



**FILE# 26-2-03**

**CUP - Accessory Building Footprint**

**ADDRESS:**

2051 E. and 2061 E. Murray Holladay Road

**LEGAL DESCRIPTION:**

Oakwood ACres Lot 16

**APPLICANT/REPRESENTATIVE:**

John Collier

**PROPERTY OWNER:**

Kent Lewin

**ZONING:**

R-1-10

**GENERAL PLAN DISTRICT:**

Low Density Residential-Stable (LDR-S)

**CITY COUNCIL DISTRICT:**

District #3

**PUBLIC NOTICE DETAILS:**

Published and Mailed 4/24/26

**REQUEST:**

Conditional Use Permit

**APPLICABLE REGULATIONS:**

13.03.020 CONDITIONAL USE – SUBMITTAL REQUIREMENTS  
13.08.040 CONDITIONAL USE PERMIT REVIEW/APPROVAL  
STANDARDS  
13.14.030 ACCESSORY USES  
Utah Code §10-20-505 Land Use, Development, and Management Act:  
CONDITIONAL USES

**EXHIBITS:**

- Site plan
- Staff Report
- Applicant submissions

**STAFF:**

Jon Teerlink

**DECISION TYPE:**

***Administrative:***

Public hearing required. PC shall make a motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

**SITE VICINITY MAP**



**Notes:**



# CITY OF HOLLADAY

EST. 1849 INC. 1999

## PLANNING COMMISSION | Item #1

**Date: May 5th, 2026**

**Request: Conditional Use - Accessory Building Footprint**

**Address: 5755 E Minden Drive**

**Applicant: John Collier**

**File No: 26-2-03**

**Planner: Jonathan Teerlink**

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### GOVERNING ORDINANCES:

13.03.020

[CONDITIONAL USE – SUBMITTAL REQUIREMENTS](#)

13.08.040

[CONDITIONAL USE PERMIT REVIEW/APPROVAL STANDARDS](#)

13.14.030

[ACCESSORY USES](#)

Utah Code §10-20-505

[Land Use, Development, and Management Act: CONDITIONAL USES](#)

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### REQUIRED PLANNING COMMISSION ACTION:

**Administrative.** The Planning Commission (PC) is the Land Use Authority and final approving body.

**Public hearing to be held.** In accordance with Holladay Ord. [13.06.050.B2](#) and [13.08](#). The PC shall make a motion of either a denial, approval or to continue the application. All motions shall be accompanied by findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements.

### SUMMARY

Holladay resident and property owner is seeking to convert an existing accessory building into an accessory dwelling unit. The size of the existing building to be converted is forcing the conditional use review and permitting process.

### BACKGROUND:

[Chart 13.14.101](#) of the City of Holladay zoning code provides that the allowable footprint for all accessory structures in residential backyards (eg. shed, garage, pool house, ADU etc.) must meet a maximum coverage limit. This provision is clarified in detail in Holladay Ord. [§13.14.030.D](#). This maximum footprint sizing (in aggregate) is predicated on property size(s) offering larger structures on/ larger properties – with appropriate setback from property lines. Applications meeting these standards may be reviewed and approved by city staff



## CITY OF HOLLADAY

EST. 1849 INC. 1999

Where an application is proposed to exceed the standards described above, or which measures greater than the footprint of the primary residential structure on lots measuring one half acre or less, the application must be reviewed by the Planning Commission as a conditional use pursuant to the provisions of section [13.08.040](#) of this title.

### REQUEST:

The applicant John Collier, representing the property owner, Kent Lewin is requesting the Planning Commission review their renovation project plan to convert the 1,350 sq.ft. existing garage/shop into Accessory Dwelling Unit. The renovation will not expand the current footprint and accommodate a dwelling unit and a garage.

The current footprint exceeds the Permitted accessory structure footprint by 500 square feet (max footprint of 850 sq.ft. on a lot size of .28 acres (12,196sqft).

Additionally, the building's current location on the lot does not comply with current setback standards.

The application, narrative, and site plan have been reviewed by the TRC and is presented for review by the Planning Commission according to Title 13 review provisions.

### TECHNICAL REVIEW COMMITTEE TRC ANALYSIS:

The Technical Review Committee (TRC) finds that the application for a Conditional Use Permit to be complete and provides the following analysis

#### **Zoning, City Planner:**

#### **Code analysis:**

##### 13.14.030: ACCESSORY USES

- A primary use is established on the property
- Accessory uses such as a secondary dwelling are allowed when incidental to a permitted residential use
- Accessory structures with a footprint over the 850 square feet max. size can be approved via the planning commission with conditions.
- The maximum lot coverage allowed for structures on a .28-acre (12,196 sq. ft) parcel is 3,780 sq. ft (31% of total lot area). The total size of the primary structure (1,765 sqft) and accessory building (1,350 sqft) is 3,115 sq ft. – determined compliant
- The proposed accessory structure is compliant with the maximum height of 20 feet for accessory structures
- Proposal includes various mitigation treatments which will allow for the reduced setback
  - Single floor structure with maximum 10' wall height
  - Other proposed buffering treatment - acoustic walls



## CITY OF HOLLADAY

EST. 1849 INC. 1999

### United Fire Authority (UFA), Area Fire Marshal:

- Furthest point of structure must be within 150 feet of approved fire access
- Fire code details to be reviewed at building permit submission

### Building Code, City Building Official

- All building codes for new structure to be reviewed at building permit submission

### Engineering Requirements, City Engineer

- none

### STANDARDS OF FINAL CONSIDERATION:

#### City of Holladay Code:

Administrative decision-making standards shall be based on the "substantial evidence" standard as follows (§13.06.050B):

- a. Any administrative land use application for which substantial evidence in the record shows compliance with requirements applicable to the application shall be approved.
- b. "Substantial evidence" is that quantity and quality of relevant evidence adequate to convince a reasonable mind to support a conclusion.

An administrative decision can include determinations of a conditional land use application. Determining conditional land use applications. The Planning Commission is authorized to approve conditional use permits as provided in section 13.08.040.

A public hearing is intended to further evaluate potential impacts, other than those described by staff in this report. Public comment should be considered as they find unique to the site and place reasonable conditions to mitigate those concerns voiced by the public. Any conditions applied must be reasonable, address the identified effect, and refer to the applicable standards of conditional uses within the City's code.

As larger accessory structures (whether singularly or collectively) proposed on properties in Holladay are reviewed in context of Conditional Use Standards (see H.C.C. § 13.08.040.F), any denial requires careful and specific reasons(ing) to withstand court scrutiny.

#### State of Utah Code:

The State of Utah has created statutes within Utah's state code that govern the Land Use Authorities role when determining conditional uses (*Section §10-20-505*), including:

- *"A municipality may adopt a land use ordinance that includes conditional uses and provisions for conditional uses that require compliance with objective standards set forth in an applicable ordinance".*
- *"A municipality may not impose a requirement or standard on a conditional use that conflicts with a provision of this chapter or other state or federal law.*



## CITY OF HOLLADAY

EST. 1849 INC. 1999

- *“A land use authority shall approve a conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards”*
- *“The requirement described in Subsection (2)(a)(i) to reasonably mitigate anticipated detrimental effects of the proposed conditional use does not require elimination of the detrimental effects.” (§10-20-506(2)(a)(ii))*

### STAFF RECOMMENDATION

Accessory buildings over the permitted footprint size are given additional oversight through the public process and review of staff and the Planning Commission to place reasonable conditions that directly mitigate any potential impacts. Utah State Law does not require the impacts of conditional use to be eliminated.

The Planning Commission is authorized to approve conditional use permits as provided in section 13.08.040. Denial of a conditional use permit application should only occur, *“if the anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use permit shall be denied.”*

Any conditions placed must be directly related to an identified impact. If the commission finds that the applicant is willing to and can meet any of the potential conditions discussed during the public meeting, the following findings of approval may be made

The TRC recommends the PC to hold the required public hearing (as required 13.08.040). A neighborhood meeting is not required for this type of application. Public comments offered during the hearing should be considered within the context of the set approval standards mentioned above and may be used to form possible discussion points for generations of additional findings and/or conditions. Additional considerations or conditions, if any, should be applied carefully and reasonably as per 13.08.040.F.

The Holladay TRC has provided the planning commission suggesting findings and conditions to consider.

### FINDINGS:

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- The use of the property is compliant with the underlying land use zone (R-1-10)
- A primary residential use has been established on the property
- An accessory dwelling unit is an allowed use as incidental to the primary residential use
- The total accessory structure footprint meets R-1-10 coverage allowances
- The proposal applies the required additional treatments to mitigate non-conforming setback



# CITY OF HOLLADAY

EST. 1849 INC. 1999

## CONDITIONS:

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- Accessory buildings to retain its residential use and appearance
- All lighting shall comply with Outdoor lighting ordinance §13.84
- Accessory structure to comply with all zoning standards including height, massing and scale, setbacks, graduated height, lot coverage, and lighting
- Property owner shall file a signed agreement detailing the context/treatment applied and the resulting setback distance with the Community and Economic Development department §13.14031.C3.
- A building permit is required for the renovation project. Certificate of Occupancy shall be obtained by the Building Official.
- Vegetation, including trees or tall shrubs to be planted in the rear and side setbacks against neighboring properties.
- Use of the ADU shall comply with all Holladay land use ordinances and all applicable licensing requirements
- Conditions or complaints found to be in violation of set standards will require re-review by the planning commission or possible revocation of this permit as determined by the Community Development Director.

## SUGGESTED MOTIONS:

City staff have prepared the following motion(s) as a convenience for the Planning Commission's consideration.

A motion to approve or deny:

*"I \_\_\_\_ move to (approve / continue for further discussion) the **CONDITIONAL USE PERMIT** application by \_\_\_\_ for an **accessory building footprint of \_\_\_\_** located at \_\_\_\_ in the \_\_\_\_ zone, based upon the findings that...*

*... and subject to the following conditions ... "*



## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Holladay Planning Commission will hold a public hearing on **Tuesday, the 5th day of May, 2026 as close to 6:00 P.M.** as possible. The purpose of the hearing is to open a comment period while the commission reviews a conditional use permit located at 5755 S Minden in the R-1-10 zone

Review and consideration of a request for a Conditional Permit allowing an existing detached accessory building with a footprint size larger than normally permitted in order to convert the structure to an accessory dwelling unit. Item reviewed as an administrative application as per provisions stated in Holladay Ordinance §13.14.030 & 13.08.040 13.14.030.E & 13.08.040

The packet with information regarding this application will be available for public inspection on the City's website [www.holladayut.gov](http://www.holladayut.gov) and at the Community Development Dept. during normal business hours three days prior to the scheduled meeting.

**Please note, this meeting will be held at City of Holladay's temporary location, 3330 South 1300 East, Millcreek Utah. No meetings will be held at 4580 S 2300 East.**

The public can remotely watch the [Live Stream](#) of the meeting. To provide a public comment or to comment on any public hearing, you have the following options:

1. In-person attendance at *temporary City Hall location 3300 S. 1300 E.* or
2. Email your comments by 5:00 PM on the date of the meeting to [cmarsh@holladayut.gov](mailto:cmarsh@holladayut.gov) or call 801527-3890.

### ***CERTIFICATE OF POSTING***

*I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted at City Hall, the City website [www.holladayut.gov](http://www.holladayut.gov) the Utah Public Notice website [www.utah.gov/pmn](http://www.utah.gov/pmn), and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.*

**DATE POSTED: [ date ]**

*Stephanie N. Carlson MMC,  
City Recorder City of Holladay*  
NOTICE OF PUBLIC HEARING

**CITY OF HOLLADAY**  
COMMUNITY AND  
ECONOMIC DEVELOPMENT DEPARTMENT  
4580 South 2300 East  
Holladay, Utah 84117  
801.527.3890

## NOTICE of PUBLIC HEARING PLANNING COMMISSION



BLUE DRAGON LIV TR HALLBERG, BRUCE A JR;  
1669 E MERRIBEE WY  
HOLLADAY UT, 84121-1223

CITY OF  
**HOLLADAY**  
40°40'16.59"N 111°49'30.40"W EST. 1849 INC. 1999

**CITY OF HOLLADAY**  
COMMUNITY AND  
ECONOMIC DEVELOPMENT DEPARTMENT  
4580 South 2300 East  
Holladay, Utah 84117  
801.527.3890

## NOTICE of PUBLIC HEARING PLANNING COMMISSION



VANAMERONGEN, JOHN G  
1681 E MERRIBEE WY  
HOLLADAY UT, 84121-1223

CITY OF  
**HOLLADAY**  
40°40'16.59"N 111°49'30.40"W EST. 1849 INC. 1999

## NOTICE OF A PUBLIC HEARING

### Conditional Use – Accessory Building

**Date:** **Tuesday, May 5<sup>th</sup>, 2026**  
**Time:** **As close to 6:00 pm as possible**  
**Location:** **Temporary City Hall – 3330 S. 1300 E. Millcreek**  
**Hearing Body:** **Planning Commission**

Notice is hereby given that the City of Holladay Planning Commission will conduct a public hearing during Review and consideration of a request for a Conditional Permit allowing an existing detached accessory building with a footprint size larger than normally permitted in order to convert the structure to an accessory dwelling unit. Item reviewed as an administrative application as per provisions stated in Holladay Ordinance §13.14.030 & 13.08.040 13.14.030.E & 13.08.040

**\*\*No zone or ordinance change is proposed in conjunction with this application. \*\***

Please submit comments via email by 5:00 pm 05/04/2026 to Carrie Marsh, [jteerlink@holladayut.gov](mailto:jteerlink@holladayut.gov). Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Website.

ATTENTION: This notice was mailed on 04/24/2026 by order of the Community and Economic Development Director, Jonathan Teerlink, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.



## NOTICE OF A PUBLIC HEARING

### Conditional Use – Accessory Building

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176-154

176-155

176-156

251-016

251-017

1441

E MICHELLE WAY

176-157

177-001

252-001

252-002

176-158

177-002

252-006

176-159

177-003

22-16

252-005

176-160

177-004

252-004

330-005

S VANWAY RD  
S VANWAY BLVD

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330-002

330-008

330-007

401-002

S VANWAY BLVD

402-016

402-002

S MINDEN DR

252-001

177-002

22-16

177-003



## Carrie Marsh

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**From:** John Collier  
**Sent:** Friday, April 17, 2026 3:49 PM  
**To:** Carrie Marsh  
**Subject:** Lewin ADU  
**Attachments:** 5755 Minden Drive Survey.pdf; Lewin PPlan.pdf

### [External Email - Use Caution]

Hello Carrie,

Here is the information you requested for the Lewin ADU conversion at 5755 S Minden Drive. The structure is existing and over the 850 s.f. maximum so we'll need a conditional use permit. The structure is under the 4' setback on the south side and our remedy for that will be upgraded energy efficient material to reduce sound transmission. We will be adding a window on the east side of the building but the average setback of the window will be over 12', so well over the 4' minimum. Please let me know if there is anything else you need.

Thanks,  
John Collier

# JOHN COLLIER BOUNDARY SURVEY

LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 16,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
5755 SOUTH MINDEN DRIVE, HOLLADAY, SALT LAKE COUNTY, UTAH

## SURVEYOR'S CERTIFICATE

I, SATTAR N. TABRIZ A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 155100, IN ACCORDANCE WITH THE LAWS OF THE STATE OF UTAH HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE HEREON DESCRIBED TRACT OF LAND AND THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF SAID SURVEY.

SATTAR N. TABRIZ, PLS.  
UTAH LICENSE NO.: 155100

DRAWN BY: FWK  
FIELD CREW: FWK  
CHECKED BY: SNT  
DATE: 2/12/26

CLIENT: COLLIER, JOHN  
DWG: SURVEY BASE.DWG  
JOB No: 6814-XXXX-26  
DRAWING IS REDUCED IF LESS THAN 22"x34"  
DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALE.

## SURVEYOR'S NARRATIVE

THIS SURVEY WAS PERFORMED AT THE REQUEST OF THE CLIENT TO ESTABLISH THE PROPERTY LINES OF LOT 16, OAKWOOD ACRES SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, STATE OF UTAH.

THE PURPOSE OF THIS SURVEY WAS TO LOCATE AND VERIFY THE BOUNDARY OF THE SUBJECT PARCEL AS DESCRIBED ON THE RECORDED SUBDIVISION PLAT AND TO SET OR VERIFY BOUNDARY MONUMENTS AT EACH LOT CORNER.

## GENERAL NOTES

- NO TITLE COMMITMENT WAS SUPPLIED TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- THIS MAP IS NOT PROOF OF OWNERSHIP.
- THIS MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT MAY EXIST BY AND BETWEEN THE ADJOINING LAND OWNERS.
- COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED DIMENSIONS TAKEN FROM ACTUAL FIELD MEASUREMENTS, UNLESS CONTAINED WITHIN PARENTHESIS INDICATING A RECORD COURSE OR DISTANCE. RECORD INFORMATION IS TAKEN FROM MAPS, PLATS, DEEDS OF RECORD, OR OTHER SOURCES OF RECORD INFORMATION.

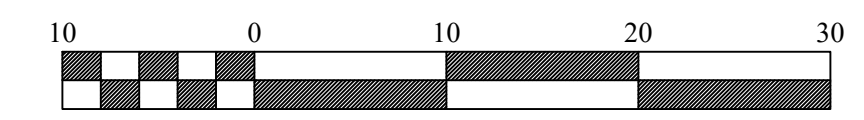
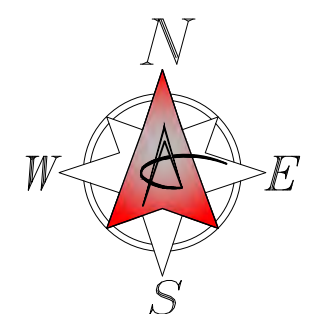
## LEGAL DESCRIPTION

ENTRY NO. 13200402

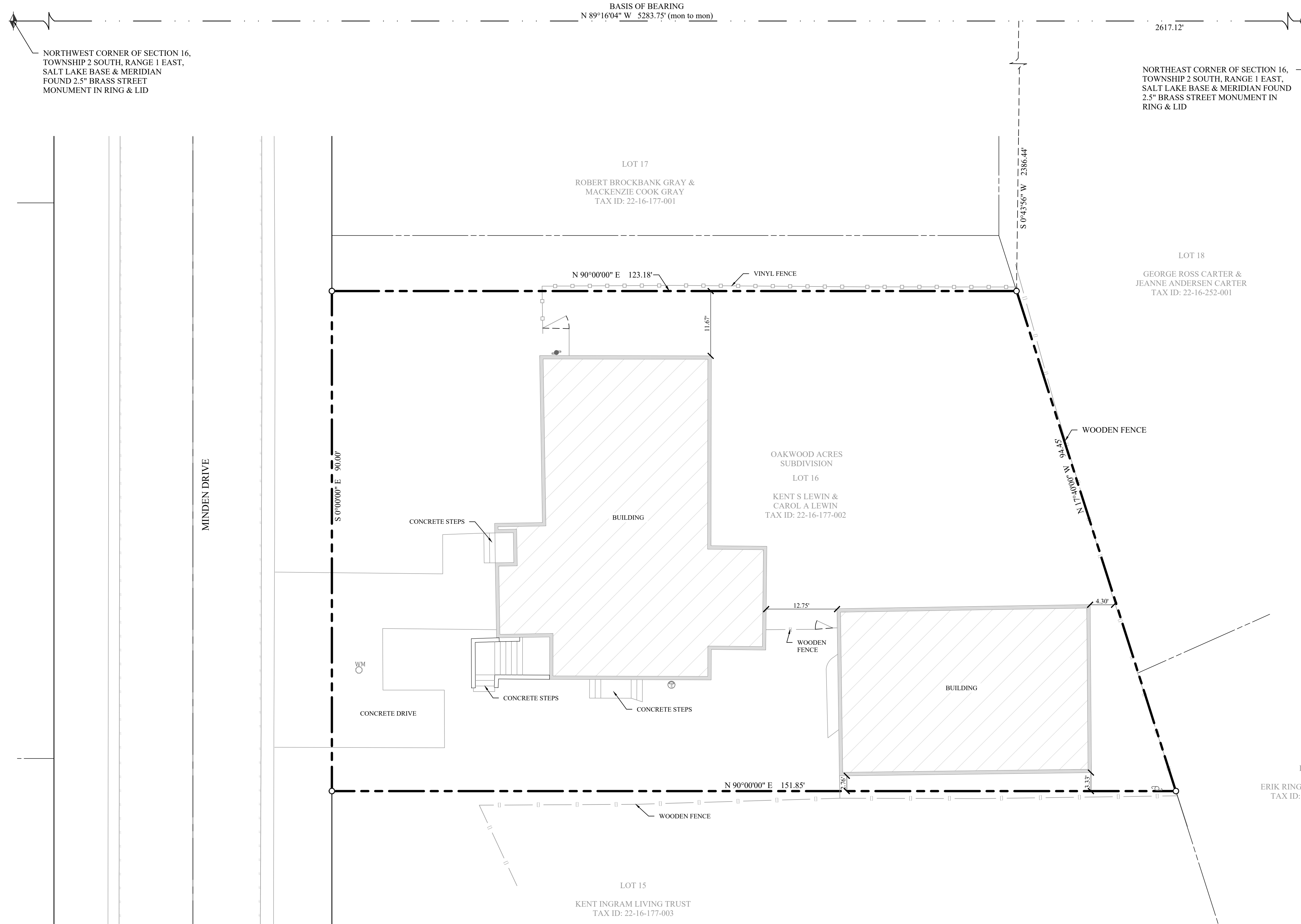
THE SOUTH 90 FEET OF LOT 16, OAKWOOD ACRES SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

## MAP LEGEND

BOUNDARY LINE	
SECTION LINE	
QUARTER SECTION LINE	
CENTERLINE	
RIGHT OF WAY	
LOT LINE	
DEED LINE	
RADIAL LINE	
FENCE LINE (VINYL)	
FENCE LINE (WOOD)	
CONCRETE	
ASPHALT	
MONUMENT	
LEAD PLUG	
BOUNDARY CORNER	
POWER POLE	
WATER METER	
GAS METER	
POWER METER	



Scale 1" = 10'



NORTHWEST CORNER OF SECTION 16,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE & MERIDIAN  
FOUND 2.5" BRASS STREET  
MONUMENT IN RING & LID

NORTHEAST CORNER OF SECTION 16,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE & MERIDIAN FOUND  
2.5" BRASS STREET MONUMENT IN  
RING & LID

## BOUNDARY SURVEY JOHN COLLIER

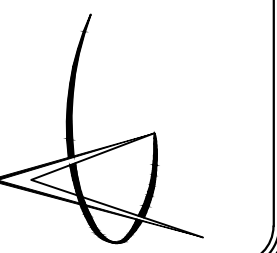
LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 16,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
5755 SOUTH MINDEN DRIVE, HOLLADAY, SALT LAKE COUNTY, UTAH

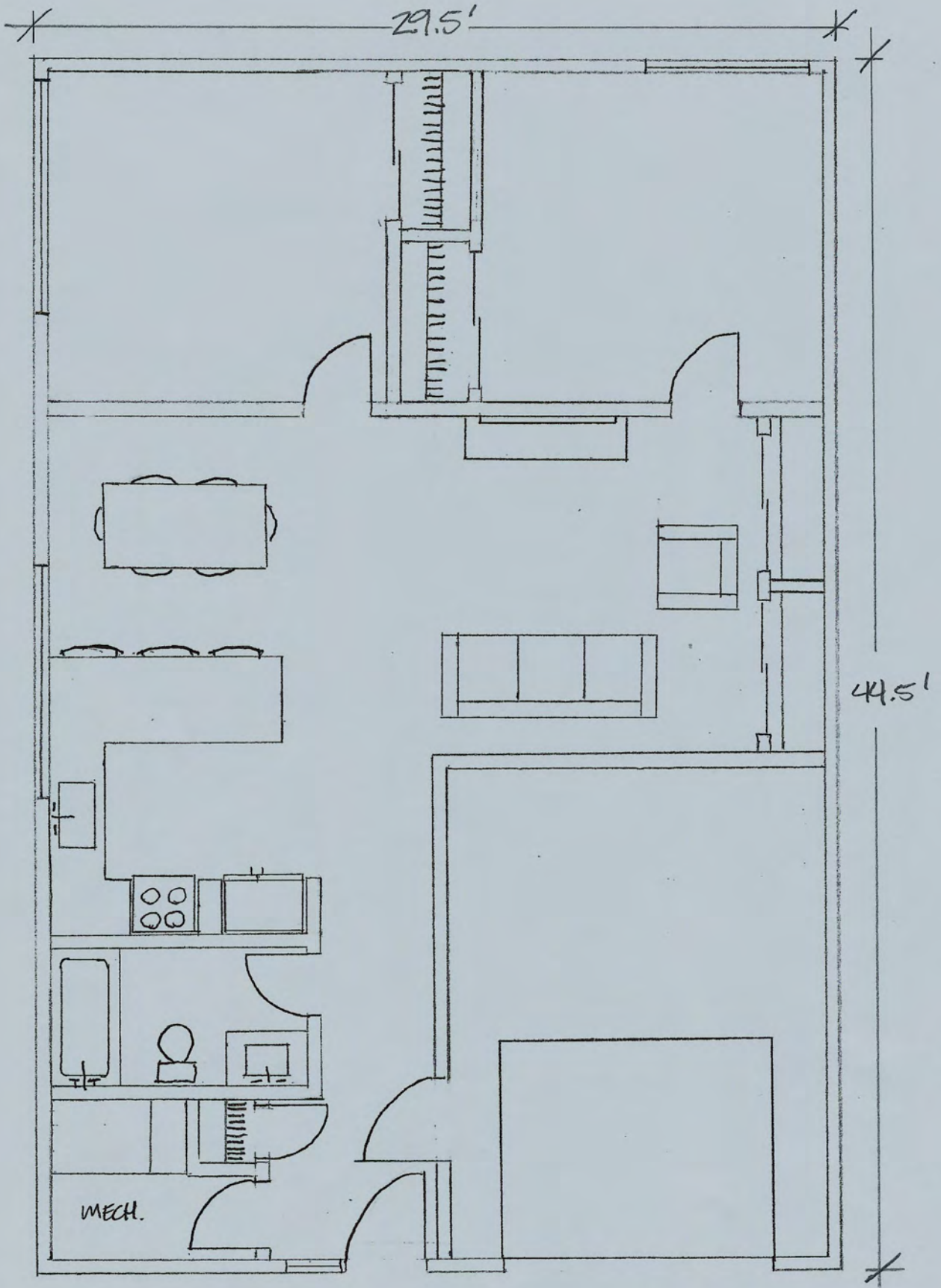
## REVISIONS

No.	DATE	BY	REVISION

tel (801) 487-8040 231 West 800 South  
fax (801) 487-8668 Salt Lake City, UT 84119  
www.wardeng.com

**Ward Engineering Group**  
Planning • Engineering • Surveying  
Since 1961





LEWIN ADA  
3/16" = 1'  
975 sq. ft. living space



**FILE# 26-2-02**

**HOLLADAY CREST MIXED-USE PLANNED UNIT DEVELOPMENT**

**ADDRESS:**

2051 E. and 2061 E. Murray Holladay Road

**LEGAL DESCRIPTION:** 22-10-103-007 and 22-10-103-008

LOT 2, GREEN MEADOWS. ALSO COM AT SE COR SD LOT 2; E 10 FT; N 0°02'52" W 82 FT; S 89°48' E 15.166 FT; N 0°02'52" W 51.2 FT; S 83°30' W 25.33 FT; S 0°02'52" E 130.04 FT TO BEG. ALSO COM AT SW COR SD LOT 2; NLY ALG W LINE SD LOT 2 120.76 FT; S 83°30' W 10.34 FT; S 0°02'52" E 119.87 FT; E 10.33 FT TO BEG 4516-0211 5370-1289 6167-0806 6589-1812 8573-1454 8573-1478 9222-0239 9233-6729 09552-3548

BEG N 0°02'52" W 7 FT FR SE COR LOT 1, GREEN MEADOWS SUB; N 0°02'52" E 133.01 FT M OR L; S 83°30' W 60.22 FT M OR L; S 0°02'52" E 51.2 FT; N 89°48' W 15.166 FT; S 0°02'52" E 75 FTE 75 FT TO BEG. (BEING PART OF LOT 1, GREEN MEADOWS SUB) 6522-2189 7721-1739 9492-5232,5234

**APPLICANT/REPRESENTATIVE:**

Bradley Helston

**PROPERTY OWNER:**

2061 Holladay LLC, 2051 Holladay LLC

**ZONING:**

PO - Professional Office

**GENERAL PLAN DISTRICT:**

Community Mixed-Use

**CITY COUNCIL DISTRICT:**

District #1

**PUBLIC NOTICE DETAILS:**

Published and Mailed 4/24/26

**REQUEST:**

PUD Mixed-use and Site Plan Review

**APPLICABLE REGULATIONS:**

- 13.06 DEVELOPMENT REVIEW & APPROVAL PROCEDURES - ADMINISTRATIVE
- 13.08 ADMINISTRATIVE DEVELOPMENT REVIEW STANDARDS
- 13.44 PROFESSIONAL OFFICE ZONE
- 13.78 PLANNED UNIT DEVELOPMENT
- 13.08.040 CONDITIONAL USE PERMIT

**EXHIBITS:**

- Zone map
- Staff Report
- Applicant submissions

**STAFF:**

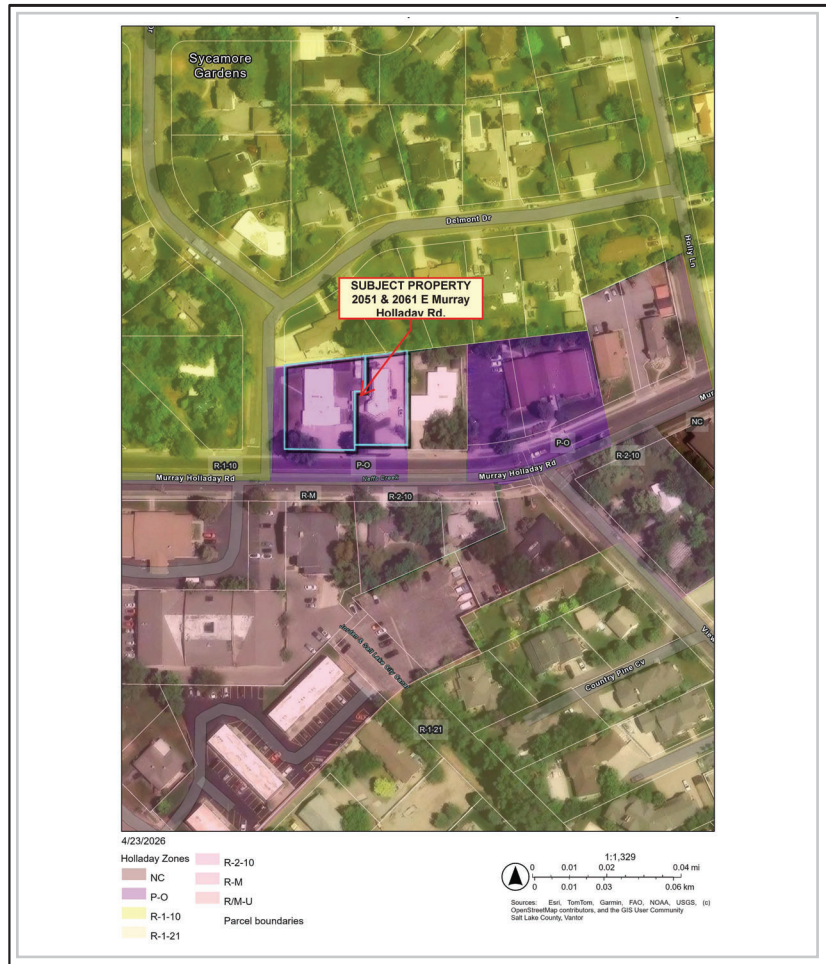
Carrie Marsh, City Planner

**DECISION TYPE:**

**Administrative:**

Public hearing required. PC shall make a motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

**SITE VICINITY MAP**



**Notes:**



## NOTICE OF A PUBLIC HEARING

### Conditional Site Plan Review for a Mixed-Use Development

**Date:** **Tuesday, May 5<sup>th</sup>, 2026**  
**Time:** **As close to 6:00 pm as possible**  
**Location:** **Temporary City Hall – 3330 S. 1300 E. Millcreek**  
**City Council Chambers**  
**Hearing Body:** **Planning Commission**

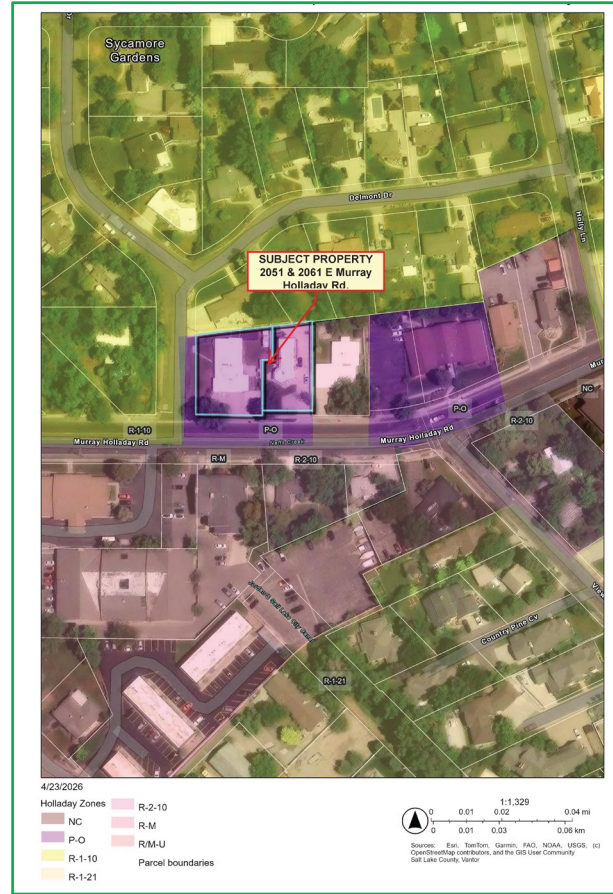
Notice is hereby given that the City of Holladay Planning Commission will conduct a public hearing during review and consideration of a conditional **mixed-use development** located at **2051 E. and 2061 E. Murray Holladay Rd.** (.49 acres or 21,344.4 sq. ft) in the Professional Office zone. The proposal involves a primary use of professional offices on the main floor and an accessory use of seven residential dwelling units. This application will be reviewed by the Planning Commission for compliance with Holladay Ordinances 13.08 and 13.44.

**\*\*No zone or ordinance change is proposed in conjunction with this application. \*\***

Please submit comments via email by 5:00 pm 05/04/2026 to Carrie Marsh, [cmarsh@holladayut.gov](mailto:cmarsh@holladayut.gov). Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

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**City Council Chambers**

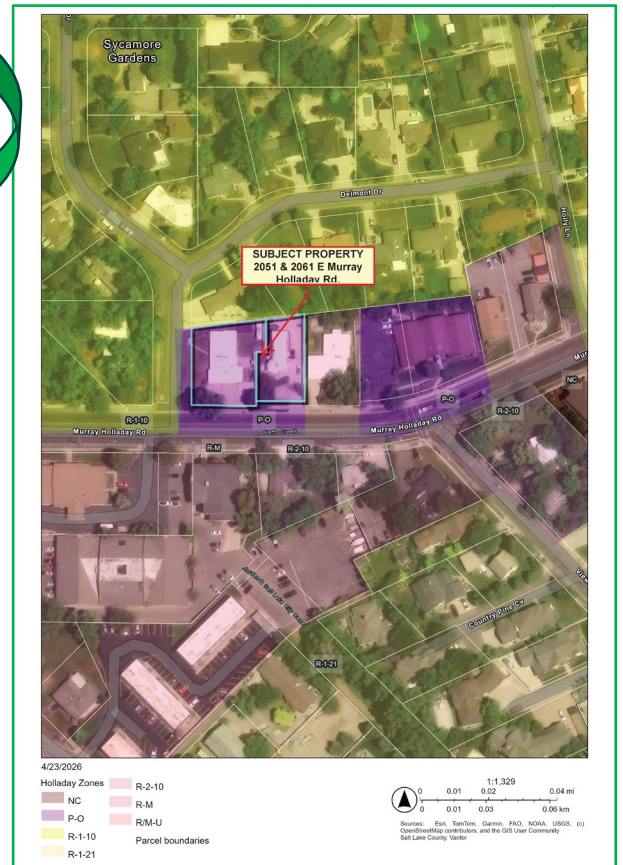
Notice is hereby given that the City of Holladay Planning Commission will conduct a public hearing during review and consideration of a conditional **mixed-use development** located at **2051 E. and 2061 E. Murray Holladay Rd.** (.49 acres or 21,344.4 sq. ft) in the Professional Office zone. The proposal involves a primary use of professional offices on the main floor and an accessory use of seven residential dwelling units. This application will be reviewed by the Planning Commission for compliance with Holladay Ordinances 13.08 and 13.44.

**\*\*No zone or ordinance change is proposed in conjunction with this application. \*\***

Please submit comments via email by 5:00 pm 05/04/2024 to Carrie Marsh, [cmarsh@holladayut.gov](mailto:cmarsh@holladayut.gov). Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Website.

**ATTENTION:** This notice was mailed on 04/24/2024 by order of the Community and Economic Development Director, Jonathan Teerlink, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.





## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Holladay Planning Commission will hold a public hearing **Tuesday, the 5th day of May, 2026 as close to 6:00 P.M.** as possible. The purpose of the hearing is to open a comment period while the commission reviews a conditional **mixed-use development with its associated site plan** located at **2051 E. and 2061 E. Murray Holladay Rd.** in the Professional Office zone.

The proposal involves the primary use of professional offices on the main floor and an accessory use of seven residential dwelling units. This application will be reviewed by the Planning Commission for compliance with Holladay Ordinances 13.08 and 13.44.

The packet with information regarding this application will be available for public inspection on the City's website [www.holladayut.gov](http://www.holladayut.gov) and at the Community Development Dept. during normal business hours three days prior to the scheduled meeting.

**Please note, this meeting will be held at City of Holladay's temporary location, 3330 South 1300 East, Millcreek Utah. No meetings will be held at 4580 S 2300 East.**

The public can remotely watch the [Live Stream](#) of the meeting. To provide a public comment or to comment on any public hearing, you have the following options:

1. In-person attendance at *temporary City Hall location 3300 S. 1300 E.* or
2. Email your comments by 5:00 PM on the date of the meeting to [cmarsh@holladayut.gov](mailto:cmarsh@holladayut.gov) or call 801527-3890.

### ***CERTIFICATE OF POSTING***

*I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted at City Hall, the City website [www.holladayut.gov](http://www.holladayut.gov) the Utah Public Notice website [www.utah.gov/pmn](http://www.utah.gov/pmn), and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.*

**DATE POSTED:** [ date ]

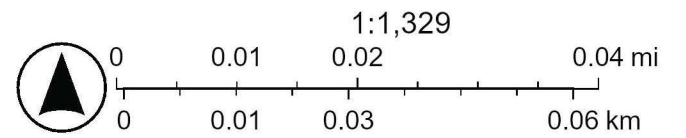
*Stephanie N. Carlson MMC,*

*City Recorder City of Holladay*

NOTICE OF PUBLIC HEARING

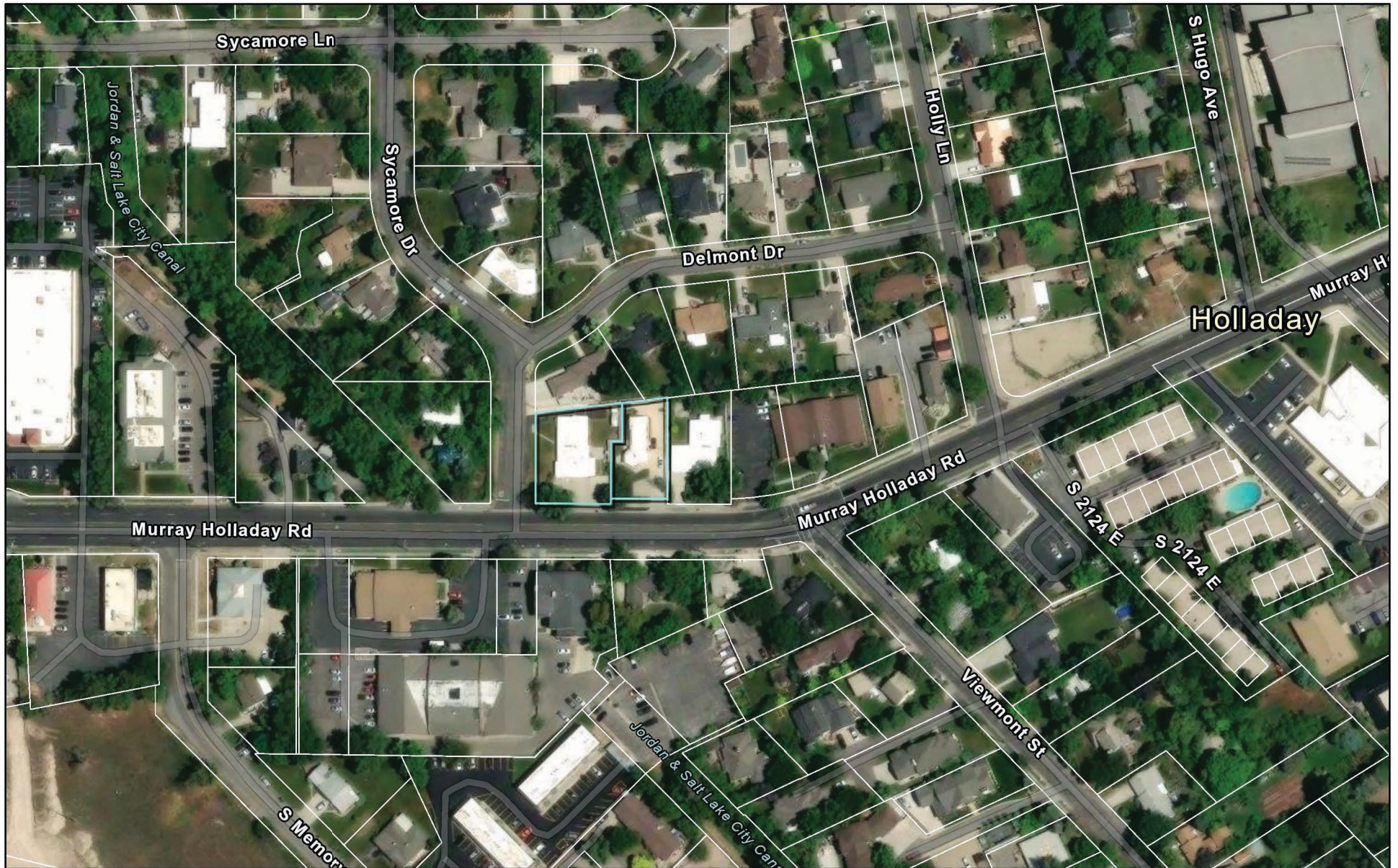


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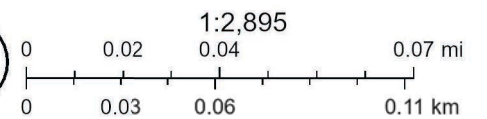
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community Salt Lake County, Vantor

# Conditional Site Plan for a Mixed-Use Development 2051 and 2061 E Murray Holladay Rd.\_2



5/1/2026

Parcel boundaries



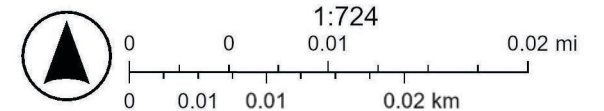
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Salt Lake County, Vantor

# Conditional Site Plan for a Mixed-Use Development 2051 and 2061 E Murray Holladay Rd.\_2



5/1/2026

Parcel boundaries



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Salt Lake County, Microsoft,



## PLANNING COMMISSION | Item #2

**Date:** May 5, 2026

**Request:** Mixed-Use Planned Unit Development

**Address:** 2051 and 2061 S. Murray Holladay Rd.

**Applicant:** Bradley Helston

**File No:** 26-2-02

**Planner:** Carrie Marsh, Senior Planner

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### GOVERNING ORDINANCES:

13.06	DEVELOPMENT REVIEW & APPROVAL PROCEDURES - ADMINISTRATIVE
13.08	ADMINISTRATIVE DEVELOPMENT REVIEW STANDARDS
13.44	PROFESSIONAL OFFICE ZONE
13.78	PLANNED UNIT DEVELOPMENT
13.08.040	CONDITIONAL USE PERMIT

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### REQUIRED PLANNING COMMISSION ACTION: *Administrative*

**Public hearing to be held.** As this application is for a mixed-use site plan and a Planned Unit Development, the PC shall make two separate motions, one for each item, to either, approve, deny, or continue discussion for this application. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. [13.06.050.B2](#) and [13.08](#).

The notice for the required public hearing has been mailed to all properties within 500' of the subject parcel.

This item will have 2 separate elements and motions:

1. Mixed-use Office/Residential Planned Unit Development Review. A Planned Unit Development (PUD) is a conditional use, requiring a site plan review and approval by the Land Use Authority (Planning Commission). Decisions and approval must be made during a public meeting.
2. Design and Site Plan Review of development in the Professional Office Zone. Review of site plan in accordance with the standards in the PO zone.

### BACKGROUND AND SUMMARY:

In 2023 the property owner applied for a rezone from the Residential Multi-family zone to the Professional Office zone with the intent to redevelop the property as a mixed-use development with a primary use of the property as professional office space and residential units as a



secondary use. Historically, the property was utilized as both office space and as a residential dwelling.

Analysis of both the General Plan and the Professional Office zone were included in the staff report for the rezone application in regard to an intended future mixed-use development on the site.

- The General Plan included a desire for mixed-uses without retail along Murray-Holladay Road and development that enables a *“pedestrian oriented corridor with a mix of pedestrian-friendly, multi-family residential, and office uses”*.
- Development in the Professional Office zone is intended to be *“compatible with abutting residential uses and to buffer residential development from more intense land uses”* and
- Preference for rezones should be given to properties that *“occur within a general plan district supporting appropriate use of either Professional Office-Commercial, Mixed-use development, or other similar areas.”*

The State requires cities to adopt strategies to enable moderate income housing in their General Plans. These requirements were carried into the 2025 General Plan update. Mixed-uses, specifically near transit lines, commercial centers, or employment centers that encourages housing in areas where people can walk places to meet their daily needs ([see Quality Neighborhoods Goal 2, Policy 2.1 \(Strategy F\), Goal 3, and Policy 3.1 \(Strategy H\), page 63](#)).

These elements of support for mixed-uses are what guided the applicant in their site plan development, taking the existing mixed-use site and creating additional office and residential use on the property, within the specific design guidelines of the PO zone to buffer residential development from more intense land uses.

The applicant’s proposed site consists of three buildings.

The applicant will retain the existing structure and its office use on the east side of the property.

The west side of the property will have two new structures.

- The southwest structure contains enclosed parking and a gym at the ground level, office space on the 2<sup>nd</sup> level, and three residential units on the 3<sup>rd</sup> floor.
  - Total height is 38 feet (*40 feet is allowed*) and the building meets graduated height requirements.
  - Corner side setback of 20 feet and front setback of 10 feet.
- The northwest structure, shown as Phase II, contains parking at the ground level under the structure. The upper level consists of four additional residential units and some additional office space.
  - Total height is limited to 30 feet when the structure is within a height restricted area as defined in a development agreement (*attached to this report*).
  -



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- Corner side setback of 20 feet is met, rear setbacks meet average of 30 feet, with no point closer than 15% of the average (25.6 feet).
- Building design has not been finalized, but the zone does not have architectural standards
- The site has a circular traffic flow with entrances and exits on both Murray Holladay Road and Sycamore Drive and has provided parking that meets the requirements by use.
- Four trees with a canopy of 3,833 sq feet located within future parking lot and structure areas are proposed to be removed. Additional trees will be added to the site and to the parking strip. The total canopy replaced totals 3,833 square feet.
- Sidewalk and park strip to be added to Sycamore Drive in front of the property in addition to an accessible corner ramp.

### APPLICANT SUMMARY:

The applicant is proposing a mixed-use development with a majority of the use as professional office space. They are proposing six one-bedroom and one two-bedroom residential units, a total of seven units. The applicant has provided a full set of plans including civil details, landscaping, a site plan, and architectural elevations along with zoning requirements detailed on the site plan for review.

### ANALYSIS OF MIXED-USED PLANNED UNIT DEVELOPMENT:

The professional office zone allows for the conditional use of the site as a mixed-use planned unit development, requiring additional review by the Planning Commission to consider any unique impacts created by the development and assess if those impacts can be reasonably mitigated. Planned unit developments may be approved by the Planning Commission as a conditional use only if, in its judgment, the proposed planned unit development fully meets the intent and purpose, and requirements of the land use ordinance and the general plan. Generally, mixed-use development has multiple benefits that can be considered when evaluating impacts of the proposed use.

- Mixing uses on a single property sets up opportunities for people to live close to where they work.
  - In some cases, individuals may live in a residential unit on the same property where they work.
- In amenity rich areas, a mixed-use building locates a person's residential unit close to amenities, which reduces the amount of vehicle trips they may take if they walk, bike, or take transit to access those amenities.
- Mixed-use developments can naturally balance vehicular traffic to/from the site and parking space availability
  - As people leave residential units in the morning to work elsewhere, more parking spaces are available for people who are coming to the office for the day.
- Smaller office space due to the mixed use reduces both traffic coming to the site and parking demand on the site.



- Smaller office spaces are often the site of smaller, local businesses, many of which are owned by people who live in the community.

Mixed-use Planned Unit Developments are slightly different applications than PUDs within solely residential zones and should be considered in the context of the zone and its specific requirements. City of Holladay Code, [Chapter 13.78](#) details the purpose of planned unit developments:

***13.78.020: PURPOSE:***

*A. The purpose of planned unit development is to permit flexibility in land use, allow diversification in the interrelationships of various uses and structures with their sites and thus offer an alternative to conventional development. The application of planned unit development concepts is intended to encourage unique neighborhoods, high quality housing, exceptional design, additional open space, and facilities compatible with the present living environment in the city.*

*Ensuring compliance with the purpose of this section protects the health, safety and public welfare of the future inhabitants of, or visitors to, the planned unit development. At the same time, securing the advantages of imaginative site planning for residential, commercial development or combinations thereof, as well as maximizing the energy utilization efficiency of the project. The objective is to preserve existing greenery and significant trees on site. The planned unit development process must create unique benefits for both the property owner and the city even though it does not allow additional density. Applicants must justify to the planning commission why the project would be better for the community than a project developed as the underlying zone would normally allow. Development under the planned unit development process is a privilege that must be earned by the developer, not a right that must be granted by the planning commission.*

*B. Through the flexibility of the planned unit development regulations, the city seeks to achieve the following specific objectives:*

*1. The stabilization and preservation of the existing or planned land uses in abutting areas and surrounding residential neighborhoods;*

*2. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;*

*3. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;*

*4. Maximizing and preserving vegetation and open space and/or other special development amenities to provide light, air and privacy, to buffer abutting properties and to provide active and passive recreation opportunities for residents of the planned development and/or the community;*



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5. Minimize significant through traffic impacts on adjacent residential neighborhoods;
6. Provide an appropriate transition or buffering between uses of differing intensities both on site and off site; and
7. Provide safe and convenient vehicle and pedestrian connections between adjacent uses. (Ord. 2014-06, 5-1-2014)

### Factors to consider with this application:

- Significant rear setback of 30 feet from residential zones.
  - This is larger than rear yard setbacks for the adjacent single-family homes (20 feet and 22 feet).
  - While not vegetated, setbacks do create open space
- Corner side setback of 20' creates vegetated area next to street, contributing to a vegetated streetscape and tree canopy near the road
- Interior landscaping elements to benefit residents and visitors to the PUD
- Addition of new landscaping and street trees
- Shorter north building to further reduce impact to adjacent neighborhood
- Contributes to the desired and planned mix of uses on Murray Holladay Road
- Retains the existing structure with unique architecture
- No left turn minimizes traffic impacts on adjacent residential neighborhood

### ANALYSIS OF ZONE DEVELOPMENT STANDARDS:

- Project maintains office space as the primary use
  - Office space within the project totals 6,404 square feet.
  - Residential space within the project totals 6,077 square feet.
- All buildings are within required setbacks
  - Front: 10', Corner side: 20', Interior side: maintained, Rear: 30' average, 26.5' at the closest point (utilizing allowed 15% closer than average)
- Building heights meets the requirements within the development agreement which limits height on the portion of the project.
- Total coverage totals 74% requiring 4% bonus, identified as additional trees and water-wise landscaping. Up to 80% coverage is allowed.
- Landscaping meets requirements in [§13.77](#)
  - Suggestion to replace the identified Kentucky Bluegrass in the corner side setback with a species that uses less water and/or is more drought tolerant
  - Parking landscape standards in [§13.77.060](#) are met
- Twenty-five parking spaces are provided and have been calculated according to uses and reductions allowed in [§13.80.040](#)



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- Parking lot design meets standards for size and location detailed in [§13.80.030](#)
- All on site lighting to be bollards and landscape lighting. No light poles. All light sources full cutoff fixtures, completely concealed with an opaque housing
- Entry monument will need to be relocated to comply with clear view standards (limits to 2' in height) and sign standards of the PO zone
  - Having less than 800 ft of street frontage, only one monument sign is allowed
  - 32 sq ft of area, 6' maximum height, 3' minimum setback and located in a landscaped area of minimum 9 square feet
- Trash receptacles are located within the parking structure and in an enclosed area on the northwest corner of the property and is further screened with landscaping.
- Mechanical equipment on roof is screened by parapet wall. Equipment on ground is screened by landscaping.
- Access on both Sycamore and Murray Holladay are located as far away from the corner as possible.
- Required left hand turn only from the exit on Sycamore Drive to prevent the intrusion of traffic directly into residential areas. (*no right hand turn onto Sycamore*)
- Screening provided for parking in front setback
  - ¼" vertical steel louvers, 8' high
  - Additional vegetation and landscaping in area to be dedicated
    - Dedicated area is to facilitate future right of way improvements as determined by the City of Holladay
    - Vegetation and landscaping within right of ways are maintained by property owners
- Perimeter wall: masonry or cement is required, applicant has proposed maintaining existing 6-foot vinyl fencing with consent of adjacent property owners.
  - Alternative proposed requires a waiver or modification by the Planning Commission upon a determination that the wall is not necessary to buffer the abutting use or that a different type of screening instrument is acceptable.

### TECHNICAL REVIEW COMMITTEE REVIEW AND ANALYSIS:

In accordance with Holladay Ord 13.08.010, upon receipt of a complete Preliminary subdivision application, the received submission has subsequently received recommendation(s) from the Technical Review Committee. The following is provided to the Planning Commission as a summary of joint recommendation of **1) approval of the site development plan** and **2) approval of the conditional use permit for a mixed-use professional office/residential planned unit development** from the TRC:

*Zoning, City Planner:*

- Standards within the PO zone has been met, with various elements available to discuss with the applicant as desired



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- Utility Service letters for the residential use must be acquired prior to final staff approval

### *Unified Fire Authority (UFA), Area Fire Marshall:*

- Structures are all within 150 feet of a public street for fire access
- Parking lot on the East side and the driveway around for phase II of the structure will have no parking signs stating "NO PARKING FIRE LANE"
- There will be 2 KNOX Box 3200 Series for fire department access on this building 1 at the fire riser room and the other at the man door on the East side parking lot.

### *Engineering, City Engineer:*

- Address any outstanding comments on Civil set before Final

### *Building, City Building Official:*

- Building plans to be reviewed upon submission for compliance with building code

### STANDARDS OF CONSIDERATION, FOR OR AGAINST:

The State of Utah has created statutes within Utah's state code that govern conditional uses (Section §10-20-505), including:

- *"A municipality may adopt a land use ordinance that includes conditional uses and provisions for conditional uses that require compliance with objective standards set forth in an applicable ordinance".*
- *"A municipality may not impose a requirement or standard on a conditional use that conflicts with a provision of this chapter or other state or federal law.*
- *"A land use authority shall approve a conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards"*
- *"The requirement described in Subsection (2)(a)(i) to reasonably mitigate anticipated detrimental effects of the proposed conditional use does not require elimination of the detrimental effects." (§10-20-506(2)(a)(ii))*

Review by the Planning Commission and the holding of a public hearing are intended to evaluate potential impacts unique to the site and place reasonable conditions to mitigate specific impacts. Any conditions applied must be reasonable, address the identified effect, and refer to the applicable standards of conditional uses within the City's code. As per 13.04.080, a Conditional Use should NOT:

1. *Contribute to a detrimental concentration of existing nonconforming or conditional uses substantially similar to the use proposed within one-fourth (1/4) mile of the exterior boundary of the subject property;*



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2. *Result in loss of privacy, objectionable views of large parking or storage areas; or views or sounds of loading and unloading areas; and*
3. *Encroach on or cause erosion of the bank of a river or stream, or direct runoff into a river or stream without approval by the appropriate storm water authority.*

Mixed-use Planned Unit Developments are reviewed in context of Conditional Use Standards (*see H.C.C. § 13.08.040.F*), any denial requires careful and specific reasons(ing) to withstand court scrutiny.

### SUGGESTED MOTIONS WITH FINDINGS AND CONDITIONS:

#### First motion for a Conditional Use

"I \_\_\_\_\_ motion for the (approval, denial) of a **conditional use permit** for a **mixed-use professional office/residential planned unit development** within the PO zone located at 2051 E. and 2061 E. Murray Holladay Road., finding that the proposal;

1. Is located in an area identified as appropriate for mixed-use development in the General Plan
2. Meets goals and policies related to mixed-uses in appropriate areas in the General Plan and Moderate-Income Housing Plan.
3. Meets the requirements of the PO zone
4. Meets the purpose of a planned unit development by
  - a. Creating a unique neighborhood through a mixed-use site that allows diverse interrelationships of uses and structures on the site and with the larger neighborhood, which provides residents and visitors with walkable access to daily needs
  - b. Is an alternative to conventional single-use development
  - c. Creates quality housing due to its proximity to central community locations and transit connections
  - d. Utilizes space efficiently, allowing for pleasant interior landscaping and concentrating landscaping with larger trees near public roadways and sidewalks.
  - e. Replacement of tree canopy in desirable locations on the site that provide substantial public benefit
  - f. Creates facilities compatible with the present living environment in the city, specifically on and near major roadways, transit routes, and commercial and mixed-use centers.
  - g. Stabilizes and preserves existing and planned uses along Murray Holladay Road between Holladay Hills and the Holladay Village
  - h. Preserving and enhancing desirable site characteristics including vegetation along right of ways, screening parking, and orienting business uses closer to Murray Holladay Road
  - i. Preservation of an existing architecturally unique structure and modeling a similar shape in the new structure that contributes to the character of the city



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- j. Creating separation between buildings and decreasing height of the north building to provide light, air and privacy to butter abutting properties and to provide active and passive recreation opportunities for the residents of the planned development
  - k. Minimizes traffic impacts by locating driveways far from corner intersections, providing two exits, and restricting right hand turns onto Sycamore Drive.
  - l. North building that is lower and primarily residential serves as a transition and buffer to the neighboring residential neighborhood.
  - m. Addition of a sidewalk on Sycamore increases safety and pedestrian connections.
5. ...other findings as deemed appropriate to support the motion

With the following suggested conditions:

1. any conditions as determined appropriate by the Commission to mitigate any potential impacts from the proposed mixed-use development.

### Second motion for a Site Plan

"I \_\_\_\_\_ motion for the (approval, denial) of a **site plan** for a **mixed-use professional office and residential development** within the PO zone located at 2051 E. and 2061 E. Murray Holladay Road., finding that the proposal;

1. The site plan details all required elements required in the PO zone to ensure compatibility with abutting residential uses and to buffer residential development from more intense land uses
2. Proposed structures comply with the height restrictions of the Development Agreement
3. The development complies with the general plan
4. The site meets fire access standards
5. The site includes a primary use as a professional office
6. Public safety improvements will be made with the addition of a sidewalk
7. Screening of required elements is adequate
8. ...other findings as deemed appropriate to support the motion

With the following suggested conditions:

2. Relocation of the entry monument sign to meet standards of the PO zone
3. Left hand turn only signage at exit onto Sycamore Dr.
4. Acquire required utility letters prior to final approval
5. Provide affirmative statements from abutting owners of acceptance of existing vinyl fence in lieu of the required masonry or cement wall
6. Replace Kentucky Blue grass with an appropriate alternative



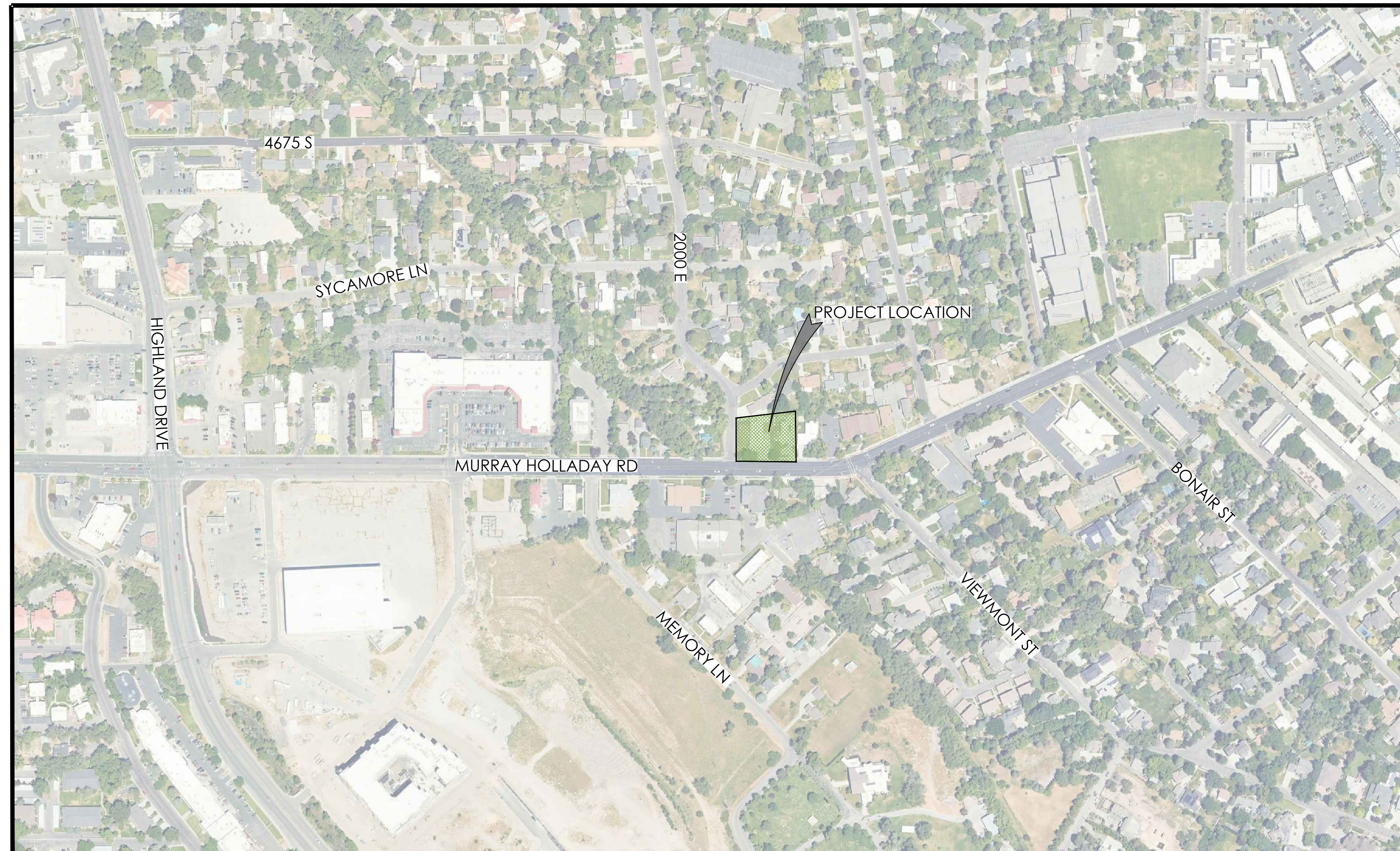
**CITY OF HOLLADAY**  
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# HOLLADY OFFICE PARK

## HOLLADAY, UT.

DRAWING TITLE

### COVER SHEET



VICINITY MAP\*

### HYDROLOGY AND SITE CALCULATIONS

WEBER ENGINEERING COLLECTIVE			
Project :	Holladay Office Park	Project No:	
Address:	2051, 2061 E Murray Holladay Rd	Checked By:	
	Holladay, UT	Sheet:	DB 1
Drawn By:	Jacob Weber, P.E.	Date:	2/25/2026

CALCULATION (PRE-DEVELOPMENT 100-YR STORM)			
Ex. Buildings TBR (Roof Area)	4,610 ft <sup>2</sup>	Cr	0.90
Ex. Building (To Remain)(Roof Area)	1,660 ft <sup>2</sup>	Cr	0.90
Ex. Asphalt( TBR)	546 ft <sup>2</sup>	C <sub>p</sub>	0.90
Ex. Concrete (TBR)	6,281 ft <sup>2</sup>	C <sub>p</sub>	0.90
Ex. Landscaped Area	8,998 ft <sup>2</sup>	C <sub>i</sub>	0.20
Total Area ( A )	22,095 ft <sup>2</sup>	WEIGHTED C	0.61
DB 1	0.51 Acres		
CA	13,587 ft <sup>2</sup>		

DESIGN FREQUENCY			
100-year 24-hour storm	RELEASE RATE =	0.00 ft <sup>3</sup> /s/Acre	
Rain fall data from NOAA			

STORM DURATION, T (MIN)	ACCUM. RAIN FALL, d (IN)	CA (ft <sup>2</sup> )	ACCUM. FLOW F (ft <sup>3</sup> )	ALLOWABLE DISCHARGE, D (ft <sup>3</sup> )	REQUIRED STORAGE (ft <sup>3</sup> )
15	1.07	13,587	1,211	0.0	1,211
30	1.44	13,587	1,630	0.0	1,630
60	1.78	13,587	2,015	0.0	2,015
180	1.96	13,587	2,219	0.0	2,219
360	2.13	13,587	2,412	0.0	2,412
720	2.55	13,587	2,887	0.0	2,887
1,440	2.75	13,587	3,114	0.0	3,114
Equation		CA = C * A	F = d/12*CA	D = R * A * 60 * T	Storage = F - D

CALCULATION (POST-DEVELOPMENT 100-YR STORM)			
Ex. Building (To Remain)(Roof Area)	1,660 ft <sup>2</sup>	Rational Runoff Coefficient ( C )	0.90
Phase 1 Building	3,365 ft <sup>2</sup>	C	0.90
Phase 2 Building	2,451 ft <sup>2</sup>	C	0.90
Roadways/Parking Inc. Curb & Gutter	8,241 ft <sup>2</sup>	C <sub>p</sub>	0.90
Walkways, Decorative Concrete	1,640 ft <sup>2</sup>	C <sub>p</sub>	0.90
Landscaped Area	4,738 ft <sup>2</sup>	C <sub>i</sub>	0.20
Total Area ( A )	22,095 ft <sup>2</sup>	WEIGHTED C	0.75
DB 1	0.51 Acres		
CA	16,569 ft <sup>2</sup>		

DESIGN FREQUENCY			
100-year 24-hour storm	RELEASE RATE =	0.00 ft <sup>3</sup> /s/Acre	
Rain fall data from NOAA			

STORM DURATION, T (MIN)	ACCUM. RAIN FALL, d (IN)	CA (ft <sup>2</sup> )	ACCUM. FLOW F (ft <sup>3</sup> )	ALLOWABLE DISCHARGE, D (ft <sup>3</sup> )	REQUIRED STORAGE (ft <sup>3</sup> )
15	1.07	16,569	1,477	0.0	1,477
30	1.44	16,569	1,988	0.0	1,988
60	1.78	16,569	2,458	0.0	2,458
180	1.96	16,569	2,706	0.0	2,706
360	2.13	16,569	2,941	0.0	2,941
720	2.55	16,569	3,521	0.0	3,521
1,440	2.75	16,569	3,797	0.0	3,797
Equation		CA = C * A	F = d/12*CA	D = R * A * 60 * T	Storage = F - D

IMPERVIOUS SURFACE AREA CALCULATIONS	
PRE-DEVELOPMENT IMPERVIOUS SURFACE AREA	13,097 ft <sup>2</sup>
POST-DEVELOPMENT IMPERVIOUS SURFACE AREA	17,357 ft <sup>2</sup>
IMPERVIOUS SURFACE INCREASE =	4,260 ft <sup>2</sup>

SUMMARY (100-YEAR 24-HOUR STORM EVENT)	
PRE-DEVELOPMENT RUNOFF VOLUME	3,114 ft <sup>3</sup>
POST-DEVELOPMENT RUNOFF VOLUME	3,797 ft <sup>3</sup>
POST DEV. INCREASE VOLUME =	683 ft <sup>3</sup>

Sheet List Table	
Sheet Number	Sheet Title
C-01	COVER SHEET
C-02	DEMO PLAN
C-03	SITE PLAN
C-04	UTILITY PLAN
C-05	GRADING PLAN
C-06	DRAINAGE PLAN
D-01	DETAILS
D-02	DETAILS
D-03	MOID DETAILS

### DETAIL CALLOUTS

- 205 CURB AND GUTTER "TYPE A" (D-01)
- 209 CURB AND GUTTER "TYPE P" (D-01)
- 206 CURB AND GUTTER CONNECTION (D-01)
- 211 WATERWAY (D-01)
- 231 SIDEWALK (D-01)
- 235.1 CORNER CURB CUT ASSEMBLY (D-01)
- 222 SAW-CUT DRIVEWAY APPROACH (D-02)
- 522 1 1/2" and 2" METER (D-02)
- 315.1 CURB INLET CATCH BASIN (D-02)
- 332 PRECAST BOX (D-02)
- 3-5 TYP. SEWER LATERAL & CLEANOUT (D-03)
- 3-6 TYP. SEWER LATERAL & CLEANOUT (CONT.) (D-03)
- 3-7 LATERAL REPLACEMENT FOR NEW UTILITY (D-03)
- 3-8 TYP. TRENCH DETAIL (D-03)
- 3-9 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE (D-03)
- 3-10 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE (CONT.) (D-03)

### NOTICE TO CONTRACTOR

CAUTION TO THE CONTRACTOR NOTE THAT THE ELEVATION AND OR LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORDS FROM PUBLIC UTILITIES AND PRIVATE UTILITY COMPANY MARKINGS AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UTILITY LOCATION COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL ALSO NOTE THAT ANY UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHALL BE RELOCATED.

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

GENERAL

### INFORMATION

DEVELOPER/OWNERS  
BRAD HELSTEN  
JOSEPH ZUMPANO  
EMAIL: .....

CIVIL ENGINEER  
WEBER ENGINEERING COLLECTIVE  
JACOB WEBER  
SALT LAKE CITY, UTAH  
PH. (385) 229-9663  
EMAIL: jakeweber8@gmail.com

SURVEYOR  
PETERSON ENGINEERING, P.C.  
CONSULTING ENGINEERS & LAND SURVEYORS  
PH: (801)-255-3503

ARCHITECT  
D3 STUDIO  
DREW WHITEHEAD  
PH: (801) 809-4667  
EMAIL: drew@d3archstudio.com

CONTRACTOR  
TBR

### REVISIONS:

REV #	DESCRIPTION	DATE
REV #1	CITY REVIEW #1	4-14-26

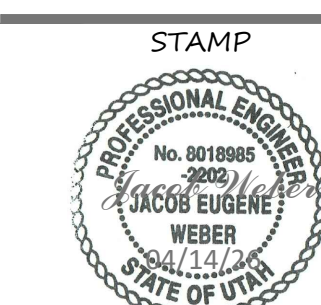


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PROJECT NO. W-26-01  
DATE 04/14/26  
DRAWN BY: JACOB WEBER, P.E.  
CHD BY:  
SHEET NUMBER C-01



\*VICINITY MAP PROVIDED FROM GOOGLE MAPS.





# DETAIL CALLOUTS

- 522 1 1/2" and 2" METER
- 3-8 TYP. TRENCH DETAIL
- 3-5 TYP. SEWER LATERAL & CLEANOUT
- 3-9 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE
- 3-6 TYP. SEWER LATERAL & CLEANOUT (CONT.)
- 3-10 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE (CONT.)
- 3-7 LATERAL REPLACEMENT FOR NEW UTILITY

DRAWING TITLE

# UTILITY PLAN

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

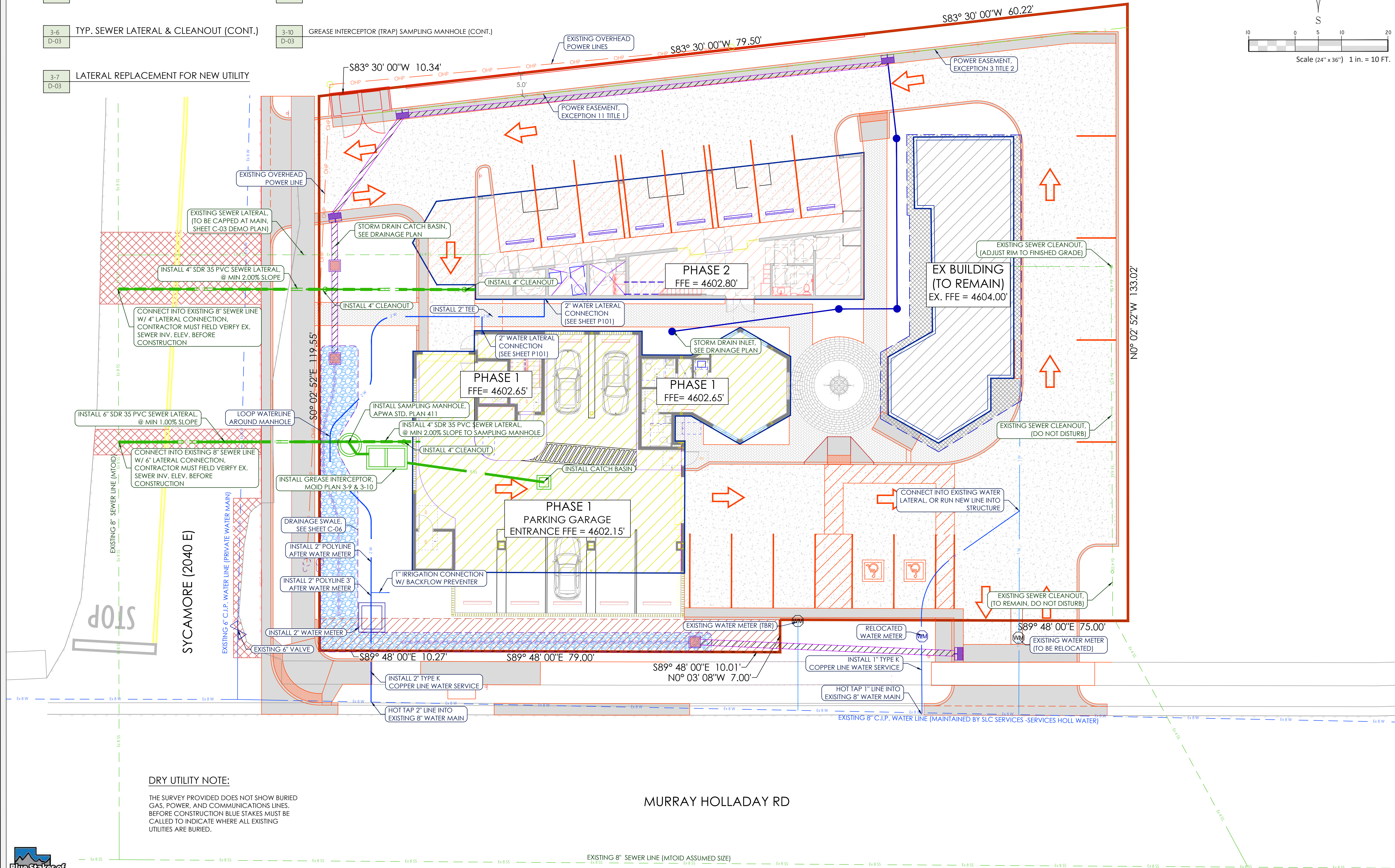
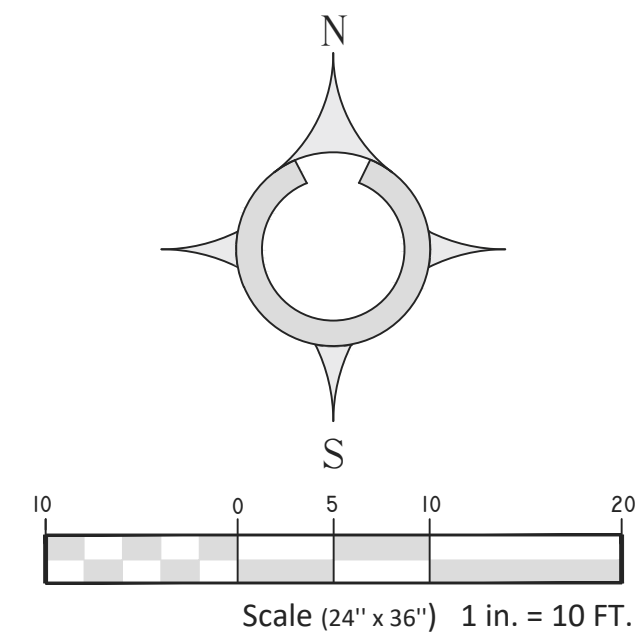
HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

GENERAL

1. INSTALL WATER IMPROVEMENTS ACCORDING TO SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITY STANDARDS AND/OR HOLLADAY WATER COMPANY.
2. INSTALL SEWER IMPROVEMENTS ACCORDING TO MT OLYMPUS IMPROVEMENT DISTRICT STANDARDS. MAINTAIN A MINIMUM 10' HORIZONTAL DISTANCE BETWEEN WATER AND SANITARY SEWER LINES.
3. MINIMUM 18" OF VERTICAL CLEARANCE IS REQUIRED WHERE SEWER AND WATER CROSS.
4. MINIMUM 12" OF VERTICAL CLEARANCE IS REQUIRED WHERE CROSSING EXISTING GAS LINE.
5. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITY LINES.
6. FOUR FEET OF COVER REQUIRED OVER ALL WATER LINES. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL RELEVANT STANDARD PRACTICES AND/OR APWA 2025 SPECIFICATIONS AND CONSTRUCTION STANDARDS.
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8. CONTRACTOR RESPONSIBILITY TO VERIFY CIVIL SITE PLAN AND BUILDING DIMENSIONS MATCH BUILDING PLANS BEFORE STARTING CONSTRUCTION.
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16. CALL BLUE STAKES BEFORE YOU DIG

REVISIONS:

REV #	DESCRIPTION	DATE
REV #1	CITY REVIEW #1	4-14-26



**DRY UTILITY NOTE:**

THE SURVEY PROVIDED DOES NOT SHOW BURIED GAS, POWER, AND COMMUNICATIONS LINES. BEFORE CONSTRUCTION BLUE STAKES MUST BE CALLED TO INDICATE WHERE ALL EXISTING UTILITIES ARE BURIED.

MURRAY HOLLADAY RD

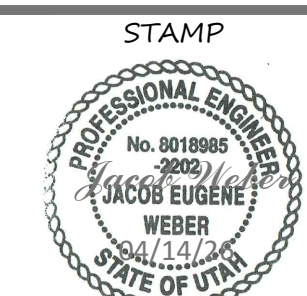


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PROJECT NO. W-26-01  
DATE 04/14/26  
DRAWN BY: JACOB WEBER, P.E.  
CHKD BY:  
SHEET NUMBER C-04

# GRADING PLAN

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

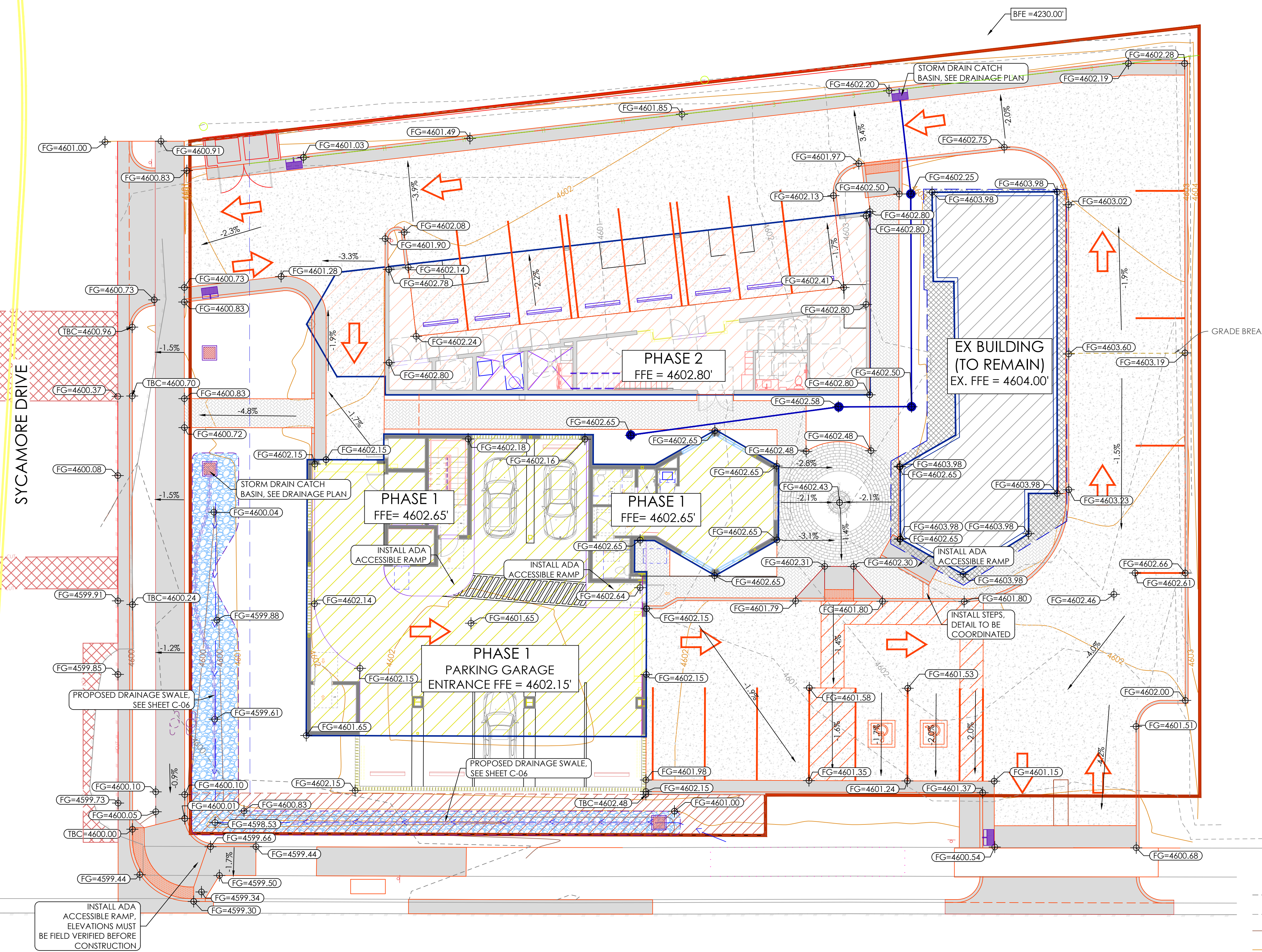
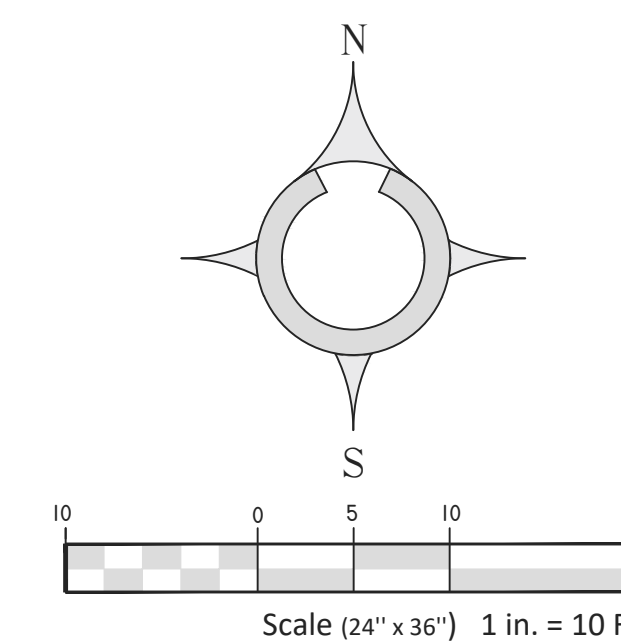
HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

GENERAL

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18. CALL BLUE STAKES BEFORE YOU DIG

REVISIONS:

REV #	DESCRIPTION	DATE
REV #1	CITY REVIEW #1	4-14-26



### LEGEND

- - - - -4253- - - - - EXISTING MAJOR CONTOURS (5')
- - - - -4254- - - - - EXISTING MINOR CONTOURS (1')
- - - - -4250- - - - - PROPOSED MAJOR CONTOUR (5')
- - - - -4253- - - - - PROPOSED MINOR CONTOUR (1')
- — — — — EDGE OF PROPOSED ASPHALT
- — — — — PROPOSED DRAINAGE SWALE
- — — — — PROPOSED SLOPE
- — — — — PROPOSED FINISHED GRADE
- — — — — EXISTING GRADE

### GENERAL NOTE:

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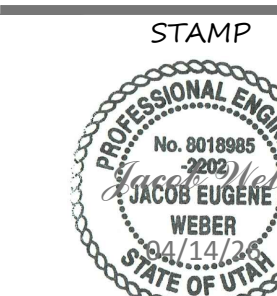


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PROJECT NO. W-26-01  
DATE 04/14/26  
DRAWN BY: JACOB WEBER, P.E.  
CHKD BY:  
SHEET NUMBER C-05



EAST MURRAY HOLLADAY RD.

# DETAIL CALLOUTS

315.1 CURB INLET CATCH BASIN  
D-02

332 PRECAST BOX  
D-02

## WEBER ENGINEERING COLLECTIVE

Project: Holladay Office Park Project No:  
Address: 2051, 2061 E Murray Holladay Rd Checked By:  
Holladay, UT Sheet: DB 1  
Drawn By: Jacob Weber, P.E. Date: 2/25/2026

### CALCULATION (PRE-DEVELOPMENT 100-YR STORM)

		Rational Runoff Coefficient (C)
Ex. Buildings TBR (Roof Area)	4,610 ft <sup>2</sup>	C <sub>r</sub> 0.90
Ex. Building (To Remain)(Roof Area)	1,660 ft <sup>2</sup>	C <sub>r</sub> 0.90
Ex. Asphalt (TBR)	546 ft <sup>2</sup>	C <sub>p</sub> 0.90
Ex. Concrete (TBR)	6,281 ft <sup>2</sup>	C <sub>p</sub> 0.90
Ex. Landscaped Area	8,998 ft <sup>2</sup>	C <sub>i</sub> 0.20
Total Area (A)	22,095 ft <sup>2</sup>	WEIGHTED C 0.61
DB 1	0.51 Acres	
CA	13,587 ft <sup>2</sup>	

DESIGN FREQUENCY 100-year 24-hour storm RELEASE RATE = 0.00 ft<sup>3</sup>/s/Acre  
Rain fall data from NOAA

STORM DURATION, T (MIN)	ACCUM. RAIN FALL, d (IN)	CA (ft <sup>2</sup> )	ACCUM. FLOW F (ft <sup>3</sup> )	ALLOWABLE DISCHARGE, D (ft <sup>3</sup> )	REQUIRED STORAGE (ft <sup>3</sup> )
15	1.07	13,587	1,211	0.0	1,211
30	1.44	13,587	1,630	0.0	1,630
60	1.78	13,587	2,015	0.0	2,015
180	1.96	13,587	2,219	0.0	2,219
360	2.13	13,587	2,412	0.0	2,412
720	2.55	13,587	2,887	0.0	2,887
1,440	2.75	13,587	3,114	0.0	3,114
Equation		CA = C * A	F = d/12 * CA	D = R * A * 60 * T	Storage = F - D

### CALCULATION (POST-DEVELOPMENT 100-YR STORM)

		Rational Runoff Coefficient (C)
Ex. Building (To Remain)(Roof Area)	1,660 ft <sup>2</sup>	C <sub>r</sub> 0.90
Phase 1 Building	3,365 ft <sup>2</sup>	C <sub>r</sub> 0.90
Phase 2 Building	2,451 ft <sup>2</sup>	C <sub>r</sub> 0.90
Roadways/Parking Inc. Curb & Gutter	8,241 ft <sup>2</sup>	C <sub>p</sub> 0.90
Walkways, Decorative Concrete	1,640 ft <sup>2</sup>	C <sub>p</sub> 0.90
Landscaped Area	4,738 ft <sup>2</sup>	C <sub>i</sub> 0.20
Total Area (A)	22,095 ft <sup>2</sup>	WEIGHTED C 0.75
DB 1	0.51 Acres	
CA	16,569 ft <sup>2</sup>	

DESIGN FREQUENCY 100-year 24-hour storm RELEASE RATE = 0.00 ft<sup>3</sup>/s/Acre  
Rain fall data from NOAA

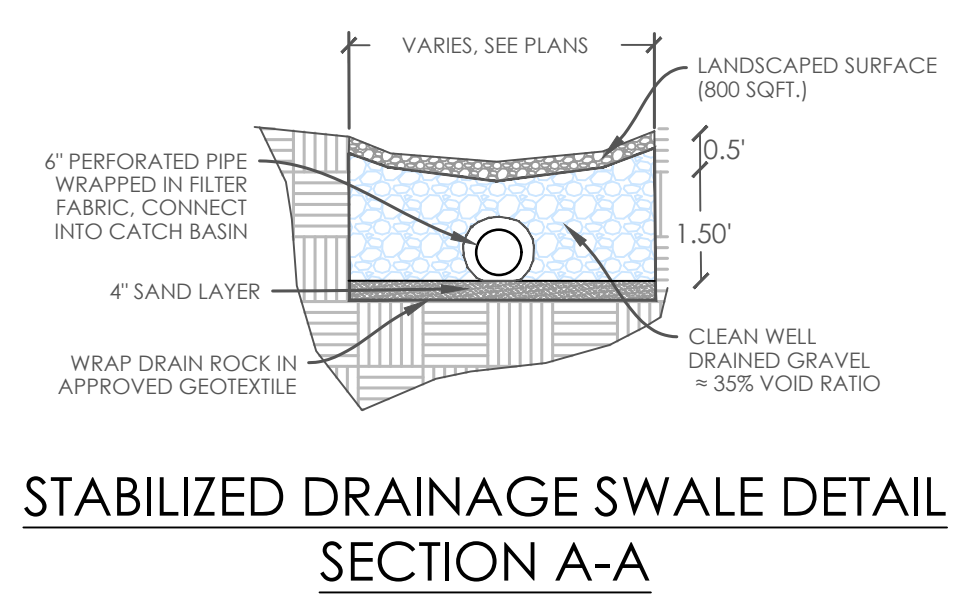
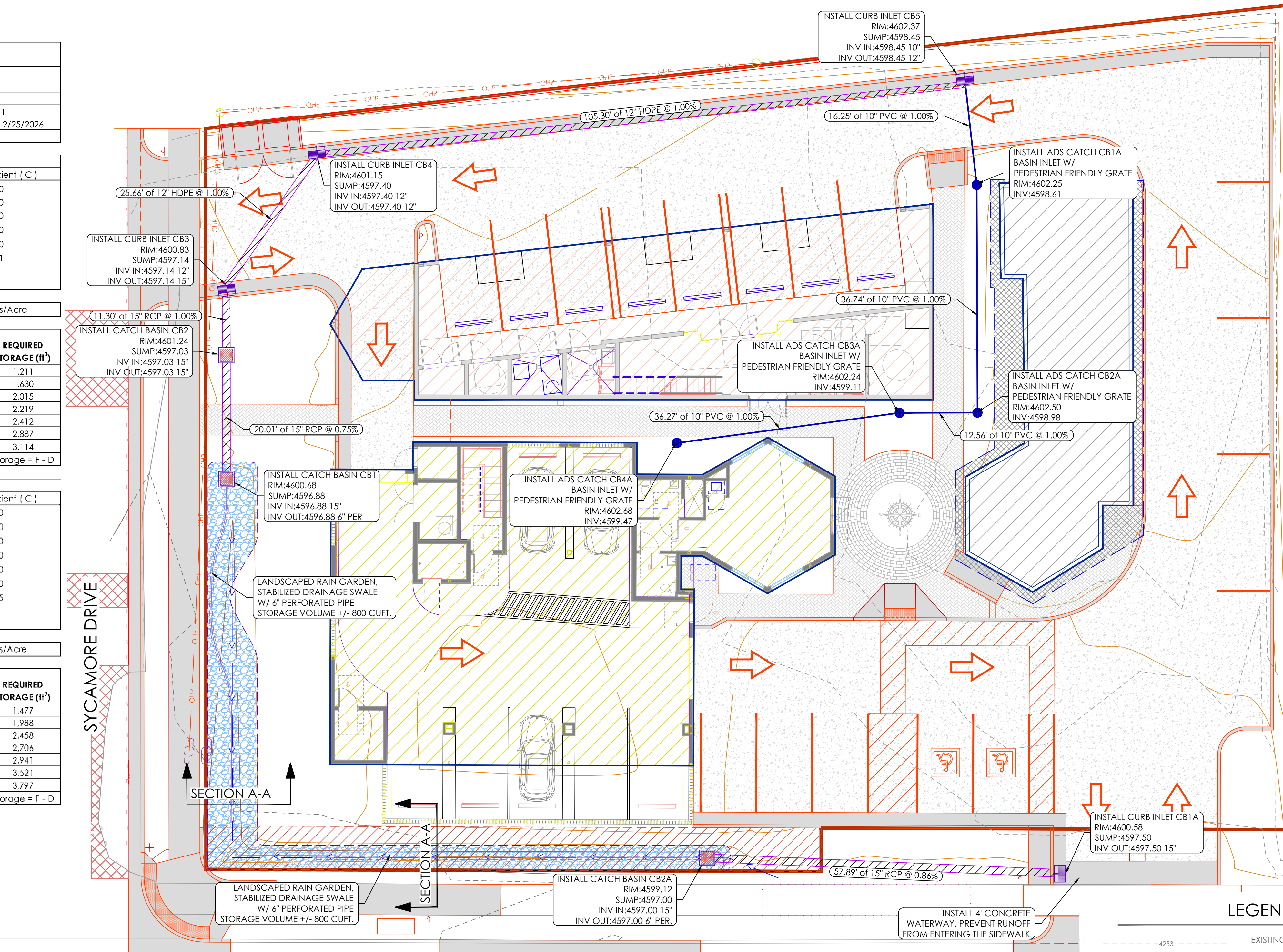
STORM DURATION, T (MIN)	ACCUM. RAIN FALL, d (IN)	CA (ft <sup>2</sup> )	ACCUM. FLOW F (ft <sup>3</sup> )	ALLOWABLE DISCHARGE, D (ft <sup>3</sup> )	REQUIRED STORAGE (ft <sup>3</sup> )
15	1.07	16,569	1,477	0.0	1,477
30	1.44	16,569	1,988	0.0	1,988
60	1.78	16,569	2,458	0.0	2,458
180	1.96	16,569	2,706	0.0	2,706
360	2.13	16,569	2,941	0.0	2,941
720	2.55	16,569	3,521	0.0	3,521
1,440	2.75	16,569	3,797	0.0	3,797
Equation		CA = C * A	F = d/12 * CA	D = R * A * 60 * T	Storage = F - D

### IMPERVIOUS SURFACE AREA CALCULATIONS

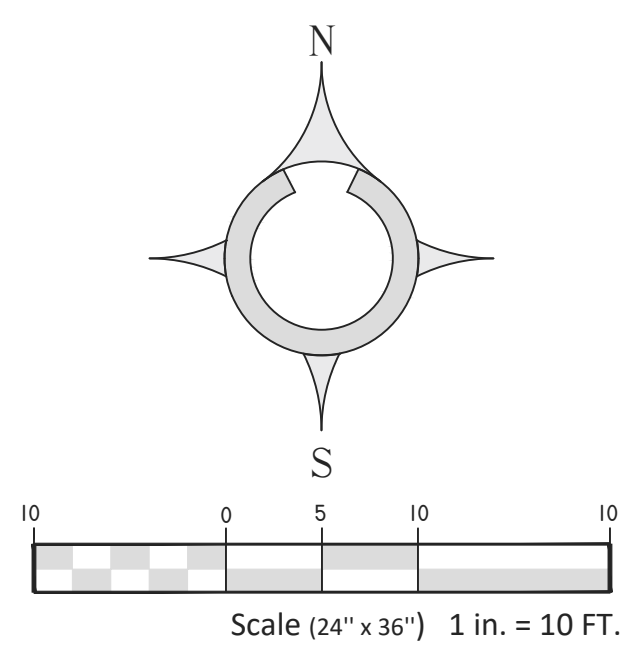
PRE-DEVELOPMENT IMPERVIOUS SURFACE AREA	13,097 ft <sup>2</sup>
POST-DEVELOPMENT IMPERVIOUS SURFACE AREA	17,357 ft <sup>2</sup>
IMPERVIOUS SURFACE INCREASE =	4,260 ft <sup>2</sup>

### SUMMARY (100-YEAR 24-HOUR STORM EVENT)

PRE-DEVELOPMENT RUNOFF VOLUME	3,114 ft <sup>3</sup>
POST-DEVELOPMENT RUNOFF VOLUME	3,797 ft <sup>3</sup>
POST DEV. INCREASE VOLUME =	683 ft <sup>3</sup>



EAST MURRAY HOLLADAY RD.



### LEGEND

--- 4253 ---	EXISTING MAJOR CONTOURS (5')
--- 4254 ---	EXISTING MINOR CONTOURS (1')
--- 4250 ---	PROPOSED MAJOR CONTOUR (5')
--- 4253 ---	PROPOSED MINOR CONTOUR (1')
---	EDGE OF PROPOSED ASPHALT
---	PROPOSED DRAINAGE SWALE
---	PROPOSED SLOPE
---	PROPOSED FINISHED GRADE
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DRAWING TITLE

# DRAINAGE PLAN

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT  
HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

### GENERAL

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### REVISIONS:

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REV #1	CITY REVIEW #1	4-14-26

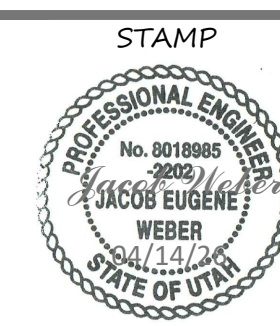


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PROJECT NO. W-26-01  
DATE 04/14/26  
DRAWN BY: JACOB WEBER, P.E.  
CHD BY:  
SHEET NUMBER C-06



# DETAILS

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

GENERAL

205 CURB AND GUTTER "TYPE A"

209 CURB AND GUTTER "TYPE P"

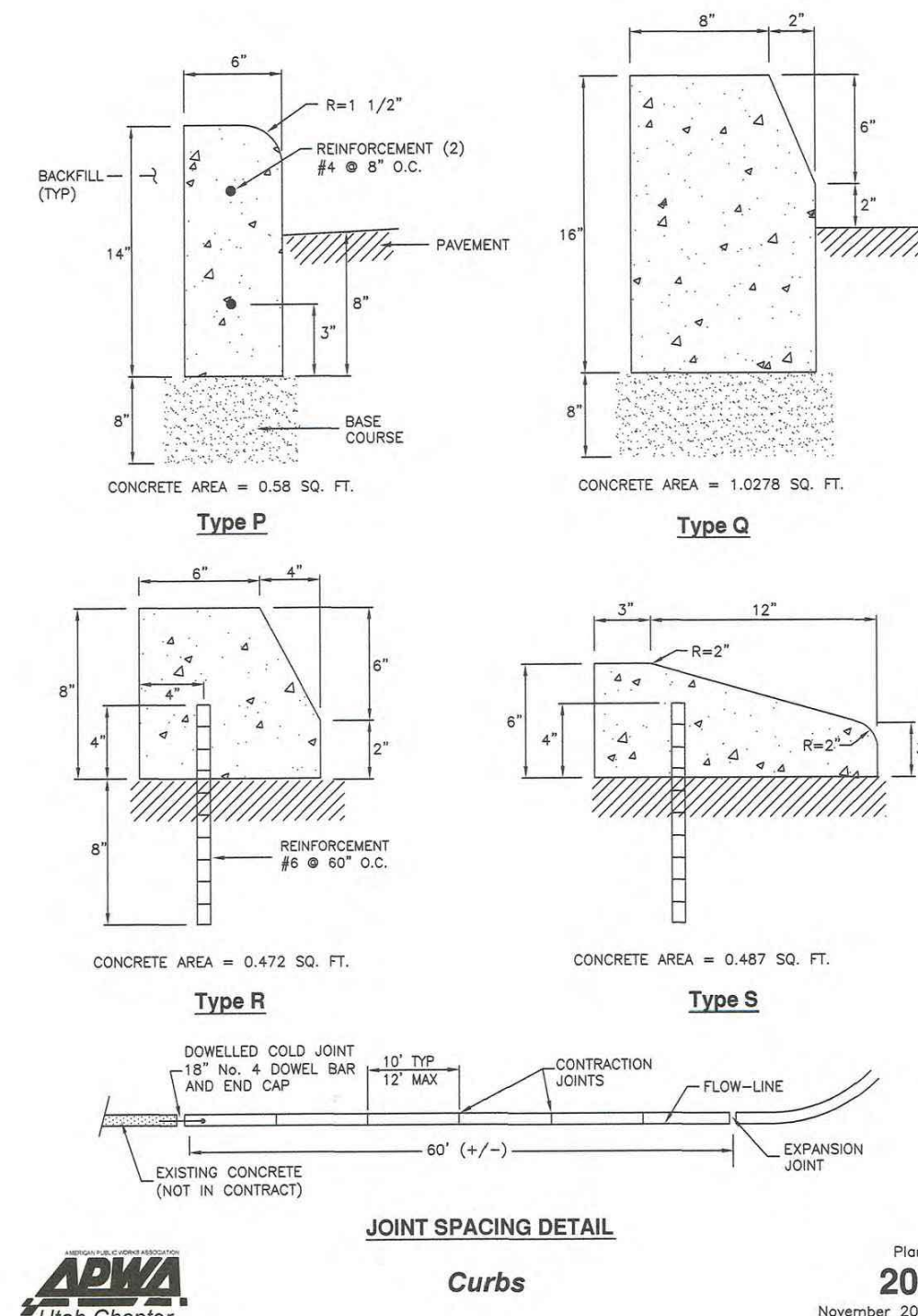
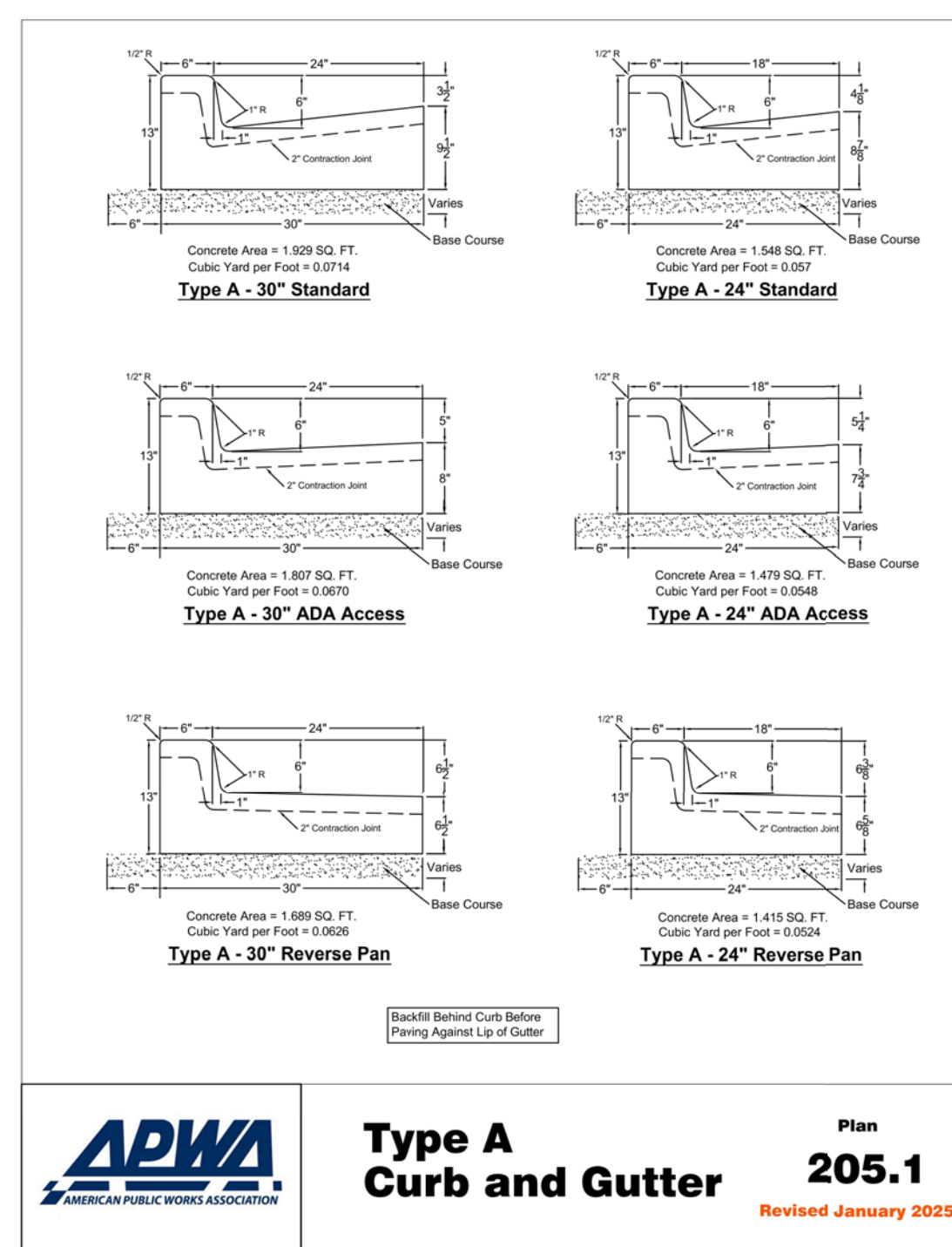
206 CURB AND GUTTER CONNECTION

211 WATERWAY

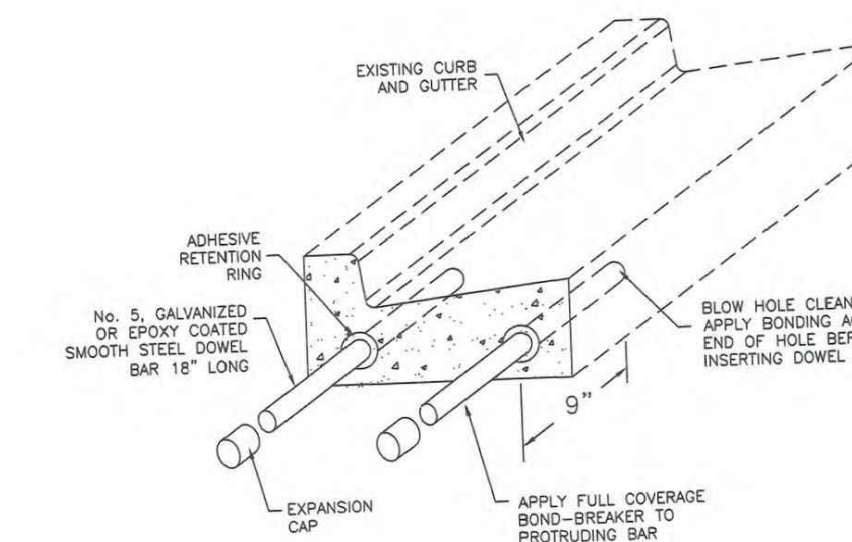
231 SIDEWALK

235.1 CORNER CURB CUT ASSEMBLY

- 205.1**
- 1. GENERAL**  
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.  
B. Additional requirements are specified in APWA Section 32 16 13.
- 2. PRODUCTS**  
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.  
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.  
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- 3. EXECUTION**  
A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
B. Concrete Placement: APWA Section 03 30 10.  
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install at the start or end of a street intersection curb return. Expansion joints are not required in concrete placement using slip-form construction.  
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.  
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.  
C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



- 206**
- 1. GENERAL**  
A. Connect new curb and gutter to existing curb and gutter that has not been placed by CONTRACTOR.
- 2. PRODUCTS**  
A. Reinforcement: Galvanized or epoxy coated, 60 ksi yield grade steel, ASTM A615.  
B. Adhesive: Epoxy adhesive grout, APWA Section 03 61 00.  
C. Bond Breaker: Paraffin wax, lithium grease, or other semi-solid, inert lubricant.  
D. Expansion Cap: Plastic, with bar movement allowance of 1/2-inch.
- 3. EXECUTION**  
A. Ensure drill rigs (or jigs) are set at mid-depth of the gutter and horizontal to the surface. Make hole size large enough to account for dowel bar and adhesive.  
B. Clean holes and dowel bars of dirt, dust and particles. Ensure coating on bars have no surface defects.  
C. Place bonding agent in the back of each hole so adhesive flows out around each bar fully encasing it. DO NOT apply adhesive to end of the bar and then insert the bar into the hole.  
D. Insert dowels with at least one full turning motion and if necessary, place a grout retention disk on the dowel after insertion to contain adhesive.  
E. Apply complete coverage of bond-breaker on the protruding end of each dowel.  
F. Install expansion caps on protruding dowel ends.



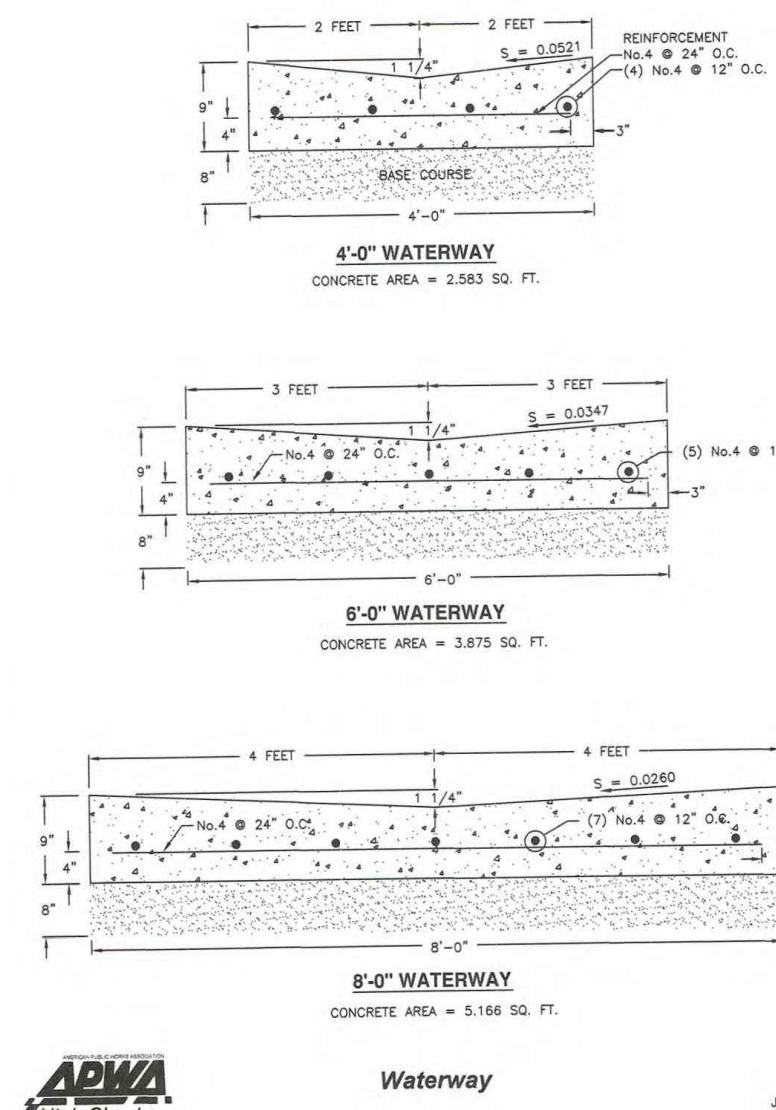
205.1

205 CURB AND GUTTER "TYPE A"

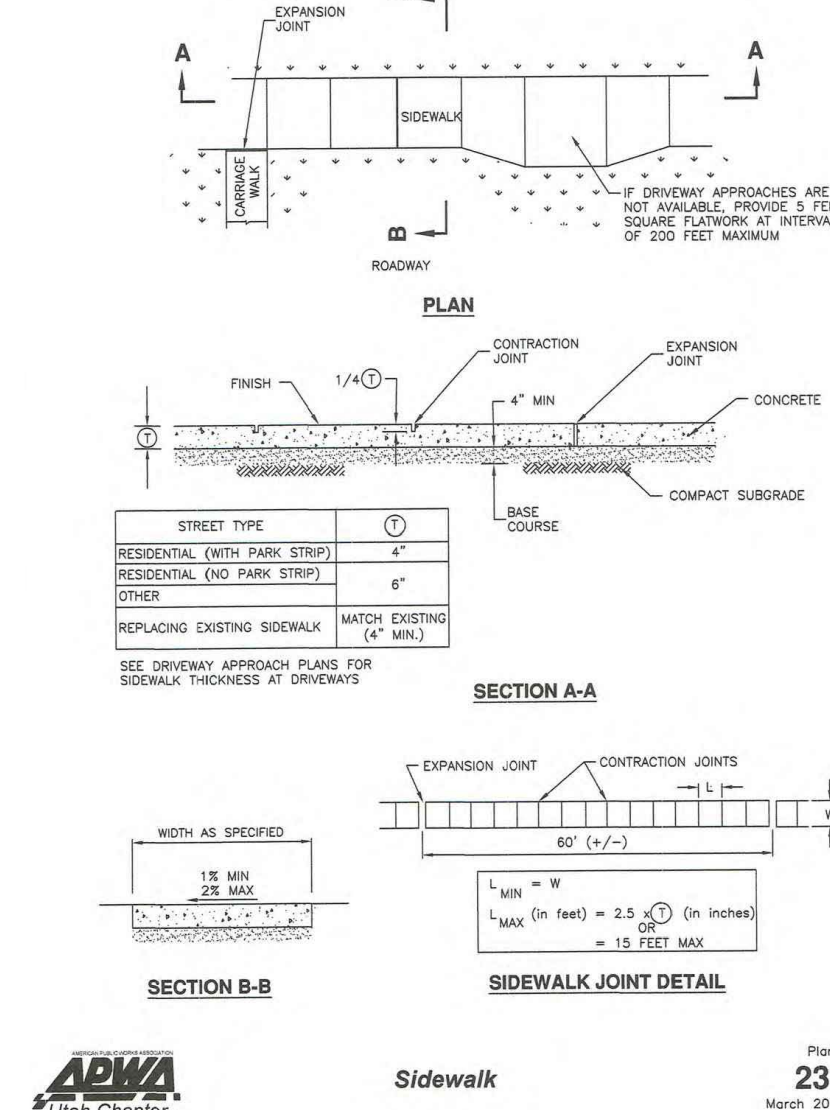
209 CURB AND GUTTER "TYPE P"

206 CURB AND GUTTER CONNECTION

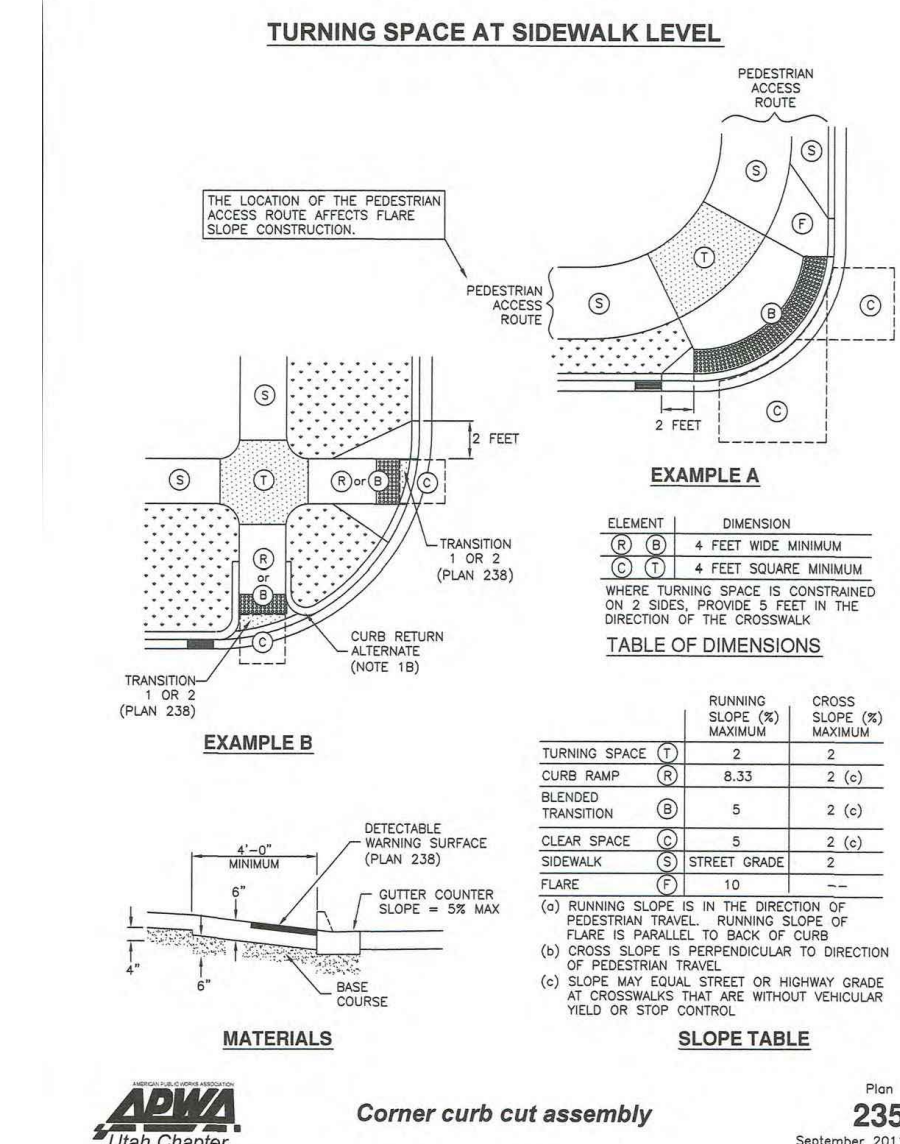
- 211**
- 1. GENERAL**  
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.  
B. Unless indicated otherwise, width of waterway as follows:  
1) 4 feet for a residential street.  
2) 6 feet for a non-residential street.  
3) If wider than 6 feet, offset the flow line to match (line up with) the curb and gutter flow line. Adjust cross slopes to match existing slopes.  
C. Additional requirements are specified in APWA Section 32 16 13.
- 2. PRODUCTS**  
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.  
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.  
D. Reinforcement: Galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A615.  
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- 3. EXECUTION**  
A. Base Course Placement: APWA Section 32 05 10. Thickness is 6-inches if flow-line grade is 0.5 percent (s=0.005) or greater. If slope is less, provide 8-inches. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
B. Concrete Placement: APWA Section 03 30 10.  
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Expansion joints are not required in concrete placement using slip-form construction.  
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Match joint location in adjacent Portland-cement concrete roadway pavement.  
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.  
C. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair construction that does not drain. If necessary, fill flow-line with water to verify.



- 231**
- 1. GENERAL**  
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.  
B. Additional requirements are specified in APWA Section 32 16 13.
- 2. PRODUCTS**  
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.  
C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.  
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- 3. EXECUTION**  
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
B. Concrete Placement: APWA Section 03 30 10.  
1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.  
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).  
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.



- 235.1**
- 1. GENERAL**  
A. Where existing elements or spaces are altered to receive an assembly, slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown. Where physical constraints (e.g. utility covers, poles, vaults, etc.) prevent compliance, a single diagonal curb cut assembly may serve both pedestrian street crossings.  
B. Installation of flares or curb returns is ENGINEER'S choice.  
C. Definitions and supplemental requirements are specified in APWA Section 32 16 14.
- 2. PRODUCTS**  
A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.  
C. Detectable Warning Surface: Power, ribbed composite panels, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated elsewhere.  
D. Concrete: Class 4000, APWA Section 03 30 04.  
E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
- 3. EXECUTION**  
A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
B. Curb Modifications:  
1) The sloped surface created to accommodate a flare area shall be perpendicular to the back of curb.  
2) No grade break shall exist between the flow-line and the foot of the curb ramp or blended transition. Length of the curb modification abutting the curb ramp or transition is 4 feet minimum for each crosswalk served.  
C. Curb Ramps: Length not required to exceed 15 feet. Grade breaks are perpendicular to the direction of ramp run and are not permitted on ramp or turning space surface. Sides are parallel to each other and perpendicular to the ends. At the bottom grade break it may be necessary to install a transition zone, (APWA Part 235).  
D. Concrete Placement: APWA Section 03 30 10.  
1) Maximum length to width ratio for rectangular panel joints is 1.5 to 1. Joint spacing measured in feet not to exceed twice slab thickness measured in inches or a maximum of 15 feet.  
2) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install contraction joints vertical, 1/8-inch wide, and 1/4 of the depth of the concrete flare/walk.  
3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.  
E. Clear Space: No top tripping in the clear space.



211

211 WATERWAY

231

231 SIDEWALK

235.1

235.1 CORNER CURB CUT ASSEMBLY

**REVISIONS:**

REV #	DESCRIPTION	DATE
REV #1	CITY REVIEW #1	4-14-26



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STAMP	PROJECT NO.
	W-26-01
	DATE
	04/14/26
	DRAWN BY: JACOB WEBER, P.E.
CHD BY: WEBER	SHEET NUMBER
	D-01



# DETAILS

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

GENERAL

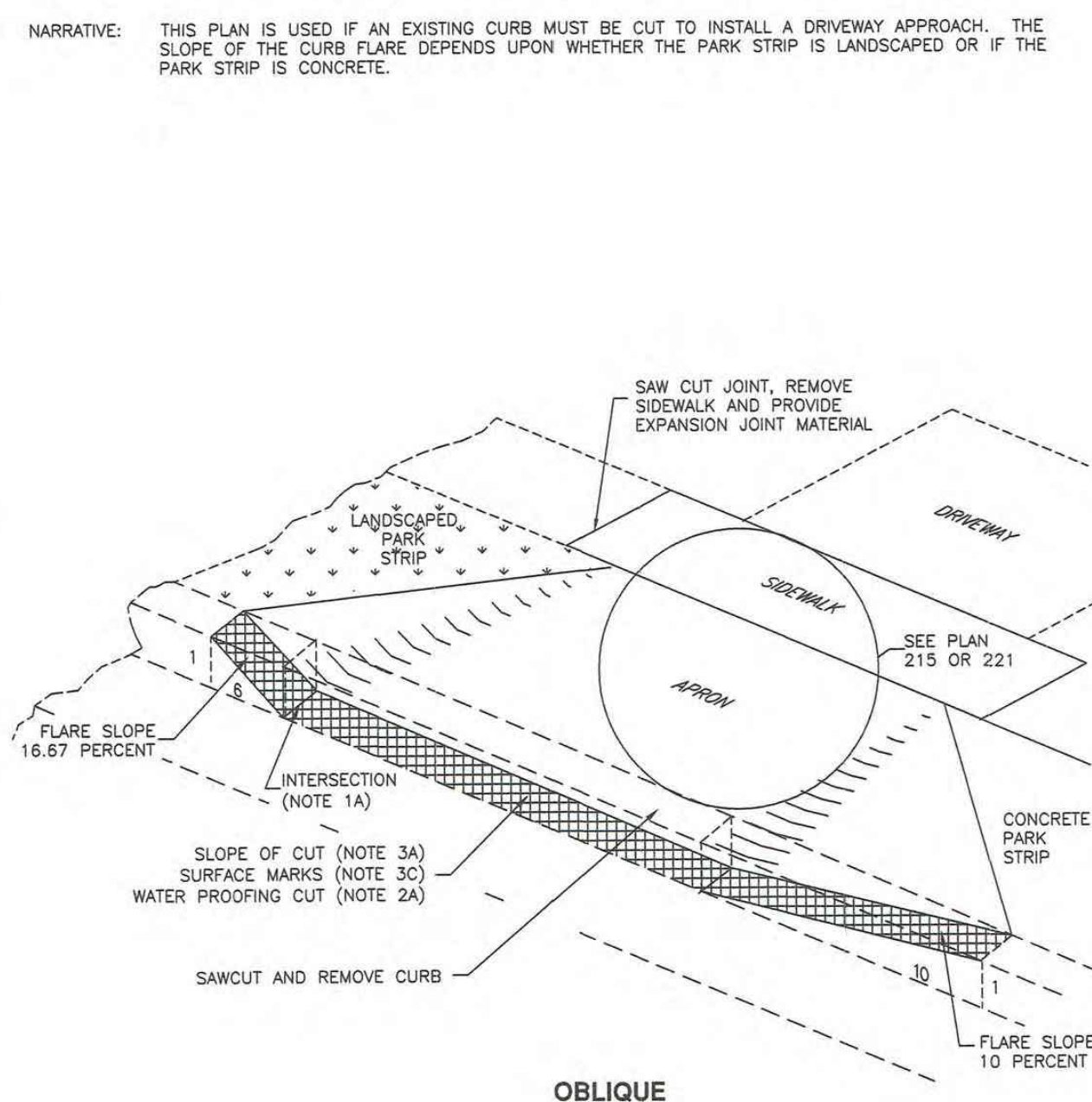
222 SAW-CUT DRIVEWAY APPROACH

522 1 1/2" and 2" METER

315.1 CURB INLET CATCH BASIN

332 PRECAST BOX

- Saw-cut driveway approach**
- GENERAL**
    - The drawing shows sawing off and removing a curb for the construction of a new driveway approach. Additional requirements are specified in Plan 215 or Plan 221 for constructing driveway approach after curb is removed.
    - The slope of the right flare is required if a pedestrian access route abuts the curb. The slope of the left flare is required if a pedestrian access route DOES NOT abut the curb.
    - Variance from specified slopes must be acceptable to the ENGINEER.
  - PRODUCT**
    - Water repellent: Penetrating compound, APWA Section 07 19 00.
    - Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
  - EXECUTION**
    - At the apron, cut the curb off so the slope of the curb cut as measured perpendicular to the flow line is 16.67 percent (1:6). Unless specified otherwise, make the curb cut intersect the flow line.
    - At the flare, cut the curb off so the slope of curb cut as measured parallel to the flow line is as follows:
      - 8.33 percent (1:12) if curb borders a surface used by pedestrians.
      - 16.67 percent (1:6) if curb does not border a surface used by pedestrians.
    - No over-cutting where cuts merge. Grind sawed surface so no blade marks remain.
    - Water proofing. Apply full coverage water repellent over cut concrete.
    - Expansion Joint: Vertical, full depth, with top of filler set flush with concrete surface.



222

522 1 1/2" and 2" METER



Saw-cut driveway approach

Plan 222  
February 2011

522

522 1 1/2" and 2" METER

1 1/2" and 2" meter

Revised January 2025

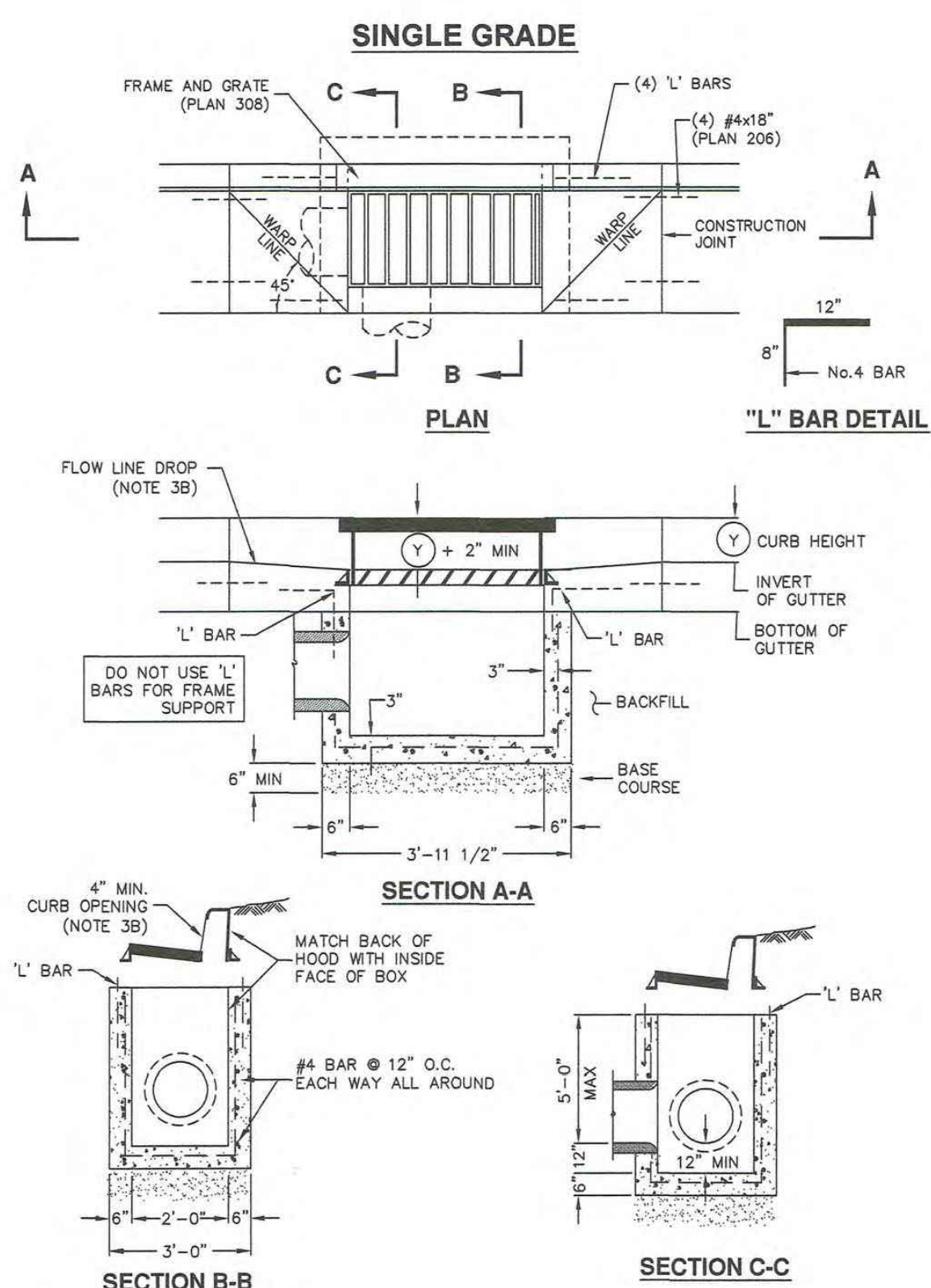


1 1/2" and 2" meter

Plan 522  
August 2001

Precast box

- GENERAL**
  - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- PRODUCTS**
  - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - Concrete: Class 4000, APWA Section 03 30 04.
  - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
- EXECUTION**
  - Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
  - Curb Face Opening: Make opening at least 4-inches high. Provide at least a 2-inch drop between the "warp line" in the gutter flow-line and the top of the grate at the curb face opening.
  - Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
  - Backfill: Place backfill against the basin wall. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



315.1

315.1 CURB INLET CATCH BASIN



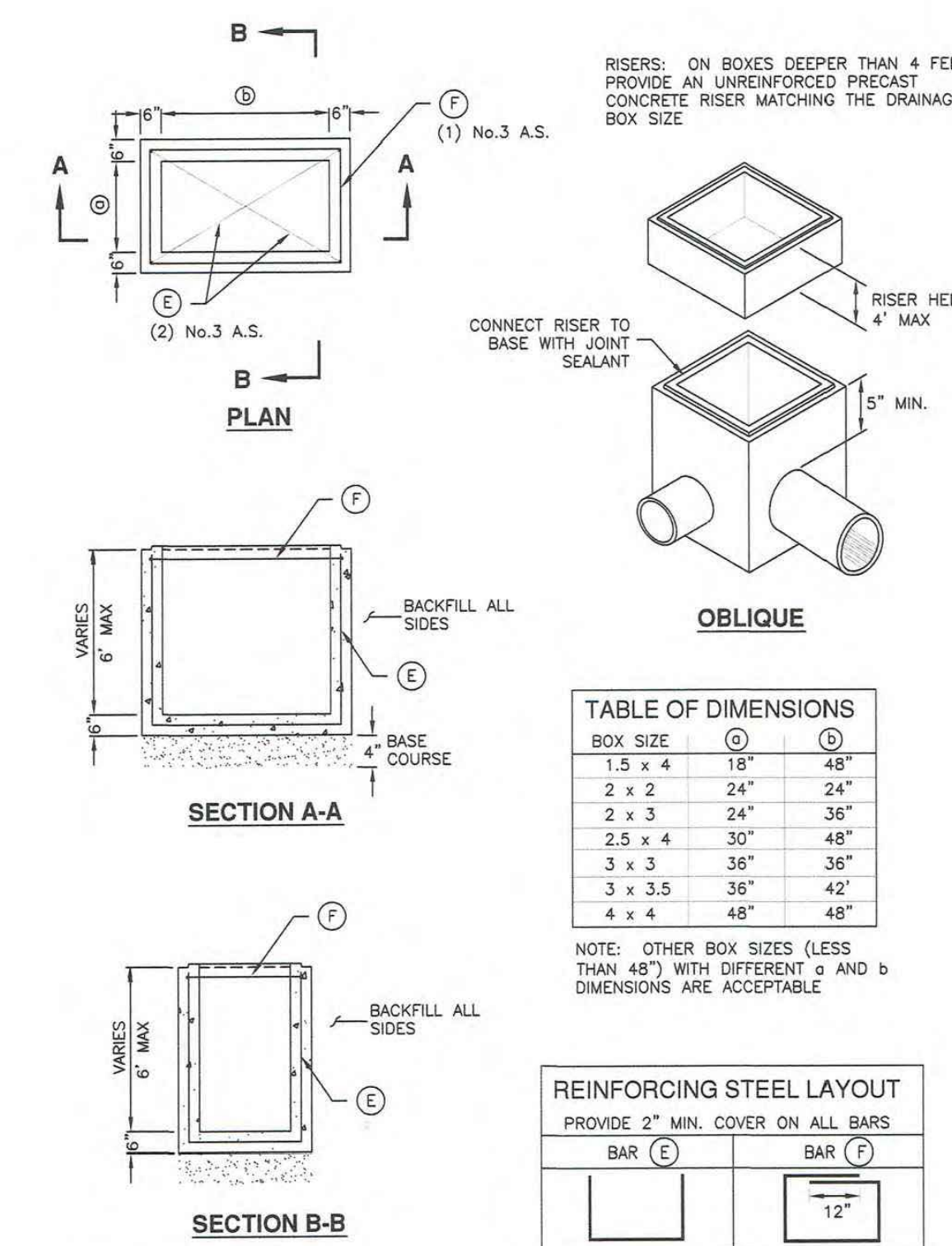
Catch basin

Plan 315.1  
September 2010

332

332 PRECAST BOX

- GENERAL**
  - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
  - This drawing is acceptable where the water table elevation is less than 3 feet above the floor of the box. If elevation of water table is higher, engineering calculations and drawings must be submitted to and approved by the ENGINEER.
  - Submit bar design detail for ENGINEER's review.
- PRODUCTS**
  - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - Precast Concrete: Class 4000 precast, APWA Section 03 40 00.
  - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615. Coated steel is not required for small drainage structures shown on this drawing.
  - Frame and Cover (or Grate): Use the appropriate unit indicated in the Contract Documents.
  - Joint Sealant: Rubber-based, compressible.
- EXECUTION**
  - Concrete Placement: Provide 2-inches of concrete cover over reinforcing steel.
  - Lifting Points: Provide at least 2 lifting points per section that avoid interference with the reinforcing steel and that are designed according to PCI (Prestressed Concrete Institute) design handbook. Lift only from the engineered lifting points.
  - Depth: Drainage boxes and riser combinations that exceed 8-feet from finished grade to the bottom of the box requires ENGINEER's approval. Submit design calculations and shop drawings.
  - Core Holes:
    - Provide core holes that are at least 4" larger than attaching outer pipe diameter. Cut core holes at the manufacturing plant unless ENGINEER permits field core holes.
    - Center core holes to leave 2" of concrete measured horizontally from inside wall of the box to core hole. Locate core hole vertically so bottom of core hole will be at or above floor elevation with at least 5-inches of concrete directly above the core hole to the top of the box.
    - Deviations from core hole tolerances require shop drawings. Shop drawings will identify lifting point number and location.
  - Precast Top: Design precast top for AASHTO HL-93 live loads and submit rebar detail and stamped design drawings to ENGINEER. Show connection detail for frame and grate or cover.



Precast box

Plan 332  
June 2010

REV #	DESCRIPTION	DATE
REV #1	CITY REVIEW #1	4-14-26

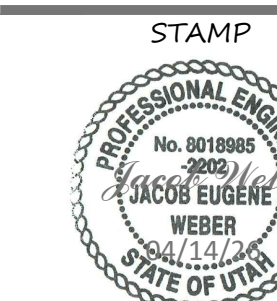


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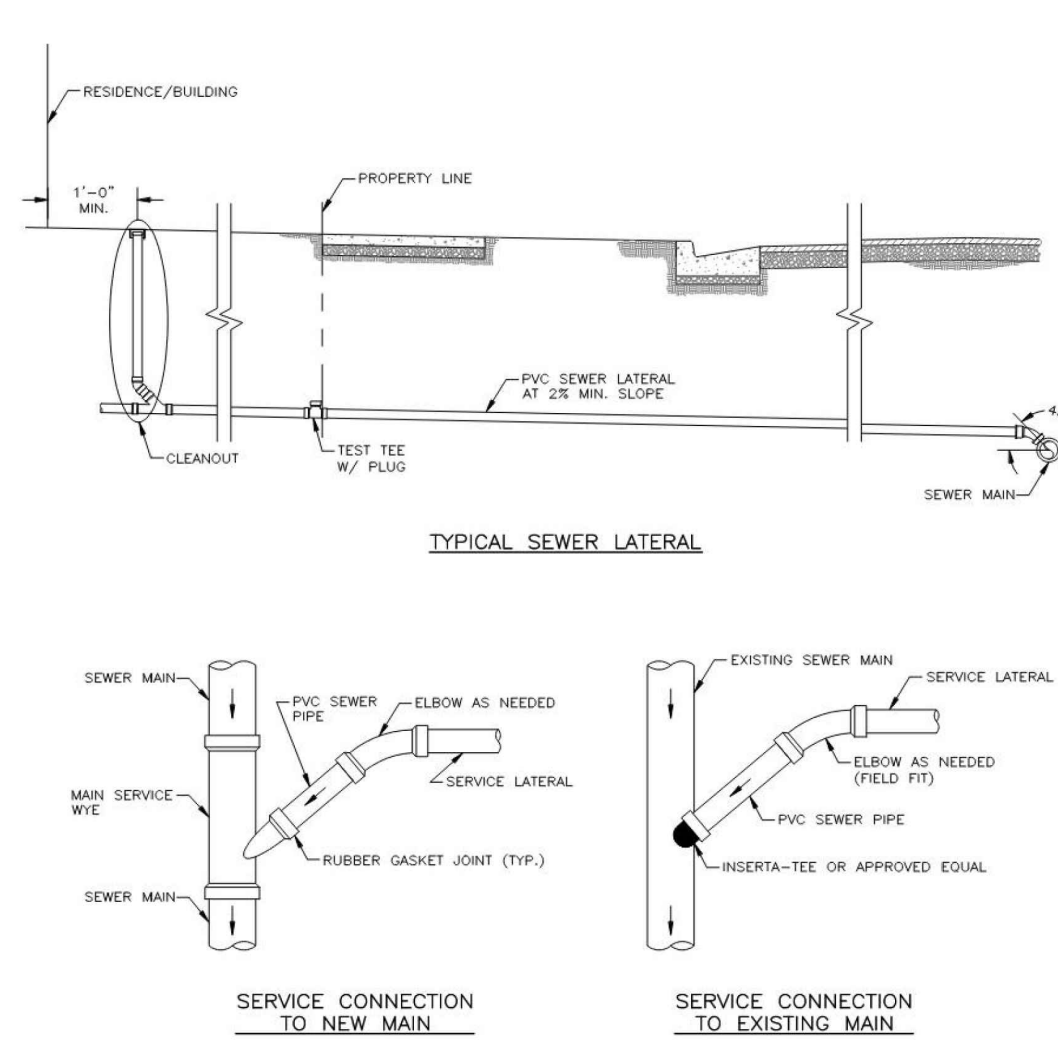
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STAMP  
PROJECT NO. W-26-01  
DATE 04/14/26  
DRAWN BY: JACOB WEBER, P.E.  
SHEET NUMBER D-02



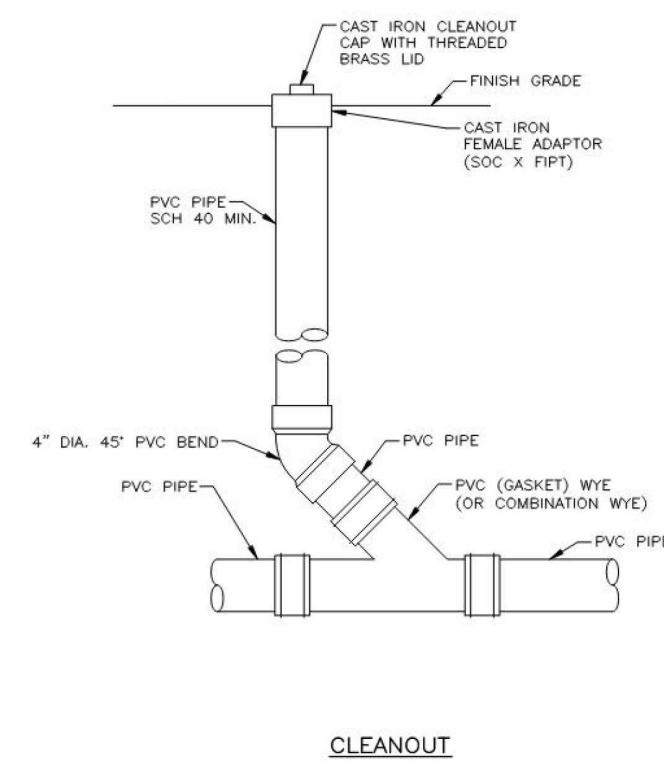
3-5. Typical Sewer Lateral & Cleanout



3-5 TYP. SEWER LATERAL & CLEANOUT  
D-03

- NOTES:
1. SERVICE LATERAL SHALL BE 4" OR 6" AS SHOWN ON PLANS OR AS DIRECTED BY MT. COLUMBIUS IMPROVEMENT DISTRICT.
  2. SEWER LATERALS SHALL CONNECT TO SEWER MAIN AT EITHER A 22.5° OR 45° ANGLE.
  3. LATERAL CONNECTIONS SHALL BE A MINIMUM OF 24 INCHES OFF OF BELL SPOOT OF SEWER MAIN.
  4. ONLY ONE (1) NEW LATERAL CONNECTION SHALL BE ALLOWED PER 4 FOOT SEGMENT OF SEWER MAIN PIPE.

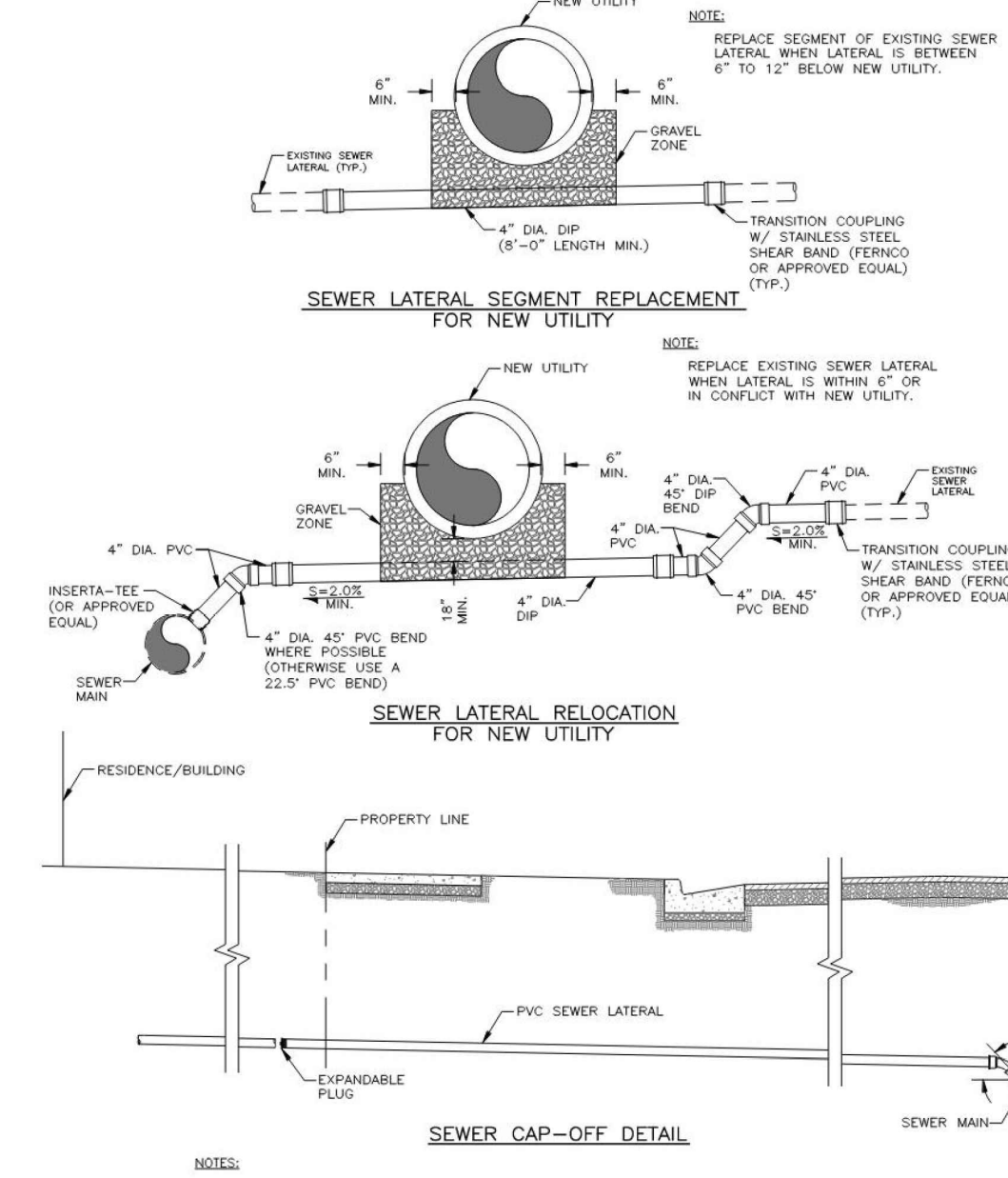
3-6. Typical Sewer Lateral & Cleanout (Cont.)



3-6 TYP. SEWER LATERAL & CLEANOUT (CONT.)  
D-03

- NOTES:
1. SIZE OF PIPING AS SHOWN ON DRAWINGS OR AS DETERMINED BY MT. COLUMBIUS IMPROVEMENT DISTRICT.
  2. PVC JOINTS SHALL BE GASKETED JOINTS. NO GLUE JOINTS ARE ALLOWED.
  3. WHEN CONNECTING TO INTERIOR PIPING, SHEAR BAND FERRICO OR APPROVED EQUAL SHALL BE USED.

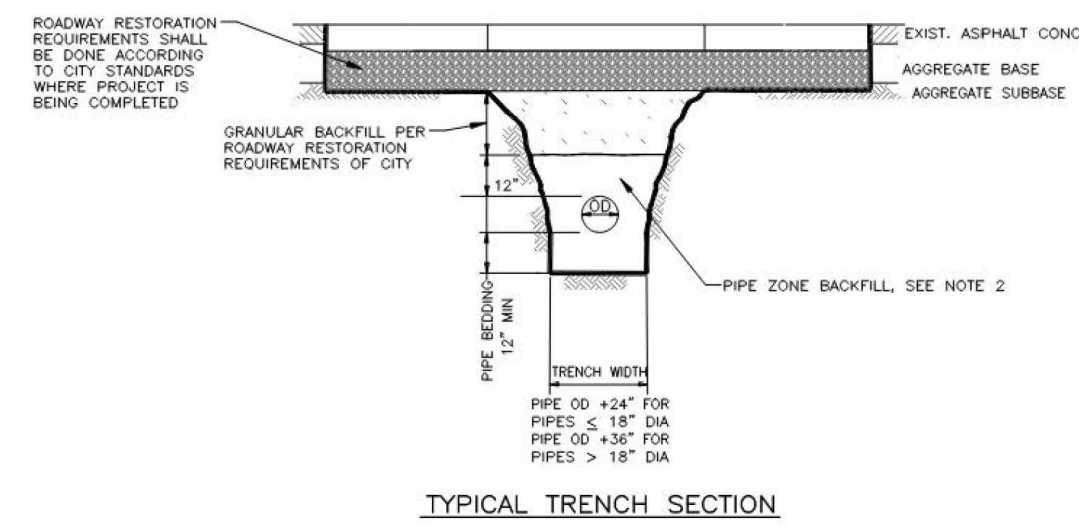
3-7. Lateral Replacement for New Utility



3-7 LATERAL REPLACEMENT FOR NEW UTILITY  
D-03

- NOTES:
1. A BAG OF DUM-CRETE OR APPROVED EQUAL SHALL BE USED TO MIX AND FILL AROUND EXPANDABLE FLUG.
  2. CAP-OFF SHALL BE BEHIND PROPERTY LINE. OLD PROPERTY LINE CLEANOUTS SHALL BE ABANDONED AS PART OF CAP-OFF PROCESS.

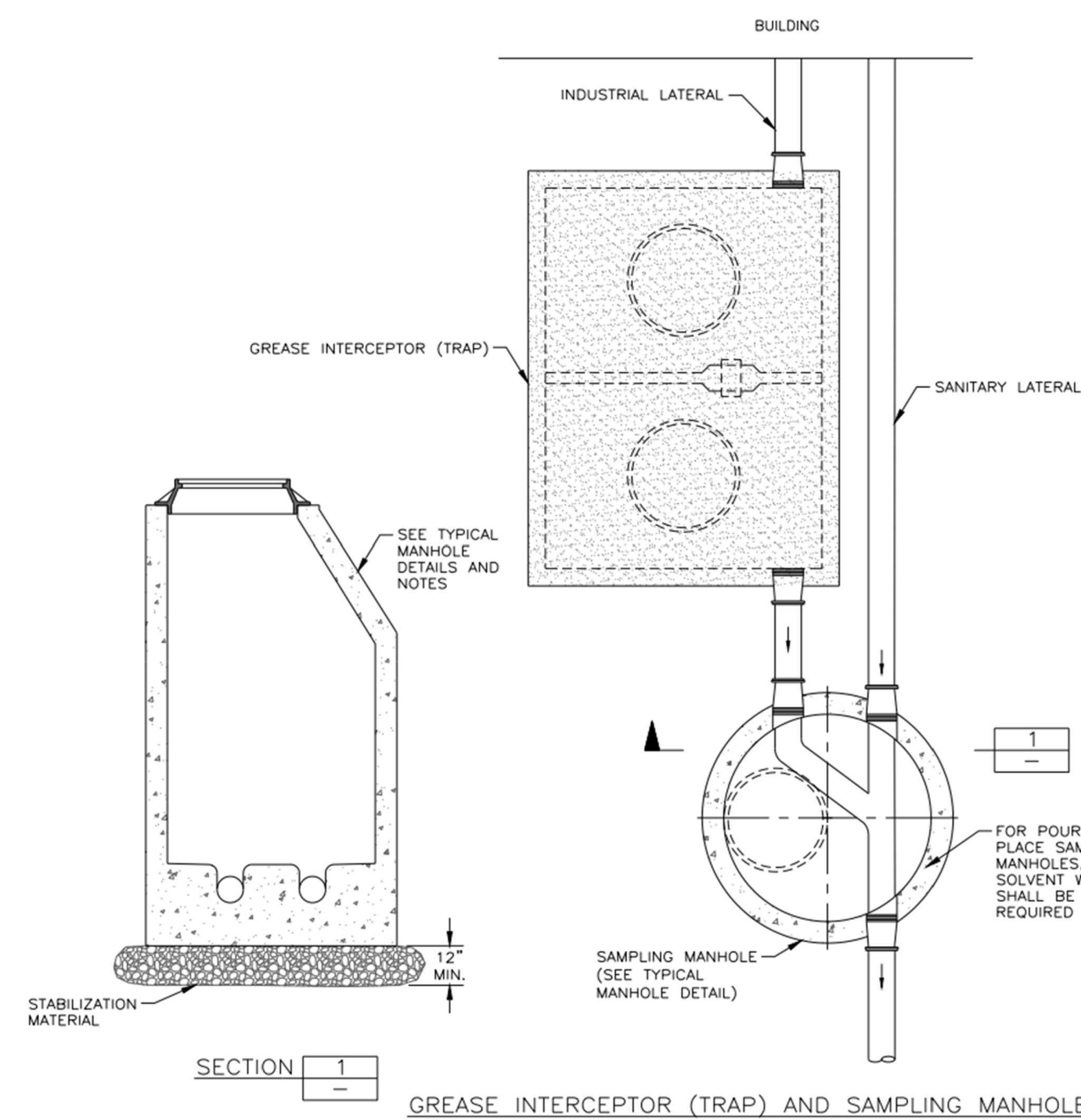
3-8. Typical Trench Detail



- NOTES:
1. TRENCH EXCAVATION IN ACCORDANCE WITH APWA 31 23 16, OSHA, AND UOHS SAFETY STANDARDS.
  2. PIPE ZONE MATERIAL TO BE A-1-0 OR A-1-1-0 ASTM D 3282 1/4" MAXIMUM PARTICLE SIZE, PEA GRAVEL AND "SQUEEZY" IS NOT ALLOWED IN ANY PART OF THE PIPE ZONE. MATERIAL SHALL BE PLACED IN LIFT NOT EXCEEDING 5" AND COMPACTED TO A MODIFIED PROCTOR DENSITY OF 95% OR GREATER (PER ASTM 1557) WITHOUT DAMAGING OR DEFLECTING PIPE.
  3. RECYCLED ASPHALT SHALL NOT BE USED FOR BACKFILL IN ANY PART OF THE TRENCH.
  4. FOR NEW CONNECTIONS TRENCH WIDTH SHALL BE 4 FOOT MINIMUM.

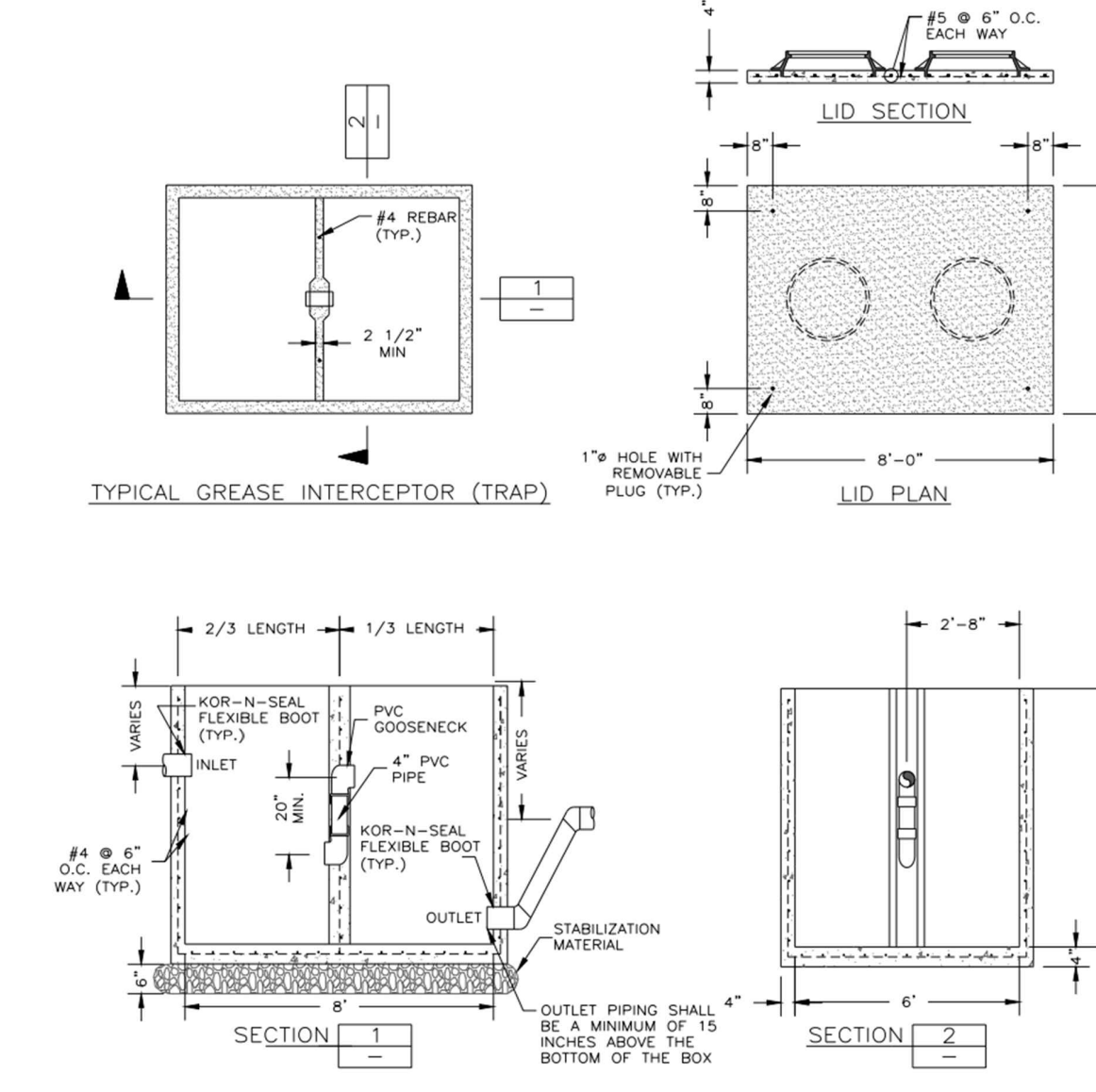
3-8 TYP. TRENCH DETAIL  
D-03

3-9. Grease Interceptor (Trap) & Sampling Manhole



3-9 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE  
D-03

3-10. Grease Interceptor (Trap) and Sampling Manhole (Cont.)



- NOTES:
1. MINIMUM VOLUME CAPACITY: 800 GALLONS. VARIANCES MUST BE APPROVED BY DISTRICT ENGINEER.
  2. CONCRETE: CLASS 4000, APWA SECTION 03 30 04. PLACEMENT PER APWA SECTION 03 30 10. PROVIDE 1/2-INCH RADIUS EDGES. APPLY A BROOM FINISH. APPLY CURING AGENT.
  3. REINFORCEMENT: DEFORMED, 60 KSI YIELD GRADE STEEL, ASTM A 615, PLACEMENT PER APWA SECTION 03 20 00.
  4. PVC PIPE: APWA SECTION 33 05 07.
  5. SEAL ALL WALL PENETRATIONS.
  6. PROVIDE TWO 30" DIAMETER ACCESS OPENINGS WITH FRAME AND COVER (ONE FOR EACH SECTION OF GREASE TRAP).
  7. BATTLE WALL SHALL BE WITHIN 3" OF I.D.
  8. ALL FOOD AND BEVERAGE BUSINESSES OR ANY OTHER BUSINESSES WITH FLOOR DRAINING THAT CONNECT TO THE SEWER SYSTEM ARE REQUIRED TO HAVE A GREASE INTERCEPTOR (TRAP) AND SAMPLING MANHOLE.

3-10 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE (CONT.)  
D-03

MOID DETAILS

CLIENT

DREW WHITEHEAD

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

HOLLADAY OFFICE PARK  
2051 AND 2061 E  
MURRAY HOLLADAY RD.  
HOLLADAY, UT 84117

GENERAL

3-5 TYP. SEWER LATERAL & CLEANOUT  
D-03

3-6 TYP. SEWER LATERAL & CLEANOUT (CONT.)  
D-03

3-7 LATERAL REPLACEMENT FOR NEW UTILITY  
D-03

3-8 TYP. TRENCH DETAIL  
D-03

3-9 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE  
D-03

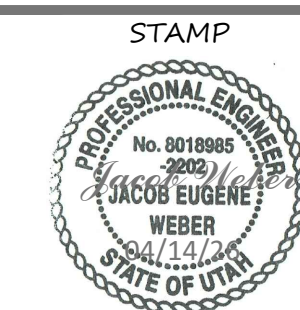
3-10 GREASE INTERCEPTOR (TRAP) SAMPLING MANHOLE (CONT.)  
D-03

REV #	DESCRIPTION	DATE
REV #1	CITY REVIEW #1	4-14-26



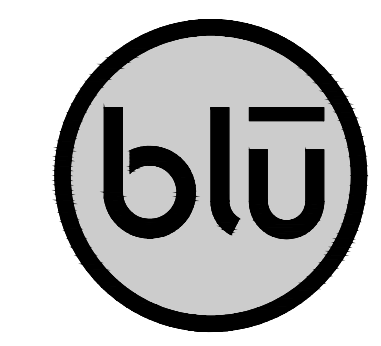
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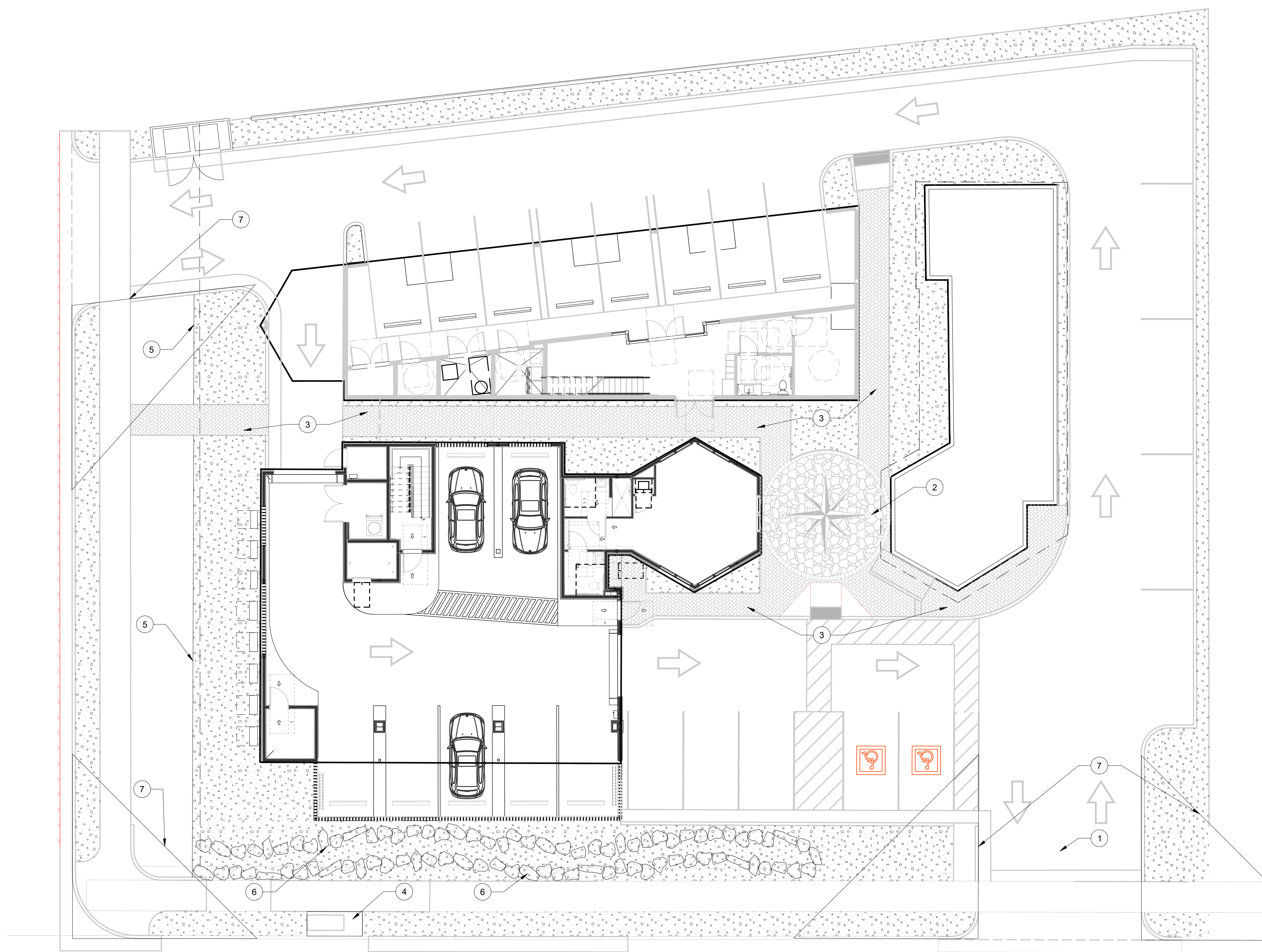


PROJECT NO. W-26-01  
DATE 04/14/26  
DRAWN BY: JACOB WEBER, P.E.  
CHKD BY:  
SHEET NUMBER D-03





blu line designs  
 planning | landscape architecture | design  
 8719 S. Sandy Parkway  
 Sandy, UT 84070  
 p 801.913.7994  
 CLIENT



**REFERENCE NOTES SCHEDULE**

SYMBOL	CODE	DESCRIPTION
1		ENTRY MONUMENT AND RAISED PLANTER
2		CUSTOM BELGARD PAVER COMPASS INLAY
3		BELGARD HOLLAND STONE 60MM PAVER. INSTALL IN A HERRINGBONE PATTERN. COLOR VICTORIAN
4		UTA BUS STOP BENCH AND CONCRETE PAD
5		STEEL EDGING
6		ROCK LINED DRAINAGE SWALE. DRY CREEK BED LOOK, SEE DETAILS.
7		CLEAR VIEW SIGHT DISTANCE TRIANGLE PER HOLLADAY CITY CODE SECTION 13.76.710
8		ROCK MULCH

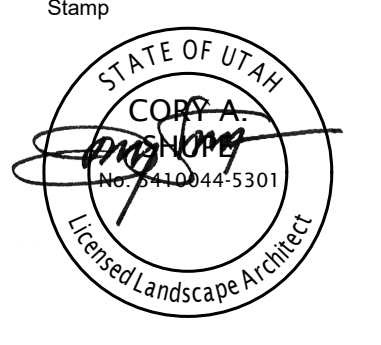
HOLLADAY OFFICE PARK	
LANDSCAPE AREA	PROVIDED: 6,770 S.F.*
LANDSCAPE TURF	PROVIDED: 1,302 S.F. (19.2%)
LANDSCAPE PLANTER BED AREA	PROVIDED: 5,468 S.F.
TREES REQ. (1 TREE/300 S.F. INTERNAL LANDSCAPE AREA) = (5,219/300=17.4 TREES)	PROVIDED: 19
TREE REPLACEMENT PER HOLLADAY'S CANOPY SUSTAINABILITY PLAN (ORD. 13.04.040 & 13.77)	REQUIREMENTS MET. SEE SHEET LP102 FOR ADDITIONAL INFORMATION

\*TOTAL LANDSCAPE AREA INCLUDES SITE AREA DEDICATED TO LANDSCAPE WITHIN THE SITE'S PROPERTY LINE, AS WELL AS OUTSIDE THE PROPERTY LINE, SUCH AS PARK STRIPS, ETC. TOTAL INTERNAL LANDSCAPE AREA IS 5,219 S.F. WHILE THE TOTAL IS 6,770 S.F.

**MOUNTAIN VISTA MIXED USE**

2061 EAST MURRAY HOLLADAY ROAD  
 HOLLADAY, UT 84117

REVISIONS	
NO.	DESCRIPTION

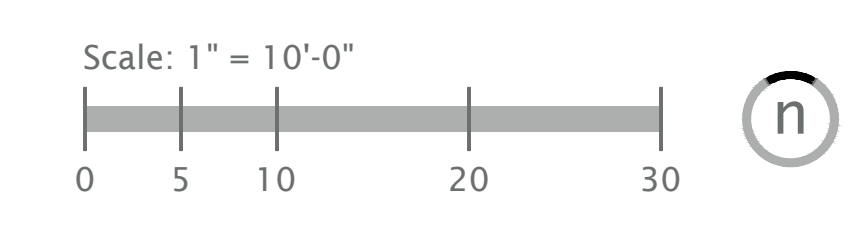


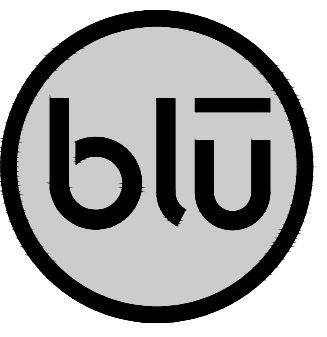
Designed By: ES  
 Drawn By: CS  
 Date: 04/15/2026  
 Checked By: CS  
 Project No: 26-103

Drawing Title  
**LANDSCAPE SITE PLAN**

Drawing number

**LS101**

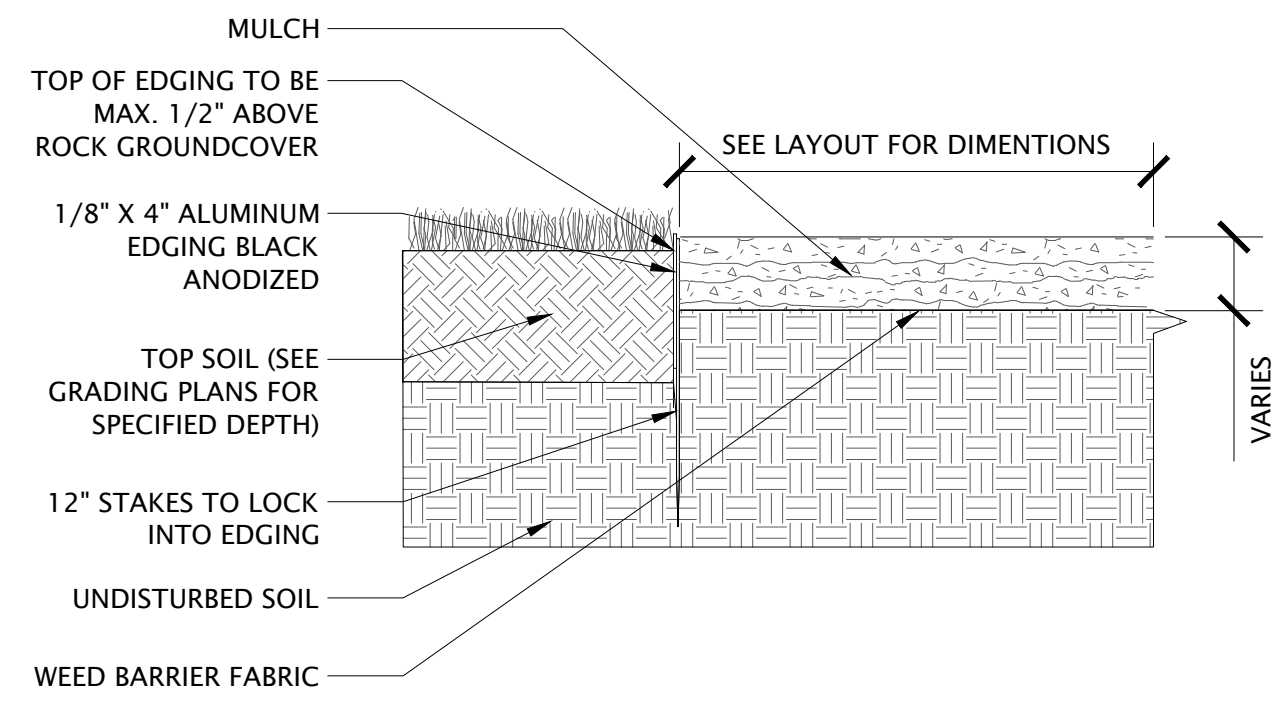




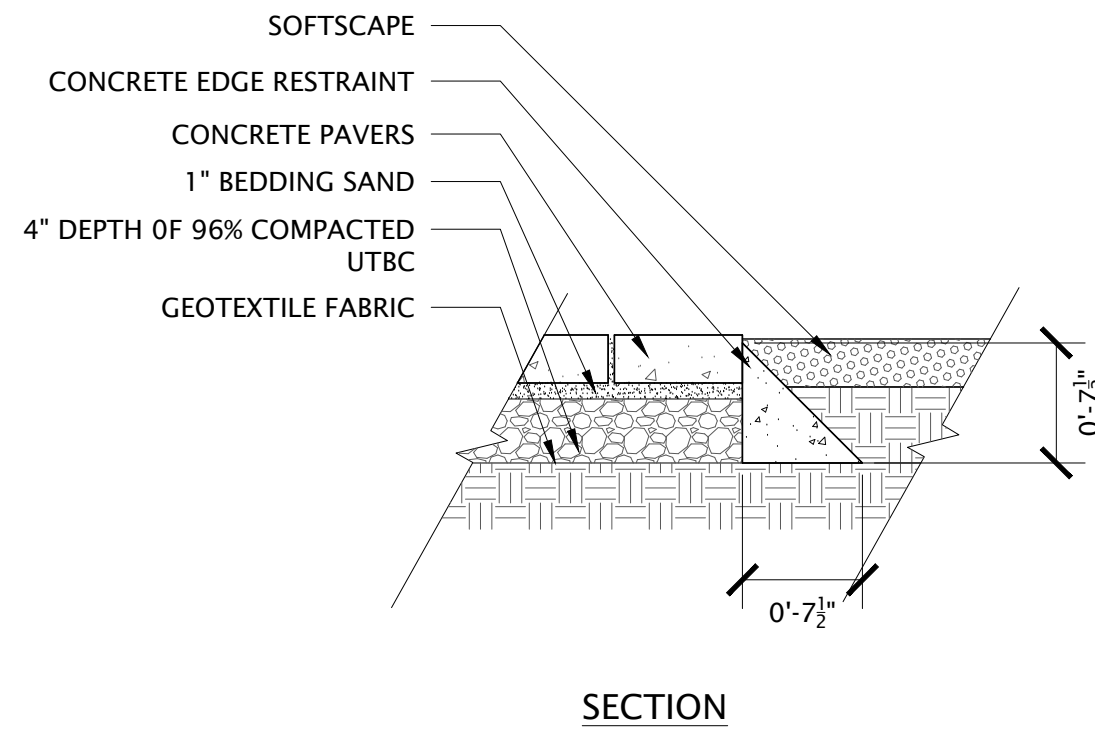
blu line designs  
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8719 S. Sandy Parkway  
Sandy, UT 84070  
p 801.913.7994

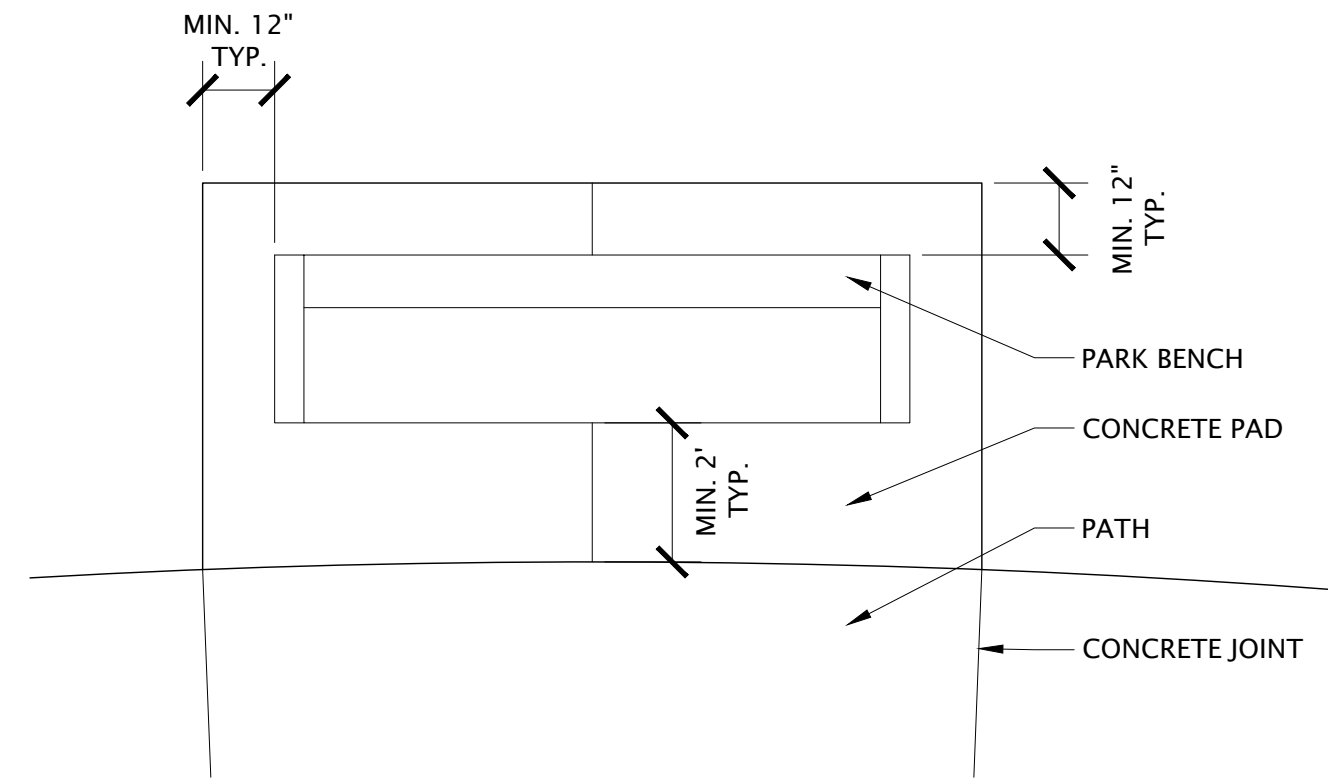
CLIENT



1 4" ALUMINUM EDGING TYP.



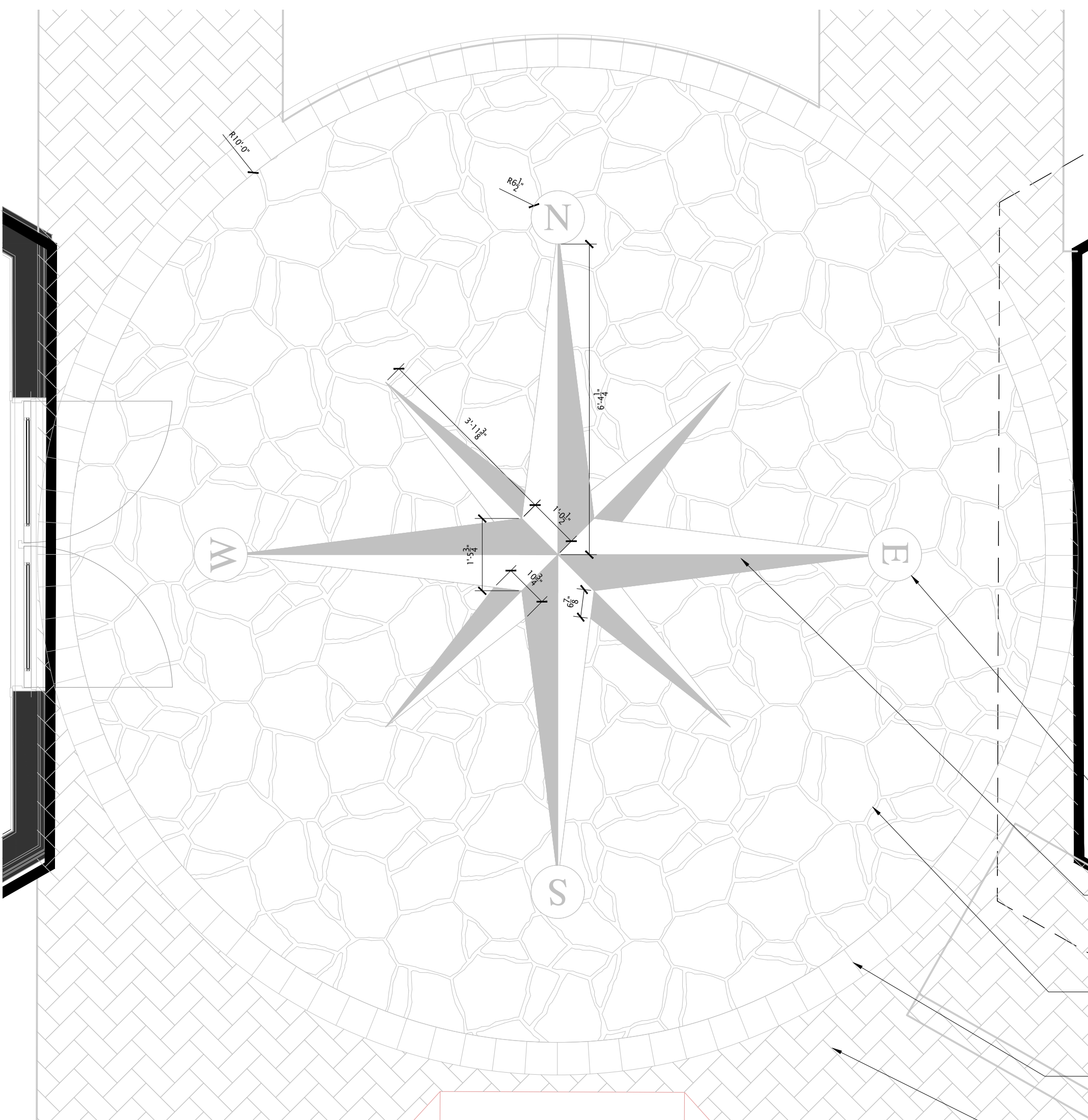
2 PAVER EDGE RESTRAINT AND LAYMENT



3 RECTANGLE BENCH PAD  
NOT TO SCALE

NOTES:  
1. FILL CRACKS WITH COARSE GRANULAR SAND AND COMPACT WITH PLATE COMPACTOR.  
2. USE CONCRETE EDGE RESTRAINT ALONG IRREGULAR EDGE AS SHOWN.

NOTES:  
1. EXACT BENCH DIMENSIONS VARY BASED ON SELECTED PRODUCT. ADJUST SIZE OF BENCH PAD AS NECESSARY TO MEET MINIMUM OFFSET REQUIREMENTS.  
2. INSTALL BENCH PER MANUFACTURER'S RECOMMENDATIONS.  
3. BENCH PADS ADJACENT TO PLAYGROUND CURB SHALL HAVE A 1.5' MINIMUM OFFSET AT THE FRONT OF THE PAD.  
4. SEE SPECIFICATIONS FOR BENCH MODEL AND MANUFACTURER.



4 CUSTOM COMPASS INLAY

DECORATIVE ROUND PAVER WITH ENGRAVED LETTERS. TO BE WATER JETTED OUT OF A MEGA BERGERAC 14-3/16" LARGE SQUARE PAVER ASPEN COLOR.

DECORATIVE CONCRETE PAVERS. PAVERS TO BE BELGARD QUARTZITI 2.0 IN GLACIER AND MANTLE COLORS. PRESSED FACE FINISH. EXACT PAVERS TO BE APPROVED BY OWNER PRIOR TO ORDERING. PROVIDE SAMPLES TO OWNER IN THE FORM OF A MOCK-UP FOR OWNER APPROVAL PRIOR TO ORDERING AND INSTALLING PAVERS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

DECORATIVE CONCRETE PAVERS. PAVERS TO BE BELGARD MEGA ARBEL. PRESSED FACE FINISH. VICTORIAN COLOR. EXACT PAVERS TO BE APPROVED BY OWNER PRIOR TO ORDERING. PROVIDE 3'X3' MOCK-UP FOR OWNER APPROVAL PRIOR TO ORDERING AND INSTALLING PAVERS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

DECORATIVE CONCRETE PAVER BANDING. PAVERS TO BE BELGARD 8"x8" HOLLAND STONE SQUARE IN VICTORIAN COLOR. EXACT PAVERS TO BE APPROVED BY OWNER PRIOR TO ORDERING. PROVIDE MOCK-UP FOR OWNER APPROVAL PRIOR TO ORDERING AND INSTALLING PAVERS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

PAVER FIELD OUTSIDE OF COMPASS INLAY TO BE HOLLAND STONE IN VICTORIAN COLOR INSTALLED AS HERRINGBONE PATTERN. INSTALL PER SITE PLANS.



-DEFINED VERTICAL DROP ALONG EDGES  
-NATURAL CLUSTERINGS OF ROCK  
-GRADATION OF SIZES  
-BOULDERS PARTIALLY BURIED



NOTES:  
1. THE SWALE IS TO BE 18" DEEP.  
2. OWNER TO APPROVE ROCK TYPES AND COLORS PRIOR TO INSTALLATION. BLONDES AND BROWNS ARE DESIRED, WITH GRANITE BEING AN ALTERNATE.  
3. BOTTOM OF SWALE TO BE LINED WITH MULTIPLE LAYERS OF DEWITT PRO 5 WEED BARRIER PRIOR TO INSTALLATION.

5 CORRECT SWALE APPEARANCE

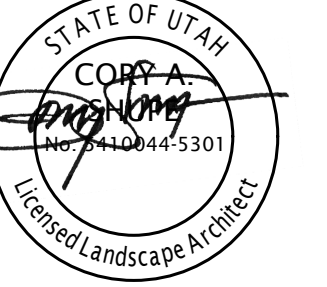
MOUNTAIN VISTA MIXED USE

2061 EAST MURRAY HOLLADAY ROAD  
HOLLADAY, UT 84117

REVISIONS

NO.	DATE	DESCRIPTION

Stamp



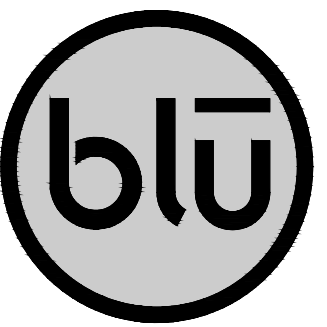
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Drawn By: CS  
Date: 04/15/2026  
Checked By: CS  
Project No: 26-103

Drawing Title

LANDSCAPE  
SITE DETAILS

Drawing number

LS501



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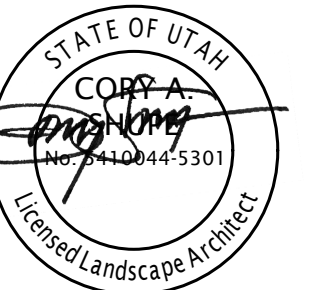
MOUNTAIN VISTA MIXED USE

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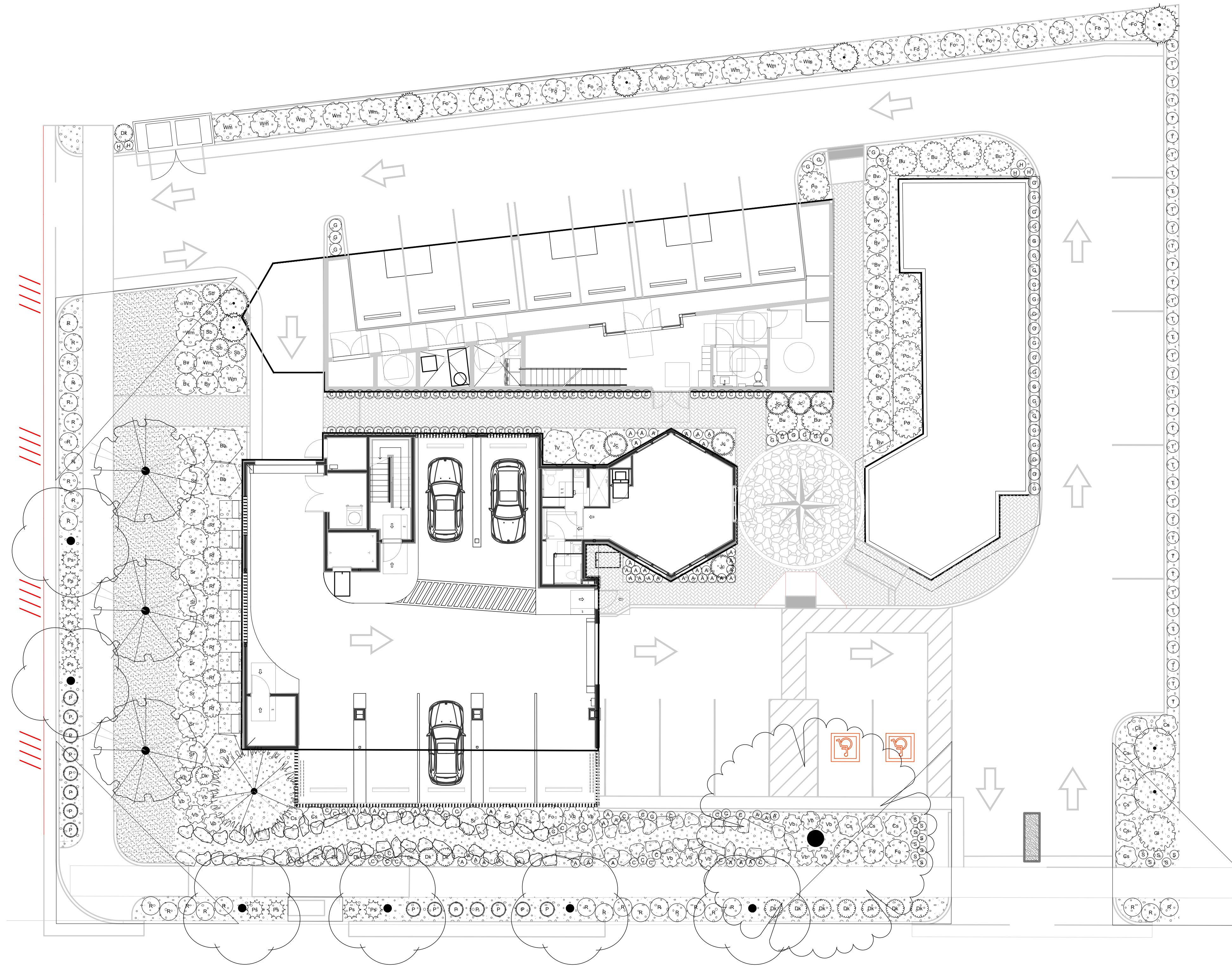
Drawing Title  
 PLANTING PLAN

Drawing number

LP101

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
<b>DECIDUOUS TREES</b>	
	ACER PLATANOIDES 'EMERALD QUEEN' / EMERALD QUEEN MAPLE
	PRUNUS SERRULATA 'KWANZAN' / FLOWERING CHERRY
	TILIA CORDATA 'HALKA' / SUMMER SPRITE® LITTLELEAF LINDEN
<b>EVERGREEN TREES</b>	
	JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER
	PICEA GLAUCA PENDULA 'NORTON TOWER' / NORTON TOWER WEEPING WHITE SPRUCE
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE
	PINUS NIGRA 'ARNOLD SENTINEL' / ARNOLD SENTINEL AUSTRIAN BLACK PINE
<b>SHRUBS</b>	
	BUDDLEIA DAVIDII 'ROYAL RED' / BUTTERFLY BUSH
	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD
	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB
	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD
	CORNUS SERICEA 'ARCTIC FIRE' / ARCTIC FIRE DOGWOOD
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH
	FORSYTHIA X 'COURTASOL' / GOLD TIDE® FORSYTHIA
	JUNIPERUS COMMUNIS 'PENCIL POINT' / PENCIL POINT COMMON JUNIPER
	PINUS MUGO 'SLOWMOUND' / MUGO PINE
	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL
	RHAMNUS FRANGULA 'RON WILLIAMS' / FINE LINE® ALDER BUCKTHORN
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
	SPIRAEA BETULIFOLIA / BIRCH LEAF SPIREA
	SPIRAEA X BUMALDA 'DART'S RED' / DART'S RED SPIREA
	VINCA MINOR 'BOWLES' / BOWLES PERIWINKLE
	WEIGELA FLORIDA 'MINUET' / MINUET WEIGELA



ANNUALS/PERENNIALS

- Ⓒ
- Ⓐ
- Ⓣ
- Ⓔ
- Ⓕ
- Ⓗ
- Ⓘ
- Ⓡ
- Ⓢ

ORNAMENTAL GRASSES

- Ⓕ

SYMBOL

GROUND COVERS

- ANNUAL BED / CONTRACTOR SELECTED AND INSTALLED
- POA PRATENSIS / KENTUCKY BLUEGRASS

- AQUILEGIA X 'EARLYBIRD' / EARLYBIRD™ SERIES COLUMBINE
- ASTER DUMOSUS 'WOOD'S BLUE' / WOOD'S ASTER
- COREOPSIS GRANDIFLORA 'TEQUILA SUNRISE' / TICKSEED
- GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA
- HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY
- RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN
- SALVIA NEMOROSA 'SENSATION DEEP BLUE IMPROVED' / DEEP BLUE SAGE

- PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS

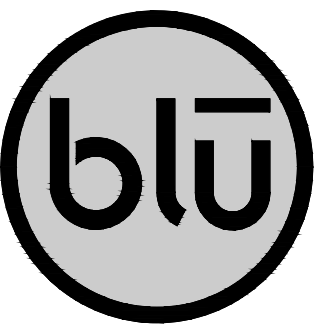
BOTANICAL / COMMON NAME

Scale: 1" = 10'-0"





HOLLADAY OFFICE PARK - TREE CANOPY SUSTAINABILITY PLAN CALCULATIONS	
TOTAL TREE CANOPY REMOVED	3,833 S.F. REMOVED
TOTAL TREE CANOPY REPLACED	4,913 S.F. REPLACED
TOTAL NUMBER OF TREES REMOVED	4
TOTAL NUMBER OF NEW TREES	19
TREES REMOVED ARE SHOWN IN RED ON PLAN	NEW TREES ARE SHOWN IN GREEN ON PLAN



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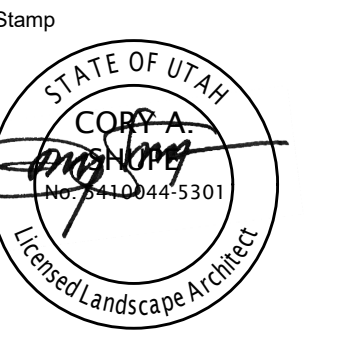
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MOUNTAIN VISTA MIXED USE

2061 EAST MURRAY HOLLADAY ROAD  
 HOLLADAY, UT 84117

REVISIONS	
NO.	DESCRIPTION



Designed By: ES  
 Drawn By: CS  
 Date: 04/15/2028  
 Checked By: CS  
 Project No: 26-103

Drawing Title  
**TREE REPLACEMENT PLAN**

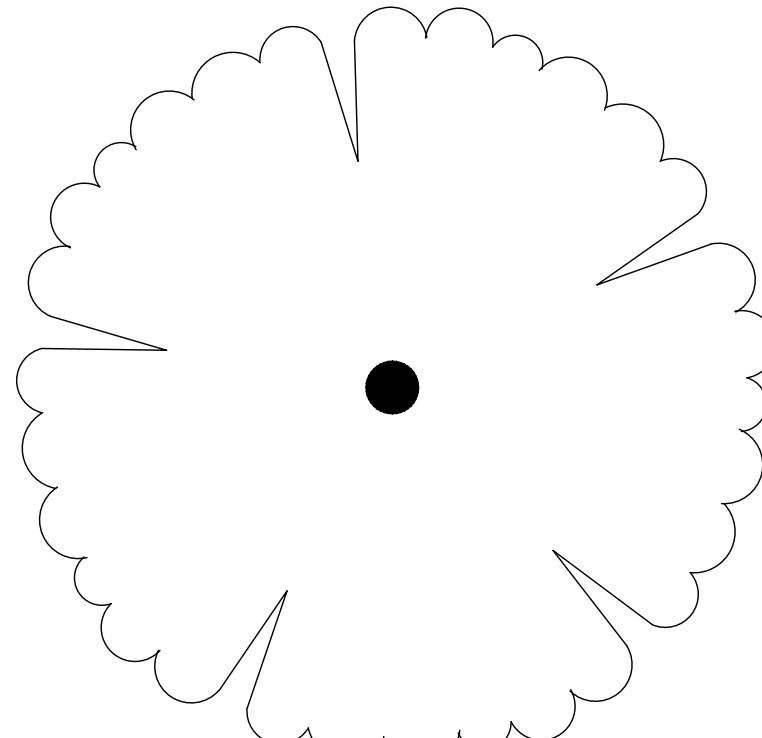
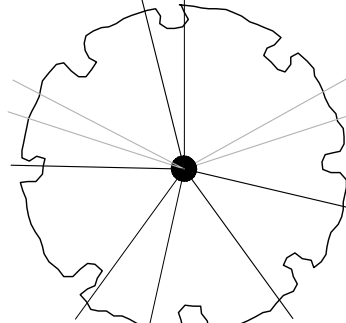
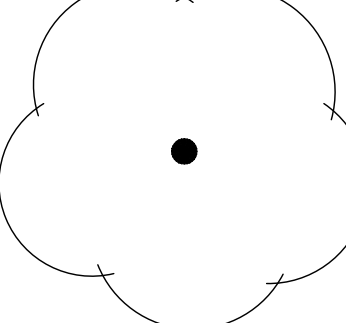
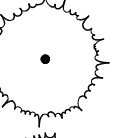

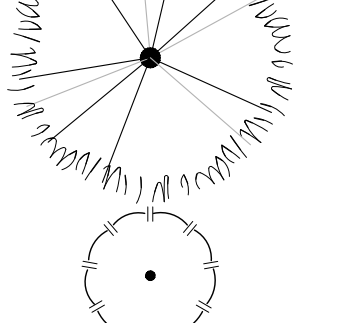


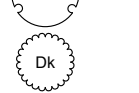

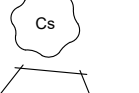
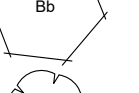
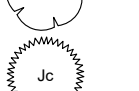




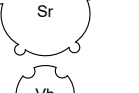




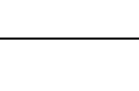
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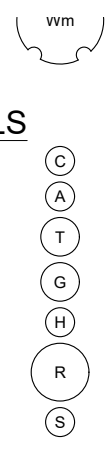
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**PLANT SCHEDULE**

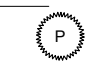
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
<b>DECIDUOUS TREES</b>				
	ACER PLATANOIDES 'EMERALD QUEEN' / EMERALD QUEEN MAPLE	B&B	2" CAL	1
	PRUNUS SERRULATA 'KWANZAN' / FLOWERING CHERRY	B&B	2" CAL	3
	TILIA CORDATA 'HALKA' / SUMMER SPRITE® LITTLELEAF LINDEN	B&B	2" CAL	6
<b>EVERGREEN TREES</b>				
	JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER	B&B	6" HT MIN.	1
	PICEA GLAUCA PENDULA 'NORTON TOWER' / NORTON TOWER WEeping WHITE SPRUCE	B&B	6" HT MIN.	5
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B&B	6" HT MIN.	1
	PINUS NIGRA 'ARNOLD SENTINEL' / ARNOLD SENTINEL AUSTRIAN BLACK PINE	B&B	6" HT MIN.	2
<b>SYMBOL</b>	<b>BOTANICAL / COMMON NAME</b>	<b>CONT</b>		<b>QTY</b>
<b>SHRUBS</b>				
	BUDDLEIA DAVIDII 'ROYAL RED' / BUTTERFLY BUSH	5 GAL		6
	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	5 GAL		16
	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB	5 GAL		15
	CORNUS ALBA 'BAILHALO'™ / IVORY HALO DOGWOOD	5 GAL		2
	CORNUS SERICEA 'ARCTIC FIRE' / ARCTIC FIRE DOGWOOD	5 GAL		12
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		3
	FORSYTHIA X 'COURTASOL' / GOLD TIDE® FORSYTHIA	5 GAL		19
	JUNIPERUS COMMUNIS 'PENCIL POINT' / PENCIL POINT COMMON JUNIPER	5 GAL		6
	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL		10
	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL	5 GAL		6
	RHAMNUS FRANGULA 'RON WILLIAMS' / FINE LINE® ALDER BUCKTHORN	5 GAL		7
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		1
	SPIRAEA BETULIFOLIA / BIRCH LEAF SPIREA	5 GAL		5
	SPIRAEA X BUMALDA 'DART'S RED' / DART'S RED SPIREA	5 GAL		12
	VINCA MINOR 'BOWLES' / BOWLES PERIWINKLE	5 GAL		15
	WEIGELA FLORIDA 'MINUET' / MINUET WEIGELA	5 GAL		14

**ANNUALS/PERENNIALS**



WEIGELA FLORIDA 'MINUET' / MINUET WEIGELA	5 GAL	14
AQUILEGIA X 'EARLYBIRD' / EARLYBIRD™ SERIES COLUMBINE	1 GAL	96
ASTER DUMOSUS 'WOOD'S BLUE' / WOOD'S ASTER	1 GAL	53
COREOPSIS GRANDIFLORA 'TEQUILA SUNRISE' / TICKSEED	1 GAL	37
GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	1 GAL	35
HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL	5
RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN	1 GAL	28
SALVIA NEMOROSA 'SENSATION DEEP BLUE IMPROVED' / DEEP BLUE SAGE	1 GAL	13

**ORNAMENTAL GRASSES**


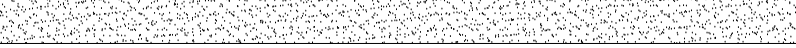


PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	1 GAL	15
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**SYMBOL**

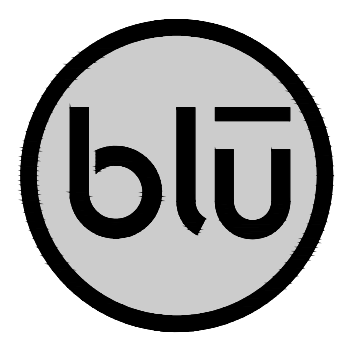
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**GROUND COVERS**

	ANNUAL BED / CONTRACTOR SELECTED AND INSTALLED	BED	8" o.c.	47
	POA PRATENSIS / KENTUCKY BLUEGRASS	SOD		898 SF

**LANDSCAPE NOTES:**

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND HOLLADAY CITY STANDARDS, SPECIFICATIONS, AND DETAILS.
- ALL PLANT MATERIAL SHALL BE GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THIS WORK AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 UNLESS OTHERWISE NOTED. PROVIDE TREES OF NORMAL GROWTH AND UNIFORM HEIGHTS, ACCORDING TO SPECIES, WITH STRAIGHT TRUNKS AND WELL DEVELOPED LEADERS, LATERALS, AND ROOTS.
- THE CONTRACTOR SHALL CALL BLUE STAKES AT 1-800-662-4111 FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- EXISTING UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, TYPE, AND STRUCTURES TO BE ENCOUNTERED ON THE PROJECT PRIOR TO ANY EXCAVATION AND CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS, LICENSES, AND APPROVALS REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, DISPOSAL, OR RELOCATION OF ALL OBSTRUCTIONS AND DEBRIS WITHIN THE DELINEATED CONSTRUCTION AREA PRIOR TO STARTING NEW CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM NEW CONSTRUCTION.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING FEATURES AND FACILITIES SCHEDULED TO REMAIN AS PART OF THE FINISHED CONSTRUCTION. REPAIR, REPLACEMENT, AND/OR REMOVAL AS DETERMINED BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL ROUGH GRADE TO WITHIN +/- A TENTH OF A FOOT FROM FINISH GRADE. ALL TURF GRASS AREAS SHALL BE GRADED 6" BELOW PROPOSED FINISH GRADE. SHRUB BEDS SHALL BE GRADED 16" BELOW PROPOSED FINISH GRADE.
- ALL COMPACTED AREAS DEVELOPED THROUGH CONSTRUCTION WITHIN PROPOSED LANDSCAPE AREAS SHALL BE SCARIFIED AND LOOSENEED TO A DEPTH OF 12" PRIOR TO LANDSCAPE AND IRRIGATION WORK BEGINNING.
- CONTRACTOR SHALL INSTALL A MIN. OF 4 INCHES OF PREMIUM OR AMENDED TOPSOIL FOR ALL TURF GRASS AREAS. INSTALL 12 INCHES OF PREMIUM OR AMENDED TOPSOIL IN ALL SHRUB BEDS.
- CONTRACTOR SHALL INSTALL A MIN. OF 4 INCHES OF ROCK MULCH IN ALL SHRUB BEDS. APPLY PRE-EMERGENT TO ALL PLANTING BEDS BEFORE INSTALLING MULCH.
- NO PLANT SPECIES SUBSTITUTIONS WILL BE MADE WITHOUT APPROVAL OF OWNER.
- ALL PLANT LAYOUT SHALL BE VERIFIED AND APPROVED IN FIELD BY OWNER PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL MAY RESULT IN RE-WORK BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL AREAS WITHIN AND AFFECTED BY THIS PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.
- ALL CLARIFICATIONS OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BEGINNING OF WORK.
- CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL FROM THE DATE OF FINAL ACCEPTANCE.



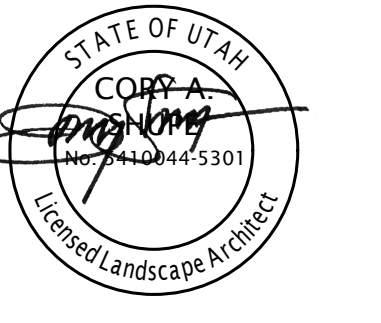
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MOUNTAIN VISTA MIXED USE

2061 EAST MURRAY HOLLADAY ROAD  
 HOLLADAY, UT 84117

REVISIONS	
NO.	DESCRIPTION

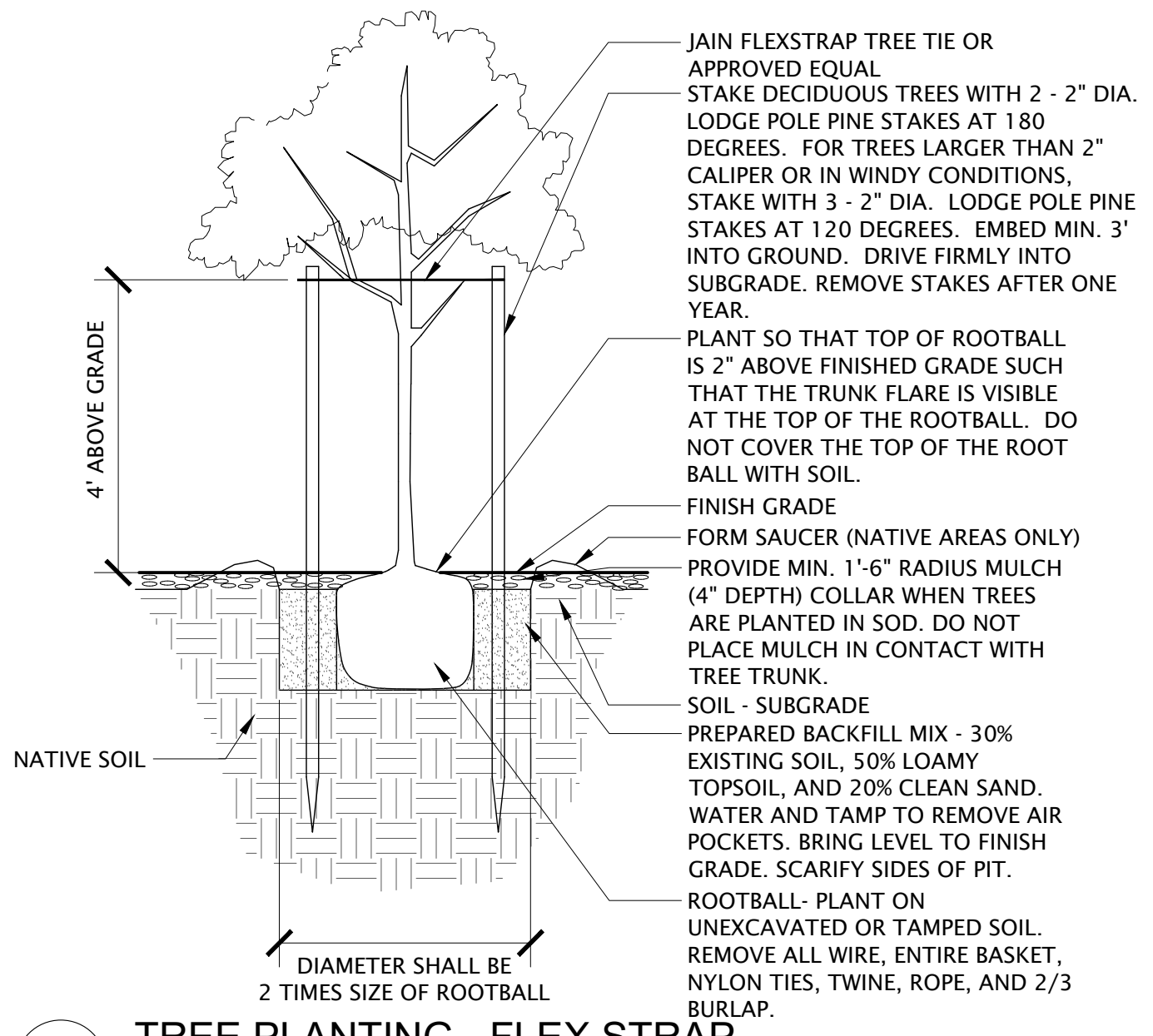


Designed By: ES  
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 Date: 04/15/2026  
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 Project No: 26-103

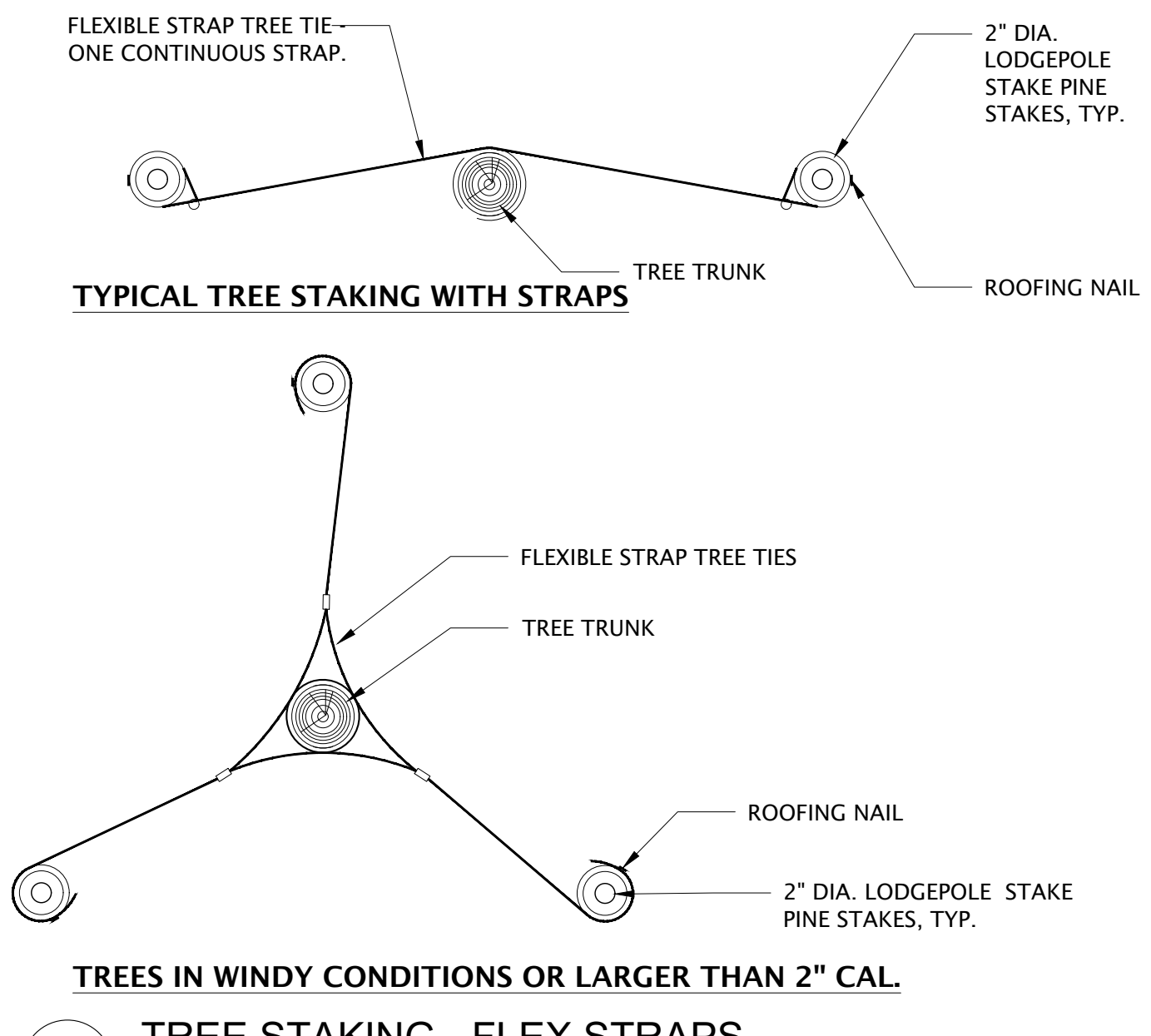
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**PLANTING  
 LEGEND AND  
 NOTES**

Drawing number

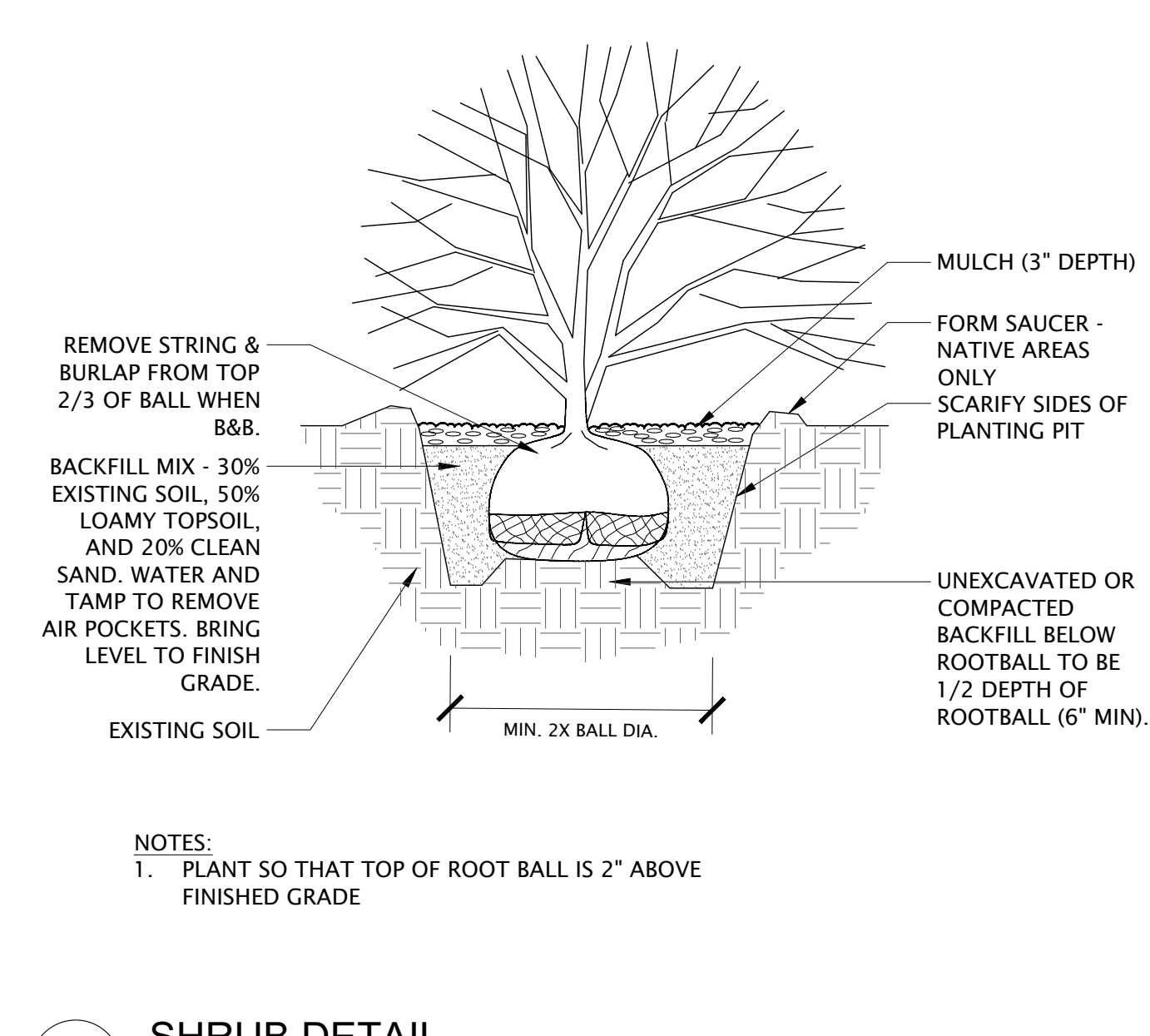
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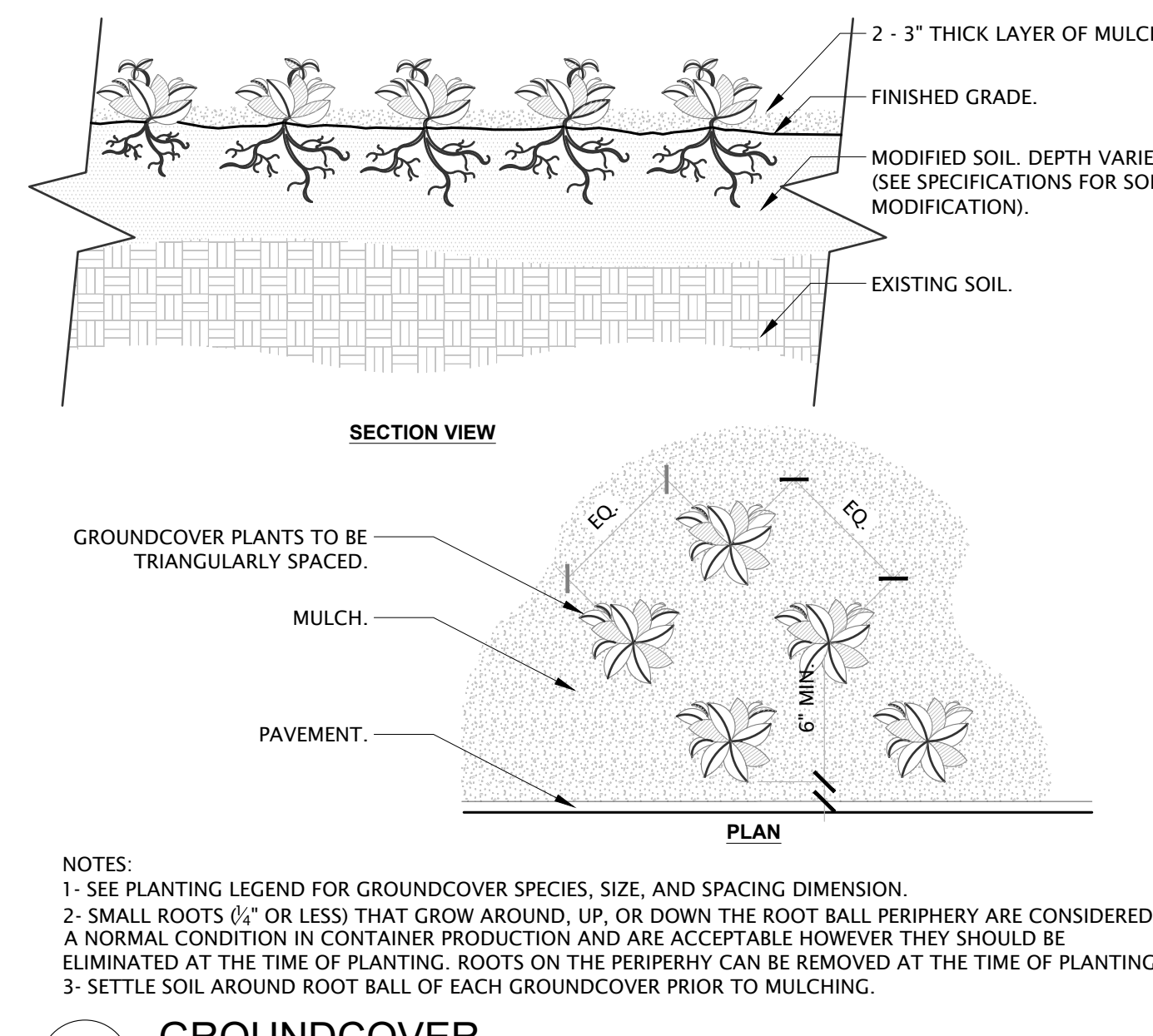
**1 TREE PLANTING - FLEX STRAP**  
NOT TO SCALE



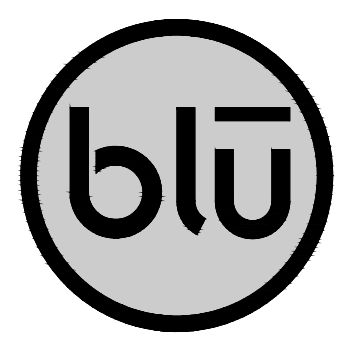
**2 TREES IN WINDY CONDITIONS OR LARGER THAN 2\"/>**



**3 SHRUB DETAIL**  
NOT TO SCALE



**4 GROUNDCOVER**  
3/4\"/>



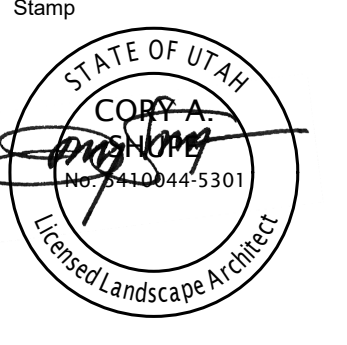
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Sandy, UT 84070  
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**MOUNTAIN VISTA MIXED USE**

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HOLLADAY, UT 84117

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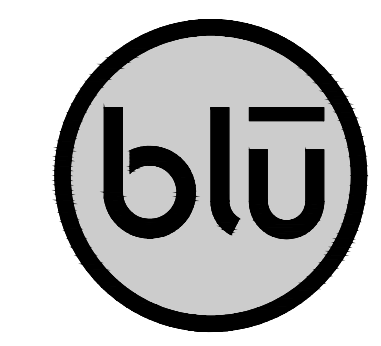


Designed By: ES  
Drawn By: CS  
Date: 04/15/2026  
Checked By: CS  
Project No: 26-103

Drawing Title  
**PLANTING  
DETAILS**

Drawing number

**LP502**



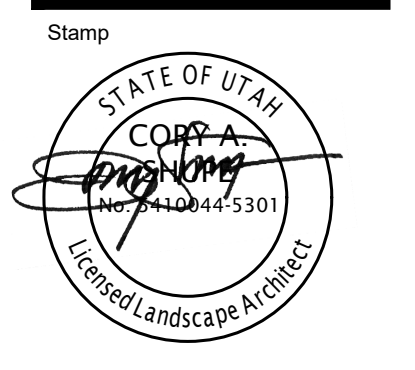
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 p 801.913.7994

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MOUNTAIN VISTA MIXED USE

2061 EAST MURRAY HOLLADAY ROAD  
 HOLLADAY, UT 84117

REVISIONS	
NO. DATE	DESCRIPTION



Designed By: ES  
 Drawn By: CS  
 Date: 04/15/2026  
 Checked By: CS  
 Project No: 26-103

Drawing Title  
**IRRIGATION PLAN**

Drawing number

**LI101**

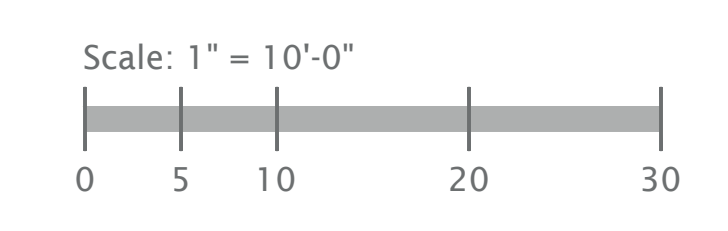
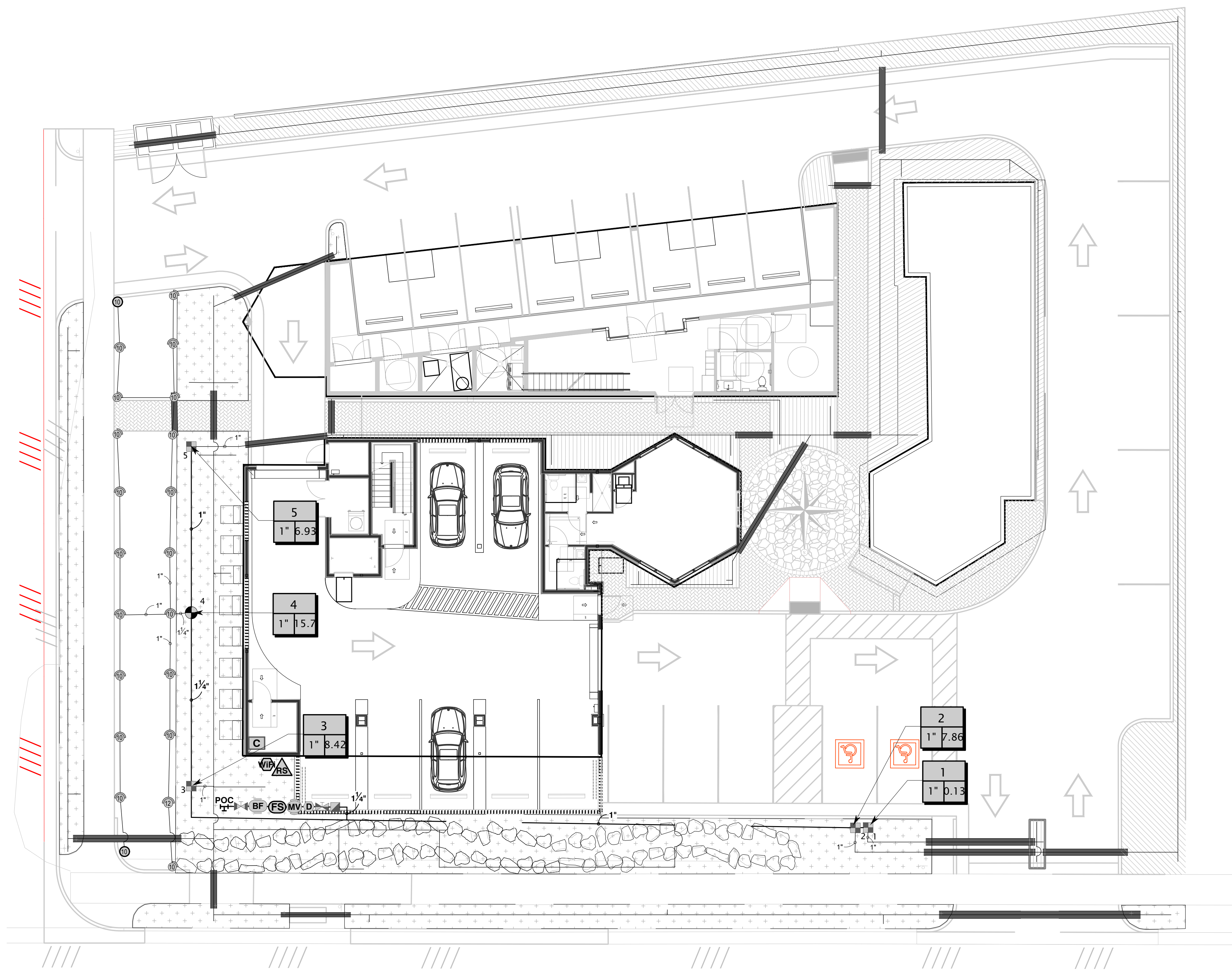
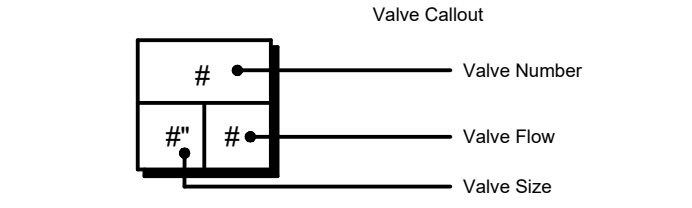
**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1804-U-SAM-PRS U10 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	19	30
	RAIN BIRD 1804-U-SAM-PRS U12 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	1	30
	RAIN BIRD 1804-U-SAM-PRS ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	2	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER ICZ-101-40 DRIP CONTROL ZONE KIT. 1IN. ICV GLOBE VALVE WITH 1IN. HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	4
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD X8-PC SINGLE OUTLET. PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1.0 GPH emitters (1 assigned to each 1 Gal plant) 2.0 GPH emitters (2 assigned to each 5 Gal plant) 2.0 GPH emitters (4 assigned to each B&B, 2" Cal plant) 2.0 GPH emitters (4 assigned to each B&B, 6" HT MIN. plant)	3,050 SF
	AREA TO RECEIVE DRIPLINE NETAFIM TLCV-04-12 TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE. 0.4 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.	2,227 LF

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER ICV-G 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1
	HUNTER HO-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	1
	ISOLATION VALVE - APOLLO 77C	1
	STOP & WASTE VALVE - MUELLER MARK II ORISEAL	1
	HUNTER IBV 1" 1IN., 1-1/2IN., 2IN., AND 3IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1
	MANUAL DRAIN - FORD B11-333	1
	BACKFLOW PREVENTER - ZURN 375XLVSR 1" INSTALL IN INSULATED VIT STRONGBOX ALUMINUM ENCLOSURE - SIZE TOFIT	1
	HUNTER HCC-1600-M 16 STATION OUTDOOR WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN & ONE ICM-800 MODULE. COMMERCIAL USE. METAL CABINET.	1
	HUNTER PC-WIFI WIFI PLUG IN MODULE FOR PRO-C CONTROLLER TO PROVIDE COMMUNICATION WITH CENTRALUS CENTRAL CONTROL.	1
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.	1
	HUNTER HFS-100 FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1IN. SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.	1

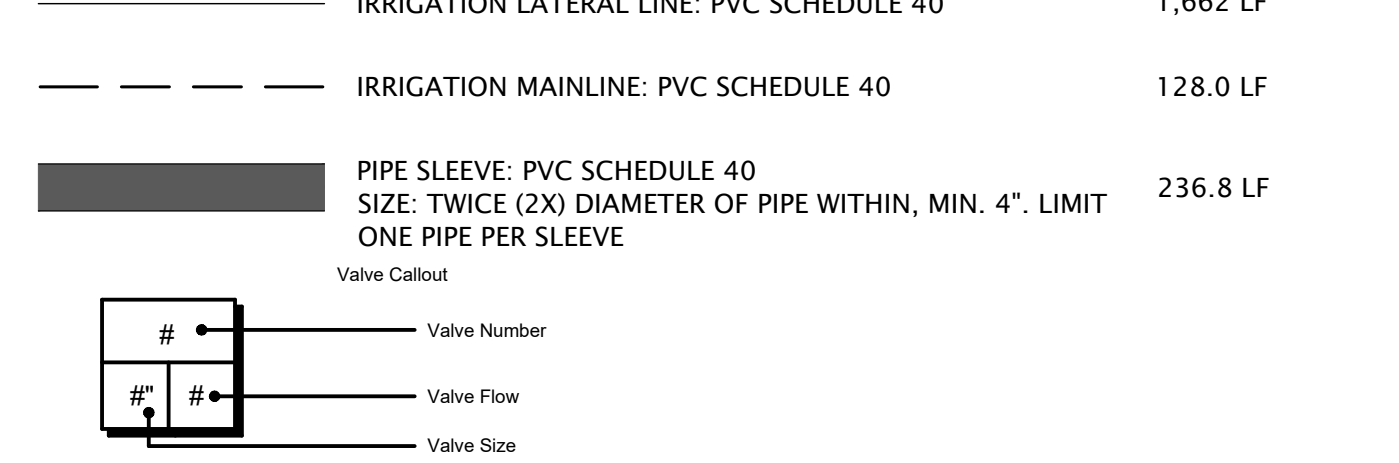
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,662 LF
	IRRIGATION MAINLINE: PVC SCHEDULE 40	128.0 LF
	PIPE SLEEVE: PVC SCHEDULE 40 SIZE: TWICE (2X) DIAMETER OF PIPE WITHIN, MIN. 4". LIMIT ONE PIPE PER SLEEVE	236.8 LF



# IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1804-U-SAM-PRS U10 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	19	30
	RAIN BIRD 1804-U-SAM-PRS U12 SERIES TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	1	30
	RAIN BIRD 1804-U-SAM-PRS ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	2	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
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	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET. PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH-BLUE, 1.0GPH-BLACK, AND 2.0GPH-RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1.0 GPH emitters (1 assigned to each 1 Gal plant) 2.0 GPH emitters (2 assigned to each 5 Gal plant) 2.0 GPH emitters (4 assigned to each B&B, 2" Cal plant) 2.0 GPH emitters (4 assigned to each B&B, 6" HT MIN. plant)	3,050 SF	
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	HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	1	
	ISOLATION VALVE - APOLLO 77C	1	
	STOP & WASTE VALVE - MUELLER MARK II ORISEAL	1	
	HUNTER IBV 1" 1IN., 1-1/2IN., 2IN., AND 3IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1	
	MANUAL DRAIN - FORD B11-333	1	
	BACKFLOW PREVENTER - ZURN 375XLVSR 1" INSTALL IN INSULATED VIT STRONGBOX ALUMINUM ENCLOSURE - SIZE TOFIT	1	
	HUNTER HCC-1600-M 16 STATION OUTDOOR WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN & ONE ICM-800 MODULE. COMMERCIAL USE. METAL CABINET.	1	
	HUNTER PC-WIFI WIFI PLUG IN MODULE FOR PRO-C CONTROLLER TO PROVIDE COMMUNICATION WITH CENTRALUS CENTRAL CONTROL.	1	
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.	1	
	HUNTER HFS-100 FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1IN. SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.	1	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,662 LF	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	128.0 LF	
	PIPE SLEEVE: PVC SCHEDULE 40 SIZE: TWICE (2X) DIAMETER OF PIPE WITHIN, MIN. 4". LIMIT ONE PIPE PER SLEEVE	236.8 LF	



# IRRIGATION NOTES

- THIS DRAWING IS DIAGRAMMATIC AND IS INTENDED TO CONVEY THE GENERAL LAYOUT OF IRRIGATION SYSTEM COMPONENTS. ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. LOCATE MAINLINE AND VALVES NEAR WALKS WHERE FEASIBLE.
- THE CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE AT THE SITE PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES BETWEEN THE WATER PRESSURE SHOWN ON THE DRAWINGS AND ACTUAL PRESSURE READINGS AT THE POINT OF CONNECTION TO THE LANDSCAPE ARCHITECT. WATER PRESSURE AT THE POINT OF CONNECTION IS EXPECTED TO BE A MINIMUM OF 70 PSI. IN THE EVENT THAT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STRUCTURES, SITE IMPROVEMENTS, WALKS, UTILITIES, AND GRADE CHANGES. COORDINATE LAYOUT OF THE IRRIGATION SYSTEM WITH OTHER TRADES SO THAT CONSTRUCTION CAN CONTINUE IN A NORMAL SEQUENCE OF EVENTS. ADJUSTMENTS MAY BE NECESSARY TO MAINTAIN FULL COVERAGE DEPENDING ON ACTUAL SITE CONDITIONS. ANY SIGNIFICANT CHANGES WILL REQUIRE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO PLACEMENT. ALL MODIFICATIONS SHALL BE RECORDED ON 'AS-BUILT' DRAWINGS.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM WHEN IT IS APPARENT IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADING DIFFERENCES MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS AND EXISTING IRRIGATION SYSTEM (IF ANY). IN THE EVENT THAT THE CONTRACTOR DAMAGES, DISPLACES OR OTHERWISE CAUSES OTHER TRADES WORK TO BE REINSTALLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM PERFORMANCE. INSTALL HEADS WITH THE APPROPRIATE ARC AND RADIUS FOR THE AREA TO BE COVERED. ADJUST NOZZLES TO ELIMINATE OVERSPRAY ONTO WALKS, BUILDINGS, ETC.
- IRRIGATION CONTROLLER(S) SHALL BE GROUNDED PER ESTABLISHED ASIC GUIDELINES.
- IRRIGATION CONTROL WIRES SHALL BE COLOR CODED WIRE FOR DIRECT BURIAL. COMMON, HOT, & SPARE WIRES SHALL BE 14 AWG (WHITE, RED & YELLOW RESPECTIVELY). FOR CONTROL WIRE RUNS EXCEEDING 3000 FEET OR COMMON WIRE RUNS EXCEEDING 1500 FEET, USE 12 AWG WIRE. CONTRACTOR SHALL RUN 1 DEDICATED SPARE WIRE HOMERUN FROM CONTROLLER TO TERMINUS OF EACH WIRE LEG. WHERE REQUIRED, COMMUNICATION WIRE TO FLOW SENSOR SHALL BE PAIGE ELECTRIC PE-39-3 CABLE. ALL WIRE SPLICES TO BE LOCATED IN VALVE BOX. ALL WIRE CONNECTIONS SHALL BE 3M DBRY.
- ALL MAINLINES, LATERAL LINES, AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES.
- ALL MAINLINE AND LATERAL LINE PIPE SHALL BE SCHEDULE 40 PVC ALL LATERAL LINE FITTINGS SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED. ALL MAINLINE FITTINGS SHALL BE SCHEDULE 80 PVC.
- CONTRACTOR SHALL USE WELD-ON P-70 PRIMER AND 711 LOW VOC CEMENT FOR ALL SOLVENT WELDED JOINTS.
- ALL LINES SHALL SLOPE TO DRAIN. ADD MANUAL DRAINS AT ALL MAINLINE LOW POINTS AS NECESSARY FOR COMPLETE DRAINAGE OF THE ENTIRE SYSTEM. INDICATE ALL DRAIN LOCATIONS ON 'AS-BUILT' DRAWINGS.
- ALL VALVE BOXES AND LIDS IN ROCK MULCH AREAS ARE TO BE TAN IN COLOR. VALVE BOXES AND LIDS IN BARK MULCH AND LAWN AREAS ARE TO BE STANDARD GREEN. ALIGN VALVE BOXES PARALLEL WITH EDGE OF PAVEMENT/PLANTING BEDS. WHERE FEASIBLE, LOCATE THE EDGE OF VALVE BOX 12"-18" FROM EDGE OF PAVEMENT.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE. HEADS SHALL BE LOCATED 1" AWAY FROM AND 1/4" BELOW ADJACENT CURBS, WALLS, WALKS, AND MOWSTRIPS.
- DRIP DISTRIBUTION TUBING TO BE BURIED BELOW MULCH AND STAKED AT MIN. 6" O.C. DRIP FITTINGS SHALL BE BARBED INSERT TYPE FITTINGS. COMPRESSION TYPE FITTINGS WILL NOT BE ACCEPTED. EMITTERS SHALL BE LOCATED ON UPHILL SIDE OF PLANTS. INSTALL DRIP FLUSH VALVE AT LOW POINT OF EACH DRIP ZONE AND AT THE END DRIP LINES.
- GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT, AND WORKMANSHIP. GUARANTEE SHALL COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT, OR WORKMANSHIP TO THE SATISFACTION OF THE OWNER. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
- SEE DETAILS FOR ADDITIONAL INFORMATION. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

# CRITICAL ANALYSIS

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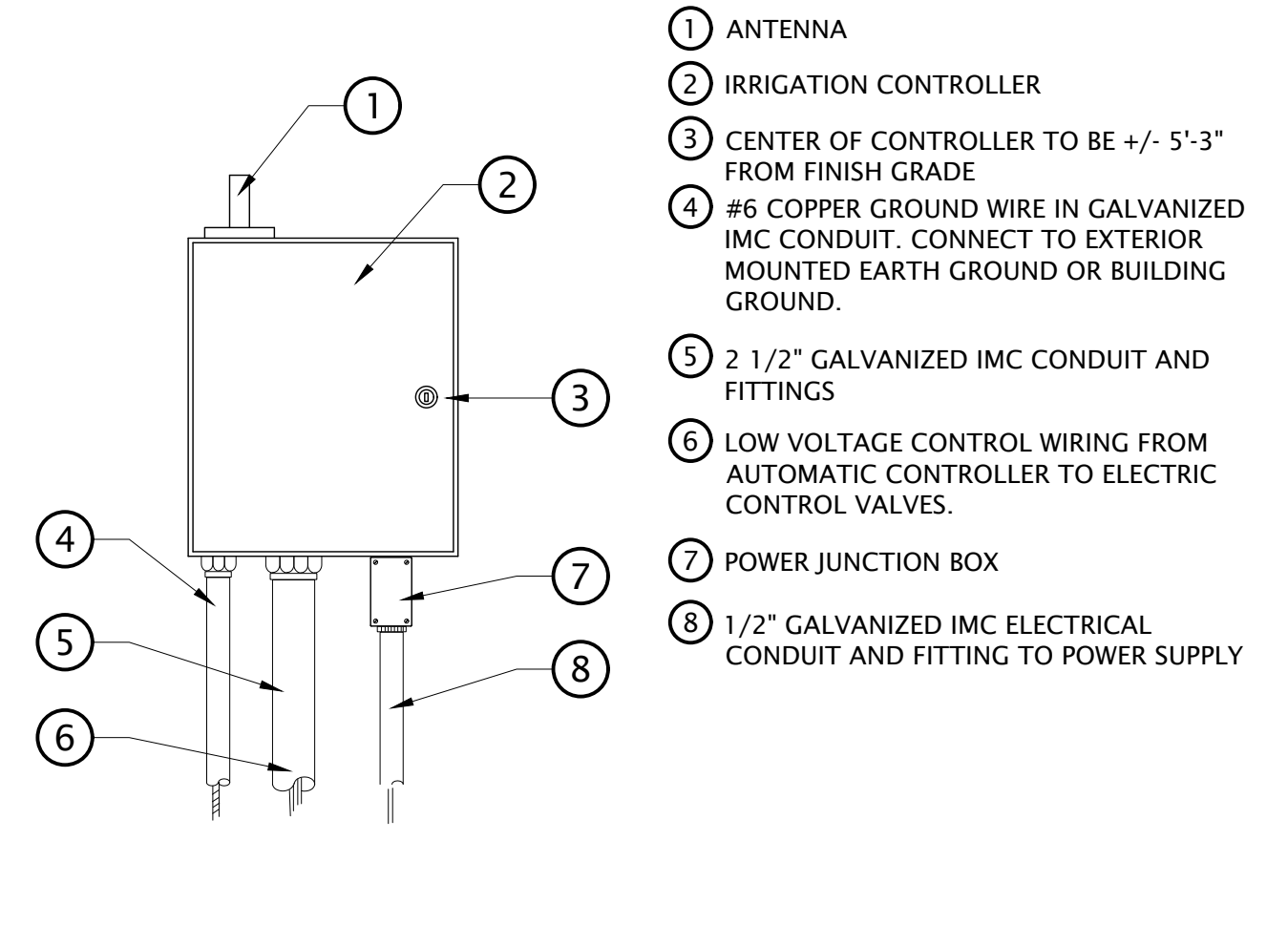
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Water Source Information:

FLOW AVAILABLE	
Point of Connection Size:	1"
Flow Available	20.89 GPM

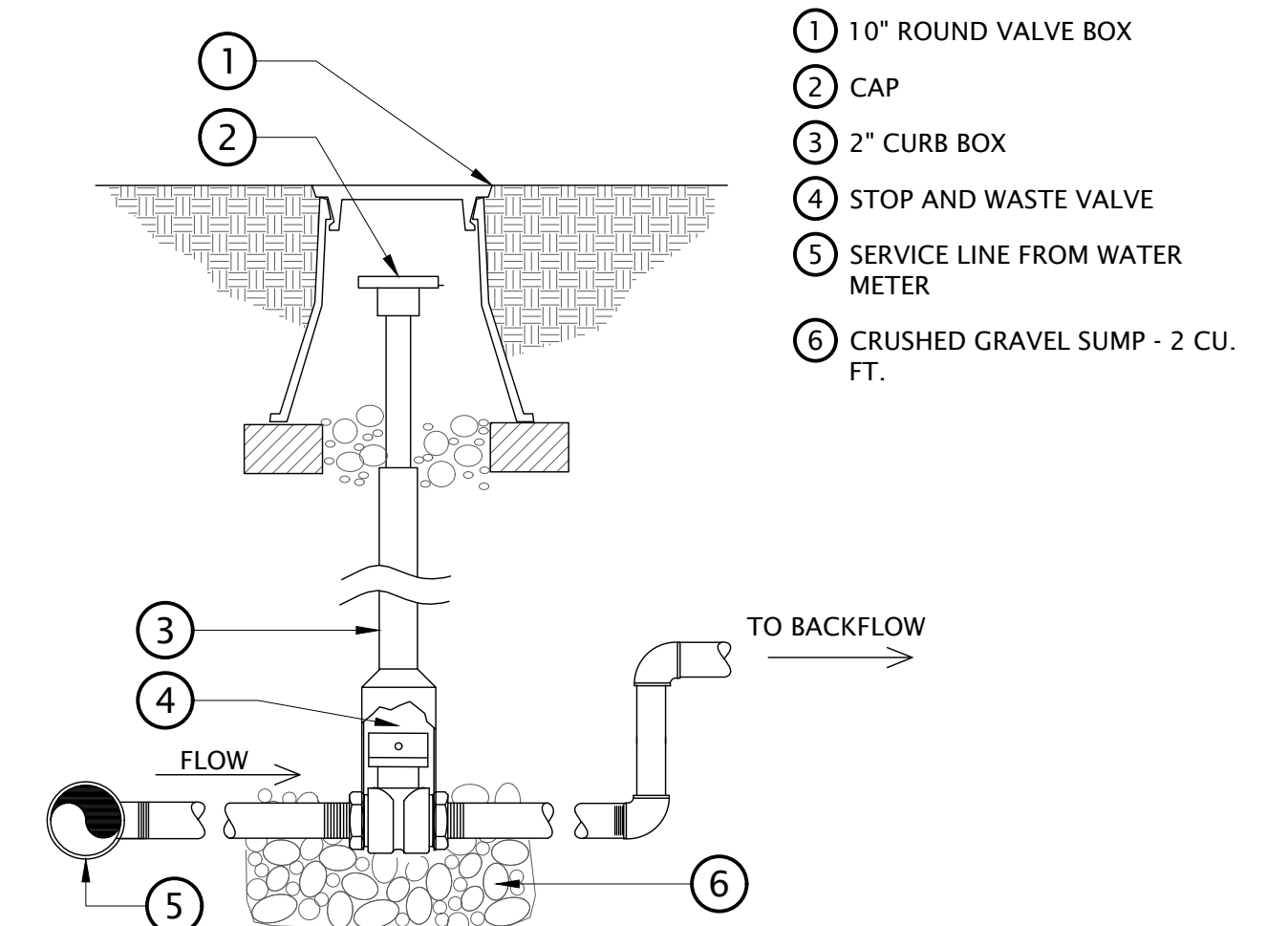
PRESSURE AVAILABLE	
Static Pressure at POC:	70 PSI
Pressure Available:	70 PSI

DESIGN ANALYSIS	
Maximum Station Flow:	12.69 GPM
Flow Available at POC:	20.89 GPM
Residual Flow Available:	8.2 GPM

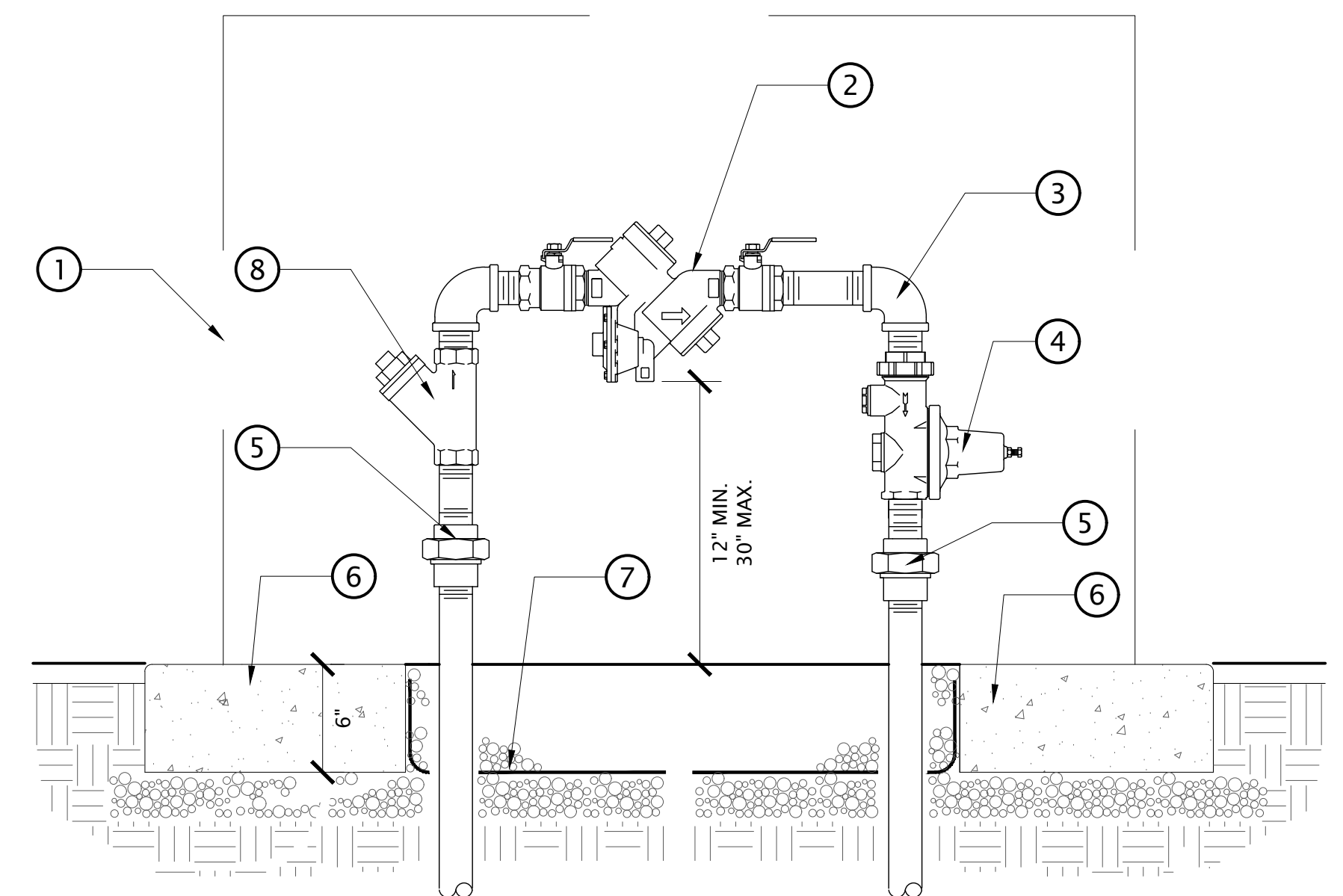
Critical Station:	
Design Pressure:	40 PSI
Friction Loss:	3.58 PSI
Fittings Loss:	0.36 PSI
Elevation Loss:	0 PSI
Loss through Valve:	9.61 PSI
Pressure Req. at Critical Station:	53.5 PSI
Loss for Fittings:	0 PSI
Loss for Main Line:	0.85 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	11.7 PSI
Loss for Master Valve:	3 PSI
Critical Station Pressure at POC:	69.1 PSI
Pressure Available:	70 PSI
Residual Pressure Available:	0.87 PSI



**1 CONTROLLER WITH WALL MOUNT**  
NOT TO SCALE

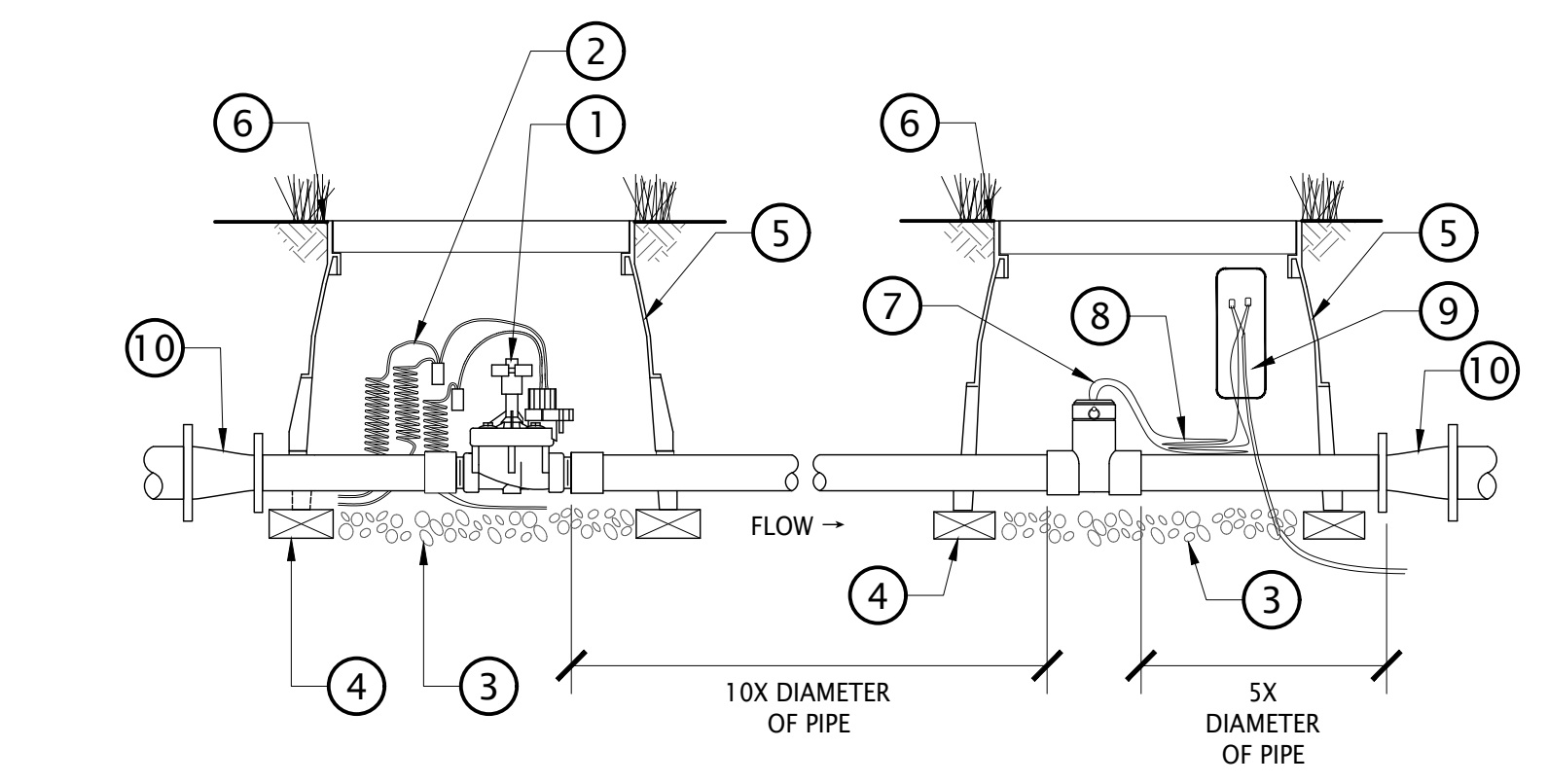


**2 STOP AND WASTE VALVE**  
1" = 1'-0"  
P-26-103-08

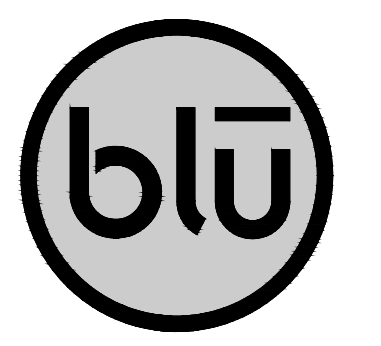


**3 REDUCED PRESSURE BACKFLOW ASSEMBLY**  
1 1/2" = 1'-0"  
P-26-103-09

- MASTER VALVE - INSTALL UNIONS ON EACH SIDE (THREADED MODELS)
- 24" LENGTH OF COILED WIRE
- 3" MIN. DEPTH WASHED GRAVEL
- BRICK (4 PER BOX)
- STANDARD SIZE VALVE BOX
- FINISH GRADE
- FLOW SENSOR
- 24" LENGTH OF COILED COMMUNICATION CABLE
- COMMUNICATION CABLE SPLICE PER MANUFACTURER'S RECOMMENDATIONS
- CONCENTRIC REDUCER (WHERE REQUIRED FOR TRANSITION BETWEEN PIPE SIZES)



**4 MASTER VALVE/FLOW SENSOR**  
NOT TO SCALE



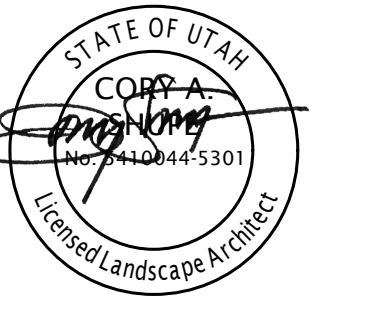
blu line designs  
planning | landscape architecture | design  
8719 S. Sandy Parkway  
Sandy, UT 84070  
p 801.913.7994

CLIENT

MOUNTAIN VISTA MIXED USE

2061 EAST MURRAY HOLLADAY ROAD  
HOLLADAY, UT 84117

REVISIONS	
NO.	DESCRIPTION

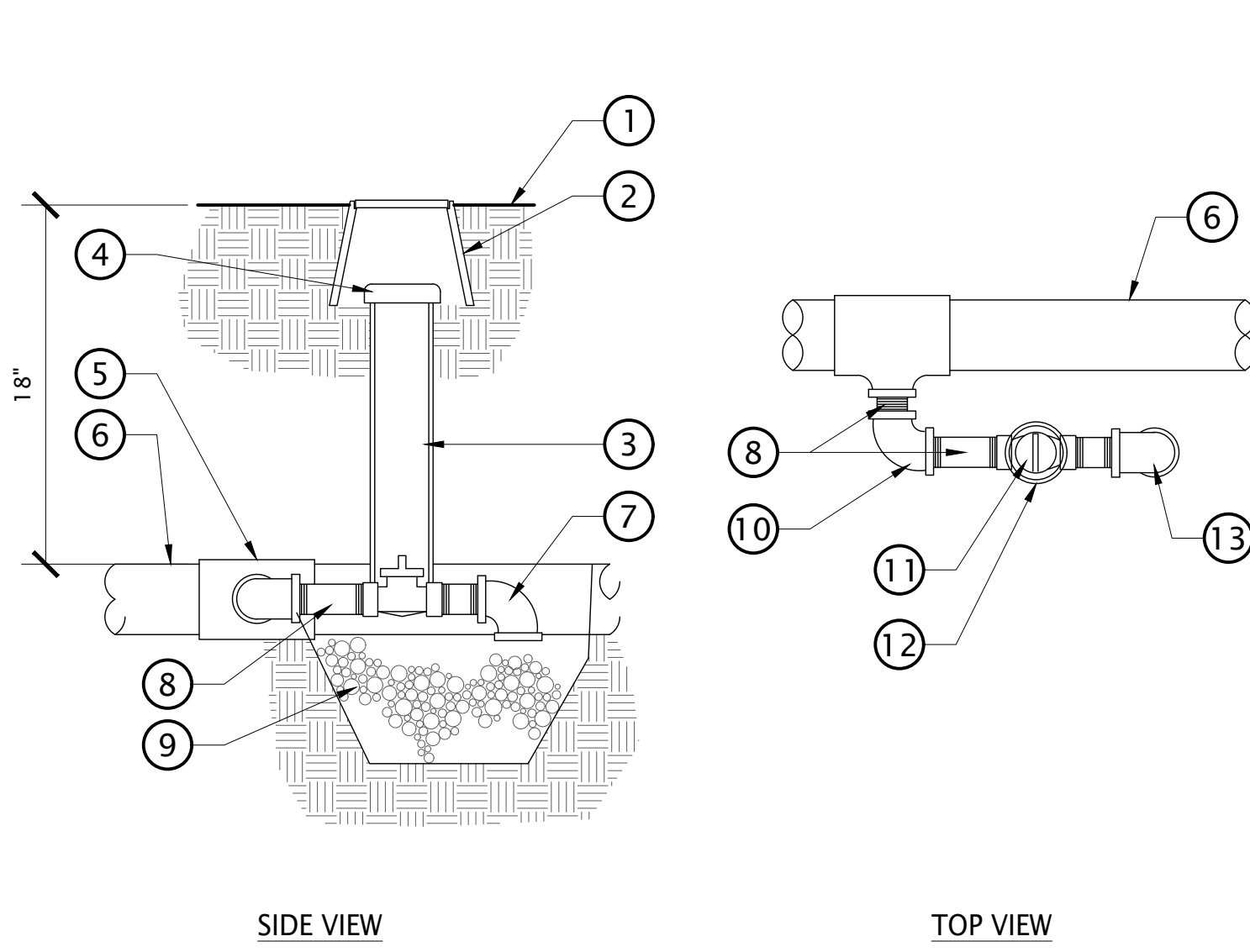


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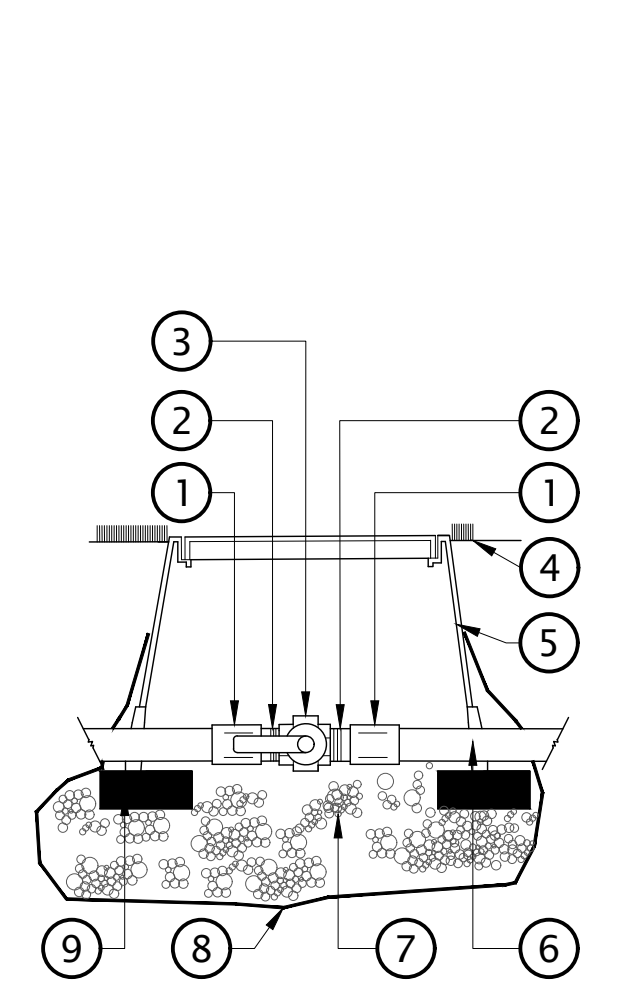
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**IRRIGATION LEGEND, NOTES AND DETAILS**

Drawing number

**LI501**

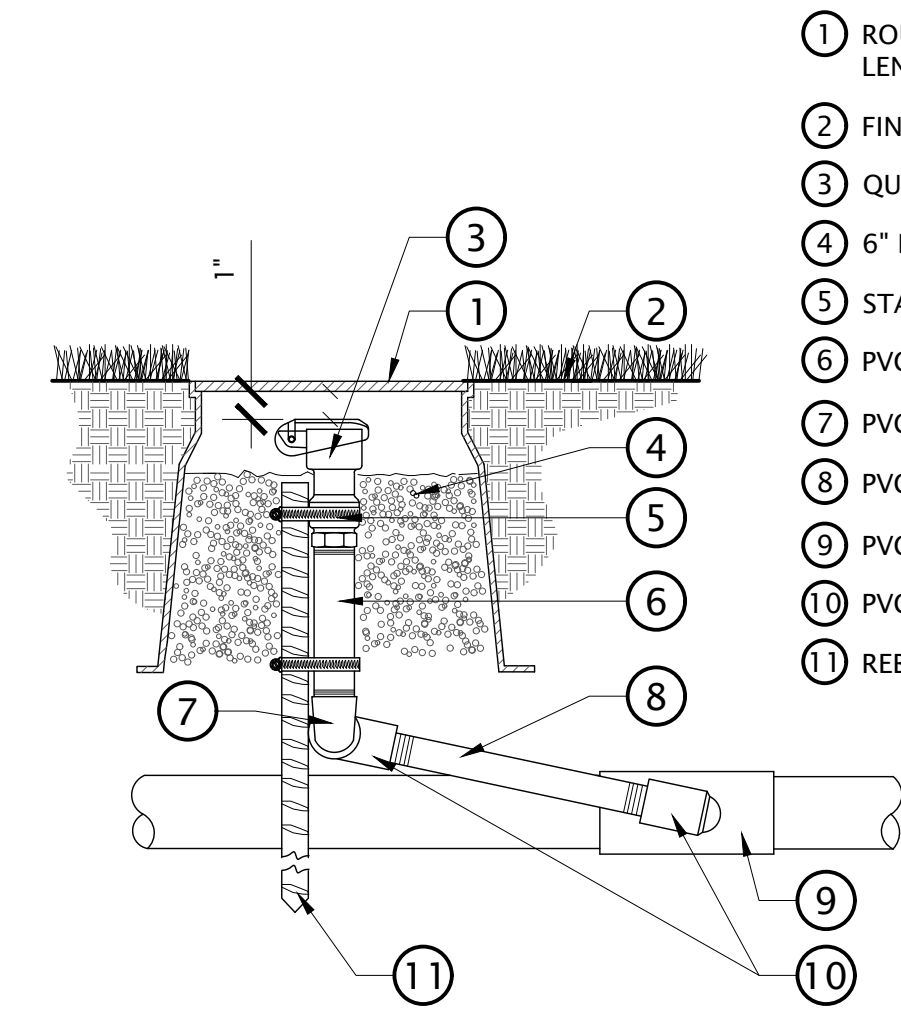


- 1 FINISH GRADE
- 2 ROUND VALVE BOX
- 3 2" CLASS 200 PVC SLEEVE
- 4 CAP
- 5 TEE IN MAIN LINE
- 6 MAIN LINE
- 7 MARLEX STREET ELL
- 8 3/4" SCH. 80 PVC THREADED NIPPLE AND ELBOW
- 9 1 CU. FT. PEA GRAVEL SUMP
- 10 3/4" ELBOW
- 11 MANUAL DRAIN
- 12 2" CLASS 200 PVC SLEEVE
- 13 MARLEX STREET ELL

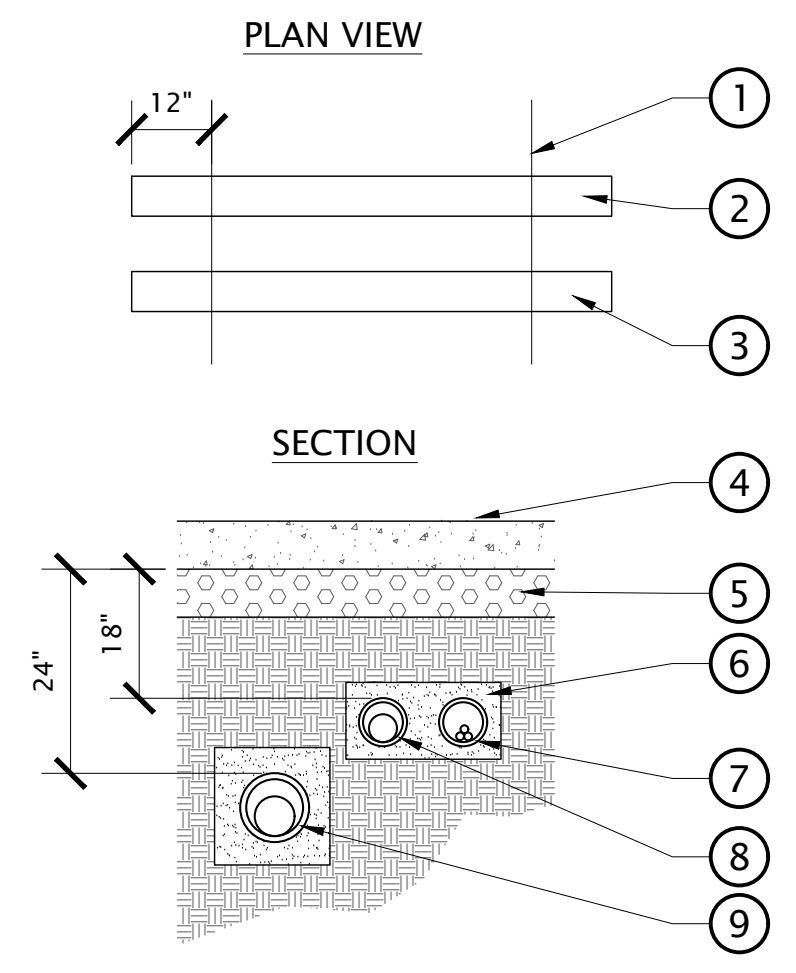


- 1 PVC SCH. 80 ST COUPLING
- 2 PVC SCH. 80 TOE NIPPLE
- 3 BRONZE BALL VALVE. INSTALL ON SIDE
- 4 FINISH GRADE
- 5 PLASTICE VALVE BOX - 18" DEEP STANDARD
- 6 PVC MAIN LINE DEPTH - 18"
- 7 3" DEPTH PEA GRAVEL, COMPACTED
- 8 FILTER FABRIC
- 9 BRICK PAVERS AT CORNERS (NO HOLES)

NOTES:  
1. CENTER ASSEMBLY INSIDE OF VALVE BOX.



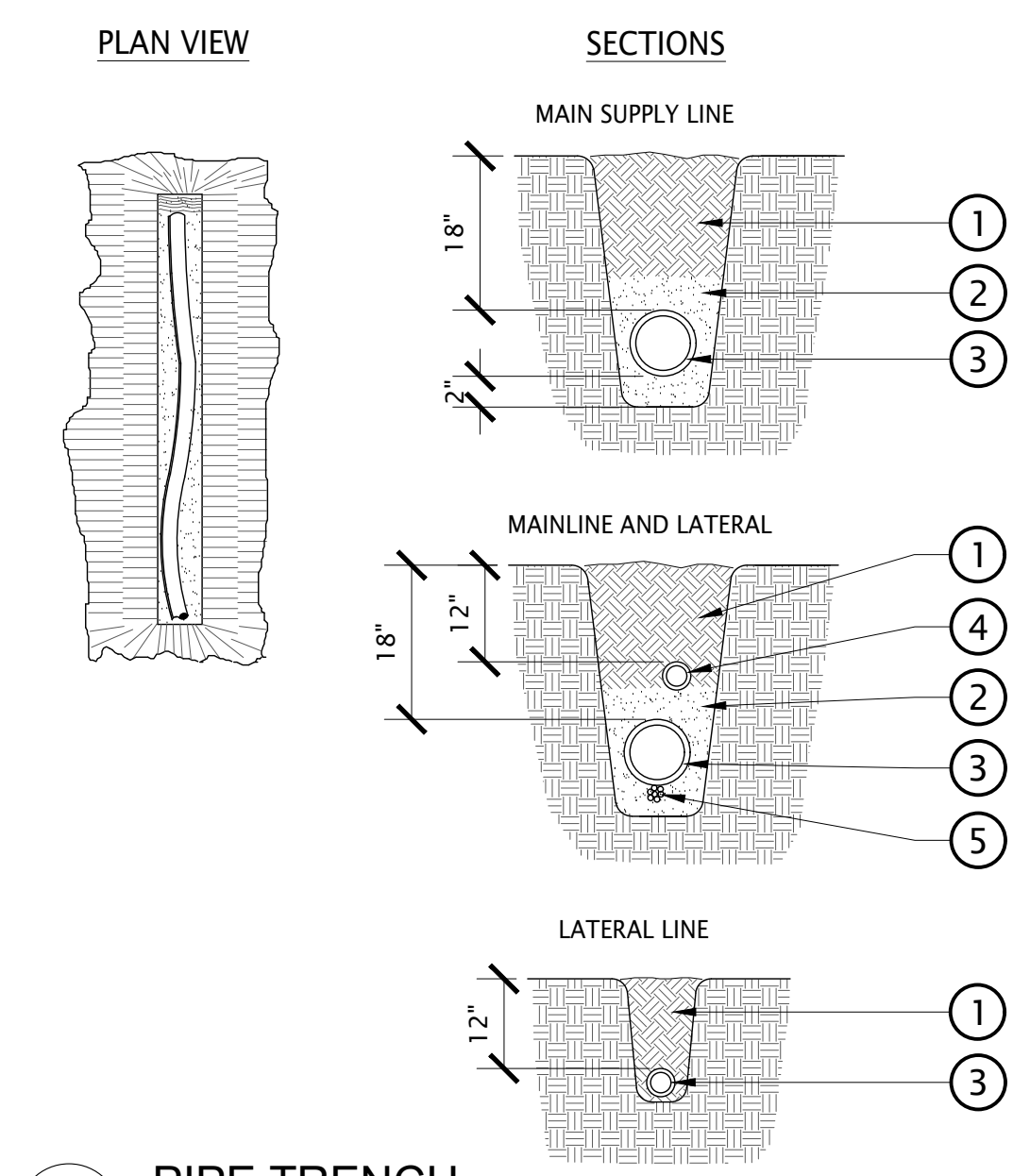
- 1 ROUND VALVE BOX: EXTENSION LENGTH AS REQ'D.
- 2 FINISH GRADE
- 3 QUICK COUPLER VALVE
- 4 6" DEEP PEA GRAVEL
- 5 STAINLESS STEEL GEAR CLAMPS (1 OF 2)
- 6 PVC. SCH. 80 NIPPLE (6" LENGTH)
- 7 PVC. SCH. 80 STREET EL
- 8 PVC. SCH. 80 NIPPLE (8" LENGTH)
- 9 PVC. SCH. 80 TEE
- 10 PVC. SCH. 80 ELL
- 11 REBAR STAKE (24" LENGTH)



- 1 PAVING SURFACE EDGE
- 2 SLEEVE, TYP.
- 3 EXTEND ALL SLEEVING MIN. OF 12" BEYOND EDGE OF PAVING, TYP.
- 4 PAVING SURFACE
- 5 COMPACTED BASE
- 6 SURROUND SLEEVE WITH 3" OF DEBRIS-FREE SAND.
- 7 IRRIGATION WIRES SLEEVE
- 8 LATERAL SLEEVING
- 9 MAIN LINE SLEEVE

NOTES:  
1. SEE NOTES (IRRIGATION LEGEND) FOR SLEEVE SIZING.  
2. 4" MIN. CLEARANCE IN ANY DIRECTION BETWEEN LATERALS, MAINLINE, OR SLEEVING.

**1 MANUAL DRAIN VALVE**  
NOT TO SCALE

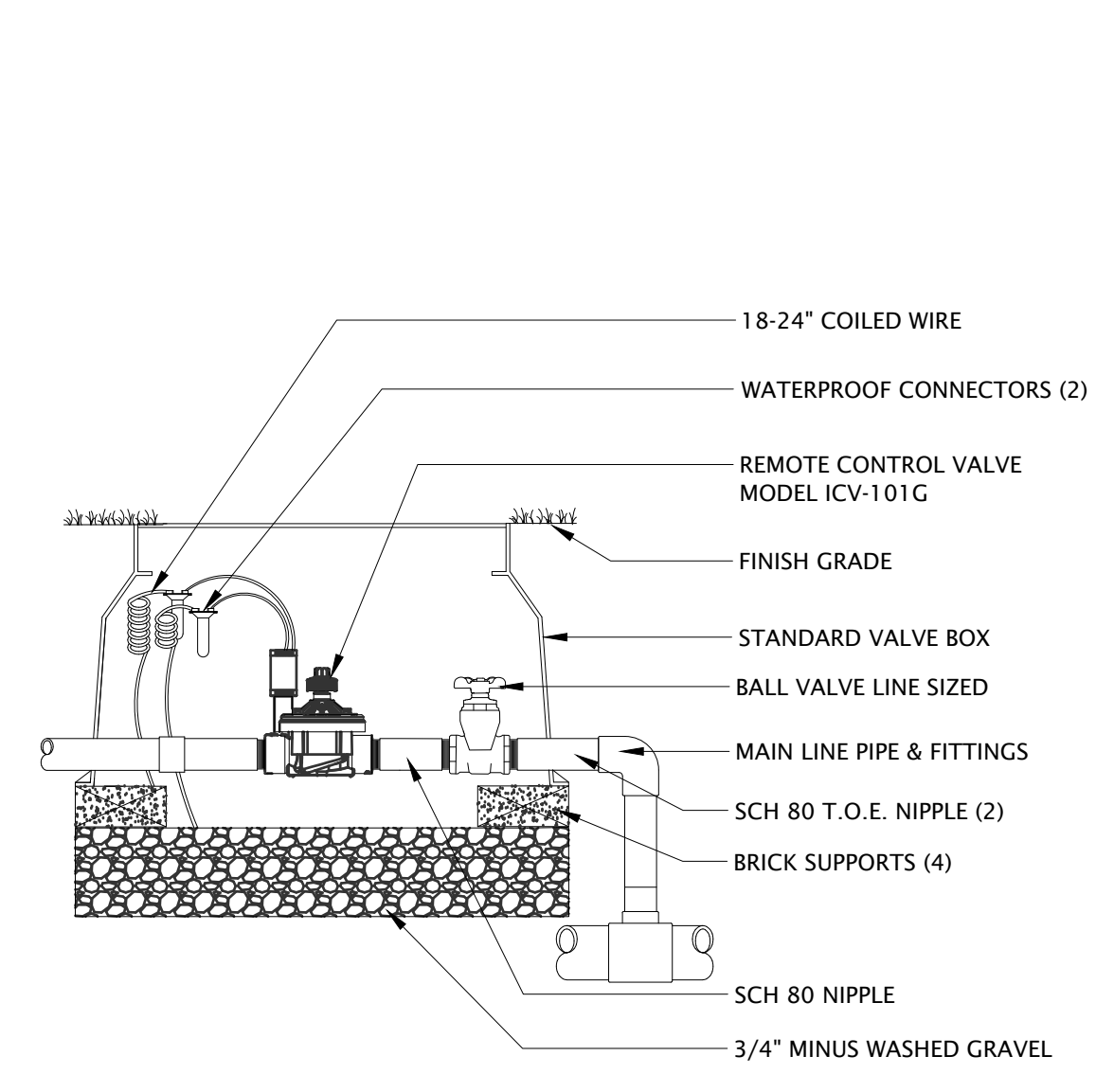


- 1 DEBRIS FREE FILL
- 2 DEBRIS FREE SAND, 2" ABOVE AND BELOW MAINLINE.
- 3 MAINLINE
- 4 LATERAL LINE
- 5 TUBING OR WIRING TO BE TAPED TO MAINLINE EVERY 10'-0"

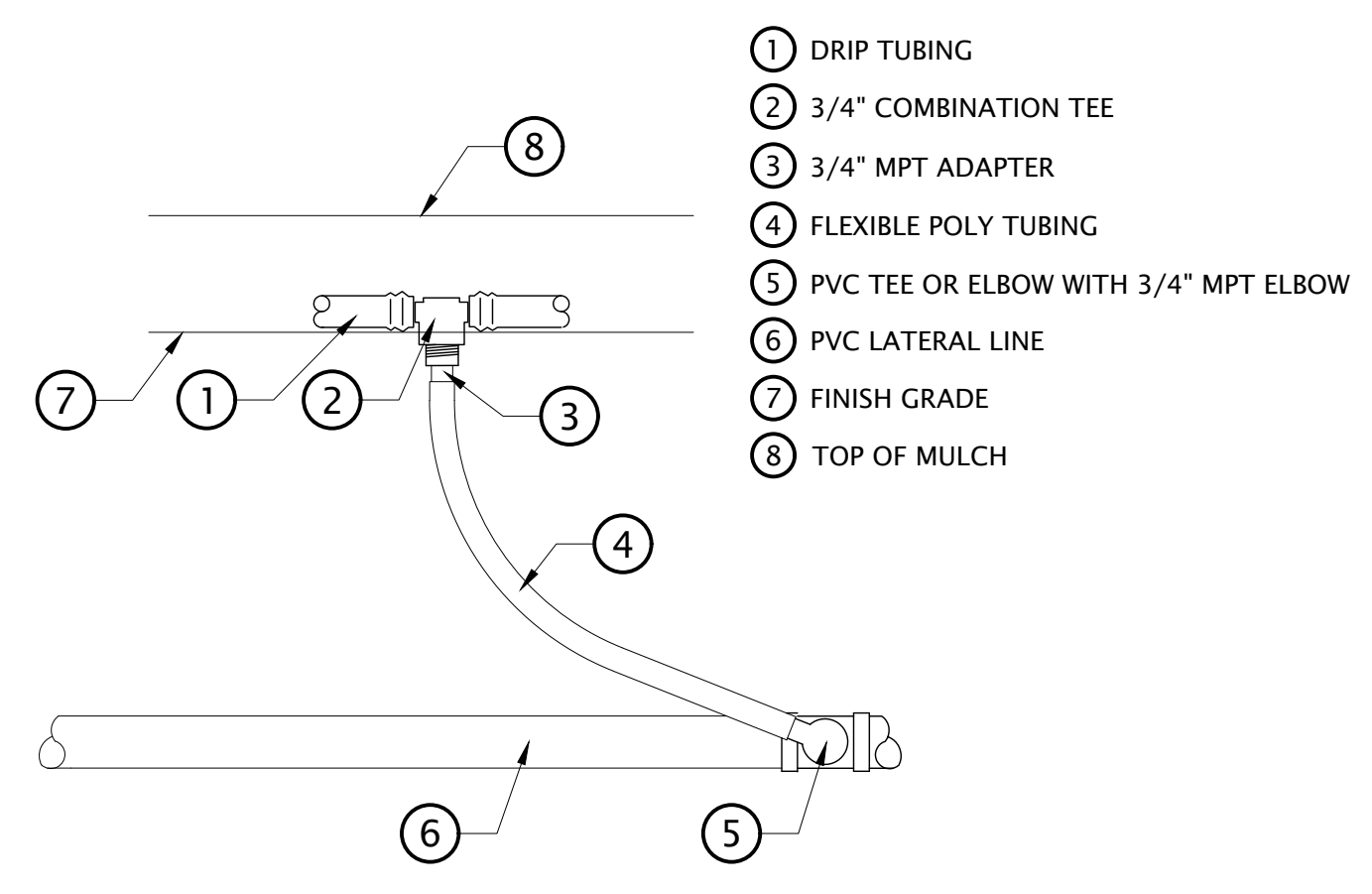
NOTES:  
1. TAPE AND BUNDLE TUBING OR WIRING AT 10' INTERVALS  
2. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES  
3. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN  
4. ALL TRENCH WIDTHS 8" MINIMUM

**5 PIPE TRENCH**  
NOT TO SCALE

**2 BRONZE BALL VALVE**  
NOT TO SCALE



**6 ICV 1" GLOBE VALVE WITH ISOLATION VALVE**  
1 1/2" = 1'-0" P-26-103-26

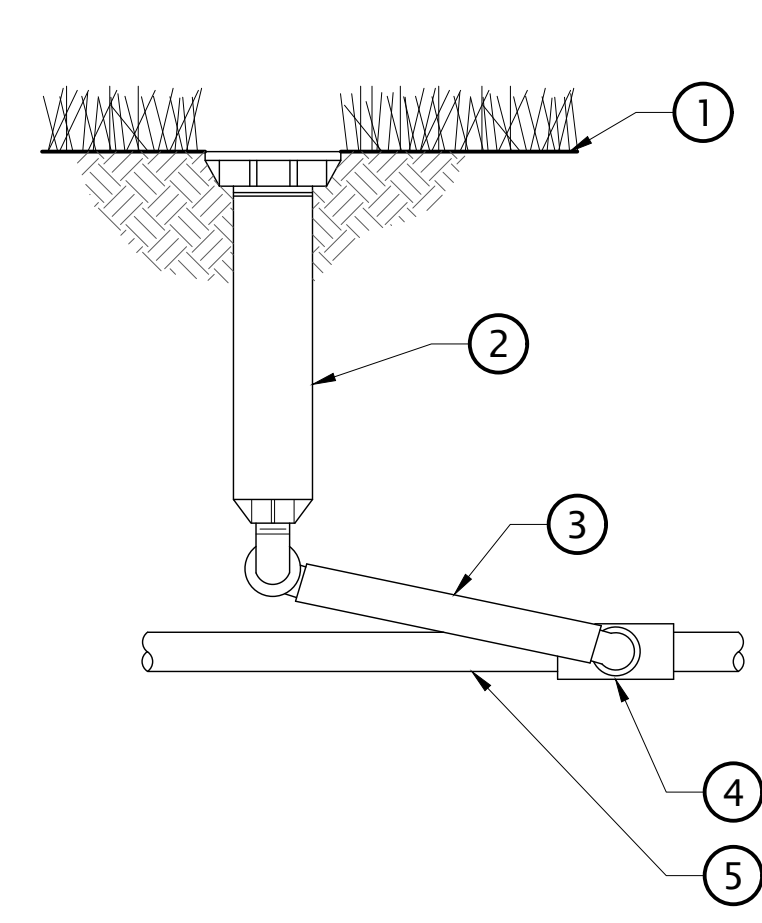


- 1 DRIP TUBING
- 2 3/4" COMBINATION TEE
- 3 3/4" MPT ADAPTER
- 4 FLEXIBLE POLY TUBING
- 5 PVC TEE OR ELBOW WITH 3/4" MPT ELBOW
- 6 PVC LATERAL LINE
- 7 FINISH GRADE
- 8 TOP OF MULCH

NOTES:  
1. INSTALL A MINIMUM OF ONE PVC TO DRIP TUBING CONNECTION FOR EVERY 5 GPM OF FLOW.  
2. CONSULT MANUFACTURER'S RECOMMENDATIONS FOR MAXIMUM RUN LENGTH.

**10 PVC TO DRIP TUBING CONNECTION**  
NOT TO SCALE

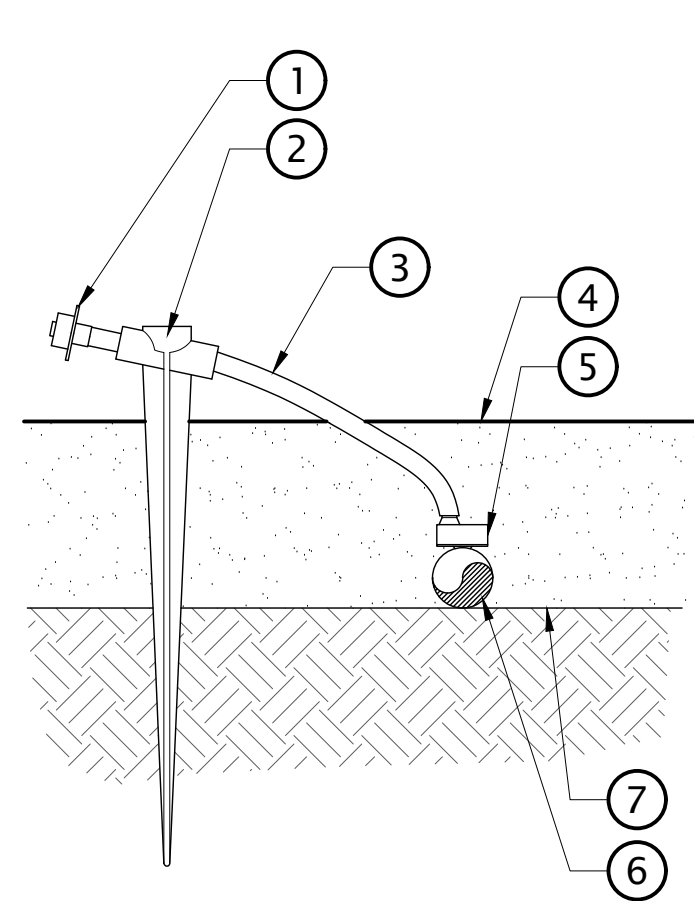
**3 QUICK COUPLER**  
NOT TO SCALE



- 1 FINISH GRADE/TURF CROWN
- 2 POP-UP SPRINKLER
- 3 PREMANUFACTURED SWING ASSEMBLY
- 4 PVC SCH 40 TEE OR ELL
- 5 PVC SCH 40 LATERAL PIPE

NOTES:  
1. SWING JOINT ASSEMBLY: TWO SPIRAL BARB ELBOWS, 12-24" SWING PIPE, AND ONE 1/2" MARLEX STREET ELBOW.  
2. USE FIXED SPRAY NOZZLES WHENEVER POSSIBLE.

**7 POP-UP SPRAY/ROTARY**  
NOT TO SCALE

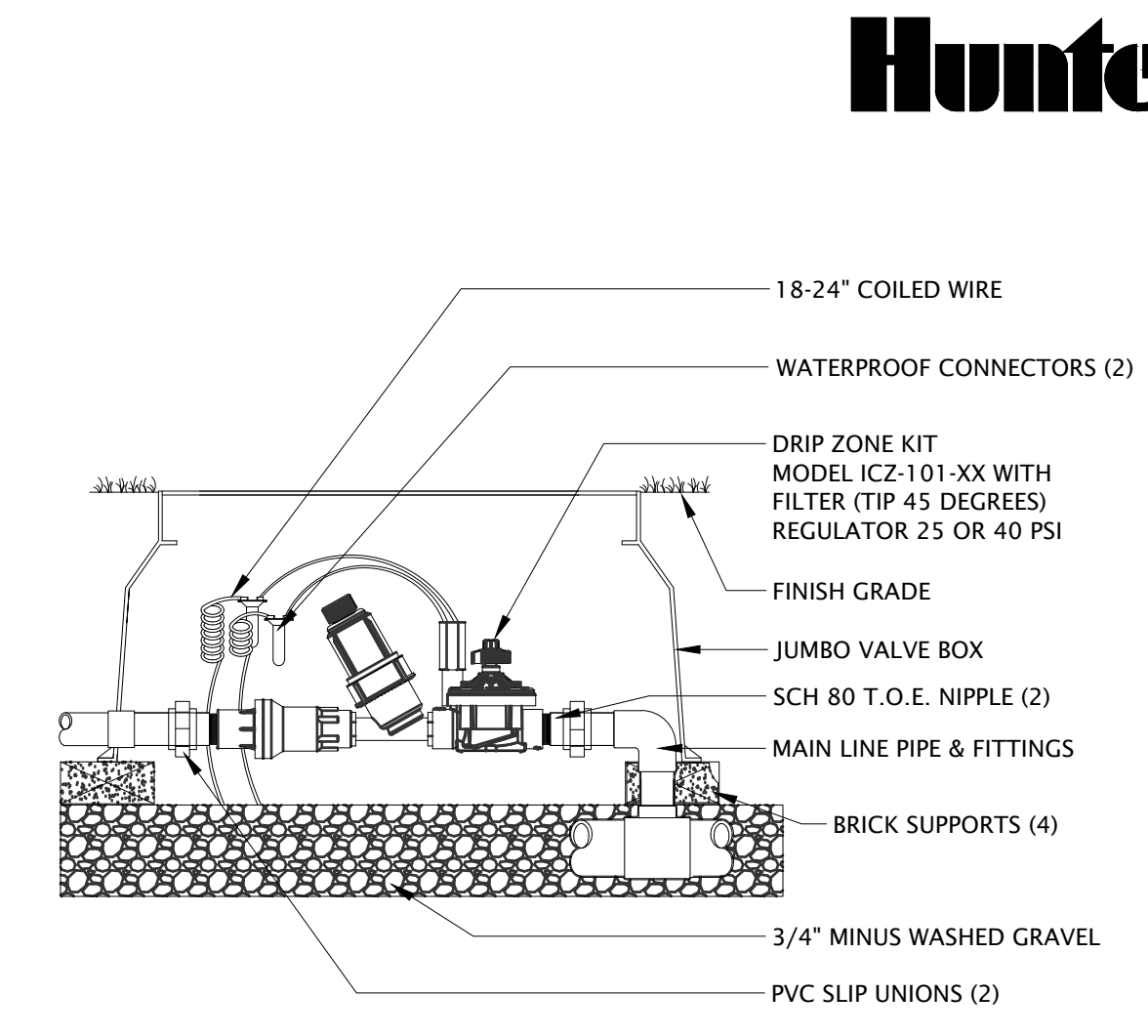


- 1 DIFFUSER BUG CAP: RAIN BIRD DBC-025 (UNLESS OTHERWISE SPECIFIED)
- 2 UNIVERSAL 1/4" TUBING STAKE: RAIN BIRD TS-025
- 3 1/4" DISTRIBUTION TUBING: RAIN BIRD XQ TUBING (LENGTH AS REQUIRED)
- 4 TOP OF MULCH
- 5 SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER: RAIN BIRD XERI-BUG EMITTER
- 6 1/2" POLYETHYLENE TUBING: 2 RAIN BIRD XT-700 XERI-TUBE
- 7 FINISH GRADE

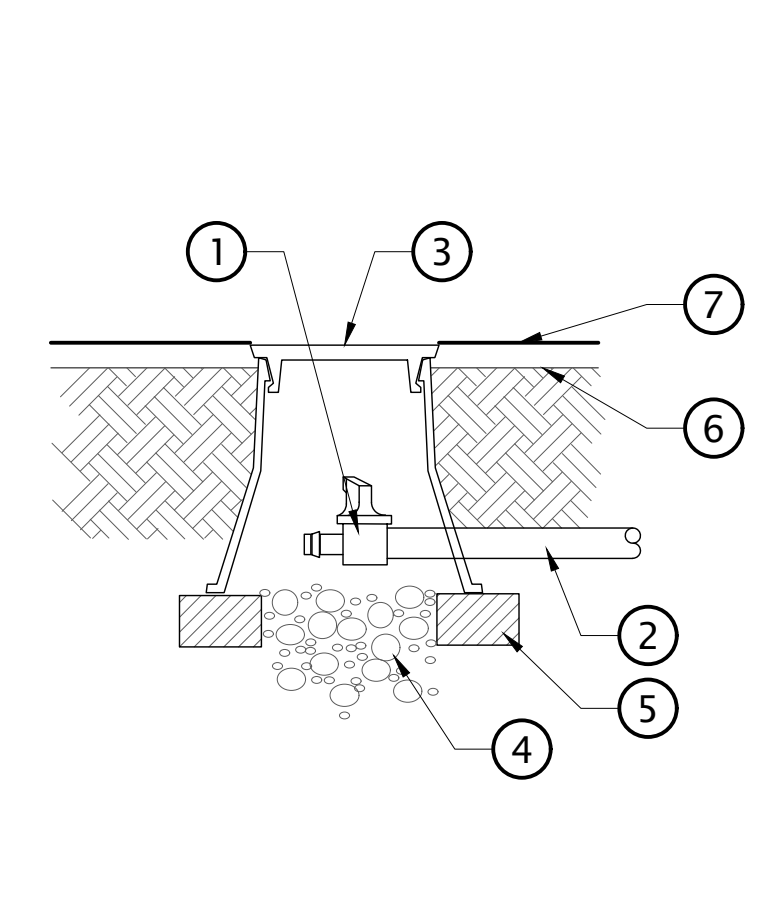
NOTES:  
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING.

**11 DRIP EMITTER**  
NOT TO SCALE

**4 PIPE SLEEVE**  
NOT TO SCALE



**8 ICZ-101 DRIP CONTROL ZONE WITH UNIONS**  
1 1/2" = 1'-0" P-26-103-27

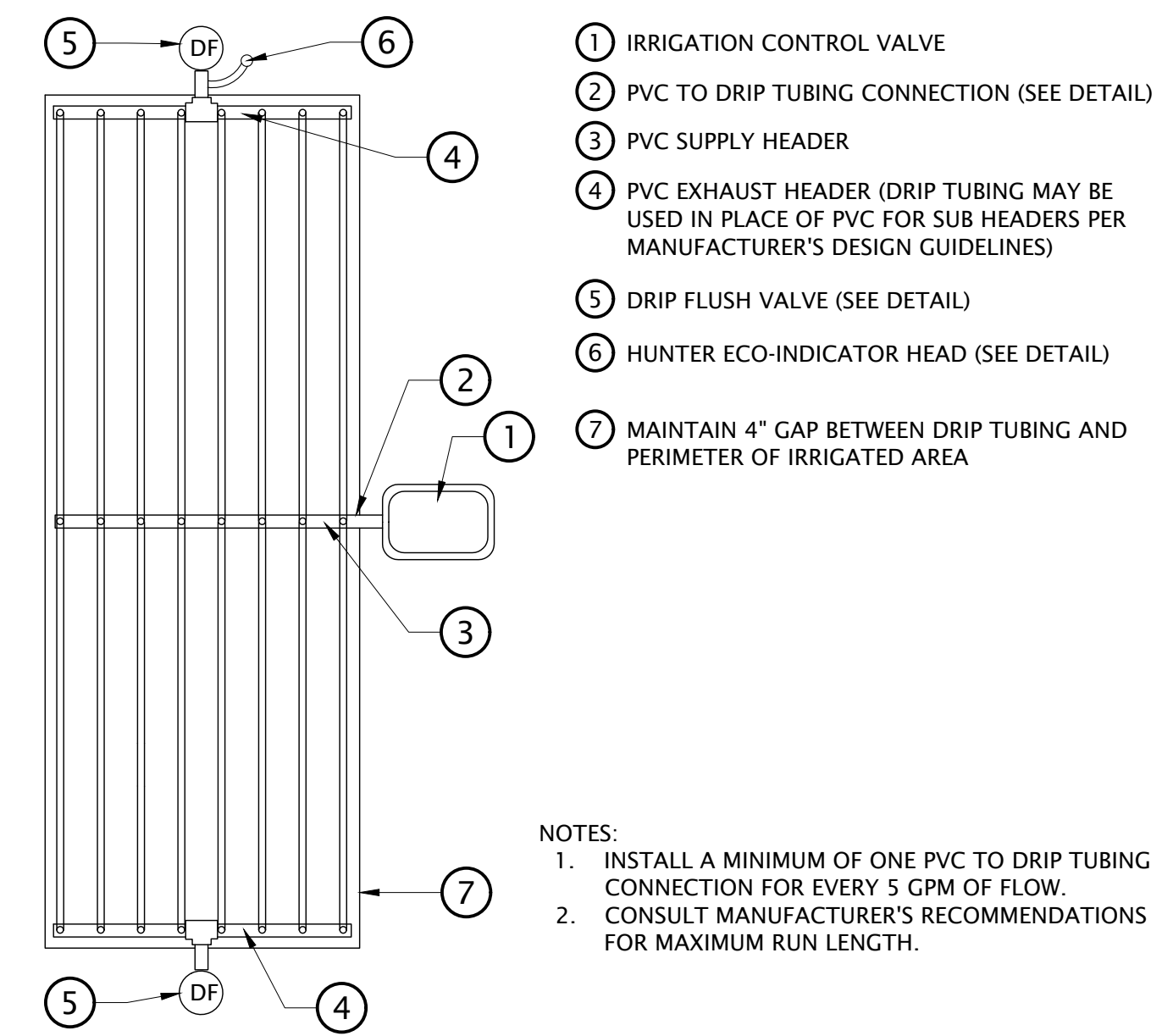


- 1 DRIP FLUSH VALVE
- 2 DRIP TUBING
- 3 10" ROUND VALVE BOX
- 4 GRAVEL SUMP - ONE CUBIC FOOT
- 5 BRICK SUPPORTS (2)
- 6 FINISH GRADE
- 7 TOP OF MULCH

NOTES:  
1. INSTALL DRIP FLUSH VALVE(S) AT LOW POINT OF EACH DRIP ZONE AND AT END OF LINES.  
2. ALL VALVE BOXES AND LIDS IN ROCK MULCH AREAS ARE TO BE TAN IN COLOR. VALVE BOXES AND LIDS IN BARK MULCH AND LAWN AREAS TO BE STANDARD GREEN.

**12 DRIP FLUSH VALVE**  
NOT TO SCALE

**9 CENTER FEED IN LINE DRIP**  
NOT TO SCALE



- 1 IRRIGATION CONTROL VALVE
- 2 PVC TO DRIP TUBING CONNECTION (SEE DETAIL)
- 3 PVC SUPPLY HEADER
- 4 PVC EXHAUST HEADER (DRIP TUBING MAY BE USED IN PLACE OF PVC FOR SUB HEADERS PER MANUFACTURER'S DESIGN GUIDELINES)
- 5 DRIP FLUSH VALVE (SEE DETAIL)
- 6 HUNTER ECO-INDICATOR HEAD (SEE DETAIL)
- 7 MAINTAIN 4" GAP BETWEEN DRIP TUBING AND PERIMETER OF IRRIGATED AREA

NOTES:  
1. INSTALL A MINIMUM OF ONE PVC TO DRIP TUBING CONNECTION FOR EVERY 5 GPM OF FLOW.  
2. CONSULT MANUFACTURER'S RECOMMENDATIONS FOR MAXIMUM RUN LENGTH.

**9 CENTER FEED IN LINE DRIP**  
NOT TO SCALE

**AREA CATEGORY**

- ASPHALT AREA (ROAD/PARKING)
- BUILDING FOOTPRINTS AREA
- CURBS
- HVAC PADS AREA
- LANDSCAPE AREA
- PAVER AREA

LOT COVERAGE TABULATION TABLE			
AREA CATEGORY	IMPERVIOUS AREA	SF	% OF PROPERTY
ASPHALT AREA (ROAD/PARKING)	Yes	8,369 SF	39.1%
BUILDING FOOTPRINTS AREA	Yes	7,022 SF	32.8%
CURBS	Yes	295 SF	1.4%
HVAC PADS AREA	Yes	90 SF	0.4%
LANDSCAPE AREA	No	3,898 SF	18.2%
PAVER AREA	Yes	1,739 SF	8.1%
<b>TOTAL</b>		<b>21,412 SF</b>	<b>100.0%</b>

- GENERAL NOTES - ARCHITECTURAL SITE**
- CONSTRUCTION LIMIT LINE TO BE BACK OF EXISTING CURB OR AS OTHERWISE NECESSARY TO COMPLETE ALL WORK WITHIN THE CONTRACT.
  - ALL CONTROL JOINTS SHALL BE SAW CUT TO A DEPTH OF 1/3 THE THICKNESS OF THE SLAB, BUT NOT LESS THAN 1".
  - CONSTRUCTION JOINT SPACING SHALL BE A MAXIMUM OF 20'.
  - PROVIDE ISOLATION JOINTS BETWEEN SLABS & COLUMNS, WALLS & FOOTINGS.
  - REFER TO CIVIL DRAWINGS FOR STRIPING AND SIDEWALKS.
  - ADA STALLS AND PATHWAYS TO MEET ALL REQUIREMENTS OF ANSI A117.1.

**ZONING DATA**

**LOT INFORMATION** (13.44.050)

PARCEL 1:	13,216.61 SF
PARCEL 2:	8,892.67 SF
<b>TOTAL:</b>	<b>22,109.28 SF</b>
LESS DEDICATED AREA TO RIGHT OF WAY:	695.80 SF
<b>NEW UNIFIED LOT AREA:</b>	<b>21,413.48 SF</b>

**ZONING** (13.44.050)

CURRENT ZONING: PO - PROFESSIONAL OFFICE  
 CONDITIONAL USES: MIXED-USE DEVELOPMENT

**SETBACKS** (13.44.060)

	REQUIRED	PROVIDED
FRONT:	10'	10'
RIGHT SIDE:	15'	24'
LEFT SIDE:	20'	20'
REAR:	30'	25'-6" (SEE VARIATION BELOW)

**SETBACK VARIATION** (13.44.060)

REAR: MAXIMUM ALLOWED SETBACK VARIATION: 15%  
 30' x 15% = 25'-6" ALLOWED (NO CLOSER THAN 15% OF THE AVERAGE)

NOTE: NOT USING SETBACK AVERAGING. ALL SETBACKS ARE DIRECT SETBACKS FROM PRIMARY PROPERTY LINE.

**RESIDENTIAL DENSITY** (REFERENCE DENSITY FROM R-M ZONE)

	ALLOWABLE	PROVIDED
21,287 SF (APPROX. 1/2 ACRE)	18 UNITS PER ACRE(9 UNITS)	7 UNITS

**BUILDING AREA INFORMATION**

EXISTING BUILDING (OFFICE)	1,854 GROSS SF
PHASE I - (OFFICE)	3,992 GROSS SF
PHASE I - (RESIDENTIAL)	3,362 GROSS SF
PHASE II - (OFFICE)	558 GROSS SF
PHASE II - (RESIDENTIAL)	2,715 GROSS SF
<b>TOTAL (OFFICE)</b>	<b>6,404 GROSS SF</b>
<b>TOTAL (RESIDENTIAL)</b>	<b>6,077 GROSS SF</b>

**AREA TABULATION TABLE**

	SQUARE FEET	% OF TOTAL
ASPHALT/ROAD AREA	8,369 SF	39%
BUILDING AREA	7,022 SF	33%
CURBS	295 SF	1.5%
PAVER AREA	1,738 SF	8%
HVAC PADS	90 SF	.5%
LANDSCAPE AREA	3,898 SF	18%
<b>TOTAL PROPERTY AREA</b>	<b>21,412 SF</b>	<b>100%</b>

**PARKING CALCULATIONS** (13.80.040)

EXISTING OFFICE BUILDING:	REQUIRED
OFFICE: 1,284 SF + 570 SF = 1,854 SF / 200 SF + 2 =	12 SPACES
<b>TOTAL EXISTING:</b>	<b>12 SPACES</b>
PHASE I - (NEW MIXED USE BUILDING)	15 SPACES
OFFICE: 2,479 NET SF / 200 SF + 2 =	2 SPACES
RES. (1 BEDROOM UNIT): 2 UNITS x 1 =	2 SPACES
RES. (2 BEDROOM UNIT): 1 UNIT x 1.5 =	1.5 SPACES
<b>TOTAL PHASE I:</b>	<b>19 SPACES</b>
PHASE II - (APARTMENT BUILDING)	4 SPACES
RES. (1 BEDROOM UNIT): (4) BEDROOM UNITS x 1 =	4 SPACES
<b>TOTAL PHASE II:</b>	<b>4 SPACES</b>
<b>TOTAL:</b>	<b>35 SPACES</b>

**PARKING CREDITS:**

BIKE RACK: 5% CREDIT = 35 x 5% =	1.75
SMART GROWTH: 30% BUS STOP =	10.50
SHARED SPACES: 10% =	3.50
1 BENCH PROVIDED =	0.50
WALKING: 1 SIDEWALK (15% CREDIT) =	5.25
<b>TOTAL MAX CREDIT: 30% =</b>	<b>11 MAX CREDITS</b>

**TOTAL SPACES REQUIRED:** 24 SPACES  
**TOTAL SPACES PROVIDED:** 25 SPACES

**IMPERVIOUS AREA** (13.44.080)

ASPHALT AREA (ROAD/PARKING):	8,369 SF	39%
BUILDING FOOTPRINTS AREA:	7,022 SF	33%
CURBS:	295 SF	1.6%
HVAC PADS:	90 SF	.5%
<b>TOTAL IMPERVIOUS AREA: (PROVIDED)</b>	<b>15,776 SF</b>	<b>74%</b>
<b>TOTAL IMPERVIOUS AREA (ALLOWED):</b>	<b>14,988 SF</b>	<b>70%</b>

ALLOWABLE CREDITS: 10% MAX (TABLE 13.44.070.001)  
 PLANT 2" CALIPER TREE (1% PER TREE): 2,141 SF 6%  
 WATER WISE LANDSCAPING: 2,034 SF 3.5%  
**TOTAL CREDIT:** 2,034 SF 9.5%

**MAX IMPERVIOUS AREA: (70% OF LOT AREA)** 14,988 SF 13,742 SF 64%

**LANDSCAPE** (13.44.090)

	REQUIRED	PROVIDED
<b>TOTAL LANDSCAPE AREA (INSIDE THE NEW LOT):</b>	<b>3,898 SF</b>	<b>3,898 SF</b>
<b>TREES</b>		
3,898 SF / 300 SF/TREE =	13 TREES	
LESS EXISTING TREES =	3 TREES	
EXISTING TO REMAIN =	2 TREES	
REMOVED TREE =	1 TREE	
<b>TOTAL =</b>	<b>11 TREES</b>	<b>(2) EXISTING &amp; (11) NEW</b>

NOTE: PLUS 300' OF HEDGE AT SIDE AND REAR YARDS. NEW TREES TO BE OF THE SAME CALIPER SIZE AS THE ONE REMOVED.

**BUILDING HEIGHT** (13.44.070)

	ALLOWED	PROVIDED
MAX BUILDING HEIGHT (PHASE I):	40 FEET	38'-10" (40 FEET MAX)
MAX BUILDING HEIGHT (PHASE II):	35 FEET	24'-6" (*35 FEET MAX)
*35 FEET MAX PER DEVELOPMENT AGREEMENT AND STEP BACK REQUIREMENTS)		



Salt Lake City, UT 84106

**MOUNTAIN CREST**  
 2051-2061 E MURRAY HOLLADAY RD  
 HOLLADAY, UT 84117

Project No. 00000

04.30.2026

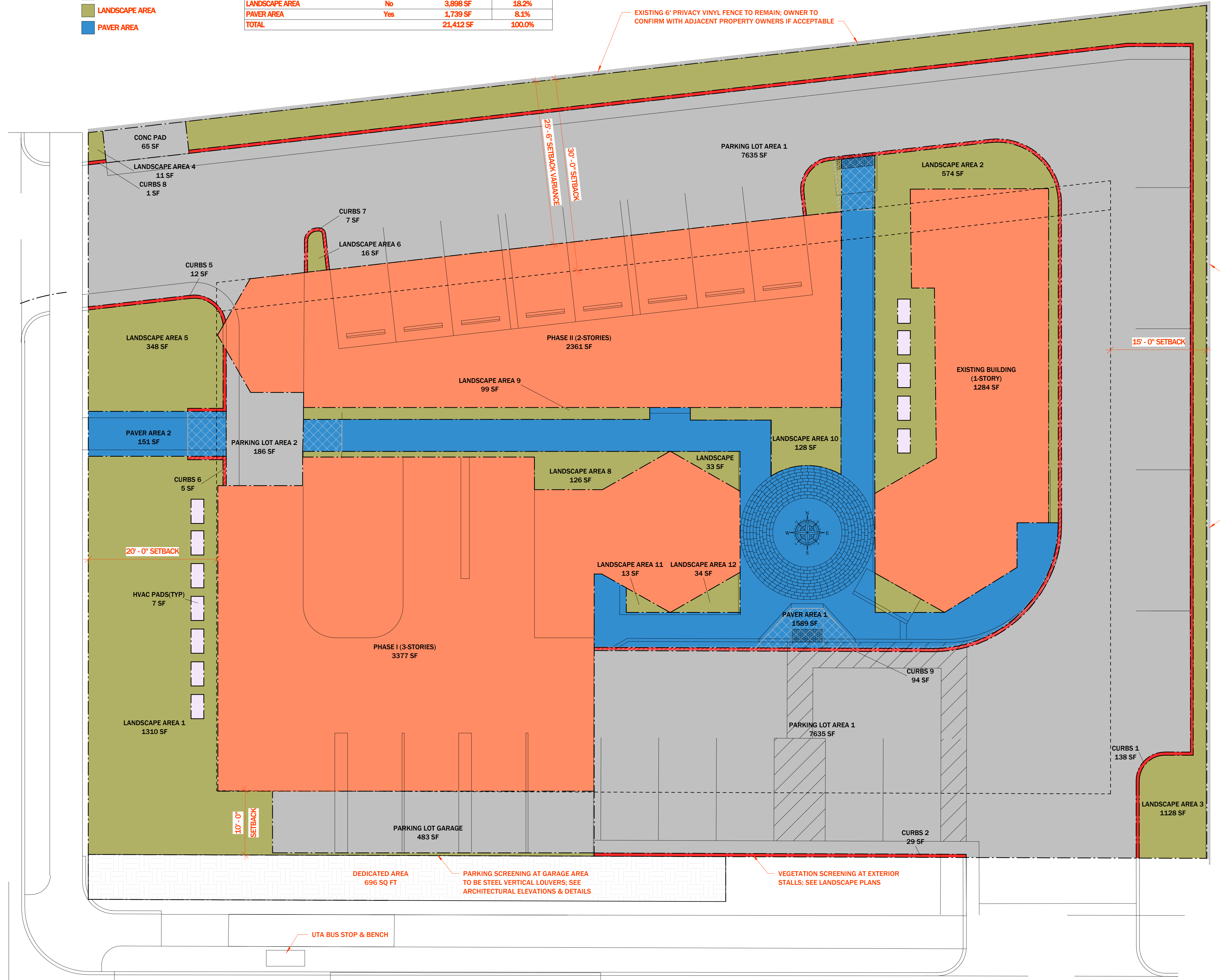
Revisions

Notes:

Scale As indicated

SITE PLAN - ZONING

**AS0.01**



**A1** AREA CATEGORY - SITE  
 SCALE: 1/8" = 1'-0"





Salt Lake City, UT 84106

GENERAL NOTES - FLOOR PLAN

1. INTERIOR WALL DIMENSIONS ARE FROM FACE TO FACE. U.N.O.
2. OPENINGS ARE DIMENSIONED TO FINISH FACE OF OPENING. U.N.O.
3. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK. ANY DISCREPANCIES SHOULD BE COORDINATED WITH ARCHITECT.
4. ALL CONSTRUCTION TO FOLLOW THE REQUIREMENTS OF THE CURRENTLY ADOPTED AND APPLICABLE CODES BEING USED BY THE LOCAL JURISDICTION WHERE THE PROJECT IS LOCATED
5. ALL EXHAUST AND INTAKE LOCATIONS TO BE A MINIMUM OF 3'-0" FROM ANY WINDOW OR DOOR OPENING.
6. PROVIDE AND INSTALL INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTORS PER IRC R314 AND R315.
7. ALL EXISTING OUTLETS THAT ARE NOT ALTERED WITH NEW CONSTRUCTION TO REMAIN.
8. FURNITURE LAYOUTS ARE FOR SPACE PLANNING PURPOSES; FINAL LOCATIONS ARE TO BE DETERMINED BY TENANT.
9. CONTRACTOR TO COORDINATE AND VERIFY ALL EXISTING DIMENSIONS WITH PROPOSED PLANS AND CHANGES.

MOUNTAIN CREST

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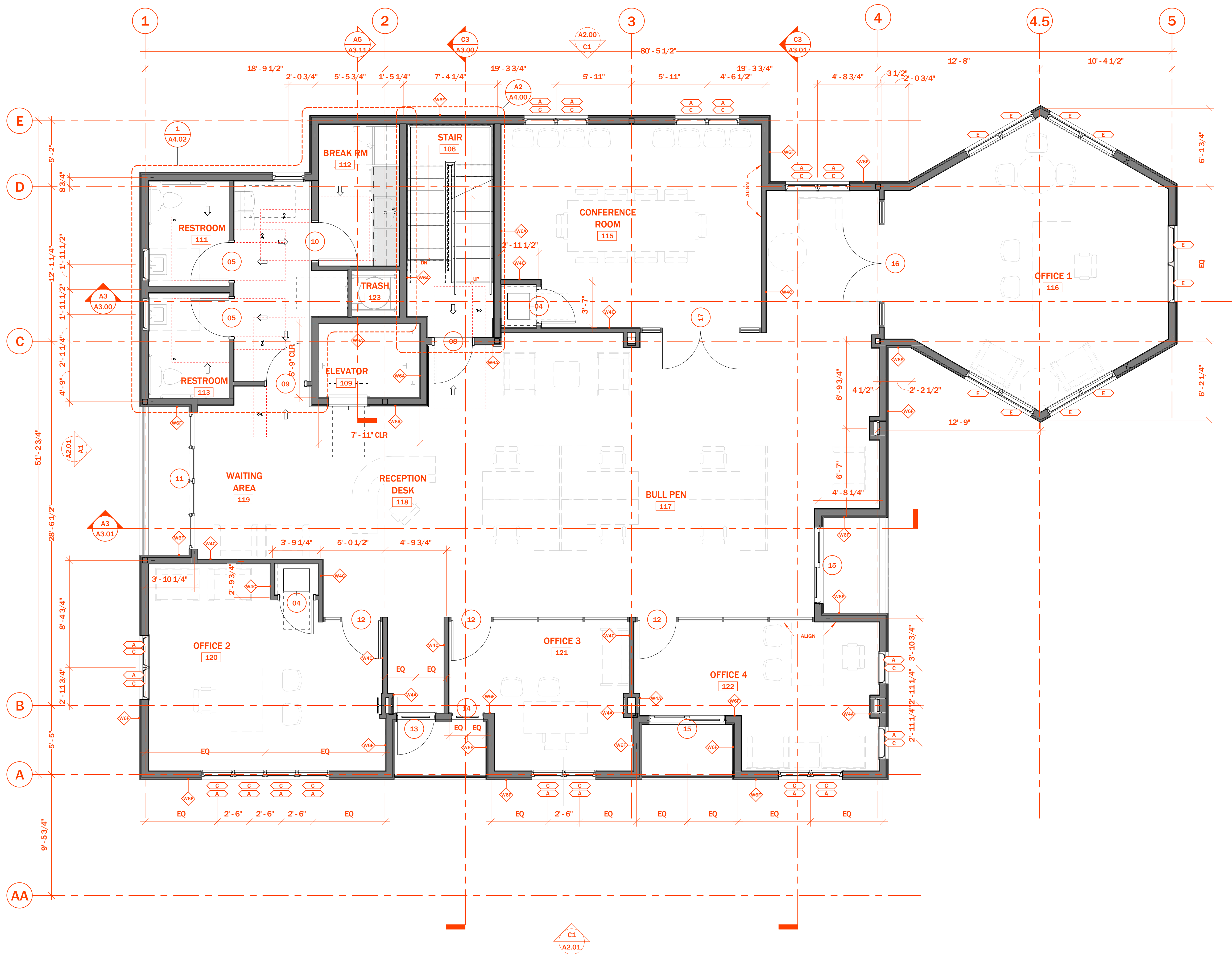
Revisions

Notes:

Scale 1/4" = 1'-0"

FLOOR PLAN - LVL 2

A1.02





Salt Lake City, UT 84106

GENERAL NOTES - FLOOR PLAN

1. INTERIOR WALL DIMENSIONS ARE FROM FACE TO FACE, U.N.O.
2. OPENINGS ARE DIMENSIONED TO FINISH FACE OF OPENING, U.N.O.
3. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK. ANY DISCREPANCIES SHOULD BE COORDINATED WITH ARCHITECT.
4. ALL CONSTRUCTION TO FOLLOW THE REQUIREMENTS OF THE CURRENTLY ADOPTED AND APPLICABLE CODES BEING USED BY THE LOCAL JURISDICTION WHERE THE PROJECT IS LOCATED
5. ALL EXHAUST AND INTAKE LOCATIONS TO BE A MINIMUM OF 3'-0" FROM ANY WINDOW OR DOOR OPENING.
6. PROVIDE AND INSTALL INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTORS PER IRC R314 AND R315.
7. ALL EXISTING OUTLETS THAT ARE NOT ALTERED WITH NEW CONSTRUCTION TO REMAIN.
8. FURNITURE LAYOUTS ARE FOR SPACE PLANNING PURPOSES; FINAL LOCATIONS ARE TO BE DETERMINED BY TENANT.
9. CONTRACTOR TO COORDINATE AND VERIFY ALL EXISTING DIMENSIONS WITH PROPOSED PLANS AND CHANGES.

MOUNTAIN CREST

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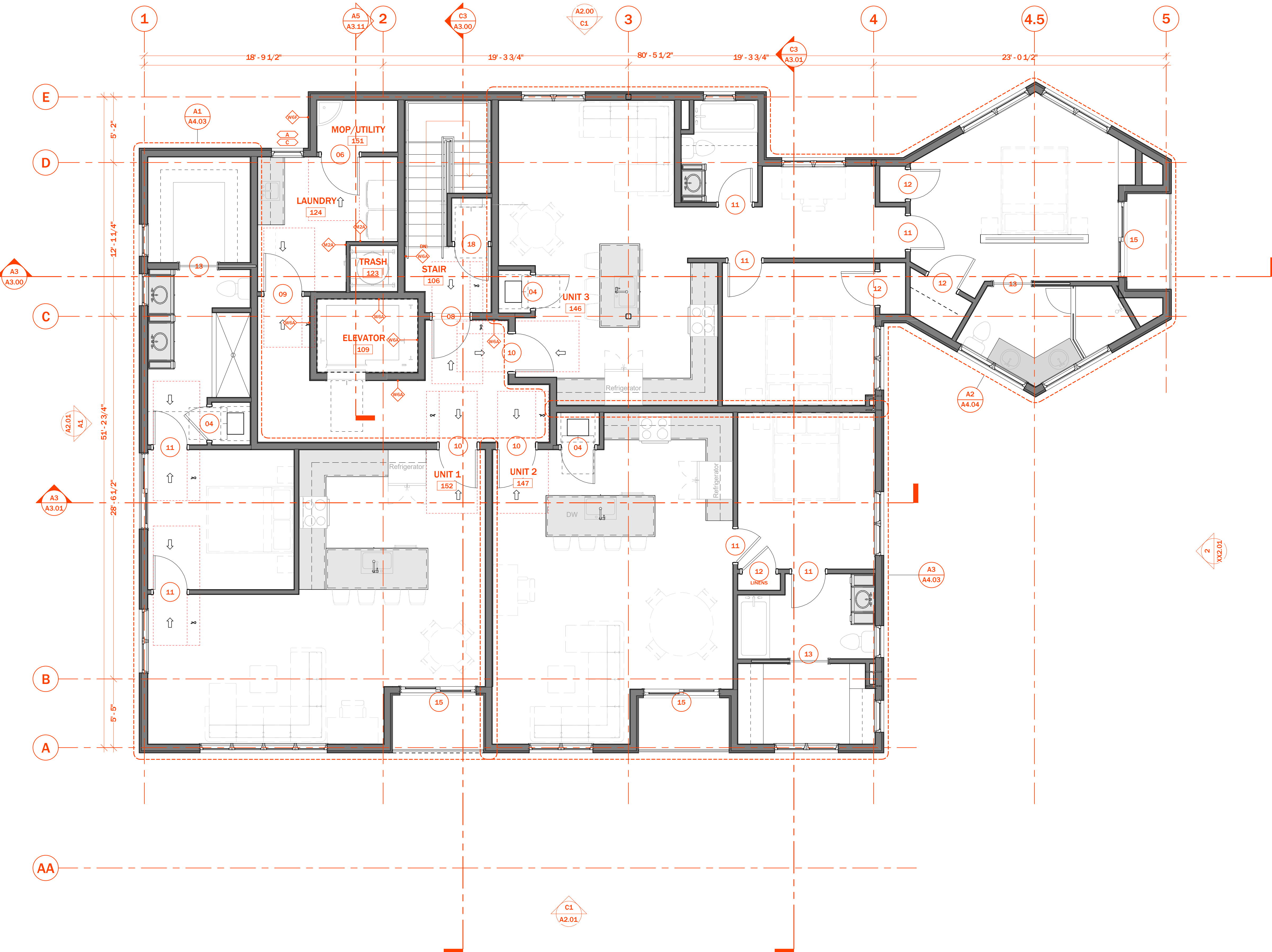
Revisions

Notes:

Scale 1/4" = 1'-0"

FLOOR PLAN - LVL 3

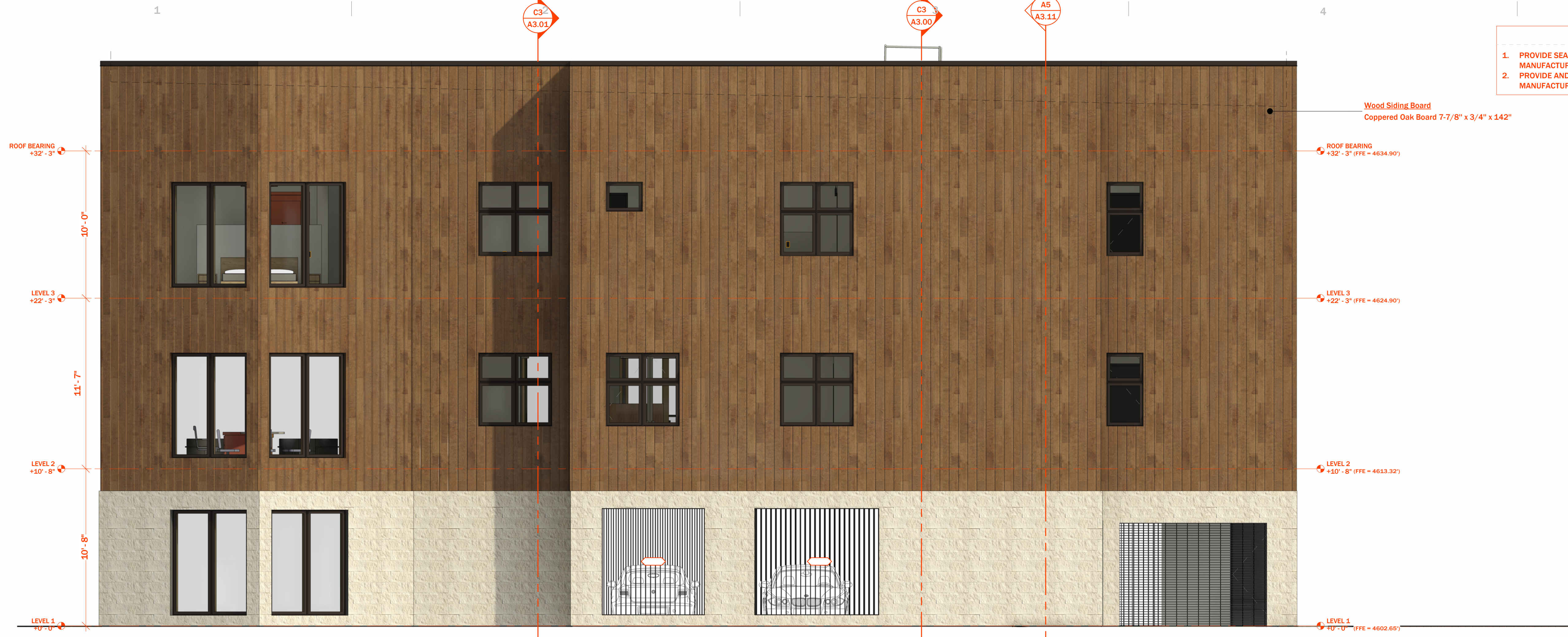
A1.03



A1 FLOOR PLAN - LEVEL 3  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES - ELEVATIONS**

1. PROVIDE SEALANT AT ALL JOINTS WHERE DIFFERENT MATERIALS MEET. SEAL PER MANUFACTURER'S WARRANTY AND INSTALLATION REQUIREMENTS.
2. PROVIDE AND INSTALL EXPANSION JOINTS WHERE REQUIRED BY MATERIAL MANUFACTURER'S RECOMMENDATIONS.



**C1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**A1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**MOUNTAIN CREST**  
2051-2061 E MURRAY HOLLADAY RD  
HOLLADAY, UT 84117

Project No. 00000

04.30.2026

Revisions

Notes:

Scale 1/4" = 1'-0"

**ELEVATIONS**

**A2.00**

**GENERAL NOTES - ELEVATIONS**

1. PROVIDE SEALANT AT ALL JOINTS WHERE DIFFERENT MATERIALS MEET. SEAL PER MANUFACTURER'S WARRANTY AND INSTALLATION REQUIREMENTS.
2. PROVIDE AND INSTALL EXPANSION JOINTS WHERE REQUIRED BY MATERIAL MANUFACTURER'S RECOMMENDATIONS.

**MOUNTAIN CREST**  
2051-2061 E MURRAY HOLLADAY RD  
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Project No. 00000

04.30.2026

Revisions

Notes:

Scale 1/4" = 1'-0"

ELEVATIONS

**A2.01**



**C1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**A1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

GRADUATED HEIGHT REQUIREMENT PER HOLLADAY MP-13-22-090

PHASE II BUILDING (NOT IN CURRENT SCOPE)

PROPERTY LINE

+8'-0"

LEVEL 2  
+10'-8" (FFE = 4613.32')

LEVEL 3  
+22'-3" (FFE = 4624.90')

ROOF BEARING  
+32'-3" (FFE = 4634.90')

LEVEL 1  
+0'-0" (FFE = 4602.65')

1/4" VERTICAL STEEL 'LOUVERS' WELDED TOP & BOTTOM; POWDER COATED