

NOTICE OF MEETING  
PLANNING COMMISSION  
CITY OF ST. GEORGE  
WASHINGTON COUNTY, UTAH

Public Notice

Notice is hereby given that the Planning Commission of the City of St. George, Washington County, Utah, will hold a **Planning Commission** meeting in the City Council Chambers, 61 S Main St, St George, Utah, on **Tuesday, March 10, 2026**, commencing at **5:00 p.m.**

The agenda for the meeting is as follows:

Call to Order

Flag Salute

Call for Disclosures

**1. PLANNED DEVELOPMENT AMENDMENT White Dome Apartments – PUBLIC HEARING**

Consider a request for an amendment to the White Dome Apartments residential area. The applicant is seeking approval to add signs to the White Dome Apartments Planned Development. The site is generally located east of River Road and north of White Dome Drive. The applicant is DSG Engineering Inc., and the representative is Ryan Thomas. Case No. 2026-PDA-003 (Staff – Brian Dean)

**2. PLANNED DEVELOPMENT AMENDMENT Avenidas at Hidden Valley – PUBLIC HEARING**

Consider a request for an amendment to the Hidden Valley Planned Development (PD). The applicant is proposing to develop Areas 3.5 and 3.7 of the project, identified as Avenidas at Hidden Valley Phases 3 and 4. The 11.69-acre site is located south of Hidden Valley Drive, west of Rio Road, and is planned to include 45 single-family homes. The applicant is Bush & Gudgell and the representative is Bob Hermandson. Case No. 2026-PDA-004 (Staff – Brian Dean)

**3. PRELIMINARY PLAT Avenidas at Hidden Valley** – Consider a request for a 45-lot preliminary plat located south of Hidden Valley Drive and west of Rio Road on approximately 11.69 acres. The applicant is Bush & Gudgell and the representative is Bob Hermandson. Case No. 2026-PP-004 (Staff – Brian Dean)

**4. ZONE REGULATION AMENDMENT Retaining Wall Ordinance – PUBLIC HEARING**

Consider a request for an amendment to the St George City Ordinance Title 10 Section 18 Fences and Retaining Walls to allow for the increase in height for retaining walls within the front yard and side yard setbacks. The changes are to only allow these height increases within the Hillside Overlay Zone and the Desert Canyon, Desert Color and Tonaquint developments. The applicant is Rosenberg Associates, and the representative is Jared Bates. Case No. 2026-ZRA-001 (Staff – Wes Jenkins)

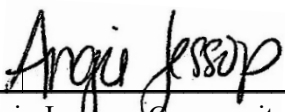
**5. MINUTES**

Consider a request to approve the meeting minutes from the February 24, 2026, meeting.

**6. CITY COUNCIL ACTIONS**

*Report on items heard at the April 2, 2026, City Council meeting.*

- 1. R-1 Zone Proposal*
- 2. General Plan Code Amendment R-1 Addition*
- 3. Sage Haven Ph 22-33*
- 4. Trails East*
- 5. Dixie Dr GPA*



Angie Jessop – Community Development Office Supervisor

**March 6, 2026**

Date

Reasonable Accommodation: The City of St. George will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs. Please contact the City Human Resources Office at (435) 627-4674 at least 24 hours in advance if you have special needs.

**PLANNING COMMISSION AGENDA REPORT: 03/10/2026**

<b>White Dome Apartments Signs</b> Planned Development Amendment (Case No. 2026-PDA-003)	
<b>Request:</b>	Consider an amendment to an approved PD-R (Planned Development Residential) covering approximately 8.11 acres, located on the east side of River Road and north of White Dome Drive for the purpose of adding signage for the White Dome Apartments Development.
<b>Applicant:</b>	DSG Engineering INC
<b>Representative:</b>	Ryan Thomas
<b>Location:</b>	Generally located on the east side of River Road and north of White Dome Drive.
<b>General Plan:</b>	HDR (High Density Residential)
<b>Existing Zoning:</b>	PD-R (Planned Development Residential)
<b>Surrounding Zoning:</b>	North OS (Open Space)
	South PD-C (Planned Development Commercial)
	East PD-R (Planned Development Residential)
	West R-1-10 (Single Family Residential)
<b>Land Area:</b>	Approximately 8.11 acres



### **BACKGROUND:**

In March of 2021, the City Council approved the Southern Hills – West Area Zone Plan (2021-ZC-014). Included as part of the approval was Area 9 which included five, 160 unit 4-story apartments. In December of 2021, the City Council approved an amendment to Area 9 called the White Dome Apartments Planned Development with layout and zoning requirements (2021-ZCA-083). The project is currently under construction, and 3 of the 5 buildings in Area 9 have certificates of occupancy. No signage was proposed at this time, and any future signage would be required to meet Title 9-13 of the City Code.

### **SIGN PROPOSAL**

The applicant is proposing signage (attached as exhibit “A”) to the White Dome Apartments Development which includes the signs for the project which would be placed adjacent to River Road and White Mountain Drive. The proposed signage varies from the current city ordinance, however, within a PD applicants can submit and present signage that may vary from the ordinance to the Planning Commission and City Council to review and potentially approve.

When determining the allowed signage in a residential zoning district for residential developments, section 9-13-4(A) of the St. George city code is consulted. Subsection A-1 states that residential developments located in residential zoning districts are allowed:

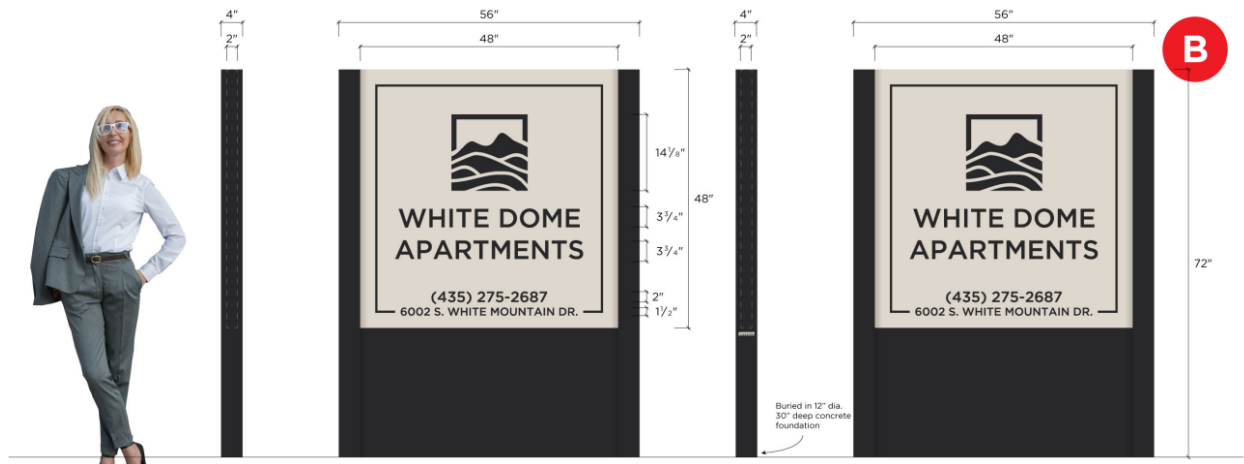
1. Two (2) low profile signs located at the entrance of the development.
2. Shall be at least 10’ from the property line.
3. Shall be incorporated into a landscape design or planter box.
4. Shall be no more than 4’ in height measured from finish grade.
5. Shall be limited to 16 sq ft of sign area.
6. Shall be limited to two (2) signs for each subdivision.
7. Shall contain no animation.
8. Can be illuminated if the source is not visible.

The applicant is requesting two types of signs, an 88” (7.34’) monument sign and two 72” (6’) monument signs. Images of the proposed signs are attached throughout the report and within the presentation attached as exhibit “A”.

**Monument Sign A** – This monument sign will be located approximately 2.5’ from the west property line along River Road and exceeds the 4’ maximum height limit. This sign is 88” (7.34’) which is 40” (4.34’) taller than allowed. The height of this sign will increase visibility especially when traveling south on River Road as the road lowers in elevation.



Monument Signs B - These proposed signs, located near the accesses on the east side of the development, are 72" (6') in height, which are larger than the 48" (4') sign code allows. Additionally, code only allows for two total signs per subdivision. These two signs along with the one monument sign located on River Road exceed code. The question before the Planning Commission is whether three total signs, all exceeding maximum heights, in their proposed locations, and their proposed design are appropriate for this development.



**RECOMMENDATION:**

Staff recommends that the Planning Commission considers the proposed signage and the surrounding development and consider the following comments:

1. The applicant is asking for an exception on the height of the monument and freestanding signs which are allowed under the city ordinance.
2. The Planning Commission and City Council will need to decide if the proposed plan is consistent with the city ordinance and fits the nature of the area.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with conditions.
3. Recommend denial of this request.
4. Continue the proposed PD amendment to a specific date.

**FINDINGS FOR APPROVAL:**

1. City Council may alter the requirements found in the sign code through a PD amendment process.
2. These signs would help maintain a cohesive design theme throughout the development while preventing visual clutter by regulating sign design, quantity, size, and location.
3. The Joint Utility Committee has approved the locations and heights of signs located in the easements helping regulate heights along power lines, locations in order to not disturb underground utilities, and maintain public safety by keeping sight triangles clear.

## **Exhibit A**

### **Proposed Signage Plan**



COLORS RENDERED HERE MAY NOT REPRESENT THE ACTUAL FINISH - REFER TO COLOR CALL-OUTS FOR MORE ACCURATE COLOR SPECIFICATIONS



SALESPERSON: Nick Davis

PROJECT: Monument Sign

ADDRESS: South River Rd.  
St. George, UT 84790

DESIGNER: Nick Davis

COMPANY: DSG Engineering

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CUSTOMER APPROVAL

LANDLORD APPROVAL



**COLORS RENDERED HERE MAY NOT REPRESENT THE ACTUAL FINISH - REFER TO COLOR CALL-OUTS FOR MORE ACCURATE COLOR SPECIFICATIONS**



SALESPERSON: Nick Davis  
DESIGNER: Nick Davis

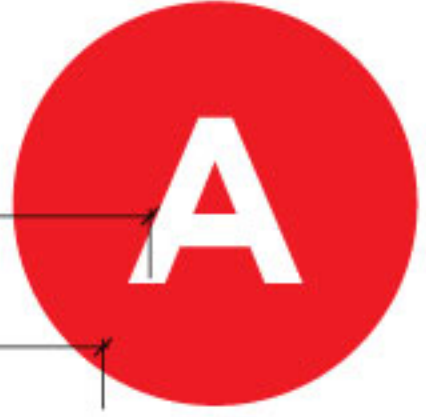
PROJECT: Monument Sign  
COMPANY: DSG Engineering

ADDRESS: South River Rd.  
St. George, UT 84790

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CUSTOMER APPROVAL

LANDLORD APPROVAL



Inspiration



Monument:  
88" (h) x 120" (w) x 24" (d)

Sign Area:  
22" (h) x 80.625" (w) x .125" (d)

**DIMENSIONS**

Qty 1

Aluminum monument sign with internal steel structure

1/8" thick aluminum flat cut out (FCO) lettering mounted 1/2" from monument as shown

Non-illuminated

**SCOPE OF WORK**

-  Paint - SW 9109 - Satin Finish
-  Paint - SW 7048 - Satin Finish
-  Paint - SW 6157 - Satin Finish
-  Paint - SW 9115 - Satin Finish
-  Stone - By Client (approx. 46 sf)

**COLORS**

**COLORS RENDERED HERE MAY NOT REPRESENT THE ACTUAL FINISH - REFER TO COLOR CALL-OUTS FOR MORE ACCURATE COLOR SPECIFICATIONS**



SALESPERSON: Nick Davis

DESIGNER: Nick Davis

PROJECT: Monument Sign

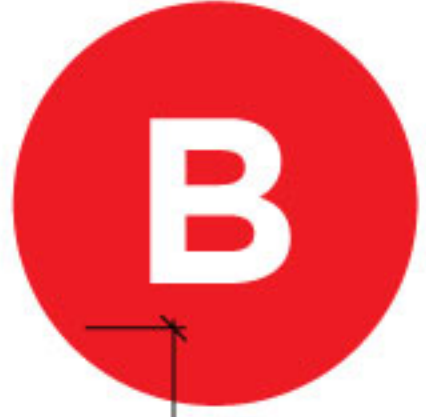
COMPANY: DSG Engineering

ADDRESS: South River Rd.  
St. George, UT 84790

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CUSTOMER APPROVAL

LANDLORD APPROVAL



Inspiration



Monument:  
72" (h) x 60" (w) x 8" (d)

Sign Area:  
15.75" (h) x 44.375" (w)

**DIMENSIONS**

Qty 2

Aluminum post and panel with internal steel structure

3M vinyl lettering mounted to the face of sign panel as shown

Non-illuminated

**SCOPE OF WORK**

Paint - SW 7048 - Satin Finish

Paint - SW 9109 - Satin Finish

Vinyl - Duranodic Bronze

**COLORS**

**COLORS RENDERED HERE MAY NOT REPRESENT THE ACTUAL FINISH - REFER TO COLOR CALL-OUTS FOR MORE ACCURATE COLOR SPECIFICATIONS**



SALESPERSON: Nick Davis

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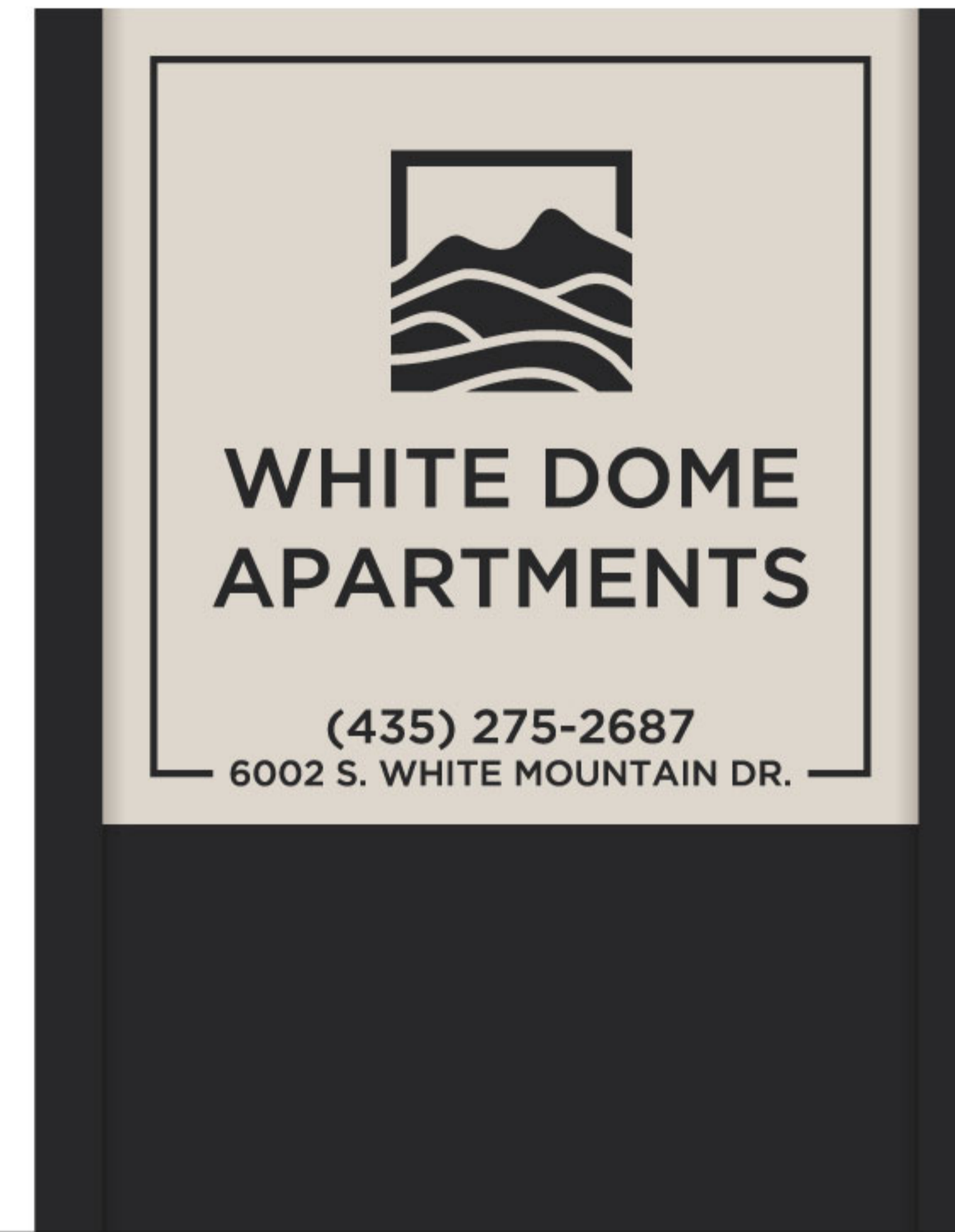
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**A** Qty 1



**B** Qty 2



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CUSTOMER APPROVAL

LANDLORD APPROVAL

## **Exhibit B**

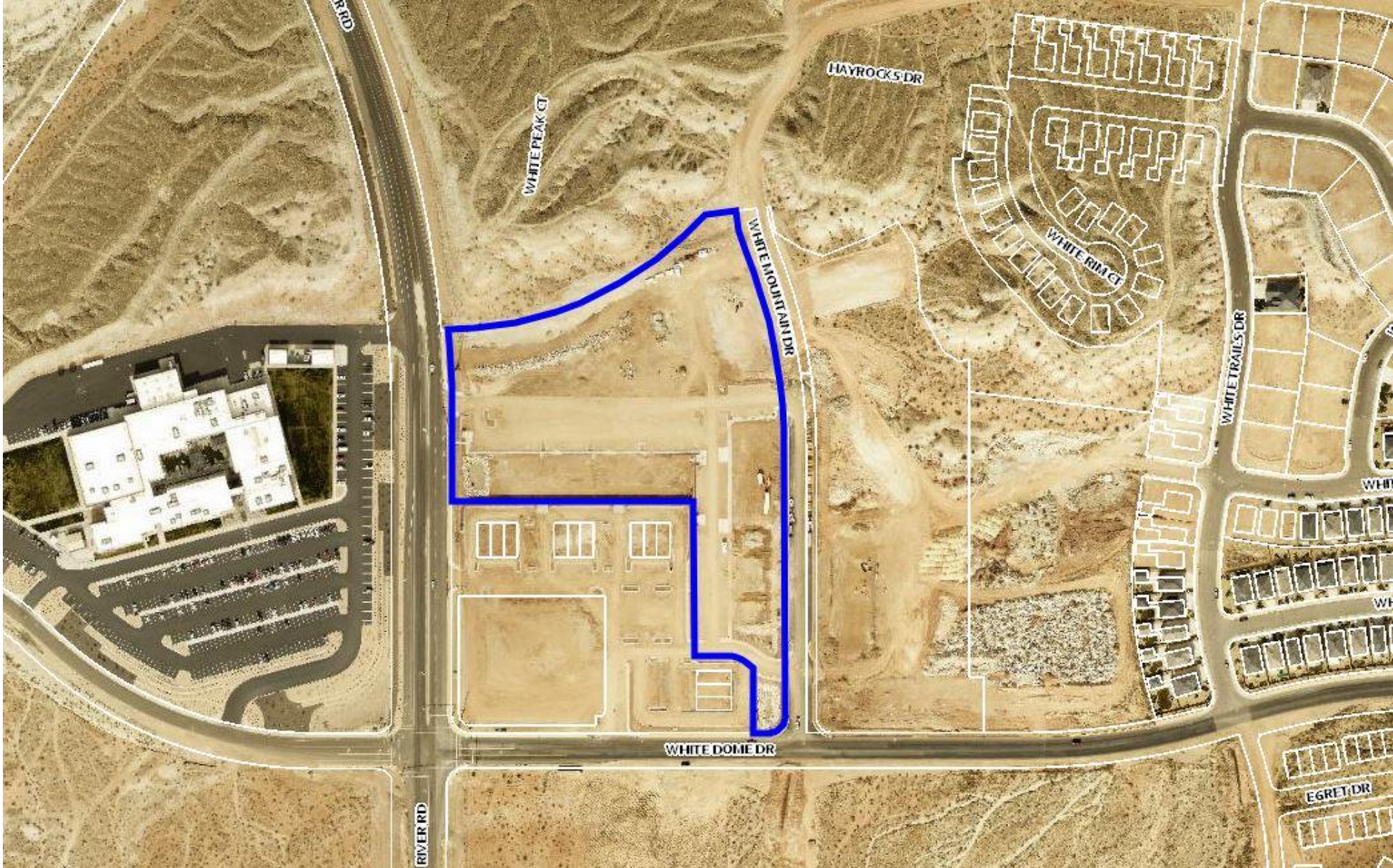
### **PowerPoint Presentation**



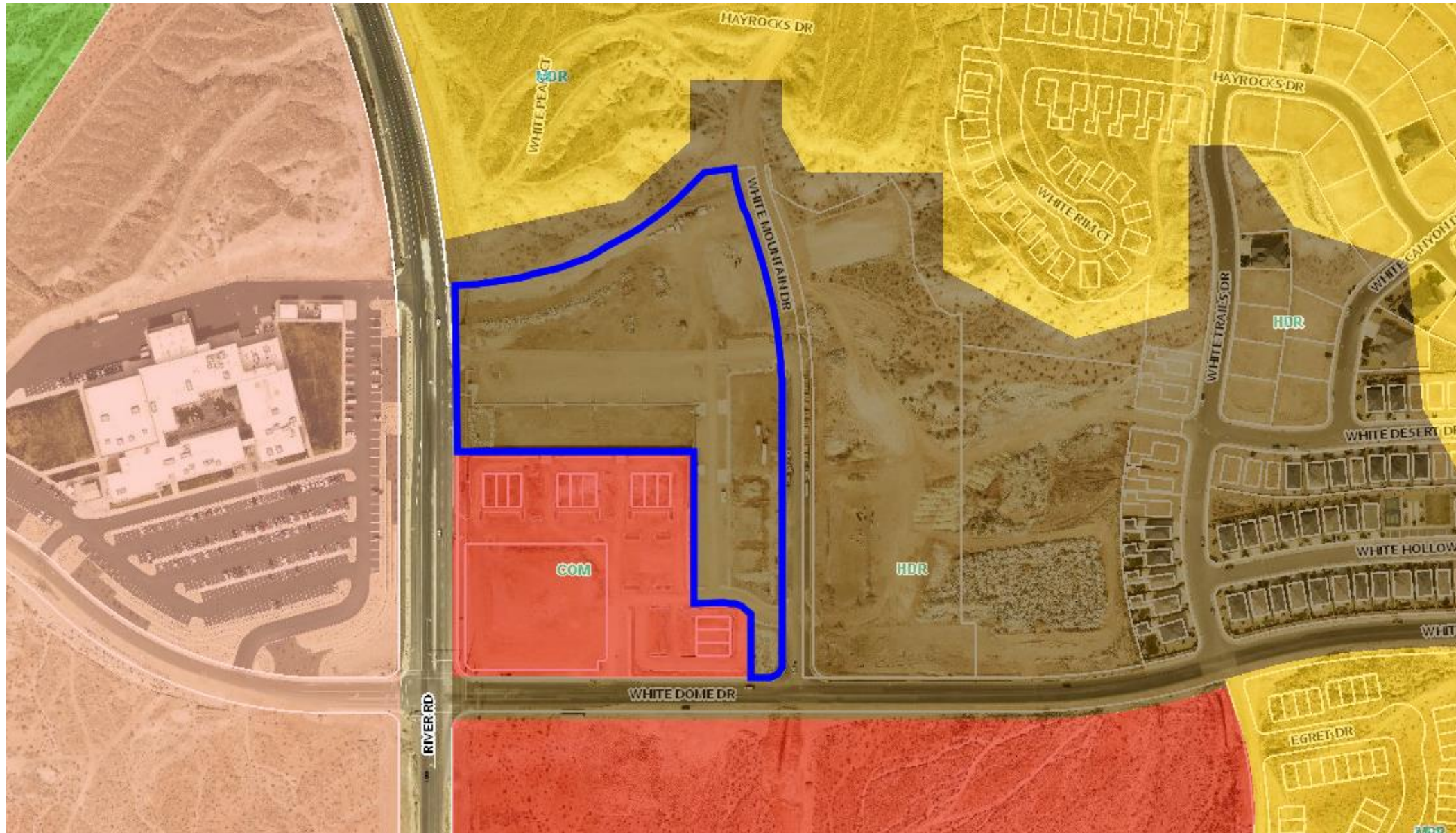
# White Dome Apartments Signs

2026-PDA-003

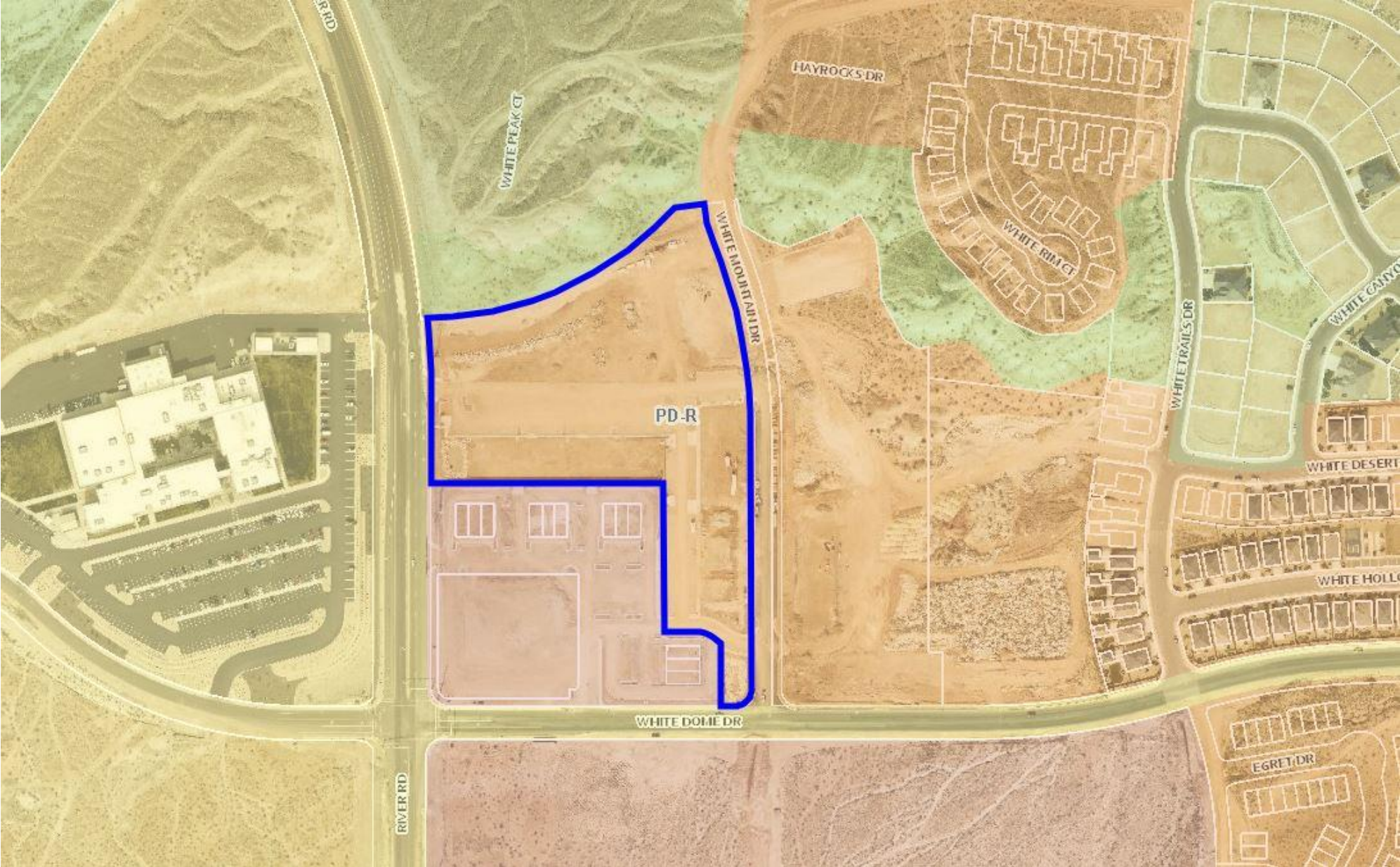
# Aerial Map



# Land Use Map



# Zoning Map



# Areas 8 & 9



# Area Map



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CUSTOMER APPROVAL

LANDLORD APPROVAL

# West Monument Sign

City Code Residential Zone sign allowances:

- Two permanent low-profile signs
- Limited to 48" in height
- Only two signs per subdivision

Application:

- Three signs total
- 88" monument
- Two 72" Freestanding



**DIMENSIONS**

Monument:  
88" (h) x 120" (w) x 24" (d)

Sign Area:  
22" (h) x 80.625" (w) x .125" (d)

**SCOPE OF WORK**

Qty 1

Aluminum monument sign with internal steel structure

1/8" thick aluminum flat cut out (FCO) lettering mounted 1/2" from monument as shown

Non-illuminated

**COLORS**

- Paint - SW 9109 - Satin Finish
- Paint - SW 7048 - Satin Finish
- Paint - SW 6157 - Satin Finish
- Paint - SW 9115 - Satin Finish
- Stone - By Client (approx. 46 sf)



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	DESIGNER: Nick Davis	COMPANY: DSG Engineering				

# West Monument Sign



COLORS RENDERED HERE MAY NOT REPRESENT THE ACTUAL FINISH - REFER TO COLOR CALL-OUTS FOR MORE ACCURATE COLOR SPECIFICATIONS

	SALESPERSON: Nick Davis	PROJECT: Monument Sign	ADDRESS: South River Rd. St. George, UT 84790	<b>© 2025 RAINBOW SIGN &amp; BANNER</b> <small>THIS DRAWING IS COPYRIGHTED AND WAS CREATED TO ASSIST YOU IN VISUALIZING OUR PROPOSAL. IT MAY NOT BE COPIED OR REVISED IN ANY FORM. THE ORIGINAL IDEAS HEREIN ARE THE EXCLUSIVE PROPERTY OF RAINBOW SIGN &amp; BANNER UNTIL TRANSFERRED BY SALE.</small>	CUSTOMER APPROVAL <input type="checkbox"/>	LANDLORD APPROVAL <input type="checkbox"/>
	DESIGNER: Nick Davis	COMPANY: DSG Engineering				

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# East Monument Signs

City Code Residential Zone sign allowances:

- Two permanent low-profile signs total
- Limited to 48" in height
- Only two signs per subdivision
- Incorporated into a landscape design or planter box



Application:

- Three signs total
- 88" monument
- Two 72" monument

Monument:  
72" (h) x 60" (w) x 8" (d)

Sign Area:  
15.75" (h) x 44.375" (w)

**DIMENSIONS**

Qty 2

Aluminum post and panel with internal steel structure

3M vinyl lettering mounted to the face of sign panel as shown

Non-illuminated

**SCOPE OF WORK**

Paint - SW 7048 - Satin Finish

Paint - SW 9109 - Satin Finish

Vinyl - Duranodic Bronze

**COLORS**

Inspiration



**COLORS RENDERED HERE MAY NOT REPRESENT THE ACTUAL FINISH - REFER TO COLOR CALL-OUTS FOR MORE ACCURATE COLOR SPECIFICATIONS**

	SALESPERSON: Nick Davis	PROJECT: Monument Sign	ADDRESS: South River Rd. St. George, UT 84790	<b>© 2025 RAINBOW SIGN &amp; BANNER</b> <small>THIS DRAWING IS COPYRIGHTED AND WAS CREATED TO ASSIST YOU IN VISUALIZING OUR PROPOSAL. IT MAY NOT BE COPIED OR REVISED IN ANY FORM. THE ORIGINAL IDEAS HEREIN ARE THE EXCLUSIVE PROPERTY OF RAINBOW SIGN &amp; BANNER UNTIL TRANSFERRED BY SALE.</small>	CUSTOMER APPROVAL	LANDLORD APPROVAL
	DESIGNER: Nick Davis	COMPANY: DSG Engineering				

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**BACKGROUND:**

The property is located within the Hidden Valley Planned Development, originally approved in 1999 as part of the Hidden Valley & Fossil Hills Planned Development Zone Change application. The plan provides for a variety of residential densities in designated areas and is intended to be a family-oriented community with a focus on easy access to schools, parks, and the adjacent open space. The master plan for Hidden Valley encompasses approximately 659 acres and allows for the development of 1,699 total residential units.

When the Hidden Valley Planned Development was approved in 1999 there were plans to have an elementary school on the west side of Hidden Valley in the general area of this proposed project. The elementary school's location changed several times in the history of this development depending on the current demand in the area. In 2020, The Washington County School District declined to acquire the parcel of land set aside for this elementary school. This area would then become a residential area and part of the Avenidas at Hidden Valley Development. This Public Facilities location currently shows on our general plan map but was changed on the Hidden Valley Development Map with past projects.

As part of the Development Agreement (3-b) a 3.5-acre park will need to be dedicated to the City of St George by the developer before 400 certificates of occupancy have been issued by the City for units constructed in this project. The project is nearing this threshold where the park needs to be dedicated. The park will be constructed by the city and is currently in the construction drawing process.

**REQUEST:**

This Planned Development Amendment is in areas 3.5 and 3.7 of the Hidden Valley area, which covers approximately 11.7 acres and allows a density of 8 dwelling units per acre. The project is a continuation of the Avenidas at Hidden Valley single-family home development in previous phases to the east, with the most recent phases (1 & 2) approved in 2020. Consistent with the Development Agreement and approved planned development for Hidden Valley, the applicant is seeking approval of 45 single-family homes with a proposed density of approximately 4.6 dwelling units per acre.

Access to this new development will come from Rio Road on the east side and Hidden Valley Drive to the north of the project. The proposed site plan depicts 45 single-family homes in total. The homes would complement the single-family homes constructed in phase 1 and 2 to the east.

Parking: Under section 10-19-4(A)(4) of the St. George zoning code, each dwelling is required to provide two parking spaces, one of which must be covered. With 45 single-family dwellings, this yields a total requirement of 90 spaces. Each home will have a two-car garage which will satisfy the requirements for each lot.

Trail and Park Dedication Area: There is a 60' wash and trail corridor bisecting Avenidas at Hidden Valley Phases 3 & 4. Within the corridor there will be a 10' trail. The 3.5 acre

park to the west will be dedicated to the City of St. Geroge and will meet the requirements found in the Development Agreement (3-b).

**RECOMMENDATION:**

Staff recommends approval of this PD Amendment with no conditions.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with modified conditions.
3. Recommend denial of the request.
4. Continue the proposed PD amendment to a later date.

**FINDINGS FOR APPROVAL:**

1. The proposed amendment meets the requirements of Title 10-7F.
2. There will be adequate parking on site to facilitate development.
3. The park dedication will meet the requirements found in subsection 3-b of the Development Agreement.

**POSSIBLE MOTION:**

"I move that we forward a positive recommendation to the City Council for the PD Amendment for Avenidas at Hidden Valley Phases 3 & 4, Case No. 2026-PDA-004, based on the findings listed in the staff report."

**Exhibit A**  
**Applicants Narrative**



**Bush and Gudgell, Inc.**

**Engineers • Planners • Surveyors**

St. George, Utah

www.bushandgudgell.com

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## Planned Development Zone Change Narrative Avenidas at Hidden Valley Ph 3 & 4

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February 13, 2026

**Owners:** Ivory Southern, LLC  
1611 East 2450 South #4A  
St. George, UT 84790

### **Contact Persons:**

Skylar Tolbert, Ivory Development 801-520-9127, skylart@ivorydevelopment.com  
Rick Meyer, Bush & Gudgell, Inc. 435-673-2337, rmeyer@bushandgudgell.com

### **Purpose of Amendment:**

With this planned development secondary zone change request the applicant desires to provide the detailed information regarding the development of 12 acres of land. This land includes portions of parcels SG-5-3-18-436, SG-5-3-18-438, SG-5-3-18-340, & SG-5-3-13-121 and are located in areas 3.5 and 3.7 of the Hidden Valley land use plan (attached).

### **Overall Density Calculations and Updates:**

Areas 3.5 and 3.7 have allowable density of 8.0 units per acre. At this density 96 dwelling units are allowed in the proposed area. Phases 3 & 4 of Avenidas include 45 single family patio home lots. This provides for a density of 3.75 units per acre. Along with the proposed building lots, the proposal includes dedication to the city of a 60-foot trail and wash corridor which will bisect the subdivision. A portion of Rio Road on the east side of the proposed phases will be dedicated. Also, the internal streets are proposed 45-foot public roads to be dedicated to the street as well.

Proposed improvements for Hidden Valley Drive on the north and a park to the west are currently in the construction drawing process with the city. The park will be dedicated to the city. No other changes are proposed or implied with this application.

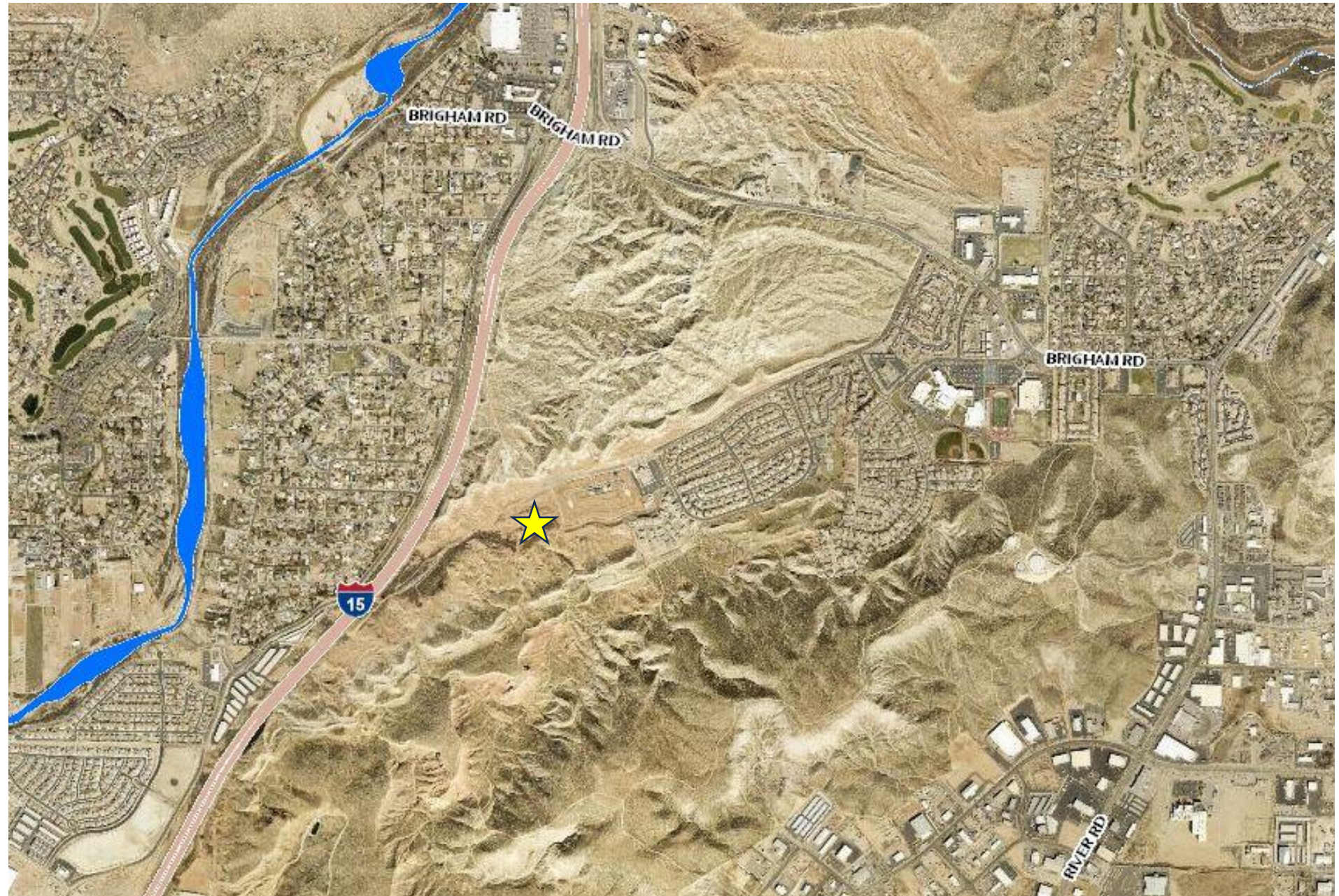
**Exhibit B**  
**PowerPoint Presentation**

A desert landscape featuring a dirt road on the left, a dense field of yellow wildflowers in the foreground, and a range of brown mountains in the background under a clear sky.

# Avenidas at Hidden Valley Phases 3 & 4 Planned Development Amendment

2026-PP-004

# Vicinity Map



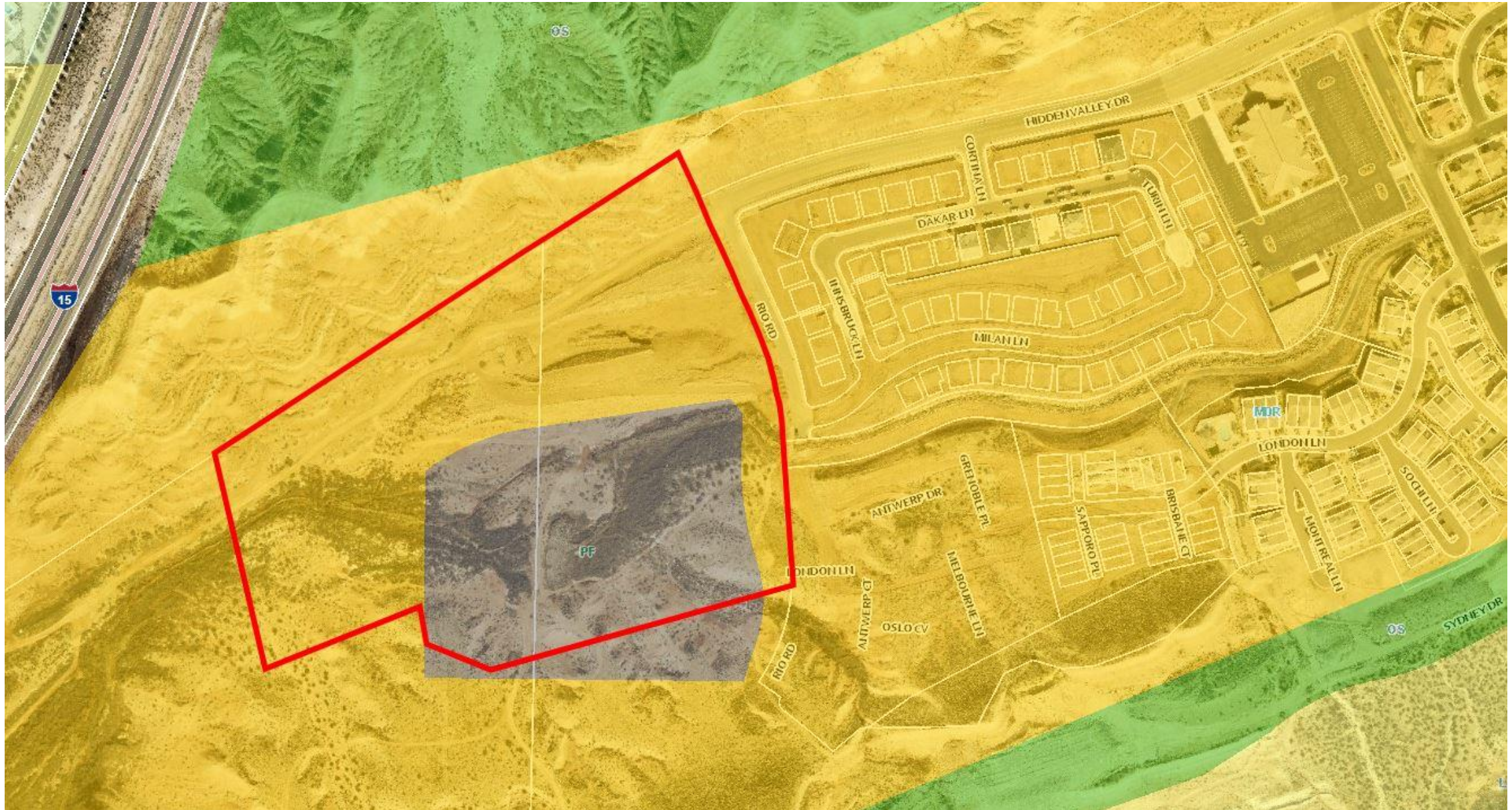
# Aerial Map



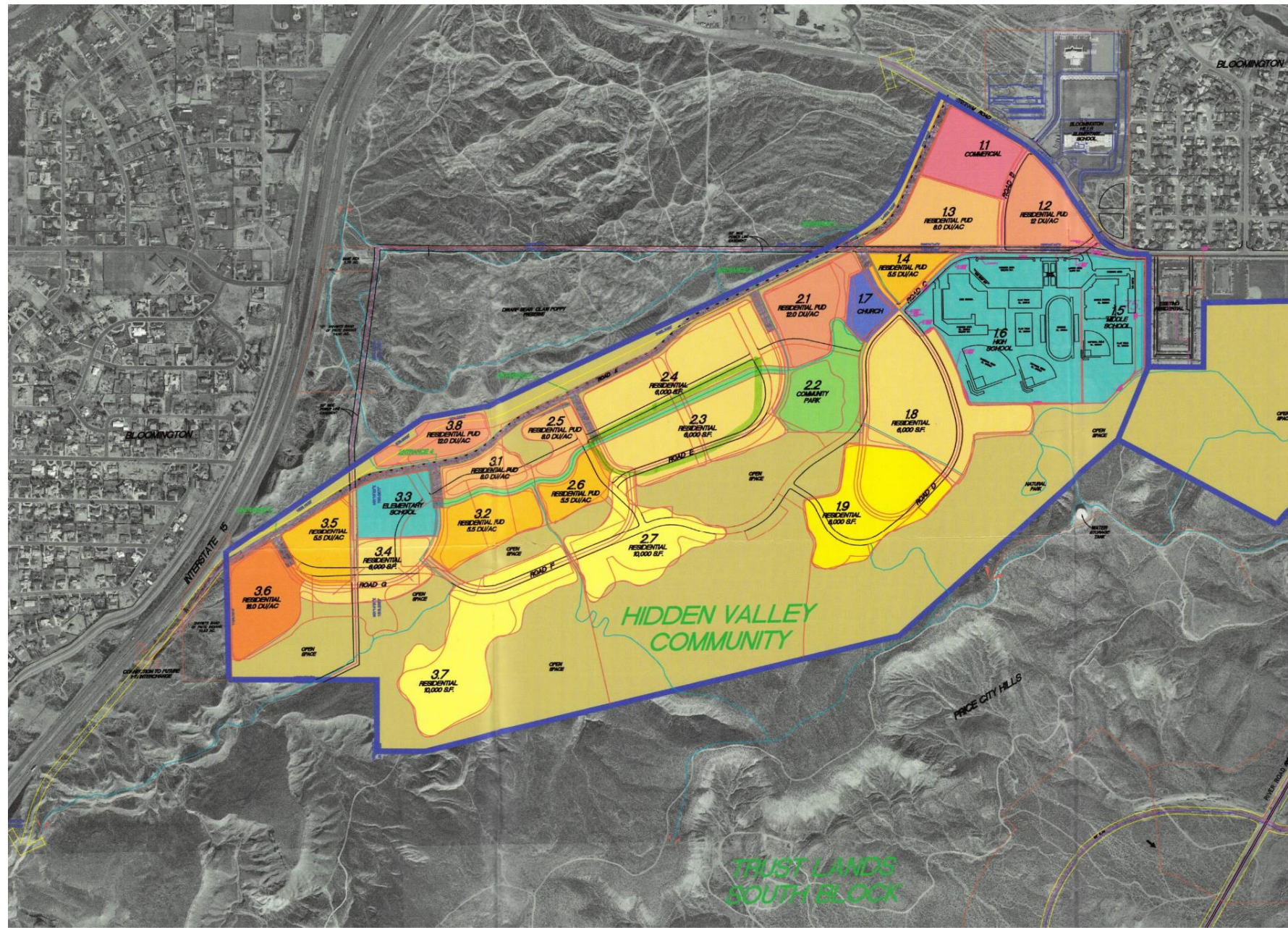
# Zoning Map



# Land Use Map



# Hidden Valley Land Use Plan (1999)

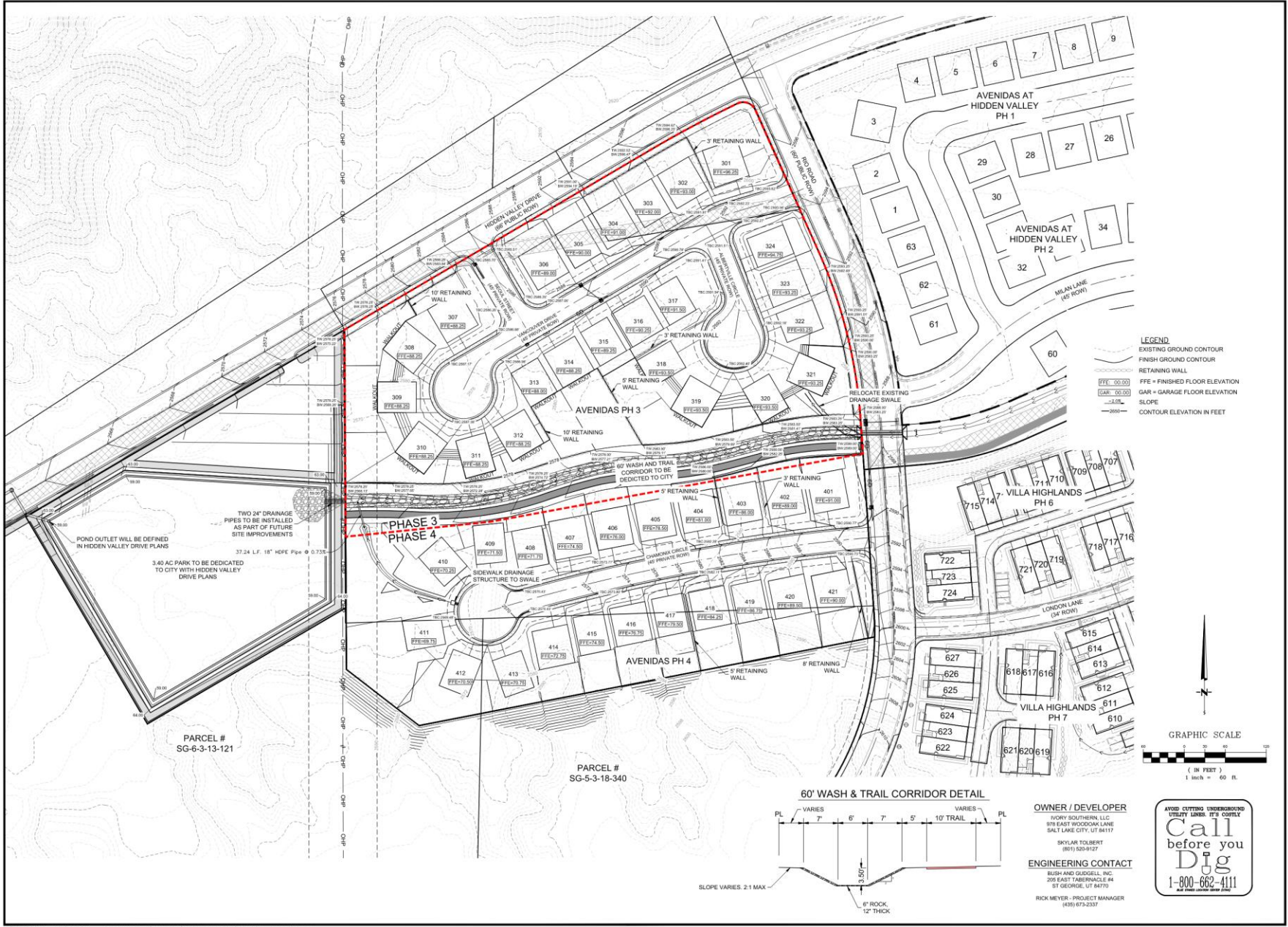








# Proposed Grading Plan





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**BUSH & GUDGELL, INC.**  
 Engineers - Planners - Surveyors  
 205 East Tabernacle Suite #4  
 St. George, Utah 84770  
 Phone (435) 673-2337 / Fax (435) 673-3161  
 www.bushandgudgell.com

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**GRADING PLAN**  
 AVENIDAS PH 3 & 4  
 LOCATED IN ST GEORGE, UTAH

---

DATE: FEB. 2024  
 DRAWN BY: [Redacted]  
 APPROVED BY: [Redacted]  
 SCALE: 1" = 60'

---

**OWNER / DEVELOPER**  
 INORY SOUTHERN, LLC  
 878 EAST WOODDAK LANE  
 SALT LAKE CITY, UT 84117  
 SKYLAR TOLBERT  
 (801) 520-8127

**ENGINEERING CONTACT**  
 BUSH AND GUDGELL, INC.  
 205 EAST TABERNALE #4  
 ST. GEORGE, UT 84770  
 RICK MEYER - PROJECT MANAGER  
 (435) 673-2337

---

**Call before you Dig**  
 1-800-662-4111

---

SHEET 3 OF 4  
 FILE 251091

# Proposed Utility Plan



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**BUSH & GUDGELL, INC.**  
 Engineers - Planners - Surveyors  
 205 East Towerhill Square #4  
 St. George, Utah 84770  
 Phone (435) 673-2337 / Fax (435) 673-3161  
 www.bushandgudgell.com

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**UTILITIES PLAN**  
 AVENIDAS PH 3 & 4  
 LOCATED IN ST. GEORGE, UTAH

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SHEET 4 OF 4  
 REF: 251091

# Recommendation

Staff recommends approval with no conditions

## Possible Motion

“I move that we forward a positive recommendation to the City Council for the PD Amendment for Avenidas at Hidden Valley Phases 3 & 4, Case No. 2026-PP-004, based on the findings listed in the staff report.”



**BACKGROUND & REQUEST:**

The property is located within the Hidden Valley Master Plan development, originally approved in 1999. The master plan encompasses over 659 acres and allows for the development of 1,699 total residential units. This preliminary plat is located in areas 3.5 and 3.7 of the Hidden Valley development and proposed 45 single-family home lots. The project is a continuation of the single-family home development, directly next to Avenidas of Hidden Valley Phases 1 & 2 to the east.

**RECOMMENDATION:**

Staff recommends approval of this preliminary plat with the following conditions:

1. That a final plat is recorded with each phase in compliance with Title 10, chapter 25 of the St. George municipal code.
2. Add Vancouver CIR, CT, CV, or PL to the cul-de-sac. Change Seoul Street to Seoul Lane. See attached.
3. The sewer out of phase 4 will need to be protected with easements and possibly dedicated r/w. An all-weather road shall be constructed on top of sewer.
4. Trail must be aligned when this section is installed. This may require removing a portion of the trail and curb/gutter that is already installed to make the adjustment. Please confirm that there is a mountable or modified curb for the trail crossing as well.
5. Pads shall meet required setback distances.
6. Separation distances between retaining walls and buildings shall meet retaining wall ordinance 10-18A.

**ALTERNATIVES:**

1. Approve as presented.
2. Approve with conditions.
3. Deny the application.
4. Continue the proposed preliminary plat to a later date.

**POSSIBLE MOTION:**

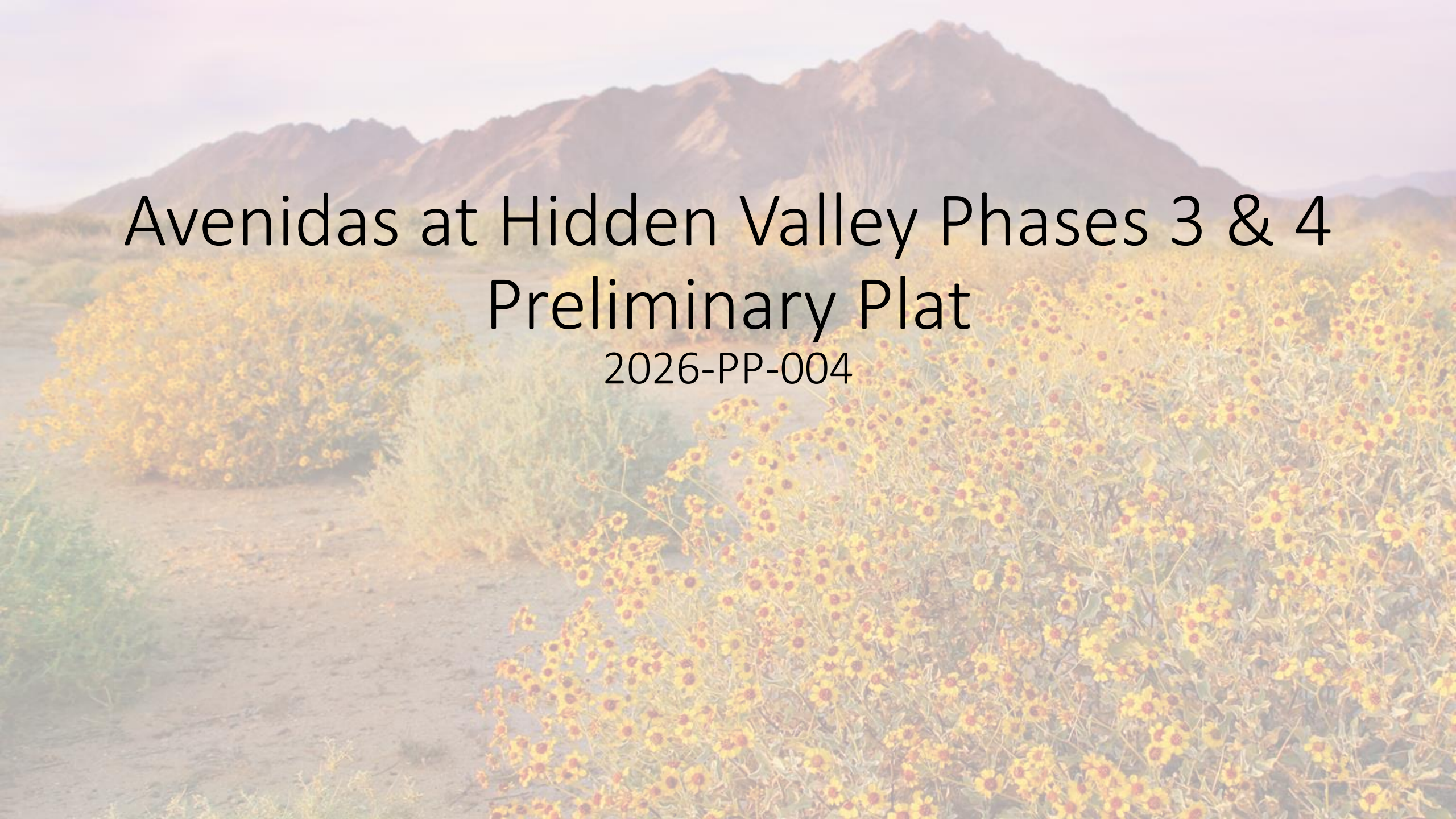
“I move that we approve the Avenidas at Hidden Valley Phase 3 & 4 Preliminary Plat request, Case No. 2026-PP-004, based on the findings and subject to the condition noted in the staff report.”

**FINDINGS FOR APPROVAL:**

1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. The proposed project meets the lot size and setback requirements found in 10-7F-5.
3. Approval of the preliminary plat is in the best interest of the health, safety, and welfare of the community.

PC 2026-PP-004  
Avenidas at Hidden Valley Phase 3 & 4  
Preliminary Plat

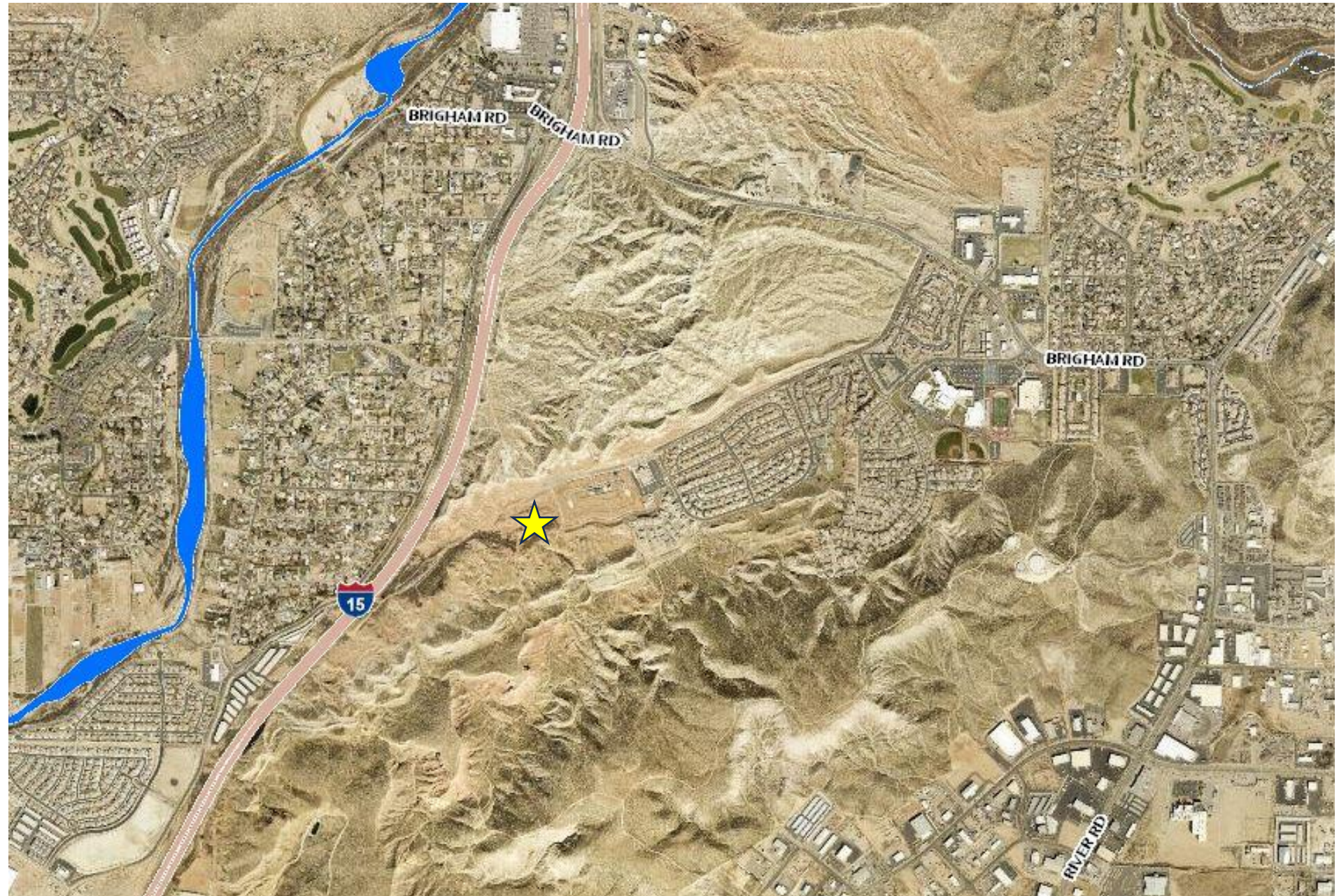
**EXHIBIT A**  
**PowerPoint Presentation**

A desert landscape featuring a dirt road on the left, a field of yellow wildflowers in the foreground, and a large, rugged mountain in the background under a clear sky.

# Avenidas at Hidden Valley Phases 3 & 4 Preliminary Plat

2026-PP-004

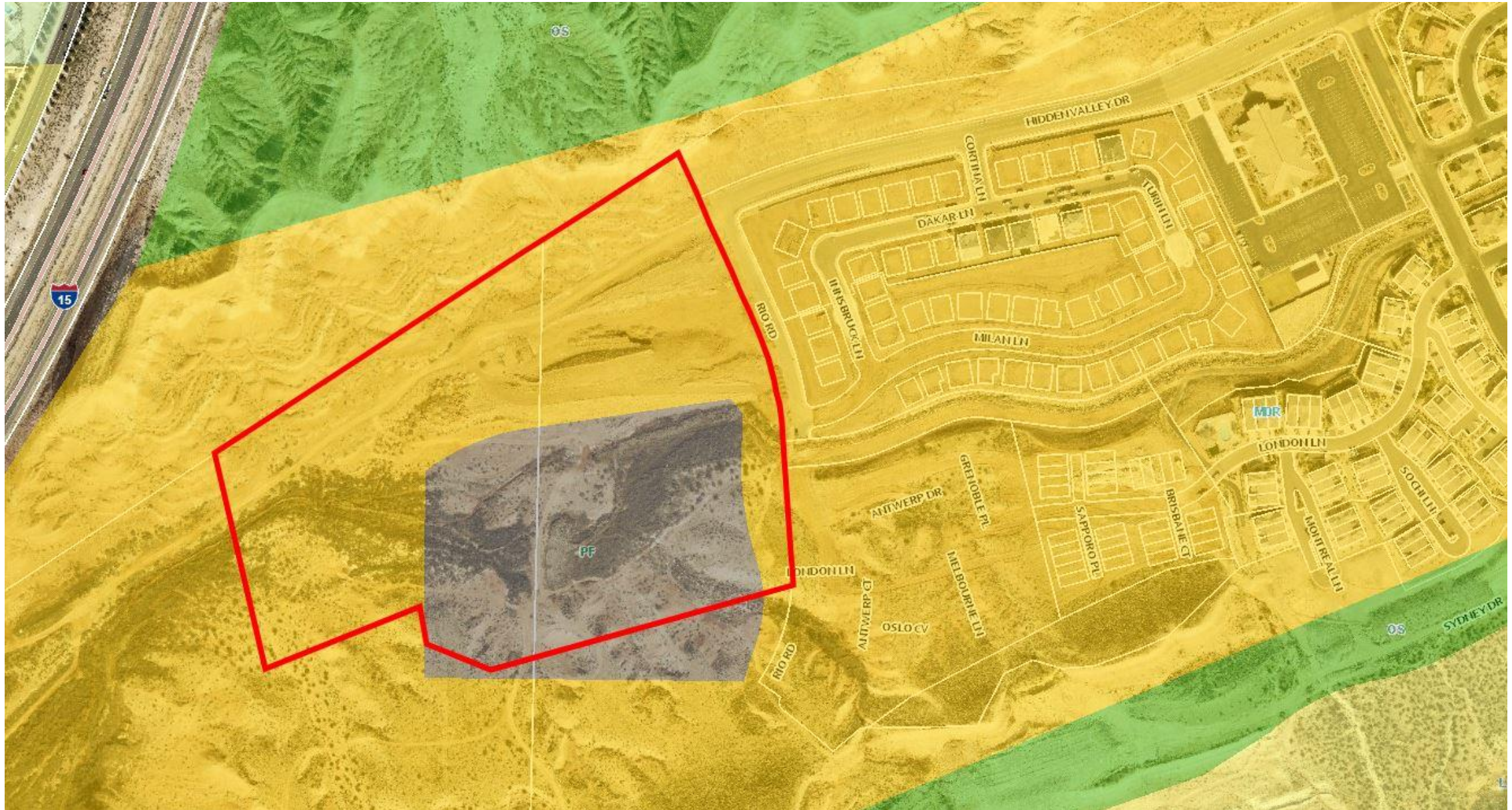
# Vicinity Map



# Aerial Map



# Land Use Map



# Zoning Map

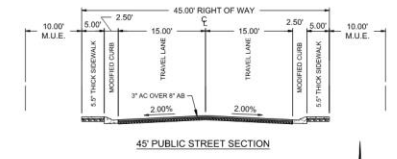
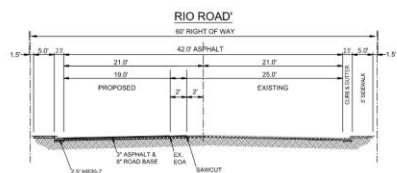
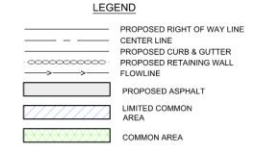


# Proposed Preliminary Plat



AVENIDAS PH 3-4 CALCULATIONS	
GENERAL PLAN DESIGNATION	MOR
ZONING DESIGNATION	PD-R
PATIO HOMES	2.94 AC 29.61%
ROAD ROW	2.41 AC 24.27%
OPEN SPACE DEDICATED TO CITY	1.06 AC 10.67%
COMMON	0.45 AC 4.53%
LIMITED COMMON	3.07 AC 30.92%
TOTAL	9.93 AC 100%
DENSITY = 45 D.U. / 9.93 = 4.53 D.U. / AC	
SETBACKS	
FRONT = 20'	
REAR = 20'	
SIDE = 0' (10 BETWEEN BUILDINGS SINGLE OR TWO-STORY)	

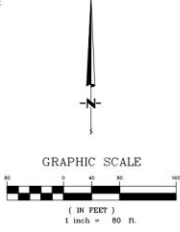
- KEY NOTES**
- PROJECT BOUNDARY
  - PROPOSED ASPHALT
  - PROPOSED 5' SIDEWALK
  - ADA RAMP
  - EXISTING RETAINING WALL
  - HS-30-7 CURB & GUTTER PER CITY STD DWG 100
  - LIMITED COMMON AREA
  - COMMON AREA



AVOID CUTTING UNDERGROUND UTILITY LINES. IF A CUTLINE  
**Call before you Dig**  
 1-800-662-4111

**OWNER / DEVELOPER**  
 IVORY SOUTHERN LLC  
 976 EAST WOODOAK LANE  
 SALT LAKE CITY, UT 84117  
 BRYAN TOLBERT  
 (801) 520-9127

**ENGINEERING CONTACT**  
 BUSH AND GUDGELL, INC.  
 205 EAST TABERNACLE #4  
 ST. GEORGE, UT 84770  
 RICK MEYER - PROJECT MANAGER  
 (435) 673-2337



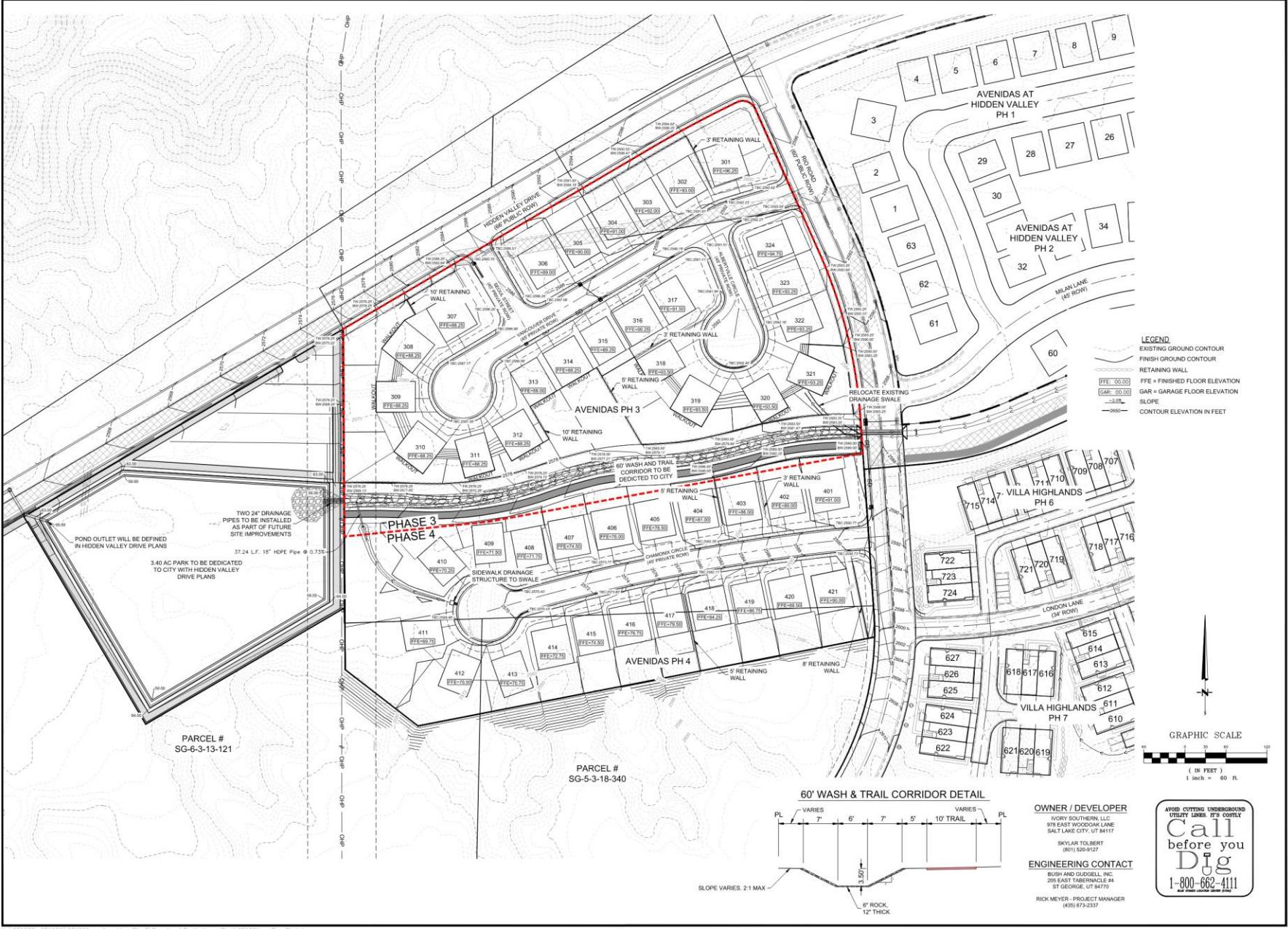
**BUSH & GUDGELL, INC.**  
 Engineers - Planners - Surveyors  
 205 East Tabernacle Suite #4  
 St. George, Utah 84770  
 Phone (435) 673-2337 / Fax (435) 673-3161  
 www.bushandgudgell.com



DATE: 12.2024  
 DRAWN: JTL  
 APPROVED: BM  
 SCALE: 1" = 30'  
 SHEET NO.: 251091

**SITE PLAN**  
 AVENIDAS PH 3 & 4  
 LOCATED IN ST. GEORGE, UTAH

# Proposed Preliminary Plat



---

**BUSH & GUDGELL, INC.**  
Engineers - Planners - Surveyors  
205 East Tabernacle, Suite #4  
St. George, Utah 84770  
Phone (435) 673-2337 / Fax (435) 673-3161  
www.bushandgudgell.com

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DATE: 03E-2024  
DRAWN: JTL  
APPROVED: BM  
SCALE: 1" = 60'  
JOB NO.: 251091

**GRADING PLAN**  
AVENIDAS PH 3 & 4  
LOCATED IN ST. GEORGE, UTAH

SHEET 3 OF 4  
DATE: 2.51.091

# Proposed Preliminary Plat



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**BUSH & GUDGELL, INC.**  
 Engineers - Planners - Surveyors  
 205 East Tabernacle Suite #4  
 St. George, UT 84770  
 Phone (435) 673-2337 Fax (435) 673-3161  
 www.bushandgudgell.com

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**UTILITIES PLAN**  
 AVENIDAS PH 3 & 4  
 LOCATED IN ST GEORGE, UTAH

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SHEET **4** OF 4  
 FILE # 21091

# Recommendation

Staff recommends approval with the following conditions:

1. That a final plat is recorded with each phase in compliance with Title 10, chapter 25 of the St. George municipal code.
2. Add Vancouver CIR, CT, CV, or PL to the cul-de-sac. Change Seoul Street to Seoul Lane. See attached.
3. The sewer out of phase 4 will need to be protected with easements and possibly dedicated r/w. An all-weather road shall be constructed on top of sewer.
4. Trail must be aligned when this section is installed. This may require removing a portion of the trail and curb/gutter that is already installed to make the adjustment. Please confirm that there is a mountable or modified curb for the trail crossing as well.
5. Pads shall meet required setback distances.
6. Separation distances between retaining walls and buildings shall meet retaining wall ordinance 10-18A.

## Possible Motion

“I move that we approve the Avenidas at Hidden Valley Phases 3 & 4 Preliminary Plat request, Case No. 2026-PP-004, based on the findings and condition noted in the staff report.”

PLANNING COMMISSION AGENDA REPORT: 03/10/2026

## ZONING REGULATION AMENDMENT

### **Retaining Walls**

(2026-ZRA-001)

#### Amendment to Title 10-18-2 Retaining Walls

#### **REQUEST:**

Consider a request to amend Title 10-18-2, Retaining Walls, of the St. George City Code to allow retaining walls to be constructed within five feet (5') of the back of sidewalk with a maximum height of six feet (6'). If a tiered retaining wall is requested, the lowest tier must also be set back a minimum of five feet (5') from the back of sidewalk and each tier to be separated a minimum distance of the height of the lower adjacent retaining wall. The applicant is Jared Bates representing Rosenberg Associates. (Case No. 2026-ZRA-001)

#### **BACKGROUND:**

Ordinance 10-18-2, Retaining Walls, was created to address the design and construction of retaining walls. The ordinance was updated in 2024. The applicant is requesting the amendment to Title 10-18-2 to better reflect conditions that may occur within the hillside overlay zone. The current ordinance does not allow for a residential retaining wall greater than four feet (4') in height within the front ten feet (10') behind the sidewalk or property line if no sidewalk exists. Applicant has an existing property with a retaining wall that does not meet the city code Title 10-18-2 and is requesting the amendment to Title 10-18-2.

#### **PROPOSED CHANGES:**

The proposed revisions are shown on Exhibits A and B.

The proposed additions are in **red and underlined**, and the deletions are in **red with a strikethrough**.

#### **RECOMMENDATION:**

Based on staff discussions with representatives from St. George Energy Services, Dixie Power, and Enbridge Gas there are concerns that allowing retaining walls to within five feet from the back of sidewalk from their perspective this would make it difficult for them to access and maintain their utilities along roadway frontages.

#### **ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with changes.

3. Recommend denial.
4. Continue the proposed zoning regulation amendment to a specific date.

**POSSIBLE MOTION:**

“I move that we forward a positive recommendation to the City Council to amend Title 10-18-2 (Retaining Walls) as presented to allow retaining walls to be constructed within five feet of the back of sidewalk, with tiered walls set back a minimum of five feet per tier and each tier not to exceed six feet in height.”

“I move that we forward a negative recommendation to the City Council to deny the amendment to Title 10-18-2 (Retaining Walls) because allowing retaining walls with five feet of the back of sidewalk would adversely affect access to and maintenance of utilities located along roadway frontage.”

**FINDINGS in favor:**

1. Allowing retaining walls within five feet of the back of sidewalk can provide a more usable buildable area.
2. The requested amendment provides a standard that may allow retaining walls in steep-slope frontage conditions where the current 10-foot restriction can be difficult to meet.

**FINDINGS against:**

1. Reduced setbacks near the sidewalk corridor may increase conflicts with public and franchise utilities located within the utility easement.
2. Based on staff coordination with St. George Energy Services, Dixie Power and Enbridge Gas, utility access and maintenance would be more difficult.

## EXHIBIT A

### PROPOSTED CHANGES TO TITLE 10-18-1 RETAINING WALLS

#### 10-18-2:

##### RETAINING WALLS:

A. In a residential zone in the required front yard setback, no retaining wall shall exceed ~~four feet~~ six feet (46') in height. In a commercial or manufacturing zone in the required front yard setback, no retaining wall shall exceed six feet (6') in height. Within the front ten feet (10') behind the sidewalk or property line if no sidewalk exists, no retaining wall shall be constructed unless approved by the City Engineer or their designee. Retaining walls may be approved within five feet (5') of the back of walk or property line if no sidewalk exists, if two or more of the following conditions are present and deemed as an acceptable reason to reduce the wall setback.

- Existing or proposed utilities are located a minimum of five feet (5') from the proposed wall. All other applicable setbacks as required by the Joint Utility Commission (JUC) must also continue to be adhered to.
- A significant elevation or slope change is present along the streetside (front) of the lot.
- The lot is within a hillside zone, and it can be shown that the reduced wall setback would result in less disturbance to the hillside area in general.

Approval of a reduced wall setback may require additional calculations, exhibits, or other data deemed by the City Engineer or their designee.

~~Furthermore, within the front ten feet (10') behind the sidewalk or property line if no sidewalk exists, no retaining wall shall be constructed.~~

B. The slope from sidewalk grade to face of wall shall not exceed a 10H:1V slope.

C. On a street side, a retaining wall less than four feet (4') in height may be constructed, if set back a minimum of five feet (5'), measured from the back of sidewalk, or back of curb where no sidewalk exists. A combination fence and retaining wall shall not exceed eight feet (8') in height.

D. On a street side, a retaining wall four feet (4') or greater in height may be constructed, if set back a minimum of ten feet (10'), measured from the back of sidewalk, or back of curb where no sidewalk exists. A combination fence and retaining wall shall not exceed ten feet (10') in height.

- E. On a street side where a retaining wall is below street grade, the retaining wall shall not exceed maximum height of ten feet (10') nor be constructed within the municipal utility easement or public right-of-way (including, but not limited to, geogrid, footings, etc.).
- F. Any retaining wall below street grade shall be set back ten feet (10') minimum from right-of-way. Rockery and segmental block retaining walls shall adhere to city of St. George standard and specifications section 4.4 or as amended.
- G. The height of any single retaining wall shall not exceed ten feet (10') in all residential zones. In the commercial and manufacturing zone, a retaining wall shall not exceed twelve feet (12') in height.
- H. For interior, rear, or side lot lines, where a solid fence is placed on top of a retaining wall, the combined exposed face shall not exceed fifteen feet (15') in height at any single point, measured from the finished grade adjacent to the base of the retaining wall to the top of the solid fence.
- I. Where existing retaining walls were erected as part of a subdivision approval, the design and construction of any additional retaining walls shall first be submitted for review and approval by the city.
- J. Retaining walls over ten feet (10') in height in residential zones or twelve feet (12') in commercial and manufacturing shall be stepped to form benches which shall be a minimum distance of one-half (1/2) the height of the largest exposed face of the two retaining walls and shall be landscaped. Benches shall be measured from the top face of the lower retaining wall to bottom face of the terraced retaining wall and adhere to city of St. George standard and specifications section 4.4 or as amended.
- K. Terraced retaining walls shall be constructed out of one (1) type of material. The landscape and drainage for retaining walls shall be maintained by the property owner.
- L. Any terraced concrete or CMU retaining walls adjacent to a public street with a right-of-way width of sixty-six feet (66') or greater (major collector or arterial streets) must include landscaping at the base of the retaining wall.
- M. Retaining walls located within ten feet (10') of a structure, including accessory buildings and/or pools, require a site-specific geotechnical investigation report.
- N. Any retaining wall over six feet (6') in height located within five feet (5') of a hillside, sidewalk, trail, or wash, shall install a safety railing at the top of the retaining wall.

O. For all new developments, retaining walls shall be installed between proposed lots where there is an elevation change greater than four feet (4') in height. All designs shall be approved by city. (Ord. 2024-064, 10-3-2024)

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**The St. George City Code is current through Ordinance 2025-108, passed December 4, 2025.**

Disclaimer: The city recorder has the official version of the St. George City Code. Users should contact the city recorder for ordinances passed subsequent to the ordinance cited above.

[City Website: www.sgcity.org](http://www.sgcity.org)

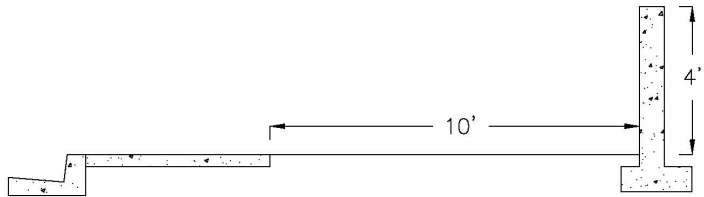
[City Telephone: \(435\) 627-4000](tel:(435)627-4000)

[Hosted by General Code.](#)

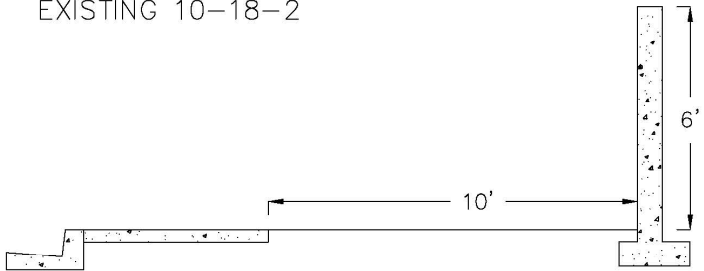
**EXHIBIT B**  
**PowerPoint Presentation**

Discussion regarding height and location  
of retaining walls

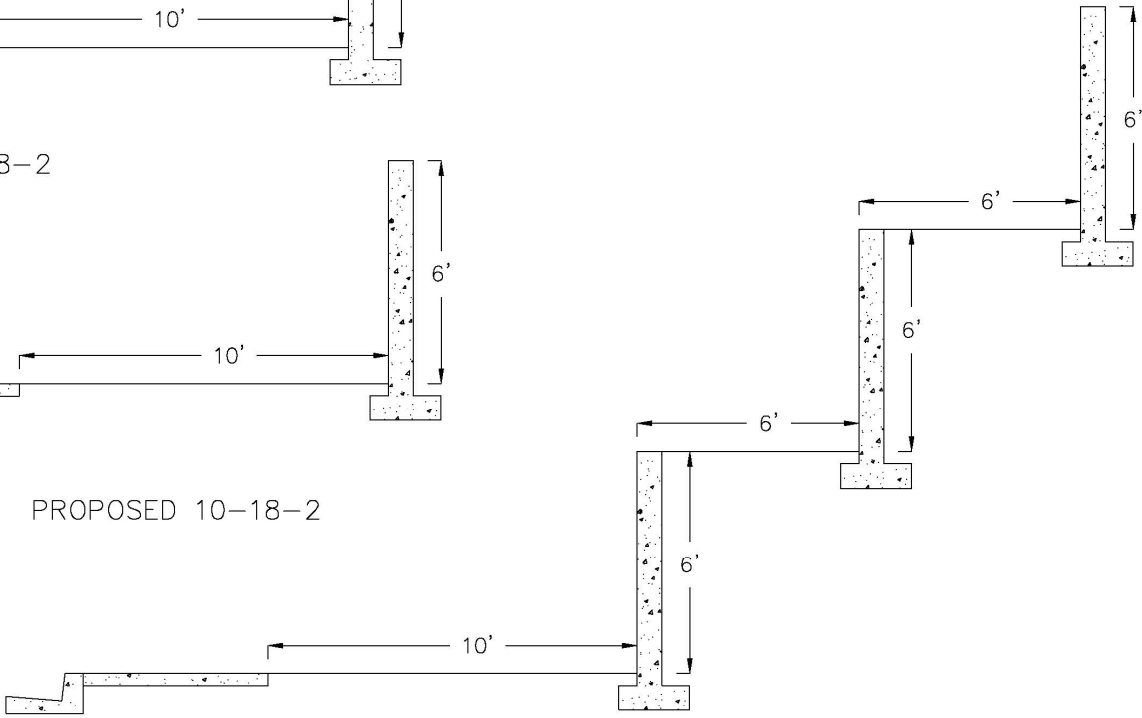
City Code 10-18-2



EXISTING 10-18-2



PROPOSED 10-18-2



PROPOSED TIERED RETAINING WALL

RETAINING WALL FRONT YARD SETBACK













Karen Roundy <karen.roundy@sgcityutah.gov>

---

**Fwd: Concerns with reduced ROW width**

1 message

---

**Wesley Jenkins** <wes.jenkins@sgcityutah.gov>  
To: Karen Roundy <karen.roundy@sgcityutah.gov>

Thu, Mar 5, 2026 at 7:13 PM

Karen: This email needs to be included in the packet for this item.

----- Forwarded message -----

From: **Russ Condie** <russc@dixiepower.com>  
Date: Thu, Mar 5, 2026 at 5:32 PM  
Subject: Concerns with reduced ROW width  
To: Wesley Jenkins <wes.jenkins@sgcityutah.gov>

Wes - I appreciate the opportunity to meet with you and discuss concerns over narrow right-of-way easements.

Dixie Power installs all underground power lines in conduit. Our normal trench width is 3 feet. We can excavate and place 2 - 3 phase feeder circuits in these trenches. If we encounter issues with a line compromised by boring or excavation that results in damage, we are required to excavate the area and repair the conduit. In these cases, the company will be billed for the damages.

It is very rare that a conductor fails on its own. Normally these cables last for decades of continuous use. If it does occur, Dixie Power will pull out the failed cable and pull in new cable in the same conduit.

With the proposal to allow reduced easements that coexist with proposed rock walls within the same 5' easement, the concern is that a rock wall and a trench do not have perfect widths. Rocks buried inside the trench space make installation difficult and would complicate excavation in such a narrow area. We prefer a width of 8-10' so that communications and power can be installed and accessed safely.

Dixie Power is willing to have an open discussion and include St. George Energy Services to present concerns and areas of compromise.

Thank you,

--

**Dixie Power Engineering**



**Russ Condie**

--

Wes Jenkins  
Asst. Public Works Director, St. George City  
Phone No. 435-627-4121



Karen Roundy <karen.roundy@sgcityutah.gov>

---

**Fwd: MUE Width Reduction Request**

1 message

---

**Wesley Jenkins** <wes.jenkins@sgcityutah.gov>  
To: Karen Roundy <karen.roundy@sgcityutah.gov>

Thu, Mar 5, 2026 at 7:14 PM

Karen:

This email also needs to be included in the packet for planning commission.

----- Forwarded message -----

From: **Barbara Berrett** <barb.berrett@sgcityutah.gov>  
Date: Thu, Mar 5, 2026 at 3:27 PM  
Subject: MUE Width Reduction Request  
To: Wesley Jenkins <wes.jenkins@sgcityutah.gov>  
Cc: Bryan Dial <bryan.dial@sgcityutah.gov>, Weston Nelson <weston.nelson@sgcityutah.gov>

Wes,

After our discussion regarding the proposed reduction of the MUE width, I spoke to SGES staff, and we feel that it is important that the MUE remain at 10' for subdivisions and 15' for commercial development.

Maintaining these widths is necessary to ensure adequate space for equipment maintenance and to preserve the standard separation between equipment and retaining walls or buildings. Therefore, we are denying the request for a reduction of the MUE width or for retaining wall encroachments within the MUE.

Please let me know if you have any questions.

**Barb Berrett**  
Chief Energy Services Engineer  
Office: (435) 627-4896



In a world where you can be anything, be KIND ♥

--  
Wes Jenkins  
Asst. Public Works Director, St. George City  
Phone No. 435-627-4121

1 **ST. GEORGE PLANNING COMMISSION MINUTES**  
2 **February 24, 2026, 5:00 P.M.**  
3 **CITY COUNCIL CHAMBERS**  
4

5 **PRESENT:**

6 **Planning Commission Chair Ben Rogers**  
7 **Planning Commission Member Brandon Anderson**  
8 **Planning Commission Member Kelly Taysom**  
9 **Planning Commission Member Terri Draper**  
10 **Planning Commission Member Nathan Fisher**  
11 **Planning Commission Member Kelly Casey**  
12

13 **EXCUSED:**

14 **Planning Commission Member Lori Chapman**  
15

16 **STAFF MEMBERS PRESENT:**

17 **City Deputy Attorney Jami Bracken**  
18 **Community Development Director Carol Winner**  
19 **Assistant Public Works Director Wes Jenkins**  
20 **Planner Brenda Hatch**  
21 **Planner Dan Boles**  
22 **Planner Brian Dean**  
23 **Development Office Supervisor Angie Jessop**  
24

25 **OTHERS PRESENT:**

26 **Applicant Larry Curtis**  
27 **Applicant Bob Hermandson**  
28 **Applicant Jared Madsen**  
29 **Applicant Logan Blake**  
30

31 **CALL TO ORDER:**

32 Planning Commission Chair Rogers called the meeting to order and welcomed all in  
33 attendance. The Pledge of Allegiance to the Flag was led by Commission Member  
34 Anderson.  
35

36 Link to call to order and flag salute: [00:00:00](#)  
37

38 Link to call for disclosures [00:00:38](#)  
39

40 Commission Chair Rogers recused himself on Item 1. Commission Member Fisher  
41 was designated as Chair Pro Tem.  
42  
43

44 **ITEM 1**

45 **GENERAL PLAN AMENDMENT Trails East – PUBLIC HEARING –**

46 Consider a request to amend the General Plan land use designation on approximately  
47 107 acres generally located on the east side of Highway 18, between approximately  
48 3000 North and 3800 North. The request would change the designation from LDR (Low  
49 Density Residential – up to four dwelling units per acre) to COM (Commercial). The  
50 applicant is FFKR Architects, represented by Larry Curtis. Case No. 2026-GPA-012  
51 (Staff – Dan Boles)  
52

53 Agenda Packet [\[Page 2\]](#)

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Link to Presentation by Dan Boles [00:01:10](#)

Link to public hearing [00:09:27](#)

Link to comment by Gai Cannon [00:09:37](#)

Public Hearing Closed

Link to discussion by Commission Members [00:12:07](#)

Link to motion [00:12:22](#)

**MOTION:**

A motion was made by Planning Commission Member Anderson to forward a positive recommendation for Item 1, Trails East.

**SECOND:**

The motion was seconded by Planning Commission Member Draper.

**VOTE:**

Commission Chair Pro Tem Fisher called for a vote, as follows:

- Planning Commission Chair Rogers – recused
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey – aye
- Planning Commission Member Chapman – absent
- Planning Commission Member Taysom –aye
- Planning Commission Member Draper –aye

The vote was unanimous. Motion carries.

**ITEM 2**

**ZONE CHANGE- RL Wyman 2450 S – PUBLIC HEARING –**

Consider a request for a zone change from RE-20 (Residential Estates, 20,000 ft<sup>2</sup> minimum lot size) to RE-37.5 (Residential Estates, 37,500 ft<sup>2</sup> minimum lot size) on approximately 6.20 acres. The property is generally located west of the St. George/Washington border on the south side of 2450 South. The applicant is Bush and Gudgell, represented by Bob Hermandson. Case No. 2026-ZC-001 (Staff – Dan Boles)

Agenda Packet [\[Page 18\]](#)

Link to Presentation by Dan Boles [00:13:07](#)

Link to public hearing [00:14:45](#)

No Comments

Public Hearing Closed

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Link to motion [00:15:13](#)

**MOTION:**

A motion was made by Planning Commission Member Draper to forward a positive recommendation for this item.

**SECOND:**

The motion was seconded by Planning Commission Member Fisher.

**VOTE:**

Commission Chair Rogers called for a vote, as follows:

- Planning Commission Chair Rogers – aye
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey – aye
- Planning Commission Member Chapman – absent
- Planning Commission Member Taysom –aye
- Planning Commission Member Draper –aye

The vote was unanimous. Motion carries.

**ITEM 3**

**PRELIMINARY PLAT Three Peaks –**

Consider a request for a 3-lot preliminary plat located at the northeast corner of 400 North and 500 West for the purpose of residential subdivision. The applicant is Sky Engineering, represented by Jared Madsen. Case No. 2026-PP-002 (Staff – Brenda Hatch)

Agenda Packet [\[Page 26\]](#)

Link to Presentation by Brenda Hatch [00:15:45](#)

Link to motion [00:18:07](#)

**MOTION:**

A motion was made by Planning Commission Member Taysom to recommend approval on Item 3 with all of the conditions; all new easements being dedicated on the plat shall be municipal utility easements, not public, also the second one; all structures be demolished prior to the final plat recordation and third; the sidewalk and pedestrian ramps need to be ADA compliant, reconstruction requirements to be verified with the site plan review.

**SECOND:**

The motion was seconded by Planning Commission Member Draper.

**VOTE:**

Commission Chair Rogers called for a vote, as follows:

- Planning Commission Chair Rogers – aye
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye

- 1 Planning Commission Member Casey – aye
- 2 Planning Commission Member Chapman – absent
- 3 Planning Commission Member Taysom –aye
- 4 Planning Commission Member Draper –aye
- 5

6 The vote was unanimous. Motion carries.

7  
8 **ITEM 4**

9 **PRELIMINARY PLAT Rusty Cliffs South Phase 1 –**

10 Consider a request for a preliminary plat for three large lots for future development  
11 and 150 single-family/townhome residential lots. The applicant is DSG Engineering,  
12 represented by Logan Blake. Case No. 2026-PP-003 (Staff – Dan Boles)

13  
14 Agenda Packet [\[Page 35\]](#)

15  
16 Link to Presentation by Dan Boles [00:20:18](#)

17  
18 Link to motion [00:25:10](#)

19  
20 **MOTION:**

21 A motion was made by Planning Commission Member Draper to approve this  
22 item subject to the conditions noted in the agenda.

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24 **SECOND:**

25 The motion was seconded by Planning Commission Member Casey.

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27 **VOTE:**

28 Commission Chair Rogers called for a vote, as follows:

- 29
- 30 Planning Commission Chair Rogers – aye
- 31 Planning Commission Member Anderson –aye
- 32 Planning Commission Member Fisher – aye
- 33 Planning Commission Member Casey – aye
- 34 Planning Commission Member Chapman – absent
- 35 Planning Commission Member Taysom –aye
- 36 Planning Commission Member Draper –aye
- 37

38 The vote was unanimous. Motion carries.

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41 **APPROVAL OF MINUTES:**

42 Consider a request to approve the meeting minutes from the February 10, 2026  
43 meeting.

44  
45 Agenda Packet [\[Page 48\]](#)

46  
47 Link to motion [00:25:55](#)

48  
49 **MOTION:**

50 A motion was made by Planning Commission Member Anderson to approve minutes  
51 of February 10, 2026 meeting.

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**SECOND:**

The motion was seconded by Planning Commission Member Fisher.

**VOTE:**

Commission Chair Rogers called for a vote, as follows:

- Planning Commission Chair Rogers – aye
- Planning Commission Member Anderson -aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey – aye
- Planning Commission Vice Chair Chapman –absent
- Planning Commission Member Taysom – aye
- Planning Commission Member Draper- aye

The vote was unanimous and the motion carried.

**CITY COUNCIL ITEMS:**

*Carol Winner, the Community Development Director, will report on items heard at the February 19, 2026, City Council Meeting.*

- Sullivan GPA 2450 S*
- Dixie Dr GPA*
- Tonaquint 35 Acres*
- Sullivan PD-C 2450 S*
- Sullivan 1800 N GPA*
- Blackridge Restaurants*
- Dutch Bros at Desert Color*

**ADJOURN:**

Link to motion: [00:28:04](#)

**MOTION:**

A motion was made by Planning Commission Member Fisher to adjourn.

**SECOND:**

The motion was seconded by Planning Commission Member Draper.

**VOTE:**

Commission Chair Rogers called for a vote, as follows:

- Planning Commission Chair Rogers – aye
- Planning Commission Member Anderson –aye
- Planning Commission Member Fisher – aye
- Planning Commission Member Casey –aye
- Planning Commission Member Chapman –absent
- Planning Commission Member Taysom –aye
- Planning Commission Member Draper – aye

The vote was unanimous, and the motion carries.

1  
2 /s/  
3 Angie Jessop, Development Services

DRAFT