

WASHINGTON CITY
LAND USE AUTHORITY MEETING
STAFF REVIEW

HEARING DATE:	May 6th, 2026
ACTION REQUESTED:	Amended Preliminary Plat approval for the Desert Ridge Estates Phase 2-4 Subdivision, located at approximately Coyote Crest and Florence Drive
APPLICANT:	Brandee Walker
OWNER:	Stephen Howcroft
ENGINEER:	Civil Science
REVIEWED BY:	Eldon Gibb, Community Development Director
RECOMMENDATION:	Recommend approval with conditions onto city council

Background

The applicant is requesting approval to Amend the Preliminary plat for the Desert Ridge Estates Phases 2-4 Subdivision, located at Coyote Crest and Florence Drive. This amendment is proposing the following changes:

1. Reduction of 10 lots. The approved plan consists of 36 lots. The proposed plan shows 26. This change allows larger lots and reduces the overall density from 2.67 to 1.93 D.U/Acre.
2. Extend the south property lines of lots 205 and lots 207-210 into areas that do not exceed 30 percent sloped areas.
3. Updating phase lines, utilities and grading plan
4. Updating the Conditions Of Approval numbered 13-24. Conditions 19 and 24 were added by City Council and will need to be reviewed by City Council. Redline comments are recommendations from the Hillside Review Board (HRB) meeting.

The zoning designation at this location is PUD/R with PUD/R to the north, east, south and west. The proposed subdivision conforms to the approved zoning. The request meets the subdivision requirements and other city ordinances as it relates to this location.

The proposal is in the Hillside Overlay Zone and on April 20th, 2026 the HRB reviewed this request and motioned to recommend approval of the proposed changes with the following

redline comments being made to conditions 13-24.

13. Lots ~~232, 233, 234 and 235~~ **205-209** shall be graded as shown in the exhibit to meet slope stability standards and reduce hillside cutting. A slope stability certificate report for these lots shall be submitted to planning/zoning with final plat application showing compliance

14. Prior to final plat application, a compliance certificate for all of the rockery walls shall be submitted to planning/zoning showing they have been built per design and meet compaction requirements.

15. A No Disturbance fence shall be installed **at/or within the no disturb limit** as shown in the exhibit ~~behind lots 215 through 236 and 135 / 136~~ **(lots 205-210, 305-309, 403-407)** to ensure this open area remains undisturbed. This No Disturbance fence shall be maintained, monitored and strictly enforced throughout construction on this site. The no disturbance fence shall be orange plastic fence and approximately 36" inches tall.

16. A No Disturbance fence shall be installed on the west end of Florence Drive running north to south all along this development and tying into the no disturb fence south of lot ~~215~~ **407** to ensure the hillside area between Florence Drive and Bella Vista Drive remains undisturbed. This No Disturbance fence shall be maintained, monitored and strictly enforced throughout construction on this site. The no disturbance fence shall be orange plastic fence and approximately 36" inches tall.

17. Prior to final plat application, all of the grading disturbance areas (purple shading) identified in the open space area ~~on page C10~~, shall be restored with rockery walls and planted / hydroseeded material that is native to the area. There shall be no hillside scarring visible and all restoration efforts shall be complete.

18. Bonding for the rockery walls, landscaping and revegetation/mitigation/restoration efforts behind lots ~~215 through 236 and 135 / 136~~ **205-210, 305-309, 403-407** shall be approved by public works in conjunction with construction drawing submission. Construction shall not start nor any dirt be moved until such bonding is in place.

Condition 19: five lots must be single story and no more than two in a row. **(Council may want to consider referencing specific lot numbers and numerically identifying the height such as 25' feet tall max which applies to Lots 210, 305-309 and 403-407)**

Condition 20: rock wall with a max height at 8 feet on the south boundary of the lots between lots ~~215-234~~ **205-210, 305-309, 403-407**

Condition 21: the fill slope between lots ~~215 through 234~~ **205-210, 305-309, 403-407** must have eyebrow walls breaking up and have 80% basalt landscape rock and 20% hydroseed

Condition 22: a restriction on the final plat that if PHASE-2, **3 or 4** is disturbed by any means then all the hillside walls and landscaping ~~between lots 215 through 234~~ **along the southern boundary** be completed prior to final plat

Condition 23: the open space south of the lots between ~~215 through 234~~ 205-210, 305-309, 403-407 be deed restricted as natural open space

Condition 24: ~~no buildable area will be allowed on the back of lots for structures on lots 215 through 234~~ Lots 208-210, 305-309, 403-407 shall not have any vertical structure in the area of the back yard area that is outside of the buildable envelope

Recommendation

Staff has reviewed the request and recommends the Land Use Authority recommend approval of the Amended Preliminary plat for the Desert Ridge Estates Ph 2-4 subdivision, onto City Council, based on the following findings and subject to the following conditions:

Findings

1. The preliminary plat meets the land use designation as outlined in the General Plan for the proposed area.
2. That the preliminary plat conforms to the Washington City Zoning Ordinance and Subdivision Ordinance as outlined.

Conditions

1. A preliminary and final drainage study and grading and drainage plan shall be submitted for review and approval prior to moving dirt. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
2. A preliminary and final geotechnical study shall be submitted to the City for review and approval prior to submitting the final plat. All recommendations of the geotechnical study shall be adhered to.
3. Construction drawing for the subdivision and its infrastructure shall be submitted to the City for review and approval prior to the submittal for final plat.
4. The construction drawings shall adequately address prevention of nuisance storm water drainage across lots. If retaining walls are utilized to prevent cross-lot drainage, the developer shall be responsible for installing said retaining walls.
5. At the time of final plat submittal, the following documents shall also be submitted:
 - A. A title report
 - B. A copy of any deed restrictions, other restrictions, restrictive covenants, architectural controls, or other requirements that may apply to the development (CC&Rs).

6. All detention areas shall be landscaped and all detention and landscaped areas shall be maintained by the property owners and/or homeowners association. A note shall be placed on the plat stating that the City has the right to assess the property owners an/or homeowners association for failing to maintain the detention and landscaped areas.
7. A final landscape plan and fencing plan shall be submitted for review and approval prior to the submittal of the final plat. Landscaping and fencing shall be installed prior to the occupancy of the buildings that will be constructed along the landscaped and fenced areas.
8. All landscaping, walls and other structures shall meet sight distance requirements. A note shall be placed on the final plat stating that the City has the right to assess the property owners and/or homeowners association for failing to maintain sight distance requirements.
9. Driveway locations are to be approved by the Public Works Department.
10. Any proposed blasting for the development of the subdivision requires the submittal of a blasting plan with the construction drawings and issuance of a blasting permit.
11. A Post Construction Maintenance Agreement shall be recorded prior to the recording of the final plat.
12. An LID Stormwater Quality Report needs to be submitted for review and approval to the Public Works Department before any final plat application can be submitted.
13. Lots 205-209 shall be graded as shown in the exhibit to meet slope stability standards and reduce hillside cutting. A slope stability certificate report for these lots shall be submitted to planning/zoning with final plat application showing compliance
14. Prior to final plat application, a compliance certificate for all of the rockery walls shall be submitted to planning/zoning showing they have been built per design and meet compaction requirements.
15. A No Disturbance fence shall be installed at/or before the no disturb limit as shown in the exhibit behind lots 205-210, 305-309, 403-407 to ensure this open area remains undisturbed. This No Disturbance fence shall be maintained, monitored and strictly enforced throughout construction on this site. The no disturbance fence shall be orange plastic fence and approximately 36 inches tall.
16. A No Disturbance fence shall be installed on the west end of Florence Drive running north to south all along this development and tying into the no disturb fence south of lot 407 to ensure the hillside area between Florence Drive and Bella Vista Drive remains undisturbed. This No Disturbance fence shall be maintained, monitored and strictly enforced throughout construction on this site. The no disturbance fence shall be orange plastic fence and approximately 36 inches tall.

17. Prior to final plat application, all of the grading disturbance areas (purple shading) identified in the open space area shall be restored with rockery walls and planted / hydroseeded material that is native to the area. There shall be no hillside scarring visible and all restoration efforts shall be complete.

18. Bonding for the rockery walls, landscaping and revegetation/mitigation/restoration efforts behind lots 205-210, 305-309, 403-407 shall be approved by public works in conjunction with construction drawing submission. Construction shall not start nor any dirt be moved until such bonding is in place.

19. Five lots of the following 11 lots (210, 305-309 and 403-407) shall consist of single story homes no taller than 25' feet and no more than two in a row.

20. Rock wall with a max height at 8 feet on the south boundary of the lots between lots 205-210, 305-309, 403-407

21. The fill slope between lots 205-210, 305-309, 403-407 must have eyebrow walls breaking up and have 80% basalt landscape rock and 20% hydroseed

22. A restriction on the final plat that if PHASE-2,3 or 4 is disturbed by any means then all the hillside walls and landscaping along the southern boundary be completed prior to final plat

23. The open space south of the lots between 205-210, 305-309, 403-407 be deed restricted as natural open space

24. Lots 208-210, 305-309, 403-407 shall not have any vertical structure in the area of the back yard area that is outside of the buildable envelope

Desert Ridge Estates Phases 2-4

Amended Preliminary Plat

March 4, 2026

The purposes of this proposed preliminary plat amendment is to increase the lot widths of the remaining phases and capture areas of flat terrain that does not fall within the Hillside Overlay restrictions.

In summary:

- The lot count reduced by 10 (previous entitlement allows 36 lots), amendment proposes 26
- Increase the area of disturbance adjacent to lots 205 and 207-210 extending the rear yards into developable area less than 30% slopes. No other areas of hillside encroachment.
- Updating the phase lines to the new lot lines
- Updating utilities and grading to the new lot lines
- Request hillside notes be updated/removed/clarified with new lot numbers or removed since completed with prior phases

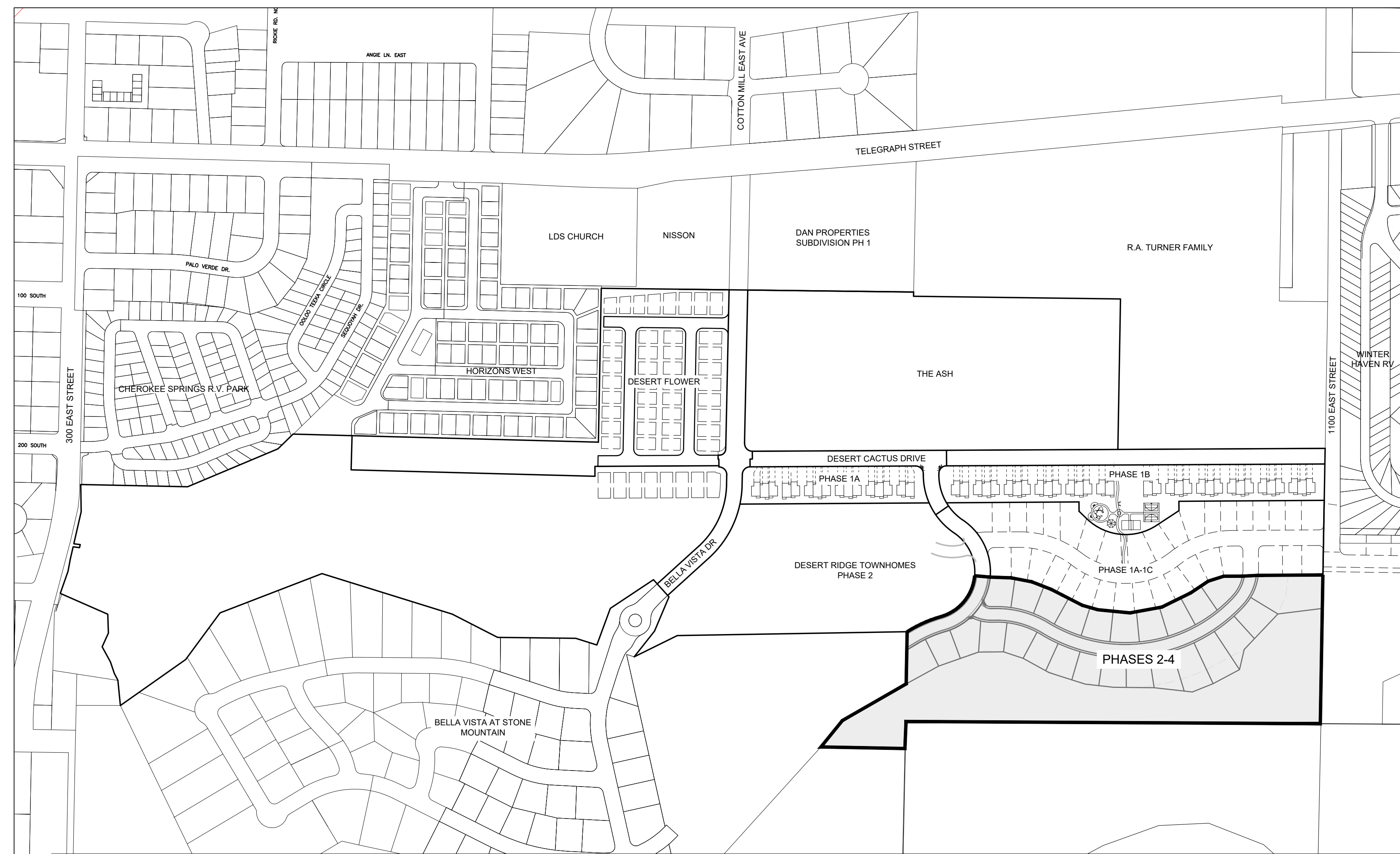
DESERT RIDGE ESTATES PHASES 2-4

AMENDED PRELIMINARY PLAT

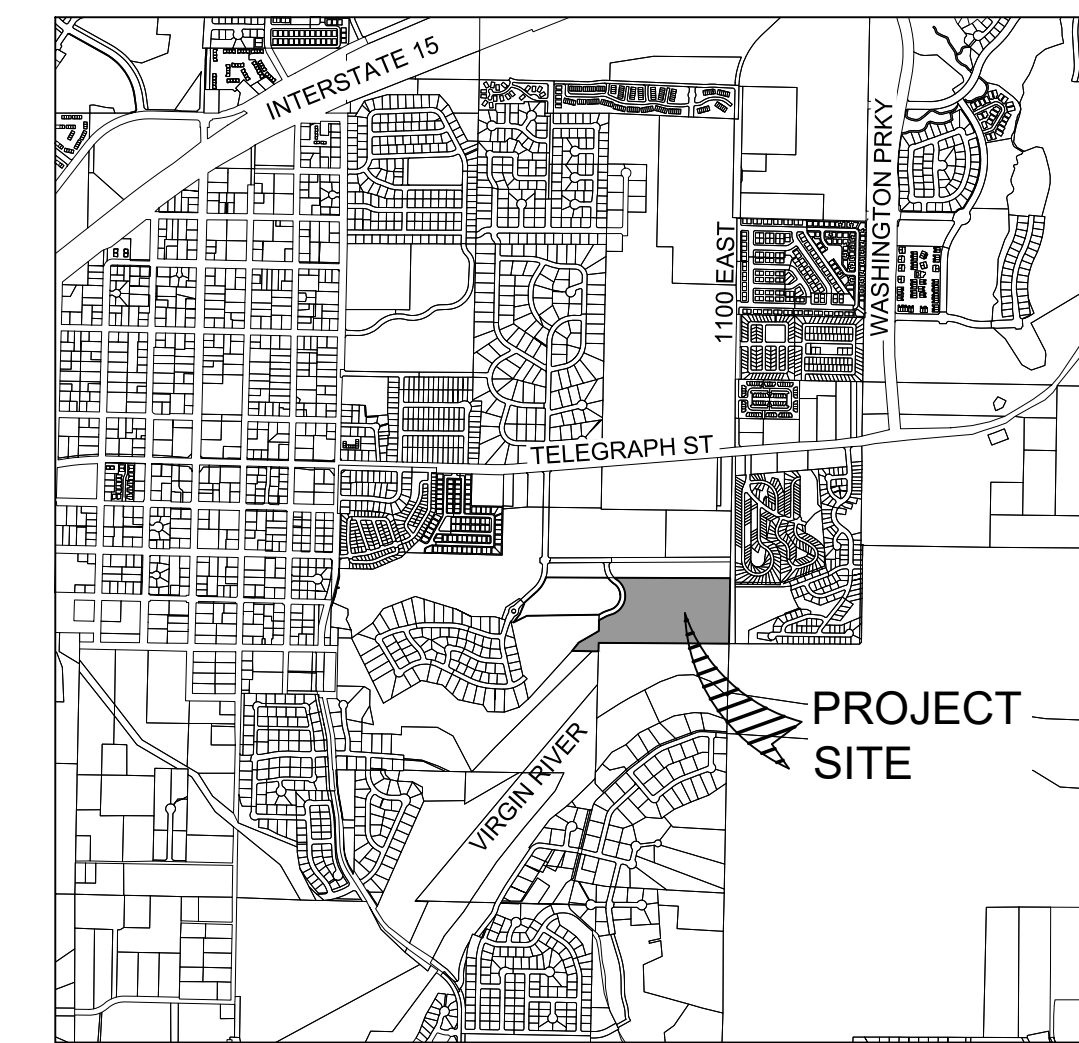
LOCATED IN WASHINGTON, UTAH

ADDRESS: BELLA VISTA & DESERT CACTUS DRIVE
SECTION 14, TOWNSHIP 42 SOUTH, RANGE 15 WEST

SHEET NO.	SHEET DESCRIPTION
C1	COVER SHEET
C2	SITE PLAN
C3	UTILITY PLAN & FIRE SAFETY PLAN
C4	GRADING & DRAINAGE PLAN
C5	SLOPE ANALYSIS
C6	DISTURBANCE & MITIGATION EXHIBIT
C7	RETAINING WALL DETAILS
L1	PRELIMINARY LANDSCAPE PLAN



PROJECT MAP
(N.T.S.)



CivilScience
Engineers | Surveyors | Solutions
1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

CONTACT

SUNWOOD HOMES
1791 NUTEAM CIRCLE
WASHINGTON, UT 84780

royce@mysunwoodhomes.com



Know what's below.
Call before you dig.

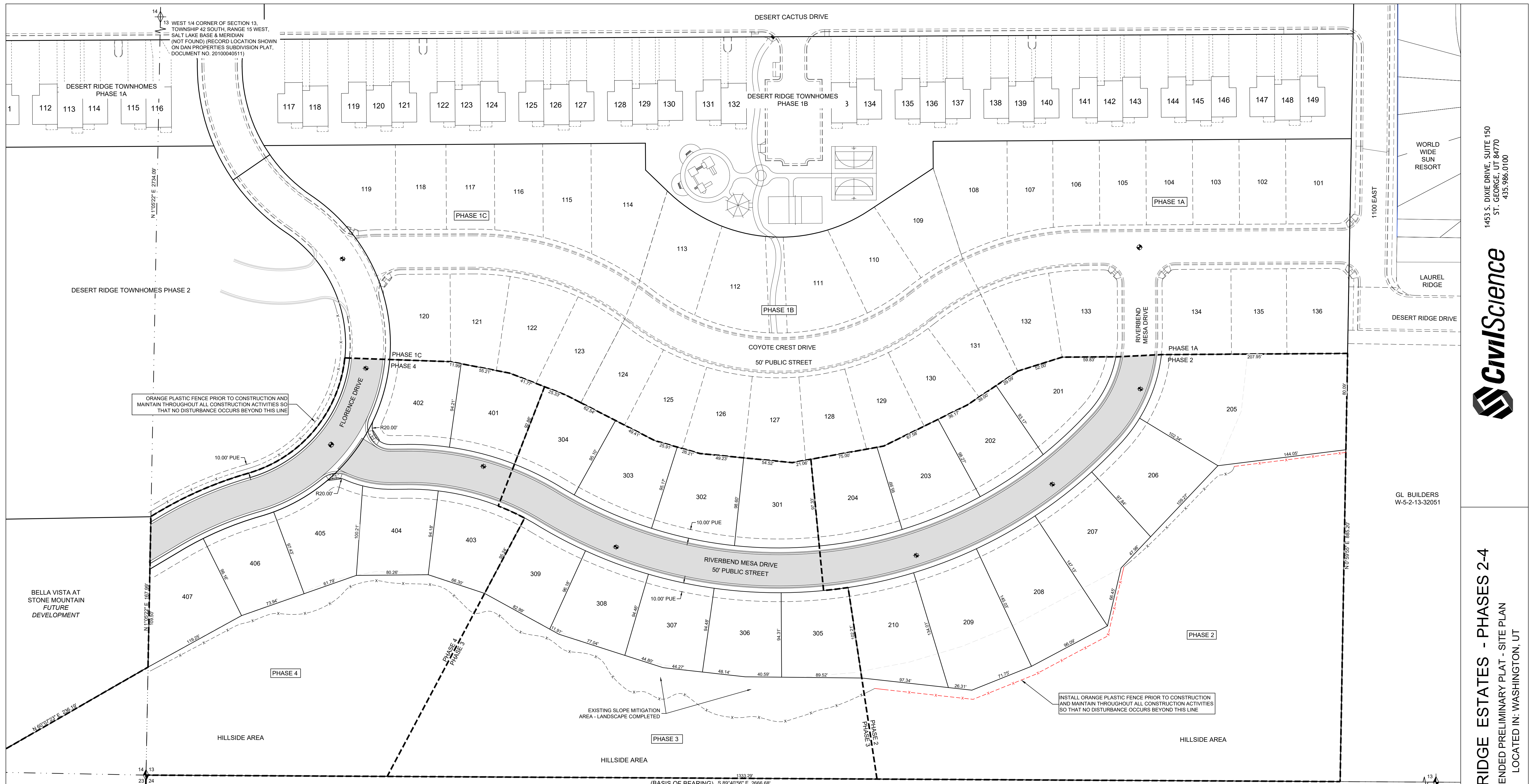
1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100



DESERT RIDGE ESTATES 2 - 4
AMENDED PRELIMINARY PLAT
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 02/20/2026
SCALE OF SHEET
HORIZ: NA
VERT: NA
SHEET

C1



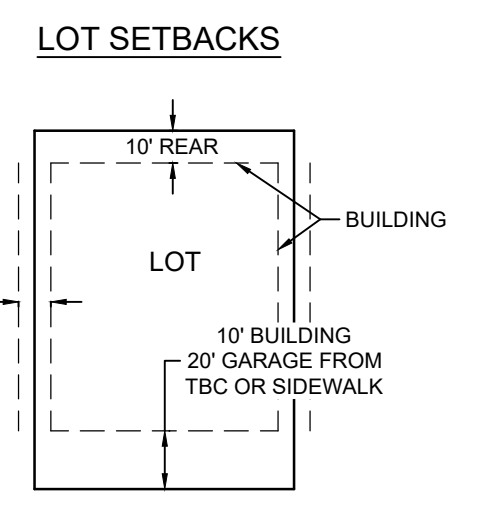
ORANGE PLASTIC FENCE PRIOR TO CONSTRUCTION AND MAINTAIN THROUGHOUT ALL CONSTRUCTION ACTIVITIES SO THAT NO DISTURBANCE OCCURS BEYOND THIS LINE

INSTALL ORANGE PLASTIC FENCE PRIOR TO CONSTRUCTION AND MAINTAIN THROUGHOUT ALL CONSTRUCTION ACTIVITIES SO THAT NO DISTURBANCE OCCURS BEYOND THIS LINE

EXISTING SLOPE MITIGATION AREA - LANDSCAPE COMPLETED

AMENDMENT NOTE
 THE PURPOSE OF THIS AMENDMENT IS TO INCREASE THE LOT WIDTHS IN THE UN-PLATTED PORTION OF PHASES 2-4 AS SHOWN.
 • LOT COUNT REDUCED BY 10 (PREVIOUS ENTITLEMENT ALLOWS 36 LOTS), AMENDMENT PROPOSES 26
 • INCREASE THE AREA OF DISTURBANCE ADJACENT TO LOTS 205 AND 207-209 EXTENDING THE REAR YARDS INTO DEVELOPABLE AREA LESS THAN 30% SLOPES. NO OTHER AREAS OF HILLSIDE ENCROACHMENT.
 • UPDATING THE PHASE LINES TO THE NEW LOT LINES
 • UPDATING UTILITIES AND GRADING TO THE NEW LOT LINES
 • REQUEST HILLSIDE NOTES BE UPDATED/REMOVED/CLEARIFIED AS PER THE NOTES SHOWN ON THIS SHEET.

NOTES AND GENERAL CONDITIONS ORIGINAL PRELIMINARY PLAT APPROVAL:
 13. LOTS 206 AND 207 SHALL BE GRADED AS SHOWN IN THE EXHIBIT TO MEET SLOPE STABILITY STANDARDS AND REDUCE HILLSIDE CUTTING. A SLOPE STABILITY CERTIFICATE REPORT FOR THESE LOTS SHALL BE SUBMITTED TO PLANNING/ZONING WITH FINAL PLAT APPLICATION SHOWING COMPLIANCE. (UPDATED LOT NUMBERS)
 14. PRIOR TO FINAL PLAT APPLICATION, A COMPLIANCE CERTIFICATE FOR ALL OF THE ROCKERY WALLS SHALL BE SUBMITTED TO PLANNING/ZONING SHOWING THEY HAVE BEEN BUILT PER DESIGN AND MEET COMPACTION REQUIREMENTS.
 15. A NO DISTURBANCE FENCE SHALL BE INSTALLED AS SHOWN IN THE EXHIBIT BEHIND LOTS 205-210, 305-309, AND 403-407 TO ENSURE THIS OPEN AREA REMAINS UNDISTURBED. THIS NO DISTURBANCE FENCE SHALL BE MAINTAINED, MONITORED AND STRICTLY ENFORCED THROUGHOUT CONSTRUCTION ON THIS SITE. (UPDATED LOT NUMBERS)
 16. A NO DISTURBANCE FENCE SHALL BE INSTALLED ON THE WEST END OF FLORENCE DRIVE RUNNING NORTH TO SOUTH ALL ALONG THIS DEVELOPMENT AND TYING INTO THE NO DISTURB FENCE SOUTH OF LOT 407 TO ENSURE THE HILLSIDE AREA BETWEEN FLORENCE DRIVE AND BELLA VISTA DRIVE REMAINS UNDISTURBED. THIS NO DISTURBANCE FENCE SHALL BE MAINTAINED, MONITORED AND STRICTLY ENFORCED THROUGHOUT CONSTRUCTION THIS SITE.
 17. PRIOR TO FINAL PLAT APPLICATION, ALL OF THE GRADING DISTURBED AREAS (PURPLE SHADING) IDENTIFIED IN THE OPEN SPACE AREA ON PAGE C6, SHALL BE RESTORED WITH ROCKERY WALLS AND PLANTED/HYDROSEEDED MATERIAL THAT IS NATIVE TO THE AREA. THERE SHALL BE NO HILLSIDE SCARRING VISIBLE AND ALL RESTORATION EFFORTS SHALL BE COMPLETE. (COMPLETED)
 18. BONDING FOR THE ROCKERY WALLS, LANDSCAPING AND REVEGETATION/MITIGATION/RESTORATION EFFORTS BEHIND LOTS 205-210, 305-309, AND 403-407 SHALL BE APPROVED BY PUBLIC WORKS IN CONJUNCTION WITH CONSTRUCTION DRAWING SUBMITTAL. CONSTRUCTION SHALL NOT START NOR ANY DIRT BE MOVED UNTIL SUCH BONDING IS IN PLACE.
 19. FIVE LOTS MUST BE SINGLE STORY, AND NO MORE THAN TWO IN A ROW. (REQUESTING REDUCTION OF SINGLES DUE TO REDUCED LOT COUNT)
 20. ROCK WALL WITH A MAX HEIGHT AT 8 FEET ON THE SOUTH BOUNDARY OF THE LOTS BETWEEN LOTS 207 THROUGH 210.
 21. THE FILL SLOPE BETWEEN LOTS 207-210, 305-309, AND 403-407 MUST HAVE EYEBROW WALLS BREAKING UP AND HAVE 80% BASALT LANDSCAPE ROCK AND 20% HYDROSEEDING.
 22. A RESTRICTION ON THE FINAL PLAT THAT IF PHASE 2-4 IS DISTURBED BY ANY MEANS THEN ALL THE HILLSIDE WALLS AND LANDSCAPING BETWEEN LOT 205-210, 305-309, AND 403-407 BE COMPLETED PRIOR TO FINAL PLAT.
 THE OPEN SPACE SOUTH OF THE LOTS BETWEEN 207-210, 305-309, AND 403-407 BE DEED RESTRICTED AS NATURAL OPEN SPACE.
 24. NO BUILDABLE AREA WILL BE ALLOWED ON THE BACK OF LOTS FOR STRUCTURES ON LOTS 208-210, 305-309, AND 403-407.



LEGEND

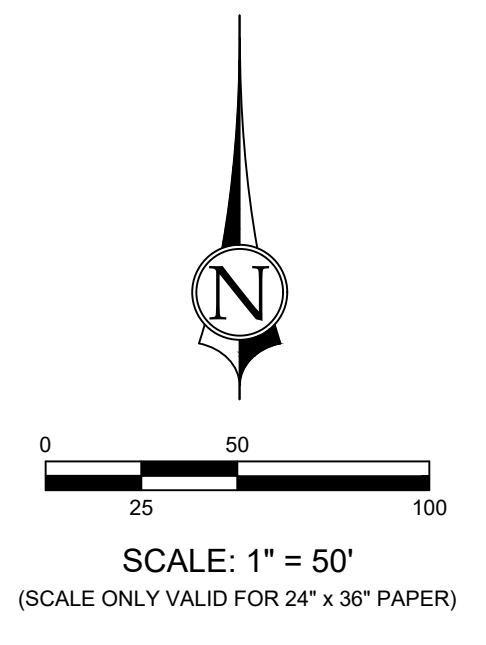
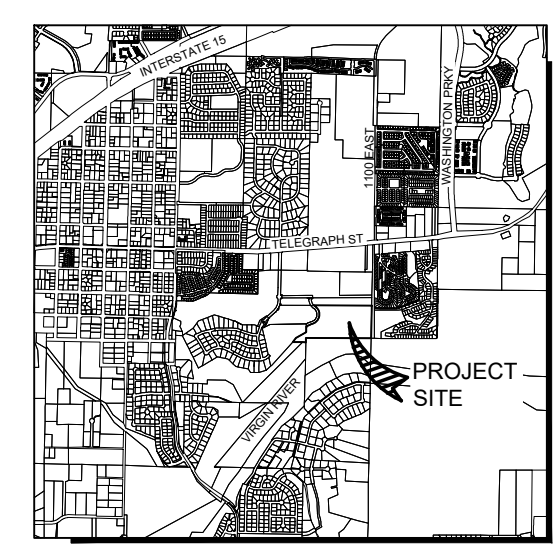
--- (dashed line)	PHASE LINE
--- (long dashed line)	PROPOSED LOT LINE
--- (short dashed line)	EXISTING LOT LINE
--- (dash-dot line)	PROPOSED CURB & GUTTER
--- (dotted line)	EXISTING CURB & GUTTER
- - - - - (dashed line with crosses)	APPROVED CONSTRUCTION FENCE
- - - - - (dashed line with crosses)	PROPOSED CONSTRUCTION FENCE

AMENDMENT INFO
 TOTAL LOTS: 26
 AREA: 14.83 ACRES
 DENSITY: 1.93 DU/AC
 ZONE: PD-R

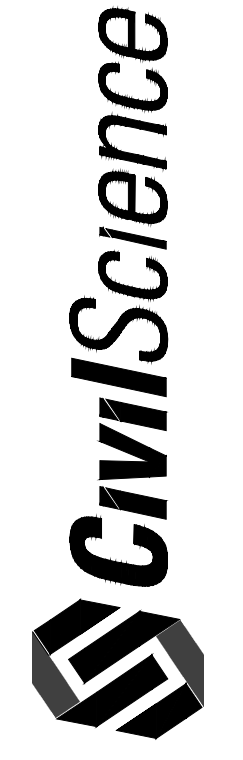
OWNER CONTACT
 STEPHEN HOWCROFT
 1791 E NUTEAM CIR
 WASHINGTON, UT 84780

APPLICANT:
 SUNWOOD HOMES

DESERT RIDGE ESTATES - PHASES 2-4
 AMENDED PRELIMINARY PLAT



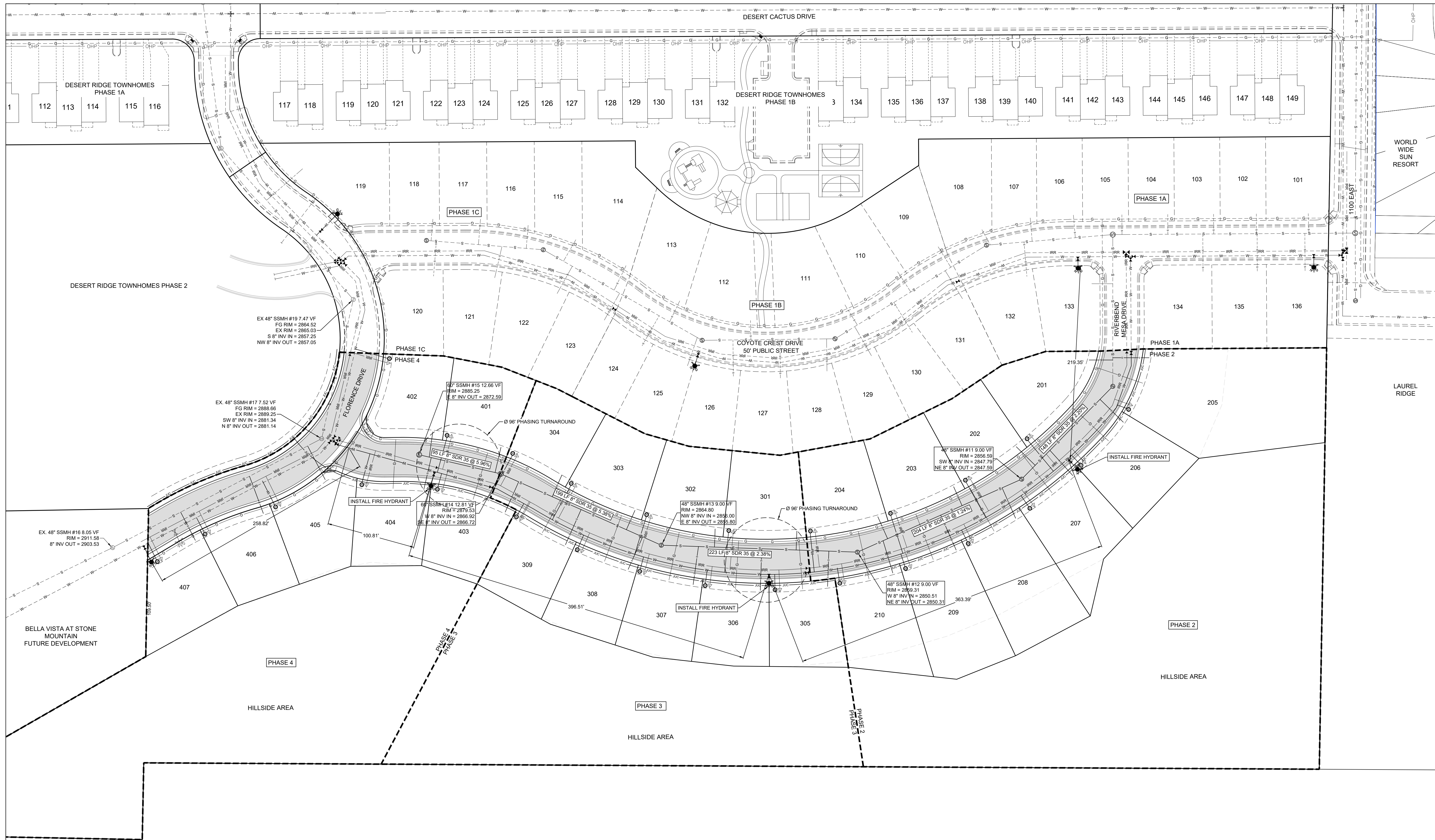
1453 S. DIXIE DRIVE, SUITE 150
 ST. GEORGE, UT 84770
 435-986-0100



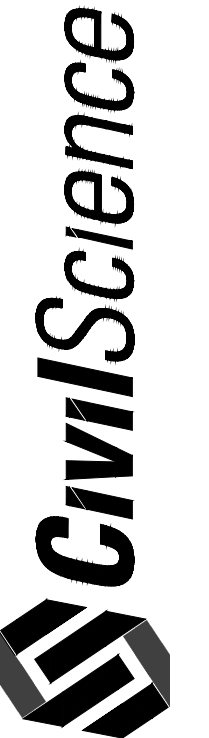
DESERT RIDGE ESTATES - PHASES 2-4
 AMENDED PRELIMINARY PLAT - SITE PLAN
 LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.0
 DRAWN BY: BLW
 DATE: 04/23/2026
 SCALE OF SHEET
 HORIZ: 1" = 50'
 VERT: NA
 SHEET

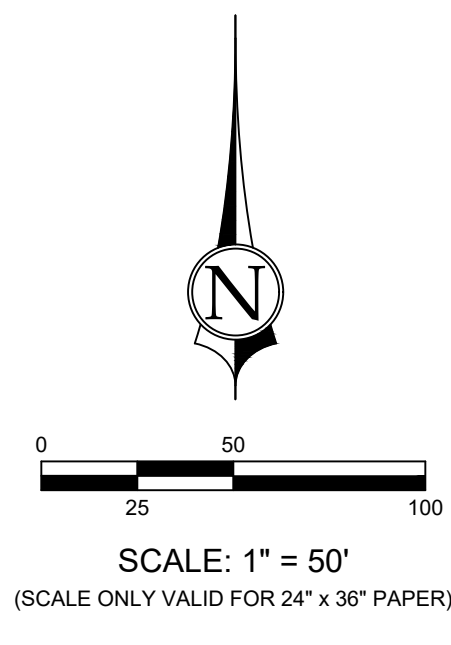
C2



1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100



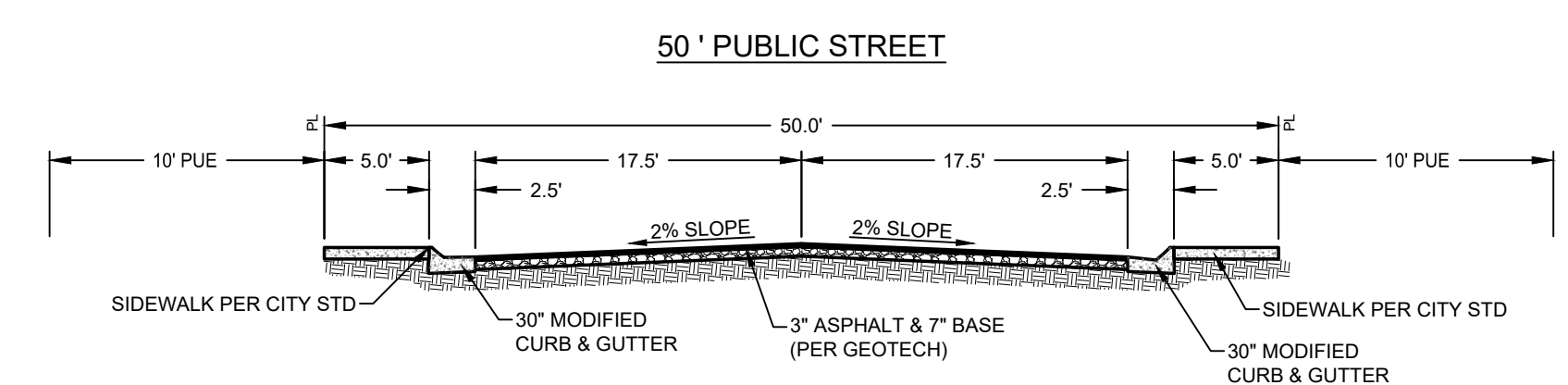
DESERT RIDGE ESTATES - PHASES 2-4
AMENDED PRELIMINARY PLAT - UTILITY PLAN & FIRE SAFETY PLAN
LOCATED IN: WASHINGTON, UT



LEGEND

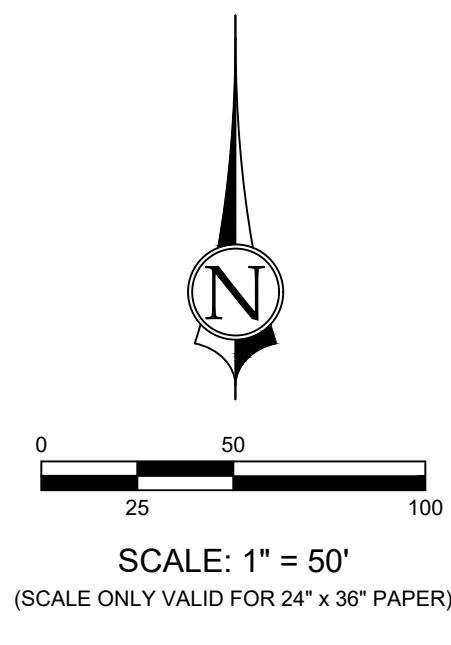
	FIRE HYDRANT
	WATER GATE VALVE
	EXISTING WATER GATE VALVE
	3/4" WATER LATERAL & SERVICE WITH BOX
	EXISTING WATER LINE
	C-900 CLASS 150 WATER LINE 8"Ø (UNLESS SIZE NOTED OTHERWISE)
	TRIANGULAR IRRIGATION VALVE
	EXISTING TRIANGULAR IRRIGATION VALVE
	IRRIGATION LATERAL WITH 1" SERVICE & BOX
	C-900 IRRIGATION "PURPLE" PIPE 4"Ø (UNLESS SIZE NOTED OTHERWISE)
	SEWER MANHOLE (SIZE AS NOTED ON PLAN)
	4" PVC SEWER LATERAL
	EXISTING SEWER LINE
	8" SDR 35 PVC SEWER LINE
	POWER & JOINT UTILITY TRENCH

- FIRE DEPARTMENT NOTES:**
- HYDRANTS MUST BE INSPECTED, TESTED AND APPROVED PRIOR TO COMMENCING COMBUSTIBLE CONSTRUCTION. TESTING IS TO BE COMPLETED BY THE INSTALLING CONTRACTOR AND VERIFIED BY THE FIRE MARSHAL. TEST DATA SHALL INCLUDE A STATIC PRESSURE VALUE, A RESIDUAL PRESSURE VALUE AND A FLOW (P10T) PRESSURE.
 - WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLIES FOR FIRE PROTECTION IS/ARE REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.



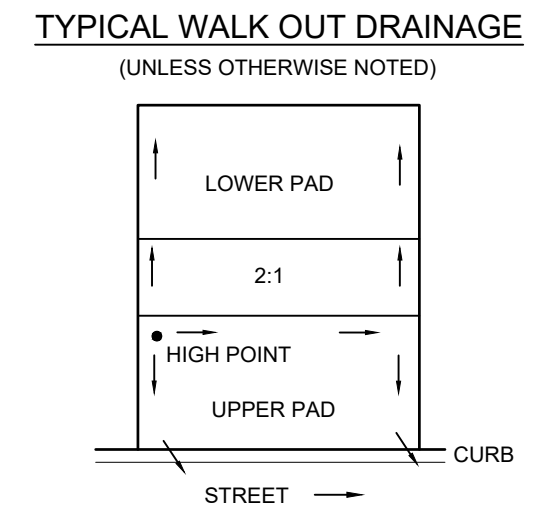
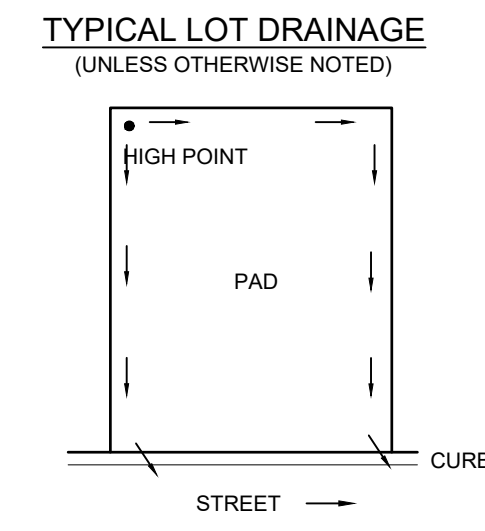
DESERT RIDGE ESTATES
UTILITY PLAN & FIRE SAFETY PLAN

PROJECT NO: 21221.0
DRAWN BY: BLW
DATE: 02/20/2026
SCALE OF SHEET
HORIZ: 1" = 50'
VERT: NA
SHEET



LEGEND

	EXISTING GROUND CONTOUR
	FINISH GRADE CONTOUR
	PROPERTY BOUNDARY
	PROPOSED LOT LINES
	EXISTING LOT LINES
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	DRAINAGE FLOW DIRECTION
	FINISH PAD ELEVATION
	SPOT ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	INSTALL ROCK RETAINING WALL
	EXISTING ROCK RETAINING WALL



- DRAINAGE NOTES:**
1. DRAIN AWAY FROM STRUCTURES @ 5% FOR 10' MINIMUM.
 2. DRAIN FROM REAR OF PAD TO STREET.
 3. FLOW LINE OF DRAINAGE SWALE TO BE 1% MINIMUM

GRADING NOTES

ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL IMPORTED STRUCTURAL FILL SHALL BE PLACED IN 8-INCH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).

ALL EXCAVATION, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO VERIFY SUB-SOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.

ALL EXCAVATION AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF WASHINGTON CITY AND APPENDIX J OF THE INTERNATIONAL BUILDING CODE, AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY.

GEOTECHNICAL ENGINEER TO PROVIDE GRADING COMPLETION REPORT TO CONFIRM WORK HAS BEEN PERFORMED IN CONFORMANCE WITH THEIR RECOMMENDATIONS AND A PAD CERTIFICATION IS REQUIRED FOR ALL FILL ON EACH LOT.

LID REQUIREMENTS
LID REQUIRED: 4,021 FT³
ALL LID REQUIREMENTS TO BE PROVIDED BY THE EXISTING STORM WATER BASIN LOCATED AT 600 EAST DESERT CACTUS DRIVE.

STORM WATER DETENTION REQUIREMENTS
ALL ON-SITE AND OFF-SITE STORM WATER FLOWS WILL BE DAINED IN THE EXISTING STORM WATER BASIN WHICH HAS BEEN DESIGNED TO ACCOMMODATE THIS DEVELOPMENT. NO ON-SITE DETENTION IS PROPOSED.

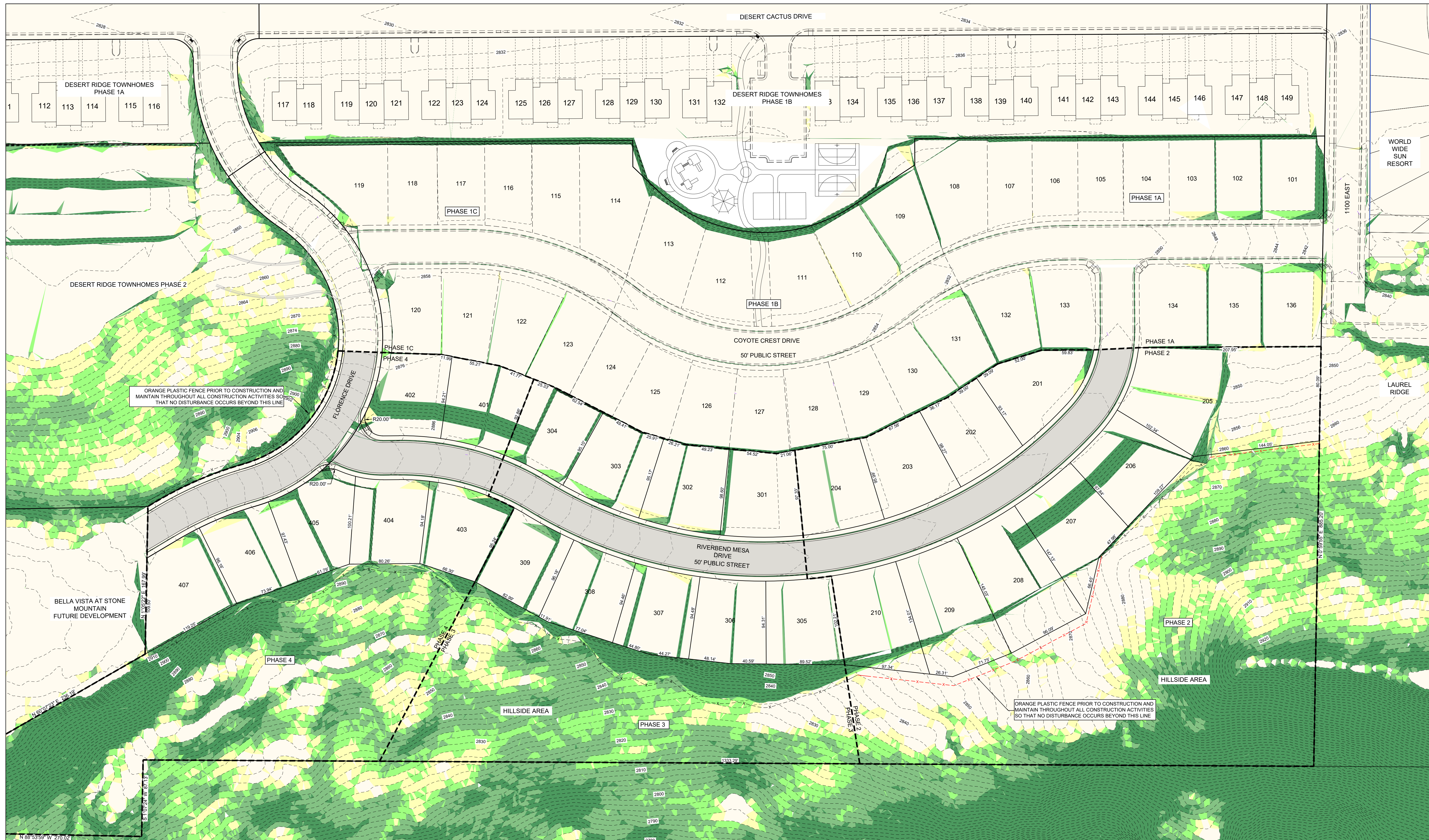
DESERT RIDGE ESTATES
GRADING & DRAINAGE PLAN



1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

DESERT RIDGE ESTATES
AMENDED PRELIMINARY PLAT - GRADING & DRAINAGE PLAN
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.0
DRAWN BY: BLW
DATE: 02/20/2026
SCALE OF SHEET
HORIZ: 1" = 50'
VERT: NA
SHEET

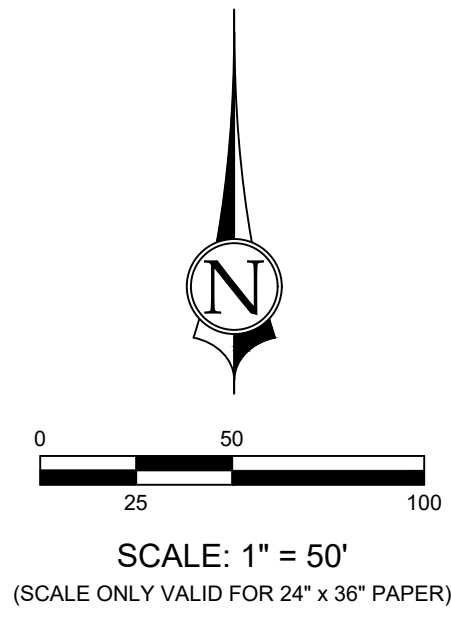


1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435-986-0100



DESERT RIDGE ESTATES
AMENDED PRELIMINARY PLAT - SLOPE ANALYSIS
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.0
DRAWN BY: BLW
DATE: 02/20/2026
SCALE OF SHEET
HORIZ: 1" = 50'
VERT: NA
SHEET



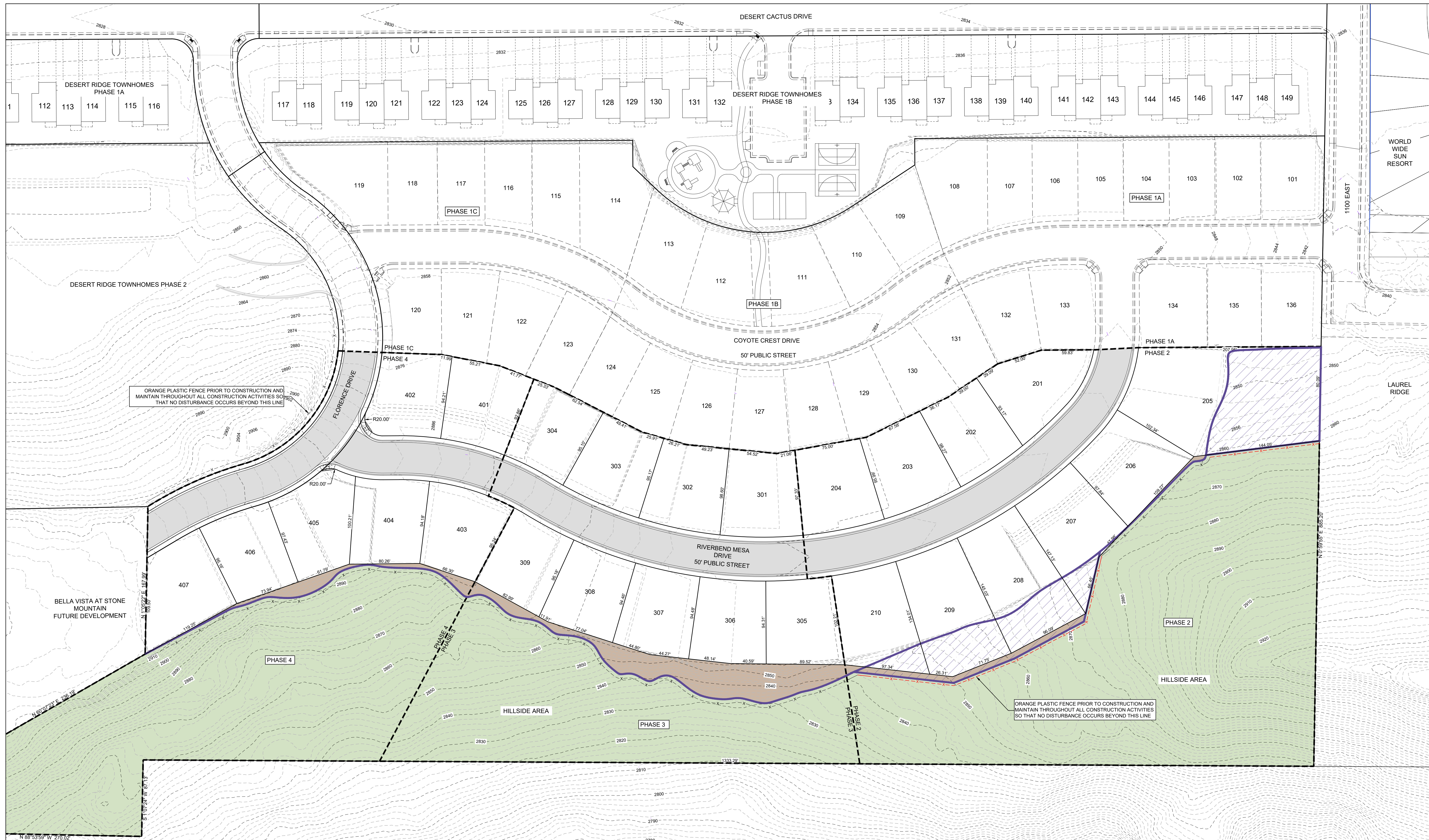
LEGEND

- EXISTING GROUND CONTOUR
- FINISH GRADE CONTOUR
- PROPOSED LOT LINE
- - - EXISTING LOT LINE
- PROPOSED CURB & GUTTER
- - - EXISTING CURB & GUTTER
- DRAINAGE FLOW DIRECTION

Slopes Table

Color	Min Slope	Max Slope
Lightest Yellow	0.00%	20.00%
Yellow	20.01%	25.00%
Light Green	25.01%	30.00%
Green	30.01%	40.00%
Darkest Green	40.01%	GREATER

DESERT RIDGE ESTATES
SLOPE ANALYSIS

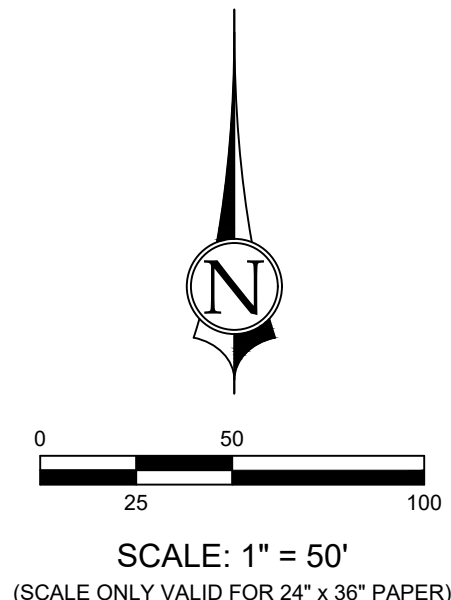


ORANGE PLASTIC FENCE PRIOR TO CONSTRUCTION AND MAINTAIN THROUGHOUT ALL CONSTRUCTION ACTIVITIES SO THAT NO DISTURBANCE OCCURS BEYOND THIS LINE

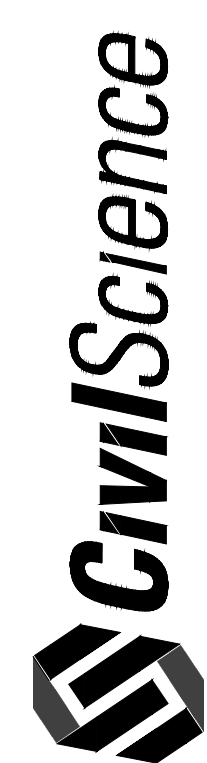
ORANGE PLASTIC FENCE PRIOR TO CONSTRUCTION AND MAINTAIN THROUGHOUT ALL CONSTRUCTION ACTIVITIES SO THAT NO DISTURBANCE OCCURS BEYOND THIS LINE

LEGEND

- PROPOSED LOT LINE
- - - EXISTING LOT LINE
- PROPOSED CURB & GUTTER
- - - EXISTING CURB & GUTTER
- x - x - EXISTING FENCING (HILLSIDE LIMITS)
- - - x - x - NEW FENCING (HILLSIDE LIMITS)
- ▨ NEW GRADING DISTURBANCE AREA
- OPEN SPACE AREA LANDSCAPED / RESTORED
- UNDISTURBED OPEN SPACE



1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
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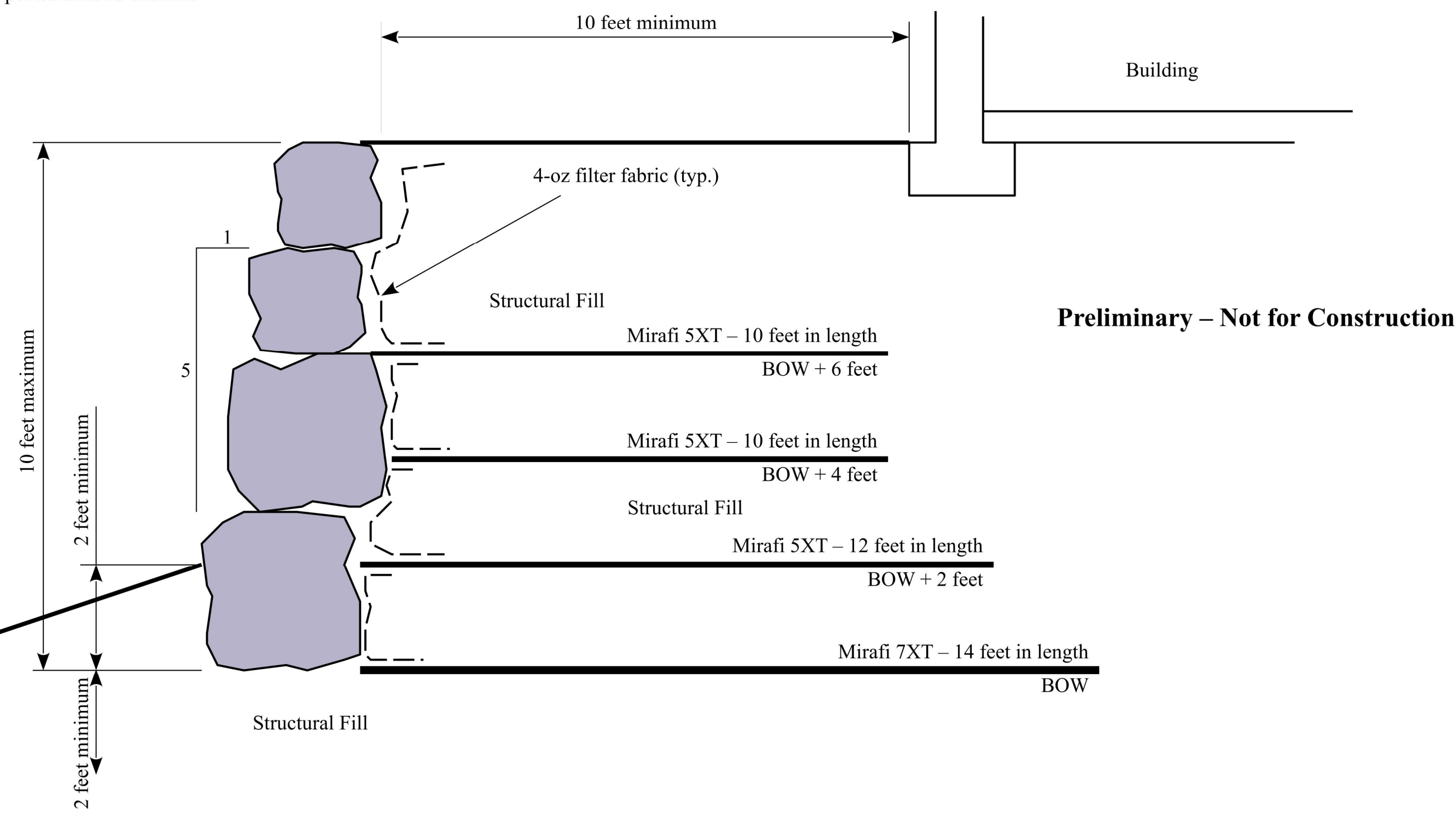
DESERT RIDGE ESTATES
DISTURBANCE & MITIGATION EXHIBIT
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.0
DRAWN BY: BLW
DATE: 02/20/2026
SCALE OF SHEET
HORIZ: 1" = 50'
VERT: NA
SHEET

DESERT RIDGE ESTATES
DISTURBANCE & MITIGATION EXHIBIT

C6

This detail is allowed for single-tier walls up to 14 feet in height using mixed clay and imported sand as backfill.



Preliminary – Not for Construction



Single Tier Wall up to 10 feet
Landmark Project No 21282

Figure 2

- Prior to the placement of the fill, the existing embankment should be excavated to create benches to allow level lifts to key into the existing embankment. Benching is required for all slopes steeper than 6 horizontal to 1 vertical (6H:1V). Benches should be constructed as an incidental part of the placement and compaction of the fills. The maximum bench height should be limited to 3 feet, or less as dictated by conditions encountered during construction. Benching should include both soils and bedrock is encountered.
- The existing soils should be removed from below the base of the rock facing and replaced with structural fill. The removal should extend 3 feet below and to the front of the first level of facing rock, and extend the length of the reinforcement to the rear of the facing rock.
- All fill should be considered structural fill. Design of these walls is dependent upon the material to be used as wall backfill in the reinforced zone. Clean, granular fill will require a smaller reinforced zone relative to the mixed soils.
- The onsite medium plastic clays when mixed with imported silty sands form the Brio development at the designed ratio to produce a non-expansive composite, may be used as structural fill in the reinforced zone.
- Clean, imported fill, used as wall backfill in the reinforced zone, should be granular and consist of USCS classifications GC (clayey gravel), GM (silty gravel), or GW (well-graded gravel). Granular fill should be well-graded, non-expansive, and free of organics and all deleterious materials. Soils used for granular, imported, structural fill should meet the following specifications:

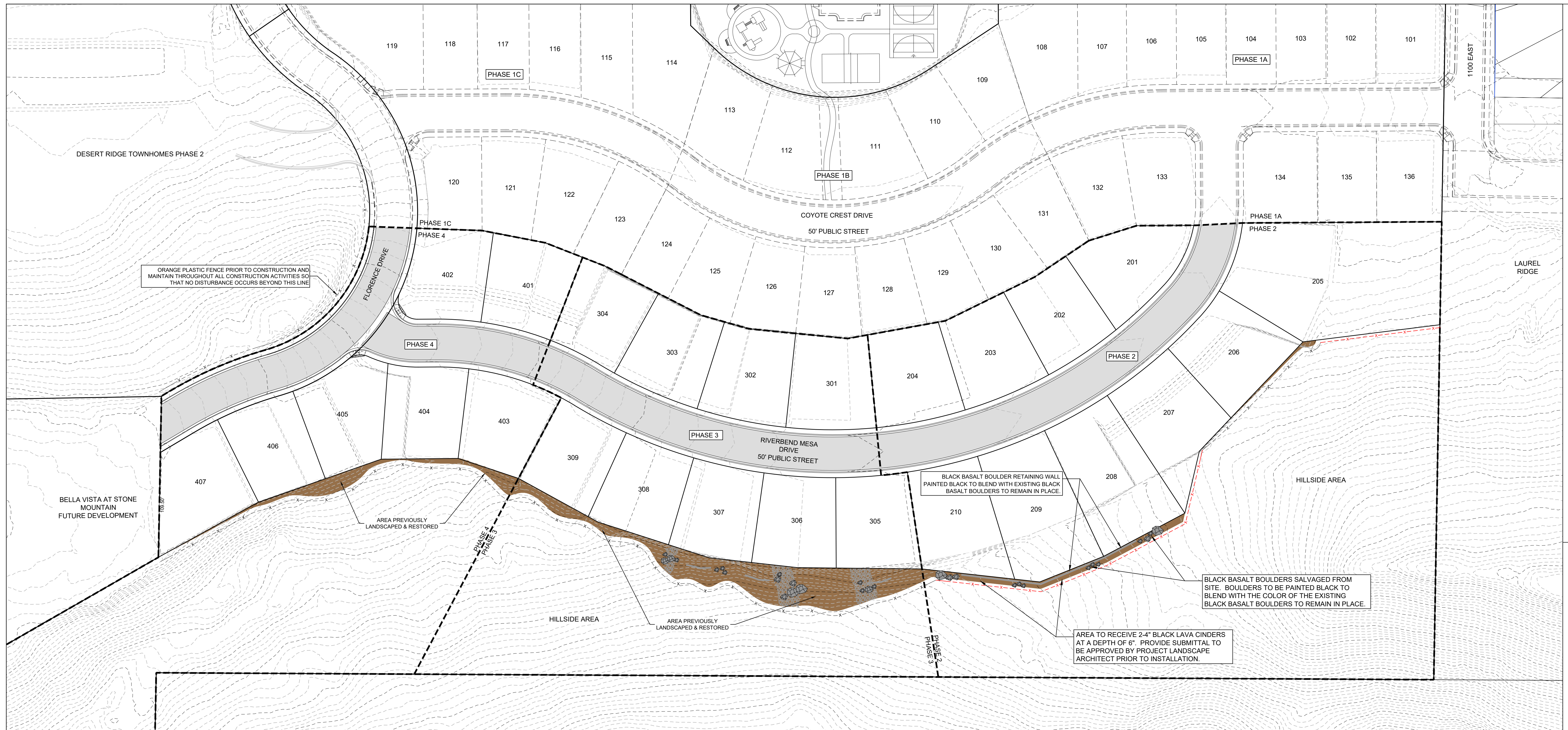
GRADATION	PERCENT PASSING
6-inch	100
3-inch	70 – 100
No. 200 sieve	5 – 20
PLASTICITY	LIMIT
Liquid Limit	30 or less
Plasticity Index	10 or less
COMPACTION	SPECIFICATION
Maximum lift thickness	8-inch (loose)
Minimum compaction	95% ASTM D-1557
Compacted Moisture Content	within 2% of optimum
- All structural fill should be evenly spread on a horizontal plane in eight-inch loose lifts. Each eight-inch lift of structural fill material placed at the site should be tested for compliance with the required relative compaction and moisture content prior to proceeding with additional lifts. The type, length, location, and placement of geogrid should also be observed.
- Geogrid reinforcement should be placed as shown on the detail to the right. Geogrid should be placed with the strong direction perpendicular to the face of the wall. Geogrid should be placed flat and level, with a minimum 1-foot overlap between sections of grid. Geogrid should consist of Mirafi Miragrid 5XT, 7XT and 10XT, or equivalent. Filter fabric should be Mirafi 140N or equivalent.
- In areas where strongly cemented or bedrock conditions are encountered which limit the length of the geogrid, particularly for the lowest layers of grid, the geotechnical engineer should be notified to allow us to observe the conditions and allowable lengths.
- Facing rock used for the project should be approved prior to its importation to the site. Facing rock should consist of hard, angular, and durable rock that consists of intact blocks without open fractures, foliation, or other planes of weakness. It should have a maximum loss of 10 percent at the end of a 5-cycle sodium soundness test (AASHTO T104). Hard basalt boulders found in the area are generally suitable for use as facing rock. Red sandstone boulders should be tested and approved prior to its use as facing rock as suitable and unsuitable rock is difficult to distinguish.
- The construction should be observed once per week by the geotechnical engineer to confirm design and construction details are being implemented as specified.
 - The rockery face should be carefully placed to satisfy the following criteria:
 - Base rock should have a minimum dimension of 3 feet, and other facing rock should have a minimum dimension of 2 feet.
 - Base rocks are larger than upper rocks.
 - Rock should be placed with the long dimension into the fill.
 - Each rock is in contact with at least two rocks below it.
 - The first contact point between an upper rock and a lower rock is located within 6 inches of the face of the rock.
 - There are no "columns" of rocks, i.e., no continuous vertical seams exist.
 - There are no continuous horizontal planes in the rockery.
 - Rocks are inclined back into the slope at a 1 horizontal to 5 vertical grade.
 - Rocks are free of obvious signs of distress, including significant weathering, fracturing, or disintegration.
 - All voids greater than 150 mm (6 in) are chinked.
 - Chink rocks, where present, cannot be removed by hand.
 - There are no loose cap rocks or rocks that can otherwise be moved by hand.
 - There is no soil spalling or piping through the voids in the facing rock.

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100



DESERT RIDGE ESTATES
RETAINING WALL DETAILS
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.0
DRAWN BY:
DATE: 02/20/2026
SCALE OF SHEET
HORIZ: NA
VERT: NA
SHEET



1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435-986-0100



DESERT RIDGE ESTATES
LANDSCAPE PLAN
LOCATED IN: WASHINGTON, UT

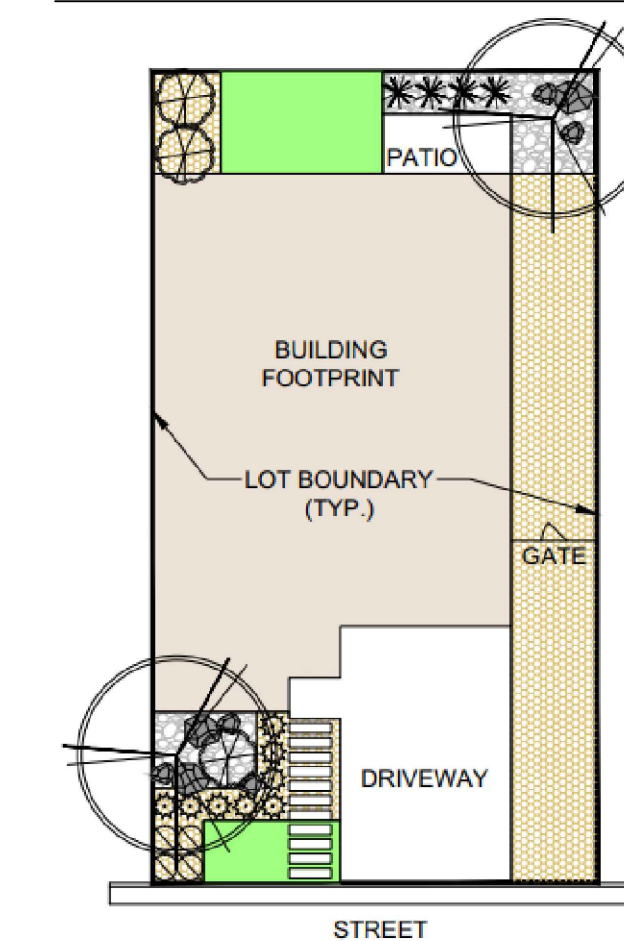
PLANT AND LANDSCAPE MATERIALS LIST

THE FOLLOWING IS A LIST OF PLANTS AND LANDSCAPE MATERIALS TO USE FOR THE DESERT RIDGE ESTATES SUBDIVISION. THIS LIST IS TO PROVIDE OPTIONS FOR WHAT PLANT AND ROCK MATERIAL CAN BE USED FOR THE DIFFERENT PLANT AND ROCK TYPES/SIZES THAT ARE CALLED OUT ON THE ADJACENT TYPICAL LANDSCAPE PLANS. PLANT AND LANDSCAPE MATERIAL NOT SHOWN ON THIS LIST MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CHILOPSIS LINEARIS 'BURGUNDY LACE'	BURGUNDY LACE DESERT WILLOW	24" BOX
	OLEA EUROPAEA 'WILSONII'	WILSON OLIVE	24" BOX
	PISTACIA CHINENSIS 'RED PUSH'	RED PUSH CHINESE PISTACHE	24" BOX
	PROSOPIS GLANDULOSA 'MAVERICK'	MAVERICK MESQUITE	24" BOX
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX
	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	6-8' TALL
LARGE SHRUBS			
	CAESALPINIA GILLIESII	YELLOW BIRD OF PARADISE	15 GAL
	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	15 GAL
	LEUCOPHYLLUM CANDIDUM 'SILVER CLOUD'	SILVER CLOUD TEXAS SAGE	5 GAL
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN CLOUD TEXAS SAGE	5 GAL
	LEUCOPHYLLUM FRUTESCENS 'HEAVENLY CLOUD'	HEAVENLY CLOUD TEXAS SAGE	5 GAL
	NERIUM OLEANDER 'PETITE RED'	DWARF RED OLEANDER	5 GAL
	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE OLIVE	5 GAL
SMALL SHRUBS			
	CHRYSACTINIA MEXICANA	DESERT DAISY	1 GAL
	HYMENOXYLS ACAULIS	ANGELITA DAISY	1 GAL
	MALEPHORA LUTEA	ROCKY POINT ICE PLANT	1 GAL
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL
	TEUCRIUM CHAMAEDRYD	GERMANDER	1 GAL
LARGE ACCENT/SUCCULENTS			
	AGAVE SCABRA	ROUGH-LEAVED AGAVE	5 GAL
	DASYLIRION WHEELERI	GRAY DESERT SPOON	5 GAL
	FOUQUIERIA SPLENDENS	OCOTILLO	6' TALL
	HESPERALOE FUNIFERA	GIANT HESPERALOE	5 GAL
	YUCCA BACCATA	BANANA YUCCA	5 GAL
	YUCCA ROSTRATA	BEAKED YUCCA	5 GAL

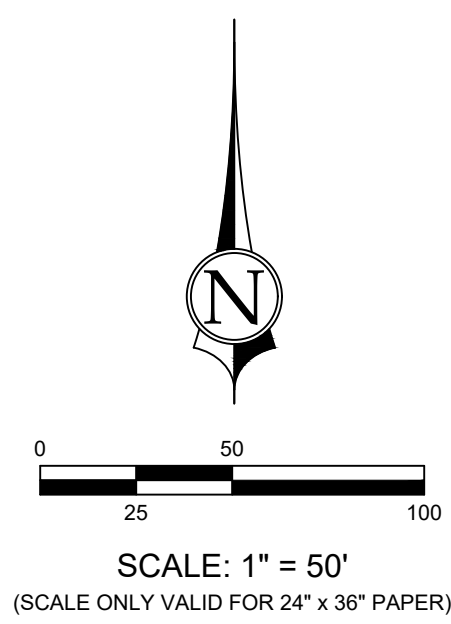
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
SMALL ACCENT/SUCCULENTS			
	AGAVE PARRYI VARIETY PARRYI	PARRY'S AGAVE	5 GAL
	ECHINOCEREUS GRUSONII	GOLDEN BARREL CACTUS	5 GAL
	EUPHORBIA RIGIDA	GOPHER PLANT	5 GAL
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL
GRASSES			
	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMMA	5 GAL
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	5 GAL
	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	5 GAL
BOULDERS			
	SMALL: 2-3" DIAMETER, BLACK BASALT		
	SMALL: 2-3" DIAMETER, TAN LIMESTONE		
	LARGE: 4-5" DIAMETER, BLACK BASALT		
	LARGE: 4-5" DIAMETER, TAN LIMESTONE		
ROCK MULCH			
	1/2" BLACK BASALT, 2" DEPTH		
	1/2" TAN LIMESTONE, 2" DEPTH		
	1" BLACK LAVA CINDERS		
	1" KANOSH VALLEY RIVER ROCK		
	2-4" BLACK LAVA CINDERS, 6" DEPTH		
	2-4" KANOSH VALLEY RIVER ROCK		
	2-4" TAN LIMESTONE, 6" DEPTH		
	HYDROSEED AREA		
	DISTURBANCE AREA		

TYPICAL LOT LANDSCAPE PLAN



NOTES

- LOT SIZES IN THE DESERT RIDGE ESTATES ARE NOT THE SAME. IT IS INTENDED THAT THE LANDSCAPE PLANS FOR EACH LOT IN THE SUBDIVISION FOLLOW THE THEME OF THE TYPICAL LANDSCAPE PLAN SHOWN.
- ALL TURF OR LAWN SHOWN IS ARTIFICIAL AND NO IRRIGABLE TURF OR LAWN SHALL BE INSTALLED.
- PLANT AND LANDSCAPE MATERIAL NOT SHOWN ON THE ADJACENT LIST MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



DESERT RIDGE ESTATES
LANDSCAPE PLAN

PROJECT NO: 21221.0
DRAWN BY: BLW
DATE: 02/20/2026
SCALE OF SHEET
HORZ: 1" = 50'
VERT: NA
SHEET

L1

DESERT RIDGE ESTATES PHASES 1 & 2

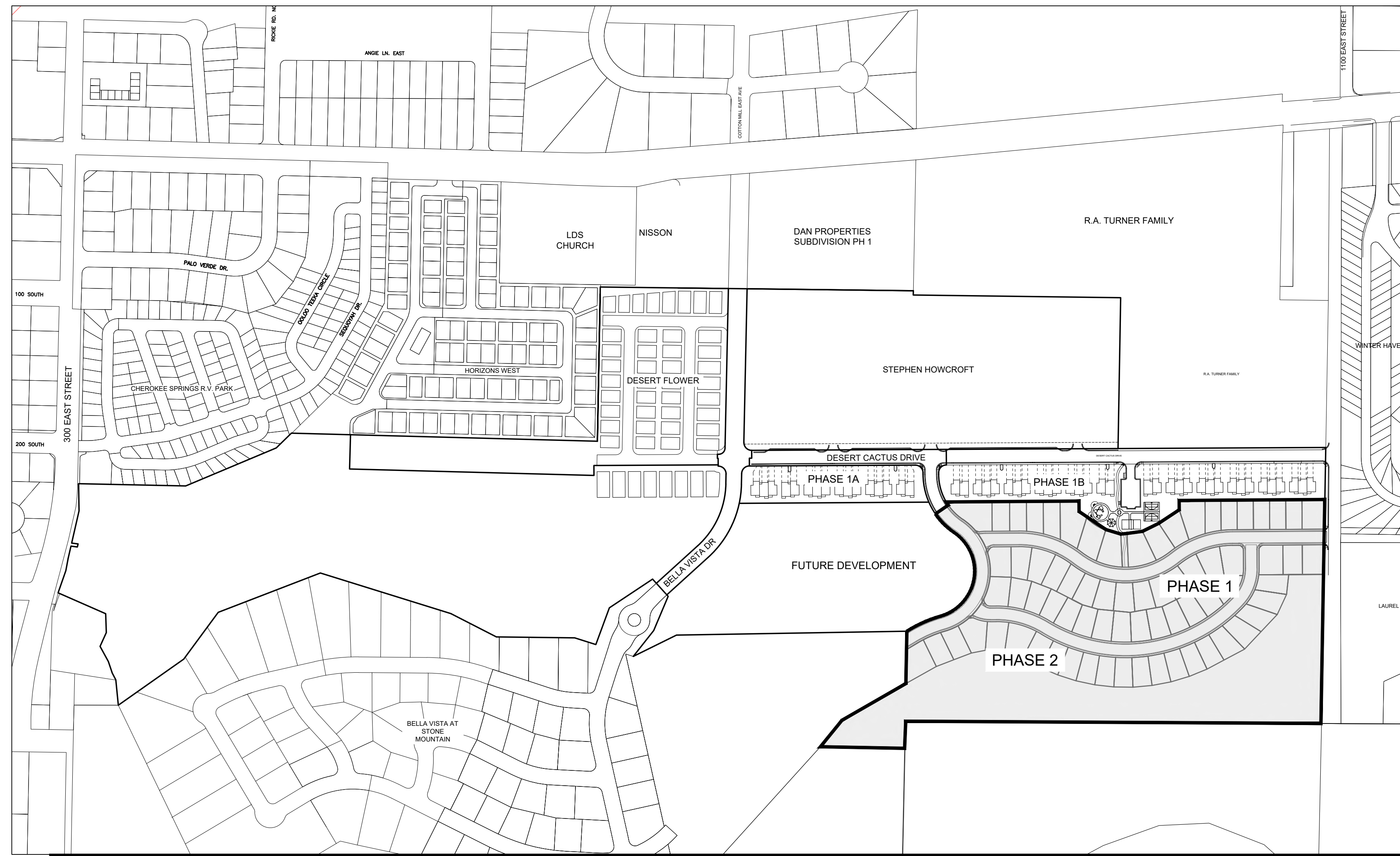
PRELIMINARY PLAT

Approved Plan

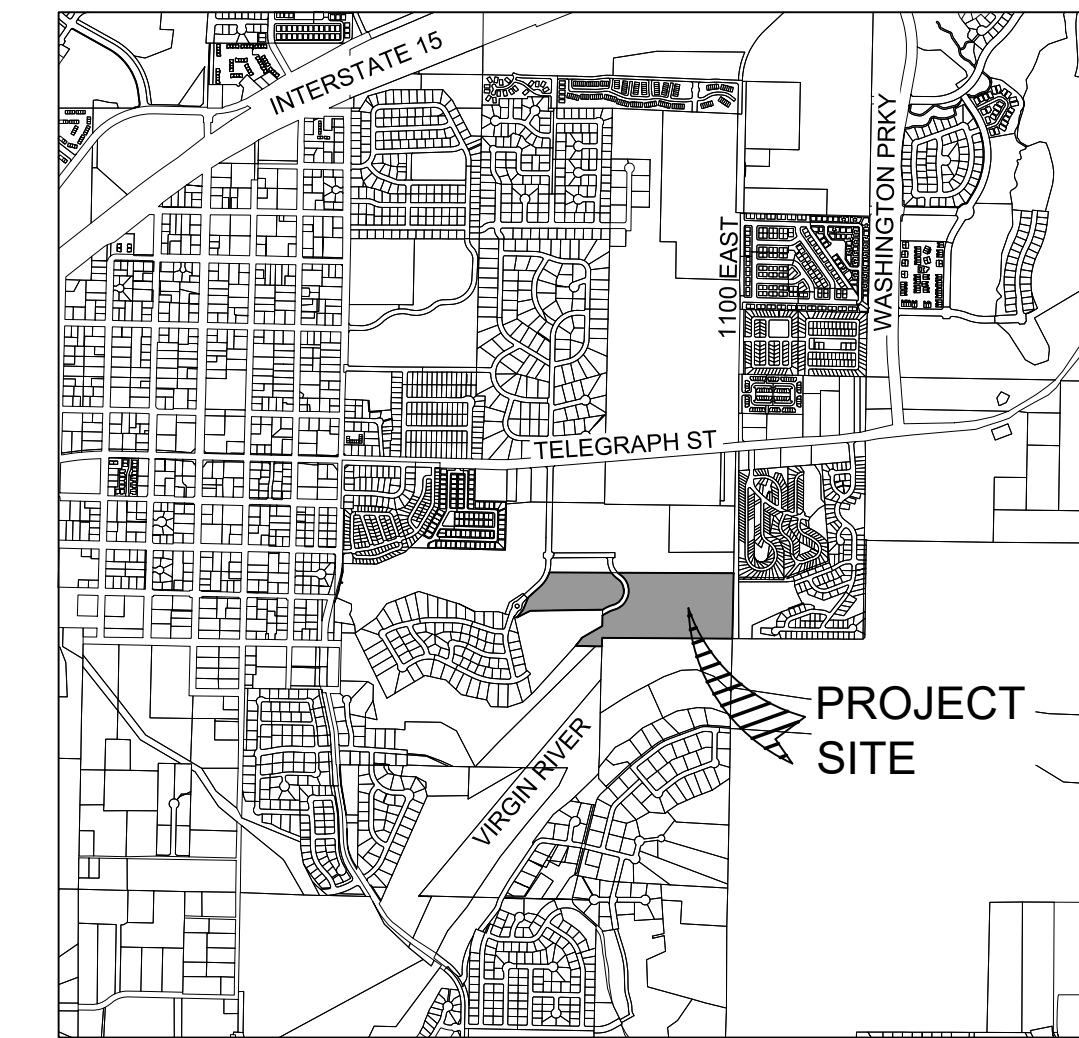
LOCATED IN WASHINGTON, UTAH

ADDRESS: BELLA VISTA & DESERT CACTUS DRIVE
SECTION 14, TOWNSHIP 42 SOUTH, RANGE 15 WEST

SHEET NO.	SHEET DESCRIPTION
C1	COVER SHEET
C2	PRELIMINARY SITE & UTILITY PLAN
C3	FIRE PROTECTION PLAN
C4	SLOPE ANALYSIS
C5	GRADING PLAN - ESTATES PHASE 1 & 2
C6	CROSS SECTIONS
C7	RETAINING WALL DETAILS
C8	ELEVATION RENDERINGS
C9	DISTURBANCE & MITIGATION EXHIBIT
L1	SINGLE FAMILY LANDSCAPE PLAN



PROJECT MAP
(N.T.S.)



CivilScience
Engineers | Surveyors | Solutions
1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

CONTACT
SUNWOOD HOMES
1791 NUTEAM CIRCLE
WASHINGTON, UT 84780
james@mysunwoodhomes.com



Know what's below.
Call before you dig.

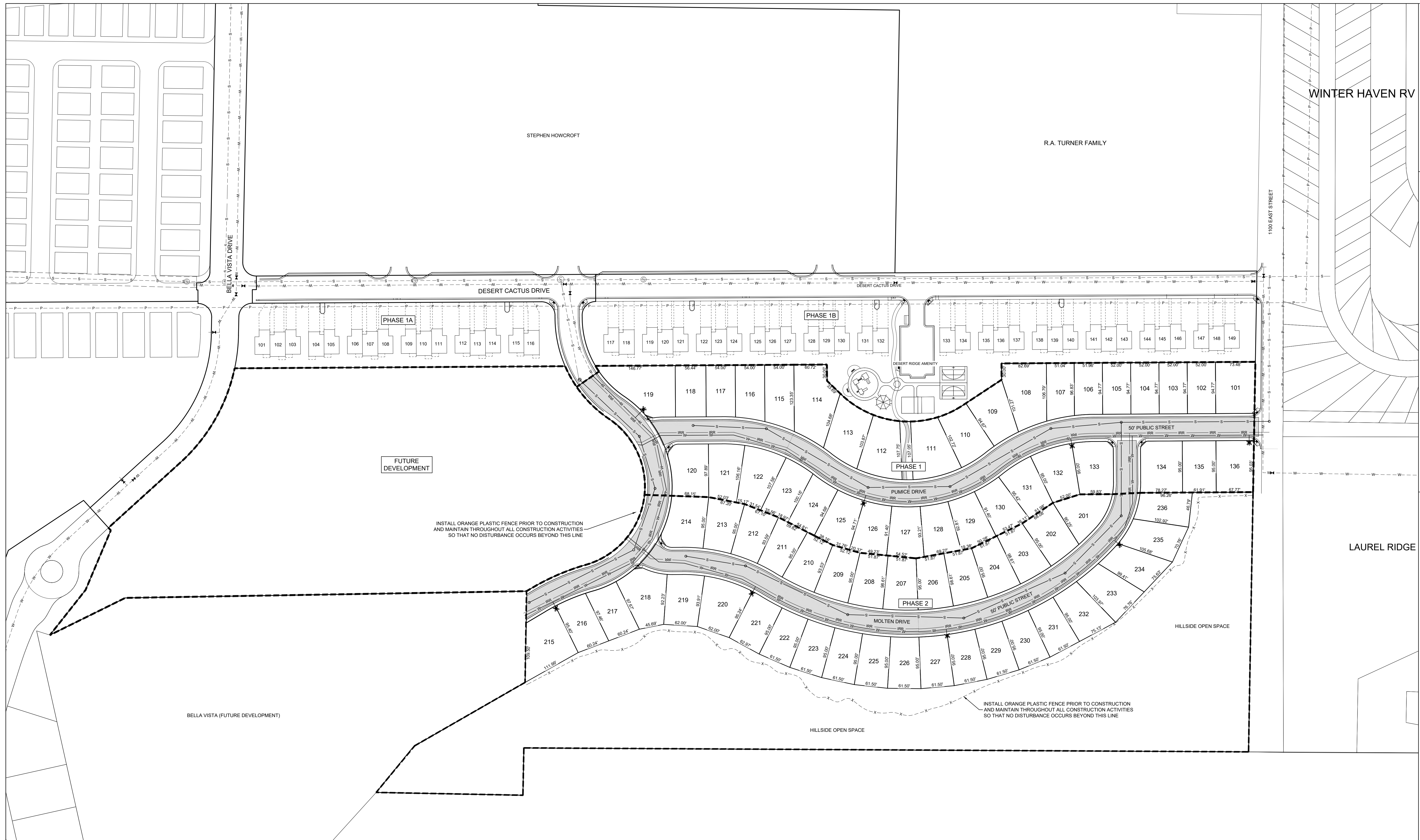
1453 S. DIXIE DRIVE, SUITE 150
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435.986.0100



DESERT RIDGE ESTATES
PRELIMINARY PLAT
LOCATED IN: WASHINGTON, UT

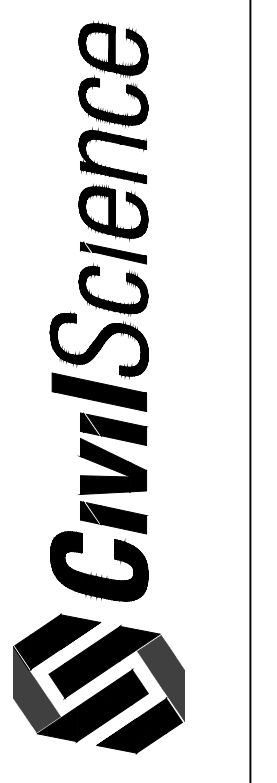
PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 08/29/2023
SCALE OF SHEET
HORIZ: NA
VERT: NA
SHEET

C1



NO.	REVISIONS PER HILLSIDE MEETING 3/2023	BLW	4/27/2023	DATE
1	REVISIONS PER HILLSIDE MEETING 3/2023	BLW	4/27/2023	DATE

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100



DESERT RIDGE ESTATES
PRELIMINARY PLAT - SITE & UTILITY PLAN
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 8/29/2023
SCALE OF SHEET
HORIZ: 1" = 80'
VERT: NA

SHEET
C2

**DESERT RIDGE
PRELIMINARY PLAT
SITE & UTILITY PLAN**

HILLSIDE REVIEW COMMITTEE NOTES

1. THE ROCK WALLS BEHIND LOTS 219-233 SHALL BE BUILT TO MATCH THE DEVELOPMENT TO THE WEST AND BE PAINTED TO BLEND INTO THE HILLSIDE. ALL DISTURBED AREAS IN THIS LOCATION SHALL BE MITIGATED AND THERE SHALL BE NO DISTURBANCE FENCES INSTALLED BEYOND THE SLOPE.
2. THERE SHOULD BE APPROPRIATE BONDS THAT ARE PUT INTO PLACE TO FOLLOW THE LANDSCAPING PLAN AND MAKE SURE THE MITIGATION EFFORTS (LANDSCAPING) BECOME ESTABLISHED BLENDING INTO THE HILLSIDE.
3. CRITICAL ELEMENTS OF THE PROJECT SHALL HAVE A FULL TIME INSPECTOR ON THE PROJECT TO ENSURE COMPLIANCE WITH THE REPORTS AND ALSO ISSUE A COMPLIANCE CERTIFICATE AT END OF PROJECT.

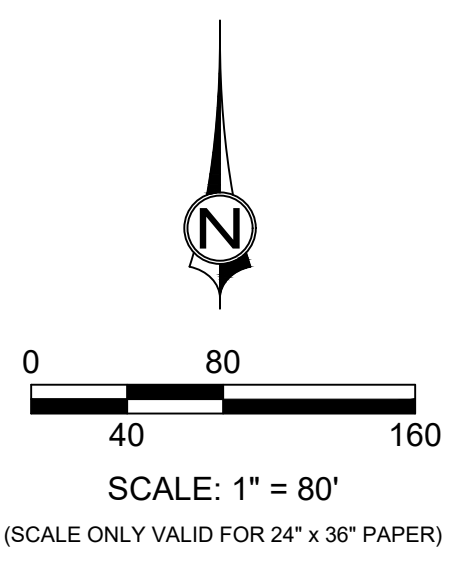
LID NOTE: ALL STORM WATER STORAGE & LID WILL BE PROVIDED IN THE EXISTING DETENTION BASIN CONSTRUCTED WITH DESERT FLOWER PHASE 1.

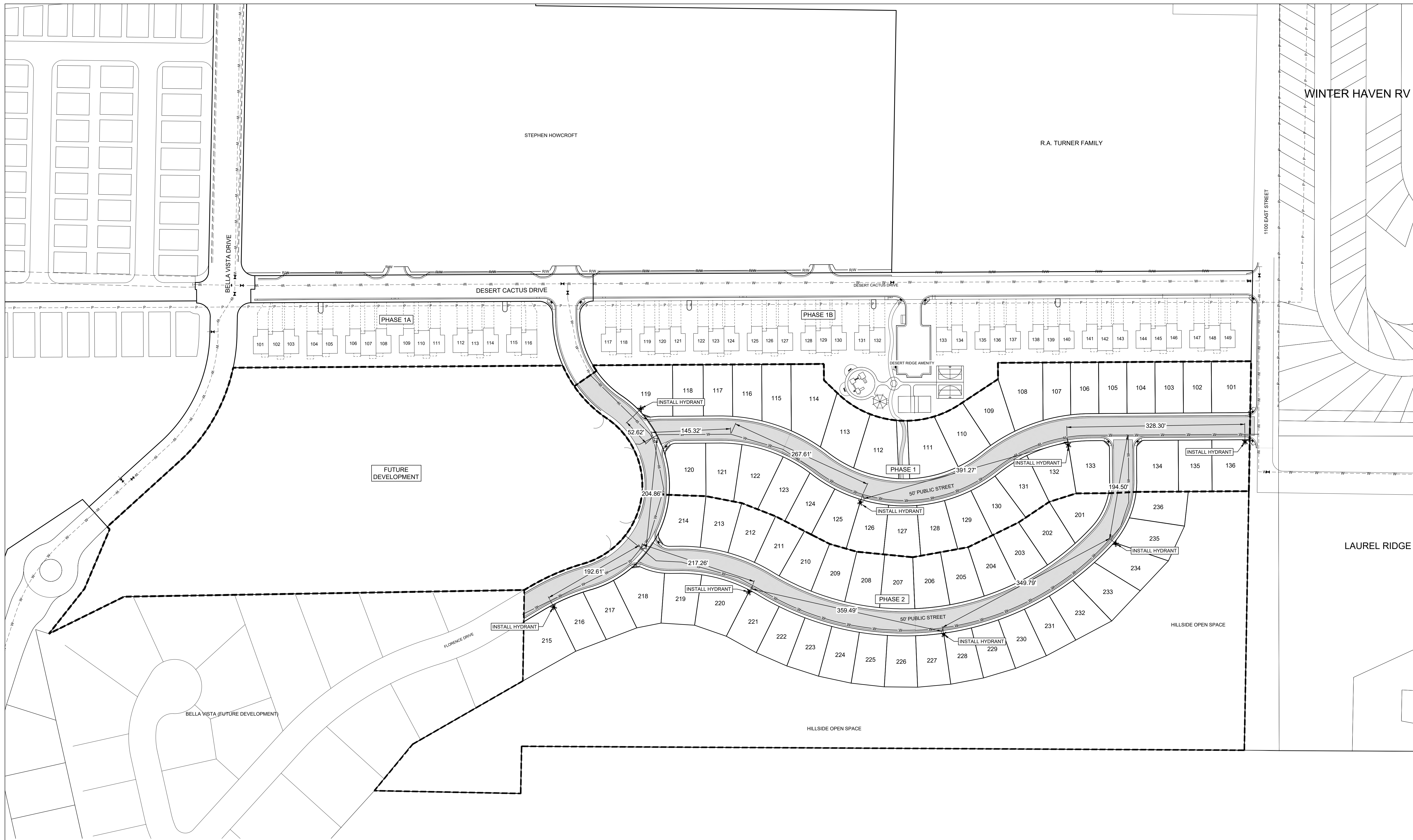
LEGEND

--- --	PHASE LINE
— — — —	PROPOSED LOT LINE
— — — —	EXISTING LOT LINE
— — — —	PROPOSED CURB & GUTTER
— — — —	EXISTING CURB & GUTTER
- - - - - x - - - - -	INSTALL CONSTRUCTION FENCE

ESTATES PHASE 1
TOTAL LOTS: 36
AREA: 6.94 ACRES
DENSITY: 5.19 DU/AC

ESTATES PHASE 2
TOTAL LOTS: 36
AREA: 13.49 ACRES
DENSITY: 2.67 DU/AC



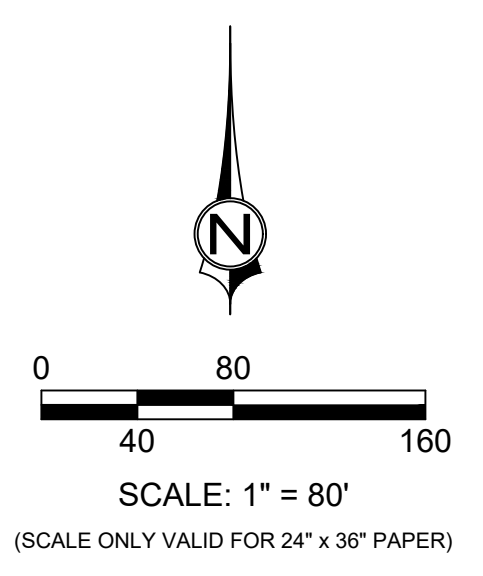


LEGEND

	FIRE HYDRANT
	WATER GATE VALVE
	EXISTING WATER GATE VALVE
	3/4" WATER LATERAL & SERVICE WITH BOX
	EXISTING WATER LINE
	C-900 CLASS 150 WATER LINE
	8" UNLESS SIZE NOTED OTHERWISE
	FIRE LANE NO PARKING SIGN (SIGN PER IFC, APPENDIX D, SECTION D103.6)

FIRE DEPARTMENT NOTES:

1. HYDRANTS MUST BE INSPECTED, TESTED AND APPROVED PRIOR TO COMMENCING COMBUSTIBLE CONSTRUCTION. TESTING IS TO BE COMPLETED BY THE INSTALLING CONTRACTOR AND VERIFIED BY THE FIRE MARSHAL. TEST DATA SHALL INCLUDE A STATIC PRESSURE VALUE, A RESIDUAL PRESSURE VALUE AND A FLOW (PITOT) PRESSURE.
2. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLIES FOR FIRE PROTECTION IS/ARE REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED.
3. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.



**DESERT RIDGE
FIRE SAFETY PLAN**

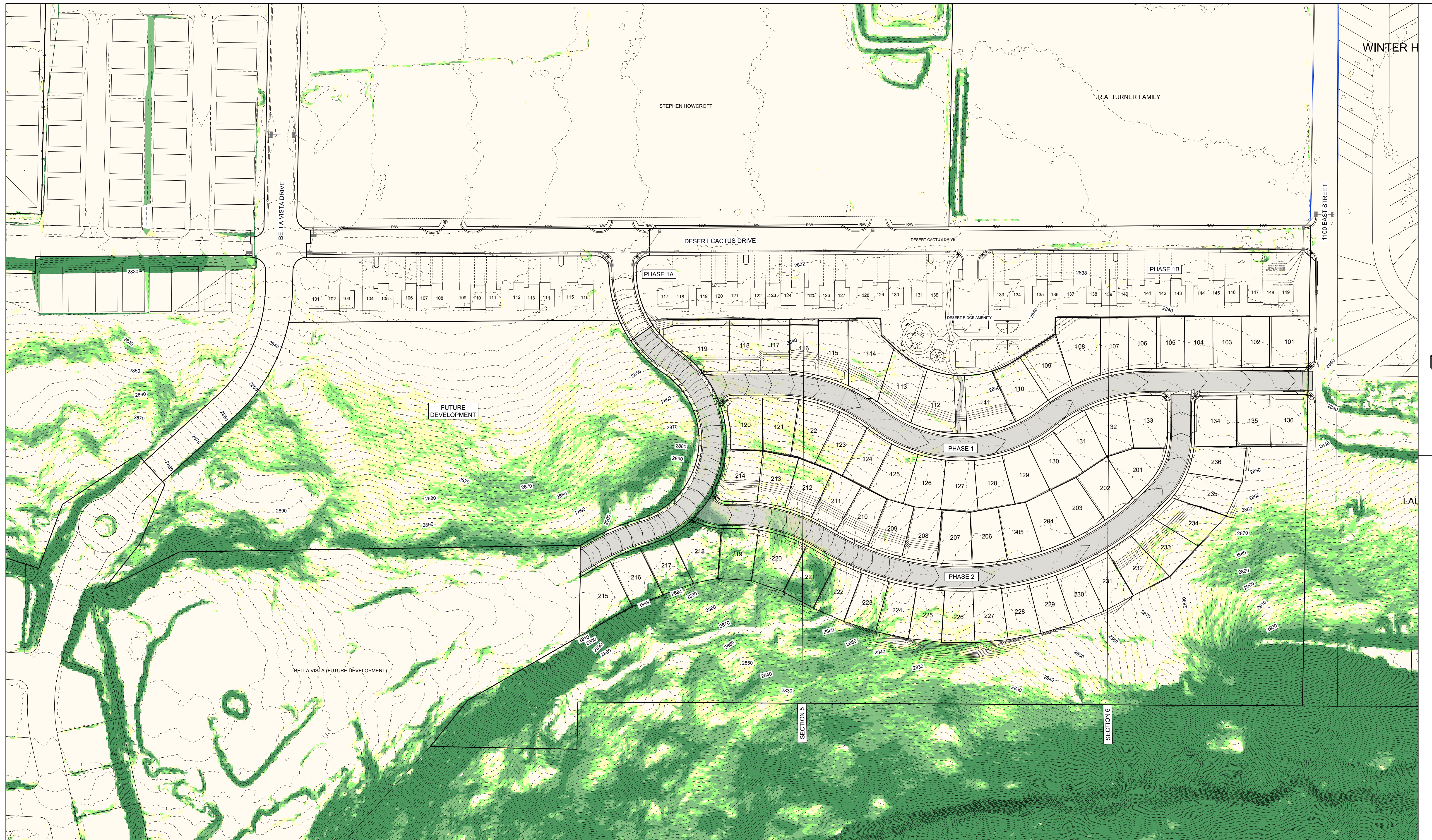
NO.	DESCRIPTION	BY	DATE

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.966.0100



**DESERT RIDGE
FIRE SAFETY PLAN**
LOCATED IN: WASHINGTON, UT

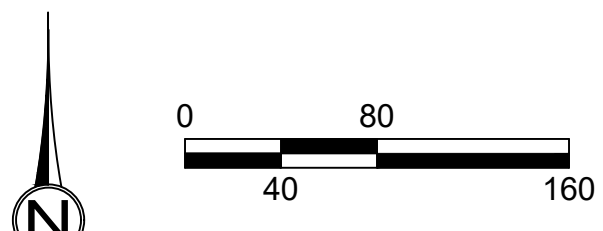
PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 8/29/2023
SCALE OF SHEET
HORIZ: 1" = 80'
VERT: NA
SHEET



LEGEND

- EXISTING GROUND CONTOUR
- FINISH GRADE CONTOUR
- PROPOSED LOT LINE
- EXISTING LOT LINE
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- DRAINAGE FLOW DIRECTION
- ▨ GRADING DISTURBANCE AREA

Slopes Table		
Color	Min Slope	Max Slope
	0.00%	20.00%
	20.01%	25.00%
	25.01%	30.00%
	30.01%	40.00%
	40.01%	GREATER



SCALE: 1" = 80'
(SCALE ONLY VALID FOR 24" x 36" PAPER)

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100



DESERT RIDGE
SLOPE ANALYSIS MAP
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 8/29/2023
SCALE OF SHEET
HORIZ: 1" = 80'
VERT: NA

SHEET

C4



NO.	REVISIONS PER HILLSIDE MEETING 3/20/23	BLW	DATE
1			4/27/2023

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

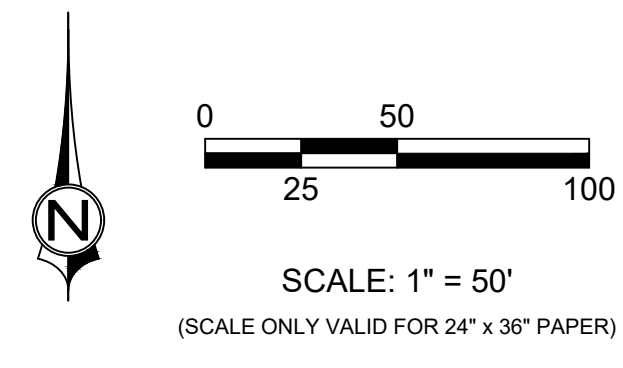
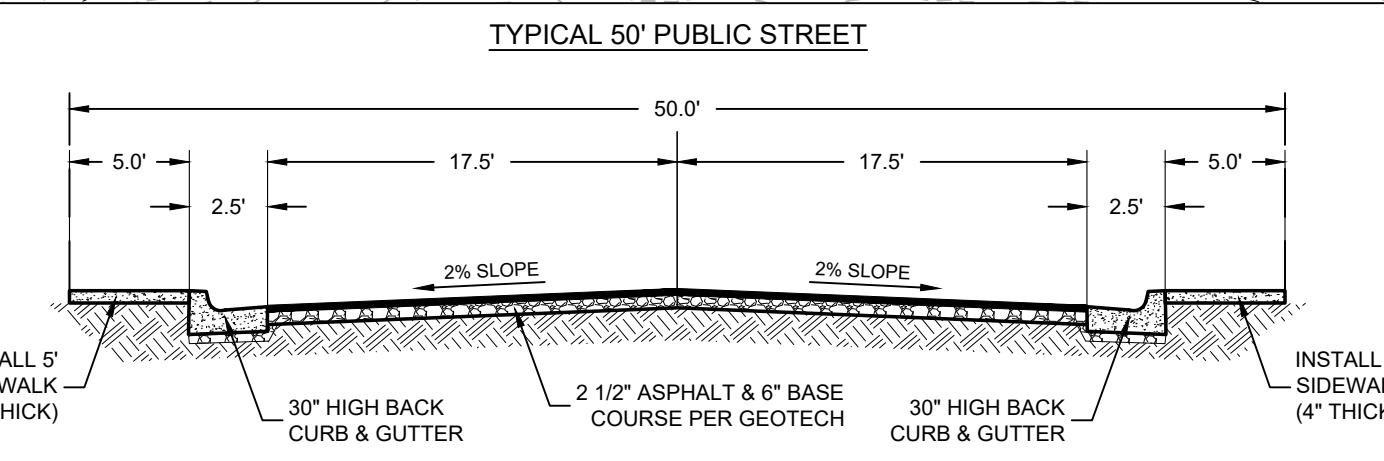


DESERT RIDGE ESTATES ~ PHASE 1 & 2
GRADING & DRAINAGE PLAN
LOCATED IN: WASHINGTON, UT

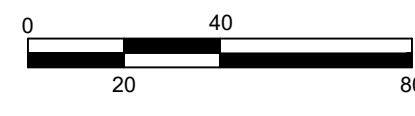
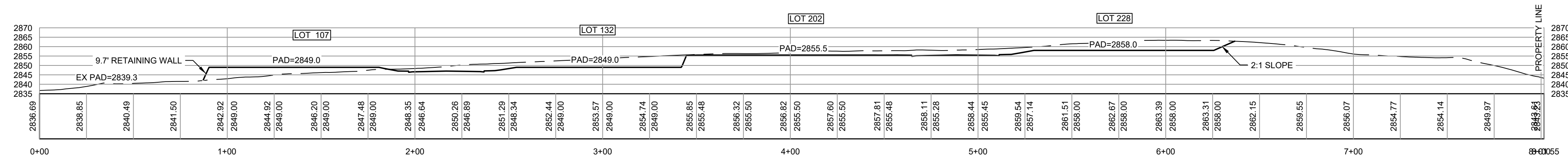
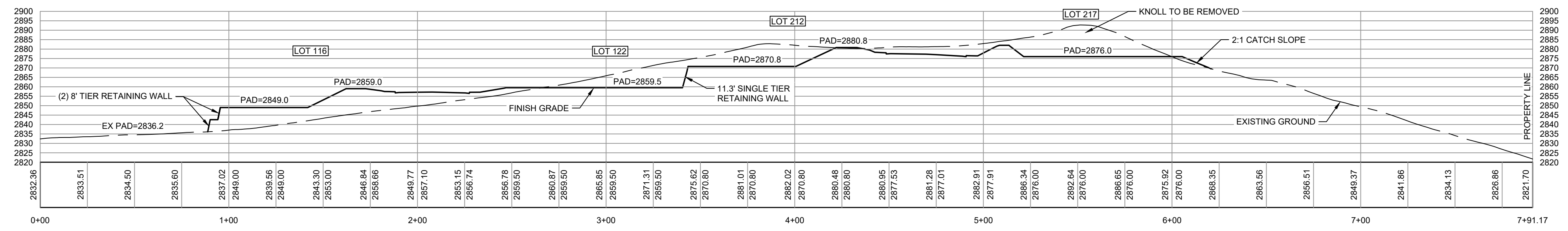
PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 8/29/2023
SCALE OF SHEET
HORIZ: 1" = 50'
VERT: NA
SHEET

C5

- LEGEND**
- EXISTING GROUND CONTOUR
 - FINISH GRADE CONTOUR
 - PROPOSED LOT LINE
 - EXISTING LOT LINE
 - PROPOSED CURB & GUTTER
 - EXISTING CURB & GUTTER
 - DRAINAGE FLOW DIRECTION
 - SPOT ELEVATION

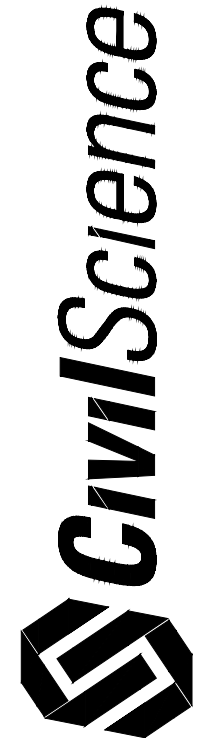


SCALE: 1" = 50'
(SCALE ONLY VALID FOR 24" x 36" PAPER)



SCALE: 1" = 40'
(SCALE ONLY VALID FOR 24" x 36" PAPER)

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

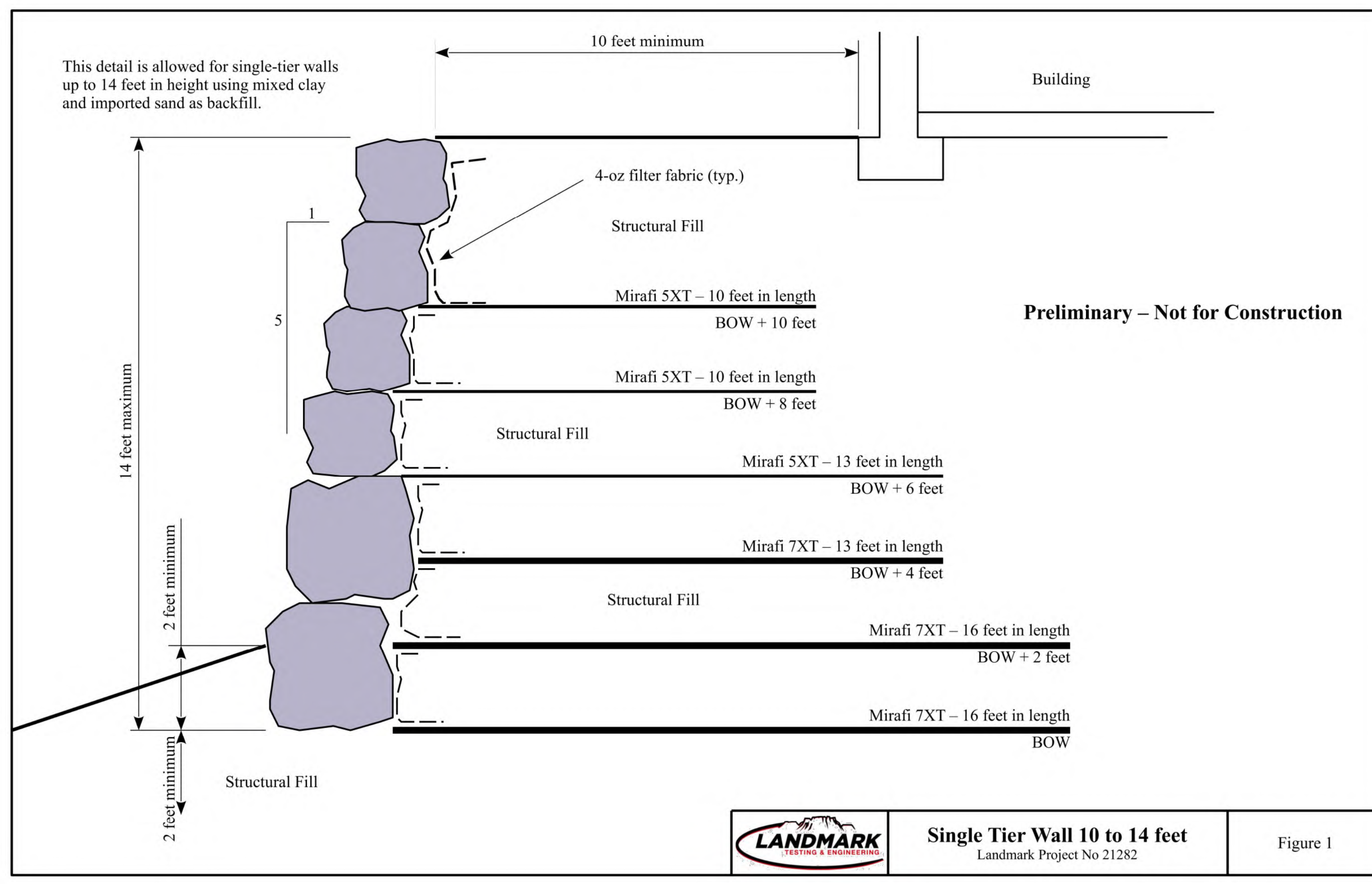
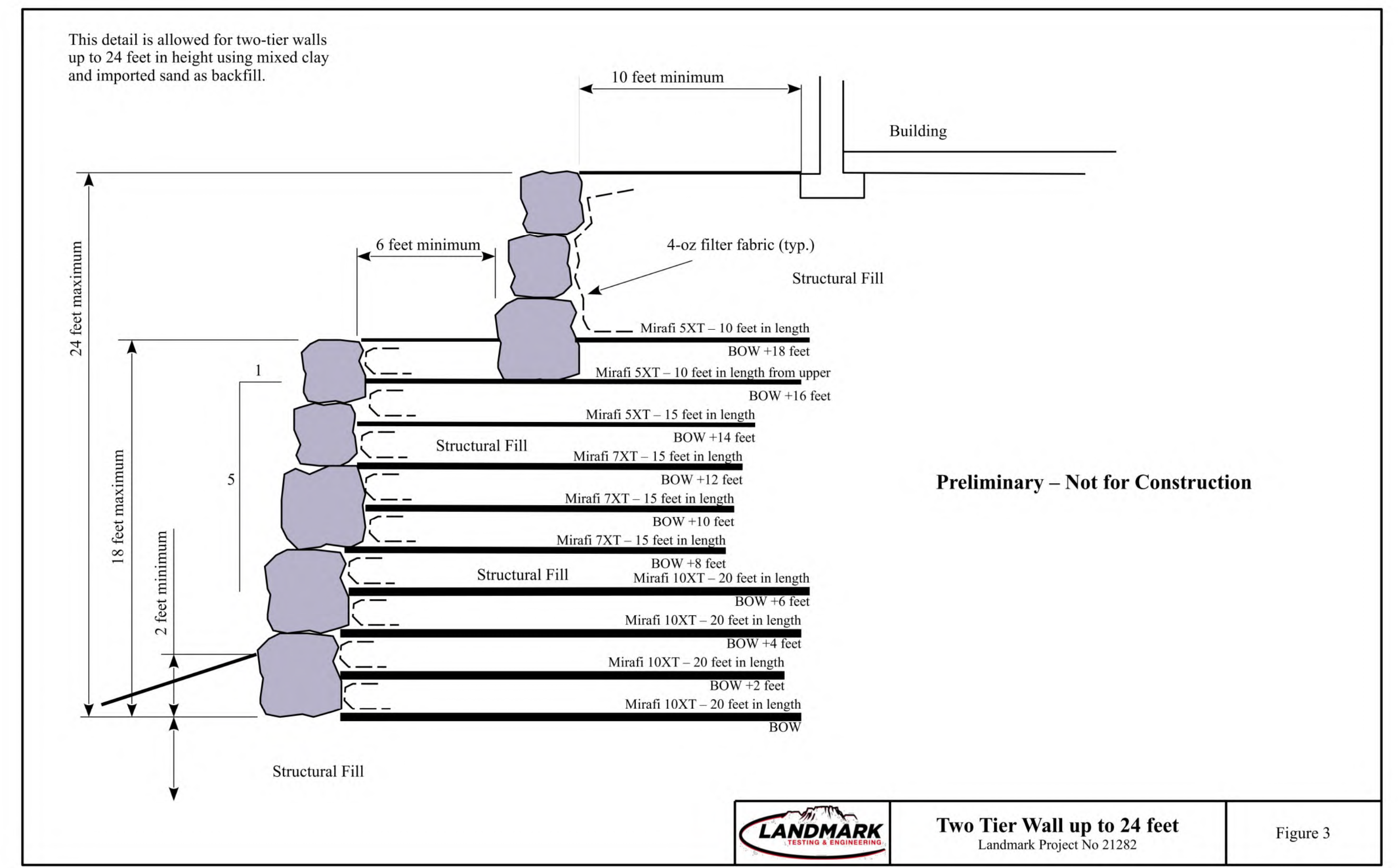
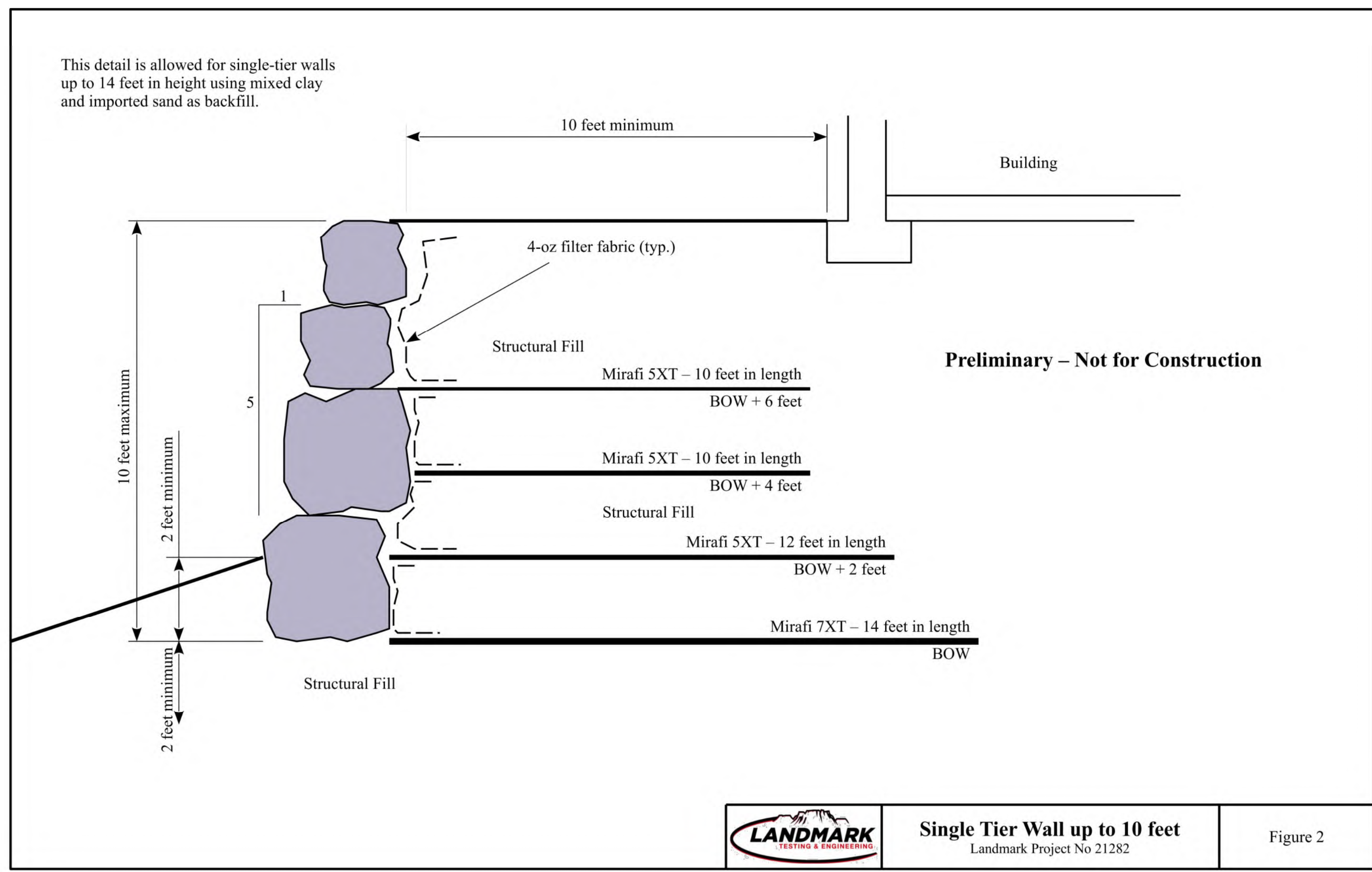


DESERT RIDGE ESTATES
CROSS SECTIONS
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 7/13/2023
SCALE OF SHEET
HORIZ: 1" = 40'
VERT: 1" = 40'

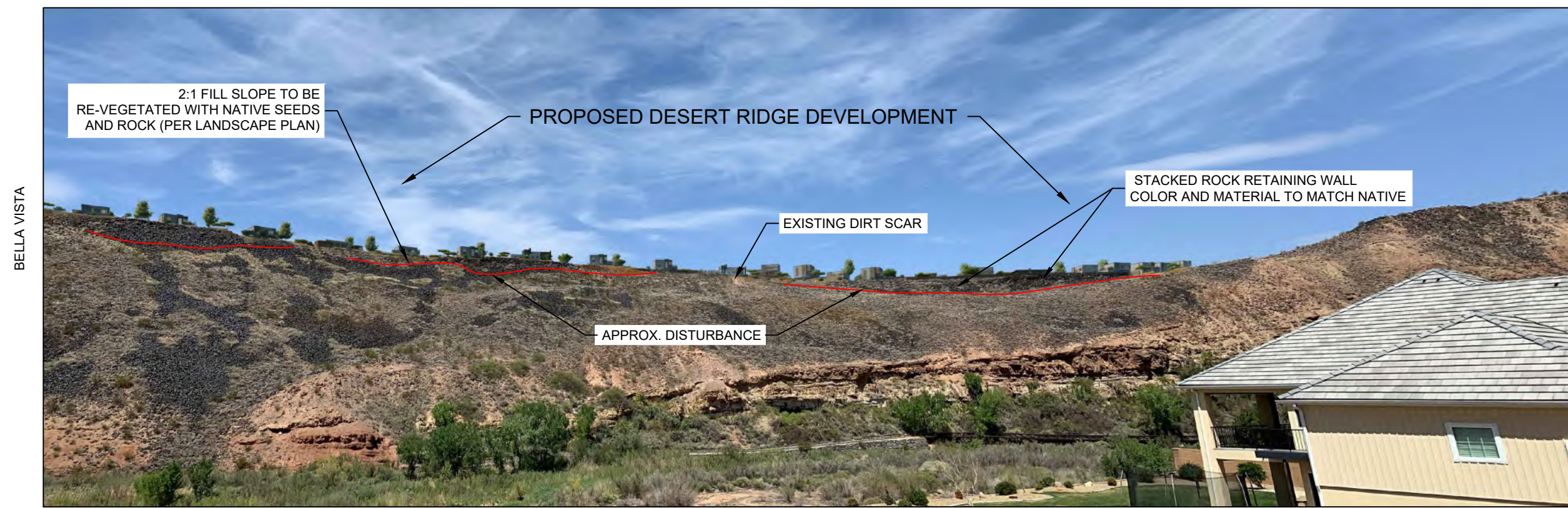
SHEET

C6



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- The onsite medium plastic clays when mixed with imported silty sands form the Brio development at the designed ratio to produce a non-expansive composite, may be used as structural fill in the reinforced zone.
- Clean, imported fill, used as wall backfill in the reinforced zone, should be granular and consist of USCS classifications GC (clayey gravel), GM (silty gravel), or GW (well-graded gravel). Granular fill should be well-graded, non-expansive, and free of organics and all deleterious materials. Soils used for granular, imported, structural fill should meet the following specifications:

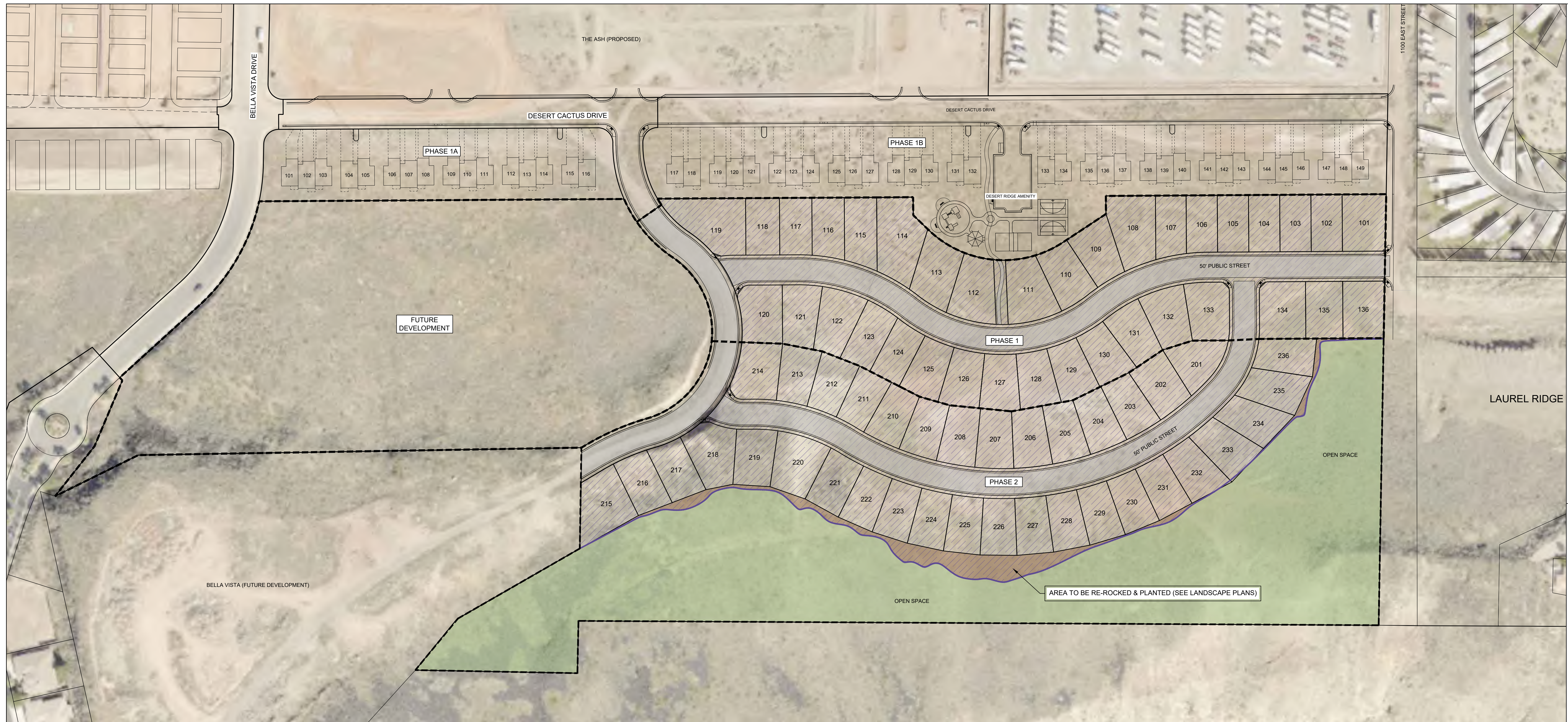
GRADATION	PERCENT PASSING
6- inch	100
3- inch	70 - 100
No. 200 sieve	5 - 20
PLASTICITY	LIMIT
Liquid Limit	30 or less
Plasticity Index	10 or less
COMPACTION	SPECIFICATION
Maximum lift thickness	8- inch (loose)
Minimum compaction	95% ASTM D-1557
Compacted Moisture Content	within 2% of optimum
- All structural fill should be evenly spread on a horizontal plane in eight-inch loose lifts. Each eight-inch lift of structural fill material placed at the site should be tested for compliance with the required relative compaction and moisture content prior to proceeding with additional lifts. The type, length, location, and placement of geogrid should also be observed.
- Geogrid reinforcement should be placed as shown on the detail to the right. Geogrid should be placed with the strong direction perpendicular to the face of the wall. Geogrid should be placed flat and level, with a minimum 1-foot overlap between sections of grid.
- Geogrid should consist of Mirafi Miragrid 5XT, 7XT and 10XT, or equivalent. Filter fabric should be Mirafi 140N or equivalent.
- In areas where strongly cemented or bedrock conditions are encountered which limit the length of the geogrid, particularly for the lowest layers of grid, the geotechnical engineer should be notified to allow us to observe the conditions and allowable lengths.
- Facing rock used for the project should be approved prior to its importation to the site. Facing rock should consist of hard, angular, and durable rock that consists of intact blocks without open fractures, foliation, or other planes of weakness. It should have a maximum loss of 10 percent at the end of a 5-cycle sodium soundness test (AASHTO T104). Hard basalt boulders found in the area are generally suitable for use as facing rock. Red sandstone boulders should be tested and approved prior to its use as facing rock as suitable and unsuitable rock is difficult to distinguish.
- The construction should be observed once per week by the geotechnical engineer to confirm design and construction details are being implemented as specified.
- The rockery face should be carefully placed to satisfy the following criteria:
 - Base rock should have a minimum dimension of 3 feet, and other facing rock should have a minimum dimension of 2 feet.
 - Base rocks are larger than upper rocks.
 - Rock should be placed with the long dimension into the fill.
 - Each rock is in contact with at least two rocks below it.
 - The first contact point between an upper rock and a lower rock is located within 6 inches of the face of the rock.
 - There are no "columns" of rocks, i.e., no continuous vertical seams exist.
 - There are no continuous horizontal planes in the rockery.
 - Rocks are inclined back into the slope at a 1 horizontal to 5 vertical grade.
 - Rocks are free of obvious signs of distress, including significant weathering, fracturing, or disintegration.
 - All voids greater than 150 mm (6 in) are chinked.
 - Chink rocks, where present, cannot be removed by hand.
 - There are no loose cap rocks or rocks that can otherwise be moved by hand.
 - There is no soil spalling or piping through the voids in the facing rock.



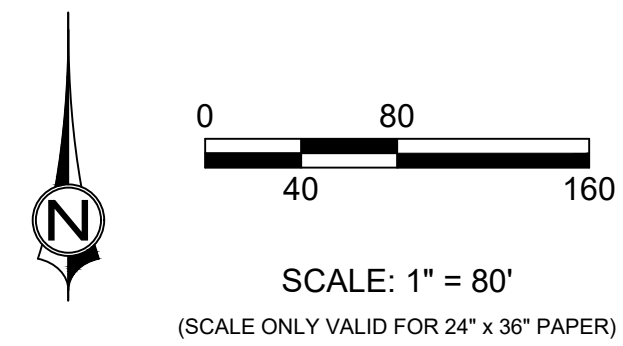
VIEW FROM INDIAN OAKS ESTATES
(LOOKING NORTH ACROSS THE RIVER)



VIEW FROM INDIAN OAKS ESTATES
(LOOKING NORTHWEST ACROSS THE RIVER)



- GRADING DISTURBANCE AREA
- OPEN SPACE AREA TO BE LANDSCAPED / RESTORED
- UNDISTURBED OPEN SPACE



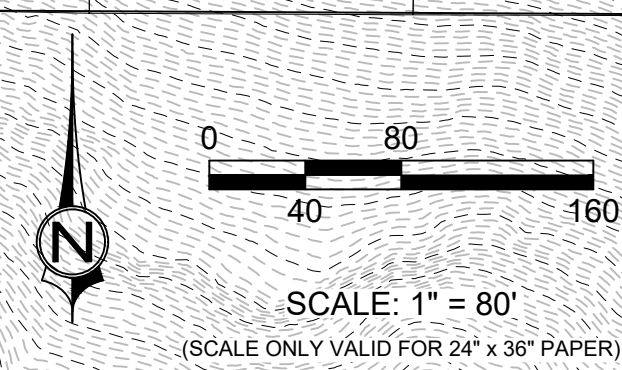
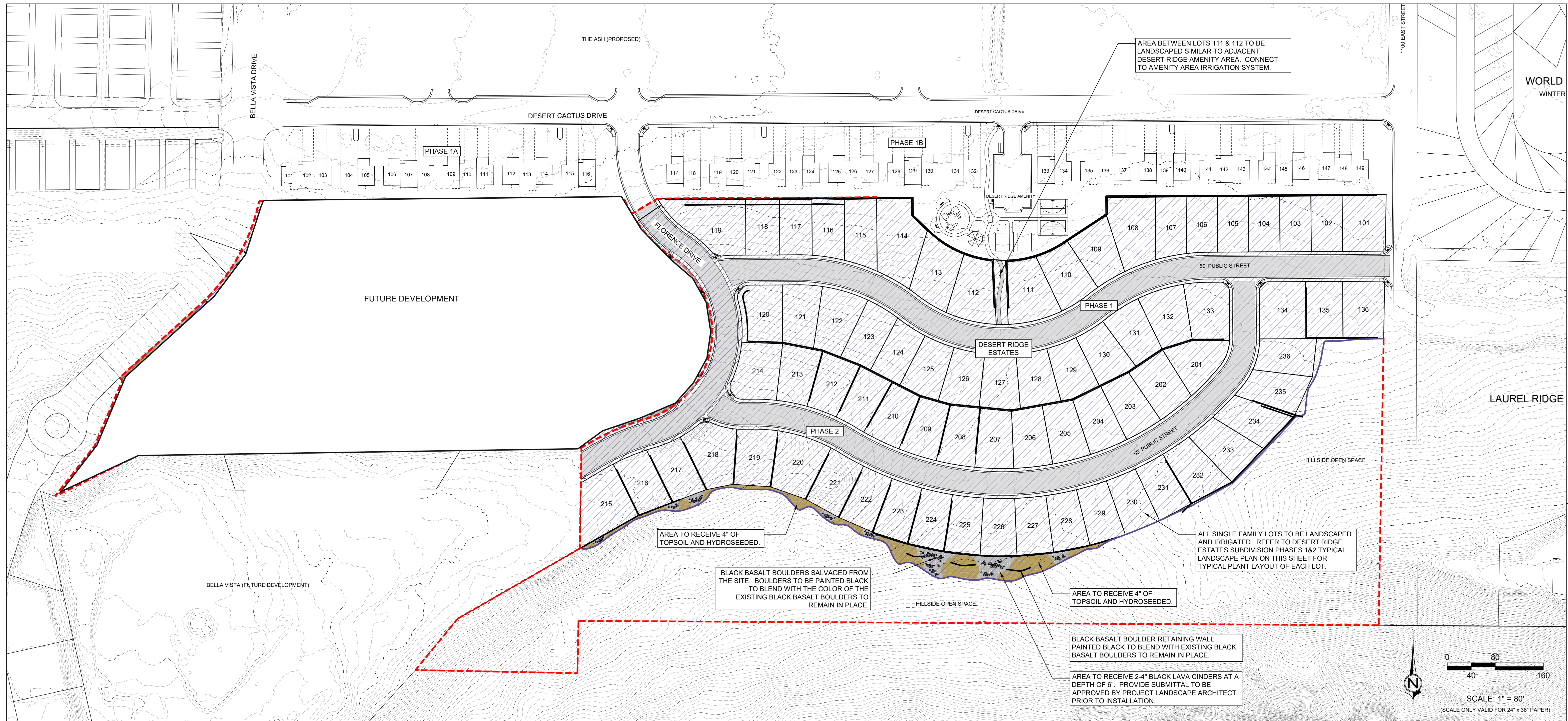
**DESERT RIDGE
DISTURBANCE & MITIGATION EXHIBIT**

1453 S. DIXIE DRIVE, SUITE 150
ST. GEORGE, UT 84770
435.986.0100

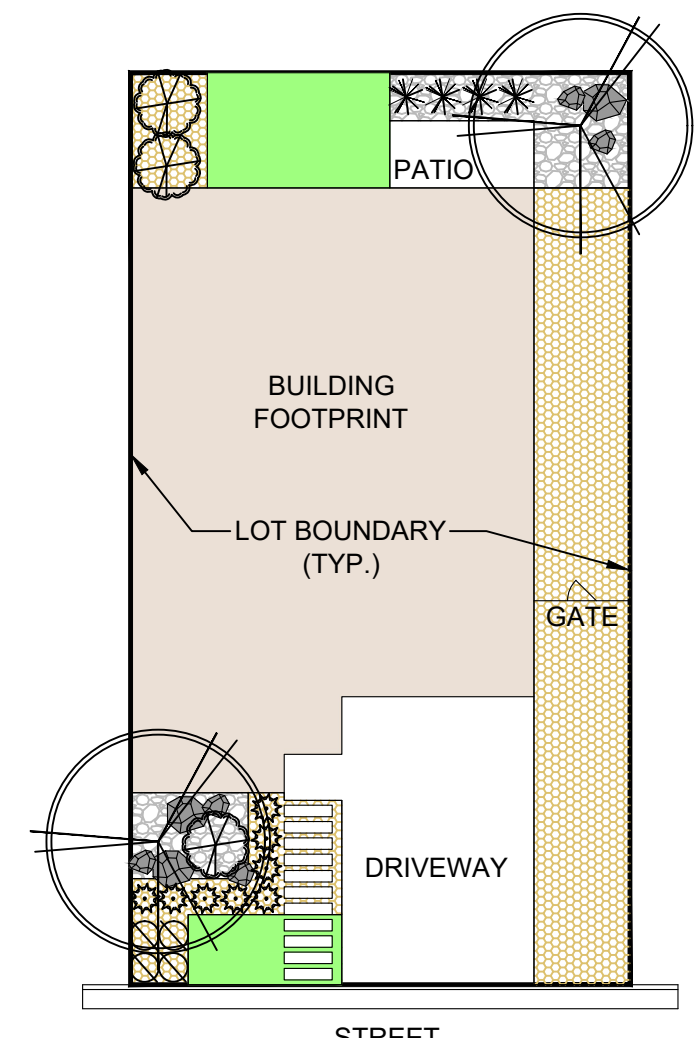


DESERT RIDGE ESTATES
DISTURBANCE & MITIGATION EXHIBIT
LOCATED IN: WASHINGTON, UT

PROJECT NO: 21221.00
DRAWN BY: BLW
DATE: 8/29/2023
SCALE OF SHEET
HORIZ: 1" = 80'
VERT: NA
SHEET

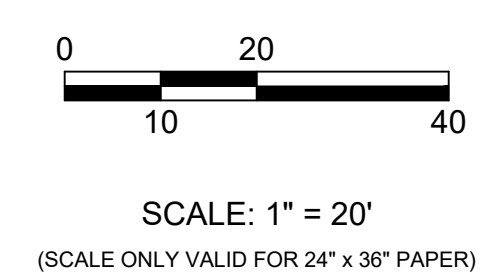


DESERT RIDGE ESTATES SUBDIVISION PHASES 1&2 TYPICAL LANDSCAPE PLAN



NOTES

1. LOT SIZES IN THE DESERT RIDGE ESTATES SUBDIVISION ARE NOT THE SAME. IT IS INTENDED THAT THE LANDSCAPE PLANS FOR EACH LOT IN THE SUBDIVISION FOLLOW THE THEME OF THE TYPICAL LANDSCAPE PLAN SHOWN.
2. PLANT AND LANDSCAPE MATERIAL NOT SHOWN ON THE ADJACENT LIST MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



DESERT RIDGE ESTATES PHASES 1&2 AND DESERT RIDGE TOWN HOMES PHASE 2 SUBDIVISIONS PLANT AND LANDSCAPE MATERIALS LIST

THE FOLLOWING IS A LIST OF PLANTS AND LANDSCAPE MATERIALS TO USE FOR THE DESERT RIDGE ESTATES AND DESERT RIDGE TOWN HOMES SUBDIVISIONS. THIS LIST IS TO PROVIDE OPTIONS FOR WHAT PLANT AND ROCK MATERIAL CAN BE USED FOR THE DIFFERENT PLANT AND ROCK TYPES/SIZES THAT ARE CALLED OUT ON THE ADJACENT TYPICAL LANDSCAPE PLANS. PLANT AND LANDSCAPE MATERIAL NOT SHOWN ON THIS LIST MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CHILOPSIS LINEARIS 'BURGUNDY LACE'	BURGUNDY LACE DESERT WILLOW	24" BOX
	OLEA EUROPAEA 'WILSONII'	WILSON OLIVE	24" BOX
	PISTACIA CHINENSIS 'RED PUSH'	RED PUSH CHINESE PISTACHE	24" BOX
	PROSOPIS GLANDULOSA 'MAVERICK'	MAVERICK MESQUITE	24" BOX
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX
	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	6-8" TALL
LARGE SHRUBS			
	CAESALPINIA GILLIESII	YELLOW BIRD OF PARADISE	15 GAL
	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	15 GAL
	LEUCOPHYLLUM CANDIDUM 'SILVER CLOUD'	SILVER CLOUD TEXAS SAGE	5 GAL
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN CLOUD TEXAS SAGE	5 GAL
	LEUCOPHYLLUM FRUTESCENS 'HEAVENLY CLOUD'	HEAVENLY CLOUD TEXAS SAGE	5 GAL
	NERIUM OLEANDER 'PETITE RED'	DWARF RED OLEANDER	5 GAL
	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE OLIVE	5 GAL
SMALL SHRUBS			
	CHRYSACTINIA MEXICANA	DESERT DAISY	1 GAL
	HYMENOXYIS ACAULIS	ANGELITA DAISY	1 GAL
	MALEPHORA LUTEA	ROCKY POINT ICE PLANT	1 GAL
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL
	TEUCRIUM CHAMAEDRYS	GERMANDER	1 GAL
LARGE ACCENT/SUCCULENTS			
	AGAVE SCABRA	ROUGH-LEAVED AGAVE	5 GAL
	DASYLIRION WHEELERI	GRAY DESERT SPOON	5 GAL
	FOUQUIERIA SPLENDENS	OCOTILLO	6" TALL
	HESPERALOE FUNIFERA	GIANT HESPERALOE	5 GAL
	YUCCA BACCATA	BANANA YUCCA	5 GAL
	YUCCA ROSTRATA	BEAKED YUCCA	5 GAL

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
SMALL ACCENT/SUCCULENTS			
	AGAVE PARRYI VARIETY PARRYI	PARRY'S AGAVE	5 GAL
	ECHINOCEREUS GRUSONII	GOLDEN BARREL CACTUS	5 GAL
	EUPHORBIA RIGIDA	GOPHER PLANT	5 GAL
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL
GRASSES			
	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMMA	5 GAL
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	5 GAL
	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	5 GAL
BOULDERS			
	SMALL: 2-3" DIAMETER, BLACK BASALT		
	SMALL: 2-3" DIAMETER, TAN LIMESTONE		
	LARGE: 4-5" DIAMETER, BLACK BASALT		
	LARGE: 4-5" DIAMETER, TAN LIMESTONE		
ROCK MULCH			
	1/2" BLACK BASALT, 2" DEPTH		
	1/2" TAN LIMESTONE, 2" DEPTH		
	1" BLACK LAVA CINDERS		
	1" KANOSH VALLEY RIVER ROCK		
	2-4" BLACK LAVA CINDERS, 6" DEPTH		
	2-4" KANOSH VALLEY RIVER ROCK		
	2-4" TAN LIMESTONE, 6" DEPTH		
	ARTIFICIAL TURF		
	HYDROSEED AREA		
	DISTURBANCE AREA		

DESERT RIDGE LANDSCAPE PLAN



PROJECT NO: 21221.00
 DRAWN BY: MG
 DATE: 07/13/2023
 SCALE OF SHEET
 HORIZ: 1" = 80'
 VERT: NA
 SHEET

1453 S. DIXIE DRIVE, SUITE 150
 ST. GEORGE, UT 84770
 435.986.0100



DESERT RIDGE
 LANDSCAPE PLAN
 LOCATED IN: WASHINGTON, UT

WASHINGTON CITY
LAND USE AUTHORITY MEETING
STAFF REVIEW

HEARING DATE:	May 6th, 2026
ACTION REQUESTED:	Preliminary Plat approval for the Oak Meadow Subdivision, located at approximately 2670 South 240 West.
APPLICANT:	Ryan Lay
OWNER:	Hansen Paul Mark & Kathleen Richardson
ENGINEER:	Rick Meyer, Bush and Gudgell
REVIEWED BY:	Sebastian Ferguson, City Planner
RECOMMENDATION:	Recommend approval with conditions

Background

The applicant is requesting approval of a Preliminary plat for the Oak Meadow Subdivision, located at approximately 2670 South 240 West. This particular subdivision is proposing 5 lots on an area covering 2.60 acres. The average lot area is .37 acres with an average total density of about 1.19 units/acre. The zoning designation at this location is R-1-10; the R-1-15 zone is directly to the South, RA-1 to the East, and PUD-C to the north. Landscaping will be required along the edge of lot 1.

The proposed subdivision conforms to the approved zoning. The request meets the subdivision requirements and other city ordinances as it relates to this location.

Recommendation

Staff has reviewed the request and recommends the Land Use Authority approve the Preliminary plat for the Oak Meadow subdivision, based on the following findings and subject to the following conditions:

Findings

1. The preliminary plat meets the land use designation as outlined in the General Plan for the proposed area.
2. That the preliminary plat conforms to the Washington City Zoning Ordinance and Subdivision

Ordinance as outlined.

Conditions

1. A preliminary and final drainage study and grading and drainage plan shall be submitted for review and approval prior to moving dirt. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
2. A preliminary and final geotechnical study shall be submitted to the City for review and approval prior to submitting the final plat. All recommendations of the geotechnical study shall be adhered to.
3. Construction drawing for the subdivision and its infrastructure shall be submitted to the City for review and approval prior to the submittal for final plat.
4. The construction drawings shall adequately address prevention of nuisance storm water drainage across lots. If retaining walls are utilized to prevent cross-lot drainage, the developer shall be responsible for installing said retaining walls.
5. At the time of final plat submittal, the following documents shall also be submitted:
 - A. A title report
 - B. A copy of any deed restrictions, other restrictions, restrictive covenants, architectural controls, or other requirements that may apply to the development (CC&Rs).
6. All detention areas shall be landscaped and all detention and landscaped areas shall be maintained by the property owners and/or homeowners association. A note shall be placed on the plat stating that the City has the right to assess the property owners and/or homeowners association for failing to maintain the detention and landscaped areas.
7. A final landscape plan and fencing plan shall be submitted for review and approval prior to the submittal of the final plat. Landscaping and fencing shall be installed prior to the occupancy of the buildings that will be constructed along the landscaped and fenced areas.
8. All landscaping, walls and other structures shall meet sight distance requirements. A note shall be placed on the final plat stating that the City has the right to assess the property owners and/or homeowners association for failing to maintain sight distance requirements.
9. Driveway locations are to be approved by the Public Works Department.
10. Any proposed blasting for the development of the subdivision requires the submittal of a blasting plan with the construction drawings and issuance of a blasting permit.

11. A Post Construction Maintenance Agreement shall be recorded prior to the recording of the final plat.

12. An LID Stormwater Quality Report needs to be submitted for review and approval to the Public Works Department before any final plat application can be submitted.

13. The landscaping located adjacent to the south boundary of the development adjacent to Oak Meadow Drive to be completed prior to the issuance of the first Certificate Of Occupancy.



BUSH & GUDGELL, INC.
Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

April 3, 2026

RE: Oak Meadow

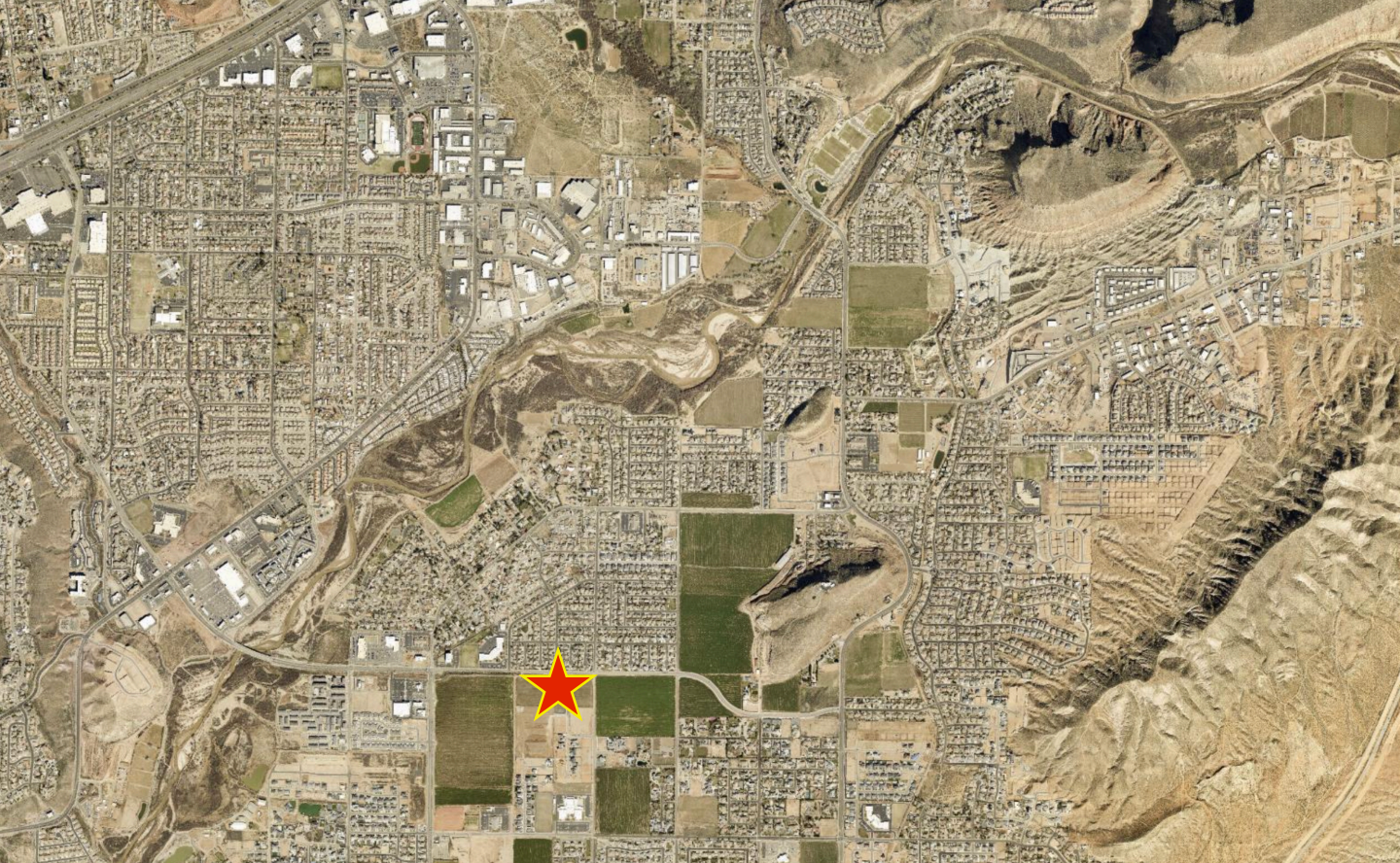
Dear Council / Commission members,

Please find this application for a Preliminary Plat as required by Washington City code. The applicant desires to develop a 5-lot residential subdivision at this location, adjacent to existing residential development on the south. From the south, this project will connect to the existing Leaf Lane. The road will then immediately turn east and connect to 240 West. This application encompasses 2.61 acres and lies in the southeast corner of Washington county parcel number W-5-2-34-110. The remainder of the parcel will be developed commercially to match current zoning and the other commercial developments along Merrill Road. The current zoning designation on this portion of the property is R-1-10.

Your consideration of this request is greatly appreciated.

Respectfully Submitted:

Bob Hermandson
President
Bush and Gudgell

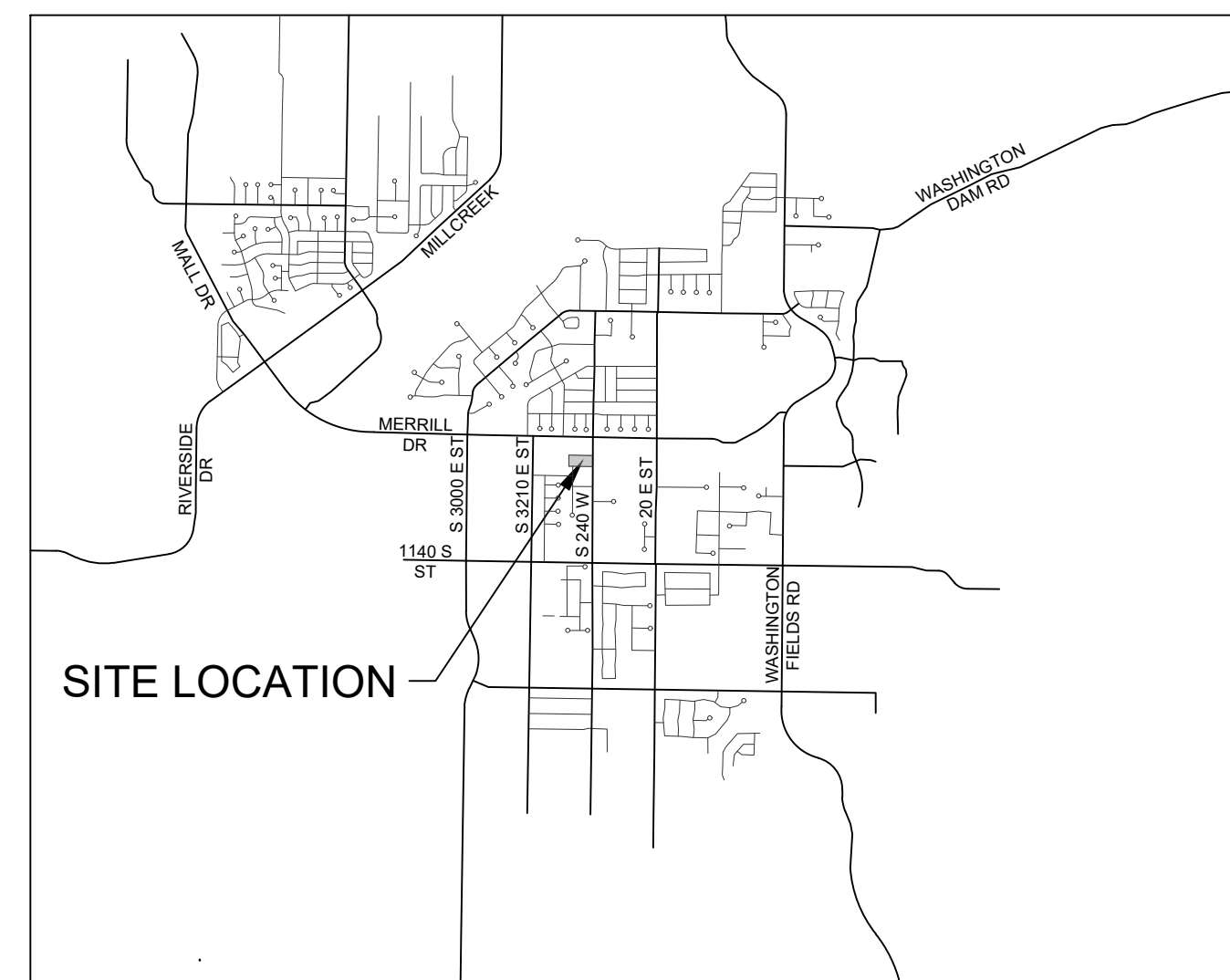


B&G PROJECT NUMBER 241084

OAK MEADOW

PRELIMINARY PLAT LOCATED IN WASHINGTON, UTAH

SECTION 34, T 42 S, R 15 W
PARCEL # W-5-2-34-110

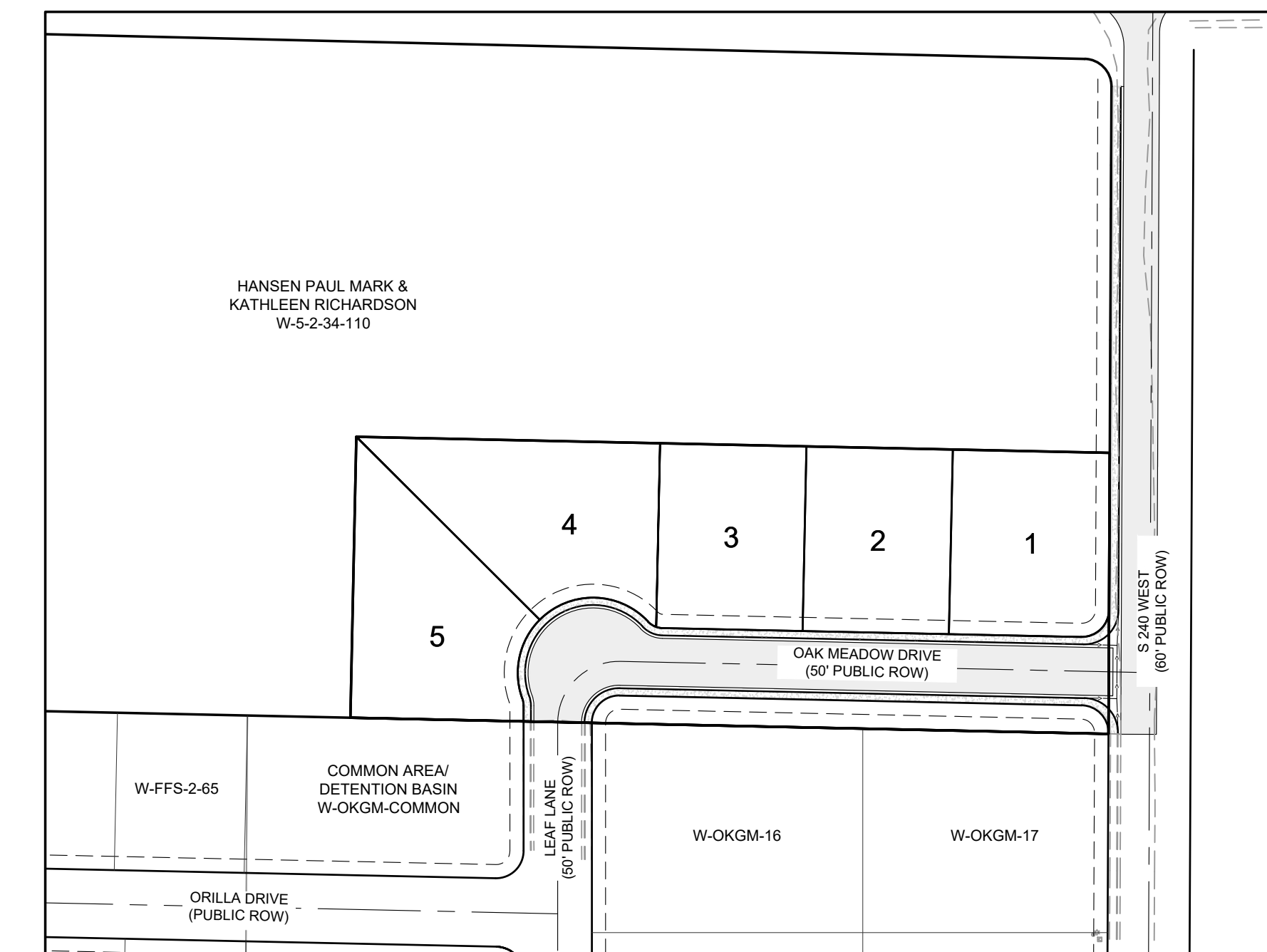


VICINITY MAP
(NOT TO SCALE)

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING & DRAINAGE PLAN
4	WATER, SEWER & POWER
5	JUC & GAS PLAN

PROJECT INFORMATION

GENERAL PLAN:	LOW DENSITY RESIDENTIAL (LD)
CURRENT ZONING:	R-1-10
PROJECT AREA:	113,491 (2.605 AC)
NUMBER OF LOTS:	5
UNIT/ACRES:	1.919 UNIT/ACRES
AVERAGE LOT AREA:	16,388 (0.37 AC)



PROJECT MAP
SCALE: 1" = 100'

LEGAL DESCRIPTION

BEGINNING AT A POINT ON THE WEST BOUNDARY LINE OF A PARCEL OF LAND MORE PARTICULARLY DESCRIBED IN DOCUMENT NO. 20100035730, OFFICIAL RECORDS, WASHINGTON COUNTY, UTAH, SAID POINT LIES SOUTH 00°15'43" WEST ALONG THE SECTION LINE 336.20 FEET, AND DUE WEST 30.00 FEET FROM THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE SOUTH 00°15'43" WEST ALONG SAID WEST BOUNDARY LINE 205.45 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF OAK GROVE MEADOWS, ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER AS DOCUMENT NO. 20230007486; THENCE NORTH 88°46'42" WEST ALONG SAID LINE 554.18 FEET; THENCE NORTH 01°13'18" EAST 205.44 FEET; THENCE SOUTH 88°46'37" EAST 550.74 FEET TO THE POINT OF BEGINNING.

CONTAINING 113,491 SQUARE FEET OR 2.61 ACRES.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS.
- PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- FOLLOW APPENDIX J STANDARDS FOUND IN THE IBC.
- ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

DUST CONTROL

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:

EARTH MOVING ACTIVITIES:

- APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
- PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION.
- APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
- OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:

- WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
- INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

APRIL 2026

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors

205 East Tabernacle #4
St. George, Utah 84770
Phone (435) 673-2337



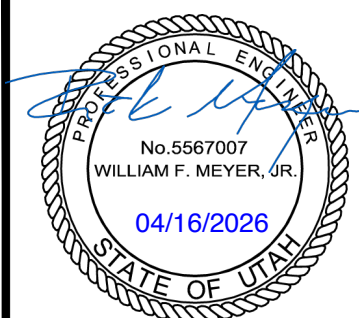
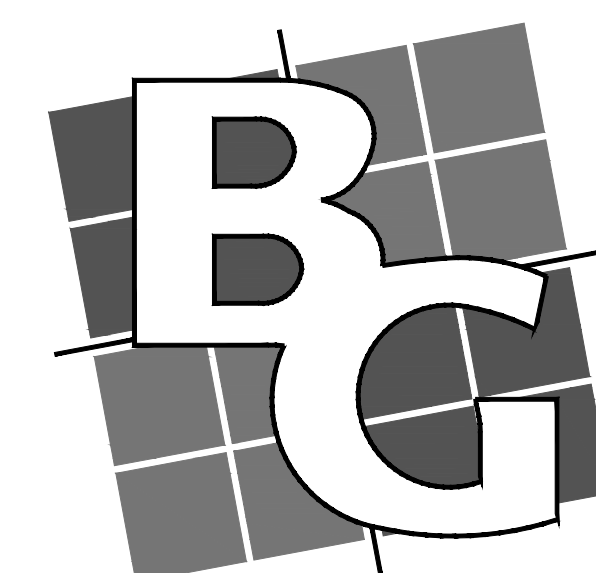
OWNER / DEVELOPER

STRATA HOMES
393 E RIVERSIDE DR #2A
ST GEORGE, UT 84770
NATE SHAFFER
(435) 236-3007

ENGINEERING CONTACT

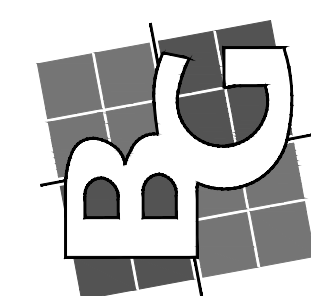
BUSH AND GUDGELL, INC.
205 EAST TABERNAACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337



BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors

205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: APR. 2026
DRAWN: JAS
APPROVED: RM
SCALE: NTS
JOB NO.: 241084

COVER SHEET
OAK MEADOW
LOCATED IN WASHINGTON, UTAH

SHEET
1 OF 5
SHEETS
FILE: 241084 - PRE-PLAT

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 CONSTRUCT HANDICAP RAMP PER CITY STD DWG NO. 121
- 2 5' CONCRETE SIDEWALK PER CITY STD DWG NO. 120
- 3 INSTALL CURB & GUTTER (TYPE RU30) PER CITY STD DWG NO. 101
- 4 INSTALL 6" CROSS GUTTER PER CITY STD DWG 151
- 5 PROPOSED ASPHALT
- 6 SAWCUT EXISTING ASPHALT
- 7 EXISTING EDGE OF ASPHALT
- 8 EXISTING CURB AND GUTTER

LEGEND

- EXISTING RIGHT OF WAY LINE
- PROPOSED CURB & GUTTER
- - - EXISTING CURB & GUTTER
- - - PROPOSED RETAINING WALL
- - - DRAINAGE CHANNEL FLOW LINE
- - - EXISTING FENCING
- - - PARCEL BOUNDARY LINE

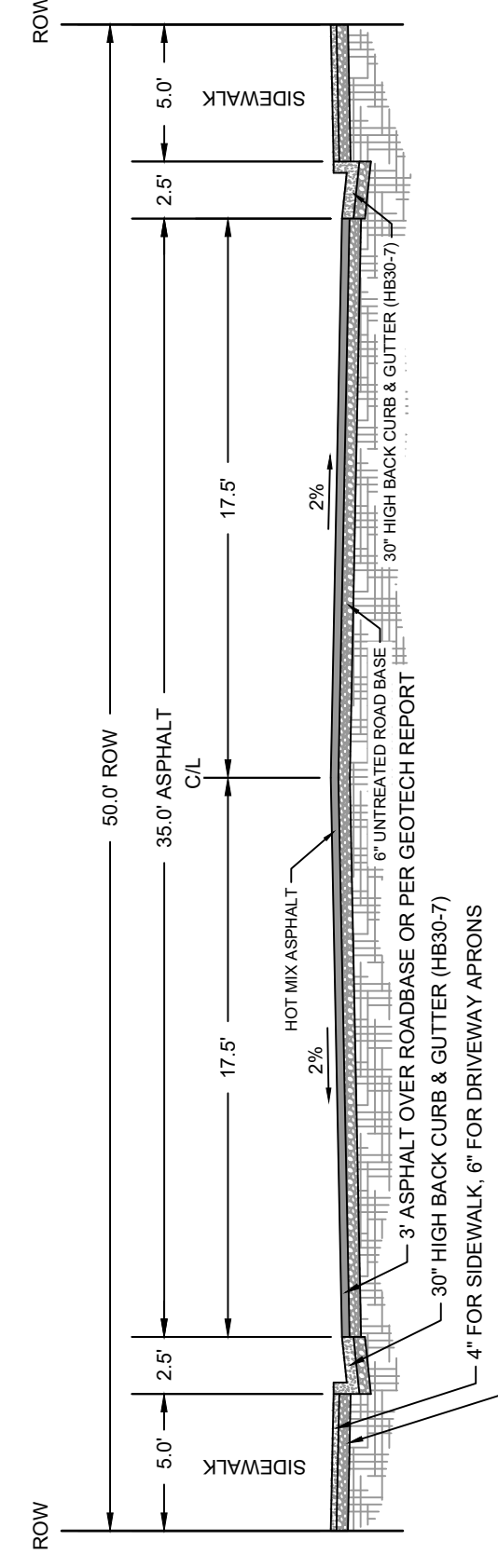
STOP / STREET SIGN

END OF ROAD MARKERS

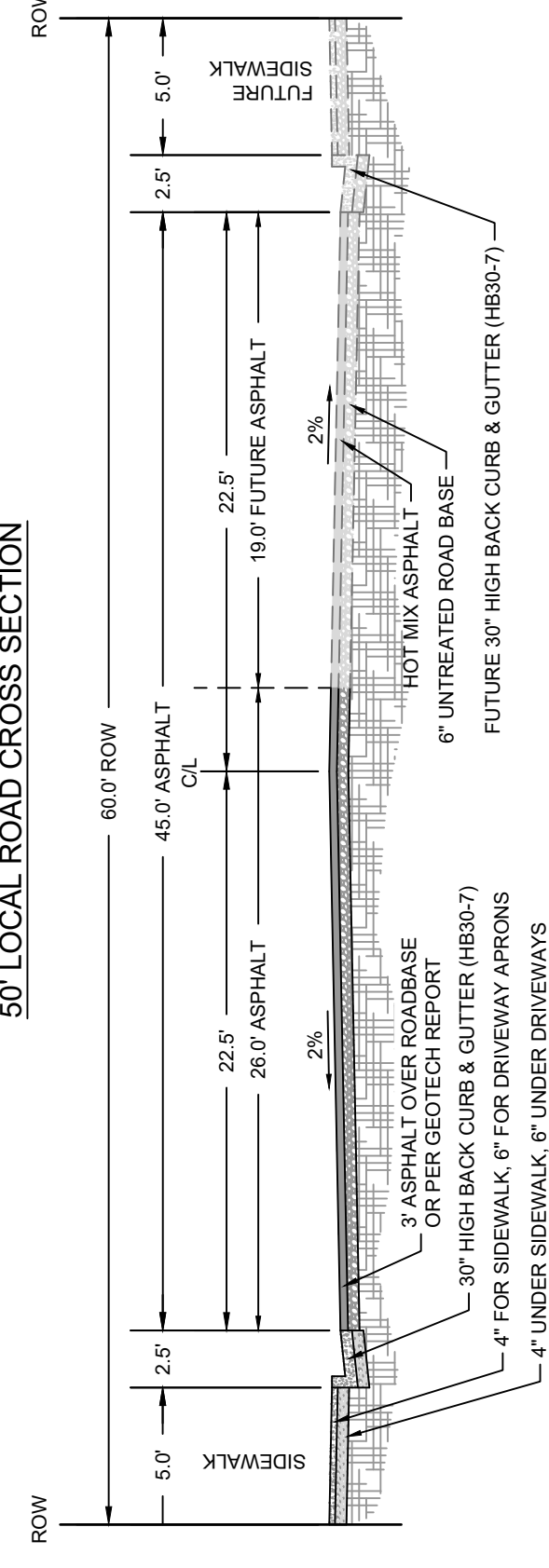
PROPOSED ASPHALT
AREA TO BE LANDSCAPED WITH 10% MINIMUM
COVERAGE OF LIVE PLANT GROWTH

HANSEN PAUL MARK &
KATHLEEN RICHARDSON
W-5-2-34-110

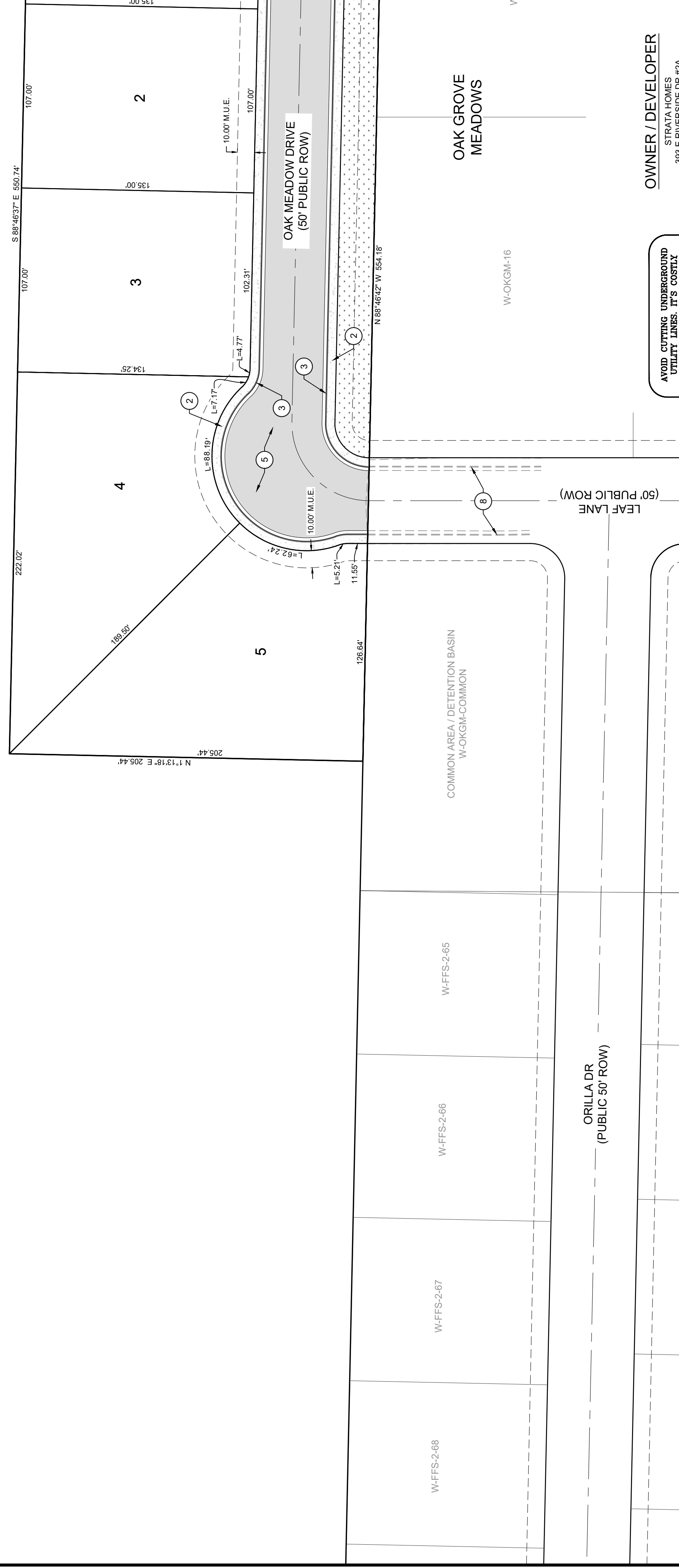
**MERRILL RD
(PUBLIC 85' ROW)**



50' LOCAL ROAD CROSS SECTION



60' ROAD CROSS SECTION



AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY

Call before you Dig

1-800-662-4111

ALL INFORMATION SUBJECT TO VERIFICATION

OWNER / DEVELOPER
STRATA HOMES
383 EVERSIDE DR #2A
SALT LAKE CITY, UT 84115
NATE SHAFFER
(435) 238-3007

ENGINEERING CONTACT
BUSH AND GUDCELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770
RICK MEYER - PROJECT MANAGER
(435) 672-2337

GRADING NOTES

APPROXIMATELY 16 CU YD. OF CUT, 6,935 CU YD. OF FILL AND 6,919 CU YD. OF IMPORT MATERIAL IS REQUIRED (FOR GRADING PERMIT ONLY) THE CONTRACTOR SHOULD VERIFY THE QUANTITIES FOR COMPLETION OF WORK. QUANTITIES ARE BASED ON FINISH GRADE OF ROADS & PADS.

ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL IMPORTED STRUCTURAL FILL SHALL BE PLACED IN 8-INCH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).

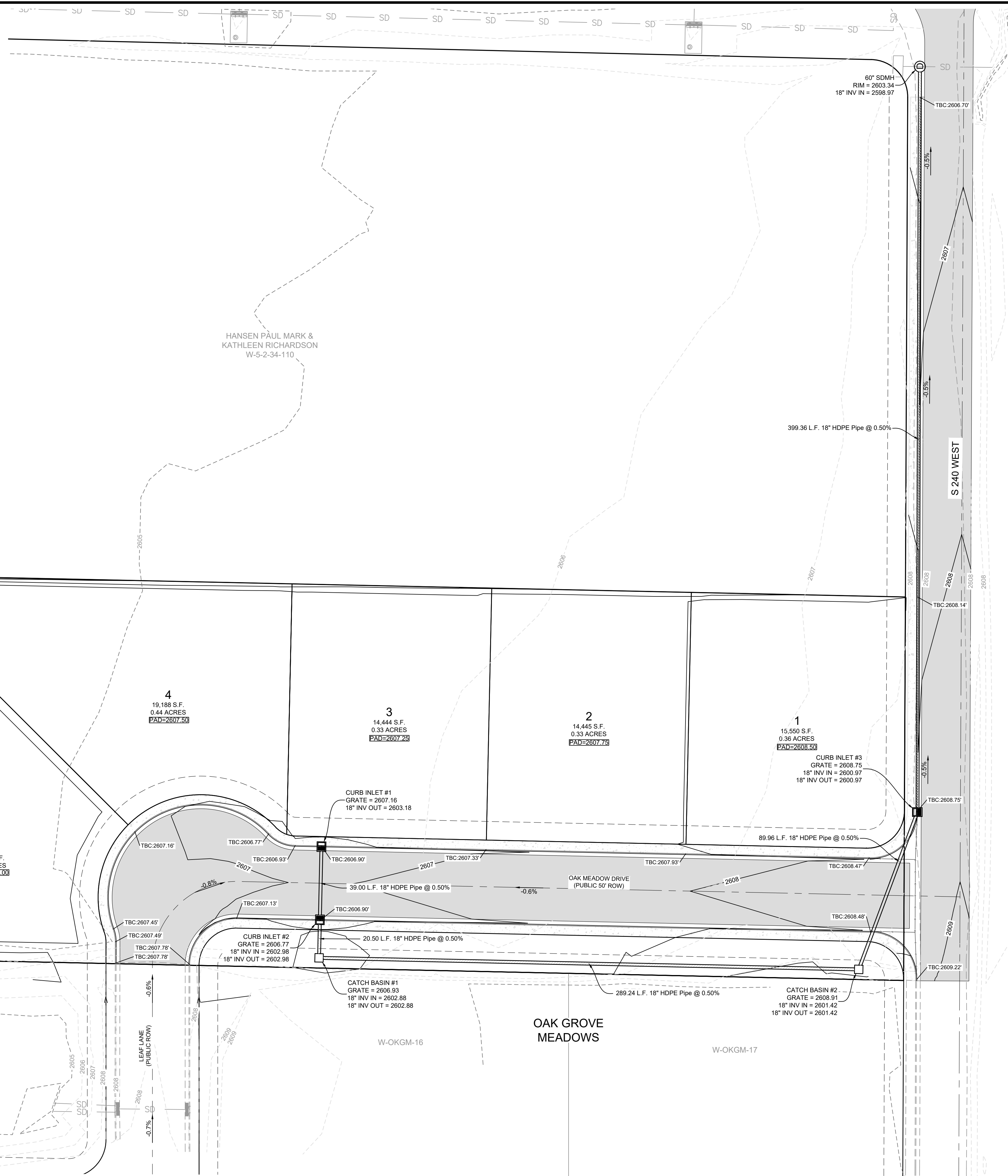
ALL EXCAVATION, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO VERIFY SUB-SOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.

ALL EXCAVATION AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF WASHINGTON CITY AND APPENDIX J OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION, AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY.

GEOTECHNICAL ENGINEER TO PROVIDE GRADING COMPLETION REPORT TO CONFIRM WORK HAS BEEN PERFORMED IN CONFORMANCE WITH THEIR RECOMMENDATIONS.

OWNER IS RESPONSIBLE FOR ALL ON-SITE DRAINAGE AND DETENTION.



LEGEND

- EXISTING GROUND CONTOUR
- FINISH CONTOUR
- RETAINING WALL (8' MAX HEIGHT)
- FFE: 00.00 FFE = FINISHED FLOOR ELEVATION
- PAD: 00.00 PAD = PAD ELEVATION
- 2.0% SLOPE
- 2650 CONTOUR ELEVATION IN FEET
- FLOW DIRECTION
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- ☐ SINGLE CURB INLET
- ⊙ STORM MANHOLE

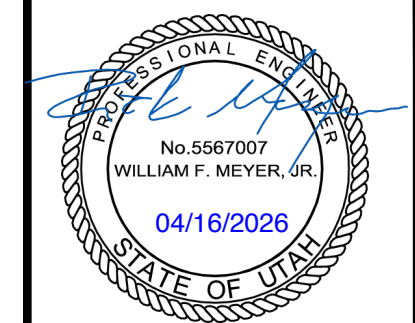
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

Call before you Dig
1-800-662-4111
(SEE STRATA LOCATION CENTER OTHER)

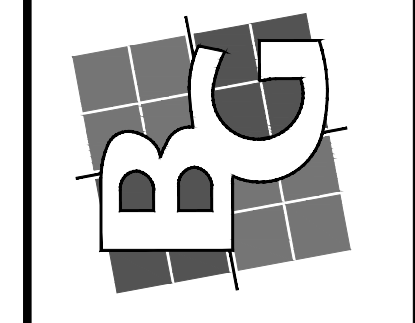
OWNER / DEVELOPER
STRATA HOMES
393 E RIVERSIDE DR #2A
ST GEORGE, UT 84770
NATE SHAFFER
(435) 236-3007

ENGINEERING CONTACT
BUSH AND GUDGELL, INC.
205 EAST TABERNAACLE #4
ST GEORGE, UT 84770
RICK MEYER - PROJECT MANAGER
(435)-673-2337



No.	Date	By	Revision

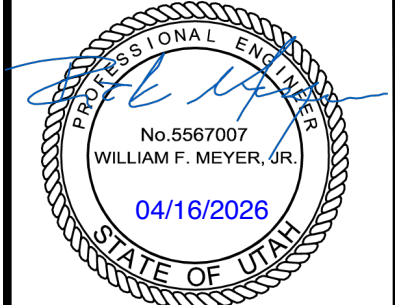
BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors
205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: APR 2026
DRAWN: JAS
APPROVED: RM
SCALE: 1"=30'
JOB NO.: 241084

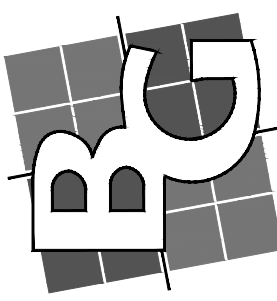
GRADING & DRAINAGE PLAN
OAK MEADOW
LOCATED IN WASHINGTON, UTAH

SHEET	3	OF	5	SHEETS
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No.	Date	By	Revision

BUSH & GUDGELL, INC.
 Engineers - Planners - Surveyors
 205 East Tabernacle Suite #4
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JUC & GAS PLAN
 OAK MEADOW
 LOCATED IN WASHINGTON, UTAH

SHEET	5	OF	5	SHEETS
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FILE: 241084 - PRE-PLAT

