

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE:	May 6th, 2026
ACTION REQUESTED:	C-26-01, A request for a Conditional Use Permit for a new Church building located at approximately Waters Edge Way and Grove Parkway
APPLICANT:	Jared Madsen - Sky Engineering
OWNER:	The Church of Jesus Christ of Latter-Day Saints
ENGINEER:	Jared Madsen - Sky Engineering
REVIEWED BY:	Sebastian Ferguson - City Planner
RECOMMENDATION:	Recommend approval with conditions

Background

The applicant is requesting approval of a Conditional Use Permit to build a new church building located at approximately Waters Edge Way and Groves Parkway within the Alaia Subdivision. The property is currently zoned PCD with the PCD zone surrounding the site. Also, for the Planning Commissioners information, the City Council recently approved a height waiver for the steeple portion of the church to a maximum height of sixty-nine feet (69').

The new proposed church site is approximately 4.16 acres and the building is roughly 18,300 square feet. There will be 253 parking stalls which satisfies the parking requirements. The new church building will have an exterior of brick with stucco accents (see attached elevations and site plan) along with concrete roof tiles. Landscaping will surround the site.

Staff has reviewed the requested proposal and finds it is in harmony with the surrounding and existing developments.

Recommendation

Staff recommends that the Planning Commission approve C-26-01, allowing for a new Church building to be located at Waters Edge Way and Grove Parkway, based on the following findings and subject

to the following conditions:

Findings

1. The proposed use, at the particular location, is necessary or desirable to provide a service or facility which will contribute to the general well being of the neighborhood and community; and
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title and associating state and federal titles, for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. Any site improvements shall meet or exceed the requirements of City and State adopted codes including, but not limited to, the Building and Fire Codes of Washington City.
2. The development of the site shall comply with the development as approved in the exhibits provided along with the development standards found in the applicable zone and this Conditional Use Permit.
3. Development of the site shall comply with the recommendations of a geotechnical study and drainage study. Improvements for the drainage and detention shall be approved by the Public Works Department prior to the issuance of building permits.
4. The applicant will submit a traffic impact study for review and approval by the Public Works Department. The City's Access Management Plan will be adhered to in the traffic design of the project.
5. A Post Construction Maintenance Agreement will need to be recorded prior to the issuance of a Certificate of Occupancy.
6. Any roof mounted equipment will be screened from view.
7. All signage will be in accordance with the adopted sign regulations of the city.
8. Any exterior lighting will be directed inward to the property.
9. Dumpster screening shall blend in with the surrounding development. Details for these items shall be submitted for review and approval prior to the issuance of associated/required permits. Live growth plants shall be used to help screen the refuse walls where applicable.

10. A detailed landscaping plan will be submitted for review and approval prior to any landscaping being installed throughout the project. The landscaping will adhere to the city's water conservation ordinance.

11. Construction drawings will need to be submitted for review and approval, prior to any work being done on the site.

12. The parking will be adhered to as presented in the exhibits of this application.



March 30, 2026

Washington City
Planning & Zoning
Washington, UT 84770

Re: Conditional Use Permit Narrative – Alaia Church

On behalf of The Church of Jesus Christ of Latter-day Saints, we respectfully submit this request for a Conditional Use Permit (CUP) for the proposed Alaia Church, located at the intersection of Waters Edge Way and Groves Parkway within the PCD zoning district of Washington City.

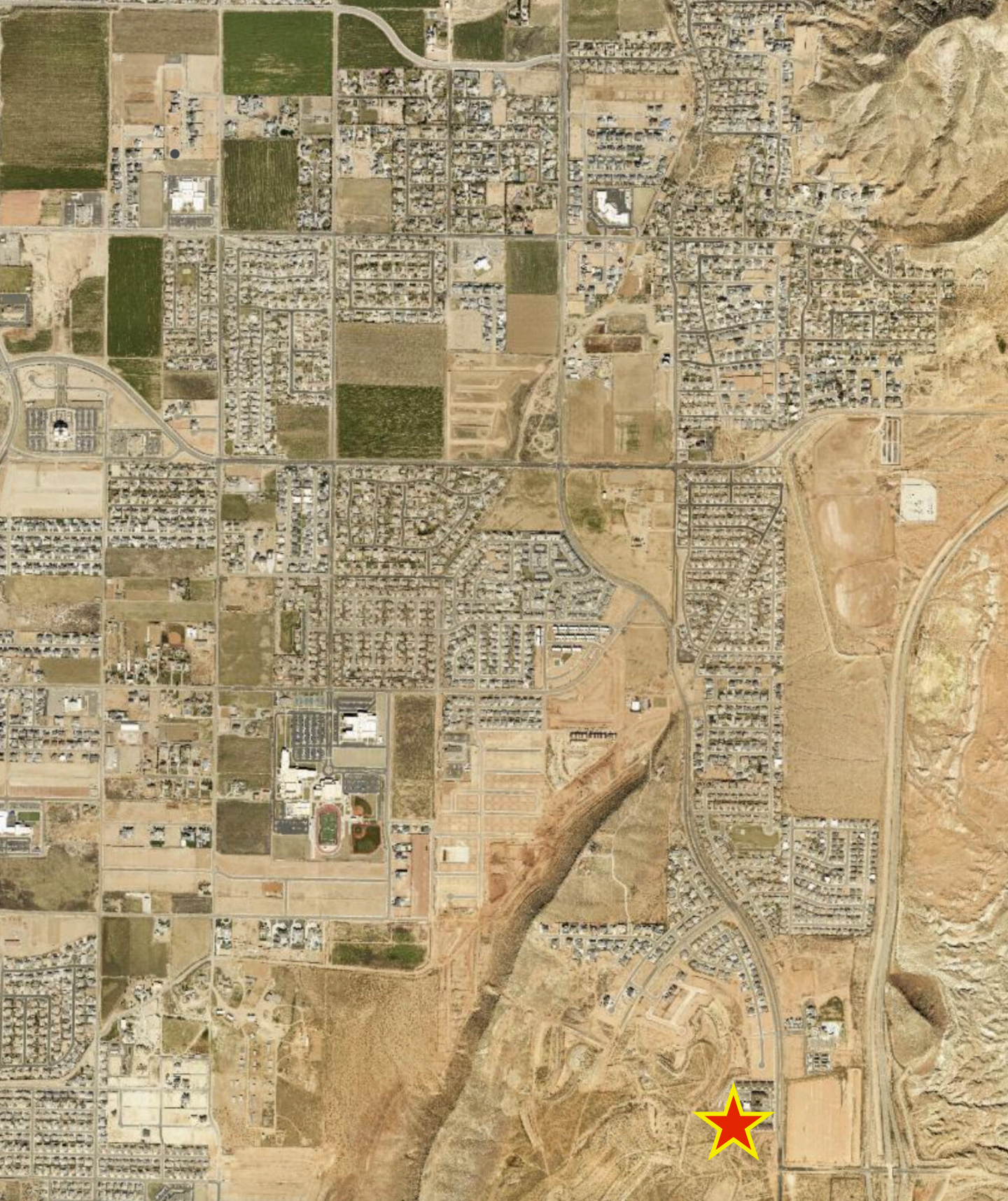
This application seeks approval for the development of a church meetinghouse on a 4.16-acre parcel within the Alaia community. The property is planned as a single lot and will serve as a neighborhood-scale place of worship and gathering for residents in the surrounding area.

The proposed meetinghouse has been thoughtfully designed to complement the surrounding development pattern. The architecture incorporates materials, rooflines, and landscaping that are consistent with the character of the surrounding community. The building will be a single-story structure with a steeple element typical of similar facilities constructed by the Church throughout the region.

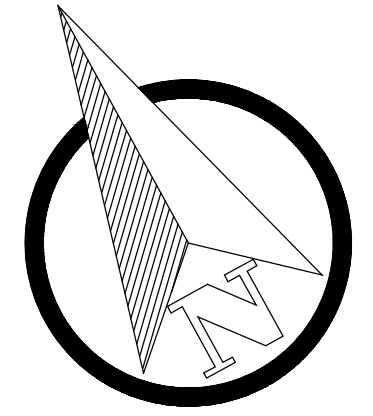
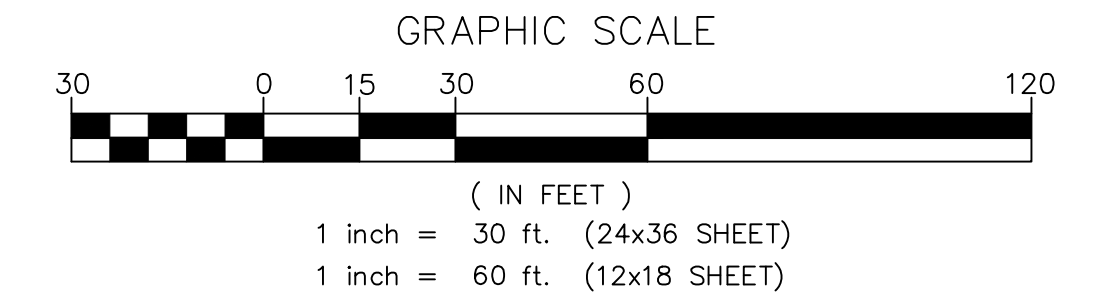
Access to the site will be provided from the adjacent public roadway network, with ingress and egress designed to integrate with the existing transportation infrastructure serving the surrounding development. Off-street parking will be provided in accordance with applicable City requirements. Traffic impacts are anticipated to be minimal due to the staggered nature of church meeting schedules and the limited operational hours associated with worship services and occasional weekday activities.

The facility will serve as a center for worship, community service, and neighborhood gatherings. As such, it provides a civic and social benefit to the surrounding area and aligns with the intent of Washington City's land use regulations for conditional uses within planned development areas.

We appreciate the City's consideration of this request and welcome any further discussion or coordination necessary to ensure the project meets City requirements and integrates respectfully within the surrounding community.

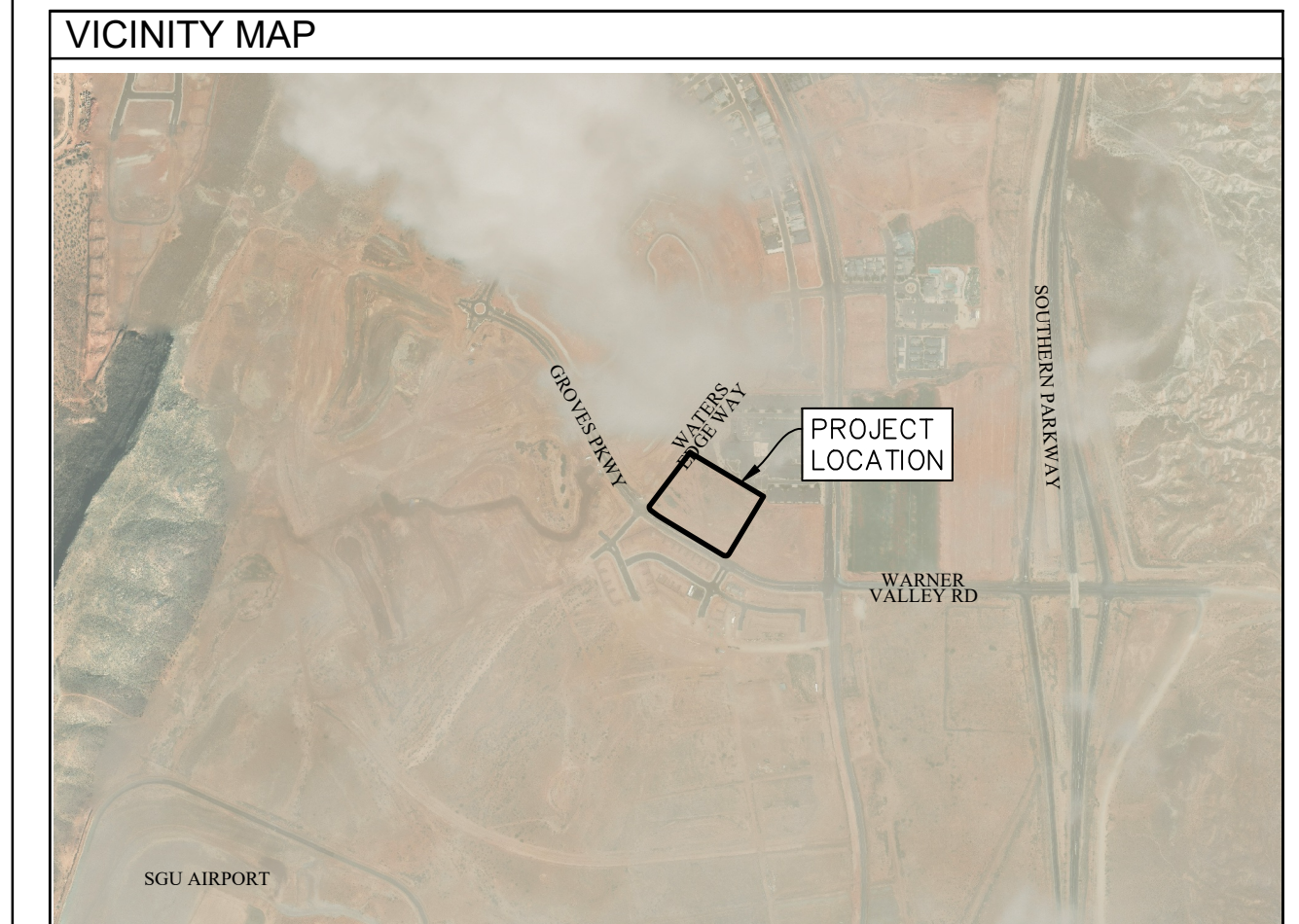


W-5-3-12-432



Stamp:

SITE & UTILITY NOTES	
SITE AREA: 5.3 AC	WATER DEMAND: 116 WSFUs, 47.1 GPM
ZONING: PCD, PLANNED COMMUNITY DEVELOPMENT	METER SIZE(S): ONE (1) 1" METER
BUILDING FOOTPRINT: 18,300 SF	SPRINKLERS REQUIRED? YES
OFF-STREET PARKING (ORD 10-19-5)	SEWER DEMAND: 146 DFUs @ 4" PIPE
REQ'D: 303 SEATS x 1/3.5 SPACES EA = 86.6 SPACES	POWER SERVICE: 800A 120/208V 3-PHASE
PROVIDED: 253 SPACES, INC. 8 ADA (1 VAN) ACCESSIBLE	
IMPERVIOUS AREA: 2.9 AC OR 126,100 SF	
PERVIOUS AREA: 1.3 AC OR 55,100 SF	



Project Name:
**ALAI A
GRANGER 300
MEETINGHOUSE**
WASHINGTON, UT 84780

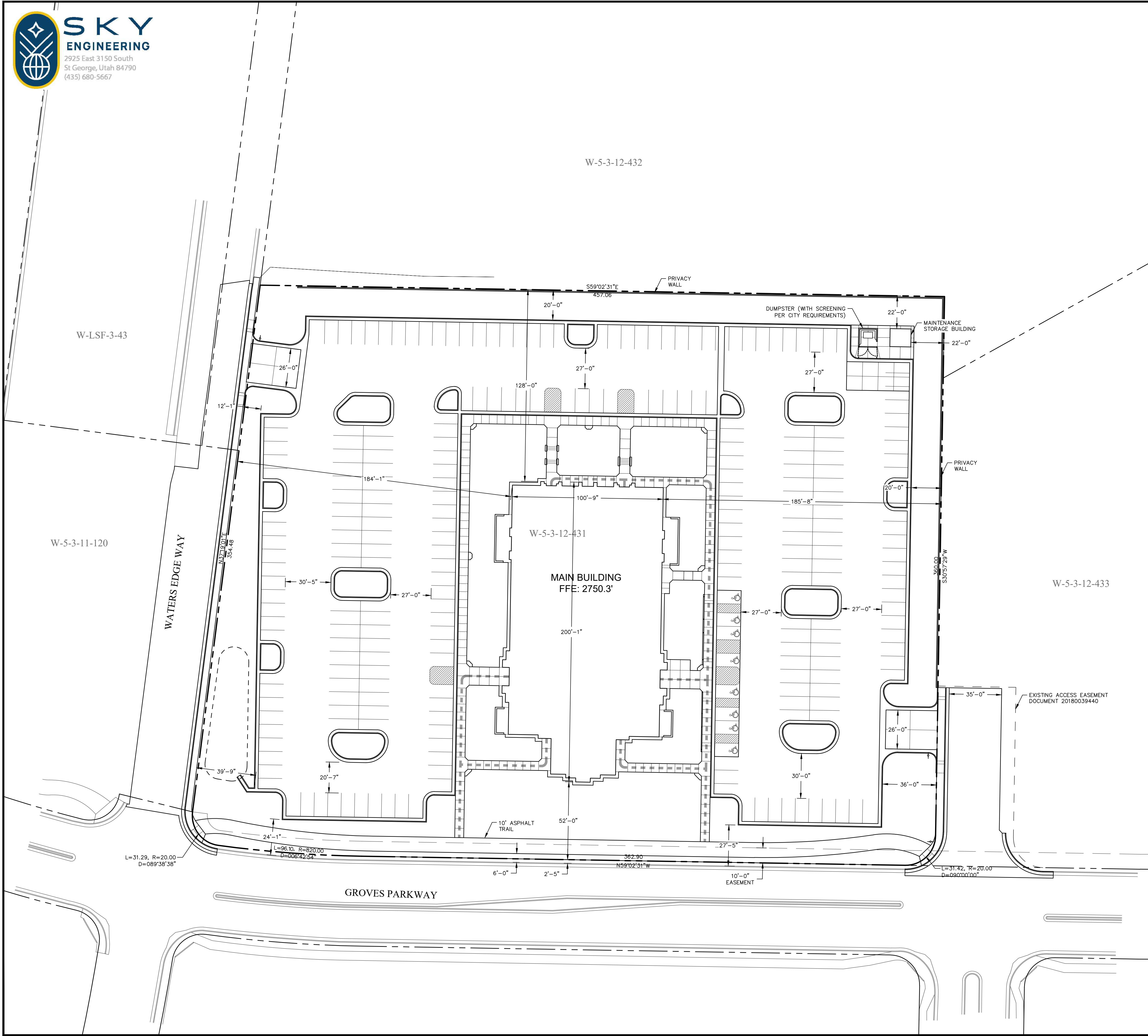
Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Mark	Date	Rev	Description

Project Number:
PCA-2432
Plan Series:
G-300-MH-11
Property Number:
501-4035-20010000

Sheet Title:
**CONDITIONAL
USE PERMIT
- SITE PLAN**

Sheet:
C101



Mark	Date	Description

Project Number:
PCA-2433
Plan Series:


Property Number:
501-3987-23010101

Sheet Title:
BUILDING ELEVATIONS


Sheet:
A201

PRE-APPLICATION COLORS


WASHINGTON FIELDS GRANGER 300
OWNER# 501-3987-23010101 ARCHITECT# 2433




SAGE, DRY-TUMBLED, by INTERSTATE
BRICK ①




USED AT DUMPSTER ENCLOSURE AND SITE FENCE. (NOT SHOWN)
SAGE, by SUNROC
CMU ②



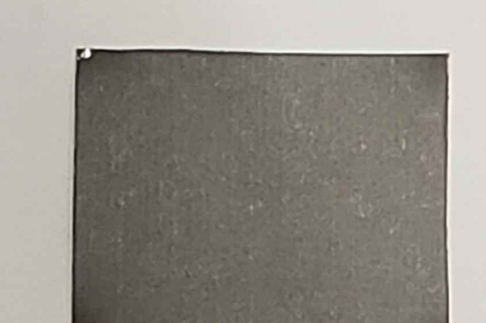
MATCH SANDSTORM 3103 (SYNERGY),
WORM FINISH, by DRYVIT
E.I.F.S. ③



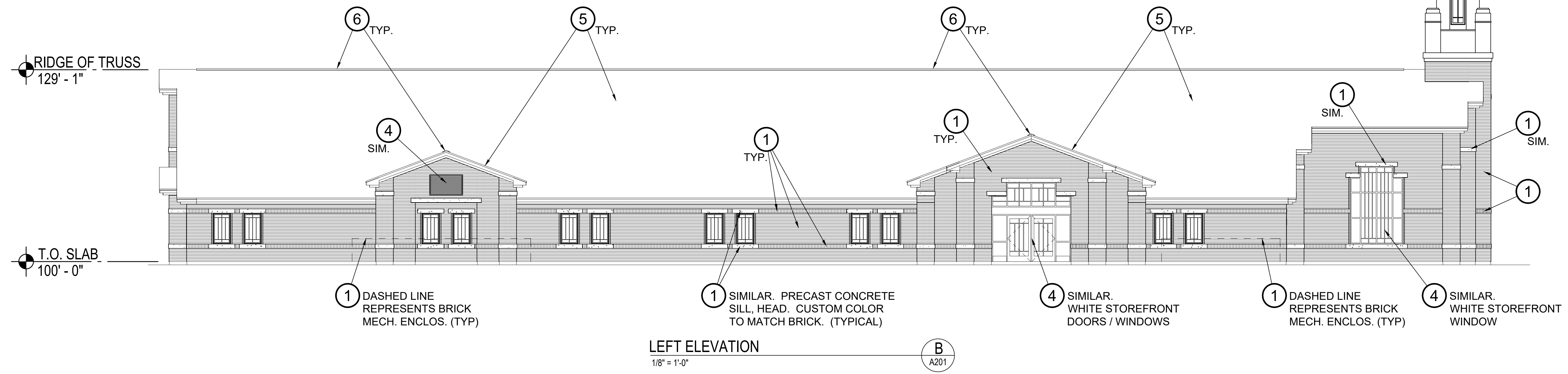
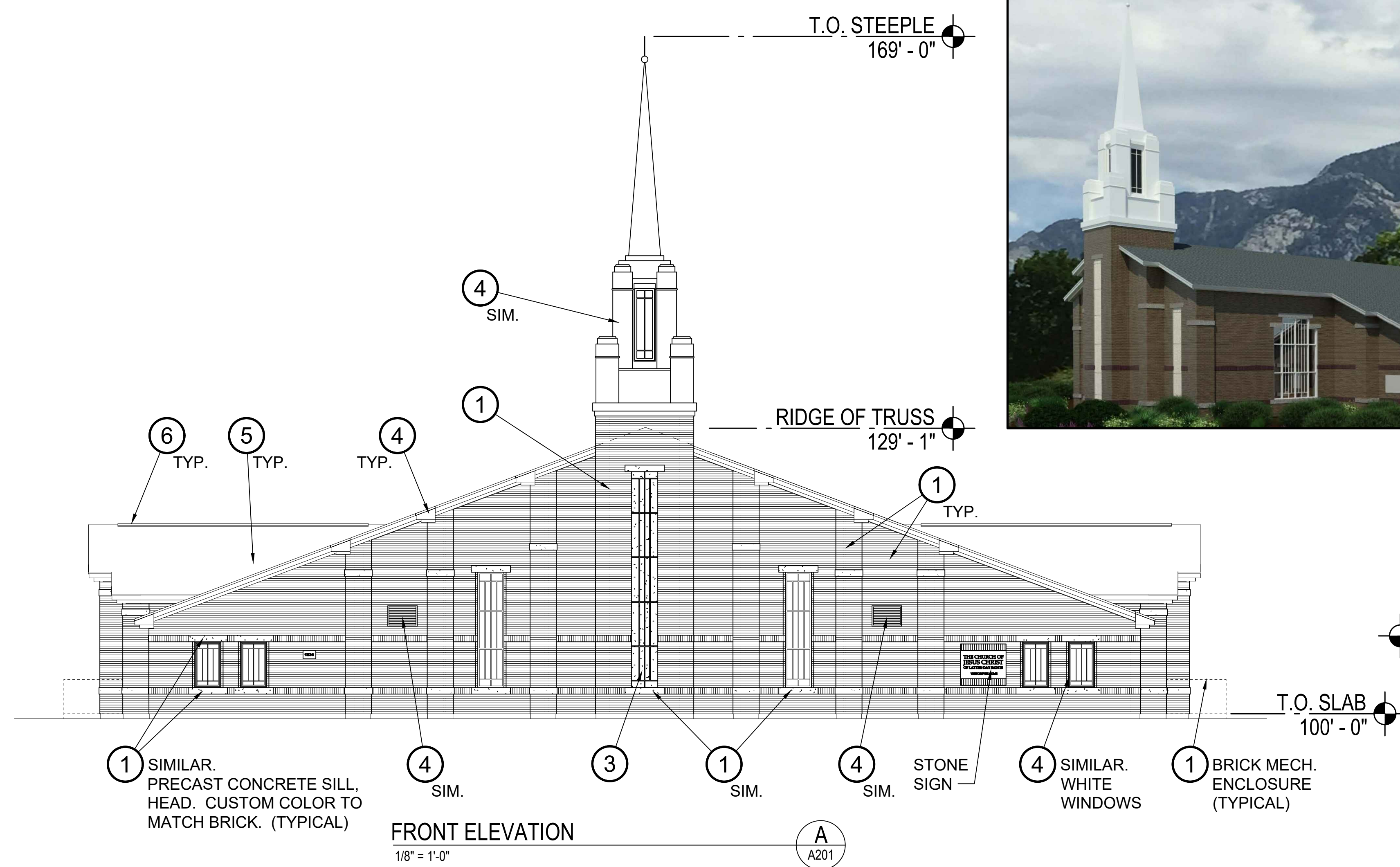
BONE WHITE (STIPPLED), by PAC-CLAD
SOFFIT FASCIA ④



PONDEROSA 5687 GRAY/BROWN
RANGE, by EAGLE TILE
CONCRETE ROOF TILES ⑤



MEDIUM BRONZE, by PAC-CLAD
RIDGE VENTS ⑥



WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE: May 6th, 2026

ACTION REQUESTED: C-26-02 - A request for a Conditional Use Permit for a Child Care facility, located at 265 E Kimball Ct

APPLICANT: Sydney Bale

OWNER: Sydney Bale

REVIEWED BY: Sebastian Ferguson - City Planner

RECOMMENDATION: Recommend approval with conditions

Background

The applicant is requesting approval of a Conditional Use Permit to operate a pre-school out of their residence, located at 265 E Kimball Ct. The childcare facility will have class on Monday through Thursday, with instruction occurring between 9:00 - 11:30 am. There will also be an additional afternoon class from 12:30 - 3:00pm on Tuesday, Wednesday, and Thursday.

There will be a total of 8 children ranging in age from 3-5 years on site for each class with the applicant serving as the instructor for each class. The home will be required to be inspected by both the Building and Fire Departments and given approval for the proposed use along with the complete application for a Washington City business license. A drop off and pick up plan will need to remain in place to mitigate traffic congestion in the area and is shown in the exhibit.

The pre-school will be held on the first floor of the home in the designated areas as shown in the exhibits. The backyard is fenced for outdoor recreation and is constructed with a solid block material. The side yard does show a metal fence which meets the state fencing requirements for childcare facilities as the openings in the fence are less than 5 inches.

Recommendation

Staff has reviewed the application and recommends the Planning Commission approve C-26-02 allowing for an in-home pre-school at 265 E Kimball Ct, based on the following findings and subject to the following conditions.

Findings

1. The proposed use, at the particular location, provides a service or facility which will contribute to the general well being of the neighborhood and community; and
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. The site, including new improvements, shall meet all City and State adopted codes.
2. The childcare facility will be limited to operating hours from 9:00 - 11:30 am, Monday through Thursday for the first class. For the second class, the hours of operation are limited to 12:30 - 3:00pm Tuesday through Thursday.
3. The maximum number of children will be no greater than eight (8), as outlined in the state regulations.
4. The children shall be kept in the home or backyard area during operating hours (unless arriving or departing at the beginning or end of each day).
5. A copy of the approved State of Utah license for the childcare facility (if applicable) will be kept current and on file with the City. The applicant shall also be registered with the State.
6. A Washington City Business License shall be in place prior to childcare operations beginning.
7. Inspections by both the Building and Fire Department will need to be approved before the childcare operations begin.
8. A drop-off/pick-up plan will need to be provided to city staff in the Community Development Department (and approved) before any childcare sessions begin.

Preschool Narrative – Pre-K with Miss Sydney

My Goal in starting a preschool is to create a safe and engaging learning environment for children ages 3-4 to come grow socially, emotionally and academically.

At Pre-K with Miss Sydney, children will participate in age-appropriate activities that will encourage creativity, problem solving, and cooperation. Daily Activities will include stem play with class, music and movement, hands on centers, literacy and math skills, and outdoor play.

Outdoor play and physical activity will be a part of each day to support healthy development.

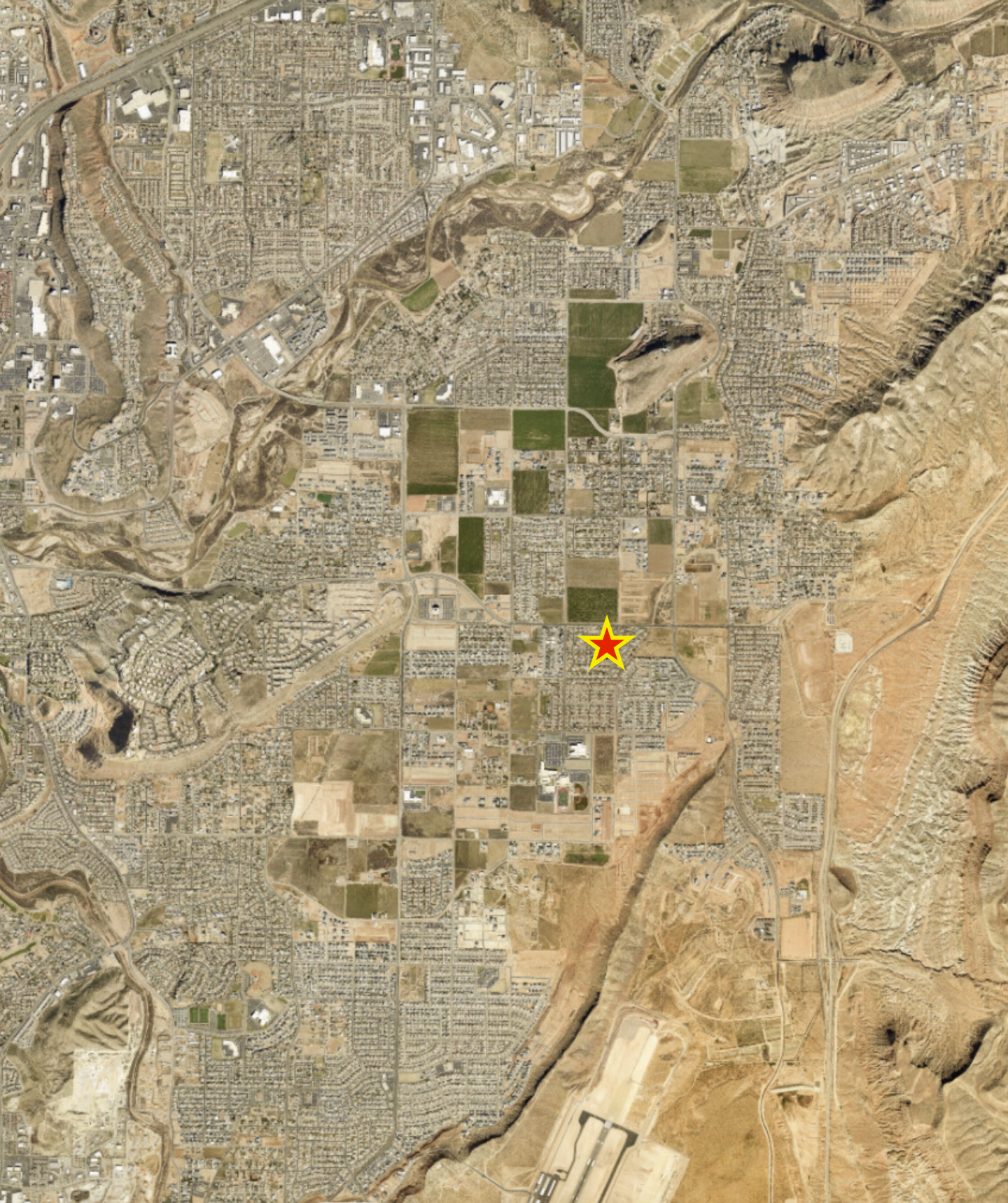
I hold an Associate's Degree in Business, which has given me a strong foundation in organization, communication, and program management. In addition, I have volunteered in both of my son's preschool classrooms over the past two years. This hands-on experience has given me valuable insight into early childhood learning, classroom routines, and how to create a positive and supportive environment for young children. I have also been room mom for my older son's class and

I strive to create a safe space for each child. I want a welcoming, positive atmosphere where every child feels valued. My program will focus on teaching kindness, respect, and independence, while helping children build the skills they need to succeed in kindergarten and beyond.

My classes will be structured with 8 Children in each class. I will have one Monday/Wednesday morning class 9-1130 and one class on Tuesday/Thursday 9-1130. And one class that follows the same itinerary as the morning from 1230-3pm on Tuesday/Wednesday/Thursday. The ages of the children will range from 3-5. I will be running my classes by myself.

Safety and communication with families are a top priority. I am committed to maintaining a clean, organized environment that is safe for the children. I will keep parents informed about schedules and the things we are focusing on.

Through a balance of play-based learning and structured activities, my preschool will provide children with a strong foundation for lifelong learning.



Landscaping consists of Grass, gravel and misc. Plants and trees

T)

PLAN: WESTWOOD_SH_SLAB	VERSION: 1	FOUNDATION TYPE: SLAB ON GRADE	494 WEST 1300 NORTH SPRINGVILLE, UT, 84663 OFFICE (801) 491-9991 FAX (801) 491-9994 what: salisbury.com		
COMMUNITY: STONEHEDGE PH #2	LOT# 234	SQ. FEET: 16,705	ACRE: 0.38	DATE: 8-31-10	SCALE: 1" = 20'
ADDRESS: 265 EAST KIBALL COURT					



Block wall around perimeter of lot

Grass Play Area

Class room

WESTWOOD 234
16,705 Sq Ft

265 E

KIMBALL COURT

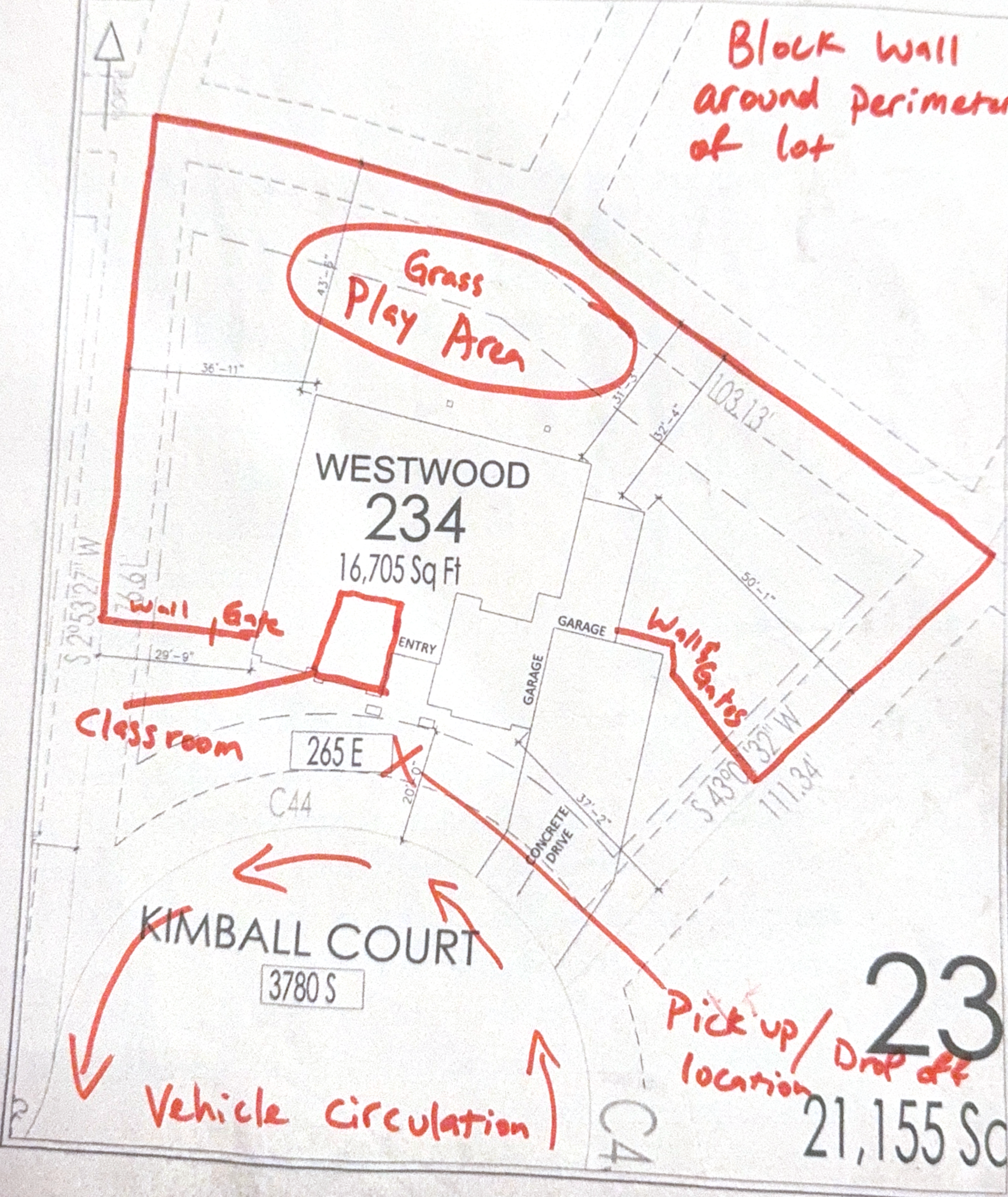
3780 S

Vehicle Circulation

Pick up / Drop off location

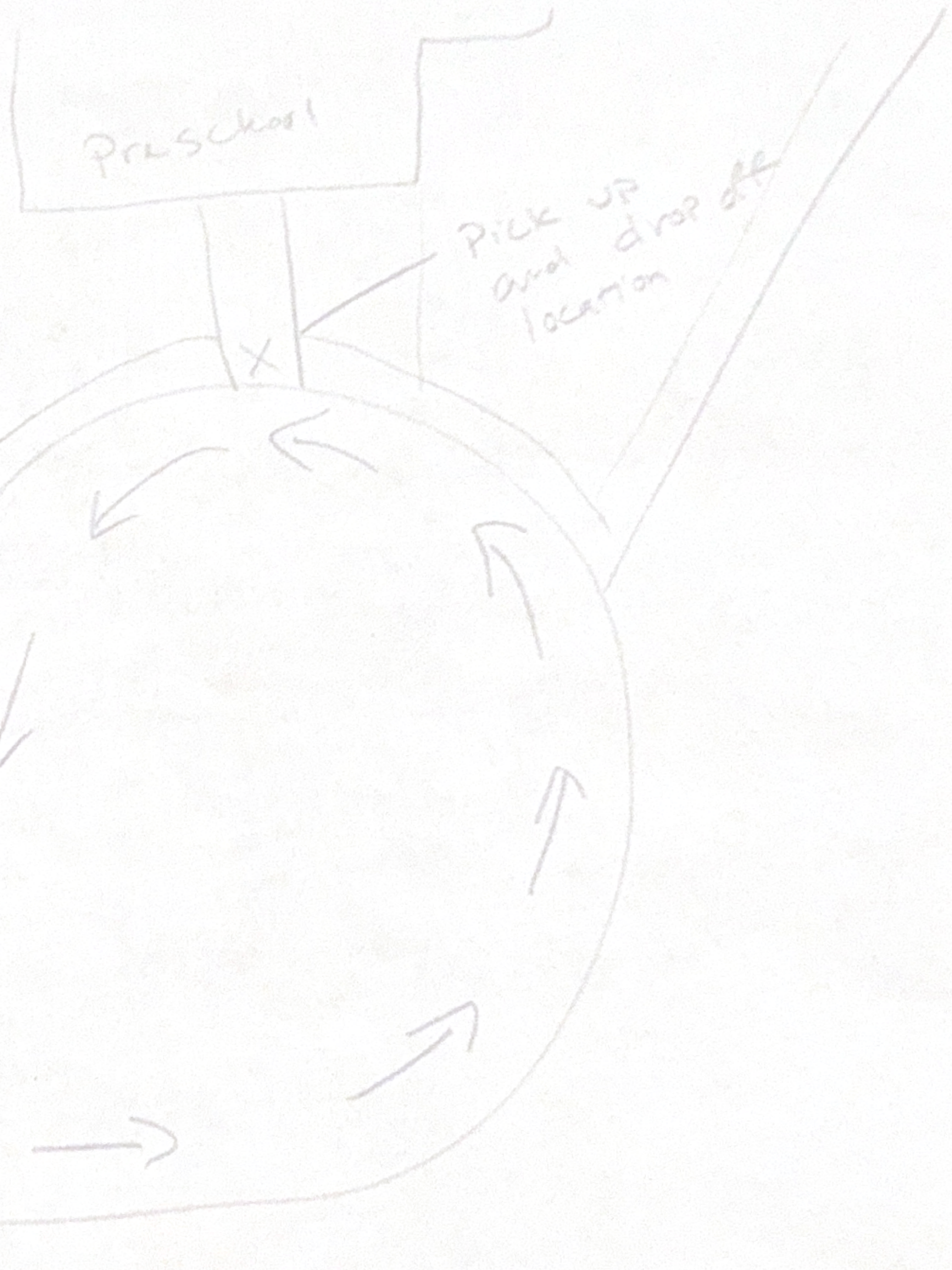
23

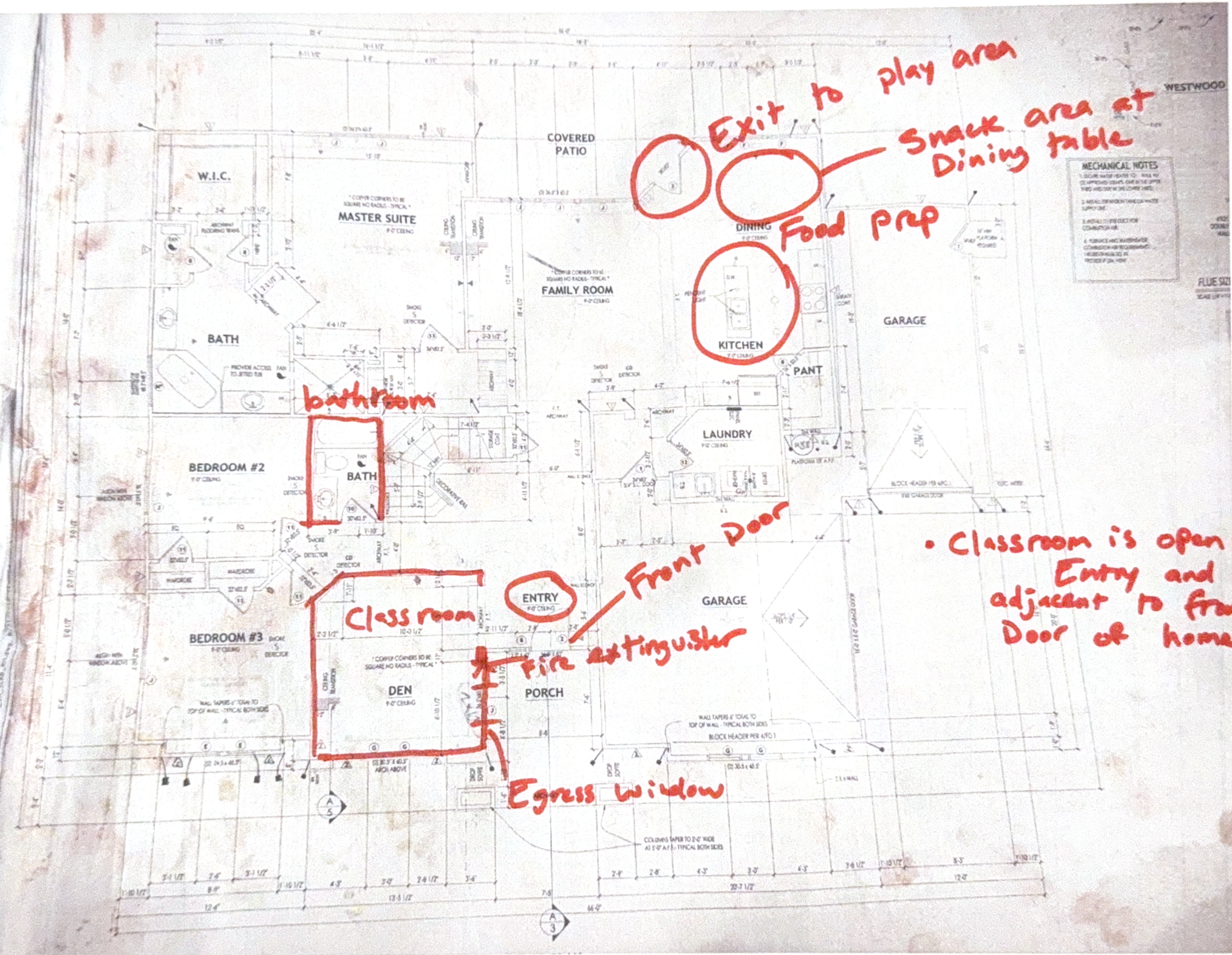
21,155 Sq



There will be 8
kids in the class and
the pickup / drop off times
will be 2 groups of 4.

The first group will drop off
10 minutes before class and the
second group will be 5 minutes
before class. The first group
pickup time will be right when
class ends and the 2nd group
will be 5 minutes after class ends.





Exit to play area
 Snack area at Dining table

Food prep

bathroom

Class room

Front Door

Fire extinguisher

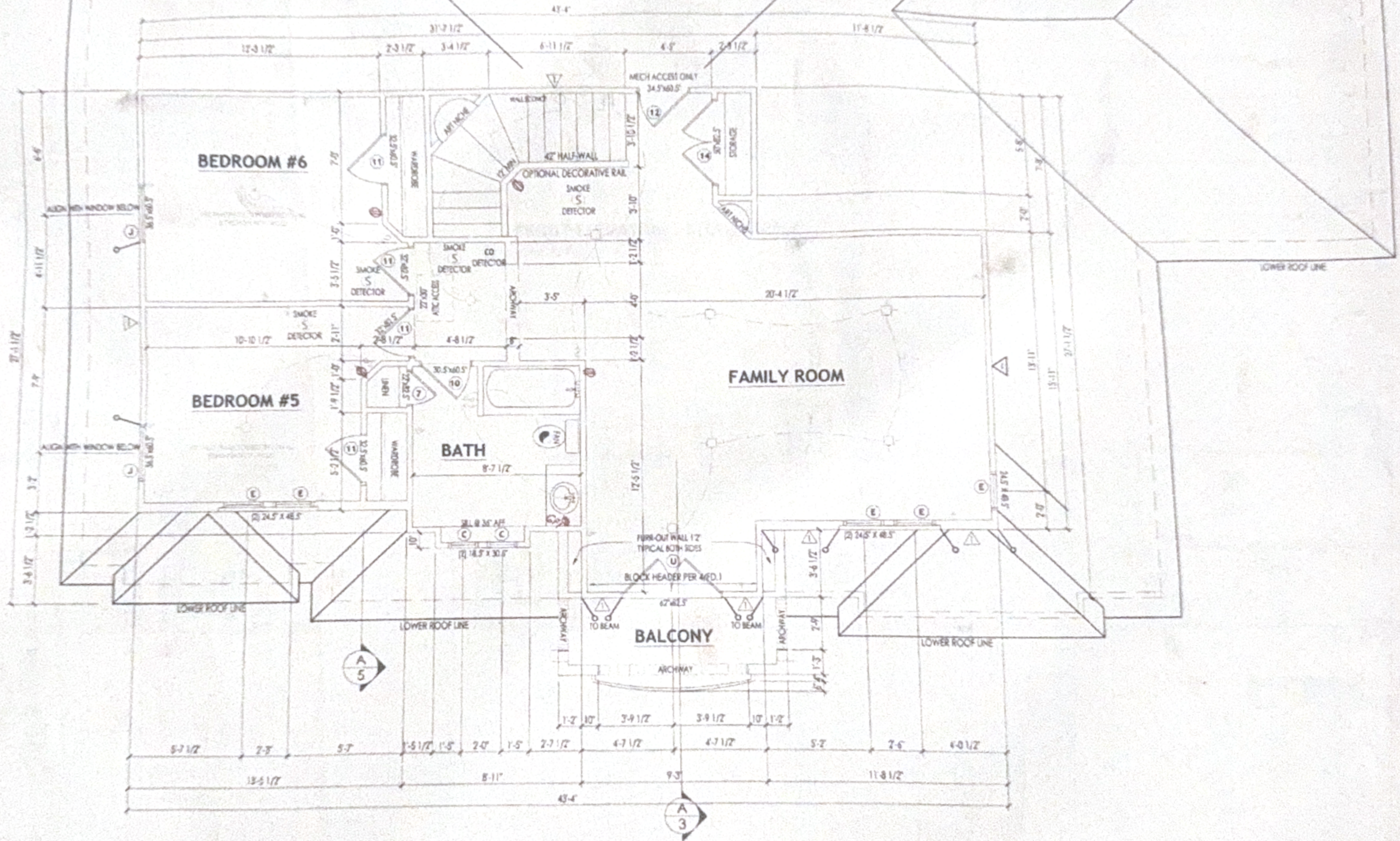
Egress window

• Classroom is open to Entry and adjacent to front Door of home

MECHANICAL NOTES
 1. SECURE WATER HEATER TO WALL BY APPROX. 250#S. ONE AT THE TOP AND ONE AT THE BOTTOM.
 2. REPAIR/REPLACE/REPLACE WATER SUPPLY LINE.
 3. INSTALL FIRE EXTINGUISHER FOR CONSTRUCTION USE.
 4. FOR BRACKETS AND WATER/SUPPLY CONNECTIONS AND REQUIREMENTS, REFER TO LOCAL CODES OR PROVIDE ON DRAWING.

FLUE SIZE
 SCALE 1/8" = 1'-0"

UP STAIRS WILL NOT BE USED AT ALL



UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

948 SQ. FT.

Backyard play area



Bathroom



Classroom



Snack Area



Side Yards



Entrance/Exit to Preschool



Entrance/Exit to the backyard right off the snack area



Itinerary Monday- Thursday

8:55-9:00 AM drop off

9:00-9:15 Stem Play

9:15-9:40 Circle/Rug time

9:40-10:20 Centers

10:20-10:25 Clean up

10:25-10:35 Recess

10:35 -10:45 Snack Time

10:50-11:20 Science or Class Craft

11:20 Clean up

11:30 Parent Pick up

September 2026 Snack Calendar

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1 String Cheese	2 Blueberries	3 Bananas	No School	5
6	7 Labor Day No School	8 Blueberries	9 Yogurt	10 Pretzels	No School	12
13	14 Crackers	15 Cookies	16 String Cheese	17 Blueberries	No School	19
20	21 Apples	22 Strawberries	23 Blueberries	24 Yogurt	No School	26
27	28 Goldfish	29 Crackers	30 Cookies		No School	

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE: May 6th, 2026

ACTION REQUESTED: Z-26-09 - A request to rezone approximately 8.26 acres located at approximately 2350 South Washington Fields Rd from the current RA-5 and A-20 to a proposed RA-1/2 zoning designation.

APPLICANT: Brandee Walker

OWNER: Glen Esplin Trustees, Mark & Joan Chipman, Cody Schmitt, Clyde & Thelma Whittaker, Brandon Iverson, Randan & Mandy Staheli, Ralph Staheli

ENGINEER: Civil Science

REVIEWED BY: Eldon Gibb, Community Development Director

RECOMMENDATION: Recommend approval to the City Council

Background

The applicant is proposing to change the zoning of approximately 8.26 acres, located at approximately 2350 South Washington Fields Road. The requested change is from the current zoning of RA-5 and A-20 to a proposed RA-1/2 zoning designation.

The General Plan Land Use designation for this area is LD which provides a 3-4 D.U/Acre ratio and the R-1-10 zoning designations and larger. The proposal is in line with the General Plan. The surrounding zoning to this parcel is A-20 to the north, RA-5 to the east and south along with RA-2 and A-20 to the west.

The RA-1/2 request serves two purposes. First, it aligns the zoning with the lot sizes and Second, it would provide the zoning for an additional single family residence to be considered in the North/East corner of the Zone Change Application which is currently zoned A-20.

Recommendation

Staff recommends that the Planning Commission recommend approval of Z-26-09, onto the City Council, based on the following findings below.

Findings

1. That the requested zoning conforms to the intent of the land use designation of the General Plan.
2. The utilities that will be necessary for this type of development will be readily accessible to the site.

Zone Change Narrative

2300 S Washington Fields Road

The applicant is requesting a zone change for approximately **8.26 acres** comprised of seven (7) parcels located in Washington City, Utah. The subject properties are currently zoned **RA-5 (Residential Agricultural – 5 acre minimum)**, with a portion of the site zoned **A-20 (Agricultural – 20 acre minimum)**.

The proposed zone change would rezone the entirety of the included area to **RA-1/2 (Residential Agricultural – 0.5 acre minimum)**.

The subject properties are currently under separate ownership and are identified as follows:

- Parcel No. W-5-2-26-2211 (Glen Esplin Trustees) – 1.87 acres
- Parcel No. W-5-2-26-22051 (Mark & Joan Chipman) – 1.87 acres
- Parcel No. W-5-2-26-2212 (Cody Schmitt) – 1.87 acres
- Parcel No. W-5-2-26-2201-A-1 (Clyde & Thelma Whittaker) – 1.09 acres
- Parcel No. W-5-2-26-22061 (Brandon Iverson) – 0.46 acres
- Parcel No. W-5-2-26-2202 (Randan & Mandy Staheli) – 0.33 acres
- Parcel No. W-5-2-26-210301 (Ralph Staheli) – **0.77** acres

Purpose of the Request

The primary purpose of this request is to implement a zoning map correction that brings the existing parcels into compliance with Washington City's zoning regulations.

The subject parcels were created historically and currently exist as legal parcels of record; however, several of the parcels do not meet the minimum lot size requirements of the existing RA-5 and A-20 zones. As a result, the current zoning is inconsistent with the established parcel configuration.

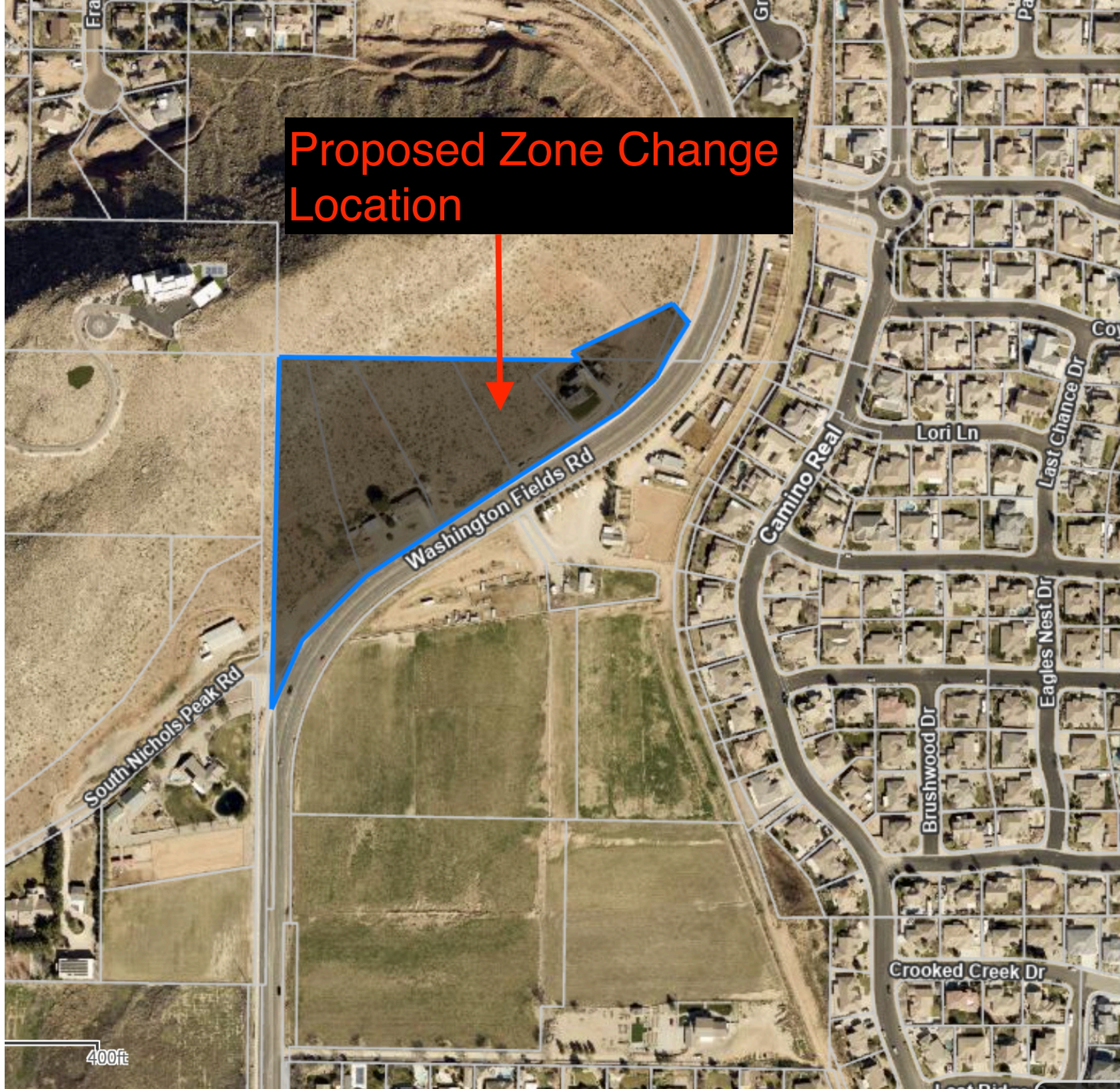
Rezoning the properties to RA-1/2 will:

- Bring the existing parcels into conformance with minimum lot size requirements
- Eliminate existing nonconforming lot conditions
- Allow for reasonable use of the properties consistent with their current configuration
- Provide a clear and consistent regulatory framework for future development or improvement

Compatibility with Surrounding Area

The proposed RA-1/2 zoning maintains a **low-density residential character** while allowing parcels to be used in a manner consistent with their size. The zoning district continues to support a semi-rural residential environment and serves as an appropriate transition between larger agricultural holdings and smaller residential properties in the area.

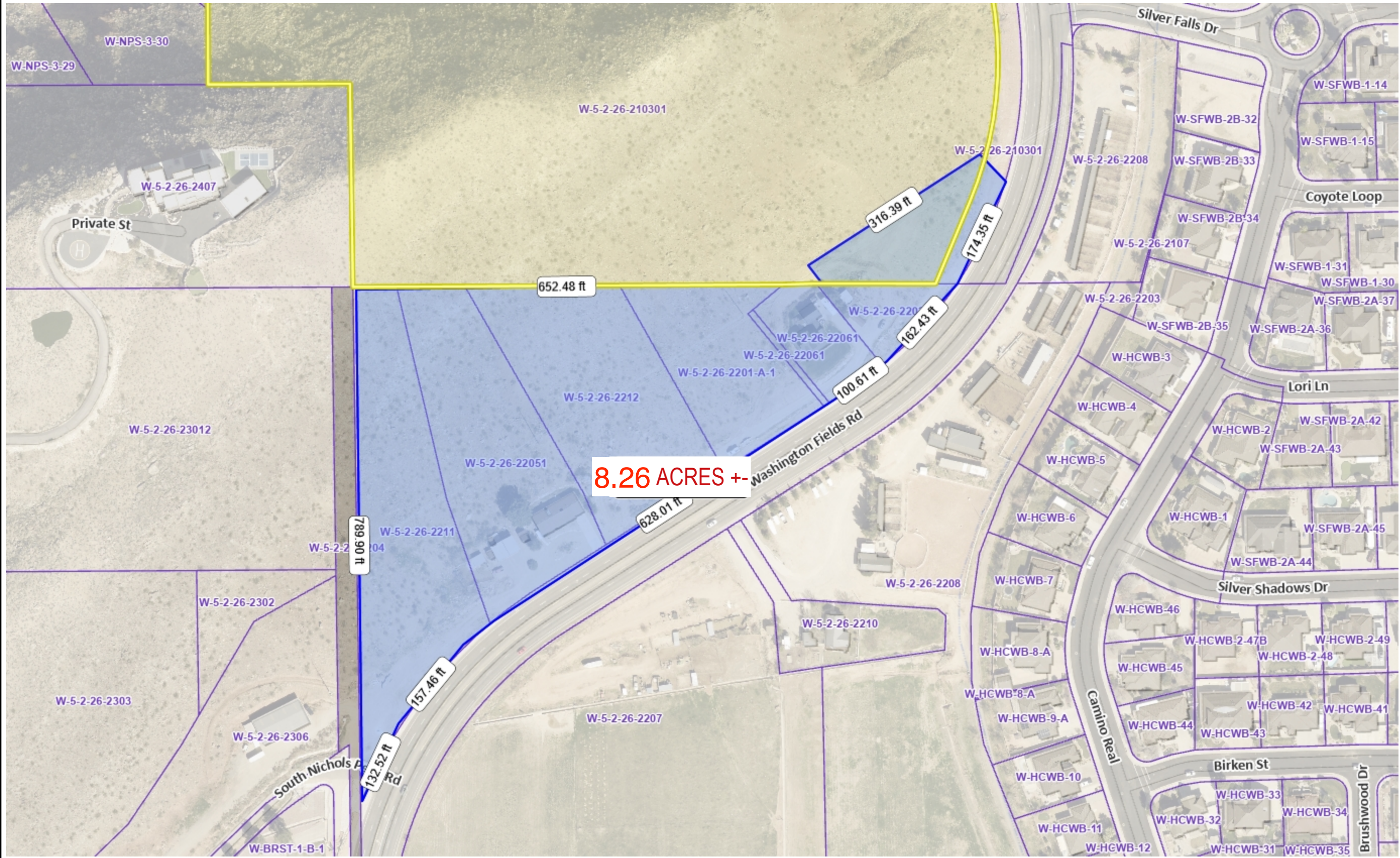
Proposed Zone Change Location



400ft



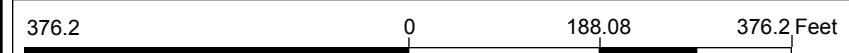
Zone Change



8.26 ACRES +/-

Legend

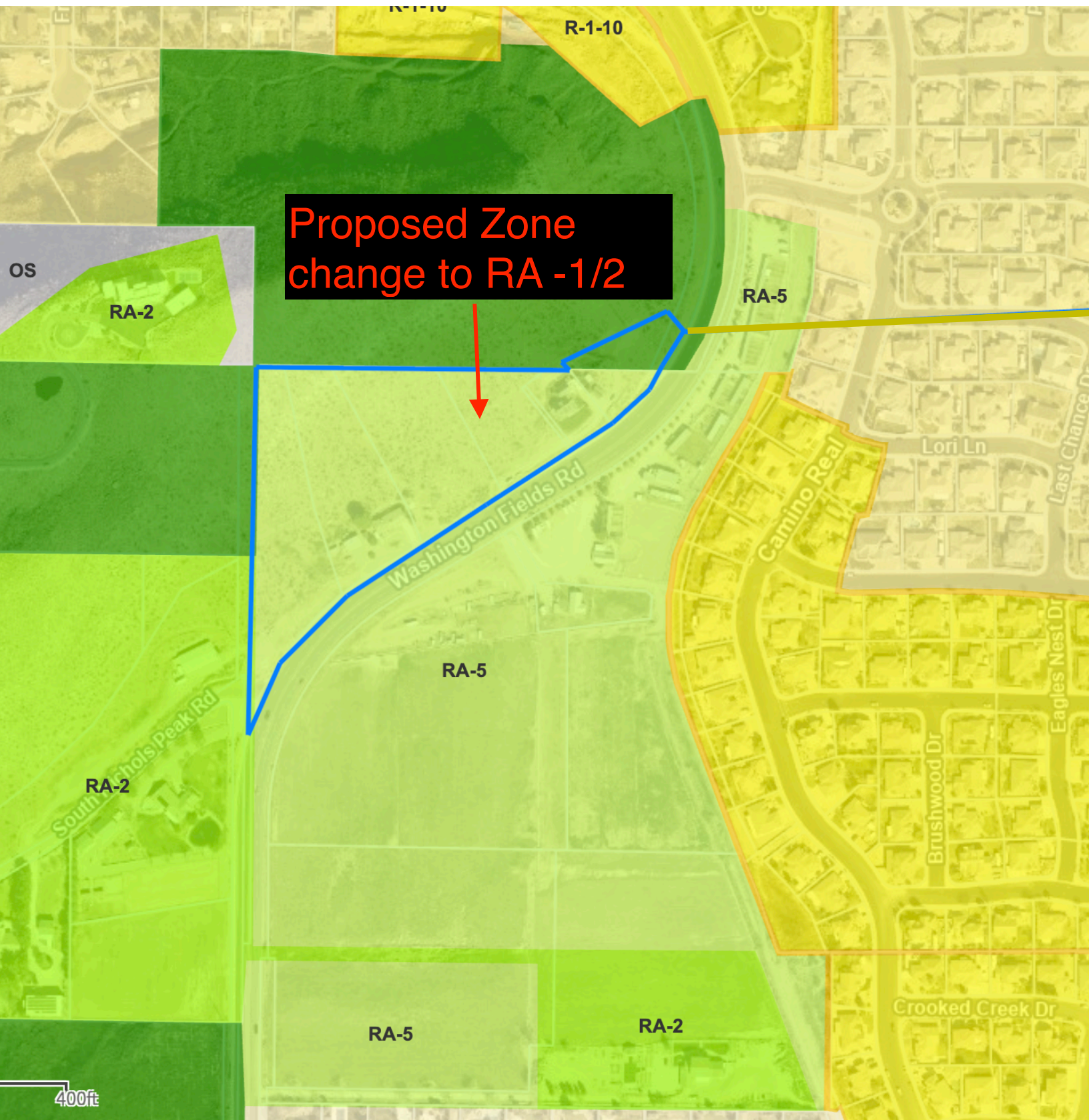
- Parcels
- Ownership
 - U.S. Forest Service
 - U.S. Forest Service Wilderness
 - Bureau of Land Management
 - Bureau of Land Management Wild
 - National Park Service
 - Shivwits Reservation
 - Utah Division of Wildlife Resources
 - Utah Division of Transportation
 - State Park
 - State of Utah
 - Washington County
 - Municipally Owned
 - School District
 - Privately Owned
- Water
- Water Conservancy District
- State Assessed Oil and Gas
- Mining Claim



WGS_1984_Web_Mercator_Auxiliary_Sphere

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.

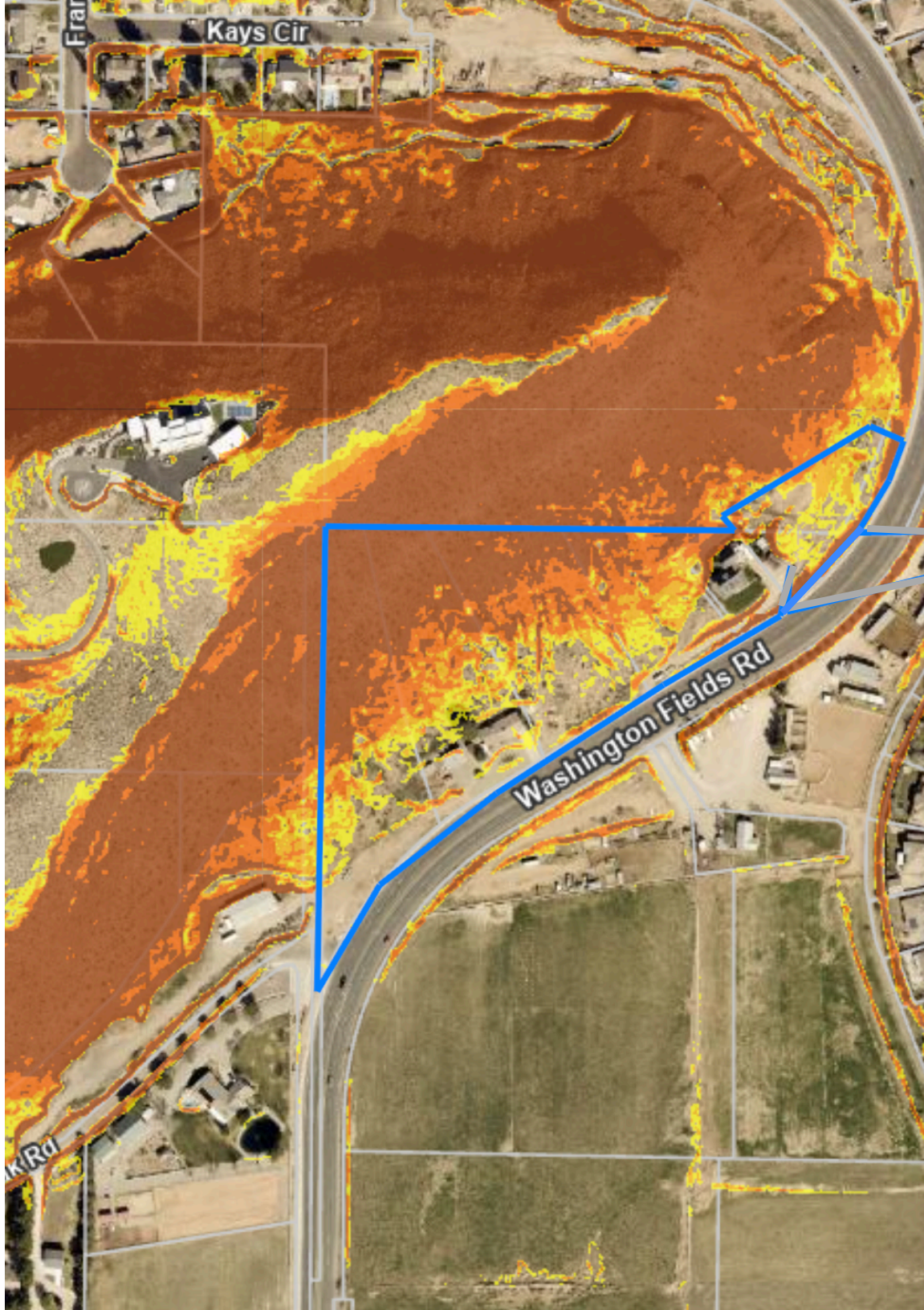
Notes



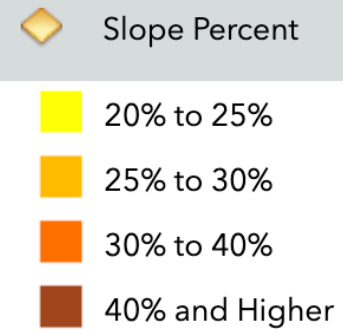
Proposed Zone
change to RA -1/2



400ft



- ▶ Transportation Master Plan - Signals
- ▶ Transportation Master Plan 2021
- ▶ Virgin River EHZ
- ▶ Zoning - Short Term Rental Overlay Z
- ▶ Zoning
- ▶ Fire Hydrants
- ▶ Flood Hazard Layers
- ▼ Hillside Slope Percent



- ▶ Street Ownership
- ▶ Subdivisions
- ▶ StreetLabels
- ▶ Address & Parcel

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

HEARING DATE:	May 6th, 2026
ACTION REQUESTED:	Z-26-10 - A request to rezone approximately 1.92 acres located at 1290 East Washington Dam Rd from the current RA-2 to a proposed Light Industrial (I-1) zoning designation.
APPLICANT:	Ken Smith
OWNER:	Beth Hart, Trustee
ENGINEER:	None at this time
REVIEWED BY:	Eldon Gibb, Community Development Director
RECOMMENDATION:	Recommend approval to the City Council

Background

The applicant is proposing to change the zoning of approximately 1.92 acres, located at 1290 East Washington Dam Road. The requested change is from the current zoning of RA-2 to a proposed Light Industrial (I-1) zoning designation.

The General Plan Land Use designation for this area is Industrial. The proposal is in line with the General Plan. The surrounding zoning to this parcel is Industrial. The Light Industrial request fits in with the character and function of the surrounding uses. If this Zone Change is approved, the applicant is planning to build flex place that complies with the light industrial use list such as storage area for trade contractors and small business owners along with light assembly and production of goods.

Recommendation

Staff recommends that the Planning Commission recommend approval of Z-26-10, onto the City Council, based on the following findings below.

Findings

1. The requested zoning conforms to the intent of the land use designation of the General Plan.
2. The utilities that will be necessary for this type of development are readily accessible

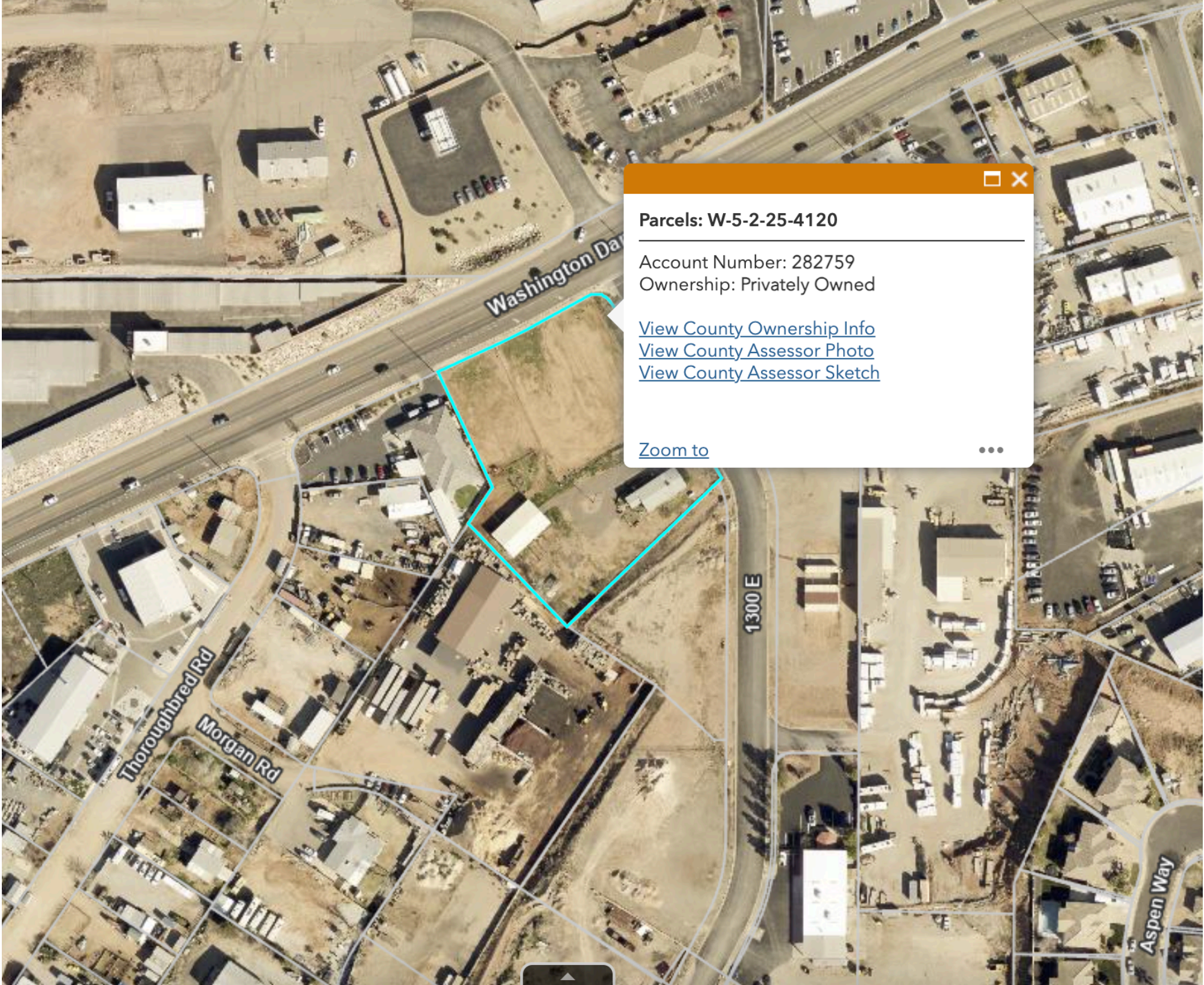
Narrative

This application request seeks approval to rezone parcel W-5-2-25-4120 from Residential/Agricultural-2 (RA-2) to Light Industrial (I-1) in order to allow for the development of a light industrial building. The subject property is located within an area that has already transitioned to predominantly industrial uses, with surrounding parcels zoned for both light and heavy industrial purposes. As a result, the current residential/agricultural designation is no longer consistent with the character or function of the area.

The proposed rezone will bring the property into alignment with adjacent zoning, promoting a more cohesive and logical land use pattern. The development of a light industrial building at this location represents a compatible and less intensive use relative to nearby heavy industrial properties, while still supporting economic development goals.

This rezone will enable productive use of the property, contribute to job creation, and make efficient use of existing infrastructure and services already supporting the surrounding industrial area. Overall, the proposal is consistent with sound planning principles and supports the continued growth and development of Washington City's industrial base.

The primary goal of this project is to develop and retain long-term ownership of a high-quality light-industrial building designed for lease to multiple tenants. The intent is to create a professionally managed flex-industrial property that serves local and regional businesses while maintaining consistent property standards over time.



Parcels: W-5-2-25-4120

Account Number: 282759
Ownership: Privately Owned

- [View County Ownership Info](#)
- [View County Assessor Photo](#)
- [View County Assessor Sketch](#)

[Zoom to](#)



General Plan

Parcel: W-5-2-25-4120

Account Number: 282759
Ownership: Privately Owned

[View County Ownership Info](#)
[View County Assessor Photo](#)
[View County Assessor Sketch](#)

[Zoom to](#) ⋮

