



AMERICAN FORK CITY DEVELOPMENT REVIEW COMMITTEE AGENDA

Regular Session
March 30, 2026
Monday 9:00 AM

American Fork City Public Works Building
275 East 200 North
American Fork City, UT 84003

<https://www.americanfork.gov/AgendaCenter>

Development Review Committee Members

Patrick O'Brien, Dev. Services Director

Sam Kelly, Public Works Director

Aaron Brems, Fire Chief

Notice is hereby given that the American Fork City Development Review Committee will meet in regular session on March 30, 2026, at the American Fork City Public Works building, 275 East 200 North commencing at 9:00 AM. The agenda shall be as follows:

1. Regular Session

- a. Roll Call

2. Public Comments

- a. Up to a 10-minute public comment period to receive public comments. Each speaker is limited to two minutes.

3. Common Consent Agenda (Common Consent is that class of DRC action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the March 23, 2026, Development Review Committee minutes.

4. Action Items (Action Items is that class of DRC action that requires further discussion on Preliminary Plans, Final Plats, and Amended Commercial Site Plans. The Development Review Committee Board will have authority to approve Preliminary Plans and Final Plats but make a recommending action on Commercial Site Plans.)

- a. Review and action on an application for an Amended Commercial Site Plan, known as Gunthers TI, located at approximately 706 E 50 S, American Fork City. The Amended Commercial Site Plan consists of approximately 1.95 acres and is in the Planned Commercial (GC-2) Zone.

- b. Review and recommendation on an application for a Commercial Site Plan, known as Climb Concrete, located at approximately 300 E 1700 S, American Fork City. The Commercial Site Plan consists of approximately 5 acres and is in the Industrial (I-1) Zone.

5. Adjournment

Dated this 26 day of March 2026

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Development Review Committee*

UNAPPROVED MINUTES
03.23.2026

AMERICAN FORK CITY
DEVELOPMENT REVIEW COMMITTEE REGULAR SESSION

March 23rd, 2026

The American Fork City Development Review Committee met in a regular session on March 23rd, 2025, at the American Fork Public Works Building, 275 East 200 North, commencing at 9:00 a.m.

Development Review Committee:

Public Works Director: Sam Kelly

Development Services Director: Patrick O'Brien

Fire Chief: Aaron Brems

Staff Present:

Cody Opperman

Planner II

Ben Hunter

City Engineer

Mat Sacco

Fire Marshall

Angie McKee

Administrative Assistant I

Others Present: Shay Larson, Mark Hampton, Taylor Butterfield, Cinda Shill

REGULAR SESSION

Roll Call

Public Comment Opened

No Comments

Public Comment Closed

COMMON CONSENT AGENDA

Minutes of the March 16th 2026, Development Review Committee Regular Session.

Patrick O'Brien motioned to approve the Common Consent agenda

Aaron Brems seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

ACTION ITEMS

- a. Review and action on an application for an Amended Site Plan, known as Navarro Home, located at 247 E 700 N, American Fork City. The Commercial Site Plan consists of 1.68 acres and is in the RA-1 Zone.**

Cody Opperman reviewed the background information for action item letter a: The applicant has applied for an Amended Site Plan to develop a residential home. The project looks to provide the minimum level of improvements associated with the property due to a new home on the lot. There are a few conditions of approval that will need to be met.

Taylor Butterfield, the project contractor, explained that the reason the driveway width was changed to 17 feet is due to the cost of the gate as a 20-foot gate is much more expensive.

The Fire Marshall Mat Sacco explained that the driveway would need to be the full 20 feet in order to get the fire apparatus onto the property, so that change will still be a condition that must be addressed.

UNAPPROVED MINUTES

03.23.2026

Patrick O'Brien moved to approve the proposed Amended Site Plan, located at 247 E 700 N, American Fork City, in the RA-1 Zone, as the Amended Site Plan meets the requirements of Section 17.4.102 and Section 17.6.101, subject to any conditions found in the staff report.

Aaron Brems seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

- b. Review and action on an application for an Amended Final Plat, known as Walton Lot, located at approximately 794 W 1000 N Circle, American Fork City. The Amended Final Plat consists of 2.38 acres and is in the R1-12000 and RA-1 Zone.**

Cody Opperman reviewed the background information for action item letter b: The applicant is applying for an Amended Final Plat to allow for the building of a single-family home on one of the lots. This application will help clean up a prior subdivision and ensure that all lots meet the requirements of the underlying zone. The public hearing portion for the Amended Final Plat was completed on March 9, 2026. There are a couple of conditions of approval that will need to be met.

Sam Kelly moved to approve the proposed Amended Final Plat, located at 794 W 1000 N Circle, American Fork City, in the Residential Agriculture RA-1 and Residential R1-12,000 Zones, as the Amended Final Plat meets the requirements of Section 17.4.203 R-1-12,000 Residential Zone, Section 17.4.102 RA-1 Residential-Agricultural Zone and Section 17.8.217 Amended Plats, subject to any conditions outlined in the staff report.

Patrick O'Brien seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

- c. Review and recommendation on an application for a Commercial Site Plan, known as Mira Vista Phase 4, located at 530 S 1040 E, American Fork City. The Commercial Site Plan consists of approximately 1.05 acres and is in the R3-7500 Zone.**

Cody Opperman reviewed the background information for action item letter c: The applicant has applied for a Commercial Site Plan to develop a Condominium Planned Community. The project looks to develop 20 condos in a three-story building. This is phase 4 of a multiple part planned community and will be the final phase of the project. An Amended Final Plat for the project has been recently approved with the DRC Board on February 17, 2026. With the Amended Final Plat, the required public hearing portion was completed on July 14, 2025. There are a couple of conditions of approval that will need to be addressed.

Aaron Brems moved to recommend approval of the proposed Commercial Site Plan, located at approximately 530 S 1040 E, American Fork City, in the R3-7500 Zone, as the Commercial Site Plan meets the requirements of Section 17.4.301 and Section 17.6.101, subject to any conditions found in the staff report.

Sam Kelly seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

- d. Review and action on an application for an Amended Commercial Site Plan, known as Highline Townhomes Temp Parking Lot, located at approximately 495 S 1110 W, American Fork City. The Commercial Site Plan consists of 0.1 acres and is in the TOD Zone.**

Cody Opperman reviewed the background information for action item letter d: The applicant has applied for an Amended Commercial Site Plan to develop a Temporary Parking Lot for their townhome products and sales office/model home. The project looks to provide 9 parking stalls for their sales office/model home temporarily on Parcel IDs: 38:725:0319, 39:725:0320, and 38:725:0321. There are a few conditions of approval that will need to be met, including changes to the ADA stalls.

Patrick O'Brien moved to approve the proposed Amended Commercial Site Plan for a Temporary Parking Lot, located at approximately 495 S 1110 W, American Fork City, in the TOD Zone, as the Amended Commercial Site Plan meets the requirements of Section 17.6.101, subject to any conditions found in the staff report.

Sam Kelly seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

Other Business

There was no other business to discuss

Adjournment

UNAPPROVED MINUTES

03.23.2026

Sam Kelly motioned to adjourn the meeting.

Aaron Brems seconded the motion.

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

Meeting adjourned at 9:19 AM

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the committee, public, and staff.



Agenda Topic

Review and action on an application for an Amended Commercial Site Plan, known as Gunther's Tennant Improvements, located at approximately 706 E 50 S, American Fork City. The Amended Commercial Site Plan consists of 1.95 acres and is in the Planned Commercial (GC-2) Zoning.

BACKGROUND INFORMATION		
Location:	706 E 50 S	
Parcel ID:	13:058:0110	
Project Type:	Amended Commercial Site Plan	
Applicants:	Dale Gunther	
Existing Land Use:	General Commercial	
Surrounding Land Use:	North	Design Industrial
	South	General Commercial
	East	Residential High Density
	West	General Commercial
Existing Zoning:	GC-2 General Commercial	
Surrounding Zoning:	North	PI-1 Planned Industrial
	South	GC-1 General Commercial
	East	R3-7500 and GC-2
	West	GC-2 General Commercial



<p>Square Footage (By Use)</p>	<p>Building #1 Office: 8466 Warehouse: 11360</p> <p>Building#2 Office: 3200 Warehouse: 10917</p>
<p>Parking Requirement</p>	<p>Total required: 69 Stalls Total Provided: 69 Stalls</p>

Background

The applicant has applied for an Amended Commercial Site Plan to develop additional office and warehouse space. The project looks to add a second story to some areas and create additional office and warehouse space within an existing building.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.

- c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Project Conditions of Approval

- a. N/A

Findings of Fact

1. The Amended Commercial Site Plan meets the requirements of Section 17.4.404 GC-2 Planned Commercial Zone.
2. The Amended Commercial Site Plan meets the requirements of Section 17.7.601 Planned Commercial Development Projects.
3. The Amended Commercial Site Plan meets the requirements of Section 17.6.101.

Development Review Committee Staff Report
Meeting Date: March 30, 2026





Potential Motions – Amended Commercial Site Plan

Approval

I move to approve the proposed Amended Commercial Site Plan, located at approximately 706 E 50 S, American Fork City, in the GC-2 Planned Commercial Zone, as the Amended Commercial Site Plan meets the requirements of Section 17.4.404 GC-2 Commercial zone, Section 17.7.601 Planned Commercial Development Projects, and 17.6.101 Administrative Site Plan Review.

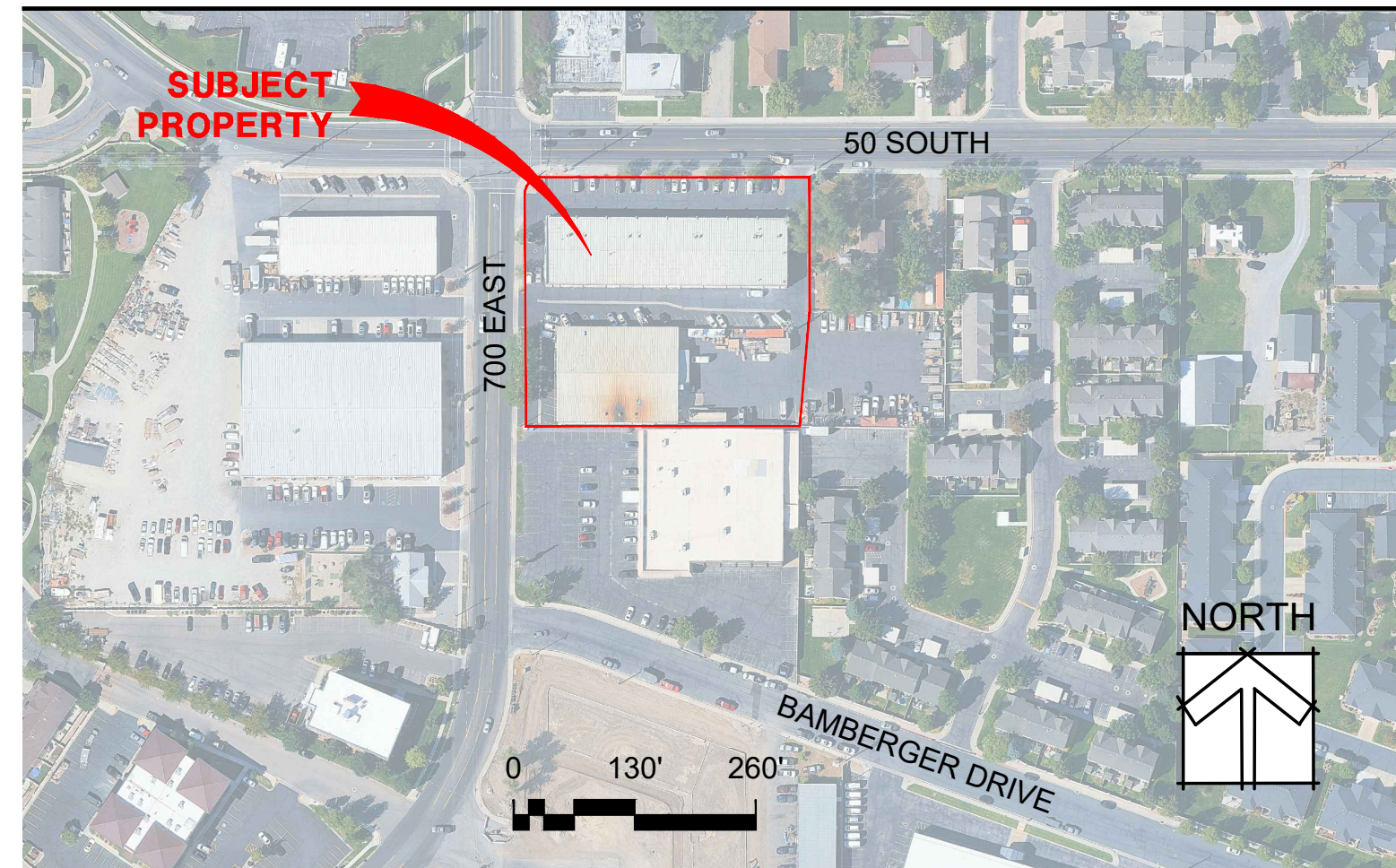
Denial

I move to deny the proposed Amended Commercial Site Plan, located at approximately 706 E 50 S, American Fork City, in the GC-2 Planned Commercial Zone as the Amended Commercial Site Plan does not meet the requirements of Section 17.4.404 GC-2 Planned Commercial zone, Section 17.7.601 Planned Commercial Development Projects, and 17.6.101 Administrative Site Plan Review.

Table

I move to table action for the proposed Amended Commercial Site Plan, located at located at approximately 706 E 50 S, American Fork City, in the GC-2 Planned Commercial Zone and instruct staff/developer to.....

VICINITY MAP



CONTACT LIST

OWNER
 COMPANY: GUNTHERS HEATING | COOLING | PLUMBING
 CONTACT: RUSS GUNTHER, CO-PRESIDENT
 PHONE: (801) 592.0159 - CELL
 EMAIL: russell@gunthers.com
 ADDRESS: 81 SOUTH 700 EAST AMERICAN FORK, UTAH

CIVIL ENGINEER
 COMPANY: DOMINION ENGINEERING, L.C.
 CONTACT: JEREMY HANSON
 PHONE: (801) 713.3000
 EMAIL: jeremyh@dominioneng.net
 ADDRESS: 5684 SOUTH GREEN STREET MURRAY, UTAH 84123

GENERAL CONTRACTOR
 COMPANY: POLARITY POWER, LLC.
 CONTACT: DAVID HEALEY
 PHONE: (801) 347.3026 - CELL
 EMAIL: healeybomb@gmail.com
 ADDRESS: AMERICAN FORK, UT 84003

ARCHITECT
 COMPANY: GOULD PLUS ARCHITECTS
 CONTACT: DAN GOULD
 PHONE: (801) 884.8502 - CELL
 EMAIL: dan@gouldplus.com
 ADDRESS: 427 WEST 11950 SOUTH, SUITE #201 DRAPER, UTAH 84020

AMERICAN FORK CITY CONTACTS:

PUBLIC WORKS	JAY BREMS:	(801) 763-3060
• CULINARY WATER / PI	ASHTON HARDY:	(801) 763-3060
• SEWER/STORM DRAIN	CHAD SCOTT	(801) 763-3060
• CITY INSPECTOR	TYLER MEZENEN	(801) 763-3060
• SWMP MANAGER		

AF FIBER WILL DAVIS: (801) 897-9826
 AF FIRE MARSHAL MAT SACCO: (801) 763-3045
 AF IRRIGATION COMPANY ERNIE JOHN: (801) 471-6576
 BLUE STAKES UTAH (800) 862-4111
 COMCAST ELYSIA VALDEZ: (801) 401-3017
 CENTURY LINK BILL WESTGALL: (435) 623-4252
 ENBRIDGE GAS JEREMY LITTEAL (385) 315-8599
 T.S.D. DAVID BARLOW: (801) 756-5231
 ROCKY MOUNTAIN POWER TERIA WALKER: (801) 756-1310

ABBREVIATIONS

A.B. ANCHOR BOLT	EWC. ELECTRIC WATER COOLER	OD. OUTSIDE DIAMETER
ACOUST. ACOUSTICAL	EXIST. EXISTING	OPNG. OPENING
A.F.F. ABOVE FINISH FLOOR	EXP. EXPOSED, EXPANSION	OPP. OPPOSITE
ALT. ALTERNATE	EXT. EXTERIOR	P. PAINT
ALUM. ALUMINUM	FLOOR DRAIN	P.C. PIECE
APPROX. APPROXIMATELY	F.D. FACE OF	PL., PL. PLASTER, PLASTIC
ARCH. ARCHITECTURAL	FIN. FINISH	PLYWD. PLYWOOD
BD. BOARD	FL. FLOOR	QUAN. QUANTITY
BLDG. BUILDING	FDN. FOUNDATION	R. RADIUS; RISER
BLK. BLOCK	F.S. FLOOR SINK	R.D. ROOF DRAIN
BLKG. BLOCKING	FT. FOOT, FEET	REINF. REINFORCING
BM. BEAM	FTG. FOOTING	REQD. REQUIRED
B.O. BOTTOM OF	G.C. GENERAL CONTRACTOR	RESIL. RESILIENT
B.O.S. BOTTOM OF STEEL	G.A. GAUGE; GYPSUM ASSOC.	REV. REVISION, REVERSE
BRG. BEARING	GALV. GALVANIZED	RM. ROOM
BS. BOTH SIDES	GEN. GENERAL	R.O. ROUGH OPENING
BOT. BOTTOM	GYP. BD. GYPSUM BOARD	RQMTS. REQUIREMENTS
B.U.R. BUILT UP ROOF	H. HIGH	RTU. ROOF TOP UNIT
C.I. CAST IRON	H.B. HOSE BIBB	R.W.L. RAIN WATER LEADER
C.J. CONTROL JOINT	HC. HANDICAPPED	SCHED. SCHEDULE
C.T. CERAMIC TILE	HDW. HARDWARE	SF. SQUARE FEET, STOREFRONT
CAB. CABINET	H.M. HOLLOW METAL	SHT. SHEET
CEM. CEMENT(ITIOUS)	HORIZ. HORIZONTAL	SIM. SIMILAR
CG. CORNER GUARD	HT. HEIGHT	S.M.S. SHEET METAL SCREW
CLG. CEILING	H.V.A.C. HEATING VENTILATING & AIR CONDITIONING	SPECS. SPECIFICATIONS
CMU. CONC. MASONRY UNIT	ID. INSIDE DIAMETER	SQ. SQUARE
CO. CLEAN OUT	INCL. INCLUDE(ING)	S.S. SERVICE SINK, STAINLESS STEEL
COL. COLUMN	INSUL. INSULATION	STD. STANDARD
CONC. CONCRETE	INT. INTERIOR, INTERMEDIATE	STL. STEEL
CONST. CONSTRUCTION	JT. JOINT	STOR. STORAGE
CONT. CONTINUOUS	LAM. LAMINATED	STRUC. STRUCTURAL
CONTR. CONTRAIL, CHAIRRAIL	LF. LINEAR FEET	SUSP. SUSPENDED
D. DEPTH; DEEP	LG. LONG LEG HORIZONTAL	T. TREAD
D.B. DECK BEARING	LLV. LONG LEG VERTICAL	T/B. TOP & BOTTOM
DBL. DOUBLE	MAS. MASONRY	TEL. TELEPHONE
DEMO. DEMOLITION	MATL. MATERIAL	T.O. TOP OF
DET. DETAIL	MAX. MAXIMUM	T.O.M. TOP OF MASONRY
DIA., Ø. DIAMETER	MECH. MECHANICAL	T.O.S. TOP OF STEEL
DN. DOWN	MED. MEDIUM	TH. THICKNESS
DIM. DIMENSION	MFR. MANUFACTURER	TYP. TYPICAL
D.O. DOWN OPENING	MIN. MINIMUM	UL. UNDERWRITERS LABORATORY
D.S. DOWN SPOUT	MISC. MISCELLANEOUS	UNLESS NOTED OTHERWISE
DWG. DRAWING	M.O. MASONRY OPENING	V. VOLT
E. EAST	MTD. MOUNTED	VCT. VINYL COMPOSITION TILE
EA. EACH	MTL. METAL	VERT. VERTICAL
E.B. EXPANSION BOLT	NORTH	W. WIDTH; WASTE; WEST; WIRE
EIFS. EXTERIOR INSULATION	N.I.C. NOT IN CONTRACT	W/W. WATER CLOSET
FINSH SYSTEM	NO. # NUMBER	W/H. WATER HEATER
EXPANSION JOINT	NTS. NOT TO SCALE	WT. WEIGHT
ELEVATION (FLOOR)	O/A. OVERALL	WWF. WELDED WIRE FABRIC
ELEV. ELEVATION	O.F.D. OVERFLOW DRAIN	W/ WITHIN
ELEC. ELECTRICAL	O/H. OVERHEAD	W/O. WITHOUT
EQ. EQUAL	O/O. OUT TO OUT	WD. WOOD
EQUIP. EQUIPMENT	OC. ON CENTER	
EW. EACH WAY		

SITE AMENDMENT FOR:
GUNTHERS
 PARCEL 13:058:0092

706 EAST 50 SOUTH, AMERICAN FORK, UTAH 84003

SITE AMENDMENT APPLICATION
 FEBRUARY 20, 2026

PROJECT DISCRPTION

THE PURPOSE FOR THIS SITE PLAN AMENDMENT REQUEST IS TO PROVIDE JUSTIFICATION FOR OFF-STREET PARKING CALCULATIONS WITH REGARD TO PROPOSED SHIFTED TYPE B, OFFICE USE FROM ONE BUILDING TO ANOTHER BUILDING ON THE SAME SITE.

PARKING CALCULATIONS AND BUILDING USES ARE IDENTIFIED ON SHEET A000, OFF-STREET PARKING SITE PLAN.

THE LEGAL BOUNDARY DESCRIPTION AND ZONING ARE TO REMAIN UNCHANGED. NEW TYPE B, OFFICES ARE PROPOSED ON THE MAIN LEVEL AND PROPOSED SECOND FLOOR LEVEL OF UNIT #2 WITHIN THE BUILDING LOCATED AT 706 EAST 50 SOUTH. TO BALANCE OFF-STREET PARKING NOT TO EXCEED THE CURRENT PROVIDED PARKING, THE EXISTING OFFICE AREA ON THE MEZZANINE LEVEL OF THE BUILDING LOCATED AT 81 SOUTH 700 EAST IS TO BE CONVERTED FROM TYPE B, OFFICE USE TO STORAGE ONLY.

(69) SIXTY-NINE EXISTING PARKING STALLS ARE PROVIDED ON THIS PARCEL AND NO NEW PARKING IS REQUIRED NOR PROVIDED PER SECTION 17.5.133 OF THE AMERICAN FORK CITY MUNICIPAL CODE FOR OFFICE AND WAREHOUSE USES.

THE EXISTING SITE AND BUILDING ELEVATIONS ARE TO REMAIN UNCHANGED. NO NEW SITE UTILITIES, LANDSCAPING, OR CHANGES TO GRADING OR DRAINAGE ARE PROPOSED.

PARCEL INFORMATION:
 JURISDICTION: AMERICAN FORK, UTAH
 ZONING: GC-2, PLANNED COMMERCIAL ZONE
 PARCEL: 13:058:0092

INDEX OF DRAWINGS

GENERAL

G100	TITLE SHEET AND DRAWING INDEX
A000	OFF-STREET PARKING SITE PLAN
1 OF 2	ALTA/NSPS LAND TITLE SURVEY
2 OF 2	ALTA/NSPS LAND TITLE SURVEY



GOULD PLUS ARCHITECTS

427 WEST 11950 SOUTH, SUITE 201 DRAPER, UTAH 84020

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American Fork City Development Review	
EC/LID Reviewed tmezenen 03/25/2026	Planning and Zoning Reviewed Areed 03/24/2026
Sewer/Storm Drain Division Reviewed ahardy 03/25/2026	Fire Reviewed M.Sacco 03/25/2026
	Engineering Division Reviewed rburkhill 03/25/2026
Communications Reviewed MHunsaker 03/25/2026	Water/PI Division Reviewed jbrens 03/25/2026
Public Infrastructure Reviewed cscott 03/24/2026	Streets Division Reviewed ehyde 03/24/2026

Next Step
 Proceed to the Development Review Committee on 03/30/2026

No Comments

No comments

No comments

NO. REVISION DESCRIPTION

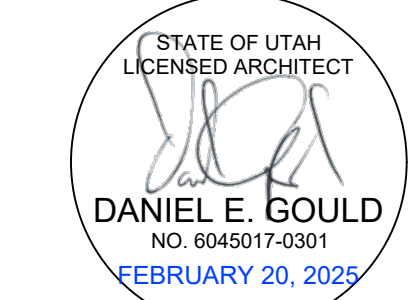
△ SITE AMENDMENT REVIEW - 03/06/2026

Re-Submission Acknowledgment Statement
 The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

DG [Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

DG [Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

DG [Applicant Initial] This is the 1st [Ex: 1st] complete re-submittal of the subdivision constituting the start of the 1st [Same Number] Review Cycle.



PROJECT NUMBER 25030.200

SITE PLAN AMENDMENT FOR:

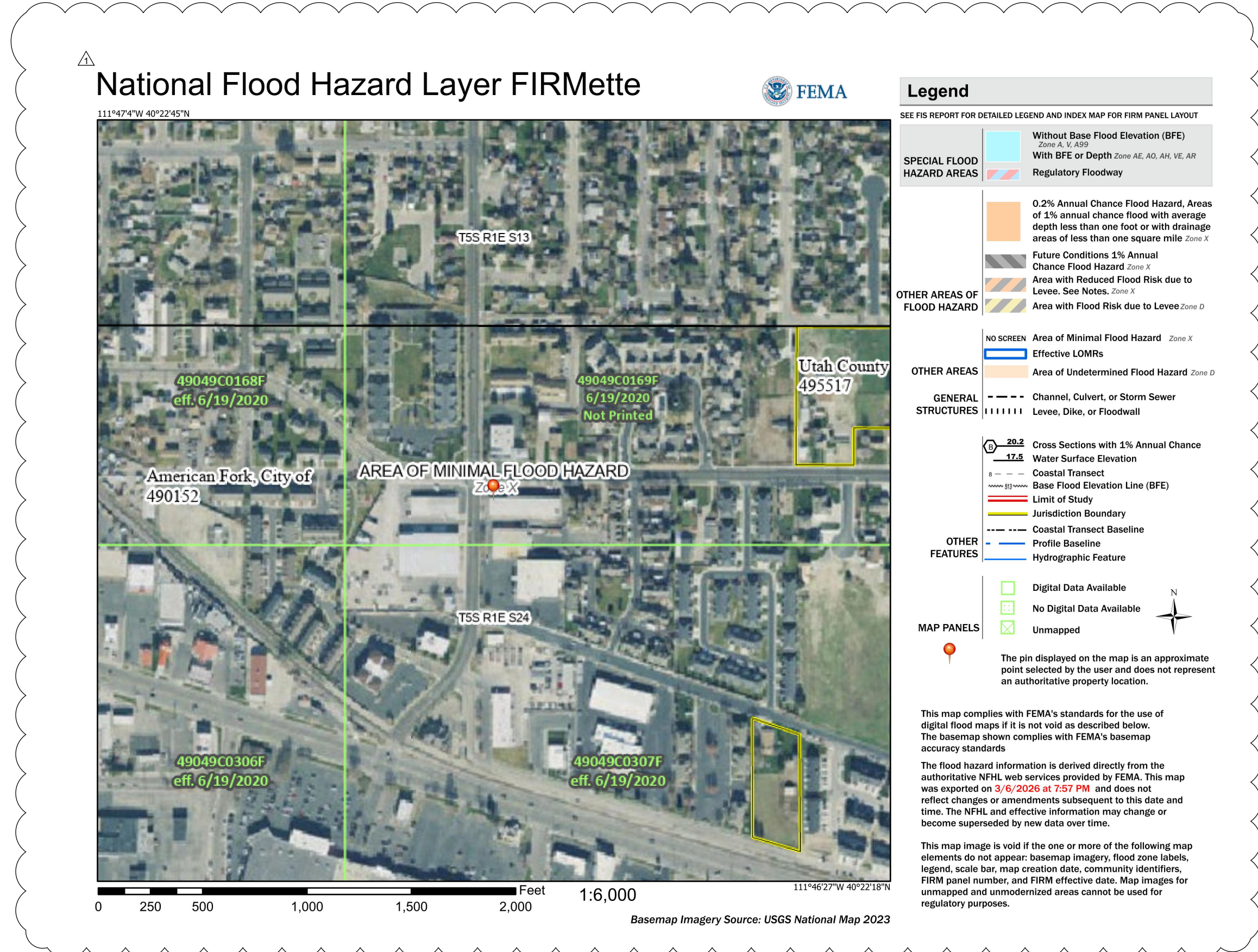
GUNTHERS
 TENANT IMPROVEMENT
 #P-2025-00399

706 E. 50 S., SUITE 200 AMERICAN FORK, UT.

TITLE SHEET AND DRAWING INDEX

SITE AMENDMENT REVISED FEBRUARY 20, 2026

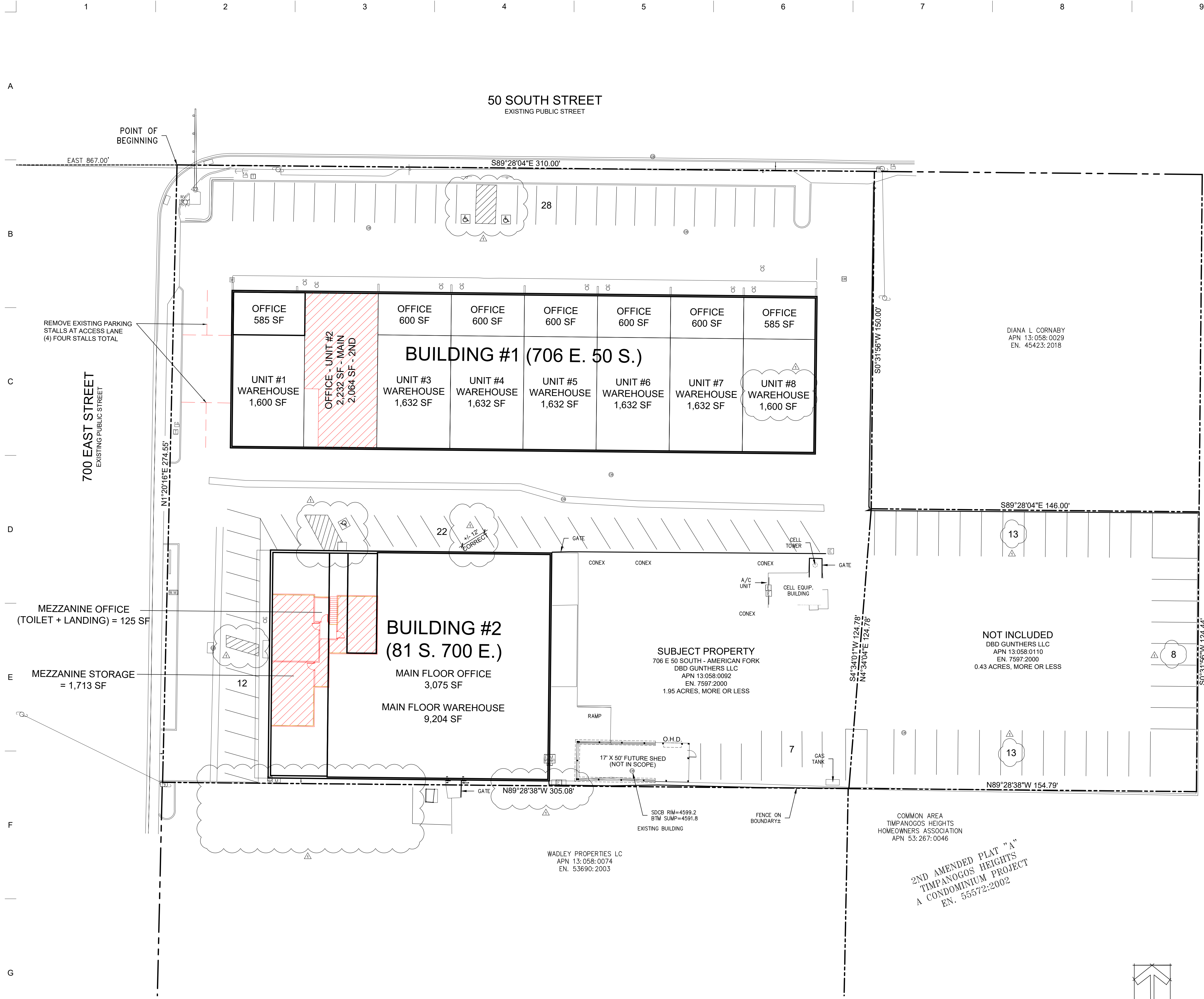
G100



CALL BEFORE YOU DIG. IT'S FREE & IT'S THE LAW.

BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER

1-800-662-4111
 www.bluestakes.org

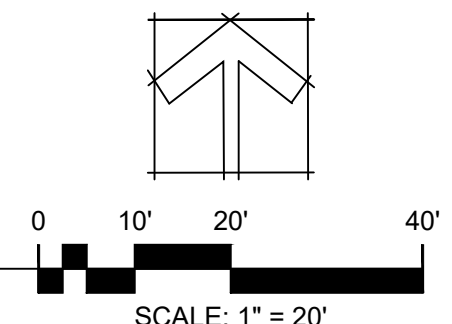


A
B
C
D
E
F
G

50 SOUTH STREET
EXISTING PUBLIC STREET

700 EAST STREET
EXISTING PUBLIC STREET

SITE OFF-STREET PARKING PLAN



PARKING INFORMATION	
GENERAL	
MUNICIPAL JURISDICTION: AMERICAN FORK CITY, UT.	
MUNICIPAL ZONING: GC-2, PLANNED COMMERCIAL ZONE	
SITE OWNER: DBD GUNTHERS, LLC.	
SITE / PARCEL INFORMATION	VALUE
EXISTING BUILDING(S) SITE	
ADDRESS: 706 E 50 SOUTH	
PARCEL ID	13.058.0092
GROSS SITE AREA (SF)	85,077 SF
GROSS ACREAGE (ACRES)	1.953 ACRES
EXISTING PAVED YARD W/ PARKING	
ADDRESS: 81 S 700 E	
PARCEL ID	13.058.0110
GROSS SITE AREA (SF)	18,677 SF
GROSS ACREAGE (ACRES)	0.43 ACRES
LANDSCAPING SUMMARY	
N/A - NO NEW SITE IMPROVEMENTS ARE PROPOSED. SUFFICIENT OFF-STREET PARKING HAS BEEN IDENTIFIED TO MEET THE REQUIREMENTS OF AMERICAN FORK CITY MUNICIPAL CODE - SECTION 17.5.133. SEE SHEET A000. NO NEW PARKING IS BEING CONSTRUCTED ON THESE PARCELS THAT WOULD INITIATE ADDITIONAL NEW LANDSCAPING REQUIREMENTS.	
OFF-STREET PARKING SUMMARY	
AF MUNICIPAL CODE - SECTION 17.5.133	
MIN. REQUIRED PARKING STALLS PER USE:	
PARAGRAPH 3(f)	
OFFICE / WAREHOUSE	
• OFFICE: 4 STALLS PER 1KSF	
• WAREHOUSE: 1 STALL PER 1KSF	
UP TO 80% OF THE TOTAL FLOOR AREA	
MULTI-TENANT OFFICE / WAREHOUSE BLDG	VALUE
706 EAST 50 SOUTH (BUILDING #1)	
BUILDING AREAS:	
FLOOR AREA, GROSS FOOTPRINT (SF)	17,762 SF
• MEASURED WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS (2021 IBC 2025 - DEFINITIONS)	
OFFICE, MAIN FLOOR - GUNTHER (SF)	2,232 SF
OFFICE, SECOND FLOOR - GUNTHER (SF)	2,064 SF
OFFICE, MAIN FLOOR TENANTS (SF)	4,170 SF
OFFICE TOTAL (SF)	8,466 SF
STORAGE / WAREHOUSE (SF)	11,360 SF
REQUIRED OFF-STREET PARKING:	
OFFICE PARKING (4 STALLS PER 1,000 SF)	33.9 STALLS
WAREHOUSE (1 STALL PER 1,000 SF)	11.4 STALLS
SUBTOTAL PARKING (MIN.)	45.3 STALLS
GUNTHERS HEATING, COOLING & PLUMBING	VALUE
81 SOUTH 700 EAST (BUILDING #2)	
BUILDING AREAS:	
FLOOR AREA, GROSS FOOTPRINT (SF)	12,295 SF
• MEASURED WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS (2021 IBC 2025 - DEFINITIONS)	
OFFICE, MAIN FLOOR (SF)	3,075 SF
OFFICE, MEZZANINE TOILET (SF)	125 SF
OFFICE, TOTAL (SF)	3,200 SF
STORAGE / WAREHOUSE, MAIN FLOOR (SF)	9,204 SF
STORAGE / WAREHOUSE, MEZZANINE (SF)	1,713 SF
STORAGE / WAREHOUSE, TOTAL (SF)	10,917 SF
REQUIRED OFF-STREET PARKING	
OFFICE PARKING (4 STALLS PER 1,000 SF)	12.8 STALLS
WAREHOUSE (1 STALL PER 1,000 SF)	10.9 STALLS
SUBTOTAL PARKING (MIN.)	23.7 STALLS
TOTAL REQUIRED OFF-STREET PARKING (BLDG. #1 STALLS + BLDG. #2 STALLS)	
TOTAL REQUIRED OFF-STREET PARKING	69 STALLS
REQUIRED ACCESSIBLE (TABLE 1106.2)	3 STALLS
TOTAL PROVIDED OFF-STREET PARKING	VALUE
TOTAL PARKING STALLS PROVIDED	69 STALLS
PROVIDED ACCESSIBLE STALLS	3 STALLS
OFF-STREET PARKING NOTES:	

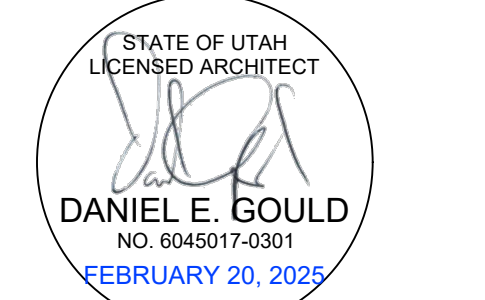


427 WEST 11950 SOUTH, SUITE 201
DRAPER, UTAH 84020

© GOULD+ ARCHITECTS, LLC - 2026

NO. REVISION DESCRIPTION

△ SITE AMENDMENT REVIEW - 03/06/2026



PROJECT NUMBER 25030.200

SITE PLAN AMENDMENT FOR:
GUNTHERS
TENANT IMPROVEMENT
#P-2025-00399

706 E. 50 S., SUITE 200 AMERICAN FORK, UT.

OFF-STREET
PARKING
SITE PLAN

SITE AMENDMENT
REVISED FEBRUARY 20, 2026

A000

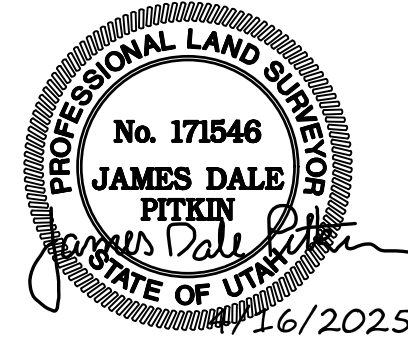
SURVEYOR'S CERTIFICATE

To: Utah REI Group LLC; Metro Title and Escrow, LLC & Fidelity National Title:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The on-site measurements were completed on January 3, 2025.

Date: April 16, 2025

James D. Pitkin, PLS
License No. 171546



RECORD DESCRIPTION

(Title Commitment No. TE15019, Effective Date: December 16, 2024)

Beginning at a point which is South 571.73 feet and East 867.00 feet from the North Quarter Corner of Section 24, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence along a fence line South 89°28'04" East 310.00 feet; thence South 00°31'56" West 150.00 feet; thence South 04°34'01" West 124.78 feet; thence North 89°28'38" West 305.08 feet to a fence line on the East side of 700 East Street; thence North 01°20'16" East along said fence line 274.55 feet to the point of beginning.

NARRATIVE

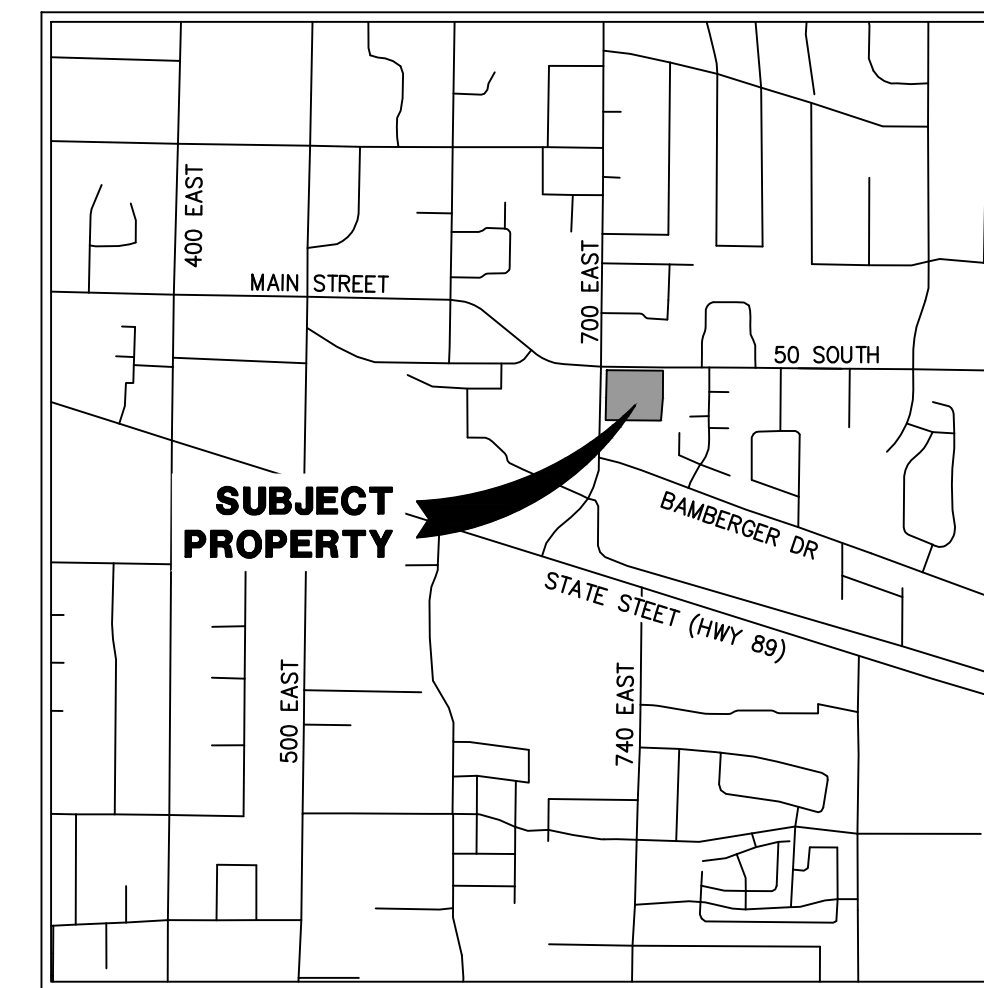
An ALTA/NSPS Land Title Survey of the subject property was requested by DBD Gunther, LLC for future design considerations. A Commitment for Title Insurance prepared by Metro Title and Escrow, LLC, Commitment No. TE15019, Effective Date: December 16, 2024 was provided and relied upon for the preparation of this survey. No corners were requested or set as part of this survey.

The Basis of Bearings for this survey is South 89°45'23" East 2642.75 feet measured along the Section line between the North Quarter Corner of Section 24 and the Northeast Corner of Section 24, Township 5 South, Range 1 East, Salt Lake Base & Meridian as referenced on that certain Utah County Surveyor's State Plane Coordinate and Dependent Resurvey, published 2021.

The Benchmark utilized for the elevations shown are from the brass cap monument found marking the North Quarter Corner of Section 24, Township 5 South, Range 1 East, Salt Lake Base & Meridian referenced on that certain Utah County Surveyor's Tie No. 47-18 at 4614.91 feet (NAVD88).

SURVEYOR'S NOTES

- A. Utilities shown have been located from visible indications surveyed on the subject property and from information provided. The surveyor has not physically located the underground utilities and makes no guarantees that the utilities shown hereon compromise all such utilities in the area either in service or abandoned.
- B. Subject property has existing 27.5' wide driveway access to 50 South Street and existing 22.3', 35.7' & 28.4' wide driveway accesses to 700 West Street.
- C. No evidence of the property being used as a dump, sump or sanitary landfill was observed in the process of conducting the fieldwork.



VICINITY MAP
N.T.S.

SCHEDULE B, PART II EXCEPTIONS

(Title Commitment No. TE15019, Effective Date: December 16, 2024)

1-10 Standard exceptions, not matters of survey and are not shown or addressed.

- ① Easement recorded July 12, 2007 as Entry No. 101217-2007 describes a right-of-way easement of varied width in favor of PacifiCorp, an Oregon corporation dba Rocky Mountain Power for the construction, operation and maintenance of electrical power lines that plots along the northerly line of the subject property and is shown.
- ② Easement recorded June 24, 2009 as Entry No. 69691-2009 describes an easement in favor of American Fork City Corporation for the construction and maintenance of a sidewalk, signal equipment, hydrant and retaining for the reconstruction of 50 South Street. An easement of varied width plots in the northwesterly corner of the subject property and is shown.
- ③ Easement Agreement recorded September 13, 2011 as Entry No. 64388-2011 describes an easement in favor of QWest Corporation for the construction, operation and maintenance of telephone and telegraph lines. A 6' wide easement is depicted in the northwest corner of the subject property but the exact location of the easement cannot be determined from the information provided and its approximate location is shown.
- 14-16 Not matters of survey and is not shown or addressed.
- ④ Memorandum of Option and Lease Agreement recorded June 19, 1996 as Entry No. 50726-1996, Memorandum of Building Option and Lease Agreement recorded August 10, 2009 as Entry No. 87382-2009 & Memorandum of Lease recorded June 12, 2015 as Entry No. 51629-2015. The exact location of the leased premises within the subject property cannot be determined from the information provided. The locations of the existing cell tower and associated equipment/buildings are shown. Entry No. 87382-2009 provides an exhibit depicting a 10' wide utility easement. The exact location of the easement cannot be determined from the information provided in exception document and its approximate location is shown.
- ⑤ Memorandum of SubLease recorded May 30, 2000 as Entry No. 42069-2000. The exact location of the leased premises within the subject property cannot be determined from the information provided. The locations of the existing cell tower and associated equipment/buildings are shown.
- 19 Not matters of survey and is not shown or addressed.
- ⑥ Memorandum of Lease recorded July 16, 2019 as Entry No. 65344-2019. The exact location of the leased premises within the subject property cannot be determined from the information provided. The locations of the existing cell tower and associated equipment/buildings are shown.

REFERENCES

1. Commitment for Title Insurance & associated documentation prepared by Metro Title and Escrow, LLC, Commitment No. TE15019, Effective Date: December 16, 2024.
2. 2nd Amended Plat "A" Timpanogos Heights, A Condominium Project recorded May 15, 2002 as Entry No. 55572:2002.
3. Utah County Surveyor's State Plane Coordinate and Dependent Resurvey, published 2021.
4. Records of Survey Nos. 92-49 & 00-345.

Path: P:\GUNTHERS AM FORK 4201\SURVEY\DRAWINGS\GUNTHER ALTA.dwg | plot date: April 16, 2025 | plotted by: bryan

DRAWN BJE 4.2025 <small>DATE</small>	CHECKED JDP 4.2025 <small>DATE</small>	DBD GUNTHER, LLC	 DOMINION Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000	ALTA/NSPS LAND TITLE SURVEY 706 EAST 50 SOUTH STREET							PROJECT NO. 4201			
DESIGNED <small>DATE</small>	PROJECT ENGINEER			AMERICAN FORK CITY, UTAH COUNTY, UTAH	LOCATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN								SHEET NO. 1 of 2	
APPROVED <small>DATE</small>	JDP PROJECT MANAGER												FILE NAME: ALTA	SCALE: N/A
										NO.	REVISIONS	BY	DATE	
										0	RELEASED FOR REVIEW	JDP	04.16.25	



Agenda Topic Review and action on an application for a Commercial Site Plan, known as Climb Concrete, located at approximately 300 E 1700 S, American Fork City. The Site Plan consists of 5 acres and is in the I-1 Industrial Zone.

BACKGROUND INFORMATION		
Location:	300 E 1700 S	
Parcel ID:	13:078:0103	
Project Type:	Industrial Building	
Applicants:	Michael Frost and Chris Huntsman	
Existing Land Use:	Design Industrial	
Surrounding Land Use:	North	Design Industrial
	South	Shoreline Protection
	East	Shoreline Protection
	West	Shoreline Protection
Existing Zoning:	I-1 Industrial	
Surrounding Zoning:	North	PI-1 Planned Industrial
	South	M-1 Marina
	East	M-1 Marina
	West	I-1 Industrial and SP Shoreline Protection
Square Footage (By Use)	6,118 Square Feet	
Total Number of Units	N/A	
Parking Requirement	36 Parking Stalls	

Background

The applicant has applied for a Commercial Site Plan to develop an Industrial Property. The project looks to provide an office-warehouse and outdoor storage of Climb Concrete. The southern portion of the lot near Utah Lake is not being developed.

Sec 17.6.101 Administrative Site Plan Review

1. **When Required.** Site plans shall be required for any proposed development, construction upon, revision or addition to or other improvement to a property or site in a nonresidential zone, a nonresidential use in a residential zone, or to obtain a conditional use permit in any zone. Additionally, a site plan shall be required whenever the terms of the American Fork Municipal Code otherwise require. No development, construction, revision, or additions shall take place on the site until the site plan has been approved by the City, final plats if required have been recorded, the necessary bonds have been posted, and the appropriate permits have been obtained. All applicable development, construction, revisions, or additions shall take place in compliance with an approved site plan for that specific property.
2. No proposed development, construction, revision or additions, or other improvements to a property or site shall be placed over property lines. Any proposal that does so, shall seek a final plat, or an amended final plat approval prior to a site plan approval.
3. **Submittal.** Site plan applications shall be submitted to the Development Services Department on the forms provided by the City and shall be accompanied by maps and drawings, to scale, showing the following, unless otherwise required by City Engineer or Development Services Director:
 - a. ALTA Survey (identify Geodetic Datum used)
 - b. Civil Engineering Design Plan Set using NAVD 88 vertical datum and including the following:
 - c. Cover sheet, General Notes, Site Plan, Grading and Drainage Plan, Utility Plan showing all existing and proposed wet and dry utilities (including street lights), Plan and Profile sheet for all proposed public utilities, Erosion Control Plan, American Fork Standard Details.
 - d. Application Fees
 - e. Drainage Report identifying drainage sub-basins
 - f. Phasing Plan
 - g. Timpanogos Special Service District Form
 - h. Title Report (Dated within 60 days of date of application)
 - i. Zoning Clearance Letter
 - j. The location of all existing and proposed buildings and structures on the site with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.

- k. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
- l. A landscaping plan showing the location, types, percentages, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
- m. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used and including dimension height.
- n. The locations of solid waste receptacles and trash pick-up areas. Include preliminary elevations of solid waste receptacles showing the general appearance, types of external materials to be used, and dimensions.
- o. Geotechnical Report (require each phase being planned to have test pits identified within the specific phases that will be brought forward). Geotechnical Report must be dated within 3 years of date of application, or a new Geotechnical Report is required. Geotechnical report shall include percolation rates, identify liquefaction hazards, wetlands, groundwater elevations and information required to confirm the existence or non-existence of sensitive lands as identified in the Sensitive Lands Ordinance. Boring depths up to 70' deep may be required as per the Sensitive Lands Ordinance.
- p. A traffic study prepared by an independent, professional traffic engineer if a site plan proposes any of the following: i) seventy-five (75) or more parking stalls; ii) a drive-up window; iii) more than two drive approaches from dedicated streets; iv) a corner lot where one or more of the streets is a collector or arterial street; or as required based on requirements set forth in the Traffic Impact Study requirements
 - 1. The final approving authority may impose traffic mitigation requirements based on the impacts identified by a traffic study prepared by the applicant, the City or any qualified independent traffic consultant. Nothing in this Section shall preclude the City from performing its own traffic study.
 - 2. The Development Services Director, after consultation with the Public Works Director, may waive the requirements of a traffic study if a new traffic study would be unnecessarily cumulative or otherwise not add to the information already available to the Development Services Director.

Upon determination of a complete submittal, the site plan application shall be provided to the Development Review Committee for review.

4. Determination of Required Documents.

- a. Required Documents. Required submittal documents as outlined in Section 17.6.101.B shall be determined by the Development Services Director and Public Works Director after the mandatory Concept Plan Meeting is held.
 1. Upon determination of a complete submittal, the application shall be provided to the Development Review Committee for full review and determination of the appropriate approval process as outlined in Subsection D.
5. **Approval.** After full review of the site plan application, the DRC shall take action to (1) administratively approve the site plan application, or (2) move the proposed site plan to the final approval authority, as applicable. DRC shall only administratively approve or move forward a proposed site plan if it complies fully with the American Fork General Plan and the American Fork City Code, City ordinances, resolutions, and policies.
 - a. DRC Administrative Approval. A concept plan meeting shall be scheduled through the Development Services Department to determine if proposed modifications to a site qualify for an amended administrative site plan approval process. The Development Review Committee may exercise administrative approval authority for amendments to existing site plans, or for site or structure alterations to existing buildings and sites that do not have a site plan under the following conditions:
 1. The proposed amendments to the existing site plan are minor in nature and enhance the overall site, as determined by the DRC. Minor amendments include, but are not limited to, the following:
 1. Increasing the amount of parking;
 2. Restriping the parking areas;
 3. Reducing building size;
 4. Change of use in an existing building;
 5. Building additions, including new structures, where the proposed additions do not exceed 10% of the original approved site plan approved by Planning Commission;
 6. Relocating on site utility services;
 7. Installing new utility services;
 8. Minor modifications to on-site grading;
 9. Altering the exterior site lighting;
 10. Increasing the amount of landscaping;
 11. Modifying existing landscaping to water efficient standards;
 12. Altering or relocating covered parking stalls;

13. Changing the exterior finishing materials from one acceptable material to another; and
 14. Additions to an existing building that do not increase the Gross Floor Area of the building such as awnings, canopies, decks, patios, and architectural features designed solely to enhance the aesthetic appeal of the building provided that the value of the proposed addition does not exceed five percent (5%) of the replacement value of the building.
 15. Increase in internal floor area by introducing additional floors, lofts, mezzanines, etc. in an existing structure or shell.
 16. Cell tower upgrades
 17. As determined by the Development Services Director, in consultation with the Public Works Director to be a minor enough amendment as to not constitute a full site plan review.
- b. **Planning Commission to Approve.** Except as otherwise specified in this subsection C.1, the Planning Commission, acting in an administrative capacity, shall be the final approval authority for all proposed site plans forwarded by the Development Review Committee and shall have the power to approve, approve with conditions if granted the authority by City ordinance, or deny a proposed site plan.
6. **Considerations.** The recommending authority and approval authority for the site plan shall consider all of the following items when reviewing a proposed site plan:
- a. Whether the proposed site plan complies with the American Fork City General Plan, the American Fork City Code, ordinances, resolutions, and policies.
 - b. Whether the proposed site plan promotes the health, safety and welfare of the community. In making this determination, the recommending authority and the final approving authority for the site plan, shall consider, among other things, the overall safety of the site, the impact the site will have on traffic and on surrounding properties, and the adequacy of police, fire, and utility services that can be provided to the site.
7. **Appeals permitted.** Any person aggrieved by a determination of the Development Review Committee or the Planning Commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of the underlying

approval authority. Any such appeal shall be filed within ten days of the decision being appealed.

8. **Issuance of a permit.** A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.

9. **Expiration of Site Plan Approval.**

- a. An application for site plan approval shall expire if the application has not been approved or scheduled for review and approval by the approving authority within twelve (12) months after the date it was submitted.
- b. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within twelve (12) months of the date of the approval. The approval authority that granted the original site plan approval may, at its discretion and upon written request submitted prior to the expiration date, grant an extension of up to six (6) months of the site plan approval.

Project Conditions of Approval

1. Resubmittal of Most Recent Version of Updated Documents
 - a. Sign and correct date of the Alta Survey
 - b. Provide Most Recent Plans. Resubmit Updated Elevation Plans with dumpster enclosures and directions
 - c. Provide most recent Landscaping Plans
 - d. Provide most recent Drainage Report
 - e. Certificate of Occupancy will not be granted until the private lift station conforms to city code.

Findings of Fact

1. The Commercial Site Plan meets the requirements of Section 17.4.503 I-1 Industrial Zone.

2. The Commercial Site Plan meets the requirements of Section 17.6.101.

Project Map



Engineering Development Checklist Completion

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with the Engineering Development Checklist prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to, throughout and after scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.



Staff Recommendation

The Commercial Site Plan meets the requirements of Section 17.6.101. Staff recommends approval for the application with conditions.

Potential Motions – Commercial Site Plan

Approval

I move to recommend approval for the proposed Commercial Site Plan, located at located at approximately 300 E 1700 S American Fork City, in the I-1 Industrial Zone, subject to any conditions found in the staff report.

Denial

I move to deny the proposed Commercial Site Plan, located at located at approximately 300 E 1700 S, American Fork City, in the I-1 Industrial Zone. as the Commercial Site Plan does not meet the requirements of Section 17.4.503 I-1 Industrial Zone and 17.6.101.

Table

I move to table action for the proposed Commercial Site Plan, located at approximately 300 E 1700 S, American Fork City, in the I-1 Industrial Zone, and instruct staff/developer to.....

GENERAL

- 1. ALL MATERIALS, WORKMANSHIP, CONSTRUCTION AND PLACEMENT SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS AS DEFINED IN THE 2025 (CURRENT EDITION) MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, UTAH CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS/REQUIREMENTS, INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, WHERE THERE IS A CONFLICT BETWEEN THESE PLANS, SPECIFICATIONS OR ANY APPLICABLE STANDARD, THE MOST RESTRICTIVE STANDARD SHALL APPLY. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE DIRECTOR OF PUBLIC WORKS AND ENGINEER.

SAFETY AND RESPONSIBILITY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY, INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, SECURITY AND OTHER SITE RELATED SAFETY PRACTICES. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING, APWA, AND OTHER STANDARD PUBLICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

SURVEY AND EXISTING CONDITIONS

- 1. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD LOCATING AND VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES (INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, OVERHEAD AND UNDERGROUND POWER, CONTROL WIRING, IRRIGATION, MANHOLES, HANDHOLES, JUNCTIONS, ETC) AND OTHER IMPROVEMENTS PRIOR TO INSTALLING ANY OF THE ELEMENTS INDICATED IN THESE PLANS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER. DESIGN MODIFICATIONS MUST BE APPROVED BY THE OWNER AND ENGINEER PRIOR TO BEING IMPLEMENTED. THE CONTRACTOR IS CAUTIONED THAT LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGED UTILITIES AT NO ADDITIONAL COST.

PAVEMENTS AND COMPACTION

- 1. ALL TRENCHING, REPAIRS, AND OTHER WORK IN THE PUBLIC RIGHT OF WAY SHALL COMPLY WITH ALL REQUIREMENTS OF THE REVIEWING AUTHORITY.
- 2. IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL. WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF ACCEPTANCE.

COORDINATION REQUIREMENTS

- 1. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT FOR WORK COORDINATION.
- 2. ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE.
- 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES, AS INDICATED ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT BLUE STAKES (BY DIALING 811) AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. ALL OTHER UN-REGISTERED UTILITIES (I.E. DITCH, IRRIGATION COMPANY, OTHER SITE-SPECIFIC UTILITIES, ETC.) ARE TO BE LOCATED BY CONTACTING, IN ADVANCE, THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS SHOULD ALSO BE LOCATED PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING ACTIVITIES.

UTILITIES

- 1. WATER LINE THRUST BLOCK AND RESTRAINTS ARE TO BE INSTALLED PER AMERICAN FORK CITY AND/OR APWA DRAWINGS AND SPECIFICATIONS.
- 2. ALL WATERLINE INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, C200, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C600 SECTION 4.1.1: DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.
- 3. CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND METER BOXES WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE MUNICIPAL DETAIL DRAWINGS. ALL WATER METERS, CATCH BASINS, CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION DEVICES MUST BE LOCATED OUTSIDE OF ALL APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS AND OTHER TRAVELED WAYS UNLESS OTHERWISE APPROVED ON PLANS.

STORMWATER POLLUTION PREVENTION

- 14. CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-8923) AND SHALL BE COMPLIANT WITH THE MUNICIPALITIES MS4 REQUIREMENTS. A COPY OF THE PERMIT'S STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE SWPPP, THE FILING OF PERMITS, MAINTENANCE OF BMP'S, AND ALL OTHER ITEMS ASSOCIATED WITH SWPPP AND MS4 COMPLIANCE.
- 16. THE CONTRACTOR SHALL HAVE ONSITE AT ALL TIMES AN UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), A BMP MAINTENANCE FOLDER, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB.

ADA COMPLIANCE GENERAL NOTES (SITE DEVELOPMENT PLANS)

- 20. ACCESSIBLE PEDESTRIAN PATHWAYS
- 20.1. CONTINUOUS ACCESSIBLE ROUTE: THE CONTRACTOR SHALL PROVIDE AN ACCESSIBLE PEDESTRIAN ROUTE CONNECTING ALL ACCESSIBLE PARKING SPACES, BUILDING ENTRANCES, AND SITE AMENITIES. THIS ROUTE SHALL BE AT LEAST 36 INCHES WIDE (CLEAR WITH NO ABRUPT CHANGES IN LEVEL EXCEEDING 1/4 INCH (CHANGES UP TO 1/2 INCH MUST BE BEVELED), RUNNING SLOPES SHALL NOT EXCEED 5% (1:20), AND CROSS SLOPES SHALL NOT EXCEED 2% (1:48). ANY WALKWAY SEGMENT WITH A SLOPE >5% SHALL BE TREATED AS A RAMP AND COMPLY WITH RAMP REQUIREMENTS.
- 20.2. SURFACE CHARACTERISTICS: THE CONTRACTOR SHALL ENSURE ALL ACCESSIBLE WALKWAYS ARE FIRM, STABLE, AND SLIP-RESISTANT, FREE OF MUD, SAND, DEBRIS, AND OTHER IMPEDIMENTS.
- 20.3. VERTICAL CLEARANCE & PROTRUSIONS: THE CONTRACTOR SHALL MAINTAIN AT LEAST 80 INCHES OF VERTICAL CLEARANCE ON ALL PEDESTRIAN PATHS. NO PROTRUDING OBJECTS SHALL EXTEND MORE THAN 4 INCHES FROM WALLS BETWEEN 27 AND 80 INCHES ABOVE THE FLOOR/GROUND SURFACE.

- 22.1. MINIMUM NUMBER OF SPACES: THE CONTRACTOR SHALL PROVIDE ACCESSIBLE PARKING SPACES IN ACCORDANCE WITH THE TOTAL PARKING COUNT AND ADA STANDARDS. AT LEAST ONE OF EVERY SIX (BUT MINIMUM ONE) OF THE REQUIRED ACCESSIBLE SPACES MUST BE VAN-ACCESSIBLE.
- 22.2. SPACE DIMENSIONS: EACH STANDARD ACCESSIBLE SPACE SHALL BE AT LEAST 96 INCHES WIDE WITH A 60-INCH-WIDE ACCESS AISLE. VAN-ACCESSIBLE SPACES SHALL EITHER BE 132 INCHES WIDE WITH A 60-INCH AISLE OR 96 INCHES WIDE WITH A 96-INCH AISLE. SLOPES IN PARKING SPACES AND AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- 22.3. PARKING SIGNAGE: THE CONTRACTOR SHALL INSTALL UPRIGHT SIGNAGE WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT EACH ACCESSIBLE SPACE. VAN-ACCESSIBLE SPACES REQUIRE AN ADDITIONAL SIGN STATING "VAN ACCESSIBLE." SIGN BOTTOMS SHALL BE AT LEAST 60 INCHES ABOVE THE GROUND AND CLEARLY VISIBLE.
- 22.4. LOCATION AND SLOPE: THE CONTRACTOR SHALL LOCATE ACCESSIBLE PARKING NEAR THE CLOSEST ACCESSIBLE ENTRANCE, CONNECTED TO AN ADA-COMPLIANT ROUTE. SPACES AND ACCESS AISLES SHALL MAINTAIN SLOPE <2%. WHEEL STOPS OR CURBS SHALL PREVENT VEHICLES FROM ENCRoACHING ON WALKWAYS OR REDUCING AISLE WIDTH.

ADDITIONAL

- 27. PROJECT CONTROL AND EXISTING CONDITIONS SURVEY DATA INFORMATION WERE FURNISHED TO CIVIL SOLUTIONS GROUP, INC. BY OTHERS. CIVIL SOLUTIONS GROUP TAKES NO LIABILITY FOR THE ACCURACY OF THIS INFORMATION PREPARED BY OTHERS. FURTHERMORE, CIVIL SOLUTIONS GROUP TAKES NO LIABILITY FOR DESIGNS PREPARED THAT ARE INACCURATE OR INCOMPLETE BASED ON INACCURATE OR INCOMPLETE INFORMATION PREPARED BY OTHERS THAT IS INCORPORATED INTO THE DESIGN. THE OWNER, CONTRACTOR, AND OTHERS SHALL HOLD HARMLESS CIVIL SOLUTIONS GROUP FOR ALL EXISTING CONDITIONS.
- 28. A GEOTECHNICAL STUDY FOR THIS PROJECT SITE WAS COMPLETED BY CIVIL SOLUTIONS GROUP. THIS DOCUMENT IS DATED APRIL 15, 2025. THE CONTRACTOR IS RESPONSIBLE TO ADHERE TO THE MOST RESTRICTIVE STANDARD OF CONSTRUCTION IF ANY DISCREPANCY EXISTS BETWEEN THE INFORMATION CONTAINED IN THE STUDY AND THE INFORMATION CONTAINED WITHIN THESE PLANS AND SPECIFICATIONS.

LEGEND EXISTING

Table with 2 columns: Symbol and Description. Includes entries for PROPERTY BOUNDARY, STORM DRAIN LINE, WATER LINE, IRRIGATION LINE, GAS LINE, SEWER LINE, BURIED POWER LINE, AERIAL POWER LINE, COMMUNICATION LINE, CONTOUR MAJOR, CONTOUR MINOR, CENTER LINE, ASPHALT, OPEN FACE CURB AND GUTTER, FENCE, CONCRETE, EXISTING TO BE REMOVED, WATER VALVE, WATER METER, FIRE HYDRANT, CATCH BASIN (STORMDRAIN BOX), STORMDRAIN MANHOLE, SEWER MANHOLE, IRRIGATION VALVE, POWER POLE, ELECTRICAL BOX, COMMUNICATIONS BOX.

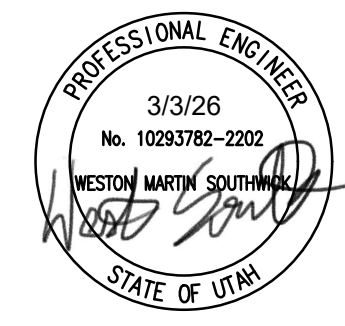
LEGEND PROPOSED

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CLIMB CONCRETE COMMERCIAL 300 EAST 1700 SOUTH AMERICAN FORK, UT

Table with 2 columns: MARK, DATE. Includes a grid for recording mark dates.

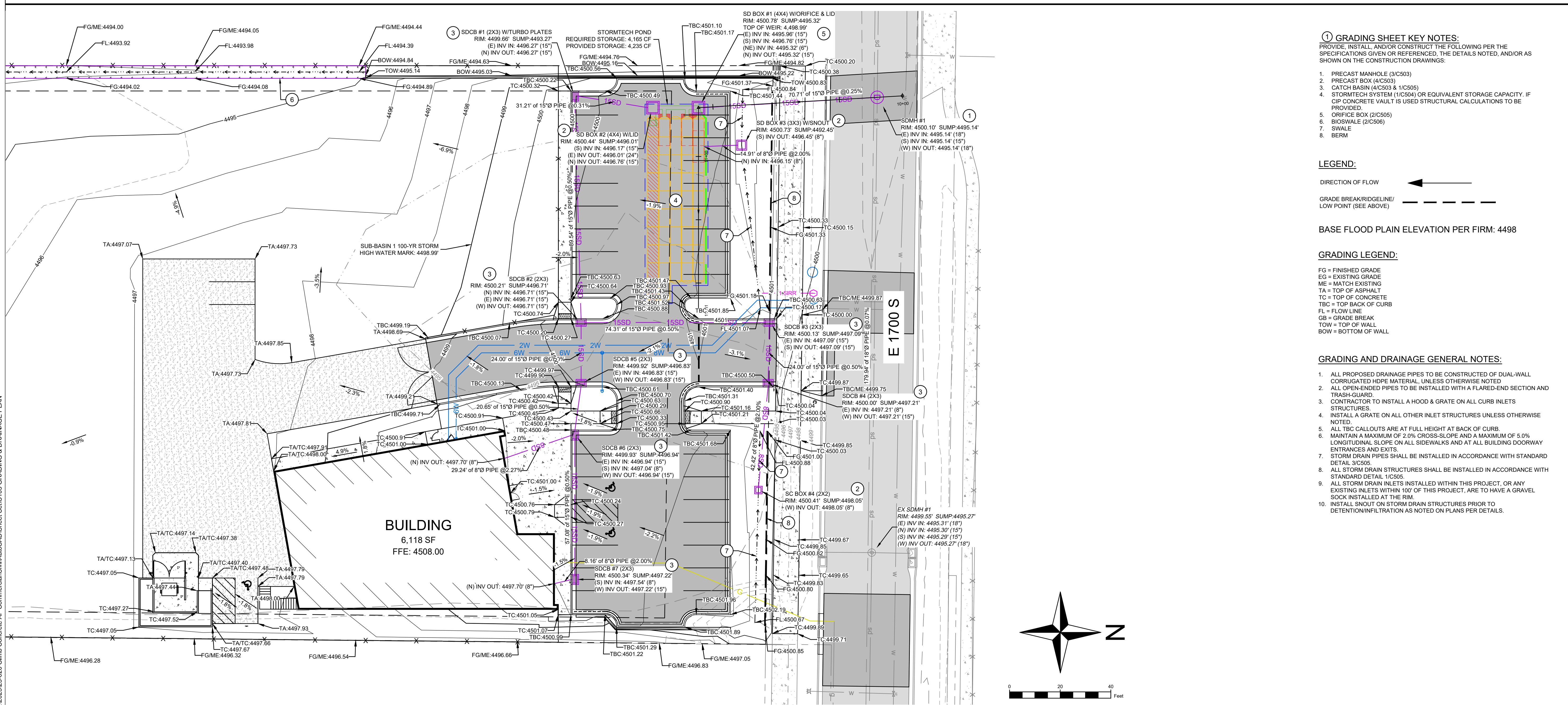
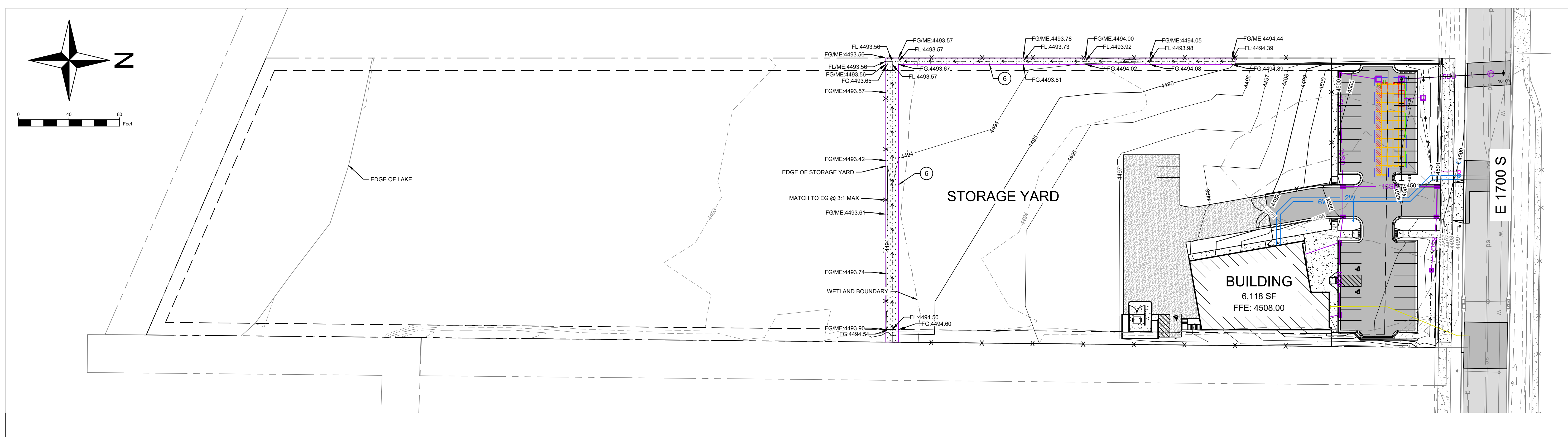
PROJECT #: 25-020
DRAWN BY: R. WEBER
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 3/3/2026



LEGEND & NOTES

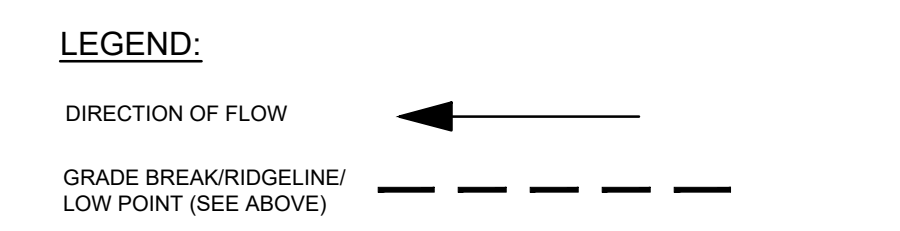
C002

civilsolutionsgroup inc. CACHE VALLEY | P: 435.213.3762 SALT LAKE | P: 801.216.3192 UTAH VALLEY | P: 801.874.1432 info@civilsolutionsgroup.net www.civilsolutionsgroup.net



① GRADING SHEET KEY NOTES:
 PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. PRECAST MANHOLE (3/C503)
2. PRECAST BOX (4/C503)
3. CATCH BASIN (4/C503 & 1/C505)
4. STORMTECH SYSTEM (1/C504) OR EQUIVALENT STORAGE CAPACITY. IF CIP CONCRETE VAULT IS USED STRUCTURAL CALCULATIONS TO BE PROVIDED.
5. ORIFICE BOX (2/C505)
6. BISSWALE (2/C506)
7. SWALE
8. BERM



BASE FLOOD PLAIN ELEVATION PER FIRM: 4498

- GRADING LEGEND:**
- FG = FINISHED GRADE
 - EG = EXISTING GRADE
 - ME = MATCH EXISTING
 - TA = TOP OF ASPHALT
 - TC = TOP OF CONCRETE
 - FL = FLOW LINE
 - GB = GRADE BREAK
 - TOW = TOP OF WALL
 - BOW = BOTTOM OF WALL

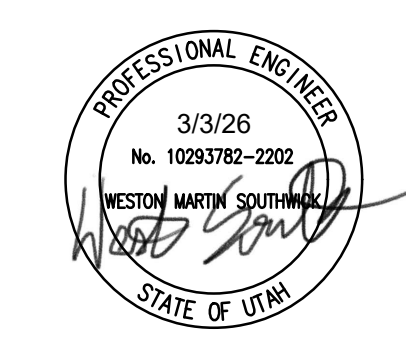
GRADING AND DRAINAGE GENERAL NOTES:

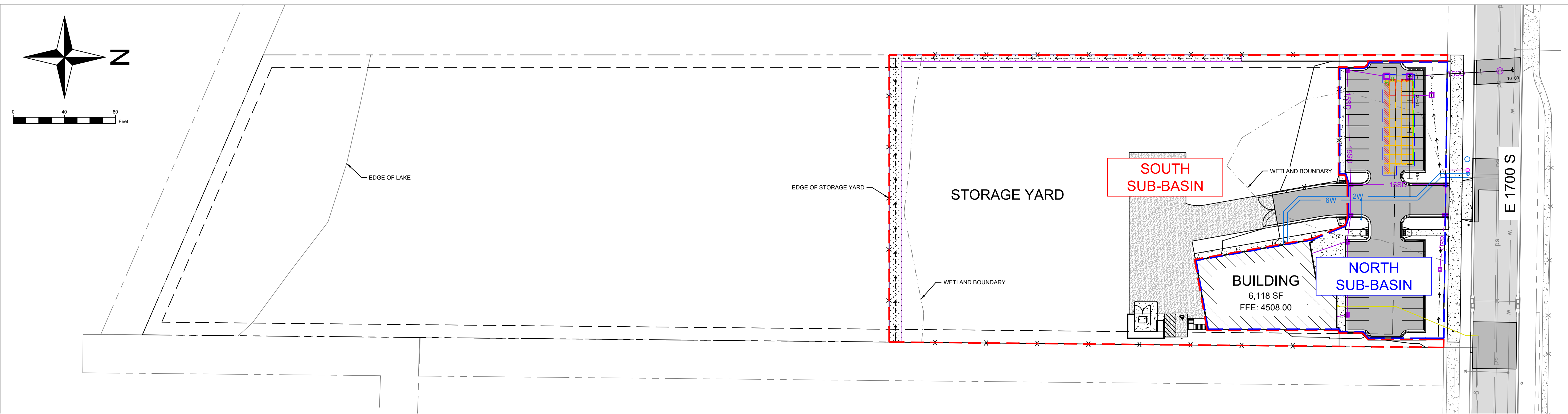
1. ALL PROPOSED DRAINAGE PIPES TO BE CONSTRUCTED OF DUAL-WALL CORRUGATED HDPE MATERIAL, UNLESS OTHERWISE NOTED
2. ALL OPEN-ENDED PIPES TO BE INSTALLED WITH A FLARED-END SECTION AND TRASH-GUARD.
3. CONTRACTOR TO INSTALL A HOOD & GRATE ON ALL CURB INLETS STRUCTURES.
4. INSTALL A GRATE ON ALL OTHER INLET STRUCTURES UNLESS OTHERWISE NOTED.
5. ALL TBC CALLOUTS ARE AT FULL HEIGHT AT BACK OF CURB.
6. MAINTAIN A MAXIMUM OF 2.0% CROSS-SLOPE AND A MAXIMUM OF 5.0% LONGITUDINAL SLOPE ON ALL SIDEWALKS AND AT ALL BUILDING DOORWAY ENTRANCES AND EXITS.
7. STORM DRAIN PIPES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAIL 3C505.
8. ALL STORM DRAIN STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAIL 1C505.
9. ALL STORM DRAIN INLETS INSTALLED WITHIN THIS PROJECT, OR ANY EXISTING INLETS WITHIN 100' OF THIS PROJECT, ARE TO HAVE A GRAVEL SOCK INSTALLED AT THE RIM.
10. INSTALL SNOOT ON STORM DRAIN STRUCTURES PRIOR TO DETENTION/INFILTRATION AS NOTED ON PLANS PER DETAILS.

**CLIMB CONCRETE
 COMMERCIAL
 300 EAST 1700 SOUTH
 AMERICAN FORK, UT**

MARK	DATE	DESCRIPTION

PROJECT #: 25-020
 DRAWN BY: R. WEBER
 PROJECT MANAGER: W. SOUTHWICK
 ISSUED: 3/3/2026





NORTH SUB-BASIN

Civil Solutions Group, Inc.
 Leaders in Sustainable Engineering and Planning

Project: 25-020 Climb Concrete
 Date: 4-Nov-25
 Location: American Fork
 Project Area: 24655 sf = 0.57 ac
 North Sub-Basin

Method: Rational

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Impermeable Space (pavement, sidewalks, etc.)	0.34	0.9	0.307
Grassed Open Space (slopes greater than 2%)	0.08	0.25	0.021
Graveled Areas	0.00	0.6	0.000
Building	0.14	0.9	0.126
Total Area, A	0.57		
	Total Weighted Area		0.455
	Weighted Coefficient, C		0.80
	Frequency Factor, C_f		1.25

Design Storm: 100
 Allowable Discharge, Q_a: 0.2 cfs/acre, 0.11 cfs

Time of Concentration, T_c: 5.0 min (5 minute minimum), Peak Flow, Q_p: 4.11 cfs

Duration, T (min)	Pre-Dev. Intensity, I (in/hr)	Post-Dev. Runoff, Q (cfs)	Inflow Volume, V _i (CF)	Average Outflow, Q _m (cfs)	Average Outflow, Q _m (cfs)	Outflow Volume, V _o (CF)	Storage Req'd, S (CF)	
5	7.240	1.54	4.11	1234	1.000	0.113	34	1200
10	5.600	1.19	3.18	1909	0.750	0.085	51	1858
15	4.610	0.98	2.62	2357	0.667	0.075	68	2289
30	3.040	0.65	1.73	3109	0.583	0.066	119	2990
60	1.830	0.39	1.04	3743	0.542	0.061	221	3522
120	1.030	0.22	0.59	4214	0.521	0.059	425	3789
180	0.740	0.16	0.42	4541	0.514	0.058	628	3913
360	0.420	0.09	0.24	5154	0.507	0.057	1240	3915
720	0.270	0.06	0.15	6627	0.503	0.057	2462	4165
1440	0.150	0.03	0.09	7364	0.502	0.057	4907	2456

$$Q = C_f CIA \quad V_i = (CIA)T \quad m = \frac{1}{2} \left(1 + \frac{T_c}{T}\right) \quad Q_m = mQ_a \quad V_o = Q_m T \quad S = V_i - V_o$$

Storage Volume based on Modified Rational Method, FAA Method

Orifice Size Calculation

H = Head = W.S.E. - INV. =	3.67 ft
P.Q. = Peak Allowable Discharge =	0.11 cfs
Orifice Diameter in inches = 6.12 * (P.Q. / (H^(1/2)))^(1/2) =	1.49 inches

SOUTH SUB-BASIN

Civil Solutions Group, Inc.
 Leaders in Sustainable Engineering and Planning

Project: 25-020 Climb Concrete
 Date: 4-Nov-25
 Location: American Fork
 Project Area: 74004 sf = 1.70 ac
 South Sub-basin

Method: Rational

Condition	Area (acres)	Runoff Coefficient	Weighted Area
Impermeable Space (pavement, sidewalks, etc.)	0.25	0.9	0.229
Grassed Open Space (slopes greater than 2%)	0.06	0.25	0.015
Graveled Areas	0.14	0.6	0.831
Total Area, A	1.70		
	Total Weighted Area		1.075
	Weighted Coefficient, C		0.63
	Frequency Factor, C_f		1.25

Design Storm: 100
 Allowable Discharge, Q_a: 0.2 cfs/acre, 0.34 cfs

Time of Concentration, T_c: 32.9 min (5 minute minimum), Peak Flow, Q_p: 2.62 cfs

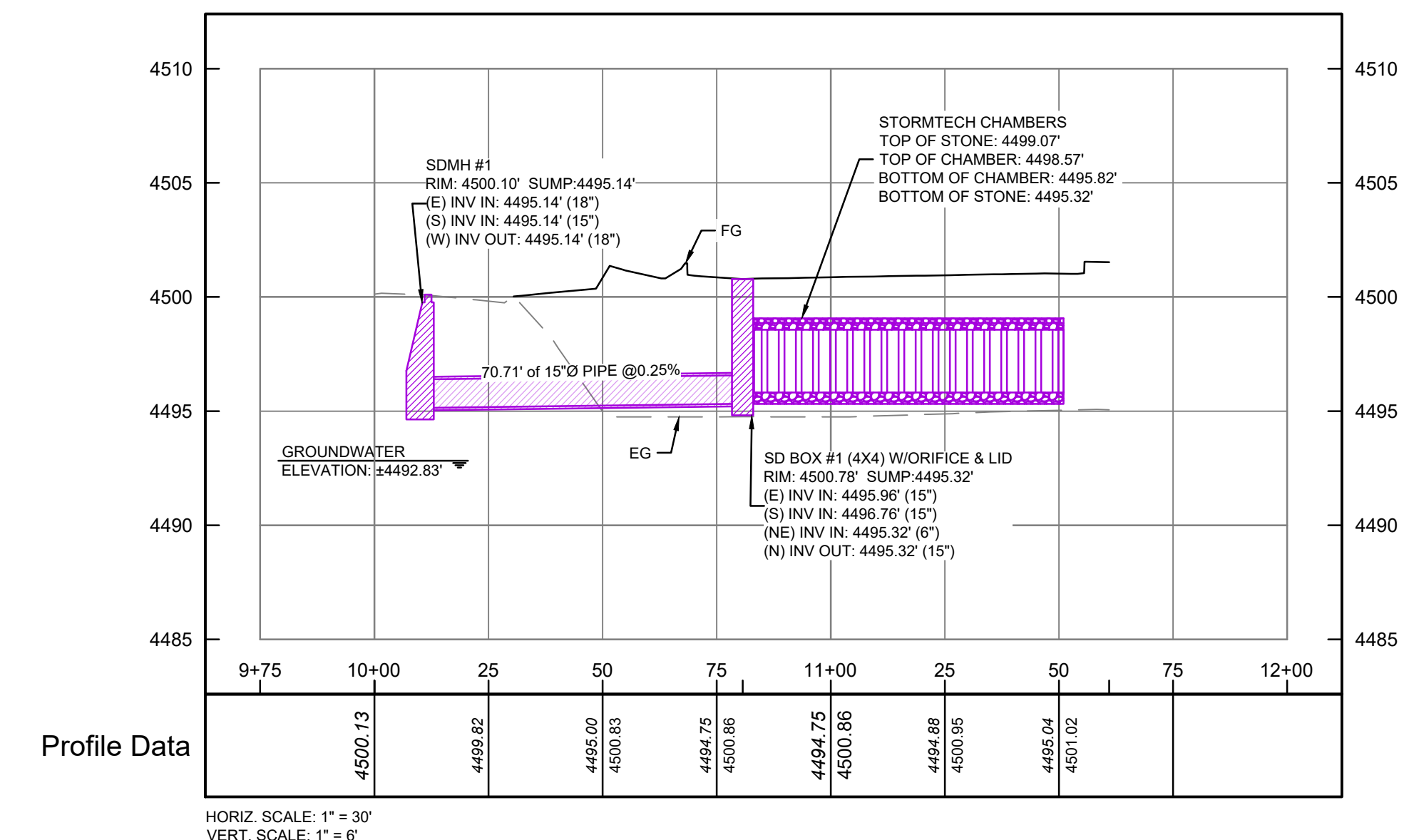
Duration, T (min)	Pre-Dev. Intensity, I (in/hr)	Post-Dev. Runoff, Q (cfs)	Inflow Volume, V _i (CF)	Average Outflow, Q _m (cfs)	Average Outflow, Q _m (cfs)	Outflow Volume, V _o (CF)	Storage Req'd, S (CF)	
5	7.240	4.61	9.73	2919	3.790	1.288	386	2532
10	5.600	3.57	7.53	4515	2.145	0.729	437	4078
15	4.610	2.94	6.19	5575	1.597	0.543	488	5087
30	3.040	1.94	4.09	7353	1.048	0.356	641	6712
60	1.830	1.17	2.46	8853	0.774	0.263	947	7906
120	1.030	0.66	1.38	9965	0.637	0.216	1559	8407
180	0.740	0.47	0.99	10739	0.591	0.201	2170	8569
360	0.420	0.27	0.56	12191	0.546	0.185	4005	8186
720	0.270	0.17	0.36	15674	0.523	0.178	7675	7999
1440	0.150	0.10	0.20	17415	0.511	0.174	15014	2401

$$Q = C_f CIA \quad V_i = (CIA)T \quad m = \frac{1}{2} \left(1 + \frac{T_c}{T}\right) \quad Q_m = mQ_a \quad V_o = Q_m T \quad S = V_i - V_o$$

Storage Volume based on Modified Rational Method, FAA Method

CALCULATIONS SHOW HYPOTHETICAL DETENTION/RETENTION REQUIREMENTS. DETENTION/RETENTION IN THE SOUTH SUB-BASIN IS INFEASIBLE DUE TO SHALLOW GROUNDWATER AND PROXIMITY TO WETLANDS

SD STORMTECH PROFILE



CLIMB CONCRETE COMMERCIAL

300 EAST 1700 SOUTH
 AMERICAN FORK, UT

MARK	DATE	DESCRIPTION

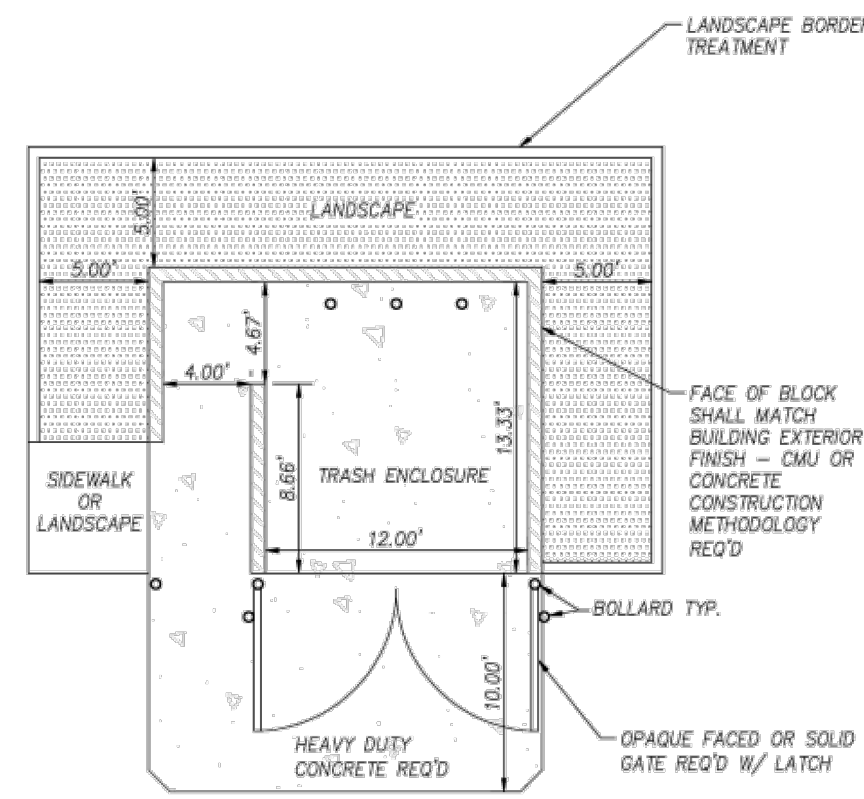
PROJECT #: 25-020
 DRAWN BY: R. WEBER
 PROJECT MANAGER: W. SOUTHWICK
 ISSUED: 3/3/2026



STORMWATER CALCULATIONS



B. 17.5.121.B - DUMPSTER ENCLOSURE STANDARDS



NOTES:

- 1. Landscaping shall include a combination of trees and shrubbery to create a landscape screen for the enclosure.
2. Enclosure shall be 6-foot-tall minimum.
3. Enclosure exterior shall match the exterior of the building for which it supports.
4. All dimensions shown are minimum.
5. Separate enclosures shall be provided for mixed-use developments to keep residential and commercial waste separate.
6. Alternative design may be approved by the Development Services Director.



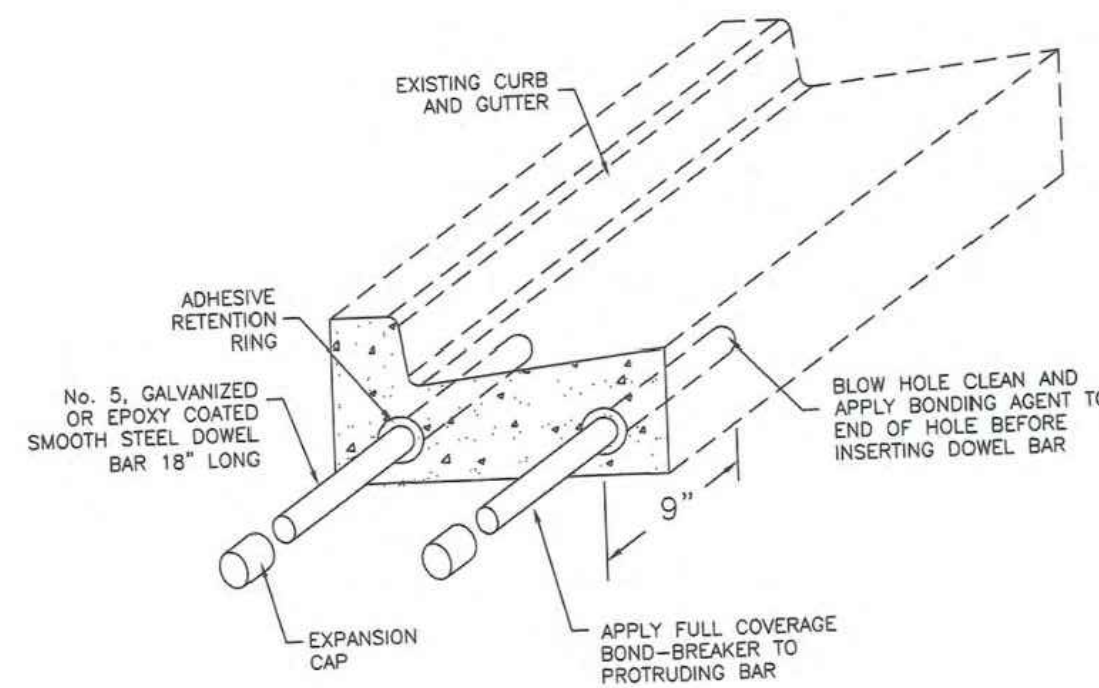
DUMPSTER ENCLOSURE REQUIRED DESIGN ELEMENTS:

- An enclosure must have an impervious surface.
• The container must rest on a flat, level concrete surface.
• Roofed or interior solid waste enclosures may contain floor drains; they must drain to the sanitary sewer.
• A concrete apron measuring the width of the enclosure and extending out 8' from the front will connect the enclosure pad to the surrounding pavement.
• The apron surface must be the same elevation as the enclosure pad threshold and the surrounding surfaces, with a slope of 1/8" per foot away from the enclosure pad.
• To avoid cracking and deterioration of the floor, engineer the surface to withstand up to 20,000 lbs. of direct force from a single truck axle.
• If the concrete apron transitions to asphalt, sufficient subsurface preparation is required to prevent dimpling or breakdown of the asphalt over time.
• Due to the weight, trash compactors require a solid concrete base consisting of a minimum of 6" of concrete.
• To avoid accidents and minimize the risk of an environmental discharge, it is a best practice not to place downspouts in the enclosure or in the driving path of collection vehicles.
• Best practice is to keep grease trap storage containers out of the solid waste enclosure!
• Hinged doors that swing outward or sliding doors that move side to side are acceptable.
• Gates may not open onto sidewalks, parking spaces or the public right of way.
• When using sliding gates, the guide cannot sit above the floor because the dumpster will not be able to roll over it.
• Gates must lead to the driveway, not to parking spaces or the handicapped safety zone.
• Gates must be of sufficient size and quantity so that it is not necessary to remove one dumpster to service another (trash, recycling).
• Gates should be 2" off the ground and hung on the outside.
• Opening dimensions must be clear of door edges, hinges or other obstructions.
• Install gate stops to prevent accidental gate swinging.
• Build walls of masonry or wood, with finishes and colors compatible with adjacent architecture.
• Chain link fencing does not constitute an acceptable enclosure wall.
• Minimum enclosure wall for dumpsters shall be 6' in height.
• Solid waste enclosures for dumpsters shall contain bollards or interior curb bumpers along the back wall to prevent damage to the wall.
• The recommended roll out area shall have a 2% maximum slope.
• The recommended maximum roll out area should not exceed 25' measured from the enclosure gate to the collection vehicle.

1 TRASH ENCLOSURE NOT TO SCALE C502

Curb and gutter connection

- 1. GENERAL
A. Connect new curb and gutter to existing curb and gutter that has not been placed by CONTRACTOR.
2. PRODUCTS
A. Reinforcement: Galvanized or epoxy coated, 60 ksi yield grade steel, ASTM A615.
B. Adhesive: Epoxy adhesive grout, APWA Section 03 61 00.
C. Bond Breaker: Paraffin wax, lithium grease, or other semi-solid, inert lubricant.
D. Expansion Cap: Plastic, with bar movement allowance of 1/2-inch.
3. EXECUTION
A. Ensure drill rigs (or jigs) are set at mid-depth of the gutter and horizontal to the surface.
B. Clean holes and dowel bars of dirt, dust and particles.
C. Place bonding agent in the back of each hole so adhesive flows out around each bar fully encasing it.
D. Insert dowels with at least one full turning motion and if necessary, place a grout retention disk on the dowel after insertion to contain adhesive.
E. Apply complete coverage of bond-breaker on the protruding end of each dowel.
F. Install expansion caps on protruding dowel bar ends.



3 CURB AND GUTTER CONNECTION NOT TO SCALE C502



Curb and gutter connection

Plan 206 June 2009

Curb and gutter

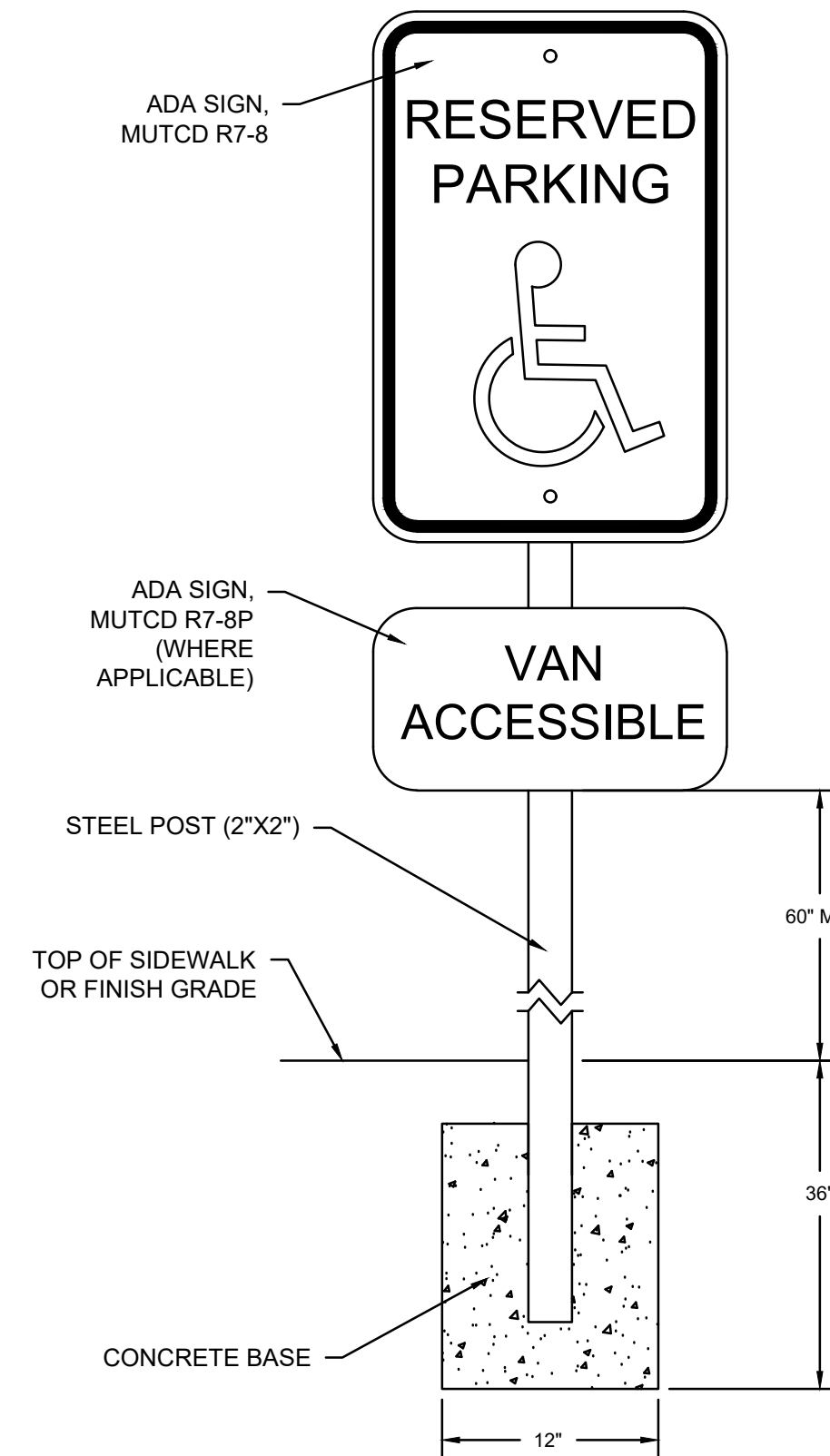
- 1. GENERAL
A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER.
2. PRODUCTS
A. Base Course: Untreated base course, APWA Section 32 11 23.
B. Expansion Joint Filler: 1/2-inch thick type F1 full depth.
C. Concrete: Class 4000, APWA Section 03 30 04.
D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye.
3. EXECUTION
A. Base Course Placement: Thickness is 6-inches if flow-line grade is 0.5 percent or greater.
B. Concrete Placement: APWA Section 03 30 10.
1) Install expansion joints vertical, full depth.
2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness.
3) Provide 1/2-inch radius edges.
C. Protection and Repair: Protect concrete from deicing chemicals during cure.

205.1

2 CATCH CURB AND GUTTER NOT TO SCALE C502

CATCH CURB AND GUTTER

Plan 205.1 Type A Curb and Gutter Revised January 2025. Includes diagrams for Type A - 30" Standard, Type A - 24" Standard, Type A - 30" ADA Access, Type A - 24" ADA Access, Type A - 30" Reverse Pan, and Type A - 24" Reverse Pan.



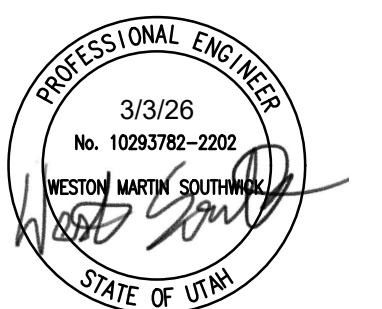
4 ADA PARKING SIGN NOT TO SCALE C502

civilsolutionsgroup inc. CACHE VALLEY | P: 435.213.3762 SALT LAKE | P: 801.216.3192 UTAH VALLEY | P: 801.874.1432 info@civilsolutionsgroup.net www.civilsolutionsgroup.net

CLIMB CONCRETE COMMERCIAL 300 EAST 1700 SOUTH AMERICAN FORK, UT

Table with columns for MARK, DATE, and DESCRIPTION.

PROJECT #: 25-020 DRAWN BY: R. WEBER PROJECT MANAGER: W. SOUTHWICK ISSUED: 3/3/2026



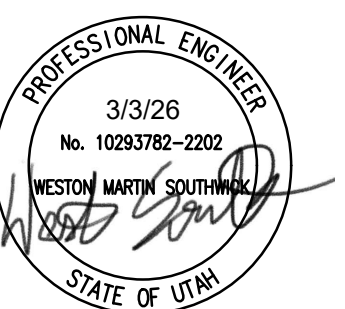
DETAILS

C502



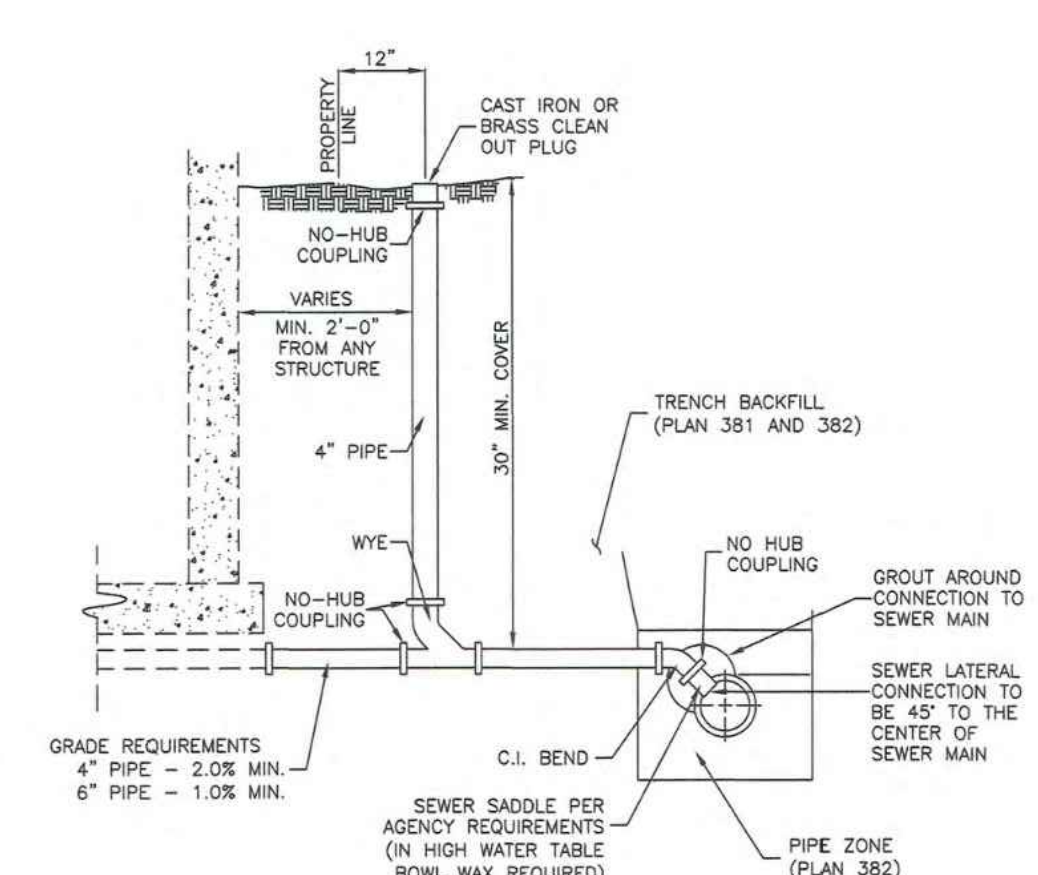
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DATE:	

PROJECT #: 25-020
DRAWN BY: R. WEBER
PROJECT MANAGER: W. SOUTHWICK
ISSUED: 3/3/2026



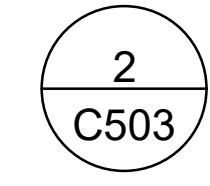
DETAILS

C503

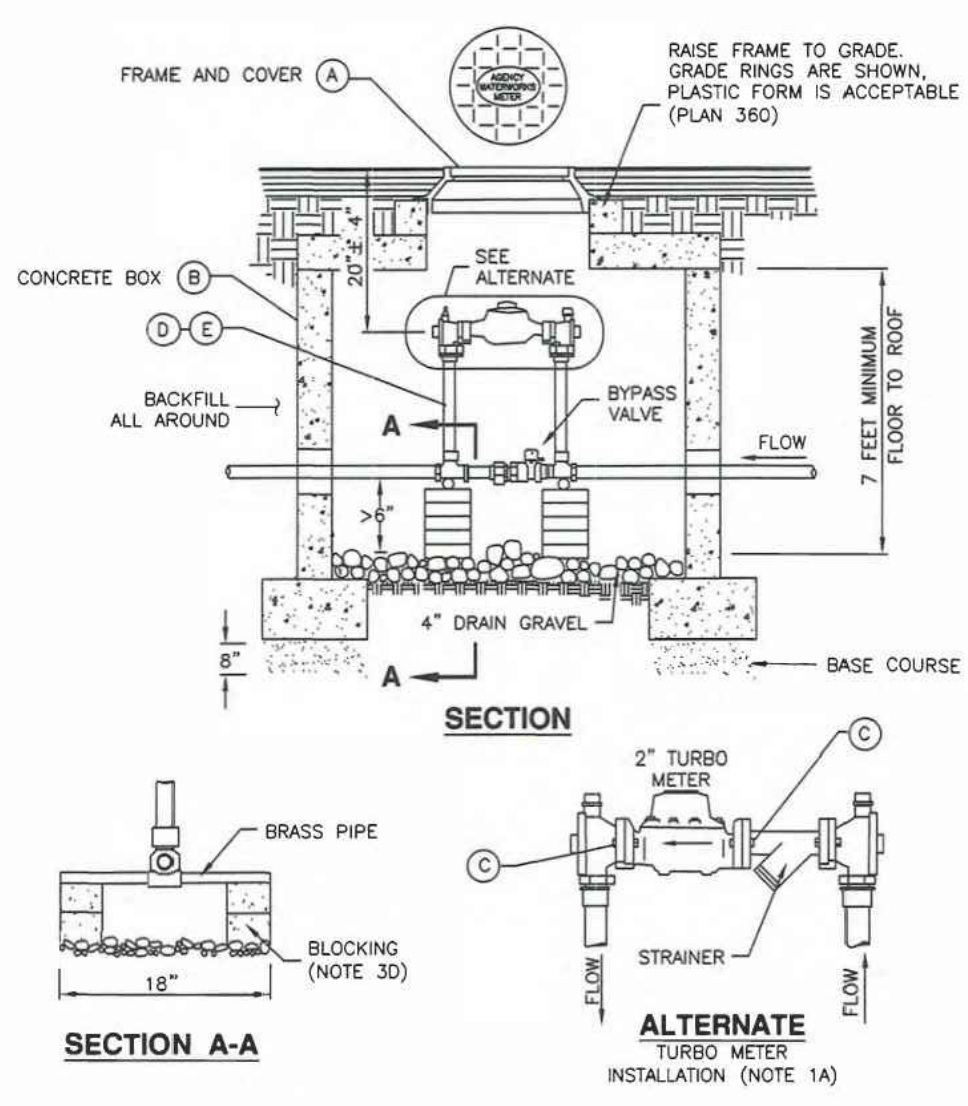


- Sewer lateral connection**
- GENERAL**
 - A. Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.
 - B. Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.
 - C. Verify if CONTRACTOR or agency is to install the wye.
 - PRODUCTS**
 - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - C. Provide agency approved wye or tee with appropriate donut.
 - D. Stainless steel straps required.
 - EXECUTION**
 - A. Tape wrap pipe as required by soil conditions.
 - B. Remove core plug from sewer main. Do not break into sewer main to make connection.
 - C. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

Plan **431**
January 2011



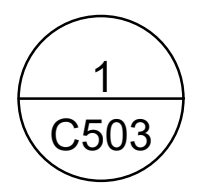
SEWER SERVICE
NOT TO SCALE



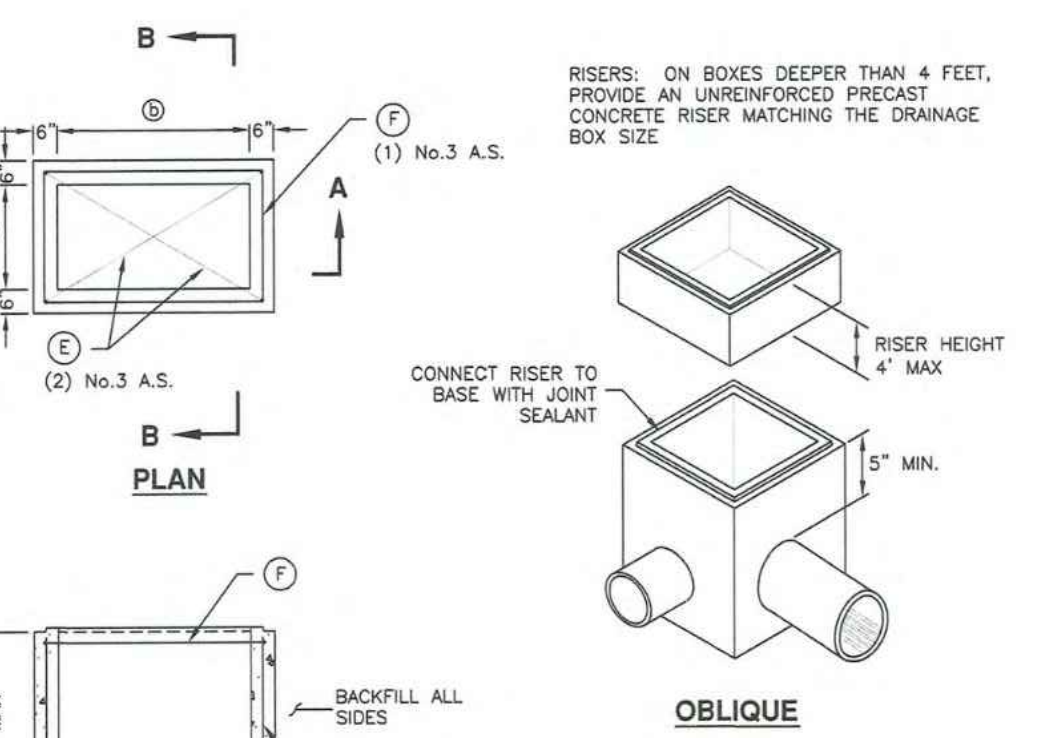
No.	ITEM	DESCRIPTION
(A)	27" FRAME AND COVER	PLAN 502
(B)	CONCRETE BOX	PLAN 505
(C)	STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)	1 1/2" CUSTOM SETTER WITH BYPASS	
(E)	2" CUSTOM SETTER WITH BYPASS	

* FURNISHED BY UTILITY AGENCY

Plan **522**
August 2001



2" WATER METER
NOT TO SCALE

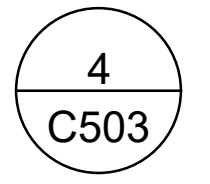


BOX SIZE	(A)	(B)
1.5 x 4	18"	48"
2 x 2	24"	24"
2 x 3	24"	36"
2.5 x 4	30"	48"
3 x 3	36"	36"
3 x 3.5	36"	42"
4 x 4	48"	48"

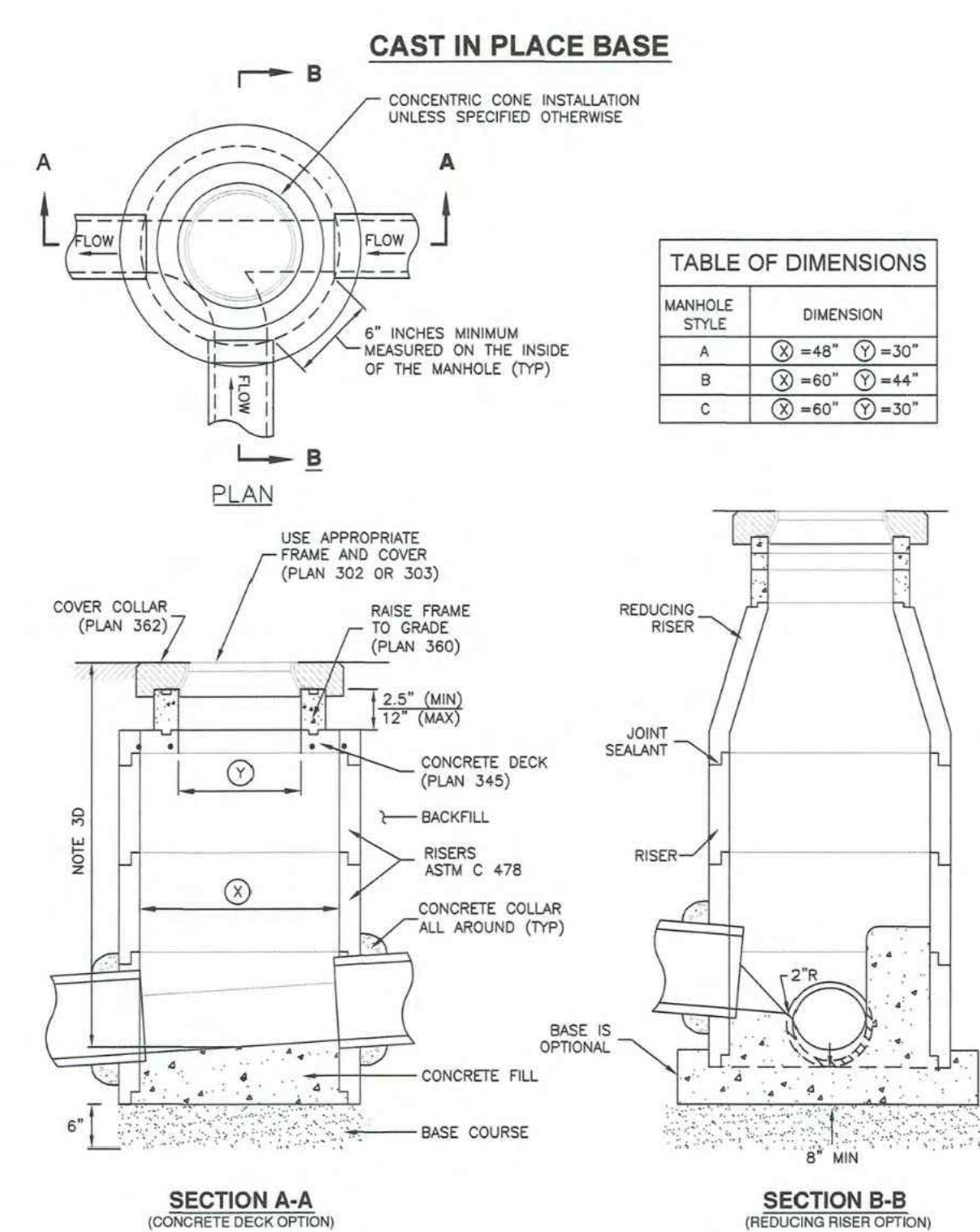
NOTE: OTHER BOX SIZES (LESS THAN 48") WITH DIFFERENT a and b DIMENSIONS ARE ACCEPTABLE.

REINFORCING STEEL LAYOUT	
PROVIDE 2" MIN. COVER ON ALL BARS	
BAR (E)	BAR (F)
	12"

Plan **332**
June 2010

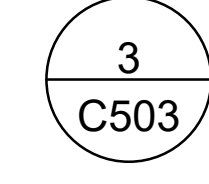


PRECAST BOX
NOT TO SCALE



MANHOLE STYLE	DIMENSION
A	(A) = 48" (B) = 30"
B	(A) = 60" (B) = 44"
C	(A) = 60" (B) = 30"

Plan **341.1**
November 2010

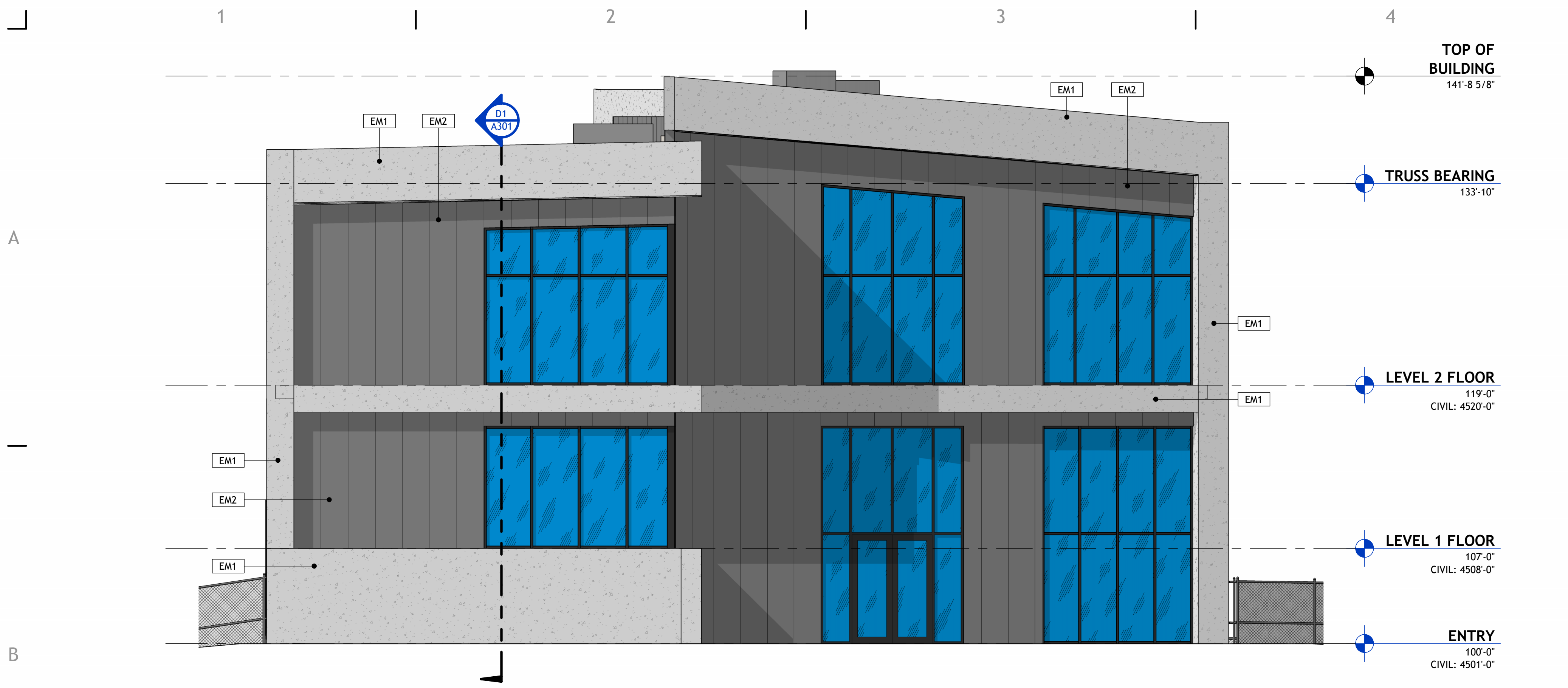


PRECAST MANHOLE
NOT TO SCALE

- GENERAL**
 - A. Turbine meters are required on all systems used exclusively for irrigation or fire protection.
 - B. Where domestic use is applicable, use a standard meter.
 - C. Before backfilling, secure inspection of installation by ENGINEER.
 - D. Additional requirements are specified in APWA Section 33 12 33.
- PRODUCTS**
 - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - C. Castings: Grey iron class 35 minimum per ASTM A48, coated with asphalt based paint or better.
- EXECUTION**
 - A. Meter Placement:
 - 1) All meters are to be installed in the park strip or within 7 feet of the property line (street side).
 - 2) Do not install meters under driveway approaches, sidewalks, or curb and gutter.
 - 3) In new construction, install meter at center of lot or per agency requirements.
 - B. Meter Box: Set box so grade of the frame and cover matches the grade of the surrounding surface.
 - C. Bypass Valve: Lock in off position.
 - D. Blocking: Use clay brick or concrete block.
 - E. Concrete Box:
 - 1) Center frame and cover over water meter.
 - 2) Allow 1-inch clearance around waterline where water line passes through concrete box wall. Seal opening with compressible seal.
 - F. Pipe Outside of Right-of-Way: Coordinate with utility agency or adjacent property owner for type of pipe to be used outside of right-of-way.
 - G. Base Course and Backfill Placement: Maximum lift thickness before compaction is 8-inches. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.

Plan **522**
Revised January 2025

Plan **341.1**



B1 NORTH ELEVATION
A201 | SCALE: 3/16" = 1'-0"

KEYNOTES

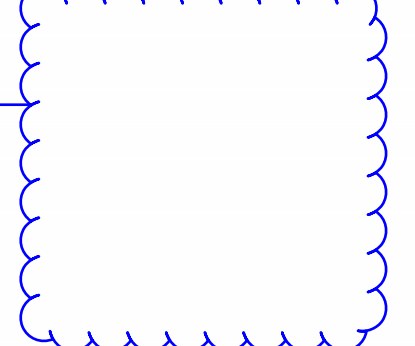
- 05.04 PRE-FINISHED METAL GUARDRAIL, 42" TALL MINIMUM.
- 08.02 PRE-FINISHED ALUMINUM ENTRY SYSTEM, CLEAR ANODIZED.



233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
core@corearch.com

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PROFESSIONAL STAMP



CONSULTANT INFORMATION

American Fork City
Development Review Committee

Planning and Zoning
Reviewed
copperman 03/25/2026

Engineering Division
Reviewed
rburkhill 03/25/2026

Provide elevations of the dumpster enclosure, like you have done with the Preliminary Plan.

See comment

Address comments

Sign, stamp, and date

Next Step
Post Entitlement Review
Required.

Revise and resubmit following the DRC meeting to address remaining comments

Next Step
Proceed to the Development
Review Committee on
03/30/2026

Re-Submittal Acknowledgment Statement
The Applicant is responsible for reviewing all documents to ensure all comments have been addressed.

_____ [Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal.

_____ [Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

_____ [Applicant Initial] This is the _____ [Ex: 1st] complete re-submittal of the subdivision constituting the start of the _____ [Same Number] Review Cycle.



D1 SOUTH ELEVATION
A201 | SCALE: 3/16" = 1'-0"

PROJECT TITLE AND ADDRESS
**CLIMB CONCRETE
OFFICE**

300 EAST 1700 SOUTH
AMERICAN FORK - UTAH - 84003

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION

DATE: 24 FEBRUARY 2026
PROJECT #: 24-151
DRAWN BY: CORE
PM / PA: CORE

DRAWING SET STATUS
CONSTRUCTION DOCUMENTS

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER
A201

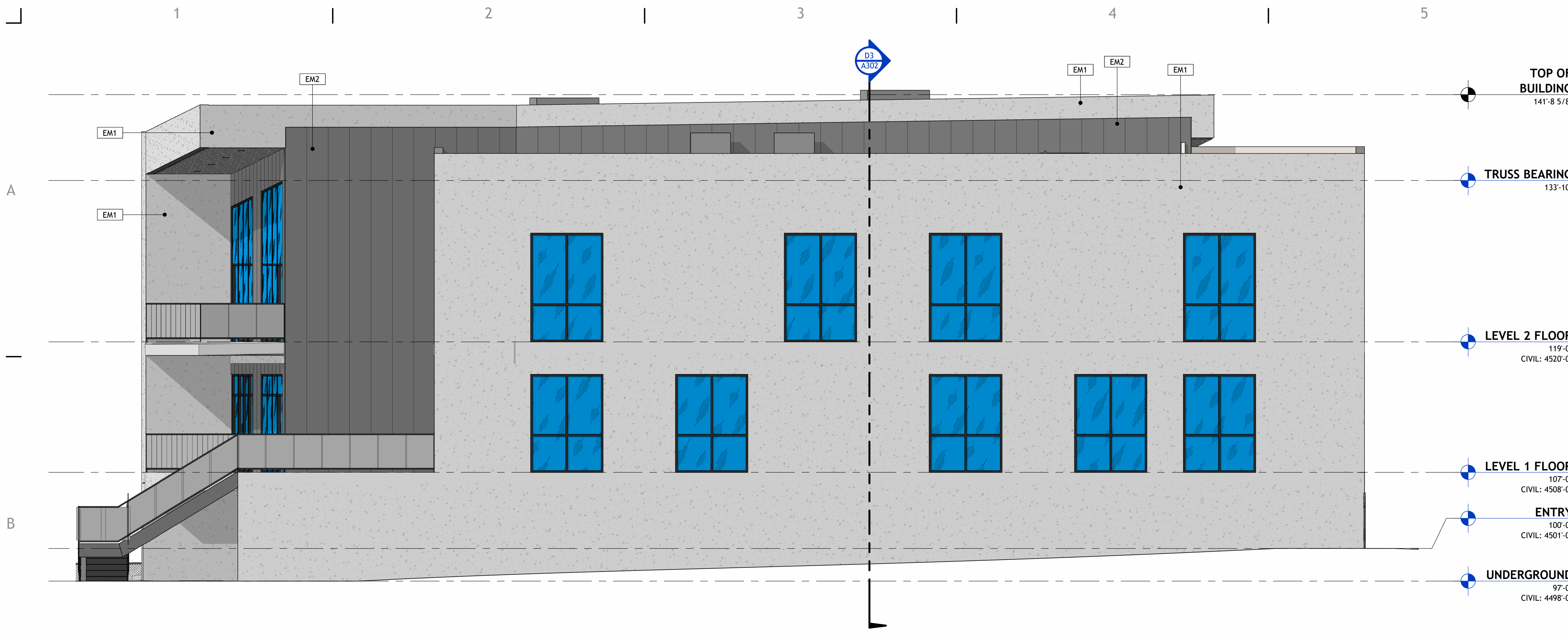
EXTERIOR MATERIAL LEGEND

- EM1** EXPOSED CONCRETE
- EM2** 24" VERTICAL METAL PANEL

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- E. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE BRASS SCUPPER AND ROOF SCUPPER WITH PRE-FINISHED ALUMINUM DOWN SPOUT LOCATIONS ALONG EXTERIOR WALLS.
- F. SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- G. SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- H. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- I. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

Autodesk Docs: /24-151 Climb Concrete Office/24-151 Climb Concrete Office V2.rvt
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KEYNOTES

21.02 FIRE DEPARTMENT CONNECTION.

CORE ARCHITECTURE
 233 SOUTH PLEASANT GROVE BLVD.
 SUITE #105
 PLEASANT GROVE, UTAH 84062
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PROFESSIONAL STAMP

CONSULTANT INFORMATION

Sign, stamp, and date

B1 EAST ELEVATION
 A202 SCALE: 3/16" = 1'-0"



TOP OF BUILDING
 141'-8 5/8"

TRUSS BEARING
 133'-10"

LEVEL 2 FLOOR
 119'-0"
 CIVIL: 4520'-0"

LEVEL 1 FLOOR
 107'-0"
 CIVIL: 4508'-0"

ENTRY
 100'-0"
 CIVIL: 4501'-0"

UNDERGROUND
 97'-0"
 CIVIL: 4498'-0"

EXTERIOR MATERIAL LEGEND

EM1		EXPOSED CONCRETE
EM2		24" VERTICAL METAL PANEL

GENERAL NOTES

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CLIMB CONCRETE OFFICE
 300 EAST 1700 SOUTH
 AMERICAN FORK - UTAH - 84003

REVISIONS

Δ DESCRIPTION	DATE

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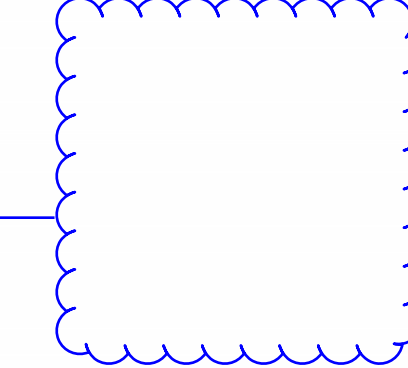
EXTERIOR ELEVATIONS

SHEET NUMBER
A202

D1 WEST ELEVATION
 A202 SCALE: 3/16" = 1'-0"

Autodesk Docs: /24-151 Climb Concrete Office/24-151 Climb Concrete Office V2.rvt 3/10/2026 9:05:17 AM

PROFESSIONAL STAMP



CONSULTANT INFORMATION

Sign, stamp, and date

PROJECT TITLE AND ADDRESS
CLIMB CONCRETE OFFICE

300 EAST 1700 SOUTH
AMERICAN FORK - UTAH - 84003

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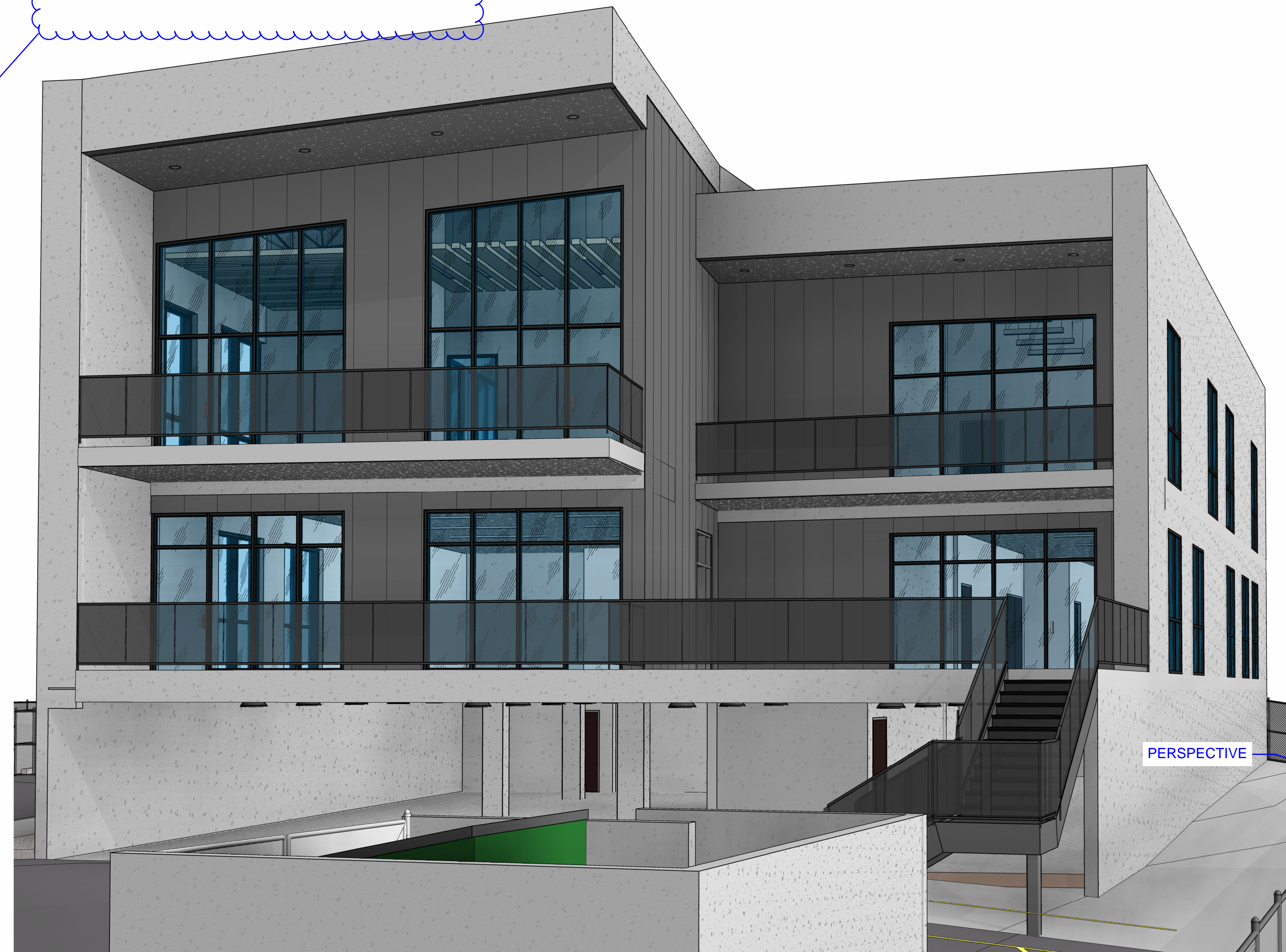
THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

3D PERSPECTIVE VIEWS

SHEET NUMBER

A251



Identify which direction this view is looking from

Identify which direction this view is looking from

Identify which direction this view is looking from

Identify which direction this view is looking from

PERSPECTIVE

