

PLANNING COMMISSION

City of Holladay

March 24, 2026

City Council Chambers – 4580 S. 2300 E. Holladay



City of Holladay

This public meeting will be held in-person and also transmitted via live video stream on the [City of Holladay webpage](https://www.cityofholladayut.gov).

Participation in a *public hearing* portion of this meeting can be accomplished in either of the following ways:

- During the meeting: address the Commission when the item is called by the Commission Chair
- Email: comments must be received by 5:00 pm on **03/23/2026** to the Community and Economic Development Department; jteerlink@holladayut.gov. Emailed comments will be read by the Commission Chair.

MEETING AGENDA

5:30 PM WORK SESSION – All agenda items may be discussed. No decisions or voting to occur.

6:00 PM CONVENE REGULAR MEETING – Public Welcome & Chair Opening Statement

PUBLIC HEARING

1. “Casper Cottage” – Historic Site Conditional Land Use Permit – 4910 S Holladay Blvd (R-2-10)

***This item has been rescheduled to April 14th*

File #26-1-05

2. “Royal Holladay Hills, Block A & C” –Preliminary Plan – 4825 South Royce Drive. (R-M/U Zone)
Preliminary Review and consideration of development/construction details submitted by Applicant, Steve Peterson for the Block A and C within the Royal Holladay Hills mixed-use development. Review conducted according to regulatory provisions of the Site Development Master Plan (SDMP 2007) and Holladay Ordinance §13.65.070(C). *File #19-9-19-12*

ADJOURN

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted on the City of Holladay bulletin board, the City website www.holladayut.gov, the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.

DATE POSTED: [DAY, MONTH DATE, 2026 @ TIME AM/PM]

Stephanie N. Carlson MMC, City Recorder
City of Holladay

Reasonable accommodation for individuals with disabilities or those in need of language interpretation service can be provided upon request. For assistance, please call the City Recorder's office at 272-9450 at least three days in advance. TTY/TDD number is (801)270-2425 or call Relay Utah at #7-1-1

The Chair shall call the meeting to order at the appropriate time, greet the people, and read the following statement:

- *The City of Holladay Planning Commission is a volunteer citizen board whose function is to review land use plans and other special studies, make recommendations to the City Council on proposed zoning map and ordinance changes, and approve conditional uses and subdivisions.*
- *The Planning Commission does not initiate land use applications; rather acts on applications as they are submitted. Commissioners do not meet with applicants except at publicly noticed meetings.*
- *Commissioners attempt to visit each property on the agenda, where the location, the nature of the neighborhood, existing structures and uses related to the proposed change are noted.*
- *Decisions are based on observations, recommendations from the professional planning staff, the City's General Plan, zoning ordinance and other reports, by all verbal and written comments, and by evidence submitted, all of which are part of the public record.*
- *Meeting procedure can be found on the back of the agenda.*

RULES OF THE CITY OF HOLLADAY

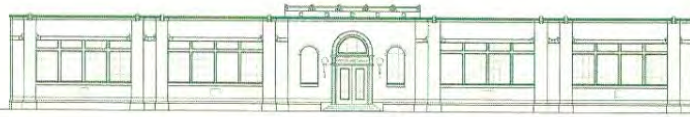
PLANNING COMMISSION FOR PUBLIC HEARINGS

The Planning Commission Chair or Vice Chair is the Presiding Officer and will conduct the hearing

1. **INTRODUCTION.** The Presiding Officer informs those attending of the procedure and order of business for the hearing.
2. **STAFF PRESENTATION.** City Staff briefly introduces the request that prompted the public hearing. The presentation shall not last more than five minutes.
3. **SPONSER PRESENTATION.** If desired, the applicant or his/her representative may also make a presentation. The presentation shall not last more than fifteen minutes.
4. **PUBLIC COMMENT.** The Presiding Officer asks for public comment on the matter before the Commission. Comments are limited to three minutes and speakers are allowed to speak only once.
Speakers are requested to:
 - (a) Complete the Citizen Comment Form
 - (b) Wait until recognized before speaking
 - (c) Come to the microphone and state their name and address for the record
 - (d) Be brief and to the point
 - (e) Not restate points made by other speakers
 - (f) Address questions through the Presiding Officer
 - (g) Confine remarks to the topic
 - (h) Avoid personalities

After each citizen has spoken, Commission members may ask questions of the participant before the Presiding Officer resumes or closes the hearing.

5. **APPLICANT SUMMATION/RESPONSE.** Following citizen comment and questions by the Commission, the applicant shall be given an opportunity to give up to fifteen minutes summation and/or response prior to closing of the public hearing.
6. **CLOSING THE HEARING.** If there is no further public comment, questions by Commission members, or final response by the applicant, the Presiding Officer shall conclude the hearing at least ten minutes in advance of a subsequently scheduled public hearing. The Commission may vote to extend the public hearing past the starting time of a subsequent public hearing.
7. **CONSIDERATION OF ITEM.** At the close of the public hearing, the Commission shall consider the item, discuss its merits and vote on the matter or vote to continue it at a future meeting.



City of Holladay
Community and Economic Development
Planning and Zoning

PLANNING COMMISSION STAFF REPORT

March 24th 2026

ITEM # 2

Request: Commercial Site plan –Preliminary Level Reviews

Project: Royal Holladay Hills Block A Site Plan **and** Block C, Lot 2c

Address: 4825 S Royce Drive **and** 1888 East Rodeo Walk Drive

Applicant: Kathy Olson, Applicant and Steve Petersen, Owner

File No.: 19-9-19-12

Notice: Mailed and posted Notice on March 6th 2026

Staff: Jonathan Teerlink, CED Director

GOVERNING ORDINANCES:

13.65.070(C)(D)	REGIONAL MIXED-USE ZONE (RM-U)
13.03.030	APPLICATION SUBMISSION REQUIREMENTS
13.06	ADMINISTRATIVE & DEVELOPMENT REVIEW PROCEDURES
13.08.080	SITE PLAN - STANDARDS
SDMP,2007	SITE DEVELOPMENT MASTER PLAN (SDMP)

REQUIRED PLANNING COMMISSION ACTION: *Administrative*

Public hearing to be held. As this application is for development improvements for a mixed-use site plan, the PC shall make two separate motions, Concept and Preliminary, to either approve or to continue discussion for this application. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with Ord. [13.06.050.B2](#) & [13.08](#)

SUMMARY

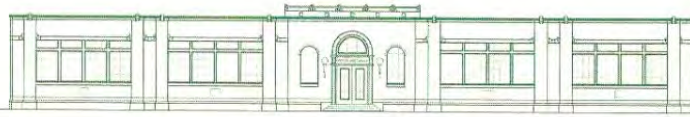
According to the approved subdivision plans within the Royal Holladay Hills development site, the applicant proposes site redevelopment at Block A and building design at Block C Lot2c. This phase proposes retail development at the primary corner of the Holladay Hills project site. Project design representatives will present a development plans for retail uses and associated parking. Review of this phase is subject to the land use provisions of the, “Open” [Land Use District \(O Zone\) of the SDMP](#). Considered the most intense land use zone within this master planned development, the “O” zone provides for the widest range of allowed land uses and the tallest building heights (90 feet).

Block A Summary

- 16,700 sqft total Commercial space
- 3 restaurant buildings
- 202 parking stalls (12 per 1,00sqft)
- New building design
- Lighting Plan
- Landscaping plan*

Block C Lot C Summary

- PC Approved the site plan, Fall of 2025
- Building design proposed
- Updated lighting plan
- Updated Landscaping plan



City of Holladay
Community and Economic Development
Planning and Zoning

TECHNICAL REVIEW COMMITTEE ANALYSIS

Review of this application has been determined by the CED Directed to be complete providing all necessary elements to be reviewed by the Planning Commission as required in Holladay Code [§13.08.010](#).

The TRC is satisfied that details of the proposed use of the property elements (zone compliance) provide all information needed for review of the Planning Commission. The Planning Commission is requested to determine compliance with the requirements of the Site Development Master Plan, [SDMP](#) and site plan standards of [§13.08.080](#)

TRC recommends that the following items be highlighted by the PC **and** discussed with the application as they are found to be critical elements of [SDMP](#) compliance

- Land Uses, Page 3
 - a. All proposed uses shall conform to Permitted land use table within O Zone,
 - *The applicant has provided the name of the primary tenant, however the commission should confirm that all uses within these blocks conform to those listed in the SDMP*
- Building Massing, page 6 and Commercial Intensity, page 1
 - a. Blocks A and C provide maximum building heights at 4 stories
 - *The TRC is satisfied that the elevations of building provided are below this 4-story limit.*
 - b. maximum retail square footage is dispersed across entire site (57 acres)
- Architecture, page 16
 - a. Design guidelines are given along with a palette of styles
 - *At the time of submittal, the TRC is concerned with proposed elements not meeting the statement provide – **see inset***
- Parking, page 8,
 - a. Parking is required at 1 stall per 200 square feet.
 - *This site is proposed to exceed this ratio*
 - b. Parking lot landscaping is proposed in two formats. One plan shows compliance with 13.77 tree planting requirements. The second modifies those standards and requests administrative relief
- Landscaping plans are provided and propose 26+ new trees and various landscaping features around the site.

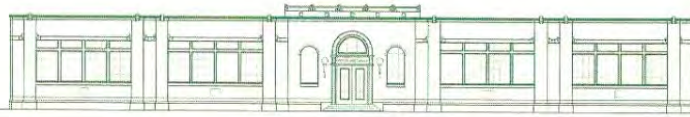
The architectural vision of the Cottonwood Development is to create an urban realm with distinct places including a central plaza, a mixed-use main street, and residential edge streets. Architectural styles and variety, including a local vernacular or flavor, will create a cohesive architectural vision so that buildings are made to appear incremental as if developed over time.

The use of articulated buildings including corner and cornice details as well as façade embellishments will be a strong component of the architecture. Wherever feasible, window surfaces will be maximized at ground level creating a high degree of visibility in retail areas. Streets will be further articulated through the use of arcades, awnings, canopies, balconies, and signs. In the residential districts, porches and stoops will add to the variety of design to create a neighborhood sensibility. Careful planning for service areas, utilities, and infrastructure elements is required so that, to a significant extent, these are concealed by buildings, wall, gates, and landscaping.

Use of a wide variety of building materials will be incorporated into the overall architectural design. Materials will include (but not be limited to) stone, brick, wood, stucco, metals, and glass. The materials palette will coincide with the goal of providing character and interest to individual buildings and the project as a whole. New, larger, single building uses will be designed so that they are well integrated into the project. Substantially single-material, lower quality "big box" style architecture will not be utilized. The scale and mass of the larger buildings will be softened through the use of articulation and building materials.

Details of the streetscape will be simple and include concrete, asphalt, and accent materials in focal areas. Elements included in the streetscape will include benches, kiosks, mobile merchandising units, pots, art, bike racks, and trash containers. Please refer to the examples shown on the Precedents & Branding page of the SDMP for streetscape elements and building materials.

All work within the project will be constructed and provisioned in a first-class workmanlike manner and free from all significant defects.



City of Holladay
Community and Economic Development
Planning and Zoning

RECOMMENDATION

The required submittals for preliminary site development plan for Block A and a portion of Block C (lot C) are found by the TRC to be complete as per the City's submission standards, site plan development provisions, the R-M/U zone regulations and SDMP site development standards. The TRC recommends the Planning Commission to hold the required public hearing and moderate a discussion with the applicants on the details mentioned above.

TRC has concerns with the proposed building design and orientation of the proposed buildings at both Block A and Block C, lot C. Please moderate a discussion with the application based upon the design guidelines provided in the [SDMP, pg 16](#)

Two separate decisions are recommended, one for Preliminary site and building approvals at Block A and the second for building approvals at Block C Lot 2c.

As per Holladay Ord. §13.08.010 (B3), final approvals shall be determined by the TRC as engineering and civil details are the last elements to be finalized upon a preliminary approval.

SUGGESTION MOTIONS

#1, BLOCK A

*"I motion to (approve_deny_continue) the **PRELIMINARY SITE DEVELOPMENT AND BUILDING DESIGN FOR BLOCK A** of the **"Royal Holladay Hills Development"** located in the R-M/U zone located at 4825 South Royce Drive with FINAL SITE PLAN approvals to be delegated to staff. Motion is based on the following findings.*

- 1) *Proposal provides compliance to applicable review standards provided in Holladay Ord §13.08.080(E)*
- 2) *Applicant has provided evidence that all proposed uses can be serviced by all life safety utilities*
- 3) *All development details and all related components comply with the R-M/U zone & SDMP as a master planned project*
- 4) *Proposal building design provides compliance with Architectural Design Styles provided on Page 16 of the SDMP*
- 5) **Parking Lot landscaping plan is found to comply with standards provided in §13.77.060*

Alternative finding:

According to Ordinance [13.77.130](#) a reduction in parking lot landscaping islands is approved based upon

- a. *The location and size of parking lots and/or structures ..*
- b. *A commensurate or additional percent of landscaping is being provided in an abutting right of way*

Condition of Approval

- 1) *In accordance with [§13.08.010\(E\)](#) FINAL verification of all details discussed in this meeting and final civil site development approvals shall be by the Land Use Authority (TRC). All final civil development standards of review, as required by Holladay engineering shall be submitted by the applicant to the CED Department and finalized by this step prior to any site improvements.*

#2, BLOCK C Lotc

*"I motion to (approve_deny_continue) the **BUILDING DESIGN FOR BLOCK C Lotc** of the **"Royal Holladay Hills Development"** located in the R-M/U zone located at 4825 South Royce Drive with FINAL SITE PLAN approvals to be delegated to staff. Motion is based on the following findings.*

- 1) *Site plan for the building location received approval on January 9th 2025*
- 2) *Proposal building design provides compliance with Architectural Design Styles provided on Page 16 of the SDMP*



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City of Holladay Planning Commission will conduct a public hearing on March 17th 2026. During this meeting the Planning Commission will review preliminary level site development plan at “Block A” and Block “C” within “Royal Holladay Hills” mixed-use development in the R/M-U zone located approximately at 4825 South Royce Drive. All considerations will be reviewed by the Planning Commission for compliance with the SDMP (2007) and Holladay Ordinance 13.65.070(C).Chapter 13.14.040.

The proposed amendment is available for public inspection on the City’s website www.holladayut.gov and at the Community Development Dept. during normal business hours.

The public can remotely watch the [Live Stream](#) of the meeting. To provide a public comment or to comment on any public hearing, you have the following options:

1. In-person attendance at Holladay City Hall or
2. Email your comments by 5:00 PM on the date of the meeting to cmash@holladayut.gov or call 801527-3890.

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted at City Hall, the City website www.holladayut.gov the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.

DATE POSTED: [date]

*Stephanie N. Carlson MMC,
City Recorder City of Holladay*
NOTICE OF PUBLIC HEARING



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING

PRELIMINARY SITE PLAN HOLLADAY HILLS "BLOCK C"

Date: Tuesday, March 17th 2026
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

Notice is hereby given that the City of Holladay Planning Commission will conduct a public hearing during their review of a primary site development plan for "BLOCK A & C" within "Royal Holladay Hills" mixed-use development in the R/M-U zone located at **4825 South Royce Drive**. All considerations will be reviewed by the Planning Commission for compliance with the SDMP (2007) and Holladay Ordinance 13.65.070(C).

****No zone or ordinance change is proposed in conjunction with this application. ****

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Website.

Please submit comments via email by 5:00 pm March 16th to Jonathan Teerlink, jteerlink@cityofholladay.com Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

ATTENTION: This notice was mailed on March 6th by order of the Community and Economic Development Director, Jonathan Teerlink, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING

PRELIMINARY SITE PLAN HOLLADAY HILLS "BLOCK C"

Date: Tuesday, March 17th 2026
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

Notice is hereby given that the City of Holladay Planning Commission will conduct a public hearing during their review of a primary site development plan for "BLOCK A & C" within "Royal Holladay Hills" mixed-use development in the R/M-U zone located at **4825 South Royce Drive**. All considerations will be reviewed by the Planning Commission for compliance with the SDMP (2007) and Holladay Ordinance 13.65.070(C).

****No zone or ordinance change is proposed in conjunction with this application. ****

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Website.

Please submit comments via email by 5:00 pm March 16th to Jonathan Teerlink, jteerlink@cityofholladay.com Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

ATTENTION: This notice was mailed on March 6th by order of the Community and Economic Development Director, Jonathan Teerlink, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.





☐ *Narrative detailing the request* to the Planning Commission detailing the operation of the proposed land use. This letter should explain the nature of the project including traffic impacts (if any), etc. to assist staff and the Planning Commission

OWNER: KMW DEVELOPMENT, LLC
2733 E. PARLEYS WAY, SUITE 300
SALT LAKE CITY, UT 84109

DESIGNER: WOODBURY ARCHITECTS

This application is for preliminary site plan approval for Holladay Hills Block A.

The proposed development is for 3 restaurant pads with the anticipated restaurant square footages of 7000 SF, 4200 SF and 5500 SF.

Construction of all three buildings is expected to occur summer 2026 through fall 2027.

The Block A Development will also include the Conceptual Multi-tenant Development Sign C as shown in SDMP Appendix A, and a Conceptual Corner Site Identifier Sign. These signs will be applied for in a separate filing when designs are finalized, and are shown in this applicaiton for location identification only.

BOUNDARY DESCRIPTION

A parcel of land being twenty entire tracts described in that Royal Holiday Hills Subdivision #1, Block A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, as plotted and recorded at Entry #13321547, in Book 10680, on Page 188, and in that Special Warranty Deed, recorded at Entry #13330116, in Book 10680, on Page 2307 and in that Special Warranty Deed, recorded at Entry #13305288, in Book 10680, on Page 5317 in the Office of the Salt Lake County Recorder. Said parcel of land is located in the Northeast quarter of Section 9 and in the Northwest quarter of Section 10, Township 2 South, Range 1 East, Salt Lake Base & Meridian, and is described as follows:

Beginning at a point that is located North 07°03'51" West 1799.35 feet along Section Line and West 113.51 feet from the East Quarter Corner of Section 9, Township 2 South, Range 1 East, Salt Lake Base & Meridian; said point also lies on the westerly R.O.W. of Memory Lane.

Thence along said Memory Lane South 07°00'58" East a distance of 38.90 feet, Thence South 44°45'59" East a distance of 929.25 feet to Northerly R.O.W. of Arbor Lane, Thence along Arbor Lane South 42°48'01" West a distance of 200.20 feet to the beginning of a curve, said curve bears to the left through an angle of 81°03'00", having a radius of 127.34 feet along the arc a distance of 180.13, and whose long chord bears South 02°16'31" West a distance of 165.49 feet, Thence South 34°14'59" East a distance of 64.50 feet to the beginning of a curve, said curve bears to the right through 107°09' 55", having a radius of 1121.28 feet along the arc a distance of 198.93 feet, and whose long chord bears South 29°10'02" East a distance of 198.67 feet to the beginning of a non-tangential curve, said curve bears to the right through 08°28'05", having a radius of 1121.28 feet along the arc a distance of 185.72 feet, and whose long chord bears South 19°51'02" East a distance of 185.57 feet to the beginning of a non-tangential curve, said curve bears to the right through 49°37'00", having a radius of 225.79 feet along the arc a distance of 195.53 feet, and whose long chord bears South 09°11'31" West a distance of 189.48 feet to the beginning of a non-tangential curve, said curve bears to the right through 10°16'29", having a radius of 821.00 feet along the arc a distance of 147.23 feet, and whose long chord bears South 39°08'15" West a distance of 147.03 feet to the beginning of a non-tangential curve, said curve bears to the right through an angle of 09°18'31", having a radius of 821.00 feet along the arc a distance of 133.38 feet, and whose long chord bears South 48°55'45" West a distance of 133.24 feet to a point of intersection with a non-tangential line, Thence South 36°24'59" East a distance of 8.50 feet to the beginning of a non-tangential curve, said curve bears to the right through an angle of 41°24'00", having a radius of 214.51 feet along the arc a distance of 155.00 feet, and whose long chord bears South 74°17'10" West a distance of 151.65 feet, Thence North 85°00'59" West a distance of 224.11 feet, Thence North 63°22'13" West a distance of 135.83 feet, Thence North 02°20'32" East a distance of 18.68 feet, Thence North 87°03'34" West a distance of 63.70 feet to the beginning of a non-tangential curve, said curve bears to the right through an angle of 23°04'22", having a radius of 56.00 feet along the arc a distance of 22.55 feet, and whose long chord bears South 49°52'46" West a distance of 22.40 feet, Thence South 61°24'57" West a distance of 45.21 feet to the Easterly R.O.W. Highland Drive, Thence Along said Highland Drive the following courses: North 56°10'59" East a distance of 13.95 feet, Thence North 39°46'39" West a distance of 1124.50 feet to the beginning of a ten cord spiral curve, said curve bears to the right through 02°01'38", having a radius of 41472.00 feet along the arc a distance of 19.65 feet, and whose long chord bears North 39°47'50" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 0°07'20", having a radius of 9216.00 feet along the arc a distance of 19.65 feet, and whose long chord bears North 39°42'57" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 07°12'13", having a radius of 5529.60 feet along the arc a distance of 19.65 feet, and whose long chord bears North 38°33'11" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°17'09", having a radius of 3949.71 feet along the arc a distance of 19.65 feet, and whose long chord bears North 39°18'31" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 02°21'59", having a radius of 3072.00 feet along the arc a distance of 19.65 feet, and whose long chord bears North 38°58'58" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 02°26'33", having a radius of 2513.45 feet along the arc a distance of 19.65 feet, and whose long chord bears North 38°34'32" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°31'46", having a radius of 2126.77 feet along the arc a distance of 19.65 feet, and whose long chord bears North 38°05'13" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°36'39", having a radius of 1843.20 feet along the arc a distance of 19.65 feet, and whose long chord bears North 03°54'54" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°31'46", having a radius of 2126.77 feet along the arc a distance of 19.65 feet, and whose long chord bears North 03°20'42" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 02°26'33", having a radius of 2513.45 feet along the arc a distance of 19.65 feet, and whose long chord bears North 02°51'23" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°21'59", having a radius of 3072.00 feet along the arc a distance of 19.65 feet, and whose long chord bears North 02°26'57" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°17'06", having a radius of 3949.71 feet along the arc a distance of 19.65 feet, and whose long chord bears North 02°07'24" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°17'13", having a radius of 5529.60 feet along the arc a distance of 19.65 feet, and whose long chord bears North 01°52'45" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through 00°07'20", having a radius of 9216.00 feet along the arc a distance of 19.65 feet, and whose long chord bears North 01°42'58" West a distance of 19.65 feet to the beginning of a non-tangential curve, said curve bears to the right through an angle of 00°11'38", having a radius of 41472.00 feet along the arc a distance of 19.65 feet, and whose long chord bears North 01°43'40" West a distance of 19.65 feet, and whose long chord bears North 01°43'40" West a distance of 3.89 feet, Thence South 88°12'51" West a distance of 10.00 feet, Thence North 01°43'40" West a distance of 43.18 feet to Southerly R.O.W. of Murray Holiday Road, Thence along said Murray Holiday Road the following courses: South 89° 47' 36" East a distance of 144.66 feet, Thence South 00°11'01" West a distance of 15.00 feet, Thence South 88°47'36" East a distance of 95.81 feet, Thence South 49°19'00" East a distance of 27.52 feet, Thence South 86°40'30" East a distance of 39.22 feet, Thence North 43°40'39" East a distance of 29.03 feet, Thence South 88°47'36" East a distance of 507.67 feet, Thence South 52°39'07" East a distance of 31.14 feet, Thence South 85°08'59" East a distance of 65.97 feet to the West bounds of Utah Power and Light parcel # 22-09-228-015, Thence South 03°30'59" East a distance of 72.00 feet, Thence South 06°38'59" East a distance of 127.12 feet, Thence North 78°59'01" East a distance of 179.85 feet to the West bounds of Spring Four Investments parcel # 22-09-228-004, Thence South 02°59'59" East a distance of 8.99 feet, Thence North 78°59'01" East a distance of 167.85 feet to the point of beginning.

Containing 56.12 Acres or 2,444,645 Sq. Ft.

BASIS OF BEARING SECTION LINE N 07°03'51" W 2668.28'

Plot Vacation Notice

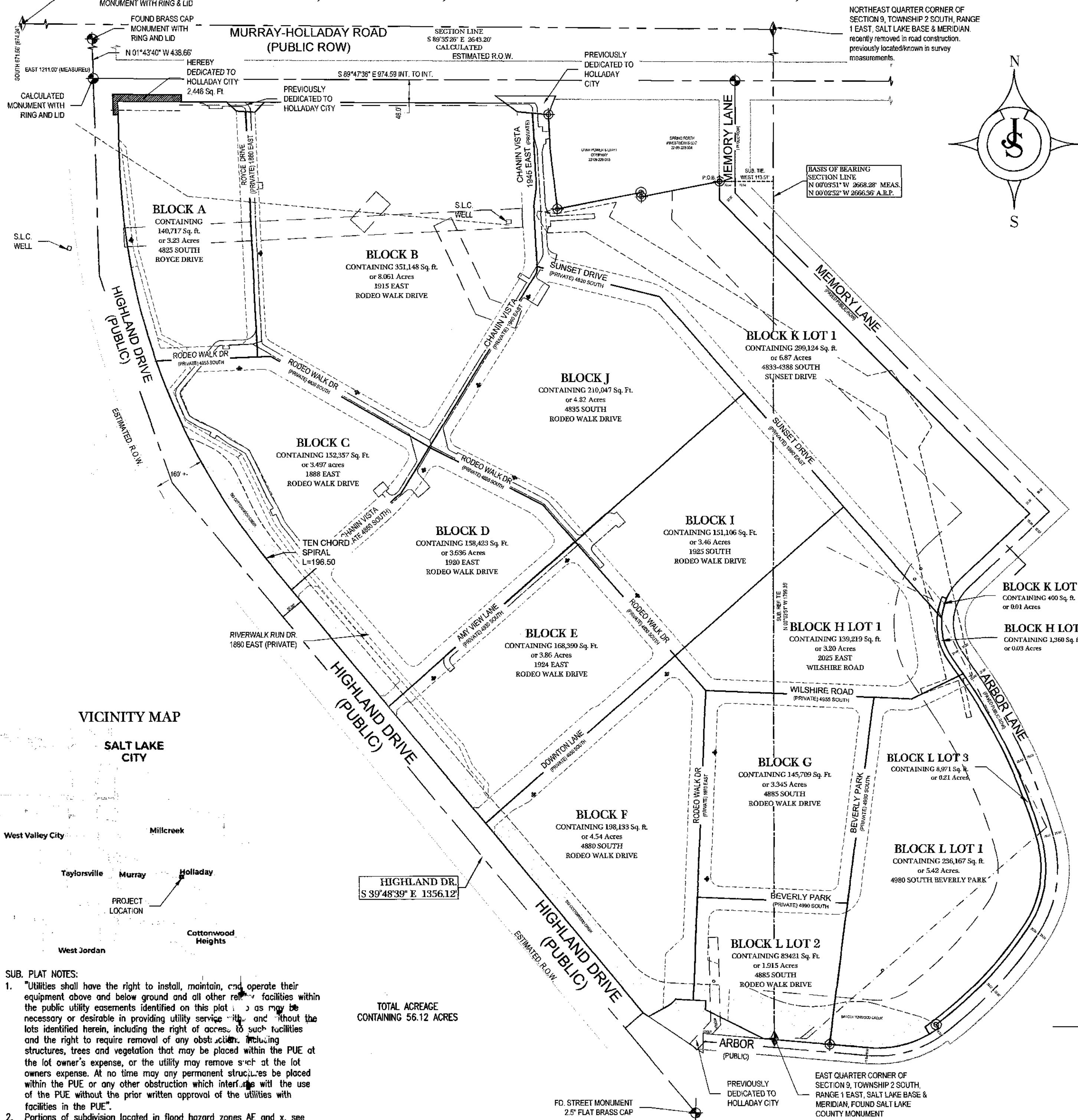
The City of Holladay is satisfied that neither the public nor any person will be materially injured by the vacation of ROYAL HOLLADAY HILLS SUBDIVISION #1. Recorded July 7th, 2020 as entry #13321547.

said plot ROYAL HOLLADAY HILLS SUBDIVISION #1. is hereby vacated.

TITLE EXCEPTIONS

6. A perpetual right of way for water lines granted to Miller Ditch Company by Easement Agreement dated September 6, 1934, recorded September 20, 1934 as Entry No. 744227 in Book 125 of Liens and Leases, Pages 560 and 561. (Plotted hereon North vicinity of property)
7. Easement dated November 25, 1935, in favor of the State Road Commission, for the purpose of constructing a fill slope for a sidewalk and incidental purposes recorded January 9, 1936 as Entry No. 773980 in Book 157 at Page 194. (exact location not disclosed)
8. Right of Way Agreement, dated April 2, 1954, in favor of Salt Lake City, a perpetual right of way for pipelines and incidental purposes, recorded April 16, 1954 as Entry No. 1368561 in Book 1079 at Page 630 and also recorded April 20, 1954 as Entry No. 1368777 in Book 1080 at Page 264. (plotted hereon North vicinity of property)
9. Easement dated January 19, 1962, in favor of Utah Power and Light Company, for electric transmissions facilities and incidental purposes over, under and across the said property, recorded May 18, 1962 as Entry No. 1846319 in Book 1923 at Page 307. Partial Release of Easement, recorded January 17, 2020 as Entry No. 13172572, in Book 10886, at Page 1358. (intentionally removed from the survey, removed/abandoned)
10. Pole Line Easement dated December 26, 1963, in favor of Utah Power and Light Company, recorded April 20, 1965 as Entry No. 2075986 in Book 2317 at Page 517. (plotted hereon South portion of property)
11. Pole Line Easement dated April 17, 1964, in favor of Utah Power and Light Company, recorded April 20, 1965 as Entry No. 2075986 in Book 2317 at Page 518. (plotted hereon easterly vicinity of property)
12. Pole Line Easement dated July 22, 1965, in favor of Utah Power and Light Company, recorded September 1, 1965 as Entry No. 2107858 in Book 2371 at Page 200. (plotted hereon easterly vicinity of property)
13. Pole Line Easement, dated July 1, 1965, in favor of Utah Power and Light Company, recorded September 1, 1965 as Entry No. 2107892 in Book 2371 at Page 237. Partial Release of Easement from PacificCorp, an Oregon Corporation, d/b/a Rocky Mountain Power, recorded March 21, 2014 as Entry No. 11821738 in Book 10218 at Page 6086. (plotted hereon easterly vicinity of property)
14. Agreement dated May 17, 1966, by and between Spring Creek Irrigation Company and Cottonwood Mall Shopping Center, Inc., recorded May 26, 1966 as Entry No. 2157469 in Book 2462 at Page 565. (plotted hereon North portion of property)
15. Pole Line Easement dated November 22, 1967, in favor of Utah Power and Light Company, recorded July 2, 1968 as Entry No. 2243656 in Book 2554 at Page 387. Partial Release of Easement from PacificCorp, an Oregon Corporation, d/b/a Rocky Mountain Power, recorded March 21, 2014 as Entry No. 11821737 in Book 10218 at Page 6083. (plotted hereon easterly vicinity of property)
16. Easement and Right of Way dated June 12, 1968, in favor of Salt Lake City, recorded June 21, 1968 as Entry No. 2249801 in Book 2666 at Page 190. (plotted hereon easterly vicinity of property)
17. Pole Line Easement dated June 6, 1968, in favor of Utah Power and Light Company, recorded July 2, 1968 as Entry No. 2250555 in Book 2671 at Page 14. Partial Release of Easement from PacificCorp, an Oregon Corporation, d/b/a Rocky Mountain Power, recorded March 21, 2014 as Entry No. 11821736 in Book 10218 at Page 6080. (plotted hereon southerly vicinity of property)
18. Agreement by and between S. M. Horman and Verona Horman, his wife and Cottonwood Inc. and the terms and provisions thereof, as disclosed by an Assignment recorded June 12, 1980 as Entry No. 3443023 in Book 5110 at Page 1259. Modification of Agreement between Price Development Company, Limited Partnership, a Maryland limited partnership, an affiliate of General Growth Properties, Inc. (Owner) and Cottonwood, Inc., a Utah non-profit corporation (Cottonwood), recorded October 9, 2007 as Entry No. 10244996 in Book 9524 at Page 1799. (plotted hereon along the easterly and southerly bounds of property)
19. Reservation in Special Warranty Deed in favor of Utah Power and Light Company, recorded April 13, 1981 as Entry No. 3553961 in Book 5236 at Page 681. (nothing to plot)
20. Easement dated May 14, 1981, in favor of Utah Power and Light Company, recorded September 1, 1981, as Entry No. 3600434 in Book 5287 at Page 761. (plotted hereon north portion of property)
21. Easement and right of way granted to Utah Power & Light Company by Easement recorded August 13, 1982 as Entry No. 3640358 in Book 5332 at Page 684. (plotted hereon north portion of property)
22. Acknowledgment and Disclosure recorded January 24, 1997 as Entry No. 6556273 in Book 7584 at Page 7, which states, in part, that the property described herein is either partially or wholly located within a Natural Hazards Special Study Area as shown on the Natural Hazards Map adopted by the Board of County Commissioners of Salt Lake County pursuant to Ordinance No. 1074 for Surface Fault Rupture and High Liquidation Potential. (no precise location known blanket in nature a portion of parcel see doc.)
23. Right of Way Easement in favor of PacificCorp, an Oregon Corporation, d/b/a Rocky Mountain Power, recorded January 11, 2008 as Entry No. 10321105 in Book 9558 at Page 2317. (plotted hereon northeasterly positions of property)
24. Agreement for Development of Land (ADL), between Cottonwood Mall, LLC, a Delaware limited liability company (Developer), City of Holladay, a Utah community development and renewal agency (Agency) and City of Holladay, a Utah municipal corporation (City), and the terms and provisions thereof, recorded June 16, 2009 as Entry No. 10730729 in Book 9736 at Page 572. (nothing to plot see doc.)
25. Flood Control Creek Maintenance Access Easement, and the terms and provisions thereof, in favor of Salt Lake County Flood Control, recorded March 2, 2020, as Entry No. 13206849, in Book 10904, at Page 895. (plotted hereon westerly portion of property "cottonwood creek")
26. Easements, terms, and provisions of that certain Holladay Hills Development and Reciprocal Easements Agreement dated June 15, 2020, as disclosed by that certain Memorandum of Holladay Hills Development and Reciprocal Easements Agreement, recorded June 22, 2020 as Entry No. 13305289 in Book 10965 at Page 5324. (blocks and parcels as shown).
27. Irrigation Pipeline Easement Agreement by and between KMW Development L.L.C., a Utah limited liability company, Peterbilt HH, L.L.C., a Utah limited liability company, JM Cheney Holiday Holdings, LLC, a Utah limited liability company, and RL Cheney Holiday Holdings, LLC, a Utah limited liability company and Big Ditch Irrigation Company, a Utah non-profit corporation, dated October 30, 2020 and recorded November 2, 2020 as Entry No. 13447958 in Book 11052 at Page 4699. (plotted hereon)
28. Underground Right of Way Easement in favor of PacificCorp, an Oregon Corporation, d/b/a Rocky Mountain Power, its successors and assigns to construct, reconstruct, operate, maintain and repair electric transmission and other equipment and incidental purposes, over, under and across a portion of the subject Land. Said Easement recorded January 6, 2021, as Entry No. 13524386, in Book 11094, at Page 4637. (plotted hereon)
29. Terms and provisions of a lease dated June 15, 2020 by and between Peterbilt HH, L.L.C., a Utah limited liability company (Landlord) and KMW Development, L.L.C., a Utah limited liability company (Tenant), as disclosed in that certain Memorandum of Ground Lease recorded June 22, 2020 as Entry No. 13305290 in Book 10965 at Page 5334. (blocks and lots as shown)

ROYAL HOLLADAY HILLS SUBDIVISION #2
AMENDING ROYAL HOLLADAY HILLS SUBDIVISION #1
CONTAINING ALL PORTIONS OF BLOCK A-L AND PRIVATE ROADS
A SUBDIVISION LOCATED WITHIN, SALT LAKE COUNTY UTAH. A PART OF THE NORTHEAST QUARTER OF SECTION 9, & PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN. HOLLADAY, UTAH. RMU ZONE



- SUB. PLAT NOTES:
1. "Utilities shall have the right to install, maintain, and operate their equipment above and below ground and all other facilities within the public utility easements identified on this plat. It is the intent of the parties that the utility easements identified on this plat are necessary or desirable in providing utility service and that the lots identified herein, including the right of access, to such facilities and the right to require removal of any obstruction, including structures, trees and vegetation that may be placed within the PUE at the lot owner's expense, or the utility may remove such at the lot owners expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interfere with the use of the PUE without the prior written approval of the utilities with facilities in the PUE."
 2. Portions of subdivision located in flood hazard zones AE and X, see FEMA FIRM 44033003126, dated September 25, 2009.
 3. ROYAL HOLLADAY HILLS SUBDIVISION #2 is subject to all provisions of Site Development Master Plan, SDMP and Agreement for Disposition of Land (ADL).
 4. All private roads area also public utility and drainage easements.
 5. No city maintenance or providing utility service "in" and "about" the lots identified herein, including the right of access, to such facilities and the right to require removal of any obstruction, including structures, trees and vegetation that may be placed within the PUE at the lot owner's expense, or the utility may remove such at the lot owners expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interfere with the use of the PUE without the prior written approval of the utilities with facilities in the PUE."
 6. Maximum Density is controlled by the 2007 Site Development Master Plan.
 7. See FEMA CLOMR approved December 11, 2007, by Salt Lake County.
 8. Riverwalk Run is a one way vehicular and emergency access, includes a public pedestrian/bike trail.

LIEN HOLDER CONSENT TO RECORD

KMW Development L.L.C. and Peterbilt HH, L.L.C., as well as the undersigned lien holders, hereby consent to this plat

WASHINGTON FEDERAL BANK, National Association

By: *[Signature]*
BRIAN JEFFERSON

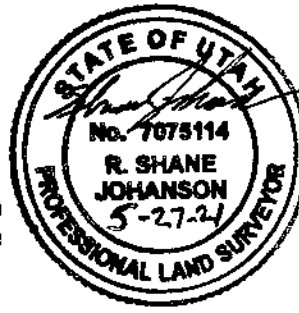
By: *[Signature]*
KIMMIE WILLIAMS
DANIELA WILLIAMS, President

By: *[Signature]*
E. J. HANSEN, COO

By: Woodbury Corporation, a Utah corporation, its Manager

SURVEYOR'S CERTIFICATE

I, Shane Johanson, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 7075114 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as ROYAL HOLLADAY HILLS SUBDIVISION #2.



OWNER'S DEDICATION

Let it be known that the undersigned are the owners of the tract of land described herein, having caused the same to be subdivided into lots hereafter known as ROYAL HOLLADAY HILLS SUBDIVISION #2 and hereby dedicate for perpetual use of the public the parcels of land shown on this plat as intended for public use.

KMW DEVELOPMENT L.L.C., a Utah limited liability company By: *[Signature]*
By: Woodbury Corporation, a Utah corporation, its Manager By: *[Signature]*
By: Millrock Capital II, LLC, a Utah limited liability company, its Manager By: *[Signature]* Steven Peterson, Manager
PETERBILT HH, L.L.C., a Utah limited liability company: By: *[Signature]* Steven Peterson, Manager
JM CHENEY HOLLADAY HOLDINGS, LLC, a Utah limited liability company and RL CHENEY HOLLADAY HOLDINGS, LLC, a Utah limited liability company, as tenants-in-common By: *[Signature]* Joseph D. Rich, Manager for each tenant-in-common
HOLLADAY HILLS BLOCK D L.L.C., a Delaware limited liability company
By: WCL GP L.L.C., a Delaware limited liability company, its By: *[Signature]* D. Candell Williams, Pres.
By: Woodbury Corporation, a Utah corporation, its Manager By: *[Signature]*
By: KMW Development L.L.C., a Utah limited liability company, its Manager By: *[Signature]* D. Candell Williams, Pres.
By: Woodbury Corporation, a Utah corporation, its Manager By: *[Signature]*
By: Millrock Capital II, LLC, a Utah limited liability company, its Manager By: *[Signature]* Steven Peterson, Manager

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me this 28th day of May, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

The foregoing instrument was acknowledged before me this 28th day of May, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

The foregoing instrument was acknowledged before me this 28th day of May, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

The foregoing instrument was acknowledged before me this 29th day of May, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

LIEN HOLDER CONSENT TO RECORD

The foregoing instrument was acknowledged before me this 9th day of June, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

The foregoing instrument was acknowledged before me this 11th day of June, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

The foregoing instrument was acknowledged before me this 14th day of June, 2021 by TIFANY M. STEELE, Notary Public-State of Utah, My Comm. Exp. 03/09/2022, Commission # 689843.

ROYAL HOLLADAY HILLS SUBDIVISION #2
AMENDING ROYAL HOLLADAY HILLS SUBDIVISION #1
CONTAINING ALL PORTIONS OF BLOCK A-L AND PRIVATE ROADS
A SUBDIVISION LOCATED WITHIN, SALT LAKE COUNTY UTAH. A PART OF THE NORTHEAST QUARTER OF SECTION 9, & PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN. HOLLADAY, UTAH. RMU ZONE

OWNER: KMW DEVELOPMENT, LLC, PETERBILT HH, LLC, JM CHENEY AND RL CHENEY HOLLADAY HOLDINGS, LLC
DEVELOPER: KMW Development L.L.C., a Utah limited liability company, 2733 E. Portleys Way Suite 300 Salt Lake City, UT. 84109

JOHANSON SURVEYING
PROFESSIONAL LAND SURVEYORS
SURVEY-DESIGN-ENGINEERING-PLANNING
SALT LAKE CITY, UTAH 84143
PREPARED: 5-27-2021

LEGEND ◆ SECTIONAL CORNER — STREET MONUMENT — REPRESENTS PROPERTY LINE — EXISTING FIRE HYDRANT — EXISTING LIGHT POLE --- TYP. PUE & PRIVATE UTILITY & EGRESS/INGRESS — S.L.C. FLOOD EASE — DEDICATION AREA	SALT LAKE COUNTY SURVEYOR APPROVED THIS 2 DAY OF June, 2021. ROS # NONE <i>[Signature]</i> Salt Lake County Surveyor	City Engineer Approved this 3 day of June, A.D., 2021. <i>[Signature]</i> 6/2/21 City of Holladay Engineer	Community Development Approved this 3 day of June, A.D., 2021. <i>[Signature]</i> Community Development Director.	Health Department Approved this 24 day of June, A.D., 2021. <i>[Signature]</i> Salt Lake County, Health Department.	Planning Commission Approved this 3rd day of June, A.D., 2021 by the Holladay Planning Commission. <i>[Signature]</i> Planning Commission Chair	City Attorney Approval as to form this 2nd day of June, A.D., 2021. <i>[Signature]</i> City of Holladay Attorney	City of Holladay Approval Approved and accepted this 3rd day of June, A.D. 2021. <i>[Signature]</i> Manager <i>[Signature]</i> Recorder	Recorded # 137-00581 State of Utah, County of Salt Lake, recorded and filed at the request of KMW Development LLC Date: 6/2/21 Time: 10:04 AM Book: 2021P Page: 171 \$22.00 Fee \$ Salt Lake County Recorder	Number _____ Account _____ Sheet _____ of _____ Sheets
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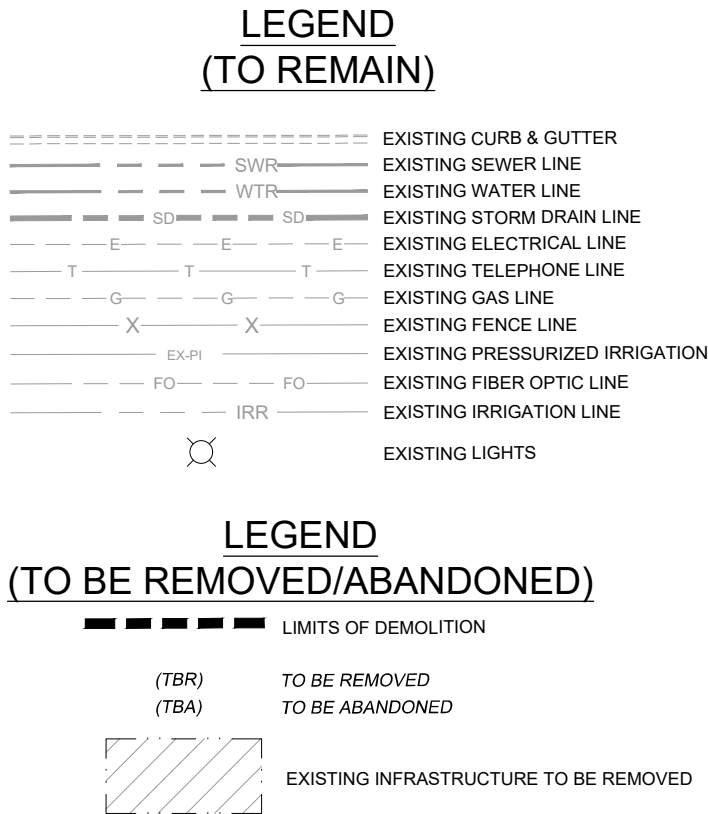
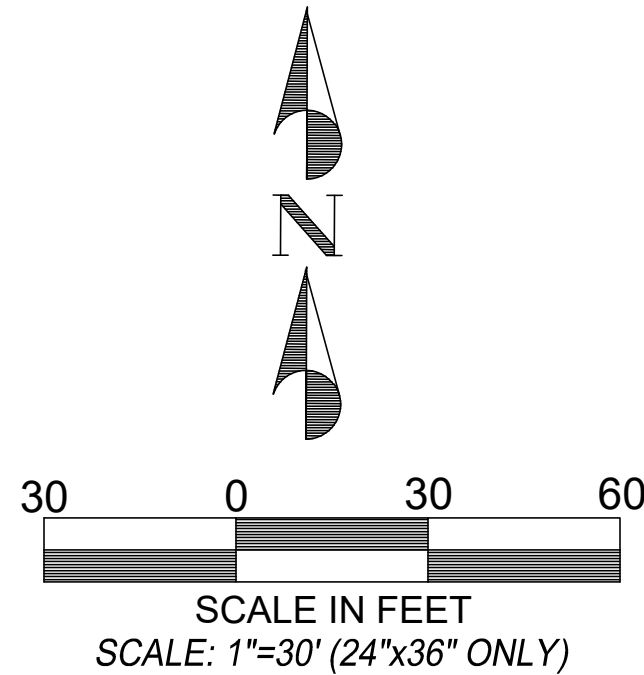
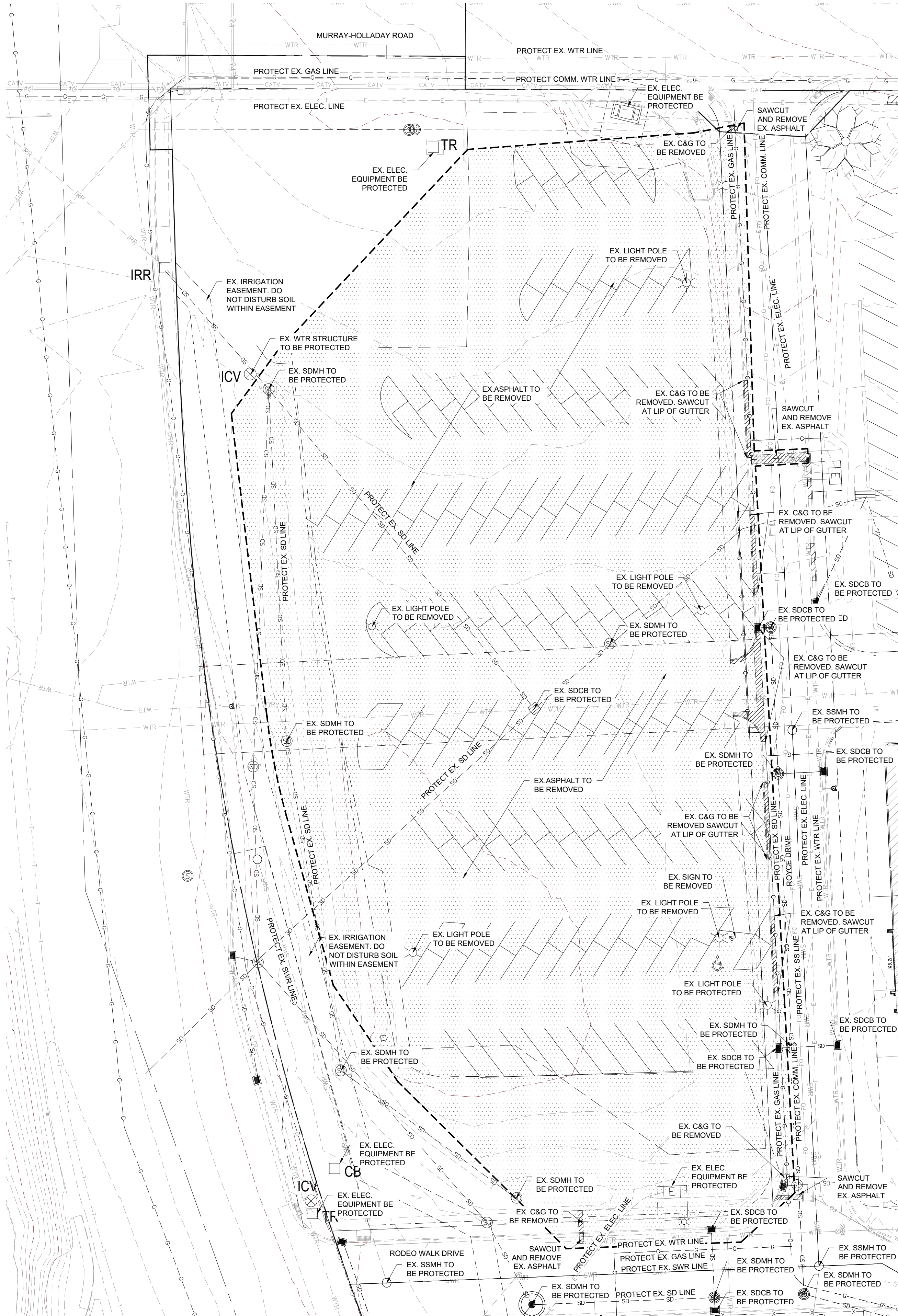
22-09-22 8 222-03
22-10-12 22-09-222-023 thru 03
22-10-151-027 thru 009 8 011 thru 013

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PLOTTED BY: HUNTER CARTER

P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C100 DEMOLITION PLAN 5308-2000.DWG



DEMOLITION PLAN NOTES:

- CONTRACTOR SHALL INSTALL A CONSTRUCTION BARRIER AROUND & ALONG ENTIRE CONSTRUCTION LIMIT LINE & SHALL DESIGNATE ONE CONSTRUCTION ENTRANCE. PROVIDE ADDITIONAL BARRIERS & CONES TO ENSURE SAFETY NEAR & AROUND ALL CUTS, TRENCHES, HOLES & PITS.
- ENSURE PROPER SIGNS INFORM VEHICULAR & PEDESTRIAN TRAFFIC OF DETOURS & HAZARDS.
- EXISTING STRUCTURES AND DEBRIS WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID EXCEPT AS NOTED.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED ANY STANDARD THAT ARE PROVIDED OR REFERENCED IN BID DOCUMENTS.
- ROADS AND PARKING LOTS MUST BE SWEEPED AND CLEANED AS NEEDED.
- ALL EXISTING LANDSCAPE & IRRIGATION COMPONENTS OUTSIDE THE DEMOLITION LINES DAMAGED DURING DEMOLITION SHALL BE PROMPTLY REPAIRED OR REPLACED AT NO COST TO OWNER.
- CONTRACTOR SHALL FULLY GUARANTEE ALL DISTURBED, RELOCATED OR REPLACED LANDSCAPE PLANTS & IRRIGATION COMPONENTS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF PROJECT.
- SEE CONSTRUCTION DOCUMENTS & CONSULT DESIGN ENGINEER FOR THE EXACT LOCATIONS OF ALL SAW CUTS REQ'D. SOME FIELD ADJUSTMENTS MAY BE REQUIRED TO ENSURE PROPER DRAINAGE AT ASPHALT JUNCTIONS.
- CONTRACTOR IS TO REMOVE EXISTING MANHOLES, VAULTS AND CATCH BASINS INDICATED TO A DEPTH OF 3'; PLUG ALL PIPES IN AND OUT WITH CONCRETE AND BACKFILL THE REMAINING PORTION OF THE STRUCTURE WITH SAND EXCEPT AS NOTED.
- ALL UNUSED WATER METERS AND LATERALS ARE TO BE DISCONNECTED AND CAPPED AT THE MAIN LINE PER GOVERNING AGENCY'S REQUIREMENTS.
- PROTECT ALL IMPROVEMENTS NOT INDICATED TO BE REMOVED OR ABANDONED.
- REMOVE ALL ROAD BASE UNDER PAVEMENTS AND CONCRETE THAT IS BEING REMOVED.
- SAW CUT ALL LIMITS OF PAVEMENT AND CONCRETE REMOVAL.
- FILL ENDS OF ALL EXISTING PIPES THAT ARE BEING ABANDONED WITH CONCRETE AND INSTALL A CLAY DAM 18" THICK ACROSS END OF TRENCH TO PREVENT FLOW OF WATER IN ABANDONED TRENCH.



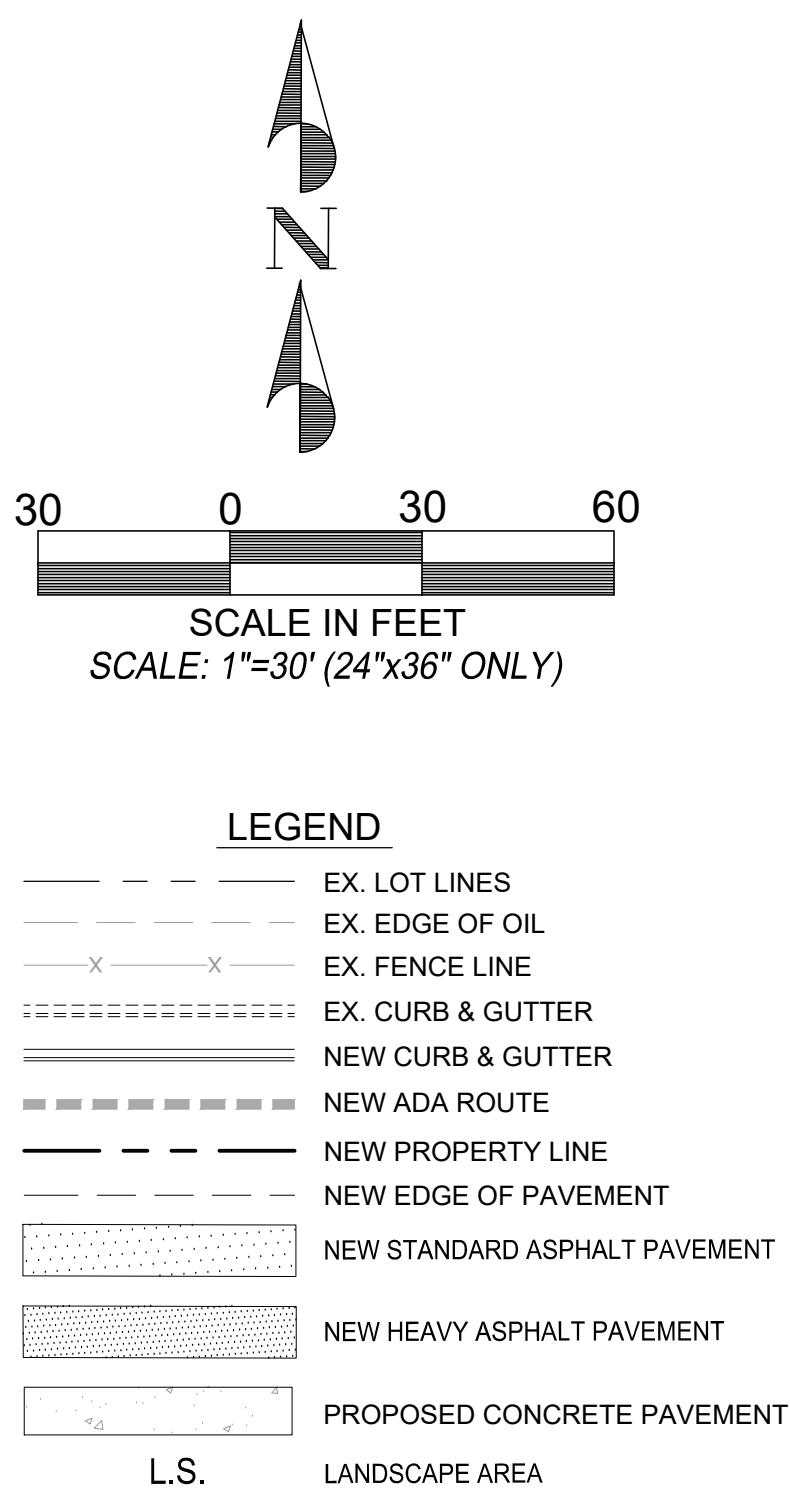
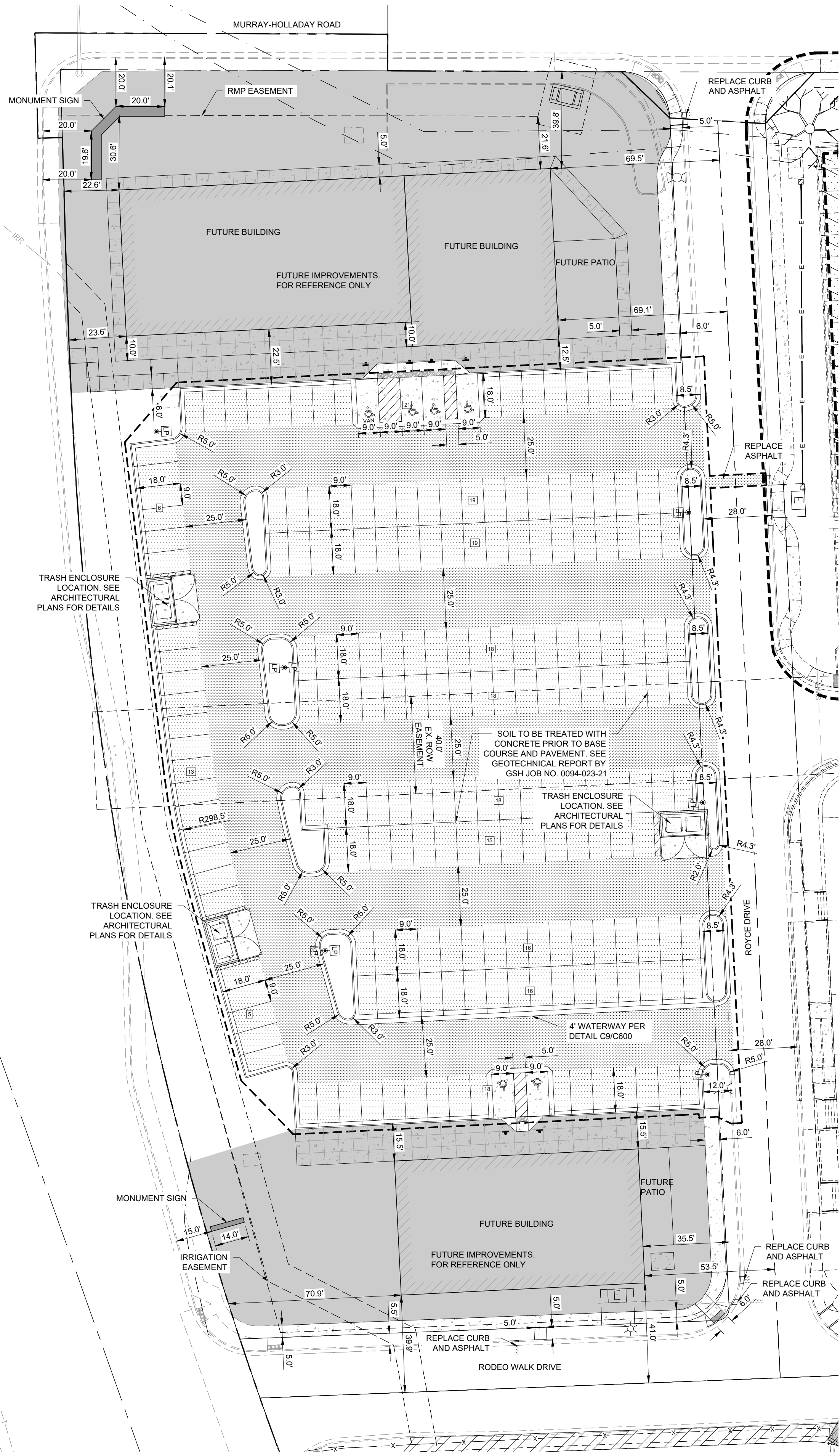
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REVISION DESCRIPTION

DEMOLITION PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY UT

DEMOLITION PLAN
PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C100



TOTAL LAND USE SUMMARY BLOCK A

	SQ.FT	ACREAGE	PERCENT
TOTAL FUTURE BUILDING FOOTPRINT	16,700	0.383	11.9%
LANDSCAPE AREA	35,650	0.818	25.3%
IMPERVIOUS AREA	88,366	2.029	62.8%
TOTAL LOT AREA	140,716	3.230	100.0%

TOTAL PARKING SUMMARY BLOCK A

TOTAL FUTURE BUILDING SIZE:	16,700 SF
PARKING REQUIRED (1/200 SF):	82 STALLS
PARKING PROVIDED:	202 STALLS
TOTAL PARKING RATIO	12.1/1000 S.F.



DATE

REVISION DESCRIPTION

SITE PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY, UT

SITE PLAN

PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C200

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PLOTTED BY: HUNTER CARTER

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P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C200 SITE PLAN 5308-2000.DWG

A

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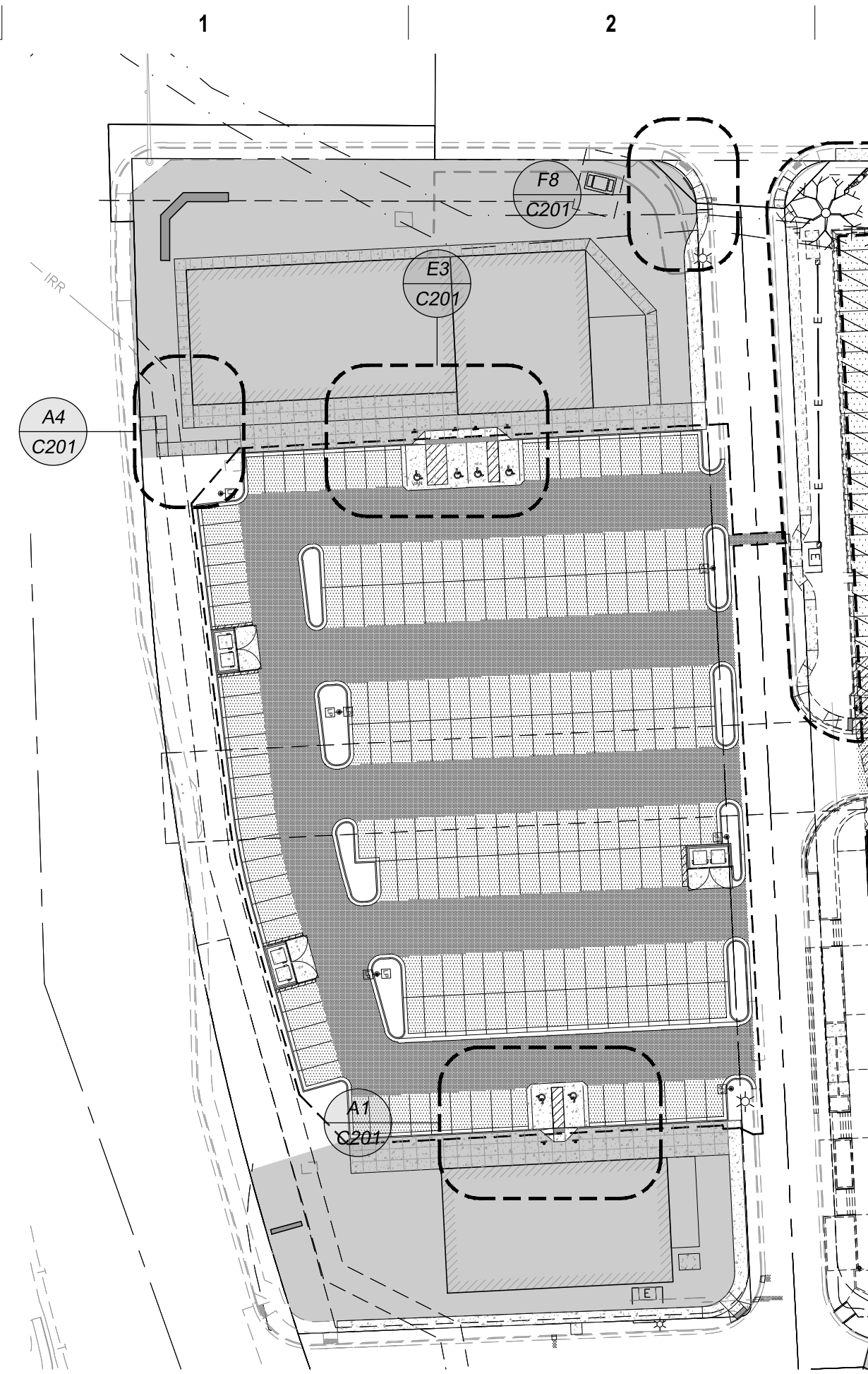
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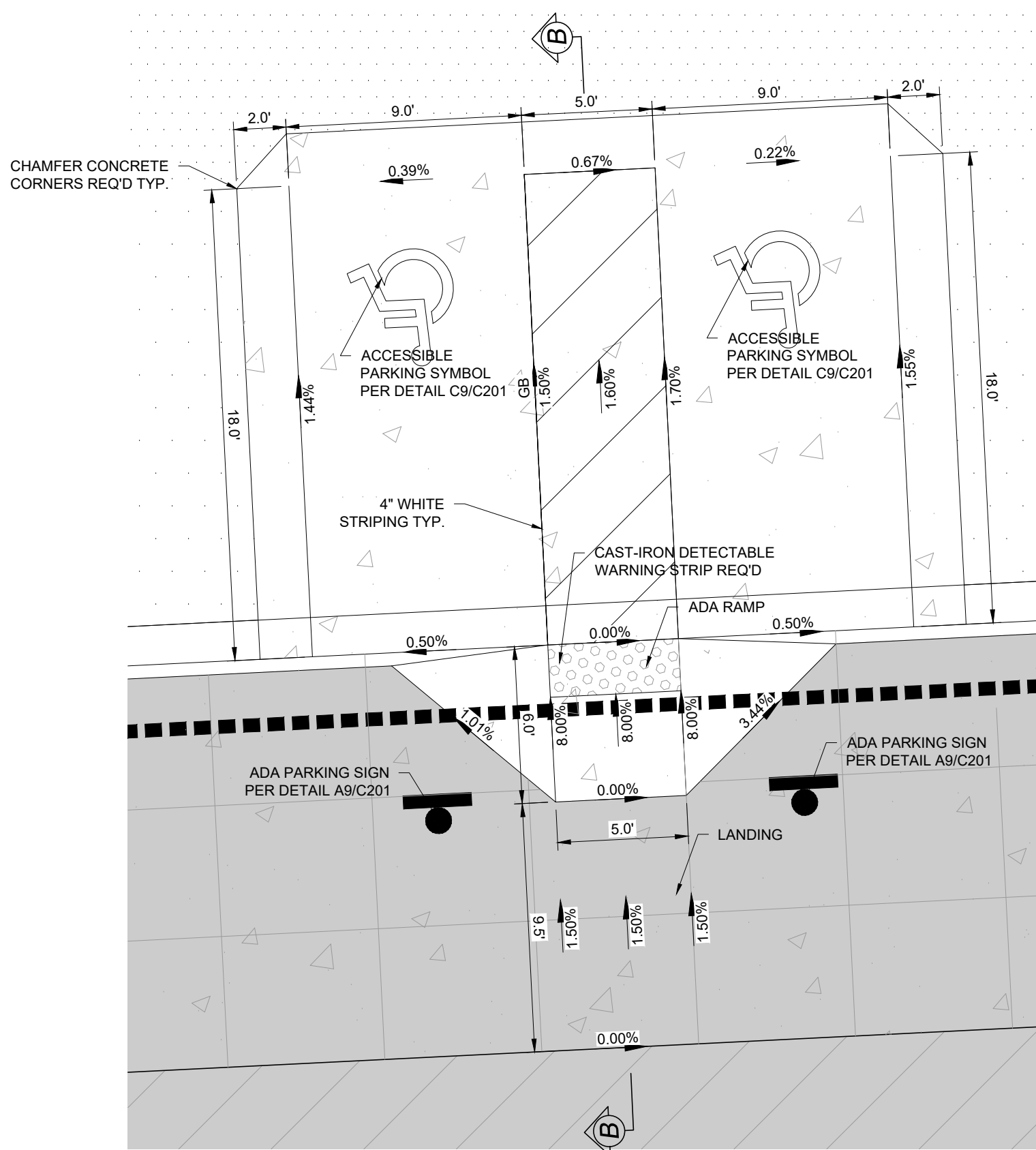
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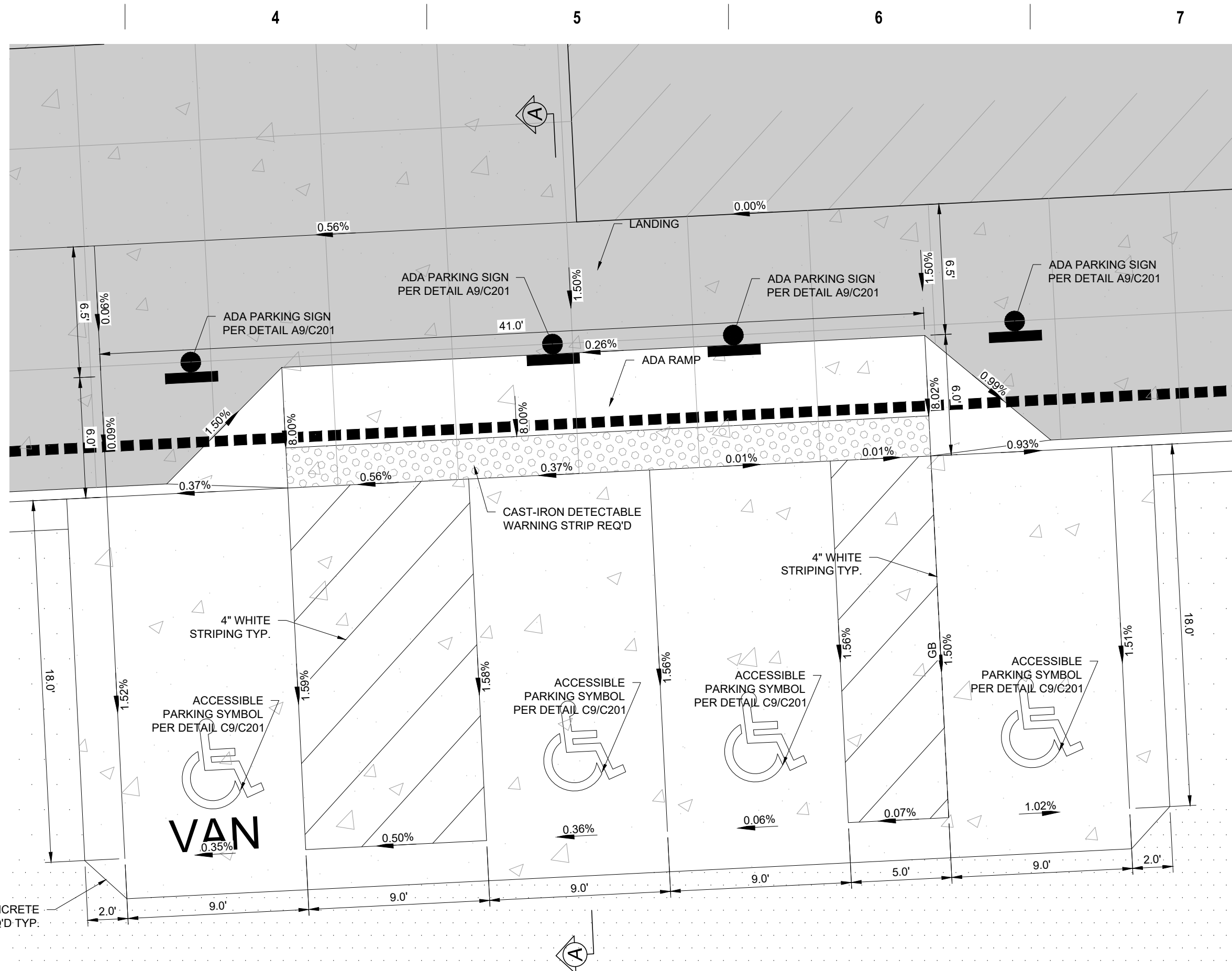
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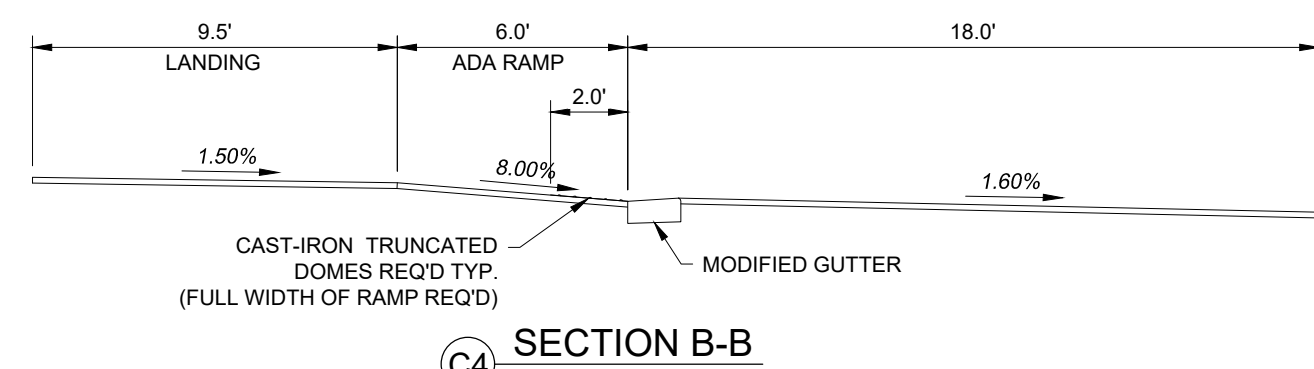
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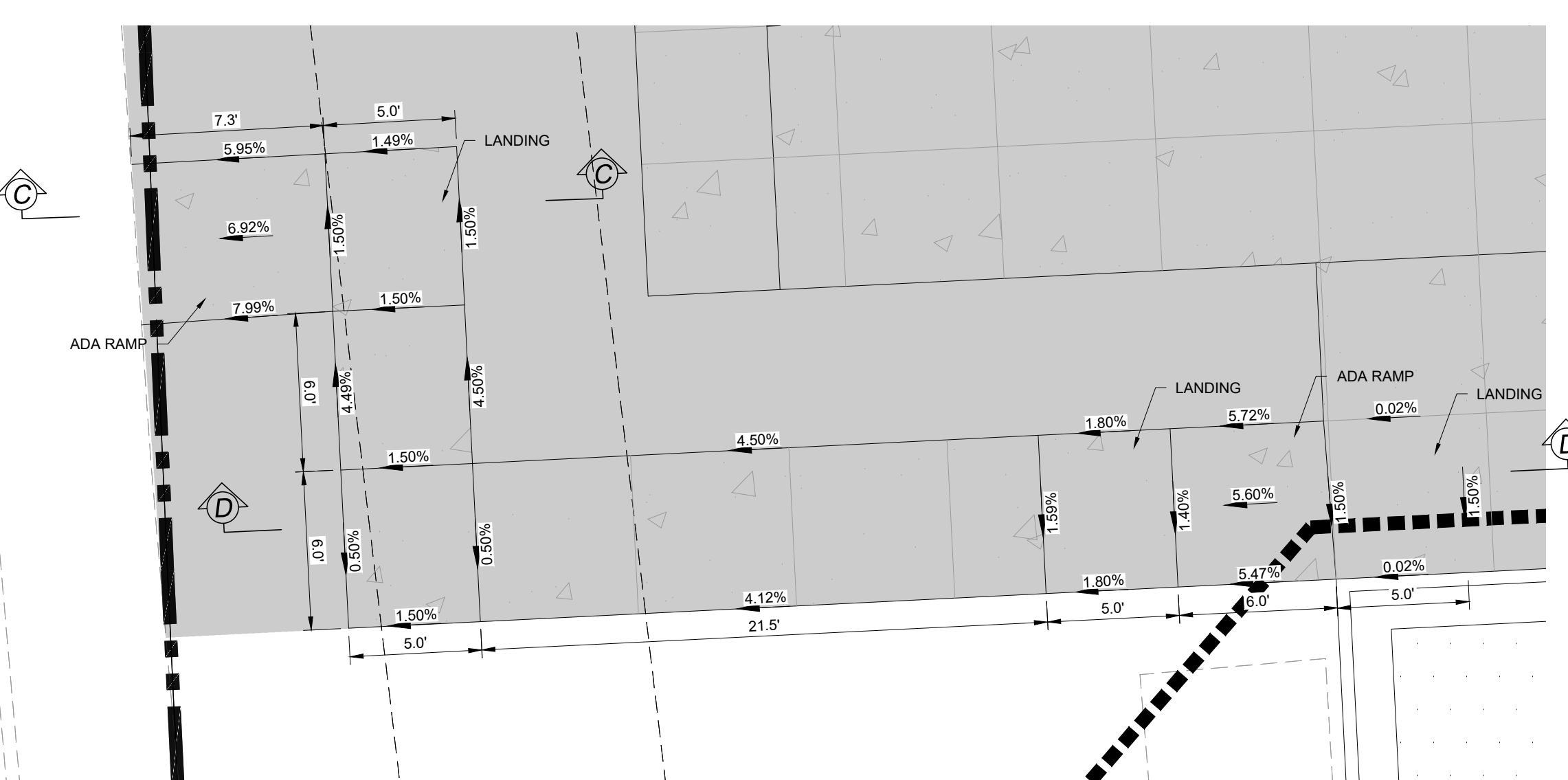
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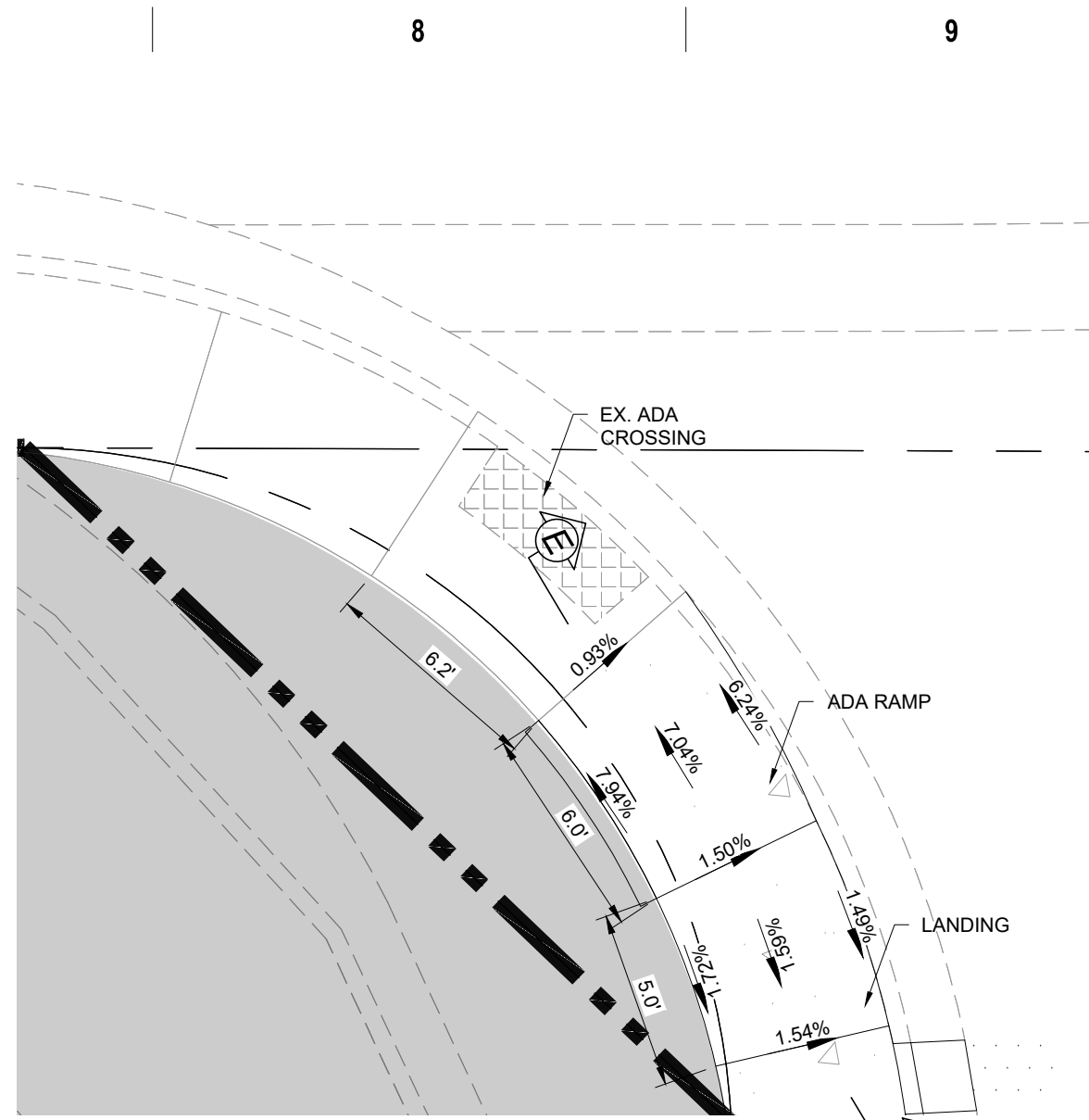
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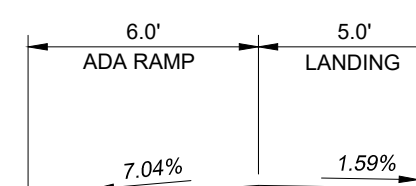
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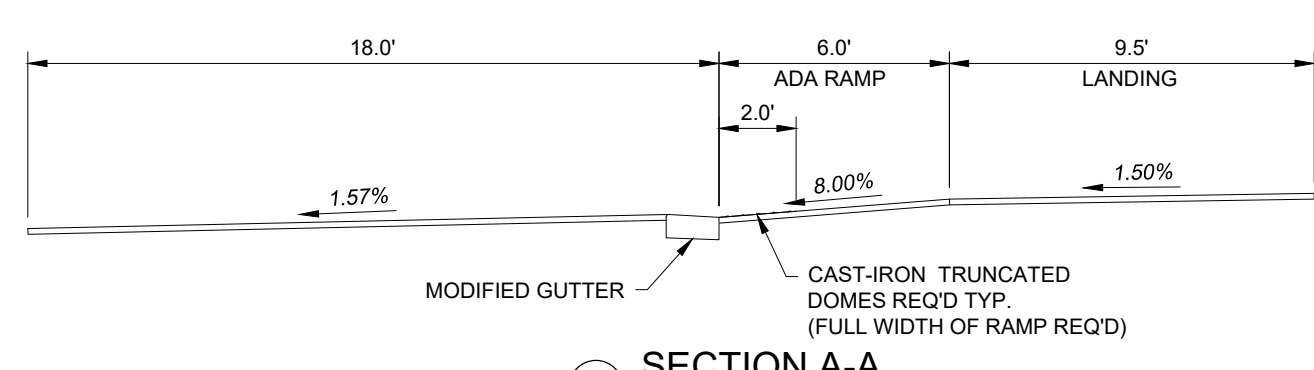
A4 ADA PARKING
N.T.S.



F8 ADA PATH
N.T.S.



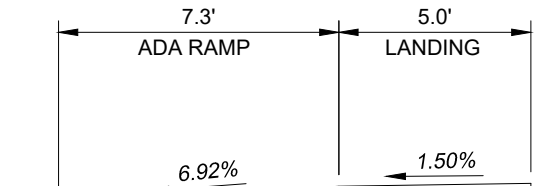
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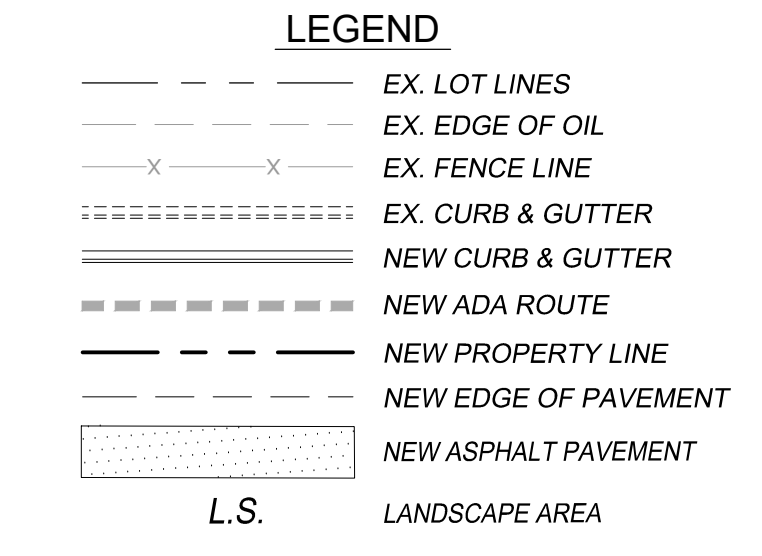
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N.T.S.



C7 SECTION D-D
N.T.S.

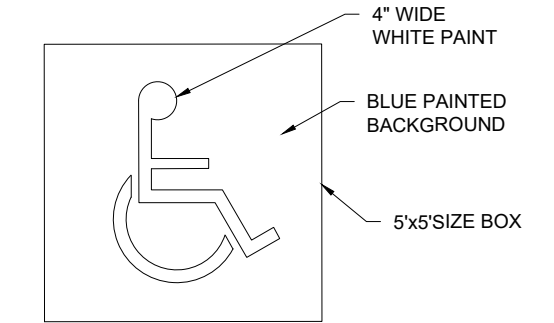


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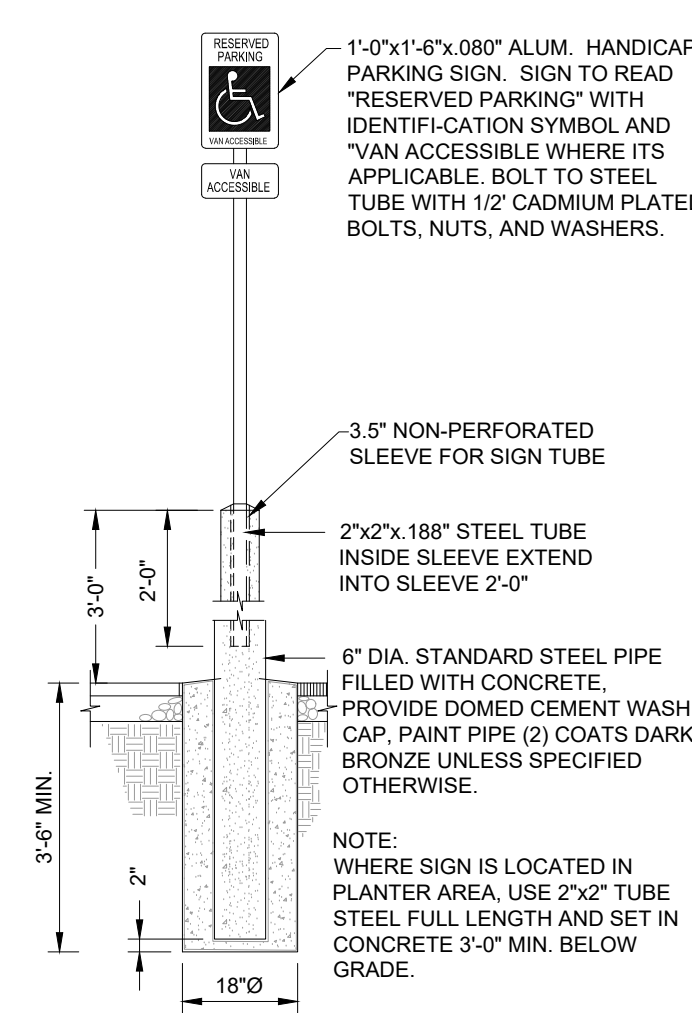


ADA NOTES:

- MEASURE SLOPES OF COMPACTED ROAD BASE AND CONCRETE FORMS FOR ALL ADA RAMP, NON-ADA RAMP, PARKING AREAS AND ACCESSIBLE ROUTES AND ADJUST AS NEEDED TO MEET ALL REQUIREMENTS. DO NOT EXCEED THE FOLLOWING SLOPES:
 - ADA RAMP AND LANDINGS: 1.5% SLOPES
 - CATCH GUTTERS IN ADA ROUTES: 4.9% MAX.
 - SPILL GUTTERS IN ADA ROUTES: 1.5% MAX.
 - CROSS SLOPE OF ALL SIDEWALKS AND ADA ROUTES: 1.5% MAX.
 - RUNNING SLOPE OF ADA RAMP: 7.75% MAX.
 - CONCRETE ADA PARKING PAD: MAX. 2% CROSS SLOPE IN ANY DIRECTION.
- CONCRETE SHALL BE 5 INCHES THICK WITH FIBERMESH OVER 4" BASE THROUGHOUT RAMP.
- CONCRETE IS TO BE POURED NEXT TO A CURB, #4 REBAR SHALL BE DOWELED 6" INTO CURB AND 12" INTO SIDEWALK. REBAR SHALL BE INSTALLED A MINIMUM OF 1 1/2" FROM TOP OF THE SIDEWALK AND CURB 24" O.C.
- MODIFICATIONS TO THIS STANDARD MUST BE APPROVED BY THE OWNER.
- DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN. A HEIGHT OF NOMINAL 0.2 IN AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN.



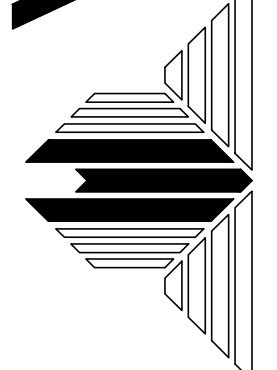
C9 ACCESSIBLE PARKING SYMBOL
N.T.S.



A9 ADA PARKING SIGN
N.T.S.



WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770



DATE

REVISION DESCRIPTION

ADA PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY UT

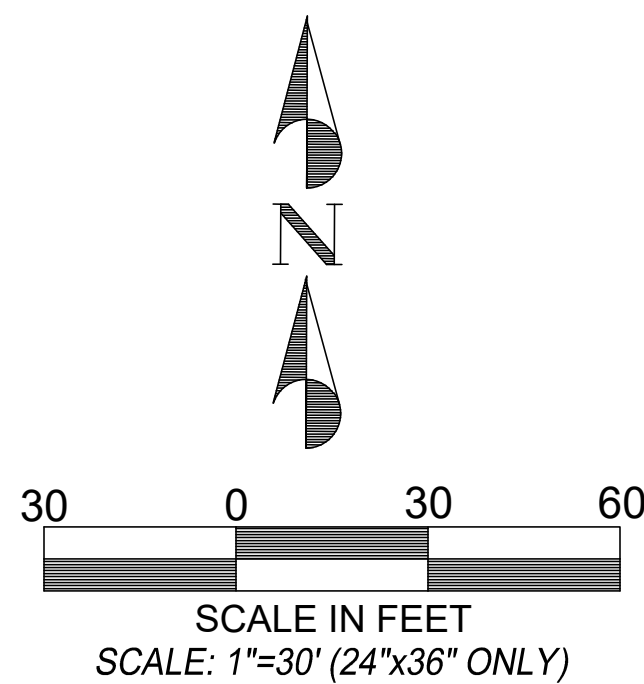
ADA PLAN
PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C201

12/4/2025 3:19 PM

PLOTTED BY: HUNTER CARTER

P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C300 UTILITY PLAN 5308-2000.DWG



LEGEND

- | | |
|-----------------------------------|---------------------------------|
| --- | EX. PARCEL LINES |
| -X-X- | EX. EDGE OF OIL |
| -G-G- | EX. FENCE LINE |
| -E-E- | EX. GAS LINE |
| -SD-SD- | EX. ELEC. LINE |
| -WTR- | EX. STORM DRAIN |
| -SWR- | EX. WATER LINE |
| -TEL- | EX. SEWER LINE |
| -FO-FO- | EX. TEL. LINE |
| -CONDUIT- | EX. COMM. LINE |
| -CURB & GUTTER- | EX. CURB & GUTTER |
| -NEW ELECTRICAL LINE- | NEW ELECTRICAL LINE |
| -NEW COMM. CONDUIT- | NEW COMM. CONDUIT |
| -NEW GAS LINE- | NEW GAS LINE |
| -NEW STREET LIGHT COND.- | NEW STREET LIGHT COND. |
| -NEW SEWER LINE- | NEW SEWER LINE |
| -NEW FIRE PROT. LINE- | NEW FIRE PROT. LINE |
| -NEW WATER LINE- | NEW WATER LINE |
| -NEW STORM DRAIN- | NEW STORM DRAIN |
| -NEW SANITARY SEWER CLEANOUT- | NEW SANITARY SEWER CLEANOUT |
| -NEW TRANSFORMER- | NEW TRANSFORMER |
| -EX. 30' PRIMARY SECTIONALIZER- | EX. 30' PRIMARY SECTIONALIZER |
| -EX. STREET LIGHT- | EX. STREET LIGHT |
| -EX. SECONDARY JUNCTION PEDESTAL- | EX. SECONDARY JUNCTION PEDESTAL |
| -EX. ST. LIGHT PULL BOX- | EX. ST. LIGHT PULL BOX |

CONTRACTOR NOTES:

- CONTRACTOR IS TO COORDINATE AND WORK WITH ELECTRICAL CONTRACTOR AND GAS COMPANY ON THE PLACEMENT OF NEW LINES AND CONDUIT.
- CONTRACTOR IS TO POTHOLE (WHERE NEEDED) AND VERIFY GAS LINE LOCATION. CONTRACTOR IS RESPONSIBLE TO VERIFY, COORDINATE, AND ADJUST GAS LINE IN LOCATIONS OF CONFLICT, AREAS OF CONCERN, BUT NOT LIMITED TO ARE CONFLICTS WITH STORM DRAIN AND SEWER SYSTEMS.
- CONTRACTOR IS TO INSTALL LANDSCAPE SLEEVING. FOR SCOPE AND LOCATION OF SLEEVING, REFER TO LANDSCAPE AND IRRIGATION PLANS.

NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
- IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
- PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED UTILITIES.
- ALL SANITARY SEWERS AND GREASE WASTE LINES SHALL BE PVC SDR-35.
- ALL WATER SERVICES SHALL BE TYPE BLUE PE.
- SEE IRRIGATION PLANS FOR NEW PRESSURIZED IRRIGATION LINES.
- ALL VALVE COVERS FOR FIRE PROTECTION WATER LINES SHALL BE LABELED "FIRE".
- EX. SERVICE LATERALS HAVE NOT VERIFIED. CONTRACTOR TO FIELD VERIFY & CONTACT ENGINEER WHEN UNKNOWN LATERALS ARE ENCOUNTERED.
- VERIFY ELECTRICAL AND TRANSFORMER REQUIREMENTS WITH ELECTRICAL PLANS.
- ELECTRICAL SYSTEM TO BE INSTALLED AS PER GOVERNING AGENCY'S ELECTRICAL DESIGN AND STANDARDS. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
- ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE GOVERNING AGENCY'S CONSTRUCTION STANDARDS.
- IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WAS ISSUED AT PER-CONSTRUCTION MEETING.
- ANY EXISTING FACILITIES AFFECTED BY DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC, NESC AND CITY STANDARDS AT DEVELOPERS EXPENSE INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.
- THE FIRE SPRINKLER SYSTEM DESIGN WILL BE A DEFERRED SUBMITTAL AND WILL BE CONTRACTED THOUGH THE GENERAL CONTRACTOR.
- INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C6/C600.



WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

DATE

REVISION DESCRIPTION

UTILITY PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY UT

UTILITY PLAN

PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

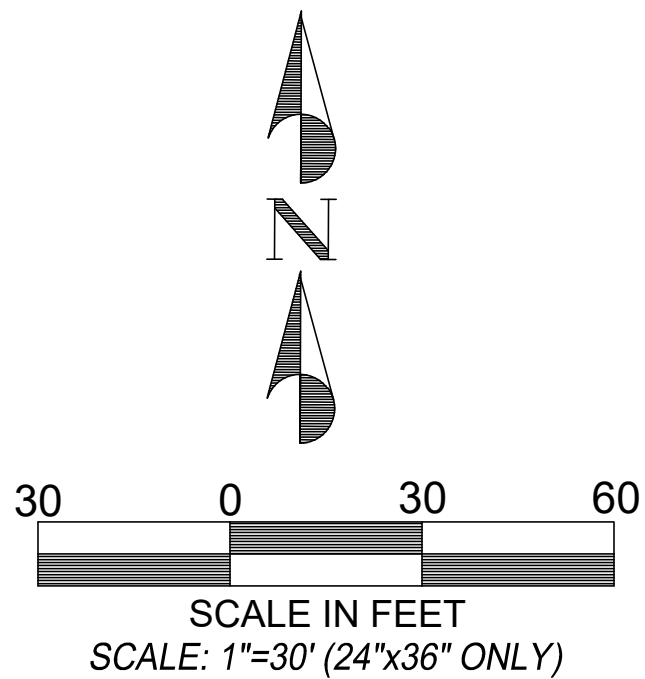
C300

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PLOTTED BY: HUNTER CARTER

P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C400 GRAD & DRAIN PLAN 5308-2000.DWG

A B C D E F G



LEGEND	
	PROPOSED CURB 7 GUTTER
	PROPOSED SPILL CURB
	EXISTING CURB & GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	FINISH GRADE ELEVATION
	FLOWLINE OF CURB ELEVATION
	TOP BACK OF CURB ELEVATION
	TOP OF ASPHALT ELEVATION
	TOP OF CONCRETE ELEVATION
	CATCH BASIN GRATE ELEVATION
	FLOWLINE OF PIPE ELEVATION
	PROPOSED CATCH BASIN
	MATCH EXISTING ELEVATION
	GRADE BREAK
	TOP OF WALL ELEVATION

NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
- IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
- PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED STORM DRAINS.
- FIELD SURVEY EXISTING ELEVATIONS OF TOP OF CURBS AND EDGE OF PAVEMENT PRIOR TO STARTING CONSTRUCTION. ADJUST PROPOSED ELEVATIONS AS NEEDED TO PROVIDE DRAINAGE AND SLOPES THAT COMPLY WITH ADA AND CODE REQUIREMENTS. CONSULT WITH PROJECT ENGINEER AS NEEDED.
- MEASURE SLOPES OF COMPACTED ROADBASE AND CONCRETE FORMS TO ENSURE THAT NO PAVEMENT LOW SPOTS ARE CREATED. MAKE ADJUSTMENTS AS NEEDED.
- PROVIDE 4" WYE OR TEE AT INVERT OF ROOF DRAIN. COORDINATE SITE ROOF DRAIN INVERTS WITH BUILDING PLUMBING PRIOR TO BUILDING OR SITE CONSTRUCTION.
- MEASURE SLOPES OF COMPACTED ROAD BASE AND CONCRETE FORMS FOR ALL ADA RAMPS, PARKING AREAS AND ACCESSIBLE ROUTES AND ADJUST AS NEEDED TO MEET ALL REQUIREMENTS. DO NOT EXCEED THE FOLLOWING SLOPES:
ADA PARKING: 2% SLOPES
GUTTERS IN ADA ROUTES: 5% MAX.
CROSS SLOPE OF ALL SIDEWALKS AND ADA ROUTES: 2% MAX.
RUNNING SLOPE OF ADA RAMPS: 8.33% MAX.
- INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C6/C600



DATE

REVISION DESCRIPTION

GRADING PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY UT

GRADING PLAN

PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C400

12/4/2025 3:11 PM

PLOTTED BY: HUNTER CARTER

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P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C400 GRAD & DRAIN PLAN 5308-2000.DWG

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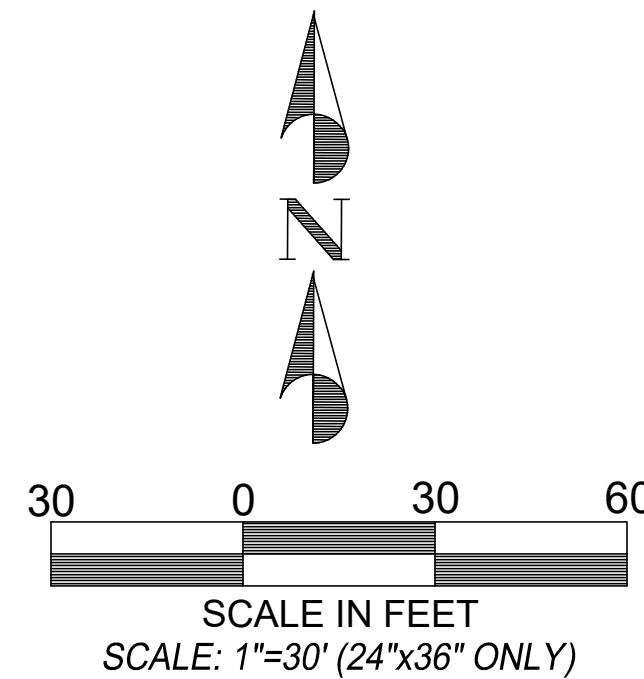
6

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LEGEND	
	PROPOSED CURB 7 GUTTER
	PROPOSED SPILL CURB
	EXISTING CURB & GUTTER
	PROPOSED EDGE OF ASPHALT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
FG	FINISH GRADE ELEVATION
FLC	FLOWLINE OF CURB ELEVATION
TBC	TOP BACK OF CURB ELEVATION
TA	TOP OF ASPHALT ELEVATION
TC	TOP OF CONCRETE ELEVATION
GR	CATCH BASIN GRATE ELEVATION
FL	FLOWLINE OF PIPE ELEVATION
C.B.	PROPOSED CATCH BASIN
(M.E.)	MATCH EXISTING ELEVATION
GB	GRADE BREAK
TW	TOP OF WALL ELEVATION

NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
4. EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
5. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
6. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
7. ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.
8. PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED STORM DRAINS.
9. FIELD SURVEY EXISTING ELEVATIONS OF TOP OF CURBS AND EDGE OF PAVEMENT PRIOR TO STARTING CONSTRUCTION. ADJUST PROPOSED ELEVATIONS AS NEEDED TO PROVIDE DRAINAGE AND SLOPES THAT COMPLY WITH ADA AND CODE REQUIREMENTS. CONSULT WITH PROJECT ENGINEER AS NEEDED.
10. MEASURE SLOPES OF COMPACTED ROADBASE AND CONCRETE FORMS TO ENSURE THAT NO PAVEMENT LOW SPOTS ARE CREATED. MAKE ADJUSTMENTS AS NEEDED.
11. PROVIDE 4" WYE OR TEE AT INVERT OF ROOF DRAIN. COORDINATE SITE ROOF DRAIN INVERTS WITH BUILDING PLUMBING PRIOR TO BUILDING OR SITE CONSTRUCTION.

12. MEASURE SLOPES OF COMPACTED ROAD BASE AND CONCRETE FORMS FOR ALL ADA RAMPS, PARKING AREAS AND ACCESSIBLE ROUTES AND ADJUST AS NEEDED TO MEET ALL REQUIREMENTS. DO NOT EXCEED THE FOLLOWING SLOPES:
ADA PARKING: 2% SLOPES
GUTTERS IN ADA ROUTES: 5% MAX.
CROSS SLOPE OF ALL SIDEWALKS AND ADA ROUTES: 2% MAX.
RUNNING SLOPE OF ADA RAMPS: 8.33% MAX.
13. INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C2/C600



DATE

REVISION DESCRIPTION

DRAINAGE PLAN
HOLLADAY HILLS BLOCK A
PARKING

4825 SOUTH ROYCE DRIVE
HOLLADAY, UT

DRAINAGE PLAN

PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C401

12/4/2025 3:12 PM

PLOTTED BY: HUNTER CARTER

P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C500 EROSION CONTROL PLAN 5308-2000.DWG

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LEGEND

- LIMITS OF CONSTRUCTION
- - - PROPOSED LOT LINES
- ==== PROPOSED CURB & GUTTER
- ==== PROPOSED SPILL CURB & GUTTER
- EXISTING CURB & GUTTER
- SD --- PROPOSED STORM DRAIN
- SD --- EXISTING STORM DRAIN
- 4630 EXISTING CONTOUR
- 4630 PROPOSED MAJOR CONTOUR
- 4630 PROPOSED MINOR CONTOUR
- X X PROPOSED SILT FENCE
- [Hatched Box] PROPOSED CATCH BASIN PROTECTION (SEE DETAIL-D1, SHEET C501)

30 0 30 60
SCALE IN FEET
SCALE: 1"=30' (24"x36" ONLY)



EROSION CONTROL NOTES

1. THIS PLAN HAS BEEN PREPARED AS A GUIDE FOR THE INSTALLATION OF STORM WATER POLLUTION PREVENTION SYSTEMS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL U.P.D.E.S. PERMIT REQUIREMENTS AND TO ADJUST PLAN AS NECESSARY TO MEET SITE SURFACE WATER PROTECTION OBJECTIVES AND CONSTRUCTION ACTIVITIES.
2. CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), FILL OUT AND SUBMIT THE NOTICE OF INTENT (NOI), PAY ALL FEES AND OBTAIN ALL PERMITS REQUIRED.
3. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS ARE CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS. APPLY, PAY FOR AND OBTAIN FUGITIVE DUST PERMIT.
4. CONTRACTOR TO PROTECT ALL EXISTING AND NEW SUMPS AND CURB INLETS FROM SEDIMENT DURING CONSTRUCTION BY USING WATTLES, SILT SACK, OR ANY OTHER APPROVED EROSION CONTROL DEVICES.
5. CONTRACTOR SHALL INSTALL A CONSTRUCTION BARRIER AROUND & ALONG ENTIRE CONSTRUCTION LIMIT LINE & SHALL DESIGNATE ONE CONSTRUCTION ENTRANCE. PROVIDE ADDITIONAL BARRIERS & CONES TO ENSURE SAFETY NEAR & AROUND ALL CUTS, TRENCHES, HOLES & PITS.
6. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ONSITE EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM SITE TRAFFIC. IN ADDITION TO REGULAR CONTRACTOR INSPECTIONS, STREETS SHALL BE SWEEPED UPON CITY AND OWNER REQUEST.
8. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE, & LANDSCAPE DRAINING ON TO PAVEMENT IS COMPLETE.
9. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE CITY OR COUNTY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
10. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SWPPP SYSTEMS AT TIMES DESIGNATED ABOVE. CITY INSPECTOR MUST APPROVE THE REMOVAL OF ALL SWPPP DEVICES.
12. ALL SOLID WASTE (CONCRETE WASHOUT, TRASH, ETC.) IS TO BE CONTAINED ON SITE AND HAULED OFF BY CONTRACTOR.



DATE

REVISION DESCRIPTION

EROSION CONTROL PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY, UT

EROSION
CONTROL PLAN
PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C500

12/4/2025 3:12 PM

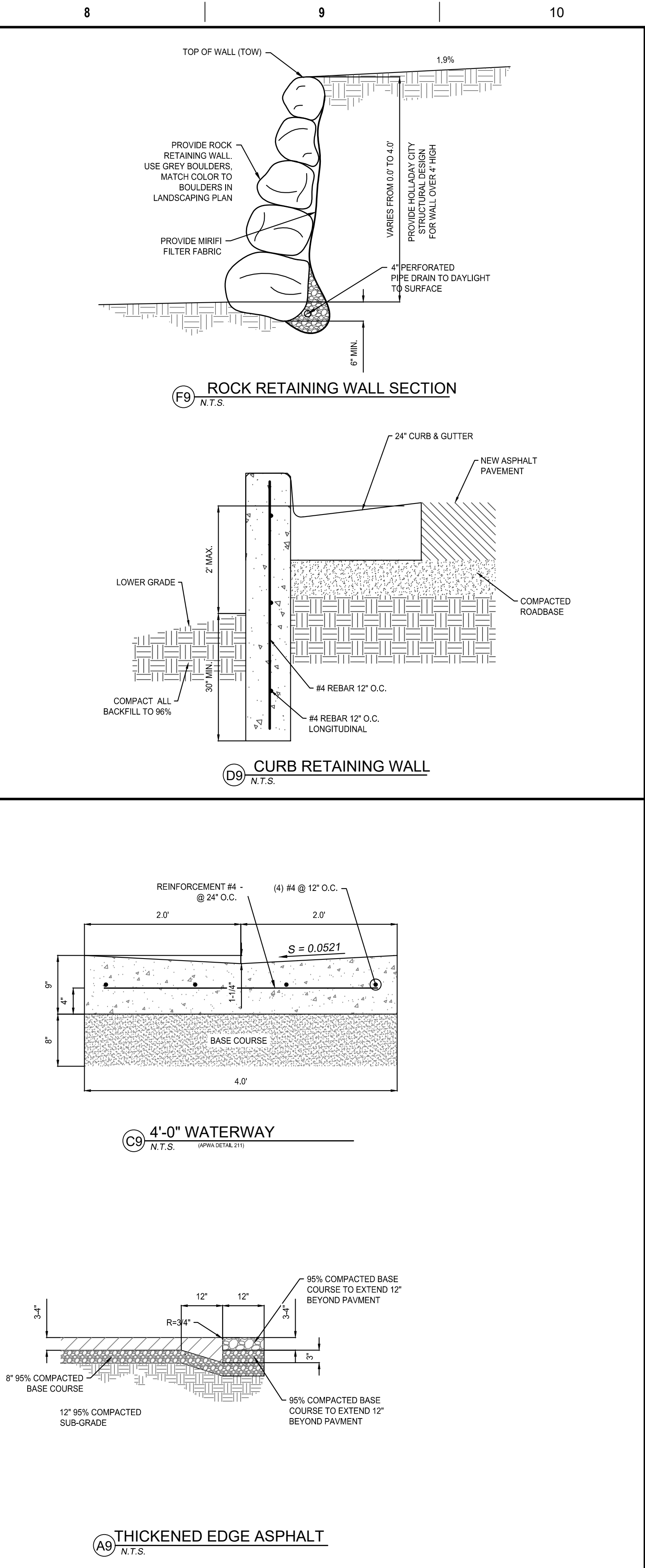
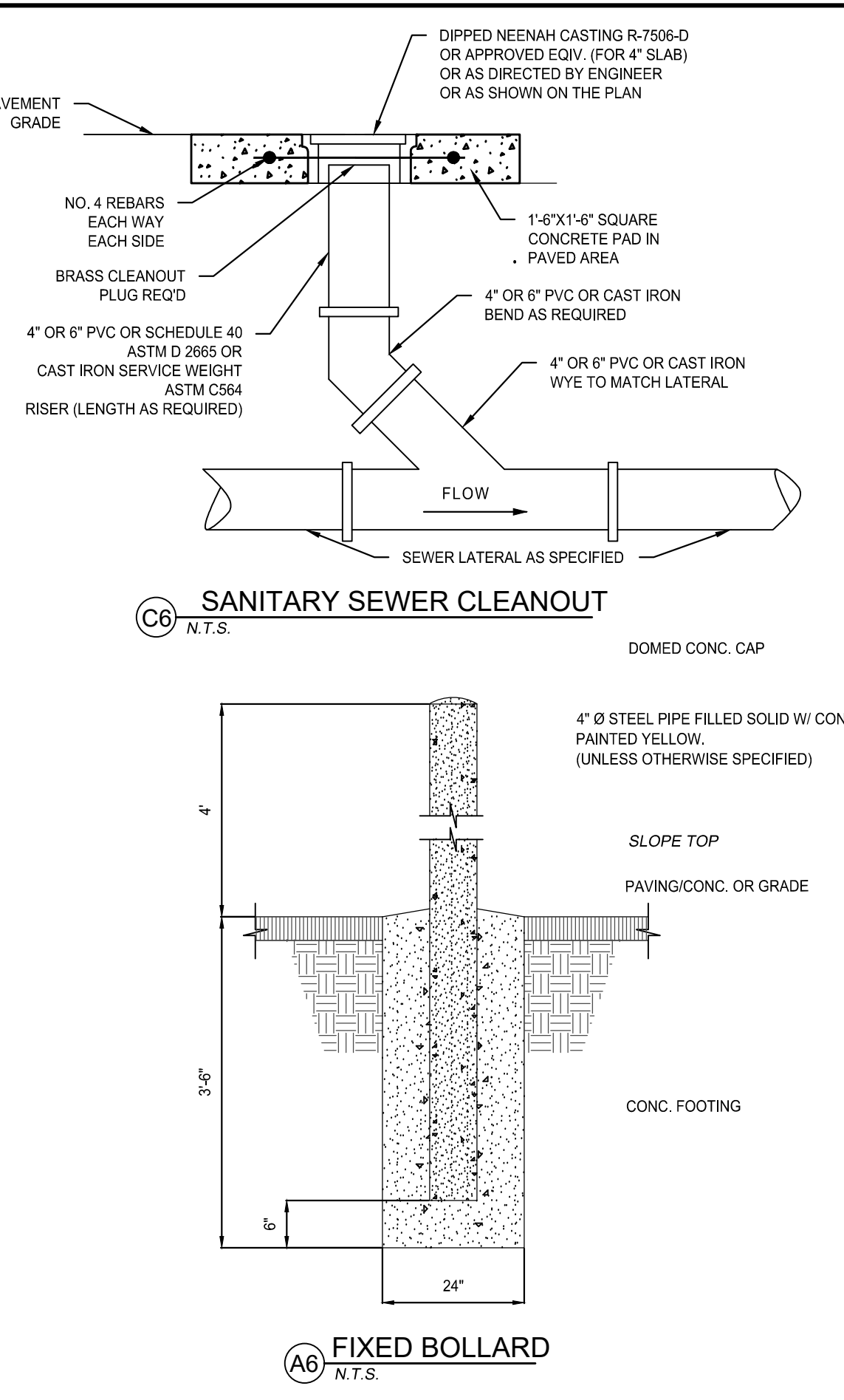
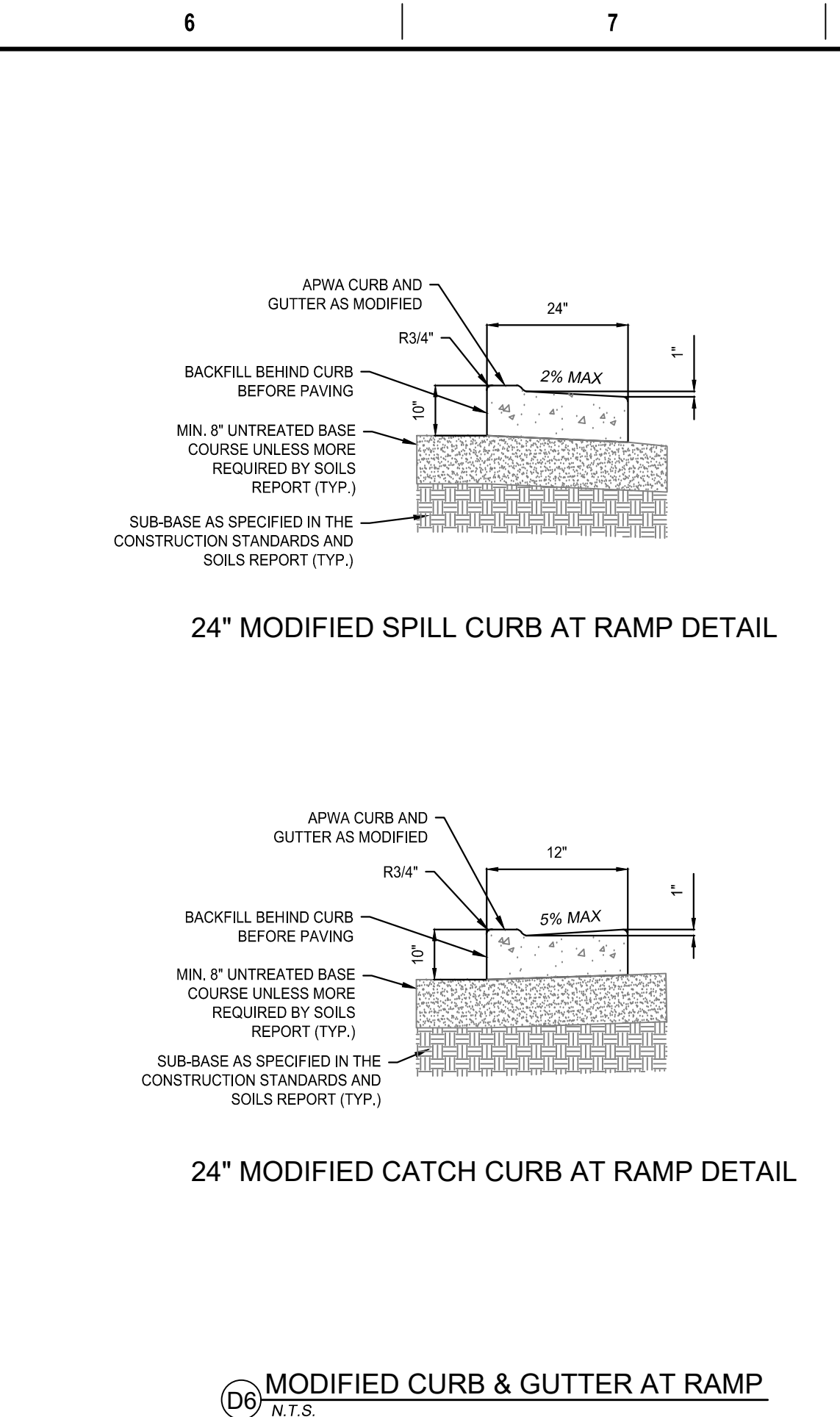
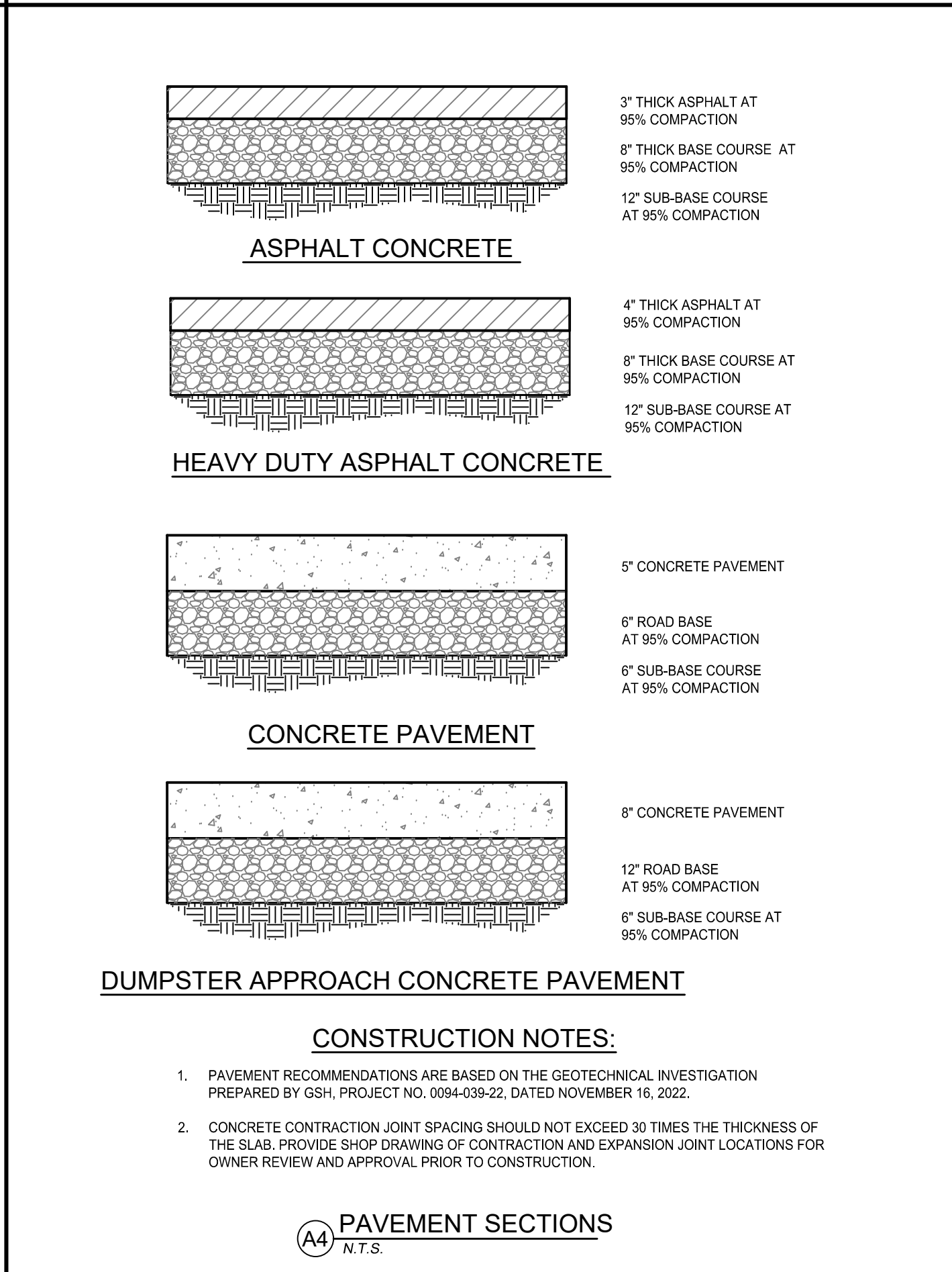
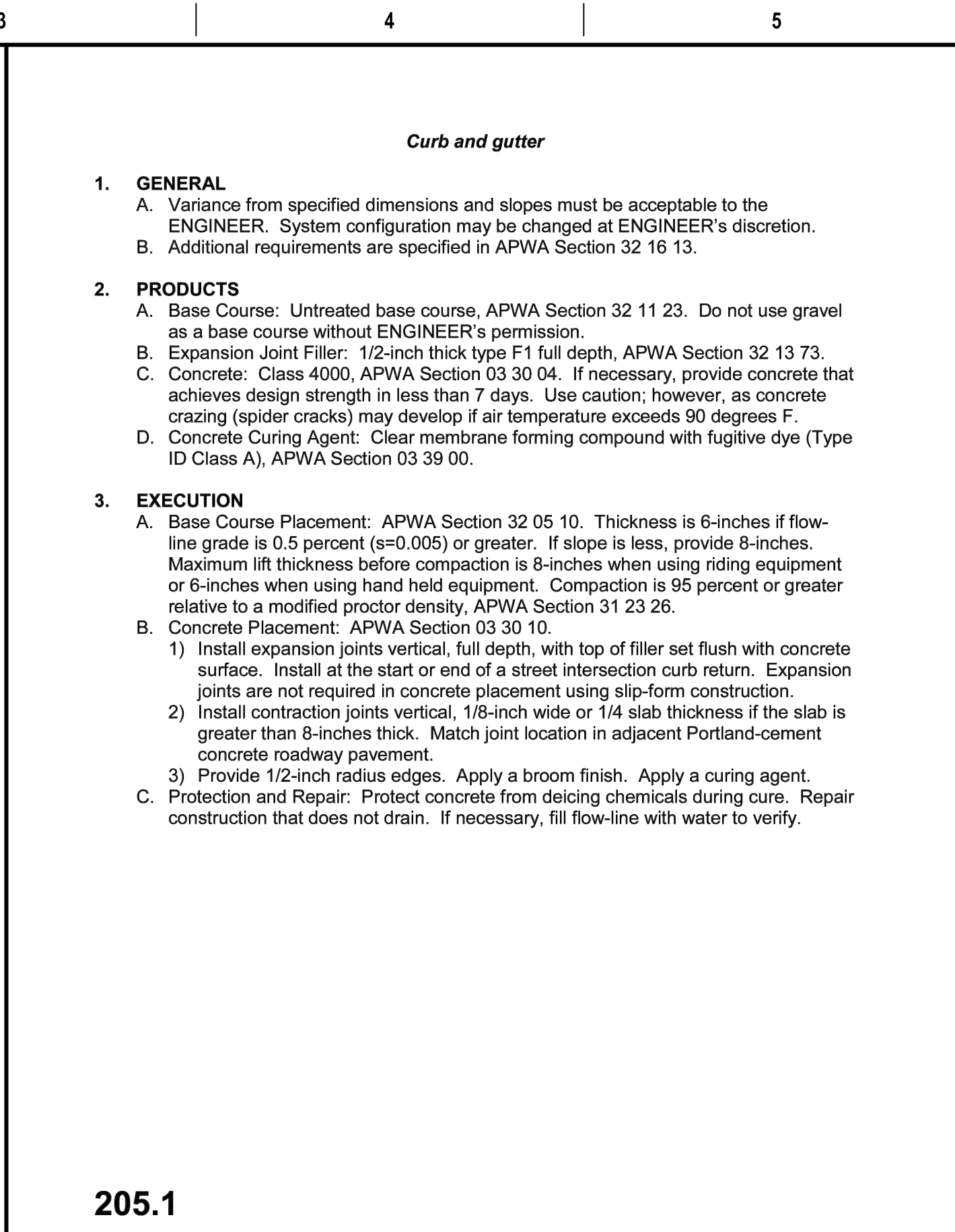
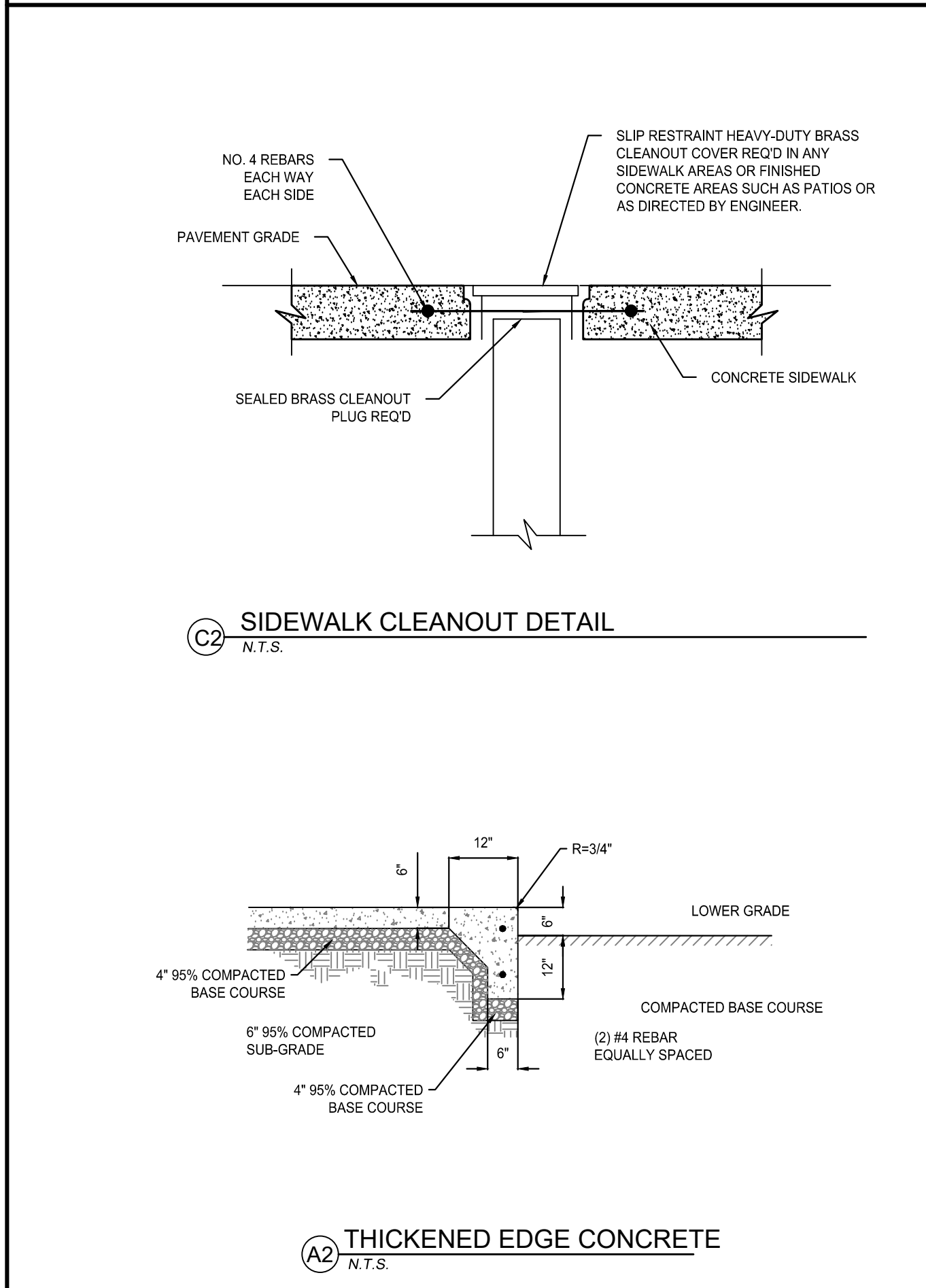
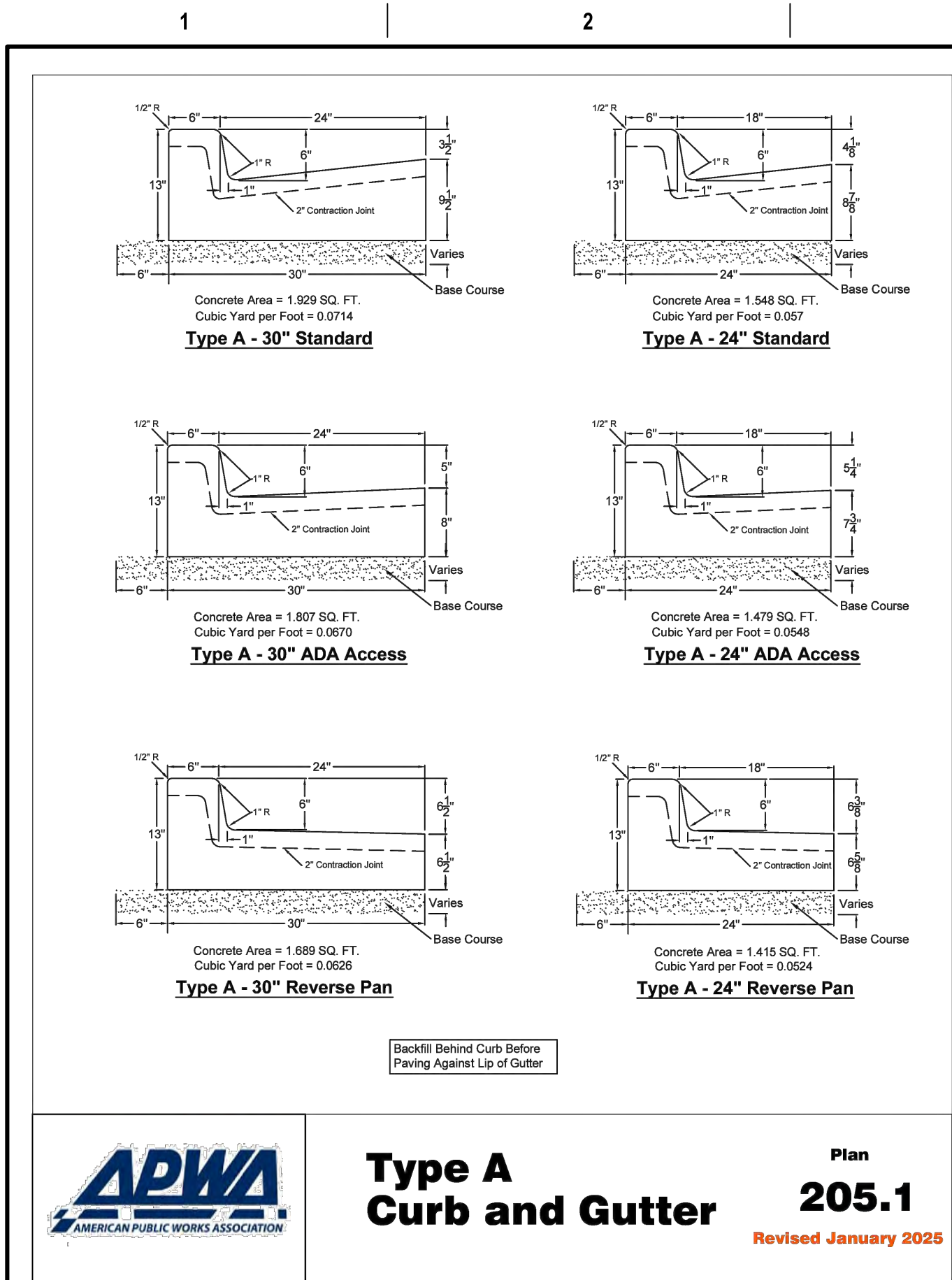
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P:\HOLIDAY HILLS BLOCK A - 5308/2000 - SITE WORK\CIVIL\C600 DETAILS 5308-2000.DWG



DATE

REVISION DESCRIPTION

DETAILS
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY, UT

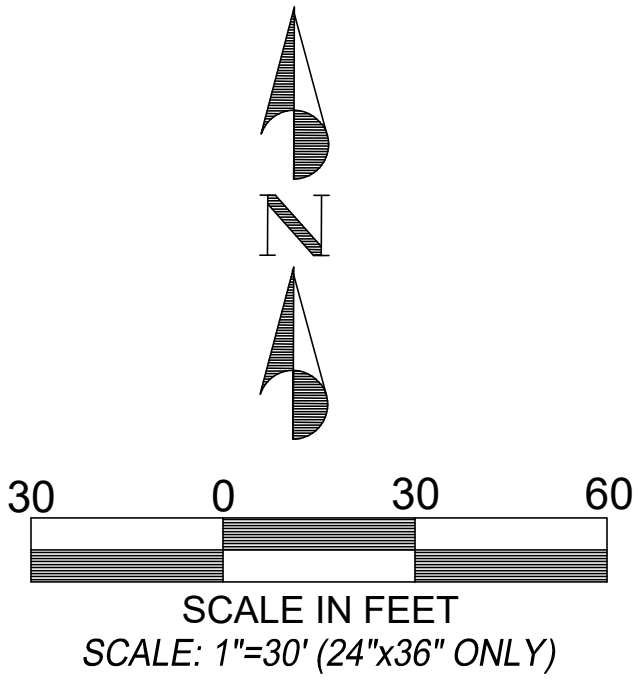
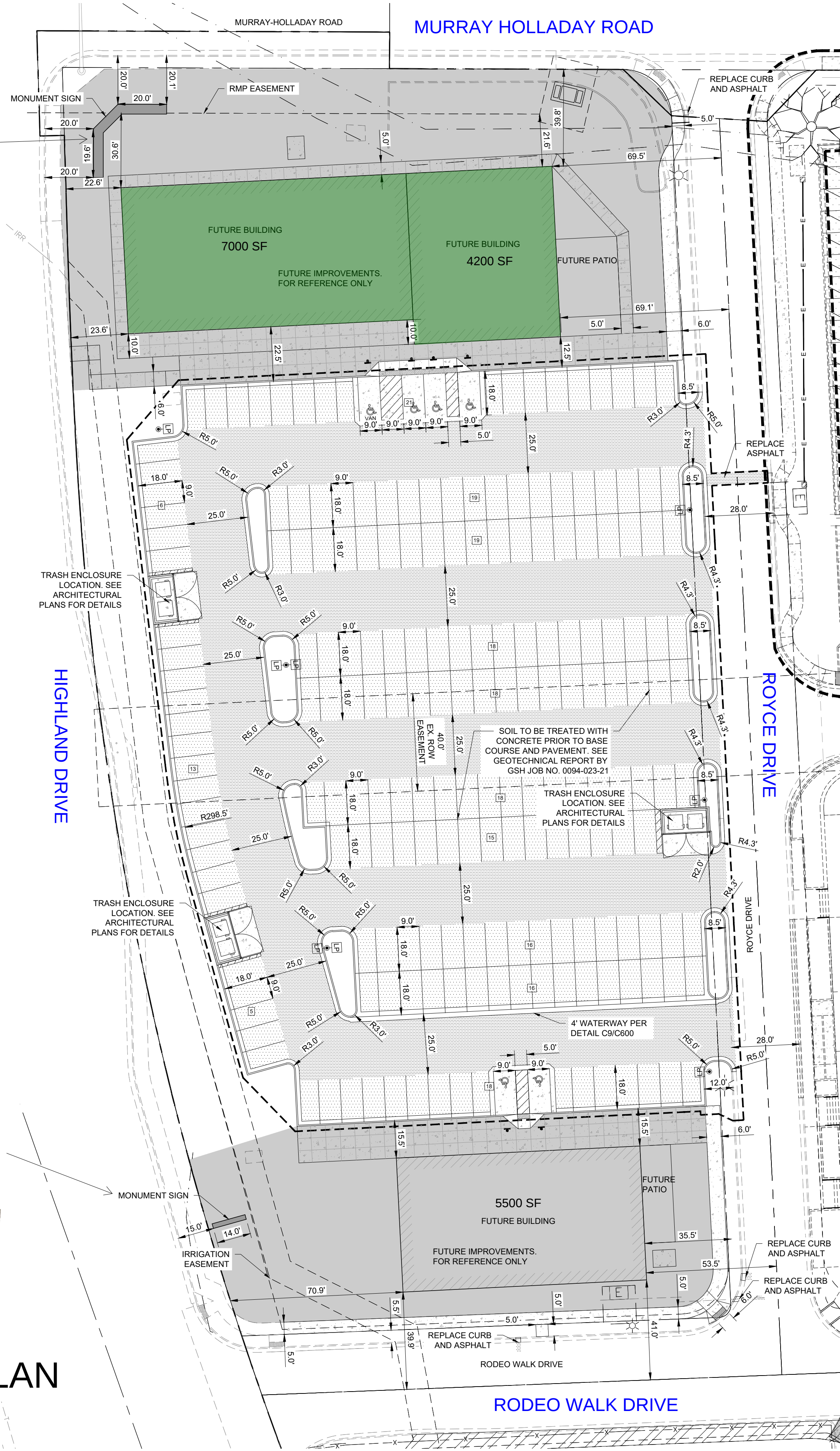
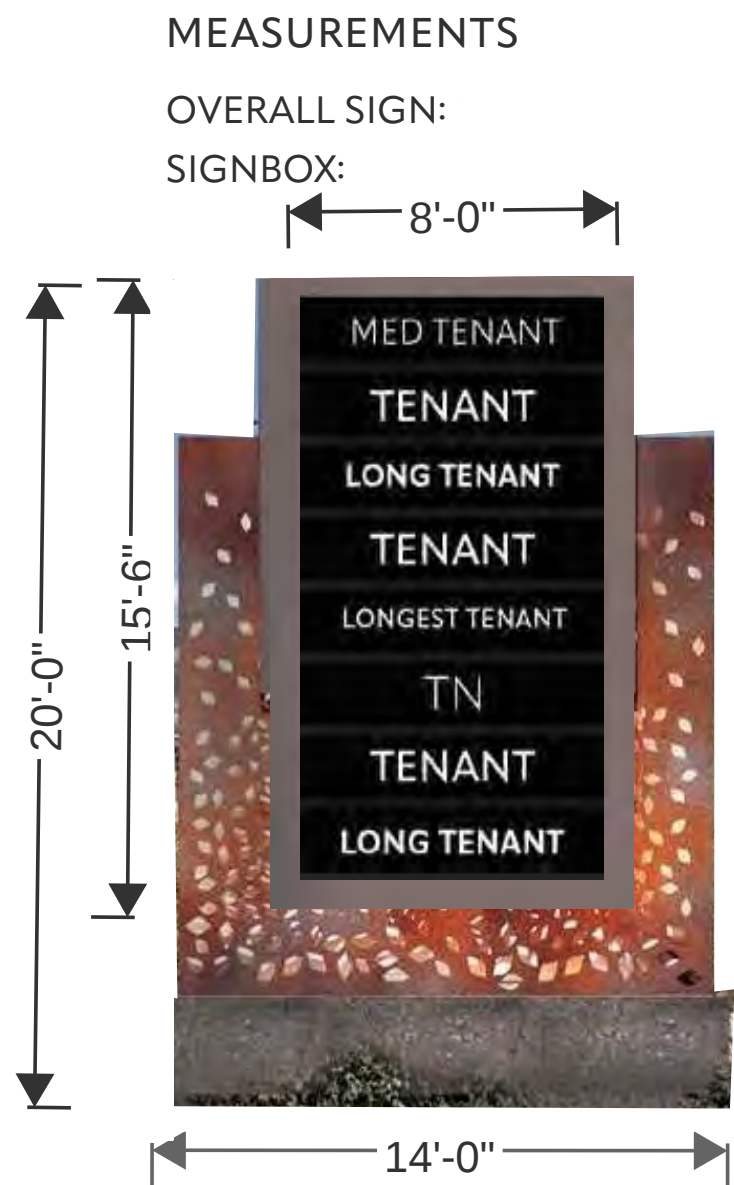
DETAILS
PROJECT #: 5308-2000
DATE: 12/04/2025
DRAWN BY: HC
SCALE: 1"=30'

C600

P:\HOLIDAY HILLS BLOCK A - 5308\2000 - SITE WORK\CIVIL\C200 SITE PLAN 5308-2000.DWG

REGIONAL MIXED USE DEVELOPMENT COTTONWOOD SITE DEVELOPMENT MASTER PLAN BLOCK A

CORNER SITE IDENTIFIER
SIGN DESIGN TBD



- LEGEND**
- EX. LOT LINES
 - EX. EDGE OF OIL
 - EX. FENCE LINE
 - EX. CURB & GUTTER
 - NEW CURB & GUTTER
 - NEW ADA ROUTE
 - NEW PROPERTY LINE
 - NEW EDGE OF PAVEMENT
 - NEW STANDARD ASPHALT PAVEMENT
 - NEW HEAVY ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - L.S. LANDSCAPE AREA

NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
- ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- DUMPSTER ENCLOSURES SHALL BE 3-SIDED MASONRY WALLS WITH STEEL GATE. DUMPSTER ENCLOSURE TO MATCH MATERIAL USED ON BUILDING.
- CONTRACTION JOINTS REQUIRED AT A MINIMUM 30' SPACING. CONTROL JOINTS REQUIRED AT A MINIMUM 10' SPACING ON ALL SIDEWALKS.

TOTAL LAND USE SUMMARY BLOCK A

	SQ.FT	ACREAGE	PERCENT
TOTAL FUTURE BUILDING FOOTPRINT	16,700	0.383	11.9%
LANDSCAPE AREA	35,650	0.818	25.3%
IMPERVIOUS AREA	88,366	2.029	62.8%
TOTAL LOT AREA	140,716	3.230	100.0%

TOTAL PARKING SUMMARY BLOCK A

TOTAL FUTURE BUILDING SIZE:	16,700 SF
PARKING REQUIRED (1/200 SF):	82 STALLS
PARKING PROVIDED:	202 STALLS
TOTAL PARKING RATIO	12.1/1000 S.F.

OWNER:
KMW Development
2733 E. Parleys Way, Suite 300
Salt Lake City, UT 84109



DATE

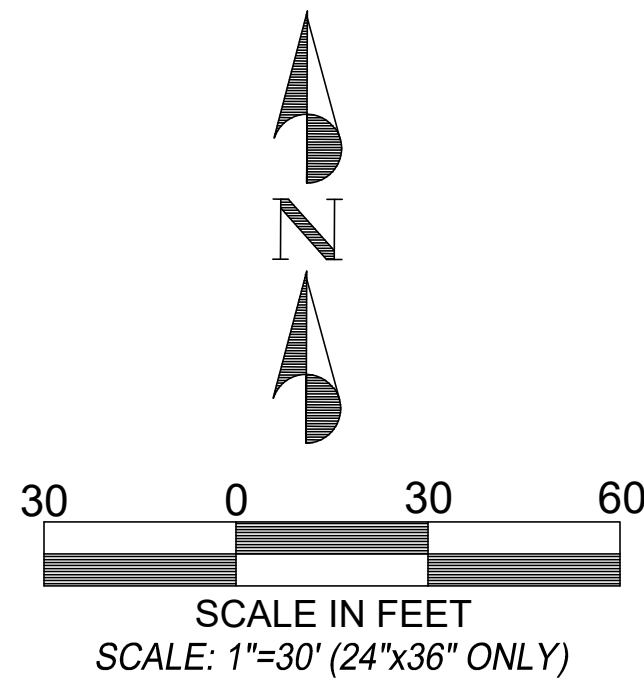
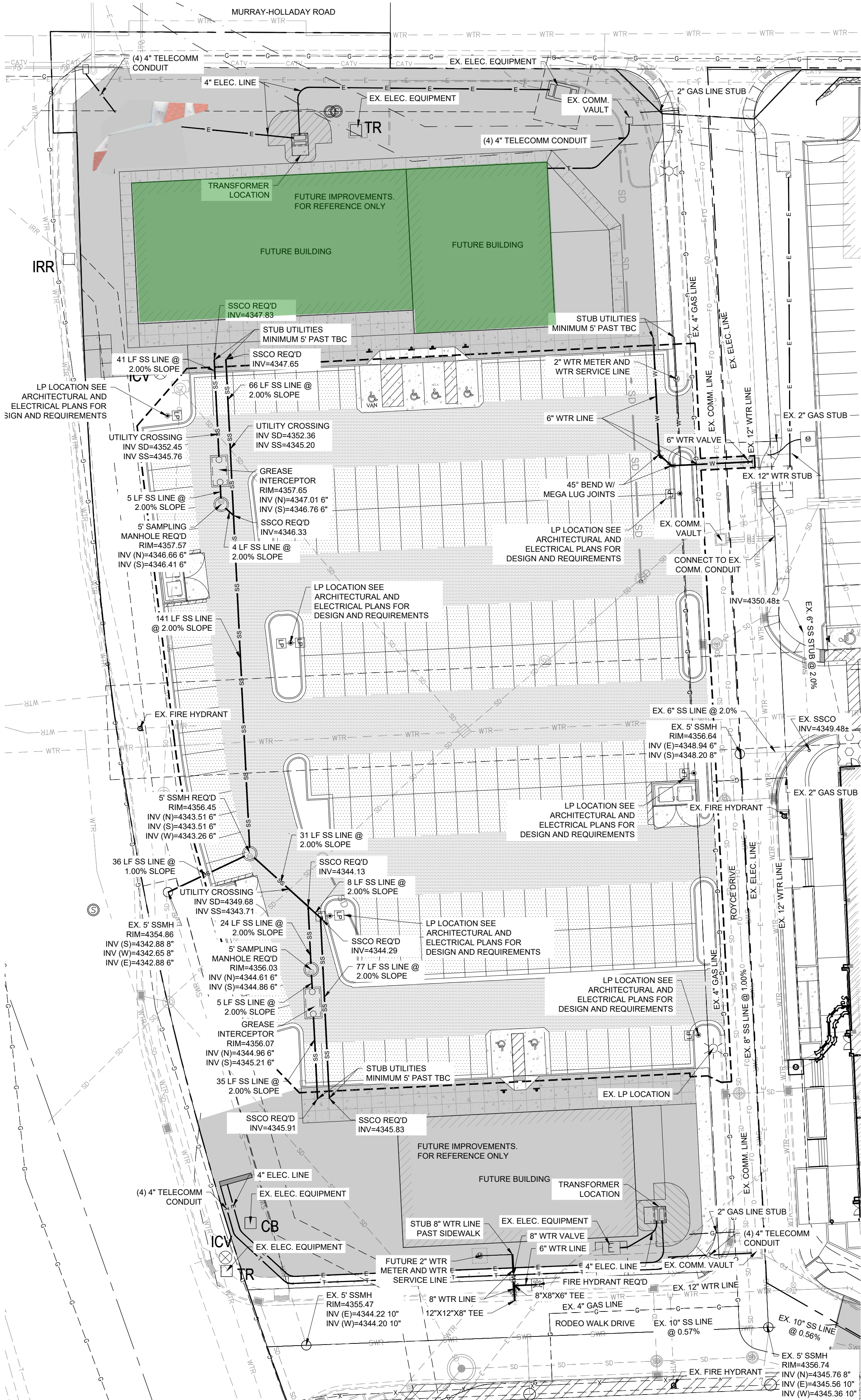
REVISION DESCRIPTION

SITE PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY, UT

SITE PLAN

PROJECT #: 5308-2000
DATE: 11/21/2025
DRAWN BY: HC
SCALE: 1"=30'

C200



LEGEND

- | | |
|-----------------------------------|---------------------------------|
| --- | EX. PARCEL LINES |
| -X-X- | EX. EDGE OF OIL |
| -G-G- | EX. FENCE LINE |
| -E-E- | EX. GAS LINE |
| -SD-SD- | EX. ELEC. LINE |
| -WTR- | EX. STORM DRAIN |
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| -NEW SANITARY SEWER CLEANOUT- | NEW STORM DRAIN |
| -NEW TRANSFORMER- | NEW SANITARY SEWER CLEANOUT |
| -EX. 30' PRIMARY SECTIONALIZER- | NEW TRANSFORMER |
| -EX. STREET LIGHT- | EX. 30' PRIMARY SECTIONALIZER |
| -EX. SECONDARY JUNCTION PEDESTAL- | EX. STREET LIGHT |
| -EX. ST. LIGHT PULL BOX- | EX. SECONDARY JUNCTION PEDESTAL |
| | EX. ST. LIGHT PULL BOX |

CONTRACTOR NOTES:

1. CONTRACTOR IS TO COORDINATE AND WORK WITH ELECTRICAL CONTRACTOR AND GAS COMPANY ON THE PLACEMENT OF NEW LINES AND CONDUIT.
2. CONTRACTOR IS TO POTHOLE (WHERE NEEDED) AND VERIFY GAS LINE LOCATION. CONTRACTOR IS RESPONSIBLE TO VERIFY, COORDINATE, AND ADJUST GAS LINE IN LOCATIONS OF CONFLICT, AREAS OF CONCERN, BUT NOT LIMITED TO ARE CONFLICTS WITH STORM DRAIN AND SEWER SYSTEMS.
3. CONTRACTOR IS TO INSTALL LANDSCAPE SLEEVING. FOR SCOPE AND LOCATION OF SLEEVING, REFER TO LANDSCAPE AND IRRIGATION PLANS.

NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GOVERNING AGENCY'S DESIGN AND CONSTRUCTION STANDARDS.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
4. EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
5. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
6. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN CONTACT THE ENGINEER FOR CLARIFICATION.
7. PROVIDE REDLINED DIMENSIONED AS-BUILT DRAWINGS SHOWING LOCATIONS OF CONSTRUCTED UTILITIES.
8. ALL SANITARY SEWERS AND GREASE WASTE LINES SHALL BE PVC SDR-35.
9. ALL WATER SERVICES SHALL BE TYPE BLUE PE.
10. SEE IRRIGATION PLANS FOR NEW PRESSURIZED IRRIGATION LINES.
11. ALL VALVE COVERS FOR FIRE PROTECTION WATER LINES SHALL BE LABELED "FIRE".
12. EX. SERVICE LATERALS HAVE NOT VERIFIED. CONTRACTOR TO FIELD VERIFY & CONTACT ENGINEER WHEN UNKNOWN LATERALS ARE ENCOUNTERED.
13. VERIFY ELECTRICAL AND TRANSFORMER REQUIREMENTS WITH ELECTRICAL PLANS.
14. ELECTRICAL SYSTEM TO BE INSTALLED AS PER GOVERNING AGENCY'S ELECTRICAL DESIGN AND STANDARDS. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
15. ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE GOVERNING AGENCY'S CONSTRUCTION STANDARDS.
16. IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WAS ISSUED AT PER-CONSTRUCTION MEETING.
17. ANY EXISTING FACILITIES AFFECTED BY DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC, NESC AND CITY STANDARDS AT DEVELOPERS EXPENSE INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.
18. THE FIRE SPRINKLER SYSTEM DESIGN WILL BE A DEFERRED SUBMITTAL AND WILL BE CONTRACTED THOUGH THE GENERAL CONTRACTOR.
19. INSTALL CLEANOUTS LOCATED IN SIDEWALK PER DETAIL C6/C600.



DATE

REVISION DESCRIPTION

UTILITY PLAN
HOLLADAY HILLS BLOCK A
PARKING
4825 SOUTH ROYCE DRIVE
HOLLADAY UT

UTILITY PLAN

PROJECT #: 5308-2000
DATE: 11/21/2025
DRAWN BY: HC
SCALE: 1"=30'

C300

8/18/2023 9:31:45 AM

D

C

B

A

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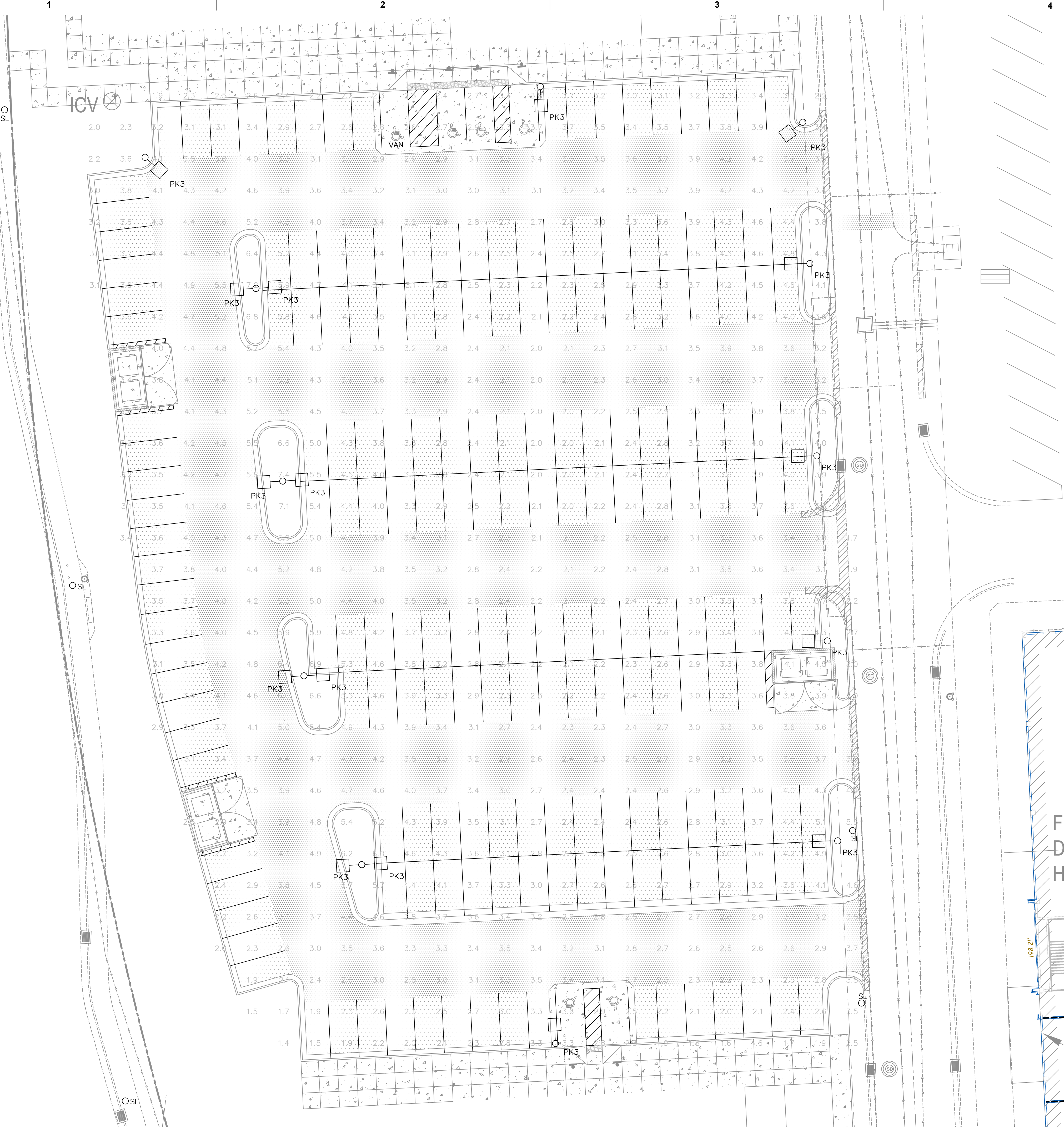
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SITE PLAN

REF. SCALE: 1"=1/16"

HOLLADAY HILLS LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	TOTAL VA	VOLTS	NOTE 1	NOTE 2
PK3		(1) 163W LED	DSX1 LED P6 40K T4M MVOLT	POLE	Lithonia Lighting, DSX1 LED P6 40K T4M	163	MULTIPLE	LED DRIVER	
SL		(1) 136W LED	LED LUMINAIRE, 14 BULBONE OPTICS	POLE	EXISTING STREET LIGHTING	136	120V 1P 2W	30 FT MATCHING POLE	

GENERAL
PHOTOMETRIC
SCHEDULE

AVERAGE FOOT-CANDLES	3.40
MAXIMUM FOOT-CANDLES	7.4
MINIMUM FOOT-CANDLES	1.4



Specifications

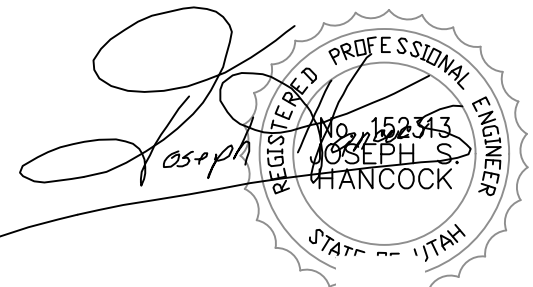
EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED							
Series	LEDs	Color temperature ¹	Color Rendering Index ²	Distribution		Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)					
P1 P6	30K 3000K	70CRI	AER Automotive front row Type I short	TSM Type V medium	MVOLT (120V-277V) ¹		Shipped included
P2 P7	40K 4000K	70CRI	T15 Type I short	TSLG Type V low glare	HVOLT (347V-480V) ^{1,2}	SPA	Square pole mounting (R8 drilling)
P3 P8	50K 5000K	70CRI	T2M Type II medium	TSW Type V wide	XVOLT (277V-480V) ^{1,2}	RPA	Round pole mounting (R8 drilling)
P4 P9	(this section 80CRI only, extended lead times apply)	80CRI	T3M Type III medium	BLC3 Type II backlight control ³	120V-1A	SPAS	Square pole mounting (R8 drilling)
P5			T4M Type IV medium	BLC4 Type IV backlight control ³	208V-1A		
Rotated optics			T4LG Type IV low glare ³	LCCO Left corner cutoff ³	240V-1A		
P10 P12	27K 2700K	80CRI	T4M Type IV low glare ³	RCCO Right corner cutoff ³	277V-1A	RRAS	Round pole mounting (R5 drilling)
P11 P13	30K 3000K	80CRI	T4M Type IV low glare ³		347V-1A	SPRSM	Square remote pole mounting (R8 drilling)
	35K 3500K	80CRI			480V-1A		
	40K 4000K	80CRI				WBA	Wall bracket ¹⁰
	50K 5000K	80CRI				MA	Max arm adapter (mounts on 2 3/8" OD horizontal torso)

Control options			Other options	Finish options
Shipped installed			Shipped installed	
NLTAIR2 PIRHN	All light AIR gen 2 enabled with bi-level motion / ambient sensor 8-40" mounting height, ambient sensor enabled at 2K ^{11,12,13}		SPICORN 20V surge protection	DDDBD Dark Bronze
PIR	High-flow, motion-activated, 8-40" mounting height, ambient sensor enabled at 2K ^{11,12,13}		HS House-side shield (black finish standard) ¹¹	DBLAD Black
PER	NEMA twist-lock receptacle only (controls ordered separately) ¹⁴		L90 Left rotated optics ¹	DNALD Natural Aluminum
PER5	Five-pin receptacle only (controls ordered separately) ^{14,15}		R90 Right rotated optics ¹	DWBWD White
	PER7	Seven-pin receptacle only (controls ordered separately) ^{14,15}	CEE Coastal Construction ²⁰	DDBXD Textured dark bronze
	RAO	Field adjustable output ^{16,17}	HA 50% ambient operation ²¹	DBLBD Textured black
	BL30	Bi-level switched dimming, 30% ^{18,19}	BAA Buy America(s) Act compliant ²²	DNABD Textured natural aluminum
	BL50	Bi-level switched dimming, 50% ^{18,19}	SF Single fuse (120, 277, 347V) ²³	DWBBD Textured white
	DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹¹	DF Double fuse (208, 240, 480V) ²³	
	BS	Dual switching ^{11,12}	Shipped separately	
			EGSR External Glare Shield (reversible, field install required, matches housing finish)	
			BSDB Bird Spikes (field install required)	



DATE

REVISION DESCRIPTION

HOLIDAY HILLS - BLOCK A

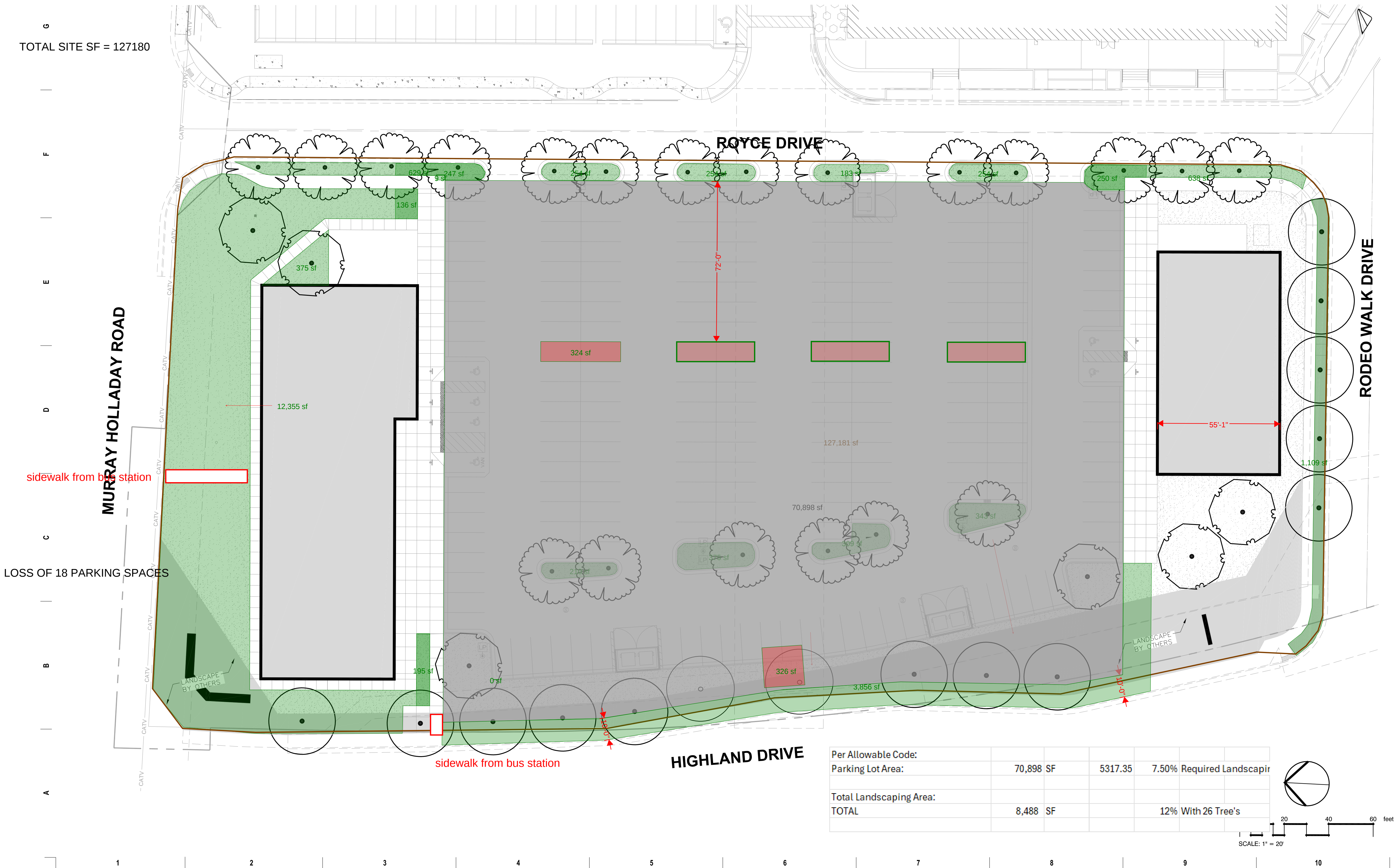
SITE PLAN

PROJ. #: DATE: 05/21/2025
DRAWN BY: JSH SCALE:

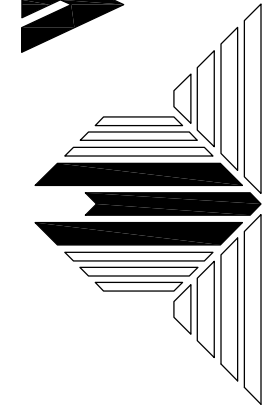
REVIEW SET

E101

Per City Code



WOODBURY
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770



DATE

REVISION DESCRIPTION

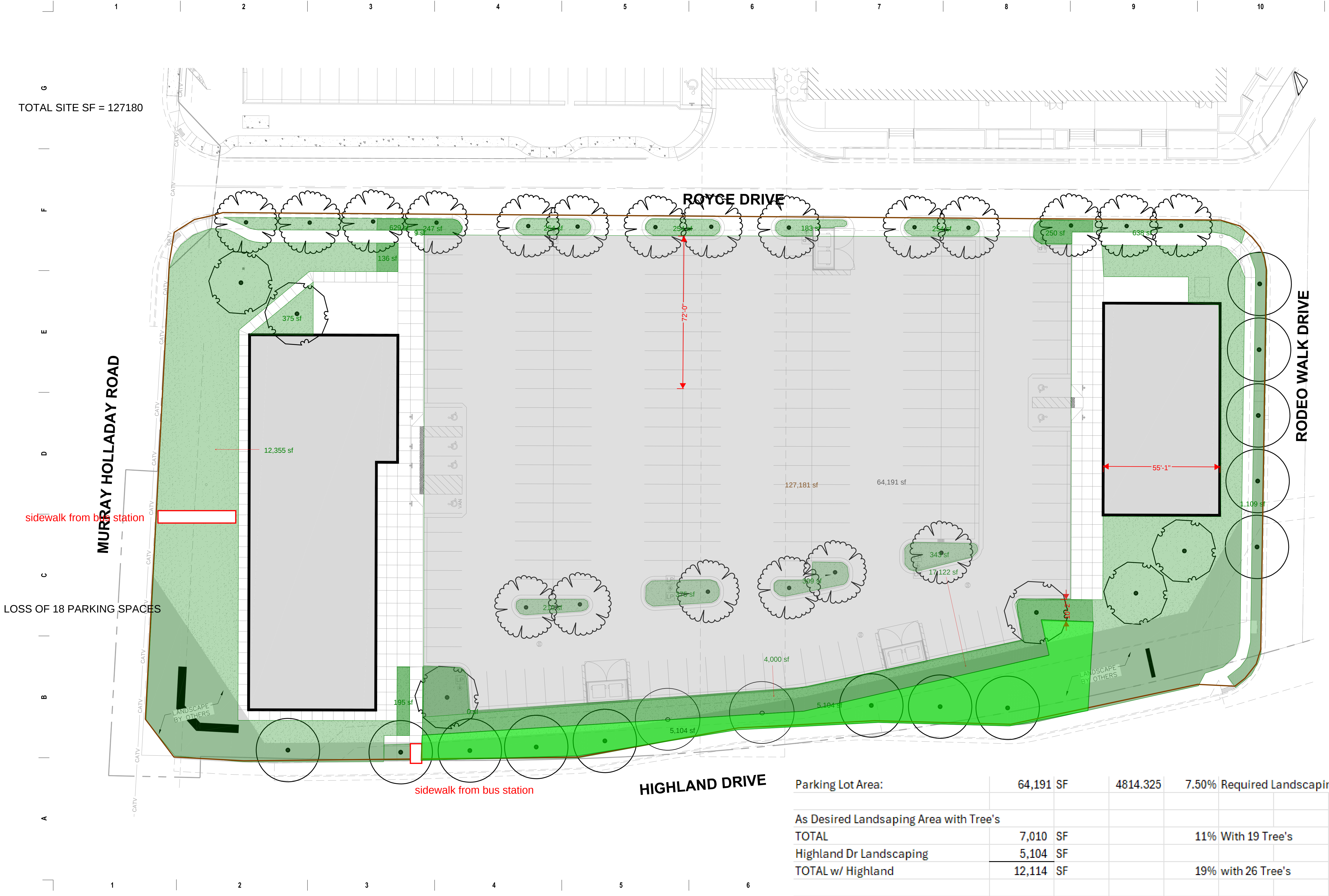
GROUNDCOVER PLAN
HOLLADAY HILLS - BLOK A

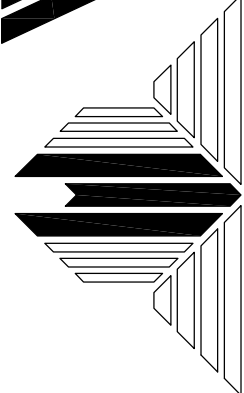
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

PLANTING PLAN
PROJECT #: 5308
DATE: 2/12/2026
DRAWN BY: BP
SCALE: PER PLAN

LP101

Proposed Administrative Relief Code Plan



**WOODBURY**
CORPORATION
2733 EAST PARLEYS WAY, SUITE 300
SALT LAKE CITY, UTAH 84109 (801) 485-7770

REVISION DESCRIPTION

DATE

GROUNDCOVER PLAN
HOLLADAY HILLS - BLOK A
2733 E PARLEYS WAY, SUITE 300 SALT LAKE CITY, UT 84109

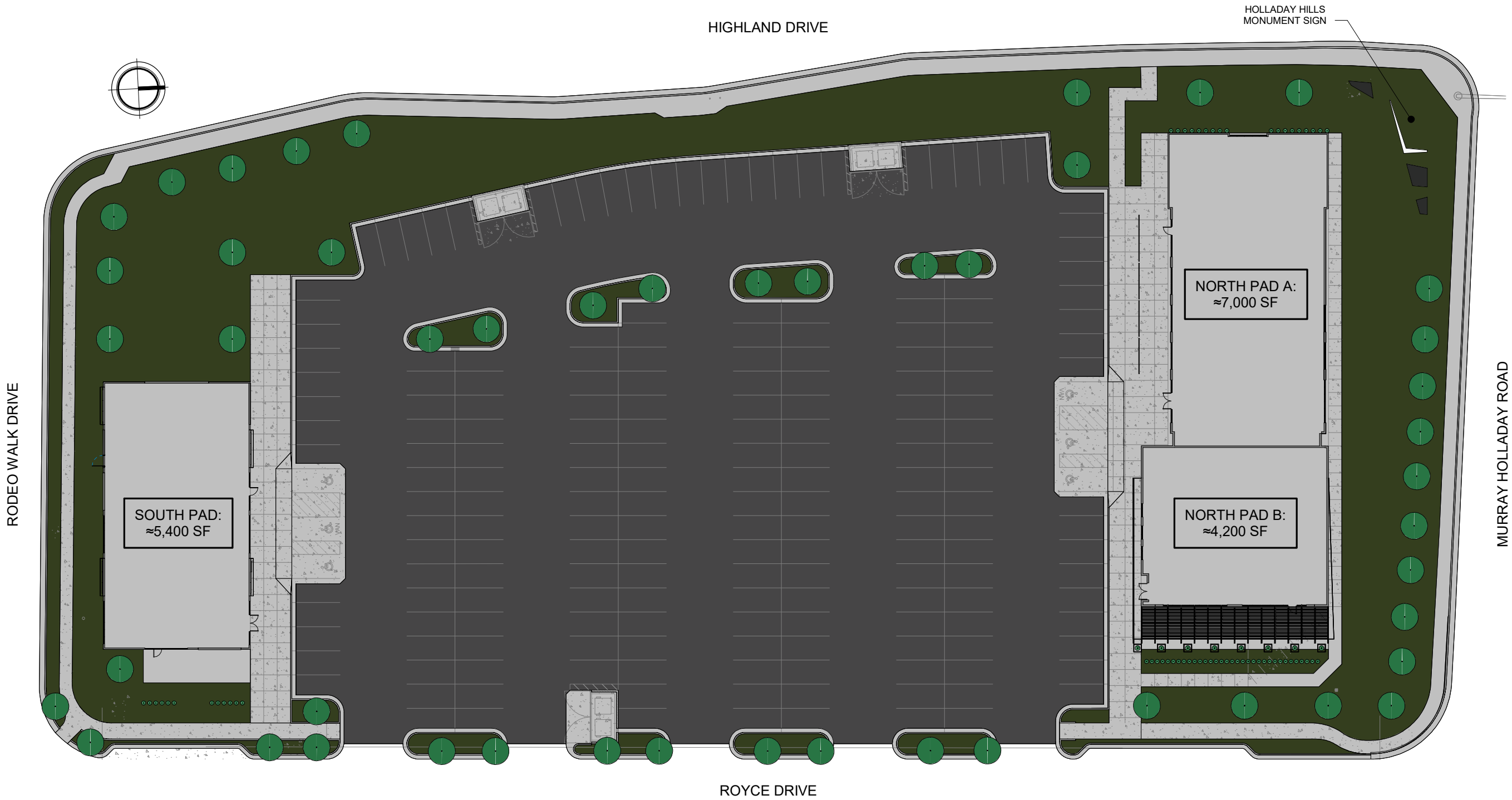
PLANTING PLAN
PROJECT #: 5308
DATE: 2/12/2026
DRAWN BY: BP
SCALE: PER PLAN
LP101



Holladay Hills



DESIGN PROPOSAL FOR PAD A AT
HOLLADAY HILLS IN HOLLADAY, UTAH



1 BLOCK A - SITE PLAN
A.00 1" = 40'-0"

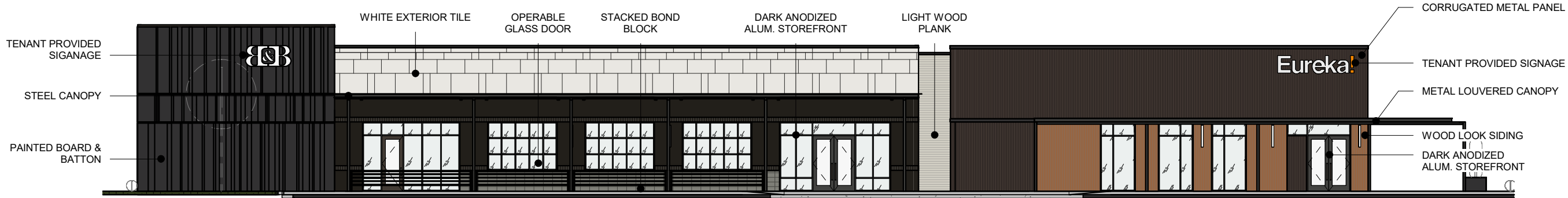
#	Revision Description	Date

BLOCK A

SITE PLAN

Project #: 5308.0000
Date: 12/23/25
Author: DRW
Scale: 1" = 40'-0"

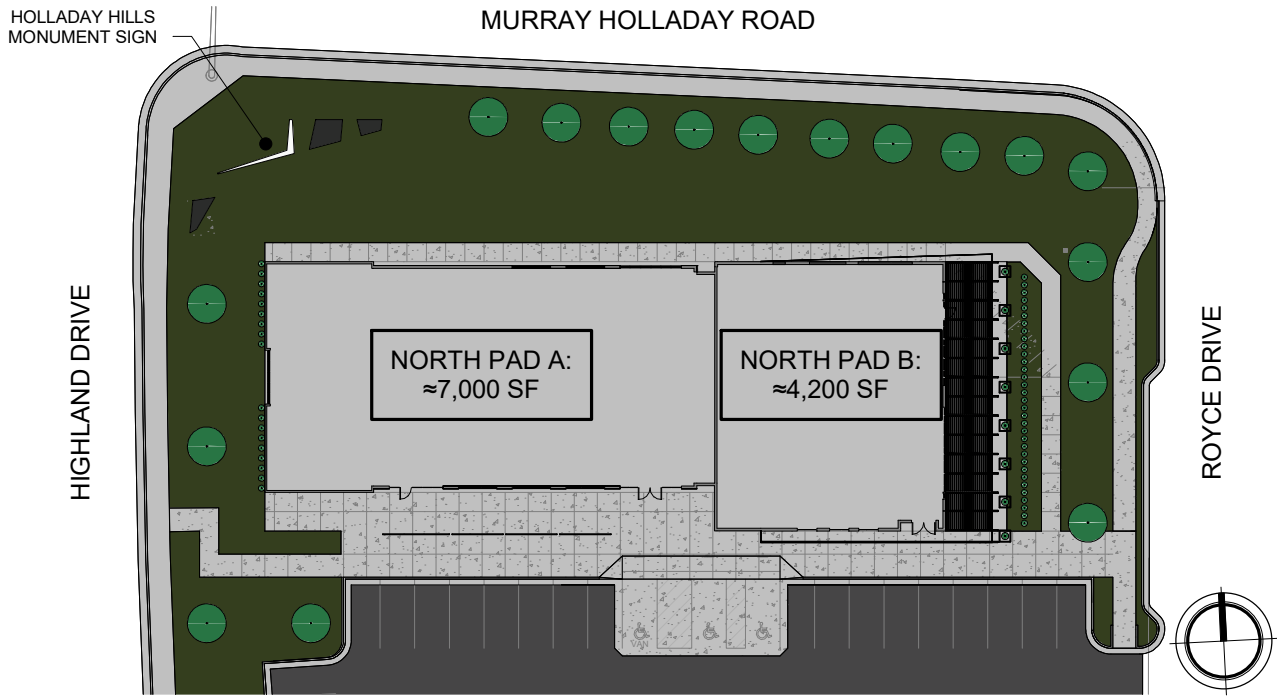
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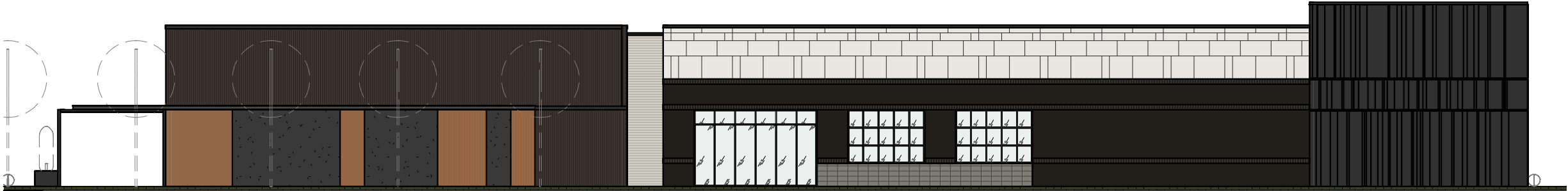
1 NORTH PAD A-B - SOUTH ELEVATION
A.01 1/16" = 1'-0"



2 NORTH PAD A - EAST ELEVATION
A.01 1/16" = 1'-0"



3 NORTH PAD - SITE PLAN
A.01 1" = 50'-0"

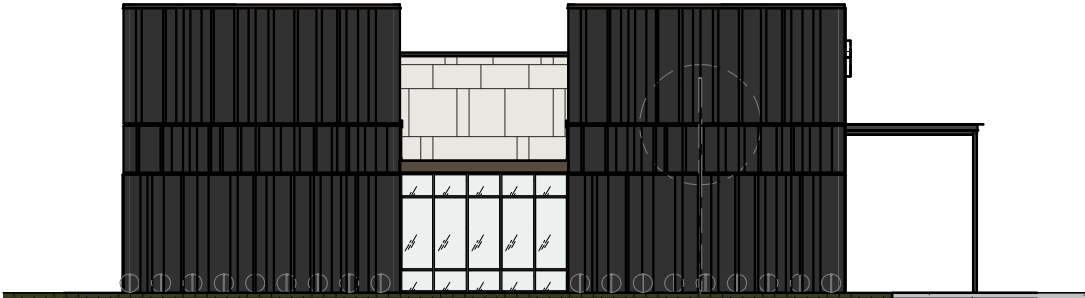


1

A.02

NORTH PAD A-B - NORTH
ELEVATION

1/16" = 1'-0"



2

A.02

NORTH PAD A - WEST
ELEVATION

1/16" = 1'-0"



Date

Revision Description

BLOCK A

NORTH PAD
ELEVATIONS

Project #: 5308.0000
Date: 12/23/25
Author: DRW
Scale: 1/16" = 1'-0"

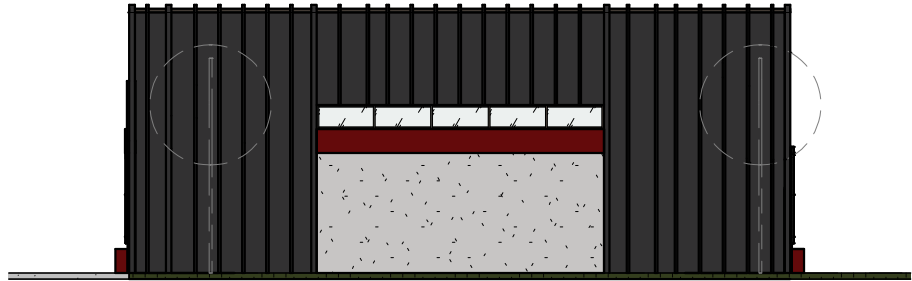
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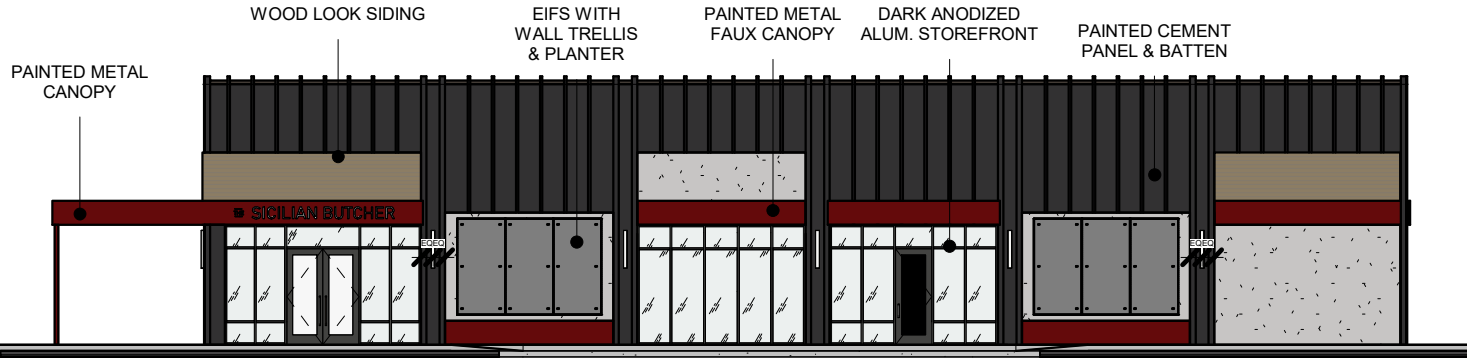
1 SOUTH PAD - EAST ELEVATION
A.03 1/16" = 1'-0"



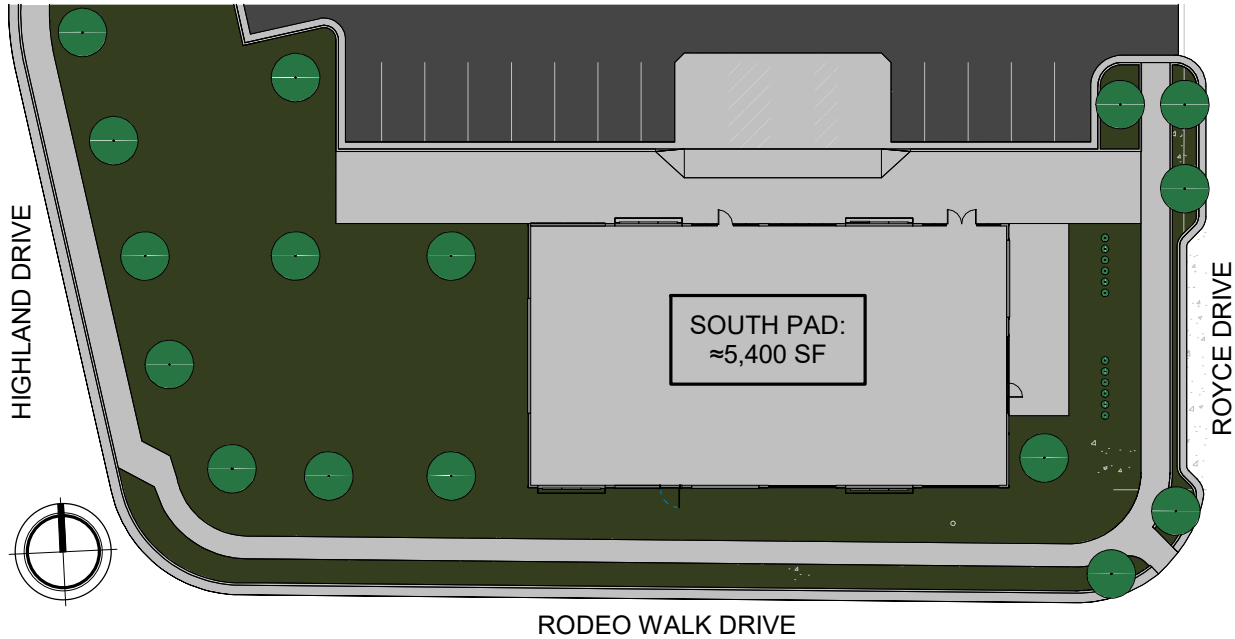
2 SOUTH PAD - SOUTH ELEVATION
A.03 1/16" = 1'-0"



3 SOUTH PAD - WEST ELEVATION
A.03 1/16" = 1'-0"



4 SOUTH PAD - NORTH ELEVATION
A.03 1/16" = 1'-0"



9 SOUTH PAD - SITE PLAN
A.03 1" = 40'-0"



Date

Revision Description

BLOCK A

SOUTH PAD
ELEVATIONS

Project #: 5308.0000
Date: 12/23/25
Author: DRW
Scale: As indicated

A.03



3 NORTH PAD PERSPECTIVE
A.04



1 SOUTH PAD PERSPECTIVE
A.04



2 EUREKA PERSPECTIVE
A.04

PERSPECTIVES

Project #: 5308.0000
Date: 12/23/25
Author: DRW
Scale:

A.04



NORTH PAD REDNERING - SE CORNER



NORTH PAD AI ENHANCED REDNERING



SOUTH PAD REDNERING - NE CORNER



NORTH PAD AI ENHANCED REDNERING



Date

Revision Description

BLOCK A

PERSPECTIVE
RENDERINGS

Project #: 5308.0000
Date: 12/23/25
Author: DRW
Scale:

A.05A



NORTH PAD REDNERING - SW CORNER



NORTH PAD REDNERING - HOLLADAY HILLS SIGN NE - CORNER

#	Revision Description	Date
BLOCK A		
PERSPECTIVE RENDERINGS		
Project #: 5308.0000 Date: 12/23/25 Author: DRW Scale:		
A.05B		

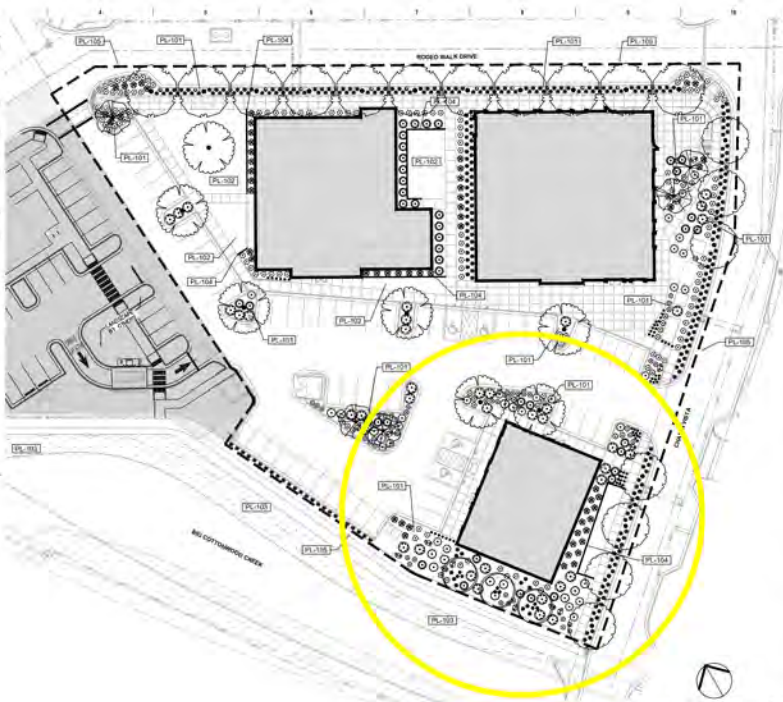


NORTH PAD AI ENHANCED REDNERING



NORTH PAD AI ENHANCED REDNERING

#	Revision Description	Date
BLOCK A		
PERSPECTIVE RENDERINGS		
Project #: 5308.0000 Date: 12/23/25 Author: DRW Scale:		
A.05C		

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7025 E. CHARLTON WAY, SUITE 300 SALT LAKE CITY, UT 84118

PLANTING PLAN	
PROJECT #	1728
CITY	SEASIDE
DRAWN BY	JW
SCALE	1" = 10' PLAN
LP101	

D

C

B

A

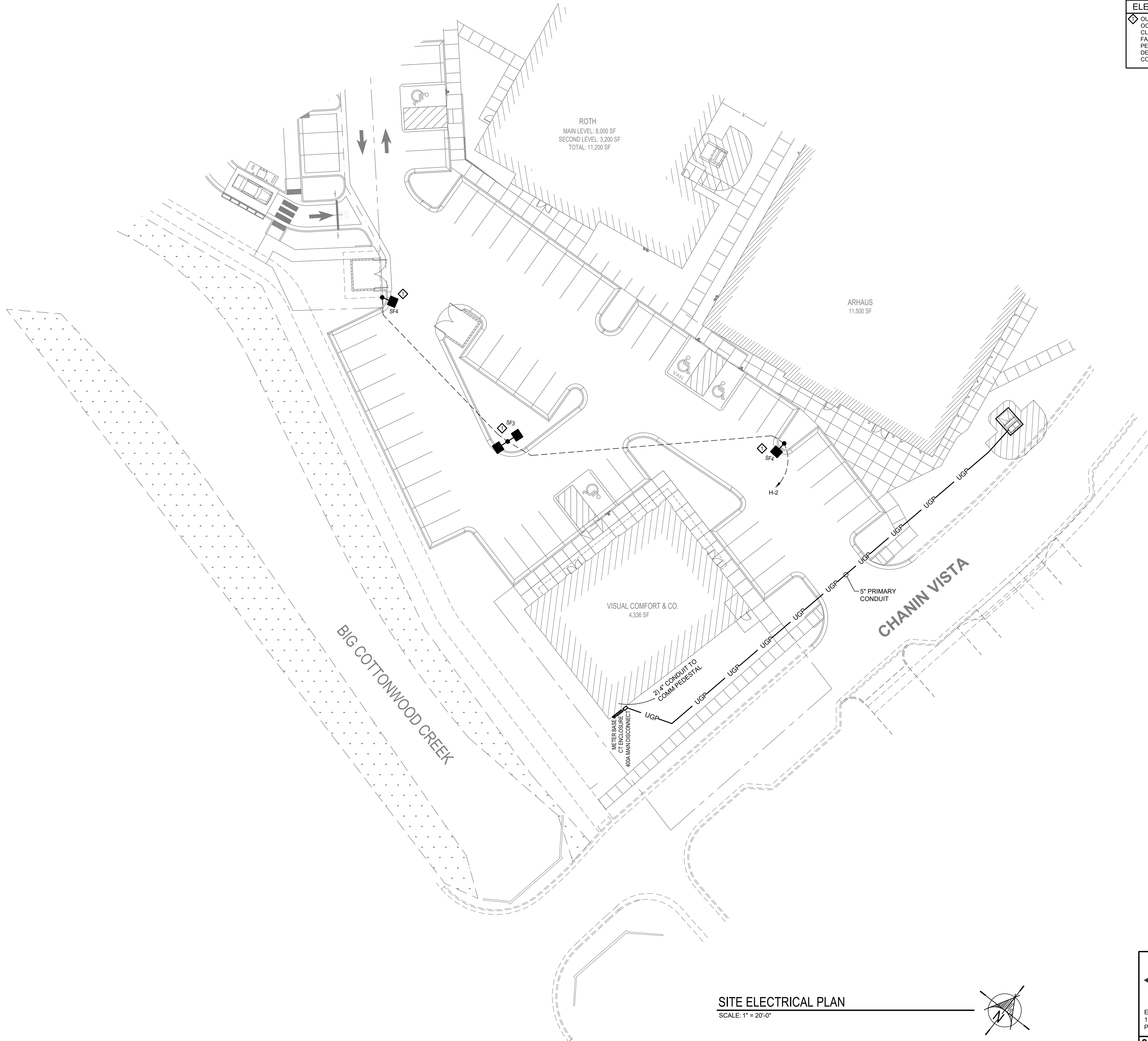
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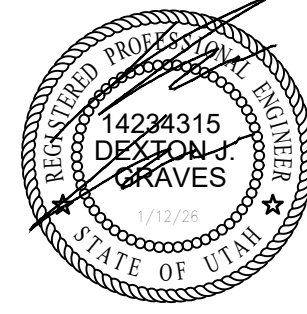
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ELECTRICAL KEYED NOTES:	
	OUTDOOR SENSORS OFFER PASSIVE INFRARED (PIR) OCCUPANCY SENSING AND A PHOTOCELL FOR CLOSED-LOOP DAYLIGHT SENSING. THE SENSORS ARE FACTORY PRESET TO DIM DOWN TO APPROXIMATELY 50 PERCENT POWER AFTER 15 MINUTES OF NO ACTIVITY DETECTED, AND THE PHOTOCELL FOR 'DUSK-TO-DAWN' CONTROL IS DEFAULT ENABLED.

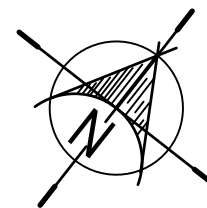


DATE

REVISION DESCRIPTION

VISUAL COMFORT - PAD (C) - SHELL
1888 EAST RODEO WALK DRIVE
HOLLADAY, UTAH
HOLLADAY HILLS - BLOCK C

SITE ELECTRICAL PLAN
SCALE: 1" = 20'-0"



ROYAL
ENGINEERING

ELECTRICAL
1837 S. EAST BAY BLVD.
PHONE: 801.375.2228

MECHANICAL
PROVO, UTAH 84606
FAX: 801.375.2676

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PROJ. #: 25204.00
DATE: 01/13/2026
DRAWN BY: DW
SCALE: As indicated

**PERMIT
SET**

E1.1

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C

B

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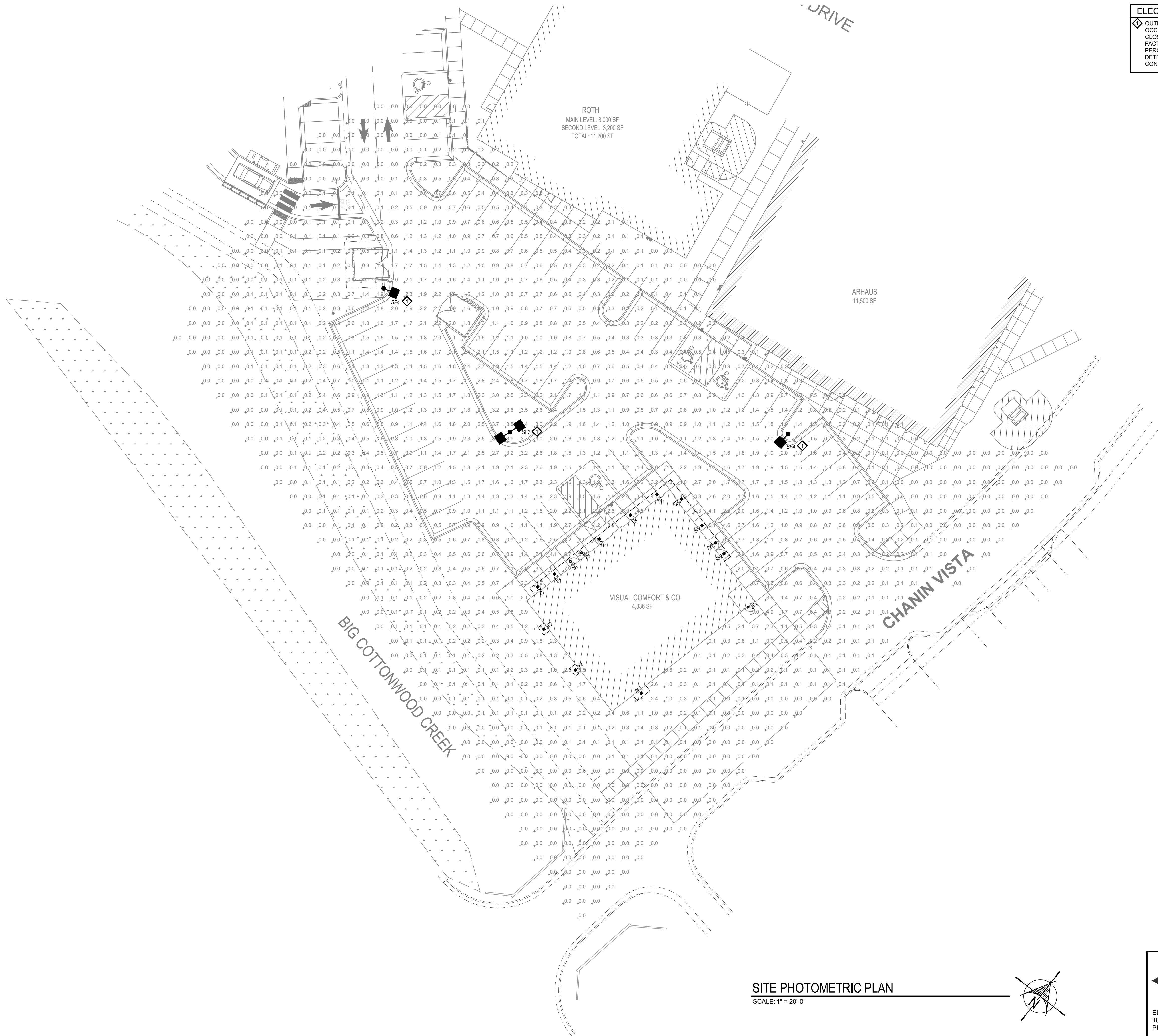
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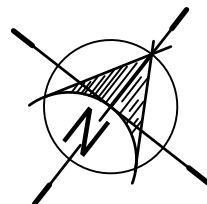
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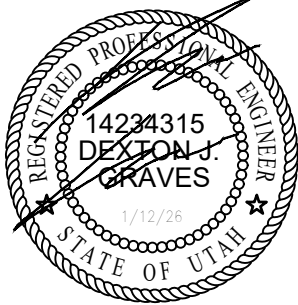


SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



ELECTRICAL KEYED NOTES:

- OUTDOOR SENSORS OFFER PASSIVE INFRARED (PIR) OCCUPANCY SENSING AND A PHOTOCELL FOR CLOSED-LOOP DAYLIGHT SENSING. THE SENSORS ARE FACTORY PRESET TO DIM DOWN TO APPROXIMATELY 50 PERCENT POWER AFTER 15 MINUTES OF NO ACTIVITY DETECTED, AND THE PHOTOCELL FOR "DUSK-TO-DAWN" CONTROL. IS DEFAULT ENABLED.



WOODBURY CORPORATION
2733 EAST PARLEY'S WAY, SUITE 300
SALT LAKE CITY, UTAH 84109
(801) 485-7770

DATE

REVISION DESCRIPTION

VISUAL COMFORT - PAD (C) - SHELL
1888 EAST RODEO WALK DRIVE
HOLLADAY, UTAH
HOLLADAY HILLS - BLOCK C

ROYAL ENGINEERING

ELECTRICAL
1837 S. EAST BAY BLVD.
PHONE: 801.375.2228

MECHANICAL
PROVO, UTAH 84606
FAX: 801.375.2676

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PROJ. #: 25204.00
DATE: 01/13/2026
DRAWN BY: DW
SCALE: As indicated

PERMIT
SET

E1.2

1

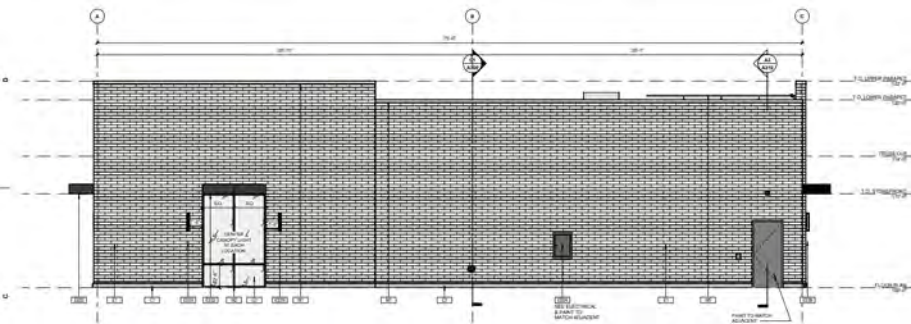
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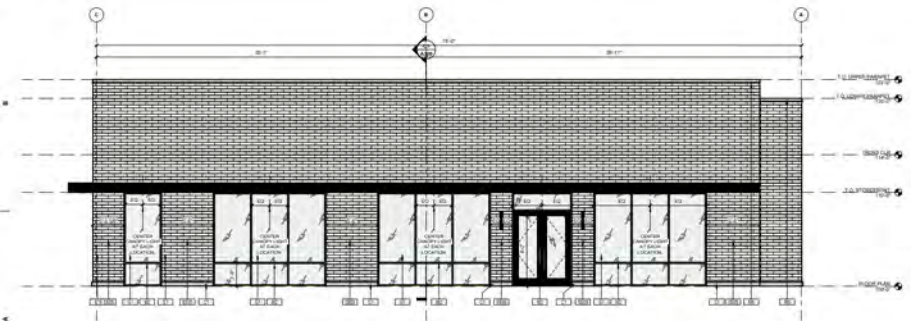
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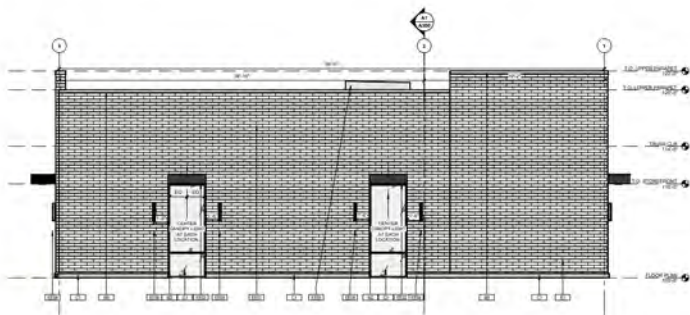
SOUTH ELEVATION
10' x 10'



NORTH ELEVATION
10' x 10'



01 EAST ELEVATION
 14'-7'-0"



02 WEST ELEVATION
 14'-7'-0"