



HIGHLAND CITY

HIGHLAND CITY DEVELOPMENT ADMINISTRATION BOARD AGENDA Wednesday, March 11, 2026

Highland City Council Chambers
5400 West Civic Center Drive, Highland Utah 84003

2:00 PM REGULAR SESSION

1. CONSENT

Items on the consent agenda are of a routine nature. They are intended to be acted upon in one motion. Items on the consent agenda may be pulled for separate consideration.

a. **Approval of Meeting Minutes - November 19, 2025**

2. ACTION: Final Plat Approval for Ridgeview Pod B Plat O

Land Use (Administrative) – The Development Administration Board will consider a request from Ben Duzett, on behalf of Ivory Development, for approval of a final plat and subdivision improvement plans for a major subdivision within the Ridgeview PD zone located generally at 5050 West 10000 North, in Highland.

In accordance with Americans with Disabilities Act, Highland City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at (801) 772-4505 in advance of the meeting.

CERTIFICATE OF POSTING

I, Rob Patterson, the City Planning & Zoning Administrator, certify that the foregoing agenda was posted at the principal office of the public body, on the Utah State website (<http://pmn.utah.gov>), and on Highland City's website (www.highlandut.gov), on the 10th day of March, 2026

THE PUBLIC IS INVITED TO ATTEND THIS DEVELOPMENT ADMINISTRATION
BOARD MEETING

Meeting Minutes

Consent, Final Plat Approval: Tim Clawson Subdivision – Mountain View Acres Plat B Lot 26 Amended

Date: 11.19.2025

Time: 1:01PM

Location: Highland City Council Chambers

Meeting Type: Development Administration Board

Attendees:

Jay Baughman – City Community Development Administrator

Rob Patterson – City Attorney/Planning and Zoning Administrator

Wes Warren – Planning Commission

Debra Maughan – Planning Commission

Gretchen Homer – Public Works Administration Assistant

Michel Bradshaw – Homeowner/Developer

Kennedy Clawson – Granddaughter

Elias Rhett - builder

Purpose

1. Approval of Meeting Minutes – October 16, 2025
2. Approval of the final plat and subdivision improvement plans for Tim Clawson Subdivision – Mountain View Acres Plat B Lot 26 Amended.

Consent Items:

ACTION TO APPROVE THE MINUTES OF OCTOBER 16, 2025

MOTION: Jay Baughman moved to approve the meeting minutes from October 16, 2025; Wes Warren seconded the motion.

- | | |
|--------|---------------|
| 1. Yes | Rob Patterson |
| 2. Yes | Jay Baughman |
| 3. Yes | Chris Trusty |
| 4. Yes | Wes Warren |
| 5. Yes | Debra Maughan |

MOTION PASSES 5:0

ACTION: Final Plat Approval for Tim Clawson Subdivision – Mountain View Acres Plat B Lot 26 Amended

DISCUSSION: Tim Clawson Subdivision is a lot split, It is in an R-140 zone, part of the Mountain View Acres Plat B subdivision. The proposed subdivision creates 1 additional lot by splitting the existing lot into two lots. Both lots have a minimum size of 20, 000 square feet. The original Mountain view Acres Plat B subdivision was approved and recorded in 1994. That created 26 lots but could have had up to 29 lots. They could have had up to 7 small lots but only 4 did. There is extra density in the subdivision if it meets frontages and requirements of the zone. This will make the subdivision go up to 27 lots with 5 small lots, which complies with code. Each lot has 130 feet frontages; there was a tail that was dedicated to the neighbors to the south. We have standard utility agreements, the road has already been built, and the existing sidewalk will need some repairs as part of the building process. Both lots have reasonable buildable areas, the western lot has existing homes and structures, that will continue to meet minimum setback requirements.

MOTION: Debra Maughan moved to approve the final plat and subdivision as submitted November 19, 2025; Jay Baughman seconded the motion.

- | | |
|--------|---------------|
| 1. Yes | Jay Baughman |
| 2. Yes | Rob Patterson |
| 3. Yes | Chris Trusty |
| 4. Yes | Debra Maughan |
| 5. Yes | Wes Warren |

Motion Passes 5-0

- **Meeting Adjourned:** 1:07 PM
Minutes Prepared By: Gretchen Homer



DEVELOPMENT ADMINISTRATION BOARD AGENDA REPORT ITEM #2

DATE: March 11, 2026
TO: Development Administration Board
FROM: Rob Patterson, City Attorney / Planning & Zoning Administrator
SUBJECT: Final Plat Approval: Ridgeview Pod B Plat O
TYPE: LAND USE (ADMINISTRATIVE)

PURPOSE:

The Development Administration Board will consider a request from Ben Duzett, on behalf of Ivory Development, for approval of a final plat and subdivision improvement plans for a major subdivision within the Ridgeview PD zone located generally at 5050 West 10000 North, in Highland.

SUMMARY OF THE REQUEST:

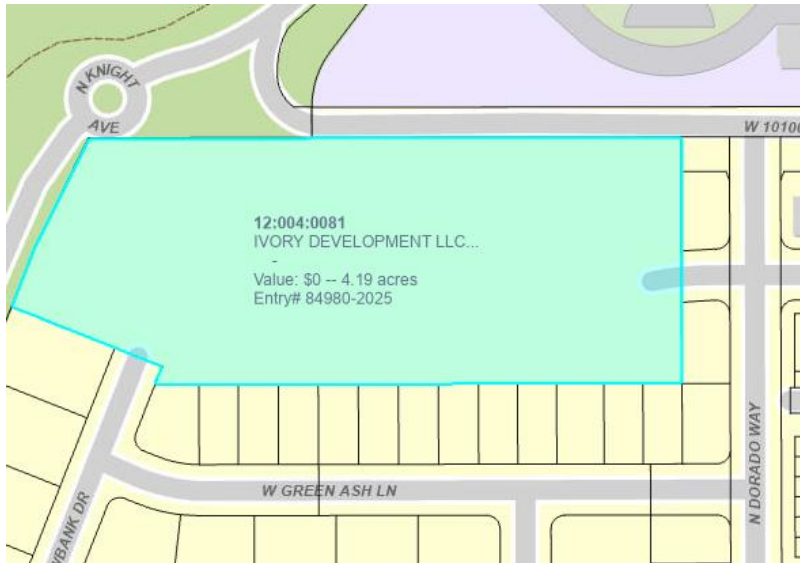
1. The applicant is requesting final plat approval for the Ridgeview Pod B Plat O Subdivision.
2. Per HDC 5-4-103, if the plat and subdivision improvement plans comply with and conform to governing law and City standards, approval of the plat and plans is required. Conditions may be imposed on approval to ensure compliance and conformity.

STAFF RECOMMENDATION:

Staff recommends that the Development Administration Board **APPROVE** the final plat and subdivision improvement plans for the Ridgeview Pod B Plat O Subdivision, with the following stipulations:

1. The recorded plat shall be in substantial conformance with the final plat submitted March 2, 2026 (attachment 3), except as modified by these stipulations.
2. Development of the subdivision shall be in substantial conformance with the subdivision improvement plans submitted March 2, 2026 (attachment 3), except as modified by these stipulations.
3. Staff's Review Comments issued March 10, 2026 (attachment 4), shall be addressed and corrected to the Zoning Administrator's and City Engineer's satisfaction prior to recordation of the plat and approval of the improvement plans for construction.
4. Improvement plans for 10100 North adjacent to the development must be updated as approved by the City Engineer prior to any work on 10100 North, the required improvements per approved plans for 10100 North must be included in the cost of any provided assurance for the development, and the required 10100 North improvements must be completed per the approved plans prior to beginning the warranty period.

BACKGROUND:



Summary:

The subject property is Utah County parcel 12:004:0081, located at approximately 5050 West 10150 North. The property in total contains +/- 4.19 acres. Its zoning is Ridgeview PD and is planned for estate (large) and cottage (smaller) single-family detached lots. The proposed subdivision creates 26 lots, with 2 estate lots and 24 cottage lots. This is the final subdivision of the Ridgeview Planned Development.

Prior Review:

On October 26, 2021, the Planning Commission recommended approval with stipulations of the preliminary plat for “Pod B” of the Ridgeview Planned Development, which includes Plat O. On November 9, 2021, the City Council approved the preliminary plat for “Pod B” subject to 9 stipulations:

1. The recorded plat conforms to the preliminary plat dated October 20, 2021 except as modified by these stipulations.
2. All public improvements shall be installed as required by the City Engineer.
3. The civil construction plans shall meet all requirements as determined by the City Engineer.
4. The sewer line along the backs of lots 101 to 118 be resolved. The back lot lines will either adjust to be off of the sewer line, or the sewer line is to be rerouted. This will need to be addressed before final plat approval.
5. The developer will also be responsible for construction of the improvements on the south side of Cedar Hills Drive and to provide curb and gutter on the east side of extension of Knight Avenue as determined by the City Engineer.
6. The 4.8-acre community park shall be completed before 35% of the homes within the development have been issued a certificate of occupancy.
7. Trash and recycling containers are to be stored behind a side yard screen wall. They shall be placed behind curb lines in a designated location for each unit. The location shall be a concrete pad. The location where the containers are to be stored shall be shown on the site plan.
8. The home builder shall be responsible for the front yard landscaping on the flex residential and carriage lots.
9. Because of a strong affinity for xeriscaping, the Planning Commission recommends that City Council and Staff work with Boyer to explore xeriscaping options for the parkway detail along North County Blvd.

Only stipulations 1-3 and 5 apply to Plat O, as the other items are not applicable or have been resolved prior to now.

STAFF REVIEW:

Staff's review of the final plat and subdivision improvement plans is summarized below:

Plat Review

- The final plat is in substantial compliance with the approved November 2021 preliminary plat.
- The final plat conforms in major respect to City standards and the stipulations of approval of the preliminary plat.

Zoning

- The property is designated as Mixed-Use in the General Plan Land Use Map. It is zoned Ridgeview Planned Development.
- The properties adjacent to Plat O are also part of the Ridgeview Planned Development, Lone Peak High School, and Highland Glen Park. The proposed subdivision is compatible with the surrounding uses.
- The Ridgeview PD designates this area to be developed with estate lots on the west side along Highland Glen/Knight Ave. and cottage lots on the east (interior) side.

Density

- The subdivision consists of +/- 4.1929 acres. The Ridgeview PD allows for 699 units overall, divided amongst single family attached/townhome products (flex residential and carriage lots) and larger single family detached products (cottage and estate lots), with density controlled by setbacks and lot size requirements. After taking those requirements into consideration, 691 units are anticipated to be developed.
- Currently, 665 units have been subdivided and are built or under development.
- The Ridgeview PD designates the area for Plat O for a mix of cottage and estate lots at approximately 5 units per acre.
- The developer is seeking approval of 26 total lots, 2 of which are estate (larger, ~0.25 acre) lots and 24 of which are cottage (smaller, ~0.09 acre). This aligns with and conforms to the allowed and approved density and product type for area of the Ridgeview PD under the Ridgeview PD zone and the approved preliminary plat.

Sensitive Lands

- The subdivision does not contain sensitive lands

Easements and Dedications

- The subdivision will dedicate a full 56' ROW for the interior street (Willowbank Dr.) and dedicate property for the widening and completion of 10100 N that borders the north side of the subdivision.
- PUEs/MUEs are provided.
- The final plat preserves the City's 20' utility easement that contains a waterline within the road and within an HOA-owned trail corridor connecting north to 10100 North.

Access and Circulation

- Road and utility access to the site will be from existing stubbed roads (southwest from

Plat N and east from Plat J) for Willowbank Drive, in accordance with the approved circulation plan shown in the preliminary plat.

- The developer will improve the south side of 10100 North, which borders on the north side of the subdivision.
- There remains an outstanding issue that has not yet been fully resolved in the current plans regarding the design of 10100 North regarding the slopes and grades of 10100 North and the requirement to ensure water can drain appropriately across the road, due to the existing condition and construction of the northern side of the road. This may be an area where the City participates with the developer in reconstructing the entire roadway in order to have the full road be built to city standards. If not, the developer will need to update the design to construct the southern half of 10100 North to City standards without damaging or impacting the existing roadway. Therefore, staff is recommending a condition of approval that the final plans for 10100 North be revised subject to the City Engineer's satisfaction, that any bonding for Plat O must include the final approved design for 10100 North, and that Plat O will not be able to go into warranty until 10100 North is constructed according to the approved design. This condition allows the City to continue working with the developer to finalize the plans for this roadway without holding up the interior development of Plat O, while ensuring that 10100 North will be constructed properly. This condition was discussed with the developer as a mutually acceptable way to allow development to proceed in connection with adjacent phases while the final details of 10100 North are worked out.
- A private HOA-maintained trail corridor will be installed by the developer connecting Willowbank Drive to 10100 North and Knight Avenue, with a sidewalk that connects across Knight Avenue to the trail on the west side that goes into Highland Glen.
- All roads and right-of-way, including the temporary turnaround, are to be improved to City standards. The subdivision improvement plans for all road and right-of-way improvements conform in major respect to City standards and the stipulations of approval of the preliminary plat.
- Staff's Review Comments issued March 10, 2026, address and correct the remaining issues.

Utilities and Water

- The subdivision improvement plans for utilities and drainage conform in major respect to City standards and the stipulations of approval of the preliminary plat. Staff's Review Comments issued March 10, 2026, address and correct the remaining issues.
- Developer has previously provided water shares for the development.

Landscaping

- The only public landscaping improvements are park strips, which will be improved by the developer or private lot owner.
- The City will own and maintain the open space on the north side near 10100 N and Knight Ave.
- The HOA-maintained trail corridor will be improved with xeriscaping.

FINDINGS:

Based on the facts described in the staff review, and if the stipulations proposed by staff are

accepted, the final plat and subdivision improvement plans meet the following findings:

- The final plat and subdivision improvement plans are in substantial conformance with the preliminary plat and stipulations of approval thereof.
- The final plat and subdivision improvement plans conform to the zoning and density requirements of the Ridgeview Planned Development.
- The final plat and subdivision comply with and conform to the requirements of the Utah State Code, Highland City Development Code, and Highland City standards and specifications.

MOTION TO APPROVE:

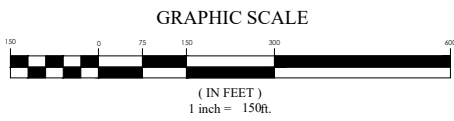
I move that the Development Administration Board accept the findings and **APPROVE** the final plat and subdivision improvement plans for the Ridgeview Pod B Plat O Subdivision, subject to the **four (4) stipulations** recommended by staff.

For reference, staff's recommended stipulations are below:

1. The recorded plat shall be in substantial conformance with the final plat submitted March 2, 2026 (attachment 3), except as modified by these stipulations.
2. Development of the subdivision shall be in substantial conformance with the subdivision improvement plans submitted March 2, 2026 (attachment 3), except as modified by these stipulations.
3. Staff's Review Comments issued March 10, 2026 (attachment 4), shall be addressed and corrected to the Zoning Administrator's and City Engineer's satisfaction prior to recordation of the plat and approval of the improvement plans for construction.
4. Improvement plans for 10100 North adjacent to the development must be updated as approved by the City Engineer prior to any work on 10100 North, the required improvements per approved plans for 10100 North must be included in the cost of any provided assurance for the development, and the required 10100 North improvements must be completed per the approved plans prior to beginning the warranty period.

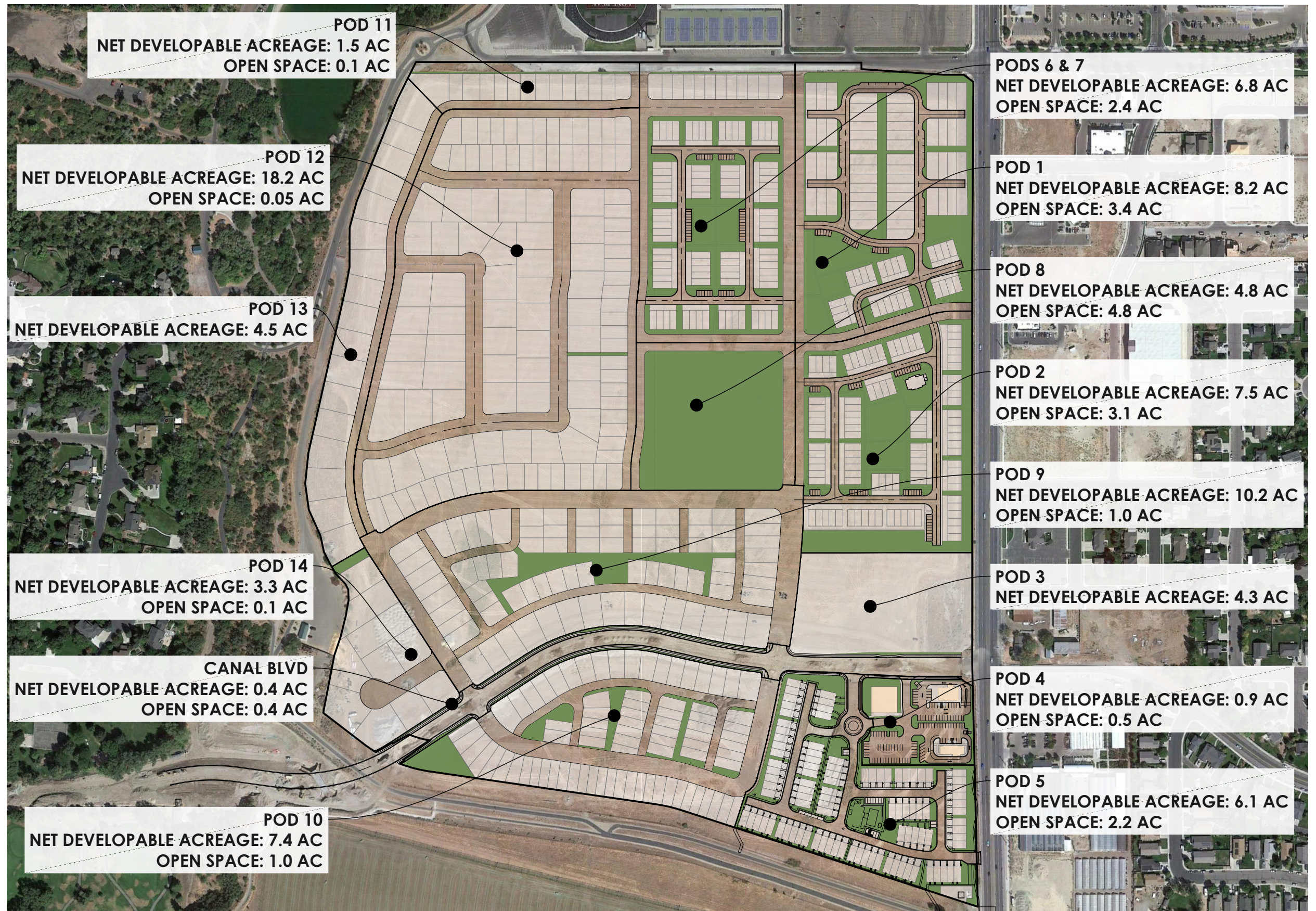
ATTACHMENTS:

1. Applicable Ridgeview PD Zoning Requirements
2. Ridgeview Pod B Preliminary Plat
3. Plat O - Final Plat and Subdivision Improvement Plans, March 2, 2026
4. Staff Review Comments issued March 10, 2026



TOTAL DEVELOPABLE ACREAGE:
83.4 AC

TOTAL OPEN SPACE:
19.3 AC (23.2%)



RIDGEVIEW open space exhibit

HIGHLAND CITY, UTAH COUNTY

8/26/2021

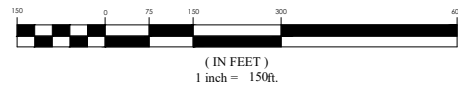
19-0084

Note: This plan is for illustrative purposes only. Boundaries may be based on parcels obtained through public GIS data. It is recommended that a survey be performed to determine actual boundary size and dimensions as well as other potential boundary conflicts.





GRAPHIC SCALE

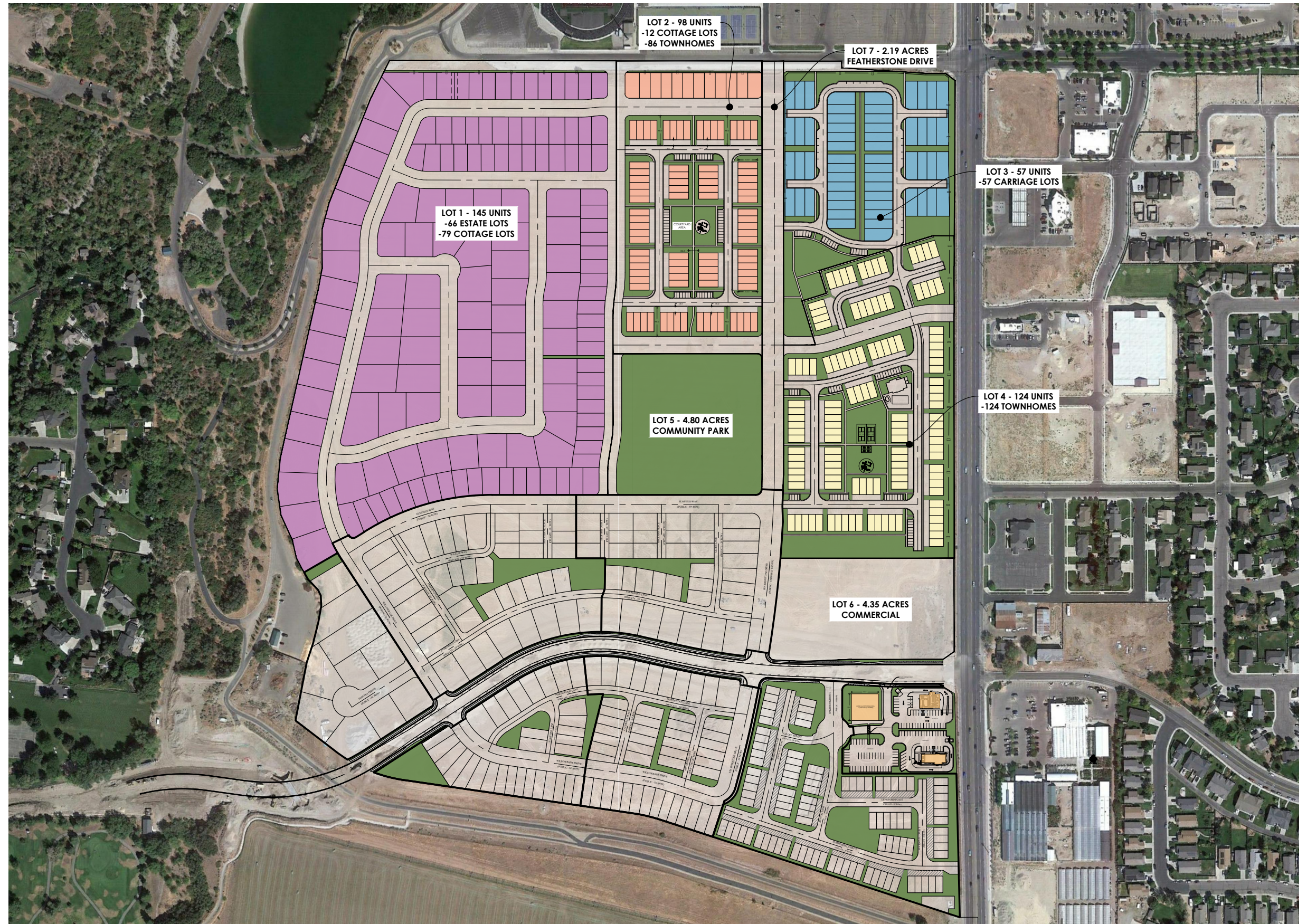


PROPERTY OVERVIEW

TOTAL ACREAGE	±116.78 ACRES
NET DEVELOPABLE ACREAGE	81.94 ACRES
OPEN SPACE	19.67 ACRES (24.0%)

UNIT SUMMARY

TOTAL RESIDENTIAL UNITS	689
-PLATTED UNITS	265
-PROPOSED UNITS	424
ESTATE LOTS	76
-PLATTED LOTS	10
-PROPOSED LOTS	66
COTTAGE LOTS	139
-PLATTED LOTS	48
-PROPOSED LOTS	91
CARRIAGE LOTS	88
-PLATTED LOTS	31
-PROPOSED LOTS	57
AGE TARGETED LOTS	80
-PLATTED LOTS	80
TOWNHOME UNITS	306
-PLATTED UNITS	96
-PROPOSED UNITS	210



RIDGEVIEW master plan

HIGHLAND CITY, UTAH COUNTY

8/16/2021

19-0084

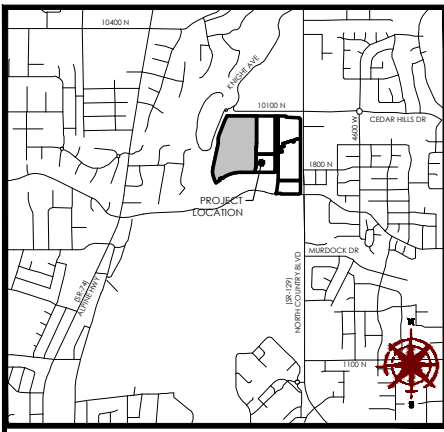
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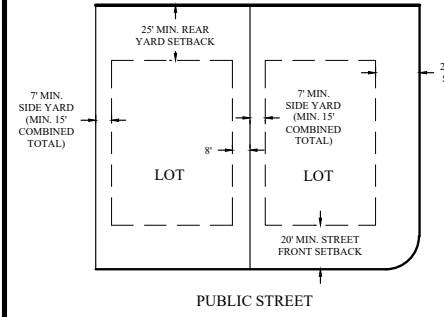
Residential Bulk & Intensity Requirements

	Townhomes Pods (Pods 2, 5)	Carriage (Pods 1, 2, 5, 6, 9)			Cottage (Pods 2, 5, 10)	Estate (Pods 11, 12)
		Cluster/Age Targeted	Front Load	Rear Load		
Min. Lot Size	Attached, Stacked, or Clustered Units with Density Controlling Number of Units	Attached, Stacked, or Clustered Units with Density Controlling Number of Units	Attached, Stacked, or Clustered Units with Density Controlling Number of Units	Attached, Stacked, or Clustered Units with Density Controlling Number of Units	3,500 sq ft.	7,000 sq ft.
Max Units/ Acre	12	12	12	12	10	4
Min. Lot Width	NA	NA	30'	30'	35'	60'
Min. Front Yard	12'	12' to any public ROW, 5' to adjacent homes, 2' to adjacent shared driveways or private ROWs	15'	10'	15' to home, 18' to garage	20'
Min. Rear Yard (Interior Lots)	NA	12' to any public ROW, 5' to adjacent homes, 2' to adjacent shared driveways or private ROWs	10'	5'	15'	25'
Min. Rear Yard (Corner Lots)	NA	12' to any public ROW, 5' to adjacent homes, 2' to adjacent shared driveways or private ROWs	10'	10'	15'	25'
Min. Side Yard (Interior Lots)	Residential Uses 0 ft. Total Side Yards Not Less than 5' All buildings to be a minimum of 5 ft between homes	Residential Uses 0 ft. Total Side Yards Not Less than 5' All buildings to be a minimum of 5 ft between homes	Residential Uses 0 ft. Total Side Yards Not Less than 5' All buildings to be a minimum of 5 ft between homes	Residential Uses 0 ft. Total Side Yards Not Less than 5' All buildings to be a minimum of 5 ft between homes	5'	7' on one side, 8' on the opposite side (Total of 15' combined)
Min. Side Yard (Corner Lots)	10'	10'	10'	10'	15'	20'
Height*	Shall not exceed 40'	Shall not exceed 40'	Shall not exceed 40'	Shall not exceed 40'	Shall not exceed 40'	Shall not exceed 35'
Max. Lot Coverage	NA	NA	70%	70%	65%	50%

* As measured from the highest point on the top back of curb along the lot frontage



VICINITY MAP
N.T.S.



TYPICAL BUILDING SETBACKS
(ESTATE LOTS - 7,000 S.F. MIN)
N.T.S.

- NOTES**
- ALL PUBLIC UTILITY EASEMENTS PLATTED HEREON ARE IN PERPETUITY FOR INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF PUBLIC UTILITIES, SIDEWALKS AND APPURTENANT PARTS THEREOF AND THE RIGHT TO REASONABLE ACCESS TO GRANTOR'S PROPERTY FOR THE ABOVE DESCRIBED PURPOSES. THE EASEMENTS SHALL RUN WITH THE REAL PROPERTY AND SHALL BE BINDING UPON THE GRANTOR AND THE GRANTOR'S SUCCESSORS, HEIRS, AND ASSIGNS.
 - PRIVATE STREETS OR DRIVES TO SERVE AS PUBLIC UTILITY EASEMENTS.
 - ALL PARCELS ARE COMMON AREAS EXCEPT AS OTHERWISE SPECIFICALLY DESIGNATED.
 - THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY STANDARDS, RESOLUTIONS AND ORDINANCES.
 - THIS AREA IS SUBJECT TO THE NORMAL, EVERYDAY SOUNDS, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ANY OTHER ASPECTS ASSOCIATED WITH AGRICULTURAL LIFESTYLES. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISK INHERENT WITH LIVESTOCK.
 - ANY LOTS THAT WILL BE DOUBLE FRONTING NEEDS TO HAVE A 1' NONE VEHICLE ACCESS EASEMENT ALONG THE PUBLIC ROAD IT DOUBLE FRONTS.
 - ALL RESIDENTIAL CONSTRUCTION WILL NEED TO MEET THE INTERNATIONAL BUILDING CODE REQUIREMENTS.
 - PRIOR TO FINAL APPROVAL OF INDIVIDUAL PHASES A WATER MODEL WILL BE REQUIRED TO VERIFY THAT THE WATER LINE SIZES ARE SUFFICIENT FOR THIS PRELIMINARY LAYOUT.
 - PRIVATE ROADS WILL BE OWNED AND MAINTAINED BY THE APPROPRIATE HOMEOWNERS ASSOCIATION BY PHASE
 - PARCEL B TO BE OWNED AND MAINTAINED BY HOA

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF UTAH, _____, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____ L.L.C., A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

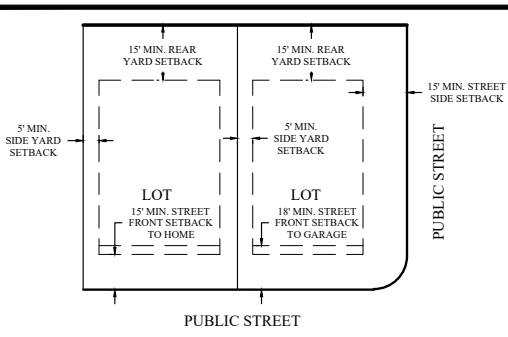
MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN _____ COUNTY UTAH RESIDING IN _____

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

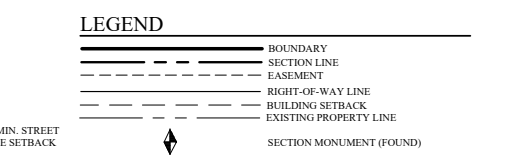
OWNER/DEVELOPER
IVORY
3340 NORTH, CENTER STREET
LEHI, UTAH 84043
(801) 407-6841
CONTACT: BRAD MACKAY

PREPARED BY
FOCUS
ENGINEERING AND SURVEYING, L.L.C.
6949 S. HIGH TECH DRIVE, #200
MIDVALE, UTAH 84047 P.E. (801) 352-0075
www.focususurvey.com

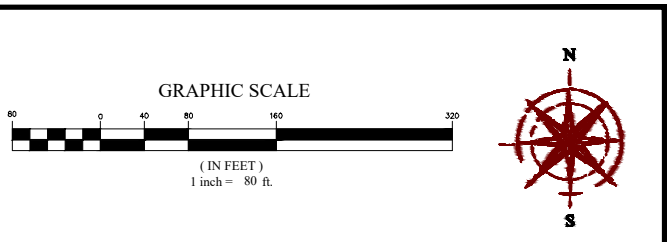
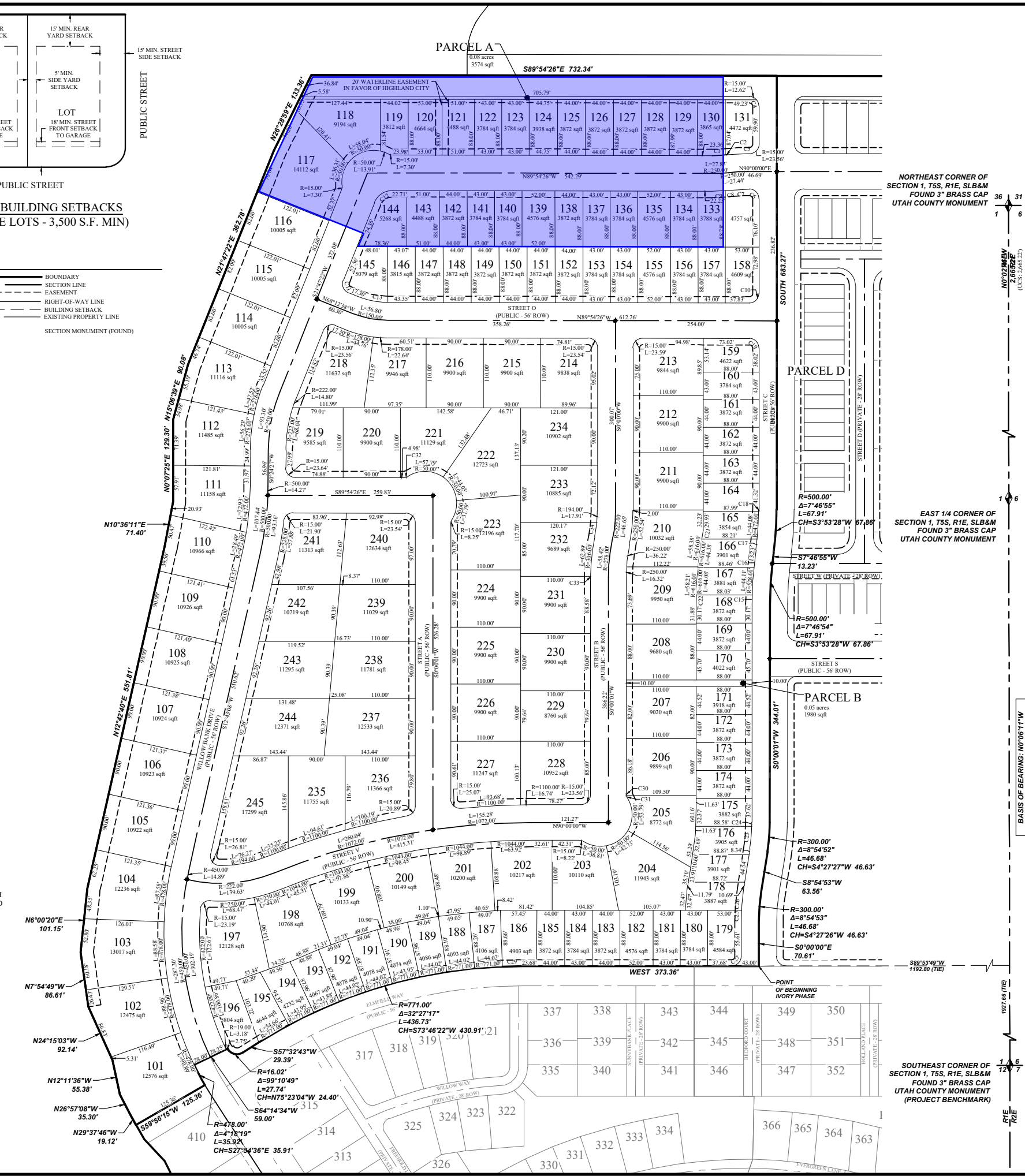
2 OF 6
10/20/2021



TYPICAL BUILDING SETBACKS
(COTTAGE LOTS - 3,500 S.F. MIN)
N.T.S.



LEGEND



BOUNDARY DESCRIPTION

A tract of land located in the Southeast Quarter and the Northeast Quarter of Section 1, Township 5 South, Range 1 East, Salt Lake Base & Meridian, more particularly described as follows:

Beginning at a point on the northerly line of a Special Warranty Deed recorded as Entry No. 174194:2020 in the office of the Utah County Recorder, said point located North 00°06'11" W 1,927.66 feet along the Section line and S89°53'49" W 1,192.80 feet from the Southeast Corner of Section 1, T5S, R1E, SLB&M; running thence along said northerly line the following seven (7) courses: (1) West 373.36 feet; then (2) along the arc of a curve to the left with a radius of 711.00 feet a distance of 436.73 feet through a central angle of 32°27'17" Chord: S73°46'22" W 430.91 feet; then (3) S57°32'43" W 30.12 feet; then (4) along the arc of a curve to the right with a radius of 1.60 feet a distance of 27.00 feet through a central angle of 96°41'51" Chord: N74°06'22" W 23.91 feet; then (5) S64°14'34" W 59.00 feet; then (6) southeasterly along the arc of a non-tangent curve to the left having a radius of 478.00 feet (beats: N64°14'34"E) a distance of 35.92 feet through a central angle of 04°18'19" Chord: S27°54'36" E 35.91 feet; then (7) S59°56'15" W 125.36 feet to the easterly line of a Special Warranty Deed recorded as Entry No. 113623:1998 in the Utah County Recorder; then along said easterly line the following twelve (12) courses: (1) N29°37'46" W 19.12 feet; then (2) N26°57'08" W 35.30 feet; then (3) N12°11'36" W 55.38 feet; then (4) N24°15'03" W 92.14 feet; then (5) N07°54'49" W 86.61 feet; then (6) N06°00'20" E 101.15 feet; then (7) N12°42'40" E 551.81 feet; then (8) N10°36'11" E 71.40 feet; then (9) N00°07'25" E 129.30 feet; then (10) N15°06'39" E 90.08 feet; then (11) N21°47'22" E 362.78 feet; then (12) N26°28'59" E 133.36 feet; then to and along the southerly line of a Corrected Special Warranty Deed recorded as Entry No. 79132:1998 in the office of the Utah County Recorder, S89°54'26" E 732.34 feet; then South 683.27 feet; then along the arc of a curve to the right with a radius of 500.00 feet a distance of 67.91 feet through a central angle of 07°46'55" Chord: S03°53'28" W 67.86 feet; then S07°46'55" W 13.23 feet; then along the arc of a curve to the left with a radius of 500.00 feet a distance of 67.91 feet through a central angle of 07°46'54" Chord: S03°53'28" W 67.86 feet; then S00°00'01" W 344.01 feet; then along the arc of a curve to the right with a radius of 300.00 feet a distance of 46.68 feet through a central angle of 08°54'52" Chord: S04°27'27" W 46.63 feet; then S08°54'53" W 63.56 feet; then along the arc of a curve to the left with a radius of 300.00 feet a distance of 46.68 feet through a central angle of 08°54'53" Chord: S04°27'26" W 46.63 feet; then South 70.61 feet to the point of beginning.

Contains: 31.90 acres +/-

NORTHEAST CORNER OF SECTION 1, T5S, R1E, SLB&M FOUND 3" BRASS CAP UTAH COUNTY MONUMENT

EAST 1/4 CORNER OF SECTION 1, T5S, R1E, SLB&M FOUND 3" BRASS CAP UTAH COUNTY MONUMENT

Curve Table

CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	151.72	7°48'30"	20.68	S87°25'32" W	20.66
C2	2425.02	0°05'45"	4.06	S84°14'05" W	4.06
C3	250.75	7°48'58"	34.21	S87°14'00" W	34.18
C4	15.00	41°43'03"	10.92	S20°51'31" E	10.68
C6	15.00	88°58'47"	23.29	S44°29'23" E	21.02
C7	207.58	7°49'05"	28.32	N87°21'56" E	28.30
C8	353.53	1°39'00"	10.18	N84°45'36" E	10.18
C9	190.46	6°15'13"	20.79	N87°57'04" E	20.78
C10	15.00	90°05'34"	23.59	S45°02'47" W	21.23
C11	15.00	90°00'00"	23.56	N23°12'38" W	21.21
C12	30.00	68°18'12"	35.76	N55°56'28" E	33.68
C13	122.00	21°41'48"	46.20	N79°03'32" W	45.92
C15	528.00	1°30'02"	13.83	S00°45'02" W	13.83
C16	528.00	1°29'38"	13.77	S07°02'06" W	13.77
C17	472.00	2°06'22"	17.35	S06°43'44" W	17.35
C18	472.00	0°19'31"	2.68	S00°09'46" W	2.68
C19	15.00	89°54'26"	23.54	S44°57'13" E	21.20
C21	616.00	1°19'45"	14.29	N10°10'47" E	14.29
C22	616.00	1°17'00"	13.83	N09°38'36" E	13.83
C23	272.00	7°34'10"	35.93	S05°07'48" W	35.91
C24	272.00	1°20'42"	6.39	S00°40'22" W	6.39
C25	328.00	3°02'18"	17.39	S01°51'09" W	17.39
C26	328.00	5°52'35"	33.64	S05°58'36" W	33.63
C27	15.00	90°00'00"	23.56	S45°00'00" W	21.21
C29	771.00	2°14'29"	30.16	S88°52'46" W	30.16
C30	15.00	14°45'59"	3.87	N07°22'59" W	3.86
C31	15.00	16°37'49"	4.35	N23°04'53" W	4.34
C32	15.00	31°40'57"	8.29	S74°15'05" W	8.19
C33	306.00	0°15'57"	1.42	S00°07'59" W	1.42
C34	194.00	6°45'07"	22.86	S08°39'53" W	22.85

PRELIMINARY PLAT
RIDGEVIEW POD "B"
SUBDIVISION
LOCATED IN THE SE1/4 AND NE1/4 OF SECTION 1, T5S, R1E, SLB&M, DATUM: NAD83
SALT LAKE BASE & MERIDIAN
HIGHLAND CITY, UTAH COUNTY, UTAH

FOR REVIEW ONLY

SURVEYOR'S SEAL NOTARY PUBLIC SEAL HIGHLAND CITY ENGINEER SEAL HIGHLAND CITY RECORDER SEAL

Z:\2021\2021-0392-Ridgeview_Pod_B_Preliminary.dwg sheets\C2.1 PRELIMINARY PLAT.dwg

HIGHLAND CITY GENERAL NOTES

1. THESE NOTES SHALL BE DEEMED AN ADDENDUM TO THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) MANUAL STANDARD SPECIFICATIONS. HIGHLAND CITY FOLLOWS THE MOST CURRENT APWA SPECIFICATIONS AND STANDARD PLANS (AVAILABLE AT WWW.APWAUTAH.ORG). APWA STANDARDS ARE TO BE USED AND FOLLOWED AFTER HIGHLAND CITY STANDARDS ARE APPLIED.
2. TWO (2) WORKING DAYS' NOTICE IS REQUIRED FOR ALL INSPECTIONS. INSPECTIONS ARE TO BE SCHEDULED THROUGH THE PUBLIC WORKS SECRETARY EITHER VERBALLY (801-722-4515), OR BY EMAIL (PUBLIC WORKS@HIGHLANDCITY.ORG)
3. HIGHLAND CITY ENGINEERING INSPECTORS WORK MONDAY THROUGH THURSDAY (7:00 A.M. TO 5:30 P.M.). INSPECTIONS WILL BE SCHEDULED BETWEEN 7:30 A.M. AND 5:00 P.M.
4. ANY WORK PERFORMED WITHOUT THE PROPER APPROVALS OR INSPECTIONS TAKING PLACE WILL BE REMOVED AT THE CONTRACTOR'S EXPENSE AND RE-DONE WITH THE PROPER APPROVALS OR INSPECTIONS. MATERIAL REPLACEMENT OR RE-DESIGN MAY BE REQUIRED AT THE DISCRETION OF THE CITY INSPECTOR AND AT THE EXPENSE OF THE CONTRACTOR.
5. ALL CONSTRUCTION SHALL BE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS STAMPED "APPROVED FOR CONSTRUCTION, HIGHLAND PUBLIC WORKS" WITH A DATE AND SIGNATURE. THESE PLANS ARE TO BE ON-SITE AT ALL TIMES AND AVAILABLE TO THE CITY INSPECTOR FOR REVIEW. IF THE PLANS ARE NOT ON SITE, A STOPPAGE OF WORK WILL BE ISSUED UNTIL THE PLANS ARE AVAILABLE.
6. ANY CHANGES TO THE APPROVED CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY ENGINEER AND DESIGN ENGINEER. THIS APPROVAL WILL BE GIVEN IN WRITING BY THE CITY ENGINEER TO THE CONTRACTOR AND THE DEVELOPER. UNTIL SUCH WRITTEN AUTHORIZATION IS RECEIVED, THERE HAS BEEN NO APPROVAL GRANTED TO CHANGE THE PLANS.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY ERRORS FOUND ON THE APPROVED DRAWINGS, AS SOON AS THEY ARE DISCOVERED, TO THE CITY ENGINEER AND THE DESIGN ENGINEER. A WRITTEN ADDENDUM, WRITTEN BY THE CITY ENGINEER, WILL BE ISSUED TO THE CONTRACTOR AND THE DEVELOPER NOTIFYING THEM OF THE CHANGE TO THE PLANS. THERE WILL BE NO COST TO THE CITY FOR THESE CHANGES.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY DAMAGE THAT MAY OCCUR FROM THE PROJECT. THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY APPROVALS FOR WORK THAT IMPACTS OR IS LOCATED ON ADJACENT PROPERTIES OR WATER CONVEYANCE FACILITIES ARE OBTAINED IN WRITING AND PROVIDED TO THE CITY PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY REQUIREMENTS OF THE JOB SITE AND WILL ENSURE ENFORCEMENT OF THE NECESSARY AND GOVERNING REGULATIONS.
10. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED (IE NO CONCRETE)
11. THE PARK STRIP SHALL BE FILLED WITH NATIVE TOP SOIL, LEVEL WITH TOP OF CURB, NO ROCKS GREATER THAN (3) INCHES.
12. HIGHLAND CITY DEFINES THE TIME FOR COMPLETION OF THE PUNCH LIST ITEMS TO BE THIRTY (30) DAYS.

HIGHLAND CITY UTILITY NOTES

1. UNLESS OTHERWISE NOTED ON THE PLANS, THE EXISTING UTILITIES AND THEIR LOCATIONS ARE TAKEN FROM RESEARCH DATA OF AVAILABLE RECORDS AND NOT ACTUAL FIELD VERIFICATION.
2. THE EXISTING UTILITIES LOCATED ON THE PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. NEITHER THE CITY ENGINEER, DESIGN ENGINEER, NOR THE DEVELOPER WILL BEAR ANY RESPONSIBILITY FOR THE ACCURACY OF THE DATA OR FOR UTILITIES NOT SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THESE UTILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL LAWS AND REGULATIONS REGARDING UTILITY LOCATIONS AND EXCAVATING AROUND THESE UTILITIES, INCLUDING THE REQUIRED ROAD CUT/RIGHT OF WAY PERMIT.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES THAT ARE TO REMAIN IN PLACE. ANY DAMAGE DONE BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED AND/OR REPLACED SATISFACTORILY BY THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.

HIGHLAND CITY QUALITY CONTROL NOTES

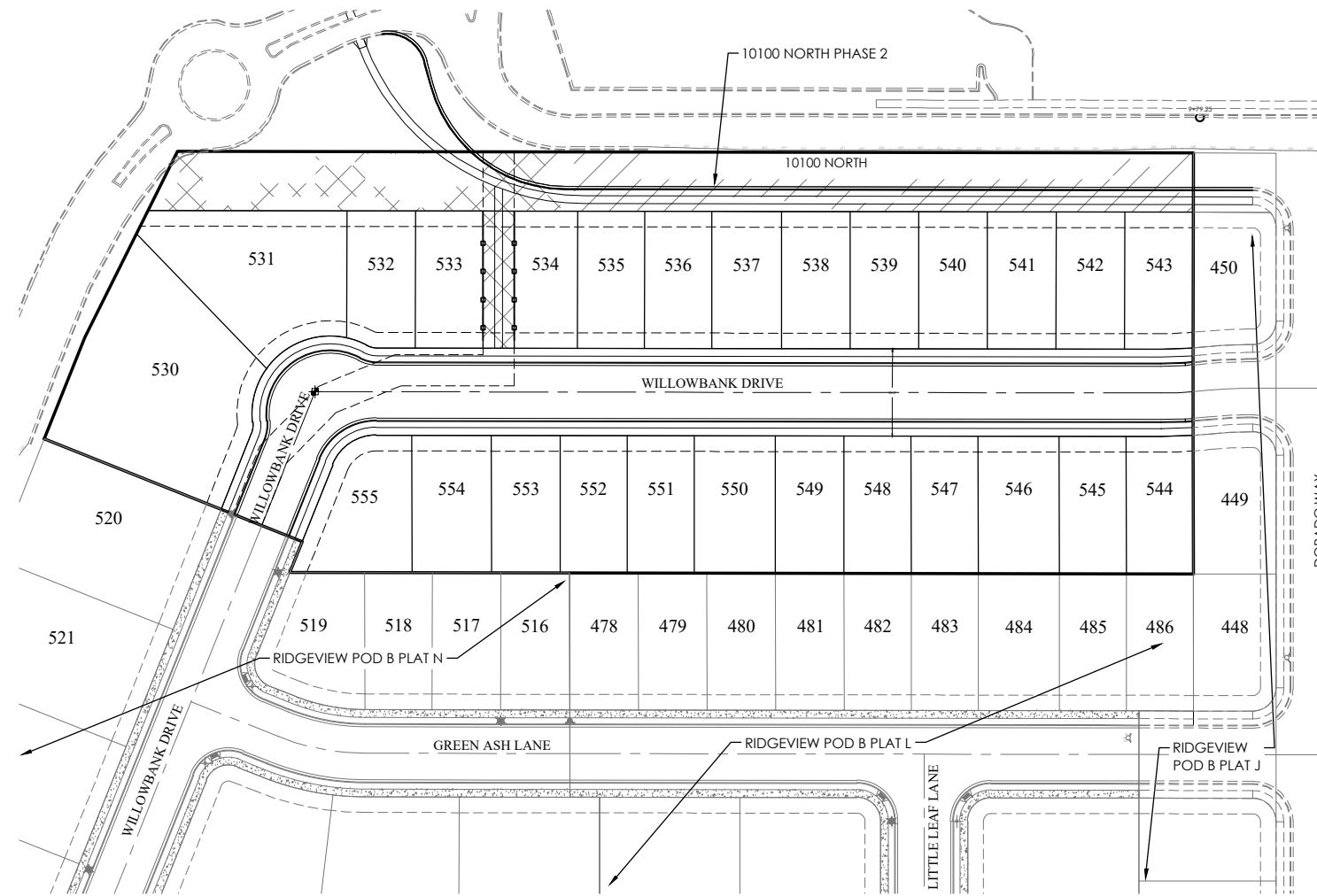
- A. BASE**
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
 2. ALL COMPACTION TESTING SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE MOVING TO THE NEXT PHASE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO ASPHALT, SIDEWALK, CURB, GUTTER, ETC.
 3. ALL TESTING WILL BE PERFORMED BY A CERTIFIED TESTING LABORATORY AND A CERTIFIED TESTER
 4. COMPACTION SHALL MEET THE 95% MODIFIED PROCTOR REQUIREMENTS
 5. THE CITY INSPECTOR HAS THE AUTHORITY TO DIRECT THE LOCATION OF TESTING OR TO CALL FOR ADDITIONAL TESTS IF DEEMED NECESSARY.
- B. SUBBASE**
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
 2. ALL SUBBASES (OR SUBGRADE IF NO SUBBASE IS USED) WILL HAVE A PROOF ROLLING TEST WITH A CITY INSPECTOR ON SITE.
 3. PROOF ROLLING TESTES WILL CONSIST OF DRIVING OVER THE SUBBASE/SUBGRADE WITH A FULLY LOADED FOUR THOUSAND (4,000) GALLON WATER TRUCK TO CHECK FOR ANY TYPE OF DEFLECTION IN THE MATERIAL.
 4. THE CITY INSPECTOR SHALL HAVE THE DISCRETION TO REQUEST THE REMOVAL OF MATERIAL AND THE AMOUNT AT LOCATIONS OF FAILURES
 5. THE FAILED MATERIAL SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR AND RETESTED.
- C. TRENCH COMPACTION**
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
 2. TESTING RESULTS ARE REQUIRED TO BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE THE NEXT PHASE OF CONSTRUCTION CAN BEGIN.
 3. COMPACTION TESTS ARE REQUIRED EVERY TWO HUNDRED (200) LINEAR FEET OF EACH UTILITY AND EVERY TWO (2) FEET OF VERTICAL LIFT.
 4. MAXIMUM LIFT THICKNESS IS EIGHT (8) INCHES
- D. SIDEWALKS AND CURB & GUTTER**
1. ALL TESTING PERFORMED WILL BE AT NO COST TO THE CITY.
 2. TESTING RESULTS ARE REQUIRED TO BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BEFORE THE NEXT PHASE OF CONSTRUCTION CAN BEGIN.
 3. SIDEWALKS - COMPACTION TESTS AREA REQUIRED EVERY FOUR HUNDRED (400) LINEAR FEET PER LIFT.
 4. CURB AND GUTTER - COMPACTION TESTS ARE REQUIRED EVERY TWO HUNDRED (200) LINEAR FEET PER LIFT.
 5. MAXIMUM LIFT THICKNESS IS EIGHT (8) INCHES.

HIGHLAND CITY TRAFFIC NOTES

1. ALL CONSTRUCTION SIGNAGE, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
2. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC RIGHTS-OF-WAY THAT WERE WARRANTED IMMEDIATELY AFTER THE FIRST GRADING WORK IS ACCOMPLISHED AND SHALL MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
4. IF IT IS DETERMINED BY THE PUBLIC WORKS DEPARTMENT THAT A SCHOOL ZONE IS ENCLOSED UPON BY A CONSTRUCTION WORK ZONE, AND IT IS DETERMINED THAT THERE IS A NEED FOR STUDENTS TO BE ASSISTED IN THE SAFE CROSSING THROUGH THAT WORK ZONE, THE SCHOOL SHALL BE NOTIFIED, AND THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A QUALIFIED CROSSING GUARD. THE GUARD SHALL BE PRESENT FOR THE FULL DURATION OF TIME THOSE CHILDREN ARE LIKELY TO BE PRESENT AND/OR AS REQUESTED BY THE SCHOOL.
5. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL, OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER OR DESIGNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGNPOSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.
7. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION.
8. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT, AND FLAG PERSONS NECESSARY TO ENSURE THE SAFETY OF WORKERS AND VISITORS.

RIDGEVIEW POD B PLAT O

PREPARED FOR:
IVORY DEVELOPMENT
LOCATED IN:
HIGHLAND CITY, UT



SITE MAP

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL CONSTRUCTION SHALL ADHERE TO HIGHLAND CITY STANDARD PLANS AND SPECIFICATIONS.
4. ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
5. THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
3. UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
4. ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.



VICINITY MAP
N.T.S.

Sheet List Table

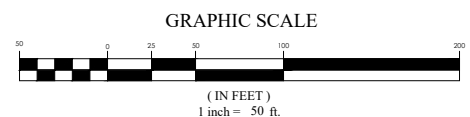
Sheet Number	Sheet Title
C1	COVER SHEET
C2	FINAL PLAT
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C4.1	SECTION PLAN
C5	SEWER PLAN
C6	WATER PLAN
C7	EROSION CONTROL PLAN
PP01	WILLOWBANK DRIVE
PP02	WILLOWBANK DRIVE
D1	DETAILS
D2	DETAILS
D3	DETAILS
D4	DETAILS
D5	DETAILS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: BEN DUZZETT, PE
SURVEY MANAGER: EVAN WOOD, PLS

OWNER/DEVELOPER
IVORY DEVELOPMENT
978 WOODOAK LANE
SALT LAKE CITY, UTAH 84117
(801) 747-7440
CONTACT: BRAD MACKAY

BENCHMARK

SOUTHEAST CORNER OF SECTION 1
TOWNSHIP 5 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV: 4819.90
DATUM: NAD83



FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
COVER SHEET

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

COVER SHEET

Scale: 1"=50' Drawn: KV
Date: 02/25/26 Job #: 24-0391
Sheet:

C1



VICINITY MAP
N.T.S.

- NOTES**
- ALL PUBLIC UTILITY EASEMENTS PLATTED HEREON ARE IN PERPETUITY FOR INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF PUBLIC UTILITIES, SIDEWALKS AND APPURTENANT PARTS THEREOF AND THE RIGHT TO REASONABLE ACCESS TO GRANTOR'S PROPERTY FOR THE ABOVE DESCRIBED PURPOSES. THE EASEMENTS SHALL RUN WITH THE REAL PROPERTY AND SHALL BE BINDING UPON THE GRANTOR AND THE GRANTOR'S SUCCESSORS, HEIRS, AND ASSIGNS.
 - THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY STANDARDS, RESOLUTIONS AND ORDINANCES.
 - THIS AREA IS SUBJECT TO THE NORMAL, EVERYDAY SOUNDS, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ANY OTHER ASPECTS ASSOCIATED WITH AGRICULTURAL LIFESTYLES. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISK INHERENT WITH LIVESTOCK.
 - 5x24 REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS, NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
 - HOMEOWNERS ASSOCIATION: THE RIDGEVIEW MASTER ASSOCIATION, A UTAH NONPROFIT CORPORATION, WITH A REGISTERED ADDRESS OF 101 S. 200 E., Suite 200, SALT LAKE CITY, UT. 84111.
 - ALL RESIDENTIAL CONSTRUCTION WILL NEED TO MEET THE INTERNATIONAL FIRE CODE REQUIREMENTS AS ADOPTED BY HIGHLAND CITY.
 - ALL RESIDENTIAL CONSTRUCTION WILL NEED TO MEET THE INTERNATIONAL BUILDING CODE REQUIREMENTS AS ADOPTED BY HIGHLAND CITY.
 - ALL PUBLIC RIGHT-OF-WAY TO SERVE AS MUNICIPAL UTILITY EASEMENTS IN FAVOR OF HIGHLAND CITY.
 - PARCEL A IS HEREBY DEDICATED TO HIGHLAND CITY AS PUBLIC RIGHT-OF-WAY AND PART OF 10100 NORTH ST.
 - PARCEL B IS DEDICATED AS COMMON AREA AND IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - LOTS 530, 531, & 544 CONTAIN A PRIVATE STORM WATER SUMP DRAINAGE FACILITY. THE OWNER OF THESE LOTS SHALL BE RESPONSIBLE FOR ALL DAMAGE THAT OCCURS FROM THE USE, OPERATION, MAINTENANCE, OR FAILURE OF PRIVATE DRAINAGE FACILITY AND SUMP, REGARDLESS OF WHETHER SUCH DAMAGE OR LOSS IS WITHIN THE LOT SHOWN HEREIN. HIGHLAND CITY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR FROM THE STORM DRAINAGE ON THIS LOT.
 - LOTS 530, 531, & 544 TO OWN AND MAINTAIN PRIVATE SUMP DRAIN ON THEIR LOT.
- CITY REQUIRED PLAT NOTES:**
- MUNICIPAL UTILITY EASEMENTS (M.U.E) ARE DEDICATED TO HIGHLAND CITY AND INCLUDE PERMITTED USES AS PER UTAH CODE ANNOTATED 10-9A-103(40) AND HIGHLAND CITY DEVELOPMENT CODE.
 - THE PUBLIC UTILITY EASEMENT (P.U.E), MUNICIPAL UTILITY EASEMENT (M.U.E), AND SIDEWALK EASEMENT CORRIDOR AS HEREON SHOWN SHALL INCLUDE THE RIGHT OF UTILITY PLACEMENT IN CONFORMANCE WITH HIGHLAND CITY UTILITY FRANCHISE AGREEMENTS AND STATE OF UTAH CODE GOVERNING PUBLIC UTILITY EASEMENTS. HIGHLAND CITY IS GRANTED THE RIGHT FOR CONSTRUCTION, PLACEMENT, MAINTENANCE, REPLACEMENT AND OTHER INCIDENTAL APPURTENANT PARTS THERETO FOR CITY UTILITY AND ACTIVE TRANSPORTATION FACILITIES INCLUDING STREET SIGNAGE, STREET LIGHTS, PLACEMENT OF SIDEWALKS AND OTHER FORMS OF ACTIVE TRANSPORTATION FACILITIES. EASEMENT RIGHTS DEFINED HEREON SHALL INCLUDE REASONABLE ACCESS TO THE GRANTOR'S PROPERTY FOR THE ALLOWABLE PURPOSES.
 - BUILDING SETBACKS SHOWN HEREON REPRESENT THE ZONING REGULATIONS AT THE TIME OF PLAT APPROVAL. BUILDING SETBACKS WILL BE ENFORCED BY CITY OFFICIALS AS PER THE CITY ORDINANCES AND CODES IN PLACE AT THE TIME OF BUILDING PERMIT ISSUANCE.

THERE ARE CONDITIONS OF APPROVAL ATTACHED TO THIS SUBDIVISION WHICH ARE INDICATED ON THIS PLAT. THESE CONDITIONS HAVE ALSO BEEN RECORDED WITH THIS SUBDIVISION. POTENTIAL BUYERS ARE REQUESTED TO READ THESE CONDITIONS CAREFULLY AND OBTAIN A COPY OF THESE CONDITIONS AND RESTRICTIONS PRIOR TO PURCHASING OR CONTRACTING TO PURCHASE ANY LOTS WITHIN THIS SUBDIVISION. THESE CONDITIONS ARE BINDING AND HAVE BEEN IMPOSED BY THE LEGISLATIVE BODY OF HIGHLAND CITY. A COPY OF THESE CONDITIONS MAY BE OBTAINED THROUGH THE UTAH COUNTY RECORDER'S OFFICE OR THE HIGHLAND CITY RECORDER'S OFFICE. IN ADDITION, HIGHLAND CITY HAS APPROVED BINDING ZONING LAWS THROUGH A LEGALLY BINDING DEVELOPMENT CODE. IT IS THE RESPONSIBILITY OF THE BUYER TO DO THEIR DUE DILIGENCE IN OBTAINING ALL ACCURATE INFORMATION AND/OR REGULATIONS THAT MAY DIRECTLY OR INDIRECTLY AFFECT THE USE OF PROPERTY PRIOR TO PURCHASING OR CONTRACTING TO PURCHASE ANY PROPERTY ANYWHERE. SOME OF THE SIGNIFICANT ORDINANCES AND CONDITIONS OF APPROVAL CONVEYED ON THIS PROPERTY BY THE LEGISLATIVE BODY OF HIGHLAND CITY ARE AS FOLLOWS:

- 70% OF THE FRONT YARD LANDSCAPING SHALL BE INSTALLED BY THE HOMEOWNER WITHIN ONE YEAR AFTER RECEIVING A CERTIFICATE OF OCCUPANCY.
- LANDSCAPING AND CONSTRUCTION MATERIALS OF ANY TYPE ARE NOT PERMITTED UPON OR WITHIN THE STREET, CURB AND GUTTER, OR SIDEWALK (STREET RIGHT-OF-WAY) WITH THE EXCEPTION OF THE PARK STRIP WHICH REQUIRES 75% TO BE LANDSCAPED.
- A FENCE THAT ABUTS OPEN SPACE OR A TRAIL HAS ADDITIONAL RESTRICTIONS OF SIZE AND OPACITY. FENCES ALONG OPEN SPACE OR A TRAIL MUST COMPLY WITH HIGHLAND CITY ORDINANCES. ALL FENCES REQUIRE A FENCE PERMIT PRIOR TO INSTALLATION. IN ADDITION, RETAINING WALLS ARE REGULATED BY ORDINANCE AND REQUIRE A RETAINING WALL PERMIT PRIOR TO CONSTRUCTION.
- HIGHLAND CITY ORDINANCES RESTRICT HEIGHT OF FOUNDATION ABOVE CURB. IT IS THE RESPONSIBILITY OF THE BUYER TO CONTACT THE CITY PRIOR TO PURCHASING ANY LOT. THIS RESTRICTION APPLIES TO ALL LOTS IN THIS SUBDIVISION.

LEGEND

- BOUNDARY
- SECTION LINE
- EASEMENT
- RIGHT-OF-WAY LINE
- CENTERLINE
- BUILDING SETBACK
- EXISTING PROPERTY LINE

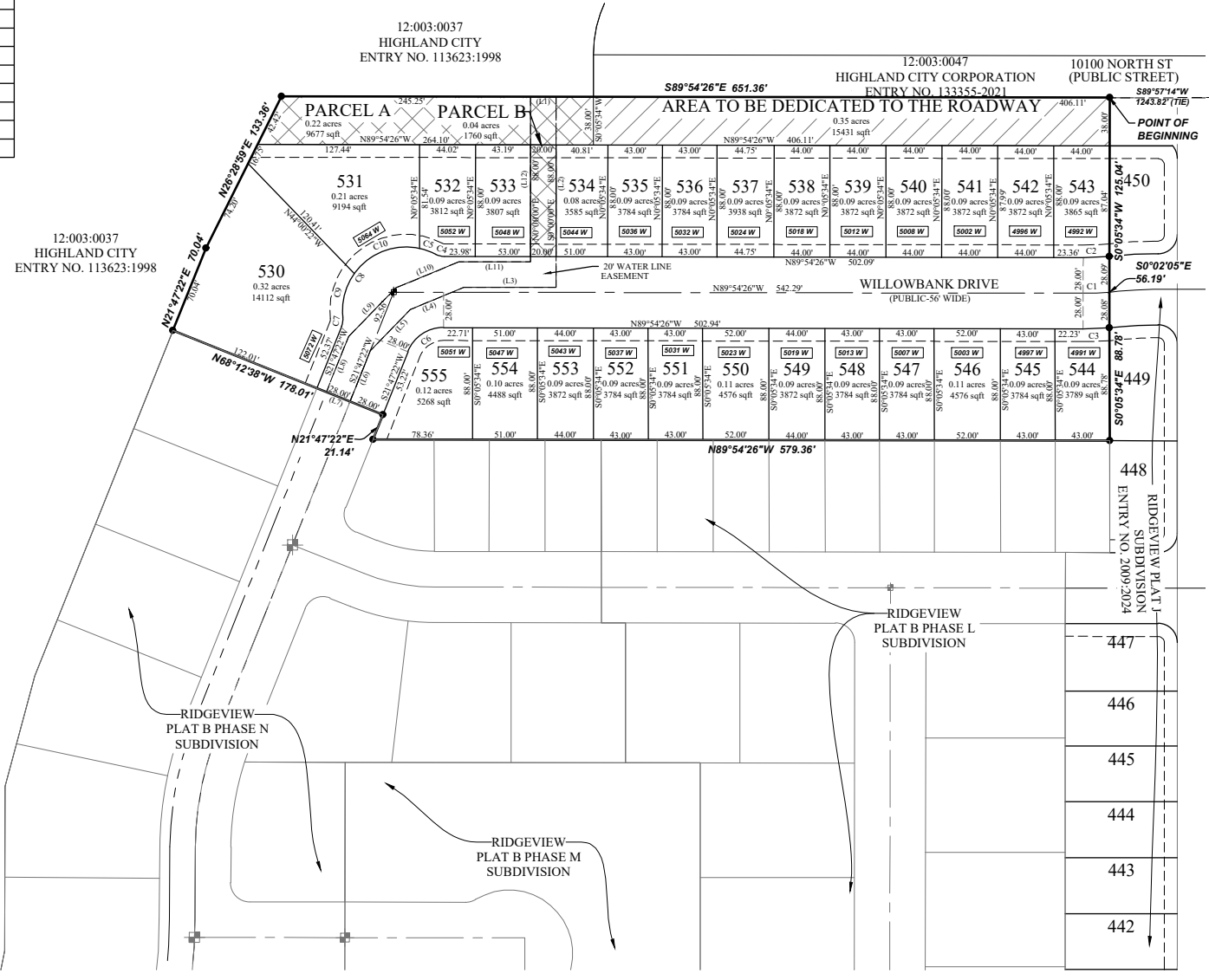
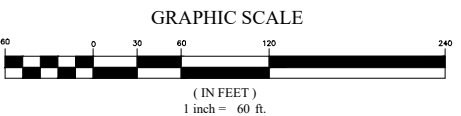
SECTION MONUMENT (FOUND)
STREET MONUMENT (TO BE SET)
BOUNDARY MARKERS

HATCH AREA TO BE DEDICATED
HATCH OPEN SPACE AREA

PREPARED BY
FOCUS
CONSULTING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focus-cs.com

RIDGEVIEW POD B PLAT O

SUBDIVISION PLAT
LOCATED IN THE NORTHEAST 1/4 OF SECTION 1, T5S, R1E
SALT LAKE BASE & MERIDIAN
HIGHLAND CITY, UTAH COUNTY, UTAH

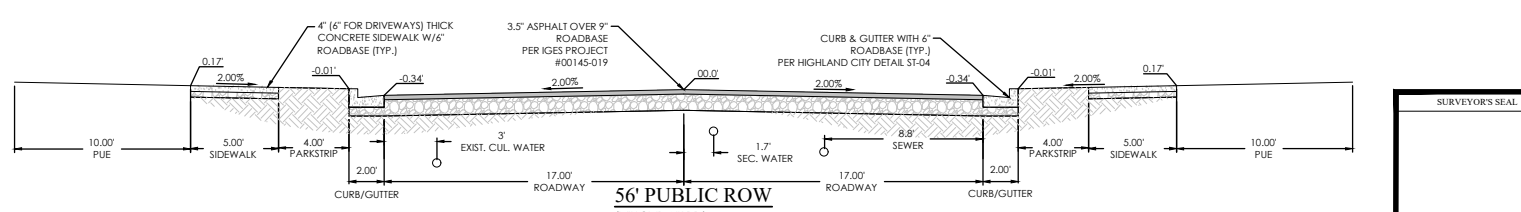
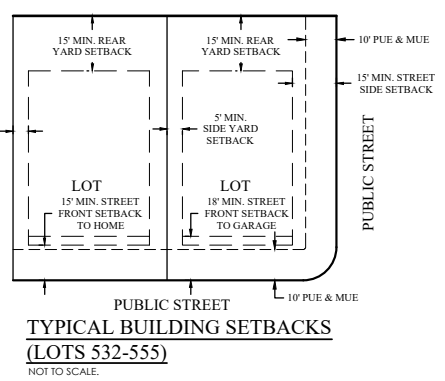
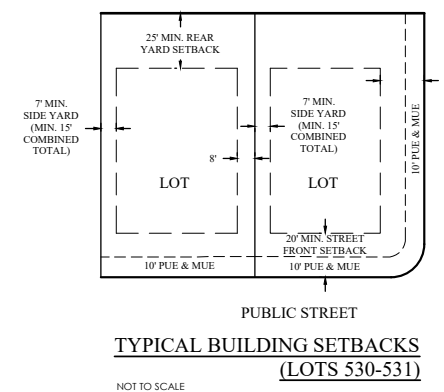


CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	250.00	4°44'59"	20.72	N87°43'04"E	20.72
C2	222.00	5°20'04"	20.67	N87°25'32"E	20.66
C3	278.00	4°17'00"	20.78	N87°57'04"E	20.78
C4	15.00	27°52'27"	7.30	S75°58'13"E	7.23
C5	50.00	15°56'06"	13.91	N70°00'02"W	13.86
C6	30.00	68°18'12"	35.76	S55°56'28"W	33.68
C7	15.00	27°52'27"	7.30	N07°51'09"E	7.23
C8	50.00	124°03'06"	108.26	S55°56'28"W	88.32
C9	50.00	41°36'20"	36.31	N14°43'05"E	35.52
C10	50.00	66°30'42"	58.04	N68°46'36"E	54.84



NORTHEAST CORNER OF SECTION 1, T5S, R1E, SLB&M FOUND 3" BRASS CAP UTAH COUNTY MONUMENT
 BASIS OF BEARING: S0°02'46"E 2,662.21' (C.C.S. 2466221)
 EAST 1/4 CORNER OF SECTION 1, T5S, R1E, SLB&M FOUND 3" BRASS CAP UTAH COUNTY MONUMENT
 N0°06'11"W 2,680.07'

LINE	DIRECTION	LENGTH
(L1)	S89°54'26"E	20.00
(L2)	S00°00'00"E	150.00
(L3)	N99°00'00"W	72.34
(L4)	S67°30'00"W	45.40
(L5)	S44°17'22"W	45.40
(L6)	S21°47'22"W	42.93
(L7)	N68°12'38"W	19.99
(L8)	N21°47'22"E	46.91
(L9)	N44°17'22"E	53.48
(L10)	N67°30'00"E	53.48
(L11)	N90°00'00"E	56.32
(L12)	N00°00'00"E	130.04



SOUTHEAST CORNER OF SECTION 1, T5S, R1E, SLB&M FOUND 3" BRASS CAP UTAH COUNTY MONUMENT (PROJECT BENCHMARK)

SURVEYOR'S CERTIFICATE

I, Evan J Wood, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 12554439 in accordance with Title 58, Chapter 22 of the Professional Engineers and Land Surveyors Act; I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots and streets, together with easements, to be hereafter known as RIDGEVIEW POD B PLAT O, and the same has, or will be correctly surveyed and monumented on the ground as shown on this Plat.

FOR REVIEW ONLY

EVAN J WOOD
PROFESSIONAL LAND SURVEYOR
LICENSE NO. 183395

DATE _____

BOUNDARY DESCRIPTION

A part of the Northeast 1/4 of Section 1, Township 5 South, Range 1 East, Salt Lake Base and Meridian, located in Highland City, Utah County, Utah, being more particularly described as follows:

Beginning at a point located on the westerly subdivision line of Ridgeview Plat J, recorded as Entry No. 2009:2024 on January 11, 2024 on file with the Utah County Recorder's Office, said point being located S0°02'46" E 2000.55 feet along the Section line and S89°57'14" W 1243.82 feet from the Northeast Corner of Section 1, Township 5 South, Range 1 East, Salt Lake Base and Meridian; running thence along said Subdivision the following three (3) courses: (1) S 00°05'34" W 125.04 feet; (2) thence S 00°02'05" E 56.19 feet; (3) thence S 00°05'34" E 88.78 feet; thence N 89°54'26" W 579.36 feet; thence N 21°47'22" E 21.14 feet; thence N 68°12'38" W 178.01 feet; thence N 21°47'22" E 70.04 feet; thence N 26°28'59" E 133.36 feet; thence S 89°54'26" E 651.36 feet to the point of beginning.

Containing 4.20 acres +/-
Contains 26 Lots & 1 Parcel

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE ANY PUBLIC STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20__

CHRISTOPHER P. GAMVROULAS
IVORY DEVELOPMENT LLC,
PRESIDENT

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE ____ DAY OF _____ A.D. 20__ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, CHRISTOPHER P. GAMVROULAS, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE PRESIDENT OF IVORY DEVELOPMENT LLC, A UTAH LIMITED LIABILITY COMPANY AND THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN _____ COUNTY
MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY MUNICIPALITY

HIGHLAND CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____ A.D. 20__.

APPROVED BY MAYOR _____ APPROVED BY COMMUNITY DEVELOPMENT DIRECTOR _____

APPROVED BY ENGINEER _____ ATTEST _____ CLERK-RECORDER
(SEE SEAL BELOW) (SEE SEAL BELOW)

HIGHLAND CITY ATTORNEY

APPROVED AS TO FORM THIS ____ DAY OF _____ A.D. 20__

HIGHLAND CITY ATTORNEY _____

RIDGEVIEW POD B PLAT O

SUBDIVISION PLAT
LOCATED IN NORTHEAST 1/4 OF SECTION 1, T5S, R1E
SALT LAKE BASE & MERIDIAN
HIGHLAND CITY, UTAH COUNTY, UTAH

OWNER/DEVELOPER
IVORY DEVELOPMENT LLC
3340 NORTH CENTER STREET
LEHI, UTAH 84043
(801) 407-6841
CONTACT: BRAD MACKAY

SURVEYOR'S SEAL NOTARY PUBLIC SEAL HIGHLAND CITY ENGINEER SEAL HIGHLAND CITY RECORDER SEAL COUNTY RECORDER'S SEAL

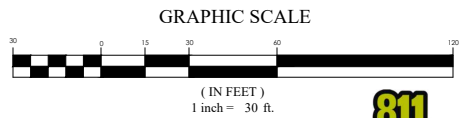
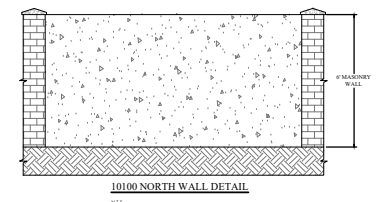
FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
 HIGHLAND CITY, UT
SITE PLAN

LEGEND

[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	1" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	SWALE
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD MH, INLET, COMBO & SUMP
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE & BEND
[Symbol]	SECONDARY VALVE, TEE & BEND
[Symbol]	SEC. AND CUL. WATER METER
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION
[Symbol]	HIGHLAND CITY CONDUIT
[Symbol]	6.0' SOLID CONCRETE WALL
[Symbol]	6.0' TREX FENCE

- NOTE:**
- FUTURE FENCING ALONG THE BACK OF THE LOTS TO BE INSTALLED CONSISTENT WITH THE EXISTING FENCING AND RIDGEVIEW PUD REQUIREMENTS. SEE SHEET D1 FOR FENCE DETAILS
 - ALL WALLS AND FENCES TO BE PROVIDED WHOLLY ON LOT AND NOT CITY PROPERTY



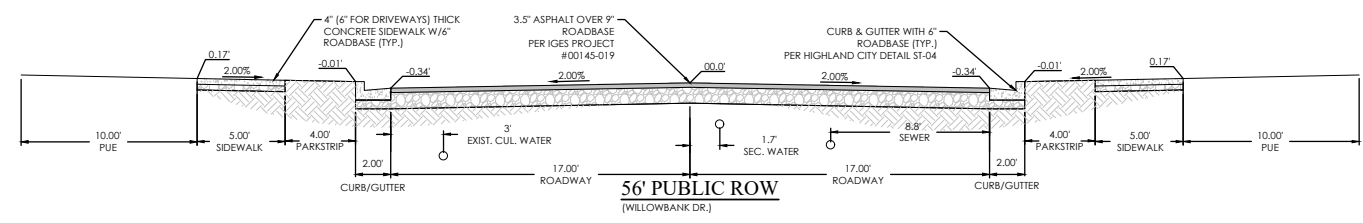
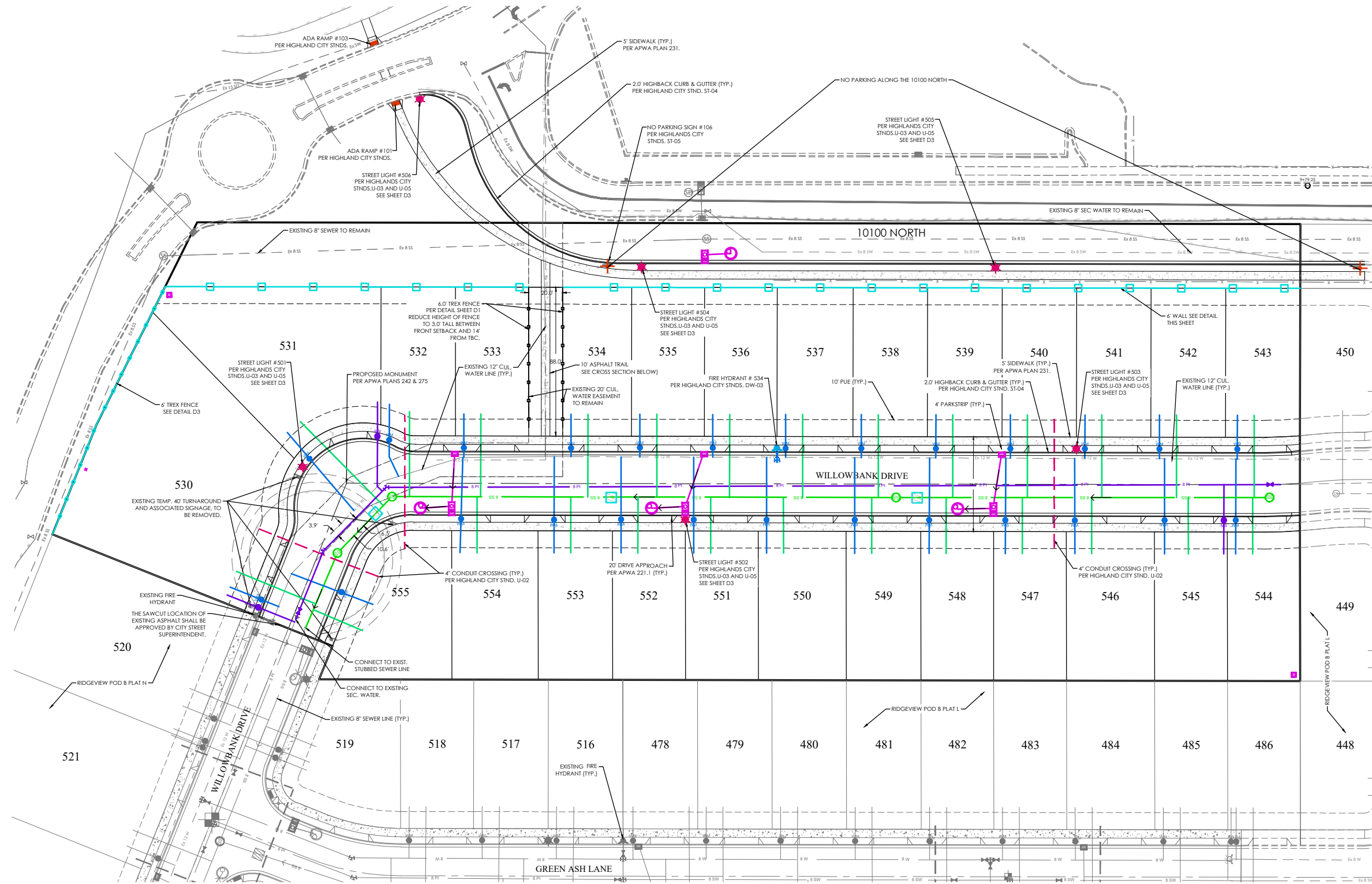
REVISION BLOCK

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SITE PLAN

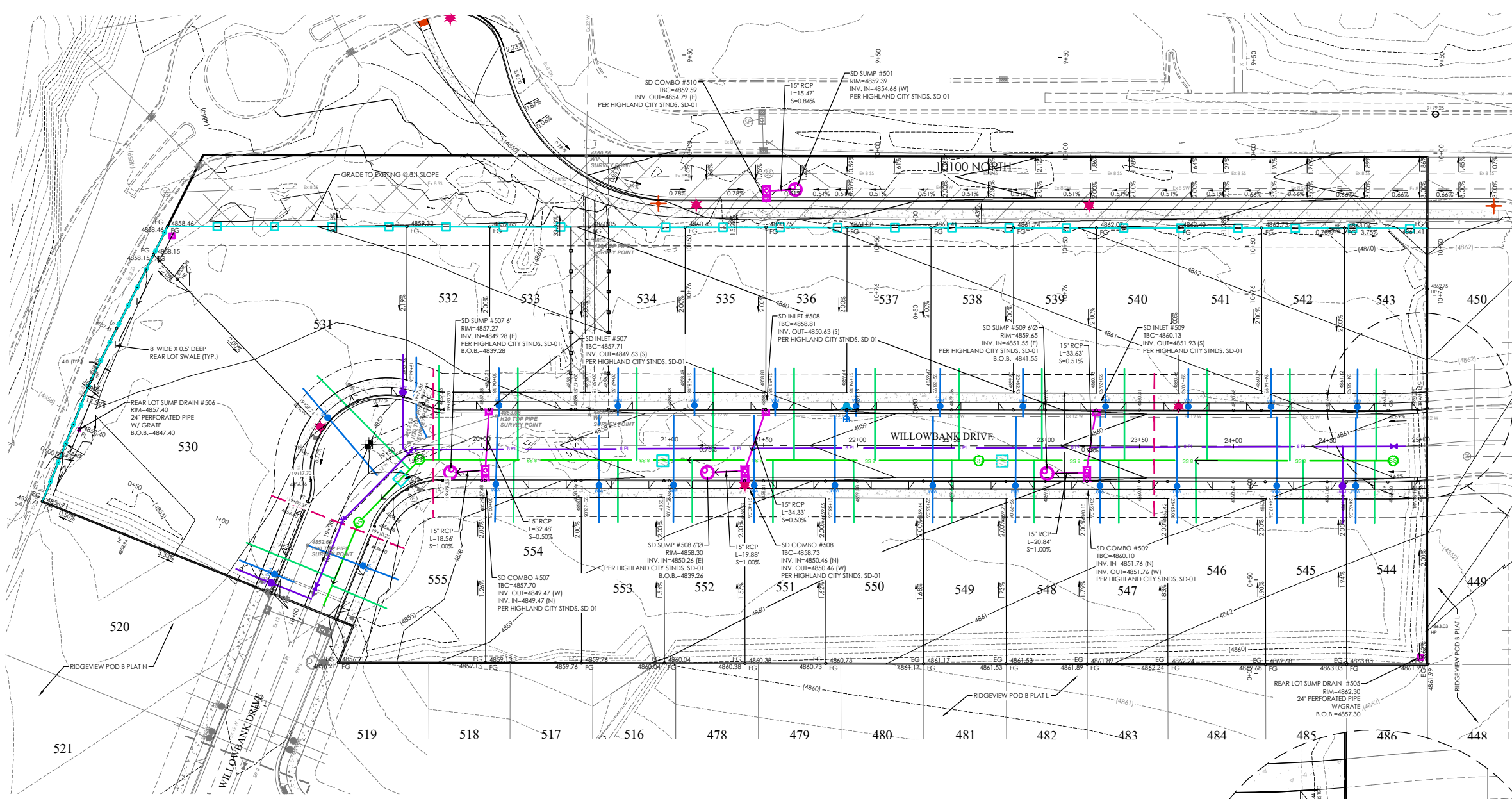
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 Date: 02/25/26
 Sheet: C3

Drawn: KV
 Job #: 24-0391



FOR
 REVIEW
 ONLY

RIDGEVIEW POD B PLAT O
 HIGHLAND CITY, UT
GRADING & DRAINAGE PLAN

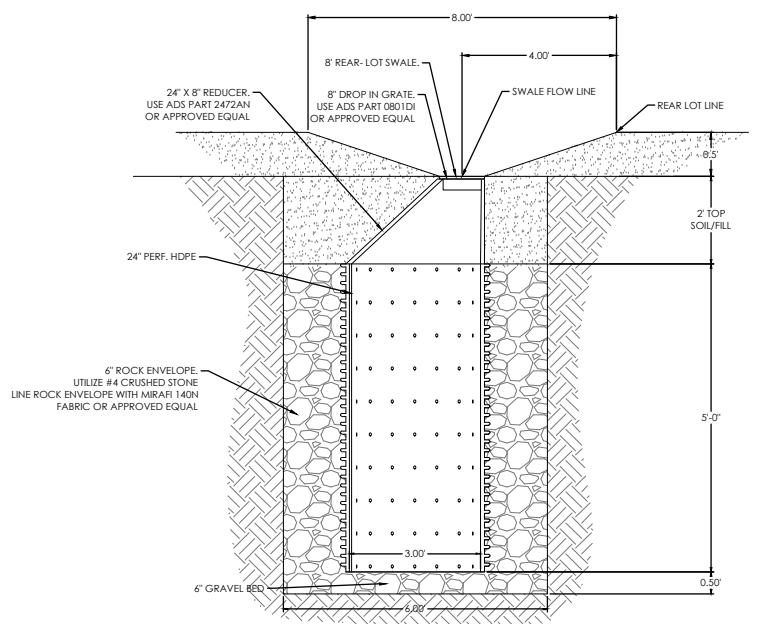


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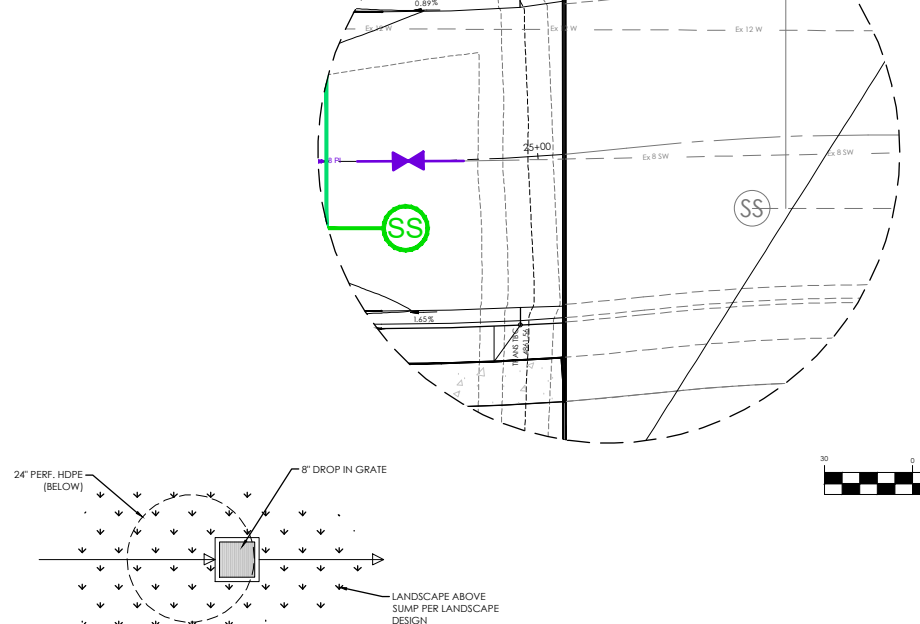
	BOUNDARY
	ROW
	CENTERLINE
	LOT LINE
	EASEMENT
	18" SD
	8" SS
	8" CW
	8" SW
	SWALE
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH INLET, COMBO & SUMP
	SEWER MANHOLE
	CULINARY VALVE, TEE & BEND
	SECONDARY VALVE, TEE & BEND
	SEC. AND CUL. WATER METER
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION
	HIGHLAND CITY CONDUIT

- NOTES**
- 1) SEE DRAINAGE REPORT FOR STORM DRAIN CALCULATIONS.
 - 2) SEE NOTE ON SHEET D3 FOR ROAD WAY FILL SPECIFICATION PER THE GEOTECHNICAL REPORT.
 - 3) ALL REAR-LOT SUMPS ARE TO BE OWNED AND MAINTAINED BY LOT OWNERS.
 - 4) SEE DRAINAGE REPORT FOR REAR-LOT SUMP CAPACITY CALCS.

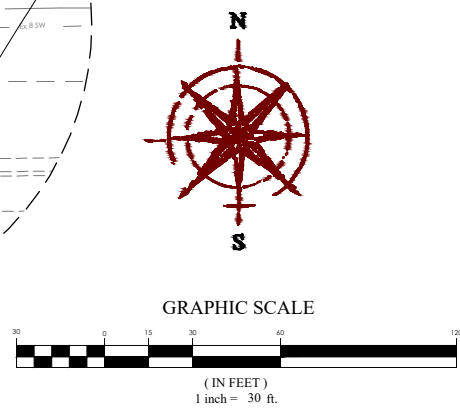
- CITY STORM DRAIN NOTES**
- 1) MANHOLE LIDS SHALL BE MARKED STORM DRAIN.
 - 2) SNOTS ARE REQUIRED IN INLETS FOR PRE-TREATMENT.
 - 3) PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.



SUMP DRAIN DETAIL (REAR-LOT) - PROFILE VIEW



SUMP DRAIN DETAIL (REAR-LOT) - PLAN VIEW



REVISION BLOCK

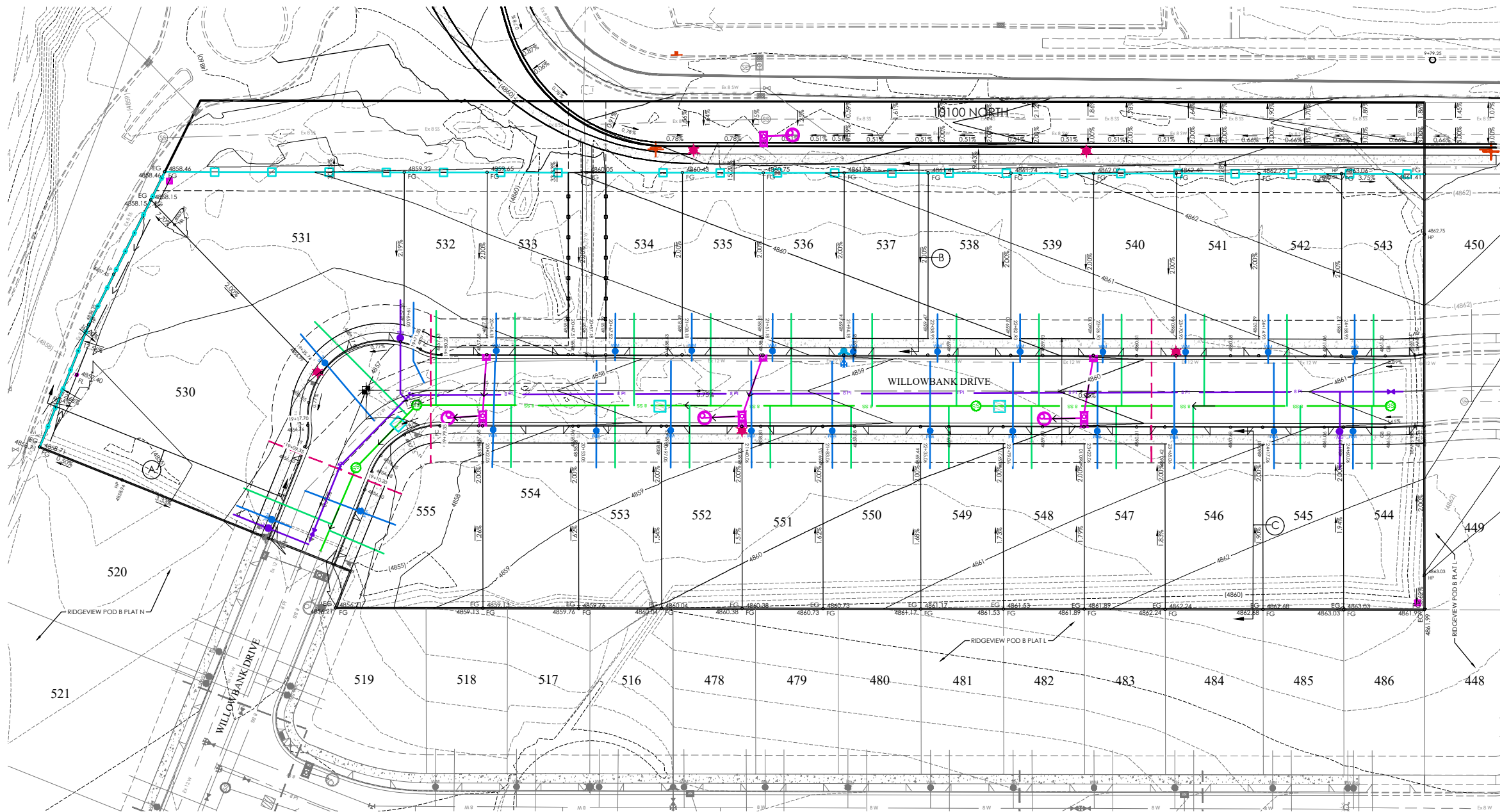
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GRADING & DRAINAGE PLAN

Scale: 1"=30'
 Date: 02/25/26
 Sheet: C4

Drawn: KV
 Job #: 24-0391





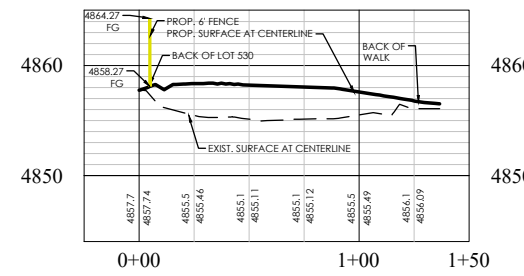
LEGEND

	BOUNDARY
	ROW
	CENTERLINE
	LOT LINE
	EASEMENT
	12" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	SWALE
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH INLET, COMBO & SUMP
	SEWER MANHOLE
	CULINARY VALVE, TEE & BEND
	SECONDARY VALVE, TEE & BEND
	SEC. AND CUL. WATER METER
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION
	HIGHLAND CITY CONDUIT

FOR REVIEW ONLY

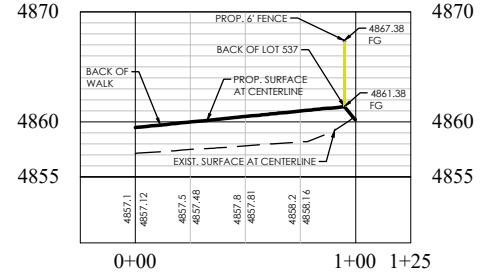
RIDGEVIEW POD B PLAT O
 HIGHLAND CITY, UT
 SECTION PLAN

A



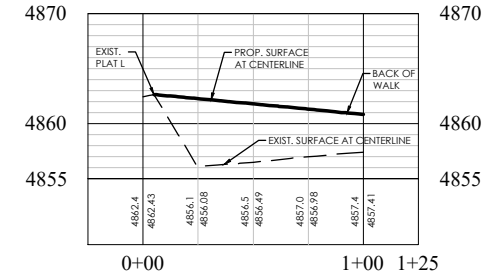
SECTION 530 PROFILE

B

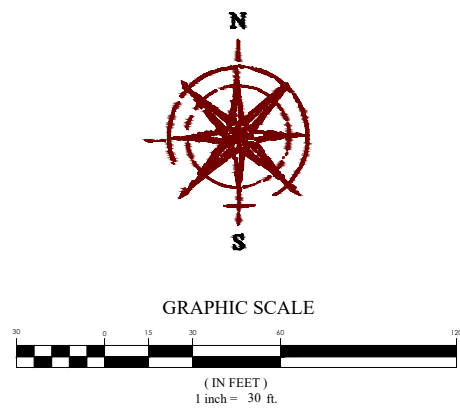


SECTION 537 PROFILE

C



SECTION 546 PROFILE



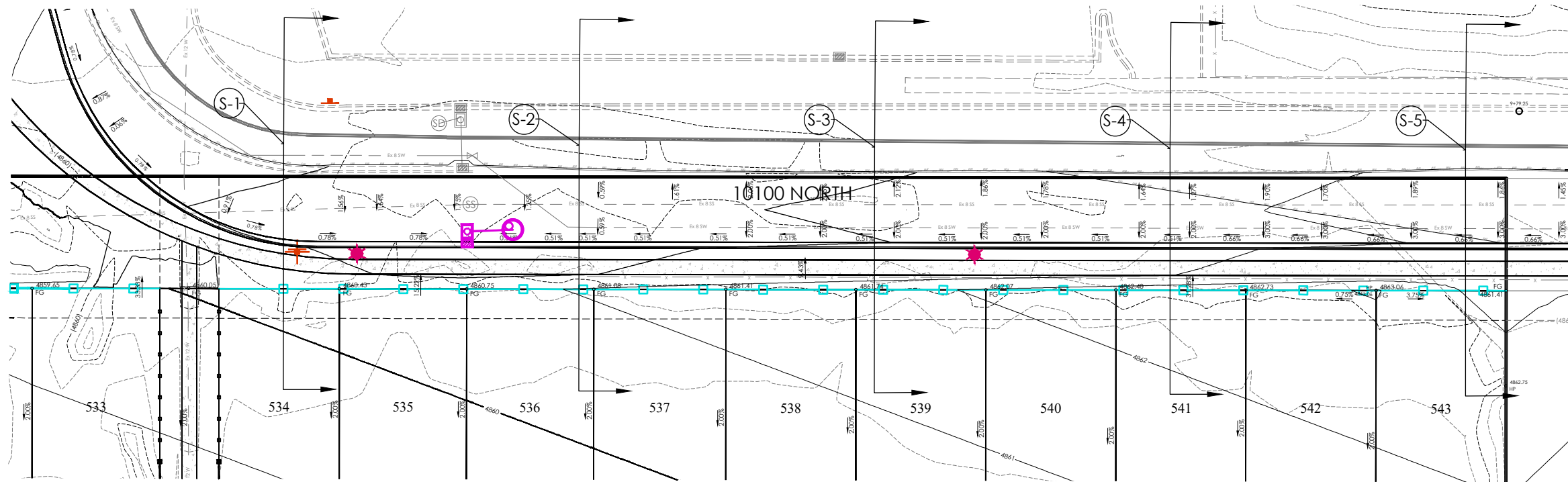
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SECTION PLAN

Scale: 1"=30'
 Date: 02/25/26
 Sheet: C4.1

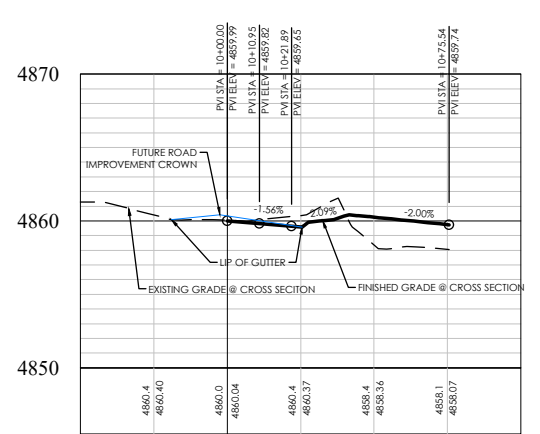


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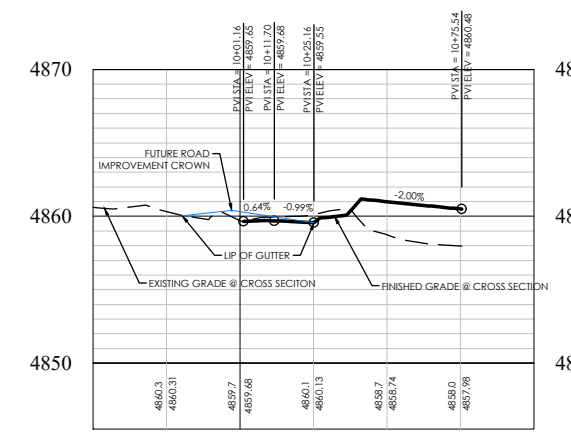


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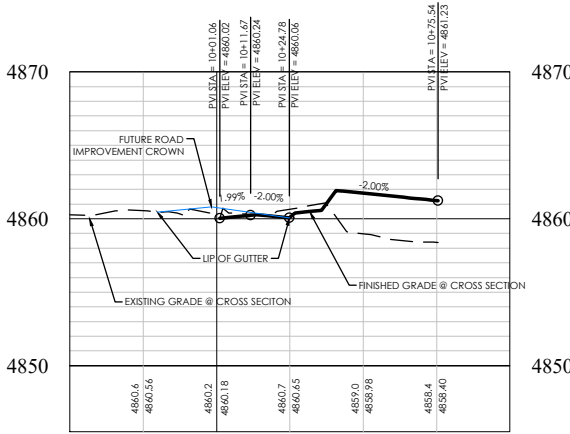
	BOUNDARY
	ROW
	CENTERLINE
	LOT LINE
	EASEMENT
	12" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	SWALE
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH INLET, COMBO & SUMP
	SEWER MANHOLE
	CULINARY VALVE, TEE & BEND
	SECONDARY VALVE, TEE & BEND
	SEC. AND CUL. WATER METER
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION
	HIGHLAND CITY CONDUIT



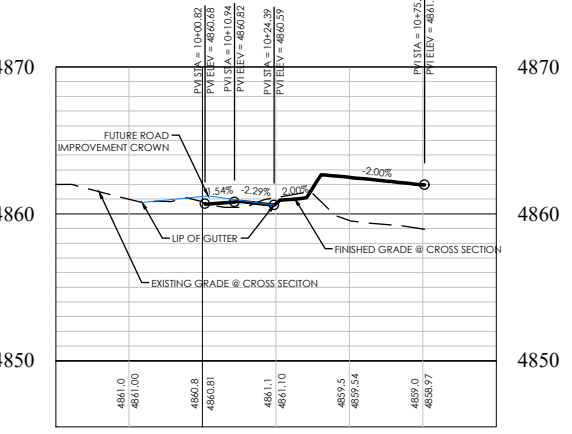
S-1 PROFILE



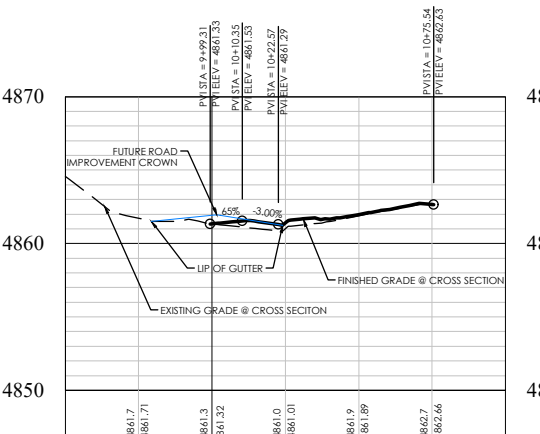
S-2 PROFILE



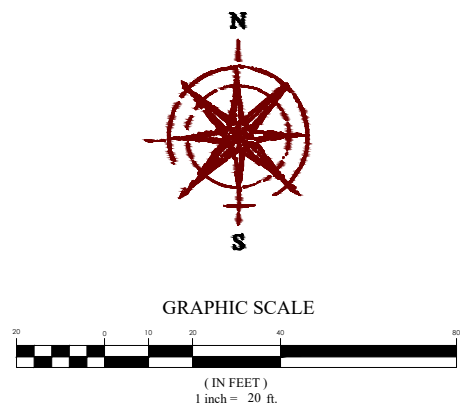
S-3 PROFILE



S-4 PROFILE



S-5 PROFILE



FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
10100 NORTH SECTION PLAN

NO.	DATE	DESCRIPTION
1		
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10100 NORTH SECTION PLAN

Scale: 1"=20'
Date: 02/25/26
Sheet: C4.2

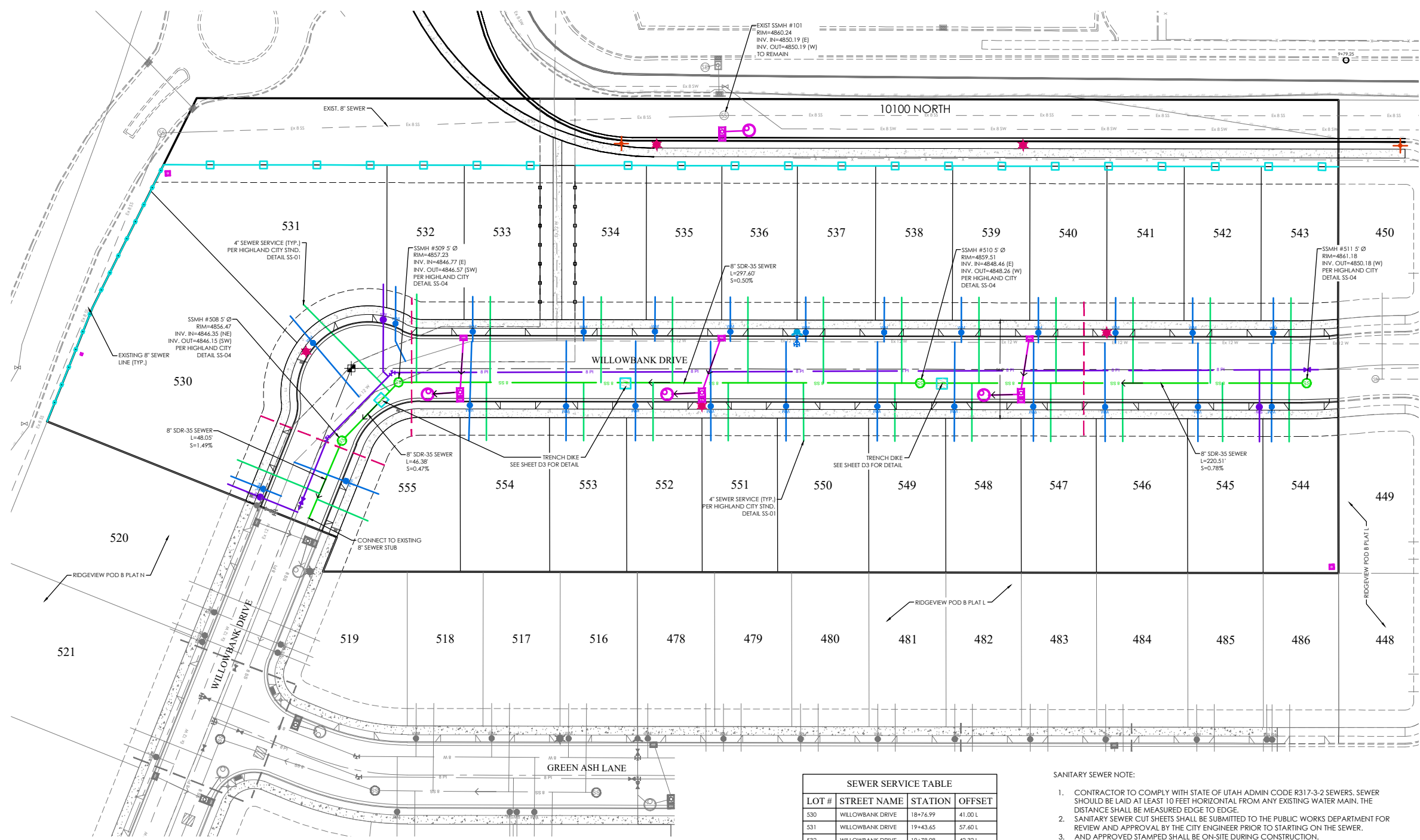
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Job #: 24-0391



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FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
 HIGHLAND CITY, UT
SEWER PLAN



LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15" STORM DRAIN
- 8" SANITARY SEWER
- 8" CULINARY WATER
- 8" SECONDARY WATER
- SWALE
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH INLET, COMBO & SUMP
- SEWER MANHOLE
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- SEC. AND CUL. WATER METER
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION
- HIGHLAND CITY CONDUIT
- 6.0' SOLID CONCRETE WALL
- 6.0' TREX FENCE

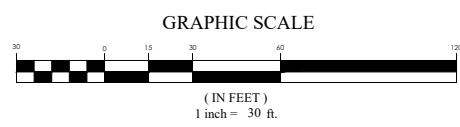
SEWER SERVICE TABLE

LOT #	STREET NAME	STATION	OFFSET
530	WILLOWBANK DRIVE	18+76.99	41.00 L
531	WILLOWBANK DRIVE	19+43.65	57.40 L
532	WILLOWBANK DRIVE	19+78.08	42.32 L
533	WILLOWBANK DRIVE	20+19.18	41.00 L
534	WILLOWBANK DRIVE	20+82.49	41.03 L
535	WILLOWBANK DRIVE	21+23.18	40.99 L
536	WILLOWBANK DRIVE	21+66.18	41.00 L
537	WILLOWBANK DRIVE	22+09.16	41.02 L
538	WILLOWBANK DRIVE	22+53.93	41.00 L
539	WILLOWBANK DRIVE	22+97.93	41.00 L
540	WILLOWBANK DRIVE	23+41.93	41.00 L
541	WILLOWBANK DRIVE	23+85.93	41.00 L
542	WILLOWBANK DRIVE	24+29.93	41.00 L
543	WILLOWBANK DRIVE	24+73.93	41.00 L
544	WILLOWBANK DRIVE	24+75.10	40.99 R
545	WILLOWBANK DRIVE	24+37.10	40.94 R
546	WILLOWBANK DRIVE	23+80.10	40.96 R
547	WILLOWBANK DRIVE	23+39.10	41.00 R
548	WILLOWBANK DRIVE	22+94.10	40.94 R
549	WILLOWBANK DRIVE	22+50.09	41.00 R
550	WILLOWBANK DRIVE	21+98.10	41.00 R
551	WILLOWBANK DRIVE	21+55.10	40.97 R
552	WILLOWBANK DRIVE	21+12.10	41.00 R
553	WILLOWBANK DRIVE	20+72.50	41.00 R
554	WILLOWBANK DRIVE	20+17.10	41.01 R
555	WILLOWBANK DRIVE	18+72.19	40.99 R

SANITARY SEWER NOTE:

- CONTRACTOR TO COMPLY WITH STATE OF UTAH ADMIN CODE R317-3-2 SEWERS. SEWER SHOULD BE LAID AT LEAST 10 FEET HORIZONTAL FROM ANY EXISTING WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- SANITARY SEWER CUT SHEETS SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL BY THE CITY ENGINEER PRIOR TO STARTING ON THE SEWER.
- AND APPROVED STAMPED SHALL BE ON-SITE DURING CONSTRUCTION.
- TIMPANOGOS SPECIAL SERVICE DISTRICT (TSSD) REQUIRES AN APPLICATION AND APPROVAL FOR CONNECTION TO THEIR SEWER LINES - AN APPLICATION SUBMITTED BY HIGHLAND CITY.
- IDENTIFICATION OF SEWER LINES - A CLEARLY LABELED TRACER LOCATION TAPE SHALL BE PLACED TWO (2) FEET ABOVE THE TOP OF SEWER LINES LESS THAN OR EQUAL TO TWENTY-FOUR (24) INCHES IN DIAMETER, ALONG ITS ENTIRE LENGTH.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPES. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE FOR AT LEAST THIRTY (30) DAYS. NO PIPE SHALL SHOW A DEFLECTION IN EXCESS OF 5 PERCENT.
- ALL SEWER LINES SHALL BE FLUSHED (FLUSHING BALL) AND TELEVISION AFTER THE FINAL ROAD BASE BEEN INSTALLED AND GRADED, PRIOR TO THE PLACEMENT OF ASPHALT.
- A COPY OF TELEVISED TEST ON DVD SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE PLACEMENT OF ASPHALT.
- THE SEWER LATERAL RECORD SHEET SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT BEFORE THE RELEASE OF ANY SEWER BOND MONEY AND/OR BEFORE THE FINAL WARRANTY PERIOD CAN BEGIN.
- PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
- THE PIPE SHALL BE PLUGGED AT THE END OF EACH WORK DAY, OR PERIOD OF WORK SUSPENSION.
- LEAKAGE TESTS, PROCEDURES FOR LEAKAGE TESTS SHALL BE SPECIFIED. THIS WAY INCLUDE APPROPRIATE WATER OR LOW PRESSURE AIR TESTING. THE LEAKAGE OUTWARD OR INWARD (EXFILTRATION OR INFILTRATION) SHALL NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET. THE AIR TEST, IF USED, SHALL, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN THE AMERICAN SOCIETY OF TESTING MATERIALS STANDARDS. THE TESTING METHODS SELECTED SHOULD TAKE INTO CONSIDERATION THE RANGE IN GROUND WATER ELEVATION PROTECTED DURING THE TEST.

NOTE:
 SEWER LATERALS SHALL MAINTAIN AT LEAST A 10FT SEPARATION FROM DRINKING WATER SERVICES.



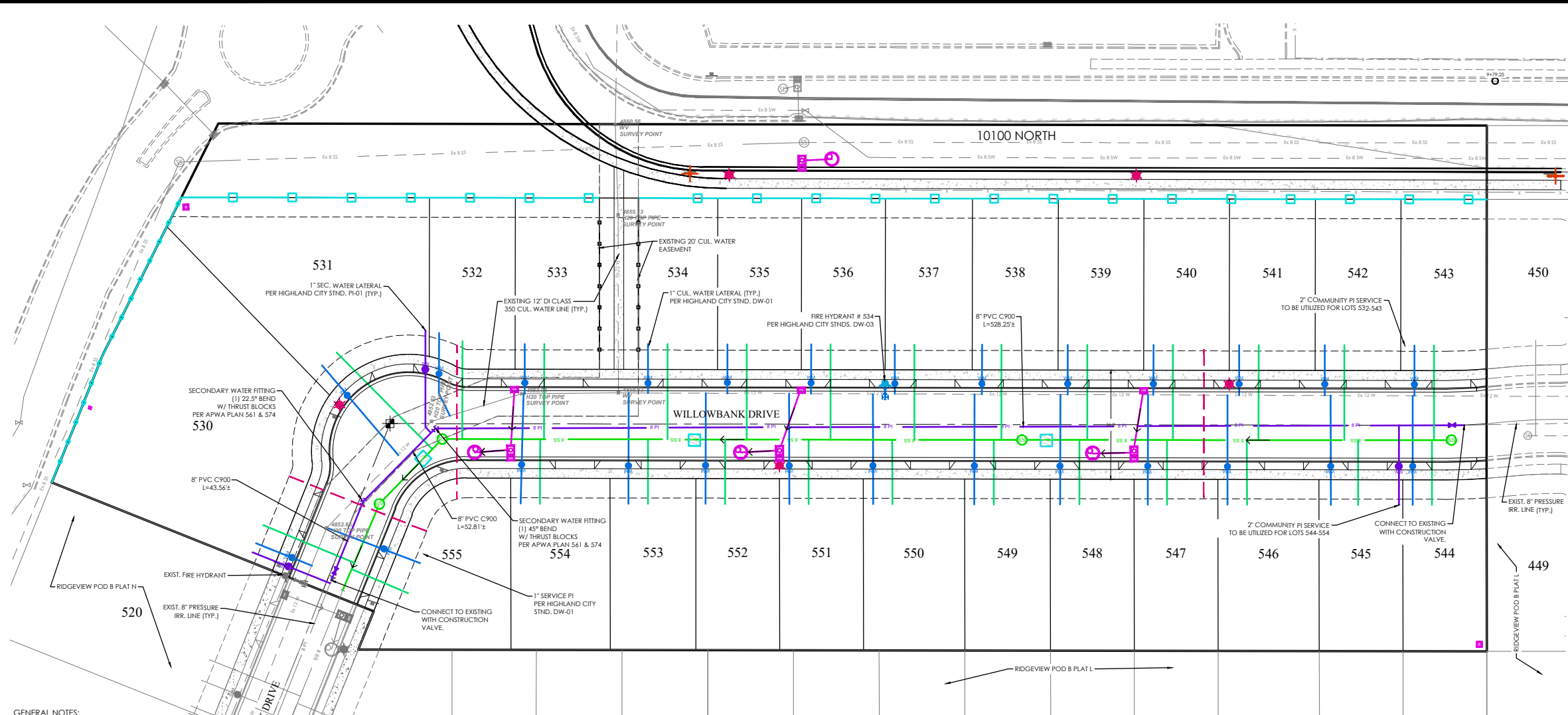
REVISION BLOCK

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SEWER PLAN

Scale: 1"=30'
 Date: 02/25/26
 Sheet: C5





LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15" STORM DRAIN
- 8" SANITARY SEWER
- 8" CULINARY WATER
- 8" SECONDARY WATER
- SWALE
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, COMBO & SUMP
- SEWER MANHOLE
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- SEC. AND CUL. WATER METER
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION
- HIGHLAND CITY CONDUIT
- 6" SOLID CONCRETE WALL
- 6" TREX FENCE

GENERAL NOTES:

1. ALL WATER METERS ARE TO BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION.
2. ANY CORRECTIONS REQUIRED IN THE FIELD ARE THE RESPONSIBILITY OF THE ENGINEER AND CONTRACTOR. ANY DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED BY THE CITY AND ENGINEER AND REFLECTED IN THE RECORD DRAWINGS.
3. CONTRACTOR TO VERIFY LOCATION OF EXISTING 12" WATERLINE AT KNUCKLE OF WILLOWBANK DR TO ENSURE THERE WILL BE NO CONFLICTS WITH PROPOSED UTILITIES AS SHOWN.
4. IN THE EVENT THAT THIS PLAT IS COMPLETED PRIOR TO PLAT N, CONTRACTOR TO ADD BLOW-OFF AT END OF PI LINE AND FIRE HYDRANT AND VALVE FOR THE DW LINE.

PRESSURIZED IRRIGATION NOTES:

1. ALL LATERALS SHALL BE STAMPED WITH "I" ON THE CURB AT THE LATERAL LOCATION.
2. MAIN PRESSURIZED IRRIGATION (PI) LINES
 - A. THE SUBGRADE AND/OR SUB-BASE SHALL BE AT ITS FINAL DESIGN ELEVATION BEFORE THE INSTALLATION OF THE WATER MAINS.
 - B. ALIGNMENT AND ELEVATION (FROM TBC) STAKING SHALL BE PROVIDED EVERY TWENTY-FIVE (25) FEET BY A SURVEYOR LICENSED IN THE STATE OF UTAH PRIOR TO INSTALLATION OF THE WATER MAIN. ANY EXCEPTIONS MUST BE APPROVED IN WRITING BY THE WATER SUPERINTENDENT.
 - C. PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
 - D. THE PIPE SHALL BE PLUGGED AT THE END OF EACH WORK DAY, OR PERIOD OF WORK SUSPENSION.
3. VALVES
 - A. ALL VALVE SHALL HAVE MECHANICAL JOINT (MJ) TO THE MAIN.
 - B. VALVES BOXES AND COVERS SHALL BE PROPERLY ALIGNED AND FULLY SERVICEABLE.
 - C. VALVE STANDS SHALL HAVE A CONCRETE COLLAR.
4. THRUST BLOCKS
 - A. THE CAVITY OF THE THRUST BLOCK SHALL BE INSPECTED PRIOR TO THE PLACEMENT OF CONCRETE.
 - B. ENGINEERED THRUST BLOCKS, STAMPED BY A PROFESSIONAL ENGINEER, SHALL BE PROVIDED ON NON TYPICAL SITUATIONS, INCLUDING BEARING AGAINST FILL AND NOT UNDISTURBED SOIL.
 - C. THE INSPECTOR SHALL BE ON SITE FOR THE POUR OF THE THRUST BLOCK.
 - D. A CONCRETE WEIGH TICKET OR BATCH TICKET SHALL BE REQUIRED.

DRINKING WATER NOTES:

1. ALL SURFACES, COATINGS, PIPES, FITTINGS, PROTECTIVE MATERIALS, SEALING MATERIALS AND MECHANICAL DEVICES THAT MAY COME INTO CONTACT WITH DRINKING WATER SHALL COMPLY WITH ANSI/NSF STANDARD 61 OR OTHER STANDARDS APPROVED BY UTAH DIVISION OF DRINKING WATER.
2. IF ANY DISCREPANCIES EXIST BETWEEN HIGHLAND CITY STANDARDS OR SPECIFICATIONS AND THE UTAH DIVISION OF DRINKING WATER (DDW) RULES, THE DDW RULES SHALL TAKE PRECEDENCE.
3. CONTACT HIGHLAND CITY AT LEAST 72 HOURS IN ADVANCE OF ALL WATER SHUTDOWN.
4. CONTRACTOR SHALL POT HOLE UTILITIES AT ALL CROSSING SUFFICIENTLY IN ADVANCE OF LAYING PIPE TO ALLOW FOR ADJUSTMENTS OF NEW PIPELINE GRADE TO AVOID CONFLICTS.
5. CONTRACTOR TO PROVIDE TEMPORARY BLOW OFF VALVES, HYDRANT & FITTING TO FLUSH NEW PIPELINES. PROVIDE PLAN TO CITY FOR APPROVAL BEFORE BEGINNING FLUSHING.
6. DEFLECTIONS IN THE PIPE JOINTS SHALL NOT EXCEED 5 DEGREES FOR DUCTILE IRON PIPE, 1 DEGREE FOR PVC PIPE OR MANUFACTURE'S PUBLISHED DEFLECTIONS.
7. PROVIDE CONCRETE THRUST BLOCKS AND JOINT RESTRAINTS ON ALL BENDS, FITTINGS & VALVES, UNLESS SPECIFIED OTHERWISE. ALL FITTING THAT REQUIRE CONCRETE BLOCKING SHOULD BE COMPLETELY WRAPPED PRIOR TO THE POURING OF THE THE CONCRETE THRUSTING BLOCK.
8. ELEVATIONS OF EXISTING WATER LINES ARE UNKNOWN. CONTRACTOR SHALL POT HOLE, EXISTING WATER LINES AT CONNECTIONS TO VERIFY LOCATION AND ELEVATION, MODIFICATIONS TO CONNECTION DETAILS MAY BE REQUIRED, BASED ON THE INFORMATION OBTAINED.
9. MAIN WATER LINES
 - A. THE SUBGRADE AND/OR SUB-BASE SHALL BE AT ITS FINAL DESIGN ELEVATION BEFORE THE INSTALLATION OF THE WATER MAINS.
 - B. ALIGNMENT AND ELEVATION (FROM TBC) STAKING SHALL BE APPROVED EVERY TWENTY-FIVE (25) FEET BY A SURVEYOR LICENSED IN THE STATE OF UTAH PRIOR TO THE INSTALLATION OF THE WATER MAIN. ANY EXCEPTION MUST BE APPROVED IN WRITING BY THE CITY ENGINEER OR DESIGNER.
 - C. PROVIDE PROPER FACILITIES FOR LOWERING PIPE SECTIONS INTO THE TRENCH. DROPPING PIPE WILL NOT BE PERMITTED.
 - D. THE PIPE SHALL BE PLUGGED AT THE END OF EACH WORK, OR PERIOD OF WORK SUSPENSION.
 - E. CONTRACTOR TO COMPLY WITH THE STATE OF UTAH ADMIN CODE R317-3-2 SEWERS, DRINKING WATER MAINS SHALL BE LAID AT LEAST 10FEET HORIZONTALLY FROM ANY EXISTING SEWER. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.

10. VALVES

- A. VALVE SHALL BE FLAGGED TO THE MAIN, INCLUDING FIRE HYDRANT BRANCH LINES.
- B. VALVES BOXES AND COVERS SHALL BE PROPERLY ALIGNED AND FULLY SERVICEABLE.
- C. VALVE STANDS SHALL BE CONCRETE COLLARED.
- D. VALVE LIDS SHALL BE LABELED WATER.

11. THRUST BLOCKS

- A. THE CAPACITY OF THE THRUST BLOCK SHALL BE INSPECTED PRIOR TO THE PLACEMENT OF CONCRETE.
- B. ENGINEERED THRUST BLOCKS, STAMPS BY A PROFESSIONAL ENGINEER, SHALL BE PROVIDED FOR NON TYPICAL CONDITIONS AND WHEN NOT BEARING AGAINST UNDISTURBED SOILS.
- C. THE CITY INSPECTOR SHALL BE ON SITE FOR THE POUR OR THE THRUST BLOCK.
- D. A CONCRETE WEIGH TICKET OR BATCH TICKET SHALL BE REQUIRED.

12. LOADING AND TESTING

- A. WATER LINE LOADING SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
- B. ALL WATER LINES MUST PASS A HYDROSTATIC PRESSURE TEST OF TWO HUNDRED (200) POUNDS PER SQUARE INCH (PSI), OR ONE-HUNDRED TWENTY-FIVE (125) PERCENT OF THE WORKING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO (2) HOURS.
- C. LEAKAGE AND PRESSURE TESTING MUST BE COMPLETED AFTER DISINFECTION PROCEDURES AND TESTING.
- D. ALL DRINKING WATER PIPING SHALL BE DISINFECTED USING AN APPROVED DISINFECTION METHOD IN ACCORDANCE WITH THE "AMERICAN WATER WORKS ASSOCIATION STANDARD FOR DISINFECTING WATER MAINS" (AWWA C651). DISINFECTING MATERIALS SHALL CONSIST OF LIQUID CHLORINE, SODIUM HYDROCHLORIDE SOLUTION, OR CALCIUM HYDROCHLORIDE GRANULES OR TABLETS.
- E. HEAVILY CHLORINATED WATER SHALL NOT BE DISCHARGE ONTO THE GROUND. UPON COMPLETION OF DISINFECTION, SODIUM BISULFATE (NAHSO3), SHALL BE APPLIED TO HEAVILY CHLORINATED WATER TO NEUTRALIZE THOROUGHLY THE CHLORINE RESIDUAL REMAINING. WATER SHALL BE NEUTRALIZED TO LESS THAN 1 PPM TOTAL CHLORINE RESIDUAL.
- F. AFTER APPROVAL OF DISINFECTION, CONTRACTOR SHALL FLUSH THE NEW SYSTEM AND MAINTAIN A FLOW OF 2.5 FPS UNTIL THE CHLORINE RESIDUAL IS A MAXIMUM OF 0.3 PPM UNDER THE DIRECT SUPERVISION OF THE PUBLIC WORKS DEPARTMENT.
- G. ONE WEEK AFTER FINAL FLUSHING AND BEFORE CONNECTING TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE, SETS OF ACCEPTABLE SAMPLES, TAKEN AT LEAST 24 HOURS APART, SHALL BE COLLECTED FROM THE PIPELINE EVERY 1200 FEET, MINIMUM, OR AT EACH FORE HYDRANT. AT SAMPLES SHALL BE TESTED FOR BACTERIOLOGICAL (CHEMICAL AND PHYSICAL) QUALITY IN ACCORDANCE WITH "STANDARD METHODS FOR EXAMINATIONS OF WATER AND WASTEWATER" AND SHALL SHOW THE ABSENCE OF COLIFORMA. THEN THE LINE SHALL BE RE-CHLORINATED, FLUSHED, AND RE-TESTED UNTIL SATISFACTORY ARE OBTAINED AT THE EXPENSE OF THE CONTRACTOR.

13. METERS AND SERVICE TAPS

- A. WATER METER CANS SHALL BE PLACED IN THE PARK STRIPS.
- B. BEFORE SERVICES ARE TAPPED, CUT STAKES MUST BE INSTALLED WITH FIE (5) FEET OF THE FINAL CAN PLACEMENT. CUT STAKES SHALL SHOW THE TOP BACK OF THE CURB LOCATION AND ELEVATION. STAKING FOR CUL-DE-SAC AND BULB/KNUCKLE STREETS WILL REQUIRE A RADIUS POINT TO BE STAKED.
- C. THE CONTRACTOR WILL TAP MAINS AND SET METER BOXES TO ESTABLISHED GRADES.
- D. SERVICE LATERAL SHALL BE A MINIMUM OF TEN (10) FEET OFFSET FROM SEWER LATERALS.
- E. PUBLIC WORKS DEPARTMENT - WATER DIVISION WILL SUPPLY AND INSTALL THE WATER METERS.

14. FIRE HYDRANTS

- A. HYDRANTS SHALL BE PLACED IN THE PARK STRIP AND ON THE PROPERTY LINES.
- B. HYDRANTS SHALL BE PLACED A MINIMUM OF 5' FROM OTHER OBJECTS, WITH THRUST BLOCK PLACED AGAINST NATIVE SOILS.

WATER METER TABLE				
LOT #	STREET NAME	STATION	OFFSET	ELEVATION
CUL. METER #530	WILLOWBANK DRIVE	18+66.99	21.09 L	4856.39
CUL. METER #531	WILLOWBANK DRIVE	19+38.62	36.92 L	4857.06
CUL. METER #532	WILLOWBANK DRIVE	19+69.60	26.84 L	4857.44
CUL. METER #533	WILLOWBANK DRIVE	20+09.21	21.05 L	4857.79
CUL. METER #534	WILLOWBANK DRIVE	20+72.49	21.00 L	4858.26
CUL. METER #535	WILLOWBANK DRIVE	21+13.18	21.31 L	4858.58
CUL. METER #536	WILLOWBANK DRIVE	21+56.18	21.23 L	4858.90
CUL. METER #537	WILLOWBANK DRIVE	21+99.20	20.98 L	4859.21
CUL. METER #538	WILLOWBANK DRIVE	22+43.93	21.04 L	4859.55
CUL. METER #539	WILLOWBANK DRIVE	22+87.93	21.04 L	4859.88
CUL. METER #540	WILLOWBANK DRIVE	23+31.93	21.04 L	4860.21
CUL. METER #541	WILLOWBANK DRIVE	23+75.93	21.04 L	4860.54
CUL. METER #542	WILLOWBANK DRIVE	24+19.93	21.04 L	4860.87
CUL. METER #543	WILLOWBANK DRIVE	24+63.93	20.95 L	4861.21
CUL. METER #544	WILLOWBANK DRIVE	24+65.10	21.04 R	4861.21
CUL. METER #545	WILLOWBANK DRIVE	24+23.03	21.09 R	4860.90
CUL. METER #546	WILLOWBANK DRIVE	23+70.03	21.32 R	4860.50
CUL. METER #547	WILLOWBANK DRIVE	23+29.03	21.17 R	4860.19
CUL. METER #548	WILLOWBANK DRIVE	22+84.03	21.20 R	4859.85
CUL. METER #549	WILLOWBANK DRIVE	22+40.09	21.17 R	4859.52
CUL. METER #550	WILLOWBANK DRIVE	21+88.03	21.18 R	4859.13
CUL. METER #551	WILLOWBANK DRIVE	21+45.03	21.25 R	4858.81
CUL. METER #552	WILLOWBANK DRIVE	21+02.09	21.12 R	4858.49
CUL. METER #553	WILLOWBANK DRIVE	20+62.50	21.40 R	4858.20
CUL. METER #554	WILLOWBANK DRIVE	20+07.62	20.94 R	4857.78
CUL. METER #555	WILLOWBANK DRIVE	18+88.71	21.01 R	4856.55

SECONDARY WATER SERVICE TABLE				
LOT #	STREET NAME	STATION	OFFSET	ELEVATION
IRR. METER #530	WILLOWBANK DRIVE	18+61.99	21.01 L	4856.35
IRR. METER #531	WILLOWBANK DRIVE	19+65.29	30.33 L	4857.39

FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
WATER PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

WATER PLAN

Scale: 1"=30'
Date: 02/25/26
Drawn: KV
Job #: 24-0391
Sheet: C6

24-0391-001 ridgeview pod b plat o.dwg (sheet) C6 WATER PLAN.dwg

FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
 HIGHLAND CITY, UT
WILLOWBANK DRIVE

NO.	DATE	DESCRIPTION
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2		
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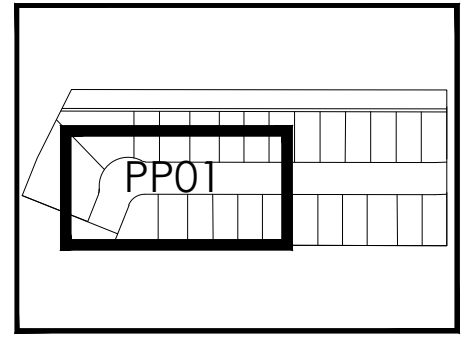
WILLOWBANK DRIVE

Scale: 1"=20'
 Date: 02/25/26
 Sheet: PP01

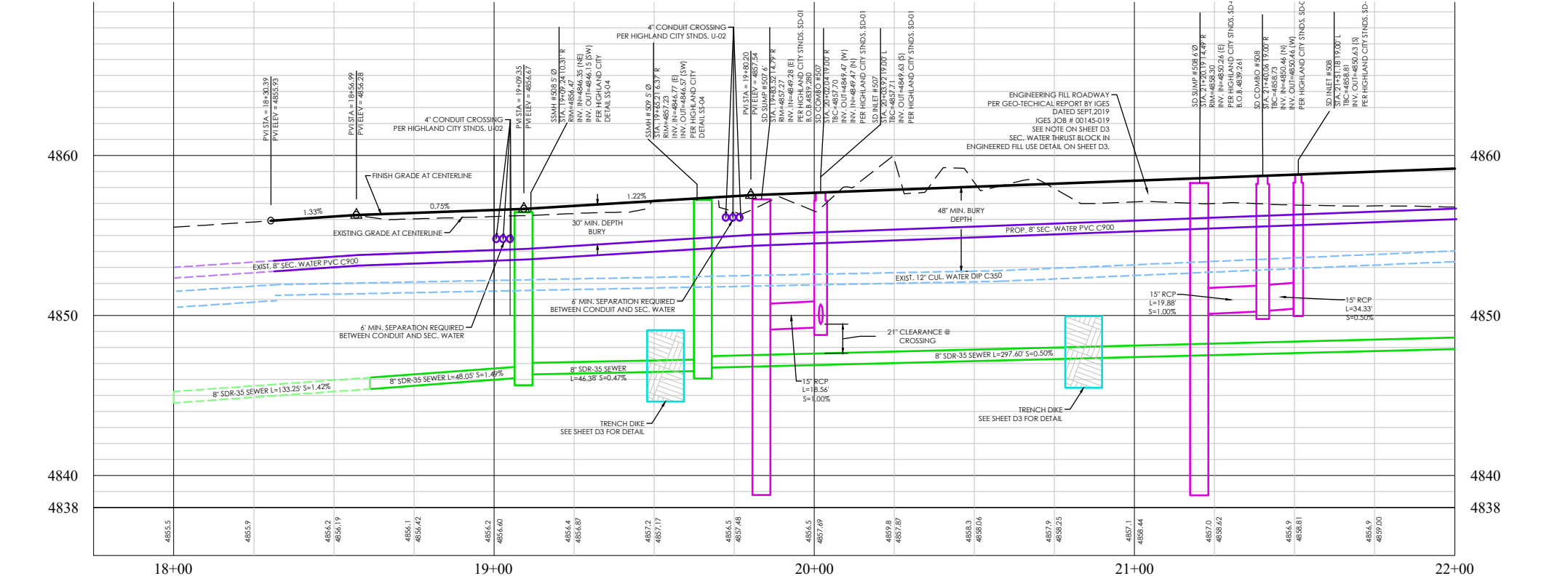
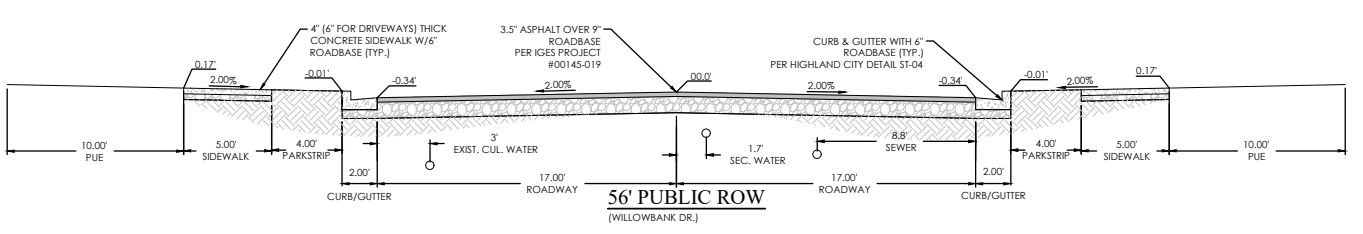
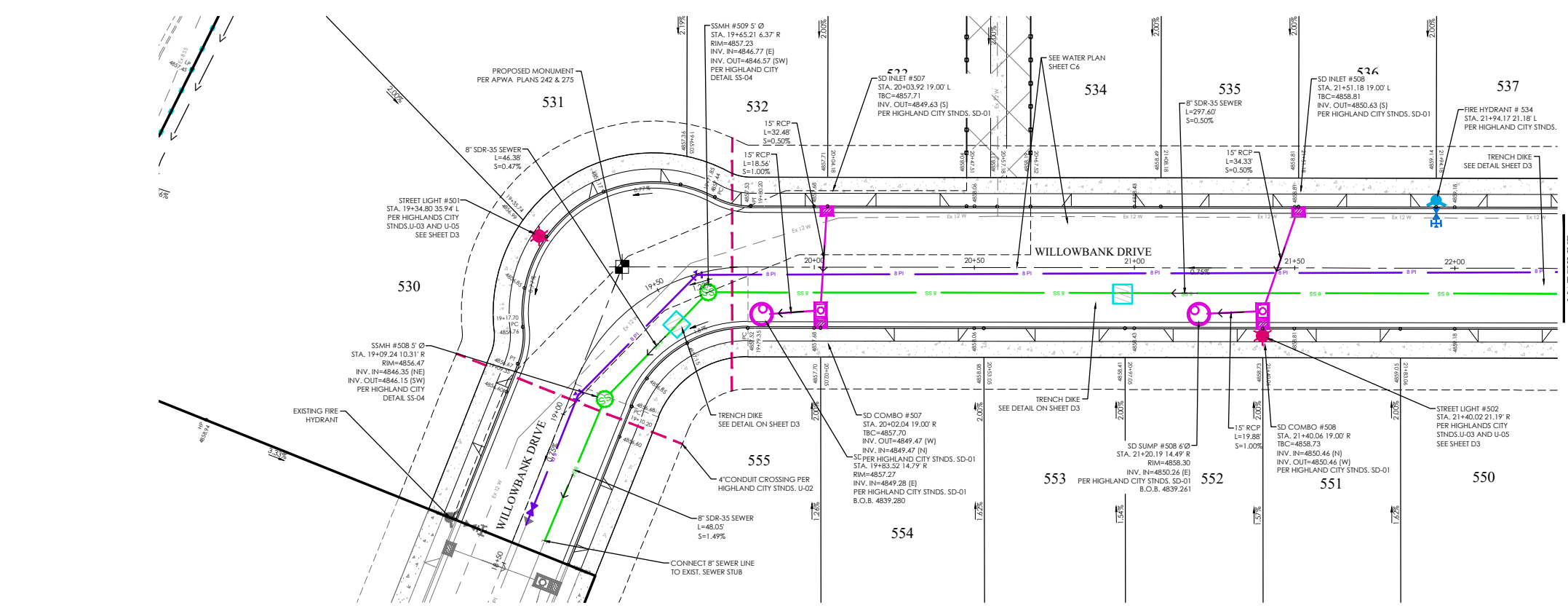
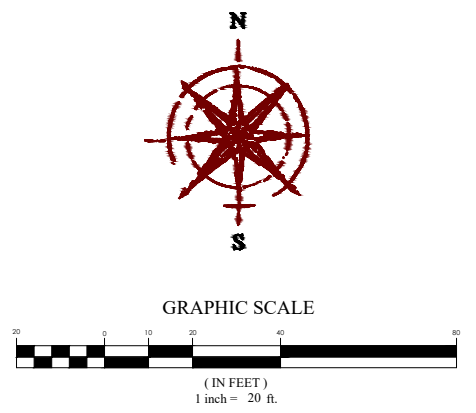
Drawn: KV
 Job #: 24-0391

LEGEND

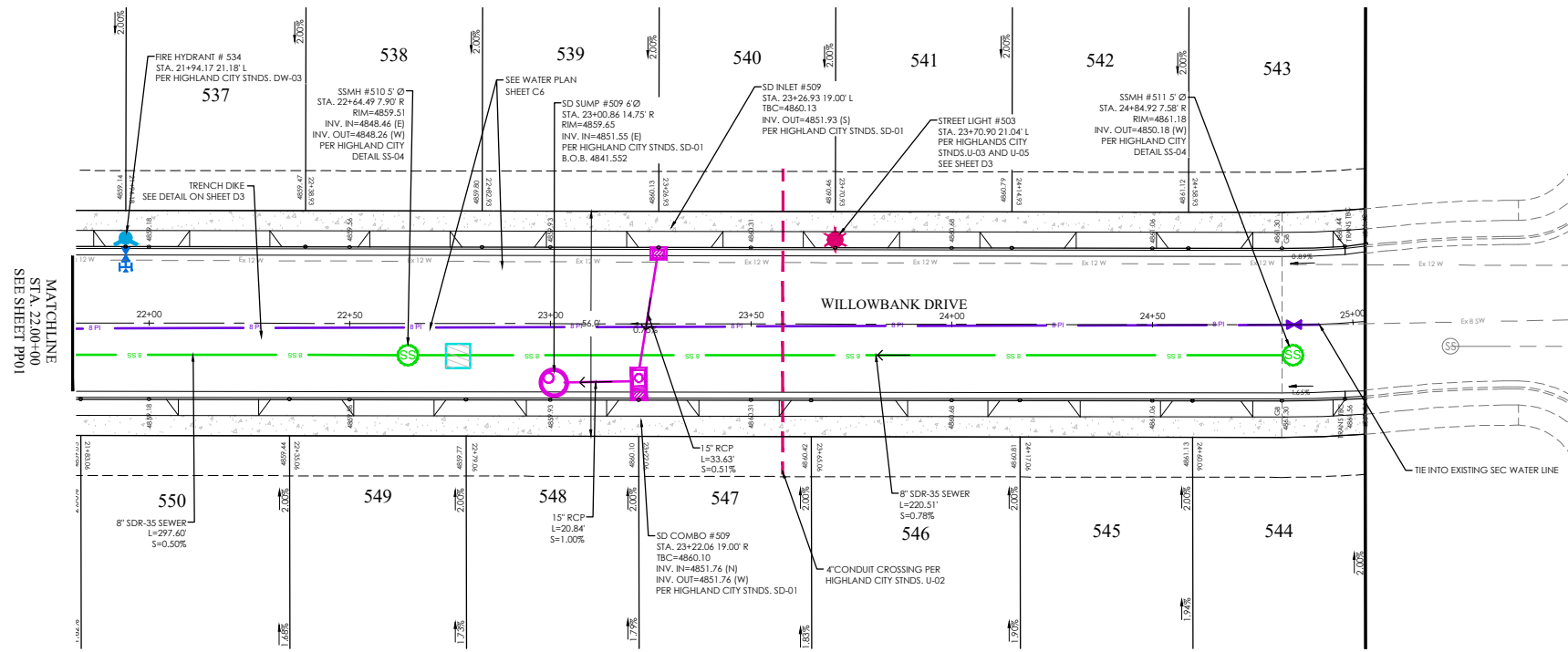
- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15" STORM DRAIN
- 8" SANITARY SEWER
- 8" CULINARY WATER
- 8" SECONDARY WATER
- SWALE
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, COMBO & SUMP
- SEWER MANHOLE
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- SEC. AND CUL. WATER METER
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION
- HIGHLAND CITY CONDUIT



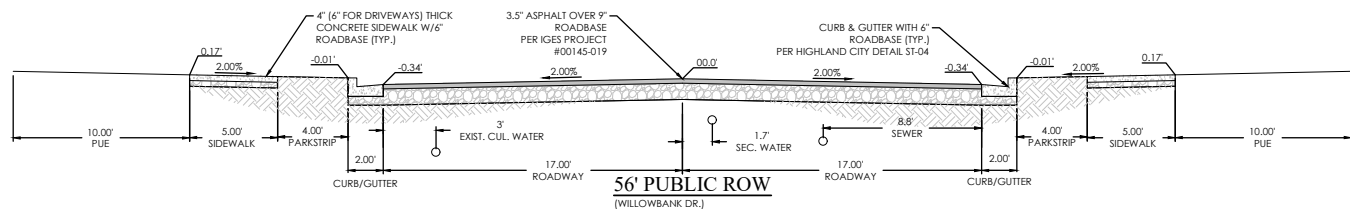
BENCHMARK
 SOUTHEAST CORNER OF SECTION 1
 TOWNSHIP 5 SOUTH, RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 ELEV. 4819.90
 DATUM: NAD83



F:\2024\240391\ridgeview pod b plat o design\240391\dwg\sheet\PP01 Willowbank.Dwg



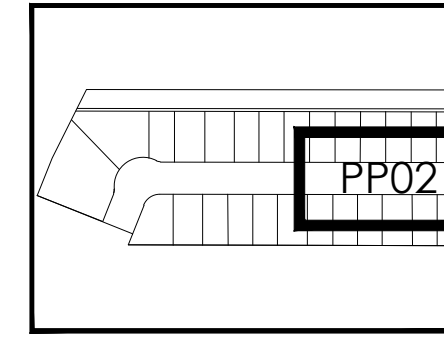
WILLOWBANK DRIVE PLAN



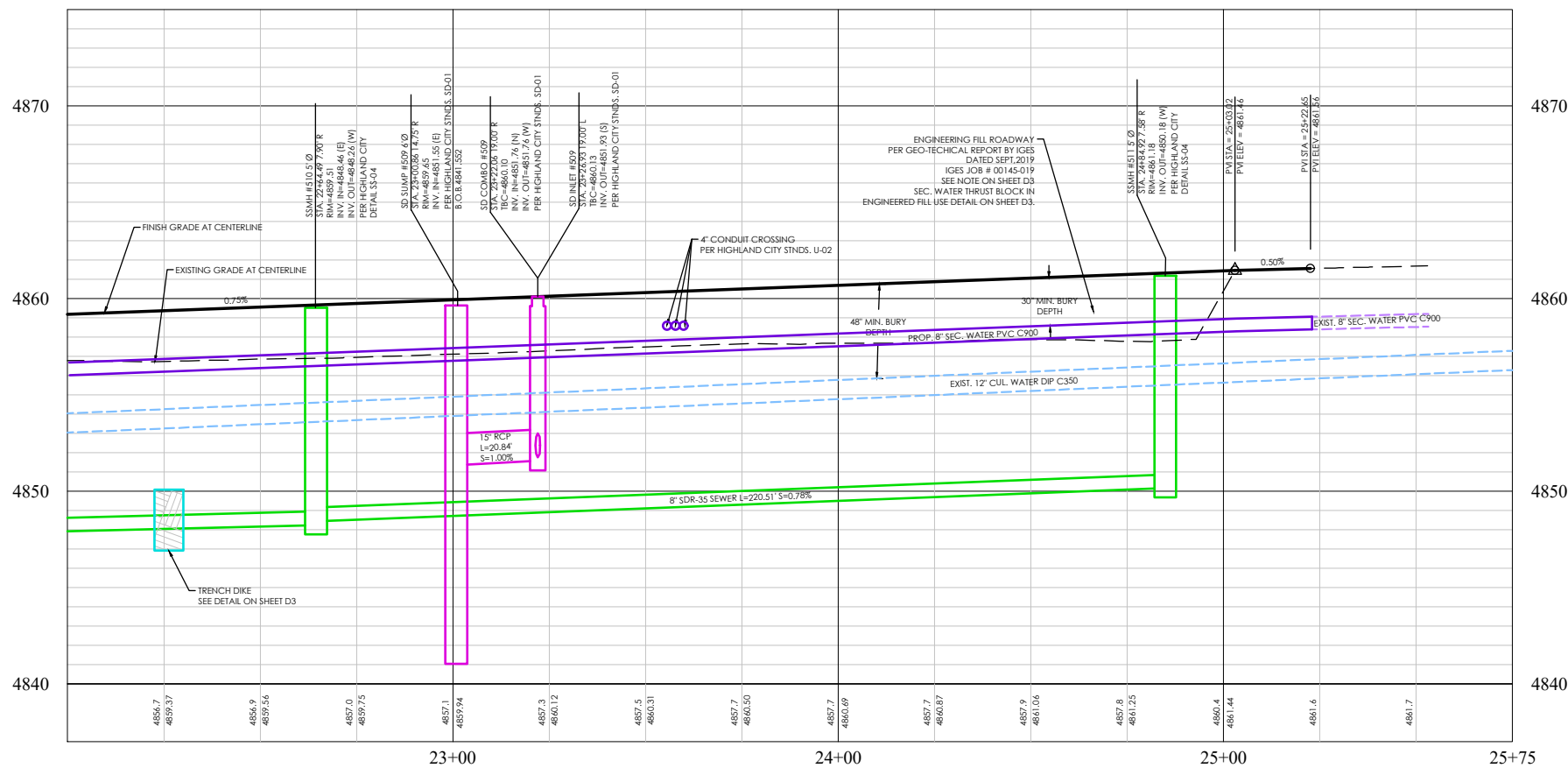
56' PUBLIC ROW (WILLOWBANK DR.)

LEGEND

---	BOUNDARY
---	EASEMENT
---	LOT LINE
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" SECONDARY WATER
---	SWALE
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, COMBO & SUMP
---	SEWER MANHOLE
---	CULINARY VALVE, TEE & BEND
---	SECONDARY VALVE, TEE & BEND
---	SEC. AND CUL. WATER METER
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT (TO BE SET)
---	EXIST. STREET MONUMENT
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION
---	HIGHLAND CITY CONDUIT

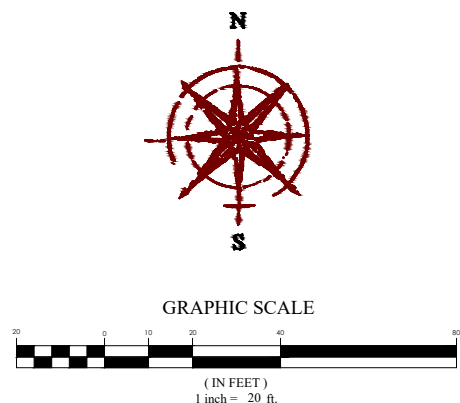


KEY MAP
N.T.S.



WILLOWBANK DRIVE PROFILE

BENCHMARK
SOUTHEAST CORNER OF SECTION 1
TOWNSHIP 5 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV. 4819.90
DATUM: NGVD29



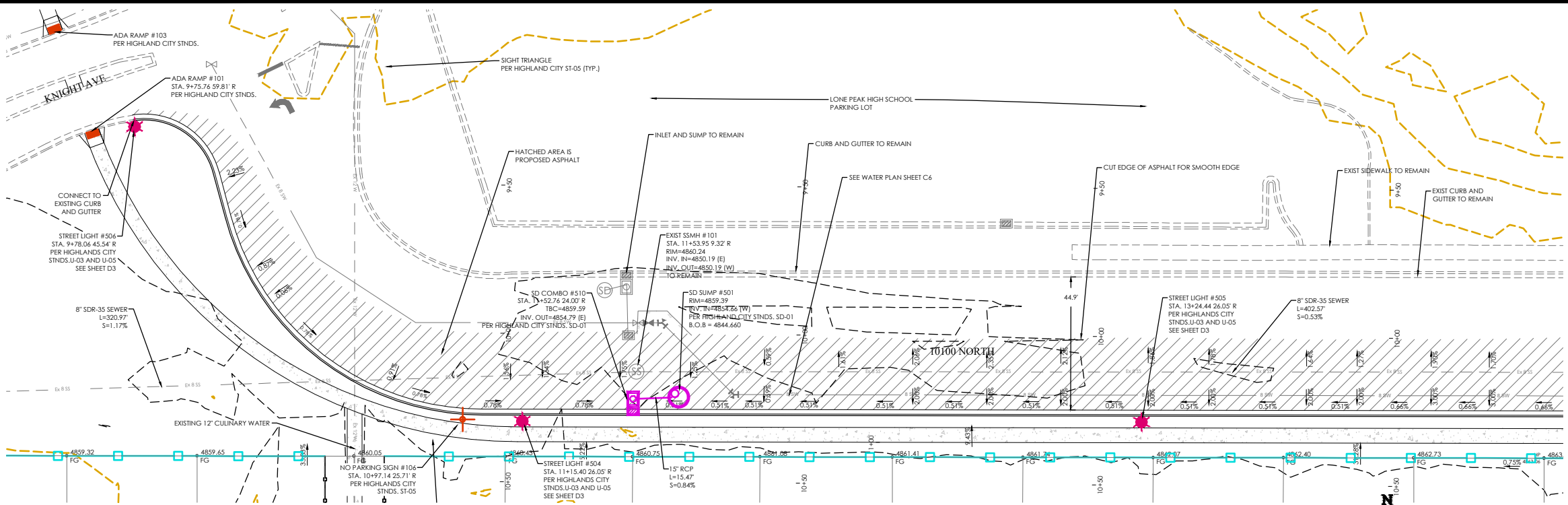
FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
WILLOWBANK DRIVE

REVISION BLOCK

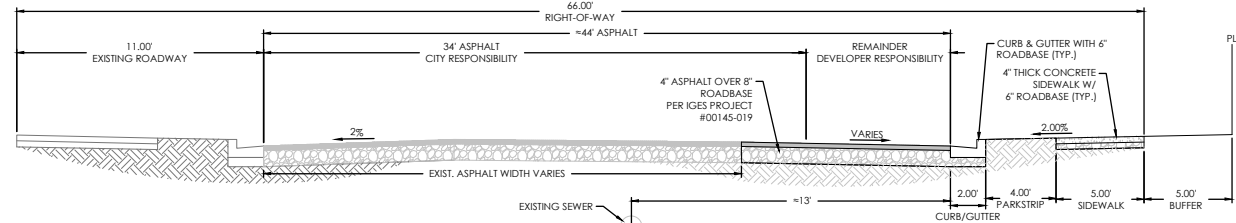
#	DATE	DESCRIPTION
1		
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10100 NORTH PLAN

STATIONS 10+00.00 - 24+73.45



66' PUBLIC ROW - HALF WIDTH
 (10100 NORTH) (PHASES 1 & 2)

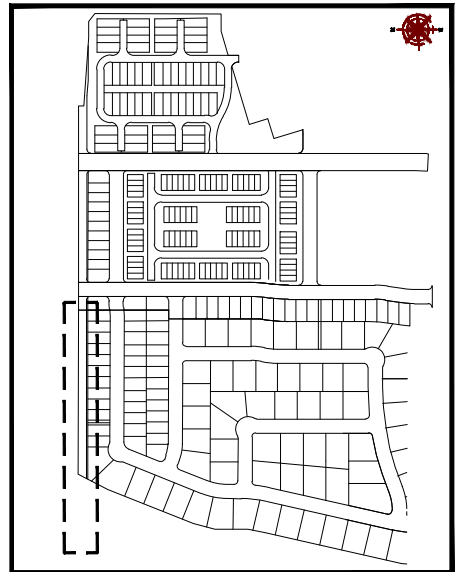
DEVELOPERS ARE ONLY RESPONSIBLE FOR 4" ASPHALT OVER 8" OF ROADBASE. ANY PULVERIZING OR FILL NEEDED TO GET TO THE SUBGRADE WILL BE THE RESPONSIBILITY OF THE CITY. MIX DESIGN TO BE APPROVED BY HIGHLAND CITY. AFTER GEOTECHNICAL TESTS HAVE BEEN PERFORMED ON THE SECTIONS OF THE ROAD THE RESULTING COMPACTION REQUIREMENTS ARE TO BE FOLLOWED.



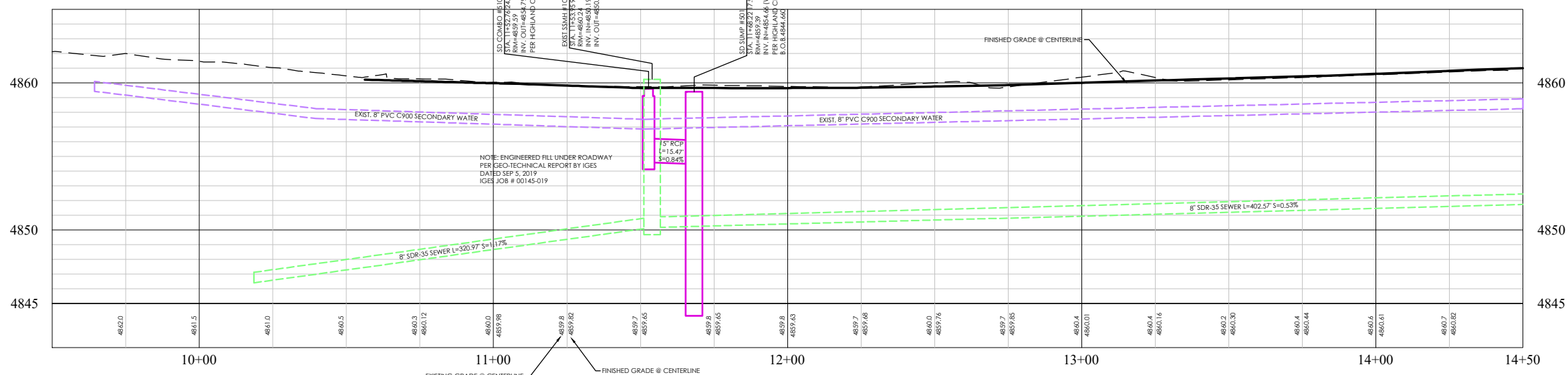
GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

LEGEND

[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD MH, INLET, AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE & BEND
[Symbol]	SECONDARY VALVE, TEE & BEND
[Symbol]	SEC. AND CUL. WATER METER
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION
[Symbol]	HIGHLAND CITY CONDUIT
[Symbol]	4.0' SPLIT RAIL VINYL FENCE
[Symbol]	6.0' SOLID CONCRETE WALL
[Symbol]	NEW ASPHALT



KEY MAP
 N.T.S.



10100 NORTH PROFILE

BENCHMARK
 SOUTHEAST CORNER OF SECTION 1
 TOWNSHIP 5 SOUTH, RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 ELEV: 4819.90
 DATUM: NAD83



FOR REVIEW ONLY

10100 NORTH
 HIGHLAND CITY, UT
10100 NORTH

REVISION BLOCK

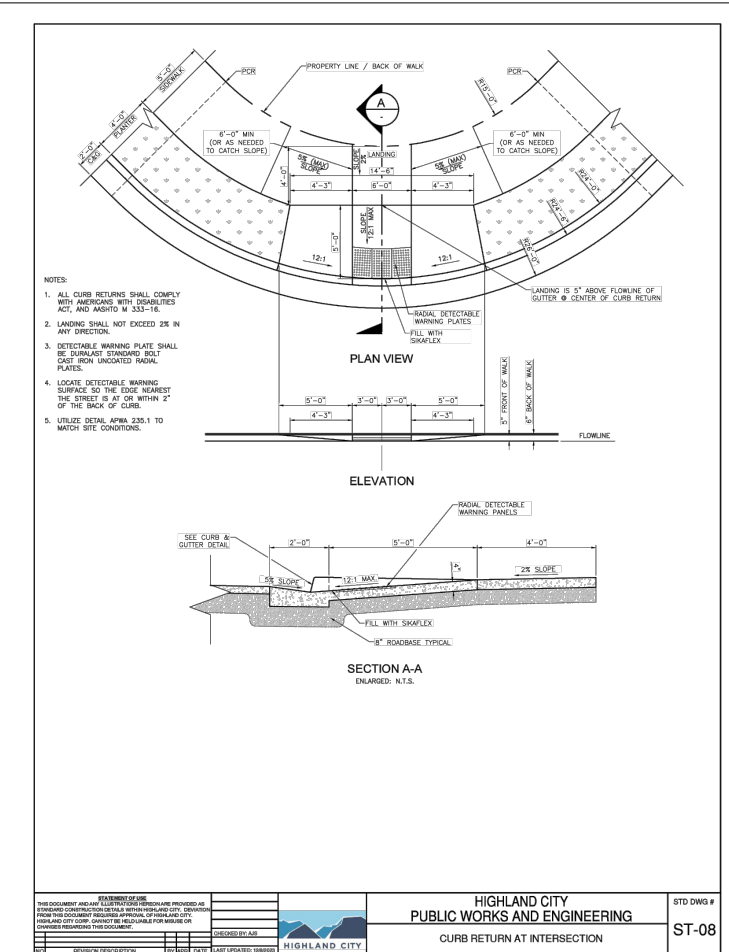
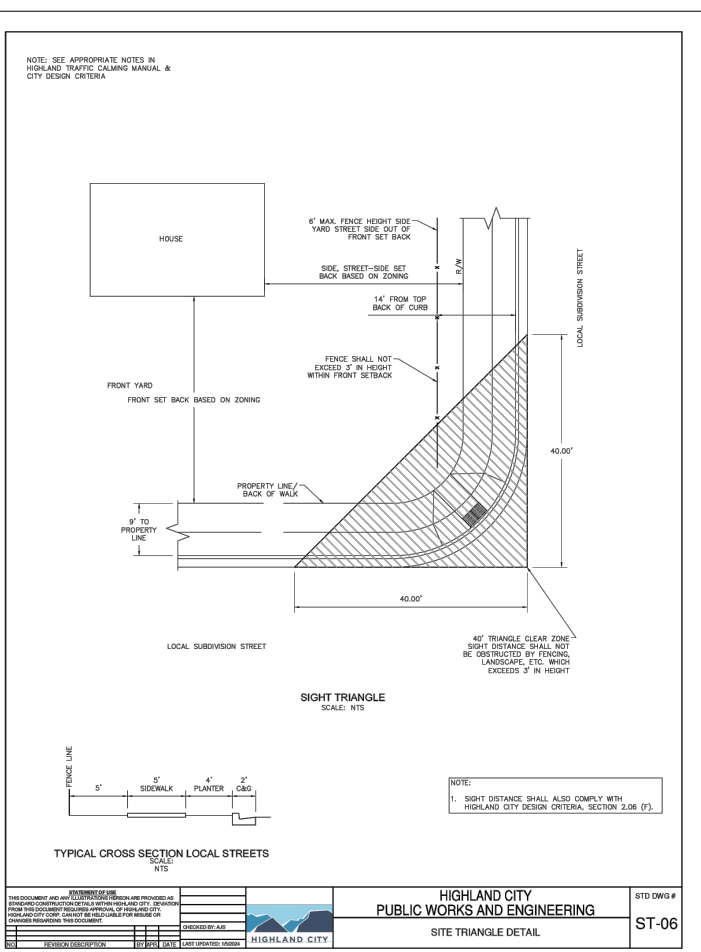
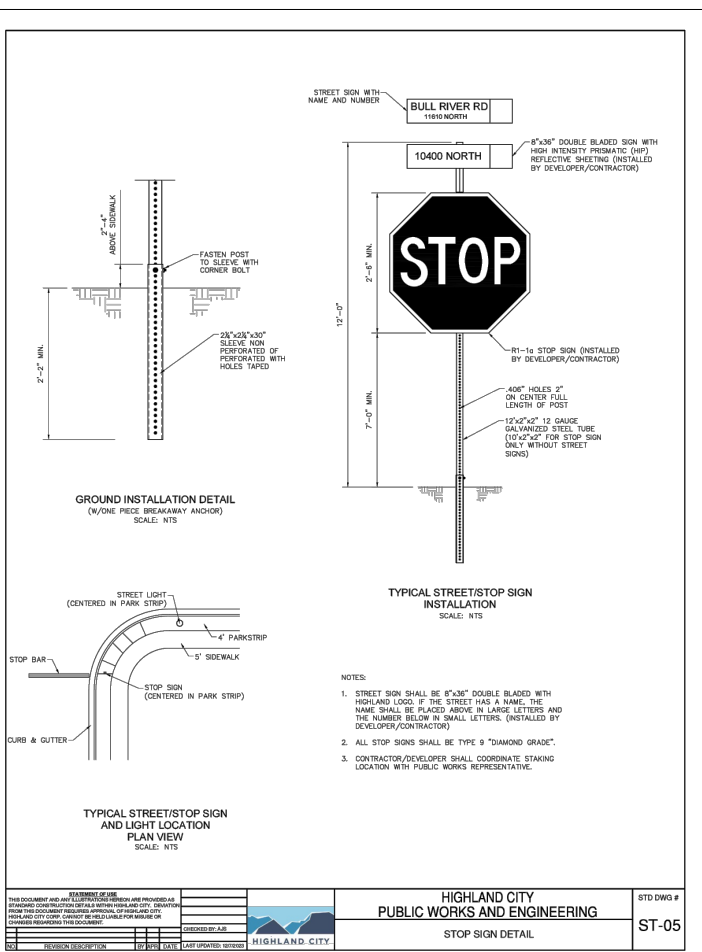
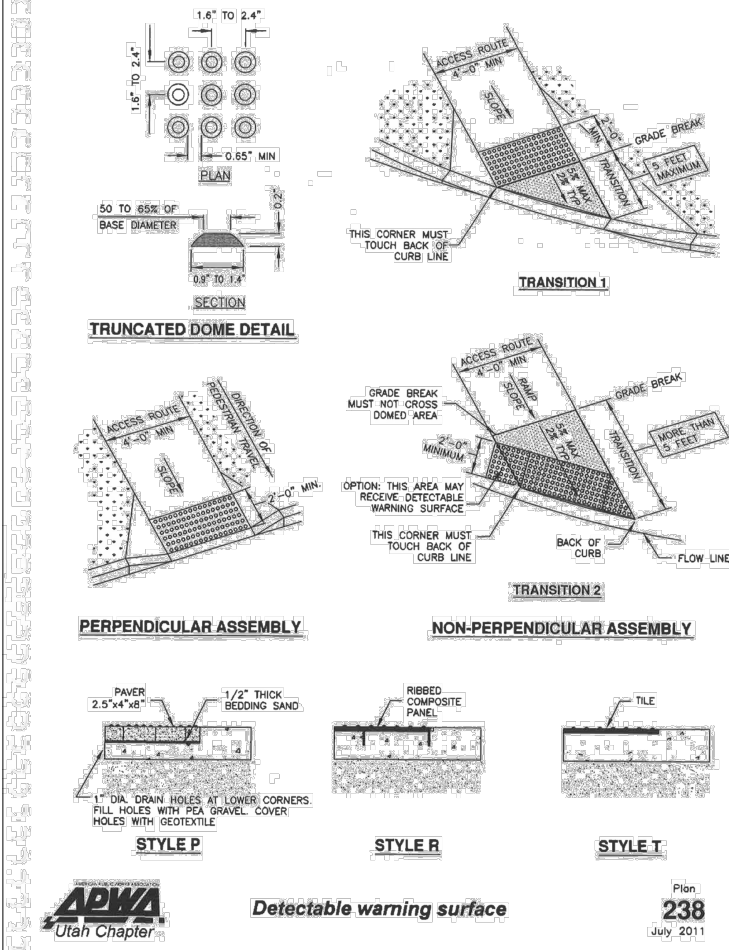
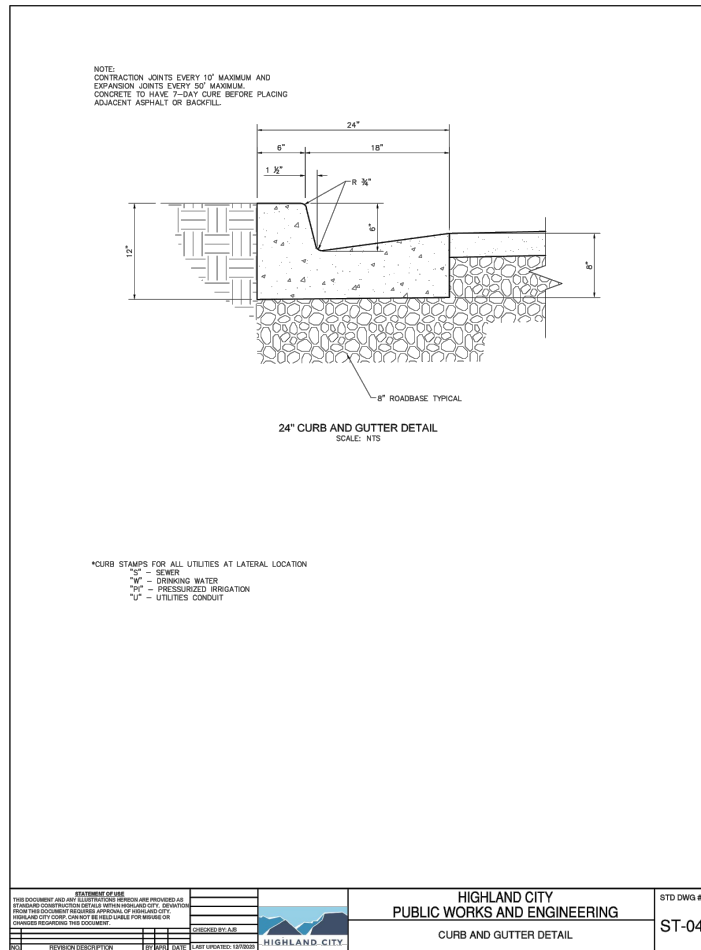
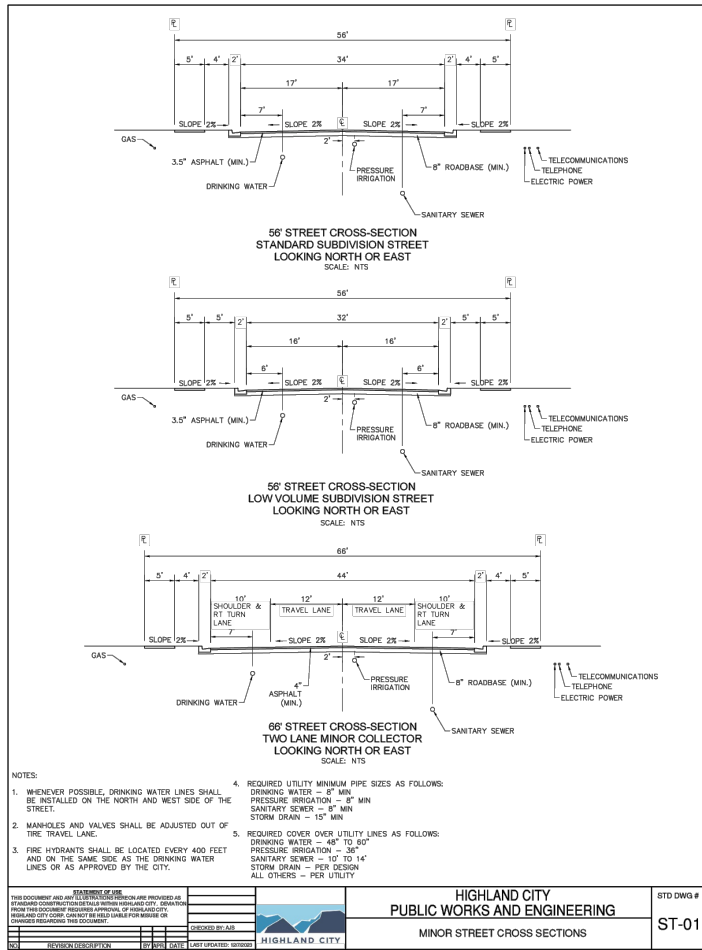
#	DATE	DESCRIPTION
1		
2		
3		
4		
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10100 NORTH

Scale: 1"=20'
 Date: 02/25/26
 Sheet: PP03

Drawn: KV
 Job #: 24-0391

F:\2024\24-0391\10100 North\10100 North.dwg
 2/25/26 10:00 AM
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 Plot: 2/25/26 10:00 AM
 Plot Device: HPGL2
 Plot Style: 10100 North.ctb
 Plot Range: 0,0,0,0
 Plot Scale: 1"=20'
 Plot Orientation: Landscape
 Plot Color: Black
 Plot Lineweight: 0.20
 Plot Linetype: Solid
 Plot Font: Arial, 10
 Plot Title: 10100 NORTH
 Plot Date: 02/25/26
 Plot User: kv
 Plot Job: 24-0391
 Plot Sheet: PP03

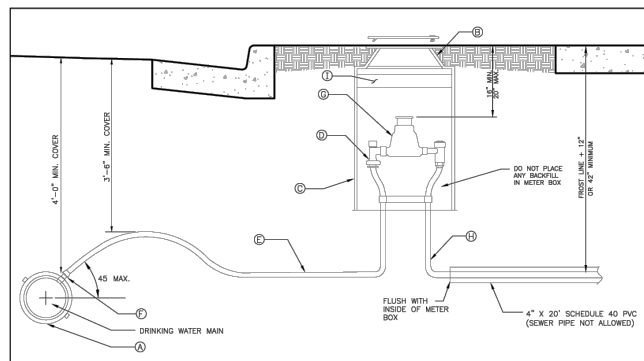


6.0 FOOT TALL TREX FENCE (COLOR AND STYLE TO BE SELECTED BY DEVELOPER)

FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
DETAILS

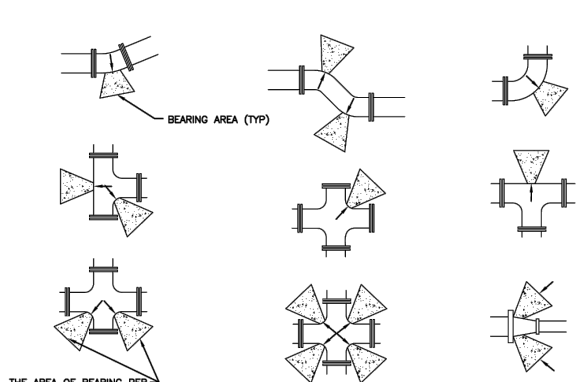
REVISION BLOCK	DATE	DESCRIPTION
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LEGEND		
No.	ITEM	NOTE
(A)	MUELLER OR ROMAC WITH IP TAP	SINGLE OR DOUBLE STRAP STAINLESS STEEL BAND WITH TEFLON COATING
(B)	RING AND COVER	CAST IRON COVER (gross) WITH RECESSED KNOCKOUT DUCTILE COVER (driveway) WITH RECESSED RING HOLE COVER TO BE DMR, L2240-UNW
(C)	METER BOX (21" DIAMETER) (36" DEEP)	METER BARRELS A.D.S. (PREFERRED WHITE IN COLOR)
(D)	1" METER SETTER	WITH 1" LOCKABLE ANGLE METER VALVE AND 1" RESIDENTIAL DUAL CHECK VALVE (FORD OR McDONALD)
(E)	COPPER PIPE 1"	TYPE K (SOFT)
(F)	CORPORATION STOP CTS X IRON PIPE SIZE	MUELLER 300 BALL TYPE CORPORATION STOP OR FORD FB100
(G)	WATER METER	INSTALLED BY WATER DEPT. AT METER SET
(H)	COPPER OR POLY PIPE	CTS (COPPER TUBE SIZE) OR IPS (IRON PIPE SIZE)
(I)	INSULATING PAD	4" THICK FOAM PAD

NOTE:
 1. ALL CONDUIT TO BE WHITE OR GRAY PVC
 2. METER BOXES IN CONCRETE TO BE DMR SUPPLY MODEL B-5021-UNW
 3. STAMP THE LETTER "W" INTO BACK OF CURB ABOVE WATER LATERAL
 4. METER SETTER SHALL HAVE STRAIGHTENING PIPE IN PLACE (LEG)

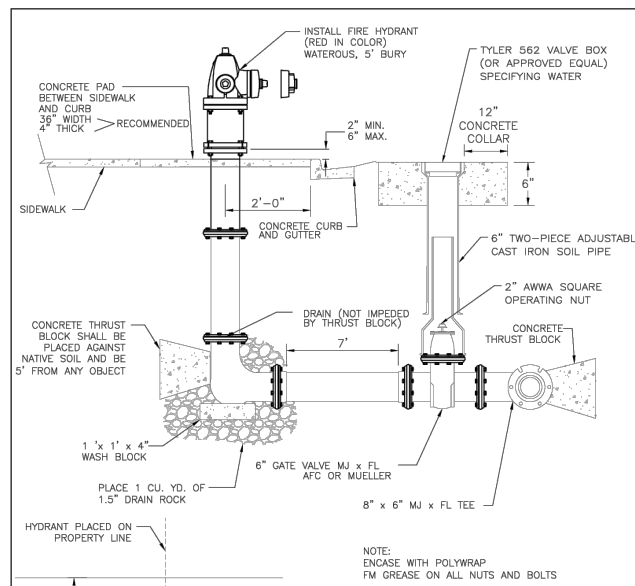
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 WATER METER DETAIL
 STD DWG # DW-01



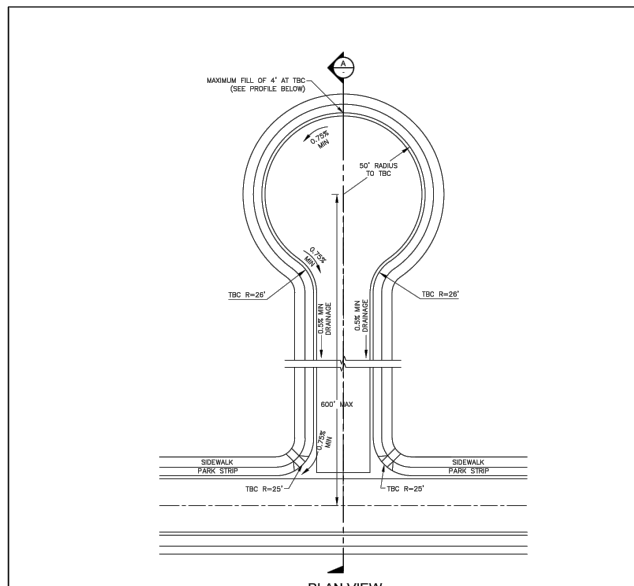
THE AREA OF BEARING PER THRUST BLOCK TO EQUAL 1/2 THE AREA SPECIFIED FOR THE LARGEST PIPE OR FITTING SIZE

SIZE OF PIPE	MINIMUM BEARING AREA IN SQ. FT.				
	TEES, VALVES, DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	3	2	2	2
6"	4	5.5	3	1.5	1
8"	6.5	9.5	5	2.75	1.5
12"	14	20	11	5.5	3
14"	19	26.5	14.5	7.5	4
16"	24	34	18.5	9.5	6
20"	27	52	28.5	14.5	16
24"	53	74	41	21	53
30"	81	114	62	32	16

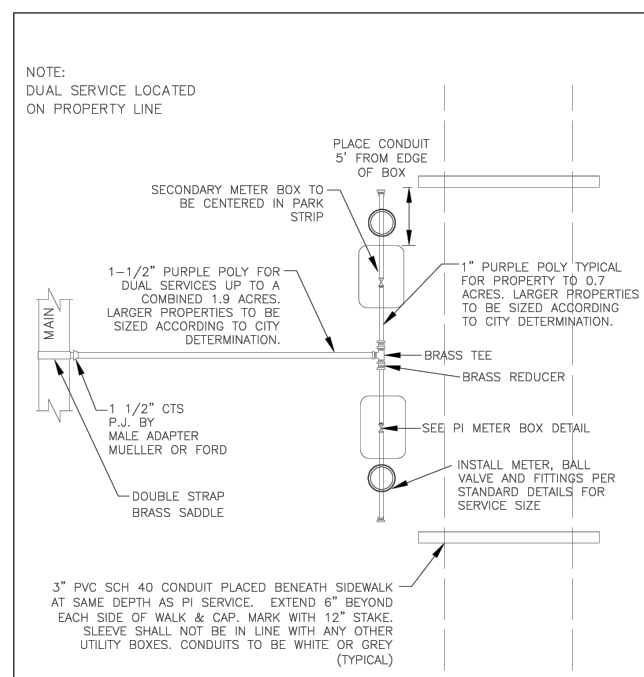
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 DIRECT BEARING THRUST BLOCK
 August 2010
 Plan 561



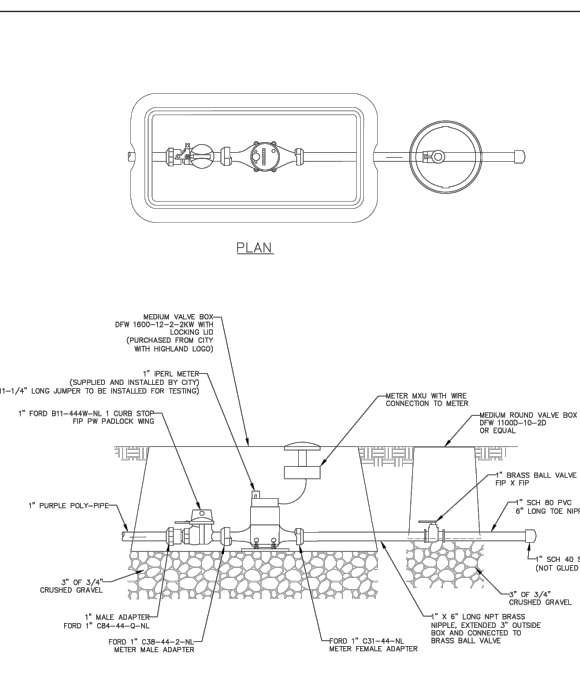
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 FIRE HYDRANT DETAIL
 STD DWG # DW-03



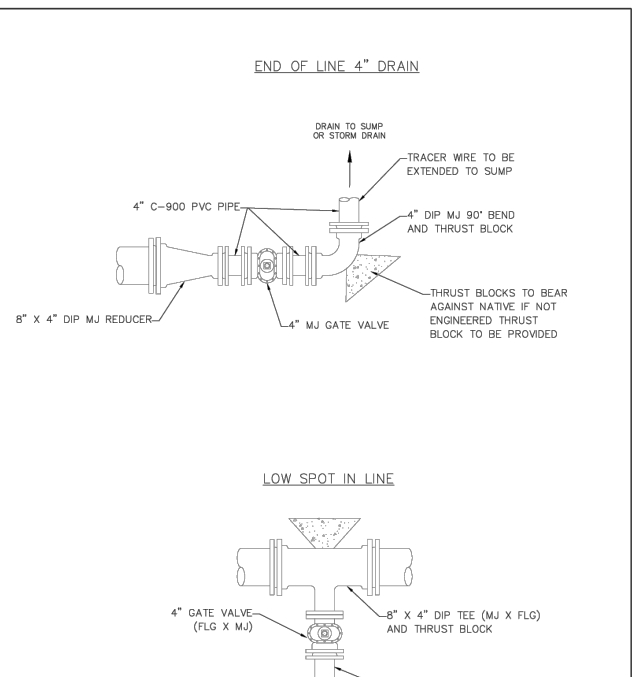
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 CUL-DE-SAC (DRAINAGE TO STREET)
 STD DWG # ST-11



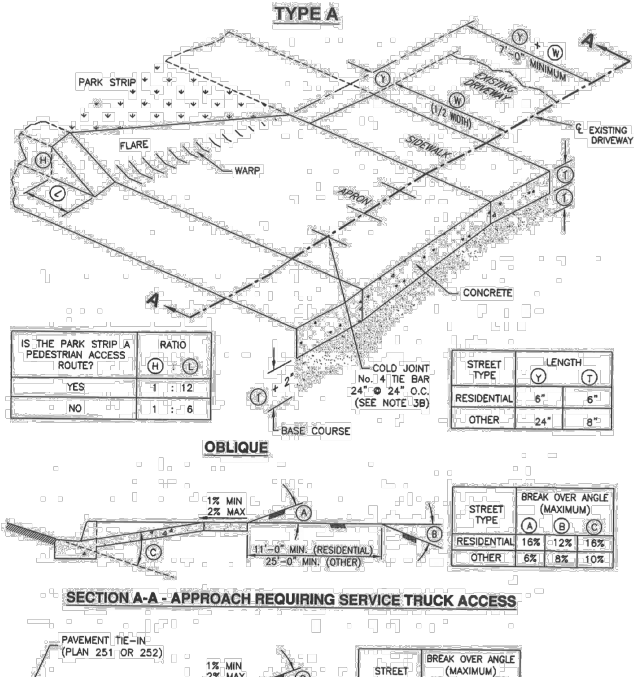
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 P.I. SERVICE DETAIL
 STD DWG # PI-01



HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 P.I. 1-INCH METER BOX DETAIL
 STD DWG # PI-02



HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 P.I. DRAIN DETAIL
 STD DWG # PI-05



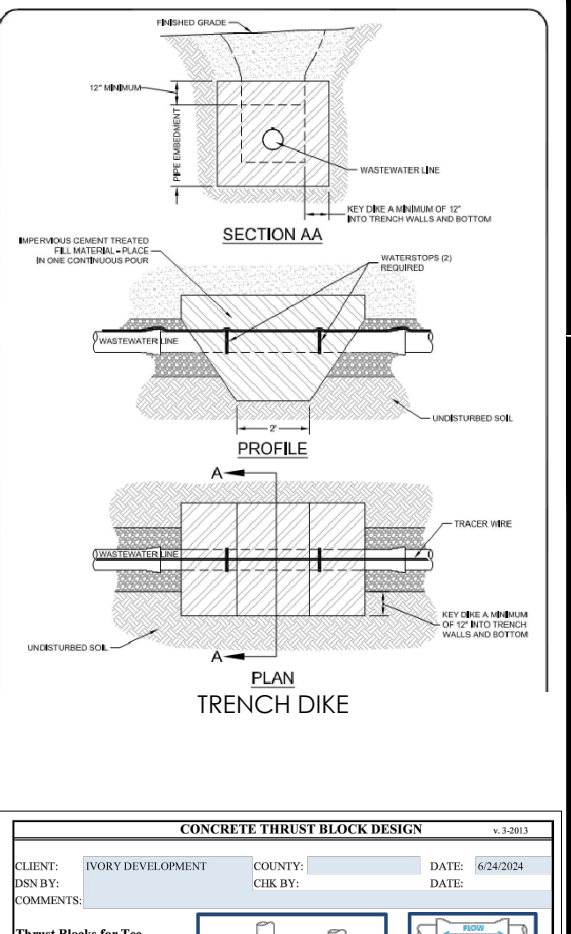
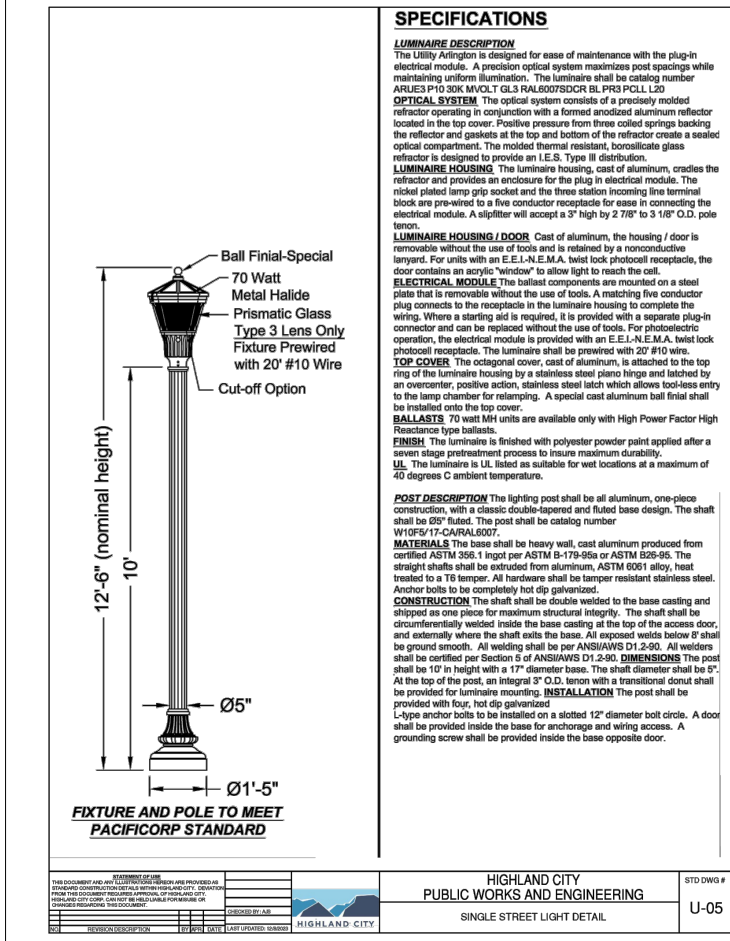
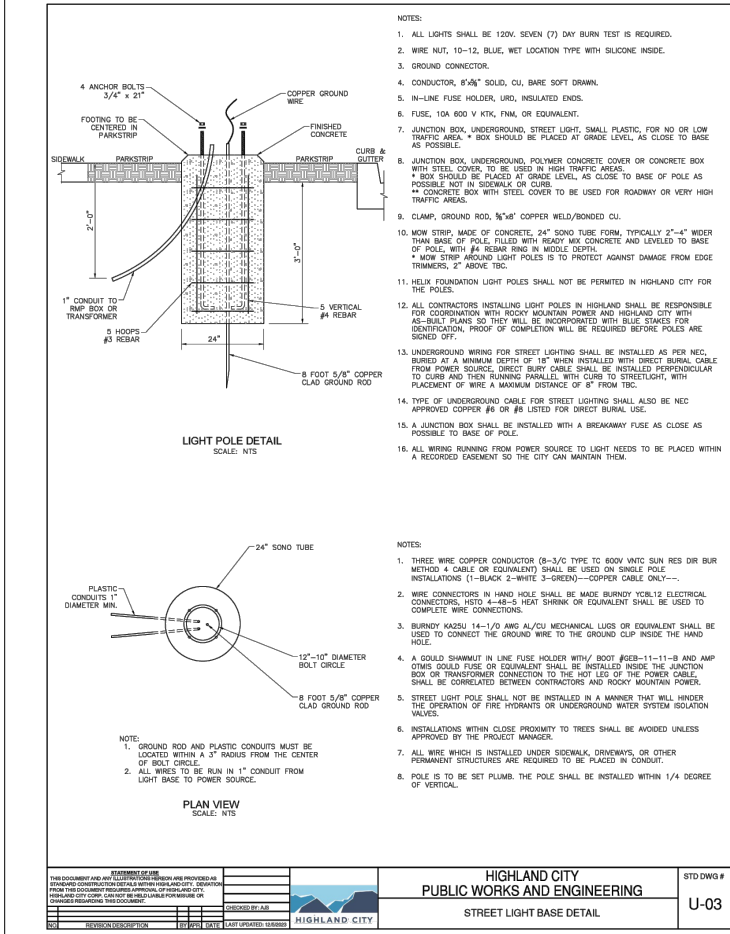
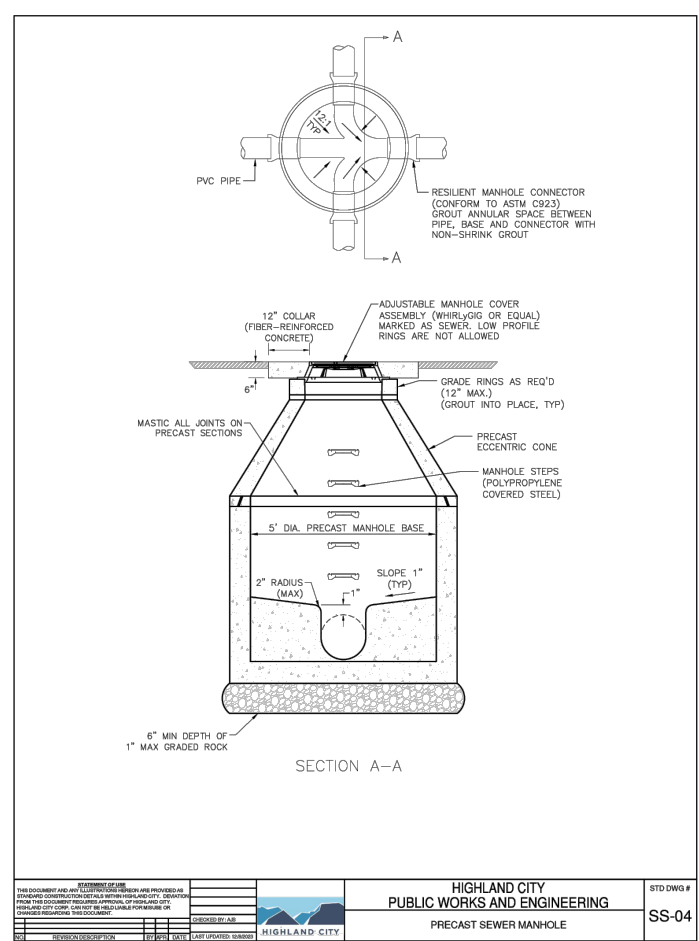
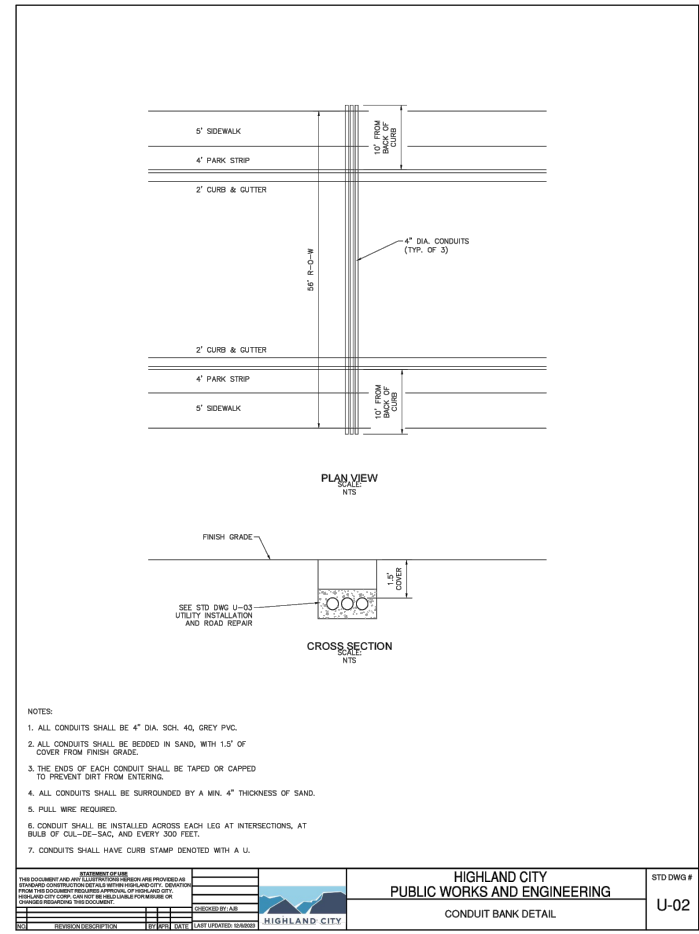
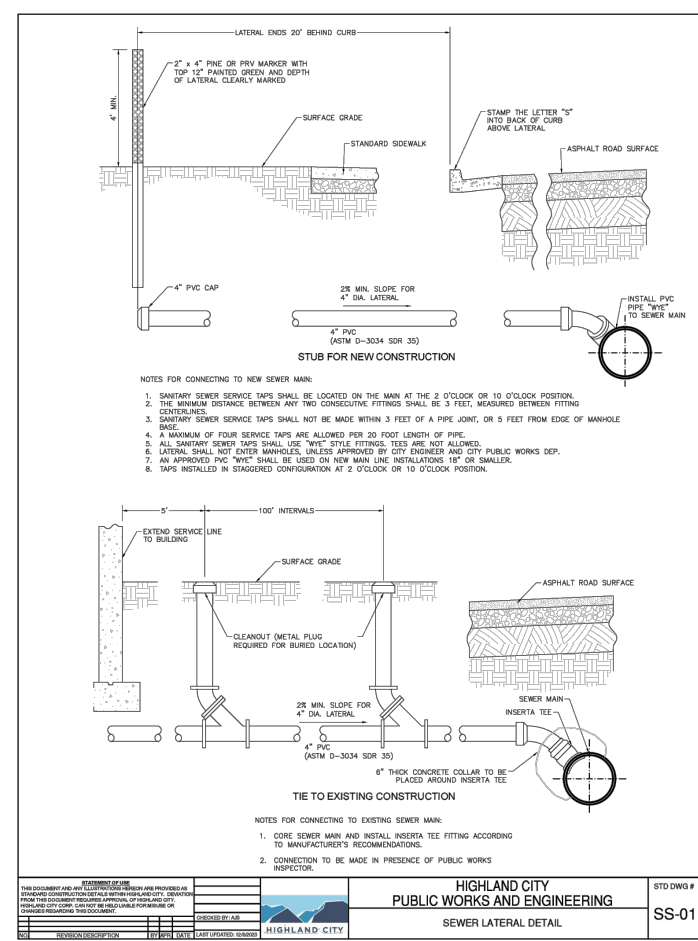
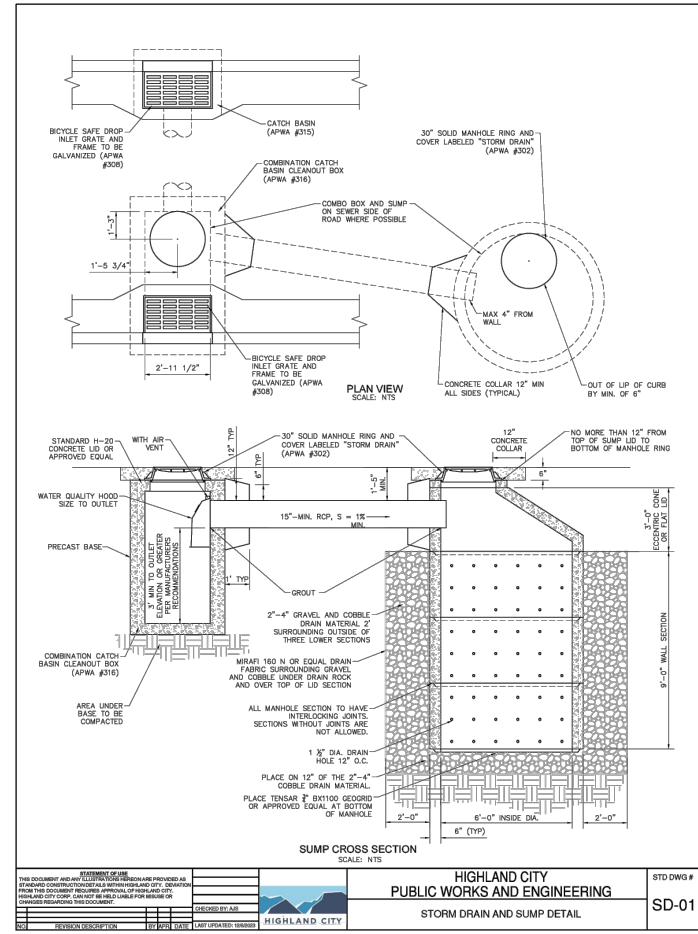
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 Flare driveway approach
 Plan 221.1
 December 2009

FOR REVIEW ONLY

RIDGEVIEW POD B PLATO
 HIGHLAND CITY, UT
 DETAILS

REVISION BLOCK	DATE	DESCRIPTION
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HIGHLAND CITY PUBLIC WORKS AND ENGINEERING
 DETAILS
 Scale: N/A Drawn: KV
 Date: 02/25/26 Job #: 24-0391
 Sheet: D2



FOCUS CONSULTING, LLC
 6949 S. HIGH TECH DRIVE SUITE 200
 MIDVALE, UTAH 84047 PH: (801) 552-0075
 www.focus-ut.com

FOR REVIEW ONLY

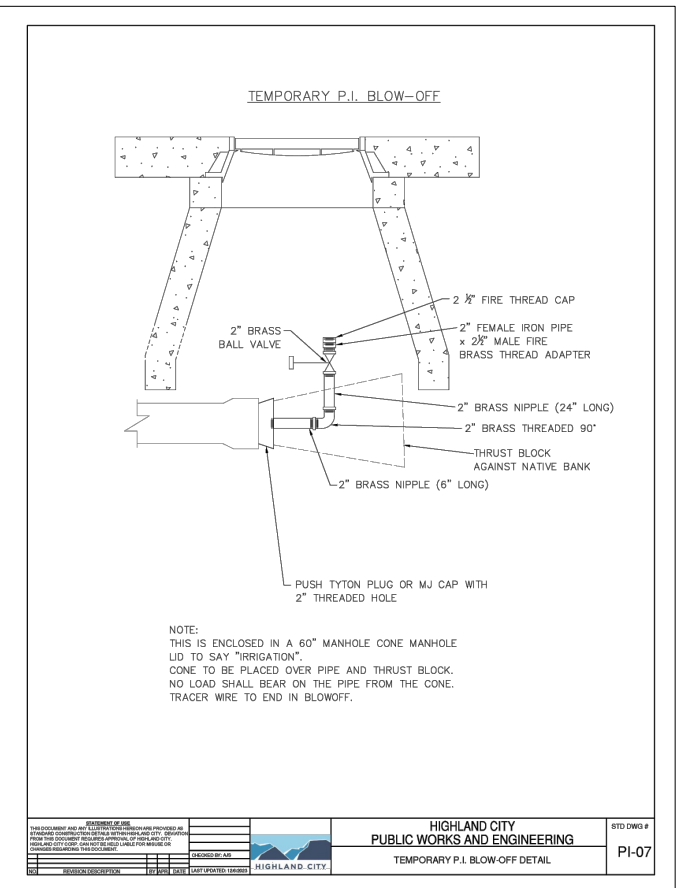
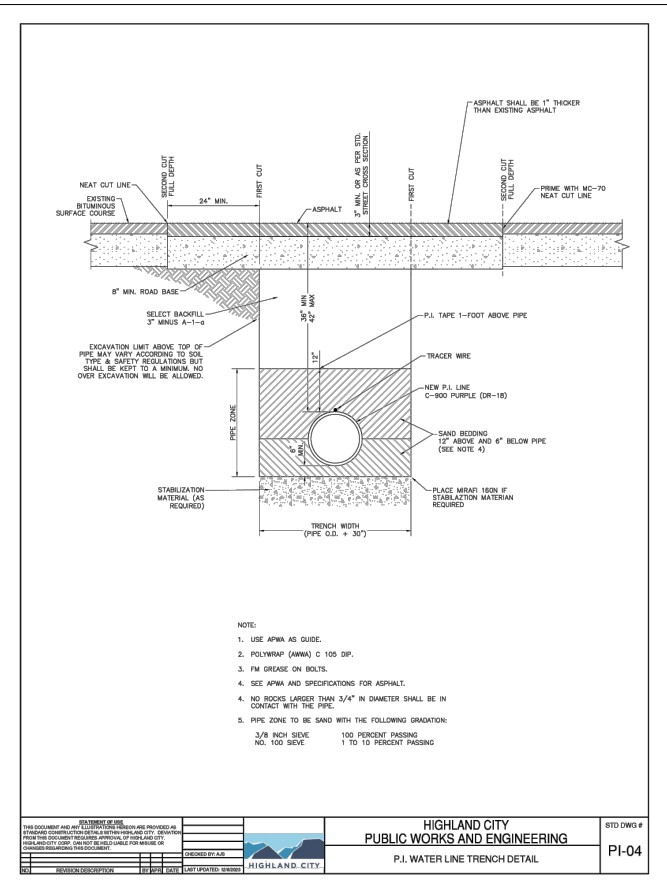
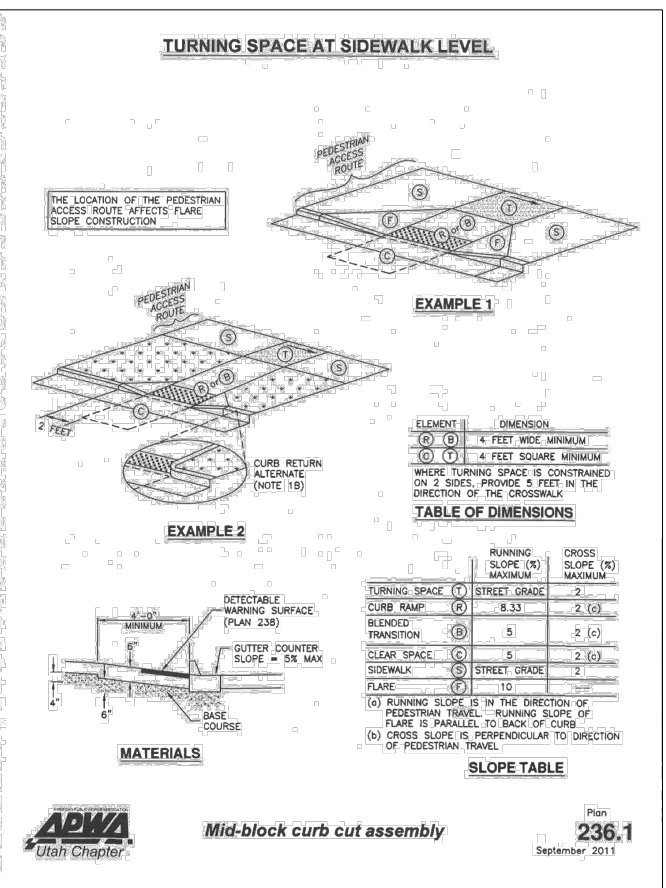
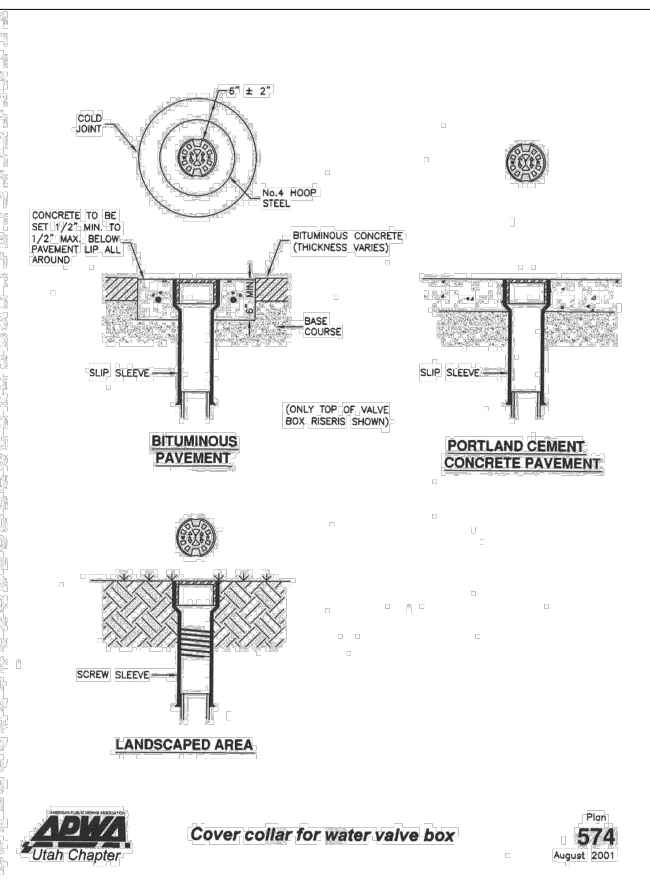
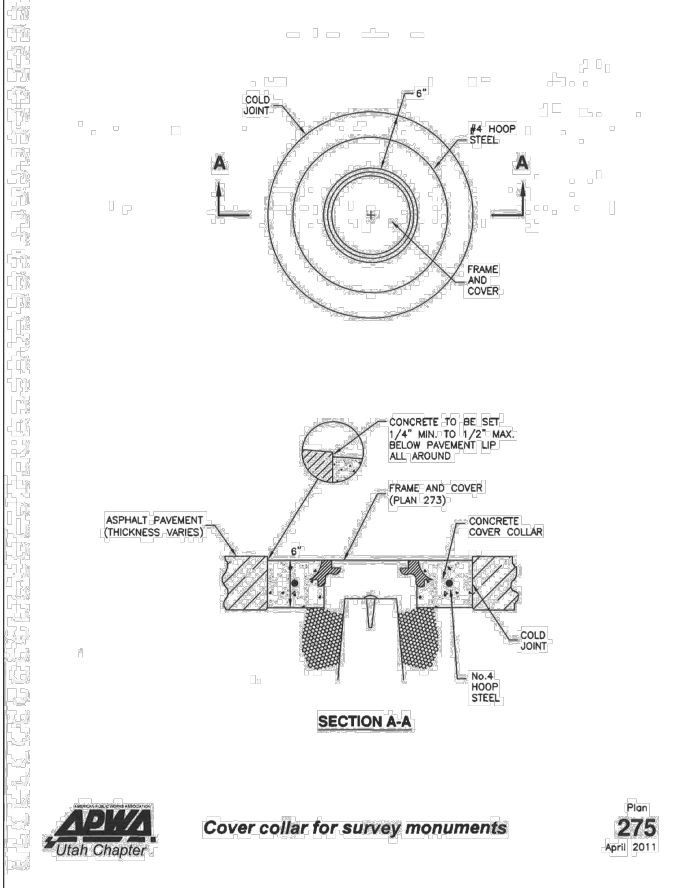
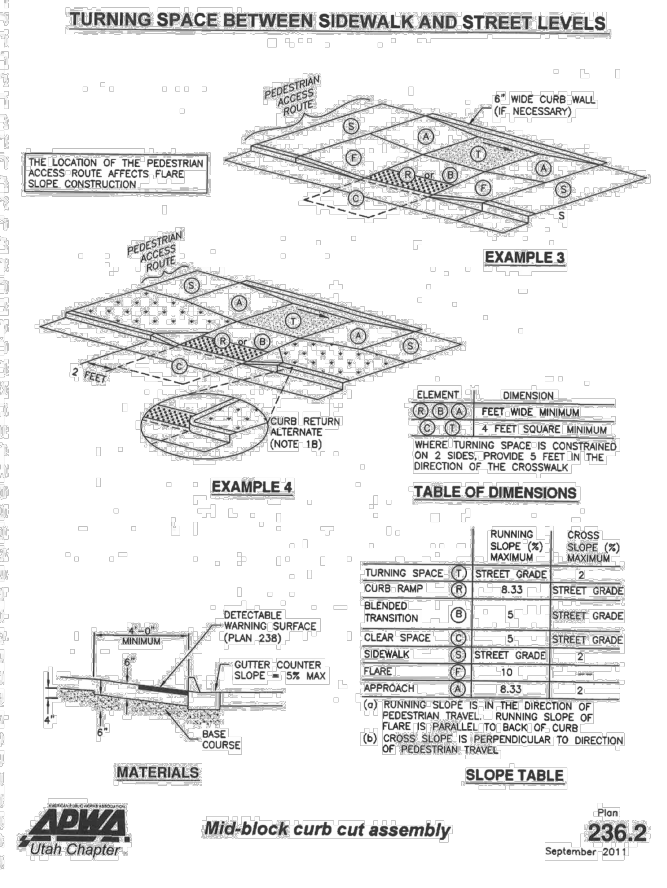
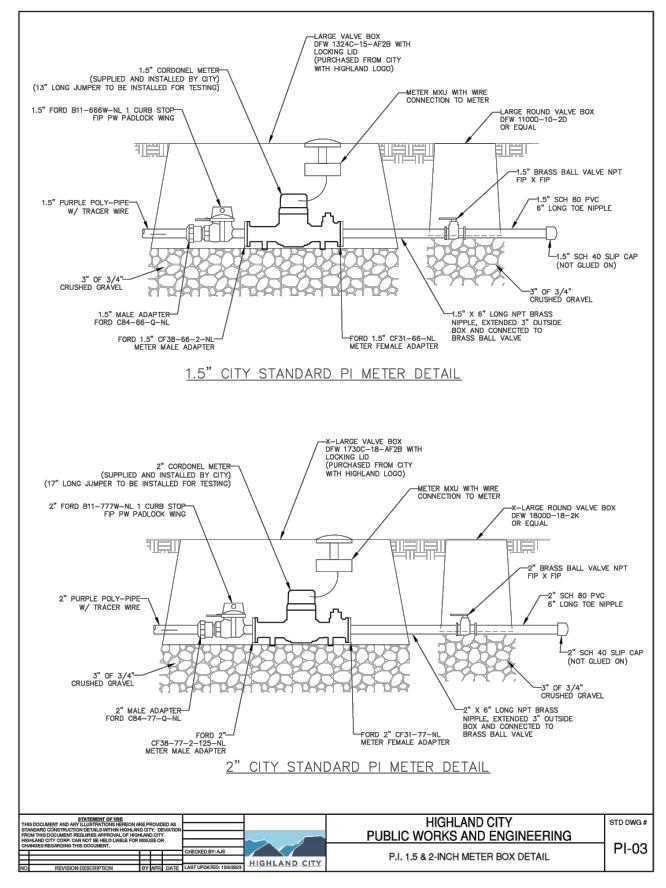
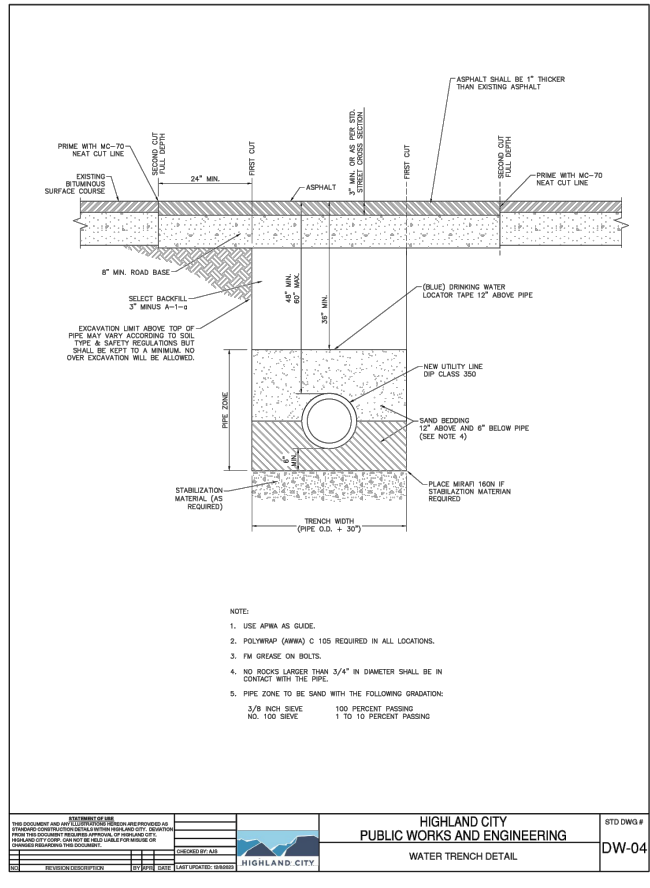
RIDGEVIEW POD B PLATO
 HIGHLAND CITY, UT
 DETAILS

REVISION BLOCK

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DETAILS

Scale: N/A Drawn: KV
 Date: 02/25/26 Job #: 24-0391
 Sheet: D3



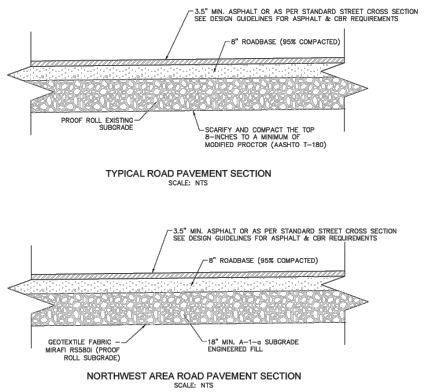
FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
DETAILS

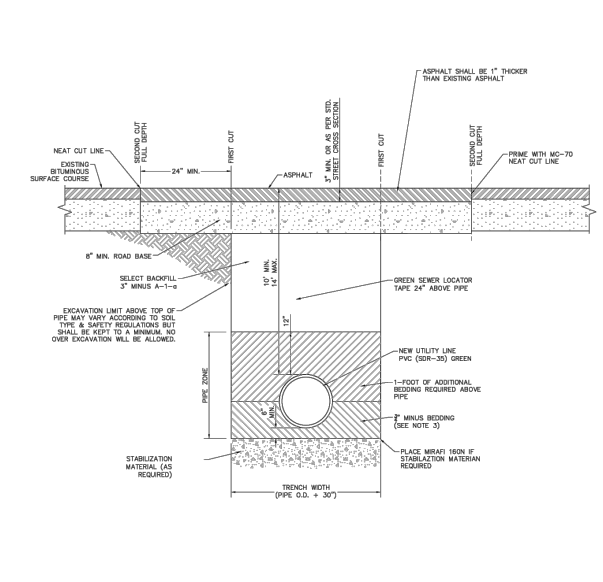
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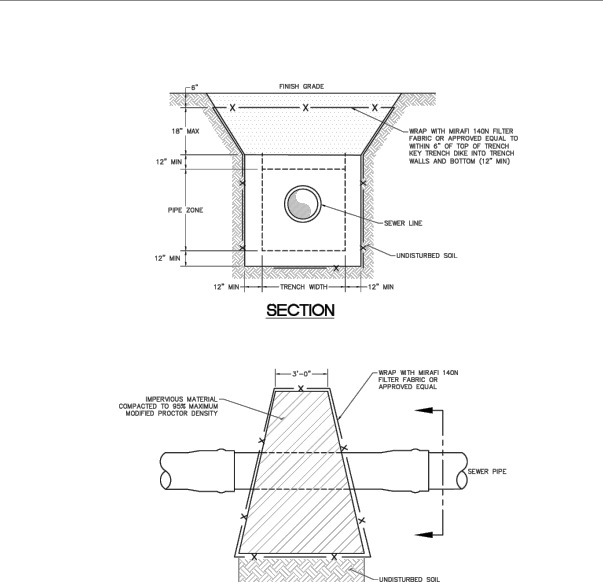
- NOTE:
1. ALL ASPHALT PLACED SHALL BE PER APWA LATEST SPECIFICATION.
 2. ASPHALT TO BE PG 58-28 FOR CLASS 1 ROADS OR 64-34 FOR CLASS 2 AND CLASS 3 ROADS PER APWA 30.12.05. ROAD CLASS DEFINITION PER APWA 30.12.05.
 3. SMOOTHNESS TO BE PER APWA SPEC WITH NO MORE THAN 8" BUMP.
 4. ALL SUBGRADE OR VALLES SHALL BE IDENTIFIED.
 5. IF A SUBGRADE IS FOUND TO HAVE A CRACK ABOVE 10, THEN THE TYPICAL ROAD PAVEMENT SHALL BE FOLLOWED.
 6. IF A CRACK IS FOUND TO BE BELOW THE NORTHWEST AREA ROAD PAVEMENT SECTION SHALL BE FOLLOWED.
 7. IF A CRACK IS FOUND TO BE BELOW THE NORTHWEST AREA ROAD PAVEMENT SECTION OR A MORE ROBUST SECTION THAN CITY MINIMUM IF DETERMINED NECESSARY BY THE GEOTECHNICAL ENGINEER.



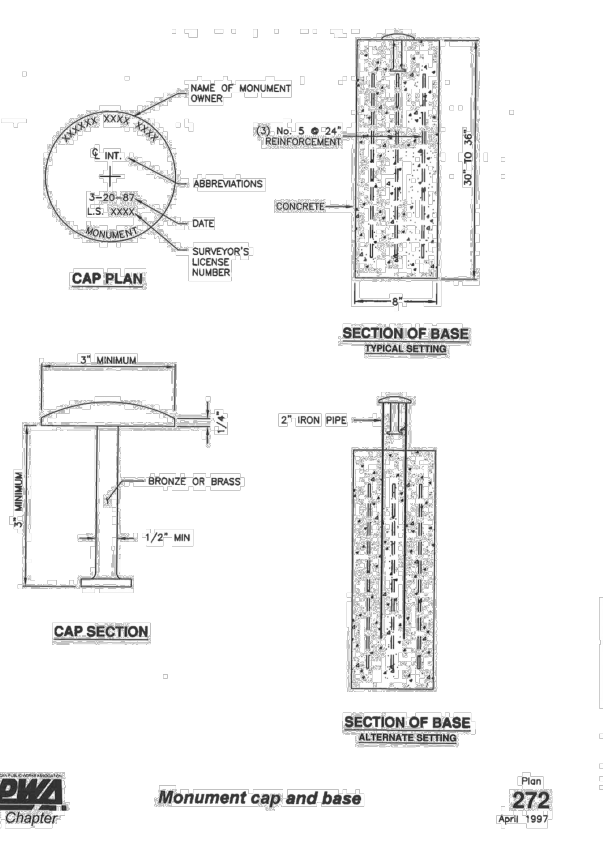
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING		STD DWG #
PAVEMENT SECTION DETAIL		ST-03



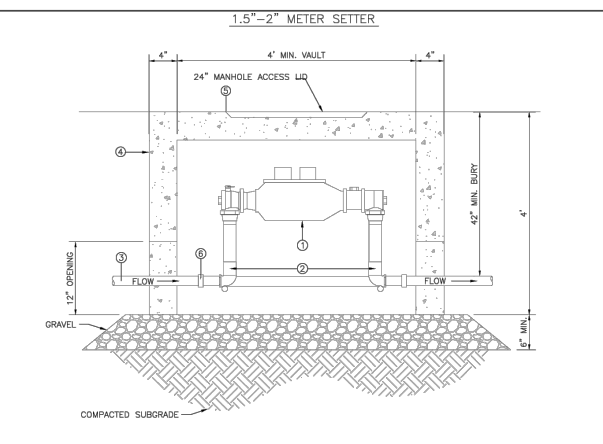
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING		STD DWG #
SEWER INSTALLATION AND ROAD REPAIR		SS-02



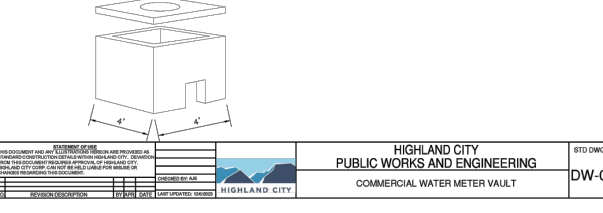
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING		STD DWG #
TRENCH DIKE DETAIL		SS-06



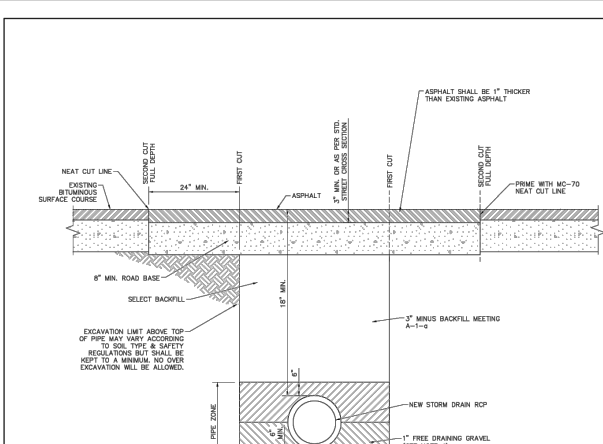
		Plan
		272
		April 1997



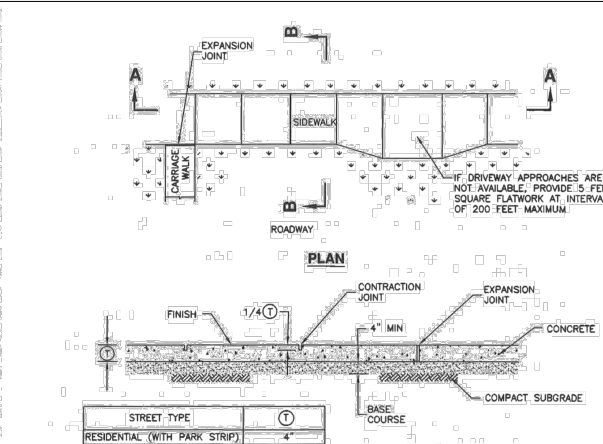
#	PART	MANUFACTURER MODEL/ CAT. NO.
1.	1.5"-2" COMPOUND METER	FURNISHED BY HIGHLAND CITY
2.	1.5"-2" METER SETTER	FERRO VENT 42-18 OR VENT 46-18 WITH PADLOCK RING 18" RISE MAELLER 11-1472-2
3.	1.5"-2" TYPE "K" SOFT COPPER ROLLED TUBING OR BLUE POLY (CTS)-NSF APPROVED	
4.	4"x4" PRECAST CONCRETE METER VAULT	(OR APPROVED EQUIVALENT)
5.	MAN HOLE LID	LID SHALL BE MARKED WATER AND HAVE A RECESSED HOLD FOR MKU. DBL. A-1180-711 MP.
6.	1.5"-2" COMPRESSION	
7.	SERVICE SADDLE - DOUBLE STRAP - STAINLESS STEEL	NYLON-COATED ROMAC TYPE 202-NS
		ROMAC TYPE 202-B



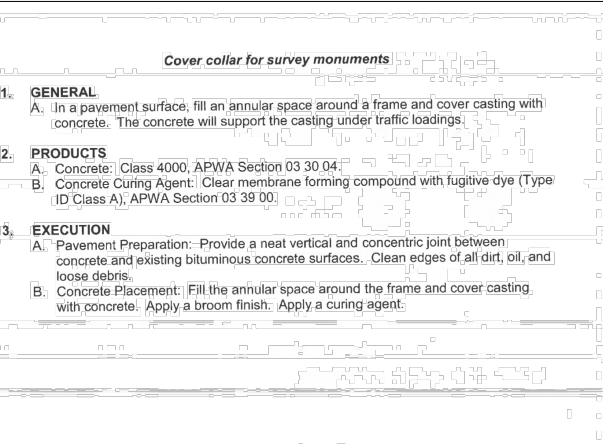
HIGHLAND CITY PUBLIC WORKS AND ENGINEERING		STD DWG #
COMMERCIAL WATER METER VAULT		DW-02



HIGHLAND CITY PUBLIC WORKS AND ENGINEERING		STD DWG #
STORM DRAIN TRENCH CROSS SECTION		SD-02



		Plan
		231
		March 2008



1. GENERAL
 - A. In a pavement surface, fill an annular space around a frame and cover casting with concrete. The concrete will support the casting under traffic loadings.
2. PRODUCTS
 - A. Concrete: Class 4000, APWA Section 03 30 04
 - B. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00
3. EXECUTION
 - A. Pavement Preparation: Provide a neat vertical and concentric joint between concrete and existing bituminous concrete surfaces. Clean edges of all dirt, oil, and loose debris.
 - B. Concrete Placement: Fill the annular space around the frame and cover casting with concrete. Apply a broom finish. Apply a curing agent.



		Plan
		275

FOR REVIEW ONLY

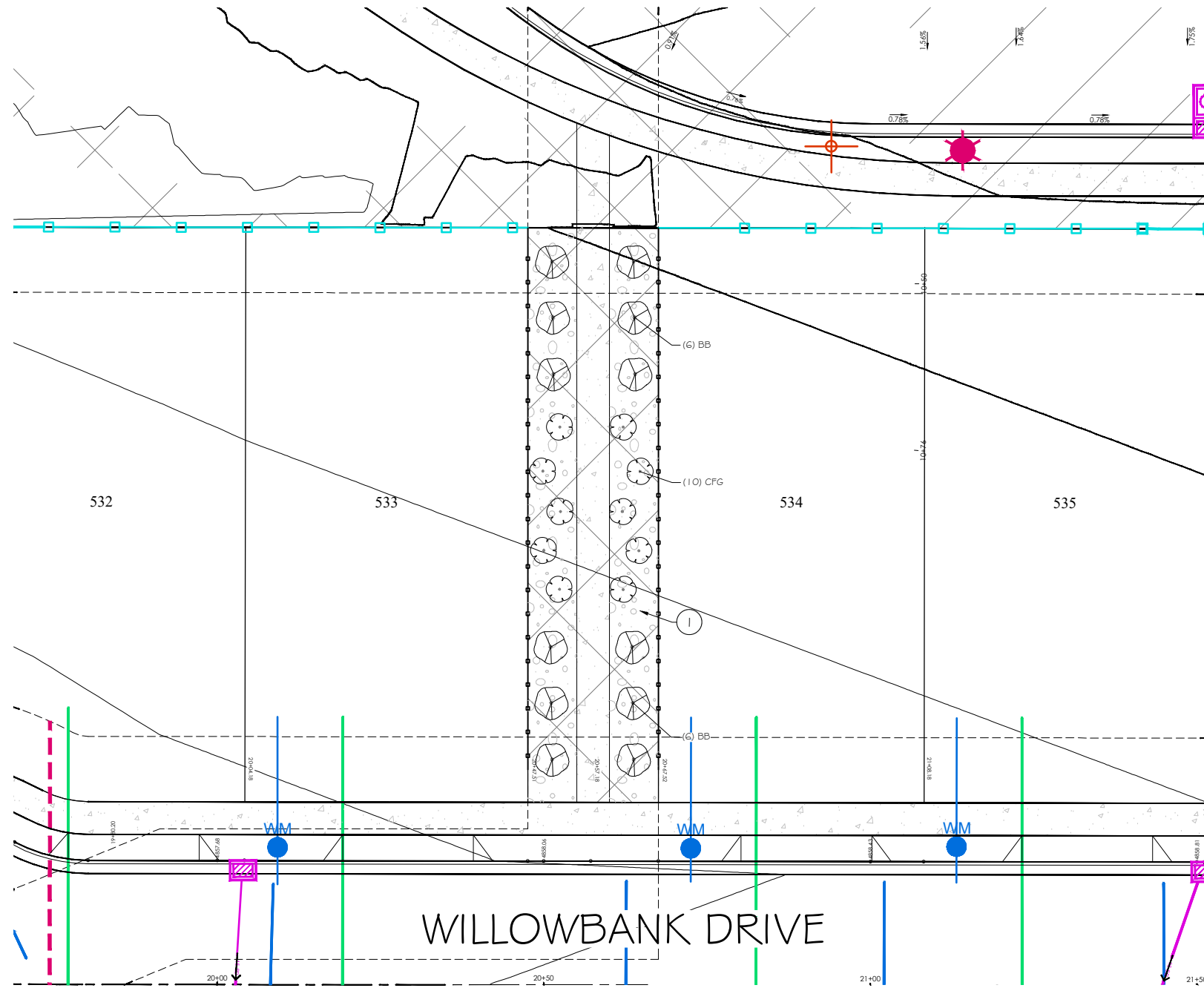
RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
DETAILS

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DETAILS

Scale:	N/A	Drawn:	KV
Date:	02/25/26	Job #:	24-0391
Sheet:	D5		

24-2024-0391 ridgeview pod b plat o design 240391 (dwg details) 05 - DETAILS.dwg



LANDSCAPE NOTES

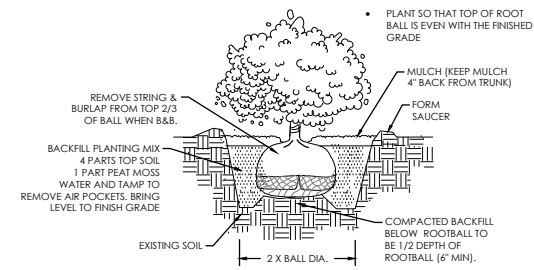
1. LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
2. TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
3. INSTALL STEEL EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.
4. CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
6. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
SHRUBS					
BB	Buddleja davidii 'Tobudmidn'	Buzz™ Midnight Butterfly Bush	5 gal.	12	
CFG	Caragana frutex 'Globosa'	Globe Russian Peashrub	5 gal.	10	

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	(1)	DECORATIVE ROCK, TYPE T.B.D.	1,312 sf



A SHRUB PLANTING
NOT TO SCALE

FOR REVIEW ONLY

RIDGEVIEW POD B PLAT O
HIGHLAND CITY, UT
LANDSCAPE PLAN



GRAPHIC SCALE



REVISION BLOCK	DATE	DESCRIPTION
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LANDSCAPE PLAN

Scale: 1"=10'
Date: 02/25/26
Job #: 24-0391
Drawn: MH
Sheet:

L1.0



24_2024-02-25-0391_ridgeview-pod-b-plat-o-landscape-plan.dwg



FINAL REVIEW COMMENTS
March 10, 2026

Plat Comments:

1. Plat must receive final review from JUB and Utah County for conformance and recordability.
2. Surrounding plats are Pod B, not Plat B, and Plat N/M/L/J not Phase N/M/L/J.
3. Parcel A shows a line with bearing and distance north of lot 534. Justify or, if not necessary, remove prior to printing.
4. Describe Parcel B in note 10 as subject to utility easement.

Sheet C3:

5. Move PI service to north side of valve for lot 530.
6. Callout for trail references a cross section that was not provided. Provide cross section for trail/Parcel B.
7. Show and label PI service for lots 532 to 543, even if it is on the adjacent lot 450.
8. Label PI service for lots 544 to 554.
9. Show proposed roadway monument on this sheet.

Sheet C4:

10. Label rear lot sump for lot 531.
11. Provide alternative solution for catch basin inlets being on top of the existing 12" DIP potable waterline.
12. Show and label PI service for lot 555.
13. Sump 501 is not existing. It will be a new sump. The volume of this sump can be adjusted to be what it needs to be based on what happens with 10100 N.

Sheet C6:

14. Show ALL secondary PI meters. Even if they are in adjacent plats. They need to be identified for EACH lot on this plat.

Drainage Report:

15. Report needs to be updated to include all rear lot sumps (including sump 501 - see also comment #15).

Other: 10100 North plans must be revised – see separate condition of approval.