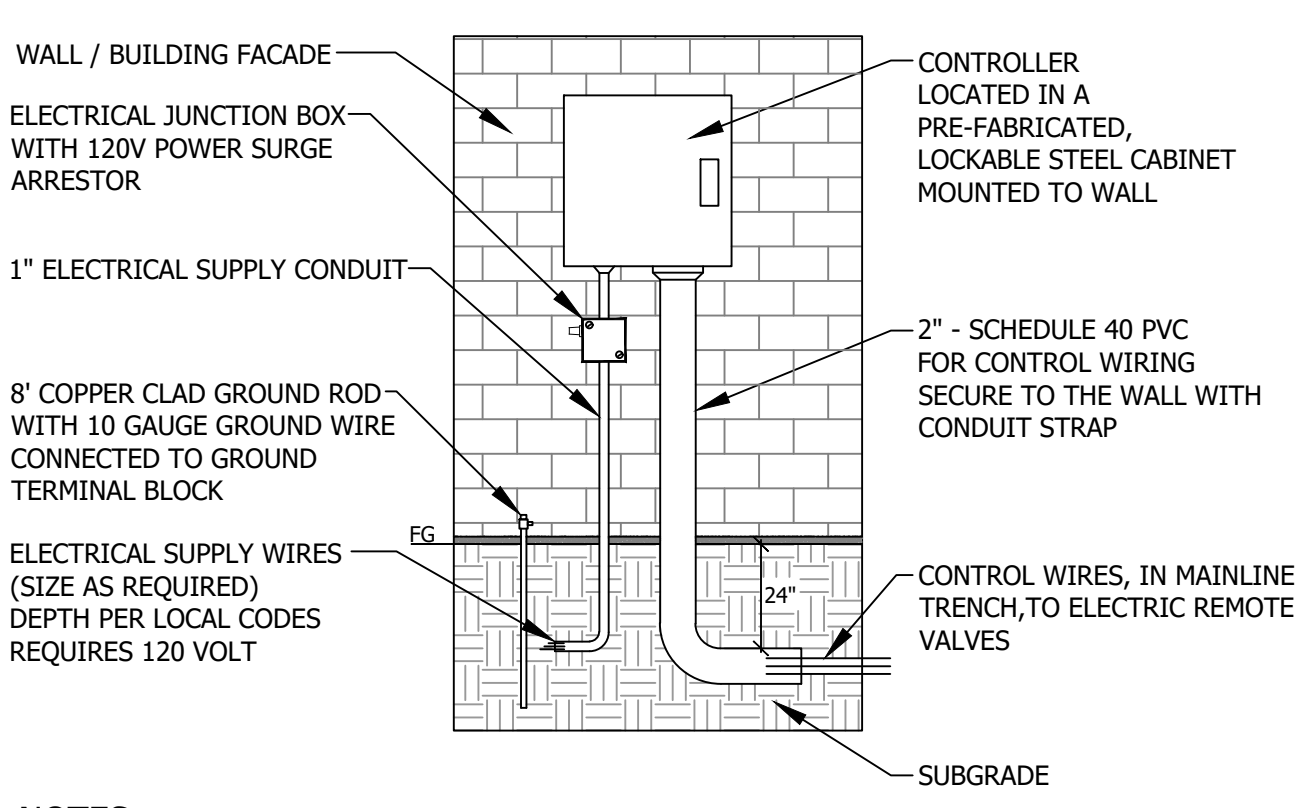
BACKFLOW PREVENTER ENCLOSURE DETAIL
N.T.S.



PVC END CAP - FLUSH TYPE DETAIL
N.T.S.



SINGLE OUTLET EMITTER DETAIL
N.T.S.



- NOTES:
- ALL WIRING TO BE COMPLIANT WITH LOCAL CODES.
 - PVC, CONDUIT, AND FITTINGS TO BE PAINTED TO MATCH WALL / BUILDING.
 - POWER SOURCE TO BE HARD WIRED FROM CIRCUIT BREAKER.
 - MOUNT CONTROLLER AT EYE LEVEL.

CONTROLLER - WALL MOUNTED DETAIL
N.T.S.

REVISIONS

NO.	DESCRIPTION
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PROJECT INFO
2025002749

ENGINEER DRAWN BY CHECKED BY
##



DRC Members in Attendance: City Engineer Jon Lundell, City Planner Aspen Elmer, Building Official Randy Spadafora and Assistant City Manager Jason Bond

Excused: Public Works Director Jason Callaway, Police Lieutenant Mike Wall, Fire Marshall Allen Duke

Others in Attendance: Engineer Megan Wilson, Deputy City Recorder Gwen Butters, Applicant David Peterson (via Zoom) and other members of the public.

City Engineer Lundell called the meeting to order at 10:04 a.m.

NEW BUSINESS

1. 130 S Street Church 2-lot Preliminary Subdivision Plan

A preliminary plan review of a proposed 2-lot subdivision located at approximately 130 S and Highland Drive

City Engineer Lundell introduced the item and stated that this is a proposed subdivision located at 130 South and Highland Drive. At the present time this is a large vacant field, and the proposal is to divide the parcel. The plans show four future lots with the largest lot on the corner for the building of a church.

City Planner Elmer stated that the plan has checklist items missing. An acknowledgement from the post office and the PLSS certificate from the county are needed. In addition, the frontage for lot 4 is too narrow for the R-10 zone. Santaquin City requires 80 feet, and it appears that the measurement has been taken from the 30-foot setback, making it approximately 63 feet. It was suggested that some frontages be taken from lot 3.

Assistant City Manager Bond stated that the priority for this plan is for the future building of an LDS church building. The question was posed whether it made sense to phase this plan since the cul-de-sac is the secondary access for the future church site plan. If phase 2 is developed, secondary access will need to be closed to put in infrastructure. This will negate the purpose of having secondary access. It was asked that the applicant consider this to avoid issues in the future. Applicant Peterson stated that they plan to install the improvements needed for the lots to not disturb the cul-de-sac. Assistant City Manager Bond stated that it appears that curb, gutter and sidewalk will be installed around the whole perimeter of the subdivision. Applicant Peterson stated that because it is required to do this as part of the preliminary plan, this is why it is being shown. The plan is to install these improvements when those phases begin. Assistant City Manager Bond requested that these plans be made clear to avoid future conflicts.

Assistant City Manager Bond notes the plan shows an existing shed on the corner of the development property. Santaquin City code does not allow accessory buildings to stand alone without a primary dwelling. As the focus of this subdivision is for lot 1 and the remaining property is for future development, this is not a remnant, which is not allowed. It is large enough to be usable whereas a remnant is a small parcel that is not developable. It was suggested that the applicants keep the highlighted areas in red as a future development area and it was questioned whether there are plans to divide those lots out further to meet zoning requirements. Also noted was that the Utah Department of Transportation (UDOT) will be rerouting Highland Drive which will affect the Northwest portion of this

parcel. The initial access to the church will need to be on the far East side of lot 1 so as not to conflict with the Highland Drive route. Applicant Peterson confirmed that access for lot 1 will be as far East as possible.

City Engineer Lundell stated the preliminary proposal shows 4 lots. Clarification is needed to show the three lots in question are future phase 2 development improvements. An updated mylar should show the first phase of the proposed subdivision. The remaining lots may have the utility connections installed as is. After this initial phase is subdivided off, the second phase would be contingent on a final application being submitted for those three lots. There is a 3-year window for a final application.

Applicant Peterson stated the landowner does not plan to develop lots 2-4 at the present time, only lot 1 and the cul-de-sac. He acknowledged that the current plat causes confusion as it appears that they are developing the entire lot when they are not. City Engineer Lundell confirmed this fact and stated that the first phase of this plan is all that can be recorded at this time. A traffic study is required for the two access areas, and this will be coordinated with the applicant later. Sidewalks need to be adjusted from the shown 4-foot sidewalk to the required 5-foot sidewalks.

Applicant Peterson discussed with City Engineer Lundell where the sewer lateral and storm drain should be located and specifications were discussed. Also noted was the need to add a snow loading area directing the applicant to view the specifications on the ST-3. Instructions were given to the applicant to note the buildable area beneath each lot, and it was directed that this was less than 30% within the setback lines.

A question was posed by a member of the public whether the improvements on Highland Drive and 130 South are required due to the UDOT project. City Engineer Lundell confirmed they are and stated that a small portion of lot 1 will be taken for this project. Assistant City Manager Bond stated that coordination with this project and the UDOT project would be beneficial for both parties in making those improvements. This has been discussed previously with the applicant and property owner.

No further comments from the DRC Committee were received.

Assistant City Manager Bond made a motion to recommend approval of the 130 S Street Church Preliminary Plan with the condition that all redline items be addressed. Building Official Spadafora seconded the motion.

City Engineer Jon Lundell	Yes
City Planner Aspen Elmer	Yes
Building Official Randy Spadafora	Yes
Assistant City Manager Jason Bond	Yes

The motion passed.

2. Scenic Ridge Estates Phase D

A final plan review of a proposed 3-lot subdivision located at 430 S 1200 E

City Engineer Lundell introduced the item and stated that a large parcel remains from the initial subdivision application. The applicants want to divide that parcel into three lots. Preliminary approval was given by the Planning Commission in March. Utilities have been installed; the roadway has been constructed. This is the final application.

Building Official Spadafora questioned whether the addressing had been assigned. City Engineer Lundell stated that it had but will confirm.

No further comments from the DRC Committee were received.

Building Official Spadafora made a motion to approve the final plan review of the Scenic Ridge Estates Phase D. City Planner Elmer seconded the motion.

City Engineer Jon Lundell	Yes
City Planner Aspen Elmer	Yes
Building Official Randy Spadafora	Yes
Assistant City Manager Jason Bond	Yes

The motion passed.

3. Cortland Townhomes Phase 1 Final Plan Amendment

An amendment to the Cortland Townhomes Phase 1 final plat located at approximately 200 N and 400 E

City Engineer Lundell introduced the item and stated that once construction began on this project, an existing utility was found to run adjacent and within 2 feet of the existing Public Utility Easement (PUE). The specifications require that there be a minimum of a 5-foot separation between the utility and the building foundation. Instead of coordinating to move the utility, the applicant is proposing to move the building location approx. 3 feet to the East. This does not impact on parking or open space.

City Planner Elmer stated there are plat cleanup items to address from the original plat recorded with the county. Namely, the private lane and open space needs labeling.

Building Official Spadafora inquired whether this amendment affects any other building. City Engineer Lundell stated that it affects only one building which is lot 6-11.

City Engineer Lundell stated that there are minor clarifications needed for lots 28-34. It is not indicated which building details are associated with each unit. An example was given and stated that on the first and second building the footprint being used is indicated. Lot 28-34 does not have that notation, and this will need to be indicated on the plat.

No further comments from the DRC Committee were received.

Assistant City Manager Bond made a motion to approve the minor change to the Cortland Townhomes Phase 1 on condition that the red lines be addressed. Building Official Spadafora seconded the motion.

City Engineer Jon Lundell	Yes
City Planner Aspen Elmer	Yes
Building Official Randy Spadafora	Yes
Assistant City Manager Jason Bond	Yes

The motion passed.

MEETING MINUTES APPROVAL

4. March 10, 2026

City Planner Elmer made a motion to approve the DRC meeting minutes from March 10, 2026.
Building Official Spadafora seconded the motion.

City Engineer Jon Lundell	Yes
City Planner Aspen Elmer	Yes
Building Official Randy Spadafora	Yes
Assistant City Manager Jason Bond	Yes

The motion passed.

ADJOURNMENT

Assistant City Manager Bond made a motion to adjourn the meeting.

The meeting was adjourned at 10:39 a.m.

Jon Lundell, City Engineer

Gwen Butters, Deputy City Recorder