

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, FEBRUARY 10, 2015 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

1. Pledge of Allegiance
2. Declaration of Conflicts of Interest
3. Approval of Meeting Minutes
 - A. January 13, 2015
4. Development Items
 - A. North Substation – Preliminary Plat; Public Hearing, Action Item

The north substation, located in The Ranches south of the golf course reservoir and north of the Ridley’s Parkside developments, is being included in the sale of the power company to Rocky Mountain Power. Included with the substation property will be additional property to the east and the west for future substation expansion and potential equipment storage, including property beneath the power lines. Combining these properties results in one 6.3-acre parcel.
 - B. Public Works Property – Preliminary Plat; Public Hearing, Action Item

The subdivision creates a 2.2-acre parcel (the public works parcel to be sold) and a 91.51-acre parcel that includes the City’s Energy building and yard, the wastewater treatment facilities, and future expansion areas.
 - C. South Substation – Preliminary Plat; Public Hearing, Action Item

The south substation, located along Lake Mountain Road, northeast of the Pioneer Addition neighborhood, is being included in the sale of the power company to Rocky Mountain Power.
 - D. Eagle Top Phase 2 – Preliminary Plat; Public Hearing, Action Item

The proposed Eagle Top Phase II subdivision is 0.629 acres, includes 4 lots and is located next to the existing Eagle Top subdivision.
 - E. Evans Ranch Phase A – Preliminary Plat; Public Hearing, Action Item

This plat includes 26 lots on 10.67 acres that were included on the approved Evans Ranch Master Development Plan. The project includes 3.54 acres of open space.
 - F. Oquirrh Mountain Phase A – Preliminary Plat; Public Hearing, Action Item

The project is located to the south of the Lone Tree subdivision and to the west of Pony Express Parkway. This 12.06 acre plat includes .76 acres of open space and 50 lots with an average size of 6,709 square feet.
 - G. AUB Chapel– Concept Plan; Discussion Item

The proposed AUB Chapel is located in the Meadow Ranch Plat 1 Subdivision on lot 138. The Meadow Ranch subdivision is north of SR 73 just west of Ranches Pkwy. The proposed application is for a Church/School site on the existing residential lot.

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5. Adjournment

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6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

COMMISSION MEMBERS: Present: John Linton, Miriam Allred, Wendy Komoroski, Daniel Boles, and Matthew Everett.

CITY STAFF PRESENT: Steve Mumford, Planning Director; Mike Hadley, City Planner; Ken Sorenson, City Planner; Jeremy Cook, City Attorney and Johna Rose, Deputy Recorder.

1. Pledge of Allegiance

None

2. Declaration of Conflicts of Interest

None

3. Approval of Meeting Minutes

A. December 9, 2014

MOTION:

Matthew Everett moved to approve the December 9, 2014 meeting minutes. Miriam Allred seconded the motion. Those voting aye: Miriam Allred, John Linton, Daniel Boles and Matthew Everett. Wendy Komoroski abstained. The motion passed with 4 ayes and 1 abstention.

4. Development Items

A. Spring Run – Phase A Preliminary Plat & Master Development Plan Amendment; Public Hearing, Action Items

An amendment to the Spring Run Master Development Plan and consideration of a 71-lot single-family preliminary plat. The original Master Development Plan was approved on July 19, 2011. The Spring Run Master Development Plan is located north of SR73 and east of Meadow Ranch, and surrounds a 160-acre Industrial property that includes the gravel pits. In total, the plan includes approximately 520 acres and provides a mix of residential densities, a town center area, commercial/mixed-use areas, a business park, an industrial area, an elementary school site, and parks and trails. A total of 1,077 residential units were approved with various densities.

Mike Hadley explained that the original Spring Run Master Development Plan was approved with some open space and a school site located in the southwest portion of the overall plan. Since that first approval Alpine School District found a new location for the elementary school. The applicant is amending the Master Development Plan to reflect a proposed church site and open space to replace the original approval. By replacing the school with a

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1 church there are an extra 19 lots added to the plan. This will not affect the density of the
2 project. City staff supports the proposed amendment to the overall plan.
3

4 The Spring Run preliminary plat consists of 71 single family residences with varied lot sizes.
5 The applicant will divide the preliminary plat into two separate final plats for approval by the
6 DRC committee. This plat abuts the Meadow Ranch subdivision to the west. Instead of
7 following the required buffering requirements for developments, 1 acre to road to ½ acre to
8 smaller lots, the City and applicant agreed to an alternative buffering plan. The applicant is
9 providing a 100 ft. open space buffer between Meadow Ranch lots and the Spring Run lots
10 with an 8 ft. walking trail meandering throughout the provided open space buffer. The trail
11 will connect with Hillside Dr. at the north of the plat, and Spring Run Pkwy (Ranches Pkwy
12 extension) to the east. The open space buffer area will be landscaped with native seed mixes
13 and irrigation. The minimum size lot that is allowed along the buffer area in Spring Run is
14 10,000 sq. ft.
15

16 Prior to approval of the first final plat in this phase, a plan for Neighborhood Park A will
17 need to be submitted and approved. At the time of plat recordation a landscape bond is
18 provided based on a fee for each lot in the plat. The bond will be used to construct the park.
19 There is also a monument sign required for the overall project. The applicant has mentioned
20 that they will install that with this phase of the project.
21

22 The applicant is providing a water model to determine pressure zones and available flows.
23 There is a question about the number of units available to be built on in the northern water
24 zone until additional capacity is available in the area.
25

26 Commissioner Linton stated that there is not a significant difference in the plan since the
27 Planning Commission action in July 2011.
28

29 *Commissioner Linton opened the public hearing at 6:11 p.m.*
30

31 Fred Peeples, resident, said that he reviewed the City plans and map and noticed the City has
32 no future master plans for placing fire stations. He wanted to encourage the City to look into
33 conducting a master plan review for fire stations.
34

35 *Commissioner Linton closed the public hearing at 6:13 p.m.*
36

37 **MOTION:** *Wendy Komoroski moved to recommend approval to the City*
38 *Council of the Spring Ran Phase A preliminary plat. Matthew*
39 *Everett seconded the motion. Those voting aye: Daniel Boles,*
40 *Wendy Komoroksi, Miriam Allred, John Linton and Matthew*
41 *Everett. The motion passed with a unanimous vote.*
42

43 **MOTION:** *Wendy Komoroski moved to recommend approval to the City*
44 *Council of the Spring Ran Master Development Plan*
45 *Amendment. Matthew Everett seconded the motion. Those*

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1 vehicles would include staff member vehicles, a transport van or vehicle for outings, and
2 visitor vehicles for family therapy.

3
4 The Federal Fair Housing Act prohibits a broad range of practices that discriminate
5 against individuals on the basis of race, color, religion, sex, national origin, familial
6 status, and disability. The act prohibits local government entities from making zoning or
7 land use decisions or implementing land use policies that exclude or otherwise
8 discriminate against protected persons, including individuals with disabilities. Persons
9 with disabilities are individuals with mental or physical impairments which substantially
10 limit one or more major life activities. The term “mental or physical impairment”
11 includes, among others, people with drug addiction, alcoholism, and mental illness.
12 “Persons with a disability” does not, however, include persons diagnosed with
13 kleptomania, pyromania, transvestism, pedophilia, exhibitionism or voyeurism, or any
14 history of sexual or physical assault, not resulting from physical impairments or other
15 disorders.

16
17 Current users of illegal controlled substances, persons convicted for illegal manufacture
18 or distribution of a controlled substance, sex offenders, and juvenile offenders, are also
19 not considered disabled under the Fair Housing Act. It also affords no protections to
20 individuals with or without disabilities who present a direct threat to the persons or
21 property of others. Determining whether someone poses such a direct threat must be
22 made on an individualized basis, however, and cannot be based on general assumptions
23 or speculation about the nature of a disability.

24
25 In order to house more than three unrelated adults at the home, the applicant is requesting
26 that “reasonable accommodations” be made and approved by the City. The Fair Housing
27 Act makes it unlawful to refuse to make “reasonable accommodations” in land use and
28 zoning policies and procedures where such accommodations may be necessary to afford
29 persons or groups of persons with disabilities an equal opportunity to use and enjoy
30 housing. Reasonable accommodations are determined on a case-by-case basis. Not all
31 requested modifications of rules or policies are reasonable. An accommodation is
32 “reasonable” under the Fair Housing Act unless it imposes an undue financial and
33 administrative burden on the City or requires a fundamental alteration in the City’s land
34 use and zoning scheme.

35
36 Eagle Mountain City Code defines “Family” to mean:

- 37 • Persons related by blood, marriage, adoption, guardianship, or under foster care
38 arrangements;
- 39 • Or up to three unrelated persons;
- 40 • Or up to two unrelated persons and their children, living together as a single
41 housekeeping unit.

42
43 If the application proposed three or fewer unrelated persons with a disability living in the
44 residential treatment center, no application would be required because the use would be a
45 permitted use in the residential zone and a business license would be granted by the City.

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1
2 Since the application proposes up to nine unrelated persons with a disability be allowed
3 to live in the home, the use is not a permitted use in a single family residential zone and is
4 not required to be treated as a permitted use under the provisions of the Utah Municipal
5 Land Use Act (10-9a-520, U.C.A., 2005).

6
7 The following are some requirements/items of note or concern for this proposal:

- 8
9 • Neighborhood Character – This home is on a 7,000 square-foot lot in the middle of a
10 neighborhood with similar-sized lots. The home sits approximately twelve feet away
11 from the homes to each side, and the backyard is only about 20 feet deep.

12
13 There are approximately 167 homes currently within a 1/4 mile of this property, with
14 future planned neighborhoods to the east and south

- 15
16 • Number of Residents – The applicant is requesting up to nine residents in the home,
17 in addition to staff members. This means that nine to ten adults will be living in this
18 home on a 24-hr basis.

- 19
20 • Resident Background - The facility is not allowed to house anyone with a history of
21 sexual or physical assault, voyeurism, felony crimes of possession with intent to
22 distribute a controlled substance, distribution of a controlled substance, a crime
23 involving the use of a weapon, firearm or violence, burglary, unlawful entry, or
24 sexual crimes.

- 25
26 • DHS - The applicant must comply with all requirements, regulations, and standards
27 of the Utah State Department of Human Services. Prior to obtaining a business
28 license the applicant will have to obtain a license from DHS for the facility. DHS
29 will perform an annual review of the facility, as well as unannounced inspections
30 based upon complaints and or issues. Noncompliance may result in fines, probation,
31 and revocation of the license.

- 32
33 • Separation - The City's one-mile separation radius from another existing group
34 home has been met with this proposal. The only other group home in the City is the
35 Utah Addiction Center (previously known as Intervention and the Ark of Eagle
36 Mountain) in the Westview Heights neighborhood.

- 37
38 • Nuisances & Danger - Any and all nuisances and potential threats of danger to
39 persons or property must be completely controlled. A thorough screening process is
40 required so that no person who may be a danger to neighbors will be accepted into
41 the home. The definition of a nuisance will vary, but nine to ten adults in a small
42 yard at one time could result in nuisance complaints, depending on their actions
43 while outside, or while being heard from inside the home. This issue was addressed

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1 in the original conditional use permit that required that no group therapy session be
 2 held outdoors.

- 3
- 4 • Parking – The current conditional use permit has two conditions for parking that
 5 restrict two vehicles to the driveway and does not allow street parking. The applicant
 6 has requested that these two conditions be removed to allow street parking and up to
 7 four vehicles in the driveway.
- 8
- 9 • Two sections of the City Code address parking for this type of facility. *Table*
 10 *17.75.120(c) Required Parking by Land Use* requires the following:

| | |
|----------------------|-------------------------|
| Residential Facility | 1 stall per patient bed |
|----------------------|-------------------------|

11 Likewise, Section 17.75.060-C-7 of the City Code requires a minimum of one
 12 parking stall for each resident of the group home in order to properly provide for
 13 staff and visitor parking. The proposed facility has only three stalls (parking in
 14 driveways behind garages is not considered a stall for purposes of the City Code)
 15 and therefore does not comply with this requirement.

16

17

18 Originally, the applicant requested a “reasonable accommodation” in order to obtain
 19 approval for a reduced number of parking stalls. The applicant had planned to place
 20 three vehicles in the garage, and had room for up to four vehicles in the driveway
 21 (parking stalls are 9’x20’; the driveway is approximately 36’ wide). According to
 22 the applicant’s submitted materials, the residents of the home would not have
 23 vehicles. The vehicles would include staff member vehicles, a transport van or
 24 vehicle for outings, and visitor vehicles for family therapy. Ultimately, the Planning
 25 Commission decided that three vehicles in the garage, two vehicles in the driveway,
 26 and no street parking was a “reasonable accommodation.”

27

28 The Planning Commission will have to consider whether the requested parking
 29 modifications would still be considered a “reasonable accommodation” and if these
 30 modifications will not cause an undue burden on the neighborhood.

- 31
- 32 • Supervision - The residents have to be properly supervised and monitored on a 24-
 33 hour basis. What is considered “proper supervision” would be up for debate, since a
 34 majority of each day there will only be one staff member for all eight residents.
- 35
- 36 • Violations - Conditions violated that are not enforced by DHS may lead to violation
 37 notices and fines by the City, and eventual revocation of the business license and
 38 conditional use permit. 1st violation = violation notice; 2nd violation w/in 18-month
 39 period = \$500.00 fine; 3rd violation w/in 18-month period = \$2,000 fine; 4th violation
 40 w/in 18-month period = revocation of conditional use permit and license.

41

42 He explained that the City has had only one complaint and the applicant resolved the
 43 issues and dismissed the client from the home. The City has contacted Jon Ortiz

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1 from DHS, and he said that DHS has no records of complaints or inspection
2 problems.

- 3
- 4 • Addictive Substances - All residents in the home must completely abstain from using
5 alcohol and controlled substances during the period that they are residents in the
6 group home. The house rules for this facility prohibit any use of tobacco and
7 caffeine as well.
 - 8
 - 9 • No Neighborhood Contact - No resident of the group home shall initiate any contact
10 of any kind with residents of the neighborhood except: (1) in the case of notice or
11 prevention of an emergency which may cause personal injury, death or substantial
12 property damage; (2) residents who are cleared by staff to attend local worship
13 services.

14

15 The increase from five (5) to nine (9) clients is also a concern. Increasing the maximum
16 amount of clients to eight (8) may be a more “reasonable accommodation” that would not
17 have as great an impact on the zoning and character of the surrounding neighborhood. If
18 the maximum number of clients remains under eight (8), this particular residential facility
19 would still be considered a “small group home, small group home” per the City’s
20 Definitions listed in the Municipal Code. If the residential facility were to increase to
21 nine (9) clients, it would then be considered a “large group home.” Above the threshold
22 of a small group home, it becomes questionable if the surrounding neighborhood should
23 be required to accommodate a large group home, considering the densities.

24

25 *Commissioner Linton opened the public hearing at 6:33 p.m.*

26

27 John Walsh, applicant’s attorney, stated that he was not there asking for a reasonable
28 accommodation. He is asking the City to comply with the Fair Housing Act and the
29 Americans with Disabilities Act. He also said that he is not asking for anything special or
30 unique. He is only asking to be treated the same way as anyone on the street as per the
31 Fair Housing Act. He said that Salt Lake City does not have Conditional Use Permits or
32 public hears for these types of group homes. Salt Lake City’s process is automatic for this
33 type of use, because it is governed by the ADA and the FHA. Because of the criteria the
34 applicant has to meet with the Federal government, it’s not up to the State, City or him to
35 say what should be allowed.

36

37 He stated that parking and the surveillance camera are a concern to him because it treats
38 Zion Recovery Center differently than everyone on the street. He said that the Eagle
39 Mountain City Code definition of a family excludes group homes. He said that the City
40 Code states that “a residential facility established as a single housekeeping unit and
41 shared by eight or more unrelated persons, exclusive of staff, who require assistance and
42 supervision. A group home is licensed by the state of Utah and provides counseling,
43 therapy and specialized treatment through this temporary living arrangement, along with
44 habilitation or rehabilitation services for physically or mentally disabled persons”. So a
45 group home is eight or more residents by the founding fathers of Eagle Mountain. The

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1 Code also states that a large group home is licensed by the state of Utah, so the State
2 licenser (John Ortiz) is the one that should put the cap on how many residents are allowed
3 in the group home. He invited the dispute from the Commissioner about not allowing
4 nine residents within the group home. His solution was approving eight now and then if
5 the State licensers approve nine then the City should allow nine. The reason the applicant
6 is asking for nine is because the State licenser said that the group home can have nine.

7
8 Emily Koford, 4666 Foxwood Dr, started building her home in April 2013 and had to
9 decide to take a financial loss or continue building their home. She keeps hearing about
10 reasonable accommodations from the applicant and their attorney. The applicant has
11 talked about how they want to be treated the same as everyone else, the neighbors are just
12 asking for the same consideration. She stated that the neighborhood has been very
13 accommodating. She is concerned about the security camera. She said if the group home
14 already has one then it is not a financial burden on the applicant to keep the camera. She
15 felt that the camera would benefit the group homes as much as the neighborhood. She
16 also said that she moved into a residential neighborhood and would like to keep it
17 residential. She would not like the street to turn into a parking lot.

18
19 David Ridge, 4692 Foxwood Dr, was concerned about parking. He stated that no other
20 neighbor has eight or nine cars in their driveway. He asked Jeremy Cook how the
21 business license statute affects the group home. Mr. Cook said that it is applicable as a
22 business and is treated the same. But that is like a first step analysis, the City can't treat
23 them differently than any other business and we can't use the business licensing code to
24 prevent the group home from locating to Eagle Mountain. The second step analysis is that
25 the group home can request reasonable accommodations to those business licensing
26 provisions. Parking is one thing that the City looks at when approving a residential
27 business license, if there is adequate parking and if it would change the fundamental
28 character or zoning of the neighborhood. Mr. Ridge was fine with only the five resident
29 that were approved for the group home. He wanted the City to know that there are no
30 bedrooms in the newly finished basement of the group home. He thought that there was a
31 requirement for one resident bed per parking stall.

32
33
34 Greg Strong, 4676 Campbell Cir., asked the City to consider density when making
35 reasonable accommodations for the neighborhoods.

36
37 Eileen Strong, 4676 Campbell Cir., treats her home differently now that the group home
38 is in the neighborhood. She said that when she packs for a trip she has to put her garage
39 door down to feel comfortable. She worries that the residents of the home can see her
40 packing and know that she is leaving for the weekend. The only thing that makes the
41 home bearable is that it looks like every other home in the neighborhood. The applicant's
42 attorney says that they want to be treated like everyone else on the street. No other home
43 in the neighborhood has nine adults living in it. She feels that nine residents in the home
44 is excessive and will bring a difference to the group home. The excess cars will make the
45 home look abnormal.

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1
2 Lisa Huston, 4674 Foxwood Dr., is the home's next door neighbor. She said that there
3 has been incidents and that she has spoken to John Ortiz. She is concerned with allowing
4 parking on the street because that always means parking in front of her home. She feels
5 that the City has already made enough reasonable accommodations.
6

7 *Commissioner Linton closed the public hearing at 6:55 p.m.*
8

9 Commissioner Boles asked if the residents of the group home are allowed visitors and
10 what type of traffic is generated. Matt Jacobson, Executive Director of Zion Recovery
11 Center, said that they do not allow visitors. The only time visitors will come is for family
12 therapeutic therapy sessions. They have had family members park on the street, and they
13 had to go out and ask the family member to park in the driveway. That is why they are
14 asking for an reasonable accommodations when it comes to parking. He explained that
15 everyone that comes to the home has to have an appointment and come at a reasonable
16 hour.
17

18 Commissioner Komoroski asked why Zion Recovery Center wants to remove the security
19 cameras if they are already in place. Mr. Walsh said that it's not legally allowed in the
20 Fair Housing Act. They find the cameras an unnecessary burden.
21

22 Commissioner Allred asked what kind of hardship they are having with parking. Mr.
23 Walsh said that the group home wants to be treated like everyone else. The home
24 conducts AA meetings on Sunday morning and people come in mass to be a part of this
25 program.
26

27 Commissioner Everett asked how many time a week family therapy clients are coming
28 and going from the home. Benjamin Jones, Clinical Program Director, said that group
29 home clients are not allowed a vehicle. Each client is allowed one family therapy session
30 a week, with a maximum of two cars per family therapy session. For the Sunday AA
31 meeting session there can be a maximum of four cars. He said clients don't understand
32 why they have to park in the driveway when they can park on a public street.
33

34 Mr. Jones said that the cameras are a concern because it makes their clients feel like they
35 are in lock down. Commissioner Linton explained that he was on the Planning
36 Commission when the group home was approved, and his understanding was that the
37 camera system was much more for the group home's safety than the neighborhood.
38

39 Commissioner Linton asked how many staff members' cars are at the home. Mr. Jones
40 said there are two to three cars during the day and one car at night.
41

42 Mr. Cook asked if it is a fair statement to say that the regulations on parking haven't
43 impaired their ability to operate the facility; that it is more of a nuisance. Mr. Jones said
44 that because of the current restrictions that only allow two cars in the driveway, it does
45 impair their ability to operate. Mr. Jacobson said because of the restriction they have had

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1 to pick up clients and bring them to the facility. He said that it does impair things that
2 they would like to do in the facility. Commissioner Allred asked if there would be
3 significant issues parking if the City allows the four cars to be parked in the driveway.
4 Mr. Jacobson said that it would help relieve the parking, but the issue is that the group
5 home is not being treated like everyone else on the street.
6

7 Commissioner Allred explained that it is because the home is not as desirable in the
8 community as they would like it to be. The Commissioner are trying to make
9 accommodations for both ends.
10

11 Mr. Cook explained that some of the statements made by Mr. Walsh are not entirely
12 correct. The family definition in the City Code is three or more persons and excludes the
13 group homes. So that means they are families but it excludes them from the definition.
14 He was surprised by the statement that the group home is not requesting reasonable
15 accommodations, he believes that they are requesting reasonable accommodations. The
16 business license statute are applicable in this case, so the City is allowed to look at
17 restricting parking and surveillance. The City is already accommodating more than the
18 City Code allows. He also explained that there are two definition in the City Code for
19 group homes Mr. Walsh only gave the definition for a large group home. The City statute
20 allows up to eight individuals in a group home. He believes eight residents in the home is
21 reasonable. He also said that once the home gets up to nine residents, with the parking
22 and surveillance the City is getting back into a gray area.
23

24 Commissioner Boles asked if there was leeway with the City code on beds per parking
25 stall. Mr. Mumford read the code 17.75.060 C. A. 7. "parking plan and improvement
26 schedule shall be submitted, including a minimum of one parking stall for each resident
27 of the group home in order to properly provide for staff and visitor parking, landscaping
28 to screen the parking areas, and a schedule for completion of the additional parking and
29 landscaping. A pickup and delivery area shall be provided if appropriate. Parking areas
30 shall not be allowed to change the residential character of the property." He stated that
31 there is no leeway in this section of the Code or any other section of the City Code. So
32 Zion Recovery Center is asking for a reasonable accommodation.
33

34 He also read part of a joint statement of the Department of Justice and Department of
35 Housing and Urban Development which says:
36

37 What is a reasonable accommodation under the Fair Housing Act?
38

39 What is "reasonable" in one circumstance may not be "reasonable" in another. For
40 example, suppose a local government does not allow groups of four or more
41 unrelated people to live together in a single-family neighborhood. A group home for
42 four adults with mental retardation would very likely be able to show that it will
43 have no more impact on parking, traffic, noise, utility use, and other typical concerns
44 of zoning than an "ordinary family." In this circumstance, there would be no undue
45 burden or expense for the local government nor would the single-family character of

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1 the neighborhood be fundamentally altered. Granting an exception or waiver to the
2 group home in this circumstance does not invalidate the ordinance. The local
3 government would still be able to keep groups of unrelated persons without
4 disabilities from living in single-family neighborhoods. By contrast, a fifty-bed
5 nursing home would not ordinarily be considered an appropriate use in a single-
6 family neighborhood, for obvious reasons having nothing to do with the disabilities
7 of its residents. Such a facility might or might not impose significant burdens and
8 expense on the community, but it would likely create a fundamental change in the
9 single-family character of the neighborhood. On the other hand, a nursing home
10 might not create a "fundamental change" in a neighborhood zoned for multi-family
11 housing. The scope and magnitude of the modification requested, and the features of
12 the surrounding neighborhood are among the factors that will be taken into account
13 in determining whether a requested accommodation is reasonable.

14
15 Can a local government consider the feelings of neighbors in making a decision
16 about granting a permit to a group home to locate in a residential neighborhood?
17

18 For example, neighbors and local government officials may be legitimately
19 concerned that a group home for adults in certain circumstances may create more
20 demand for on-street parking than would a typical family. It is not a violation of the
21 Fair Housing Act for neighbors or officials to raise this concern and to ask the
22 provider to respond. A valid unaddressed concern about inadequate parking facilities
23 could justify denying the application, if another type of facility would ordinarily be
24 denied a permit for such parking problems. However, if a group of individuals with
25 disabilities or a group home operator shows by credible and un rebutted evidence that
26 the home will not create a need for more parking spaces, or submits a plan to provide
27 whatever off-street parking may be needed, then parking concerns would not support
28 a decision to deny the home a permit.

29
30 He also explained that eight is a very standard number of residents in a group home. The
31 City and the City Attorney did extensive research back in 2008 with the Ark of Eagle
32 Mountain and also with this facility back in 2013.

33
34 Commissioner Everett was concerned about removing the street parking restriction
35 completely because it would become more of the standard. He also feel that changing
36 the amount of residents in the home from five to nine changes the fundamental character
37 of the neighborhood.

38
39 Commissioner Allred felt that the camera could help with security for everyone. She also
40 felt that four vehicles allowed in the driveway would help them avoid parking in the
41 street. Commissioner Komoroski said that she would prefer four cars to be parked in the
42 driveway than on the street.

43
44 Commissioner Boles said if they allow the four vehicles in the driveway then that should
45 bring the number of residents in the home to seven.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, JANUARY 13, 2015 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

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MOTION:

Wendy Komoroski moved to approve the Zion Recovery Center Conditional Use Permit with the following conditions:

- a. A maximum of 4 vehicles may be allowed in the driveway at any time. Street parking only when there is no available driveway parking.*
- b. Therapy sessions may not take place outside.*
- c. A maximum number of eight residents.*
- d. The applicant must allow DHS and/or the City access to the facility for inspections, when warranted by complaints or suspicion of noncompliance with City Code.*
- e. Security surveillance or camera must be installed monitoring the front entrance of the home, also be provided with a 30 day loop and maintained for access for security reasons.*

Miriam Allred seconded the motion. Those voting aye: Daniel Boles, Wendy Komoroksi, Miriam Allred, and John Linton. Those voting nay: Matthew Everett. The motion passed with a 4 to 1 vote.

5. Discussion Items

A. Code Amendments

6. Adjournment

The meeting was adjourned at 7:45 p.m.

APPROVED BY THE PLANNING COMMISSION ON FEBURARY 10, 2015.

Steve Mumford, Planning Director



EAGLE
MOUNTAIN

EAGLE MOUNTAIN CITY
Planning Commission Staff Report

EBAA

Project: North Substation Parcel
Applicant: Eagle Mountain City
Type of Action: Action Items; Public Hearings; Recommendation to the City Council

NORTH SUBSTATION PRELIMINARY PLAT

The north substation, located in The Ranches south of the golf course reservoir and north of the Ridley's Parkside developments, is being included in the sale of the power company to Rocky Mountain Power. Included with the substation property will be additional property to the east and the west for future substation expansion and potential equipment storage, including property beneath the power lines. Combining these properties results in one 6.3-acre parcel.



Recommended Motion

I move that the Planning Commission recommend approval of the North Substation Preliminary Plat to the City Council.

PUBLIC WORKS PRELIMINARY PLAT

The public works building, located at 2545 N. Pony Express Parkway, is being included in the sale of the power company to Rocky Mountain Power, since their employees need an office and storage bays until they eventually build another building. In preparation for this sale, we are proposing to subdivide the property to create a separate lot for the public works building, and to join together the remainder of the City's property in this area into one lot.

The subdivision creates a 2.2-acre parcel (the public works parcel to be sold) and a 91.51-acre parcel that includes the City's Energy building and yard, the wastewater treatment facilities, and future expansion areas. Lot #2 contains some strange curves on the south side, which are designed so that the vehicles servicing the Wastewater Treatment facilities can turn around, while staying on City owned property.

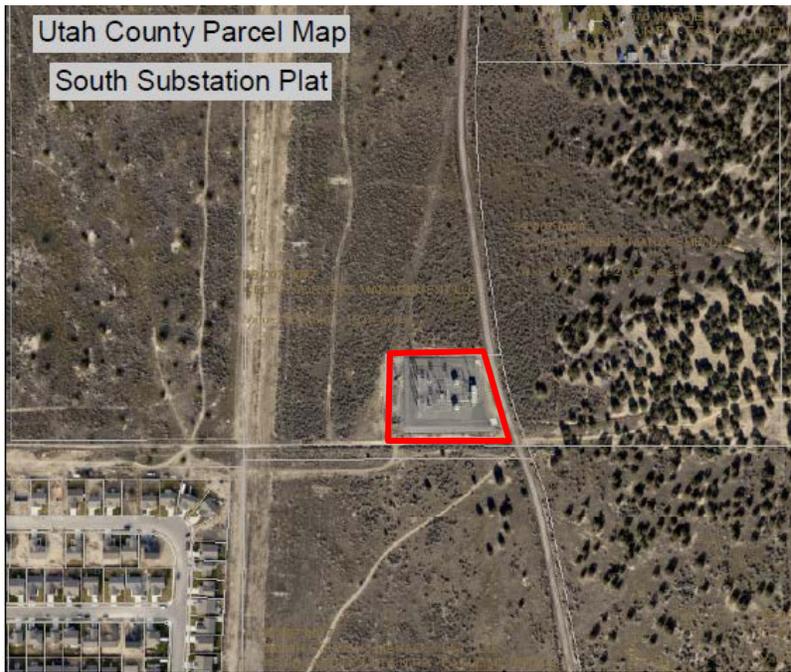


Recommended Motion

I move that the Planning Commission recommend approval of the Public Works Preliminary Plat to the City Council.

SOUTH SUBSTATION PRELIMINARY PLAT

The south substation, located along Lake Mountain Road, northeast of the Pioneer Addition neighborhood, is being included in the sale of the power company to Rocky Mountain Power. This plat is simply to further define the boundaries of the parcel and to keep the Lake Mountain Road portion of the property in the City's hands as a public right-of-way. The City Attorney is still considering whether a plat is necessary for this property, so we don't yet have the plat in hand. If we do not receive the plat by the time of the meeting, we recommend that this item be removed from the agenda.



Recommended Motion

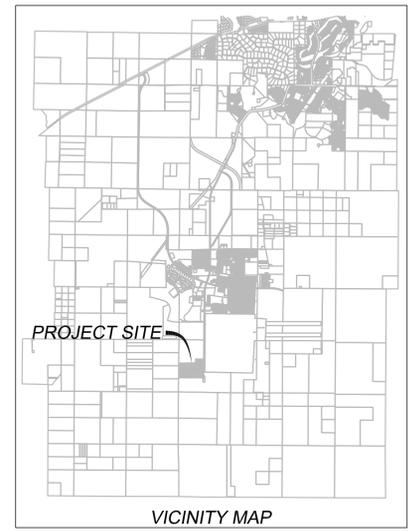
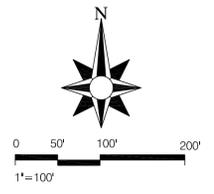
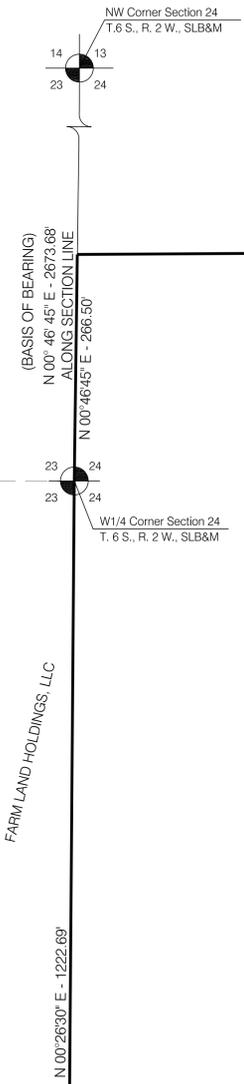
I move that the Planning Commission recommend approval of the South Substation Preliminary Plat to the City Council.

ATTACHMENTS:

- Proposed plats

*Note – the plats will be reviewed and refined by the Development Review Committee (DRC) and City Attorney prior to final plat approval and recording.

**A SUBDIVISION IN EAGLE MOUNTAIN CITY
PUBLIC WORKS SUBDIVISION**
A SUBDIVISION LOCATED IN THE W 1/2 OF SECTION 24,
TOWNSHIP 6 SOUTH, RANGE 2 WEST
SALT LAKE BASE & MERIDIAN



MONTE VISTA RANCH, LLC
N 89°39'56\"/>

FARM LAND HOLDINGS, LLC

LOT 1
3,986,133 sq.ft.

MATCH LINE - SEE SHEET 2 OF 2

N 89°59'24\"/>

MONTE VISTA RANCH, LLC

SHEET 1 OF 2

H&H ENGINEERING & SURVEYING, INC
233 E. MAIN ST., STE 2 - AMERICAN FORK, UT 84003
TEL: (801) 756-2488 FAX: (801) 756-3499

SURVEYOR'S CERTIFICATE

I, VICTOR E. HANSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 176695 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

VICTOR E. HANSEN RLS 176695 _____ DATE _____

BOUNDARY DESCRIPTION

A parcel of land located in the West Half of Section 24, Township 6 South, Range 2 West, Salt Lake Base and Meridian, Located in Eagle Mountain City, Utah, more particularly as described as follows:

Beginning at the West Quarter Corner of Section 24, Township 6 South, Range 2 West, Salt Lake Base and Meridian, and running thence N00°46'45\"/>

Containing 93.704 acres, more or less.

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20 _____.

OWNER

OWNER

OWNER

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH

ON THE _____ DAY OF _____, A.D. 20 _____, PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF EAGLE MOUNTAIN, UTAH COUNTY ACCEPTS THIS PLAT FOR RECORDATION. THIS PLAT IS OFFERED FOR FILING AND RECORDING PURSUANT TO SECTION 8-3-1 UTAH CODE ANNOTATED 1953. ALL SECTIONS FOR BURIAL LOTS SHOWN HEREON ARE HELD FOR DISPOSAL BY EAGLE MOUNTAIN CITY.

APPROVED THIS _____ DAY OF _____, A.D. 20 _____.

APPROVED: _____ ATTEST: _____
MAYOR (SEE SEAL BELOW) CLERK/RECORDER (SEE SEAL BELOW)

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20 _____, BY THE CITY ENGINEER FOR EAGLE MOUNTAIN CITY.

CITY ATTORNEY APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20 _____, BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY.

CITY ATTORNEY _____

PUBLIC WORKS SUBDIVISION

A SUBDIVISION LOCATED IN THE W 1/2 OF SECTION 24,

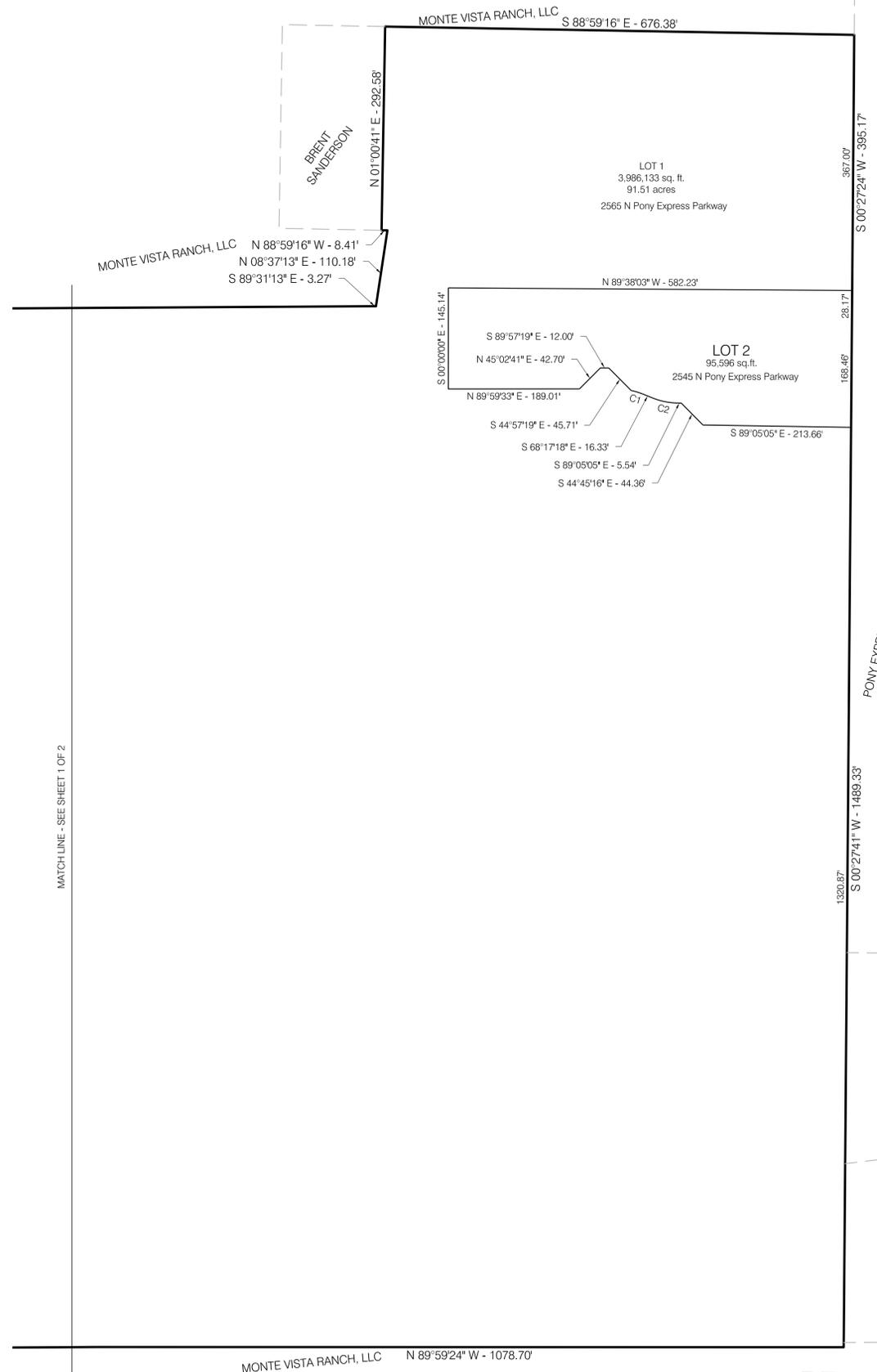
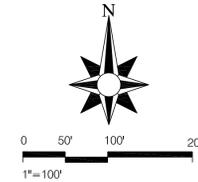
TOWNSHIP 6 SOUTH, RANGE 2 WEST, SLB&M

EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH

SCALE 1\"/>

| | | | |
|-----------------|--------------------|---------------------------|---------------------|
| SURVEYOR'S SEAL | NOTARY PUBLIC SEAL | CITY-COUNTY ENGINEER SEAL | CLERK-RECORDER SEAL |
| | | | |

A SUBDIVISION IN EAGLE MOUNTAIN CITY
 PUBLIC WORKS SUBDIVISION
 A SUBDIVISION LOCATED IN THE NW 1/4 OF SECTION 24,
 TOWNSHIP 6 SOUTH, RANGE 2 WEST
 SALT LAKE BASE & MERIDIAN



MATCHLINE - SEE SHEET 1 OF 2

| Curve Table | | | | | | |
|-------------|--------|---------|---------|-----------|-----------------|--------------|
| Curve # | Length | Tangent | Radius | Delta | Chord Direction | Chord Length |
| C1 | 16.89' | 8.46' | 100.00' | 9°40'32" | S73°07'34"E | 16.87' |
| C2 | 36.30' | 18.35' | 100.00' | 20°47'47" | S78°41'11"E | 36.10' |

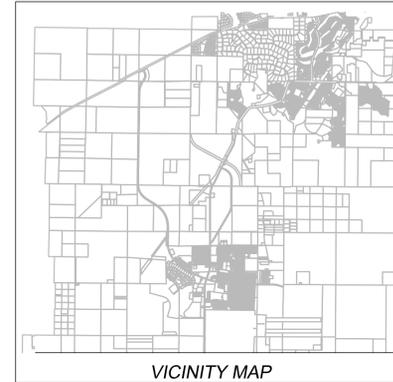
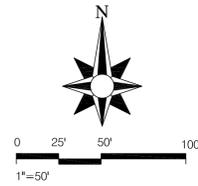
SHEET 2 OF 2

H&H ENGINEERING & SURVEYING, INC
 233 E. MAIN ST., STE 2 - AMERICAN FORK, UT 84003
 TEL: (801) 756-2488 FAX: (801) 756-3499

| | | | |
|-----------------|--------------------|---------------------------|---------------------|
| SURVEYOR'S SEAL | NOTARY PUBLIC SEAL | CITY-COUNTY ENGINEER SEAL | CLERK-RECORDER SEAL |
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A SUBDIVISION IN EAGLE MOUNTAIN CITY
NORTH SUBSTATION PLAT

A SUBDIVISION LOCATED IN THE NE 1/4 OF SECTION 20,
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH



VICINITY MAP

NE Corner Section 20
Record Location (Not Found)
T. 5 S., R. 1 W., SLB&M



N 00°12'28" E - 2673.02'
Record Bearing & Distance

STAR WEST EAGLE MOUNTAIN PROPERTIES

S 89°49'30" E - 752.22'

EAGLE MOUNTAIN CITY

N 34°08'21" E - 379.88'

LOT 1
274,289 sq.ft.

N 89°17'48" W - 964.03'

PONY EXPRESS LAND DEVELOPMENT

PONY EXPRESS LAND DEVELOPMENT

S 00°12'28" W - 323.54'
DCP SARATOGA



(BASIS OF BEARING)
S 00°11'38" W - 2676.30'



SE Corner Section 20
T. 5 S., R. 1 W., SLB&M

H&H ENGINEERING & SURVEYING, INC
45 N. 200 E, STE 2 - AMERICAN FORK, UT 84003
TEL: (801) 756-2455 FAX: (801) 756-3499

SURVEYOR'S CERTIFICATE

I, VICTOR E. HANSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 176695 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

VICTOR E. HANSEN RLS 176695

DATE _____

BOUNDARY DESCRIPTION

A parcel of land located in the Northeast Quarter of Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian, Located in Eagle Mountain City, Utah, more particularly as described as follows:

Beginning at the East Quarter Corner of Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian, and running thence N89°17'48"W 964.03 feet along the Quarter Section Line; thence N34°08'21"E 379.88 feet to the Southerly line of the Star West Eagle Mountain Property as described in Entry 62704-2011 and recorded in the Office of the Utah County Recorder; thence S89°49'30"E 752.22 feet along said Star West Eagle Mountain Property to the East line of said Section 20; thence S00°12'28"W 323.54 feet to the point of beginning.

Containing 6.297 acres, more or less.

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

OWNER

OWNER

OWNER

OWNER

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH

ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC
(SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF EAGLE MOUNTAIN, UTAH COUNTY ACCEPTS THIS PLAT FOR RECORDATION. THIS PLAT IS OFFERED FOR FILING AND RECORDING PURSUANT TO SECTION 8-3-1 UTAH CODE ANNOTATED 1953. ALL SECTIONS FOR BURIAL LOTS SHOWN HEREON ARE HELD FOR DISPOSAL BY EAGLE MOUNTAIN CITY. APPROVED THIS _____ DAY OF _____, A.D. 20____.

APPROVED: _____ ATTEST: _____

MAYOR (SEE SEAL BELOW)

CLERK/RECORDER (SEE SEAL BELOW)

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY ENGINEER FOR EAGLE MOUNTAIN CITY.

CITY ENGINEER _____

CITY ATTORNEY APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY.

CITY ATTORNEY _____

NORTH SUBSTATION PLAT

A SUBDIVISION LOCATED IN THE NE 1/4 OF SECTION 20,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SLB&M
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH
SCALE 1"=50 FEET

SURVEYOR'S SEAL

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

CLERK-RECORDER SEAL



EAGLE MOUNTAIN CITY
Planning Commission Staff Report

FEBRUARY 10, 2015

Project: **Eagle Top Phase II – Preliminary and Final Plats**
Applicant: Bryce Hansen / Jerry Dinkleman
Request: Preliminary Plat Approval
 Final Plat – Recommendation of Approval
Type of Action: Action Items

PREFACE

The proposed Eagle Top Phase II subdivision is located next to the existing Eagle Top subdivision. Essentially, the proposed project is a build out of the Eagle Top subdivision, but is being processed as a combined preliminary and final plat. Thus, this subdivision is subject to all requirements of any new residential development and does not carry over any open space dedications or improvements from the existing Eagle Top subdivision.

Surrounding properties

- North – Natural open space dedicated to the City
- West – Skyline Ridge 1B & 1C single-family lots (currently under construction).
- East – Eagle Top single-family lots
- South – Kiowa Valley single-family lots

PROPOSAL

Phase II is proposed as follows:

- Total Area: 0.629 Acres
- Average Lot Size: 6851 sq. ft.
- Largest Lot Size: 9795 sq. ft.
- Smallest Lot Size: 5703 sq. ft.
- Overall Density: 6.36 lots per acre
- Total # of Lots: 4

Residential Lots

All of the proposed lots in this subdivision have a frontage of 55' or greater and comply with the required setbacks as follows:

- Front: 15 feet
- Driveway: 22 feet
- Side: 15 feet combined, minimum 5 feet
- Corner Side: 15 feet
- Rear: 20 feet



Bonus Density

This project does not meet the bonus density standards. The base density for this zone is two dwelling units per acre, and the proposed project is 4 dwelling units per acre. To meet the requirements for the additional 2 dwelling units/acre, Staff suggests that the applicant provides front and side yard landscaping which will allow one dwelling unit per acre, and to utilize masonry materials which allows an additional dwelling unit per acre. Other options used to meet the bonus density requirements are available in the Code.

Parks & Open Space

The Code requires "improved open space," which includes grass, trees, and other improvements that meet the requirements in Chapter 16.35 of the Code. In order to count towards this requirement the area must be improved and must be less than 15% slope. The applicant has not provided any improved space on the provided plans and may elect to pay a park fee-in-lieu at \$5.75 sq. ft.

- Park fee-in-lieu = \$5.75/sq ft of required improved open space. Project Acres x 8% (if 0.629 acres is the total, then times 8% = 0.05032 acres = 2,191.93 square feet. \$5.75 x 2,191.93 = \$12,603.65.

Roads

The road and associated curb and gutter have already been completed through previous development in the area. However, the developer will need to complete the sidewalk along Golden Eagle Road and provide an inlet for the storm drain ditch where it meets Golden Eagle Road.

Utilities

The area has existing utilities, but the developer will have to confirm that utilities are stubbed to each lot.

RECOMMENDATION SECTION

The following are the recommended conditions of approval for the Eagle Top Phase II Preliminary and Final Plat:

- 1) Provide front and side yard landscaping, and utilize masonry materials to meet the bonus density requirements for 4 dwelling units per acre.
- 2) Pay park fee-in-lieu of \$12,603.65.
- 3) Demonstrate proper drainage from hillside north of project.
- 4) Install sidewalk along Golden Eagle Road.
- 5) Install inlet for storm drain ditch where it meets Golden Eagle Road.

Recommended Motion

The recommended motion is provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission approve the SilverLake preliminary plat and recommend to the City Council approval of the Eagle Top Phase II Final Plat with the conditions listed in the staff report.

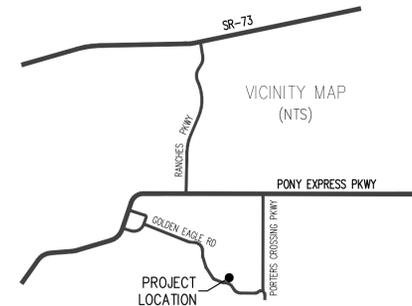
ATTACHMENTS:

- Proposed Preliminary and Final Plat

EAGLE TOP SUBDIVISION PHASE 2

A SINGLE FAMILY DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 29,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN,
UTAH COUNTY, EAGLE MOUNTAIN CITY

EAST QUARTER CORNER
SEC. 29, T5S, R1W, SL&M
MONUMENT POSITION
REESTABLISHED FROM UTAH
COUNTY RECORD INFORMATION



LEGEND

| | |
|--|-----------------|
| | SECTION LINE |
| | BOUNDARY LINE |
| | LOT LINE |
| | ROAD CENTERLINE |
| | ADJOINER LINE |
| | EASEMENT LINE |
| | SETBACK LINE |

SURVEYOR'S CERTIFICATE
I, KURT FALKENTHAL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, HOLDING CERTIFICATE NUMBER 7281046, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNER(S), I HAVE DIRECTLY SUPERVISED A SURVEY OF THE PARCEL(S) OF LAND REPRESENTED HEREON AND HAVE SUBDIVIDED SAID PARCEL(S) OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS: "EAGLE TOP SUBDIVISION PHASE 2" AND THAT THE SAME HAS BEEN CORRECTLY STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

KURT FALKENTHAL
UTAH PLS NO. 7281046

BOUNDARY DESCRIPTION
A PARCEL OF LAND SITUATE IN THE NW1/4SE1/4 AND SW1/4SE1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, STATE OF UTAH. THE BOUNDARIES OF SAID PARCEL OF LAND ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 14 OF THE EAGLE TOP SUBDIVISION AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER AS ENTRY NO. 8778:2005, SAID CORNER IS 1496.63 FEET N.00°37'04"W. ALONG THE EASTERLY LINE OF SAID SECTION 29 AND 1330.85 FEET N.89°22'26"W. FROM THE FOUND MONUMENT REPRESENTING THE SOUTHWEST CORNER OF SAID SECTION 29 (NOTE: THE BASIS OF BEARING IS N.00°37'04"W. ALONG THE EASTERLY LINE OF SAID SECTION 29 FROM THE FOUND MONUMENT REPRESENTING THE SOUTHWEST CORNER AND THE REESTABLISHED POSITION OF THE EAST QUARTER CORNER OF SAID SECTION 29), SAID CORNER IS ALSO THE BEGINNING OF A 325.00-FOOT RADIUS CURVE TO THE LEFT; AND RUNNING THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF EAGLE TOP COURT THE FOLLOWING THREE (3) COURSES AND DISTANCES TO THE NORTHEASTERLY RIGHT OF WAY LINE OF GOLDEN EAGLE ROAD: 1. SOUTHWESTERLY 91.98 FEET ALONG THE ARC OF SAID CURVE THROUGH A DELTA ANGLE OF 16°12'28" (NOTE: CHORD TO SAID CURVE BEARS S.46°48'35"W. FOR A DISTANCE OF 91.68 FEET); 2. S.38°42'06"W. 121.24 FEET TO THE BEGINNING OF A TANGENT 15.00-FOOT RADIUS CURVE TO THE RIGHT; 3. WESTERLY 21.82 FEET ALONG THE ARC OF SAID CURVE THROUGH A DELTA ANGLE OF 83°20'24" (NOTE: CHORD TO SAID CURVE BEARS S.80°22'18"W. FOR A DISTANCE OF 19.95 FEET) TO A POINT OF REVERSE CURVATURE HAVING A RADIUS OF 330.00 FEET; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE 5.27 FEET ALONG THE ARC OF SAID CURVE THROUGH A DELTA ANGLE OF 00°54'54" (NOTE: CHORD TO SAID CURVE BEARS N.58°24'58"W. FOR A DISTANCE OF 5.27 FEET); THENCE S.31°07'36"W. 70.00 FEET TO A POINT IN THE SOUTHWESTERLY RIGHT OF WAY LINE OF SAID GOLDEN EAGLE ROAD, SAID POINT IS ALSO THE BEGINNING OF A NON-TANGENT 280.00-FOOT RADIUS CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE 47.12 FEET ALONG THE ARC OF SAID CURVE THROUGH A DELTA ANGLE OF 10°23'05" (NOTE: CHORD TO SAID CURVE BEARS N.64°03'57"W. FOR A DISTANCE OF 47.06 FEET); THENCE N.20°44'31"E. 70.00 FEET TO A POINT IN SAID NORTHEASTERLY RIGHT OF WAY LINE, SAID POINT IS ALSO THE WESTERLY CORNER OF THAT CERTAIN TRACT OF LAND CONVEYED TO 3D LENDING AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER AS ENTRY NO. 115153:2007; THENCE ALONG THE NORTHWESTERLY BOUNDARY OF SAID 3D LENDING TRACT THE FOLLOWING FOUR (4) COURSES AND DISTANCES TO THE NORTHWEST CORNER OF SAID LOT 14: 1. N.20°44'31"E. 75.43 FEET, 2. N.38°42'06"E. 53.00 FEET, 3. N.40°08'50"E. 61.56 FEET, 4. N.50°58'41"E. 157.95 FEET; THENCE S.00°47'20"W. 126.60 FEET ALONG THE WESTERLY LINE OF SAID LOT 14 TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 31,147 SQUARE FEET IN AREA, OR 0.715 ACRES, MORE OR LESS.

SURVEYOR'S NARRATIVE
IT IS THE INTENT OF THIS PLAT AND THE SURVEY ON WHICH IT IS BASED TO CORRECTLY REPRESENT THE BOUNDARY CORNERS AND PROPERTY LINES OF THE SUBJECT PARCEL(S). THE BASIS OF BEARINGS FOR THIS SURVEY IS N.00°37'04"E. 2644.42 FEET BETWEEN THE MONUMENT REPRESENTING SOUTHWEST CORNER AND THE REESTABLISHED POSITION OF THE EAST QUARTER CORNER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AS SURVEYED IN OCTOBER OF 2014. THIS PLAT ADJOINS PREVIOUSLY RECORDED SUBDIVISION PLATS, ACCEPTED AND CONFIRMED BY THE APPROPRIATE APPROVING AUTHORITIES AND GOVERNING AGENCIES. NO ATTEMPT HAS BEEN MADE TO VERIFY THE ACCURACY OR CORRECTNESS OF THE PREVIOUSLY RECORDED SUBDIVISION PLATS. AS PART OF THIS SURVEY, MERIDIAN HAS CONDUCTED FIELD SEARCHES FOR EVIDENCE AND MONUMENTATION. FOUND EVIDENCE AND MONUMENTATION IS REPRESENTED HEREON. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS PART OF THIS SURVEY IS NOTED BELOW. THERE MAY EXIST OTHER EVIDENCE, MONUMENTATION AND DOCUMENTS THAT COULD AFFECT THIS SURVEY. ANY NEW EVIDENCE, MONUMENTATION OR DOCUMENTS CONTRADICTORY TO THIS SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR HIS/HER REVIEW AND CONSIDERATION.

1. WARRANTY DEED IN FAVOR OF 3D LENDING; ENTRY NUMBER 115153:2007.
2. EAGLE TOP SUBDIVISION PLAT; ENTRY NO. 8778:2005, MAP NO. 10913.

OWNER'S DEDICATION
WE, THE UNDERSIGNED OWNER(S) OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC AND VACATES EASEMENTS AS SHOWN HEREON AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF LEGAL OWNERSHIP, EXPRESSED OR IMPLIED.

3D LENDING
BY _____
3D LENDING REPRESENTATIVE

ACKNOWLEDGEMENT
STATE OF UTAH } s.s.
COUNTY OF UTAH }

ON THIS _____ DAY OF _____, 2014, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE HEREON OWNER'S DEDICATION, WHO BEING BY ME DULY SWORN, DID SAY THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

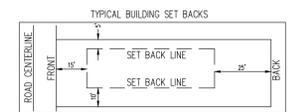
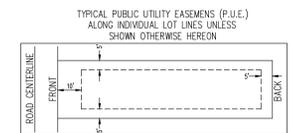
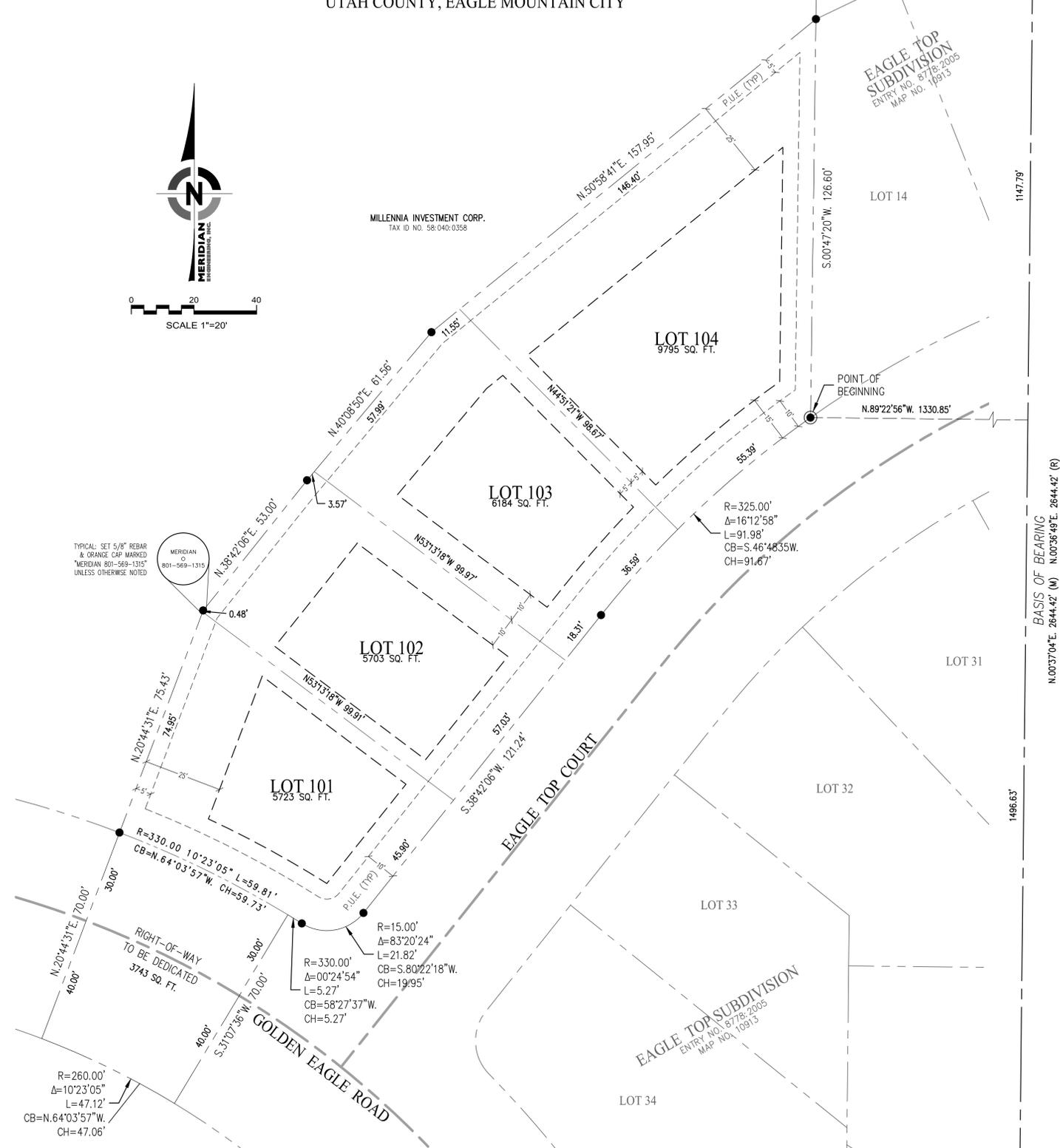
EAGLE TOP SUBDIVISION PHASE 2
A SINGLE FAMILY DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 29,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN,
UTAH COUNTY, EAGLE MOUNTAIN CITY

GENERAL NOTES
EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, BUILDING SETBACK LINES OR LIMITS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, PERMITTING ISSUES, ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS THAT A CURRENT TITLE COMMITMENT AND REPORT MAY DISCLOSE.
THIS SURVEY ON WHICH IT IS BASED IS VALID ONLY IF THE SURVEYOR'S SEAL AND SIGNATURE IS PRESENT. THE ORIGINAL PLAT WAS SEALED IN BLUE OR RED INK.
THIS SURVEY DISCLOSES BOUNDARY LINES AND PROPERTY CORNER LOCATIONS ONLY. OTHER THAN SHOWN ON THIS PLAT, NO ATTEMPT HAS BEEN MADE AS PART OF THIS SURVEY TO SHOW THE EXISTENCE OF ANY BUILDING, STRUCTURE, DRIVE, WALK, ASPHALT, CONCRETE, FENCING OR ANY OTHER SURFACE OR SUBSURFACE STRUCTURE OR IMPROVEMENT.
LAND USE REGULATIONS AND CURRENT ZONING REQUIREMENTS OR RESTRICTIONS HAVE NOT BEEN DETERMINED AND ARE NOT A PART OF THIS SURVEY.
THE LOCATIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS AS SHOWN HEREON ARE BASED ON ABOVE GROUND APPURTENANCES VISIBLE AT THE TIME OF THE SURVEY TO THE SURVEYOR. EXACT LOCATIONS OF UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND STRUCTURES, UTILITIES OR IMPROVEMENTS MAY EXIST.
ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS, FACILITIES, DEPOSITS OR DISPOSALS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
FLOOD AND EARTHQUAKE ZONES HAVE NOT BEEN DETERMINED AS PART OF THIS SURVEY.
THIS PLAT AND THE SURVEY ON WHICH IT IS BASED, IS MADE FOR THE ORIGINAL PURCHASER AND NAMED PARTIES OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
UNLESS OTHERWISE SHOWN, THE OWNERSHIP OF ROADS IS NOT KNOWN TO THE SURVEYOR.
THE WORDS "CERTIFY" AND "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS DISCLOSED TO THE SURVEYOR OR INFORMATION IN POSSESSION OF THE SURVEYOR AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF LEGAL OWNERSHIP, EXPRESSED OR IMPLIED.
(M) BEARING AND DISTANCE DATA TAKEN FROM ACTUAL SURVEYED MEASUREMENTS.
(R) BEARING AND DISTANCE DATA TAKEN FROM RECORD INFORMATION.
● UNLESS OTHERWISE NOTED, SET 5/8" BY 24" REBAR WITH AN ORANGE PLASTIC CAP. CAP IS STAMPED "MERIDIAN 801-569-1315"

ACCEPTANCE BY MAYOR
THE MAYOR OF THE CITY OF PROVO, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC AND VACATES EASEMENTS AS SHOWN HEREON
THIS _____ DAY OF _____, 2014.

APPROVED BY MAYOR - _____
APPROVED BY CITY ENGINEER - _____
ATTEST BY CLERK - RECORDER (SEE SEAL BELOW)

| | | | | | |
|------------------|---------------|-----------------|--------------------|---------------------|---|
| PREPARED BY: | NOTARY'S SEAL | SURVEYOR'S SEAL | CITY ENGINEER SEAL | CLERK-RECORDER SEAL | COMP. FILE 14088 SUBDIVISION PLAT |
| | | | | | PROJECT NO. 14088 |
| | | | | | SHEET NO. 1 OF 1 |



SOUTHEAST CORNER
SEC. 29, T5S, R1W, SL&M
FOUND UTAH COUNTY
BRASS CAP MONUMENT
PROJECT BM=4811.88

29 28

29 28
33 32



EAGLE MOUNTAIN CITY

Planning Commission Staff Report

EAGLE
MOUNTAIN

EB A

Project: Evans Ranch Plat A
Applicant: DAI (Agent – Nate Shipp)
Type of Action: Action Item; Public Hearing; Recommendation to the City Council

PROPOSAL

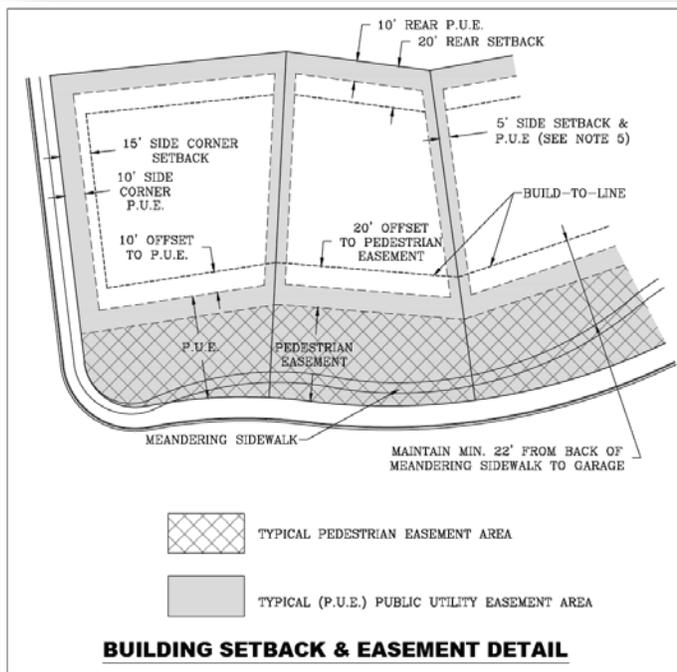
Evans Ranch Plat A is the third residential phase of the approved Evans Ranch Master Development Plan. The lots in this plat have not changed from the approved master plan, and the tabulations are shown here. →
 A preliminary plat review includes the layout of lots, proper street circulation, utility demands, park and recreation sites, etc.

N

TABULATIONS

| | |
|--------------------|----------------|
| ZONE: | R, SFD/SFA |
| TOTAL AREA: | 11.03 ACRES |
| TOTAL AREA IN LOTS | 5.92 ACRES |
| TOTAL OPEN SPACE | 3.54 ACRES |
| AVERAGE LOT SIZE | 9,589 SQ. FT. |
| LARGEST LOT SIZE | 14,734 SQ. FT. |
| SMALLEST LOT SIZE | 6,872 SQ. FT. |
| # OF LOTS: | 27 |
| DENSITY: | 2.45 LOTS/ACRE |

- **Lot Frontage / Lot Design** – The approved Evans Ranch Master Development Plan allows for lot frontages that are smaller than the standard in the Code for this project, in order to test this unique “coving” design.



- **Pedestrian Easements & Setbacks** – Since these lots are planned with very specific build-to lines for the homes, there are pedestrian easements that extend onto each lot, allowing for the sidewalk to be located outside of the street right-of-way. The setbacks also must follow the approved Evans Ranch Master Plan setback exhibit (no more than 50% of the length of a home can be between 10 and 15 feet of another residence).
- **Fencing** – The approved master plan contains a fencing exhibit as well, requiring split-rail fencing along the south and west edges of the park and adjacent to the trail on the back side of the homes. The plan also requires 6-foot vinyl fencing behind the lots along the open space. This fencing is shown on the landscaping plan. The fencing for lot 27 shall be required along with Phase C (the adjacent phase).

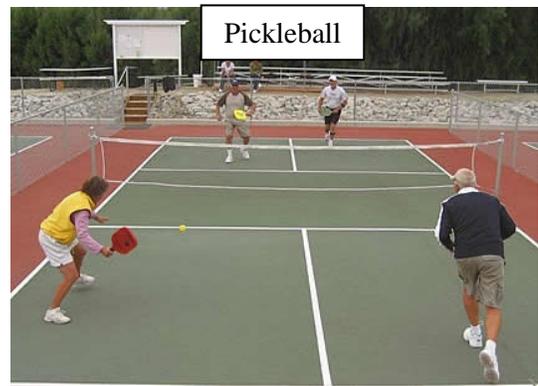
- Community Improvements – A cash bond is required until the public open space has been improved and dedicated to the City. The cash bond shall be funded to total anticipated costs to complete the public open space, multiplied by a fraction, where the numerator is the number of lots within the subject plat (27 in this case), and the denominator is 242, but must be a minimum of \$2,000 per buildable acre (11.03 acres x 2,000 = \$22,060). These community improvements (\$2,000 per acre) are to be spent on public amenities in the northern portion of the project, above and beyond the minimum park improvements shown on the Evans Ranch Master Development Plan. Developer shall make all of the required improvements (including amenities) to the public open space and dedicate it to the City prior to 50% of the building permits issued in the single-family areas of the master plan.



- Open Space Improvement –

 - Total Improved Open Space – The developer’s original plan was to work together with the City, utilizing impact fee funds to make improvements to the Tickville Wash. This plan has not materialized, however, as the City has other priorities for the impact fees. So the developer has moved the trail closer to the homes and further from the wash for safety reasons. While we like the increased safety, this has reduced the acres of improved open space in the overall plan. The developer is requesting that the Commission approve their plat, since they are improving sufficient open space for Plat A, and that they come back in the future with a plan for how to make up for the reduction in open space. This plan will likely include additional amenities or improvements to the slope of the wash to increase safety. We recommend that the developer bring back an open space proposal for approval along with Phase D, and that a plat for Phase D not be approved until an open space proposal has been approved.

- Amenities – The approved master parks and open space plan includes exercise stations along the trail. Since the developer moved the trail away from the wash, they are requesting instead to build a swing set and basketball court. Ideally, the developer wants to build a pickleball court or a sport court that could be used for pickleball and basketball. Please provide your feedback on this proposal. The Commission must decide if these amenities are a worthy replacement for the exercise stations.



- Timing – the open space improvements shown in this plan should begin along with the infrastructure for the project and be completed by no later than 50% of the building permits being issued in this plat.
- Driveways – Rather than requiring that the driveways be shown on the subdivision plat, the DRC determined that the developer shall submit a site plan with each building permit application that includes the utility locations, so that driveways can be appropriately placed to avoid the water meter and other utilities. The water meters will not be allowed in driveways. Driveways are limited to 12 feet wide at the street for any lot where the home will be more than 30 feet from the street.
- Bonus Density - Developer must designate the chosen bonus density improvements from Table 17.30.110 to equal 2.86 du/ac. These must be considered during the meeting, as they have not yet been received.

Recommended Motion

If the Planning Commission chooses to recommend approval of the proposed plat, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission recommend approval of the Evans Ranch Plat A preliminary plat to the City Council with the following conditions:

1. *Fencing for the project must comply with the approved master fencing plan.*
2. *Open space and amenities must be fully improved by 50% of the building permits being issued in the development. A cash bond is required with plat recordation.*
3. *An open space proposal shall be submitted and approved along with or prior to approval of Phase D, showing how the reduction in open space will be resolved.*
4. *Building permit site plans must be submitted with utilities to help with proper driveway placement. No water meters are allowed in driveways.*
5. *No more than 50% of the length of a home can be between 10 and 15 feet of another residence. The approved setback exhibit (with the MDP) must be followed.*
6. *A cash bond shall be provided to the City prior to recording the plat totaling a minimum of \$22,060 (11.03 acres x 2,000 = \$22,060) to be spent on public amenities in the northern portion of the project, above and beyond the minimum park improvements shown in this plan. The improvements must be approved by the City. Developer shall make these additional improvements to the public open space and dedicate it to the City prior to 50% of the building permits issued in the single-family areas of the master plan.*

ATTACHMENTS:

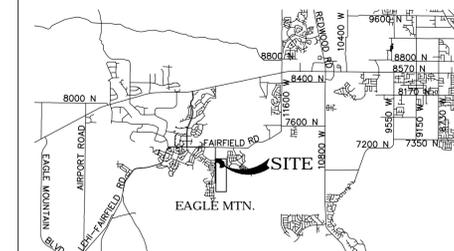
- Proposed preliminary plat/plans
- Proposed landscape plans
- Approved Evans Ranch Master Development Plan
- Approved Evans Ranch Park Plan
- Approved Evans Ranch Fencing Exhibit

EVANS RANCH PLAT "A"

A PORTION OF THE NW 1/4 & SW 1/4 SECTION 28, T5S, R1W, SLB&M,
EAGLE MOUNTAIN, UTAH



VICINITY MAP



**ENGINEERS
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Spanish Fork, UT 84660
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Fax: 801.798.9393
office@lei-eng.com
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| SHEET 2 | EVANS RANCH ROAD P&P |
| SHEET 3 | EVANS RANCH ROAD P&P |
| SHEET 4 | PASTURE VIEW ROAD P&P |
| SHEET 5 | OFFSITE SEWER P&P |
| SHEET 6 | DETAILS |
| SHEET 7 | |

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| # OF LOTS: | 27 |
| DENSITY: | 2.45 LOTS/ACRE |

NOTES

- NO UTILITY LATERALS OR METERS TO BE LOCATED UNDER DRIVEWAYS.
- PROTECTION TO BE PROVIDED AS NEEDED FOR PUBLIC UTILITIES ADJACENT TO DRIVEWAYS OR WITHIN TRAFFIC AREAS. UTILITIES ARE TO BE PLACED SUCH THAT THE DRIVEWAY TRAFFIC AND UTILITIES DO NOT CREATE A POSSIBLE HAZARD.
- ALL INTERIOR WATER LINES TO BE 8" UNLESS OTHERWISE NOTED.
- ALL INTERIOR SEWER LINES TO BE 8" UNLESS OTHERWISE NOTED.
- SECONDARY ACCESS AND TEMPORARY TURNAROUNDS TO BE PROVIDED ACCORDING TO CITY/FIRE CODE.
- PARKING RESTRICTION SIGNAGE TO BE PROVIDED FOR ALL ALLEY WAYS.
- REAR FENCE TO BE PROVIDED TO LOTS THAT BACK UP TO PORTER'S CROSSING.
- SURFACE WATER CONTROL WILL BE ADDRESSED WITH EACH FINAL PLAT, INCLUDING INDIVIDUAL LOT DRAINAGE.
- FINAL PLATS TO INCLUDE EASEMENTS FOR MEANDERING SIDEWALKS.
- DRIVEWAY SLOPES NOT TO EXCEED 12%.
- BUILDING SETBACKS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
FRONT LIVING - 20'
FRONT GARAGE - 22'
CORNER LIVING - 15'
CORNER GARAGE - 22'
REAR - 20'
SIDE - 5'
- MINIMUM OF 22' TO BE MAINTAINED FROM BACK OF MEANDERING SIDEWALKS TO GARAGE.
- COVERED HOMES TO BE SET AT FRONT OF BUILDABLE AREA AND ALIGN WITH THE HOMES TO EACH SIDE, HOMES WILL NOT BE SET BACK AS TO CREATE A SIGNIFICANT STEP BETWEEN HOUSE FRONTS.
- TO MAINTAIN THE PRESENTATION OF COVERED SPACE, FENCING OR OTHER TYPES OF DELINEATION WILL NOT BE CONSTRUCTED IN FRONT OF THE BUILDABLE AREA.
- ALL CONSTRUCTION TO BE COMPLETED ACCORDING TO EAGLE MOUNTAIN CITY CONSTRUCTION STANDARDS & SPECIFICATIONS.
- NO DEFLECTIONS ALLOWED ON WATER LINES.
- ALL VALVES TO BE FLANGED TO TEES.
- INSTALL A1 BACKFILL FOR FILL AREAS WITHIN RIGHT-OF-WAY.

LEGEND

| EXISTING | |
|------------------------|---------|
| WATER METER | W-M |
| WATER | EX-W |
| WATER VALVE | EX-WV |
| FIRE HYDRANT | EX-FH |
| SEWER | EX-SS |
| SEWER MANHOLE | EX-SM |
| STORM DRAIN | EX-SD |
| STORM DRAIN MANHOLE | EX-SDM |
| STORM DRAIN CURB INLET | EX-SDCI |
| PI | EX-PI |
| PI VALVE | EX-PIV |
| PROPOSED | |
| WATER | W |
| WATER VALVE | WV |
| FIRE HYDRANT | FH |
| SEWER | SS |
| SEWER MANHOLE | SM |
| STORM DRAIN | SD |
| STORM DRAIN MANHOLE | SDM |
| STORM DRAIN CURB INLET | SDCI |
| PI | PI |
| PI VALVE | PIV |
| FENCE | F |

DEVELOPER / OWNER

DAI
1099 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
(801) 495-3414

ENGINEER

LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801) 798-0555

PROJECT NAME

EVANS RANCH PLAT "A"

EVANS RANCH - PLAT "A"

EAGLE MOUNTAIN, UTAH

COVER SHEET

REVISIONS

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D A N B :

BLS

DESIGNED BY :

DM

S A L E :

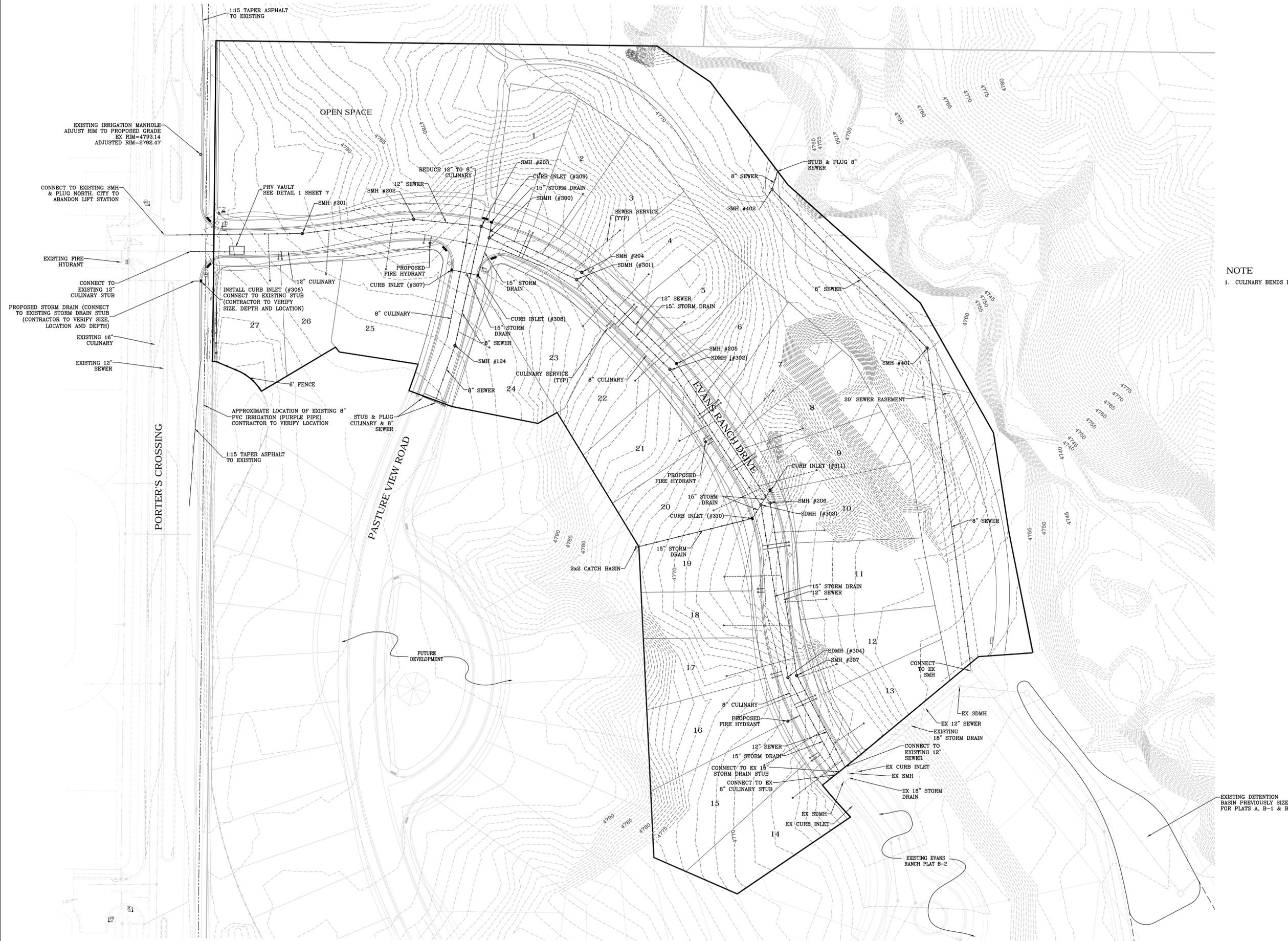
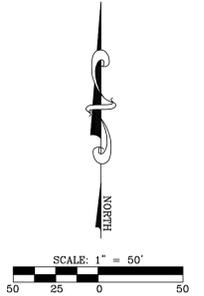
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SHEET



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NOTE
1. CULINARY BENDS LABELED ON PLAN & PROFILE SHEETS.

EVANS RANCH - PLAT "A"
EAGLE MOUNTAIN, UTAH
UTILITY PLAN

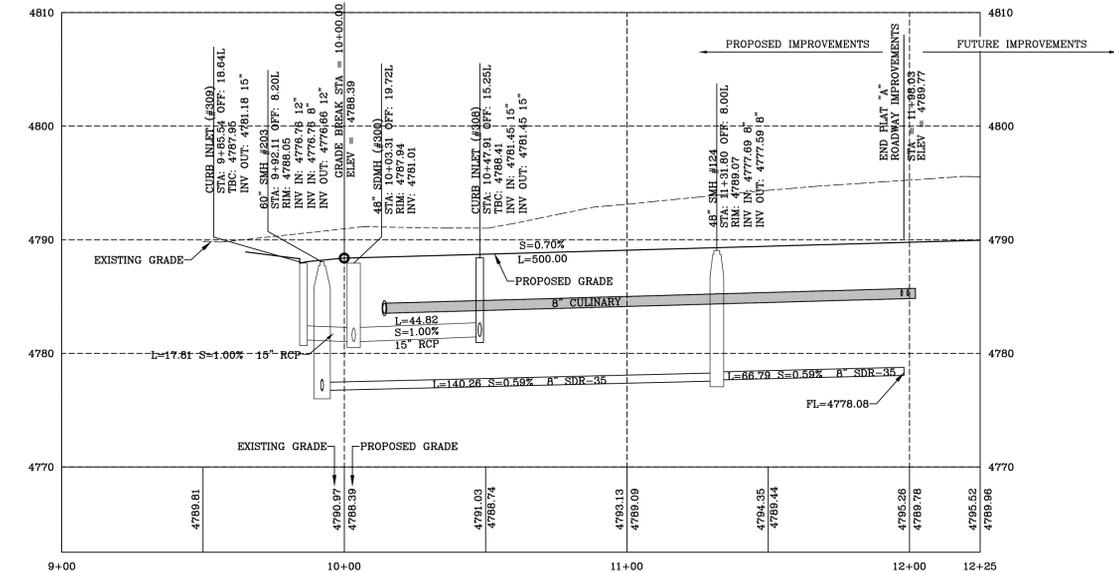
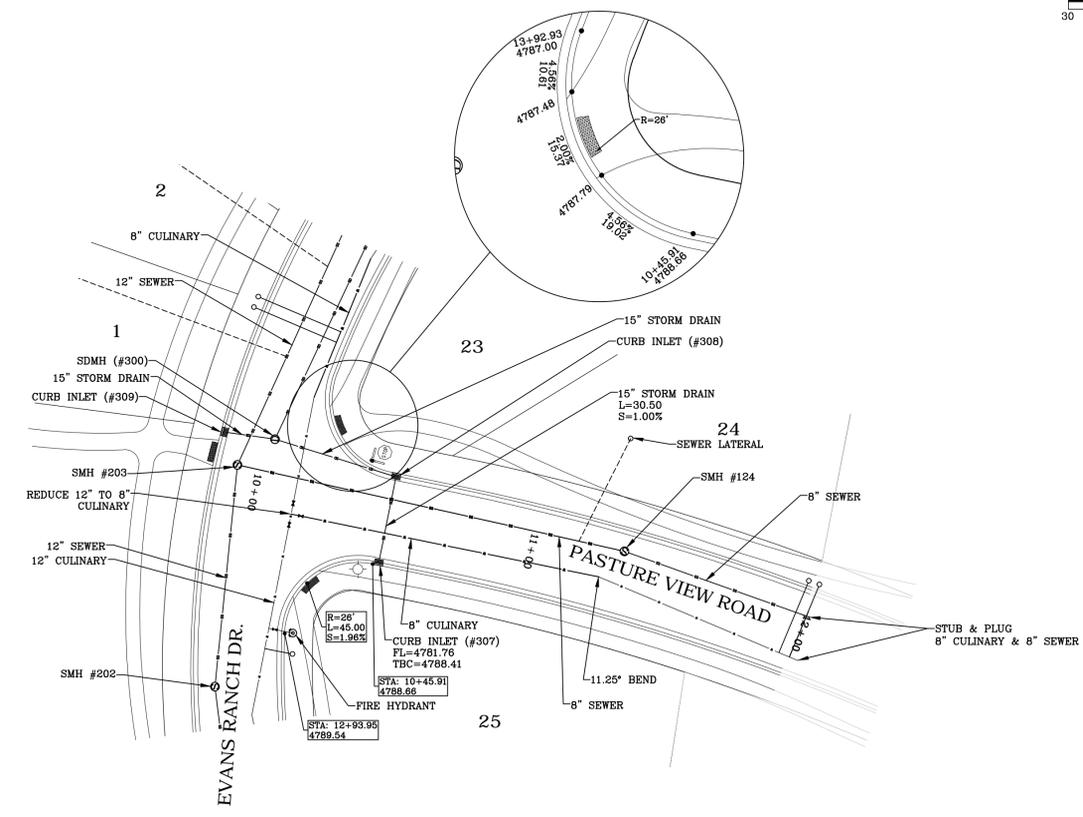
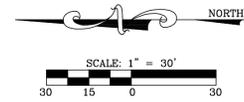
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EXISTING DETENTION BASIN PREVIOUSLY SIZED FOR PLATS A, B-1 & B-2



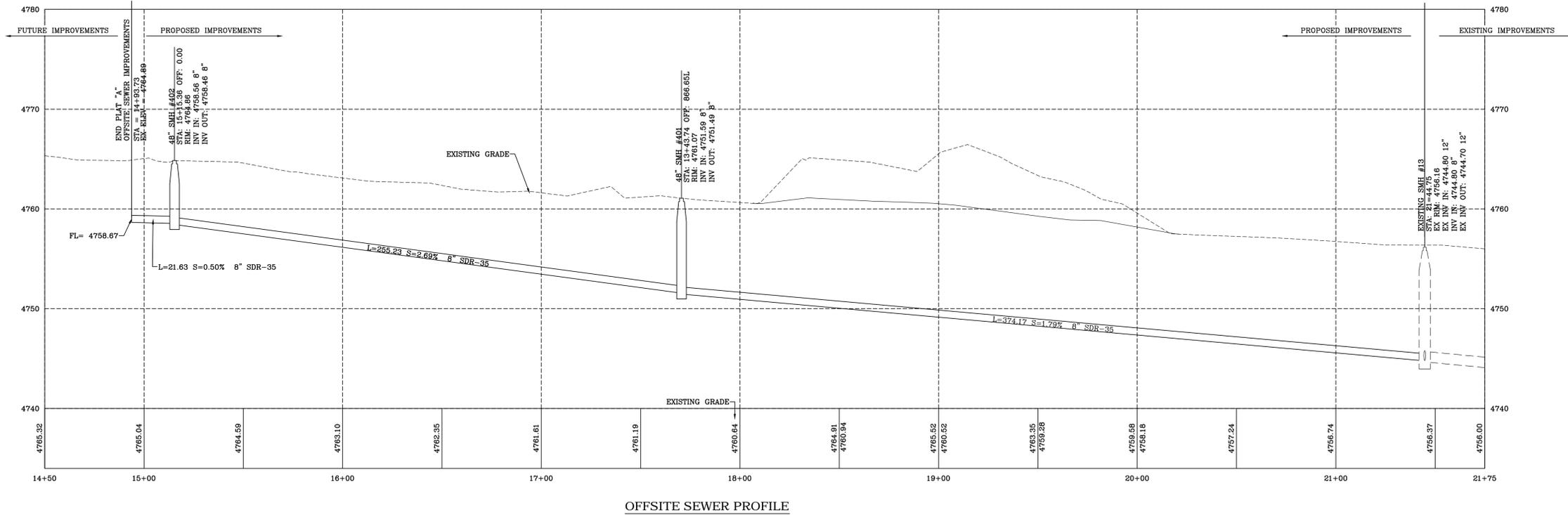
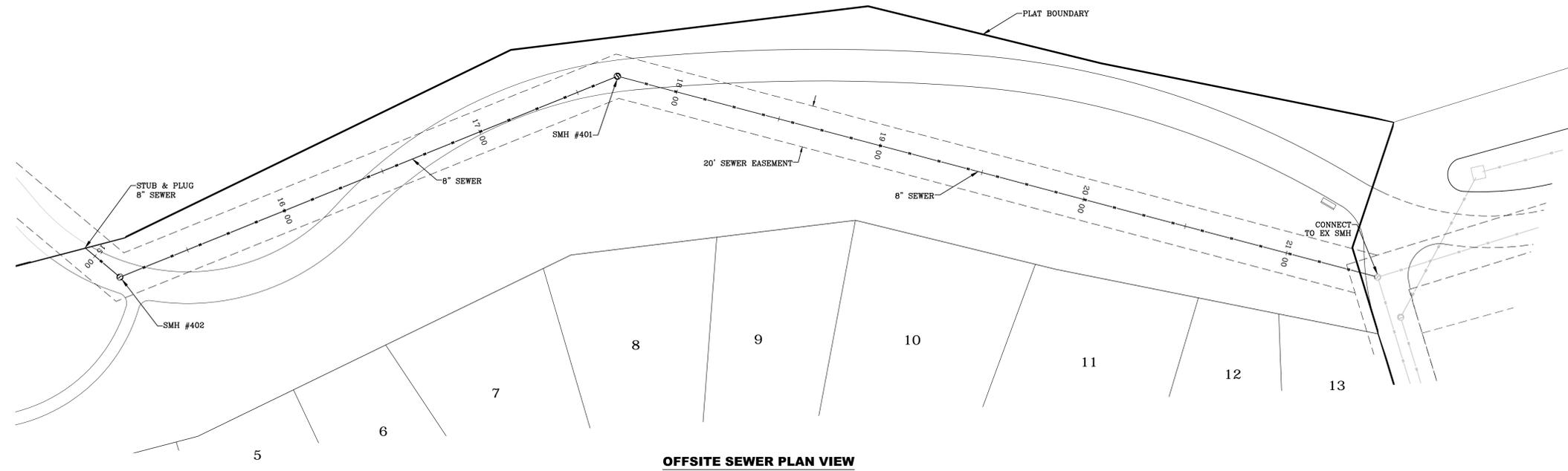
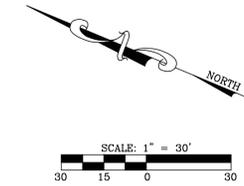
EVANS RANCH - PLAT "A"
 EAGLE MOUNTAIN, UTAH
PASTURE VIEW ROAD PLAN & PROFILE

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| DRAWN BY: | <input type="checkbox"/> |
| BLS | <input type="checkbox"/> |
| DESIGNED BY: | <input type="checkbox"/> |
| DM | <input type="checkbox"/> |
| SCALE: | <input type="checkbox"/> |
| DATE: | <input type="checkbox"/> |
| SHEET: | <input type="checkbox"/> |



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EVANS RANCH - PLAT "A"
EAGLE MOUNTAIN, UTAH
OFFSITE SEWER PLAN & PROFILE

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| CHECKED | <input type="checkbox"/> |
| DATE | <input type="checkbox"/> |
| BY | <input type="checkbox"/> |



TABULATIONS

| | |
|-------------------------------------|----------------------|
| -SINGLE FAMILY | 242 DU (2.86 DU/AC) |
| -TOWNHOMES | 163 DU (10.33 DU/AC) |
| -TOTAL DWELLING UNITS..... | 405 DU (4.25 DU/AC) |
| <hr/> | |
| -AVERAGE LOT SIZE | 9,198 SF |
| -LARGEST LOT SIZE | 14,734 SF |
| -SMALLEST LOT SIZE | 5,776 SF |
| <hr/> | |
| TOTAL AREA | 120.45 AC |
| -PORTERS CROSSING ROAD | 2.55 AC (2.12%) |
| -GOLDEN EAGLE ROAD | 1.64 AC (1.36%) |
| -CHURCH SITE | 4.61 AC (3.83%) |
| -SCHOOL SITE | 11.55 AC (9.59%) |
| -TOWNHOMES..... | 13.63 AC (11.32%) |
| -SINGLE FAMILY..... | 68.47 AC (57.19%) |
| <hr/> | |
| -OPEN SPACE AREA*..... | 25.07 AC (20.81%) |
| TICKVILLE WASH..... | 6.22 AC |
| ACTIVE/PASSIVE OPEN SPACE SP..... | 16.12 AC |
| ACTIVE/PASSIVE OPEN SPACE TOWN..... | 2.73 AC |

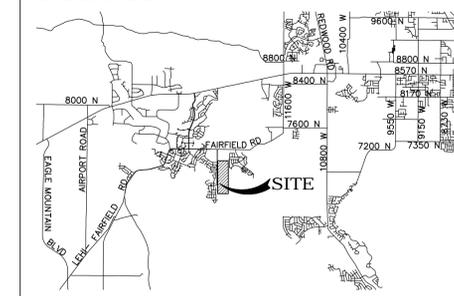
ZONE - R, SFD / SFA

* SEE LANDSCAPE PLANS FOR SPECIFIC OPEN SPACE DETAILS AND AREAS.

EVANS RANCH

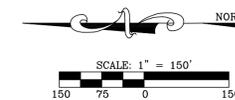
A PORTION OF THE NW 1/4 & SW 1/4 SECTION 28, T5S, R1W, SLB&M,
EAGLE MOUNTAIN, UTAH

VICINITY MAP



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TOWNHOMES
13.63 ACRES
163 UNITS
12.0 UNITS/ACRE

POTENTIAL SCHOOL SITE
11.55 ACRES
(VESTED AT 33 SINGLE FAMILY LOTS)

EVANS RANCH PRELIMINARY PLAN
EAGLE MOUNTAIN, UTAH
MASTER DEVELOPMENT PLAN MAP

REVISIONS

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LEI PROJECT:
DRAWN BY:
BLS
CHECKED BY:
DM
SCALE:
DATE:
SHEET

DEVELOPER / OWNER
DAI
1099 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
(801) 495-3414

ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801) 798-0555

PROJECT NAME
EVANS RANCH



CONCEPT PLAN

I am submitting this plan for your review and comment.

This proposed chapel/school is on Lot 138, Meadow Ranch Subdivision. This lot is presently owned by the religious organization (Corp of the Presiding Elder of the Apostolic United Brethren), hereafter referred to as AUB. There are 33-parking stalls included with the chapel/school on this lot.

AUB has offered to purchase some additional property, as shown on the site plan, from Hyrum Thompson for additional parking. There would be an additional 74-parking stalls on this proposed purchased property. This would make a total of 107-parking stalls available on the property that would then be owned by AUB. This would be adequate parking for the use of this chapel/school most of the time.

AUB has also offered to pave the parking area around the private recreation building, owned by Hyrum Thompson, and share this parking area with him. AUB would make a lifetime lease agreement with him for the shared use of this parking. He rarely uses that recreation building on Sundays, which is the day AUB would most likely need this additional parking. This would add an additional 57-parking stalls available to AUB, to help cover overflow parking needs.

The number of parking stalls required by code for this chapel/school is 228. I have attached a request for a 30% reduction in the number of parking stalls required for this chapel. If this request is approved, the number of parking stalls then required would be 160. The total number of parking stalls shown on the plan is 164, which includes handicap parking.

AUB did not want to finalize the purchase of property from Hyrum Thompson, and make a lifetime lease agreement with him, until they were assured this concept plan was acceptable to Eagle Mountain City. Also, AUB did not want to pay the additional expense of a landscaping plan, a lighting plan, and some of the other required documents, until they were assured this concept plan was acceptable.

There are two primary questions AUB would like to have answered before proceeding forward:

1. Will Eagle Mountain City approve the request for a 30% reduction in parking required for this chapel/school?
2. Is it acceptable to Eagle Mountain City for AUB to count the parking stalls acquired from the lifetime lease of the parking area around Hyrum Thompson's private recreation building?

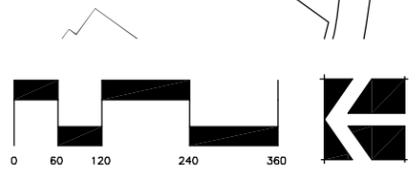
If these questions are answered affirmatively, and if the basic concepts of this plan are acceptable, AUB will proceed forward with the Application for a Conditional Use Permit. At that time, the additional plans and required documents will also be submitted with the application.

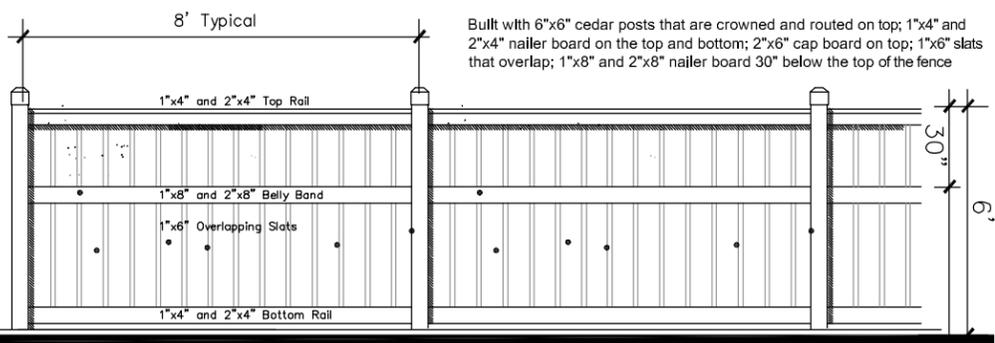
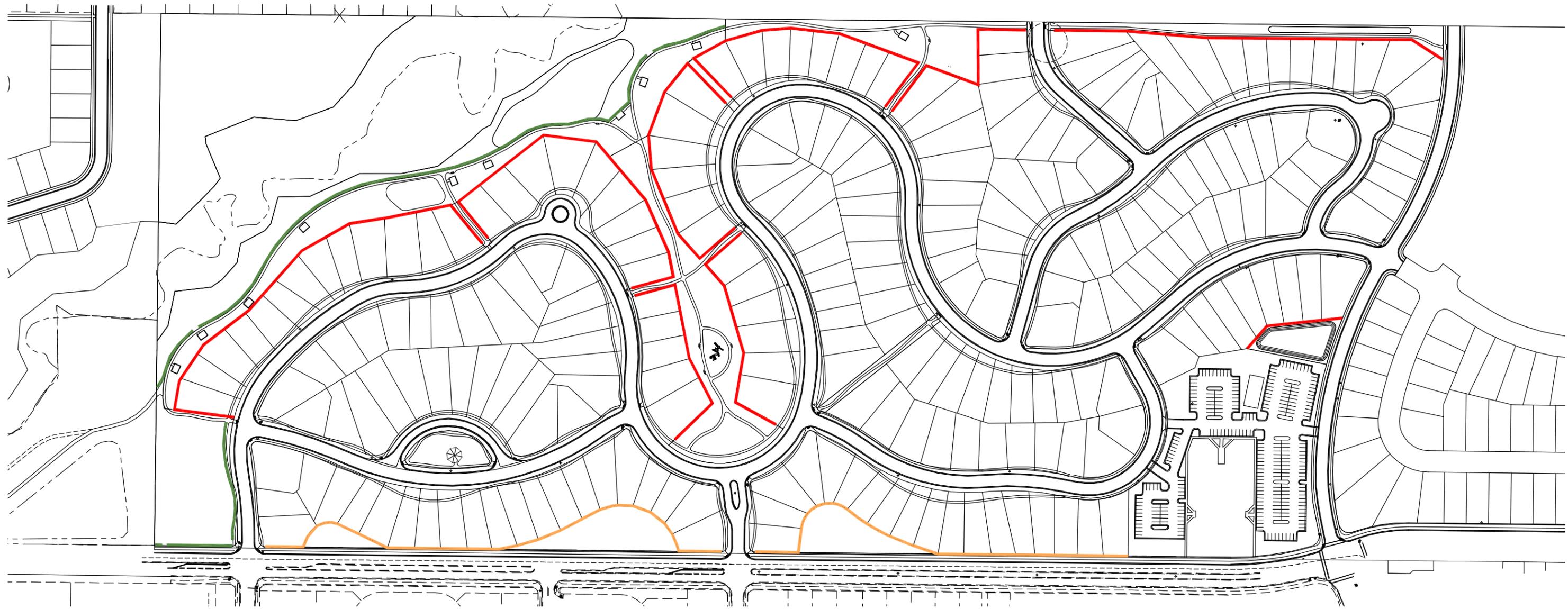
Date: Jan. 20, 2015


Glen A. Allred (General Contractor)

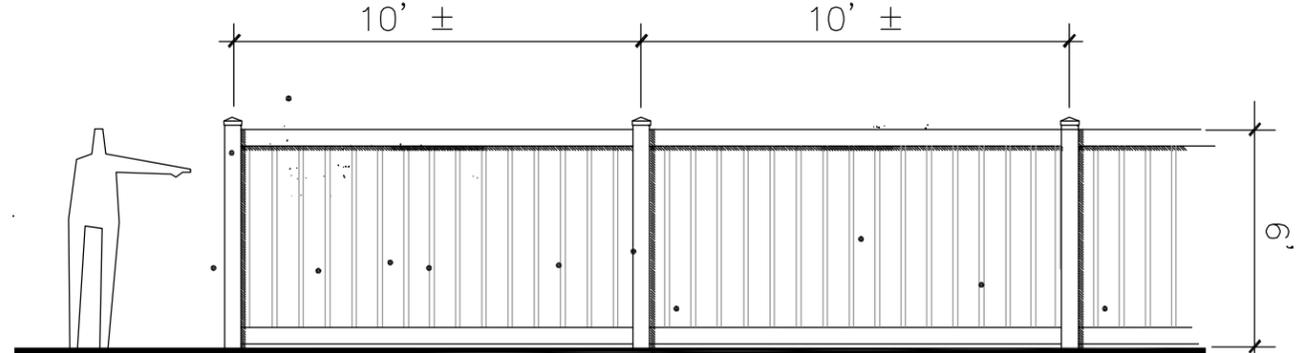


All private open space will be landscaped with sod, trees, shrubs, xeriscaping, and other manicured landscaping.”

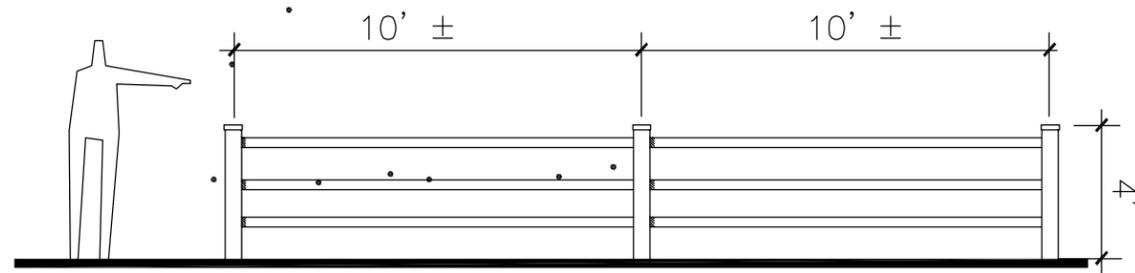




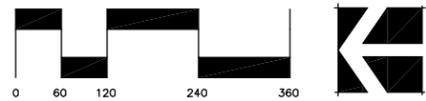
Estate Fence



6' Vinyl Fence (Tan)



Split-rail Fence (3-rail)





EAGLE MOUNTAIN CITY
Planning Commission Staff Report

FEBRUARY 10, 2015

Project: **Oquirrh Mountain Ranch Phase A – Preliminary Plat**
Applicant: Oquirrh Mountain Ranch LLC (Agent – Ryan Kent)
Type of Action: Action Item; Public Hearing

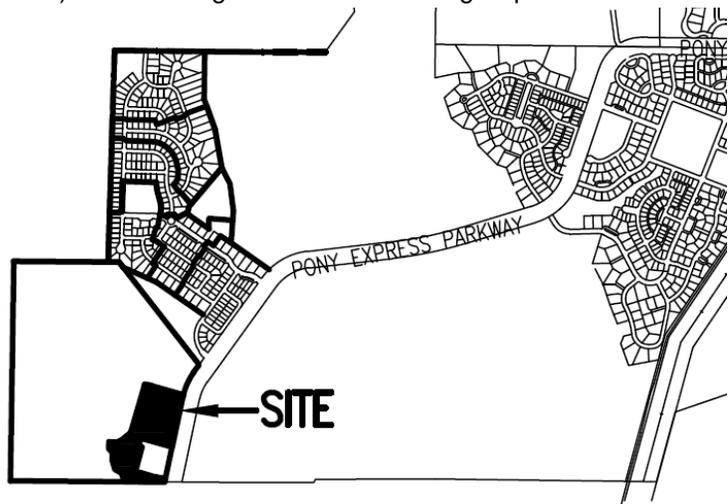
PROPOSAL

The Oquirrh Mountain Ranch Phase A Plat is the first residential phase of the approved Oquirrh Mountain Ranch Master Development Plan. The lots in this plat have not changed from the approved master plan, and the tabulations are shown here. →
 A preliminary review includes the layout of lots, proper street circulation, utility demands, park and recreation sites, etc.

| <u>PLAT CALCULATIONS</u> | |
|----------------------------|----------------------|
| TOTAL ACREAGE: | 12.06 ACRES |
| BUILDABLE ACREAGE: | 12.06 ACRES |
| TOTAL ACREAGE IN LOTS: | 7.70 ACRES |
| TOTAL OPEN SPACE: | 0.76 ACRES |
| TOTAL IMPROVED OPEN SPACE: | 0.76 ACRES |
| PARKWAY OPEN SPACE: | 2.43 ACRES |
| AVERAGE LOT SIZE: | 6,709 SF/0.15 ACRES |
| LARGEST LOT SIZE: | 12,147 SF/0.28 ACRES |
| SMALLEST LOT SIZE: | 5,473 SF/0.13 ACRES |
| OVERALL DENSITY: | 4.15 LOTS/ACRE |
| TOTAL # OF LOTS: | 50 LOTS |

Noteworthy Items

- Utilities – The Master Development Agreement requires that a lift station will be needed for the entire project. However, the City would prefer to connect Phase A to the existing gravity sewer line in Pony Express at MidValley Road. Future phases will require the installation of a lift station.
- Fencing – The landscaping plan indicates a 6-foot perimeter fence for lots that front Pony Express parkway (Church lot included). This fencing will meet the fencing requirements of the Ranches HOA.
- Water Rights – The developer must submit a letter indicating either the banked water rights that he plans to use for this plat, or a commitment to purchase water from the City. The developer plans to purchase CWP water from the City.
- Open Space Dedication – This plat provides 0.76 acres of improved open space, which meets the required 0.7 acres approved with the master development plan. All open space will be dedicated to the Oquirrh Mountain Ranch HOA, per the master



VICINITY MAP

NTS

development agreement.

- Transitioning and Setback Requirements – The master development agreement requires a 20-foot setback along the southern boundary. Additionally, the 20-foot building setback is to include a 10-foot landscaped corridor on the applicant's plans and plats – to be one-half of a 20-foot corridor to be cooperatively planned with SITLA, which will provide both the other 10-foot landscaped portion of the corridor and the trail.
- Open Space Improvement – The open space for the project will be improved as stipulated in the master development agreement. As the applicant will be submitting a revised master development agreement that corresponds with the changes made to the master development plan in June 2014, any changes in open space naming will be adjusted to reflect changes made to the amended MDP and will retain the same timing requirements.
- Community Improvements – A minimum of \$2,000 per buildable acre must be provided as a cash bond for the community improvements for this plat, as required by the City Code and the Oquirrh Mountain Ranch Master Development Agreement (total of \$18,160).

Recommended Motion

If the Planning Commission chooses to approve the proposed plat, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission approve the Oquirrh Mountain Ranch Phase A Preliminary Plat with the following conditions:

1. Provide water model for project.
2. Provide updated Traffic Impact Study for project.
3. Provide bench drains, inlets to handle storm water runoff on hillside lots that meet City Engineer's approval.
4. The 20-foot building setback on the southern boundary is to include a 10-foot landscaped corridor on the applicant's plans and plats – to be one-half of a 20-foot corridor to be cooperatively planned with SITLA, which will provide both the other 10-foot landscaped portion of the corridor and the trail.
5. Street lighting plan (must include sprinkler timers for power needs) required (with final plats).
6. Provide an approved fire department turnaround for dead end roads that exceed 150'.
7. *Revise the master development agreement prior to City Council to reflect changes made to the master development plan in June 2014.*

ATTACHMENTS:

- Proposed plat/plans, landscape plans

MATCHLINE

GENERAL NOTES

- SEE SHEET 3 FOR EXISTING CONTOURS.
- NO AREAS IN THIS PRELIMINARY PLAT AREA HAVE NATURAL GRADES IN EXCESS OF 25% IN RELATION TO PROPOSED LOT LAYOUT. THE MAXIMUM SLOPE IS 20% IN THIS PLAT AREA.
- AN HOA WILL OWN AND MAINTAIN THE PROPOSED OPEN SPACE AREAS SHOWN ON THIS PRELIMINARY PLAT.
- TURNAROUNDS WILL BE PROVIDED AT PHASING LINES WITH A 96-FOOT RADIUS PAVED TURN AROUND OR AN APPROVED PAVED HAMMERHEAD FIRE TURN AROUND.
- BUILDING PADS, BUILDING ENVELOPES, AND BUILDING SETBACKS WILL BE PROVIDED WITH THE FINAL PLAT.

PLAT CALCULATIONS

| | |
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BOUNDARY DESCRIPTION

Beginning at a point that is located South 89°36'51" East a distance of 1404.29 feet from the South quarter corner of Section 25, Township 5 South, Range 2 West, Salt Lake Base and Meridian; thence North 19°10'53" West, a distance of 116.35 feet; thence North 61°35'46" West, a distance of 86.99 feet; thence North 00°23'09" East, a distance of 104.50 feet; thence North 89°36'51" West, a distance of 37.39 feet; thence North 00°23'09" East, a distance of 104.50 feet; thence North 39°53'49" West, a distance of 66.85 feet; thence North 00°23'09" East, a distance of 79.50 feet; thence South 89°36'51" East, a distance of 100.00 feet; thence North 66°06'46" East, a distance of 63.48 feet; thence North 51°47'47" East, a distance of 139.76 feet; thence North 20°02'15" East, a distance of 55.16 feet; thence North 15°43'00" East, a distance of 566.65 feet to the point of curve of a non tangent curve; thence along the arc of the 430.00 feet radius curve to the right through a central angle of 11°45'08" for 88.20 feet (chord bears South 80°09'34" East 88.05 feet); thence South 74°17'00" East, a distance of 351.90 feet; thence South 80°54'07" East, a distance of 55.16 feet; thence along the arc of the 803.00 feet radius curve to the left through a central angle of 02°36'27" for 36.54 feet (chord bears South 13°17'56" West 36.54 feet); thence South 11°59'43" West, a distance of 631.18 feet; thence North 74°17'00" West, a distance of 393.30 feet to the point of curve of a non tangent curve; thence along the arc of the 325.50 feet radius curve to the right through a central angle of 13°16'31" for 75.42 feet (chord bears South 34°16'36" West 75.24 feet); thence South 49°05'10" East, a distance of 68.44 feet; thence South 15°43'00" West, a distance of 309.53 feet; thence South 74°17'00" East, a distance of 260.03 feet; thence along the arc of a 330.00 feet radius curve to the left through a central angle of 15°19'51" for 88.30 feet (chord bears South 81°56'55" East 88.04 feet); thence South 89°36'51" East, a distance of 34.59 feet; thence South 11°59'43" West, a distance of 51.04 feet; thence North 89°36'51" West, a distance of 495.92 feet; to the point of beginning.

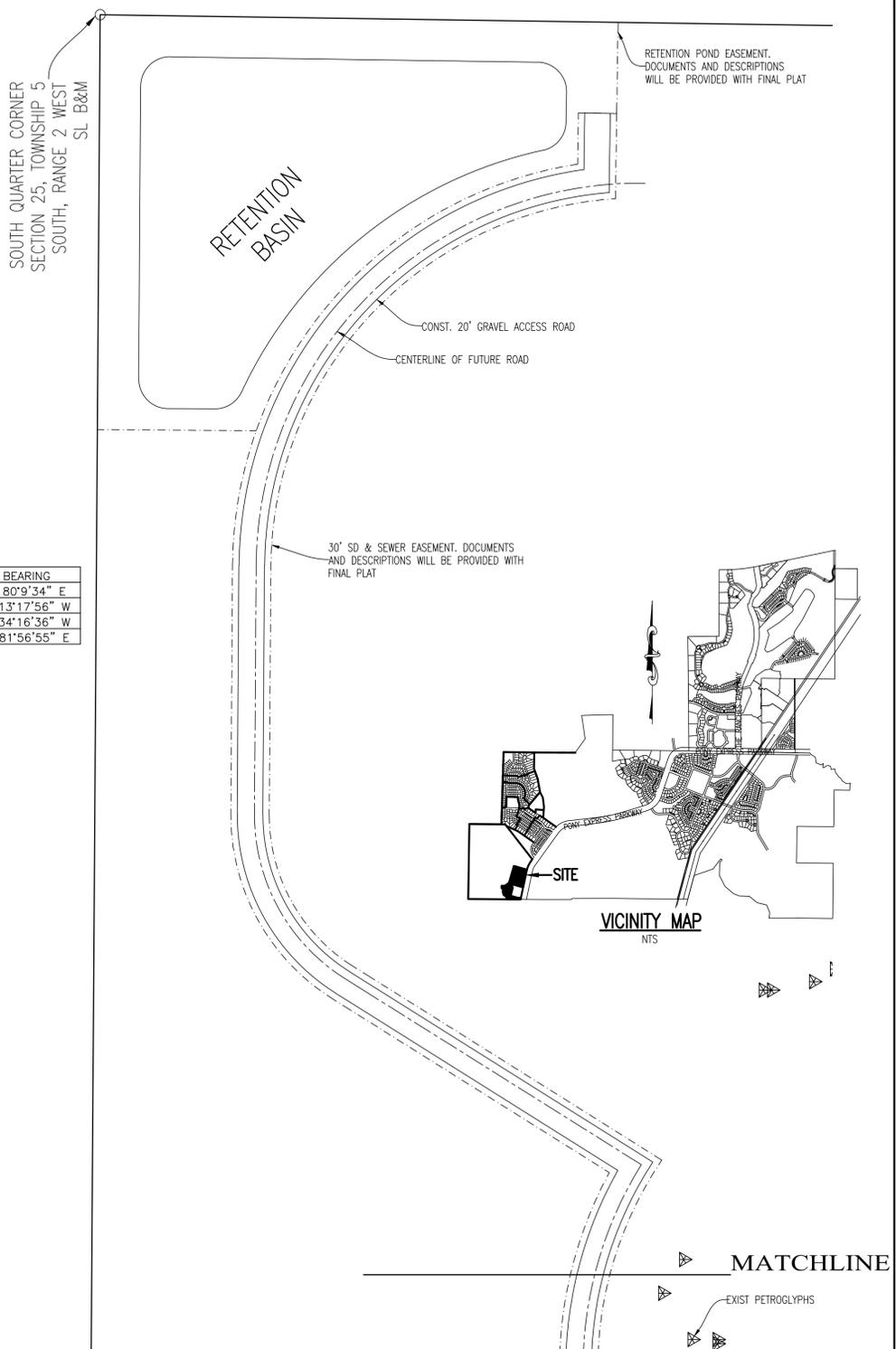
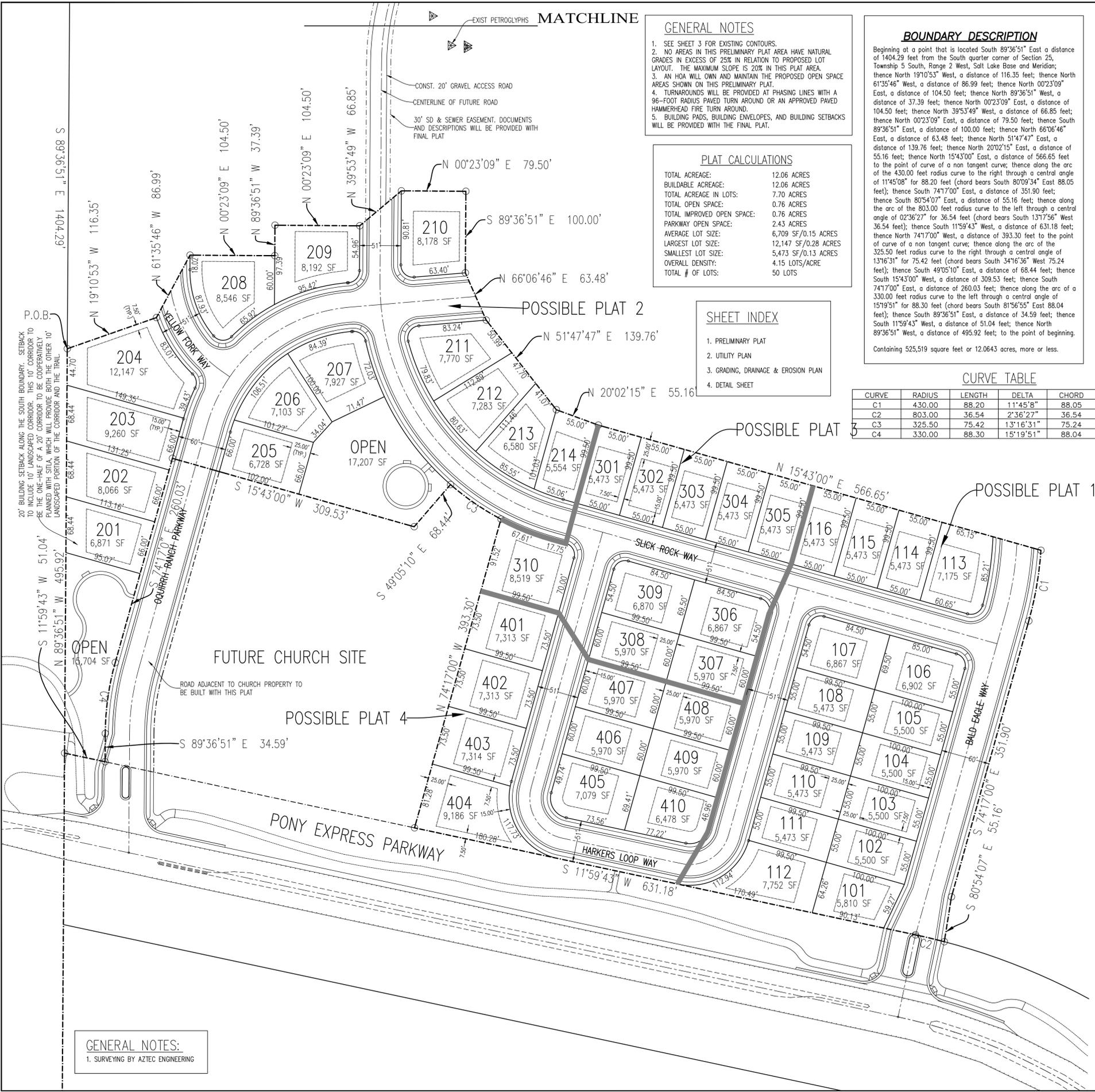
Containing 525,519 square feet or 12.0643 acres, more or less.

SHEET INDEX

- PRELIMINARY PLAT
- UTILITY PLAN
- GRADING, DRAINAGE & EROSION PLAN
- DETAIL SHEET

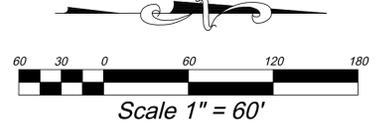
CURVE TABLE

| CURVE | RADIUS | LENGTH | DELTA | CHORD | BEARING |
|-------|--------|--------|-----------|-------|---------------|
| C1 | 430.00 | 88.20 | 11°45'8" | 88.05 | S 80°09'34" E |
| C2 | 803.00 | 36.54 | 2°36'27" | 36.54 | S 13°17'56" W |
| C3 | 325.50 | 75.42 | 13°16'31" | 75.24 | S 34°16'36" W |
| C4 | 330.00 | 88.30 | 15°19'51" | 88.04 | S 81°56'55" E |



GENERAL NOTES:

- SURVEYING BY AZTEC ENGINEERING



REVISIONS

| Rev. | Date | Description | App'd |
|------|----------|------------------------------------|-------|
| 1 | 01/30/15 | REVISED PER CITY PLANNING COMMENTS | |

OMR INVESTMENTS, LLC
 65 NORTH 920 EAST
 OREM, UT 84097
 801-372-8687

EXCEL ENGINEERING
 David W. Peterson, P.E., License #270393
 12 West 100 North, Suite 201, American Fork, UT 84003
 P: (801) 756-4504; F: (801) 756-4511

OQUIRRH MOUNTAIN RANCH
 EAGLE MOUNTAIN SUBDIVISION UTAH

Drawn by: G.J.Y.
 Designed by: G.J.Y.
 Checked by: D.W.P.

PRELIMINARY PLAT PHASE A

LOCATED IN THE SOUTHEAST CORNER OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 2 WEST, SLB&M

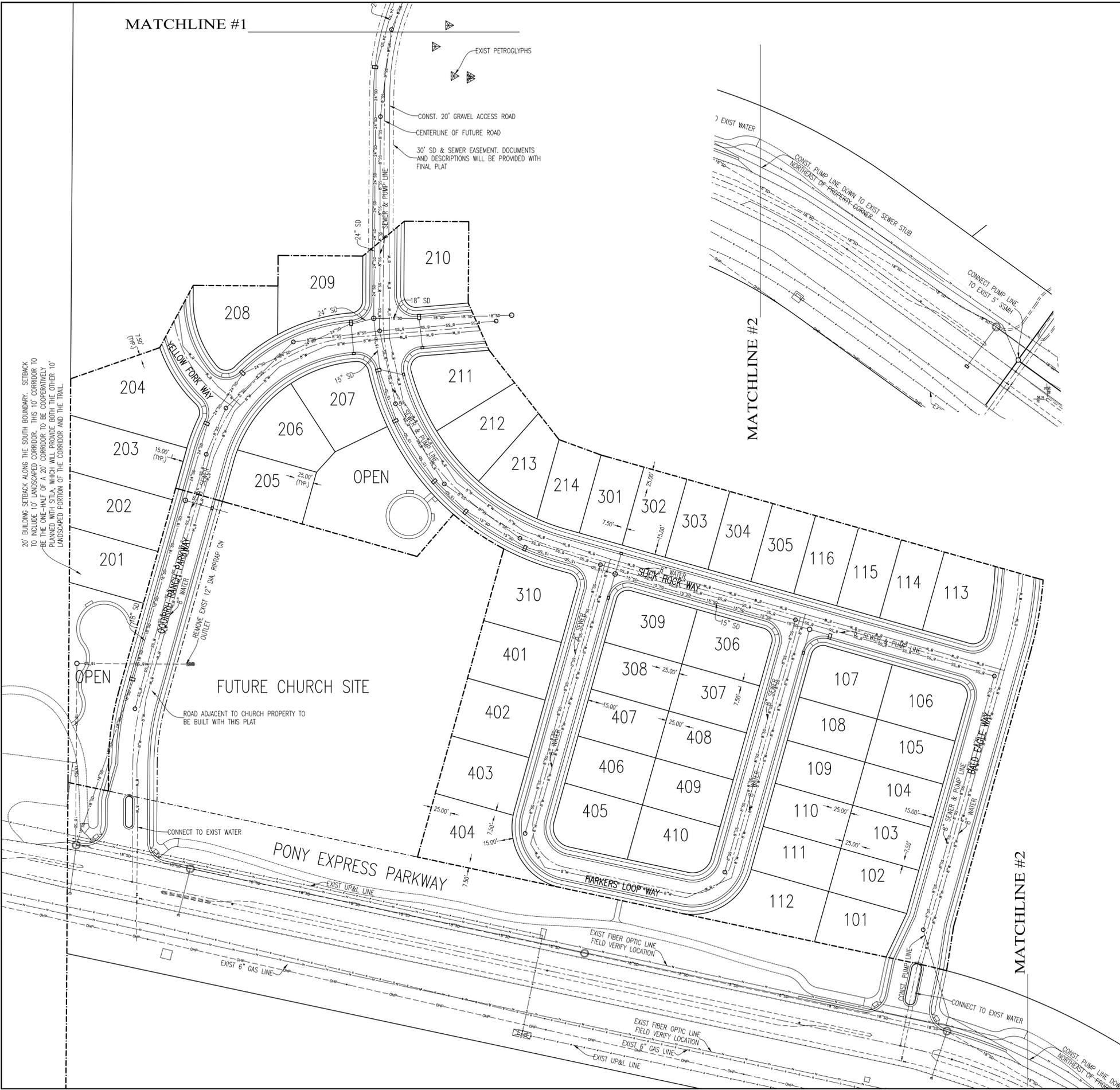
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 1 OF 4

MATCHLINE #1

EXIST PETROGLYPHS

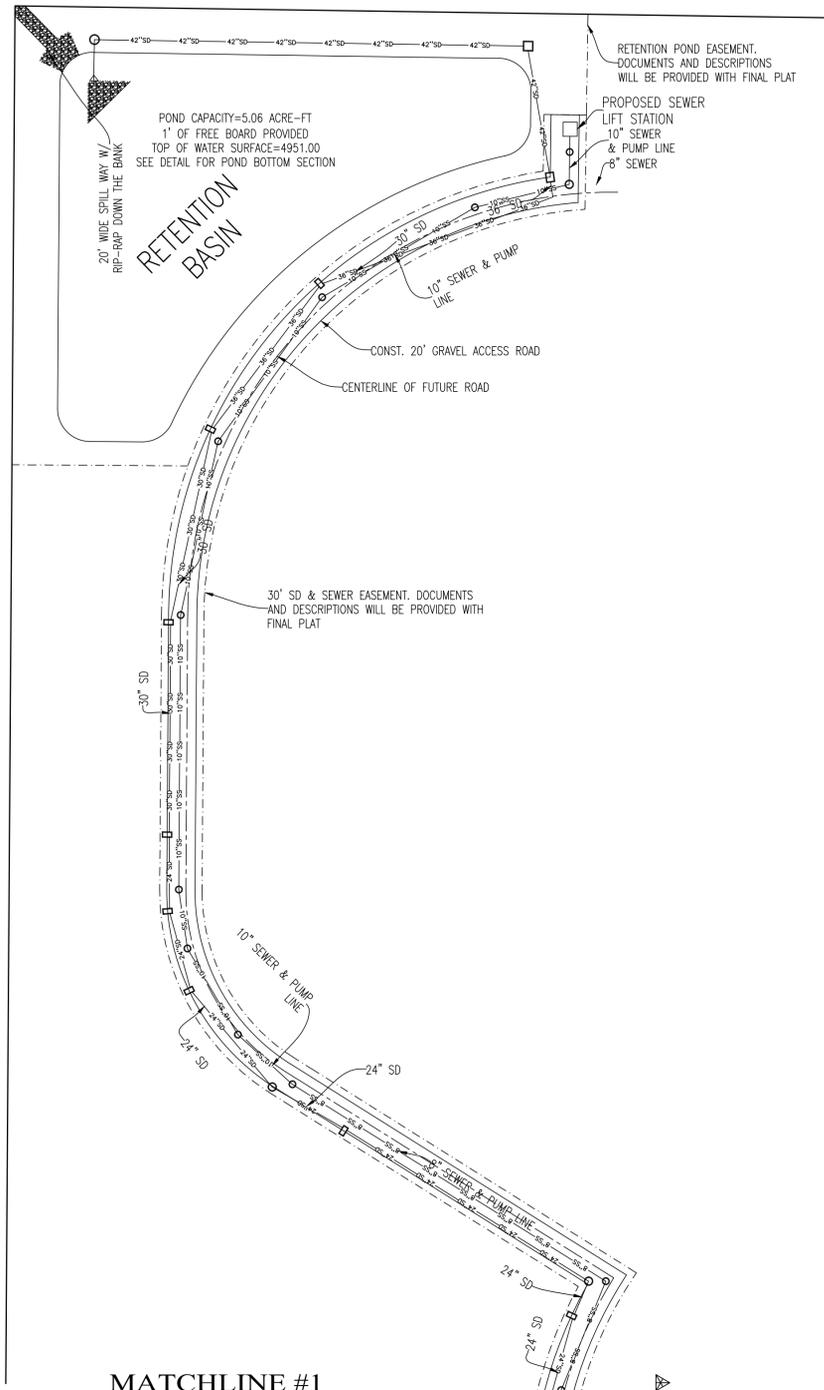
CONST. 20' GRAVEL ACCESS ROAD
CENTERLINE OF FUTURE ROAD
30" SD & SEWER EASEMENT. DOCUMENTS AND DESCRIPTIONS WILL BE PROVIDED WITH FINAL PLAT

20' BUILDING SETBACK ALONG THE SOUTH BOUNDARY. SETBACK TO INCLUDE 10' LANDSCAPED CORRIDOR. THIS 10' CORRIDOR TO BE THE ONE-HALF OF A 20' CORRIDOR TO BE COOPERATIVELY PLANNED WITH SITA, WHICH WILL PROVIDE BOTH THE OTHER 10' LANDSCAPED PORTION OF THE CORRIDOR AND THE TRAIL.

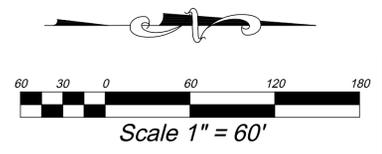


MATCHLINE #2

MATCHLINE #2



MATCHLINE #1



| REVISIONS | | | | |
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OQUIRRH MOUNTAIN RANCH
EAGLE MOUNTAIN SUBDIVISION UTAH

Drawn by: D.W.P.
Designed by: D.W.P.
Checked by: D.W.P.

Scale: 1"=60'
Date: 12/12/14
2 OF 4

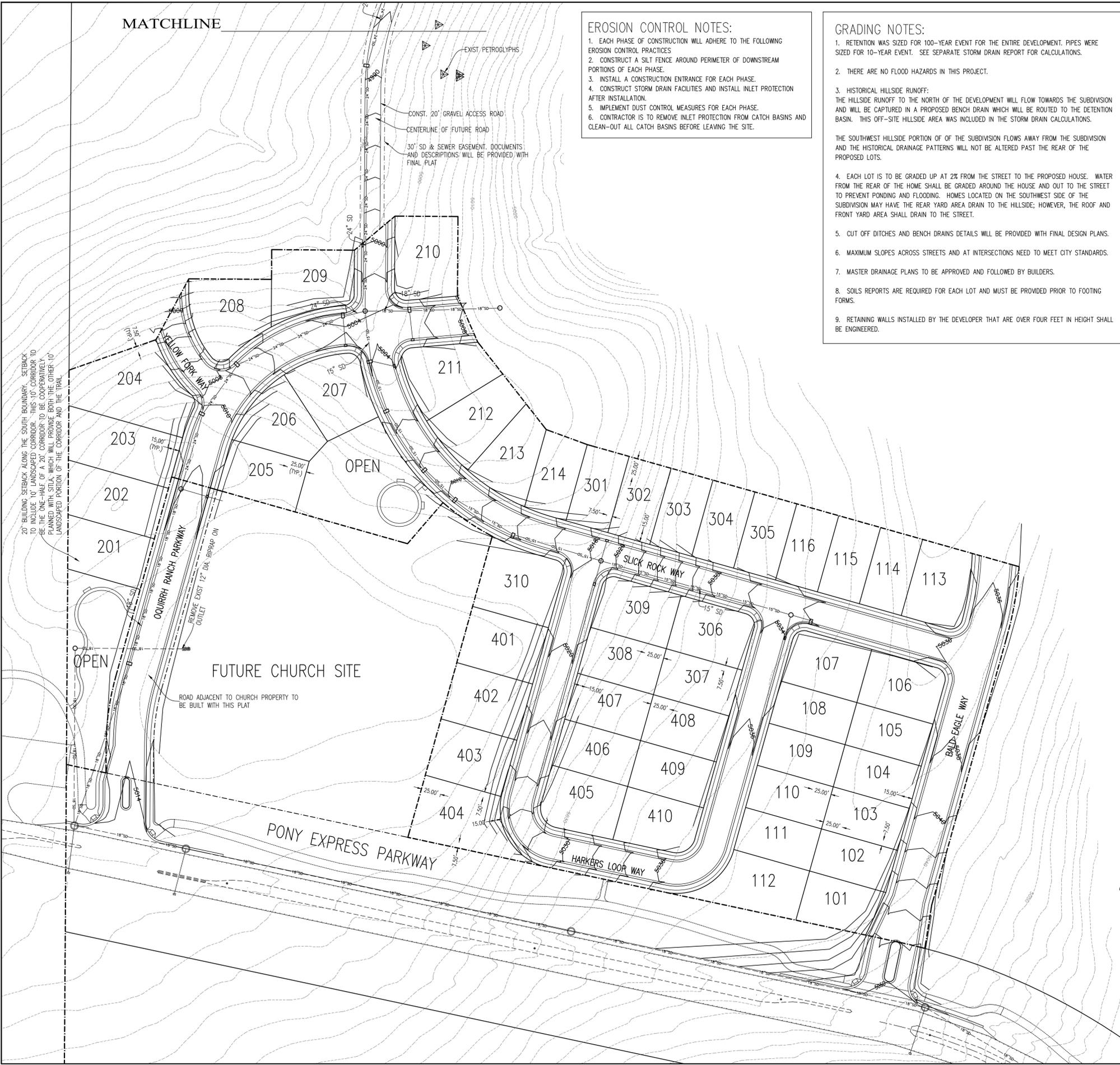
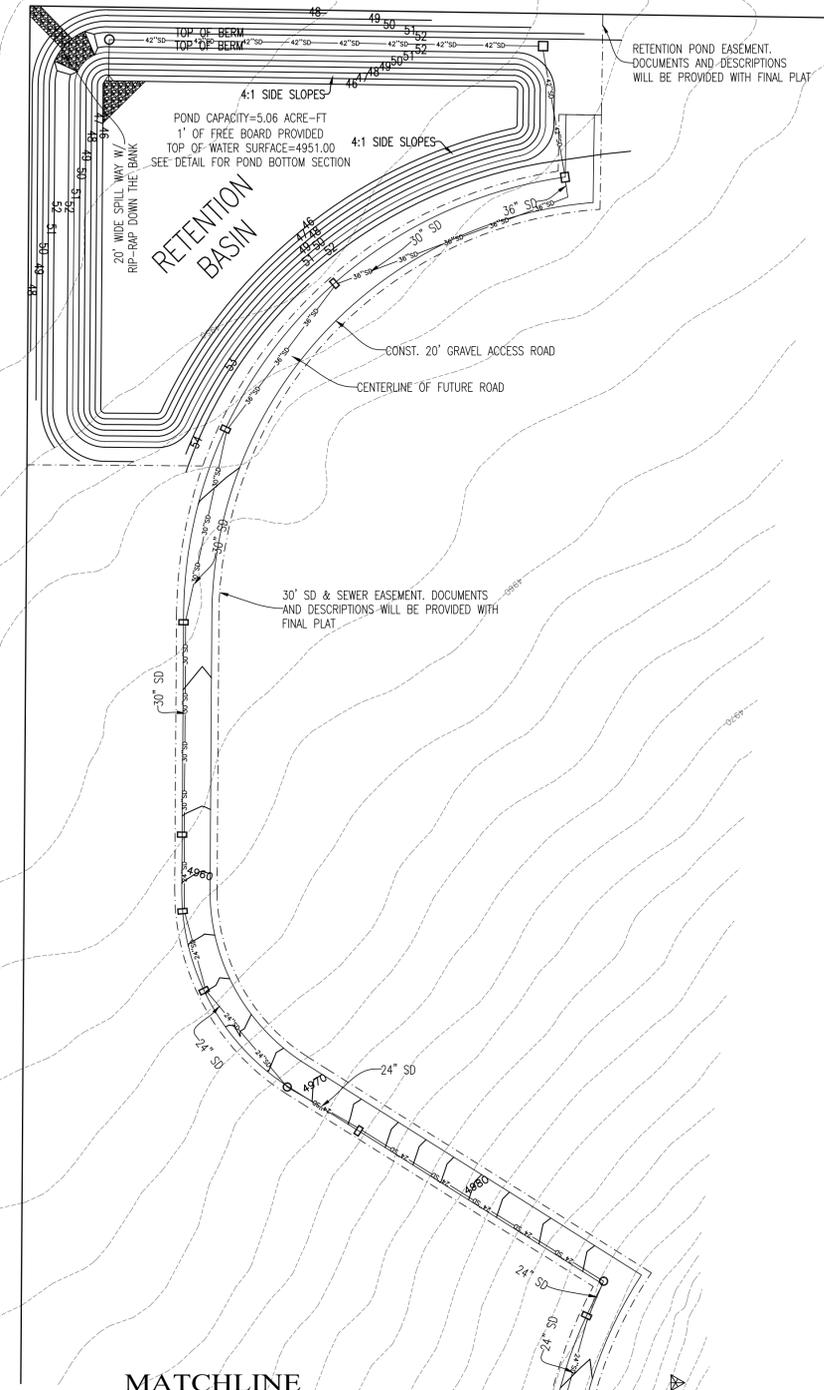
MATCHLINE

EROSION CONTROL NOTES:

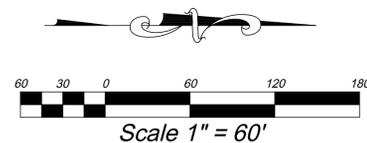
1. EACH PHASE OF CONSTRUCTION WILL ADHERE TO THE FOLLOWING EROSION CONTROL PRACTICES
2. CONSTRUCT A SILT FENCE AROUND PERIMETER OF DOWNSTREAM PORTIONS OF EACH PHASE.
3. INSTALL A CONSTRUCTION ENTRANCE FOR EACH PHASE.
4. CONSTRUCT STORM DRAIN FACILITIES AND INSTALL INLET PROTECTION AFTER INSTALLATION.
5. IMPLEMENT DUST CONTROL MEASURES FOR EACH PHASE.
6. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.

GRADING NOTES:

1. RETENTION WAS SIZED FOR 100-YEAR EVENT FOR THE ENTIRE DEVELOPMENT. PIPES WERE SIZED FOR 10-YEAR EVENT. SEE SEPARATE STORM DRAIN REPORT FOR CALCULATIONS.
2. THERE ARE NO FLOOD HAZARDS IN THIS PROJECT.
3. HISTORICAL HILLSIDE RUNOFF: THE HILLSIDE RUNOFF TO THE NORTH OF THE DEVELOPMENT WILL FLOW TOWARDS THE SUBDIVISION AND WILL BE CAPTURED IN A PROPOSED BENCH DRAIN WHICH WILL BE ROUTED TO THE DETENTION BASIN. THIS OFF-SITE HILLSIDE AREA WAS INCLUDED IN THE STORM DRAIN CALCULATIONS.
4. EACH LOT IS TO BE GRADED UP AT 2% FROM THE STREET TO THE PROPOSED HOUSE. WATER FROM THE REAR OF THE HOME SHALL BE GRADED AROUND THE HOUSE AND OUT TO THE STREET TO PREVENT PONDING AND FLOODING. HOMES LOCATED ON THE SOUTHWEST SIDE OF THE SUBDIVISION MAY HAVE THE REAR YARD AREA DRAIN TO THE HILLSIDE; HOWEVER, THE ROOF AND FRONT YARD AREA SHALL DRAIN TO THE STREET.
5. CUT OFF DITCHES AND BENCH DRAINS DETAILS WILL BE PROVIDED WITH FINAL DESIGN PLANS.
6. MAXIMUM SLOPES ACROSS STREETS AND AT INTERSECTIONS NEED TO MEET CITY STANDARDS.
7. MASTER DRAINAGE PLANS TO BE APPROVED AND FOLLOWED BY BUILDERS.
8. SOILS REPORTS ARE REQUIRED FOR EACH LOT AND MUST BE PROVIDED PRIOR TO FOOTING FORMS.
9. RETAINING WALLS INSTALLED BY THE DEVELOPER THAT ARE OVER FOUR FEET IN HEIGHT SHALL BE ENGINEERED.



MATCHLINE



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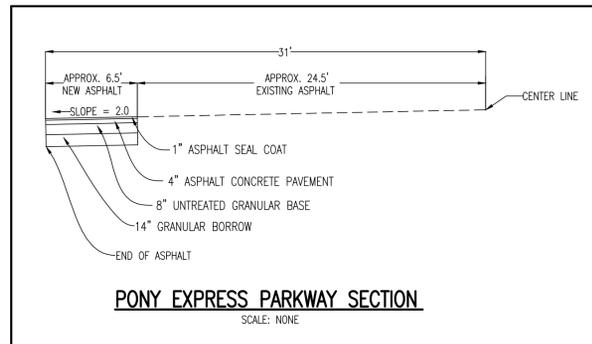
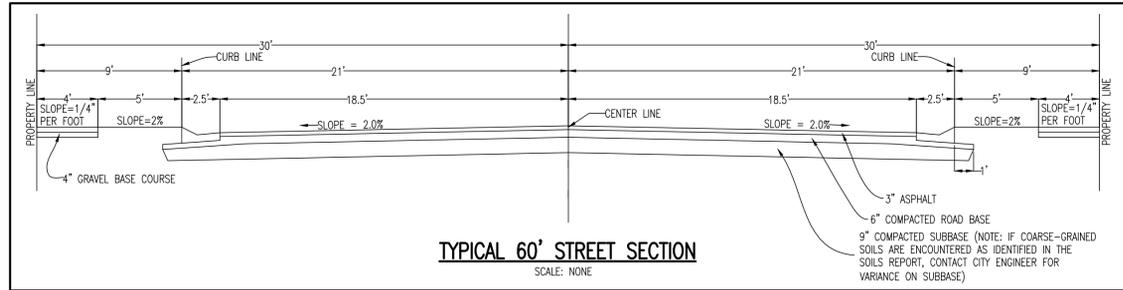
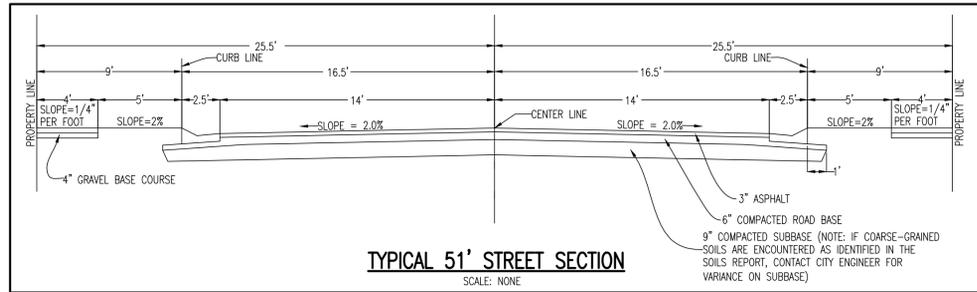
OQUIRRH MOUNTAIN RANCH
 EAGLE MOUNTAIN SUBDIVISION UTAH

Drawn by: G.J.Y.
 Designed by: G.J.Y.
 Checked by: D.W.P.

Scale: 1"=60'
 Date: 12/12/14
 3 OF 4

20' BUILDING SETBACK ALONG THE SOUTH BOUNDARY. SETBACK TO INCLUDE 10' LANDSCAPED CORRIDOR. THIS 10' CORRIDOR TO BE THE ONE-HALF OF A 20' CORRIDOR TO BE COOPERATIVELY PLANNED WITH SITA, WHICH WILL PROVIDE BOTH THE OTHER 10' LANDSCAPED PORTION OF THE CORRIDOR AND THE TRAIL.

15.00' (TYP.)



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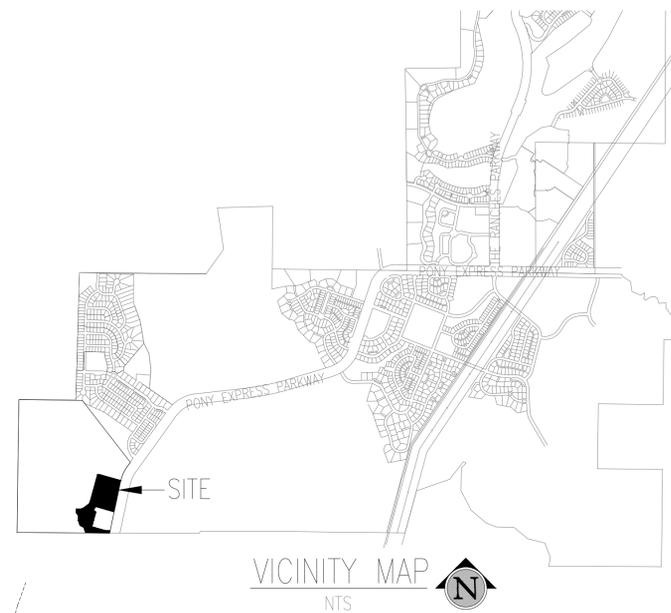
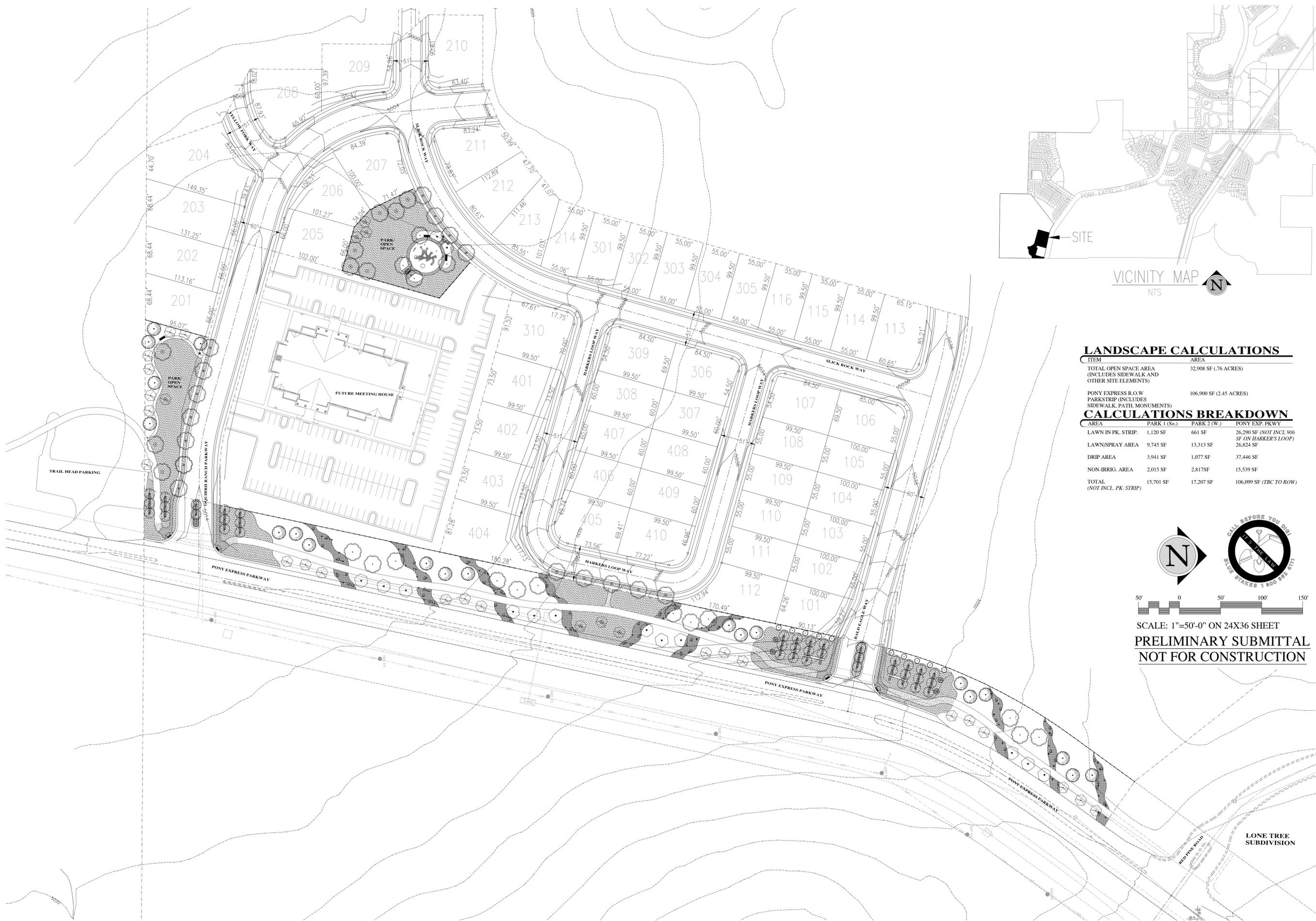
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4 OF 4

DETAIL SHEET

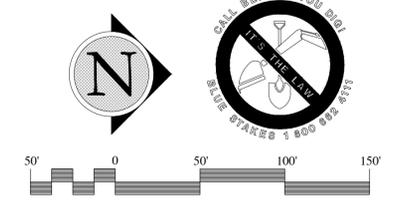


LANDSCAPE CALCULATIONS

| ITEM | AREA |
|---|-------------------------|
| TOTAL OPEN SPACE AREA (INCLUDES SIDEWALK AND OTHER SITE ELEMENTS) | 32,908 SF (.76 ACRES) |
| PONY EXPRESS R.O.W PARKSTRIP (INCLUDES SIDEWALK, PATH, MONUMENTS) | 106,900 SF (2.45 ACRES) |

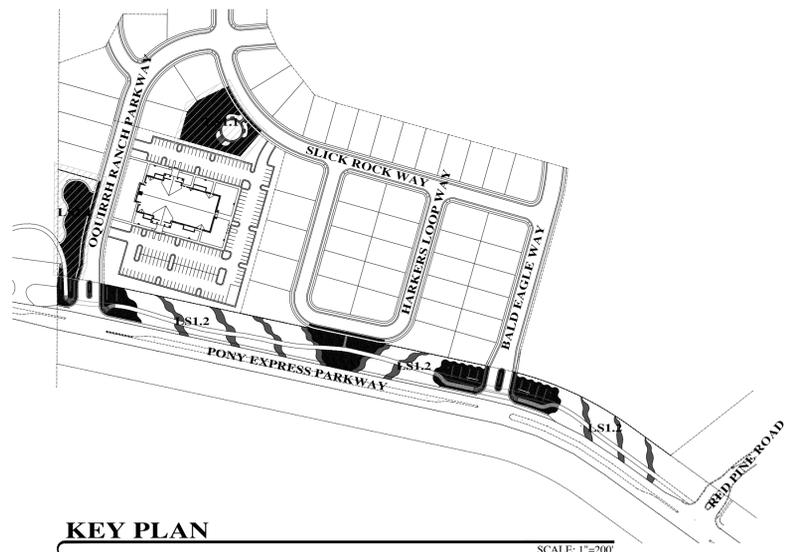
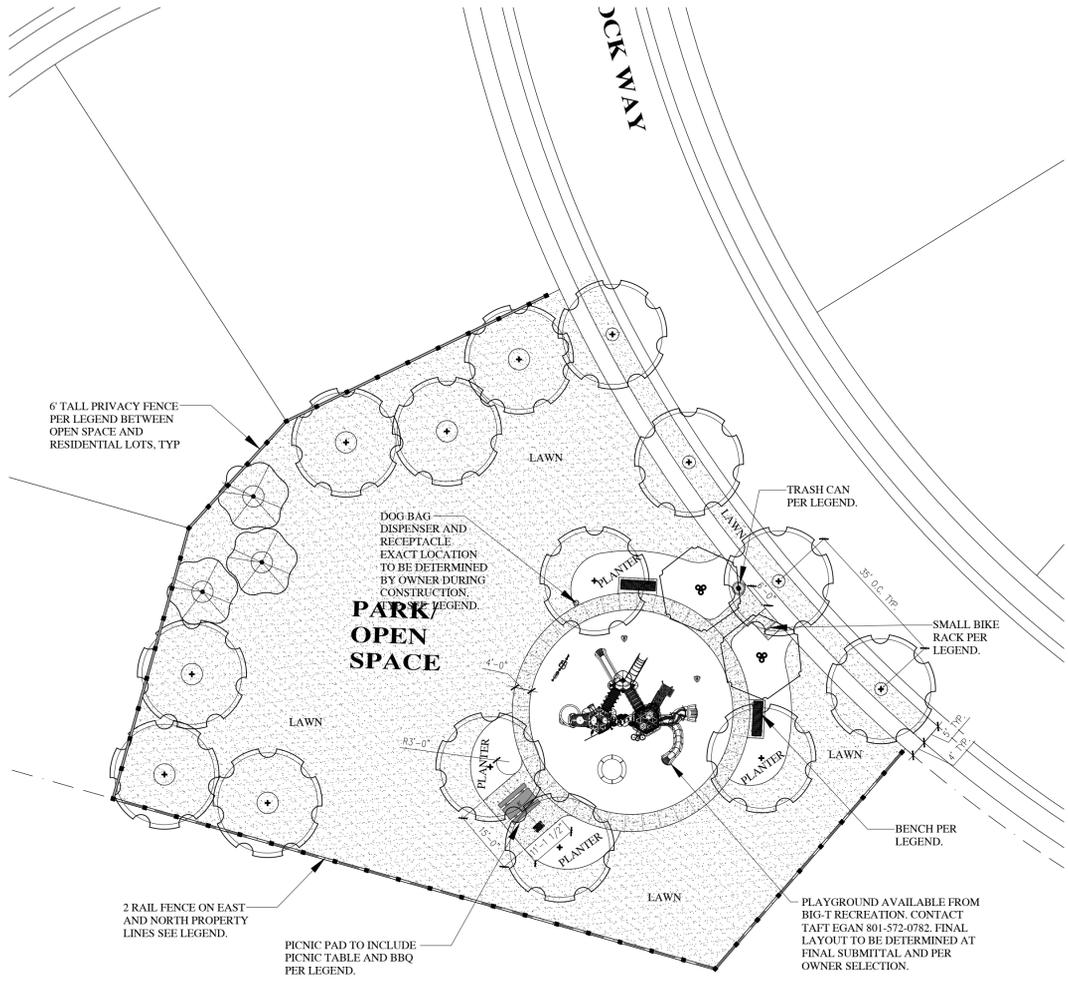
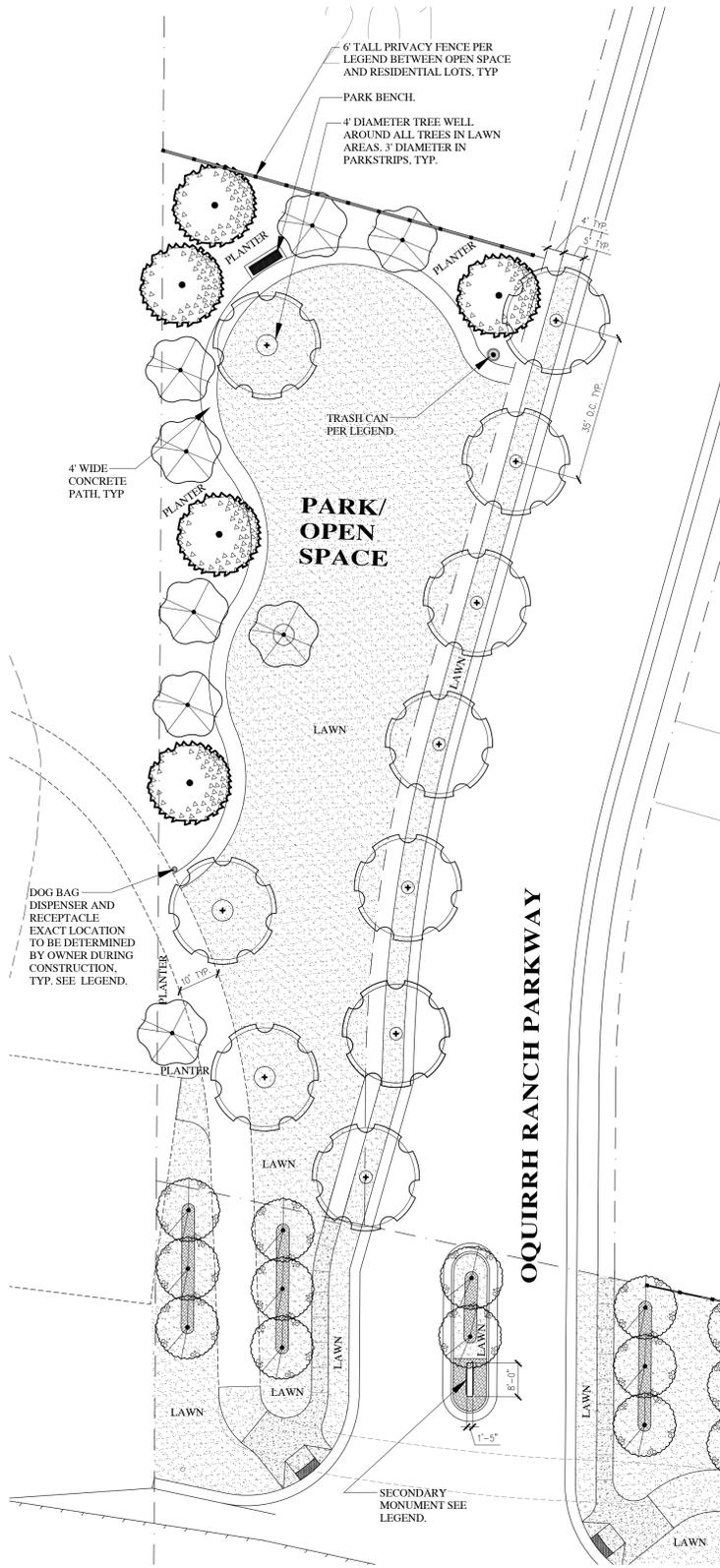
CALCULATIONS BREAKDOWN

| AREA | PARK 1 (S.E.) | PARK 2 (W.) | PONY EXP. PKWY |
|-----------------------------|---------------|-------------|---|
| LAWN IN PK. STRIP | 1,120 SF | 661 SF | 26,290 SF (NOT INCL 906 SF ON HARKERS LOOP) |
| LAWN/SPRAY AREA | 9,745 SF | 13,313 SF | 26,824 SF |
| DRIP AREA | 3,941 SF | 1,077 SF | 37,446 SF |
| NON-IRRIG. AREA | 2,015 SF | 2,817 SF | 15,539 SF |
| TOTAL (NOT INCL. PK. STRIP) | 15,701 SF | 17,207 SF | 106,099 SF (TBC TO ROW) |



SCALE: 1"=50'-0" ON 24X36 SHEET
PRELIMINARY SUBMITTAL
NOT FOR CONSTRUCTION

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KEY PLAN
SCALE: 1"=200'

TREE LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| | DECIDUOUS MEDIUM TO LARGE SHADE OR PARKSTRIP TREE |
| | EVERGREEN TREE |
| | ENTRY FLOWERING TREE |
| | ORNAMENTAL FLOWERING TREE |
| | COLUMNAR TREE |

NOTE:
1. THIS PRELIMINARY PLAN DOESN'T SHOW TREE SHRUBS OR PERENNIALS SIZES AS WELL AS SHRUB OR PERENNIAL LOCATIONS THEY WILL BE PROVIDE IN THE FINAL SUBMITTAL.
2. ALL PLANT MATERIAL SHALL BE SELECTED FROM APPROVED PLANT LIST CONTAINED IN THE OQUIRRH MOUNTAIN RANCH AND THE RANCHES DESIGN GUIDELINES. PLANT SIZE SHALL BE THE MINIMUM REQUIRED BY SUBDIVISION DESIGN GUIDELINES.

SITE ELEMENT LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| | NEW CONCRETE WALKS & RAMP |
| | NEW ASPHALT TRAIL. TIE INTO EXISTING ASPHALT TRAIL |
| | LAWN |
| | NOT SHOWN |
| | 4" TO 6" DECORATIVE ROCK WITH SINGLE AND GROUPINGS OF VARIOUS SIZED BOULDERS. ONLY EVERGREEN SHRUBS AND YUCCA'S TO BE PLANTED WITHIN THIS ROCK TYPE. COLOR OF ROCK AND BOULDERS TO BE DETERMINED. ALL PLANT MATERIAL TO BE WITHIN OQUIRRH MOUNTAIN RANCH AND THE RANCHES DESIGN GUIDELINES. |
| | SMALL DOUBLE SIDED ENTRY MONUMENT SIGNAGE WITH LIGHTING. LETTERING PER RANCHES HOA GUIDELINES. STONE TO MATCH OTHER RANCHES SIGNAGE. |
| | LARGE ENTRY MONUMENT SIGNAGE WITH LIGHTING. LETTERING PER RANCHES HOA GUIDELINES. STONE TO MATCH OTHER RANCHES SIGNAGE. |
| | 6" TALL PERIMETER FENCE WITH TRANSITION SECTION TO TIE BACK INTO 4" TALL 2 RAIL FENCE PER RANCHES HOA FENCING GUIDELINES SECTION 1.2. TYPICAL ALONG FRONTAGE. FINISH PER RANCHES HOA GUIDELINES. |
| | 4" TALL 2 RAIL FENCE AS TYPICALLY SEEN THROUGHOUT THE RANCHES AND PER 8.4.3 OF THE RANCHES DESIGN GUIDELINE. PROVIDE OPTIONAL 12" WIDE CONCRETE CURB UNDER 2 RAIL FENCE. |
| | HEAVY DUTY STEEL OR COMPOSITE PLASTIC EDGING BETWEEN LAWN AND PLANTERS AROUND TREES AT ENTRY MONUMENT LOCATIONS, TYP. |
| | 36" DIA. TRASH RECEPTACLE FROM PREMIER SITE FURNISHINGS: MODEL #OAK132 (2) |
| | DOGI POT BAG DISPENSER WITH TRASH: #KDP1003 (2) |
| | 8" BENCH FROM PREMIER SITE FURNISHINGS: #MM800RB (3) |
| | 8" PICNIC TABLE FROM KAY PARK RECREATION: #82BGA (1) |
| | PEDESTAL BBQ FROM KAY PARK RECREATION: #SF16 (1) |
| | 5 SPACE BIKE RACK FROM KAY PARK RECREATION: #613GIG (1) |

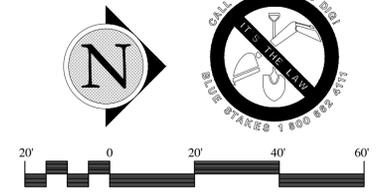
LANDSCAPE CALCULATIONS

| ITEM | AREA |
|---|------------------------|
| TOTAL OPEN SPACE AREA (INCLUDES SIDEWALK AND OTHER SITE ELEMENTS) | 32,908 SF (0.76 ACRES) |

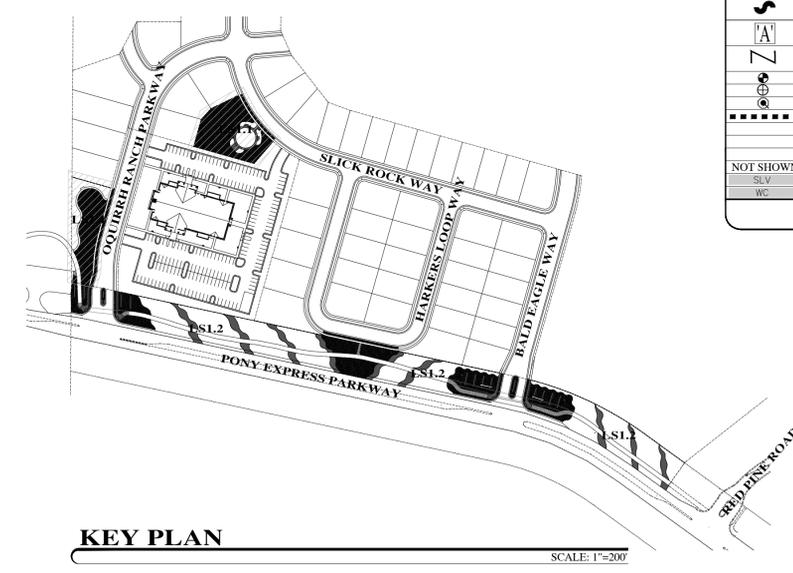
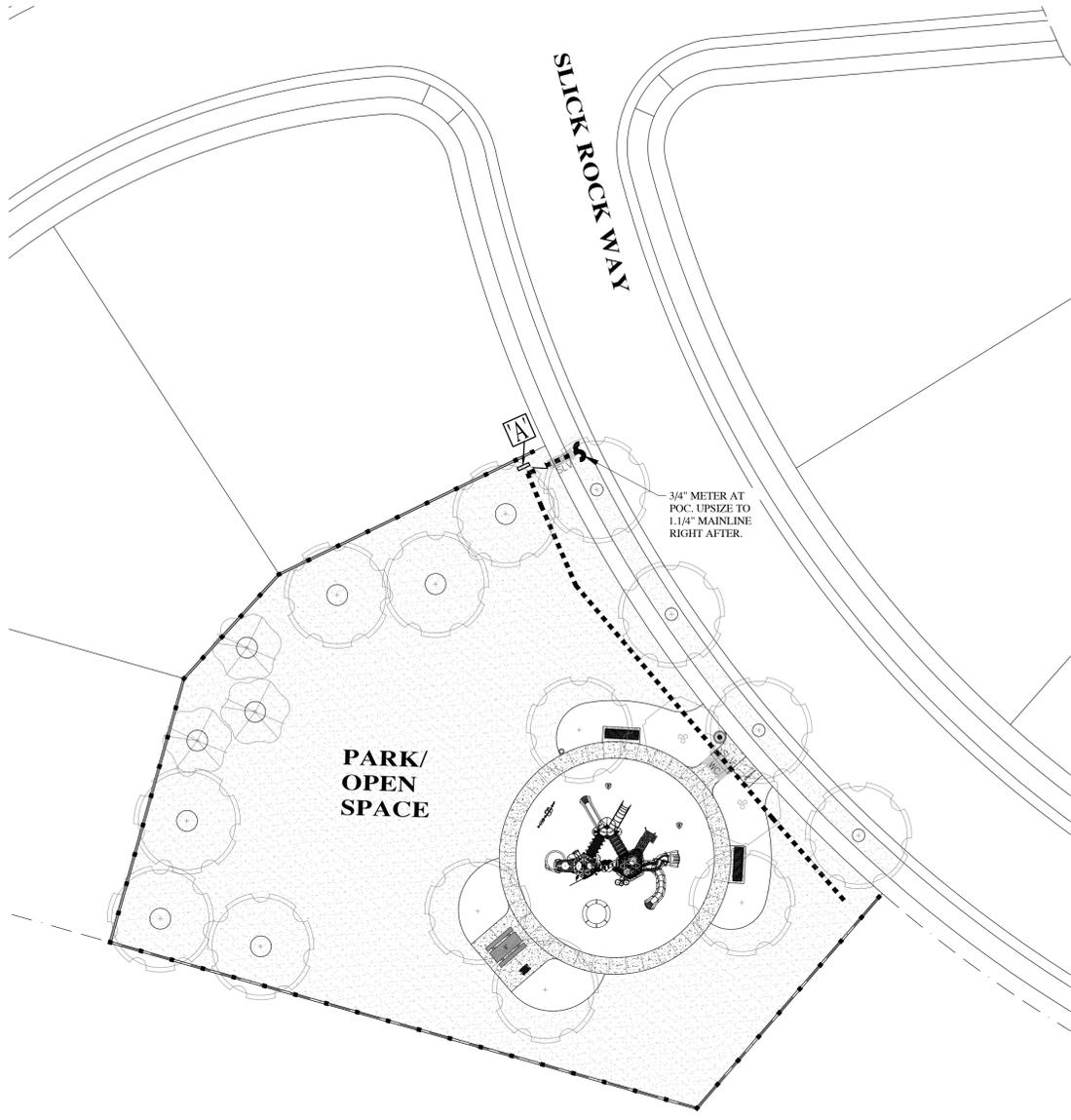
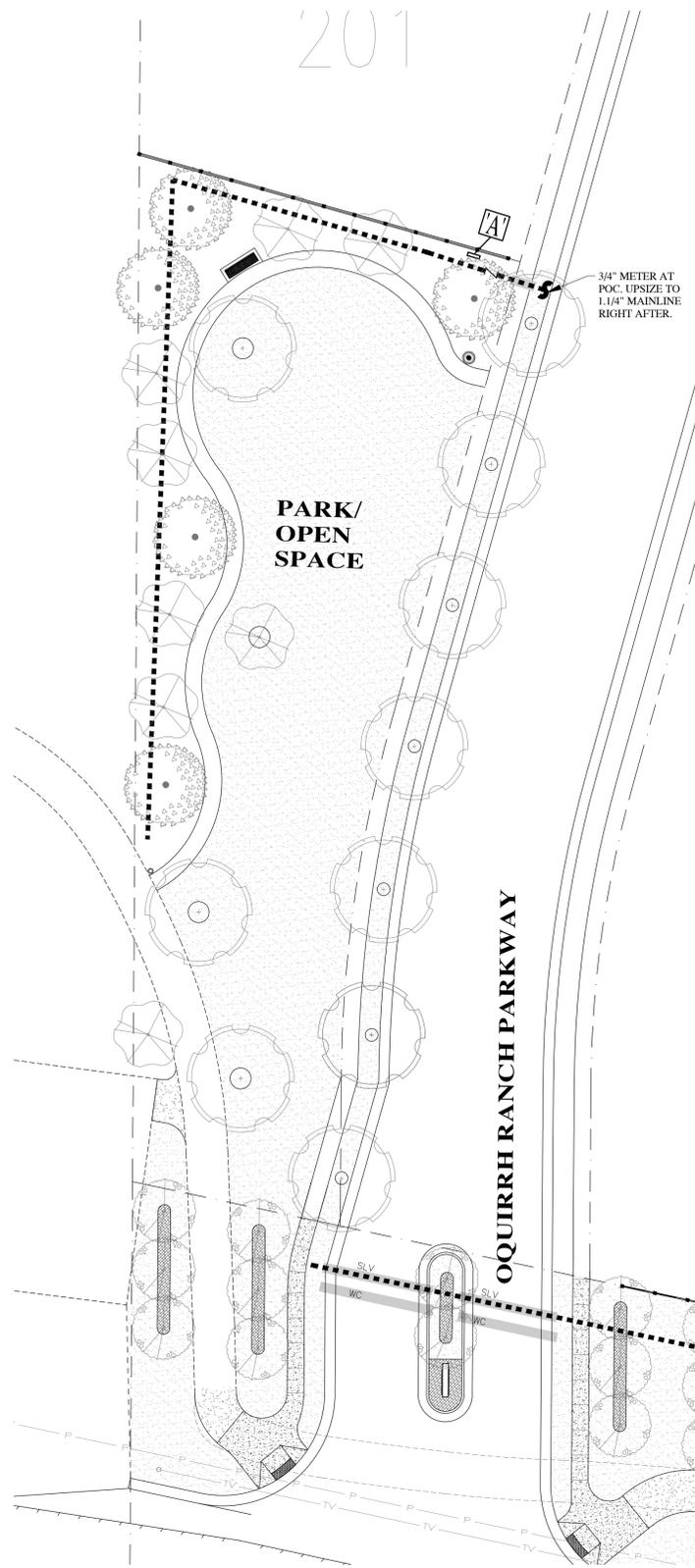
| | |
|---|-------------------------|
| PONY EXPRESS R.O.W PARKSTRIP (INCLUDES SIDEWALK, PATH, MONUMENTS) | 106,900 SF (2.45 ACRES) |
|---|-------------------------|

CALCULATIONS BREAKDOWN

| AREA | PARK 1 (So.) | PARK 2 (W.) | PONY EXP. PKWY |
|-----------------------------|--------------|-------------|---|
| LAWN IN PK. STRIP. | 1,120 SF | 661 SF | 26,290 SF (NOT INCL. 906 SF ON HARKER'S LOOP) |
| LAWN/SPRAY AREA | 9,745 SF | 13,313 SF | 26,824 SF |
| DRIP AREA | 3,941 SF | 1,077 SF | 37,446 SF |
| NON-IRRIG. AREA | 2,015 SF | 2,817 SF | 15,539 SF |
| TOTAL (NOT INCL. PK. STRIP) | 15,701 SF | 17,207 SF | 106,099 SF (TBC TO ROW) |



SCALE: 1"=20'-0" ON 24X36 SHEET
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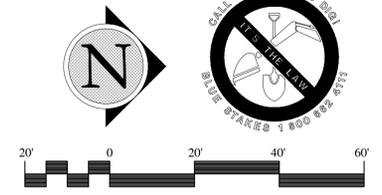


IRRIGATION NOTES

- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY. CONTRACTOR TO INSTALL ONE EXTRA 6" SLEEVE FOR FUTURE USE ACROSS ALL ROAD CROSSINGS. CONTRACTOR TO INSTALL EXTRA CONDUIT ACROSS ALL ROAD CROSSINGS. TYP.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- MAIN LINE SHALL BE 1.1/4" (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 3/4" UNLESS NOTED ON PLAN. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 3/4" PIPE MAX. 8GPM, 1" PIPE MAX. 13GPM, AND 1.1/4" PIPE MAX. 23GPM. ADJUST LOCATION OF MAINLINE AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- DRIP LINES SHALL BE FLEXIBLE AR PVC TUBING BY GPH. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" TUBING. FOR DRIP AREAS REQUIRING 4-8 GPM USE 3/4" TUBING AND FOR DRIP AREAS REQUIRING 8-13 GPM USE 1" TUBING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
- INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED 6" MIN. FROM WALKS AND WALLS SQUARED WITH THE WALK.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH BETTER THAN HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE L.C. SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS, FENCING AND BUILDINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS AS NEEDED TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS. IN-SITE DESIGN GROUP CAN PREPARE IRRIGATION HEAD LAYOUT AND PIPE SIZE PLAN PER ADDITIONAL FEE TO BE DETERMINED.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. CONTROLLER AND RPZ SHALL BE INSTALLED IN A LOCATION AS NOT TO BE PROMINENT, HIDE BEHIND OTHER SITE ELEMENTS WHERE POSSIBLE. CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPECS.
- THE IRRIGATION SYSTEM TO BE WINTERIZED BY BLOWING THE SYSTEM OUT EACH FALL THROUGH THE BLOWOUT KIT ON THE RPZ.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- IRRIGATION SYSTEM AND TRENCHING SHALL BE VISUALLY INSPECTED ALL PRIOR TO BACKFILLING. IRRIGATION CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. IRRIGATION CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING PER SPECIFICATIONS SEE SHEET LS-4.1.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- POINT OF CONNECTION: INSTALL A 1" STOP AND WASTE VALVE OFF OF THE NEW WATER METER. UPSIZE THE MAINLINE PIPING IMMEDIATELY AFTER THE STOP AND WASTE VALVE TO 1.1/4". INSTALL A 3/4" OR 1" RPZ PER THE LEGEND. INSTALL MISC. REDUCER FITTINGS AS NECESSARY BEFORE AND AFTER THE RPZ. THE POINT OF CONNECTION PIPING SHALL BE MIN. 150 PSI HDPE PIPE OR AS APPROVED BY THE CITY. ALL PIPING FROM 2' BEFORE THE RPZ TO 2' DOWNSTREAM OF THE RPZ TO BE COPPER, BRASS OR GALVANIZED. IF CORROSION POSSIBILITIES EXIST, USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE RPZ PER MANUFACTURER SPECS. INSTALL THE RPZ AND PRESSURE REDUCER IN A LOCKING METAL VANDAL RESISTANT CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- INSTALL THE PRS-D OPTION FOR THE SPRAY VALVES IF THE STATIC PRESSURE AT THE SPRAY HEADS EXCEEDS 70 PSI.
- THE SMT CONTROLLER HAS WEATHER/RAIN SENSOR AS PART OF THE CONTROLLER PACKAGE. INSTALL PER MANUFACTURER SPECS.

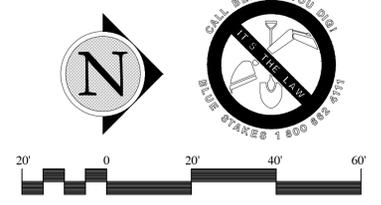
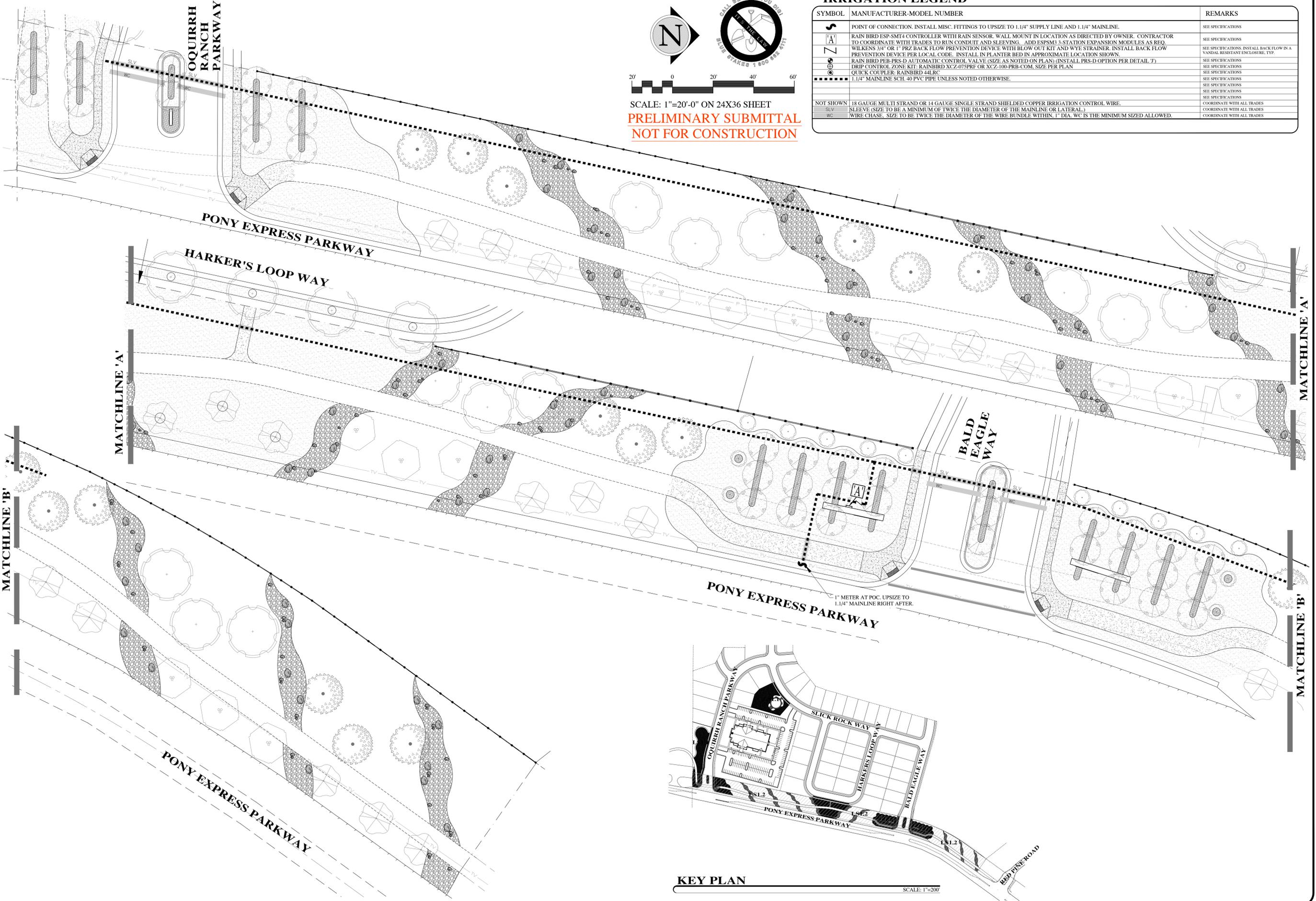
IRRIGATION LEGEND

| SYMBOL | MANUFACTURER-MODEL NUMBER | REMARKS |
|-----------|---------------------------|--|
| | | POINT OF CONNECTION. INSTALL MISC. FITTINGS TO UPSIZE TO 1.1/4" SUPPLY LINE AND 1.1/4" MAINLINE. SEE SPECIFICATIONS |
| | | RAIN BIRD ESP-SMT4 CONTROLLER WITH RAIN SENSOR. WALL MOUNT IN LOCATION AS DIRECTED BY OWNER. CONTRACTOR TO COORDINATE WITH TRADES TO RUN CONDUIT AND SLEEVING. ADD ESPSMS 3-STATION EXPANSION MODULES AS REQ. SEE SPECIFICATIONS |
| | | WILKINS 3/4" OR 1" PRZ BACK FLOW PREVENTION DEVICE WITH BLOW OUT KIT AND WYE STRAINER. INSTALL BACK FLOW PREVENTION DEVICE PER LOCAL CODE. INSTALL IN PLANTER BED IN APPROXIMATE LOCATION SHOWN. SEE SPECIFICATIONS. INSTALL BACK FLOW IN A VANDAL RESISTANT ENCLOSURE, TYP. |
| | | RAIN BIRD PEB-PRS-D AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN) (INSTALL PRS-D OPTION PER DETAIL 'J') SEE SPECIFICATIONS |
| | | DRIP CONTROL ZONE KIT: RAINBIRD XCZ-075-PRF OR XCZ-100-FKB-COM. SIZE PER PLAN SEE SPECIFICATIONS |
| | | QUICK COUPLER: RAINBIRD 44LR SEE SPECIFICATIONS |
| | | 1.1/4" MAINLINE SCH. 40 PVC PIPE UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS |
| NOT SHOWN | | 18 GAUGE MULTI STRAND OR 14 GAUGE SINGLE STRAND SHIELDED COPPER IRRIGATION CONTROL WIRE. SEE SPECIFICATIONS |
| SLV | | SLEEVE (SIZE TO BE A MINIMUM OF TWICE THE DIAMETER OF THE MAINLINE OR LATERAL.) COORDINATE WITH ALL TRADES |
| WC | | WIRE CHASE. SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN. 1" DIA. WC IS THE MINIMUM SIZED ALLOWED. COORDINATE WITH ALL TRADES |



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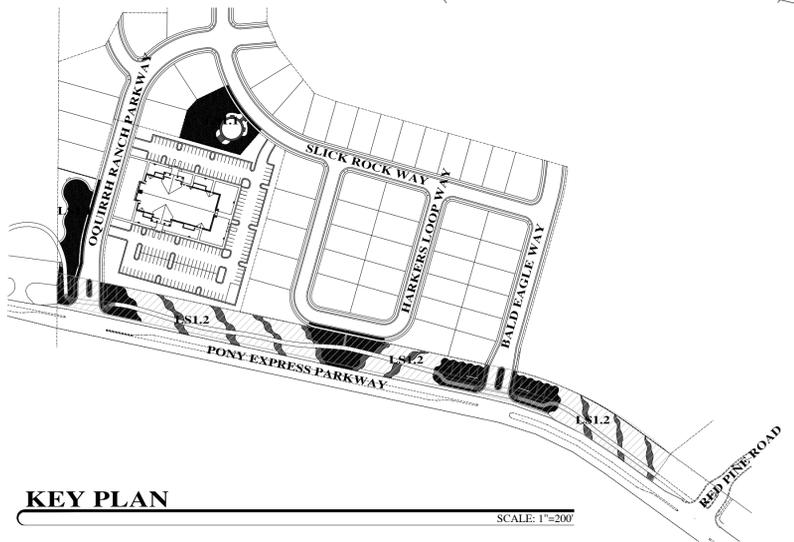
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IRRIGATION LEGEND

| SYMBOL | MANUFACTURER-MODEL NUMBER | REMARKS |
|-----------|---|---|
| | POINT OF CONNECTION. INSTALL MISC. FITTINGS TO UPSIZE TO 1.1/4" SUPPLY LINE AND 1.1/4" MAINLINE. | SEE SPECIFICATIONS |
| | RAIN BIRD ESP-SMT4 CONTROLLER WITH RAIN SENSOR. WALL MOUNT IN LOCATION AS DIRECTED BY OWNER. CONTRACTOR TO COORDINATE WITH TRADES TO RUN CONDUIT AND SLEEVING. ADD ESPSM3 3-STATION EXPANSION MODULES AS REQ. | SEE SPECIFICATIONS |
| | WILKINS 3/4" OR 1" PRZ BACK FLOW PREVENTION DEVICE WITH BLOW OUT KIT AND WYE STRAINER. INSTALL BACK FLOW PREVENTION DEVICE PER LOCAL CODE. INSTALL IN PLANTER BED IN APPROXIMATE LOCATION SHOWN. | SEE SPECIFICATIONS. INSTALL BACK FLOW IN A VANDAL RESISTANT ENCLOSURE, TYP. |
| | RAIN BIRD PEB-PRS-D AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN). (INSTALL PRS-D OPTION PER DETAIL 'J') | SEE SPECIFICATIONS |
| | DRIP CONTROL ZONE KIT: RAINBIRD XCZ-075PRF OR XCZ-100-PRB-COM. SIZE PER PLAN | SEE SPECIFICATIONS |
| | QUICK COUPLER: RAINBIRD 44RC | SEE SPECIFICATIONS |
| | 1.1/4" MAINLINE. SCH. 40 PVC PIPE UNLESS NOTED OTHERWISE. | SEE SPECIFICATIONS |
| NOT SHOWN | 18 GAUGE MULTI STRAND OR 14 GAUGE SINGLE STRAND SHIELDED COPPER IRRIGATION CONTROL WIRE. | COORDINATE WITH ALL TRADES |
| SLV | SLEEVE (SIZE TO BE A MINIMUM OF TWICE THE DIAMETER OF THE MAINLINE OR LATERAL.) | COORDINATE WITH ALL TRADES |
| WC | WIRE CHASE. SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN, 1" DIA. WC IS THE MINIMUM SIZED ALLOWED. | COORDINATE WITH ALL TRADES |



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SECTION 312216 - FINE GRADING

PART 1 - GENERAL

1.1 SUMMARY

- A. Includes But Not Limited To:
1. Perform fine grading work required to prepare site for paving finish grading and for landscape finish grading and soil preparation as described in Documents.
- B. Related Sections:
1. Section 329113: Finish grading and soil preparation for landscaping.
 2. Section 311000: Site clearing (if applicable).

1.2 REFERENCES

- A. American Society For Testing And Materials:
1. ASTM D 1557-02, Standard Test Method for Laboratory Compaction Characteristics of Soil Using Modified Effort.

- 1.3 QUALITY ASSURANCE
- A. Pre-Installation Conference: Participate in pre-installation conference.
- PART 2 - PRODUCTS - Not Used

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Do not commence work of this Section until grading tolerances are met.

3.2 PREPARATION

- A. Protection: Protect utilities and site elements from damage.
- B. Surface Preparation:
1. Before grading, dig out weeds from proposed lawn and other planting areas by their roots and remove from site. Remove from site all rocks larger than 1/2 inches in size and foreign matter such as building rubble, wire, cans, sticks, concrete, etc. Excavate down deep enough in new planters and lawn areas to allow for imported and/or amendments to stockpiled topsoil, wood mulch and cobble rock depth per plans.
 2. Remove imported paving material present in lawn or planting areas down to natural subgrade or other material acceptable to Landscape Architect. This shall be performed as part of the base bid and shall be done at no additional cost to the Owner.
 3. Limit use of heavy equipment to areas no closer than 6 feet from building or other permanent structures.
 4. See civil engineer's plans for additional requirements.
- C. Contractor shall field verify all existing and proposed utilities, trees, plants, buildings, structures, roads, curb and gutter, sidewalks, irrigation system, utilities, easements, setbacks, right-of-ways, etc. to make sure no conflicts exist between existing conditions and proposed plans. Contractor shall be responsible to make on-site field adjustments as may be required due to discrepancies found during construction. Contractor and Owner agrees to hold In-Site Design Group harmless for any and all such discrepancies including costs associated with such discrepancies including repair, replacement or anything related to such discrepancies.

3.3 PERFORMANCE

- A. Site Tolerances:
1. Maximum variation from required grades shall be 1/10 of one foot.
 2. To allow for final finish grades of planting areas, fine grade elevations before placing topsoil area:
- a. New Sod Areas: Approx. 5-3/4 inches below top of walk or curb.
- b. Trees, Shrubs, Perennial, Groundcover and Ornamental Grass Areas: 16 to 16-1/2 inches below top of walk or curb under 3" deep Decorative Cobble Rock or wood mulch areas.
- C. Do not expose or damage existing shrub or tree roots that are to be protected in place. Contractor shall confirm with Owner all vegetation that shall remain in place prior to demolition of the project. Refer to demolition plans and/or tree protection plans for additional information.
- D. Distribute approved imported topsoil, amendments, cobble rock, wood mulch etc. per plans. Remove organic material, rocks and clods greater than 1-1/2 inch in any dimension, excavated planter soil, excavated lawn soil and other materials and other objectionable materials from the site at no additional cost to the Owner as part of the base bid.
- D. Unless otherwise noted on civil plans, slope grade away from building for 12 feet minimum from walls at slope of 1/2 inch in 12 inches minimum unless otherwise noted. Direct surface drainage in manner indicated on Civil Drawings by molding surface to facilitate natural runoff of water. Fill low spots and pockets with specified fill material and grade to drain properly.

END OF SECTION 312216

SECTION 320101 - PLANT MAINTENANCE

PART 1 - GENERAL

1.1 SUMMARY

- A. Includes But Not Limited To:
1. Provide maintenance for new landscaping as described in Contract Documents.
- B. Related Sections:
1. Section 329001: Common Planting Requirements.

PART 2 - PRODUCTS: Not Used

PART 3 - EXECUTION

3.1 PERFORMANCE

- A. General:
1. Before beginning maintenance period, plants shall be in at least as sound, healthy, vigorous, and in approved condition as when delivered to site, unless accepted by Landscape Architect in writing at final landscape inspection
 2. Maintain all new lawn and landscaping from completion of landscape installation to 60 days after Substantial Completion Meeting.
 3. Replace landscaping that is dead or appears unhealthy or non-vigorous as directed by Architect at end of maintenance period. Make replacements within 5 days of notification. Lawn that does not live and has to be replaced shall be guaranteed and maintained an additional 60 days from date of replacement.
- B. Sodded Lawns:
1. Maintain sodded lawn areas until lawn complies with specified requirements and throughout maintenance period.
 2. Water sodded areas in sufficient quantities and at required frequency to maintain sub-soil immediately under sod continuously moist 3 to 4 inches deep.
 3. Cut grass first time when it reaches 3 inches high. Continue to mow at least once each week throughout maintenance period. Remove clippings.
 4. Apply weed killer as necessary to maintain weed-free lawn. Apply weed killer in accordance with manufacturer's instructions during calm weather when air temperature is between 50 and 80 deg F.
 5. At end of 60 day maintenance period, fertilize lawns with 16-16-8 (or per Owner's Manufacturer's Landscape Architects directive) at rate recommended by Fertilizer Manufacturer.
- C. Trees, Shrubs and Plants:
1. Maintain by pruning, cultivating, and weeding as required for healthy growth.
 2. Restore planting basins.
 3. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical positions as required.
 4. Spray as required to keep trees and shrubs free of insects and disease.
 5. Provide supplemental water by hand as needed in addition to water from sprinkling system.
 6. Adjust run time of sprinklers and drip as necessary (during 1 year warranty period) in order to avoid over or under watering of lawn, plants and trees including adjusting quantity, size, etc. of drip emitters.
 7. Provide at least monthly visual inspections (during the 1 year warranty period) of project during normal growing season to monitor and make sure plants and lawn are not being over or under watered. Prepare and file a monthly report of findings to Architect and Owner. Make adjustments to system at no additional cost to Owner including reprogramming of controller(s) and/or adjusting quantity and size of emitters to plants each month during the first year (growing season only) as necessary.

END OF SECTION 320101

SECTION 329001 - COMMON PLANTING REQUIREMENTS

PART 1 - GENERAL

1.1 SUMMARY

- A. Includes But Not Limited To:
1. Common procedures and requirements for landscaping work.
- B. Related Sections:
1. Section 328423: Underground Irrigation.

1.2 QUALITY ASSURANCE

- A. Qualifications:
1. Trained personnel familiar with required planting procedures and Contract Documents shall perform planting.
 2. Planting shall be performed under direction of foreman or supervisor with minimum five years experience in landscape installations.
- B. Pre-Installation Conferences:
1. Participate in pre-installation conference.
 2. Schedule planting pre-installation conference after completion of Fine Grading specified in Section 312216, but before beginning landscape work. In addition to these requirements:
- a. Establish responsibility for maintenance of new landscaping during all phases of construction period.

2. Prepare three typical landscape planting excavations (at different locations around the site) and conduct percolation test to verify that water drains away within two hours. Discuss results of percolation tests with Landscape Architect and Owner's representative prior to proceeding with planting. If this is not done, Contractor assumes all liability for planting in soils that do not drain properly.

1.3 DELIVERY, STORAGE, AND HANDLING

- A. Deliver packaged materials in containers showing weight, analysis, and name of Manufacturer. Protect materials from deterioration during delivery and while stored at site. A minimum of 25% of all plant material shall be labeled with the Botanical Name of the plant as well as the plant pot size.
- B. Deliver sod, plants, trees, and shrubs and other plants in healthy and vigorous condition and store in location on site where they will not be endangered and where they can be adequately watered and kept in healthy and vigorous condition.

1.4 SEQUENCING

- A. Do not plant trees and shrubs until major construction operations are completed. Do not commence landscaping work until work of Sections 312216 and 328423 has been completed and approved.
- B. Coordinate installation of planting materials during normal planting seasons for each type of plant material required.

PART 2 - PRODUCTS: Not Used

PART 3 - EXECUTION

3.1 INSTALLERS

- A. To be pre-approved by Owner before bidding.

3.2 EXAMINATION

- A. Inspect site and Contract Documents to become thoroughly acquainted with locations of existing and proposed utilities on site. Repair damage to these and other items adjacent to landscaping caused by work of this Section or replace at no additional cost to Owner.
- Contractor shall call Blue Stakes prior to commencing work on the project and shall keep the Blue Staking up to date as required. Any damage to existing Utilities, landscaping and irrigation shall be repaired at the expense of the Contractor with no additional costs to the Owner.

3.3 PREPARATION

- A. Before proceeding with work, verify dimensions and quantities. Report variations between Drawings and site to Landscape Architect before proceeding with landscape work.
1. Plant and all other landscape totals are for convenience of Contractor only and are not guaranteed. Verify amounts shown on Drawings prior to submitting bid and notify Architect of any discrepancies.
 2. All planting and other landscaping indicated on Drawings is required unless indicated otherwise.
- B. Contractor shall field verify all existing and proposed utilities, trees, plants, buildings, structures, roads, curb and gutter, sidewalks, irrigation system, utilities, easements, setbacks, right-of-ways, etc. to make sure no conflicts exist between existing conditions and proposed plans. Contractor shall be responsible to make on-site field adjustments as may be required due to discrepancies found during construction. Contractor and Owner agrees to hold In-Site Design Group harmless for any and all such discrepancies including costs associated with such discrepancies including repair, replacement or anything related to such discrepancies.
- C. Protection:
1. Take care in performing landscaping work to avoid conditions that will create hazards. Post signs or barriers as required.
 2. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains, etc. Repair or replace damaged areas.
 3. Keep site well drained and landscape excavations dry.

3.4 INSTALLATION

- A. All excavation with in the dripline of any trees or plants to remain shall be done by hand.
- B. Maintain grade stakes until parties concerned mutually agree upon removal.
- C. When conditions detrimental to plant growth are encountered, such as rubble fill or adverse drainage conditions, notify Landscape Architect before planting.

3.5 FIELD QUALITY CONTROL

A. Inspection:

1. Landscape Architect will inspect landscaping installation approximately one to two weeks before Substantial Completion. Contractor shall replace landscaping that is dead or appears dead as directed by Landscape Architect within 3 days of notification and before Substantial Completion.

3.6 ADJUSTING

- A. Replace damaged plantings at no additional cost to Owner.

3.7 CLEANING

- A. Immediately clean up soil or debris spilled onto pavement and dispose of deleterious materials at no additional cost to the Owner.

3.8 PROTECTION

- A. Protect planted areas against traffic or other use immediately after planting is completed by placing adequate warning signs, barricades etc. as approved by Owner.
- B. Provide adequate protection of planted areas against trespassing, erosion, and damage of any kind. Remove this protection after Landscape Architect and Owner has accepted planted areas.

END OF SECTION 329001

SECTION 329113 - FINISH GRADING AND SOIL PREPARATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Includes But Not Limited To:
1. Perform finish grading and soil preparation work required to prepare site for installation of landscaping as described in Contract Documents.
 2. Furnish and implement imported topsoil as described in Contract Documents.
 3. Furnish and apply soil amendments and conditioners as described in Contract Documents.
 4. Excavate existing landscape areas in order to implement new lawn, plants, cobble rock or wood mulch and soil amendments.
- B. Related Sections:
1. Section 329223: Sodding
 2. Section 312216: Fine Grading
 3. Section 311000: Site Clearing (if applicable).

1.2 REFERENCES

- A. American Society For Testing And Materials:
1. ASTM 1557-02, Standard Test Method for Laboratory Compaction Characteristics of Soil Using Modified Effort.

1.3 SUBMITTALS

- A. Product Data:
1. Chemical / nutrient analysis of imported topsoil.
 2. Product literature and chemical / nutrient analysis of soil amendments, conditioners and fertilizers.
- B. Provide (4) copies of all submittals for this project in a 3-ring binder including irrigation submittals, soils and amendments submittals, etc. Submittals shall be received and approved by Landscape Architect and Owner prior to Contractor beginning construction activities. With Owner approval, submittals may be submitted electronically via email.
- C. Samples: Sample of soil amendments and conditioner for approval before delivery to site. Include product analysis list. Samples are only used for these items if requested by Owner. Landscape Architect only needs analysis and data cut sheets in order to approve the materials.
- D. Quality Assurance / Control:
1. Delivery slips indicating amount of soil amendments and conditioner delivered to Project site.

1.4 QUALITY ASSURANCE

- A. Pre-Installation Conference: Participate in pre-installation conference.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Topsoil:
1. Imported or Stockpiled on-site topsoil for use in landscaped areas shall be fertile, loose, friable soil meeting following criteria:
- a. Chemical Characteristics:
- 1) Acidity / alkalinity range: pH 5.5 to 8.0
 - 2) Soluble Salts: less than 3.0 mmhos/cm
 - 3) Sodium Absorption Ratio (SAR): less than 6.0
 - 4) Organic Matter: greater than two percent
- b. Physical Characteristics:
- 1) Gradation as defined by USDA triangle of physical characteristics as measured by hydrometer.
 - a) Sand: 15 to 60 percent.
 - b) Silt: 10 to 60 percent.
 - c) Clay: 5 to 30 percent.
 - 2) Clean and free from toxic minerals and chemicals, noxious weeds, rocks larger than 1-1/2 inch in any dimension, and other objectionable materials.
 - 3) Soil shall not contain more than 5 percent by volume of rocks measuring 2mm to 4.75mm in largest size.
 - 4) All rocks greater than 4.75mm shall be screened and removed from the on-site topsoil prior to use. All roots, plants and any other material over 1/2 inch in any dimension shall be screened out of the topsoil prior to reuse in lawn and landscape areas.

2. When calculating quantities for topsoil and amendments, a compaction factor of 10% should be added thereto; instead of adding just 4% of topsoil in lawn areas for example, the contractor will really be responsible for spreading 4.4% of topsoil in lawn areas. The same rule applies for soil and soil amendments in lawn and planter areas. Topsoil shall be settled (per section 3.3 below) prior to installing sod and plants.
3. When backfilling planter pits, the native soil, imported soil and amendments shall be thoroughly mixed so that soil interfacings do not occur.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Do not commence work of this Section until grading tolerances specified in Section 312216 are met.
- B. Contractor shall field verify all existing and proposed utilities, trees, plants, buildings, structures, roads, curb and gutter, sidewalks, irrigation system, utilities, easements, setbacks, right-of-ways, etc. to make sure no conflicts exist between existing conditions and proposed plans. Contractor shall be responsible to make on-site field adjustments as may be required due to discrepancies found during construction. Contractor and Owner agrees to hold In-Site Design Group harmless for any and all such discrepancies including costs associated with such discrepancies including repair, replacement or anything related to such discrepancies.

3.2 PREPARATION

- A. Protection: Protect utilities and site elements from damage.
- B. Surface Preparation:
1. Haul-off and removal of tree stumps, shrubs, concrete, excavated soils and other materials shall be a lump sum price and shall be part of the base bid.
 2. After excavation of lawn and planter areas has occurred, disk, till or aerate with approved agricultural aerator to a depth of 4 inches in lawn areas and 12" in planter areas. Cross rip or till subgrade before placing topsoil and amendments in all areas.
 3. Contractor shall be responsible for removing all unused soils and/or excavated soils and other materials (including excavated rock, cobble, bark, tree stumps, shrubs and other plant material, concrete, etc.) from the site at no additional cost to the Owner. Owner retains ownership if they so desire otherwise the contractor will be responsible for removing excess soils from the site as part of their base bid.
 4. Seven days maximum before beginning planting:
- a. Loosen area 4 inches deep, dampen thoroughly, and cultivate to properly break up clods and lumps.
- b. Rake area to remove clods, rocks, weeds, roots, and debris.
- c. Grade and shape landscape area to bring surface to true uniform planes free from irregularities and to provide drainage and proper slope to catch basins.
5. Limit use of heavy equipment to areas no closer than 6 feet from building or other permanent structures. Use hand held tillers for preparation of subsoil in areas closer then 6 feet.

3.3 PERFORMANCE

- A. Site Tolerances:
1. Total Topsoil Depth:
- a. New Lawn Planting Areas: 4 inches minimum including amendments (plus the 10% for compaction).
- b. New Tree and Shrub Planting Areas: 5x the root ball width to depth of root ball for Trees and 3x root ball width on shrubs including amendments (plus the 10% for compaction).
2. Finish grade of planting areas before planting and after addition of soil additives shall be specified distances below top of adjacent pavement of any kind:
- a. Sodded Areas: Approx. 1 inch below (from top of pavement to top of sod, not bottom of sod).
- b. Shrub Areas: 4 to 4-1/2 inches below in 3 inch deep decorative cobble rock or wood mulch areas. See landscape plans for more information.
- C. Do not expose or damage existing shrub or tree roots. See section 322216 and tree protection plan (if part of the drawing package) for more information.
- C. Distribute approved imported topsoil and amendments. Remove organic material, rocks and clods greater than 1-1/2 inch in any dimension, and other objectionable materials and remove from site as part of the base bid and at no additional cost to the Owner.
- D. Water settle topsoil in lawn and planter areas as may be required so that lawn, plants and irrigation components do not settle and sink.
- E. Where topsoil depth is 12 inches or greater, place topsoil in layers not to exceed 12 inches and, to prevent settling, compact to 85 percent relative density in accordance with ASTM D 1557. Do not place topsoil whose moisture content makes it prone to compaction during placement process.
- F. Slope grade away from building for 12 feet minimum from walls at slope of 1/2 inch in 12 inches minimum unless otherwise noted. Direct surface drainage in manner indicated on Drawings by molding surface to facilitate natural run-off of water. Fill low spots and pockets with topsoil and grade to drain properly.
- G. Add specified soil amendments at specified rates to lawn and planter areas. Reto-sill or otherwise mix amendments evenly into top 4 inches of topsoil in lawn areas and into top 12 inches in other planter areas. Incorporate and leach soil amendments which require leaching, such as gypsum, within such time limits that soil is sufficiently dry to allow proper application of fertilizer, soil amendments and conditioners.
- H. After landscape areas have been prepared, take no heavy objects over them except lawn rollers. Immediately before planting lawn and with topsoil in semi-dry condition, roll areas that are to receive lawn in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs, depending on soil type. Rake or scarify cut or fill irregularities that develop as required until area is true and uniform, free from lumps, depressions, and irregularities.

3.4 INSTALLATION

- A. Immediately clean up soil or debris spilled onto pavement and dispose of deleterious materials at no additional cost to the Owner.

3.5 FIELD QUALITY CONTROL

A. Inspection:

1. Landscape Architect will inspect landscaping installation approximately one to two weeks before Substantial Completion. Contractor shall replace landscaping that is dead or appears dead as directed by Landscape Architect within 3 days of notification and before Substantial Completion.

3.6 ADJUSTING

- A. Replace damaged plantings at no additional cost to Owner.

3.7 CLEANING

- A. Immediately clean up soil or debris spilled onto pavement and dispose of deleterious materials at no additional cost to the Owner.

3.8 PROTECTION

- A. Protect planted areas against traffic or other use immediately after planting is completed by placing adequate warning signs, barricades etc. as approved by Owner.
- B. Provide adequate protection of planted areas against trespassing, erosion, and damage of any kind. Remove this protection after Landscape Architect and Owner has accepted planted areas.

END OF SECTION 329113

SECTION 329223 - SODDING

PART 1 - GENERAL

1.1 SUMMARY

- A. Includes But Not Limited To:
1. Furnish and install sodded lawn as described in Contract Documents.
- B. Related Sections:
1. Section 329001: Common Planting Requirements.
 2. Section 329113: Finish Grading and Soil Preparation.

1.2 SUBMITTALS

- A. Quality Assurance / Control:
1. Written certification confirming lawn seed quality and mix.

1.3 DELIVERY, STORAGE, AND HANDLING

- A. Harvest, deliver, store, and handle sod in accordance with requirements of American Sod Producers (ASP). Specifications for Turfgrass Sod Materials and Transplanting / Installing'.
- B. Cut and lift sod by method acceptable to Landscape Architect. Cut sod in pieces approx. 3/4 to 1 inch thick. Roll or fold sod so it may be lifted and handled without breaking or tearing and without loss of soil.
- C. Schedule deliveries to coincide with topsoil operations and laying. Keep storage at job site to minimum without causing delays.
1. Deliver, unload, and store sod on pallets within 24 hours of being lifted.
 2. Do not deliver small, irregular or broken pieces of sod.
 - D. During wet weather, allow sod to dry sufficiently to prevent tearing during lifting and handling. During dry weather, protect sod from drying before installation. Water as necessary to insure vitality and to prevent excess loss of soil in handling. Sod that dries out before installation will be rejected.

1.4 SEQUENCING

- A. Do not commence work of this Section until work of Sections 329113 and 329300 have been completed and approved.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Certified Sod:
1. Superior sod grown from certified, high quality, seed of known origin or from plantings of certified grass seedlings or stolons:
- a. Assure satisfactory genetic identity and purity.
- b. Assure over-all high quality and freedom from noxious weeds or an excessive amount of other crop and weedy plants at time of harvest.
2. Sod shall be composed of 100% Kentucky Bluegrass (three varieties minimum).

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Site Tolerances: Final grade of soil (the top of the sod) after sodding of lawn areas is complete shall be approx. one inch below top of adjacent curb, sidewalk or pavement of any kind. Consult with Landscape Architect and Owner on-site to determine final finished grade of lawn areas prior to installing sod.
- B. Laying of Sod:
1. Roll sods prior to laying sod per Section 329113.
 2. Lay sod during growing season. Sodding during dry summer period, at freezing temperatures, or over frozen soil is not acceptable.
 - A. Do sod within 36 hours of being lifted.
 4. Lay sod in rows with joints staggered. Butt sections closely without overlapping or leaving gaps between sections. Cut out irregular or thin sections with a sharp knife.
 5. Lay sod flush with adjoining existing sodded surfaces.
 6. Do not sod slopes steeper than 3:1. Consult with Landscape Architect for alternate treatment.
- C. After Sodding Is Complete:
1. Roll horizontal surface areas in two directions perpendicular to each other.
 2. Repair and re-roll areas with depressions, lumps, or other irregularities. Heavy rolling to correct irregularities in grade will not be permitted.
 3. Water sod immediately after laying to obtain moisture penetration into top 4" of amended topsoil.

3.2 FIELD QUALITY CONTROL

- A. Inspection:
1. Haul-off and removal of tree stumps, shrubs, concrete, excavated soils and other materials shall be accepted at final inspection if:
- a. Sodded areas are properly established.
- b. Sod is free of bare and dead spots and is without weeds.
- c. No surface soil is visible when grass has been cut to height of 2 inches.
- d. Sodded areas have been moved a minimum of twice by Contractor. Sod shall still be maintained min. 60 days from substantial completion.
2. Areas sodded after Nov. 1st will be accepted following spring (May 1st) approximately one month after start of growing season if specified conditions have been met.

END OF SECTION 329223

SECTION 329300 - PLANTS

PART 1 - GENERAL

1.1 SUMMARY

- A. Includes But Not Limited To:
1. Furnish and install landscaping plants as described in Contract Documents.
- B. Related Sections:
1. Section 329001: Common Planting Requirements.

1.2 REFERENCES

- A. American Nursery & Landscape Association / American National Standards Institute:
1. ANLA / ANSI Z601-2004, 'American Standard for Nursery Stock.'

1.3 SUBMITTALS

- A. Samples: Decorative cobble rock and/or wood mulch for approval before delivery to site. Owner and/or Landscape Architect shall approve samples prior to delivery to site.
- B. Cut sheets and manufacturer information for weed barrier fabric and stakes, tree staking materials, herbicide and pre-emergent herbicide.
- C. Provide (3) hardcopy copies of all submittals for this project including irrigation submittals, soils and amendments submittals, etc. Submittals shall be received and approved by Landscape Architect and Owner prior to Contractor beginning construction activities.
- D. With Owner approval, these submittals as well as other landscape and irrigation submittals may be done electronically via email.

1.4 DELIVERY, STORAGE, AND HANDLING

- A. Deliver healthy and vigorous trees, shrubs and other plant material.
1. Do not prune before delivery, except as approved by Landscape Architect.
 2. Protect bark, branches, and root systems from sun scald, drying, whipping, and other handling and tying damage.
 3. Do not bend or bind trees or shrubs in such a manner as to destroy natural shape.
 4. Provide protective covering during delivery.
 - B. Handle balled stock by root ball or container. Do not drop trees and shrubs during delivery.
 - C. Deliver trees, shrubs, ornamental grasses and plants after preparations for planting have been completed and installed immediately.
 - D. Add specified soil amendments at specified rates to lawn and planter areas. Reto-sill or otherwise mix amendments evenly into top 4 inches of topsoil in lawn areas and into top 12 inches in other planter areas. Incorporate and leach soil amendments which require leaching, such as gypsum, within such time limits that soil is sufficiently dry to allow proper application of fertilizer, soil amendments and conditioners.
 - H. After landscape areas have been prepared, take no heavy objects over them except lawn rollers. Immediately before planting lawn and with topsoil in semi-dry condition, roll areas that are to receive lawn in two directions at approximately right angles with water ballast roller weighing 100 to 300 lbs, depending on soil type. Rake or scarify cut or fill irregularities that develop as required until area is true and uniform, free from lumps, depressions, and irregularities.

1.5 SEQUENCING

- A. Do not commence work of this Section until work of Section 329113 has been completed and approved.

1.6 WARRANTY:

- A. Provide written warranties confirming following:
1. Furnished shrubs guaranteed to live and remain in strong, vigorous, and healthy condition for 1 year minimum from date landscape installation is accepted as 100% complete.
 2. Trees guaranteed to live and remain in strong, vigorous, and healthy condition for 1 year from date landscape installation is accepted as 100% complete.
 3. Any trees or other plants that die or are seriously stressed as determined by Owner or Landscape Architect only need to be replaced one time during the warranty period. If the same plant or trees die twice within the 1 year warranty period, the Owner will be responsible for replacement at Owner's cost.
 4. Contractor shall document clearly on as-built plans all plants and trees that are replaced during warranty period. If contractor fails to document this immediately after replacement (within 3 days of replacement) and provide written documentation to Architect and Owner within 5 days, Contractor will be liable for a second replacement if plant dies a second time during the 1 year warranty period.
 5. 1 year warranty on all mowcurb, planter boxes, site furnishings and all other landscape and related items.

1.7 OWNER'S INSTRUCTIONS

- A. Provide written instructions covering maintenance requirements by Owner for first 60 days of guarantee period beyond Contract maintenance period specified in Section 320101.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Plants:
1. Conform to requirements of Plant List and Key on Drawings and to ANSI Z60.1.
 2. Nomenclature: Plant names used in Plant List conform to 'Standardized Plant Names' by American Joint Committee on Horticultural Nomenclature except in cases not covered.
- In these instances, follow custom of nursery trade. Plants shall bear a tag showing the genus, species, and variety of at least 25 percent of each species delivered to site. All plants shall be approved by Landscape Architect prior to planting. Min. 72 hour notice shall be given to Landscape Architect for requested inspection.
3. Quality:
- a. Plants shall be sound, healthy, vigorous, free from plant disease, insect pests or their eggs, noxious weeds, and have healthy, normal root systems. Container stock shall be well established and free of excessive root-bound conditions.
 - b. Do not prune plants or top trees prior to delivery.
 - c. Plant materials shall be subject to approval by Landscape Architect as to size, health, quality, and character.
 - d. Bare root trees are not acceptable.
 - e. Provide plant materials from licensed nursery or grower.
4. Measurements:
- a. Measure height and spread of specimen plant materials with branches in their normal position as indicated on Drawings or Plant List.
 - b. Measurement shall be average of three plants of same height and diameter. For example, plant measuring 15 inches widest direction and 9 inches in narrowest would be classified as 12 inch stock.
 - c. Plants properly trimmed and transplanted should measure same in every direction.
 - d. Measure caliper of trees 6 inches above surface of ground.
 - e. Where caliper or other dimensions of plant materials are omitted from Plant List, plant materials shall be normal stock for type listed.
- f. Plant materials larger than those specified may be supplied, with prior written approval of Landscape Architect, and:
- 1) If complying with Contract Document requirements in all other respects.
 - 2) If at no additional cost to Owner.
 - 3) If sizes of roots and shells are increased proportionately.
5. Shape and Form:
- a. Plant materials shall be symmetrical or typical for variety and species and conform to measurements specified in Plant List.
 - b. Well grown material will generally have height equal to or greater than spread.
 - c. However, spread shall not be less than 2/3 of height.
 - B. Planting Mix in Tree and Other Plant Pits in

SECTION 328423 - UNDERGROUND IRRIGATION

PART 1 - GENERAL

1.1 SUMMARY
A. Includes But Not Limited To:
1. Furnish and install planting irrigation system as described in Contract Documents complete with accessories/fittings necessary for proper installation and function.

1.2 SUBMITTALS
A. Product Data: Some irrigation materials specified are manufacturer specific however each bidding contractor may request substitutes for any parts of the irrigation system. This submittal shall be made in the bid process as per specs. All materials different than what is specified shall be approved in writing prior to bid submission. If submittals are not provided and approved per specs, the contractor shall use the specified manufactures for all irrigation components.

1. Manufacturer's cut sheets for each element of system. Provide (4) copies in 3-ring binders.
2. Parts lists for operating elements of system.
3. Manufacturer's printed literature on operation and maintenance of operating elements of system.
4. With Owner approval, these submittals as well as other landscape and irrigation submittals may be done electronically vial email.

B. Closeout:
1. Record Drawings:
a. As installation occurs, prepare accurate redlined record drawing to be submitted before final inspection, including:
1) Detail and dimension changes made during construction.

2) Significant details and dimensions not shown in original Contract Documents.
3) Field dimensioned locations of valve boxes, manual drains, quick-coupler valves, isolation valves, control wire runs not in mainline ditch, and both ends of sleeves.
4) Take dimensions from permanent construction surfaces or edges located at or above finish grade.

5) Take and record dimensions at time of installation.
6) Give a copy of the as-built to the Landscape Architect at substantial completion.
7. Reduce copy of record drawing to half-size, color all circuits, and laminate both sides with 5 mil thick or heavier plastic and give to Owner at project close-out.

2. Operations And Maintenance Manual Data:
a. Provide the following:
1) Instruction manual that contains complete instructions for system operation and maintenance, including spring start-up and winterizing.
2) Complete instructions on how to drain entire system.

3) At Owners request Contractor shall provide complete watering schedule for grow-in and long term watering. This shall be part of the base bid.

1.3 QUALITY ASSURANCE

A. Qualifications:
1. Use only trained personnel familiar with required irrigation system installation procedures.

2. Perform installation under direction of foreman or supervisor with five years minimum experience in sprinkling system installation.
3. Regulatory Requirements: Work and materials shall be in accordance with latest rules and regulations, and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes. Contractor shall apply for all permits and pay for the same. Please check all necessary building codes and other local codes and ordinances for proper installation of all project components including electrical work for controller(s). Provide documentation from governing authority as required by Architect.

C. Pre-Installation Conference: Schedule pre-installation conference before irrigation system installation begins. Demonstrate or describe the method to be used to maintain head spacing from concrete walks, curbs etc. and to stabilize heads.

D. Weekly (or as deemed necessary by Landscape Architect) job site inspections and/or coordination meetings will be held throughout the construction process. Contractor is required to attend all site construction meetings with Owner and Architect.

E. Do not cut or trench through any roots 1-1/2" and larger. Hand excavate within the dripline of all existing trees and other plants noted to remain. Refer to Eagle Mountain City's guidelines for any irrigation to be installed under the existing Cedar Tree.

F. Insert a dielectric union wherever a copper-based metal (copper, brass, bronze) and an iron based metal (iron, galvanized steel, stainless steel) are joined together.

G. Contractor shall perform pressure test at irrigation stub where the RPZ will be installed prior to installation of irrigation system. If static pressure is greater than 100 psi, a pressure reducer will be required. Notify Landscape Architect of existing static pressure before beginning work on the system to determine if some redesign of the system if necessary.

1.4 DELIVERY, STORAGE, AND HANDLING
A. During delivery, installation, and storage protect materials from damage and prolonged exposure to sunlight.

1.5 SEQUENCING
A. Install sleeves before installation of cast-in-place concrete site elements, paving, walls, etc.

1.6 WARRANTY
A. Standard one year guarantee shall include:
1. Filling and repairing depressions and replacing plantings due to settlement of irrigation system trenches.

2. Adjusting system to supply proper coverage of areas to receive water. Remove or add additional sprinklers, valves, piping, tubing and emitters as may be required so that over or under watering does not occur.

3. Provide at least monthly visual inspections (during the 1 year warranty period) of project during normal growing season to monitor and make sure plants are not being over or under watered. Prepare and file a monthly report of findings to Architect and Owner. Make adjustments to system based on findings at no additional cost to Owner including reprogramming of controller(s) and adjusting quantity and size of emitters each month during the first year (growing season only) if necessary.

4. Repair and replace any damaged and/or malfunctioning part of the irrigation system.
5. Ensuring system can be adequately drained and winterized.
6. Provide winterization and spring start-up of entire system during the first year of operation.

1.7 OWNER'S INSTRUCTIONS
A. After system is installed and approved, instruct Owner's designated personnel in complete operation and maintenance procedures. Program each new station for valves modified within scope of work.

1.8 MAINTENANCE
A. Extra Materials:
1. Furnish the following items before Final Closeout Review:
a. Two heavy-duty keys for isolation valves (if installed on this project).
b. Two heavy-duty keys for manual drains (if installed on this project).
c. Two quick coupler keys with brass hose swivel.

PART 2 - PRODUCTS

2.1 MATERIALS
A. Rock-Free Soil:
1. Backfill soil around PVC pipe.
2. Soil shall have rocks no larger than 1/2 inch in any dimension.
3. Can be on-site or imported material.

B. Pea Gravel:
1. For use around drains, valves, quick couplers, and rotor heads.
2. 1/2 inch maximum dimension, washed rock.
3. Sand: Fine granular material naturally produced by rock disintegration and free from organic material, mica, loam, clay, and other deleterious substances.
D. Native Material: Soil native to project site free of wood and other deleterious materials and rocks over 12 inches.

E. Topsoil: Imported topsoil material meeting the specified requirements. Remove rocks, roots, sticks, clods, debris, and other foreign matter over 1/2 inches longest dimension encountered during trenching and prior to installing topsoil.

2.2 COMPONENTS

A. Pipe, Pipe Fittings, and Connections:
B. Provide piping materials and factory-fabricated piping products of sizes, types, pressure ratings, and capacities indicated. Where not indicated, provide proper selection as determined by Installer to comply with installation requirements. Provide sizes and types matching piping and equipment connections; provide fittings of materials which match pipe materials used in potable water systems. Where more than one type of materials or products are indicated, selection is Installer's option.
C. Piping: Provide pipe fittings and accessories of same material and weight/class as pipes, with joining method as indicated.

D. Pipe, Pipe Fittings and Connections:
1. Pipe shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
2. Pipe sizes shown on Drawings are minimum. Larger sizes may be substituted if at no additional cost to Owner.

3. Pipe:
a. Pressure Lines: PVC Sch. 40 pipe for irrigation mainline with sch. 80 fittings.
b. Lateral Lines: Schedule 40 PVC.
c. Quick Coupler Piping: Sch. 80 PVC or galvanized pipe per plans and details.
4. Fittings: Schedule 80 fittings except where detailed otherwise.

5. Use a dielectric union wherever a copper-based metal (copper, brass, bronze) is joined to an iron-based metal (iron, galvanized steel, stainless steel).
6. Sleeves for mainline and lateral lines:
a. Under Parking Area and Driveway Paving: Schedule 40 PVC Pipe up to 3" and Class 200 for 4" and larger.
b. All Other: Class 200 PVC Pipe.

c. Sleeve diameter shall be two times larger than pipe installed in sleeve.

7. Sleeves for control wiring:
a. Schedule 80 PVC grey electrical conduit shall be used for all sleeving of control wires under hardscape surfaces.

b. Sleeve diameter shall be two times larger than wire bundle installed in sleeve.
E. Sprinkler Heads:
1. Each type of head shall be the product of a single manufacturer.

2. Spray Heads in Lawn Areas:
a. Use the following:
1) Rainbird: 1804-PRS Series with MPR nozzles as noted on plans and legend for new lawn areas.

2) Equal as approved by Landscape Architect before bidding.
F. Sprinkler Risers:
1. Pop-up sprinkler heads shall have risers made up one of the following ways:
a. Risers for sprinkler heads 14 inches long minimum and 24 inches maximum.

1) Rainbird: Swing Pipe with barbed fittings.
2) Equal as approved by Landscape Architect before bidding.
G. Automatic Irrigation Control Wiring and Controller:
1. Control wire shall be UF-LUL listed, 14 gauge insulated single strand copper wire.

2. Waterproof Wire Connectors:
a. Type Two Acceptable Products:
1) DBY or DBR by 3M
2) One Step 2011ISP by King Safety

3. Automatic controllers:
a. Rainbird Controller as noted in the Legend (size as required).
H. Valves:
1. Manual Drain Valves: Bronze or Brass ball valve (Ford Curb Stop) on main lines.

2. Automatic Valves:
a. Category Approved Products:
1) Rainbird: PBB Series valve with PRS-D option if the static water pressure at the first spray head after the valve is greater than 70 PSI.

2) Rainbird: XCZ-100-PRB-COM or XCZ-150-PRB-COM Control Zone Kits as noted in the legend.
3) Equal as approved by Landscape Architect before bid submission.
3. Isolation/shut off valves:
a. Category Approved Products:
1) Sch. 80 ball valve (line size).

2) Equal as approved by Landscape Architect before bidding.
4. Pressure Reducer: Not required for this project unless the static pressure exceeds 100 psi.
5. Quick Coupling Valves and Keys:
a. Category Approved Products:
1) Rainbird: 44LRC per plans and details with SH-1 Swivel, (2) 44K Valve Keys and (2) 2049 Cover Keys.

2) Equal as approved by Landscape Architect before bidding.
1. Valve Accessories:
1. Valve manifolds:
a. Pre-manufactured manifolds are not acceptable. Manifolds shall be custom built with schedule 80 tees, nipples, couplers, pipe and misc. fittings as necessary.

2. Plastic Valve Boxes And Extensions:
a. Acceptable Products:
1) Rainbird.
2) Carson-Brookes.
3) Plymouth Products, Div Ametek.

4) Equal as approved by Architect before bidding.
3. Valve ID tags:
a. Acceptable Products:
1) Christy. Tags must be pre-printed. Consult with Landscape Architect for more information prior to ordering tags.

2) Equal as approved by Landscape Architect before bidding.
4. Valve Box Supports: Standard size fired clay paving bricks without holes. If Rainbird valve boxes are used, clay bricks are not required.
J. Thrust Blocks (not required for this project):
1. Thrust blocks for fittings on mainline pipe 3" and larger diameter.

2. Use 3,000 PSI concrete.
3. Use 2 mil plastic.
4. Use no. 4 Rebar wrapped or painted with asphalt tar based mastic coating.
K. Joint Restraint Harness (Only required for 3" and larger mainline piping):
1. Use a Leemco joint restraint harness wherever joints are not positively restrained by flanged fittings or threaded fittings.

2. Thrust blocks must be on native undisturbed soil.
3. Use a joint restraint harness with transition fittings between metal and PVC pipe, where weak trench banks do not allow the use of thrust blocks or where extra support is required to retain a fitting or joint (such as near a sleeve).

4. Use bolts, nuts, retaining clamps, all-thread, or other joint restraint harness materials which are zinc plated or galvanized.
5. Use on mainline pipe 3 inch and greater or any diameter rubber gasketed pipe. Install Leemco fittings with LH Series pipe to fitting joint restraint per manufacturers specs.
L. Drip System
a. Rainbird: XFD dripline per legend and plans (including all fittings, flush valves, air relief valves, etc.)
b. XCV-100 PRB-COM (flow kits w/ filters).
c. GPH drip emitters, tubing, etc. per plans and details.
d. Install drip stakes and other components as per details.
e. Equal as approved by Landscape Architect before bidding.

M. Other Components:
1. Provide all other components necessary to complete irrigation system and make it operational.

2.3 MANUFACTURERS

A. Contact Information:
1. Carson Industries LLC, Glendora, CA www.carsonind.com.
2. Hunter Industries, San Marcos, CA www.hunterindustries.com.
3. King Safety Products, St Charles, MO www.kingsafety.com.
4. Nibco Inc, Elkhart, IN www.nibco.com.
5. Orbit Irrigation Products, Bountiful, UT www.orbitonline.com.
6. Plymouth Products, Div Ametek, Sheboygan, MI www.plymouthwater.com.
7. Rain Bird Sprinkler Manufacturing Corp, Glendora, CA www.rainbird.com.
8. 3M, Austin, TX www.3m.com/elpd.
9. Equal as approved by Landscape Architect before bidding.

PART 3 - EXECUTION

3.1 INSTALLERS
A. To be pre-approved by Owner before bidding.

3.2 EXAMINATION
A. Site Verification of Conditions: Perform pressure test at stub-out on main water line provided for irrigation system at new mainline point of connection. Notify Landscape Architect of existing pressures to determine if some re-design of system is necessary before beginning work on system.

B. Contractor shall field verify all existing and proposed utilities, trees, plants, buildings, structures, roads, curb and gutter, sidewalks, irrigation system, utilities, easements, setbacks, Right-of-ways, etc. to make sure no conflicts exist between existing conditions and proposed plans. Contractor shall be responsible to make on-site field adjustments as may be required due to discrepancies found during construction. Contractor and Owner agrees to hold In-Site Design Group harmless for any and all such discrepancies including costs associated with such discrepancies including repair, replacement or anything related to such discrepancies.

3.3 PREPARATION

A. Protection:
1. Repair or replace work of this Section damaged during course of the Work at no additional cost to Owner. If damaged work is new, installer of original work shall perform repair or replacement.

2. Do not cut existing tree roots measuring over 1-1/2 inches in diameter in order to install irrigation lines. Route main and lateral lines around existing trees and other obstacles as necessary. Trenching is not allowed within the dripline of the existing Cedar. Consult with Eagle Mountain City for irrigation guidelines for irrigation components to be installed under this existing tree.

3. All utilities shall be blue staked before digging. Any damage to utilities shall be repaired at expense of the contractor with no additional cost to the owner.
B. Layout of Irrigation Heads:
1. Location of heads and piping shown on Drawings is approximate. Actual placement may vary slightly as is required to achieve full, even coverage without spraying onto buildings, sidewalks, fences, etc. Contractor shall install additional pipe as necessary for complete and proper installation of system.

2. During layout, consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.
3. Minor adjustments in system layout will be permitted to avoid existing fixed obstructions.
4. Make certain changes from Contract Documents are shown on record drawings.

3.4 INSTALLATION

A. Trenching And Backfilling:
1. Pulling of pipe is not permitted.
2. Excavate trenches to specified depth. Remove rocks larger than 1-1/2 inch in any direction from bottom of trench. Separate out rocks larger than 1-1/2 inch in any direction uncovered in trenching operation from excavated material and remove from areas to receive landscaping and then remove from site at no additional cost to the Owner. All extra excavated material from irrigation installation shall be hauled off-site at no additional cost to the Owner.

3. Cover main line pipe with 2" of sand on top, bottom and sides of pipe as noted in Contract Documents. If excavated soil is acceptable to Landscape Architect, the sand will not need to be installed and a credit shall be issued to the Owner. Contractor shall bid a separate line item for sand bedding all irrigation mainline piping. Remainder of backfill to within 4 inches in lawn areas and 12 inches in planter areas shall be rock-free soil as specified under PART 2 PRODUCTS. Top 4 inches of backfill in lawn areas and top 12 inches of backfill in planter areas shall be screened and amended or imported topsoil as specified in Section 3291.13.

4. Do not cover pressure main, irrigation pipe, or fittings until Landscape Architect has inspected and approved system.
5. No trenching is allowed for all areas within the dripline of the existing Cedar tree.

b. Sleeve diameter shall be two times larger than wire bundle installed in sleeve.
1. Sleeve water lines and control wires under walks and paving. Extend sleeves 18 inches minimum beyond walk or pavement edge. Cover sleeve ends until pipes and wires are installed to keep sleeve clean and free of dirt and debris.

2. Provide sleeves with respect to buildings and other obstructions so pipe can be easily removed.
3. Patch and repair asphalt and concrete damaged during sleeving installation including excavation, backfill, compaction, road base or gravel, concrete, asphalt, cutting and/or paving, etc. These costs shall be part of the base bid.

C. Grades And Drainage:
1. Winterization is required for this project. The irrigation system has been designed to be blown out with an air compressor through the RPZ or quick couplers; however, manual drains shall be installed at isolation/tee valve locations and other areas as directed by the Owner. Perform the following:
a. Slope pipe to drain to isolation valve locations.

b. At these locations install manual drain per detail and the following:
1) 1" bronze or brass ball valve (Ford Curb Stop) for manual drain. Do not use automatic drain valves.
2) Install 2 inch Class 200 PVC pipe over top of drain and cut at finish grade.

3) Provide rubber valve cap marker.
4) Provide two cubic foot pea gravel sump at outlet of each drain.
c. Slope pipes under parking areas or driveways to drain outside these areas.
d. Provide and install quick-coupling valves per plan for easy blowout of entire system.

D. Installation of Pipe:
1. Install pipe in manner to provide for expansion and contraction as recommended by Manufacturer.
2. Ensure that mainline and lateral lines don't conflict with proposed utilities, fire hydrants, light poles, underground sumps or storm drain and downspout piping or other utilities. Refer to civil and electrical plans for locations of these utilities. Re-route mainline and lateral lines as necessary to avoid these and all other utilities as may be required or requested by Owner, Architect, Civil Engineer, Electrical Engineer or Landscape Architect.

3. Unless otherwise indicated on Drawings, install main lines with minimum of 18 inches of cover based on finished grade. All other lateral lines connecting pop-up rotor and pop up sprays with minimum of 12 inches of cover based on finish grade.
4. Install pipe and wires under driveways or parking areas in specified Heads 24" below finish grade or as shown on Drawings.

5. Locate no sprinkler head closer than 6 inches from building foundation. Heads immediately adjacent to mow strips, walks, or curbs shall be one inch below top of mow strip, walk, or curb and have 4 inches clearance between head and mow strip, walk, or curb.
6. Insert a dielectric union wherever a copper-based metal (copper, brass, bronze) and an iron-based metal (iron, galvanized steel, stainless steel) are joined.
7. Cut plastic pipe square. Remove burrs at cut ends before installation so unobstructed flow will result.

8. Make solvent weld joints as follows:
a. Do not make solvent weld joints if ambient temperature is below 45 deg F.
b. Clean mating pipe and fitting with clean, dry cloth and apply one coat of P-70 primer to each.
c. Apply uniform coat of 711 solvent to outside of pipe.
d. Apply solvent to fitting in similar manner.

e. Give pipe or fitting a quarter turn to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting socket.
f. Allow joints to set at least 24 hours before applying pressure to PVC pipe.
9. Tape threaded connections with teflon tape.
E. Thrust Blocks and Pipe Supports: Portland cement design mix, 3000 psi minimum, with 0.58 maximum water-cementitious materials ratio.

1. Install thrust blocks on filter per details.
2. Use joint restraint for fittings on pressure pipe 3 inch diameter and larger.
3. Use a form to provide the appropriate amount and shape of concrete for the thrust block. Do not cover the fitting with concrete. The entire fitting must be serviceable when the thrust block is installed.
F. Joint Restraint Harness:
1. Install joint restraint harness in the manner recommended by the manufacturer, in accordance with the drawings these specifications and in accordance with accepted industry practices. The base bid for this project shall be to install joint restraints for all mainline pipe fittings 3" and larger.
G. Control Valves And Controller:
1. Install valves in plastic boxes with reinforced heavy duty plastic covers. Locate valve boxes within 12 inches of sidewalks and shrub bed edges with caps at finish grade. Do not install more than two valves in single box.
2. Valve boxes placed in planter areas shall be brown or tan in color. Valve boxes placed in lawn areas shall be green in color. Valve boxes shall be capable of being bolted closed after installation.
3. Place 3 inches minimum of pea gravel below bricks supporting valve boxes to drain box. Set valve boxes over valve so all parts of valve can be reached for service. Set cover of valve box even with finish grade. Valve box cavity shall be reasonably free from dirt and debris.

4. Wiring:
a. Tape control wire every 10 feet and install beside and beneath the top of the mainline pipe. Where control wire leaves main or lateral line, enclose it in Sch. 80 electrical PVC conduit per specs.
b. Use waterproof wire connectors at splices and locate all splices within valve boxes.
c. Use wire as noted on contract documents or an approved equal.
d. Run one spare common wire (use a yellow wire) from panel continuously from valve to valve throughout system similar to common wire for use as a replacement if a wire fails. Run one extra hot wire (use blue wire) from panel continuously from valve to valve throughout system similar to common wire for use as a replacement if a wire fails. Mark spare control wires in control boxes as unconnected spare wires. Extend spare control wires 30 inches and leave coiled in each valve box.
5. Install controller per manufacturers specs.
H. Sprinkler Heads:
1. Before installation of sprinkler heads, open control valves and use full head of water to flush out system.
2. Set sprinkler heads and quick-coupling valves perpendicular to finish grade.
3. Do not install sprinklers using side inlets. Install using base inlets only, unless approved otherwise in writing by Landscape Architect.
4. Set sprinkler heads 4" away from existing walks, curbs, and other paved areas and to grade by using specified components or other method demonstrated in Pre-Construction Conference.

I. Drip Assembly:
1. Install pipe in manner to provide for expansion and contraction as recommended by Manufacturer.
2. Unless otherwise indicated on Drawings, install lateral lines connecting drip tubing with minimum of 12 inches of cover based on finish grade.
3. Locate drip emitter on uphill side of plant within rootball zone.
4. Rainbird drip tubing shall be set on top of soil and fabric but underneath cobble rock and colored wood mulch. AR tubing to be buried a minimum of 12" deep.
5. Rainbird XFD tubing shall be stapled to ground at 6 foot maximum intervals and within 12 inches of intersections (all directions).
6. Cut emitter tubing square. Remove burrs at cut ends before installation so unobstructed flow will result.
7. Assemble as per Drawings for number of emitters etc. per plant and per details.
8. Install per manufacturers specifications and per Drawing. Install additional piping as required. Piping layout on plan is schematic and additional pipe will need to be installed.
9. Flush system prior to attaching drip emitters. Install flush valve and 24" length of extra 1/2" or 3/4" AR rubber tubing in 10" round valve box. Ensure that tubing does not get kinked in valve box.
10. Arrange valve stations to operate in an easy-to-view progressive sequence around project site. Tag valves with waterproof labels showing final sequence station assignments.

3.5 PIPE JOINT CONSTRUCTION

A. Basic pipe joint construction is specified in Division 33 Section "Common Work Results for Utilities." Where specific joint construction is not indicated, follow piping manufacturer's written instructions.
B. Join pressure piping according to the following:
1. Join PVC water-service piping according to ASTM D 2855 for solvent-cemented joints.
C. Join dissimilar pipe materials with pressure-type couplings.

3.6 FIELD QUALITY CONTROL

A. Site Tests: Before backfilling main line, conduct piping tests before joints are covered, and after thrust blocks have sufficiently hardened (or mechanical joint restraints are in place). Fill pipeline with water 24-hrs prior to testing, and apply test pressure to stabilize system. Test pressure at 150 psi minimum for 2 hours minimum and make certain there are no leaks. Notify Landscape Architect 3 working days minimum before conducting test.
B. Operational Test:
1. Activate each remote control valve in sequence from controller using both the remote control device and the controller. The Construction Project Representative will visually observe operation, water application patterns, and leakage.
2. Replace defective remote control valve, solenoid, wiring, or appurtenances to correct operational deficiencies.
3. Replace, adjust, or move water emission devices to correct operational or coverage deficiencies.
4. Replace defective pipe, fitting, joint, valve, sprinkler, or appurtenance to correct leakage problems. Cement or caulking to seal leaks is prohibited.
5. Repeat test(s) until each lateral passes all tests. Repeat tests, replace components, and correct deficiencies at no additional cost to the Owner.

C. Inspections: A full audit may be required for new irrigation lawn spray zones at Owners request. Contractor shall pay for this water audit and any necessary repairs/modifications needed to the system based on the report. Contractor shall provide a price for this water audit as an alternate to their irrigation base bid. A DU of 70 for rotors and 65 for sprays shall be achieved. Contractor's base bid shall include any needed modifications to system based on comments from Water Audit.

3.7 ADJUSTING

A. Adjust sprinkler heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering and raising of sprinkler heads shall be part of original contract with no additional cost to Owner.
B. Adjust sprinkler heads for proper distribution and trim so spray does not fall on buildings. Adjust sprinkler heads for proper distribution and trim so spray is minimized on sidewalks or parking areas. Install van nozzles where necessary.
C. Adjust watering time of valves to provide proper amounts of water to turf and plants.
D. Adjust drip irrigation (add or remove emitters as required for each plant so that over or under watering does not occur).

3.8 CLEANING

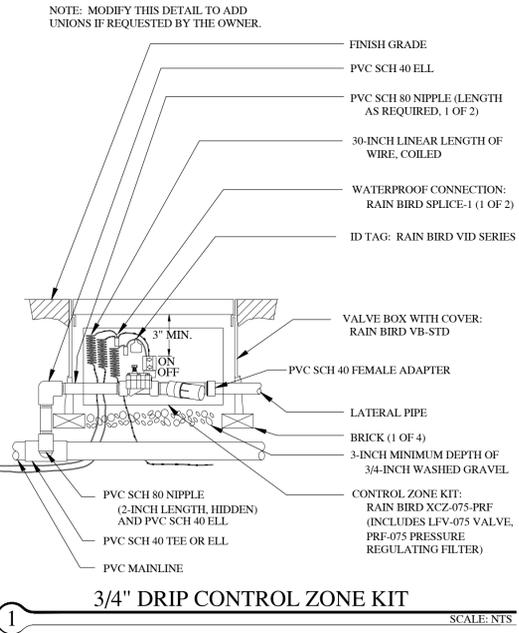
A. Upon completion of work, remove from the site all machinery, tools, excess materials, excess excavated soils, rock and other debris and rubbish at no additional cost to the Owner. In addition, contractor shall sweep, clean, power wash, etc. all areas of construction as may be required to leave the site clean.

3.9 FINAL INSPECTION

A. At the end of the 1 year guarantee period, when the lawn and landscaping have been approved, the Contractor shall call for a final inspection of the sprinkler irrigation system. There shall be five (5) days notice given, in writing, to the Owner and Landscape Architect, prior so that the appropriate people may attend.

B. Prior to that time, all heads shall have been adjusted to their proper pattern, radii, and height. The drip system shall be checked to make sure all emitters are working correctly. Additional tubing or emitters shall be installed or removed as necessary at this time to ensure that over or under watering does not occur. The system will have been flushed out, checked for operation, and any defects corrected. A final list of items found in need or correction (if any), will be made and the Contractor shall correct them. Upon acceptance of the system, the Owner shall assume all responsibility for the system.

END OF SECTION 328423



IN-SITE DESIGN GROUP logo and contact information: Landscape Architecture and Land Planning, 17 North 470 West, American Fork, Utah 84003, (P) 801-756-5043, (F) 801-756-5279, www.in-sitedesigngroup.com

CONSULTANTS:

STAMP

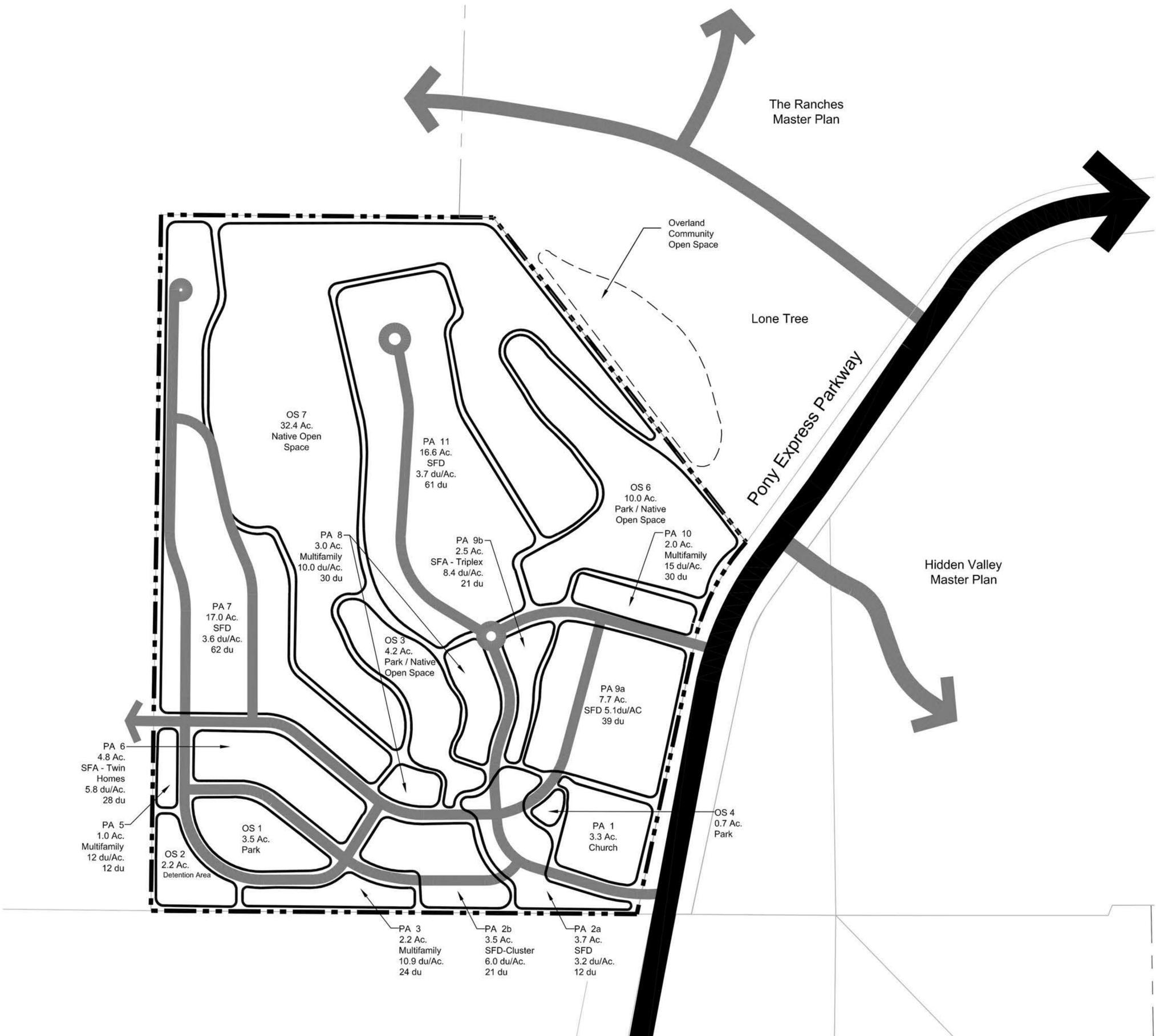
OOQUIRRH MOUNTAIN RANCH PRELIMINARY PLATT SUBMITTAL EAGLE MOUNTAIN - UTAH - 84005

IRRIGATION LEGEND & SPECIFICATIONS

Professional seal and drawing information: SHEET TITLE: IRRIGATION LEGEND & SPECIFICATIONS; DRAWN BY: SEW; CHECKED: CBW; DATE: 12-12-2014; REVISIONS: --; JOB NO.: 14-177; SHEET: LS4.1

PRELIMINARY SUBMITTAL NOT FOR CONSTRUCTION

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| Land Use Data | | | | | | |
|--|-------------------|---------------|-----------------|------------|-----------|-------------|
| OQUIRRH MOUNTAIN | | | | | | |
| PLANNING | | | | | | |
| PLANNING AREA | LAND USE | AREA (AC) | DENSITY (DU/AC) | DU | RES. TIER | % OF AREA |
| PA 2a | SFD | 3.70 | 3.2 | 12 | II | 3% |
| PA 2b | SFD CLUSTER | 3.50 | 6.0 | 21 | III | 3% |
| PA 3 | MULTIFAMILY | 2.20 | 10.9 | 24 | III | 2% |
| PA 5 | MULTIFAMILY | 1.00 | 12.0 | 12 | III | 1% |
| PA 6 | SFA - TWINHOMES | 4.80 | 5.8 | 28 | III | 4% |
| PA 7 | SFD | 17.00 | 3.6 | 62 | II | 14% |
| PA 8 | MULTIFAMILY | 3.00 | 12.0 | 36 | III | 2% |
| PA 9a | SFD | 7.80 | 5.1 | 39 | II | 6% |
| PA 9b | SFA - TRIPLEX | 2.50 | 8.4 | 21 | III | 2% |
| PA 10 | MULTIFAMILY | 2.00 | 15.0 | 30 | III | 2% |
| PA 11 | SFD | 16.60 | 3.7 | 61 | II | 14% |
| SUBTOTAL RESIDENTIAL | | 64.10 | | | | 53% |
| PA 1 | CHURCH | 3.30 | | | | 3% |
| SUBTOTAL INSTITUTIONAL | | 3.30 | | | | 3% |
| OS 1 | PARK | 3.50 | | | | 3% |
| OS 2 | DETENTION | 2.20 | | | | 2% |
| OS 3 | PARK / O.S. | 4.20 | | | | 3% |
| OS 4 | PARK | 0.70 | | | | 1% |
| OS 6 | PARK / O.S. | 10.00 | | | | 8% |
| OS 7 | NATIVE OPEN SPACE | 32.40 | | | | 27% |
| SUBTOTAL PARKS & OPEN SPACE | | 53.00 | | | | 44% |
| OQUIRRH MOUNTAIN TOTAL | | 120.40 | 2.5 | 304 | | 100% |

Oquirrh Mountain Master Development Plan

Scale: 1" = 100'
February 28th, 2014



Mark A. Nusser CONSULTING
Land Use | Community Site Planning | Project Visioning
P.O. Box 181271 | Denver, CO 80205
303.958.5316
mark@nusser.com
markdrivenandvalueenhancingdesign.com



EAGLE MOUNTAIN CITY
Planning Commission Staff Report

EB#A#

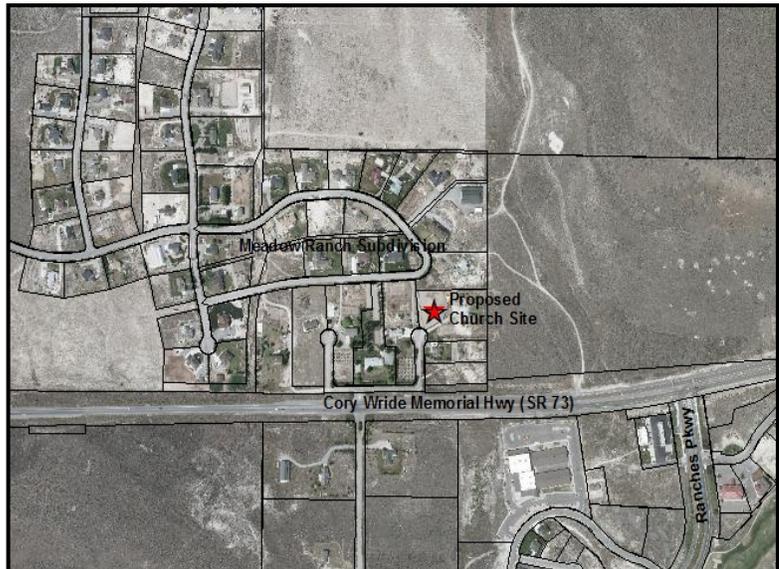
Project: AB#S#
Applicant: AUB/Glen Allred
Request: Concept Plan Review
Type of Action: Discussion Item

Recommendation

The Planning Department recommends that the Planning Commission review the Concept Plan for The AUB Chapel. Concept Plan reviews are not to receive action by motion, but commissioners are highly encouraged to express any questions, concerns, or comments and give the applicant useful feedback.

Proposal

The proposed AUB Chapel Concept Plan is located in the Meadow Ranch Plat 1 Subdivision on lot 138. The Meadow Ranch subdivision is north of SR 73 just west of Ranches Pkwy. The proposed application is for a Church/School site on the existing residential lot. There is currently an existing residential house on this lot the applicant has informed the City that it intends to raze all of the current structures on the lot. The proposed religious meeting hall/private school is allowed as a conditional use in a residential zone. The lot is 1.739 ac in size.



DRC Review

The applicant has meet with the City's Development Review Committee (DRC), and some of the items that were discussed were landscaping, screening, water rights, septic system approval, access for fire, and design standards for the building. Any further comments and concerns will be presented at the Planning Commission meeting for discussion.

Parking

The applicant is requesting a reduction in the amount of parking required for this project. Attached to this staff report is a letter from the applicant requesting review and input on the parking requirement for this project.

Water

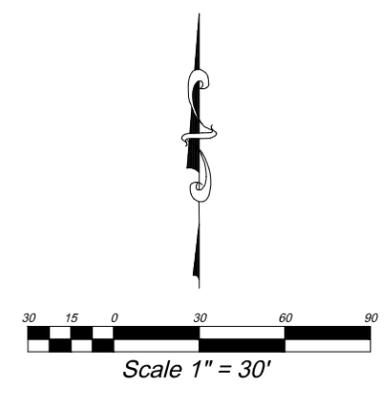
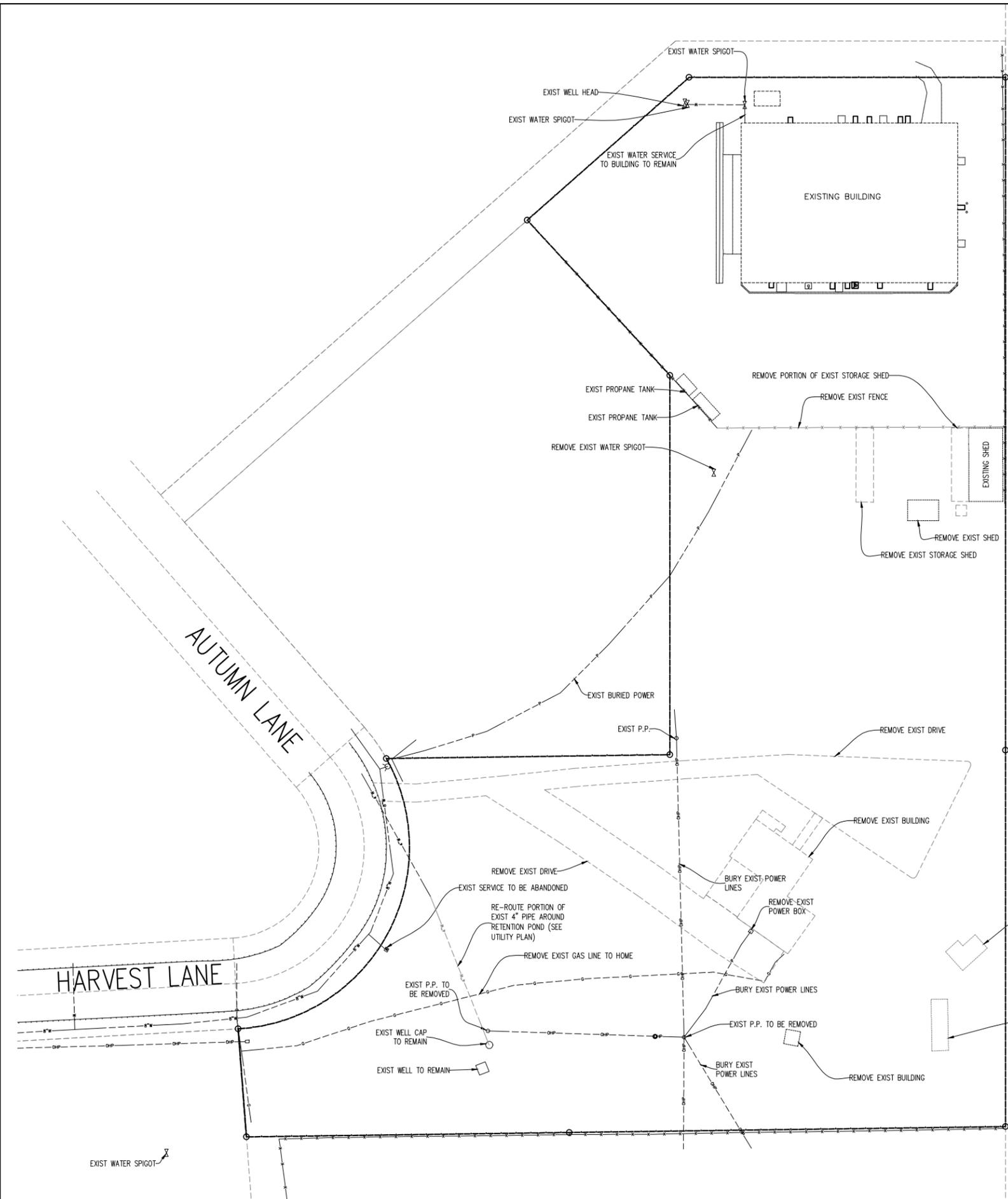
The applicant will need to provide water rights to the City before the plat can receive final approval and be recorded.

Future Reviews

Future review for development of this project shall include a Preliminary Plat, Site Plan and Final Plat.

Attachments

Concept Plan, Letters from the applicant.



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208-2100
(SALT LAKE METRO)
Blue Stakes of Utah
UTILITY NOTIFICATION CENTER, INC.
205 WEST 700 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84101

| REVISIONS | | |
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| Rev. | Date | Description |
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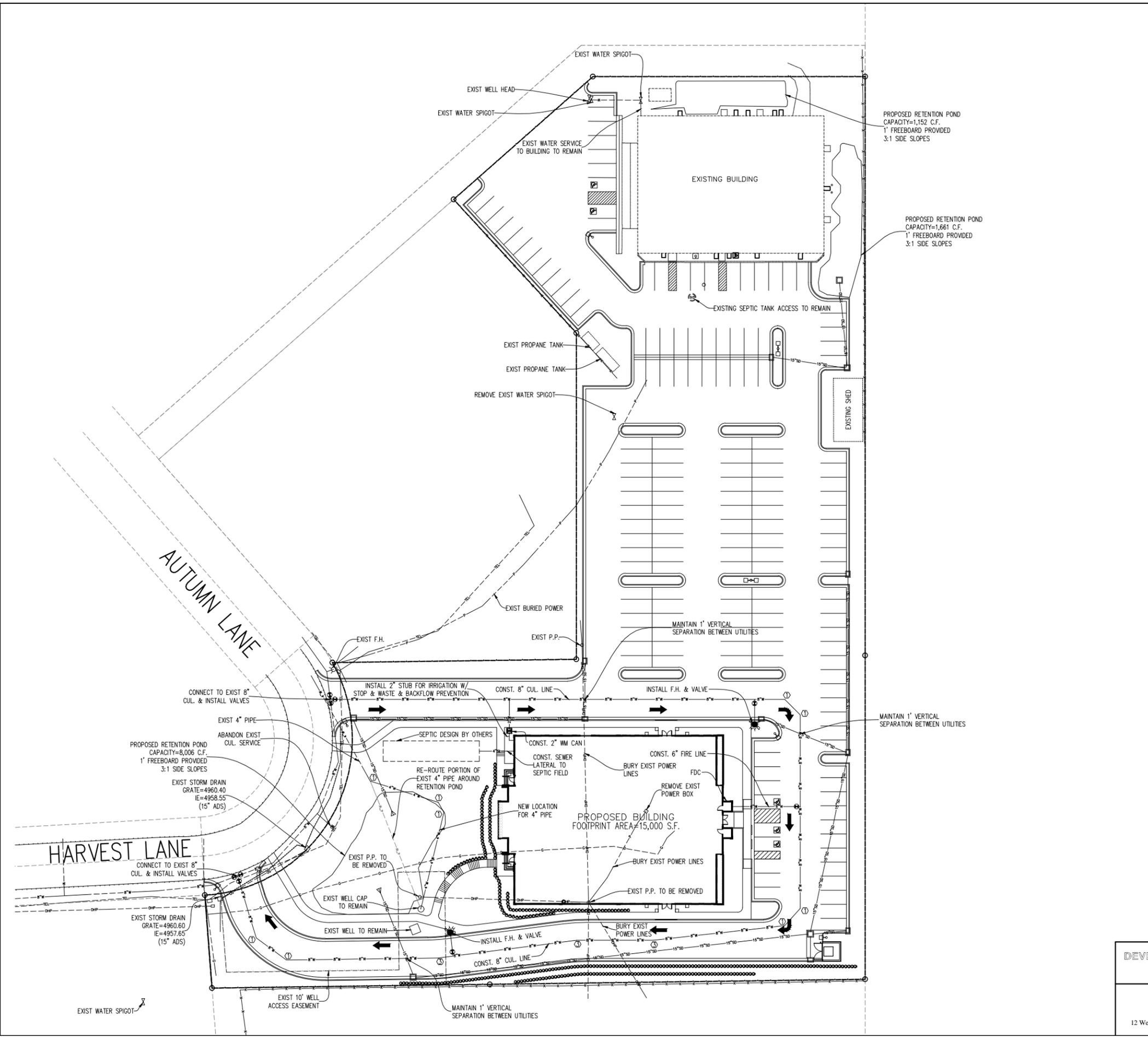
DEVELOPER: GLEN ALLRED
Phone: (801) 673-7178

EXPE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; F: (801) 756-4511

AUB CHURCH SITE
EAGLE MOUNTAIN HARVEST LN & AUTUMN LN UTAH

Drawn by: G.J.Y. Scale: 1"=30'
Designed by: G.J.Y. Date: 12/03/14
Checked by: D.W.P. C2

DEMOLITION PLAN



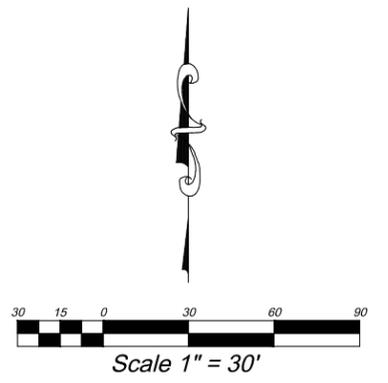
UTILITY LEGEND

| | |
|--|-----------------------|
| | FIRE HYDRANT |
| | CULINARY WATER VALVE |
| | CULINARY WATER |
| | SEWER PIPE PVC SDR-35 |
| | STORM DRAIN PIPE ADS |
| | EDGE OF ASPHALT |
| | EXIST FENCE |
| | OVERHEAD POWER LINE |
| | BURIED POWER LINE |
| | TELEVISION LINE |
| | TELEPHONE LINE |
| | GAS LINE |

WATER KEYED NOTES

| | |
|---|---------------------|
| ① | INSTALL 45° BEND |
| ② | INSTALL 22.5° BEND |
| ③ | INSTALL 11.25° BEND |

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|---|-----------|------|-------------|
| BENCH MARK | REVISIONS | | |
| | Rev. | Date | Description |
| NORTHWEST PROPERTY CORNER ON AUTUMN LANE ELEVATION = 4963.82 | | | |
| | | | |

DEVELOPER: GLEN ALLRED
Phone: (801) 673-7178

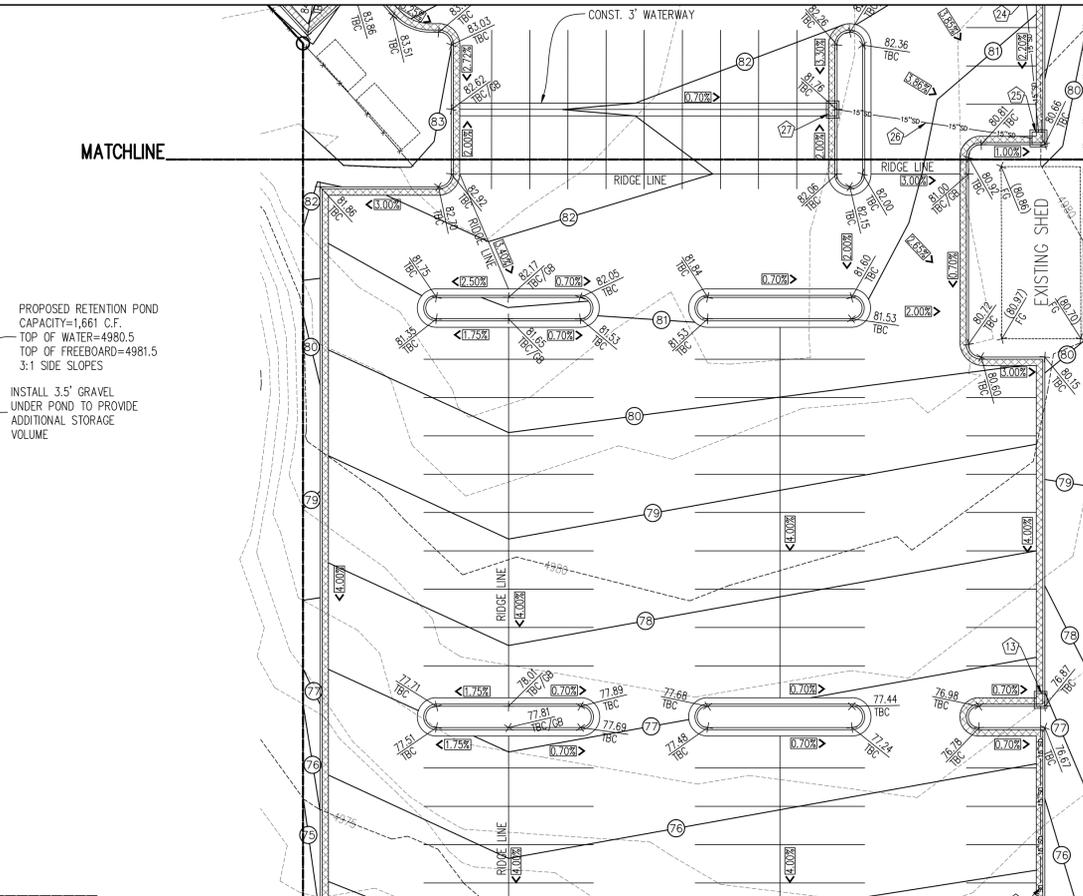
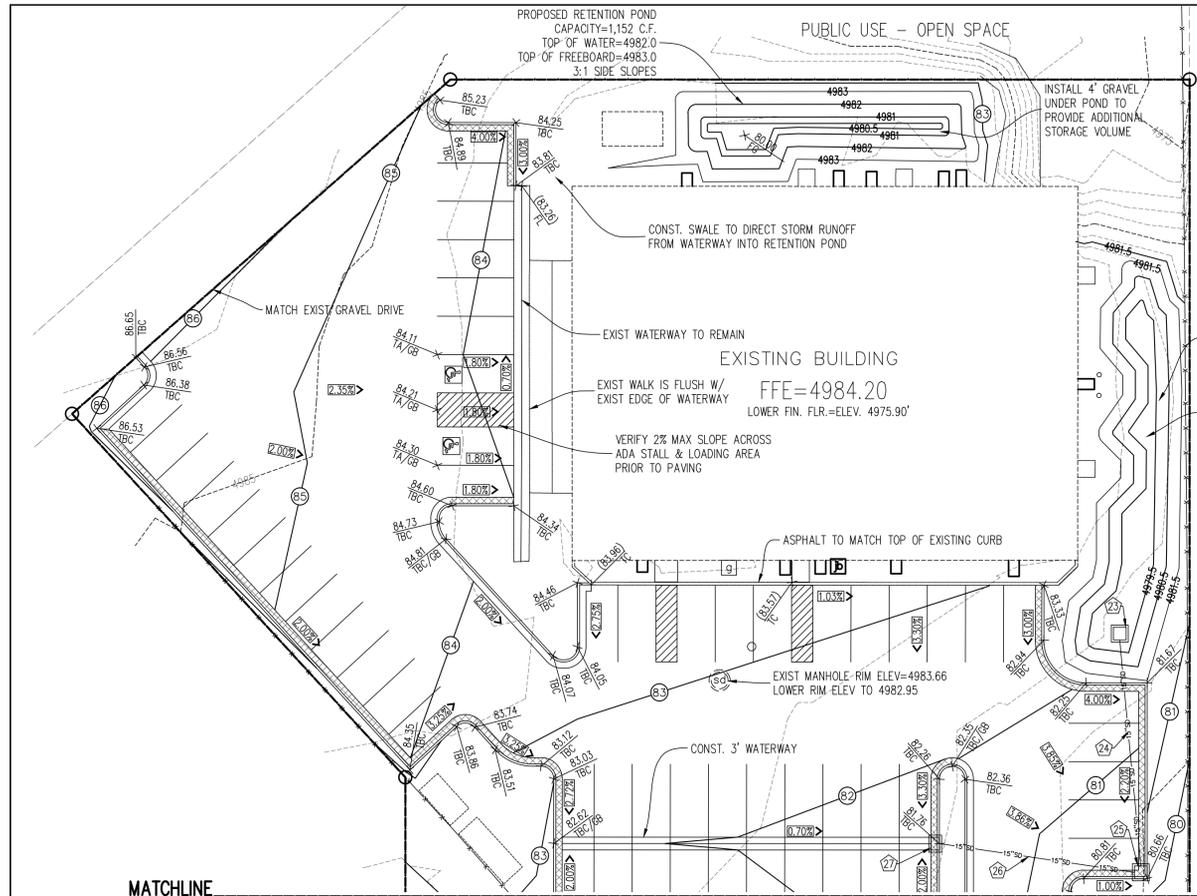
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AUB CHURCH SITE
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Drawn by: G.J.Y.
Designed by: G.J.Y.
Checked by: D.W.P.

UTILITY PLAN

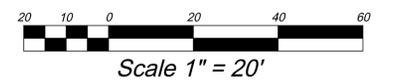
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C3



- STORM DRAIN KEYED NOTES:**
1. CONST. FLARED-END SECTION, FL=4950.50
 2. CONST. 59.3 L.F. 15" ADS @ S=1.30%
 3. CONST. 3'X3' INLET BOX W/ SNOOT TYPE 18F, TBC=4955.02, GRATE=4954.52, IE THRU=4951.27, BOTTOM OF BOX=4949.27
 4. CONST. 253.1 L.F. 15" ADS @ S=5.97%
 5. CONST. 3'X3' BOX, GRATE=4970.63, IE THRU=4966.37
 6. CONST. 21.6 L.F. 15" ADS @ S=0.50%
 7. CONST. 2'X3' CATCH BASIN, TBC=4970.23, GRATE=4969.73, IE OUT=4966.48
 8. CONST. 14.0 L.F. 15" ADS @ S=2.56%
 9. CONST. 2'X3' CATCH BASIN, TBC=4970.48, GRATE=4969.98, IE OUT=4966.73
 10. CONST. 115.5 L.F. 15" ADS @ S=1.75%
 11. CONST. 2'X3' CATCH BASIN, TBC=4972.64, GRATE=4972.14, IE THRU=4968.39
 12. CONST. 111.0 L.F. 15" ADS @ S=3.80%
 13. CONST. 2'X3' CATCH BASIN, TBC=4976.87, GRATE=4976.37, IE OUT=4972.62
 14. CONST. 57.2 L.F. 15" ADS @ S=1.84%
 15. CONST. 2'X3' CATCH BASIN, TBC=4973.69, GRATE=4973.19, IE OUT=4969.44
 16. CONST. FLARED-END SECTION, FL=4951.00
 17. CONST. 65.6 L.F. 15" ADS @ S=13.5%
 18. CONST. 3'X3' INLET BOX W/ SNOOT TYPE 18F, TBC=4964.11, GRATE=4963.61, IE THRU=4959.86, BOTTOM OF BOX=4956.86
 19. CONST. 145.2 L.F. 15" ADS @ S=6.33%
 20. CONST. 2'X3' CATCH BASIN, TBC=4973.30, GRATE=4972.80, IE THRU=4969.05
 21. CONST. 34.5 L.F. 15" ADS @ S=4.23%
 22. CONST. 2'X3' CATCH BASIN, TBC=4974.76, GRATE=4974.26, IE OUT=4970.51
 23. CONST. 3'X3' BOX, GRATE=4979.00, IE IN=4976.50
 24. CONST. 50.4 L.F. 15" ADS @ S=1.00%
 25. CONST. 3'X3' INLET BOX W/ SNOOT TYPE 18F, TBC=4980.66, GRATE=4980.16, IE THRU=4977.00, BOTTOM OF BOX=4974.00
 26. CONST. 46.5 L.F. 15" ADS @ S=2.17%
 27. CONST. 2'X3' CATCH BASIN, TBC=4981.76, GRATE=4981.26, IE OUT=4978.01

GRADING LEGEND

| | |
|-----------|----------------------------------|
| FFE | FINISHED FLOOR ELEV. |
| BOW | BACK OF WALK |
| GB | GRADE BREAK |
| TC | TOP OF CONCRETE |
| TBC | TOP BACK OF CURB |
| TA | TOP OF ASPHALT |
| EA | EDGE OF ASPHALT |
| RM | RIM ELEVATION |
| FL | FLOWLINE |
| EG | EXIST GROUND |
| FG | FINISHED GRADE |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| IE | INVERT ELEVATION |
| ← 0.00% | DIRECTION OF DRAINAGE |
| × (00.00) | EXISTING ELEVATION |
| 0.00 TBC | PROPOSED ELEVATION |
| ▨ | CARRY CURB (OTHER CURB IS SPILL) |
| 4980 | EXISTING CONTOUR |
| ○ 4980 | PROPOSED CONTOUR |



BENCH MARK

NORTHWEST PROPERTY CORNER ON AUTUMN LANE
ELEVATION = 4963.82

DEVELOPER: GLEN ALLRED
Phone: (801) 673-7178

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
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REVISIONS

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AUB CHURCH SITE

EAGLE MOUNTAIN HARVEST LN & AUTUMN LN UTAH

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|------------------------|----------------------------|-------------------|
| Drawn by: G.J.Y. | <p>GRADING PLAN</p> | Scale: 1"=20' |
| Designed by: G.J.Y. | | Date: 12/03/14 |
| Checked by: D.W.P. | | C4 |
| | | |

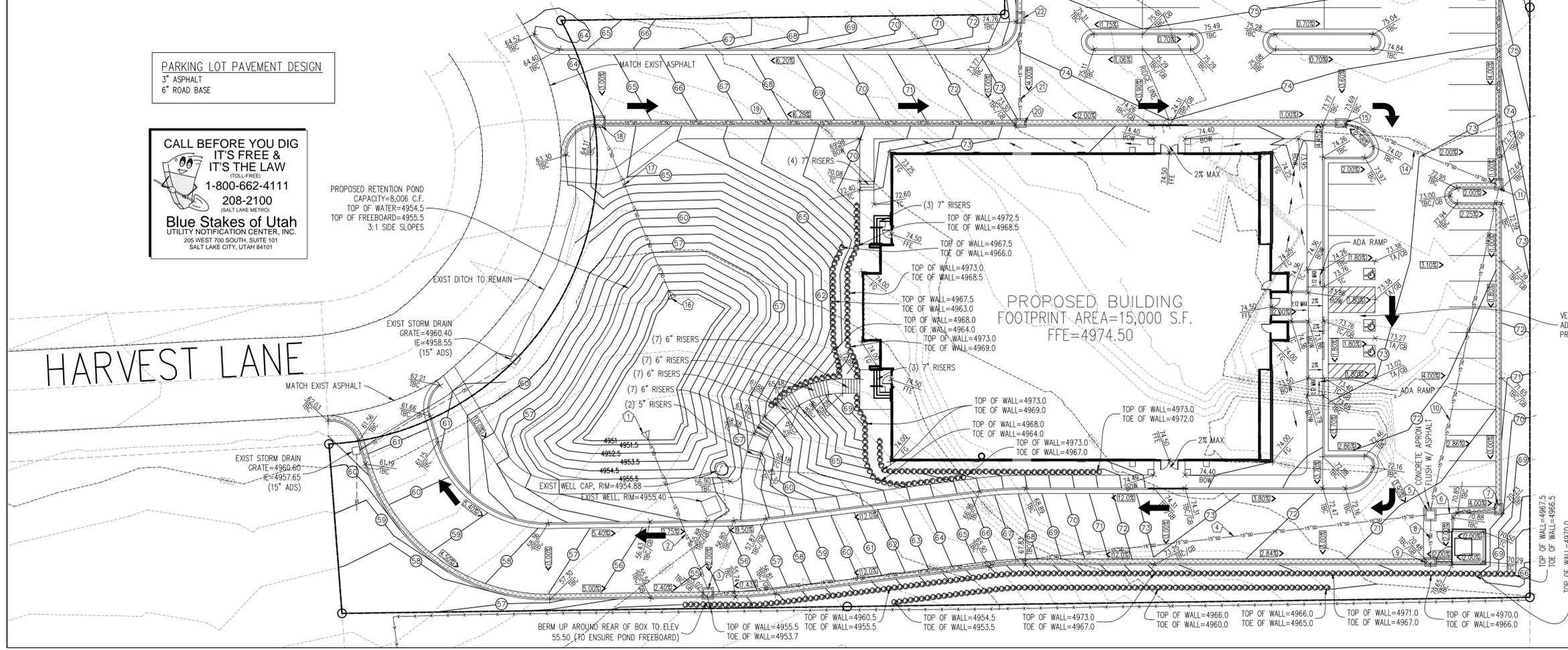
PARKING LOT PAVEMENT DESIGN
3" ASPHALT
6" ROAD BASE

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IT'S THE LAW**
(TOLL-FREE)
1-800-662-4111
208-2100
(SALT LAKE METRO)
Blue Stakes of Utah
UTILITY NOTIFICATION CENTER, INC.
205 WEST 700 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84101

PROPOSED RETENTION POND
CAPACITY=8,006 C.F.
TOP OF WATER=4954.5
TOP OF FREEBOARD=4955.5
3:1 SIDE SLOPES

PROPOSED BUILDING
FOOTPRINT AREA=15,000 S.F.
FFE=4974.50

HARVEST LANE



EROSION CONTROL NOTES:

1. CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
2. CONSTRUCT A SILT FENCE AS SHOWN ON PLAN. SEE BMP SF.
3. INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PRIOR TO ANY GRADING ON THE SITE. SEE BMP SCEWA
4. CONSTRUCT STORM DRAIN FACILITIES AND INSTALL INLET PROTECTION AFTER INSTALLATION. SEE BMP IPG.
5. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.
6. CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.

**CALL BEFORE YOU DIG
IT'S FREE &
IT'S THE LAW**
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UTILITY NOTIFICATION CENTER, INC.
205 WEST 700 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84101

NOTE: CIVIL ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE IMPLEMENTATION OF THIS PLAN DURING CONSTRUCTION. SUCH RESPONSIBILITY IS SOLELY THE CONTRACTOR'S.



BMP: Inlet Protection - Gravel IPG

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

INSTALLATION/APPLICATION CRITERIA:

- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel, to a minimum depth of 12-inches, over the filter fabric and extending 18-inches past the grate in all directions.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

LIMITATIONS:

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Ponding will occur at inlet.

MAINTENANCE:

- Inspect inlet protection after every large storm event and at a minimum of once monthly.
- Remove sediment accumulated when it reaches 4-inches in depth.
- Replace filter fabric and clean or replace gravel if clogging is apparent.

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

Adapted from Salt Lake County BMP Fact Sheet

BMP: Concrete Waste Management CWM

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- Train employees and subcontractors in proper concrete waste management.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

Adapted from Salt Lake County BMP Fact Sheet

BMP: Silt Fence SF

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:

- Perimeter control: place barrier at downgradient limits of disturbance
- Sediment barrier: place barrier at toe of slope or soil stockpile
- Protection of existing waterways: place barrier near top of stream bank
- Inlet protection: place fence surrounding catchbasin

INSTALLATION/APPLICATION CRITERIA:

- Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
- Secure wire mesh (14 gage min. with 6 inch openings) to upslope side of posts. Attach with heavy duty 1-inch long wire staples, tie wires or hog rings.
- Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- Backfill trench over filter fabric to anchor.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

LIMITATIONS:

- Recommended maximum drainage area of 0.5 acres per 100 feet of fence
- Recommended maximum upgradient slope length of 150 feet
- Recommended maximum uphill grade of 2:1 (50%)
- Recommended maximum flow rate of 0.5 cfs
- Ponding should not be allowed behind fence

MAINTENANCE:

- Inspect immediately after any rainfall and at least daily during prolonged rainfall.
- Look for runoff bypassing ends of barriers or undercutting barriers.
- Repair or replace damaged areas of the barrier and remove accumulated sediment.
- Reanchor fence as necessary to prevent shortcutting.
- Remove accumulated sediment when it reaches 1/2 the height of the fence.

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

Adapted from Salt Lake County BMP Fact Sheet

BMP: Stabilized Construction Entrance and Wash Area SCEWA

OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface. The area can be used to spray off vehicles before they leave the site.

APPLICATIONS:
At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.
- Provide water to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off of the construction site. This may not be needed during dry periods of work, but is needed when construction is proceeding under wet conditions.
- Provide berming as needed to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

LIMITATIONS:

- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.
- Must be situated such that waste water does not run off site.

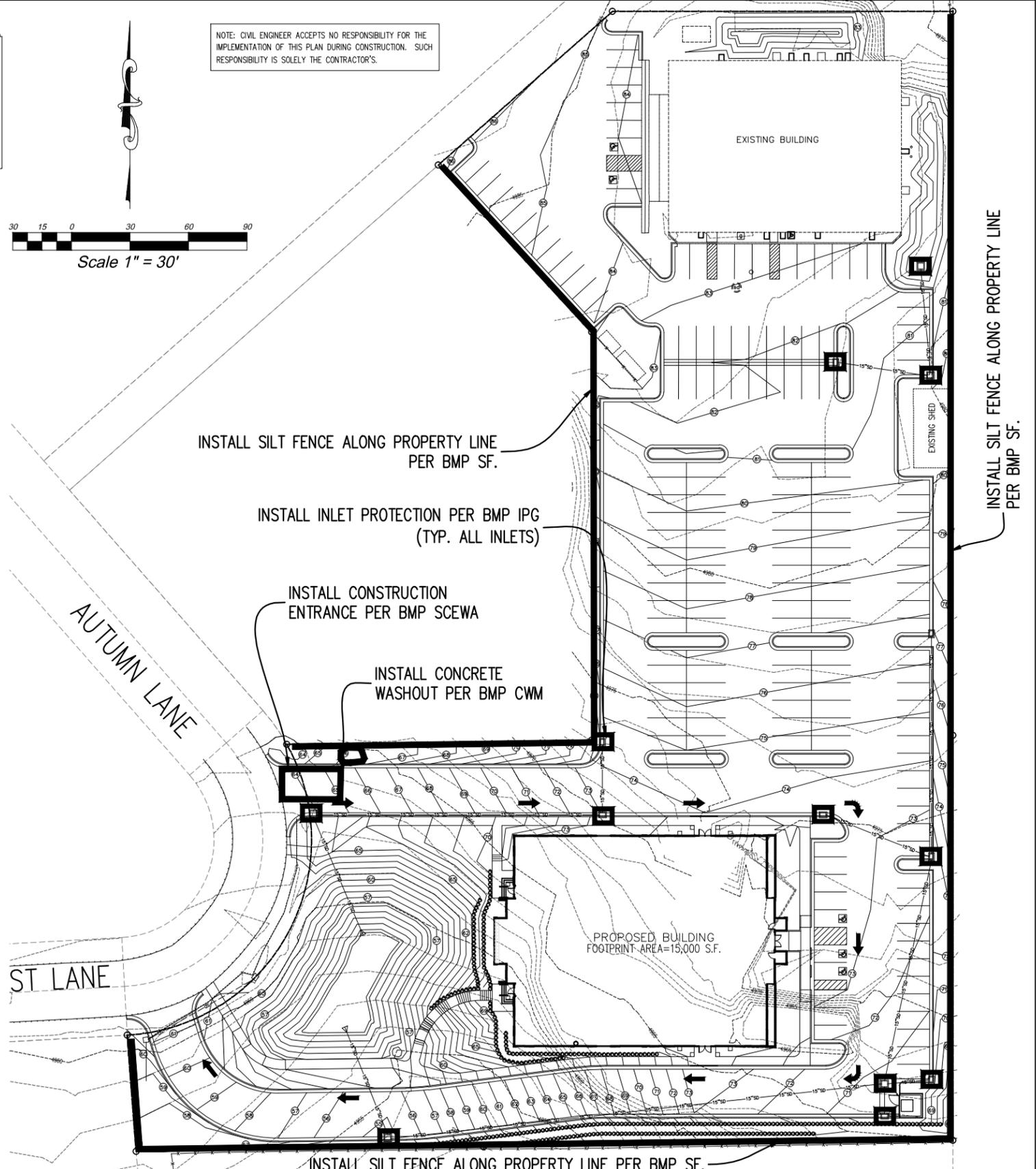
MAINTENANCE:

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

Adapted from Salt Lake County BMP Fact Sheet



REVISIONS

| Rev. | Date | Description |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

DEVELOPER: GLEN ALLRED
Phone: (801) 673-7178

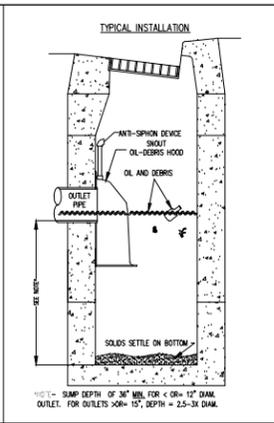
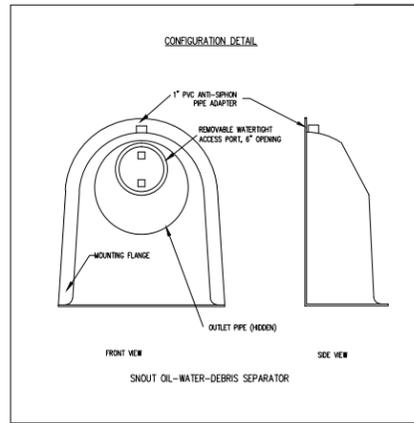
EXPE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; F: (801) 756-4511

AUB CHURCH SITE
EAGLE MOUNTAIN HARVEST LN & AUTUMN LN UTAH

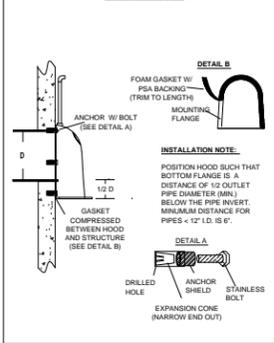
Drawn by: G.J.Y.
Designed by: G.J.Y.
Checked by: D.W.P.

EROSION CONTROL PLAN

Scale: 1"=30"
Date: 12/03/14
C5

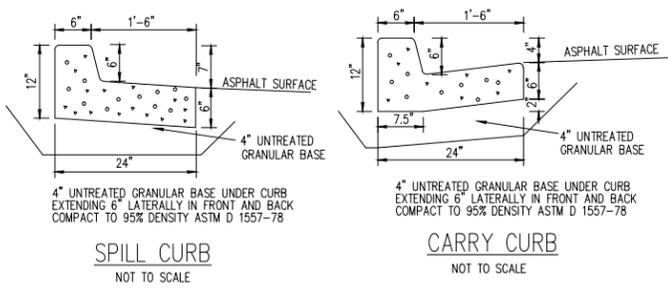


- NOTES:**
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 MT. ARCHER RD. LIME, CT 06311 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 354-7585 WEB SITE: www.bmpinc.com OR PRE-APPROVED EQUAL.
 - ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125\"
 - ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL.)
 - THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
 - THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 4\"
 - THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3\"
 - THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
 - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8\"
 - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE: A. INSTALLATION INSTRUCTIONS B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING D. 3/8\"
- US Patent # 6126817



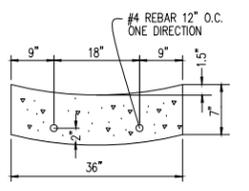
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|--|----------|----------------|
| OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL) | 09/08/00 | NONE |
| | | DRAWING NUMBER |
| | | SP-SN |

SNOUT DETAIL

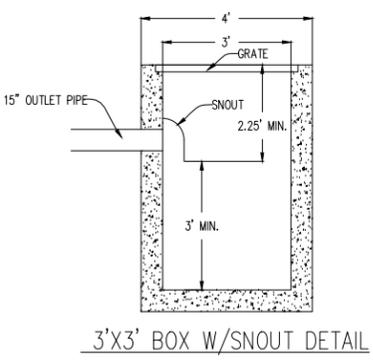


SPILL CURB NOT TO SCALE

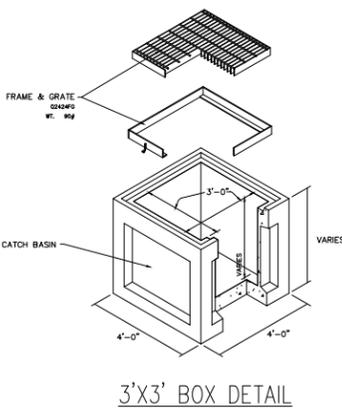
CARRY CURB NOT TO SCALE



36\"/>



3'x3' BOX W/SNOUT DETAIL



3'x3' BOX DETAIL

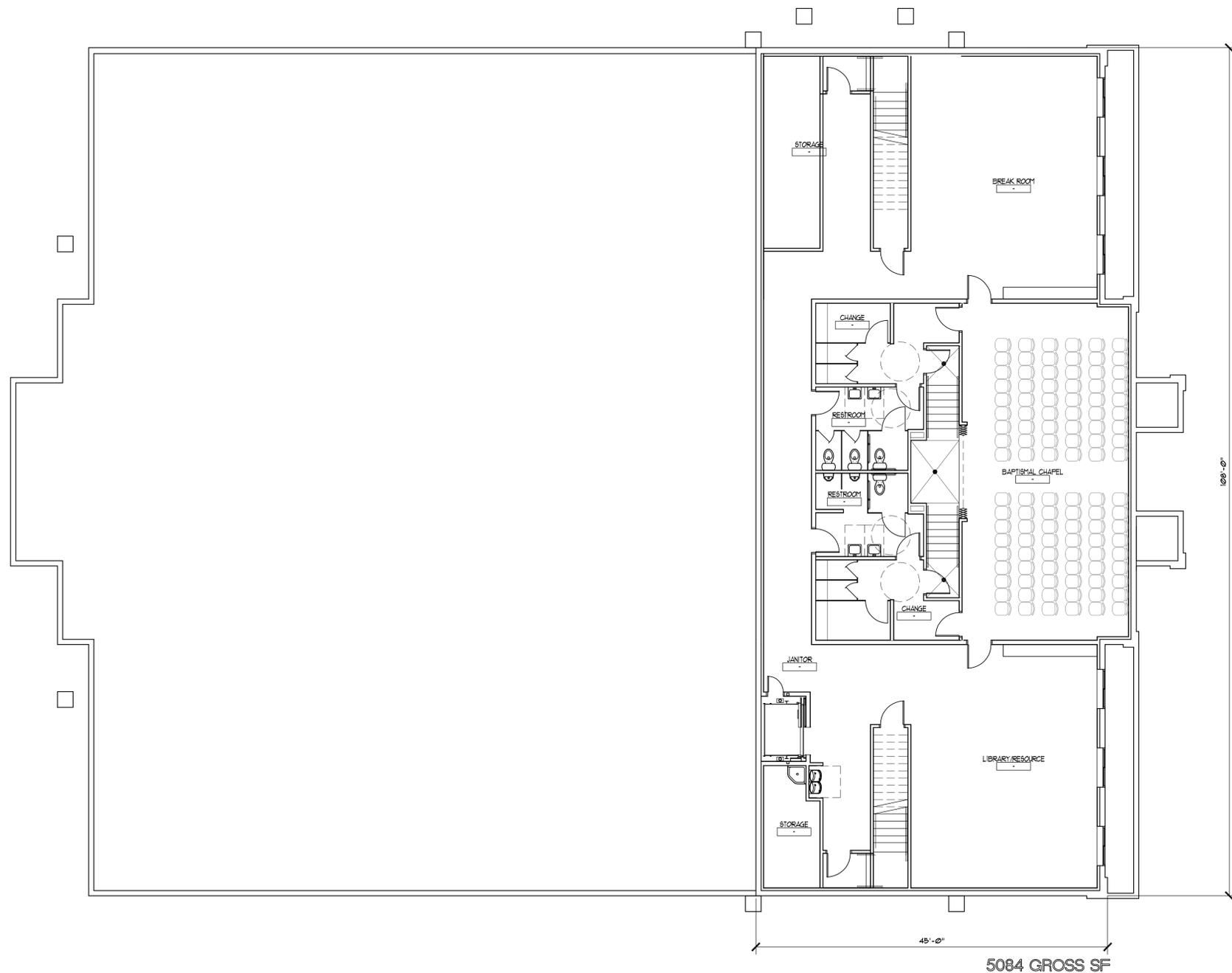
| REVISIONS | | |
|-----------|------|-------------|
| Rev. | Date | Description |
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DEVELOPER: GLEN ALLRED
Phone: (801) 673-7178

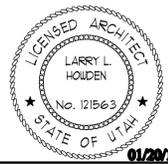
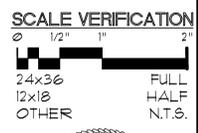
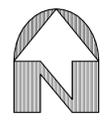
EXPE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; F: (801) 756-4511

| AUB CHURCH SITE | | |
|------------------------|------------------------|-------------------|
| EAGLE MOUNTAIN | HARVEST LN & AUTUMN LN | UTAH |
| Drawn by: G.J.Y. | DETAIL SHEET | Scale: NTS |
| Designed by: G.J.Y. | | Date: 12/03/14 |
| Checked by: D.W.P. | | C6 |

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1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



01/20/15

drawing title:

BASEMENT FLOOR PLAN

date:

01/20/15

sheet:

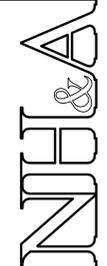
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**APOSTOLIC UNITED
BRETHRIEN CHURCH**

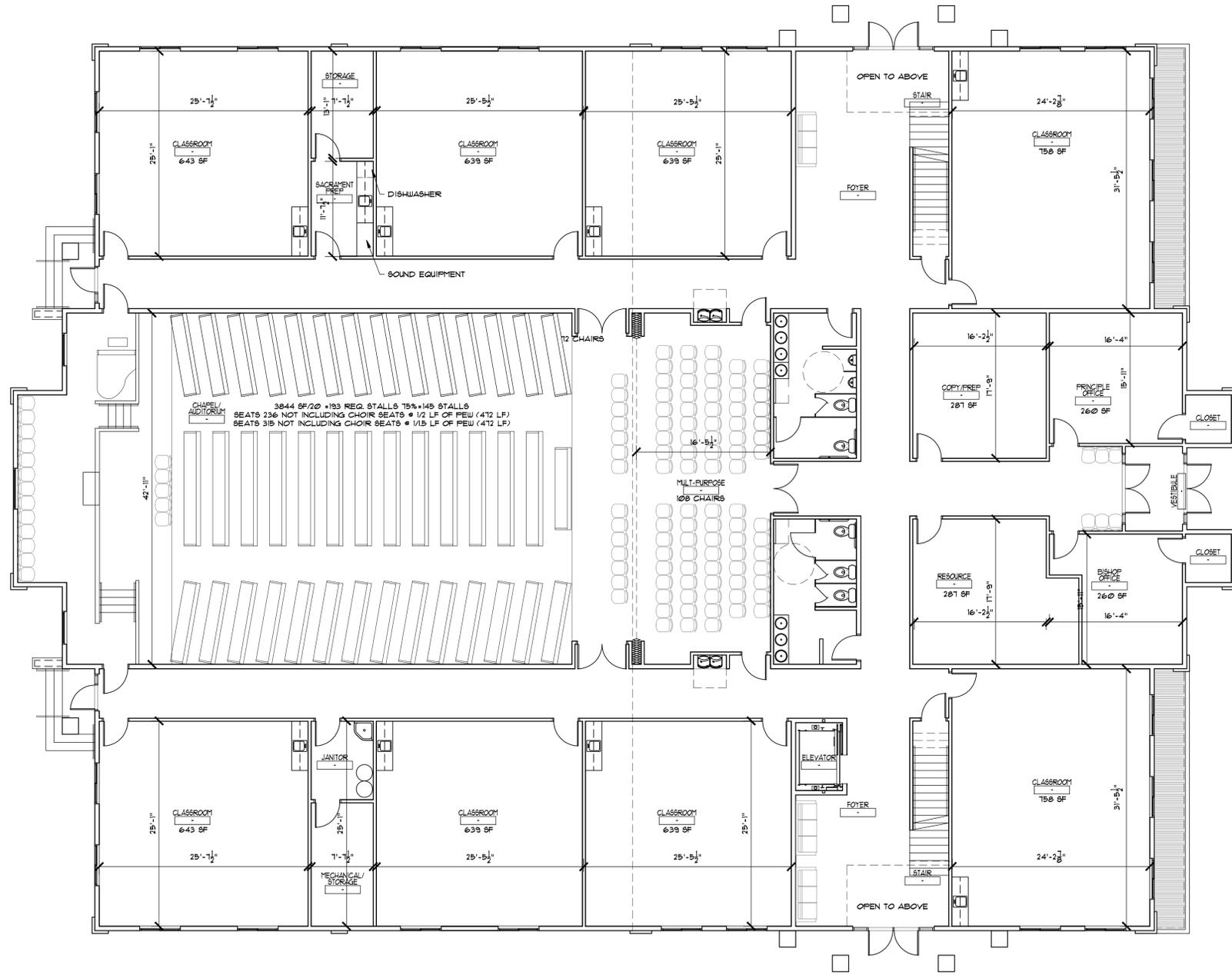
3357 E. HARVEST LANE, EAGLE MOUNTAIN, UT 84003

Nelson Howden & Associates
architects / planners

390 east main st
suite 200
eagle mountain, ut 84003
801-492-9300
fax 801-492-9331

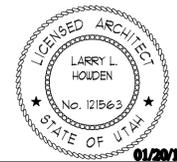
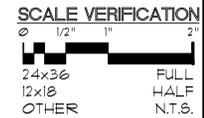


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14620 GROSS SF

1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



01/20/15

drawing title:

FIRST FLOOR PLAN

date: 01/20/15

sheet: a1.0

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Nelson Howden & Associates
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NH&A

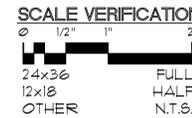
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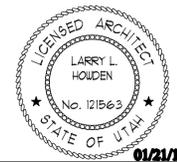
103 SF/20 + 35 REG. STALLS 75%+27 STALLS
SEATS 66 NOT INCLUDING CHOIR SEATS + 1/2 LF OF PEW (132 LF)
SEATS 88 NOT INCLUDING CHOIR SEATS + 1/2 LF OF PEW (132 LF)

6956 GROSS SF

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



24x36 FULL
12x18 HALF
OTHER N.T.S.



01/21/15

drawing title:

SECOND FLOOR PLAN

date:

01/21/15

sheet:

a1.1

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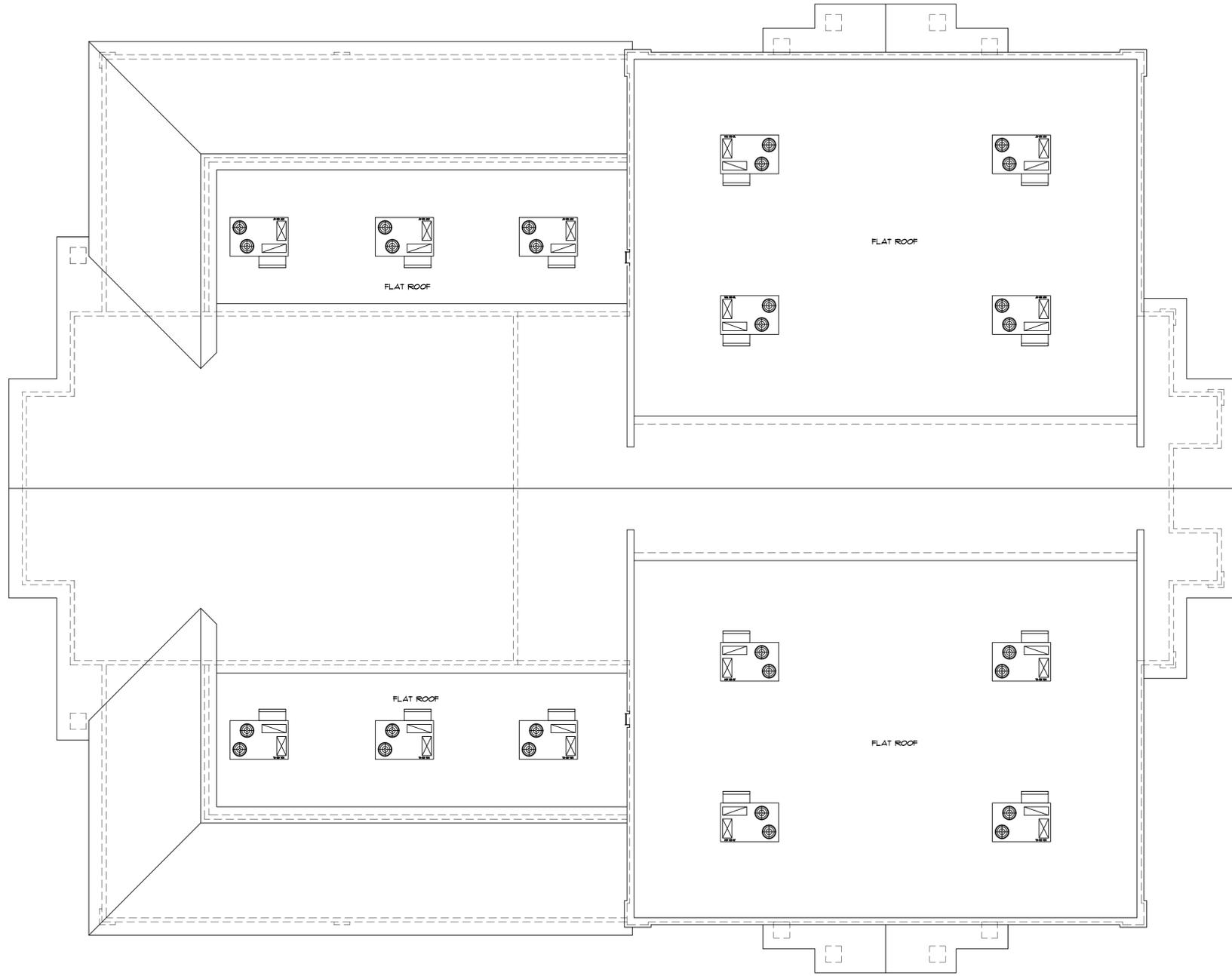
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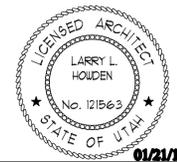
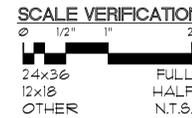
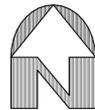
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1 ROOF PLAN
SCALE: 1/8" = 1'-0"



drawing title:

ROOF PLAN

date:

01/21/15

sheet:

a1.2

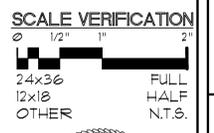
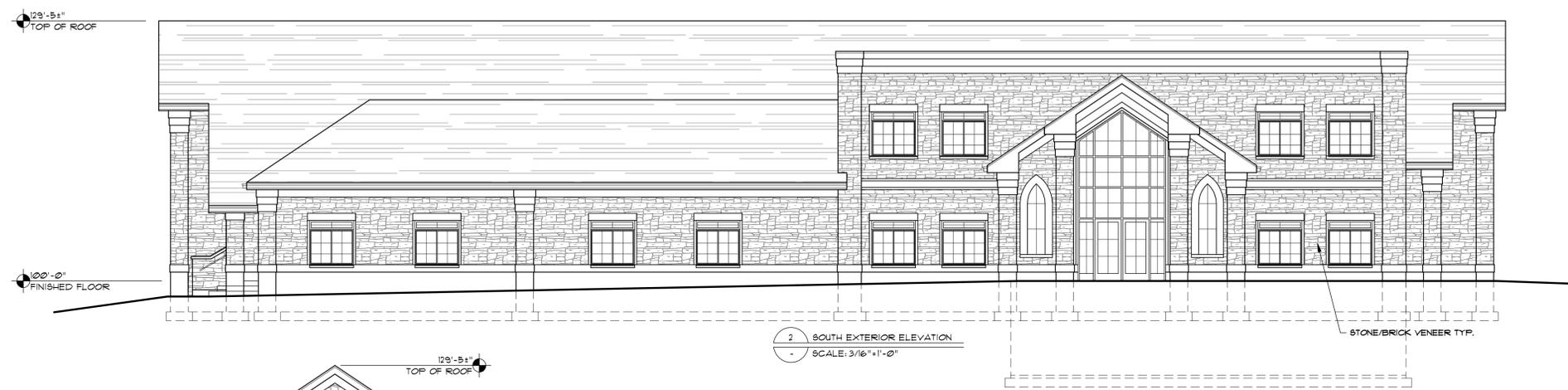
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NH&A

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drawing title:
EXTERIOR ELEVATIONS

date:
01/21/15

sheet:

a2.0

CONCEPT PLAN

I am submitting this plan for your review and comment.

This proposed chapel/school is on Lot 138, Meadow Ranch Subdivision. This lot is presently owned by the religious organization (Corp of the Presiding Elder of the Apostolic United Brethren), hereafter referred to as AUB. There are 33-parking stalls included with the chapel/school on this lot.

AUB has offered to purchase some additional property, as shown on the site plan, from Hyrum Thompson for additional parking. There would be an additional 74-parking stalls on this proposed purchased property. This would make a total of 107-parking stalls available on the property that would then be owned by AUB. This would be adequate parking for the use of this chapel/school most of the time.

AUB has also offered to pave the parking area around the private recreation building, owned by Hyrum Thompson, and share this parking area with him. AUB would make a lifetime lease agreement with him for the shared use of this parking. He rarely uses that recreation building on Sundays, which is the day AUB would most likely need this additional parking. This would add an additional 57-parking stalls available to AUB, to help cover overflow parking needs.

The number of parking stalls required by code for this chapel/school is 228. I have attached a request for a 30% reduction in the number of parking stalls required for this chapel. If this request is approved, the number of parking stalls then required would be 160. The total number of parking stalls shown on the plan is 164, which includes handicap parking.

AUB did not want to finalize the purchase of property from Hyrum Thompson, and make a lifetime lease agreement with him, until they were assured this concept plan was acceptable to Eagle Mountain City. Also, AUB did not want to pay the additional expense of a landscaping plan, a lighting plan, and some of the other required documents, until they were assured this concept plan was acceptable.

There are two primary questions AUB would like to have answered before proceeding forward:

1. Will Eagle Mountain City approve the request for a 30% reduction in parking required for this chapel/school?
2. Is it acceptable to Eagle Mountain City for AUB to count the parking stalls acquired from the lifetime lease of the parking area around Hyrum Thompson's private recreation building?

If these questions are answered affirmatively, and if the basic concepts of this plan are acceptable, AUB will proceed forward with the Application for a Conditional Use Permit. At that time, the additional plans and required documents will also be submitted with the application.

Date: Jan. 20, 2015


Glen A. Allred (General Contractor)

REQUEST FOR REDUCTION IN PARKING REQUIREMENTS

The maximum seating capacity for General meetings, using the main assembly area, the multi-purpose area, and the balcony, is 511.

Based on a total square footage of assembly area, and using the code calculations (4,547 sq.ft / 20) , the number of parking stalls we are required to have is 228.

Many of the members of this church live within comfortable walking distance of this proposed chapel. Using conservative calculations, I estimate the average number of members walking to church (see attached charts) will be 146.

According to my calculations (see attached charts), I estimate the number of members driving, or riding in a car, to church will be 345.

Due to the nature of our religion, most of the families that attend this church are large families. There are generally 2 to 8 members riding in each car to go to church. I have used a conservative average of 4 members / per car. Using these calculations (see charts), the number of parking stalls needed would be 129.

Even if the church was at full capacity, and everyone drove to church, and using the conservative average of 4-members / per car, the number of stalls needed would be 128.

According to the above calculations, the amount of parking needed is only ... 56% of the total parking required by code.

The total number of parking stalls shown on the plan is 164.

The number of parking stalls shown on the plan is a 29% reduction of the number of parking stalls required by code.

We will likely be using 44% less than the required parking. However, to cover unforeseen events, I am only requesting a 30% reduction in the amount of required parking. If this was approved, this would require us to have 160 parking stalls. The plan, as submitted, shows 164 parking stalls.

NUMBER OF HOMES WITHIN WALKING DISTANCE

| DESCRIPTION: | 00 / 1,000-ft. | 1,000 / 1,500-ft. | 1,500 / 2,000-ft. | 2,000 / 3,000-ft. | TOTALS |
|-----------------------------------|-------------------|----------------------|----------------------|----------------------|--------|
| Number of homes | 21 | 9 | 11 | 20 | 61 |
| Number of church members | 168 | 72 | 88 | 160 | 488 |
| Average number attending Services | 126 | 54 | 66 | 120 | 366 |
| % of members walking to church | 80% | 50% | 20% | 5% | |
| Members walking based on % | 100 | 27 | 13 | 6 | 146 |
| Members driving based on % | 26 | 27 | 53 | 114 | 220 |

SEATING CAPACITY

| DESCRIPTION | Main Assembly | Multi- Purpose | Balcony | TOTALS |
|--------------------------|------------------|-------------------|---------|--------|
| 1/1.5 LF OF PEW (472 LF) | 315 | | | |
| CHAIRS | | 108 | | |
| 1/1.5 LF OF PEW (132 LF) | | | 88 | |
| TOTALS: | | | | 511 |

PARKING STALLS

| DESCRIPTION | REQUIRED BY CODE (sq.ft. / 20) | WITH REQUESTED 30% REDUCTION | TOTAL PARKING STALLS ON PLAN |
|---|-----------------------------------|---------------------------------|---------------------------------|
| Main Assembly & Multi-purpose (3,844 sq.ft.) | 193 | 135 | |
| Balcony (703 sq.ft.) | 35 | 25 | |
| TOTALS: | 228 | 160 | 164 |

ACTUAL ANTICIPATED STALLS TO BE USED

(Based on 511 capacity -146 walking = 365)

| DESCRIPTION | WITHIN 3,000 FT. | OUTSIDE THIS AREA | TOTALS |
|---|------------------|----------------------|--------|
| 220 driving / 4 per car | 55 | | 92 |
| 145 driving / 4 per car | | 37 | 37 |
| TOTAL | | | 129 |
| (If all 511 members drove with an average of 4 / per car it would still be only 128 cars) | | | |