



**Wednesday, March 11, 2026
Development Review Committee**

DEVELOPMENT REVIEW COMMITTEE AGENDA

PUBLIC NOTICE is hereby given that the Development Review Committee of Spanish Fork, Utah, will hold a regular meeting at the City Council Chambers at Library Hall, 80 South Main Street, Second Floor, Spanish Fork, Utah, commencing at 10:00 a.m. This meeting is not available to attend virtually.

1. Approval of Minutes

A. February 25, 2026.

2. Minor Plat Amendment

A. PIONEER RIDGE ESTATES PLAT C. This proposal involves amending the scenic corridor easement lines for two residential lots in the Pioneer Ridge Estates Subdivision at 1596 East 1900 South.

3. Preliminary Plat

A. ANDY RIDGE SUBDIVISION. This proposal involves approving a Preliminary Plat for a standard subdivision with six single-family residential lots to be located at 418 West Quail Run Road.

4. Zone Change

A. ANDY RIDGE ZONE CHANGE. This proposal involves changing the zoning for a property from R-R to R-1-12 to allow for the development of a standard subdivision with six residential lots to be located at 418 West Quail Run Road.

5. Site Plan

A. SPANISH FORK STATION 61. This proposal involves development of a fire station building located at 197 West Center Street.

6. Discussion Items

A. SPANISH FORK RESERVOIR TRAIL 90% PLAN.

B. 1400 NORTH ROADWAY IMPROVEMENTS.

7. Adjourn

End

Draft Minutes
Spanish Fork City Development Review Committee
80 South Main Street
Spanish Fork, Utah
February 25, 2026

Staff Members Present: Cory Pierce, Public Works Director; Seth Perrins, City Manager; Dave Anderson, Community Development Director; Brandon Snyder, Senior Planner; David Mann, Senior Planner; Kasey Woodard, Community Development Secretary; Ian Bunker, Associate Planner; Vaughn Pickell, City Attorney; Joshua Nielsen, Assistant City Attorney; John Little, Chief Building Official; Byron Haslam, Assistant City Engineer; Josh Wagstaff, Assistant City Engineer; Marcie Clark, Engineering Department Secretary; Bart Morrill, Parks Maintenance Supervisor; Bryton Shepherd, Landscape Architect; Jason Turner, Fire Marshall; Dillon Muirbrook, Traffic Engineer; Garret Elmer, Power Department Assistant Superintendent.

Citizens Present: Bruce Tietjen, Todd Dudley, Dave Erickson, Brent Lindstrom, Keith Lindstrom, Cory Anderson, AJ DelPivo, Amber Edmundson

Cory Pierce called the meeting to order at 10:00 a.m.

MINUTES

February 18, 2026

Dave Anderson moved to approve the minutes of February 18, 2026.

Vaughn Pickell seconded and the motion **passed** all in favor.

SITE PLAN

CANYON COURT COMMERCIAL (LOTS 5 & 6)

David Mann presented the proposal, explaining that it consists of two commercial lots within an existing shopping center. The development includes three buildings distributed across the two lots, totaling 14 units. He noted that the site provides ample parking and **complies with the City's parking requirements**. Mr. Mann also reported that the applicant

recently resubmitted revised civil plans in response to the latest redline comments from the Engineering Division. While he indicated that Josh from Engineering may have additional items for discussion, he confirmed that the Planning Department has no further comments or outstanding redlines.

Josh Wagstaff stated that most of Engineering's previous comments related to storm drainage issues, which have since been resolved, and he indicated that Engineering has no remaining concerns in that regard. He further explained that Engineering conducted an internal traffic review and observed that, although the applicant's submitted traffic study demonstrated that the proposed access spacing meets acceptable standards, staff believes traffic circulation would function more efficiently if the access points were spaced farther apart.

Cory Pierce sought clarification, asking whether the spacing comment was a recommendation rather than a code requirement or formal redline issue. Staff confirmed that it was an observation based on their findings rather than a mandatory code deficiency.

Brandon Snyder inquired whether any tenants have been identified for the development. Cory Anderson responded that no official tenant contracts are in place at this time.

The discussion concluded with Dave Anderson asking about the anticipated timeline for construction. Cory Anderson indicated that while the overall schedule has yet to be finalized, the development is expected to extend into 2027, with work potentially beginning in 2026.

Vaughn Pickell **moved** to approve the proposed Canyon Court Commercial Lots 5 & 6 Site Plan based on the following finding and subject to the following conditions:

Finding:

1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

Conditions:

1. That the Applicant meets the City's development and construction standards and other applicable City ordinances.
2. That any remaining redlines are addressed prior to a building permit being issued.

John Little **seconded** and the motion **passed** all in favor.

Following the motion, additional discussion took place regarding the recommended traffic circulation adjustments. Cory Anderson asked whether the suggested separation of the

access points was a requirement. Cory Pierce clarified that the spacing adjustment is a staff recommendation rather than a formal code requirement. Mr. Anderson then inquired about the implications of choosing not to implement the recommendation. Mr. Pierce responded that the decision ultimately rests with the applicant; however, based on staff's experience, increasing the distance between the two access points would likely benefit traffic flow within the project area. He emphasized that the comment reflects staff's professional observation and is not a mandatory condition.

Mr. Anderson expressed concern with the recommendation and questioned the rationale behind it, particularly in relation to the alignment with the adjacent project to the east.

Mr. Pierce explained that the City has historically observed confusion and potential conflict points when access drives are located too closely together, which can negatively impact traffic circulation and safety.

Jason Turner then asked whether staff had reviewed the layout of the entire development comprehensively. Staff indicated that they have not reviewed the full project layout as a single plan, since each lot has been processed and approved separately due to the intent to sell them individually. Staff acknowledged that, as future lots come forward for approval, careful attention will need to be given to overall site circulation and access to ensure adequate functionality. It was also noted that site flexibility becomes more limited as buildings are constructed and placements become fixed.

PRELIMINARY PLAT

TIETJEN SUBDIVISION (AGREEMENT)

Ian Bunker asked whether the applicant was present, and Mr. Tietjen confirmed that he was in attendance. Mr. Tietjen requested approval to modify the name of the development to *Temple View Subdivision*.

Mr. Bunker proceeded to outline the location of the proposed subdivision and noted that the property is zoned R-1-15, with a General Plan designation of Estate Density. He explained that the project is somewhat unique due to a Development Agreement that was approved in 2021, which permits the creation of 11 lots on the property regardless of strict compliance with the base zoning standards. He stated that the proposed lot sizes vary from the R-1-15 minimum requirement of 15,000 square feet, with the smallest lot approximately 13,500 square feet and the largest roughly 17,400 square feet. The average lot size across the 11 lots is approximately 14,700 square feet, which is below the standard minimum. However, because of the previously approved Development Agreement, the

City is not requiring a Master Planned Development Overlay, which would otherwise be the typical mechanism used to accommodate a development of this nature.

Mr. Bunker also noted that the plat includes a stubbed roadway connection to the Salisbury property to the east, providing for future circulation.

Bart Morrill commented that landscaping plans will need to be submitted for staff review. Brandon Snyder clarified that Mr. Morrill's redline comments specify that this item is to be addressed with the Final Plat.

Mr. Bunker then referenced the Development Agreement, explaining that it formally entitles the property owner to develop 11 lots. He outlined several staff-recommended conditions of approval, including a requirement that the stubbed roadway be vacated prior to recording the plat.

Vaughn Pickell concurred, noting that the applicant will need to complete the road vacation process as part of the development. He also suggested adding a finding to the motion confirming that the proposal conforms to the terms of the existing Development Agreement.

Dave Anderson observed that because the Development Agreement was previously approved by the City Council, no additional legislative action is required for the subdivision approval itself. He asked whether the Planning Commission would serve as the approving authority, and staff confirmed that it would. However, staff clarified that the proposed road vacation would require City Council approval, as it constitutes a legislative action and necessitates a public hearing. Staff further discussed the associated public noticing requirements and the applicable petition period.

Josh Wagstaff added that if the applicant wishes to formally change the subdivision name, this can be addressed at the time of Final Plat approval.

Staff also noted that a petition will be required to initiate the road vacation process, which may be submitted in the form of a letter. Staff offered to provide the applicant with sample materials to assist in completing the required steps.

Vaughn Pickell **moved** to recommend approval of the proposed Tietjen Subdivision Preliminary Plat based on the following findings and subject to the following conditions:

Findings:

1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

2. That the proposal complies with the adopted Development Agreement for the property.

Conditions:

1. That the Applicant meets the City's development and construction standards and other applicable City ordinances.
2. That any remaining redlines are addressed.
3. That the Applicant corrects the plat setback diagram to conform with the standard setbacks of the R-1-15 zone.
4. That the Applicant participate in the amendment and vacation of existing subdivision plat and street.

Dave Anderson **seconded** and the motion **passed** all in favor.

THE VILLAS AT ANNIE'S ACRES SUBDIVISION AMENDED

Brandon Snyder stated that he would present the next two agenda items concurrently, noting that although they would be discussed together, two separate motions would be required. He explained that the first item relates to the Preliminary Plat application, followed by the associated Zone Change request.

Mr. Snyder outlined that the proposal involves adding just over two acres to the existing development, allowing for eight additional residential units. He stated that the current zoning designation of R-R would be changed to R-1-6 and that the Master Planned Development Overlay would be utilized to accommodate the variety of housing products being proposed. He emphasized that no changes to the development's amenities are included with this amendment. The most significant benefit, he noted, is the planned connection between Volunteer Drive and Bradford Lane, which will enhance overall circulation.

Mr. Snyder further explained that with the completion of Annie's Acres, the development will reach the maximum density permitted within the R-1-6 zone. He indicated that this does not present any concerns for staff and that a recommendation for approval is being forwarded. He also noted that several conditions from the Final Plat approval granted in May 2025 would carry forward to this Preliminary Plat. Additionally, approval of the Preliminary Plat is contingent upon the City Council's approval of the associated Zone Change application.

Vaughn Pickell inquired about who is handling the real estate transaction for the surplus City-owned property involved in the proposal. Staff responded that Jered Johnson has been coordinating much of the transaction to date, with Travis Warren expected to carry

the development forward. It was noted that the applicant should be aware of the applicable requirements, and Engineering staff will follow up to ensure compliance.

During the discussion, staff members considered the addition of a new condition of approval. It was ultimately determined that a ninth condition would be added to address the disposal process for the surplus property owned by the City.

David Mann also noted that due to the project's proximity to a recently recorded Agricultural Protection Area, future plats will be required to include a notation reflecting that adjacency.

Dave Anderson **moved** to recommend approval of the proposed The Villas at Annie's Acres Subdivision Amended Preliminary Plat based on the following findings and subject to the following conditions:

Findings:

1. That the proposal is consistent with the City's General Plan Designation of Medium Density Residential.
2. That the proposal meets the intent of the Master Planned Development Overlay Zoning District.

Conditions:

1. That the Applicant meets the City's development and construction standards, zoning requirements and other applicable City ordinances.
2. That the Applicant addresses any staff review comments.
3. That the City Council approves of the associated zone change.
4. That the City Council approves an amended development agreement.
5. That the fencing along Volunteer Drive and Bradford Lane match the existing wrought iron fencing along South Lane.
6. That the Applicant complies with the project's details and amenities as previously approved with the Final Plat and Preliminary Plat.
7. That the applicant provides detailed building elevations, materials and designs for the single-family lots 103-107, at the time of building permits, for review and approval regarding compliance with the quality and compatibility with the remaining residential units and compliance with the architectural standards of the Master Planned Development Overlay.
8. That the building plans for lots 103-107, include enhanced elevations for the corner and high visibility building elevations.
9. That the appropriate process be followed for the disposal of any property that is involved in the project.

Vaughn Pickell **seconded** and the motion **passed** all in favor.

ZONE CHANGE

THE VILLAS AT ANNIE'S ACRES ZONE CHANGE

There was no further discussion.

Dave Anderson **moved** to recommend approval of the proposed The Villas at Annie's Acres Zone Change based on the following findings and subject to the following conditions:

Findings:

1. That the proposal is consistent with the City's General Plan Designation of Medium Density Residential.
2. That the proposal meets the intent of the Master Planned Development Overlay Zoning District.

Conditions:

1. That the Applicant meets the City's development and construction standards, zoning requirements and other applicable City ordinances.
2. That the Applicant addresses any staff review comments.
3. That the City Council approves an amended development agreement.

John Little **seconded** and the motion **passed** all in favor.

TITLE 15 AMENDMENTS

TITLE 15 REIMBURSABLE PROJECTS - IMPACT FEE DEADLINE UPDATE

Josh Wagstaff presented the proposed amendment, describing it as a straightforward update intended to provide greater clarity to developers. He explained that staff has observed ongoing confusion regarding the timeline for submitting impact fee reimbursement requests. To address this, the proposed revision establishes a clear deadline: applications for impact fee reimbursement must be submitted within six months after a project has passed final inspection and entered the warranty phase. After that six-month period, reimbursement requests will no longer be eligible.

Vaughn Pickell noted that the Impact Fees Act provides entitlement to reimbursement and expressed uncertainty as to whether the statute specifies a deadline. However, he stated that establishing a defined timeframe is reasonable and indicated his support for the proposed clarification.

Seth Perrins asked whether a developer's entitlement arises upon entering into an agreement or whether the entitlement exists more generally. Staff confirmed that the entitlement exists more generally.

Staff discussed whether the proposed six-month deadline is an adequate timeframe. Staff indicated that, based on their experience, six months provides sufficient opportunity for developers to submit the necessary documentation, and there was consensus that the timeframe is reasonable.

Cory Pierce asked whether Marcie Clark provides formal notification to developers upon final inspection. Ms. Clark confirmed that she sends a letter of credit release to the banks notifying them that the project has passed the final inspection.

The discussion concluded with staff expressing agreement that establishing a clear and proactive process will help prevent confusion and ensure consistency moving forward.

Vaughn Pickell **moved** to recommend approval of the proposed Title 15 Amendments to City Council as discussed.

Bart Morrill **seconded** and the motion **passed** all in favor.

TITLE 15 AMENDMENTS

Dave Anderson began by noting that this item had been previously discussed with staff during an earlier meeting and indicated that there were likely no additional changes to be considered at this time. He explained that the proposal relates to future work associated with a power substation located a few blocks from the City offices. He stated that the proposal includes language addressing wall height and setback requirements for substation facilities and expressed that the language appears simple and straightforward. Mr. Anderson then asked staff to review the proposal and share whether there were any areas that may require modification or additional clarification. He noted that the proposal will be presented to both the Planning Commission and City Council in the coming weeks and encouraged staff to provide feedback so that the language can be adjusted as necessary.

The discussion concluded with staff reviewing clear sight distance requirements and confirming whether any remaining concerns needed to be addressed.

Seth Perrins **moved** to recommend approval of the proposed Title 15 Amendments to City Council as discussed.

Dave Anderson **seconded** and the motion **passed** all in favor.

Seth Perrins moved to adjourn the meeting at 10:45 a.m.

Adopted:

Kasey Woodard
Community Development Division
Secretary



Pioneer Ridge Estates Plat C
Minor Plat Amendment
1596 East 1900 South
2.35 acres
R-1-12 Zone
Low Density Residential
General Plan Designation



PROPOSAL

This proposal involves amending the scenic corridor easement lines for two existing residential lots in the Pioneer Ridge Estates Subdivision at 1596 East 1900 South.

The Applicant would like to better utilize the area and has proposed to reduce the easement area over the rear of lots 20 and 21 of the Pioneer Ridge Estates Subdivision, Plat A. Both lots have existing residences.

Some of the key issues to consider are: hillside ordinance, improvements and grading.

STAFF RECOMMENDATION

That the proposed Pioneer Ridge Estates Plat C Minor Plat Amendment be approved based on the following finding and subject to the following conditions:

Finding

- 1. That the proposal conforms to the City’s General Plan Designation and Zoning Map.

Conditions

- 1. That the Applicant meets the City’s development and construction standards, zoning requirements and other applicable City ordinances.
- 2. That any remaining redlines are addressed prior to recording the plat.

EXHIBITS

- 1. Area Maps
- 2. Proposed Amendment
- 3. Current Subdivision Plat
- 4. Pictures and Aerial Imagery

EXHIBIT 1



ZONING MAP



LAND USE MAP



AERIAL MAP

EXHIBIT 4











Andy Ridge Subdivision
 Preliminary Plat
 418 West Quail Run
 3.07 acres
 R-1-12
 Proposed Zone
 Low Density General Plan
 Designation



PROPOSAL

The Applicant has requested that a Preliminary Plat be approved in order to create six single-family residential lots. The proposal is for a standard subdivision meaning that each lot will be a minimum of 12,000 square feet. There is an existing residence that is planned to remain that will be on a lot that is 51,000 square feet.

This proposal will connect to a stubbed road that was created as a part of the Arrowhead Subdivision. The existing residence is planning to continue to have access from Quail Run. This makes the frontage of proposed Lot 5 along the proposed street cul-de-sac the rear yard for the existing residence.

Some of the key issues to consider are: improvements, access, and grading.

STAFF RECOMMENDATION

That the proposed Preliminary Plat for the Andy Ridge Subdivision be recommended for approval based on the following finding and subject to the following conditions:

Finding

1. That the proposal is consistent with the City's General Plan Land Use Designation of Low Density Residential.

Conditions

1. That the Applicant meets the City's Development & Construction standards, zoning requirements, and other applicable City ordinances.
2. That the City Council approves a Zone Change from R-R to R-1-12.
3. That the Applicant addresses any red-lines.
4. That the Applicant complies with all environmental requirements as outlined in the Subsurface Soil Gas Sampling Report prepared by Wasatch Environmental.
5. That the frontage of lot 5 on the cul-de-sac be treated like a front setback for purposes of landscaping, fencing, and any other setback related requirements.

EXHIBITS

1. Proposed Preliminary Plat
2. Area Map



Andy Ridge Subdivision
Zone Change
418 West Quail Run
3.07 acres
R-1-12 Residential
Proposed Zone
Low Density General Plan
Designation



PROPOSAL

The Applicant has requested that a Zone Change from R-R Rural Residential to R-1-12 Residential be approved in order to develop the property residentially. The proposal is for a standard subdivision meaning that each single-family residential lot will be a minimum of 12,000 square feet with no allowed deviations in setbacks or lot dimensions.

This area includes vacant parcels in agricultural production with several large lot residential properties and recent subdivisions. This property is adjacent to R-R Rural Residential to the west and R-1-12 Residential to the east, north, and south. This R-1-12 Residential proposal will blend with existing development and recent residential subdivisions.

Some of the key issues to consider are: improvements, access, and grading.

STAFF RECOMMENDATION

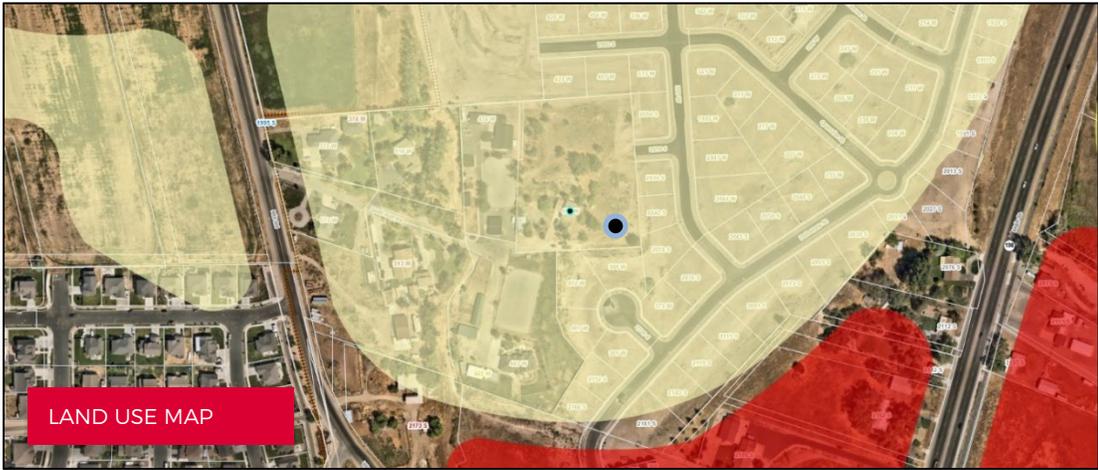
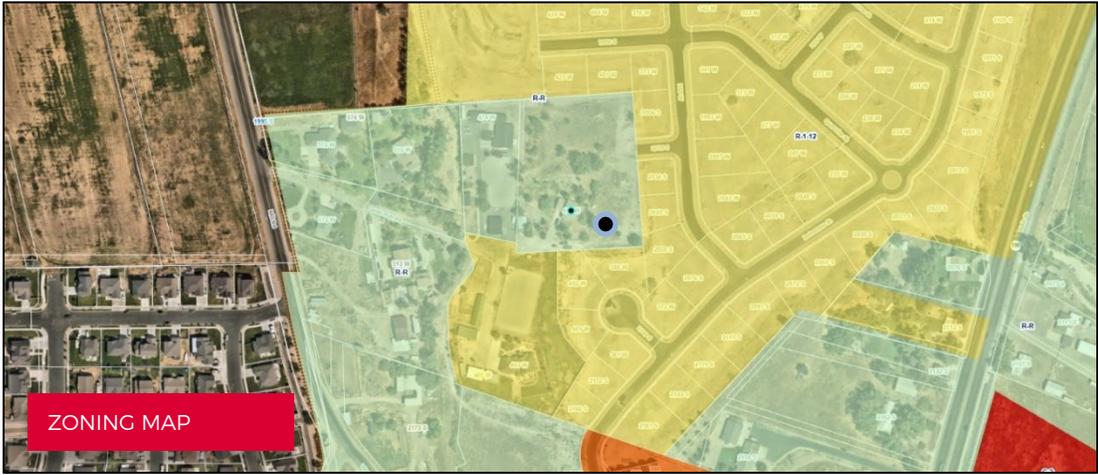
That the proposed Zone Change for the Andy Ridge Subdivision be recommended for approval based on the following findings:

Findings

1. That Spanish Fork City is prepared to provide services that the proposed Zone Change would require.
2. That the proposal is consistent with the City's General Plan Land Use Designation of Low Density Residential.
3. That this proposal is designed with local streets that are discontinuous, but well connected, creating a pattern to discourage through traffic (Spanish Fork City General Plan Land Use Policy A.3.2).

EXHIBITS

1. Area Maps





Spanish Fork Station 61
Site Plan
197 West Center Street
1.9 acres
P-F Zone
Public Facilities General Plan Designation



PROPOSAL

The Applicant applied for Site Plan approval to construct a municipal fire station on the subject property. Public safety facilities are listed as a permitted use in the P-F Zone. A portion of the proposed site is currently in the R-O Zone or the R-1-6 Zone, so a Zone Map Amendment will be required. The site will have one driveway connecting to Center Street and another with access to 200 West. A large, paved area on the west side of the site will be paved to provide fire engine access.

The proposed building meets the required setbacks and building height in the P-F Zone. The plans show 32 parking stalls on-site and 10 stalls on Center Street adjacent to the proposed building. The Community Development Department believes parking is sufficient for the proposed, which is not listed in the parking requirements table of the municipal code. Minor corrections regarding landscaping and utility connections will need to be addressed prior to issuing permits.

STAFF RECOMMENDATION

That the proposed Spanish Fork Station 61 Site Plan be approved based on the following findings and subject to the following conditions:

Findings

1. That the proposal conforms to the City's General Plan Designation and Zoning Map.
2. That the proposed parking stall count has been deemed sufficient by the Community Development Director per §15.4.16.120.C of the municipal code.

Conditions

1. That the Applicant meets the City's development and construction standards and other applicable City ordinances.
2. That any remaining redlines are addressed prior to a building permit being issued.
3. That a Zone Map Amendment is approved by the City Council to bring the whole project area into the P-F Zone.

EXHIBITS

1. Area Maps
2. Site Plan
3. Landscape Plan
4. Building Elevations

EXHIBIT 1



EXHIBIT 2



GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODE AND THE UTAH ZONING ORDINANCE.
 2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE OWNER OR ANY OTHER SOURCE.

LEGEND:

- PROPOSED LOT LINE
- EXISTING LOT LINE
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT
- EXISTING DRIVEWAY
- EXISTING SIDEWALK
- EXISTING CURB
- EXISTING STREET LIGHT
- EXISTING UTILITY
- EXISTING TREE
- EXISTING LANDSCAPE

ZONING:
 The proposed building is located within the **COMMERCIAL GENERAL ZONING DISTRICT (CGD)**. The zoning requirements for this district are as follows:
 - **PERMITTED USES:** Retail, Wholesale, Office, Professional, and other uses as defined in the zoning ordinance.
 - **MINIMUM LOT AREA:** 5,000 square feet.
 - **MINIMUM LOT WIDTH:** 30 feet.
 - **MINIMUM FRONT YARD SETBACK:** 10 feet.
 - **MINIMUM SIDE YARD SETBACK:** 5 feet.
 - **MINIMUM REAR YARD SETBACK:** 5 feet.

CONSTRUCTION:
 The proposed building shall be constructed in accordance with the following requirements:
 - **FOUNDATION:** The foundation shall be designed and constructed in accordance with the Utah Building Code.
 - **ROOFING:** The roof shall be designed and constructed in accordance with the Utah Building Code.
 - **EXTERIOR FINISHES:** The exterior finishes shall be durable and suitable for the intended use.

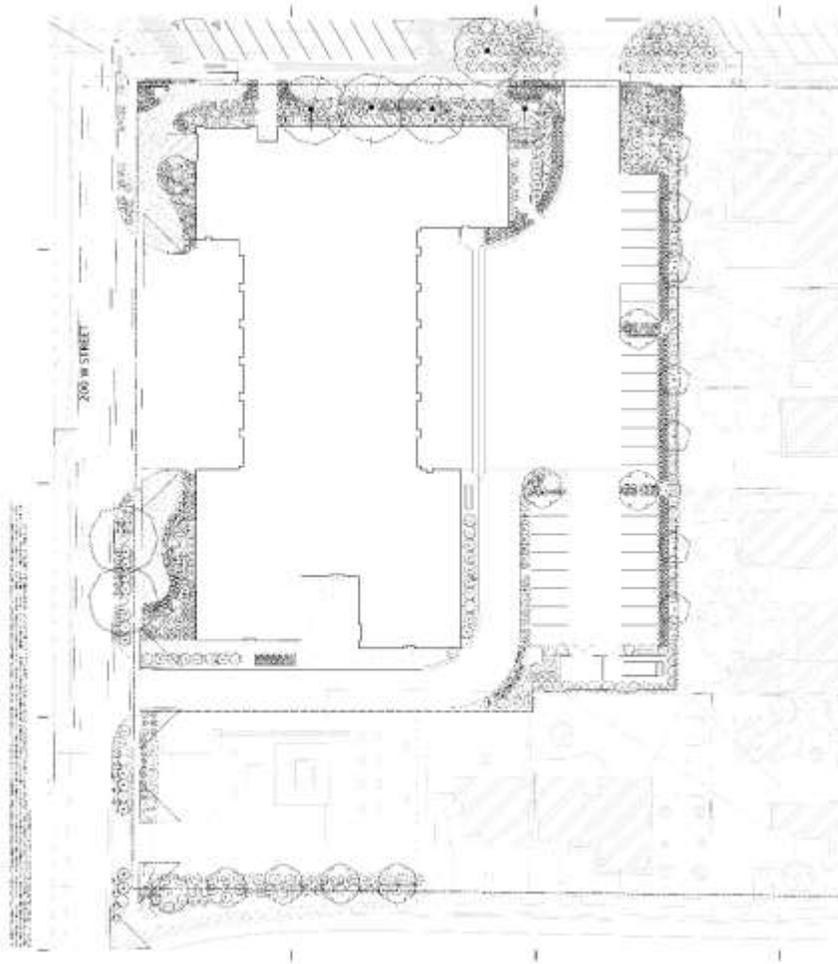
UTILITIES:
 The proposed building shall be connected to the existing utility lines in accordance with the following requirements:
 - **ELECTRICAL:** The electrical system shall be designed and installed in accordance with the Utah Electrical Code.
 - **PLUMBING:** The plumbing system shall be designed and installed in accordance with the Utah Plumbing Code.
 - **Mechanical:** The mechanical system shall be designed and installed in accordance with the Utah Mechanical Code.

LANDSCAPE:
 The proposed building shall be landscaped in accordance with the following requirements:
 - **Planting:** The landscape shall include a variety of plants and trees suitable for the climate and soil conditions.
 - **Watering:** The landscape shall be watered in accordance with the Utah Water Code.
 - **Maintenance:** The landscape shall be maintained in accordance with the Utah Landscaping Code.

1 ARCHITECTURAL SITE PLAN
 1/11/2024 10:00 AM



EXHIBIT 3



PLANT SCHEDULE

SPRING

DECEMBER TREES

- 1. 12" CALIFORNIA REDWOOD
- 2. 12" CALIFORNIA REDWOOD
- 3. 12" CALIFORNIA REDWOOD

PERENNIAL TREES

- 1. 12" CALIFORNIA REDWOOD
- 2. 12" CALIFORNIA REDWOOD

SPRING

SPRING TREES

- 1. 12" CALIFORNIA REDWOOD
- 2. 12" CALIFORNIA REDWOOD

PERENNIAL TREES

- 1. 12" CALIFORNIA REDWOOD
- 2. 12" CALIFORNIA REDWOOD

blu

NOT FOR CONSTRUCTION

SPANISH FORK STATION #1

PLANING FIX

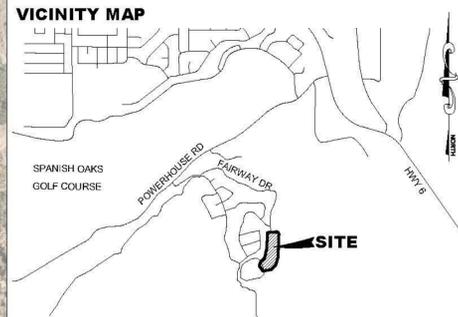
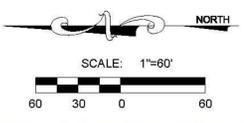
DATE: 08/14/2017

SCALE: 1" = 20'-0"

LP101

EXHIBIT 4





LEI

**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

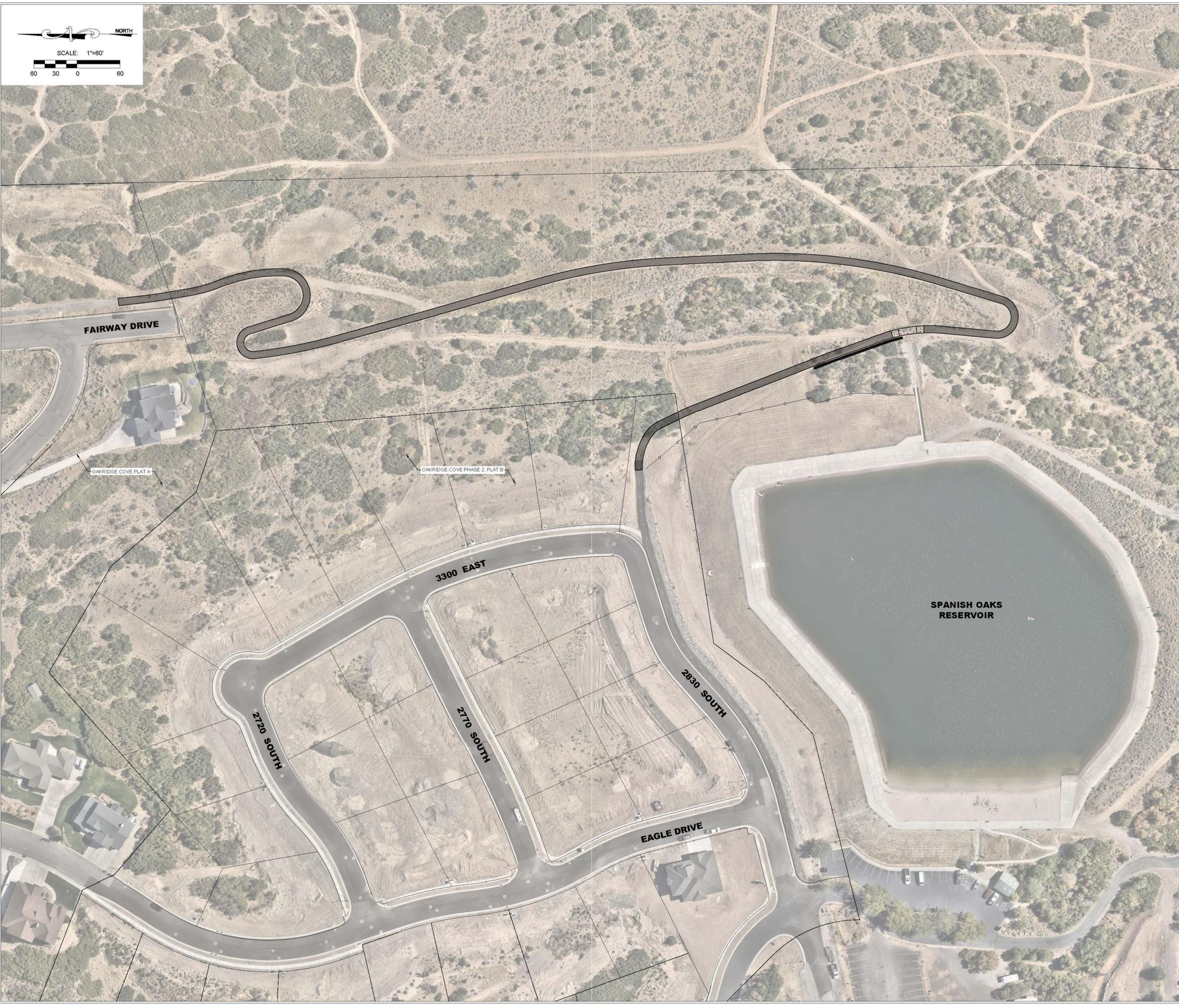
TABLE OF CONTENTS

101	COVER
102	NOTES
301	GRADING PLAN
401	PLAN & PROFILE 0+00-7+00
402	PLAN & PROFILE 7+00-15+00
403	PLAN & PROFILE 15+00-22+00
404	PIPE CROSSING PLAN & PROFILE
501	DETAILS

**NOT FOR
CONSTRUCTION**

TABULATIONS

LINEAR FOOT OF 10' TRAIL:	2127 LF.
---------------------------	----------



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
EX-SS	---	SEWER PIPE
EX-SM	---	SEWER MANHOLE
EX-SR	---	SEWER SERVICE
EX-SD	---	STORM DRAIN PIPE (RCP)
EX-SM	---	STORM DRAIN MANHOLE
EX-SI	---	CURB INLET
EX-SB	---	COMBO BOX
EX-SB	---	4x4' CATCH BASIN
EX-SB	---	3x3' CATCH BASIN
EX-SB	---	INLET/OUTLET W/ GRATE
EX-SB	---	CULINARY WATER PIPE
EX-SB	---	45° PIPE ELBOW (W)
EX-SB	---	22.5° PIPE ELBOW (W)
EX-SB	---	11.25° PIPE ELBOW (W)
EX-SB	---	FIRE HYDRANT
EX-SB	---	SERVICE & METER (W)
EX-SB	---	PRV (W)
EX-SB	---	AIR-VAC VALVE (W)
EX-SB	---	BLOW-OFF (W)
EX-SB	---	TEMP. BLOW-OFF (W)
EX-SB	---	VALVE (W & SW)
EX-SB	---	TEE
EX-SB	---	CROSS
EX-SB	---	PRESSURIZED IRRIGATION
EX-SB	---	45° PIPE ELBOW (PI)
EX-SB	---	22.5° PIPE ELBOW (PI)
EX-SB	---	11.25° PIPE ELBOW (PI)
EX-SB	---	SINGLE SW SERVICE
EX-SB	---	DUAL SW SERVICE
EX-SB	---	AIR-VAC VALVE (PI)
EX-SB	---	BLOW-OFF (SW)
EX-SB	---	TEMP. BLOW-OFF (PI)
EX-SB	---	STOP SIGN
EX-SB	---	STREET SIGN
EX-SB	---	MONUMENT
EX-SB	---	FENCE
EX-SB	---	STREET LIGHT
EX-SB	---	POWER POLE
EX-SB	---	DITCH
EX-SB	---	FIBER OPTIC
EX-SB	---	GAS
EX-SB	---	OVERHEAD POWER
EX-SB	---	FLOW ARROW
EX-SB	---	CONTOURS

DEVELOPER / OWNER
SPANISH FORK CITY

ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
SPANISH FORK RESERVOIR TRAIL

SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
COVER

REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061

DRAWN BY:
RWH

DESIGNED BY:
BTG

SCALE:
1"=60'

DATE:
02/23/2026

SHEET

101

U:\PROJECTS\2025\0061-0061 SF RESERVOIR TRAIL\DWG\25-0061 SF RESERVOIR TRAIL PLANS\DWG 2/23/2026 4:13 PM

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSPECTED IN STRICT ACCORDANCE WITH ALL JURISDICTIONAL AUTHORITIES.
2. CONTRACTOR SHALL COMPLY WITH THE STANDARDS INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES, OWNERS, ENGINEERS, AND UTILITY COMPANIES FIVE DAYS PRIOR TO A PRE-CONSTRUCTION MEETING.
3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF, AND AT, THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, (1) THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
6. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND ANSWER ANY QUESTIONS BEFORE CONSTRUCTION.
7. ALL TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT MUTCD AND UDOT STANDARDS. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAYS OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
9. CONTRACTOR TO VERIFY EXISTING CONDITIONS, TIE IN POINTS, UTILITY CONNECTIONS, ETC. PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, SECTION CORNERS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY UNNECESSARY LOSS OR DISTURBANCE.
11. CONTRACTOR TO FURNISH, MAINTAIN, AND RESTORE ALL SURVEY MONUMENTS AND MONUMENT REFERENCE MARKERS WITHIN THE PROJECT SITE. CONTRACTOR TO CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT PERMITTING, LOCATIONS AND CONSTRUCTION DETAILS.
12. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.

GENERAL CLEARING AND GRADING NOTES

1. CLEARING, GRUBBING AND DISPOSAL OF VEGETATIVE MATERIAL NEEDS TO BE IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS, WHICH APPLY TO SOLID WASTE.
2. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON DRAWINGS AND A TOPOGRAPHIC SURVEY PERFORMED BY LEI ENGINEERS (UNLESS OTHERWISE NOTED). IF THE EXISTING GRADE IS DIFFERENT FROM WHAT IS SHOWN ON THE GRADING PLAN, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
3. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT.
4. WHEN USING ELECTRONIC FILES OF MASS GRADING SITES PREPARED BY LEI THE CONTRACTOR MUST USE THE DIGITAL TERRAIN MODEL CREATED BY AUTODESK CIVIL 3D AND NOT A REPRODUCTION OF PROPOSED CONTOURS. LEI IS NOT RESPONSIBLE FOR ANY INACCURACIES, ERRORS AND/OR DISCREPANCIES DUE TO CONVERSION OR USE OF ELECTRONIC FILES.
5. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
6. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION, OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING THE APPROPRIATE PERMITS AND INSPECTIONS. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL UTILITY NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING BLUE STAKES FOR MARKINGS TO VERIFY ALL EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND FOR ALL INTERRUPTIONS CAUSED BY THE RESULTS OF HIS WORK.
2. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY CONTRACTORS WORK FORCE.
3. START AT THE LOW END OF ALL GRAVITY FEED LINES AND WORK UPHILL. DO NOT DRY START GRAVITY FEED LINES THAT TIE INTO EXISTING GRAVITY LINES. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.
4. CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.
5. ANY POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE PURPOSES ONLY AND ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING UTILITIES, NOR FOR ANY NEW UTILITY SERVICES. CONTRACTOR TO SUBMIT SITE PLAN TO APPROPRIATE UTILITY PROVIDER FOR DESIGN OF SERVICE CONNECTIONS.
6. ALL DIMENSIONS, GRADES AND UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXISTS PRIOR TO CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
7. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.
8. THE DRY START OF ANY UTILITY WITHOUT DIRECT CONNECTION TO EXISTING UTILITY INFRASTRUCTURE IS HIGHLY DISCOURAGED UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER. LEI IS NOT RESPONSIBLE FOR ANY ISSUES OR CHANGES RESULTING FROM SUCH CONSTRUCTION METHODS.
9. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER AND AT THE SOLE RISK OF THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER.
10. CONTRACTOR IS RESPONSIBLE TO REMOVE, SALVAGE, AND REPLACE FENCE LINES WHICH ARE DISTURBED DURING CONSTRUCTION.
11. SANITARY SEWER TO BE INSTALLED A MINIMUM OF 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ALL WATER LINES.
12. ALL PIPE LENGTHS SHOWN ON PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
13. UTILITY LATERAL TO BE INSTALLED PER CITY STANDARD LOCATION UNLESS OTHERWISE NOTED.

ELECTRONIC FILE NOTES

1. THE HARD COPIES OF THIS INFORMATION WILL GOVERN OVER THE ELECTRONIC DATA IN THE EVENT ANY DISCREPANCIES ARE FOUND WITH THE INFORMATION. PLEASE CONTACT LEI BEFORE CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND.
2. THE INFORMATION RECORDED ON OR TRANSMITTED AS ELECTRONIC MEDIA WAS CREATED USING AUTODESK CIVIL 3D 2025 SOFTWARE. THEREFORE, THE INFORMATION IS SUBJECT TO UNDETECTABLE ALTERATION, EITHER INTENTIONAL OR UNINTENTIONAL DUE TO, AMONG OTHER CAUSES, TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ALTERATION.

ABBREVIATIONS

NG	NATURAL GROUND
FG	FINISH GRADE
FS	FINISH SURFACE
EG	EXISTING GRADE
EX	EXISTING
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
FF	FINISH FLOOR
GFF	GARAGE FINISH FLOOR
FH	FIRE HYDRANT
PI	PRESSURIZED IRRIGATION
CB	CATCH BASIN
SMH	SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION

**SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
GENERAL NOTES**

REVISIONS

1	-	-
2	-	-
3	-	-
4	-	-
5	-	-

LEI PROJECT #:

2025-0061

DRAWN BY:

RWH

DESIGNED BY:

BTG

SCALE:

NONE

DATE:

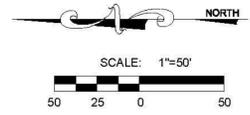
02/23/2026

SHEET

102

GRADING LEGEND

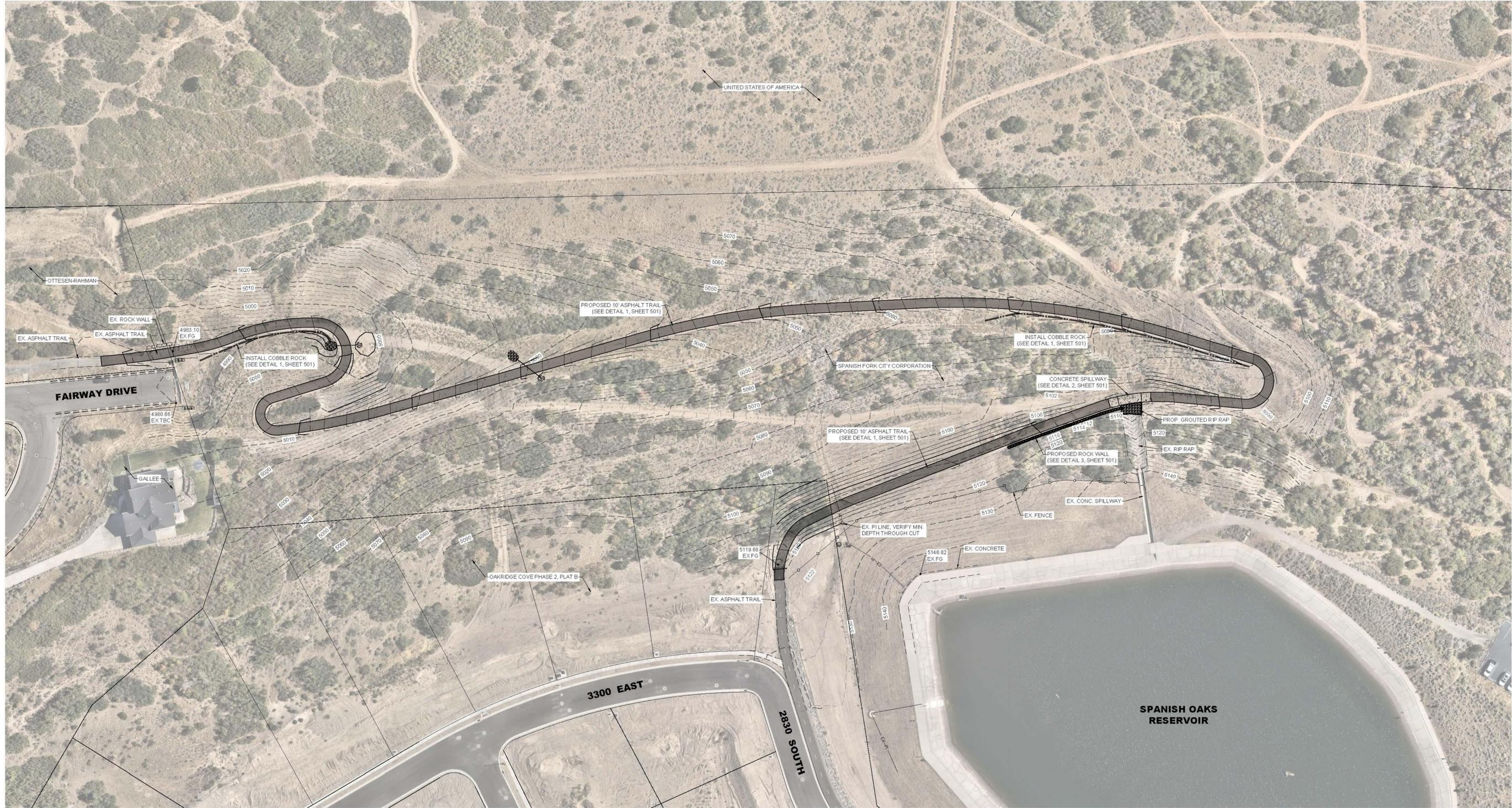
- NG NATURAL GROUND
- EX FG EXISTING FINISH GRADE
- FG FINISH GRADE
- FS FINISH SURFACE
- FF FINISH FLOOR
- GB GRADE BREAK
- LP LOW POINT
- HP HIGH POINT
- BOW BOTTOM OF WALL
- TOW TOP OF WALL



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

**NOT FOR
CONSTRUCTION**



**SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
GRADING PLAN**

REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
1"=50'
DATE:
02/23/2026

SHEET
301

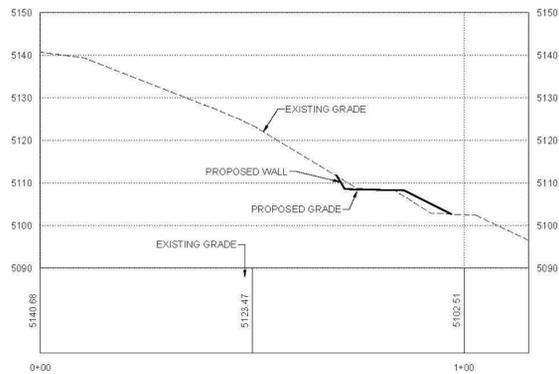
GRADING LEGEND

- NG NATURAL GROUND
- EX FG EXISTING FINISH GRADE
- FG FINISH GRADE
- FS FINISH SURFACE
- FF FINISH FLOOR
- GB GRADE BREAK
- LP LOW POINT
- HP HIGH POINT
- BOW BOTTOM OF WALL
- TOW TOP OF WALL

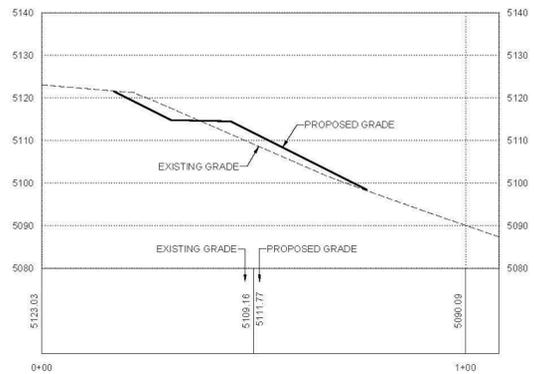
VOLUME

- CUT 443 C.Y.
- FILL 776 C.Y.
- NET 333 C.Y.

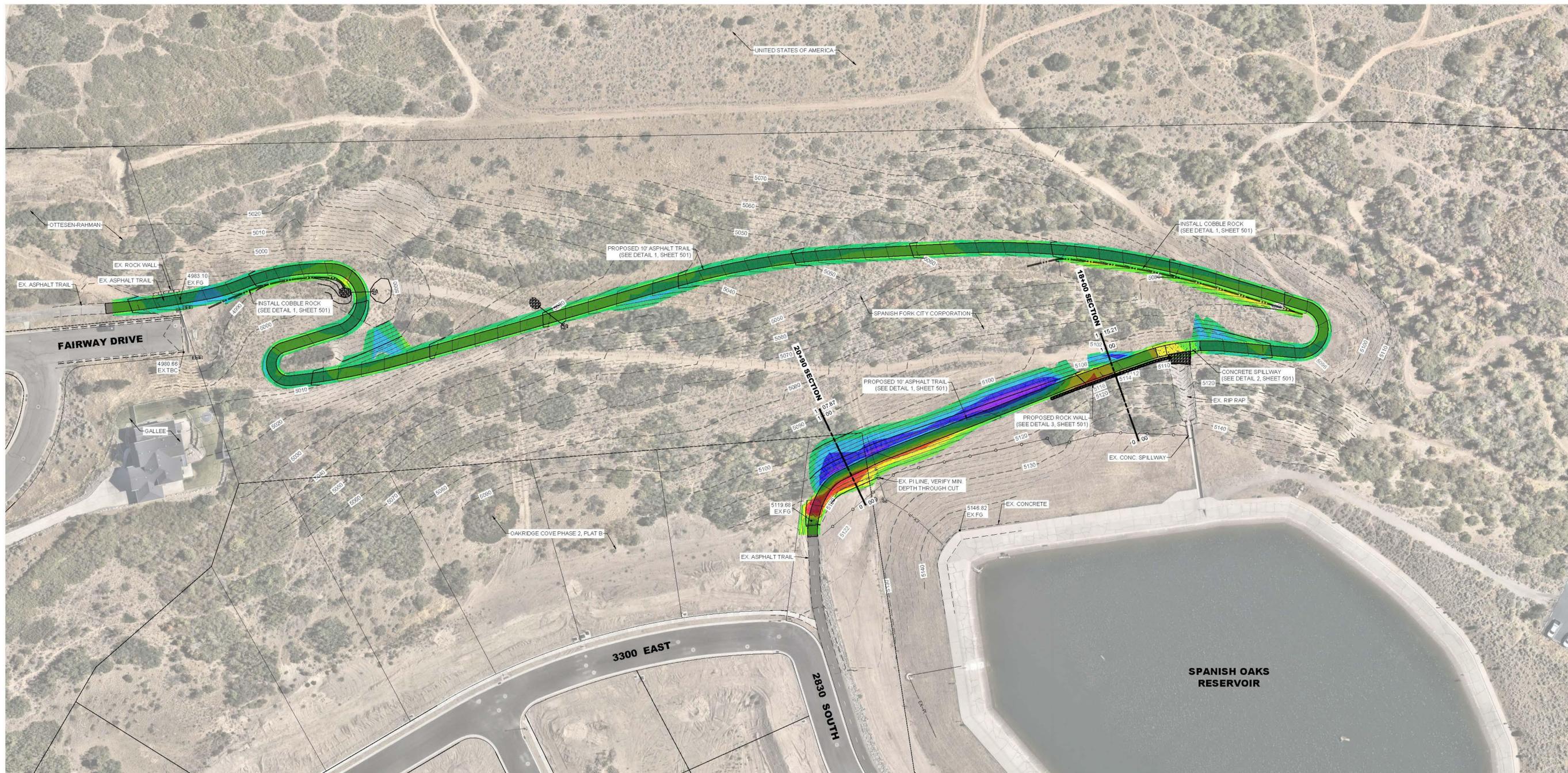
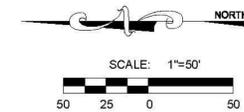
Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-4.59	-3.00	0.00	Red
2	-2.99	-2.00	0.00	Orange
3	-1.99	-1.00	0.00	Yellow
4	-0.99	0.00	0.00	Light Green
5	0.00	1.00	0.00	Green
6	1.01	2.00	0.00	Cyan
7	2.01	3.00	0.00	Blue
8	3.01	4.91	0.00	Purple



SECTION 18+00
1" = 20'



SECTION 20+90
1" = 20'



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION

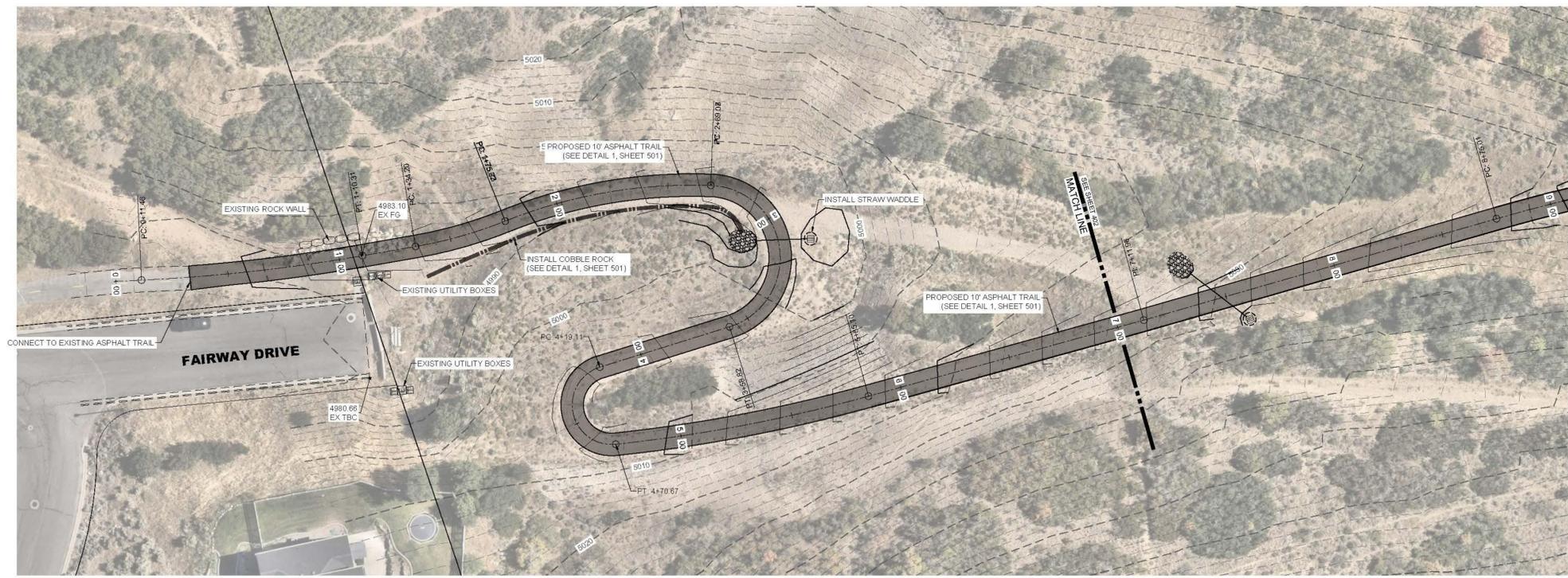
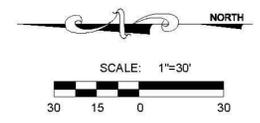
**SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
CUT/FILL PLAN**

REVISIONS	
1	
2	
3	
4	
5	
6	

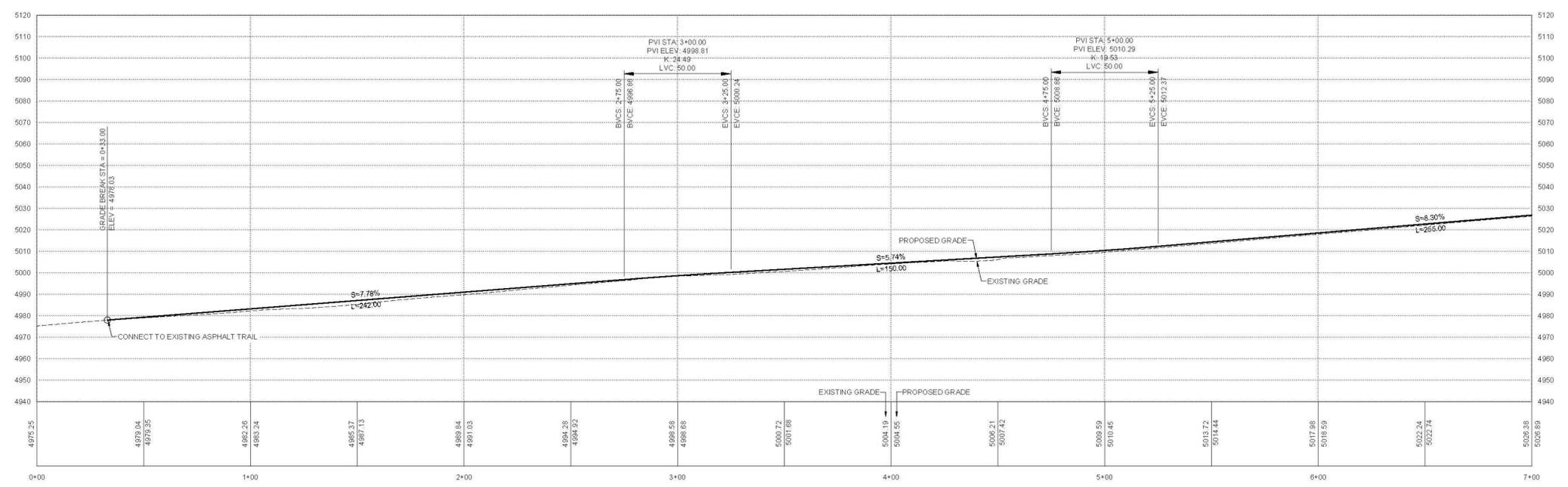
LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
1"=50'
DATE:
02/23/2026

SHEET
302

U:\PROJECTS\2025\2025-0061_SF_RESERVOIR_TRAIL\LOCAL\DWG\25-0061_RESERVOIR_TRAIL_PLANLING.DWG 2/23/2026 4:15 PM



RESERVOIR TRAIL STATION 0+00 - 7+00 PLAN VIEW



RESERVOIR TRAIL STATION 0+00 - 7+00 PROFILE VIEW

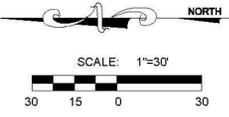
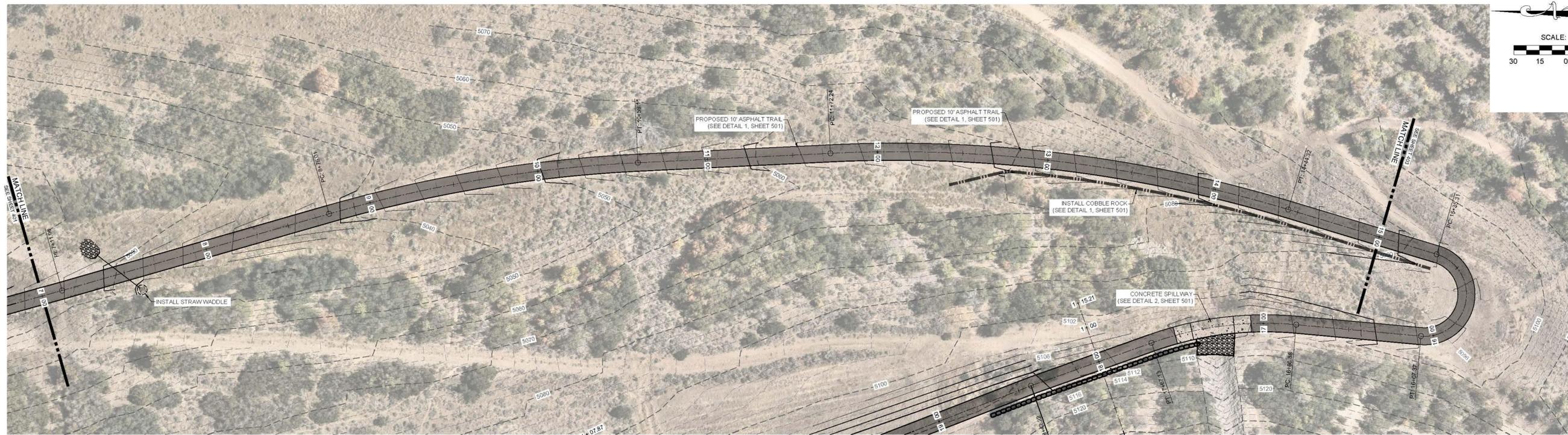
NOT FOR
CONSTRUCTION

SPANISH FORK RESERVOIR TRAIL
 SPANISH FORK CITY, UTAH
RESERVOIR TRAIL STATION 0+00 - 7+00 PLAN & PROFILE

REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061
 DRAWN BY:
RWH
 DESIGNED BY:
BTG
 SCALE:
1"=30'
 DATE:
02/23/2026

U:\PROJECTS\2025\0061 - SF RESERVOIR TRAIL\DWG\02-0061 - SF RESERVOIR TRAIL PLAN & PROFILE.dwg 2/23/2026 4:15 PM



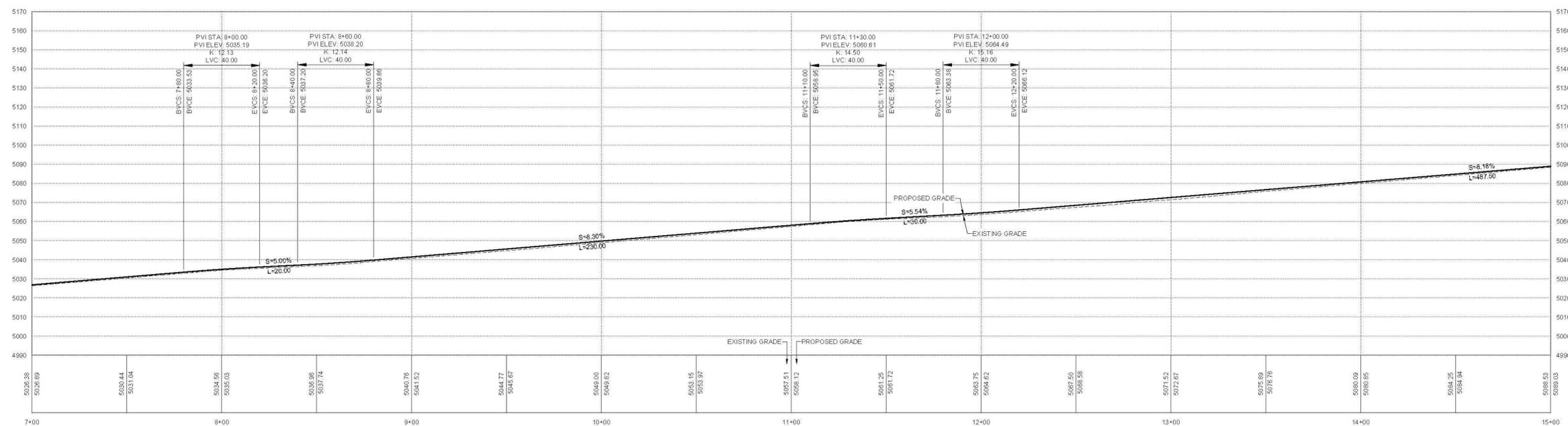
LEI

**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION

RESERVOIR TRAIL STATION 7+00 - 15+00 PLAN VIEW



RESERVOIR TRAIL STATION 7+00 - 15+00 PROFILE VIEW

SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH

RESERVOIR TRAIL STATION 7+00 - 15+00 PLAN & PROFILE

REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061

DRAWN BY:
RWH

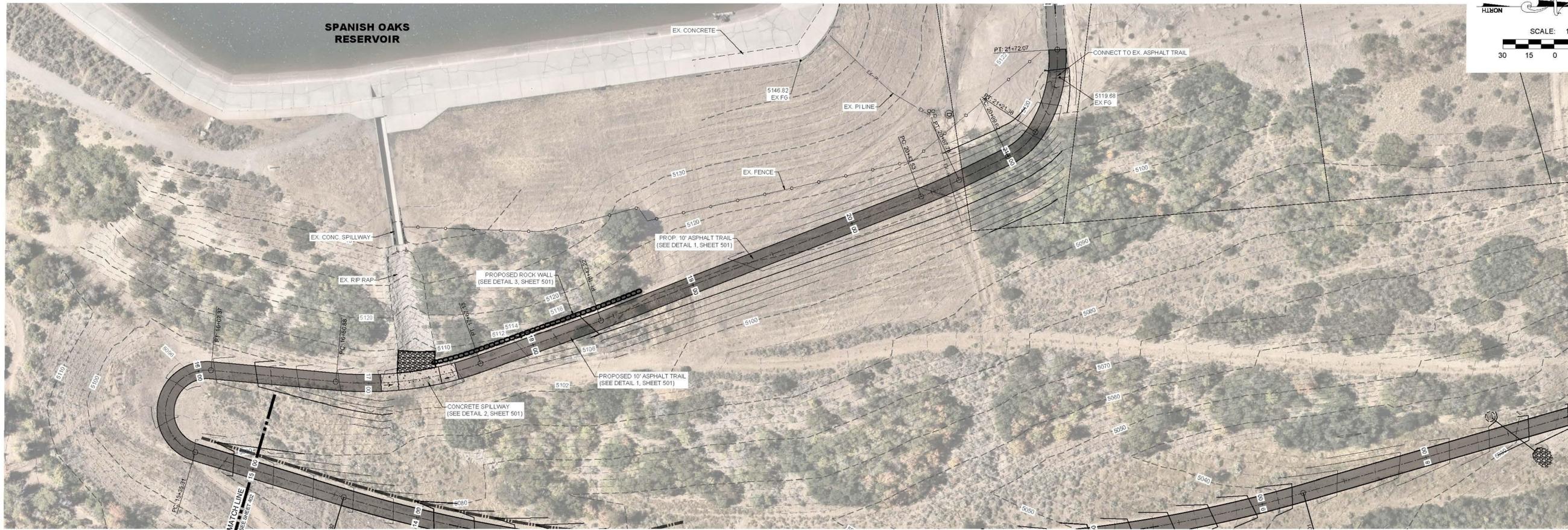
DESIGNED BY:
BTG

SCALE:
1"=30'

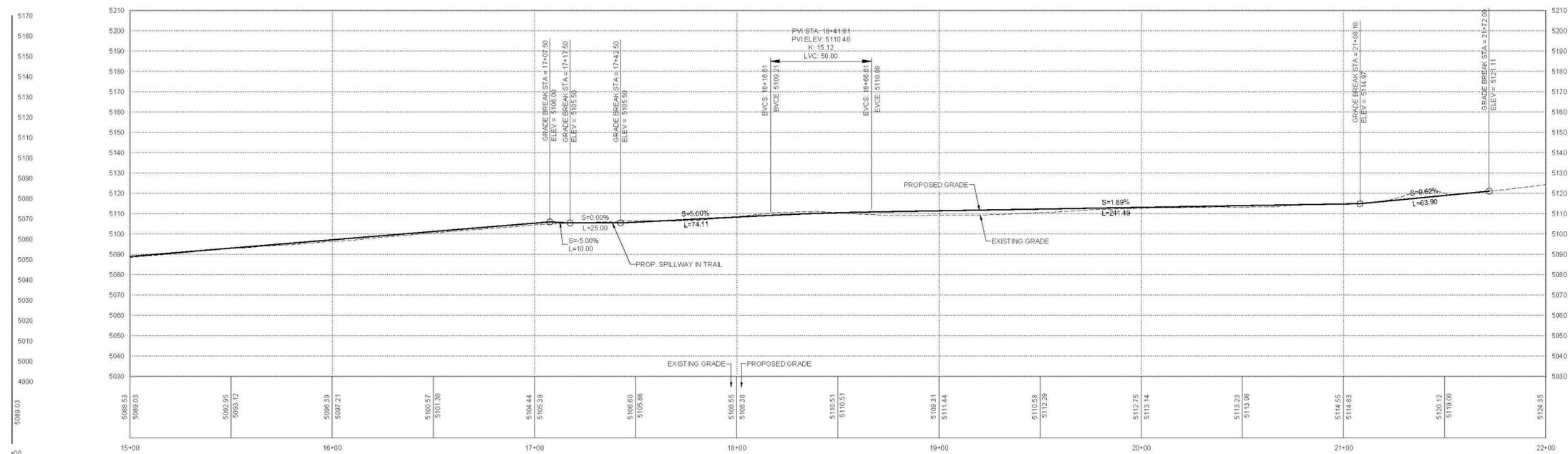
DATE:
02/23/2026

SHEET
402

U:\PROJECTS\2025\0061 - SF RESERVOIR TRAIL\DWG\02-0061 - SF RESERVOIR TRAIL PLAN & PROFILE.dwg 2/23/2026 4:13 PM



RESERVOIR TRAIL STATION 15+00 - 22+00 PLAN VIEW



RESERVOIR TRAIL STATION 15+00 - 22+00 PROFILE VIEW



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

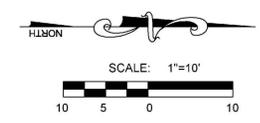
**NOT FOR
CONSTRUCTION**

SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
RESERVOIR TRAIL STATION 15+00 - 22+00 PLAN & PROFILE

REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
1"=30'
DATE:
02/23/2026

SHEET
403

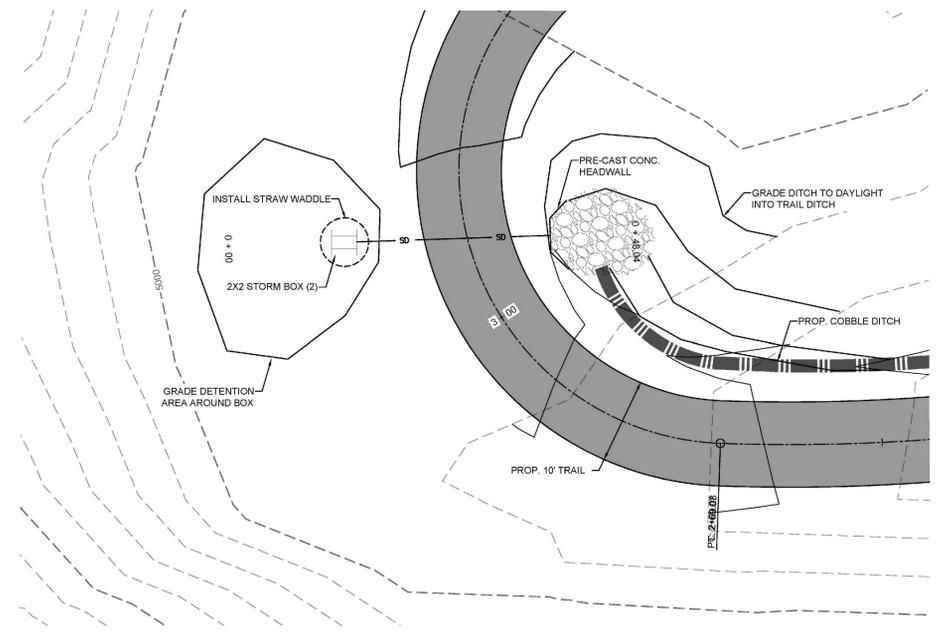


NOT FOR
 CONSTRUCTION

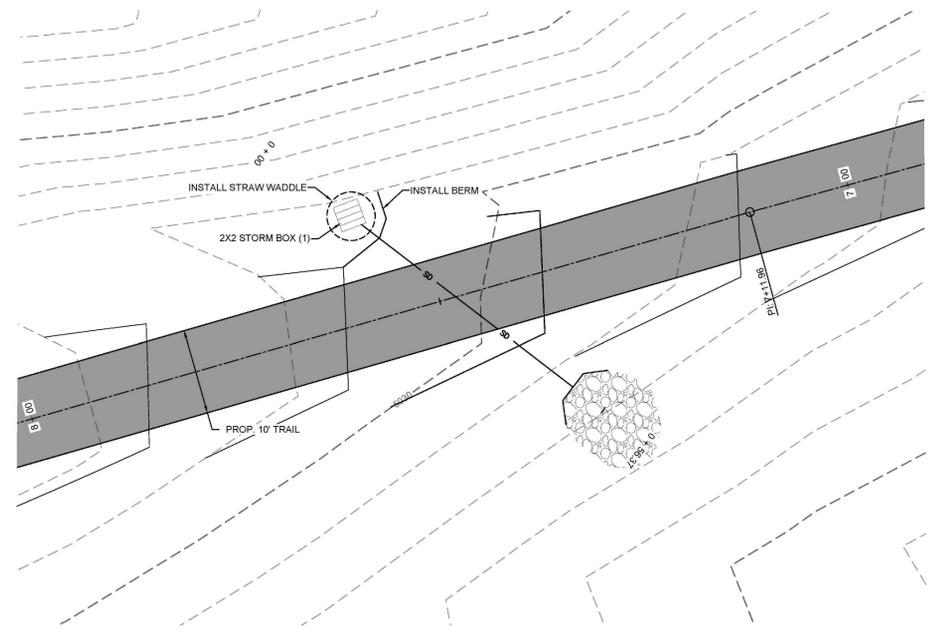
SPANISH FORK RESERVOIR TRAIL
 SPANISH FORK CITY, UTAH
PIPE CROSSINGS PLAN & PROFILE

REVISIONS	
1	
2	
3	
4	
5	

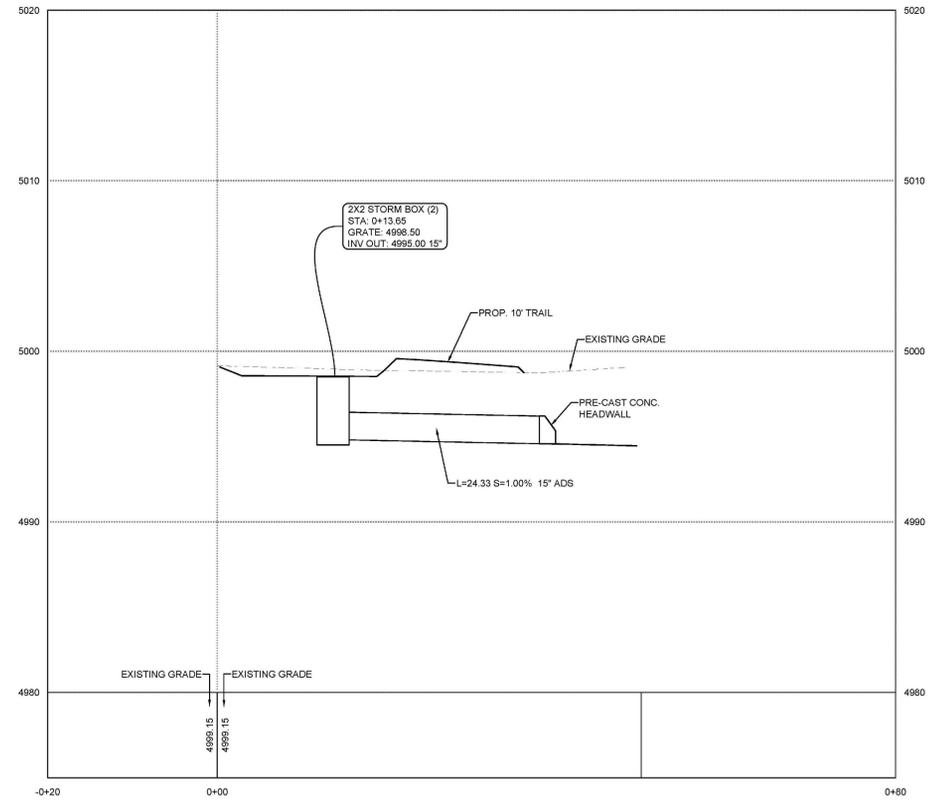
LEI PROJECT #:
2025-0061
 DRAWN BY:
RWH
 DESIGNED BY:
BTG
 SCALE:
1"=10'
 DATE:
02/23/2026



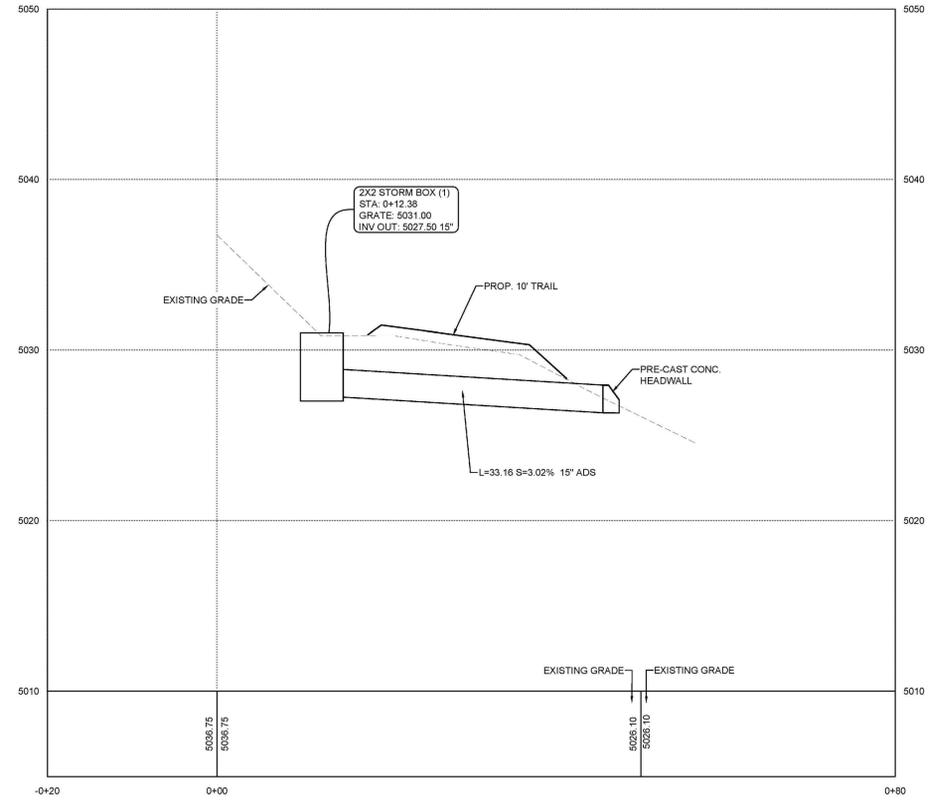
PIPE CROSSING STATION 3+10 PLAN VIEW



PIPE CROSSING STATION 7+50 PLAN VIEW



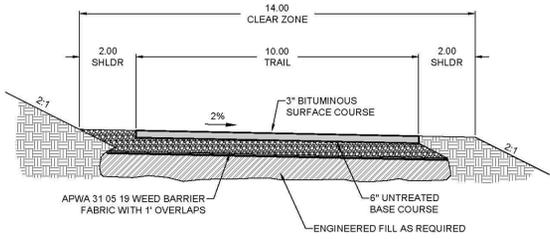
PIPE CROSSING STATION 3+10 PROFILE VIEW



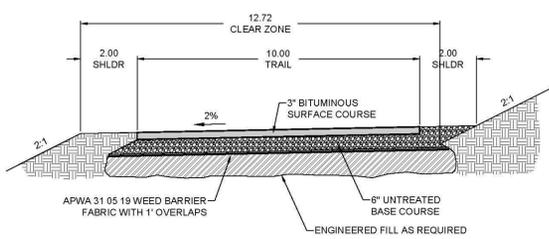
PIPE CROSSING STATION 7+50 PROFILE VIEW

U:\0 - LEI PROJECTS\2025\2025-0061 - SPANISH FORK TRAIL\DWG\25-0061 - RESERVOIR TRAIL PLAN\DWG 2/23/2026 4:15 PM

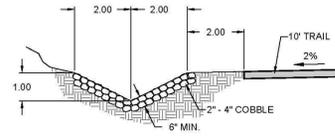
NOT FOR
CONSTRUCTION



TRAIL SECTION - SLOPE RIGHT DETAIL
STATIONS 0+32 - 4+30 & 9+20 - 21+21



TRAIL SECTION - SLOPE LEFT DETAIL
STATIONS 4+70 - 8+80 & 21+40 - 21+72

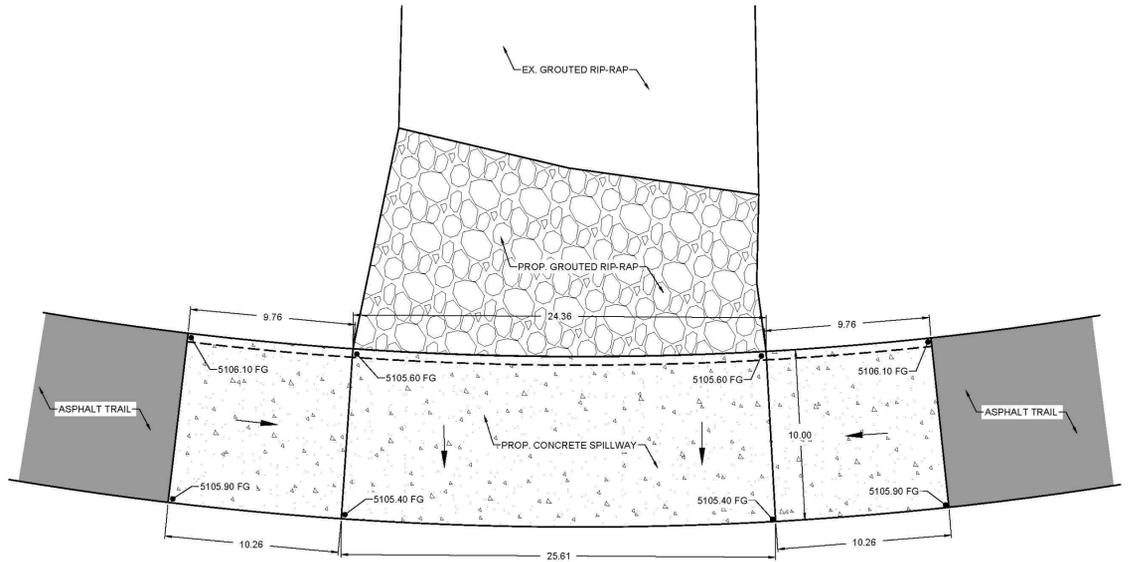


COBBLE DITCH DETAIL
STATIONS 1+38 - 3+00 & 12+43 - 15+35

TRANSITION AREAS 4+30 - 4+70, 8+80 - 9+20 & 21+21 - 21+40

SCALE: 1" = 3'

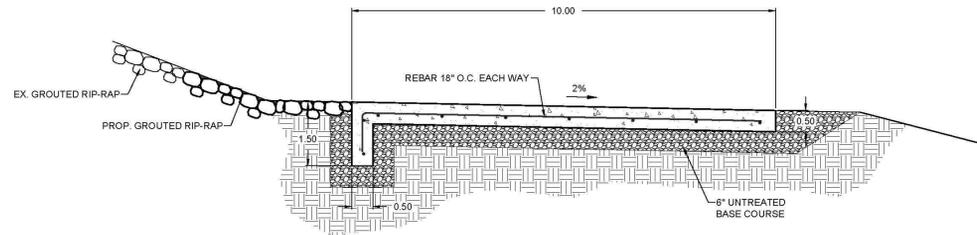
1 TYPE A TRAIL SECTION DETAIL



PLAN VIEW

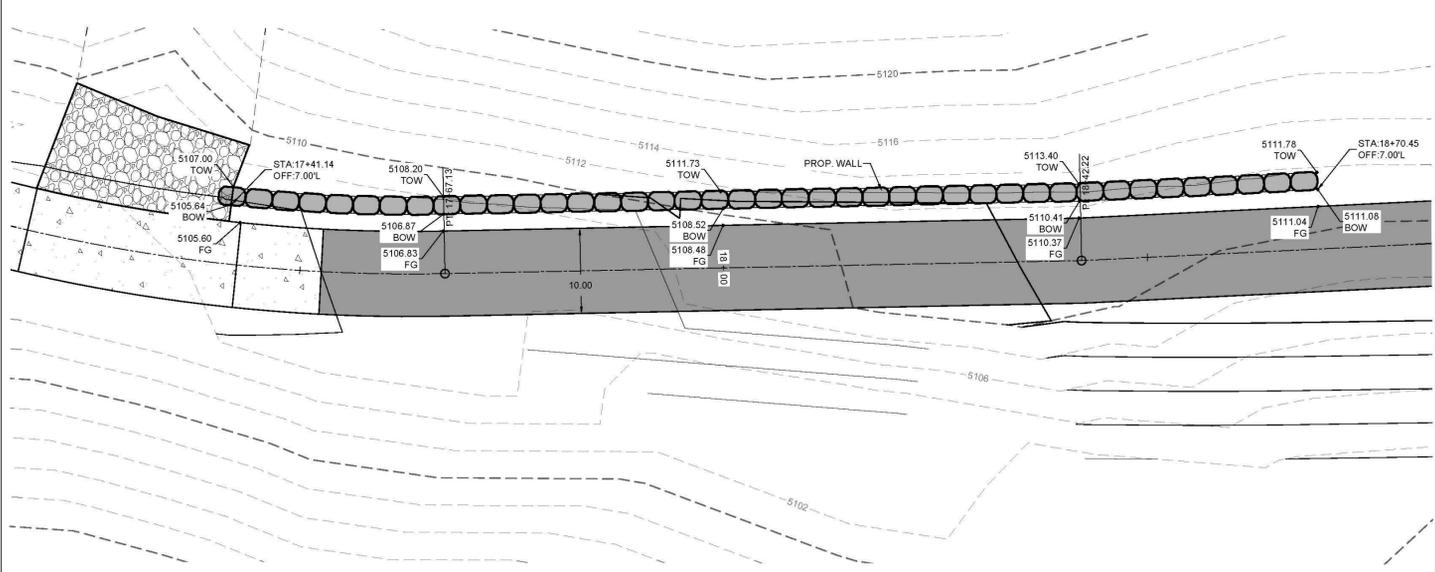
SCALE: 1" = 5'

2 CONCRETE SPILLWAY DETAIL

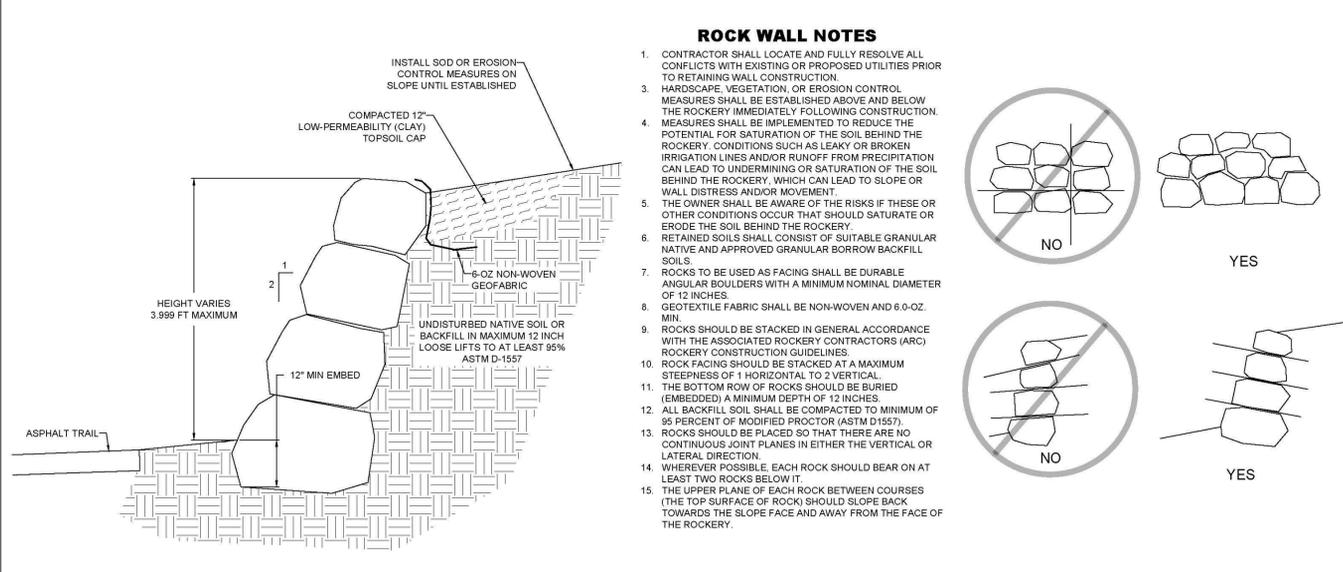


SECTION VIEW

SCALE: 1" = 2'



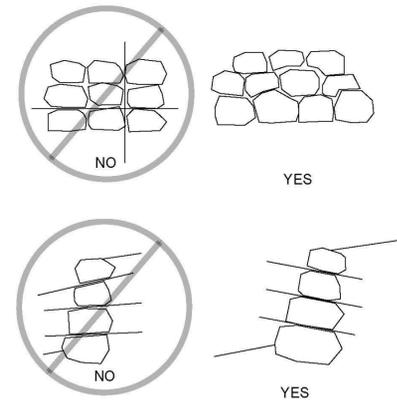
3 WALL DETAIL



4 WALL SECTION

ROCK WALL NOTES

- CONTRACTOR SHALL LOCATE AND FULLY RESOLVE ALL CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO RETAINING WALL CONSTRUCTION.
- HARDSCAPE, VEGETATION, OR EROSION CONTROL MEASURES SHALL BE ESTABLISHED ABOVE AND BELOW THE ROCKERY IMMEDIATELY FOLLOWING CONSTRUCTION.
- MEASURES SHALL BE IMPLEMENTED TO REDUCE THE POTENTIAL FOR SATURATION OF THE SOIL BEHIND THE ROCKERY, WHICH CAN LEAD TO SLOPE OR WALL DISTRESS AND/OR MOVEMENT.
- THE OWNER SHALL BE AWARE OF THE RISKS IF THESE OR OTHER CONDITIONS OCCUR THAT SHOULD SATURATE OR ERODE THE SOIL BEHIND THE ROCKERY.
- RETAINED SOILS SHALL CONSIST OF SUITABLE GRANULAR NATIVE AND APPROVED GRANULAR BORROW BACKFILL SOILS.
- ROCKS TO BE USED AS FACING SHALL BE DURABLE ANGULAR BOULDERS WITH A MINIMUM NOMINAL DIAMETER OF 12 INCHES.
- GEOTEXTILE FABRIC SHALL BE NON-WOVEN AND 6.0-OZ. MIN.
- ROCKS SHOULD BE STACKED IN GENERAL ACCORDANCE WITH THE ASSOCIATED ROCKERY CONTRACTORS (ARC) ROCKERY CONSTRUCTION GUIDELINES.
- ROCK FACING SHOULD BE STACKED AT A MAXIMUM STEEPNESS OF 1 HORIZONTAL TO 2 VERTICAL.
- THE BOTTOM ROW OF ROCKS SHOULD BE BURIED (EMBEDDED) A MINIMUM DEPTH OF 12 INCHES.
- ALL BACKFILL SOIL SHALL BE COMPACTED TO MINIMUM OF 95 PERCENT OF MODIFIED PROCTOR (ASTM D1557).
- ROCKS SHOULD BE PLACED SO THAT THERE ARE NO CONTINUOUS JOINT PLANES IN EITHER THE VERTICAL OR LATERAL DIRECTION.
- WHEREVER POSSIBLE, EACH ROCK SHOULD BEAR ON AT LEAST TWO ROCKS BELOW IT.
- THE UPPER PLANE OF EACH ROCK BETWEEN COURSES (THE TOP SURFACE OF ROCK) SHOULD SLOPE BACK TOWARDS THE SLOPE FACE AND AWAY FROM THE FACE OF THE ROCKERY.



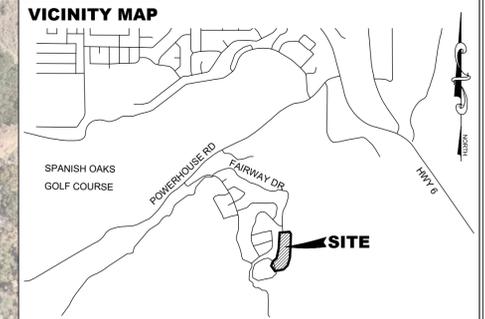
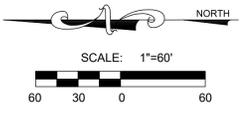
SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
DETAILS

NO.	REVISIONS
1	
2	
3	
4	
5	

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
N.T.S.
DATE:
02/23/2026

SHEET
501

U:\PROJECTS\2025\2025-0061 SP RESERVOIR TRAIL\DWG\2025-0061 SP RESERVOIR TRAIL PLANNING 2/23/2026 4:15 PM



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

TABLE OF CONTENTS

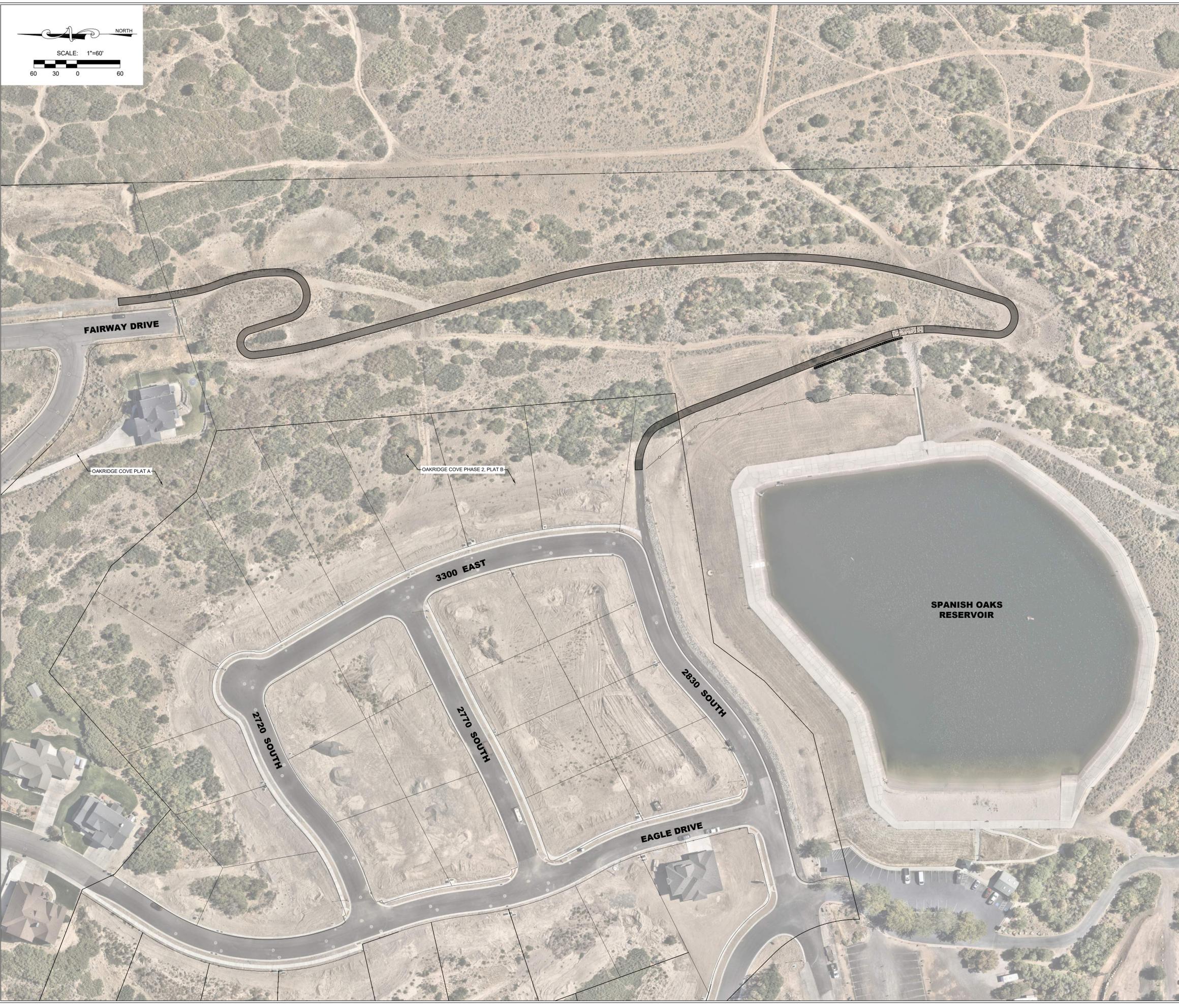
101	COVER
102	NOTES
301	GRADING PLAN
401	PLAN & PROFILE 0+00-7+00
402	PLAN & PROFILE 7+00-15+00
403	PLAN & PROFILE 15+00-22+00
404	PIPE CROSSING PLAN & PROFILE
501	DETAILS

TABULATIONS

LINEAR FOOT OF 10' TRAIL:	2127 L.F.
---------------------------	-----------

NOT FOR
CONSTRUCTION

SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
COVER



LEGEND

EXISTING	PROPOSED	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
EX-SS	SS	SEWER PIPE
EX-SM	SM	SEWER MANHOLE
EX-SR	SR	SEWER SERVICE
EX-SD	SD	STORM DRAIN PIPE (RCP)
EX-SM	SM	STORM DRAIN MANHOLE
EX-SI	SI	CURB INLET
EX-CB	CB	COMBO BOX
EX-CB	CB	4x4' CATCH BASIN
EX-CB	CB	3x3' CATCH BASIN
EX-CB	CB	INLET/OUTLET W/ GRATE
EX-W	W	CULINARY WATER PIPE
EX-W	W	45" PIPE ELBOW (W)
EX-W	W	22.5" PIPE ELBOW (W)
EX-W	W	11.25" PIPE ELBOW (W)
EX-FH	FH	FIRE HYDRANT
EX-SM	SM	SERVICE & METER (W)
EX-PRV	PRV	PRV (W)
EX-AV	AV	AIR-VAC VALVE (W)
EX-BO	BO	BLOW-OFF (W)
EX-TBO	TBO	TEMP. BLOW-OFF (W)
EX-V	V	VALVE (W & SW)
EX-T	T	TEE
EX-C	C	CROSS
EX-PI	PI	PRESSURIZED IRRIGATION
EX-PI	PI	45" PIPE ELBOW (PI)
EX-PI	PI	22.5" PIPE ELBOW (PI)
EX-PI	PI	11.25" PIPE ELBOW (PI)
EX-SW	SW	SINGLE SW SERVICE
EX-SW	SW	DUAL SW SERVICE
EX-AV	AV	AIR-VAC VALVE (PI)
EX-BO	BO	BLOW-OFF (SW)
EX-TBO	TBO	TEMP. BLOW-OFF (PI)
EX-S	S	STOP SIGN
EX-S	S	STREET SIGN
EX-M	M	MONUMENT
EX-F	F	FENCE
EX-FL	FL	STREET LIGHT
EX-P	P	POWER POLE
EX-D	D	DITCH
EX-FO	FO	FIBER OPTIC
EX-G	G	GAS
EX-OP	OP	OVERHEAD POWER
EX-FA	FA	FLOW ARROW
EX-C	C	CONTOURS

DEVELOPER / OWNER
SPANISH FORK CITY

ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
SPANISH FORK RESERVOIR TRAIL

REVISIONS

1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
1"=60'
DATE:
02/23/2026

SHEET
101

U:\PROJECTS\2025\0061-001 SP RESERVOIR TRAIL\CAD\DWG\05-001 RESERVOIR TRAIL PLANS.DWG 2/23/2026 4:10 PM

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSPECTED IN STRICT ACCORDANCE WITH ALL JURISDICTIONAL AUTHORITIES.
2. CONTRACTOR SHALL COMPLY WITH THE STANDARDS INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES, OWNERS, ENGINEERS, AND UTILITY COMPANIES FIVE DAYS PRIOR TO A PRE-CONSTRUCTION MEETING.
3. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF, AND AT, THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, (1) THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
6. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED. VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND ANSWER ANY QUESTIONS BEFORE CONSTRUCTION.
7. ALL TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT MUTCD AND UDOT STANDARDS. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAYS OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
9. CONTRACTOR TO VERIFY EXISTING CONDITIONS, TIE IN POINTS, UTILITY CONNECTIONS, ETC. PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, SECTION CORNERS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY UNNECESSARY LOSS OR DISTURBANCE.
11. CONTRACTOR TO FURNISH, MAINTAIN, AND RESTORE ALL SURVEY MONUMENTS AND MONUMENT REFERENCE MARKERS WITHIN THE PROJECT SITE. CONTRACTOR TO CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT PERMITTING, LOCATIONS AND CONSTRUCTION DETAILS.
12. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.

GENERAL CLEARING AND GRADING NOTES

1. CLEARING, GRUBBING AND DISPOSAL OF VEGETATIVE MATERIAL NEEDS TO BE IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS, WHICH APPLY TO SOLID WASTE.
2. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON DRAWINGS AND A TOPOGRAPHIC SURVEY PERFORMED BY LEI ENGINEERS (UNLESS OTHERWISE NOTED). IF THE EXISTING GRADE IS DIFFERENT FROM WHAT IS SHOWN ON THE GRADING PLAN, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
3. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT.
4. WHEN USING ELECTRONIC FILES OF MASS GRADING SITES PREPARED BY LEI THE CONTRACTOR MUST USE THE DIGITAL TERRAIN MODEL CREATED BY AUTODESK CIVIL 3D AND NOT A REPRODUCTION OF PROPOSED CONTOURS. LEI IS NOT RESPONSIBLE FOR ANY INACCURACIES, ERRORS AND/OR DISCREPANCIES DUE TO CONVERSION OR USE OF ELECTRONIC FILES.
5. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
6. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION, OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING THE APPROPRIATE PERMITS AND INSPECTIONS. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL UTILITY NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING BLUE STAKES FOR MARKINGS TO VERIFY ALL EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND FOR ALL INTERRUPTIONS CAUSED BY THE RESULTS OF HIS WORK.
2. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY CONTRACTORS WORK FORCE.
3. START AT THE LOW END OF ALL GRAVITY FEED LINES AND WORK UPHILL. DO NOT DRY START GRAVITY FEED LINES THAT TIE INTO EXISTING GRAVITY LINES. FAILURE TO COMPLY WITH THIS NOTE SHALL RELEASE THE CIVIL ENGINEER OF ALL LIABILITY.
4. CONTRACTOR SHALL LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION.
5. ANY POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE PURPOSES ONLY AND ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING UTILITIES. NOR FOR ANY NEW UTILITY SERVICES. CONTRACTOR TO SUBMIT SITE PLAN TO APPROPRIATE UTILITY PROVIDER FOR DESIGN OF SERVICE CONNECTIONS.
6. ALL DIMENSIONS, GRADES AND UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXISTS PRIOR TO CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
7. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.
8. THE DRY START OF ANY UTILITY WITHOUT DIRECT CONNECTION TO EXISTING UTILITY INFRASTRUCTURE IS HIGHLY DISCOURAGED UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER. LEI IS NOT RESPONSIBLE FOR ANY ISSUES OR CHANGES RESULTING FROM SUCH CONSTRUCTION METHODS.
9. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER AND AT THE SOLE RISK OF THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER.
10. CONTRACTOR IS RESPONSIBLE TO REMOVE, SALVAGE, AND REPLACE FENCE LINES WHICH ARE DISTURBED DURING CONSTRUCTION.
11. SANITARY SEWER TO BE INSTALLED A MINIMUM OF 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ALL WATER LINES.
12. ALL PIPE LENGTHS SHOWN ON PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
13. UTILITY LATERAL TO BE INSTALLED PER CITY STANDARD LOCATION UNLESS OTHERWISE NOTED.

ELECTRONIC FILE NOTES

1. THE HARD COPIES OF THIS INFORMATION WILL GOVERN OVER THE ELECTRONIC DATA IN THE EVENT ANY DISCREPANCIES ARE FOUND WITH THE INFORMATION. PLEASE CONTACT LEI BEFORE CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND.
2. THE INFORMATION RECORDED ON OR TRANSMITTED AS ELECTRONIC MEDIA WAS CREATED USING AUTODESK CIVIL 3D 2025 SOFTWARE. THEREFORE, THE INFORMATION IS SUBJECT TO UNDETECTABLE ALTERATION, EITHER INTENTIONAL OR UNINTENTIONAL DUE TO, AMONG OTHER CAUSES, TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ALTERATION.

ABBREVIATIONS

NG	NATURAL GROUND
FG	FINISH GRADE
FS	FINISH SURFACE
EG	EXISTING GRADE
EX	EXISTING
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
FF	FINISH FLOOR
GFF	GARAGE FINISH FLOOR
FH	FIRE HYDRANT
PI	PRESSURIZED IRRIGATION
CB	CATCH BASIN
SMH	SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION

**SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
GENERAL NOTES**

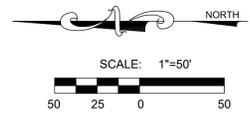
REVISIONS	
1	-
2	-
3	-
4	-
5	-
6	-
-	-

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
NONE
DATE:
02/23/2026

SHEET
102

GRADING LEGEND

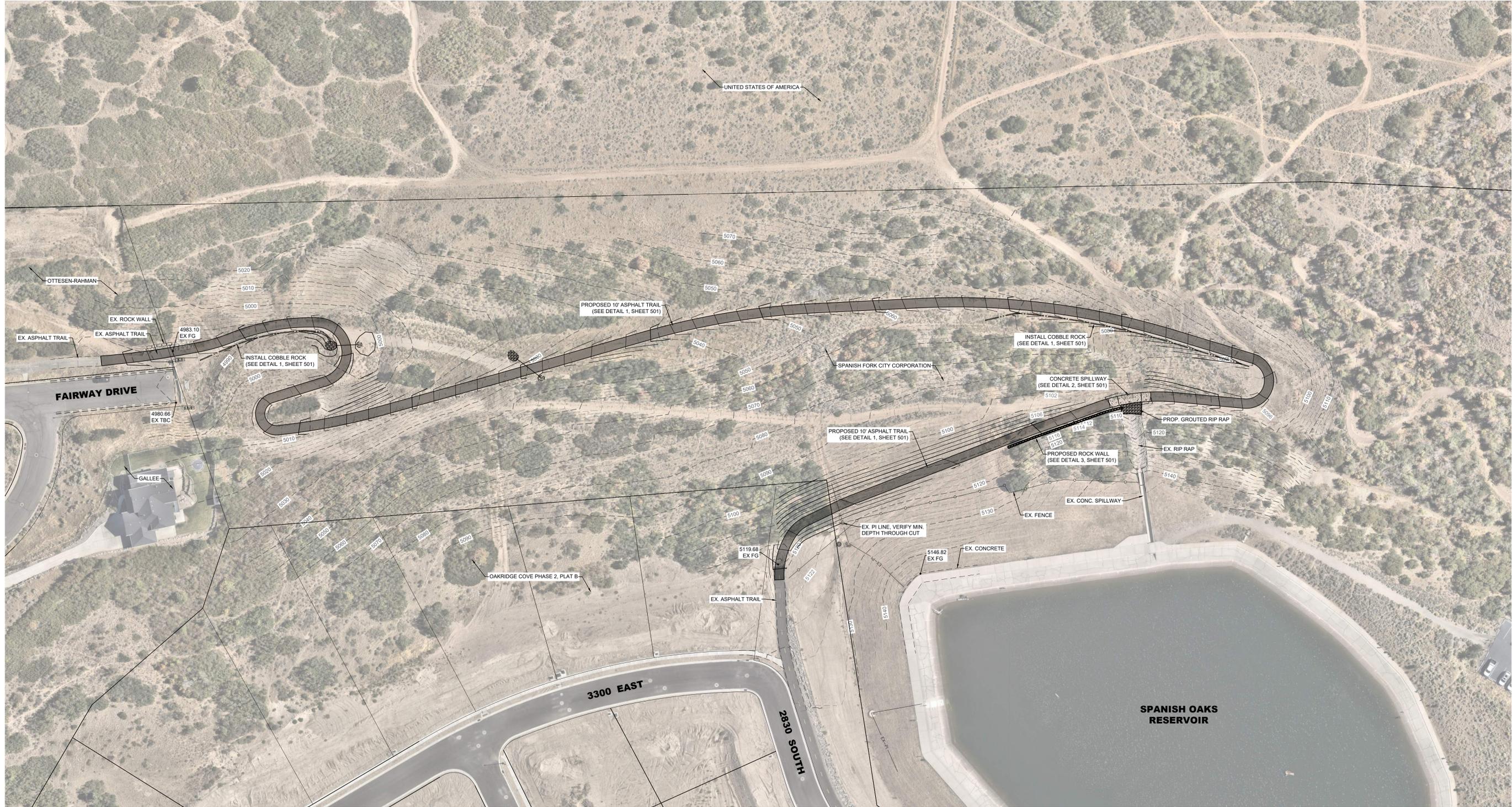
- NG NATURAL GROUND
- EX FG EXISTING FINISH GRADE
- FG FINISH GRADE
- FS FINISH SURFACE
- FF FINISH FLOOR
- GB GRADE BREAK
- LP LOW POINT
- HP HIGH POINT
- BOW BOTTOM OF WALL
- TOW TOP OF WALL



**CIVIL
STRUCTURAL
SURVEY**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION



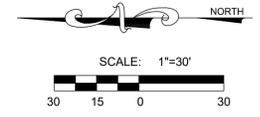
SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
GRADING PLAN

REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
1"=50'
DATE:
02/23/2026

SHEET
301

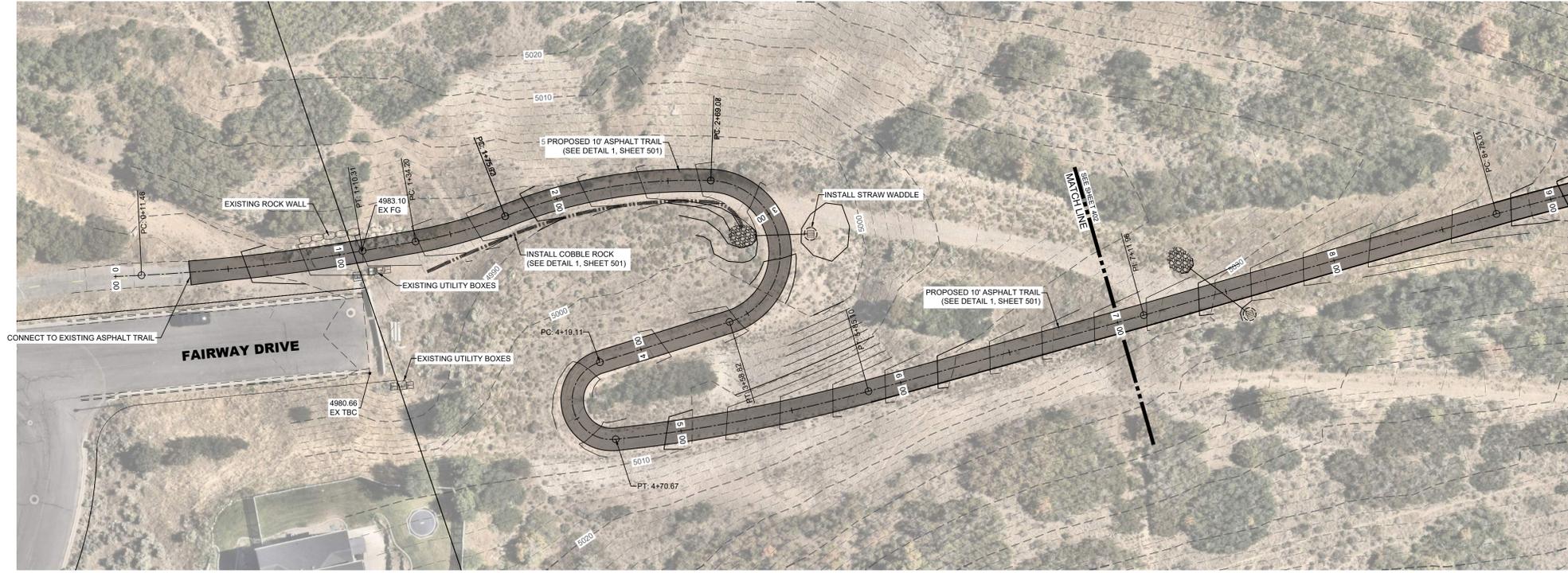
U:\PROJECTS\2025\2025-0061 - SP RESERVOIR TRAIL PLAN\DWG\2025-0061 - SP RESERVOIR TRAIL PLAN.DWG 2/23/2026 4:17 PM



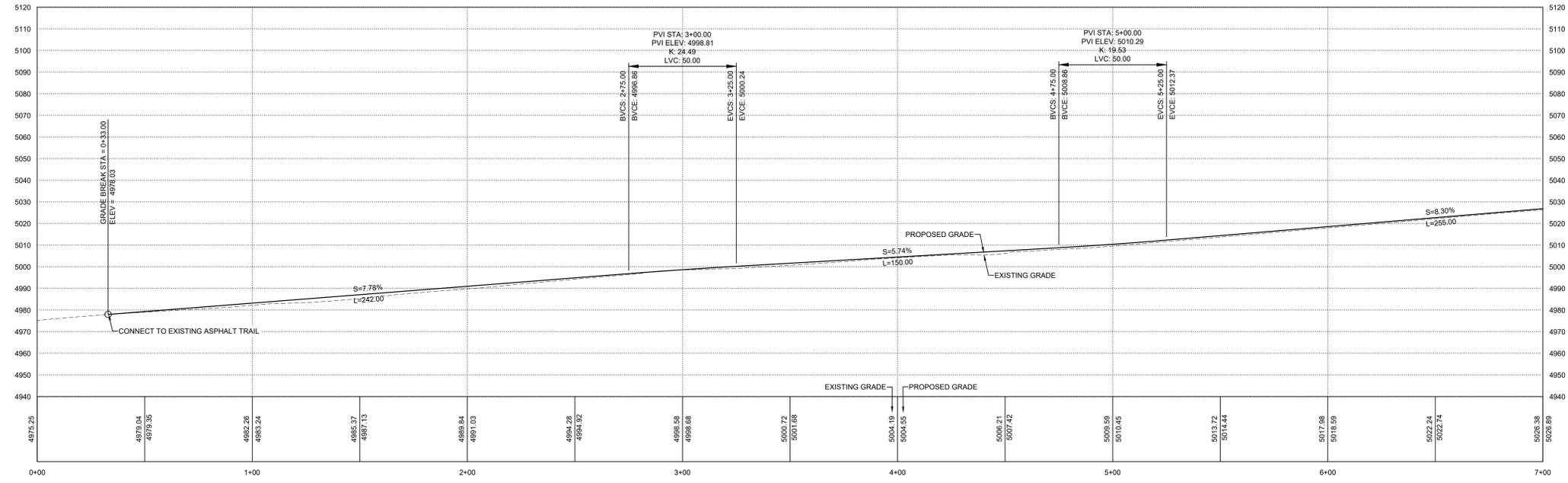
CIVIL
STRUCTURAL
SURVEY

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

NOT FOR
CONSTRUCTION



RESERVOIR TRAIL STATION 0+00 - 7+00 PLAN VIEW



RESERVOIR TRAIL STATION 0+00 - 7+00 PROFILE VIEW

SPANISH FORK RESERVOIR TRAIL
SPANISH FORK CITY, UTAH
RESERVOIR TRAIL STATION 0+00 - 7+00 PLAN & PROFILE

NO.	REVISIONS
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0061
DRAWN BY:
RWH
DESIGNED BY:
BTG
SCALE:
1"=30'
DATE:
02/23/2026

SHEET
401

U:\PROJECTS\2025\0061-001 SF RESERVOIR TRAIL PLAN\DWG 2/23/2026 4:17 PM