

# PLANNING COMMISSION MEETING

March 24, 2026

6:30 p.m.

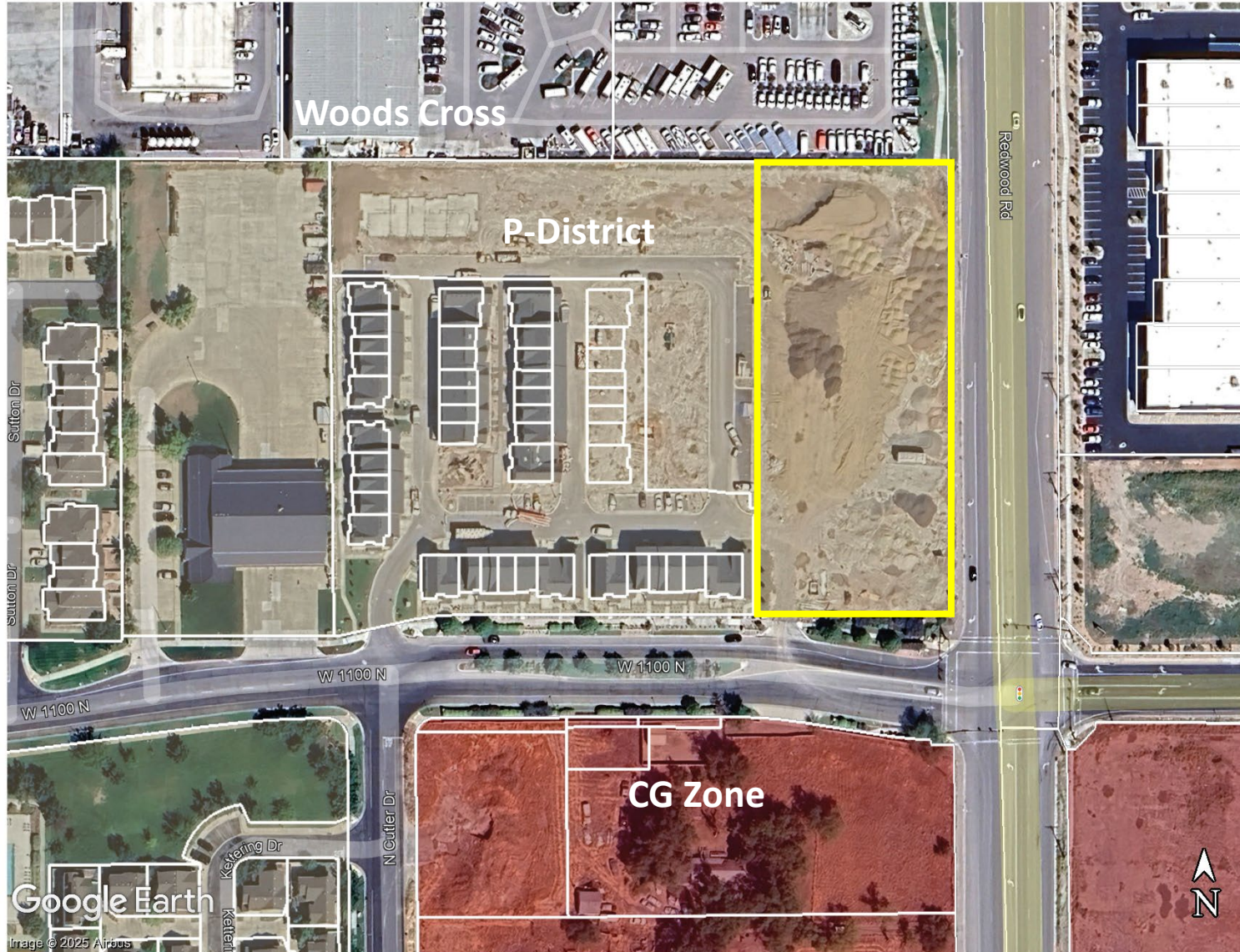


# CITIZEN COMMENT

Preliminary Subdivision Plan  
The Yard  
1155 North Redwood Road



# Preliminary Plan The Yard Aerial/Zoning

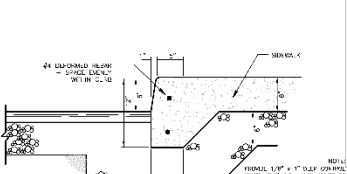
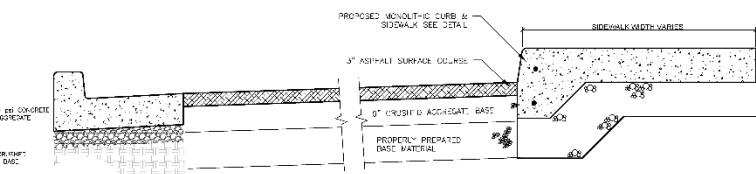
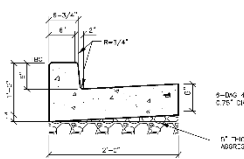
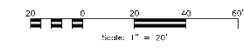
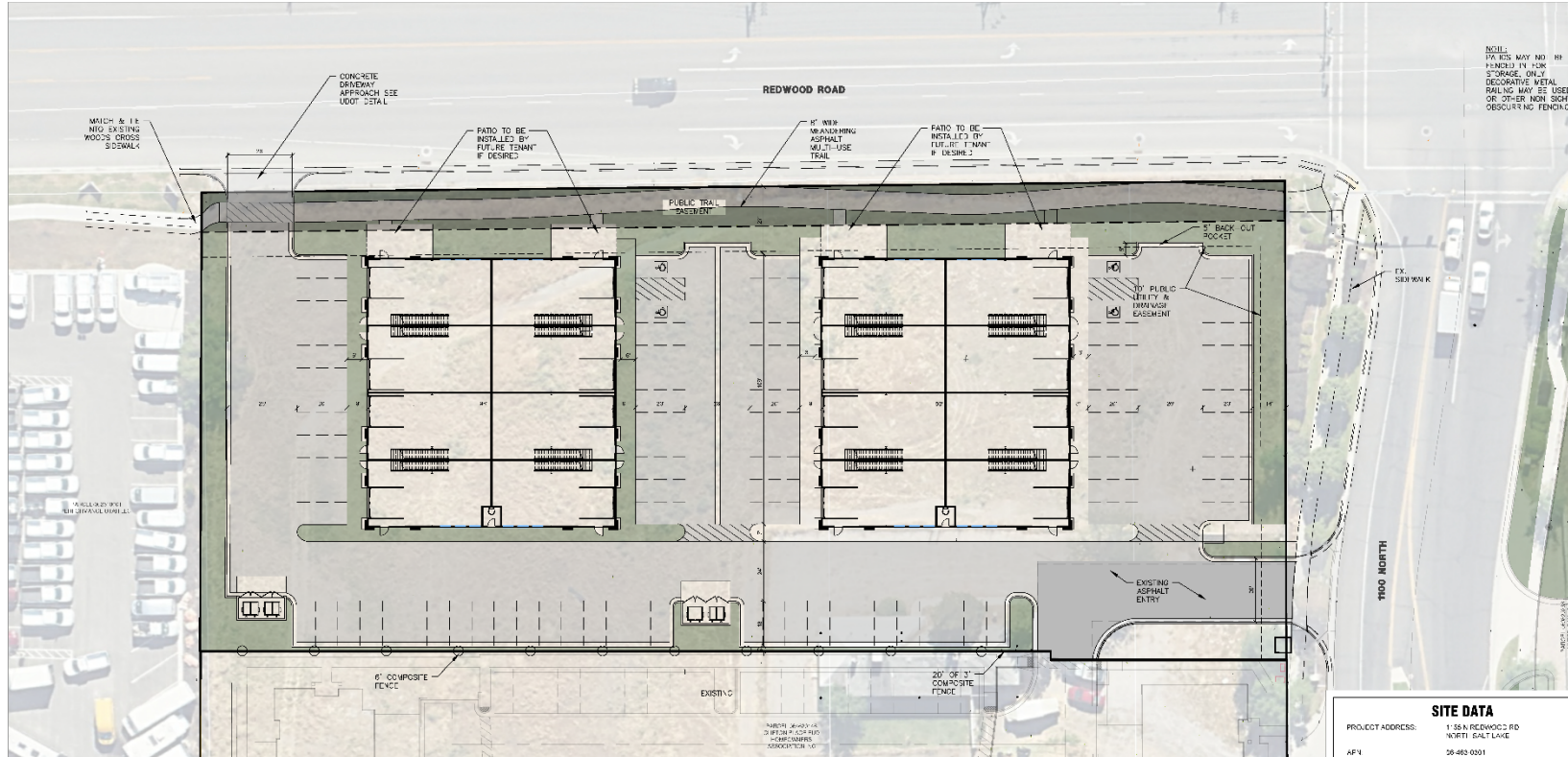




# Preliminary Plan

## The Yard

### Site Plan

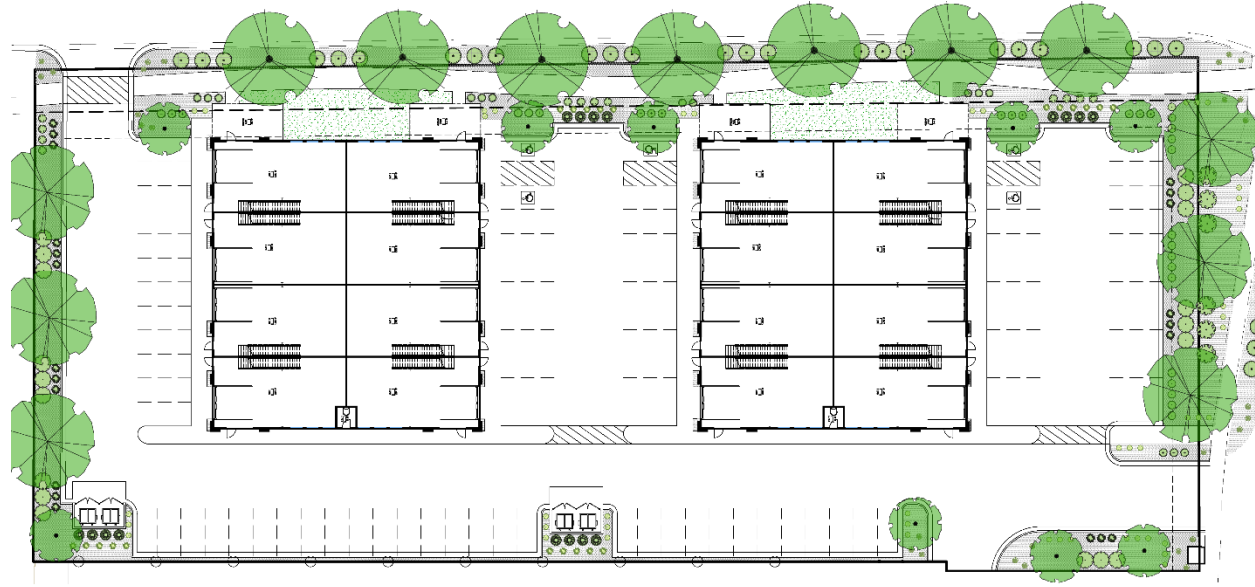


SITE DATA	
PROJECT ADDRESS:	158 N REDWOOD RD NORTH GAITHER
APN:	20-453-0011
ZONING:	PLANNED DISTRICT
TOTAL PARCEL AREA:	31,773 S.F. (1.88 AC)±
STREET & IMPERVIOUS SURFACES:	47,375 S.F. 87.3%
BUILDING COVERAGE:	21,732 S.F. 25.9% 16 FLEX SPACES
CURBS COMMON LANDSCAPE AREA:	12,968 S.F. 13.5%
COMMON LANDSCAPE AREA:	6,172 S.F.
PRIVATE/UTILITY COMMON AREA LANDSCAPING:	-
LANDSCAPE AREA:	-
SEPARATED LANDSCAPE AREA:	18,360 S.F. (58% OF LANDSCAPE)
STREET PAVING:	88 STALLS PROVIDED (S.A.D.A.)

## The Yard Subdivision



# Preliminary Plan The Yard Landscape Plan



## PLANT TABLE

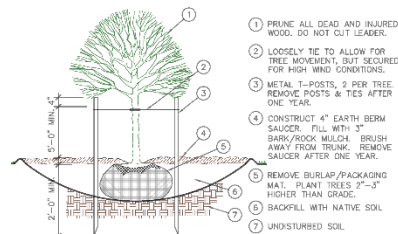
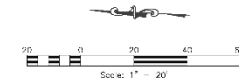
TREES				
Quantity	Symbol	Scientific Name	Common Name	Size
8		<i>Q. laevis</i>	Common Hackberry	2" cal.
7		<i>Gleditsia triacanthos 'imperial'</i>	Imperial Honey Locust	2" cal.
10		<i>Gymnocodium dioicus</i>	Kentucky Coffee Tree	2" cal.

SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Size
18		<i>Eurygymis alata 'Compacta'</i>	Dwarf Burning Bush	5 gal.
30		<i>Juniperus 'Nana'</i>	Blue Juniper	5 gal.
27		<i>Thuja 'Smaragd'</i>	Emerald Green Arborvitae	5 gal.
15		<i>Smilax 'Fruitless 'Star' Tree'</i>	Star Tree	5 gal.
6		<i>Rhus aromatica 'Glo-Low'</i>	Glo-Low Sumac	5 gal.
17		<i>Rosa sp. 'Blushing Knockout'</i>	Blushing Knockout Rose	5 gal.
18		<i>Spiraea dumalis 'Gold Mound'</i>	Gold Mound Spirea	5 gal.
10		<i>Hydrangea 'Himalaya'</i>	Himalaya Hydrangea	5 gal.
12		<i>Viburnum 'Shady Camellia'</i>	Shady Camellia Viburnum	5 gal.
3		<i>Nyssa flameolata 'Color Guard'</i>	Color Guard Yucca	5 gal.

ORNAVENTAL GRASS				
Quantity	Symbol	Scientific Name	Common Name	Size
21		<i>Calamagrostis 'Karl Foerster'</i>	Karl Foerster Grass	1" gal.

PERENNIALS				
Quantity	Symbol	Scientific Name	Common Name	Size
31		<i>Hebe 'Stella de Oro'</i>	Stella de Oro Daylily	1" gal.
45		<i>Lobelia 'angustifolia 'Munstead'</i>	Munstead Lobelia	1" gal.

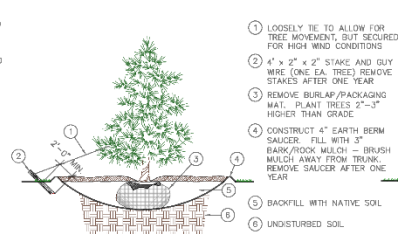
OTHER				
Quantity	Symbol	Description	Type	Depth
2,954 S.F.		Turf Grass - Sod	Sod	
10,825 S.F.		Kentucky Bluegrass Mix - 3 Species Mixture	Mulch	
		Race Mulch - Place mulch over 5 course Professional weed barrier cloth in all parking beds. Contractor to provide samples to owner for approval prior to delivery.	1" Depth	3" Depth



### DECIDUOUS TREE PLANTING

NTS

1. PRUNE ALL DEAD AND INJURED WOOD. DO NOT CUT LEADER.
2. LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS.
3. METAL T-POSTS, 2 PER TREE REMOVE POSTS & TIES AFTER ONE YEAR.
4. CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH. BRUSH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR.
5. REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE.
6. BACKFILL WITH NATIVE SOIL.
7. UNDISTURBED SOIL.



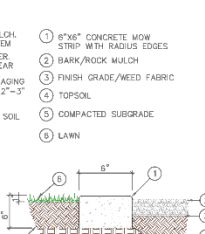
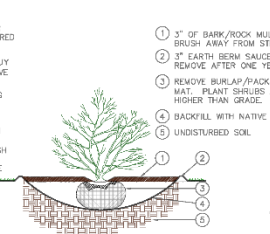
### CONIFEROUS TREE PLANTING

NTS

1. LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS.
2. 4" x 2" x 2" STAKE AND GUY WIRE (ONE EA. TREE) REMOVE STAKES AFTER ONE YEAR.
3. REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE.
4. CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH. BRUSH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR.
5. BACKFILL WITH NATIVE SOIL.
6. UNDISTURBED SOIL.

### SHRUB PLANTING

NTS



### CONCRETE CURB

NTS

1. 6"x6" CONCRETE MOW STRIP WITH RADIUS EDGES
2. BARK/ROCK MULCH
3. FINISH GRADE/WEED FABRIC
4. TOPSOIL
5. COMPACTED SUBGRADE
6. LAWN

## PLANTING NOTES

1. North Salt Lake City ordinance requires compliance with City Code 10-22 regarding Water Utility, Landscaping, Signages.
2. This planting plan is diagrammatic and plant locations are approximate. Contractor to verify all quantities and do their own checks.
3. Field survey, stakes, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and amount of the intended work to be done.
4. Contractor to coordinate all aspects of the planting plan with the irrigation system and call the attention of the owner representative to any conflicts in placement of plants in relation to surface bodies. Final grade of soil in landscape installation phase takes place.
5. Final grade of soil in landscape shall be 2" below posts, walls, pavers, headers and curbs to accommodate soil grades in areas where needed shall be 1" lower than adjacent edges.
6. Native topsoil shall be established and stored on site whenever possible for use in landscape areas.
7. All tree areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
8. Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
9. Face each shrub to give the most pleasing look as seen from the line perpendicular to the work edge to/from which it is viewed.
10. Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
11. Shrubs shall be installed in rows, allowing water from occurring soil moisture, grading, staking or retaining beds to the attention of the owner representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
12. Place mulch in all shrub beds and beneath a tree. See schedule for depth and type. Do not cover soil with mulch or other material.
13. Provide a 3" minimum diameter stone 'tree ring' around trees that are placed within lawn grass. Place a 3" min. depth of mulch. Use shredded bark mulch or straw mulch being used for shrub beds.
14. The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



# Preliminary Plan The Yard Elevations



**ELEVATION GENERAL NOTES:**

- A. SEE ARCHITECT'S SITE PLAN FOR CONFORMANCE WITH THE ELEVATIONS.
- B. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- C. ALL MATERIALS SHALL BE FINISHED AND DELIVERED TO THE SITE.

**ELEVATION GENERAL NOTES:**

- A. SEE ARCHITECT'S SITE PLAN FOR CONFORMANCE WITH THE ELEVATIONS.
- B. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- C. ALL MATERIALS SHALL BE FINISHED AND DELIVERED TO THE SITE.
- D. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- E. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- F. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- G. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- H. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- I. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.
- J. CONSIDER THE BUILDING'S RELATIONSHIP TO THE SURROUNDING ENVIRONMENT.

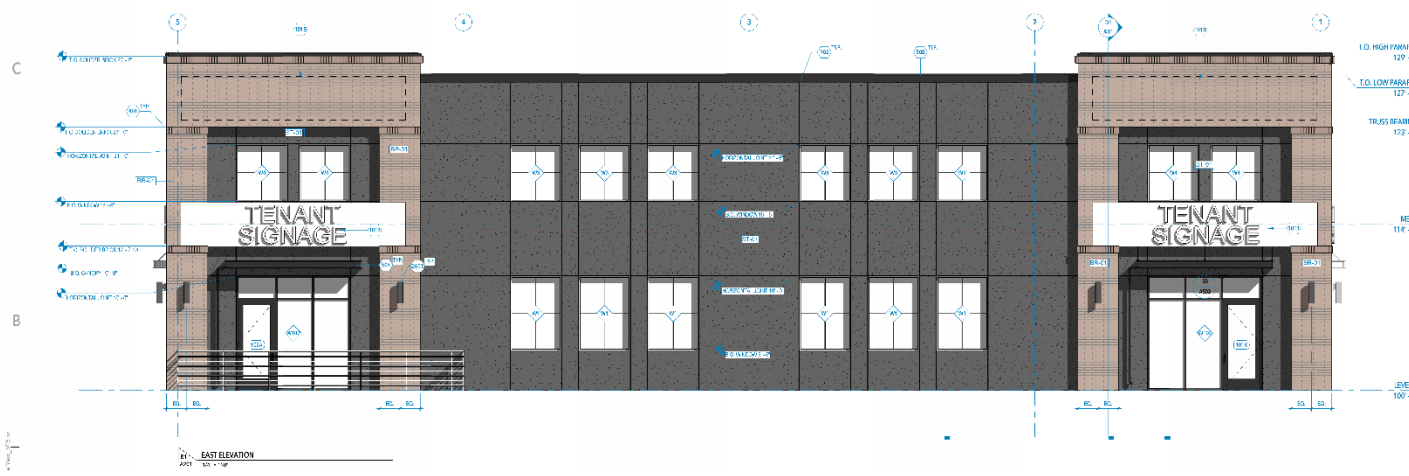
**KEYNOTE LEGEND**

- 40 SOLAR PROTECTION
- 90 SOLAR PROTECTION
- 95 SOLAR PROTECTION
- 98 SOLAR PROTECTION
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- 119 SOLAR PROTECTION
- 120 SOLAR PROTECTION

**EXTERIOR MATERIALS LEGEND:**

- BR1 BRICK
- BR2 BRICK
- BR3 BRICK
- BR4 BRICK
- BR5 BRICK
- BR6 BRICK
- BR7 BRICK
- BR8 BRICK
- BR9 BRICK
- BR10 BRICK
- BR11 BRICK
- BR12 BRICK
- BR13 BRICK
- BR14 BRICK
- BR15 BRICK
- BR16 BRICK
- BR17 BRICK
- BR18 BRICK
- BR19 BRICK
- BR20 BRICK

EXTERIOR MATERIALS BY ORIENTATION										
ORIENTATION	BRICK	STONE	CONCRETE	GLASS	WOOD	STEEL	OTHER	FINISH	TEXTURE	COLOR
NORTH	BR1									
SOUTH	BR2									
EAST	BR3									
WEST	BR4									



THE YARD  
1100 W. MIDWOOD ROAD  
NORTH SALT LAKE, UT, 84054

RUCTION  
100% APPROVAL

Preliminary Subdivision Plan  
The Yard

**Proposed Motion:**

I move that the Planning Commission approve the Preliminary Plan for The Yard at 1155 North Redwood Road with the following findings and conditions:

Findings:

1. The plan has been developed in accordance with the intent, standards and criteria specified in City Code Title 13 and other applicable regulations;
2. The plan conforms to an approved concept plan;
3. The plan creates no substantial financial hardship to the City; and
4. The plan creates no substantial environmental consequence which will adversely impact upon adjacent properties and the health, safety or welfare of the inhabitants of the City.

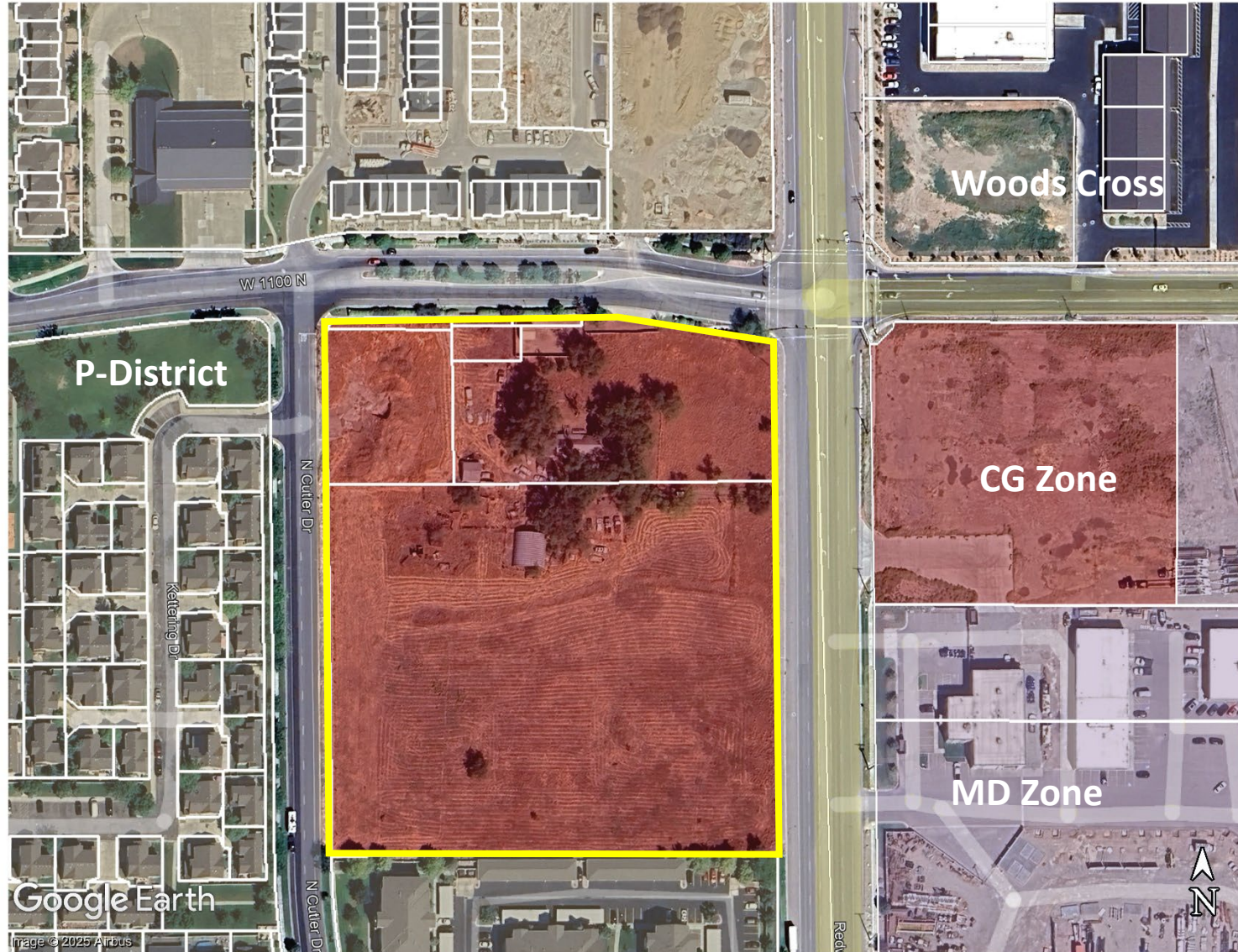
Conditions:

1. The Planning Commission recommends to the City Council that the Development Agreement be amended to increase the maximum front yard setback from 1100 North to 90 feet;
2. Confirmation of South Davis Metro Fire Agency's project acceptance prior to final plat recordation; and
3. Correction of minor redlines related to landscaping, building elevations, utilities, and drainage.

Preliminary Subdivision Plan  
Clifton Place South PUD Phases  
1, 2, & 3  
1095 North Redwood Road



# Preliminary Plan Clifton Place South PUD Aerial/Zoning









Preliminary Plan  
Clifton Place South PUD  
Elevations



Preliminary Subdivision Plan  
Clifton Place South PUD Phases 1, 2, & 3

**Proposed Motion:**

I move that the Planning Commission approve the Preliminary Plan for Clifton Place South PUD Phases 1, 2, and 3 at 1095 North Redwood Road with the following findings and conditions:

Findings:

1. The plan has been developed in accordance with the intent, standards and criteria specified in City Code Title 13 and other applicable regulations;
2. The plan conforms to an approved concept plan;
3. The plan creates no substantial financial hardship to the City; and
4. The plan creates no substantial environmental consequence which will adversely impact upon adjacent properties and the health, safety or welfare of the inhabitants of the City.

Conditions:

1. Correction of minor engineering redlines.

# 2026 Legislative Update

## Land Use

### **HB0033 Political Signs Amendments**

- Allows signs less than 18"x24" in park strips if placed by the owner adjacent to
- Signs must be removed 14 days after election
- City must store removed signs by owner adjacent to, or if city staff due to safety
- City must contact candidate to pick up signs

*Amend City Code 10-4-18*

*Implications on sign content...*

### **HB0041 Construction and Fire Codes-effective 1/1/27**

- Adopts 2024 WUI Code -
- Only areas with a smooth structure exposure score of 5 and above can be included on City WUI map

*Adopt WUI Map*

### **HB0045 Fire Code Amendments-effective 7/1/2026**

- Adopts 2024 IFC
- Adopts 2024 NFPA

### **HB0065 Construction Code Amendments-7/1/2026**

- Adopts 2024 Construction Codes

*No ordinance changes required*

### **HB0147 Government Forms**

- All forms must be available for electronic submission

*Already compliant*

### **HB0215 Landscaping Restrictions Amendments**

Effective 5/6/2026

- City may not enact or enforce a regulation that prohibits removal of vegetation for property in the WUI

*Implications on geologically sensitive areas that are prohibited from removing vegetation, as well as platted “scenic easements”*

### **HB0378 Fugitive Dust Mitigation** effective 1/1/27

- Beginning on 7/1/2027 DEQ may impose annual compliance fee based on annual air pollutant emissions
- Requires visible signage at gravel pits with name, air quality permit #, business id, and contact info.

*No clear implication*

### **HB0425 Local Govt Fees**-effective 5/6/2026

- City may charge transportation use fee
- Requires study
- Must be based on trip generation, vehicle types, traffic counts
- Cannot be based upon market value of property

### **HB0436 Moderate Income Housing Infrastructure**

- To retain priority status for transportation funding must report by 7/1/26 number of new residential certificates issued in previous 12 months
- For 2027 to qualify for priority status city must have growth greater than 2.5%

*May not qualify for priority funding*

### **HB0457 Municipal Annexations**

- Unincorporated island surrounded entirely by one city will be automatically annexed into the city.

*No implications*

### **Misc. RDA Bills**

- Reorganization of RDA tools
- New Regionally significant development zones

*No clear implications*

### **SB0321 Municipal Elections**

- Candidates must file an end of year campaign finance summery (every year) until the account has reached zero

*Implications on those that have left over campaign donations and save them for use during re-election campaigns*

## **SB0284 Local Land Use Modifications**

- Planning Commissioners Code (*amend 2-1-4*)
  - Must state causes for removal
  - Guidance for conflicts of interest
  - Rules of order and procedures in meetings
- PC training
  - Annual 1 hour training including role in legislative, administrative, and quasi-judicial functions
  - Annual 3 hours of land use and ethics training
- Public all fees and land use regulations on website
- CC can act on land use regulation without recommendation from PC if applicant makes a request and the CC feels the PC has had enough time to review
- Incorporate into ordinance a process for reviewing and approving new or unlisted business uses and the appeal rights of such
  - Submit to CC an application and a time limit to approve

- May not regulate model homes or open houses differently than a residential use (*amend 13-2-6 which allows model homes to begin construction prior to infrastructure completion*)
- Public a checklist for each application by 10/1/2026
- CC cannot be an appeal authority, changes the standard of review for appeals, only the city or the appellant may provide testimony
- Detached ADUs on lots 11,000 sq. ft or larger are a permitted use, may only require 2 parking spaces for ADUs over 650 sq. ft. (1 if less than 650 sq. ft.)
- City may regulate height and stories, if a LUA approved a commercial lodging structure prior to 9/1/2025 which is in conflict with ordinance related to height and stories, the LUA may not limit the number of stories (auto repeals on 7/1/2027)

*Amend: 2-1-4; Title 10, Ch. 11 Land Uses; 13-2-6*

# ACTION UPDATE

- No Council Meeting on March 17
- Arts Committee is working on 2026 Mural Location
- NSL Reads was a success on March 5

**MINUTES**

# Minutes-January 27, 2026

## **Proposed Motion:**

I move that the Planning Commission approve the minutes for February 24, 2026 with

- No changes
- or
- With modifications as discussed

**ADJOURN**