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AGENDA
PLANNING COMMISSION MEETING
Thursday, March 5, 2026
South Salt Lake Council Chambers
220 East Morris Avenue

PLANNING COMMISSION MEETING AT 7:00 P.M.

Pledge of Allegiance: George Pechman
Approve Agenda: Jeremy Carter

STAFF BUSINESS – INFORMATION ITEMS

1. Parks Plan Update

PLANNING COMMISSION BUSINESS

None at this time

CONTINUING BUSINESS

None at this time

NEW BUSINESS

1. PUBLIC HEARING

A petition to amend Title 17 to amend the parking requirements in the Tracy Aviary's Jordan River Nature Center (JRNC) District to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee.

ACTION ITEM

Applicant: Angela Dean, AMD Architecture on behalf of Tracy Aviary
Address: 1111 West 3300 South

Join Zoom Webinar

<https://zoom.us/j/96565559652>

Webinar ID: 965 6555 9652

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING AUXILIARY COMMUNICATIVE AIDS OR OTHER SERVICES FOR THIS MEETING SHOULD CONTACT ELIZA UNGRICHT, (801) 483-6013, GIVING AT LEAST 24 HOURS NOTICE.

Planning Commission Meeting Minutes
Thursday, March 5, 2026
South Salt Lake Council Chambers
220 East Morris Avenue
Time: 7:00 PM

Commission Members Present:

Jeremy Carter, Chair
Christy Dahlberg (online)
George Pechmann
Mary Anna Southey
Olivia Spencer

Staff Members Present:

Eliza Ungricht, Deputy Community Development Director
Brianna Brass, Deputy City Attorney (online)
Spencer Cawley, Senior City Planner
Tereza Bagdasarova, City Planner

Other Attendees:

Angela Dean, Tracy Aviary
Tim Brown, Tracy Aviary
Oliver Pechmann

Chair Jeremy Carter called the Planning Commission Meeting to order at 7:00 PM.

PLANNING COMMISSION MEETING

Pledge of Allegiance:

Commissioner Pechmann

Motion to Approve Agenda:

Motion:

Commissioner Southey

Second:

Commissioner Pechmann

Vote:

Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.

The vote was unanimous.

STAFF BUSINESS – INFORMATION ITEMS

1. Parks Plan Update.

Deputy Community Development Director, Eliza Ungricht, reported that Parks Project Manager, Anthony Biamont presented the draft Parks Plan in a July 2024 Work Meeting. The City Council reviewed the latest draft at its February 25, 2026 meeting, and the final plan will be adopted at its March 25, 2026 meeting.

PLANNING COMMISSION BUSINESS

1. None.

CONTINUING BUSINESS

1. None.

NEW BUSINESS

1. PUBLIC HEARING

A petition to amend Title 17 to amend the parking requirements in the Tracy Aviary’s Jordan River Nature Center (JRNC) District to allow for unpaved surfaces pending specific criteria are met and the City Engineer or their designee approve.

ACTION ITEM

Applicant: Angela Dean, AMD Architecture on behalf of Tracy Aviary
Address: 1111 West 3300 South

Ms. Ungricht reported that the Code Amendment would allow for permeable surfaces in the Jordan River Nature Center (“JRNC”) District at 111 West 3300 South near the Men’s Resource Center. The parcel was rezoned approximately four years previously, and Tracy Aviary was now requesting that the City allow permeable surfaces for a parking lot. The exception for permeable surfaces would only apply to the JRNC District; all other areas of the City require parking lots to be concrete or asphalt. Proposed standards outlined in the Staff Report were designed to ensure that fire trucks can access the property and the area remain free of weeds or sediment.

Prior to an exception being approved, the following documents would be required:

1. Parking and Traffic Study.
2. Geotechnical Report.
3. Drainage Plan and Report.
4. Site Plan to verify compliance with all other parts of commercial parking lot design criteria.
5. Material report that shows compliance with gradation requirements as listed in the Grading Requirements and Plasticity for Gravel chart.

Staff determined that the amended CUP meets the following General Plan consideration:

- Economic Development Strategy 4: Encourage development and preservation of neighborhood-based shops and services in strategic locations.
 - As it is a nature center, less pavement would fit the JRNC neighborhood character. It is also an overflow parking lot and will not always be in use.

Staff recommended that the Planning Commission forward a recommendation to the City Council to approve the petition to amend the South Salt Lake Municipal Code to allow for permeable surfaces subject to specific criteria and approval by the City Engineer and Fire Marshal or their designee, based upon its analysis and findings set forth in the Staff Report.

In response to a question raised by Chair Carter, Ms. Ungricht stated that Staff was not concerned about where the permeable surface will be located on the property. The proposed location was indicated on the aerial map. If the applicant moved the location, it would still need to meet the specific requirements. Typically, only the Planning Department reviews this type of application, but in this case there was cross-departmental input and no concerns were expressed by the Fire or Engineering Departments.

Chair Carter asked if a future owner would be able to turn the entire property into a parking lot. Ms. Ungricht stated that it would depend on the zoning at the time. Charter Carter stated that he was concerned about placement and future uses. The permeable surface would allow water to seep into the ground, but it may also introduce oil or other pollutants into the soil. Ms. Ungricht reported that the recommended standards were intended to address those concerns.

Commissioner Southey understood Chair Carter's concerns but noted that the JRNC District is specific to the property, so it would need to be rezoned if a future property owner no longer wanted to operate a nature center. Ms. Ungricht confirmed that they could be required to convert the parking lot to a hard surface.

Angela Dean of AMD Architecture and Tracy Aviary CEO, Tim Brown, spoke on behalf of the applicant. Mr. Brown stated that if they installed an asphalt parking lot, the runoff would go into a bioswale, so runoff would seep into the ground regardless of the surface. Permeable surfaces provide a better habitat for doves and pigeons, and asphalt would be an unnecessary expense.

Ms. Dean stated that per City requirements, all stormwater must be retained onsite. The site was designed to contain all runoff into a bioswale to the west of the parking lot, so stormwater will naturally percolate into the soil. Regarding expansion, the parking lot was designed with the property's full buildout capacity in mind. The final phase will be a visitor's center, and the property owner has no desire to build beyond that. Pathways, trails, and landscaping had already been installed, and their intent was to retain as much green space as possible.

Chair Carter opened the public hearing.

Oliver Pechmann resides in South Salt Lake City and asked how people will know where to park if the parking lot is gravel.

There were no further comments. The public hearing was closed.

In response to Mr. Pechmann’s question, Ms. Dean stated that a physical barrier may be put in place to delineate the stalls.

Motion to forward a recommendation of APPROVAL to the City Council to approve a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for unpaved surfaces pending specific criteria are met and approval by the City Engineer and the Fire Marshal or their designee, based on the following:

Findings of Fact:

- 1. The proposed Code Amendment would only be allowed in the Tracy Aviary’s Jordan River Nature Center District;**
- 2. In order for a permeable surface to be allowed this district the both the City Engineer and the Fire Marshal or their designee will need to approve the exception based off the provided documents.**

Conclusions:

- 1. The proposed change is consistent with the goals of the City General Plan to promote development and perseveration in strategic locations.**

Motion: Commissioner Pechmann

Second: Commissioner Spencer

Vote: Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;
Commissioner Southey – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.

The vote was unanimous.

Motion to ADJOURN the Planning Commission Meeting:

Motion: Commissioner Southey

Second: Commissioner Spencer

Vote: Commissioner Dahlberg– Yes;
Commissioner Pechmann – Yes;

**Commissioner Southey – Yes;
Commissioner Spencer – Yes;
Chair Carter – Yes.**

The vote was unanimous.

The Planning Commission Meeting adjourned at 7:19 PM.



For Planning Commission



Community Development

**SOUTH
SALT LAKE**
PLANNING COMMISSION STAFF REPORT

MEETING DATE: March 5, 2026
PROJECT NUMBER: OA25-0009
REQUEST: A petition to amend Title 17 to amend the parking requirements in the Tracy Aviary's Jordan River Nature Center (JRNC) District to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee.
APPLICANT: Angela Dean, AMD Architecture on behalf of Tracy Aviary
TYPE OF APPLICANT: Legislative – Ordinance Amendment

SYNOPSIS: On July 15, 2025, Angela Dean from AMD Architecture on behalf of Tracy Aviary applied to amend Title 17, to amend the parking surfaces in the Tracy Aviary's Jordan River Nature Center District. This district is located at 1111 W 3300 S.

If approved the applicant intends to improve the southern portion of the parking lot on 1000 West to meet the permeable parking lot standards. This section of the parking lot will primarily be used as an overflow lot and for when they have events.

The reason the applicant has applied for this amendment is because "surfaces [that] are permeable ... will alleviate storm water that enters retention areas – reducing the potential for standing water that attracts mosquitos." Additionally, "permeable paving aligns with the philosophy of the nature center to build in ways the reduce resource use and that are more ecologically responsible."

The code has been drafted so an permeable parking lot may be approved by the City Engineer and the Fire Marshal or their designee.

There are three standards that need to be met first for the exception to be approved, which are outlined in a later section in the staff report. If those standards are met, then there are a handful of documents that will be submitted that will be reviewed by the Community Development, Engineering and the Fire Marshal for final approval.

The Planning Commission is the recommending body for all ordinance amendments, and the City Council is the final land use authority.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission forward a recommendation to the City Council to approve, a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code ("Code") to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee. Staff's recommendation is based upon its analysis and findings included below.



GENERAL INFORMATION:

Table 1: Proposed Redlines

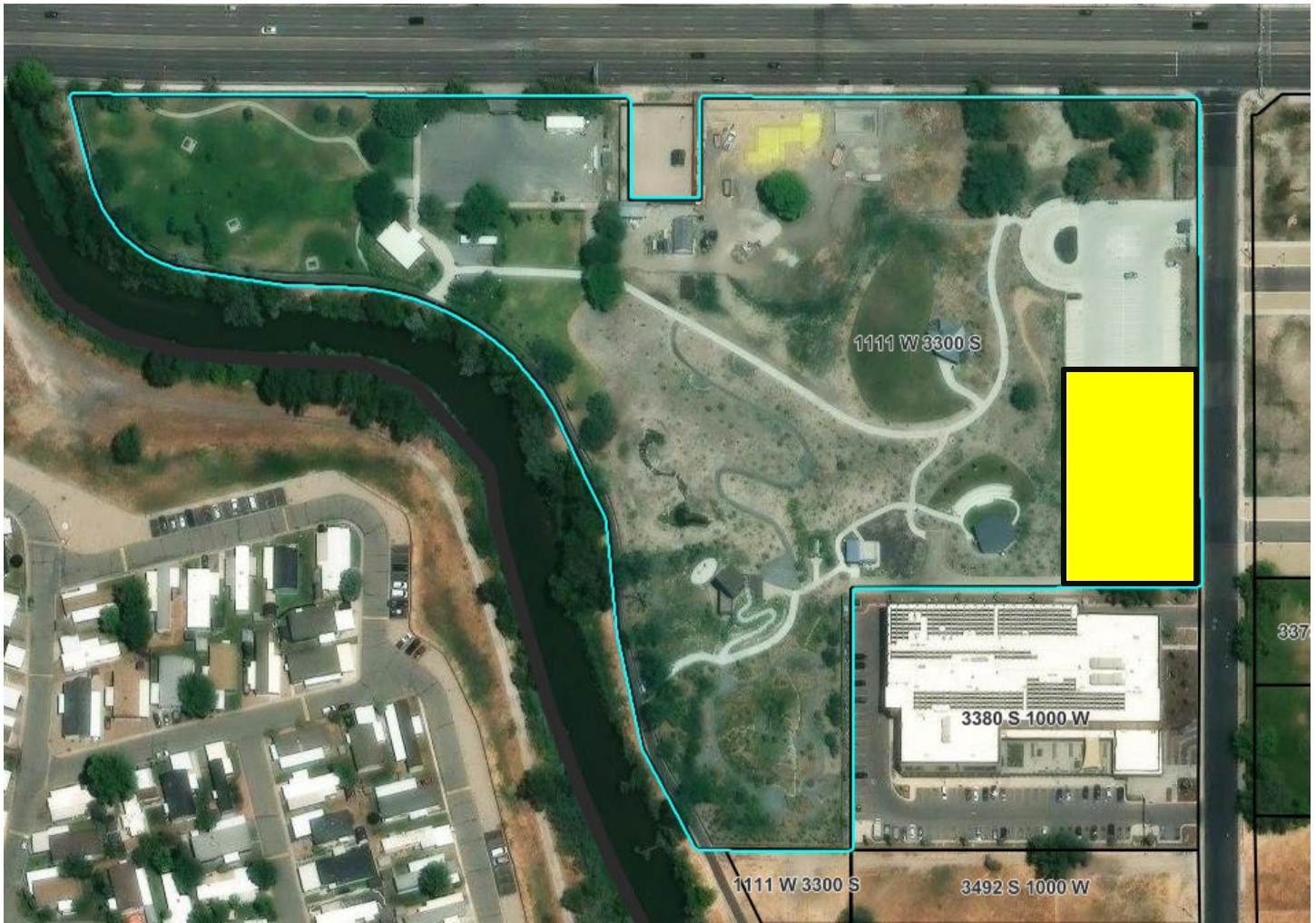
<p>Title 17.03.230 – Tracy Aviary’s Jordan River Nature Center (JRNC) District</p>	<p>Proposed Redlines:</p> <ul style="list-style-type: none"> i. Exception. Parking Lots in this district may be a permeable surface, if the standards set forth in subsection 3.ii. are met, supporting documentation in subsection 3.iii sufficient to verify the standards in 3.ii are met are submitted and the exception is approved by both the City Engineer and the Fire Marshal or their designee. ii. Standards. The following standards must be met for the exception of the surfacing requirements in 17.06 are approved. <ul style="list-style-type: none"> a. The permeable surface must be “all-weather” and engineered to support the minimum vehicle load of 80,000 pounds for fire apparatus. b. The grading requirements must be as follows. <table border="1" data-bbox="620 909 1516 1476"> <thead> <tr> <th colspan="2">Grading Requirements and Plasticity for Gravel</th> </tr> <tr> <th>Requirement Sieve</th> <th>Gravel Surfacing Percent Passing</th> </tr> </thead> <tbody> <tr> <td>1’</td> <td></td> </tr> <tr> <td>¾’</td> <td>100</td> </tr> <tr> <td>½’</td> <td></td> </tr> <tr> <td>No. 4</td> <td>50-78</td> </tr> <tr> <td>No. 8</td> <td>37-67</td> </tr> <tr> <td>No. 40</td> <td>13-38</td> </tr> <tr> <td>No. 200</td> <td>*4-15</td> </tr> <tr> <td>Plasticity Index</td> <td>4-12</td> </tr> </tbody> </table> <p>*Sometimes modified to 8-15 for better performance</p> c. The property Owner must clear and maintain the permeable areas to ensure they remain free of weeds (flammable) and sediment which could compromise the drainage and structural integrity of the surface. iii. Documents. The following documents must be submitted for review before the exception to the surfacing requirements in 17.06 are approved. <ul style="list-style-type: none"> a. Parking and Traffic Study b. Geotechnical Report c. Drainage plan and report 	Grading Requirements and Plasticity for Gravel		Requirement Sieve	Gravel Surfacing Percent Passing	1’		¾’	100	½’		No. 4	50-78	No. 8	37-67	No. 40	13-38	No. 200	*4-15	Plasticity Index	4-12
Grading Requirements and Plasticity for Gravel																					
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Plasticity Index	4-12																				

- d. Site plan to verify compliance with all other parts of commercial parking lot design criteria as per Section 17.06.140
- e. Material report that shows compliance with gradation requirements as listed in the Grading Requirements and Plasticity for Gravel chart in 3.ii.b. above.

Figure 1: Tracy Aviary's Jordan River Nature Center District – 1111 W 3300 S



Figure 2: Proposed location of the Permeable Parking Lot



PLANNING COMMISSION AUTHORITY:

17.11.010. Establishment and Duties of Planning Commission.

K. Responsibilities.

A. The Planning Commission makes recommendations to the **City Council for:**

- a. The general plan and amendments to the general plan;
- b. The Land Use Map, and amendments to the Land Use Map;
- c. **Amendments to land use ordinances;**
- d. Proposed Application processes and the delegation of power under the land use ordinance.

CITY COUNCIL AUTHORITY:

2.08.60. Powers and Duties

C. The City Council shall have the power to pass resolutions and ordinance concerning matters such as:

- 5. Zoning and building regulations.**

GENERAL PLAN CONSIDERATIONS:

Economic Development Strategy 4: Encourage development and preservation of neighborhood-based shops & services in strategic locations.

Analysis: One of the actions for this strategy is to “consider parking standards and impact on both the viability of businesses and neighborhood character.” This proposed code amendment fits the Tracy Aviary’s Jordan River Nature Center District neighborhood character, since it is a nature center and this will allow for less hard surfaces.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission forward a recommendation to the City Council to approve a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee, based on the analysis and findings set forth in the staff report

Findings of Fact:

1. The proposed code amendment would only be allowed in the Tracy Aviary’s Jordan River Nature Center District;
2. In order for a permeable surface to be allowed this district the both the City Engineer and the Fire Marshal or their designee will need to approve the exception based off the provided documents.

Conclusions:

1. The proposed change is consistent with the goals of the City General Plan to promote development and perseveration in strategic locations.

PLANNING COMMISSION OPTIONS:

Option 1: Approval

Move to forward a recommendation to the City Council to approve a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee, based on the analysis and findings set forth in the staff report.

Option 2: Denial

Move to forward a recommendation to the City Council to deny a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee, based on the findings discussed on the record.

Option 3: Continuance

Move to table the decision on a recommendation to the City Council for a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee, to a date certain to allow the Applicant and Staff time to respond to specific inquires or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

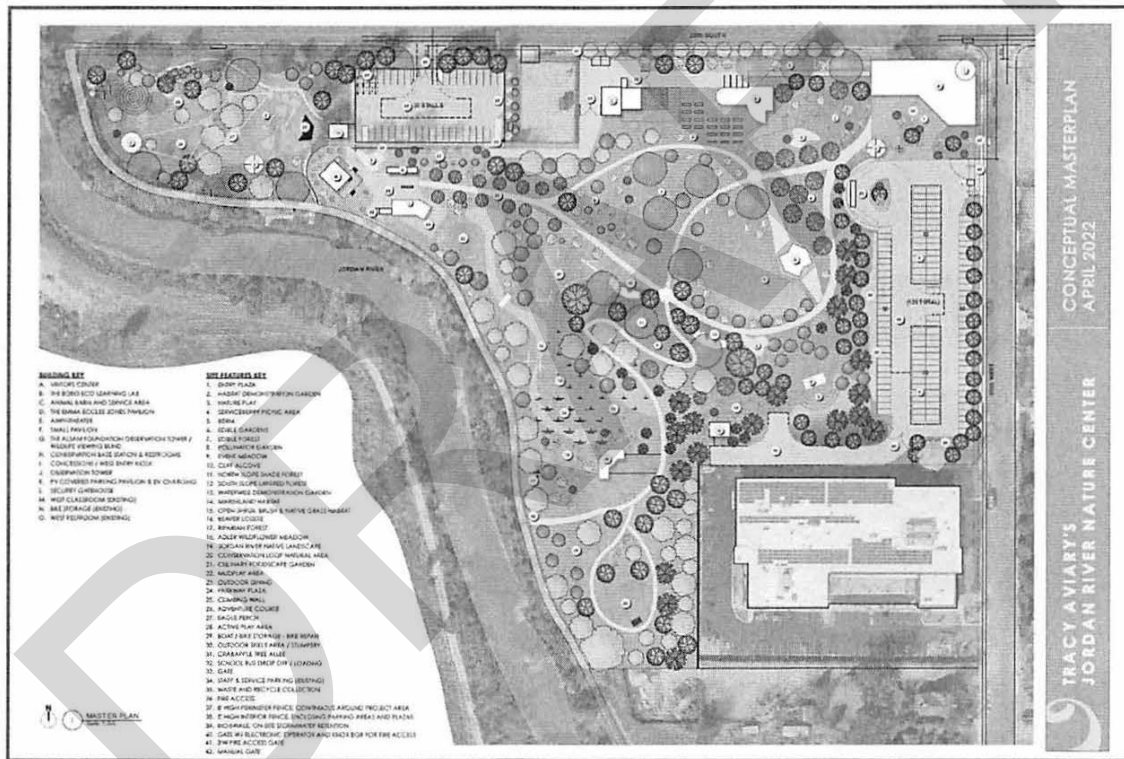
Attachments:

1. Ordinance Redlines

17.03.230 Tracy Aviary's Jordan River Nature Center (JRNC) District.

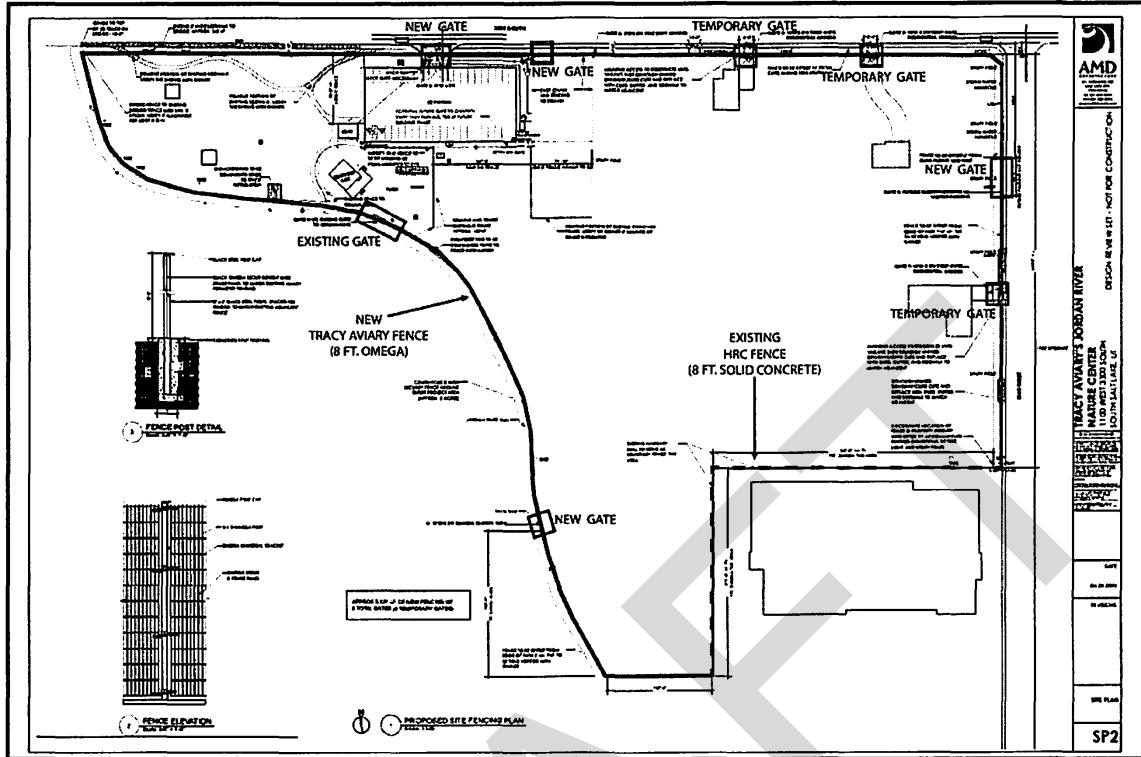
- A. Purpose. The Tracy Aviary's Jordan River Nature Center (JRNC) District provides Development standards for a Nature Center within the City.
- B. Establishment. The JRNC District is established to:
 - 1. Provide a tailored Development, design, and Use framework appropriate for a new Nature Center proposed within the City;
 - 2. Specifically support and increase the Use, awareness, understanding, appreciation, and stewardship of the natural environment within the City; and
 - 3. Facilitate the investment of future legislative appropriations in a manner consistent with state-level directives.
- C. Applicability. The development of the JRNC shall comply with the provisions of this Code.
- D. Uses. A single Nature Center shall be the only Primary Use allowed.
 - 1. The JRNC Nature Center may include the following:
 - a. A visitor education center shall be the Primary Structure at the JRNC Nature Center and shall be located at the corner of 3300 South and 1000 West. The visitor education center shall include the following accessory uses:
 - i. Guest services;
 - ii. Admissions and memberships;
 - iii. Rental equipment including camping gear, boats, bikes;
 - iv. Retail spaces/a nature store;
 - v. Food service;
 - vi. Educational spaces/ animal displays;
 - vii. Office spaces/conference rooms;
 - viii. Employee Housing Dwelling Units;
 - ix. Event space;
 - x. Secured gates;
 - b. A secured clientele parking lot with access from 1000 West;
 - c. A secured staff parking lot with access from 3300 South;
 - d. Landscaping featuring native and/or xeric plantings;
 - e. Secured internal restroom facilities;
 - 2. The JRNC Nature Center may include any of the following accessory uses interior to the Nature Center:
 - a. Additional educational spaces;
 - b. Wildlife viewing Structures;
 - c. Amphitheater;
 - d. Shade pavilions
 - e. Plazas;
 - f. Photovoltaic Solar Energy Systems;

- g. Electric vehicle charging stations;
 - h. A variety of gardens including edible and pollinator gardens;
 - i. Children play areas;
 - j. Live animal enclosures/displays - no venomous animals permitted;
 - k. Secured outdoor recreational equipment storage;
 - l. Other Nature Center programming.
- E. Standards.
1. Operator/manager. The JRNC Nature Center shall be operated and managed by a single operating/managing entity - Friends of Tracy Aviary, a Utah non-profit corporation. No entity other than the Applicant may be substituted for the operator/manager of the Nature Center.
 2. The Nature Center site plan:
 - a. The JRNC Nature Center shall generally be configured as depicted below:



- F. Operations:
- a. The JRNC Nature Center may operate for a maximum of twenty (20) hours per day, seven (7) days per week.
 - b. The JRNC Nature Center may hold special events with additional evening hours but in no case later than 12:00 a.m.
- G. Programming.
- a. The Nature Center shall provide staff-directed experiences and staff-hosted group events for up to a maximum of 2,000 individuals at a time.

- b. Specialty Recreational Installations shall be operated and staffed during all regular open hours and shall exclusively be operated and managed by the Nature Center's staff, which may be supplemented by trained volunteers.
- H. Security and management. In addition to complying with Crime Prevention through Environmental Design (CPTED) principles, any Use shall incorporate plenary operation and management practices to prevent and mitigate adverse onsite behavioral issues, including:
- 1. The operator/manager shall employ private security personnel to ensure that the Nature Center offers the general public welcoming and engaging spaces and that it is not occupied during off-hours.
 - 2. Staff. The JRNC Nature Center operator/manager shall have at least five of its staff member's onsite during operating hours.
 - 3. Lighting. The JRNC Nature Center shall submit a photometric study for the City's review and evaluation. The installation of lighting at the JRNC Nature Center shall feature strategically located internal light fixtures across the site to maximize dark-sky compliant night-time visibility and illuminated exterior surfaces.
 - 4. Cameras. The JRNC Nature Center shall direct appropriate video camera surveillance onto each Building within the site. The operator/manager shall continuously record activity in the vicinity of each Building and its immediate surrounding area to deter vandalism and ensure the protection of the Nature Center property and shall preserve such recordings for a minimum of 30 days.
 - 5. Electrical outlets. All power outlets shall be located inside a Structure, to the maximum extent possible; any power outlets located outside shall employ locking covers and shall remain locked or turned off when not in use by Nature Center staff or volunteers. No electrical outlets shall be accessible from the exterior of the JRNC Nature Center fence line.
 - 6. Fencing and foliage. The JRNC Nature Center site shall install and enclose its perimeter with an eight-foot (8') climb-deterrent, black, PVC-coated, welded-wire mesh fencing. The fence shall incorporate six (6) exterior gated entry points: one (1) primary access-controlled pedestrian gate located near the Visitor's Center entrance off 1000 West; two (2) access-controlled pedestrian gates located off the Jordan River Trail; one (1) access-controlled vehicular gate securing the clientele parking lot along 1000 West; one (1) access- controlled vehicular gate securing the staff parking lot along 3300 South; one (1) access-controlled pedestrian gate for public safety access along 3300 South. These gated entry points shall match the height of the fence and style of the fence. All gates shall comply with standards of the South Salt Lake Fire Marshal.



7. Landscape maintenance. The Nature Center shall install and maintain exterior landscaping along the fence and abutting public right-of-ways by trimming, pruning, and maintaining plants as required.
 8. Restroom facilities. Only Nature Center staff and guests shall have access to restrooms. All restrooms shall be internal to the JRNC project area. There shall be no public access to restrooms.
 9. Anti-graffiti. The Applicant shall apply an anti-graffiti coating on all vertical, exterior surfaces within five (5) feet of the perimeter fence. The Applicant shall promptly remove any graffiti within the JRNC District.
 10. Site management. The Nature Center operator/manager shall contract with a licensed and bonded private security company to conduct at least two (2) site visits to the Nature Center per night, at random hours. The operator/manager shall contract with a licensed and bonded private security company, as needed, to provide security for large events and other identified security needs. The operator/manager shall ensure all Structures are reasonably secured against unauthorized access.
 11. Waste management. All waste container enclosures shall be secured and located interior to the JRNC Nature Center fence line. All waste containers shall be emptied regularly into aggregate collection containers to prevent onsite litter and unsightly collection of discarded items.
- I. Design and Construction. The following Design Guidelines and construction requirements shall apply to the JRNC Nature Center:
1. Civil improvements.
 - a. The JRNC Nature Center shall comply with all South Salt Lake Engineering standards found in Title 17.10.
 - b. Site Development shall be designed and graded to meet MS4 permit standards, all to the City's Engineering standards.

- c. Berms. Berms are permitted in the JRNC Nature Center subject to South Salt Lake Engineering approval. All berms shall be located interior to the development and shall be no higher than the perimeter fence.
- d. Interior Pathways. All Interior pathways shall comply with the minimum widths and weight requirements as required by the South Salt Lake Fire Marshal.
 - a. Primary pathways. Primary pathways shall be constructed of concrete or asphalt.
 - b. Secondary pathways. Secondary pathways shall be constructed of compacted gravel or another similar material.
 - c. Tertiary pathways. Tertiary pathways are constructed of dirt or other natural materials.

BUILDING KEY

- A. VISITOR CENTER
- B. THE BIRDS ECO LEARNING LAB
- C. AVIARY BARN AND SERVICE AREA
- D. THE BIRDS ECO LEARNING LAB
- E. ADMINISTRATION
- F. SMALL PARK
- G. THE AVIARY FOUNDATION OBSERVATION TOWER
- H. WILDLIFE RESEARCH BUILDING
- I. CONSERVATION RAISE FANON & RESTROOMS
- J. OBSERVATION TOWER
- K. 100 COVERED PARKING SPACES & BY-CYCLING
- L. SECURITY CLAMHOUSE
- M. WET CLASSROOM (SITING)
- N. BIRDS STORAGE (SITING)
- O. WET RESTROOM (SITING)

LANDSCAPE KEY

- 1. BIRDS PLAZA
- 2. HABITAT DEMONSTRATION GARDEN
- 3. PAVILION PLAZA
- 4. TRAVELER REST AREA
- 5. TRAIL
- 6. BIRDS GARDEN
- 7. BIRDS FOREST
- 8. PLANTING GARDEN
- 9. BIRDS MEADOW
- 10. BIRDS PLAZA
- 11. NORTH SLOPE SAGE SCRUB
- 12. SOUTH SLOPE SAGE SCRUB
- 13. WILDLIFE DEMONSTRATION GARDEN
- 14. WILDLIFE MEADOW
- 15. CONSERVATION RAISE FANON & NATIVE GARDEN
- 16. BIRDS FOREST
- 17. BIRDS FOREST
- 18. AVIARY WILDLIFE MEADOW
- 19. CONSERVATION RAISE FANON & NATIVE GARDEN
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CONCEPTUAL MASTERPLAN
APRIL 2022

TRACY AVIARY'S
JORDAN RIVER NATURE CENTER

- e. Parking, Access and Circulation Requirements. Refer to Title 17.06.
 - f. Flood plain/Jordan River Diversion. Any changes impacting the flood plain or alteration to the flow of location of the Jordan River shall be reviewed and approved by South Salt Lake Engineering, the Salt Lake County Flood Control, the Army Corps of Engineers and any other applicable County, State or Federal agency.
 - g. Curb cuts. As part of the development of the JRNC Nature Center, all unused curb cuts located along 3300 South and 1000 West shall be removed and replaced with the appropriate infrastructure including curb, gutter, and sidewalk.
 - h. Public Right-of-Way Sidewalk. 3300 South and 1000 West shall have a five (5) foot sidewalk abutting back of curb along the entirety of the 3300 South and 1000 West frontage. No parkstrips are permitted.
2. Architectural standards. All Structures shall have a similar architectural design and style throughout the JRNC Nature Center.

- a. Visitor Education Center.
 - i. Area. The visitor education center may have a maximum Gross Floor Area of 18,000 square feet.
 - ii. Maximum Height. The maximum Height shall be 55 feet.
 - iii. Required Setbacks. The visitor education center shall have a 15 feet maximum setback from both 3300 South and 1000 West.
 - iv. Residential Density. The maximum Density for any Employee Housing Dwelling Unit located within the visitor education center Structure shall be one dwelling unit per acre. The Employee Housing Dwelling Units are restricted to occupancy by JRNC staff only.
 - a. Location. Employee Housing Dwelling Units shall be located within the upper floors of the visitor education center Structure. Employee Housing Dwelling Units shall be internally accessed, and access controlled.
 - b. Layout. Employee Housing Dwelling Units shall be dorm style with living quarters containing a number of private or semiprivate rooms for residents with shared kitchen/dining area and shared restroom/shower facilities.
 - c. Amenities. The following amenities shall be provided for the Employee Housing Dwelling Unit:
 - i. Secured on-site parking
 - ii. On-site laundry
 - d. Short-term rentals are prohibited.
 - v. Design Standard Regulations.
 - a. The visitor education center shall be a permanent Structure.
 - b. Frontage/Orientation. The visitor education center shall be located at the corner of 3300 South and 1000 West.
 - c. Primary Entrance. The Primary Entrance of the visitor education center shall be located internal to the access-controlled clientele parking lot located on 1000 West.
 - d. Façade. Each Façade of the visitor education center shall display the same level of architectural detail and transparency.
 - e. Materials. The visitor education center shall consist of the following exterior Primary Materials: painted steel, plaster, stone, and architectural metal.
 - f. Roofs. The visitor education center shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.
 - g. Loading and Service Areas. Any loading or service area shall be located internal to the access-controlled clientele parking lot located on 1000 West.

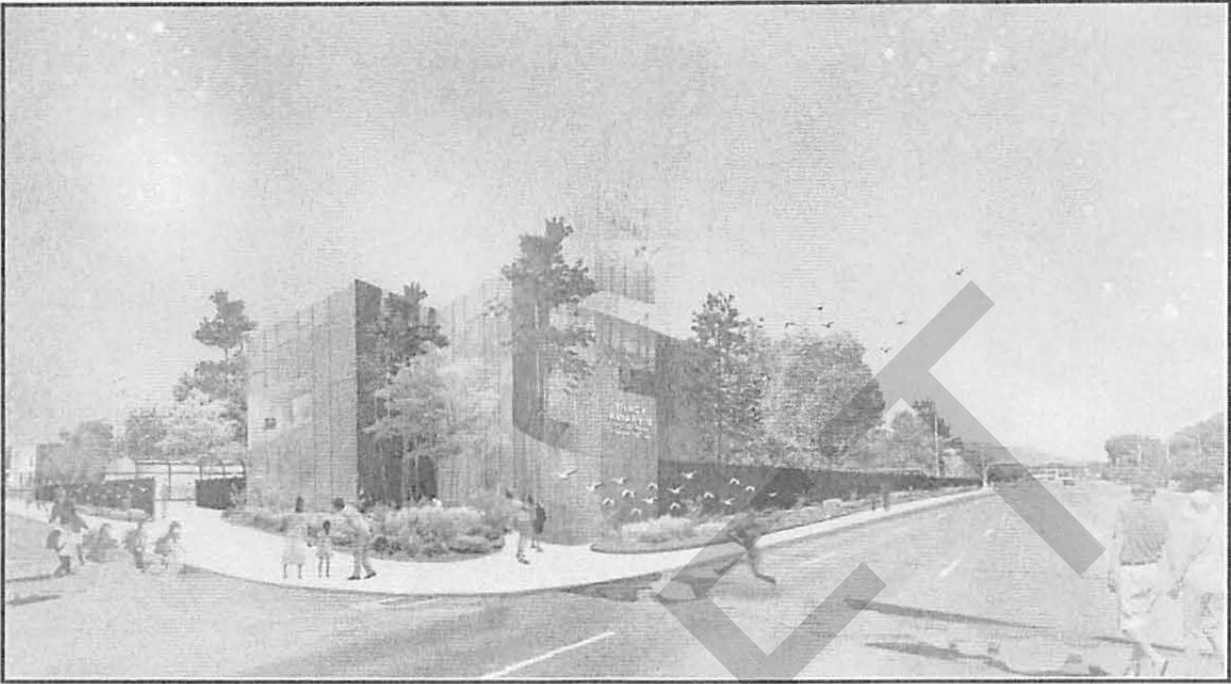


Figure 1. Visitor Education Center – Conceptual rendering subject to approval by South Salt Lake Community Development.

- b. Specialty Recreational Installation - pavilions.
 - i. Area. Pavilions may have a maximum Gross Floor Area of 2,000 square feet.
 - ii. Maximum Height. The maximum Height shall be 18 feet.
 - iii. Location. All pavilions shall be interior to the JRNC Nature Center fencing.
 - iv. Design Standard Regulations.
 - a. Pavilions shall be a permanent Structures.
 - b. Materials. All pavilion Structures shall consist of the following exterior Primary Materials: painted steel and wood.
 - c. Roofs. All pavilions shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.



Figure 2. Large Pavilion - Conceptual rendering subject to approval by South Salt Lake Community Development.

- c. Specialty Recreational Installation - eco learning lab.
 - i. Area. Eco learning labs may have a maximum Gross Floor Area of 2,000 square feet.
 - ii. Maximum Height. The maximum Height shall be 22 feet.
 - iii. Location. All eco learning labs shall be interior to the JRNC Nature Center fencing.
 - iv. Design Standard Regulations.
 - a. Eco learning labs shall be permanent Structures.
 - b. Materials. Eco learning lab Structures shall consist of the following exterior Primary Materials: painted steel, plaster, stone, wood, and glass.
 - c. Roofs. Eco learning labs shall have a roof clad in glass and standing seam metal or a low-slope membrane or a material of similar quality and durability.

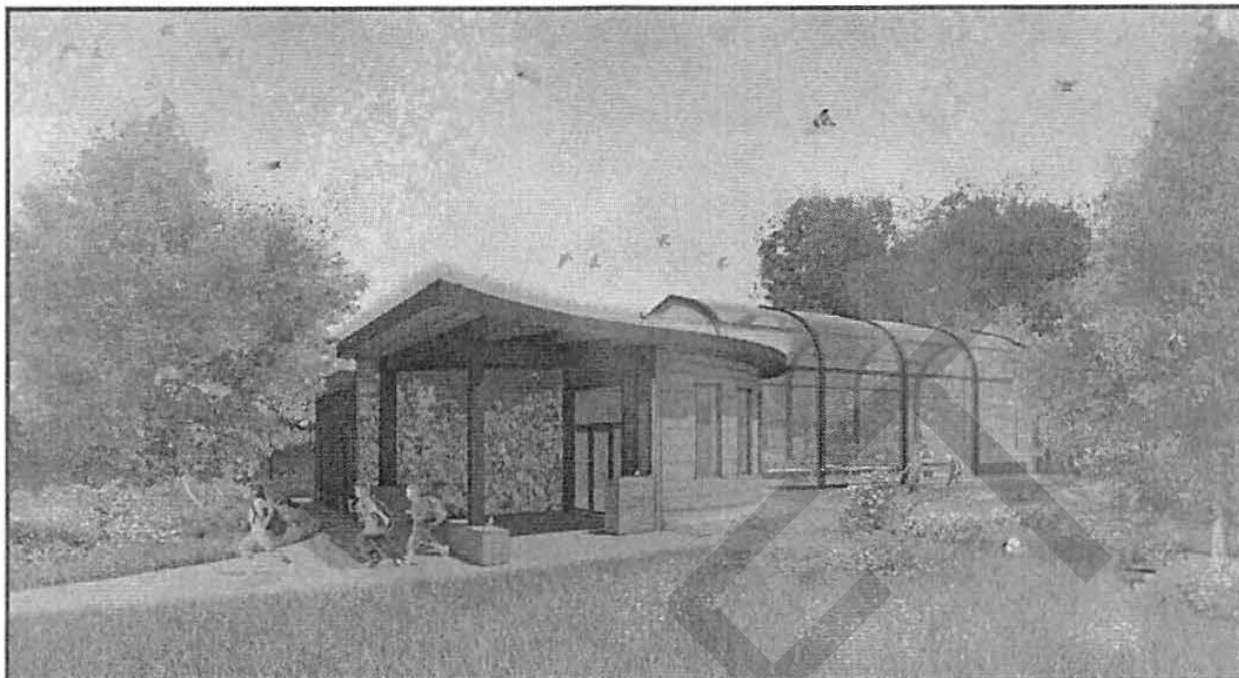


Figure 3. Eco-Learning Lab - Conceptual rendering subject to approval by South Salt Lake Community Development.

- d. Specialty Recreational Installation - animal barn and service area.
 - i. Area. Animal barns and service areas may have a maximum Gross Floor Area of 2,000 square feet.
 - ii. Maximum Height. The maximum Height shall be 20 feet.
 - iii. Location. All animal barns and service areas shall be interior to the JRNC Nature Center fencing.
 - iv. Design Standard Regulations.
 - a. Animal barns and service areas shall be a permanent Structures.
 - b. Materials. Animal barns and service area Structures shall consist of the following exterior Primary Materials: timber, wood, plaster, and architectural metal.
 - c. Roofs. Eco learning labs shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.
 - d. All animal enclosures shall comply with Title 6 and shall be approved by South Salt Lake Animal Services.

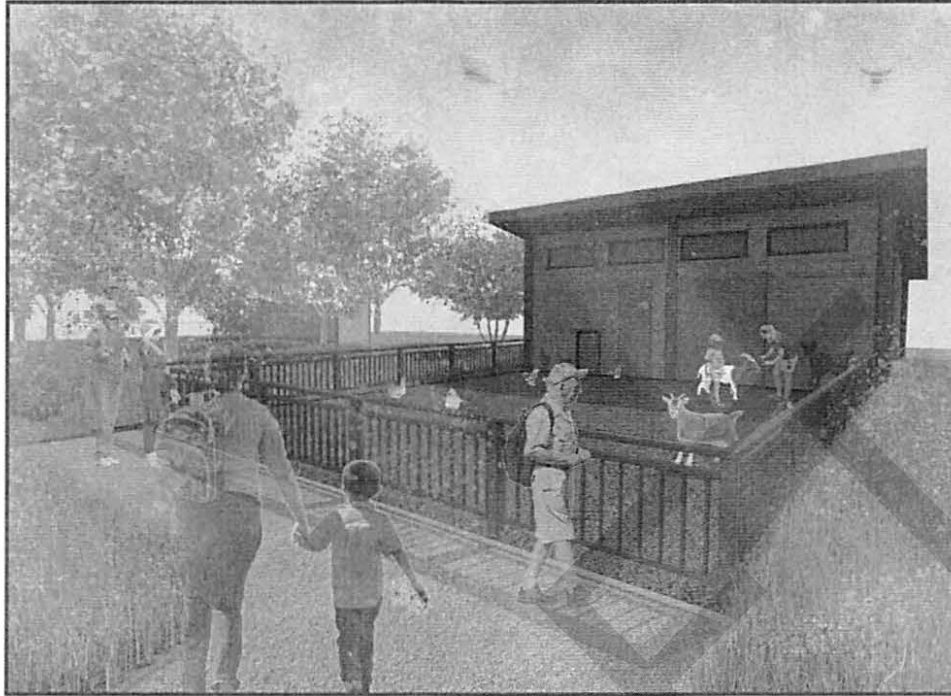


Figure 4. Animal barn and service area - Conceptual rendering subject to approval by South Salt Lake - Community Development.

- e. Specialty Recreational Installation - observation tower/wildlife viewing blind.
 - i. Area. Observation towers/wildlife viewing blinds may have a maximum Gross Floor Area of 1,000 square feet.
 - ii. Maximum Height. The maximum Height shall be 35 feet.
 - iii. Location. All observations towers/wildlife viewing blinds shall be interior to the JRNC Nature Center fencing.
 - iv. Design Standard Regulations.
 - a. Observation towers/wildlife viewing blinds shall be permanent Structures.
 - b. Materials. The observation tower and wildlife viewing blind Structure shall consist of the following exterior Primary Materials: painted steel, painted composite siding, metal, and wood.
 - c. Roofs. The observation tower and wildlife viewing blind shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.

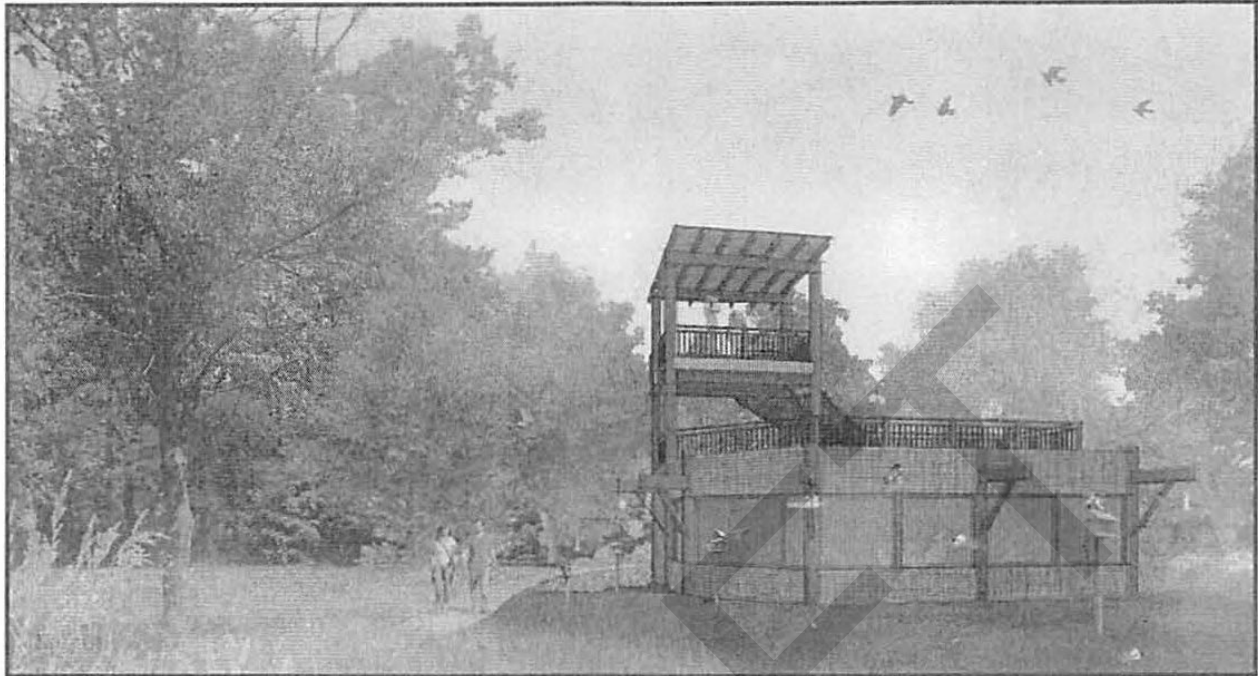


Figure 5. Observation tower and wildlife viewing blind - Conceptual rendering subject to approval by South Salt Lake Community Development.

- f. Specialty Recreational Installation - conservation base station.
 - i. Area. Conservation base stations may have a maximum Gross Floor Area of 1,000 square feet.
 - ii. Maximum Height. The maximum Height shall be 20 feet.
 - iii. Location. All conservation base station Structures shall be interior to the JRNC Nature Center fencing.
 - iv. Design Standard Regulations.
 - a. Conservation base stations shall be permanent Structures.
 - b. Materials. The conservation base station Structure shall consist of the following exterior Primary Materials: plaster, wood, and metal.
 - c. Roofs. The conservation base station shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.

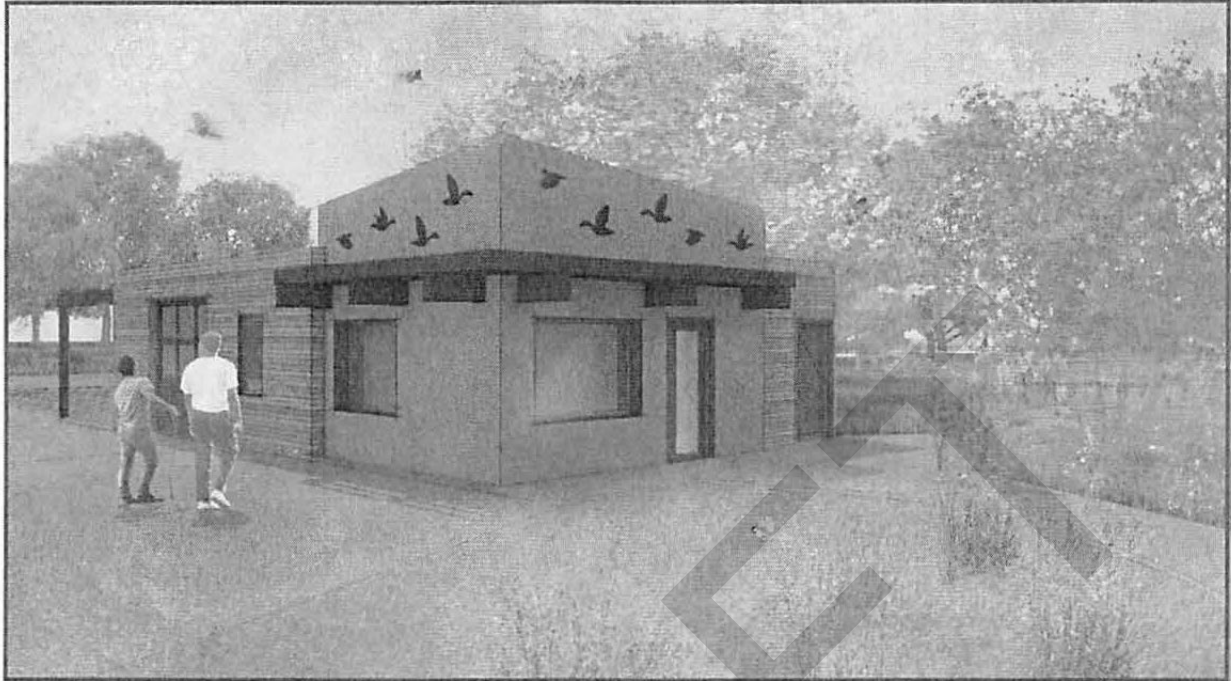


Figure 6. Conservation Base Station - Conceptual rendering subject to approval by South Salt Lake Community Development.

- g. Specialty Recreational Installation - amphitheater.
 - i. Maximum Height. The maximum Height shall be 20 feet.
 - ii. Location. All amphitheater Structures shall be interior to the JRNC Nature Center fencing.
 - iii. Design Standard Regulations.
 - a. The amphitheater shall be a permanent Structure.
 - b. Materials. The amphitheater Structure shall be consistent with other exterior materials found in the JRNC Nature Center.
 - c. Roofs. The amphitheater shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.

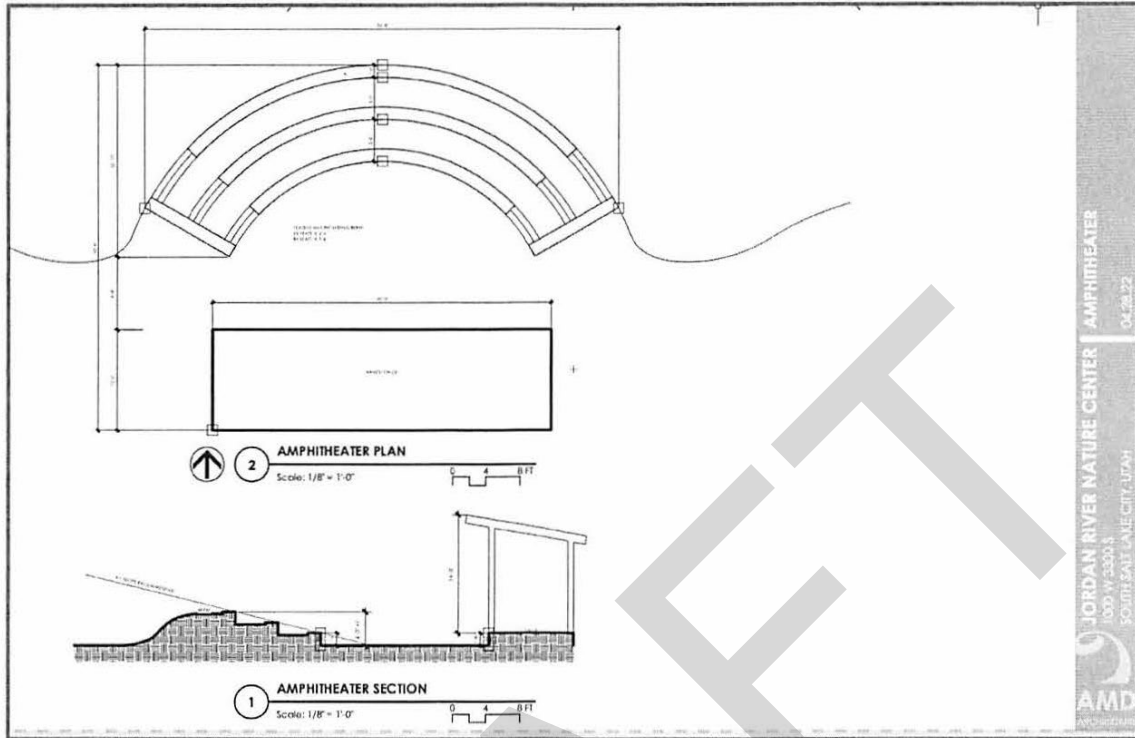


Figure 7. Amphitheater - Conceptual rendering subject to approval by South Salt Lake Community Development.

- h. Accessory Structures. Structures serving as an appropriate Accessory Use may be prefabricated, including up to ten (10) container structures onsite.
 - i. Area. Accessory Structures may have a maximum Gross Floor Area of 1000 square feet.
 - ii. Maximum Height. The maximum Height shall be 20 feet.
 - iii. Location. All Accessory Structures shall be interior to the JRNC Nature Center fencing.
 - iv. Design Standard Regulations.
 - a. All Accessory Structures shall be permanent Structures and affixed to a foundation.
 - b. Materials. Accessory Structures shall be consistent with other exterior materials found in the JRNC Nature Center. Metal shipping containers may be used as architectural elements in Accessory Structures. Nature themed murals are permitted.
 - c. Roofs. Accessory Structures shall have a roof clad in standing seam metal or a low-slope membrane or a material of similar quality and durability.
- 3. Parking, Access and Circulation Requirements. The JRNC Nature Center shall comply with all provisions of the Parking, Access and Circulation Requirements of Article II of Title 17.06, unless the following exception is approved.
 - i. **Exception. Parking Lots in this district may be a permeable surface, if the standards set forth in subsection 3.ii. are met, supporting documentation in subsection 3.iii sufficient to verify the standards in 3.ii are met are submitted and the exception is approved by both the City Engineer and the Fire Marshal or their designee.**

- ii. Standards. The following standards must be met for the exception of the surfacing requirements in 17.06 are approved.
 - a. The permeable surface must be “all-weather” and engineered to support the minimum vehicle load of 80,000 pounds for fire apparatus.
 - b. The grading requirements must be as follows.

Grading Requirements and Plasticity for Gravel	
Requirement Sieve	Gravel Surfacing Percent Passing
1"	
¾"	100
½"	
No. 4	50-78
No. 8	37-67
No. 40	13-38
No. 200	*4-15
Plasticity Index	4-12

*Sometimes modified to 8-15 for better performance

- c. The property Owner must clear and maintain the permeable areas to ensure they remain free of weeds (flammable) and sediment which could compromise the drainage and structural integrity of the surface.
- iii. Documents. The following documents must be submitted for review before the exception to the surfacing requirements in 17.06 are approved.
 - a. Parking and Traffic Study
 - b. Geotechnical Report
 - c. Drainage plan and report
 - d. Site plan to verify compliance with all other parts of commercial parking lot design criteria as per Section 17.06.140
 - e. Material report that shows compliance with gradation requirements as listed in the Grading Requirements and Plasticity for Gravel chart in 3.ii.b. above.

4. Landscaping. The JRNC Nature Center shall comply with all provisions of Title 17.06.300, with the following exceptions:

- a. Exterior Perimeter Landscape Standards.
 - i. Turf grass is prohibited between the JRNC Nature Center fence and the public right of way. The JRNC Nature Center shall install a rock mulch base in all landscaped areas and shall include live plant material that covers 75% of the area at maturity. Live plant material shall be selected and installed to discourage camping and loitering along the perimeter of the development.
 - ii. Benches and other public furnishing installations are prohibited between the JRNC Nature Center fence and any public right of way.

5. Signage.

- a. The JRNC Nature Center may feature two (2) Monument Signs, with a maximum height of four (4) feet and a maximum area of 50 square feet.

- b. The JRNC Nature Center may feature two (2) Wall Signs that are limited to 15% of the front façade area of the Visitor Center, with alphanumeric character height up to four (4) feet in height. Walls signs may be placed on any façade of the Visitor Center.
- c. The JRNC Nature Center may have an unlimited number of Directional Signs and informational signs within the interior of the development.
- d. Pole Signs are prohibited.

DRAFT

**A PETITION TO AMEND THE PARKING
REQUIREMENTS FOR THE TRACY AVIARY'S
JORDAN RIVER NATURE CENTER DISTRICT**

Ordinance Amendment Application

Planning Commission Meeting

March 5, 2026

OVERVIEW OF PROPOSED AMENDMENT

A petition to amend Title 17 to amend the parking requirements in the Tracy Aviary's Jordan River Nature Center (JRNC) District to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee.

- The Tracy Aviary's Jordan River Nature Center (JRNC) District is located at 1111 West 3300 South.
- This code amendment will only be applied to this district.



OVERVIEW OF PROPOSED AMENDMENT

3. Parking, Access and Circulation Requirements. The JRNC Nature Center shall comply with all provisions of the Parking, Access and Circulation Requirements of Article II of Title 17.06, unless the following exception is approved.

i. Exception. Parking Lots in this district may be a permeable surface, if the standards set forth in subsection 3.ii. are met, supporting documentation in subsection 3.iii sufficient to verify the standards in 3.ii are met are submitted and the exception is approved by both the City Engineer and the Fire Marshal or their designee.

ii. Standards. The following standards must be met for the exception of the surfacing requirements in 17.06 are approved.

a. The permeable surface must be “all-weather” and engineered to support the minimum vehicle load of 80,000 pounds for fire apparatus.

b. The grading requirements must be as follows.

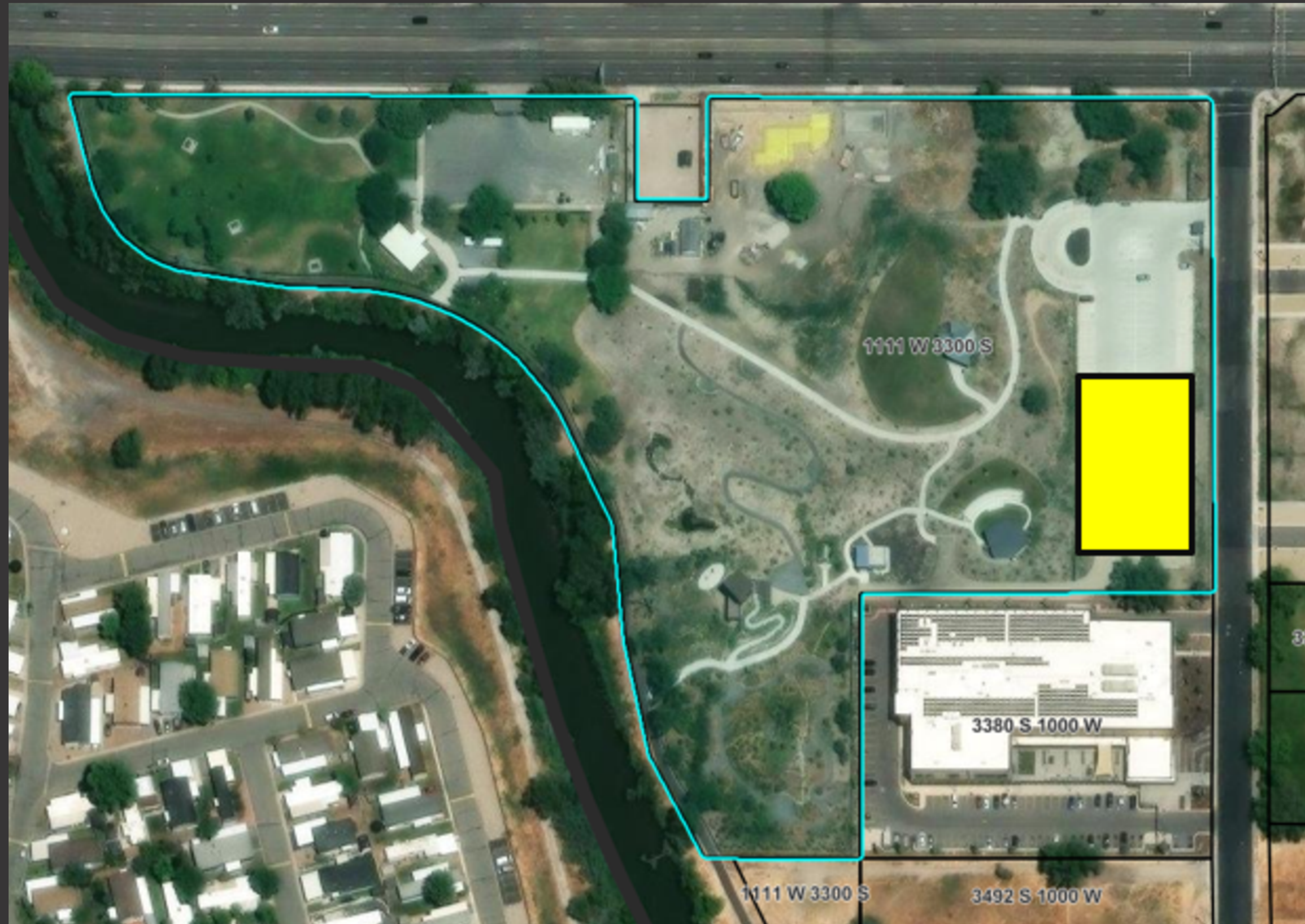
Grading Requirements and Plasticity for Gravel	
Requirement Sieve	Gravel Surfacing Percent Passing
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No. 4	50-78
No. 8	37-67
No. 40	13-38
No. 200	*4-15
Plasticity Index	4-12

*Sometimes modified to 8-15 for better performance

OVERVIEW OF PROPOSED AMENDMENT

- c. The property Owner must clear and maintain the permeable areas to ensure they remain free of weeds (flammable) and sediment which could compromise the drainage and structural integrity of the surface.
 - iii. Documents. The following documents must be submitted for review before the exception to the surfacing requirements in 17.06 are approved.
 - a. Parking and Traffic Study
 - b. Geotechnical Report
 - c. Drainage plan and report
 - d. Site plan to verify compliance with all other parts of commercial parking lot design criteria as per Section 17.06.140
 - e. Material report that shows compliance with gradation requirements as listed in the Grading Requirements and Plasticity for Gravel chart in 3.ii.b. above.

PROPOSED PERMEABLE LOT LOCATION



GENERAL PLAN CONSIDERATIONS

Economic Development Strategy 4: Encourage development and preservation of neighborhood-based shops & services in strategic locations.

- **Analysis:** One of the actions for this strategy is to “consider parking standards and impact on both the viability of businesses and neighborhood character.” This proposed code amendment fits the Tracy Aviary’s Jordan River Nature Center District neighborhood character, since it is a nature center and this will allow for less hard surfaces.

STAFF RECOMMENDATION

Staff recommends the Planning Commission forward a recommendation to the City Council to approve a petition to amend the Municipal Code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and the Fire Marshal or their designee, based on the analysis and findings set forth in the staff report

Findings of Fact:

1. The proposed code amendment would only be allowed in the Tracy Aviary’s Jordan River Nature Center District;
2. In order for a permeable surface to be allowed this district the City Engineer and the Fire Marshal or their designee will need to approve the exception based off the provided documents.

PLANNING COMMISSION OPTIONS

Option 1: Approval

Move to forward a recommendation to the City Council to approve a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and Fire Marshal or their designee approve, based on the analysis and findings set forth in the staff report.

Option 2: Denial

Move to forward a recommendation to the City Council to deny a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met and approved by the City Engineer and Fire Marshal or their designee approve, based on the findings discussed on the record.

PLANNING COMMISSION OPTIONS

Option 3: Continuance

Move to table the decision on a recommendation to the City Council for a petition to amend the municipal code to change Title 17 of the South Salt Lake Municipal Code (“Code”) to allow for permeable surfaces pending specific criteria are met approved by the City Engineer and Fire Marshal or their designee approve, to a date certain to allow the Applicant and Staff time to respond to specific inquires or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.