



PLANNING COMMISSION STAFF REPORT

MEETING DATE	May 7, 2024
PROJECT NUMBERS	S25-00010
REQUESTS	A petition for approval for a Subdivision Plat Amendment for a one-lot subdivision located at 2194 S West Temple.
ADDRESS	2194 S West Temple
PARCEL NUMBER	15242300060000
PROPERTY OWNERS	dbUphouse, LLC
APPLICANT	dbURBAN Communities
TYPE OF APPLICATION	Administrative - Subdivision

SYNOPSIS

dbURBAN Communities is petitioning the South Salt Lake Planning Commission for an approval for a Subdivision Plat for a one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple. The entitlement process for this petition includes the following applications: 1) Ordinance Amendment Petition; 2) Administrative Design Review; 3) Vacation Application; 4) Subdivision Plat application; and 5) Conditional Use Permit application. The Planning Commission held a public hearing on the ordinance amendment application on September 15, 2026, to establish Micro-Unit Dwelling as a conditionally permitted form of multifamily housing within the City of South Salt Lake and to provide an alternative to reduce parking requirement



for this type of unit and forwarded a recommendation of approval to the City Council. The City Council held a public meeting on the ordinance amendment application on January 28, 2026, and voted to approve the petition. The South Salt Lake Design Review Committee reviewed the design review application on February 11, 2026. The design review analysis is available below in the staff report. The Planning Commission is the Land Use Authority on all Subdivision Plat applications.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission move to approve, with conditions, the petition for preliminary subdivision plat amendment for a one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple. Staff's recommendation is based upon its analysis and findings included below.

EXISTING ZONING	EXISTING USE	SURROUNDING LAND USE DISTRICTS	PROPOSED USES
Downtown District (DT) – Station Subdistrict	Vacant Land	North: DT – Downtown-Station South: DT – Downtown-Greenway East: Downtown-Station Subdistrict West: Downtown-Mixed Use	Micro-Unit Dwelling

GENERAL INFORMATION

Location: 2194 S W Temple

Multi-Family Project Size - .19 acres

Surrounding Land Use Districts:

North: Downtown – Station South:

Downtown – Greenway

East: Downtown – Station

West: Downtown – Mixed Use

Figure 1: Existing Lot Lines



Figure 2: Existing Site Conditions



Figure 3: Proposed Rendering





Figure 4: Applicant's Conceptual Site Plan

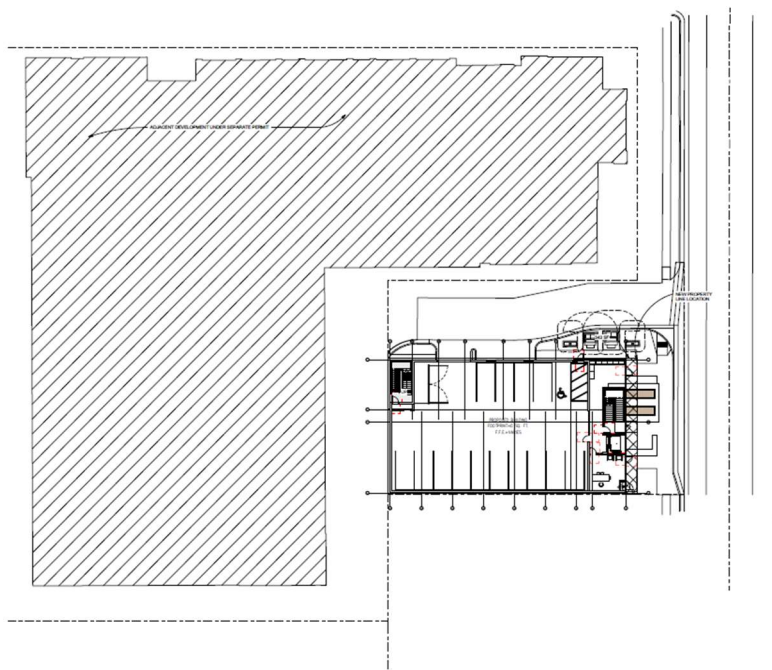


Figure 5: Site Plan – Level 1

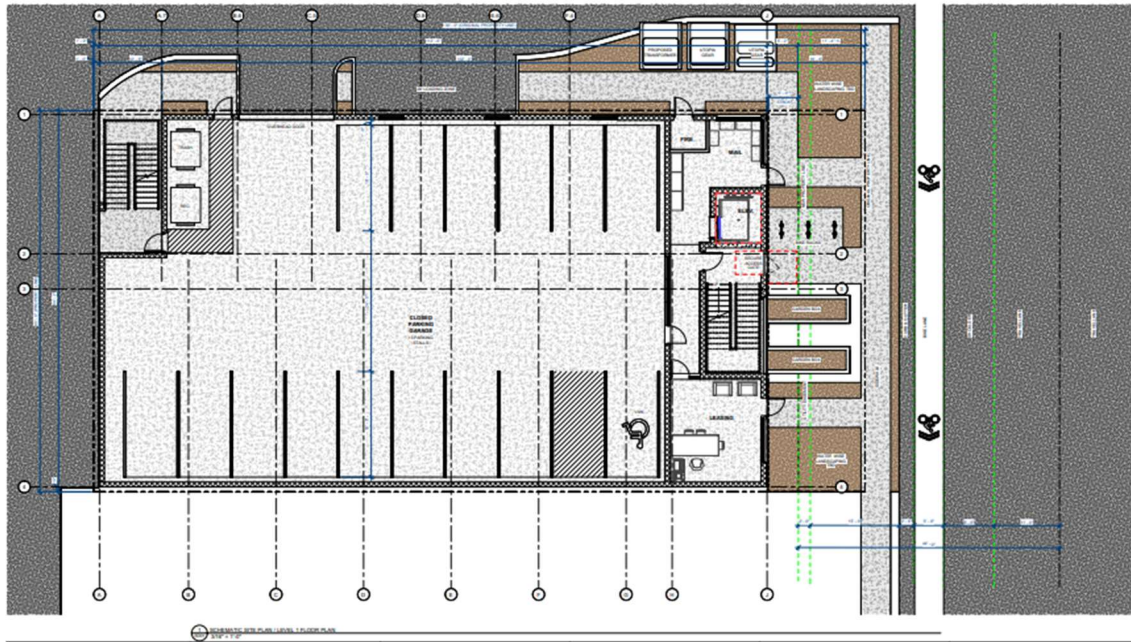
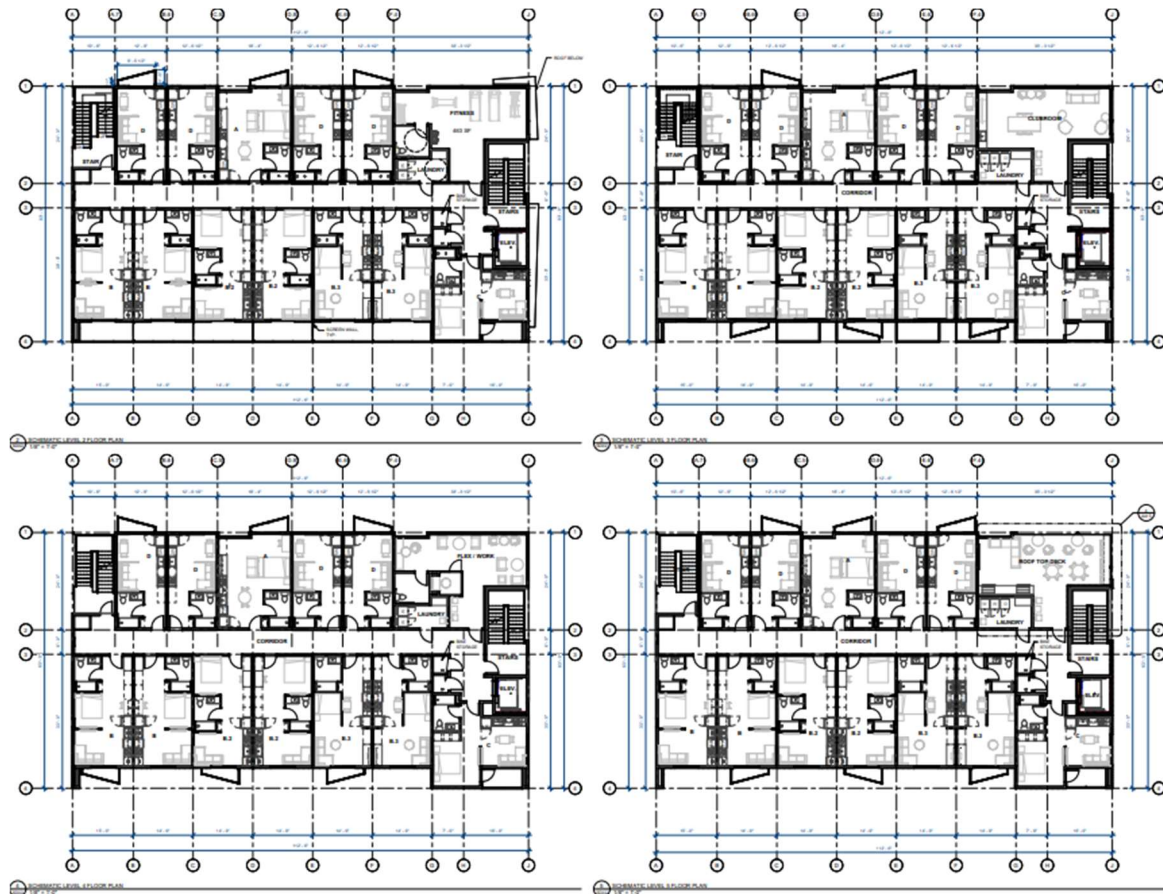


Figure 6: Site Plan – Level 2 to Level 5



Analysis: The proposed development promotes compatible, well-designed development that contributes to a safe, active, and visually appealing Downtown environment.

Housing Goal 1: Encourage the equitable development of diverse, safe, affordable, and attractive housing that is accessible and appropriate for residents of all incomes, needs, ages, backgrounds, and familial status.

Analysis: The inclusion of the proposed Multi-Family Micro-Unit Housing development expands housing options in the Downtown District, providing smaller, attainable units that can meet the needs of a wider range of residents, supporting affordability and equity.

Transportation & Connectivity Goal 2: Increase connections within and between neighborhoods to improve access to amenities and services without requiring use of an automobile.

Analysis: By supporting higher-density residential development in the Downtown area and reducing required off-street parking, the ordinance encourages transit-oriented living, walkability, and reduced automobile dependence, improving connectivity to services and amenities.

DESIGN REVIEW ANALYSIS

In accordance with Section 10 of the Downtown Form Base Code, the Design Review Committee “shall review the application for its compatibility with the intent of this ordinance.”

A design review was conducted on February 11, 2026. The committee was comprised of the following departments: South Salt Lake Mayor, South Salt Lake Community Development, South Salt Lake Police, South Salt Lake Fire, South Salt Lake Engineering, South Salt Lake Public Works, South Salt Lake City Recorder, South Salt Lake Neighborhoods, South Salt Lake Finance, and South Salt Lake Attorney’s Office.

Topics discussed during the meeting:

Amenities –Amenities for the Aquia2194 project were presented, demonstrating compliance with the Downtown Form-Based Code amenity requirements for Urban Style development. These include a mix of building features, tenant amenities, and green building elements such as a rooftop terrace, public art, indoor fitness room, outdoor dining areas, secure bike storage, electric vehicle charging stations, and water-efficient and daylighting strategies. Additional amenities highlighted included shared laundry at each level, branded e-bikes for residents, and patios on select units.

Design –Design elevations were reviewed, and the proposed materials, architectural elevations, and overall design were presented. The project meets the applicable design requirements.

Parking - Parking was also reviewed, including the proposed number of stalls and the parking reduction. The development is located in Downtown and within a quarter mile of TRAX, supports long-term bicycle storage, and offers unbundled parking, allowing tenants the option to pay for parking separately rather than including it in rent. Transit passes will be provided to 100% of residents and Aquia staff.

The Design Review Committee did not have any feedback.

ORDINANCE ANALYSIS

South Salt Lake Municipal Code §17.05 sets forth the following standard for review for Conditional Use Permits.

ORDINANCE	FINDING	NOTES /INSUFFICIENCY
17.06.300(F) – Landscape Requirements Along Urban Corridors		
A. Installation of a minimum width of 15 feet of concrete sidewalk and street landscaping (measured from back of curb) along the entire length of the property between the back of the curb along dedicated Streets to any fence, Parking Area, or Structure on the Site is required.	A 15-foot sidewalk with water-wise landscaping will be installed along West Temple. The proposed improvements are compliant with SSL standards.	
B. Prohibited Uses and Activities. Parking, display, sales, storage, Structures (other than required raised planters), or temporary signage are not allowed in the Landscaped Areas.	The applicant does not intend to use the landscaped area for any of the prohibited uses and activities listed.	
C. Approved Local Access Roads and walkways are allowed to cross the urban landscape area.	There will be an access road along the west property line off Utopia Avenue, which will cross the landscape area.	
17.10.140 – Subdivision Development Lot Standards		
A. All Final Plats shall result in the creation of compliant Lots and Building sites.	The proposed new lot will be .19 acres. This lot is compliant with the standards of the Downtown District – Station subdistrict.	
B. Frontage on public street	The proposed building will front on West Temple. Access is proposed to come from Wentworth Avenue and West Temple.	
C. Street right-of-way shall be separate and distinct from subdivided lots.	The lot is separate from the Right of Way and all development is to take place within the proposed property lines and Downtown district setbacks.	
D. Minimum area and dimensions shall conform.	There is no acreage requirement in the Downtown district. The proposed lot area is .19 acres, this is sufficient to accommodate circulation and access, and landscape buffers.	

E. Side boundary lines shall be at right angles to the street.	All newly created side boundary lines are at right angles to all adjacent streets.	
F. Side boundary lines of lots shall be radial to center of a Cul-de-Sac	Not Applicable	
G. Corner lots for residential uses shall be platted wider than interior lots	Not Applicable	
H. Lots shall not divide City boundary	All existing and proposed parcels are located within South Salt Lake City.	
I. Double frontage lots	Not Applicable	
J. Multiple building yard areas	Only one building is proposed on the lot created with this subdivision.	
K. Side lot lines shall be at right angles to street lines	The newly created side lot lines are at a right angle to street lines.	
L. Dimensions of Corner Lots shall be large enough to allow for erection of Buildings	The preliminary site plan indicates sufficient size to allow for erection of buildings.	
M. Depth and width of properties shall be adequate to provide for off-street parking and loading facilities	The preliminary site plan provides adequate off-street parking per the Micro-Unit Dwelling requirements.	
N. New Single-Family lots	Not Applicable	
O. If Access from an Arterial or Collector Street is necessary for new adjoining lots, such lots shall be served by separate local street	Smaller local interior streets are currently in place to serve the lot.	
P. Driveways shall be designed and arranged to avoid vehicles backing onto Streets	There is ingress and egress provided on Wentworth Avenue.	
L. Lots shall be laid out to provide positive drainage away from all buildings.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.
17.10.160(A) - Drainage and Storm Sewers General Requirements		
A. Each plat shall make adequate provision for storm or flood water runoff.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.
17.10.160(B) – Nature of Stormwater Facilities		
A. Applicants may be required to carry away by pipe or open channel any spring or surface water that may exist either previously to or as a result of the subdivision.	Not applicable per Engineering review.	
B. Adequate underground stormwater systems shall be constructed and maintained.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.

C. Accommodation of Upstream Drainage Areas.	Not applicable	
D. Adequate storm / flood water drainage will be provided to an approved drainage watercourse or facility with capacity.	The applicant is addressing comments from the 3rd party engineering firm. All engineering comments shall be addressed prior to final plat.	All engineering comments shall be addressed prior to final plat.
E. Areas of poor drainage shall be remediated as applicable.	Sufficient drainage is provided per Engineering review.	
F. Flood plain areas shall be preserved upon recommendation of City Engineer when necessary for the health, safety, or welfare of the population of the area.	No flood plain areas exist to be preserved upon recommendation of the South Salt Lake City Engineer.	
17.10.170 - Water Facilities		
A. Applicant shall extend public culinary water supply-system for the purpose of providing an adequate water-supply to the Plat	The proposed development connects to an existing water meter. Adequate water supply provisions are proposed per SSL Engineering review.	
B. Applicant shall install adequate water facilities including fire hydrants.	There are two existing fire hydrants – one is located on the north side of Utopia Avenue, the second is located on the northeast corner of West Temple and Utopia Avenue. They are proposing a third additional fire hydrant on the turn off Wentworth Avenue and the private drive aisle.	
C. Fire flow shall be approved by the Fire Marshal.	A fire flow test was performed, and the results were reviewed by the Fire Marshall. The Fire Marshal has reviewed and approved all proposed fire flow rates.	
D. Water main extensions shall meet the City's standards.	A 10" water main enters the property from West Temple. The new water main meets SSL standards per SSL Engineering review. All work shall be inspected to ensure compliance with South Salt Lake standards.	
E. Location of all fire hydrants, all water and storage supply improvements shall be shown on the Preliminary and Final Plat.	The location of all proposed fire hydrants, all water and storage supply improvements that need to be served must be shown on the plat or site plan.	
F. A determination shall be made as to location or extent of facilities to be maintained by South Salt Lake City, if any.	Not applicable. There are no facilities at this location to be maintained by South Salt Lake City.	
G. Fire hydrants required for all plats.	There are two existing fire hydrants – one is located on the north side of Utopia Avenue, the second is located on the northeast corner of West Temple	

	and Utopia Avenue. They are proposing a third additional fire hydrant located on the northeast corner of the property, accessible on the turn off Wentworth Avenue.	
17.10.180 - Sewer Facilities		
A. The applicant shall install sanctuary sewer facilities in a manner prescribed by the applicable sanitary sewer authority.	The project will be part of the Public Infrastructure District (PID), which will increase the sewer capacity in this area.	
B. Sanitary sewer facilities shall connect with the public sanitary sewer at sizes required by the sanitary sewer authority	The project will be part of the PID, which will increase the sewer capacity in this area.	
17.10.190 – Utilities		
A. Utility facilities shall be located underground in new subdivisions.	All new utilities are shown to be underground.	
B. Easements centered on Rear Lot Lines shall be provided for private and municipal utilities; such easements shall be at least 10' wide	There is a 10 ft Public Utility Easement on the recently vacated portion of Wentworth Ave that fronts West Temple and a 37.1' Access and Utility Easement on the recently vacated portion of Wentworth Ave. Both easements are shown on the plat.	
17.10.200 - Sidewalks, Trails, and Bike Paths		
A. Subdivision shall comply with the applicable road profile.	Current right of way improvements along West Temple includes curb/gutter, sidewalk with tree grates approximately fifteen feet, and a two-foot utility easement. An 11-foot dedication is required along West Temple. The proposed improvements are compliant with SSL standards.	
B. Trails, pedestrian paths, and bike paths shall relate appropriately to topography.	Public and internal pathways relate appropriately to topography on the site and comply with South Salt Lake code.	
C. Trails, pedestrian paths, and bike paths shall be provided in accordance with the Trails Master Plan.	The Trails Master Plan does not include any facilities adjacent to the subject property.	

STAFF RECOMMENDATION

Based upon the information submitted in the application, supporting documentation, and analysis of the relevant code sections and general plan goals, Staff recommend the Planning Commission move to approve with conditions the preliminary subdivision plat amendment based on the findings of fact, conclusions of law and conditions of approval for the subdivision in the staff report.

PLANNING COMMISSION OPTIONS

Option 1: Approval

Move to approve the application by dbUphouse LLC for one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple and the previously vacated portion of Wentworth Avenue. Staff’s recommendation is based on the findings and conclusions in the staff report, with the conditions enumerated in the staff report and on the record.

Option 2: Denial

Move to deny the application by dbUphouse LLC for one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple and the previously vacated portion of Wentworth Avenue, for reasons stated on the record.

Option 3: Continuance

Move to table the decision on the application by dbUphouse LLC for one-lot subdivision to construct a 48-unit Micro-Unit Dwelling development located at 2194 S West Temple and the previously vacated portion of Wentworth Avenue, to a date certain to allow the Applicant and Staff time to respond to specific inquiries or concerns raised by the Planning Commission, or to allow the Planning Commission more time to consider the proposal.

Findings of Fact:

1. On May 14, 2025, dbURBAN Communities (the Applicant) submitted a Subdivision application on behalf of dbUphouse, LLC to build and operate a Micro-Unit Dwelling development located at 2194 S West Temple;
2. The subject property is located at 2194 S West Temple in South Salt Lake City; and the previously vacated portion of Wentworth Avenue;
3. The subject property is on one lot;
4. The subject property is located in the Downtown – Station subdistrict;
5. The subject property is currently vacant;
6. The total development area is .19 acres;
7. The Applicant is petitioning to construct a 48-unit Micro-Unit Dwelling development and shall be consistent with the building design, amenities, and site configuration approved herein;
8. The applicant applied for a Code Amendment on May 14, 2025;
9. The Planning Commission reviewed the Code Amendment Application on January 15, 2026, and forwarded a positive recommendation to City Council;
10. City Council reviewed and approved the Code Amendment on January 29, 2026. The ordinance amended multiple sections of Title 17 of the South Salt Lake City Municipal Code. Specifically, it introduced a definition for “Micro-Unit Dwelling” establishing this use as a conditional use within the Downtown Station District, and updated the Land Use Matrix,

parking standards, design requirements, and provisions of the Downtown Form-Based Code;

11. Micro-Unit Dwelling is a Conditional Use in the Downtown District;
12. The South Salt Lake Municipal Code regulates Multi-Family Dwelling conditional uses through the standards found in 17.05.010, 17.05.020, 17.05.030, 17.05.050 and 17.05.060, as they exist as of the approval of the CUP;
13. The Applicant applied for a subdivision application on May 14, 2025, to subdivide the subject parcel by subdivision plat to comply with South Salt Lake Municipal Code;
14. The Applicant applied for a conditional use application on May 14, 2025 to comply with South Salt Lake Municipal Code;
15. The Applicant applied for a design review application on May 14, 2025, and worked with Planning staff on several aspects of the application, which resulted in a more compliant product;
16. On February 11, 2026, the Design Review Committee reviewed the application and provided no comments;
17. The application to vacate the remainder of Wentworth was approved by City Council on April 29, 2026;
18. The proposed development will be served by existing and new vehicular and pedestrian access points on 2194 S West Temple;
19. The development complied with the parking reduction requirements and incorporated the following measures: unbundled parking, a bike-share program, and transit passes for all staff;
20. The Applicant has proposed full-time, on-site management;
21. Staff has reviewed this conditional use permit application for compliance with South Salt Lake Municipal Code Sections 17.05.010, 17.05.020, 17.05.030, 17.05.050, and 17.05.060, and has found that this conditional use permit application, as specifically conditioned herein, is compliant with these sections, as conditioned below;

Conclusions of Law:

1. The subdivision and use, as specifically conditioned below, is consistent with the South Salt Lake City General Plan.
2. The subdivision and use, as specifically conditioned below is compatible in use, scale, and design with the allowed uses in Downtown District.
3. The subdivision and use, as specifically conditioned below, does not compromise the

health, safety, or welfare of: Persons employed within or using the proposed development; Those residing or working in the vicinity of the proposed use or development; or Property or improvements in the vicinity of the proposed use or development

4. The subdivision and use, as specifically conditioned below does not impose disproportionate burdens on the citizens of the city.

Preliminary Subdivision Plat Conditions of Approval:

1. The applicant will continue to work with City staff to make all technical corrections necessary prior to recording;
2. Prior to plat recordation and any additional development of the subsequent lot, the applicant must provide city staff the final plat mylar to include notarized signatures of owners' consent to dedication; obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The applicant shall ensure that all site improvements are installed consistent with the requirements of the South Salt Lake City Municipal Code;
4. The applicant shall dedicate a 10-foot public utility easement and a 37.1' Access and Utility Easement to the City of South Salt for purposes of storm water management practices and ensure the plat includes language of the dedication of such easement, in a form as approved by the City Attorney's Office;
5. The applicant shall address all outstanding engineering comments per the 3rd party review prior to final plat approval;
6. The proposed Multi-Family development shall meet all requirements of the South Salt Lake Community Development Department, South Salt Lake Fire Marshal, the South Salt Lake Building Official, and the South Salt Lake Engineering department;
7. The applicant shall maintain the 15 parking stalls they are shown on the proposed plans;
8. The applicant shall comply with all applicable International Building Codes and International Fire Codes and must obtain and complete a South Salt Lake building permit;
9. The applicant shall obtain a South Salt Lake City sign permit prior to any sign installation;
10. The applicant shall obtain approval from South Salt Lake City prior to any murals being painted;
11. The applicant shall apply for and complete a South Salt Lake Business License application prior to any rental activity;
12. All items of the staff report.

Attachments:

1. Plat
2. ALTA Survey
3. Aqvi2194 S West Temple Elevations
4. Landscape Plan
5. Civils



SALT LAKE COUNTY SURVEYOR'S OFFICE

Bradley E Park, P.L.S., *Salt Lake County Surveyor*
Christopher C. Donoghue, P.L.S., *Chief Deputy Surveyor*
2001 South State Street, Suite N1-400
Salt Lake City, UT 84190
Phone: (385)468-8240 Fax: (385)468-8258
Email: surveyor@slco.org

05/01/2025

CIR Surveying
10718 South Beckstead Lane Suite 102
South Jordan, Utah 84095

Re: *Record of Survey Filing Notification*

Gary,

On 04/30/2025, a record of survey plat was submitted via E-Filing to this Office. We accepted that document and indexed it as follows:

<u>INDEX #:</u>	<u>CLIENT:</u>	<u>PROJ #:</u>	<u>STATUS:</u>
S2025-04-0372	Urban Communities LLC	S24-126	COMPLETE

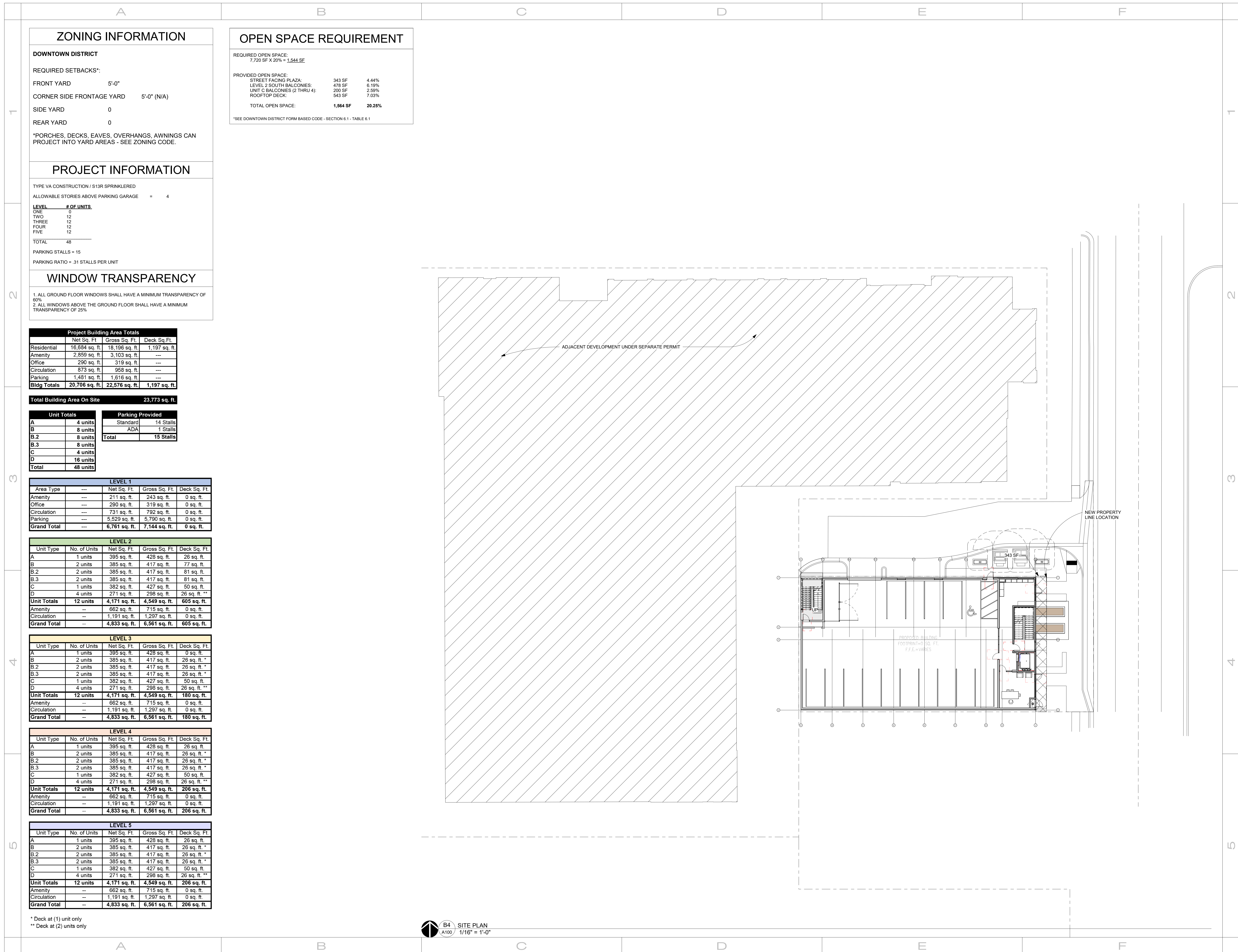
If you have questions, comments and/or concerns please contact the Recordation Section of the Salt Lake County Surveyor's Office at (385) 468-8250, or email Surveyor@slco.org.

Respectfully,

Beau Perkins

Beau Perkins
Survey Review and Information Coordinator

cc: *Christopher C. Donoghue Chief Deputy Surveyor*



ZONING INFORMATION

DOWNTOWN DISTRICT

REQUIRED SETBACKS:**

FRONT YARD	5'-0"
CORNER SIDE FRONTAGE YARD	5'-0" (N/A)
SIDE YARD	0
REAR YARD	0

*PORCHES, DECKS, EAVES, OVERHANGS, AWNINGS CAN PROJECT INTO YARD AREAS - SEE ZONING CODE.

OPEN SPACE REQUIREMENT

REQUIRED OPEN SPACE:
7,720 SF X 20% = **1,544 SF**

PROVIDED OPEN SPACE:		
STREET FACING PLAZA:	343 SF	4.44%
LEVEL 2 SOUTH BALCONIES:	476 SF	6.19%
UNIT G BALCONIES (2 THRU 4):	290 SF	2.59%
ROOFTOP DECK:	543 SF	7.03%
TOTAL OPEN SPACE:	1,644 SF	20.25%

**SEE DOWNTOWN DISTRICT FORM BASED CODE - SECTION 6.1 - TABLE 6.1

PROJECT INFORMATION

TYPE VA CONSTRUCTION / S13R SPRINKLERED
ALLOWABLE STORIES ABOVE PARKING GARAGE = 4

LEVEL	# OF UNITS
ONE	0
TWO	12
THREE	12
FOUR	12
FIVE	12
TOTAL	48

PARKING STALLS = 15
PARKING RATIO = .31 STALLS PER UNIT

WINDOW TRANSPARENCY

- ALL GROUND FLOOR WINDOWS SHALL HAVE A MINIMUM TRANSPARENCY OF 60%
- ALL WINDOWS ABOVE THE GROUND FLOOR SHALL HAVE A MINIMUM TRANSPARENCY OF 25%

Project Building Area Totals			
	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
Residential	16,684 sq. ft.	18,196 sq. ft.	1,197 sq. ft.
Amenity	2,859 sq. ft.	3,103 sq. ft.	---
Office	290 sq. ft.	319 sq. ft.	---
Circulation	873 sq. ft.	958 sq. ft.	---
Parking	1,481 sq. ft.	1,616 sq. ft.	---
Bldg Totals	20,706 sq. ft.	22,576 sq. ft.	1,197 sq. ft.

Total Building Area On Site 23,773 sq. ft.

Unit Totals		Parking Provided	
A	4 units	Standard	14 Stalls
B	8 units	ADA	1 Stalls
B.2	8 units	Total	15 Stalls
B.3	8 units		
C	4 units		
D	16 units		
Total	48 units		

LEVEL 1				
Area Type	---	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
Amenity	---	211 sq. ft.	243 sq. ft.	0 sq. ft.
Office	---	290 sq. ft.	319 sq. ft.	0 sq. ft.
Circulation	---	731 sq. ft.	792 sq. ft.	0 sq. ft.
Parking	---	5,529 sq. ft.	5,790 sq. ft.	0 sq. ft.
Grand Total	---	6,761 sq. ft.	7,144 sq. ft.	0 sq. ft.

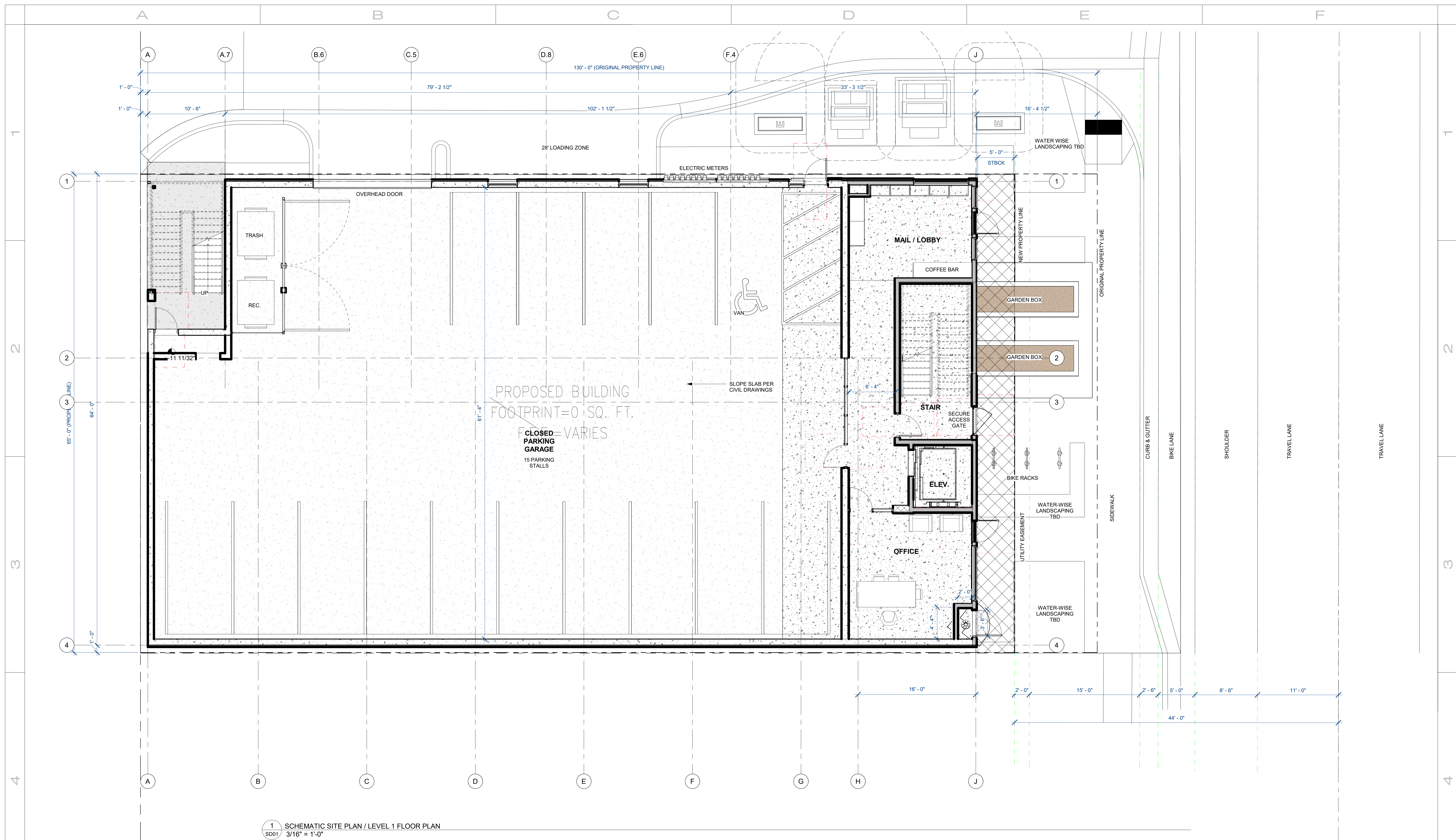
LEVEL 2				
Unit Type	No. of Units	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.
B	2 units	385 sq. ft.	417 sq. ft.	77 sq. ft.
B.2	2 units	385 sq. ft.	417 sq. ft.	81 sq. ft.
B.3	2 units	385 sq. ft.	417 sq. ft.	81 sq. ft.
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	605 sq. ft.
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.
Grand Total	--	4,833 sq. ft.	6,561 sq. ft.	605 sq. ft.

LEVEL 3				
Unit Type	No. of Units	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.
B	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
B.2	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
B.3	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	180 sq. ft.
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.
Grand Total	--	4,833 sq. ft.	6,561 sq. ft.	180 sq. ft.

LEVEL 4				
Unit Type	No. of Units	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.
B	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
B.2	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
B.3	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	206 sq. ft.
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.
Grand Total	--	4,833 sq. ft.	6,561 sq. ft.	206 sq. ft.

LEVEL 5				
Unit Type	No. of Units	Net Sq. Ft.	Gross Sq. Ft.	Deck Sq. Ft.
A	1 units	395 sq. ft.	428 sq. ft.	26 sq. ft.
B	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
B.2	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
B.3	2 units	385 sq. ft.	417 sq. ft.	26 sq. ft. *
C	1 units	382 sq. ft.	427 sq. ft.	50 sq. ft.
D	4 units	271 sq. ft.	298 sq. ft.	26 sq. ft. **
Unit Totals	12 units	4,171 sq. ft.	4,549 sq. ft.	206 sq. ft.
Amenity	--	662 sq. ft.	715 sq. ft.	0 sq. ft.
Circulation	--	1,191 sq. ft.	1,297 sq. ft.	0 sq. ft.
Grand Total	--	4,833 sq. ft.	6,561 sq. ft.	206 sq. ft.

* Deck at (1) unit only
** Deck at (2) units only



1 SCHEMATIC SITE PLAN / LEVEL 1 FLOOR PLAN
SD01 3/16" = 1'-0"

LANDSCAPE DESIGN INTENT

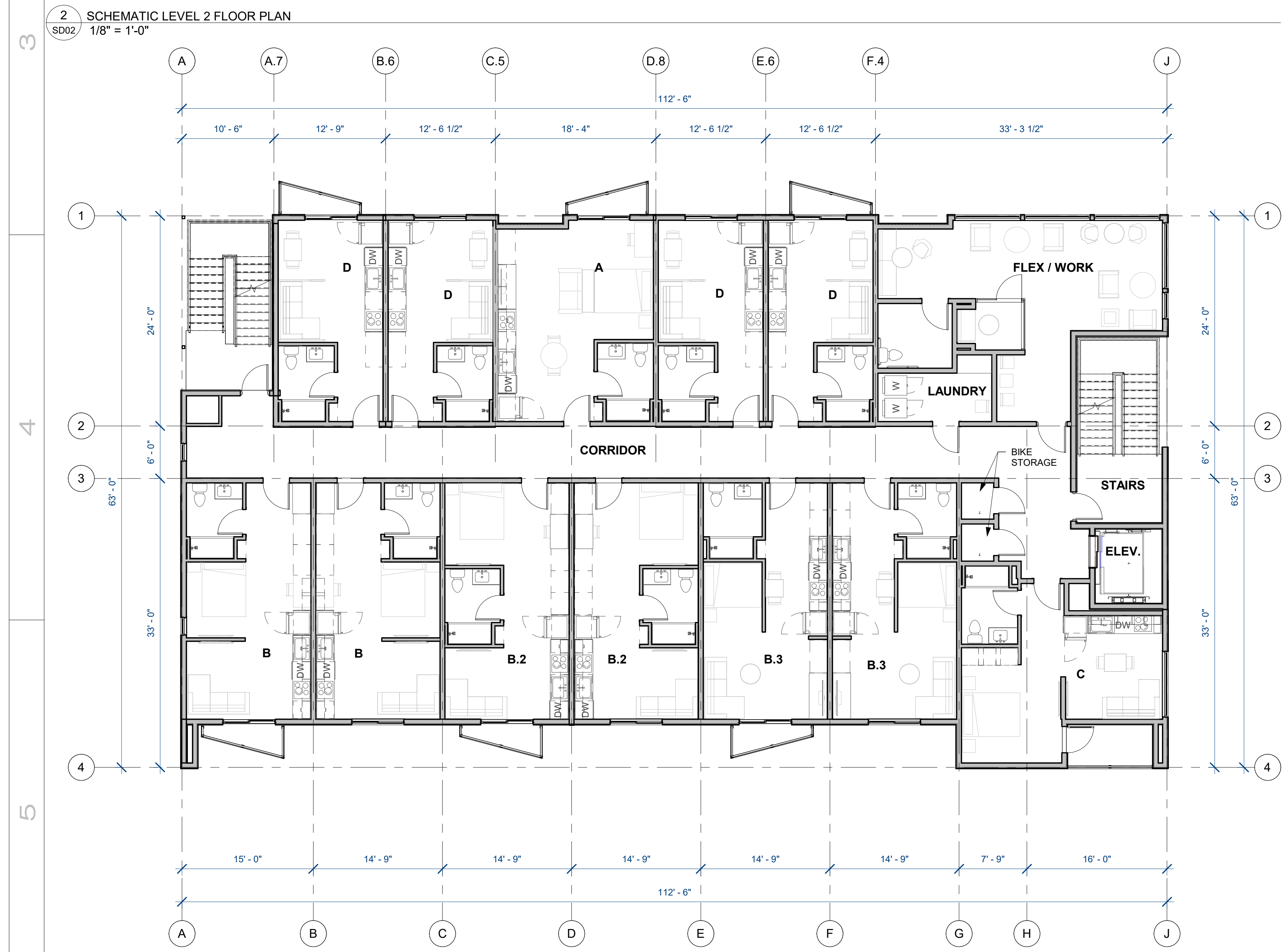
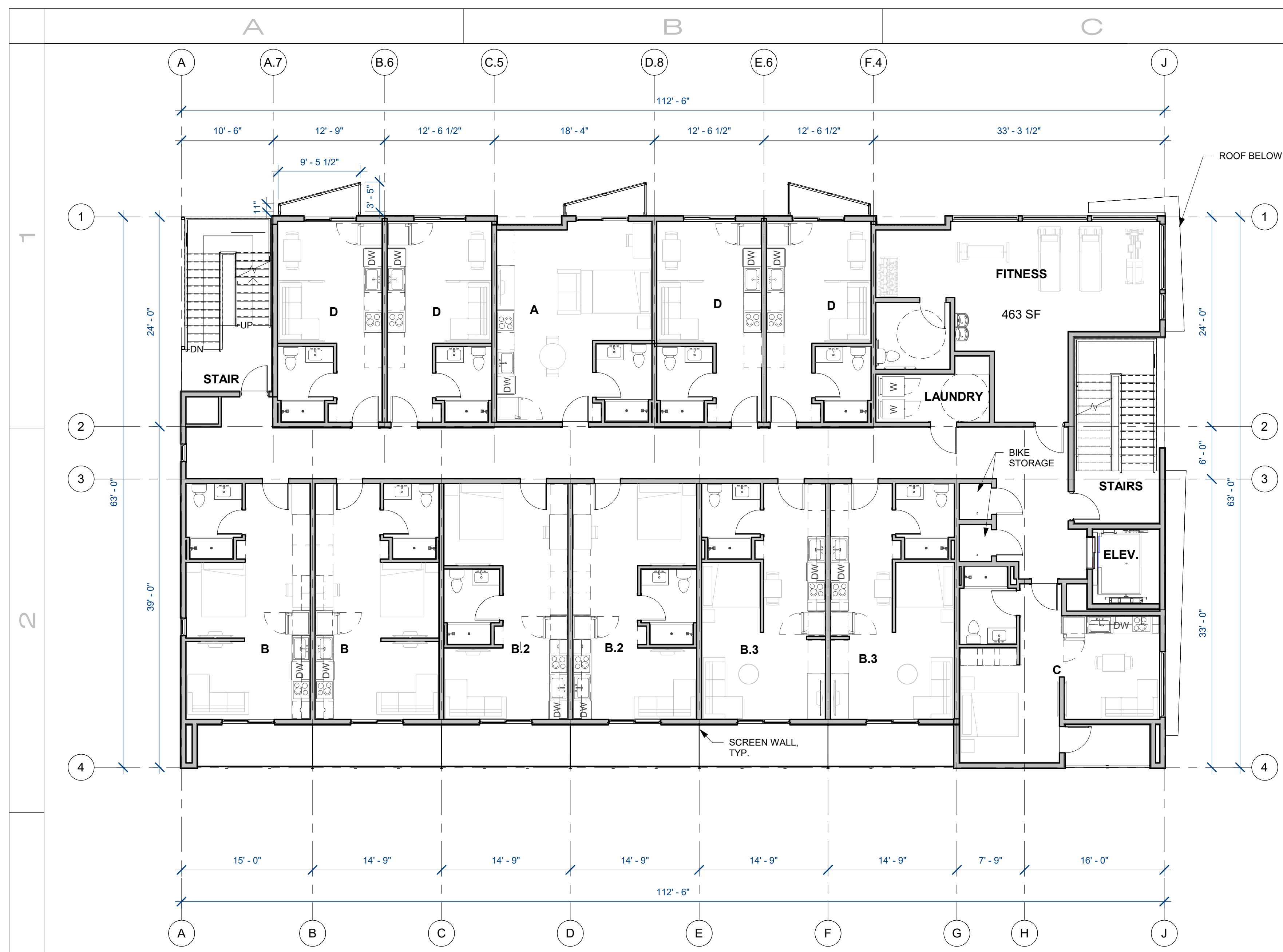
A DETAILED PLANTING PLAN WILL BE DEVELOPED WITH A LANDSCAPE ARCHITECT TO REFINE SPECIES SELECTION AND FINAL DESIGN INTEGRATION.

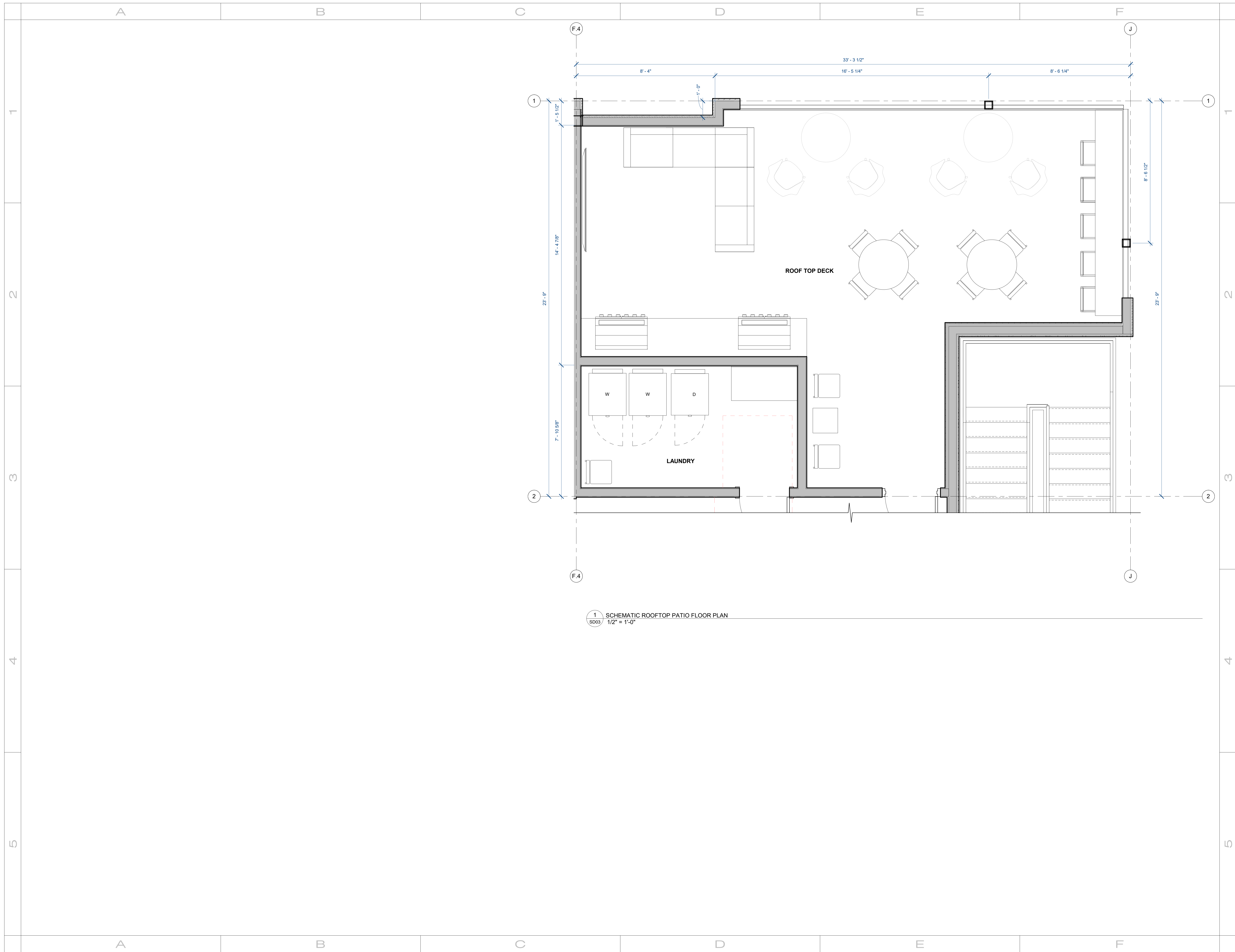
THE LANDSCAPE DESIGN WILL PRIORITIZE WATER-WISE, LOW-MAINTENANCE PLANTINGS THAT ENHANCE THE SITE'S AESTHETICS AND COMPLEMENT THE ARCHITECTURAL DESIGN AND ART MURALS. DROUGHT-TOLERANT SPECIES WILL PROVIDE SEASONAL INTEREST AND SHADE.

COMMUNITY GARDEN BOXES WILL OFFER RESIDENTS SPACE FOR URBAN GARDENING, FOSTERING ENGAGEMENT AND CONNECTION. LANDSCAPING WILL ALSO BE USED TO SCREEN UTILITY METERS ON THE NORTH SIDE OF THE BUILDING.

SOME EXAMPLES OF WATER-WISE PLANTS THAT WILL BE INCORPORATED:







1 SCHEMATIC ROOFTOP PATIO FLOOR PLAN
SD03 1/2" = 1'-0"

PROJECT NAME

aQui 2194
2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.
2146

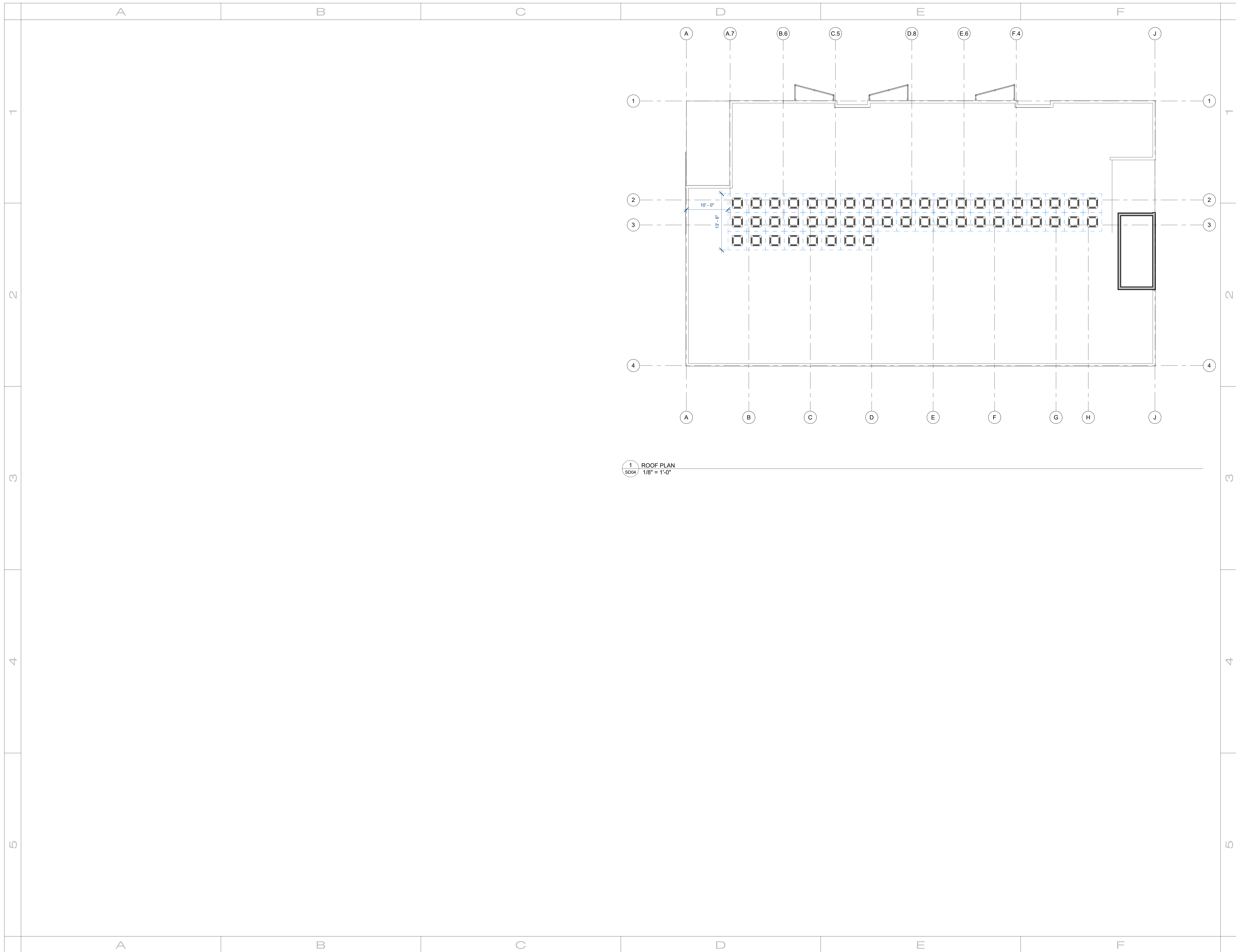
DRAWN BY
JD

CHECKED BY
DC

TITLE
**SCHEMATIC PLANS -
ENLARGED ROOFTOP
PATIO**

SHEET NO.
SD03

20250324 - SCHEMATIC DESIGN



1 ROOF PLAN
SD04 1/8" = 1'-0"

PROJECT NAME

aQui 2194
2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.
2146

DRAWN BY
JD

CHECKED BY
DC

TITLE
**SCHEMATIC PLANS -
ROOF PLAN**

SHEET NO.
SD04

20250324 - SCHEMATIC DESIGN

PROJECT NAME

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2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.

2146

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DC

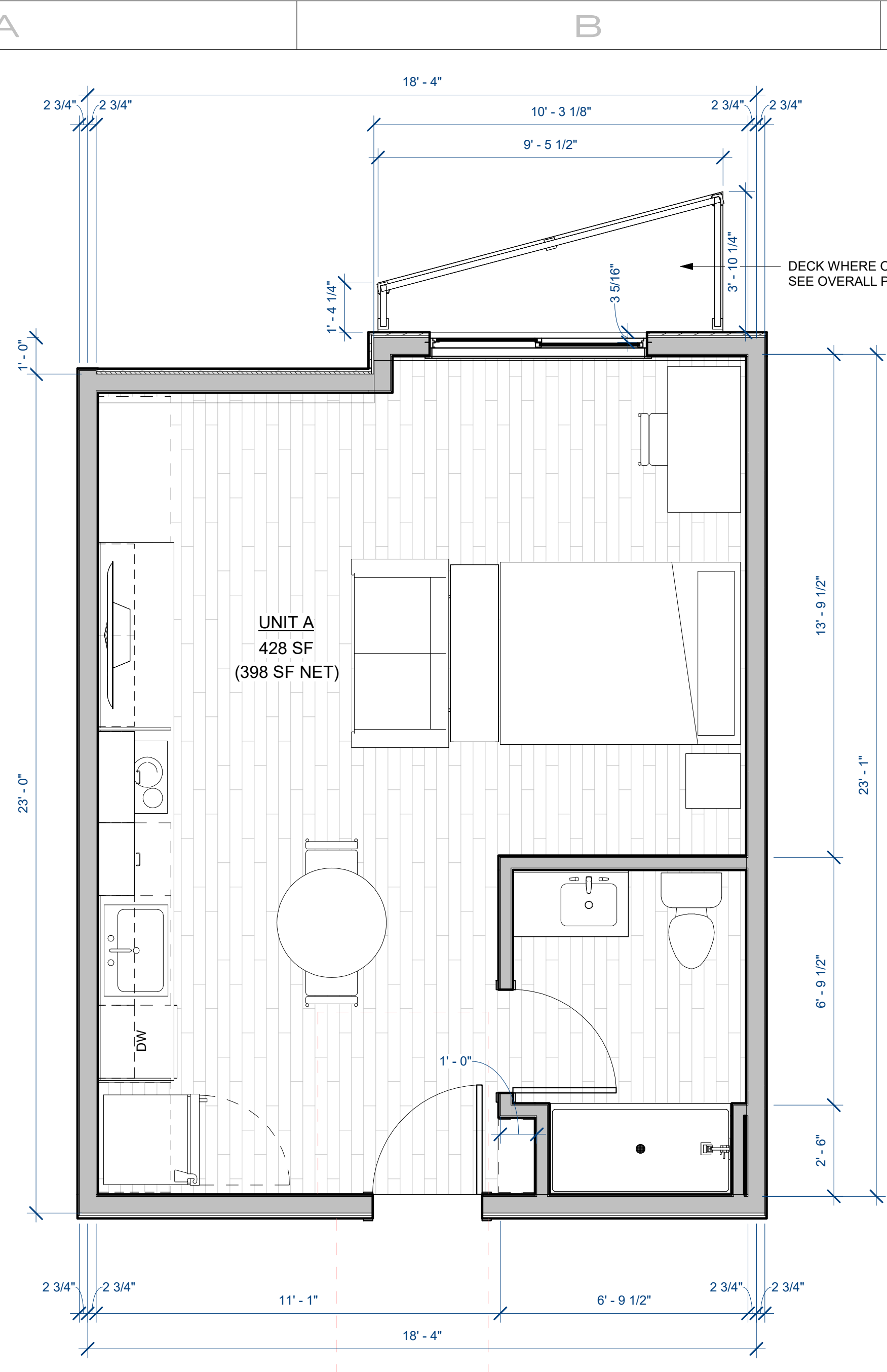
TITLE

SCHEMATIC UNIT PLANS

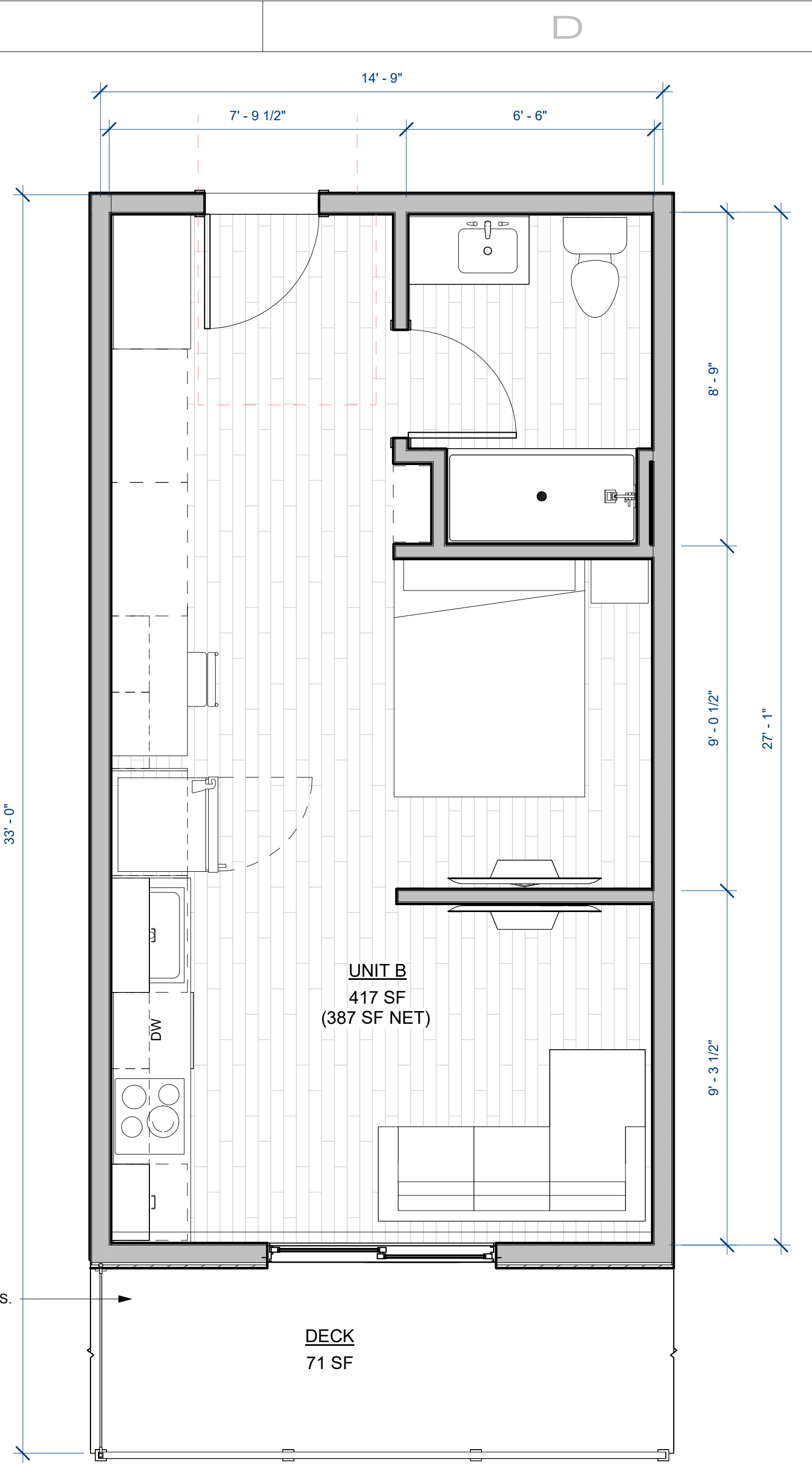
SHEET NO.

SD05

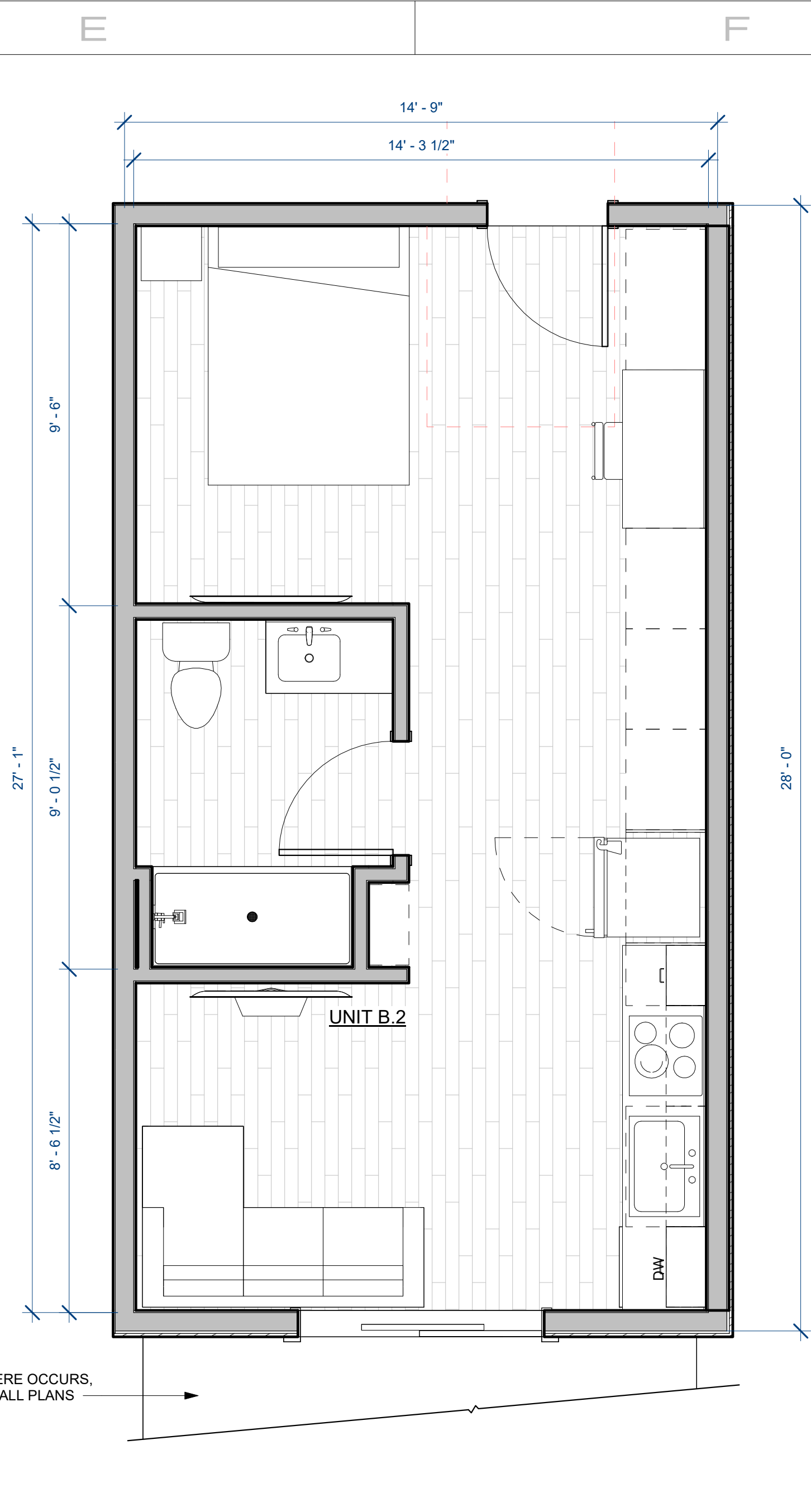
20250512 - SCHEMATIC DESIGN



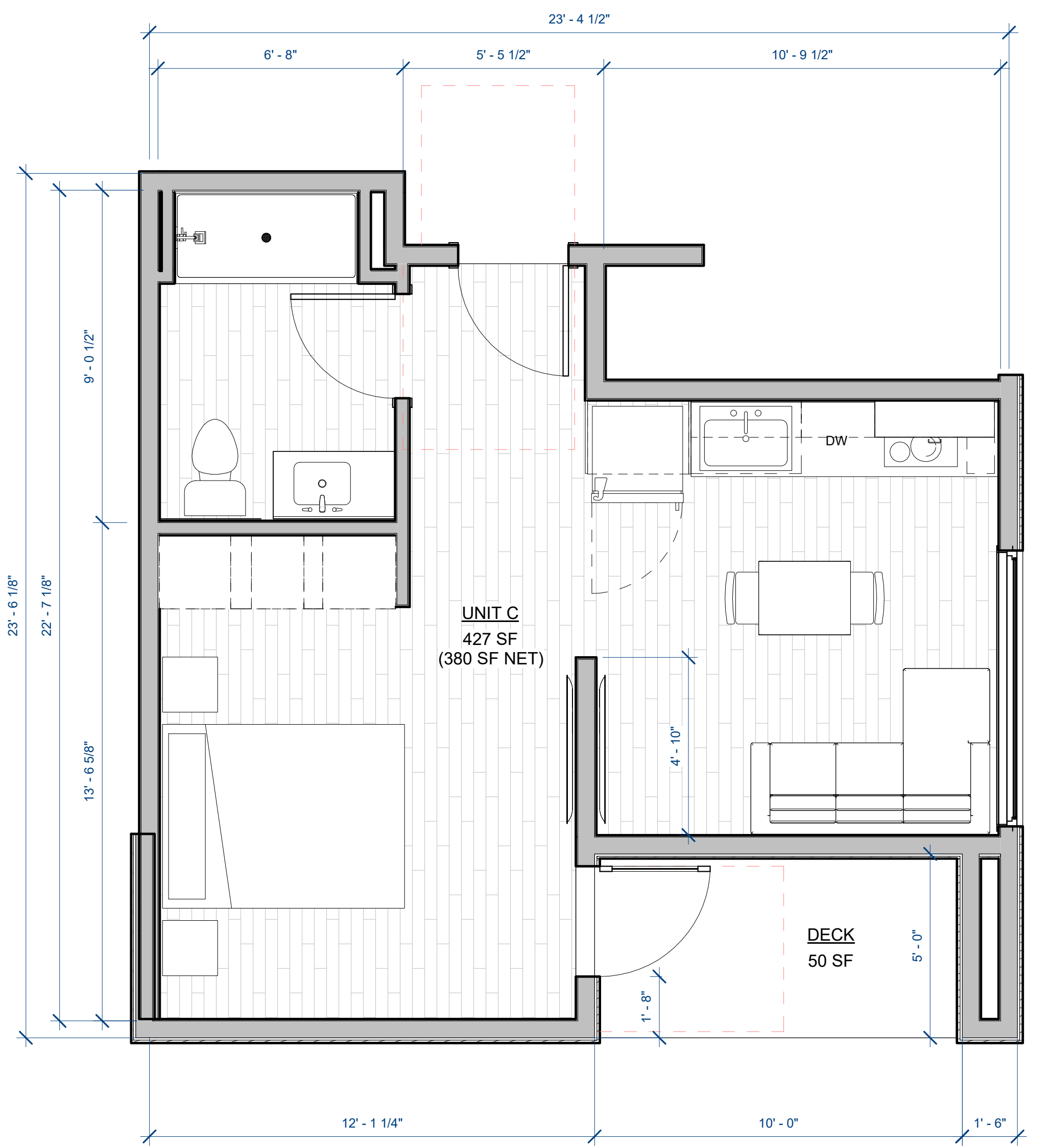
1 SCHEMATIC UNIT PLAN - UNIT A
SD05 3/8" = 1'-0"



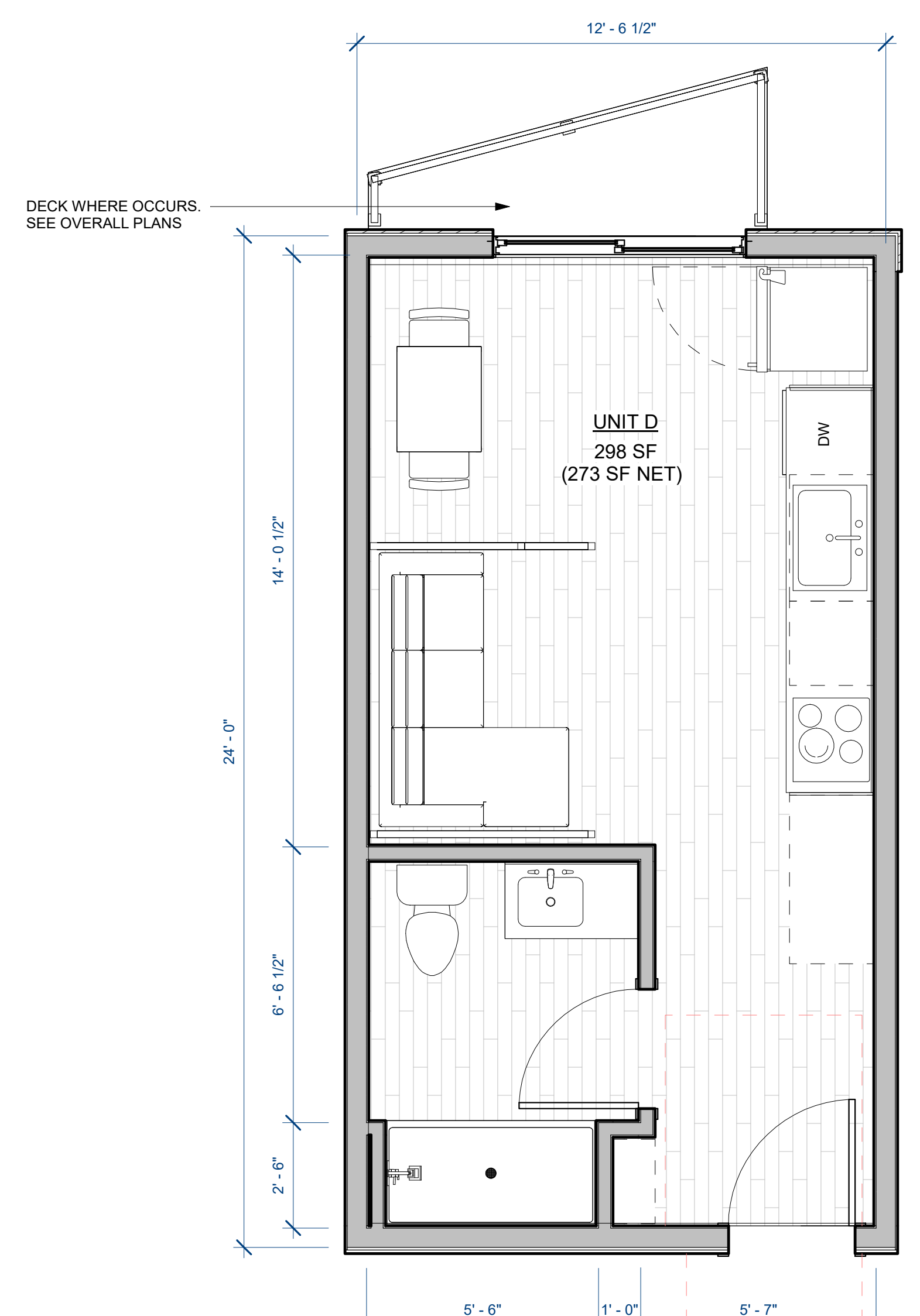
2 SCHEMATIC UNIT PLAN - UNIT B
SD05 3/8" = 1'-0"



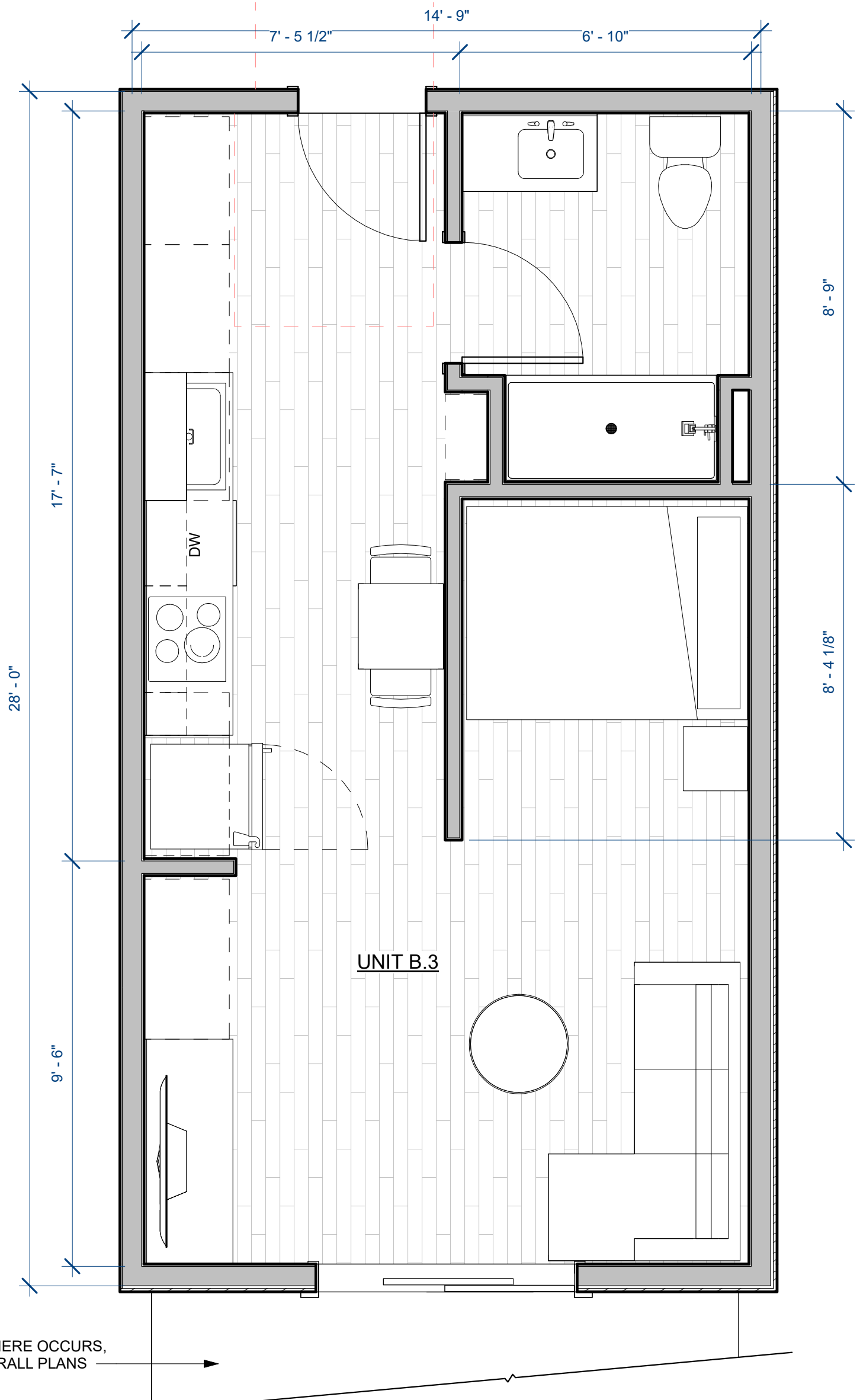
5 SCHEMATIC UNIT PLAN - UNIT B.2
SD05 3/8" = 1'-0"



3 SCHEMATIC UNIT PLAN - UNIT C
SD05 3/8" = 1'-0"



4 SCHEMATIC UNIT PLAN - UNIT D
SD05 3/8" = 1'-0"



6 SCHEMATIC UNIT PLAN - UNIT B.3
SD05 3/8" = 1'-0"



BLACKBOX
design studios

183 W 2100 S EXPRESSWAY
SUITE 300
SOUTH SALT LAKE CITY, UT 84115
T 801.879.5089
WWW.BLACKBOXSLC.COM

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PROJECT NAME

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2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.
2146
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JD
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DC
TITLE
RENDERINGS

SHEET NO.
SD06

20250512 - SCHEMATIC DESIGN

PROJECT NAME

aQui 2194
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SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.
2146

DRAWN BY
JD

CHECKED BY
DC

TITLE
PERSPECTIVES WITH NEIGHBORS

SHEET NO.
SD07

20250512 - SCHEMATIC DESIGN



1 PERSPECTIVE A WITH NEIGHBOR - NORTHWEST
SD07



2 PERSPECTIVE B WITH NEIGHBOR - SOUTHWEST
SD07



3 PERSPECTIVE C WITH NEIGHBOR - SOUTHEAST
SD07



4 PERSPECTIVE D WITH NEIGHBOR - NORTHEAST
SD07

PROJECT NAME

aQui 2194
2194 S WEST TEMPLE ST
SOUTH SALT LAKE CITY, UT

REVISIONS

PROJECT NO.
2146
DRAWN BY
JD
CHECKED BY
DC
TITLE
PERSPECTIVES

SHEET NO.
SD08

20250512 - SCHEMATIC DESIGN



1 PERSPECTIVE A - NORTHWEST
SD08



2 PERSPECTIVE B - SOUTHWEST
SD08



3 PERSPECTIVE C - SOUTHEAST
SD08



4 PERSPECTIVE D - NORTHEAST
SD08



MATERIAL LEGEND

- MATERIAL: BRICK VENEER
MANUFACTURER: INTERSTATE BRICK
COLOR: PEWTER
- MATERIAL: ALUMINUM TONGUE & GROOVE CLADDING
MANUFACTURER: LONGBOARD
COLOR: SOUTHERN YELLOW PINE
- MATERIAL: FIBER CEMENT LAP SIDING
MANUFACTURER: TBD
COLOR: SHERWIN WILLIAMS - IRON ORE SW 7069
- MATERIAL: PERFORATED STEEL RAILING SYSTEM
MANUFACTURER: TBD
COLOR: BLACK
- MATERIAL: PUBLIC ART MURAL
ARTIST: TBD
COLOR: MULTI
- MATERIAL: CMU STANDARD
MANUFACTURER: TBD
COLOR: TO MATCH BRICK
- MATERIAL: CMU HONED
MANUFACTURER: TBD
COLOR: TO MATCH BRICK

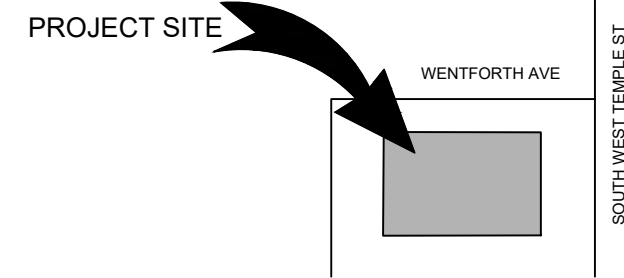
GROUND STORY TRANSPARENCY

- ELEVATION - NORTH**
GROUND FLOOR TRANSPARENCY : 17.16 %
 - ELEVATION - EAST**
GROUND FLOOR TRANSPARENCY : 36.41 %
(GATE OPENING IS INCLUDED IN TRANSPARENCY)
 - ELEVATION - SOUTH**
GROUND FLOOR TRANSPARENCY : 0 %
 - ELEVATION - WEST**
GROUND FLOOR TRANSPARENCY : 0 %
- * AS MEASURED FROM 2-8 FEET ABOVE GRADE

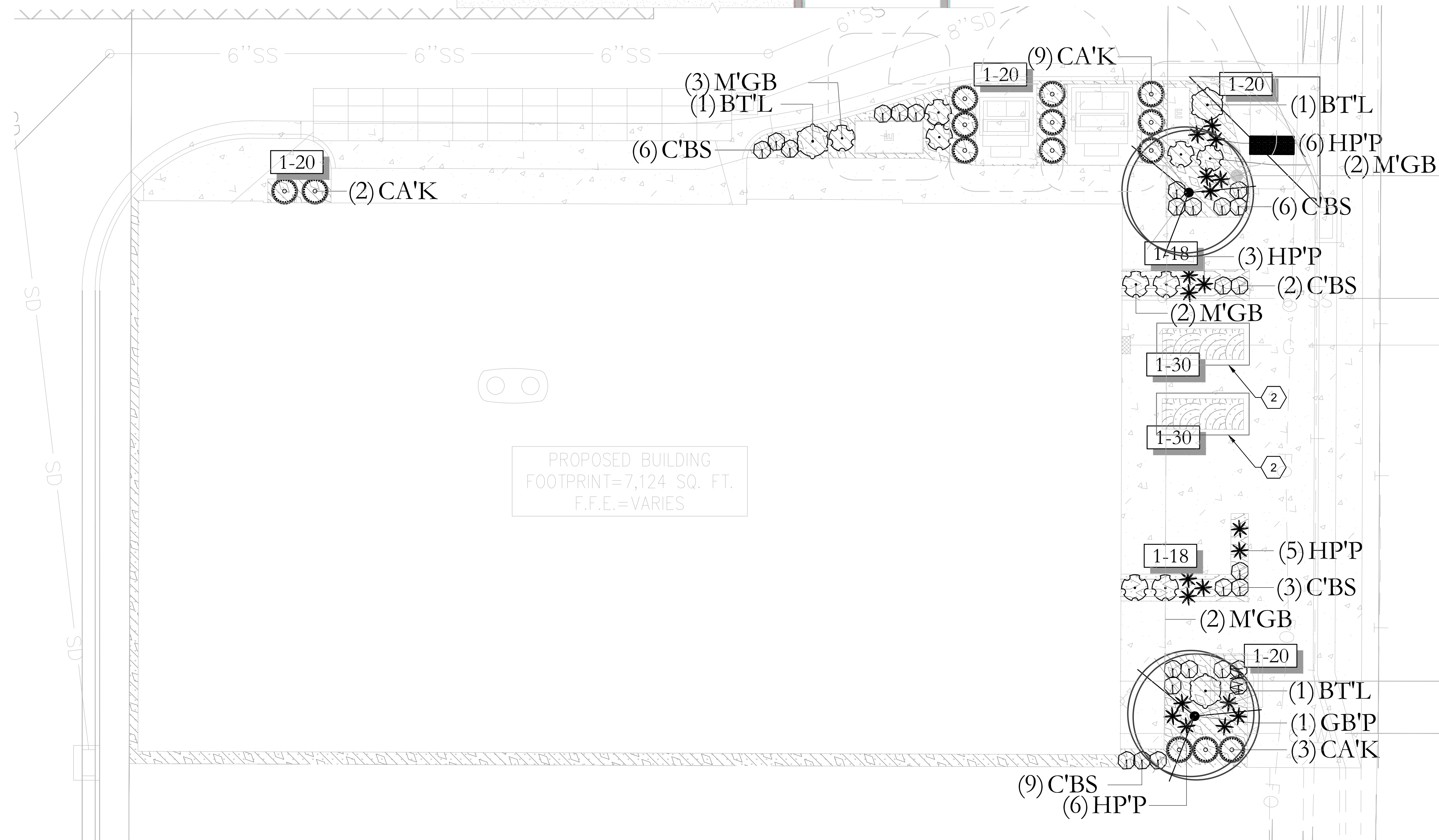
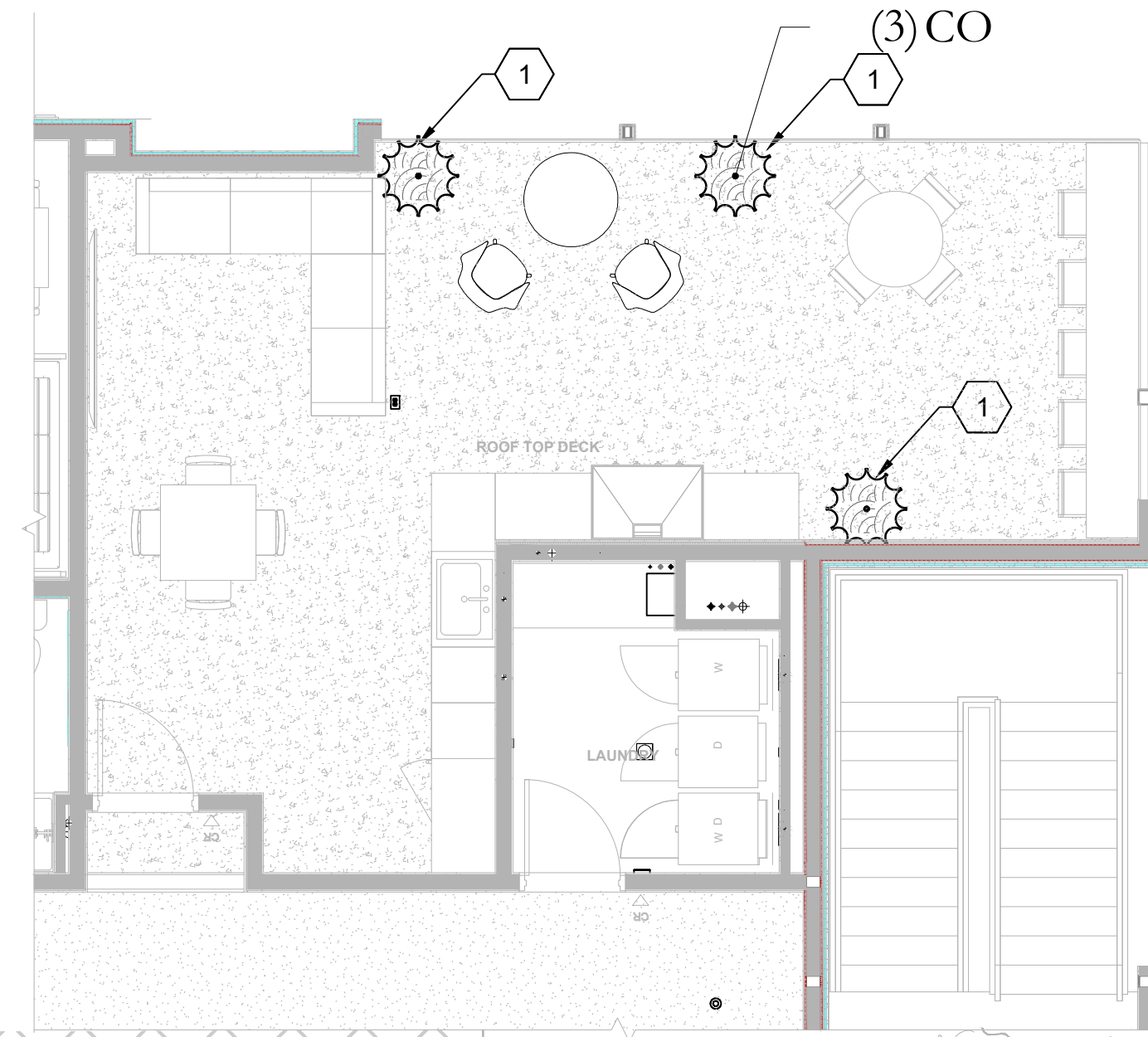
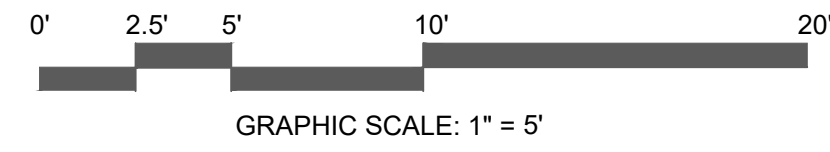
WINDOW TRANSPARENCY

- 1. ALL GROUND FLOOR WINDOWS SHALL HAVE A MINIMUM TRANSPARENCY OF 60%.
- 2. ALL WINDOWS ABOVE THE GROUND FLOOR SHALL HAVE A MINIMUM TRANSPARENCY OF 25%.

VICINITY MAP



ROOFTOP DECK



PLANT MATERIALS

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
DECIDUOUS SHRUBS				
	BT'L	3	Berberis thunbergii 'Baill'rin' TM Limoncello Barberry Sd3; 4x4; AV28; full to partial sun; z4	5 gal
	CBS	26	Caryopteris x clandonensis 'Blauer Splatz' Sapphire Surf™ Bluebeard Sd2; 2x3; sun; z5; AV 12.5	5 gal
EVERGREEN SHRUBS				
	HPP	20	Hesperaloe parviflora 'Perpa' TM Brakelights Red Yucca P1; 2x2; AV 7; sun; z5; Utah Lake water tolerant	5 gal
GRASSES				
	CA'K	14	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass Tw2; 4x3; AV 7; sun; z4; Utah Lake water tolerant	1 gal
	CO	3	Calamagrostis x acutiflora 'Overdam' Overdam Feather Reed Grass	1 gal
	M'GB	9	Miscanthus sinensis 'Gold Bar' Gold Bar Maiden Grass Tw2; 5x3; AV 9; sun; z5; Utah Lake water tolerant	1 gal

SITE MATERIALS

NOTE: SITE MATERIALS QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SYMBOL	CODE	DESCRIPTION	QTY
1 LANDSCAPE			
	1-18	2-4" TAN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	112 sf
	1-20	2-4" BROWN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	650 sf
	1-30	UTELITE PLANTER SOIL MIX FILL RAISED PLANTER WITH UTELITE PLANTER SOIL MIX. WATER TO SETTLE MIX AND RE-FILL TO WITHIN 4 INCHES OF TOP OF PLANTER. 25% UTELITE SOIL CONDITIONER 50% SCREENED TOPSOIL 25% APPROVED COMPOST MECHANICALLY MIX COMPONENTS. WHEN STOCKPILING THE FINISHED MIX, COVER AND PILE WITH A PLASTIC TARP TO PREVENT DRYING OUT AND SOIL SEPARATION FROM RAIN. SCREENED TOPSOIL: 30%-50% SAND; 30%-50% SILT; 10%-25% CLAY; <5% ORGANIC MATTER. APPROVED COMPOST: pH 6-8; SOLUBLE SALTS <5; SAR <10; CARBON/NITROGEN <20;1; MOISTURE 25-35%; 3/8" COARSE MATERIAL 98% PASSING	99 sf

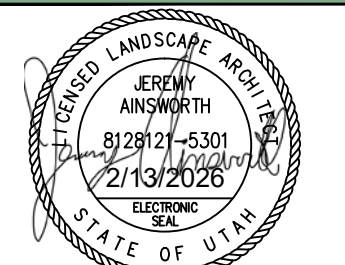
PRELIMINARY LANDSCAPE PLAN

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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2/13/2026 UT25176

THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 10/15/2025

DANIELLE CLARK



DATE	2/13/2026
PROJECT	BLACK BOX AQUI
PLANTING	LANDSCAPE OVERALL PLAN
SCALE	1" = 8'

NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		

811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC
1-800-662-4111
www.bluestakes.org

BLACK BOX AQUI
2194 SOUTH WEST TEMPLE
SOUTH SALT LAKE CITY, UTAH

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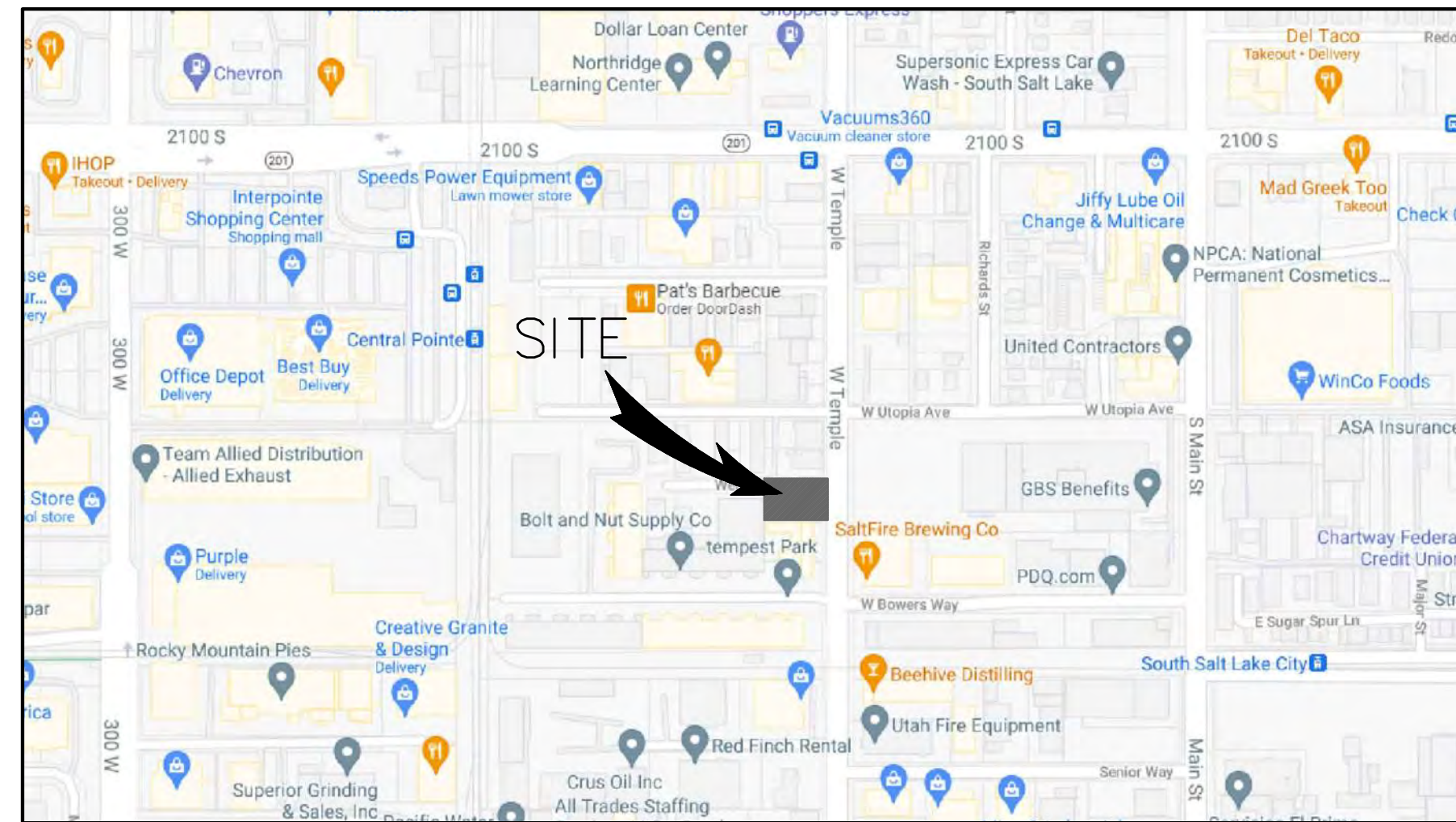
LANDSCAPE OVERALL PLAN
CITY PERMIT SET
LP-100

AQUI 2194

2194 SOUTH WEST TEMPLE
SOUTH SALT LAKE, UTAH 84115

MAY 1, 2025

LEGEND			
---	PROPERTY LINE	☼	EXISTING FIRE HYDRANT
---	EASEMENT LINE	☼	PROPOSED FIRE HYDRANT
-4240.0---	PROPOSED GRADE CONTOURS	☼	EXISTING STREET LIGHT
-4240.0---	EXISTING GRADE CONTOURS	☼	PROPOSED STREET LIGHT
---	EXISTING CURB	☼	PROPOSED PARKING LOT LIGHT
---	PROPOSED CURB AND GUTTER	☼	EXISTING WATER METER
---	PROPOSED CURB WALL	☼	EXISTING WATER VALVE
---	REVERSE PAN CURB & GUTTER	☼	EXISTING GATE VALVE
---	EXISTING SEWER	☼	EXISTING OVERHEAD POWER POLE
SS---	PROPOSED SEWER	TBC	TOP BACK CONCRETE
W---	EXISTING WATER	FF	FINISHED FLOOR
W---	PROPOSED WATER	HW	HIGH WATER
F---	EXISTING FIRE LINE	TOG	TOP OF GRATE
F---	PROPOSED FIRE LINE	TOL	TOP OF LID
SD---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
SD---	PROPOSED STORM DRAIN	EX	EXISTING
RD---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
G---	EXISTING GAS	TA	TOP OF ASPHALT
G---	PROPOSED GAS	TC	TOP OF CONCRETE
OHP---	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
UGP---	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
UGP---	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
T---	EXISTING TELEPHONE LINE	TG	TOP OF GRAVEL
T---	PROPOSED TELEPHONE LINE	TL	TOP OF LANDSCAPING
FO---	EXISTING FIBER OPTIC LINE	TS	TOP OF SIDEWALK
FO---	PROPOSED FIBER OPTIC LINE	PROP	PROPOSED
[Pattern]	PROPOSED CONCRETE	39.0	TBC CALLOUT UNLESS OTHERWISE DESIGNATED
[Pattern]	PROPOSED ASPHALT		
[Pattern]	PROPOSED LANDSCAPING		



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- CV COVER SHEET
- C0.1 EXISTING SITE/DEMOLITION PLAN
- C1.0 SITE PLAN
- C2.0 GRADING PLAN
- C2.1 DRAINAGE PLAN
- C3.0 UTILITY PLAN
- C4.0 DETAIL SHEET
- C5.0 DETAIL SHEET
- C5.1 DETAIL SHEET

PROJECT CONSTRUCTION NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
5. ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
6. CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
7. CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F.E.(1)=4240.75 SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
8. CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
9. INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE. SEE DETAIL SHEET C5.1.
10. INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
11. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER APWA STANDARDS AND SPECIFICATIONS.
12. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
14. FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS.
15. ALL WATER LINES TO HAVE A MINIMUM 5' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
16. THRUST BLOCKS TO BE INSTALLED PER APWA PLAN NO'S 561 AND 562. SEE DETAIL SHEET C5.1.
17. CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
18. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
19. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
20. PUBLIC WAY IMPROVEMENTS SUCH AS EXISTING CURB, GUTTER, SIDEWALK AND DRIVE APPROACHES REQUIRE INSPECTION BY THE SOUTH SALT LAKE ENGINEERING DEPT. PRIOR TO FINAL INSPECTION AND CERTIFICATION OF OCCUPANCY ISSUANCE, TO DETERMINE REPLACEMENT REQUIREMENTS OF DEFECTIVE AND HAZARDOUS CONDITIONS.
21. ANY EXCAVATION, CONSTRUCTION OR STAGING OF MATERIALS OR EQUIPMENT IN THE PUBLIC RIGHT OF WAY REQUIRE A PUBLIC WAY PERMIT FROM THE PUBLIC WORKS DIVISION.
22. PRIOR TO BEGINNING ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM THE SOUTH SALT LAKE PERMITS OFFICE, AND A TRAFFIC CONTROL PERMIT FROM SOUTH SALT LAKE MAY ALSO BE REQUIRED.
23. ALL WORK WITHIN THE SOUTH SALT LAKE CITY PUBLIC WAY SHALL CONFORM TO APWA 2017 STANDARD PLANS AND SPECIFICATIONS.
24. ALL CURB AND GUTTER DONE WITHIN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 205.1, AND 251 OR 252.
25. THE DRIVE APPROACHES APRONS MUST BE CONCRETE TO THE PROPERTY LINE.
26. ALL ACCESSIBLE ROUTES AND ACCESSIBLE MEANS OF EGRESS ROUTES, THE MAXIMUM SLOPE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. ALL EXTERIOR LANDINGS AT DOORS SHALL NOT EXCEED 2% SLOPE.

FIRE DEPARTMENT NOTES:

1. FIRE HYDRANTS SHALL BE EQUIPPED WITH ONE 4 1/2", AND 2 1/2" OUTLETS, WHICH HAS NATIONAL STANDARD THREADS (NST).
2. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE CENTER LINE OF THE LOWEST CAP, NUT SHALL NOT BE CLOSER THAN 18" FROM THE FINISHED GRADE.
3. FIRE HYDRANTS SHALL HAVE THE 4 1/2" BUTT FACING THE FIRE ACCESS ROADWAY.
4. UNDERGROUND PIPING SHALL BE TESTED AT 200 PSIA FOR TWO HOURS. TEST CERTIFICATE SHALL BE PROVIDED TO FIRE DEPARTMENT OFFICE.
5. BURNING OF TRASH, SCRAP WOOD OR OTHER MATERIALS IS A VIOLATION OF CITY ORDINANCE.
6. A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES.
7. NEW FIRE HYDRANTS SHALL BE COLOR CODED AND BE DIRECTED BY PUBLIC UTILITIES AS TO THE COLOR AND SHADE OF THE HYDRANT BONNET.
8. FIRE HYDRANTS SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT THE BASE INLET OF THE FIRE HYDRANT.
9. FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE FOOTINGS AND FOUNDATIONS OF ANY STRUCTURE. FIRE HYDRANTS SHALL BE ACCESSIBLE, OPERATIONAL AND MAINTAINED IN THAT CAPACITY.
10. WATER LATERALS WHICH ARE 16 FOOT IN LENGTH OR LONGER SHALL BE PROVIDED WITH CONTROL VALVES AT THE TAP OF THE WATER MAIN AND AT THE FIRE HYDRANT.
11. WATER LATERALS WHICH SUPPLY WATER BASED FIRE PROTECTION SHALL BE FERROUS PIPE WHEN PASSING UNDER OR THROUGH FOOTINGS OR FOUNDATION WALLS.

CIVIL ENGINEER:

CIR | CIVIL ENGINEERING
+ SURVEYING

10718 SOUTH BECKSTEAD LANE, SUITE 102
SOUTH JORDAN, UTAH - PH: 801-949-6296

OWNER:

dbURBAN COMMUNITIES
166 EAST 14000 SOUTH STE. 110
DRAPER, UTAH 84020
CONTACT PERSON: DUSTIN HOLT
PH: (801) 573-9054

ARCHITECT:

BLACKBOX DESIGN STUDIOS
193 WEST 2100 SOUTH EXPRESSWAY, STE. 300
SALT LAKE CITY, UTAH 84115
CONTACT PERSON: DANIELLE CLARK
PH: (801) 910-5369



NO	REVISIONS	BY	DATE

CIVIL ENGINEERING
+ SURVEYING

CIR

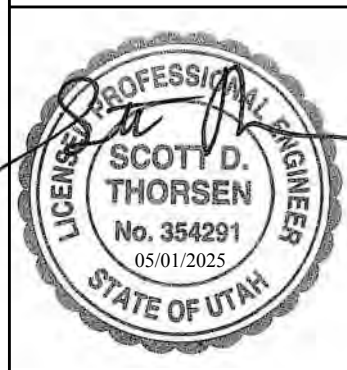
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 -
DESIGNER: SDT

PRELIMINARY CIVIL PLANS

AQUI 2194

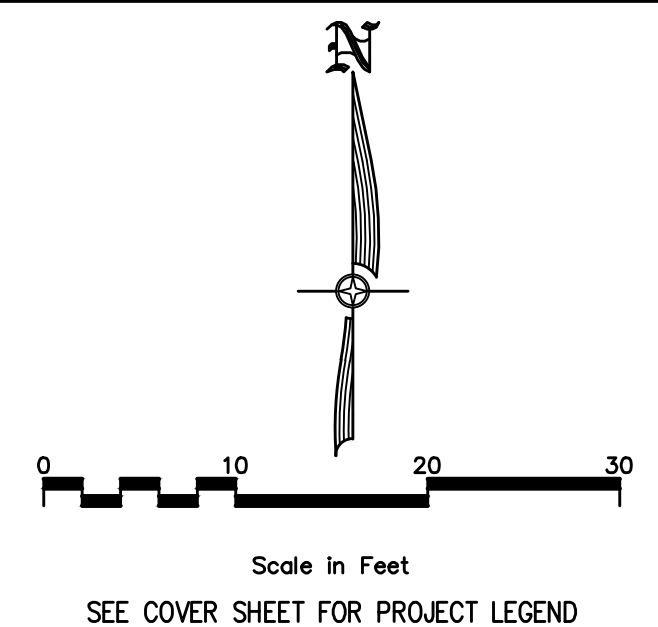
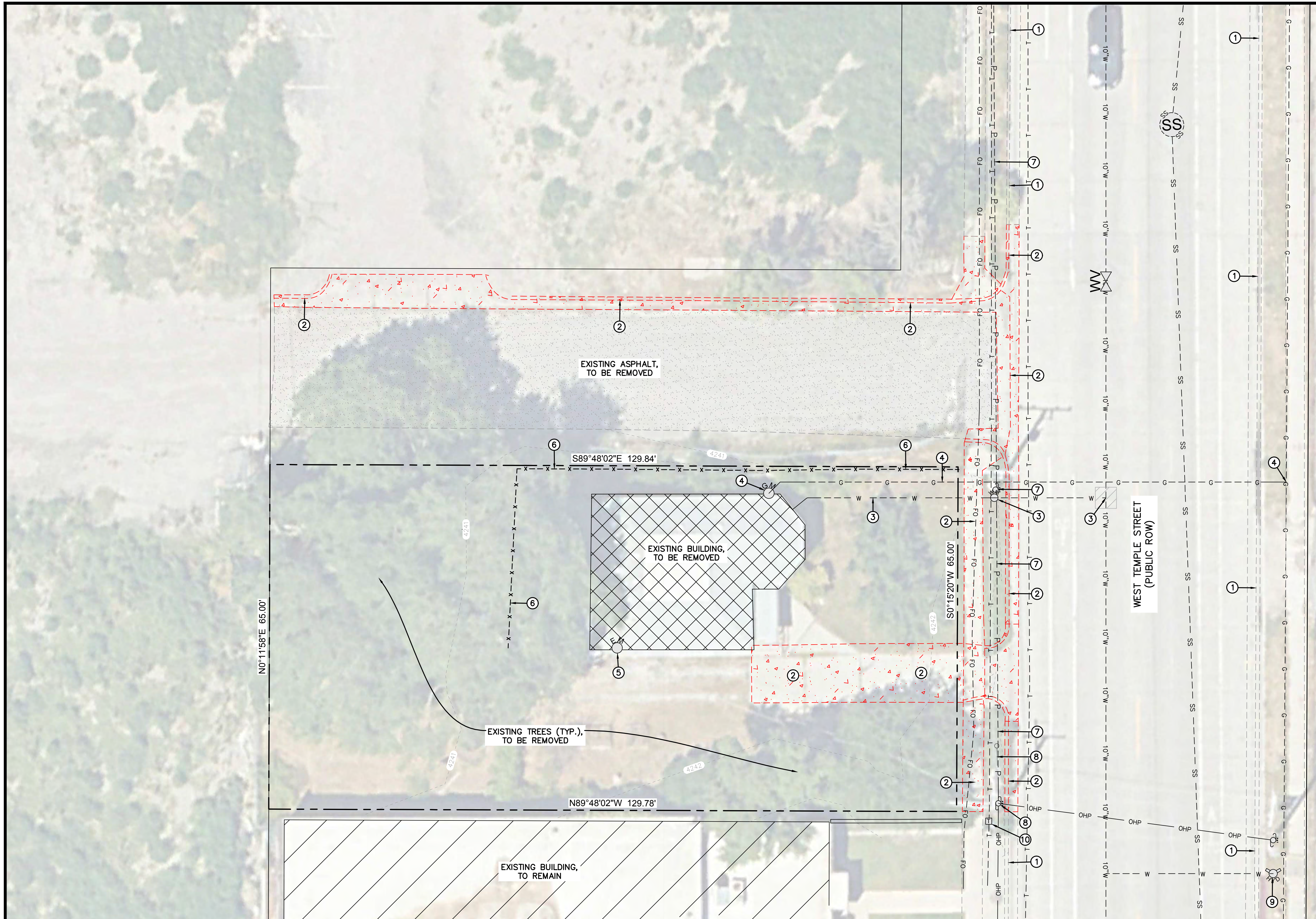
2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH

COVER SHEET



SHEET NO.
CV

PROJECT ID: E25-052
DATE: 05/01/25
FILE NAME: PRJ-SSLA
SCALE:



SHEET LEGEND

	EXISTING BUILDING, TO BE REMOVED
	EXISTING CONCRETE, TO BE REMOVED
	EXISTING ASPHALT, TO BE REMOVED

- EXISTING SITE / DEMOLITION PLAN NOTES:**
- ① EXISTING CURB & GUTTER, TO REMAIN.
 - ② EXISTING CURB & GUTTER, SIDEWALK AND CONCRETE DRIVEWAY, TO BE REMOVED.
 - ③ EXISTING CULINARY WATER METER AND WATER LATERAL, TO BE REMOVED AND LATERAL TO BE KILLED AT THE MAIN. WATER METER TO BE RETURNED TO SSLC PUBLIC WORKS. FULL CONCRETE PANEL REPLACEMENT NEEDED IN WEST TEMPLE.
 - ④ EXISTING GAS METER AND GAS LATERAL, TO BE REMOVED AND KILLED AT THE MAIN. ALL WORK TO BE DONE PER ENBRIDGE GAS STANDARDS/SPECIFICATIONS.
 - ⑤ EXISTING ELECTRICAL METER AND FEED TO METER, TO BE REMOVED. ALL WORK TO BE DONE PER ROCKY MOUNTAIN POWER STANDARDS/SPECIFICATIONS.
 - ⑥ EXISTING FENCE, TO BE REMOVED.
 - ⑦ EXISTING OVERHEAD POWER LINES AND POWER POLES, TO BE REMOVED AND RELOCATED UNDERGROUND AS PART OF WEST TEMPLE STREET WIDENING. CONTRACTOR TO COORDINATE THIS SCOPE OF WORK WITH ROCKY MOUNTAIN POWER, PRIOR TO ANY DEMOLITION.
 - ⑧ EXISTING OVERHEAD POWER POLE, TO REMAIN. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER ON GUY WIRE RELOCATION AROUND WEST TEMPLE STREET WIDENING IMPROVEMENTS.
 - ⑨ EXISTING FIRE HYDRANT, TO REMAIN.
 - ⑩ EXISTING COMMUNICATIONS PEDESTAL, TO REMAIN.

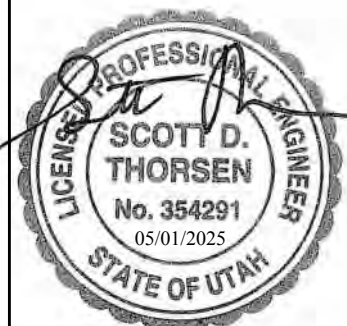
NOTE:
 CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND FIELD VERIFYING ALL NECESSARY DEMOLITION AND/OR RELOCATION OF UTILITIES AND STRUCTURES PRIOR TO PROVIDING BID NUMBERS.
 CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING GAS, POWER, AND TELECOMMUNICATIONS LINES AND STRUCTURES.



NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
 10718 SOUTH BECKSTEAD LANE, STE. 102
 SOUTH JORDAN, UT 84095 - 801-949-6296
 DESIGNER: SDT PROJECT ENGINEER: SDT

AQUI 2194
 2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
 EXISTING SITE / DEMOLITION PLAN



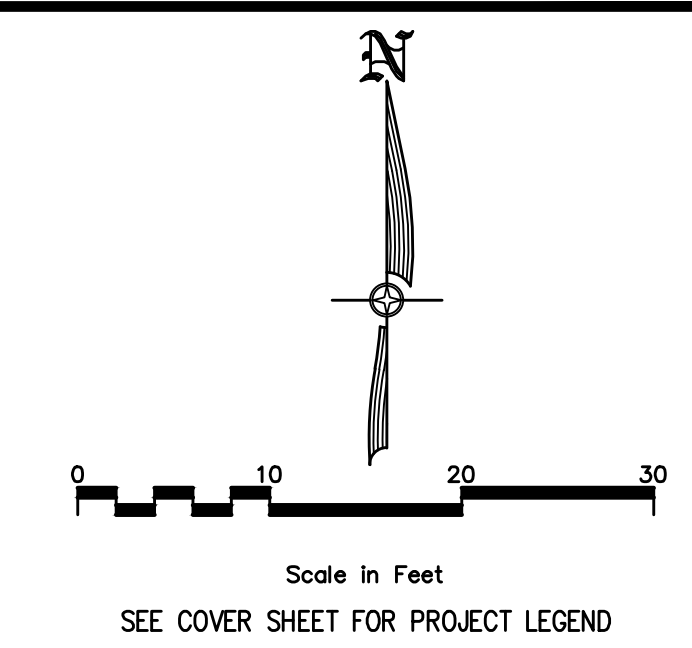
SHEET NO.	C0.1
PROJECT ID:	E25-052
DATE:	05/01/25
FILE NAME:	PRJ-SSLA
SCALE:	1"=10'

ADJACENT UTOPIA APARTMENTS PROJECT SHOWN ON THIS PLAN SET FOR INFORMATIONAL PURPOSES ONLY.

BRC ADG QOZB 1 JV, LLC
15-24-230-019

123 W Utopia Ave.

RIGHT TURN SIGHT TRIANGLE PER AASHTO STANDARDS (220'). NO OBSTACLES LARGER THAN 3.5' MAY BE LOCATED INSIDE SIGHT TRIANGLE



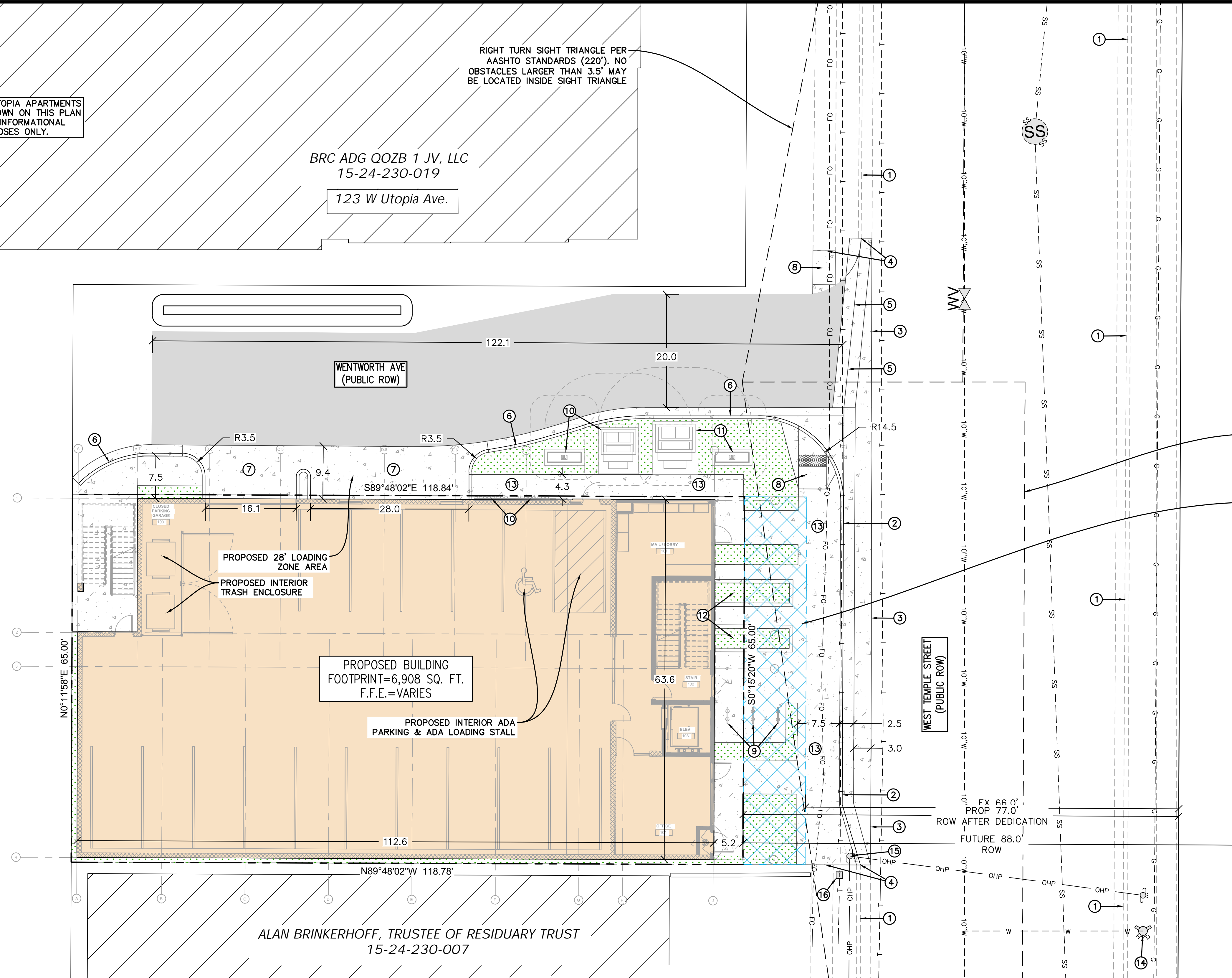
Scale in Feet
SEE COVER SHEET FOR PROJECT LEGEND

SHEET LEGEND
 PROP ROW DEDICATION
 715 SQUARE FEET

SITE PARKING COUNT:
 SEE ARCHITECTURAL PLAN SET FOR DETAILS ON RESIDENTIAL UNIT BREAKDOWN AND CORRESPONDING PARKING COUNT.

LEFT TURN SIGHT TRIANGLE PER AASHTO STANDARDS (335'). NO OBSTACLES LARGER THAN 3.5' MAY BE LOCATED INSIDE SIGHT TRIANGLE

PROPOSED ROW DEDICATION TO BE DONE AS PART OF THIS PROJECT.
 TOTAL DEDICATION AREA = 715 SQ. FT.



ALAN BRINKERHOFF, TRUSTEE OF RESIDUARY TRUST
15-24-230-007

LOT AREAS:

LOT	SQ. FT.	ACRES.
BUILDING FOOTPRINT	7,723	0.177
LANDSCAPE	6,908	0.159
CONCRETE	223	0.005
CONCRETE	593	0.014
ROADWAY IMPROVEMENTS	5,733	0.132
ASPHALT	2,471	0.057
LANDSCAPE	613	0.014
CONCRETE	2,649	0.061

NOTE:

1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

SITE PLAN NOTES:

- ① EXISTING CURB & GUTTER.
- ② PROPOSED 30" CURB & GUTTER TO BE INSTALLED PER SSLC PLAN NO. 205.1. SEE SHEET C5.0 FOR DETAILS.
- ③ CONTRACTOR TO SAWCUT, REMOVE AND REPLACE CONCRETE PANELS PER APWA PLAN NO. 256.1 AND 256.2. SEE SHEET C5.0 FOR DETAILS.
- ④ CONTRACTOR TO SAWCUT EXISTING CURB & GUTTER AND EXISTING SIDEWALK TO PROVIDE A SMOOTH EDGE FOR PROPOSED CURB & GUTTER AND SIDEWALK TO MATCH INTO.
- ⑤ PROPOSED 4' WIDE CONCRETE WATERWAY TO BE INSTALLED PER SSLC PLAN NO. 211. SEE SHEET C5.0 FOR DETAILS.
- ⑥ PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 1/C4.0.
- ⑦ PROPOSED DRIVE APPROACH TO BE INSTALLED PER APWA PLAN NO. 225. SEE SHEET C5.0 FOR DETAILS.
- ⑧ PROPOSED ADA RAMP W/DETECTABLE WARNING STRIP TO BE INSTALLED PER APWA PLAN NO. 238. SEE SHEET C5.0 FOR DETAILS.
- ⑨ PROPOSED BIKE RACK. SEE DETAIL 2/C4.0.
- ⑩ PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER, SWITCHGEAR AND ELECTRICAL METERS) FOR AQU12194 PROJECT. SEE ELECTRICAL PLANS FOR SIZING DETAILS.
- ⑪ PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER AND SWITCHGEAR) FOR ADJACENT UTOPIA APARTMENTS PROJECT. AREA TO BE RESERVED FOR ELECTRICAL GEAR AND CONDUITS TO BE INSTALLED UNDER WENTWORTH AVE ASPHALT.
- ⑫ PROPOSED RAISED PLANTER/GARDEN BOXES. SEE ARCHITECTURAL & LANDSCAPE PLANS FOR DETAILS.
- ⑬ PROPOSED PUBLIC ROW SIDEWALK TO BE INSTALLED PER SSLC PLAN NO. 231. SEE SHEET C5.0 FOR DETAILS.
- ⑭ EXISTING FIRE HYDRANT.
- ⑮ EXISTING OVERHEAD POWER POLE. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER ON GUY WIRE RELOCATION AROUND WEST TEMPLE STREET WIDENING IMPROVEMENTS.
- ⑯ EXISTING COMMUNICATIONS PEDESTAL.

NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
CIR
 10718 SOUTH BECKSTEAD LANE, STE. 102
 SOUTH JORDAN, UT 84095 - 801-949-6296
 DESIGNER: SDT
 PROJECT ENGINEER: SDT

AQUI 2194
 2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
 SITE PLAN

PROFESSIONAL ENGINEER
 SCOTT D. THORSEN
 No. 354291
 06-01-2025
 STATE OF UTAH



SHEET NO.
C1.0
 PROJECT ID: E25-052
 DATE: 05/01/25
 FILE NAME: PRJ-SSLA
 SCALE: 1"=10'

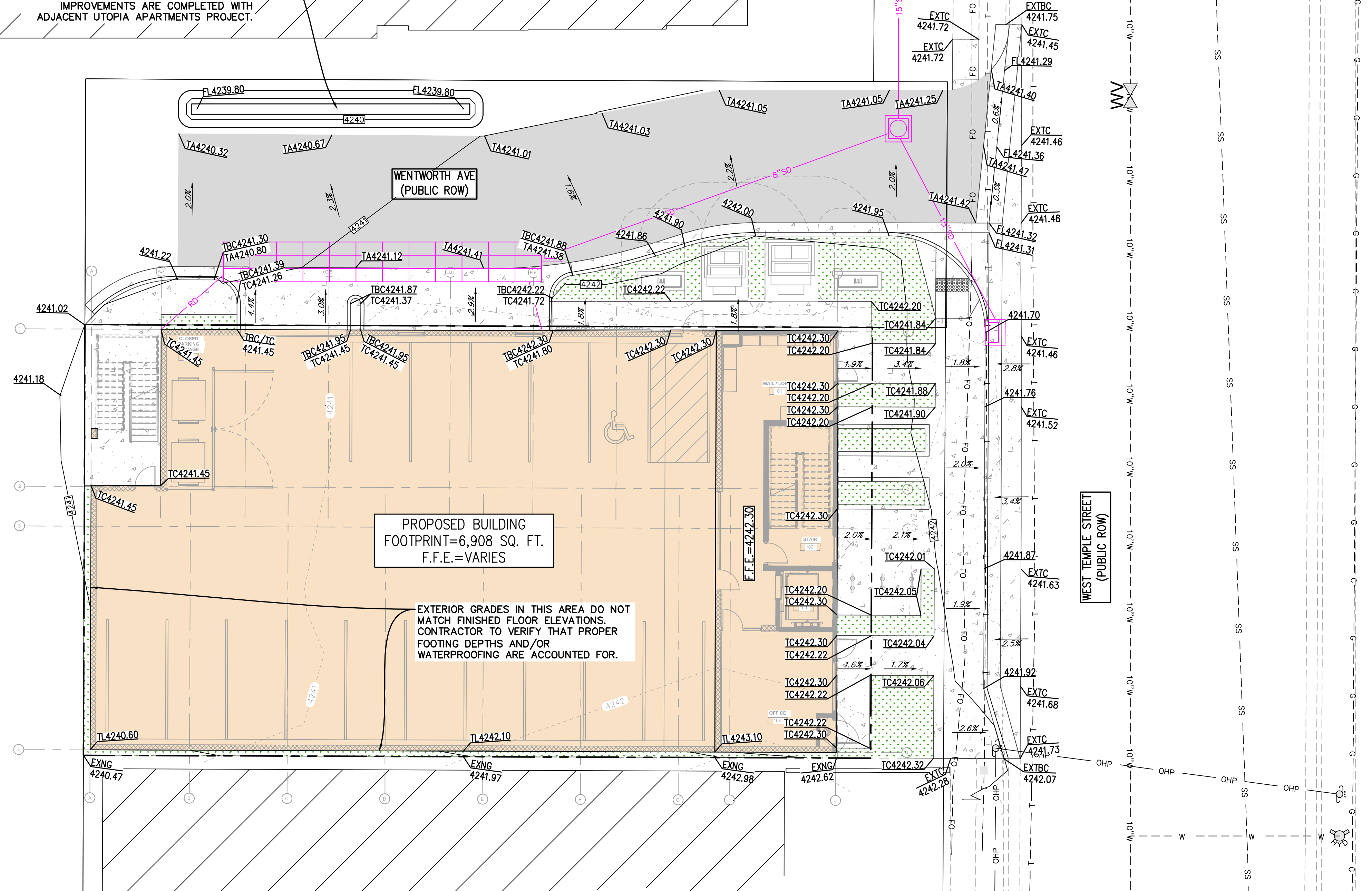
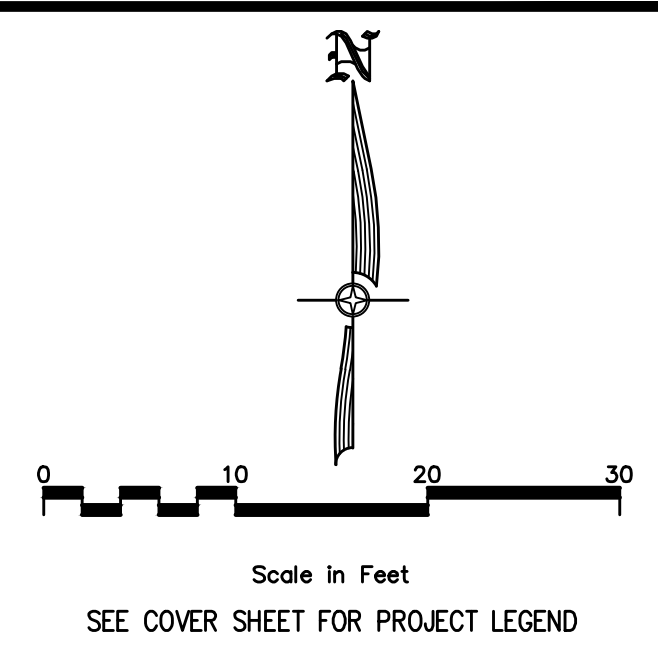
ADJACENT UTOPIA APARTMENTS PROJECT SHOWN ON THIS PLAN SET FOR INFORMATIONAL PURPOSES ONLY.

CONTRACTOR TO PROVIDE DEPRESSED AREA FOR TEMPORARY RUNOFF FROM WENTWORTH AVE TO POND AND PERCOLATE. DEPRESSED AREA TO BE REPLACED WITH UNDERGROUND CHAMBER SYSTEM WHEN WENTWORTH AVE IMPROVEMENTS ARE COMPLETED WITH ADJACENT UTOPIA APARTMENTS PROJECT.

SEE SHEET C2.1 FOR CONTINUATION OF STORM DRAIN DISCHARGE PIPE TO NEARBY INLET BOX TO NORTH

PROPOSED BUILDING FOOTPRINT=6,908 SQ. FT. F.F.E.=VARIES

EXTERIOR GRADES IN THIS AREA DO NOT MATCH FINISHED FLOOR ELEVATIONS. CONTRACTOR TO VERIFY THAT PROPER FOOTING DEPTHS AND/OR WATERPROOFING ARE ACCOUNTED FOR.



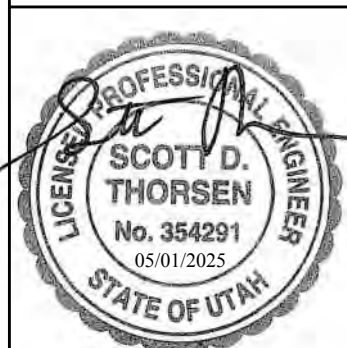
NO.	REVISIONS	BY	DATE

DESIGNER: SDT
PROJECT ENGINEER: SDT

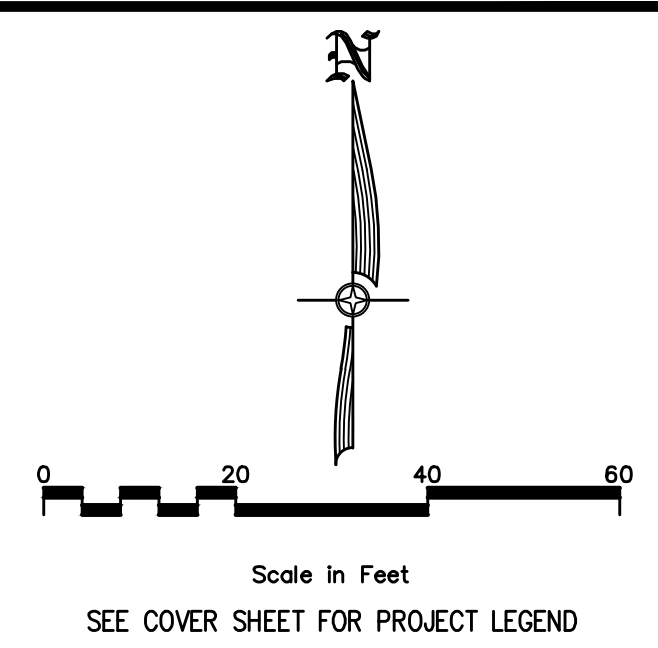
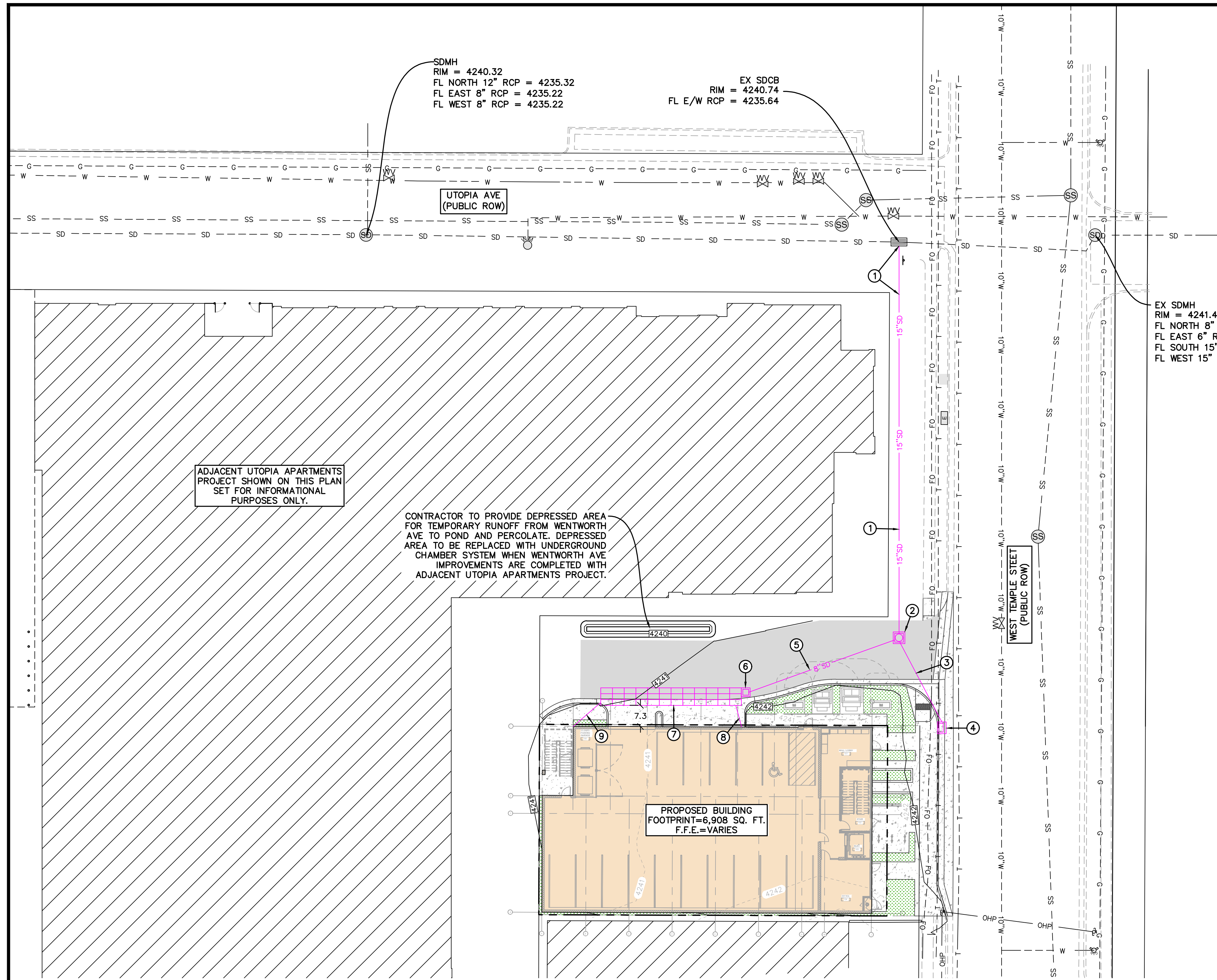
CIVIL ENGINEERING + SURVEYING
CIR
 10718 SOUTH BECKSTEAD LANE, STE. 102
 SOUTH JORDAN, UT 84095 - 801-949-6296

AQUI 2194
 2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
 GRADING PLAN

WEST TEMPLE STREET ROADWAY WIDENING SLOPES NOTE:
 AFTER CURB & GUTTER IS FORMED IN WEST TEMPLE STREET (PRIOR TO BEING INSTALLED), CONTRACTOR TO FIELD VERIFY WITH SURVEYING COMPANY THAT ROADWAY DRIVING SURFACES ARE BETWEEN 2.0-4.0% CROSS SLOPES AS SHOWN PER CIVIL GRADING PLAN AND CAN STILL BE INSTALLED. IF SLOPES CANNOT BE INSTALLED PER GRADING PLAN, CONTRACTOR TO NOTIFY CIVIL ENGINEER.



SHEET NO. C2.0
 PROJECT ID: E25-052
 DATE: 05/01/25
 FILE NAME: PRJ-SSLA
 SCALE: 1"=10'



DRAINAGE PLAN NOTES:

- ① CONNECT TO EXISTING SD INLET BOX (I.E.=4235.64±) AND INSTALL 133'± OF 15" RCP PIPE, S=0.20%.
- ② INSTALL 3'x3' INLET BOX W/ROUND 30" DIA. MANHOLE GRATE, TOG=4241.16, I.E.(SE)=4236.88, I.E.(SW)=4236.76, I.E.(N)=4235.91.
- ③ INSTALL 32'± OF 15" RCP PIPE, S=0.20%.
- ④ INSTALL CURB INLET BOX PER APWA PLAN NO. 315.1. TOG=4241.20, I.E.=4236.95. SEE SHEET C5.1 FOR DETAILS.
- ⑤ INSTALL 54'± OF 8" ADS PIPE, S=0.40%.
- ⑥ INSTALL 2'x2' JUNCTION BOX W/SOLID LID, SNOUT OIL/WATER SEPARATOR AND 3.0" ORIFICE PLATE., TOG=4241.36, I.E.(W)=4235.75, I.E.(E)=4236.98, SUMP=4232.75. SEE DETAILS 4/C4.0 & 5/C4.0.
- ⑦ INSTALL STORMBRIXX 900-SERIES SD UNDERGROUND CHAMBER SYSTEM (OR EQUIVALENT APPROVED BY CIVIL ENGINEER). CHAMBER SYSTEM TO BE 48'x6'x3' AND LINED WITH A PERMEABLE LINER. BOTTOM OF CHAMBER SYSTEM = 4235.75 TOTAL VOLUME PROVIDED = 811 CUBIC FEET SEE SHEET C4.0 FOR DETAILS.
- ⑧ INSTALL 8'± OF 8" ADS PIPE FOR ROOF DRAIN CONNECTION, S=MIN.1.0%. END PIPE 5' FROM BUILDING AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
- ⑨ INSTALL 13'± OF 8" ADS PIPE FOR ROOF DRAIN CONNECTION, S=MIN.1.0%. END PIPE 5' FROM BUILDING AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.

NO.	REVISIONS	BY	DATE

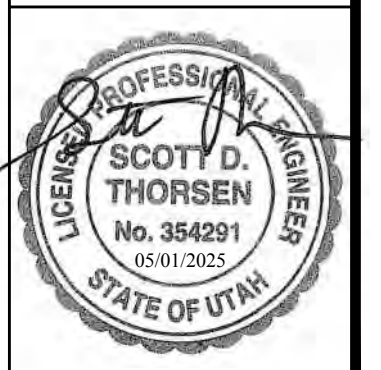
DESIGNER: SDT
PROJECT ENGINEER: SDT

CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 -

AQUI 2194
2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
DRAINAGE PLAN

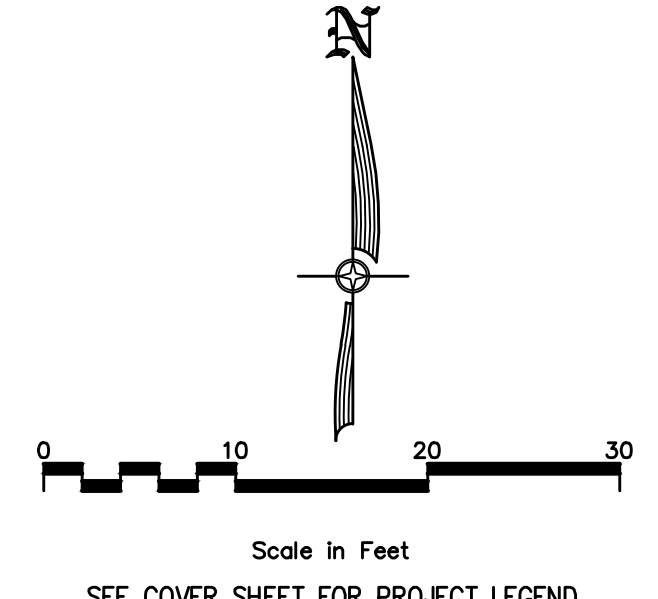


SHEET NO.	C2.1		
PROJECT ID	E25-052	DATE:	05/01/25
FILE NAME:	PRJ-SSLA	SCALE:	1"=20'

ADJACENT UTOPIA APARTMENTS PROJECT SHOWN ON THIS PLAN SET FOR INFORMATIONAL PURPOSES ONLY.

SEE SHEET C2.1 FOR PROPOSED SITE DRAINAGE IMPROVEMENTS

ADDITIONAL EXISTING FIRE HYDRANT LOCATED AT NORTHEAST CORNER OF NEARBY UTOPIA AVE & WEST TEMPLE STREET INTERSECTION. (APPROXIMATELY 212' FROM SITE)

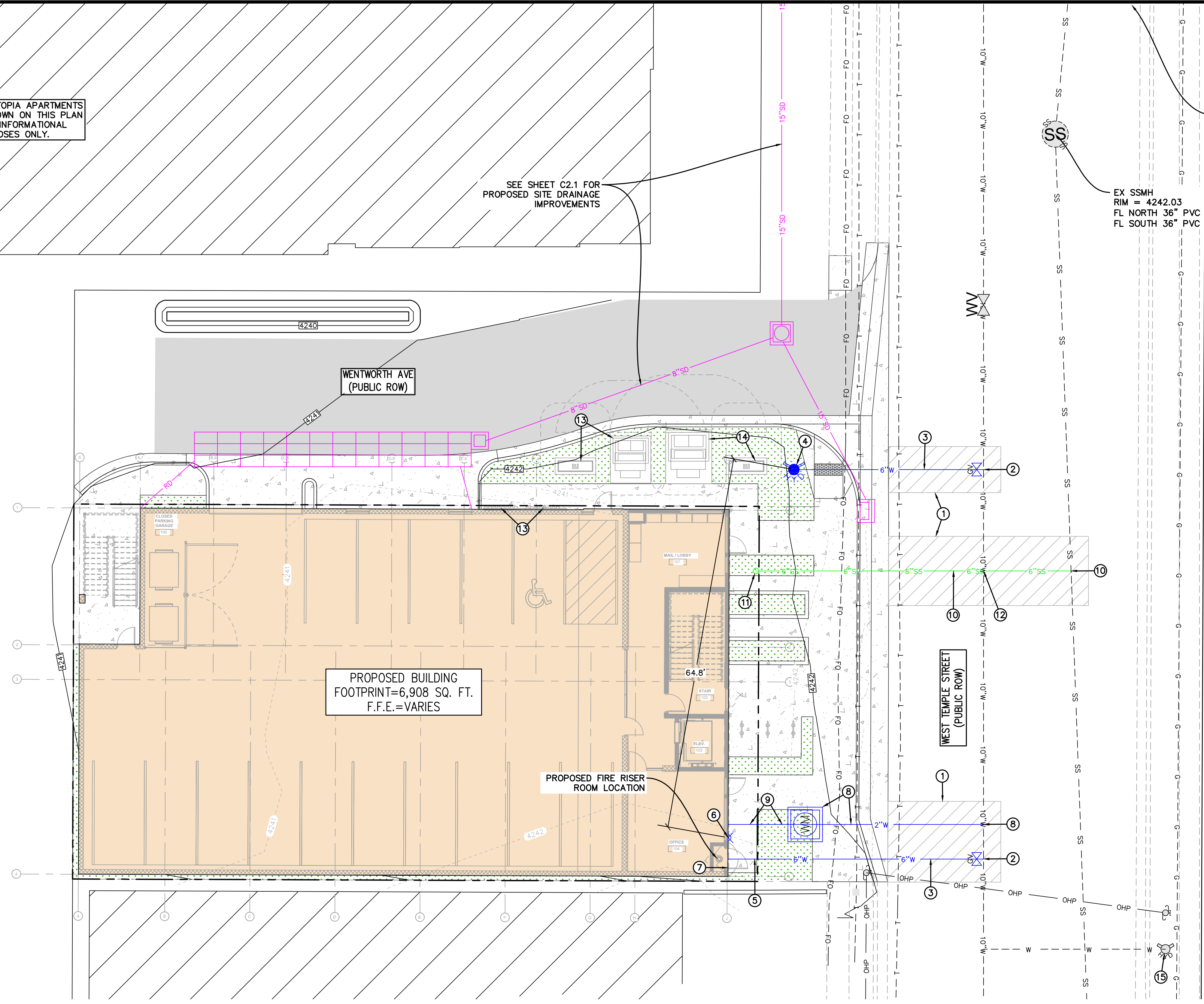


FIRE FLOW REQUIREMENTS:

LEVEL 1
BUILDING AREA: 6,908 SF
TYPE IA CONSTRUCTION
FIRE SPRINKLER REDUCTION: 50%
REQUIRED FIRE FLOW: 750 GPM
LEVELS 2-5
BUILDING AREA: 27,632 SF
TYPE IIIA CONSTRUCTION
FIRE SPRINKLER REDUCTION: 50%
REQUIRED FIRE FLOW: 1,250 GPM
COMBINED REQ'D FIRE FLOW: 2,000 GPM
HYDRANTS REQUIRED: 2
HYDRANTS PROVIDED: 3

CONCRETE PANEL REPLACEMENT NOTE:
UTILITY TRENCH HATCHING (SHEET CALLOUT #1) IS NOT AN ACCURATE DEPICTION OF THE AMOUNT OF CONCRETE PANELS THAT WILL NEED TO BE REMOVED TO INSTALL UTILITY LATERAL WORK. IT IS POSSIBLE THAT EITHER MORE OR LESS SQUARE FOOTAGE OF CONCRETE PANEL REMOVAL AND REPLACEMENT WILL BE NEEDED.

- UTILITY PLAN NOTES:**
- REMOVE AND REPLACE EXISTING CONCRETE PANELS TO INSTALL UTILITY LATERAL WORK PER APWA PLAN NO. 256.1 AND SLSL PLAN NO. 256.2. ANY DAMAGED OR REMOVED CONCRETE PANELS AND ASSOCIATED PAVEMENT SECTION (ROAD BASE/SUBBASE) TO BE REPLACED IN KIND. SEE "CONCRETE PANEL REPLACEMENT NOTE" ON THIS SHEET AND SHEET C5.0 FOR DETAILS.
 - CONNECT TO EXISTING 10" WATER MAIN AND INSTALL 10"x10"x6" TEE W/6" GATE VALVE AND THRUST BLOCKS.
 - INSTALL 6" PVC C-900 WATER LINE.
 - INSTALL FIRE HYDRANT W/THRUST BLOCKS PER APWA PLAN NO. 511. SEE SHEET C5.1 FOR DETAILS.
 - END 6" PVC C-900 WATER LINE 5' FROM BUILDING AND SEE FIRE SPRINKLER PLANS FOR CONTINUATION INTO FIRE RISER ROOM.
 - INSTALL WALL-MOUNTED FDC.
 - INSTALL 1650 OR 3200 SERIES KNOX BOX FOR FIRE DEPARTMENT ACCESS.
 - CONNECT TO EXISTING 10" WATER MAIN AND INSTALL 2" CULINARY WATER LATERAL AND 2" CULINARY WATER METER & VAULT. ALL WORK TO BE DONE PER APWA PLANS NO. 505 AND 522. SEE SHEET C5.1 FOR DETAILS.
 - INSTALL 2" POLY PIPE UP TO 1' PAST WATER METER VAULT. CONTRACTOR TO THEN UPSIZE CULINARY WATER LATERAL TO 4" PVC C-900 WATER LINE. END 4" PVC C-900 WATER LINE FROM BUILDING AND SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
 - CONNECT TO EXISTING 36" SEWER MAIN AND INSTALL 55'± OF 6" PVC SDR-35 SEWER PIPE, S=4.0%. I.E.(36"MAIN)=4231.42, I.E.(6"LAT)=4233.75. SEWER LATERAL TO BE CONNECTED INTO LARGER SEWER MAIN AT 80% CAPACITY ELEVATION. ALL WORK TO BE DONE PER APWA PLAN NO. 431. SEE SHEET C5.1 FOR DETAILS.
 - END 6" PVC SDR-35 SEWER PIPE 5' FROM BUILDING AND INSTALL 6" CLEANOUT WYE. I.E.=4242.21, I.E.=4235.95. SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
 - TOP(10"W)=4237.93
I.E.(10"W)=4237.10
TOP(6"SS)=4234.86
I.E.(6"SS)=4234.36
 - PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER, SWITCHGEAR AND ELECTRICAL METERS) FOR AQU12194 PROJECT. SEE ELECTRICAL PLANS FOR SIZING DETAILS.
 - PROPOSED SITE ELECTRICAL GEAR (TRANSFORMER AND SWITCHGEAR) FOR ADJACENT UTOPIA APARTMENTS PROJECT. AREA TO BE RESERVED FOR ELECTRICAL GEAR AND CONDUITS TO BE INSTALLED UNDER WENTWORTH AVE ASPHALT.
 - EXISTING FIRE HYDRANT.



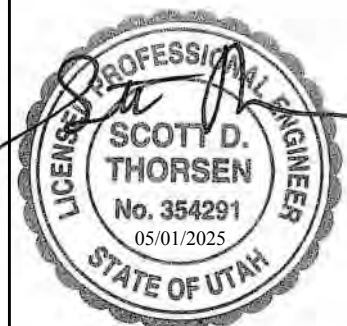
PROPOSED BUILDING FOOTPRINT=6,908 SQ. FT. F.F.E.=VARIES

PROPOSED FIRE RISER ROOM LOCATION

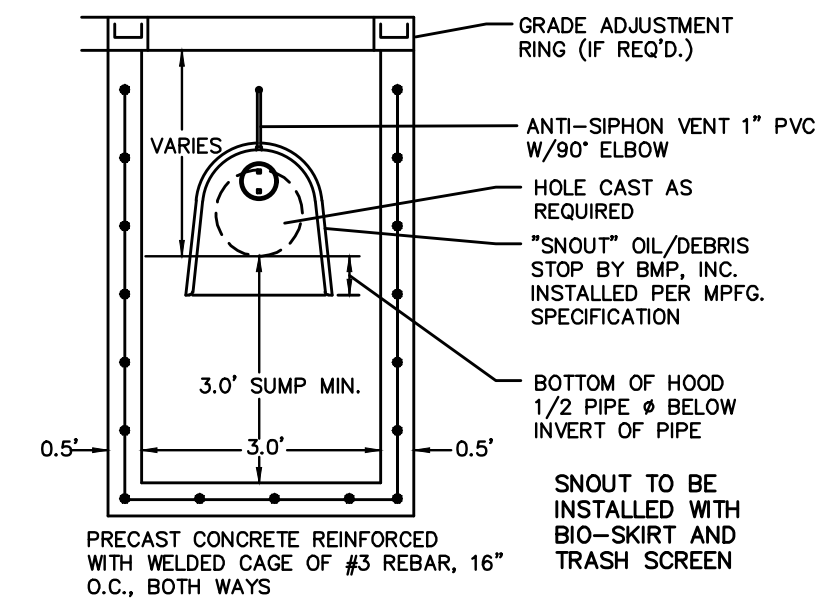
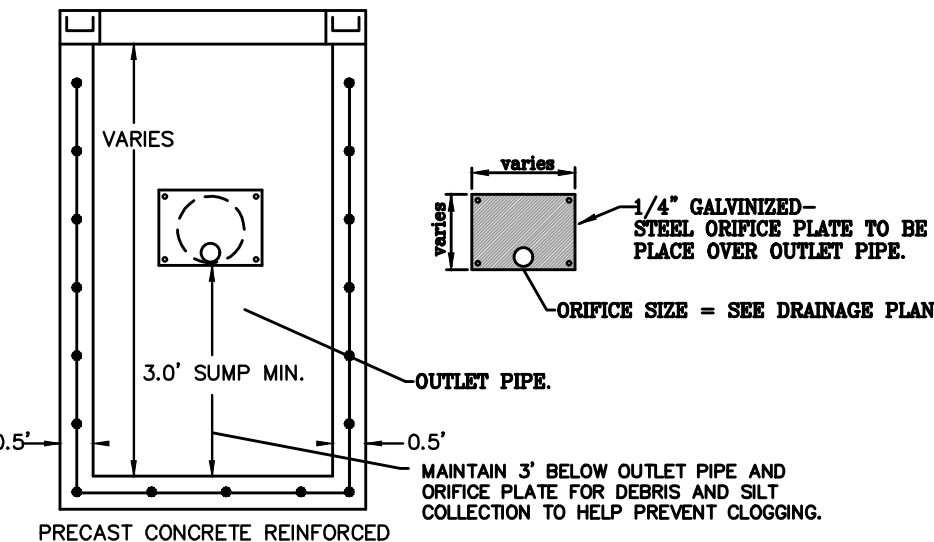
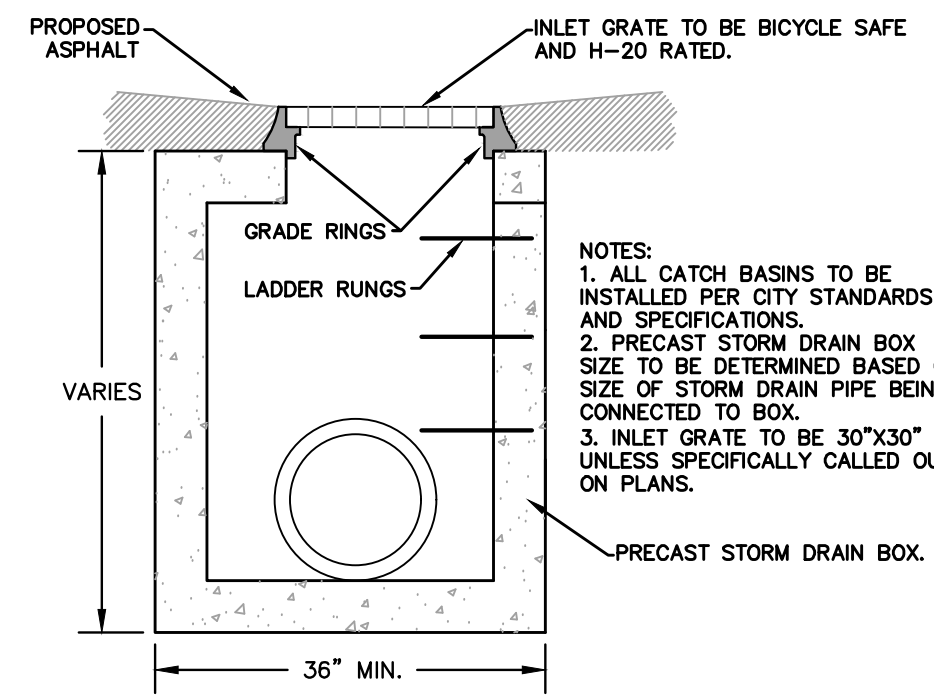
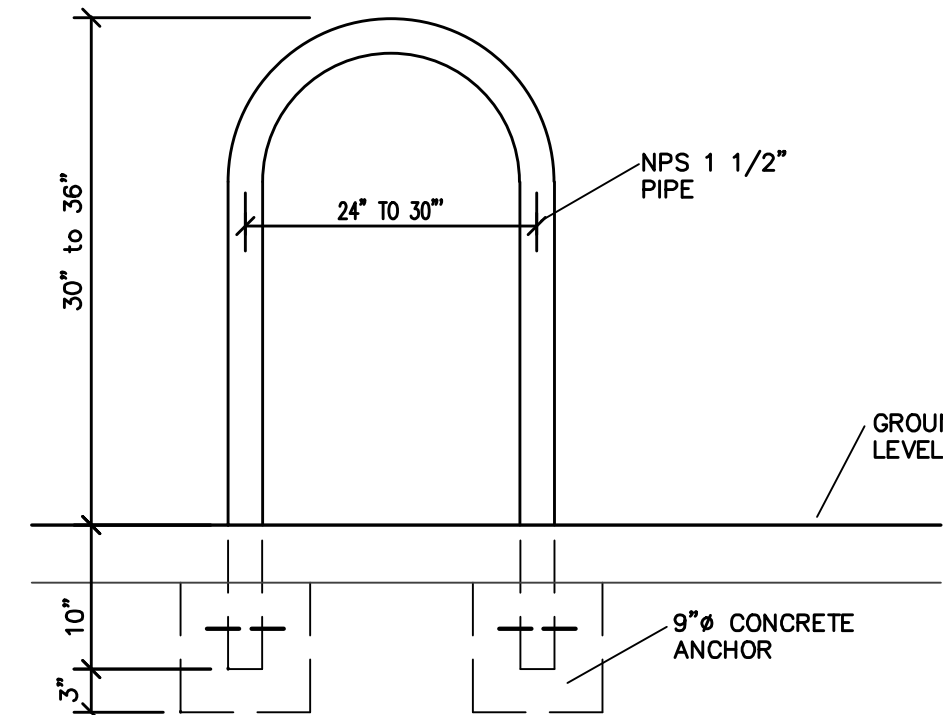
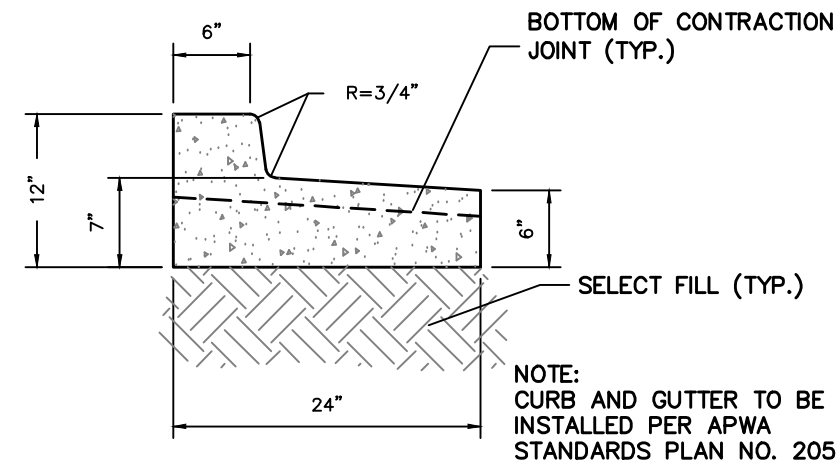
NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 -
DESIGNER: SDT PROJECT ENGINEER: SDT

AQU1 2194
2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
UTILITY PLAN



SHEET NO.	C3.0
PROJECT ID	E25-052
DATE	05/01/25
FILE NAME	PRJ-SSLA
SCALE	1"=10'



1 24" REVERSE PAN CURB & GUTTER
N.T.S.

2 INVERTED "U" BIKE RACK
N.T.S.

3 STANDARD STORM DRAIN INLET BOX
N.T.S.

4 ORIFICE PLATE
N.T.S.

5 SNOOT OIL & DEBRIS STOP
N.T.S.

ACO StormBrixx®
StormBrixx 900 SD
October 2024

ACO
Telephone #: 888.490.9552

01

ACO Specification Information

ACO StormBrixx®
StormBrixx 900 SD
October 2024

ACO
Telephone #: 888.490.9552

02

ACO Specification Information

ACO StormBrixx®
StormBrixx 900 SD
October 2024

ACO
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03

ACO Specification Information

ACO StormBrixx®
StormBrixx 900 SD
October 2024

Part	A	B	C	H	W	L
	in (mm)	in (mm)	in (mm)	in (mm)	in (mm)	in (mm)
93139	4" SDH 35	2.00 (51)	6.25 (158)	8.25 (209)	6.70 (170)	8.00 (203)
93145	4" SC1-40	2.00 (51)	7.47 (189)	8.29 (210)	6.70 (170)	8.00 (203)
93140	6" SDH 35	2.00 (51)	8.95 (227)	9.93 (252)	10.72 (272)	8.00 (203)
93146	6" SC1-40	2.00 (51)	9.11 (231)	9.93 (252)	10.72 (272)	8.00 (203)
93141	8" SDH 35	2.00 (51)	10.46 (265)	11.39 (289)	11.64 (295)	8.00 (203)
93147	8" SC1-40	2.00 (51)	10.57 (268)	11.39 (289)	11.64 (295)	8.00 (203)
93142	10" SDH 35	2.00 (51)	13.48 (342)	14.30 (363)	14.66 (372)	8.00 (203)
93144	15" SC1-40	2.00 (51)	17.28 (439)	19.25 (489)	19.25 (489)	8.00 (203)

ACO
Telephone #: 888.490.9552

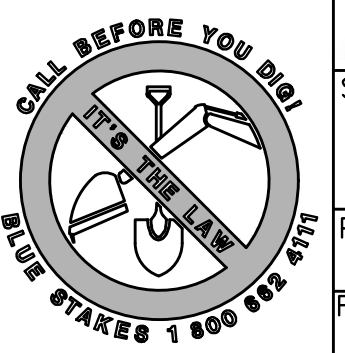
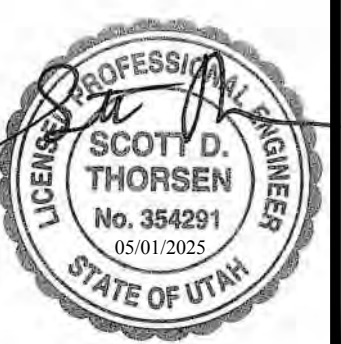
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ACO Specification Information

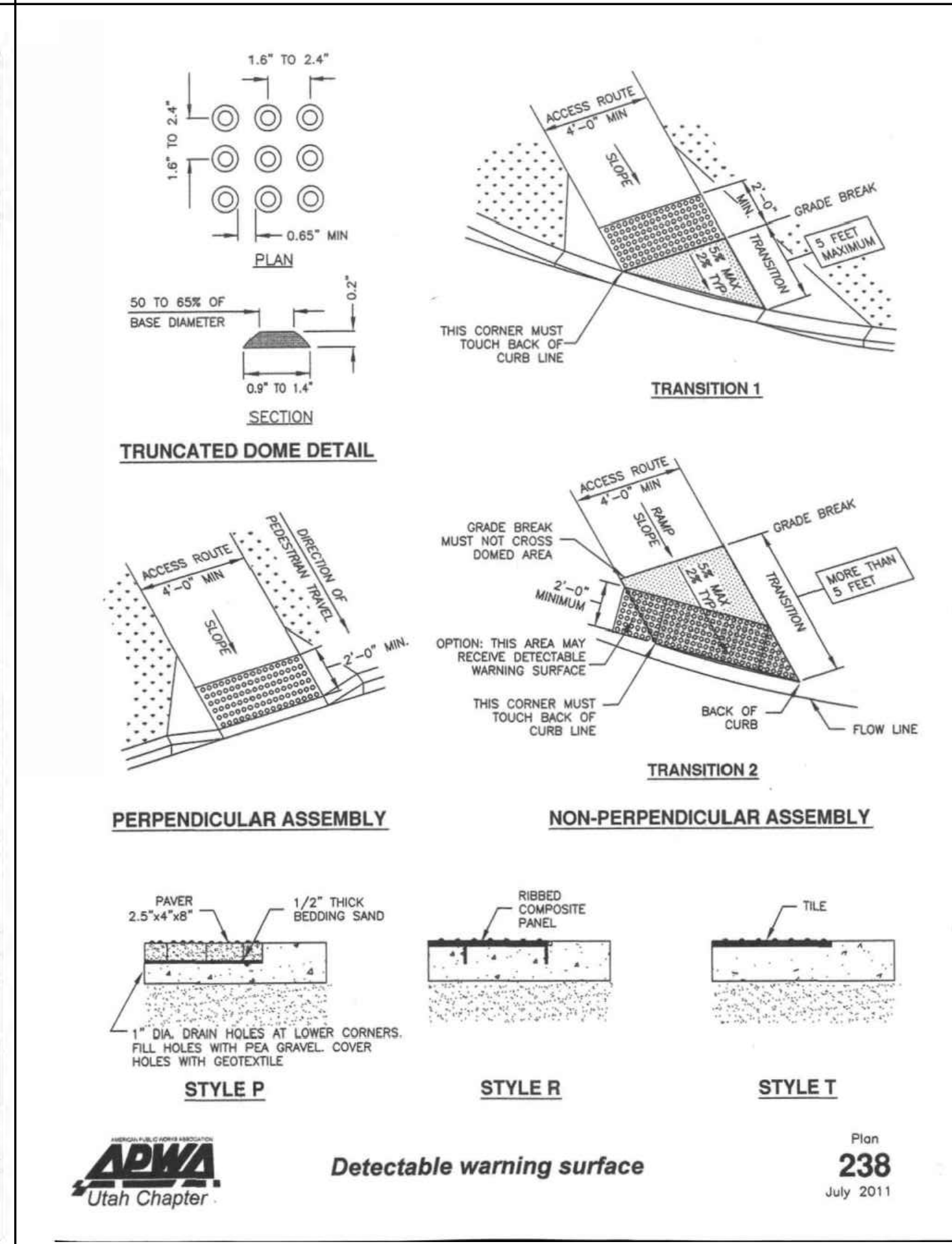
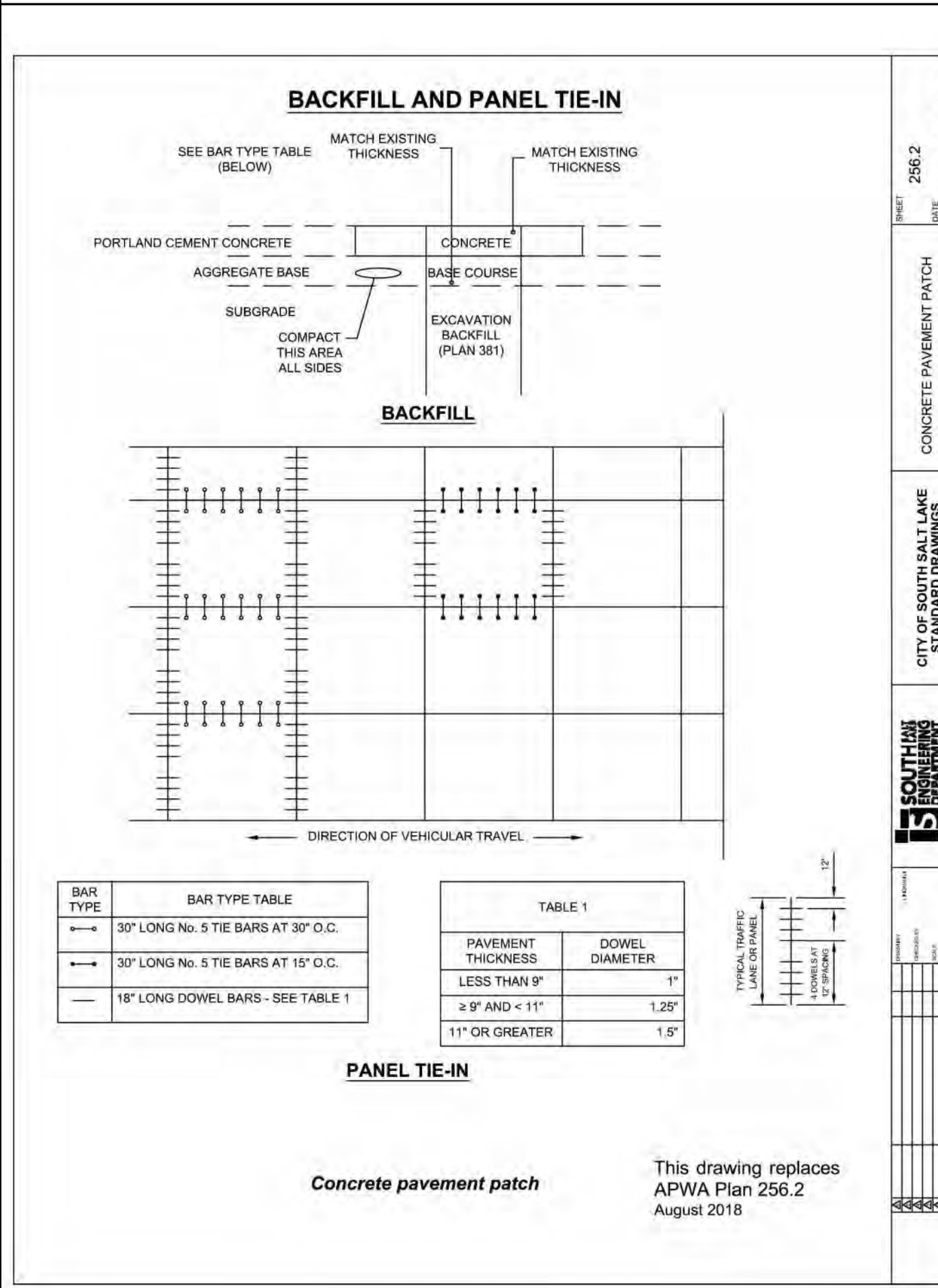
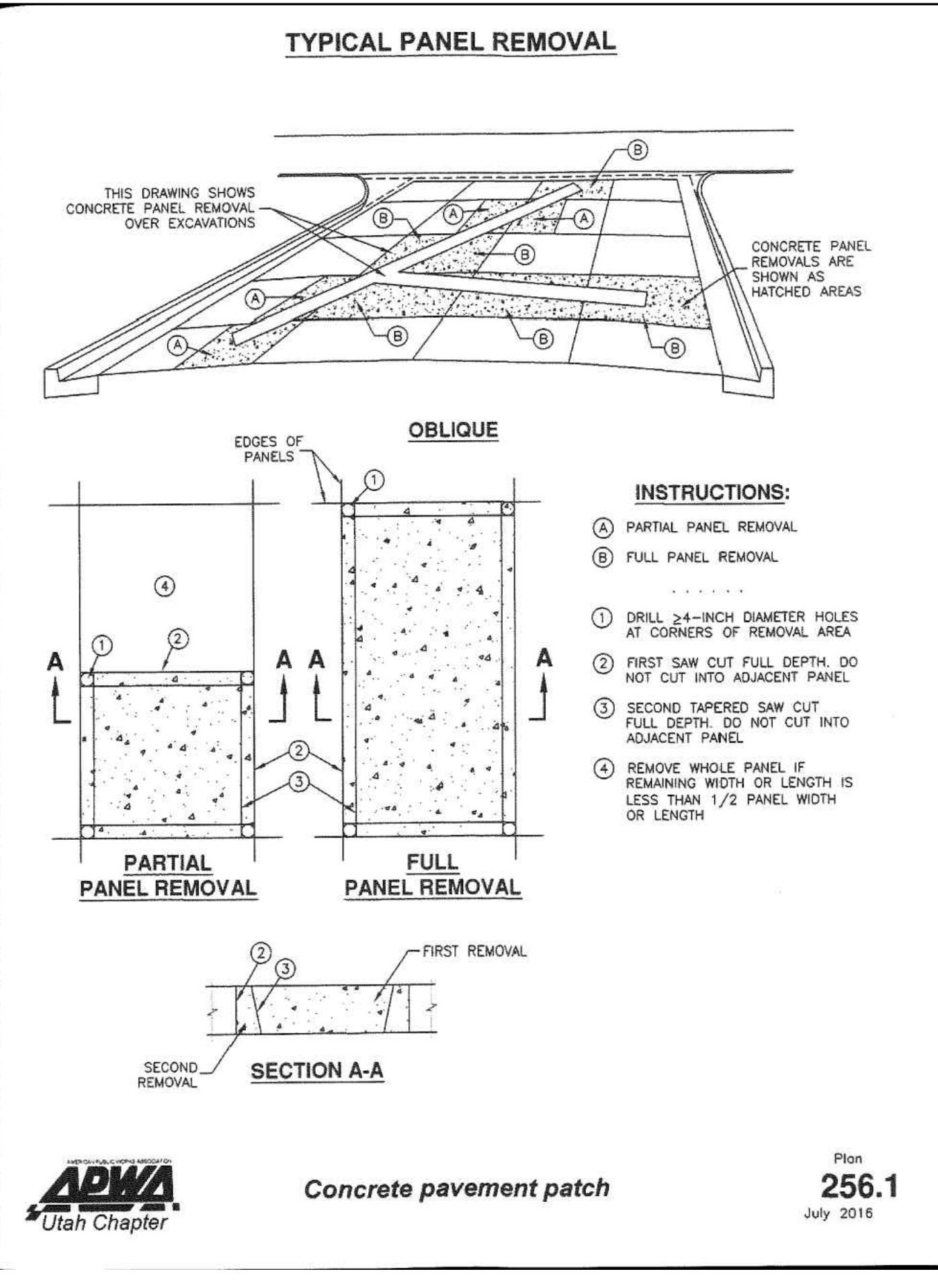
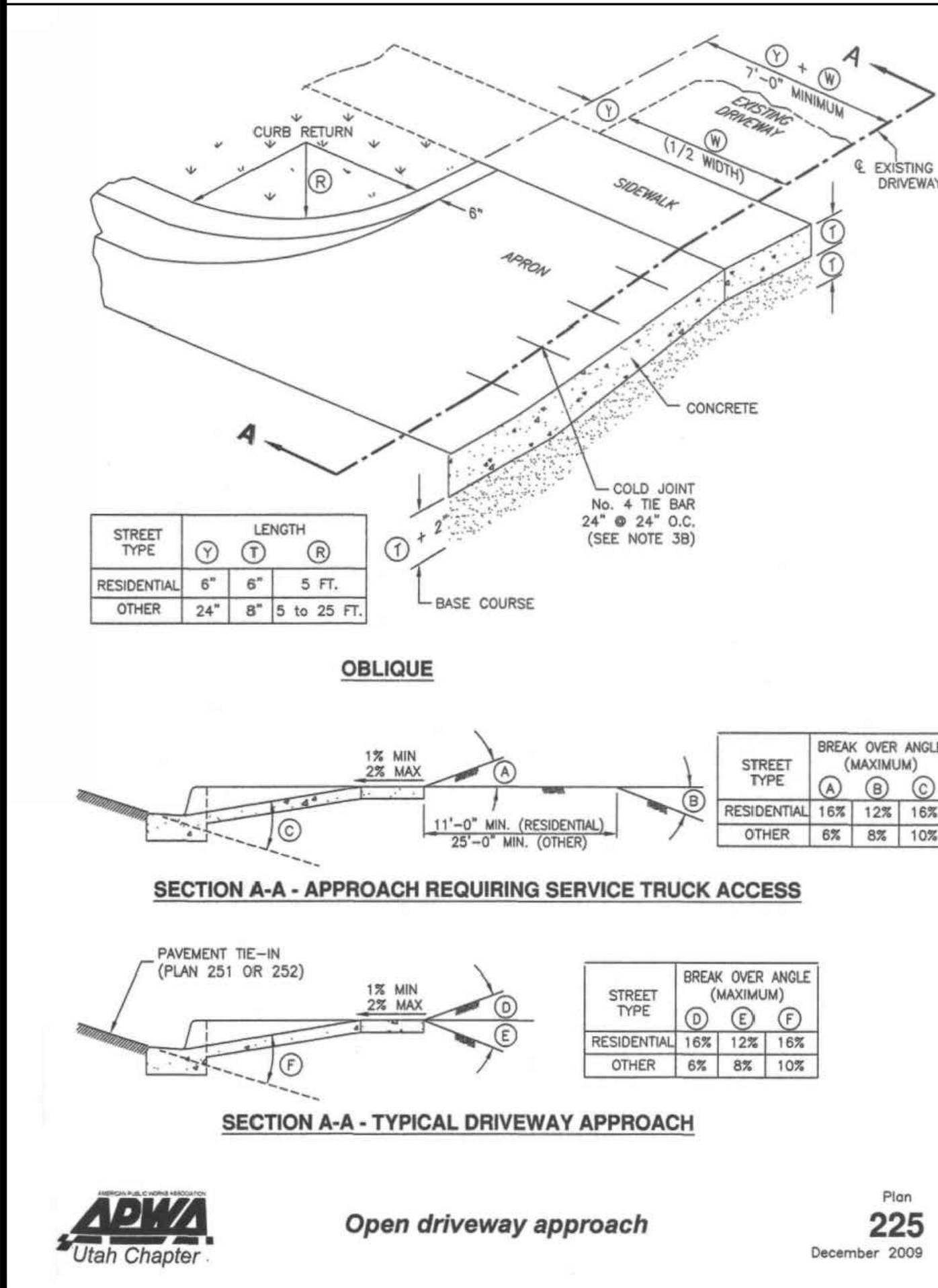
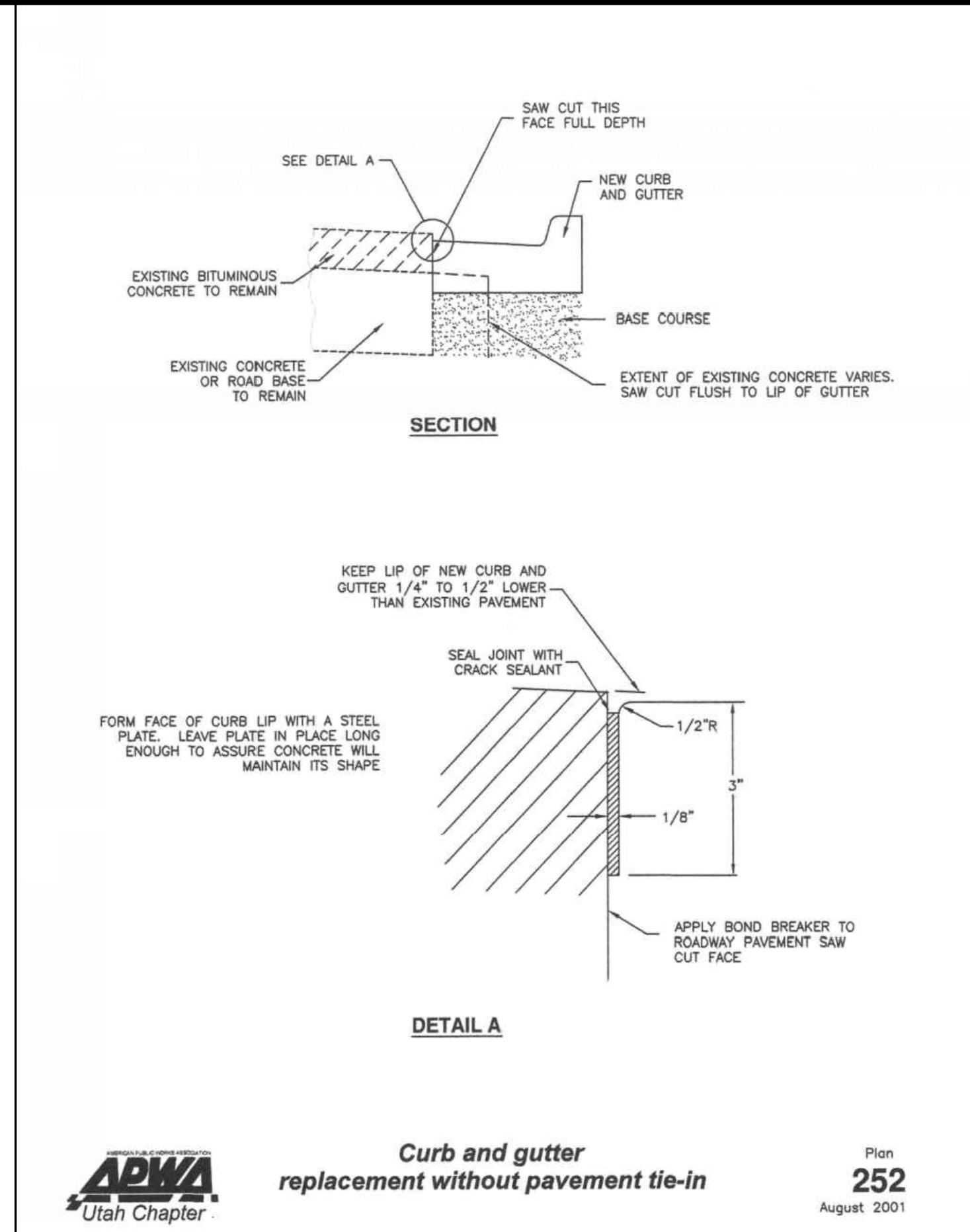
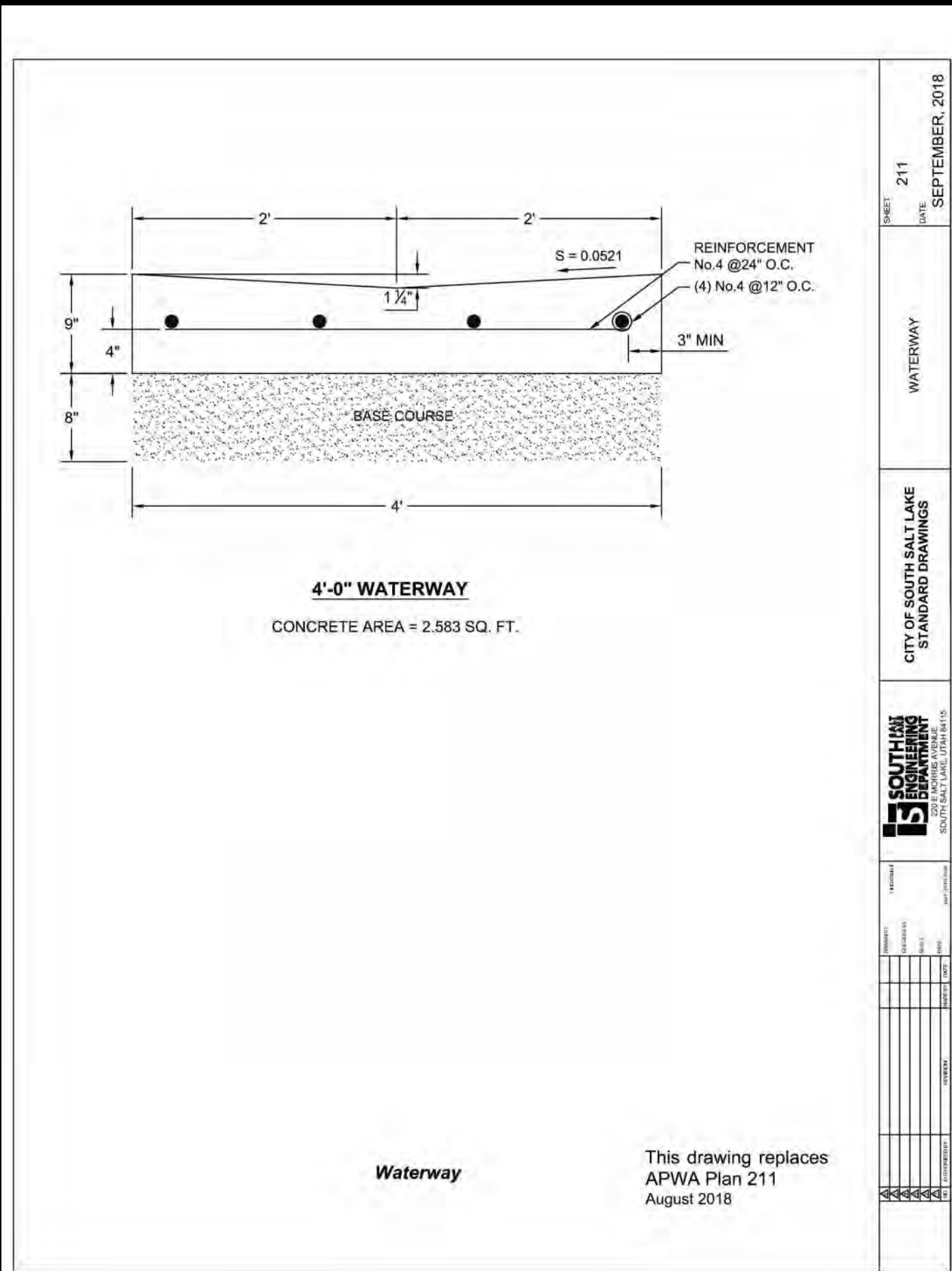
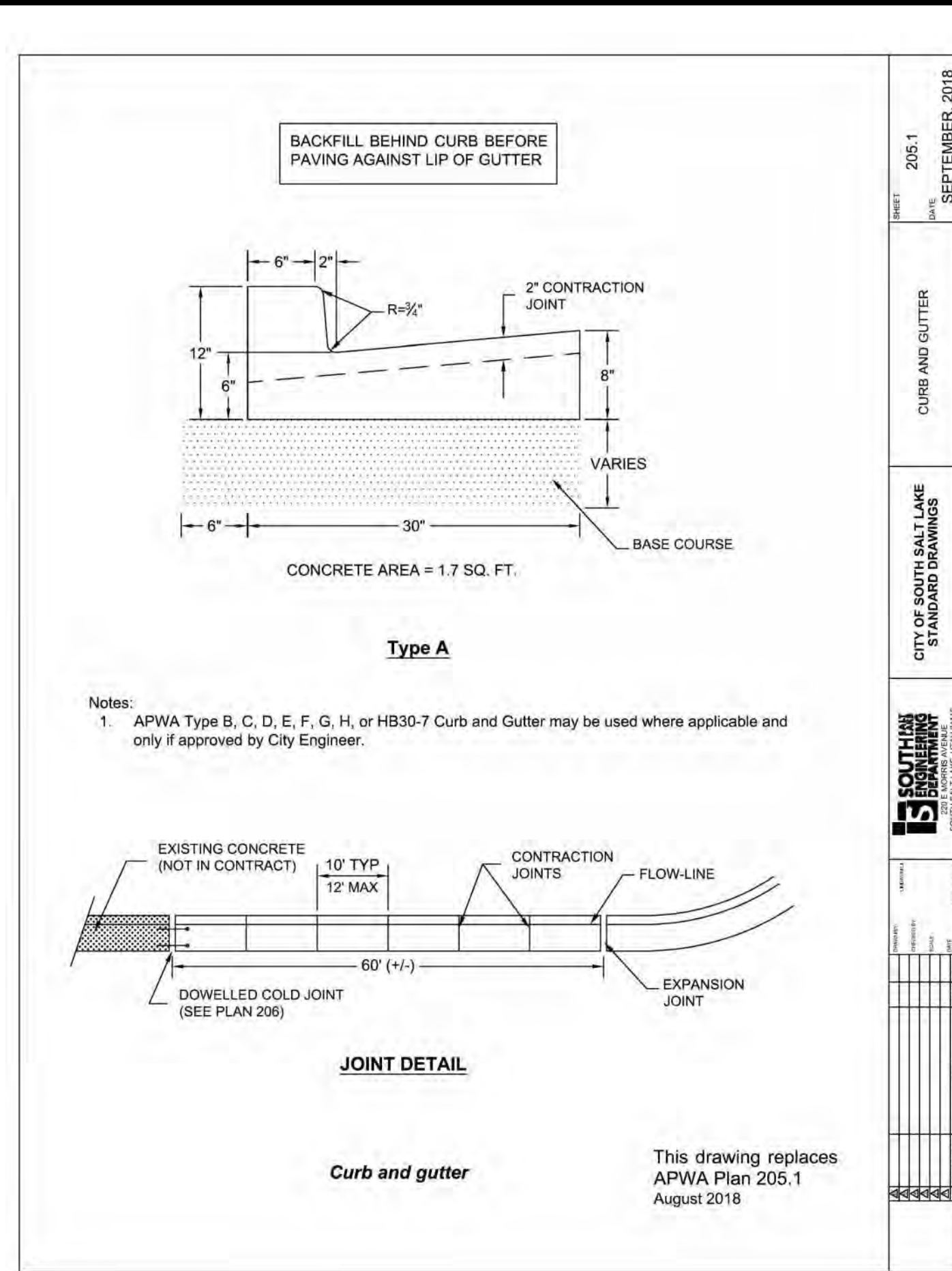
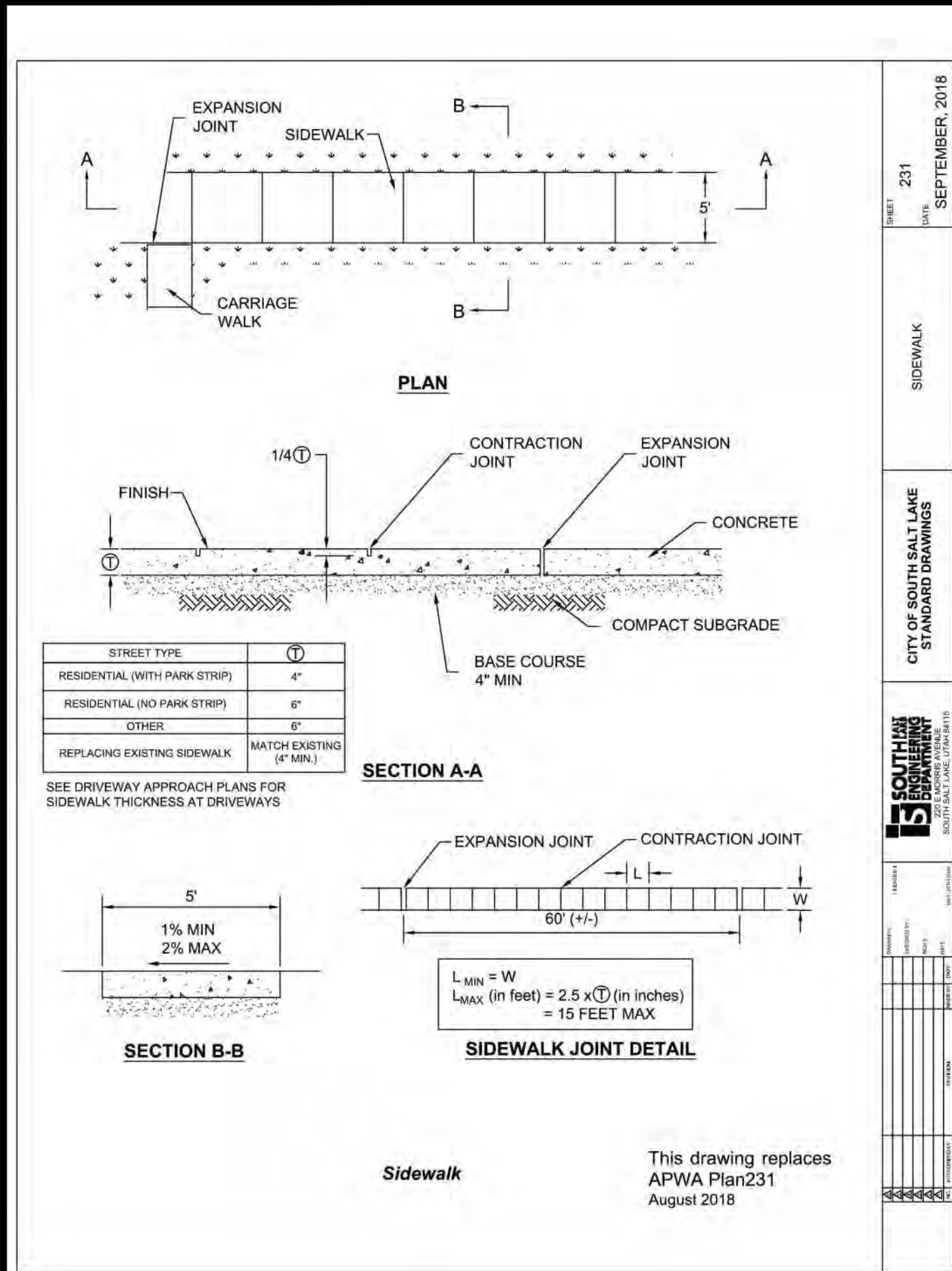
NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 -
DESIGNER: SDT PROJECT ENGINEER: SDT

AQUI 2194
2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
DETAIL SHEET



SHEET NO.
C4.0
PROJECT ID: E25-052
DATE: 05/01/25
FILE NAME: PRJ-SSLA
SCALE:



NO.	REVISIONS	BY	DATE

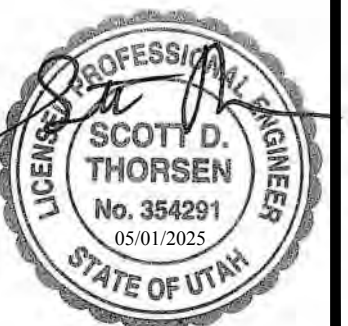
CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-5296

DESIGNER: SDT
PROJECT ENGINEER: SDT

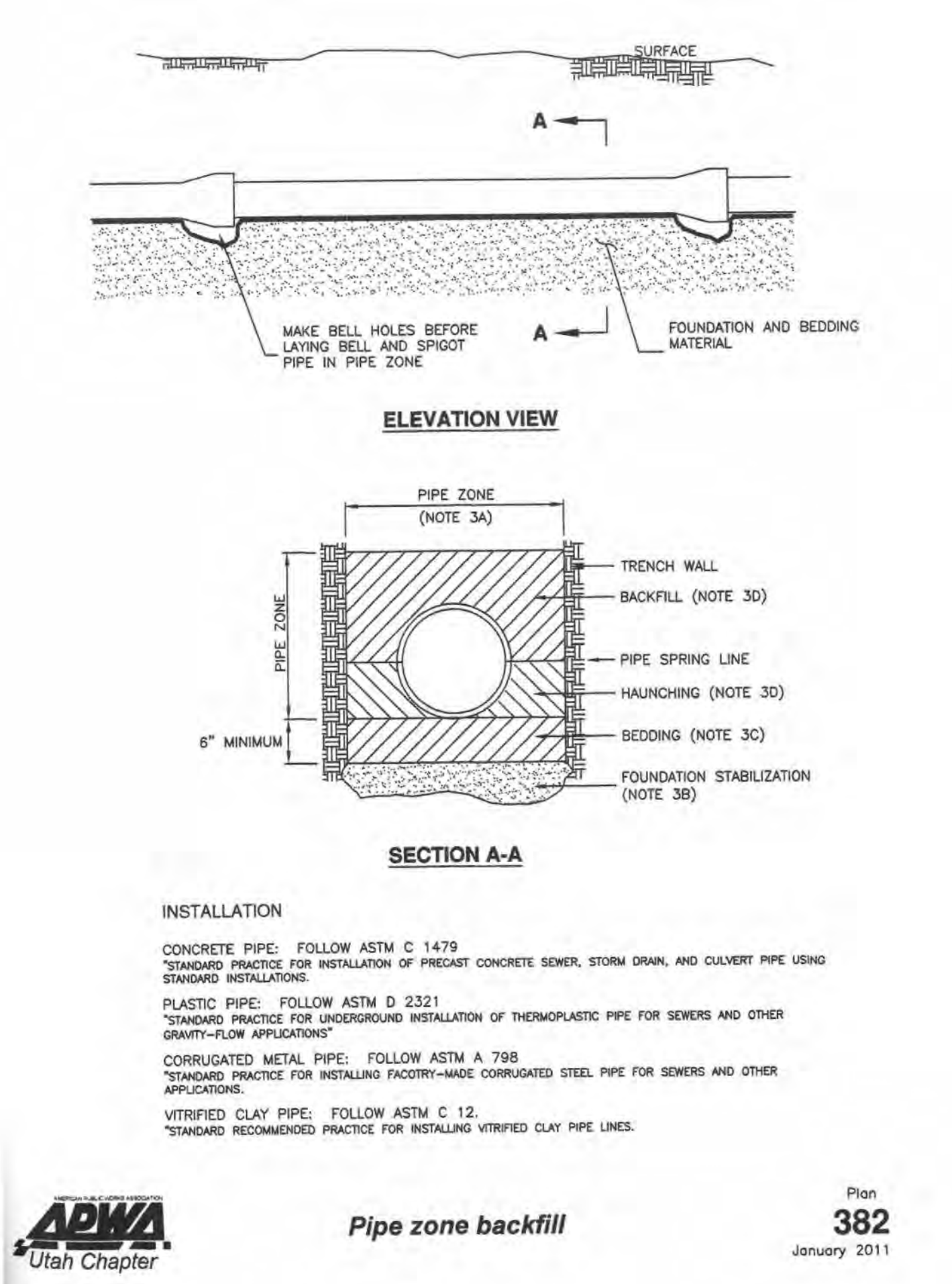
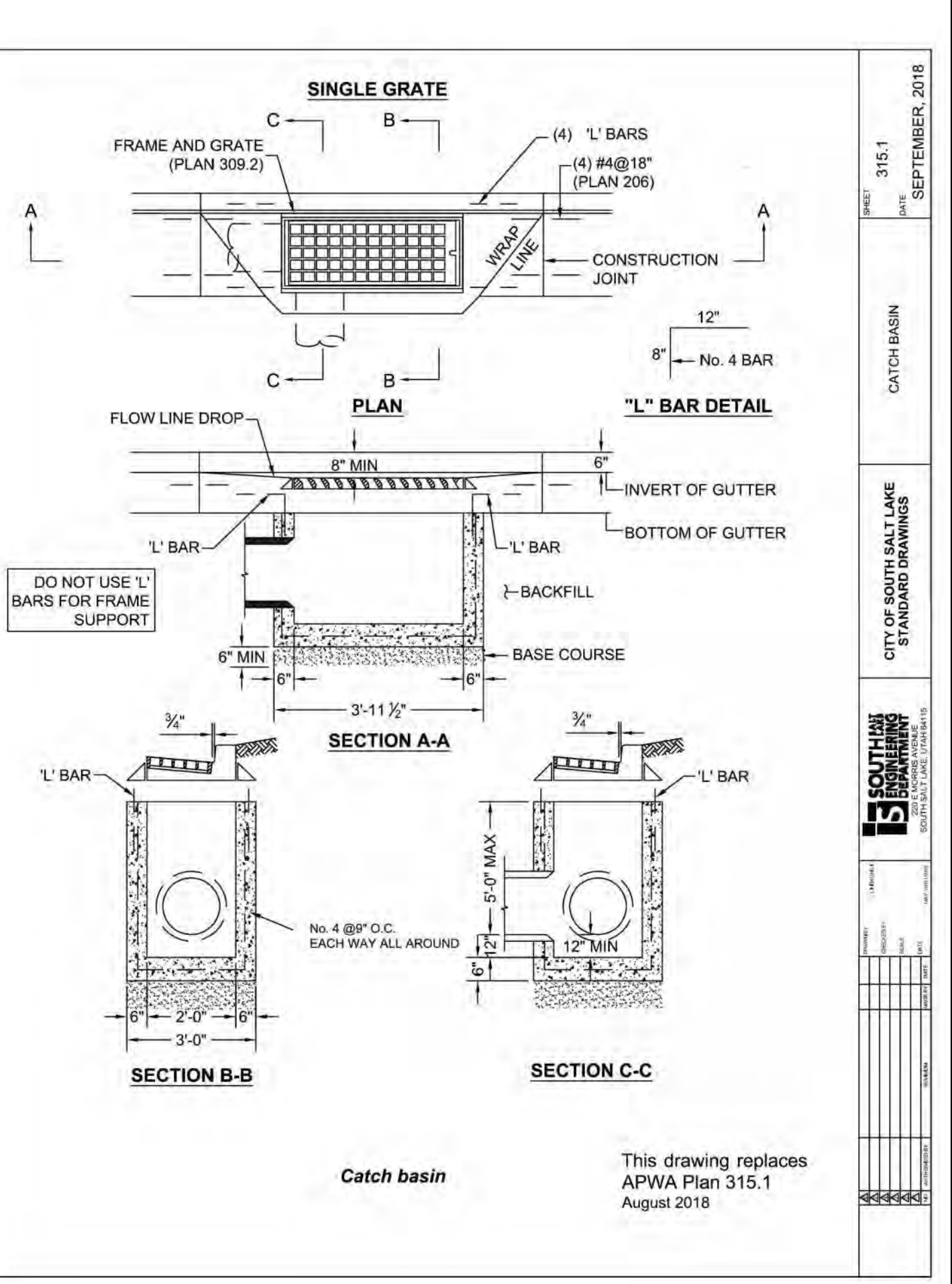
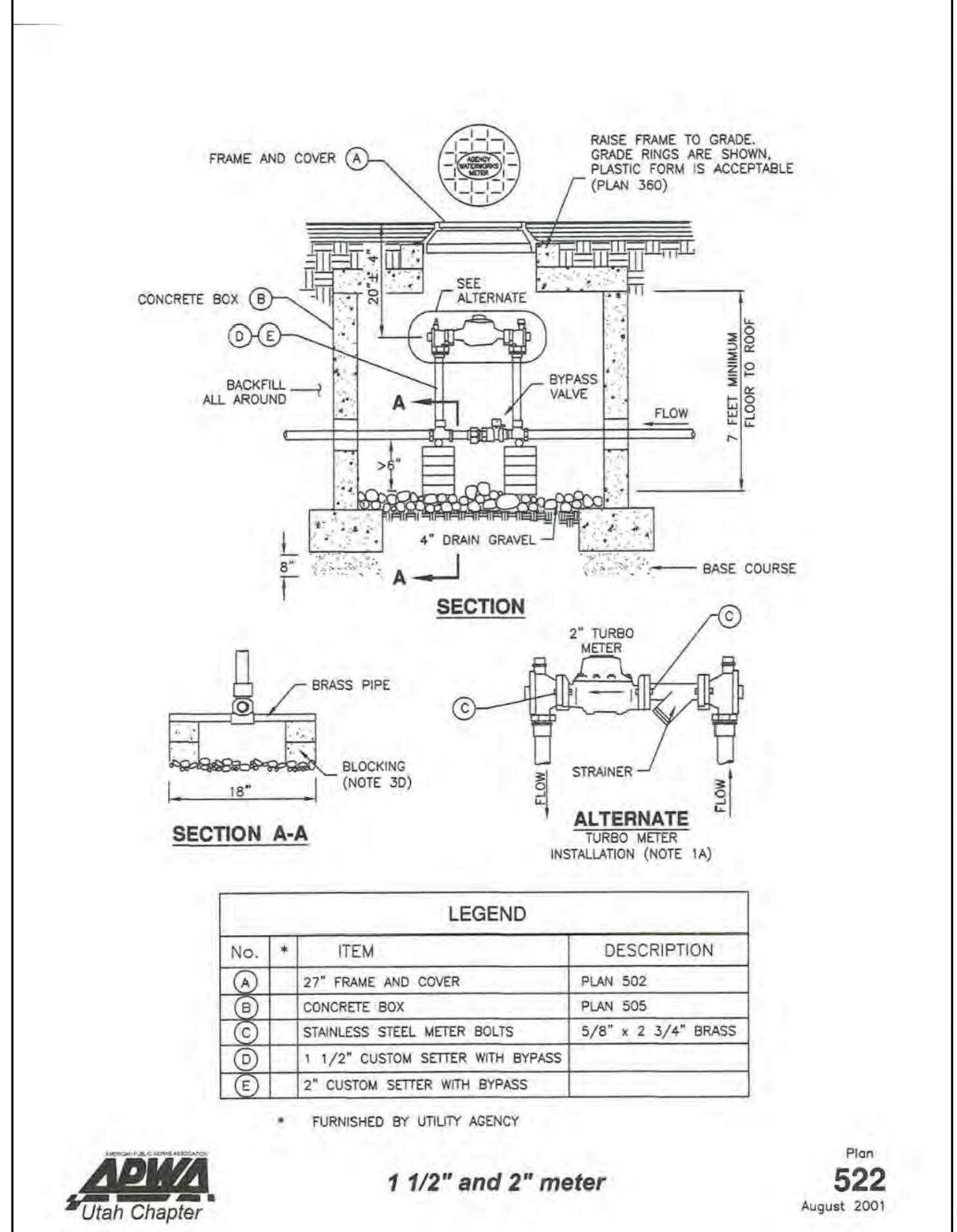
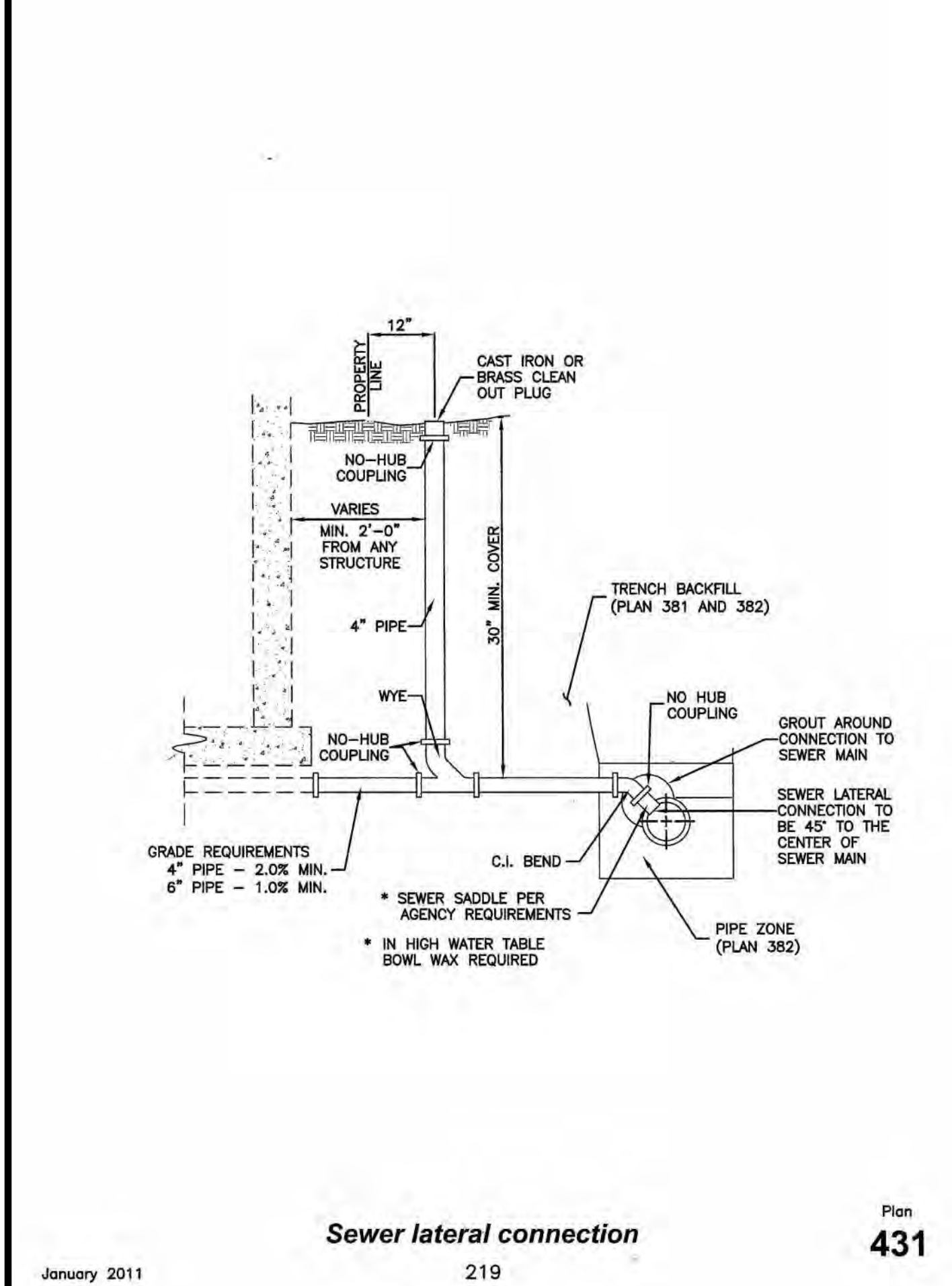
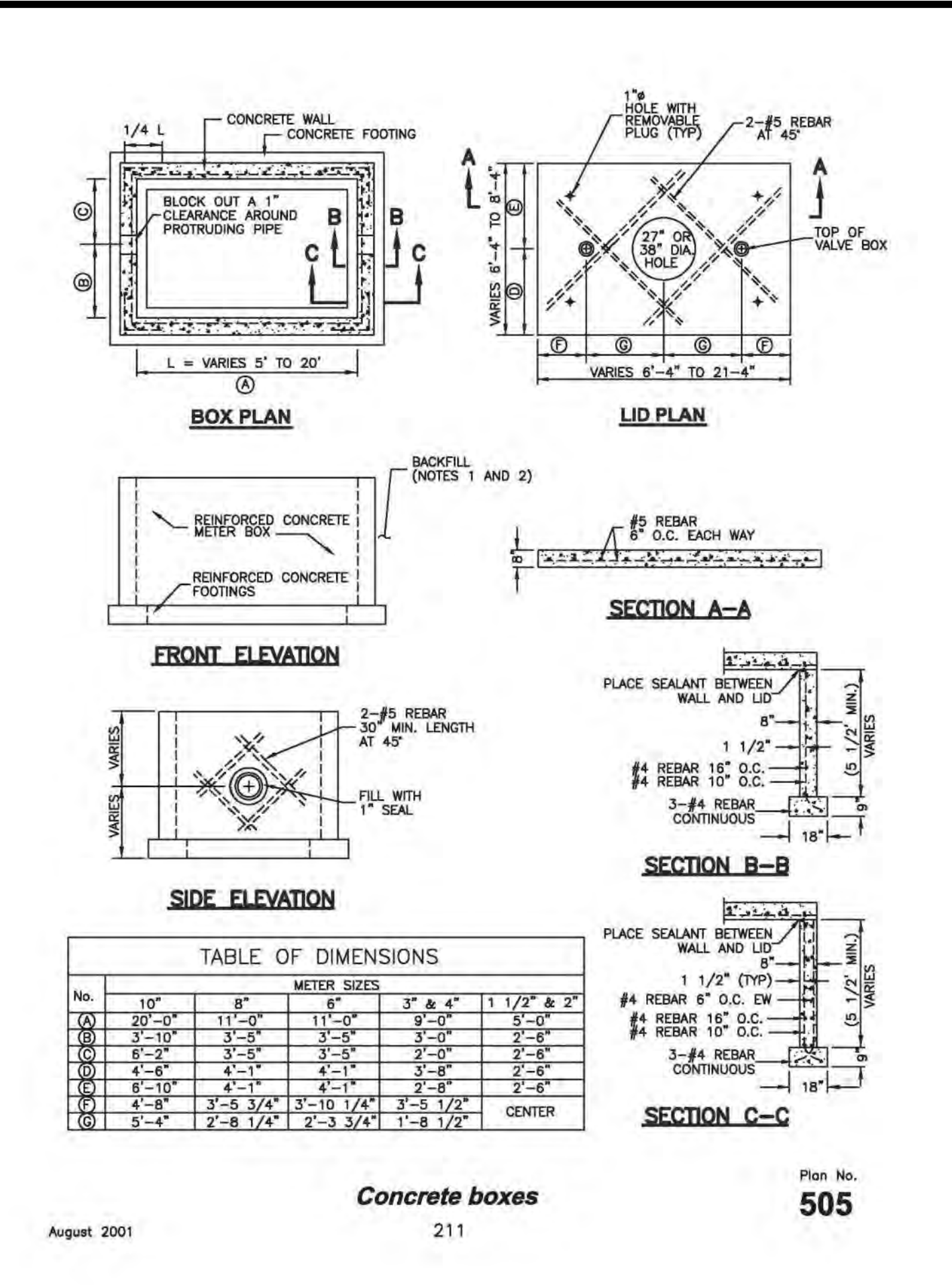
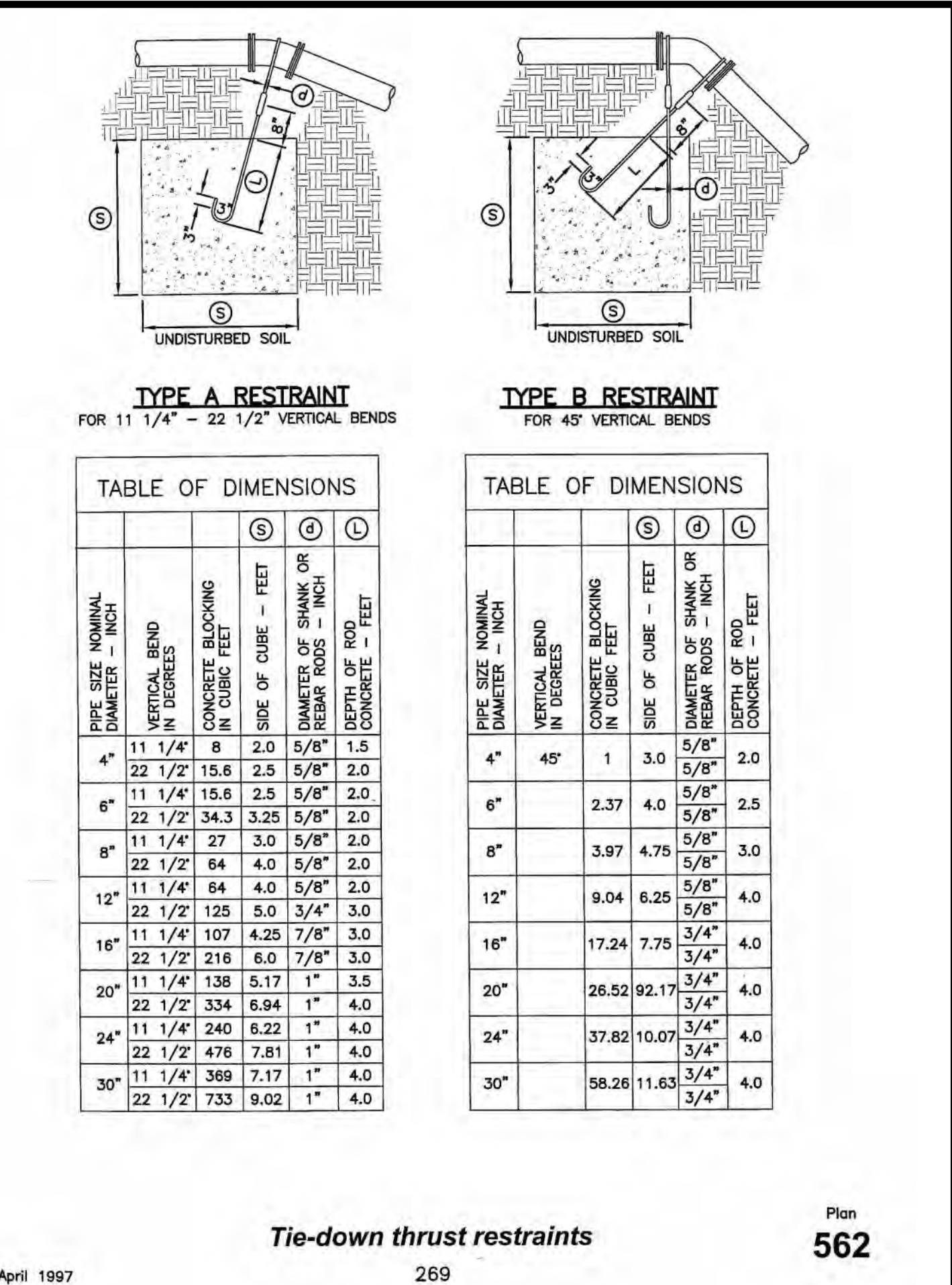
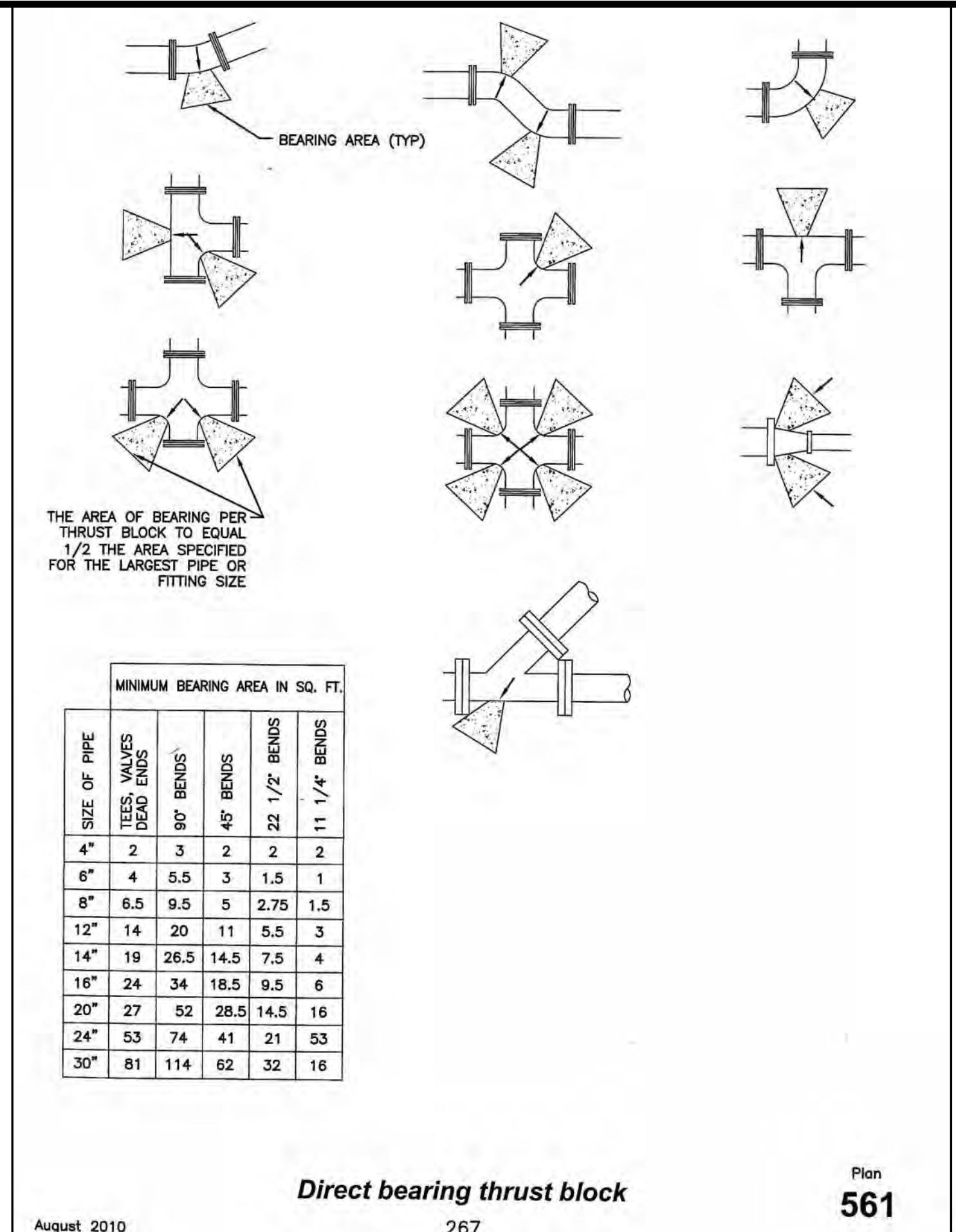
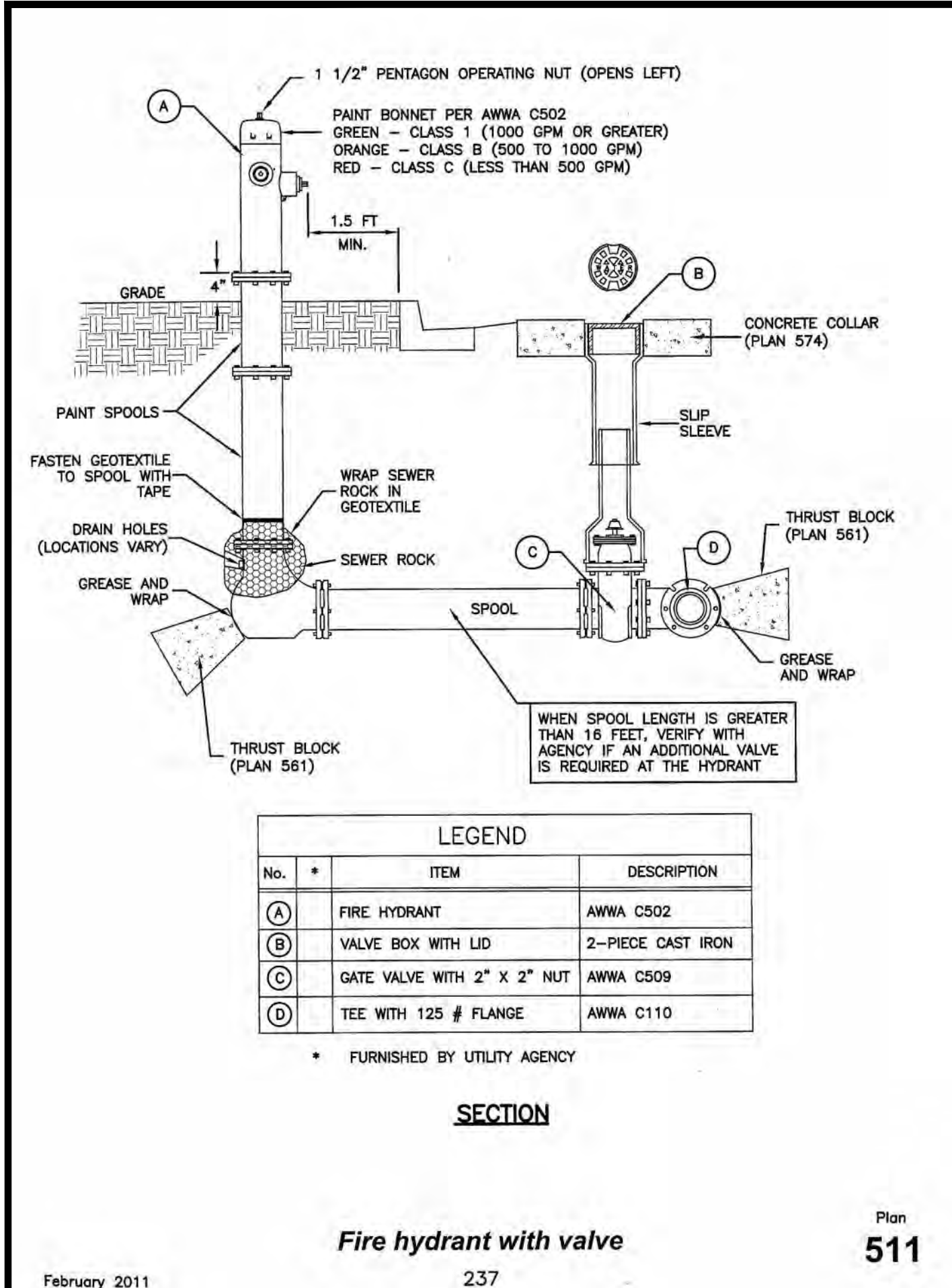
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2194 SOUTH WEST TEMPLE, SOUTH SALT LAKE, UTAH
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SHEET NO. C5.0

PROJECT ID: E25-052
DATE: 05/01/25

FILE NAME: PRJ-SSLA
SCALE:



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