



# AGENDA – Planning Commission Meeting

Planning Commission Chair Rachel Sprosty Burns  
Planning Commission Vice Chair Doug Willden  
Planning Commissioner Scott A. Hill  
Planning Commissioner Virginia Rae Mann  
Planning Commissioner Colton Miles  
Planning Commissioner NH Rather  
Planning Commissioner Chris Roman

**CITY OF SARATOGA SPRINGS**  
**Thursday, March 12, 2026 @ 6:00 pm**  
City of Saratoga Springs Council Chambers  
319 S. Saratoga Road, Saratoga Springs, UT 84045

## CALL TO ORDER

1. Pledge of Allegiance.
2. Roll Call
3. Public Input – *This time has been set aside for the public to express ideas, concerns, and comments for subject matter not listed as public hearing on the agenda. Limit of 3 minutes per speaker, unused time may not be given to another. Time for Public Input is limited to no more than 15 minutes total.*

## PUBLIC HEARINGS

*The Commission will accept public comment and may make a recommendation to the City Council for the following items:*

1. Beacon Pointe Village Plan 8 – Porter Haven. Located approximately at Ensign Drive and Mountain View Corridor. Ryan Bull as applicant. Senior Planner Gina Grandpre.
2. Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.19 – Open Space. This amendment will allow a broader range of amenities within open space. Citywide. City-Initiated. Senior Planner Gina Grandpre.
3. Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.16 – Site and Architectural Design Standards. This amendment would allow an exception for building buffer requirements at the corners of buildings and loading bays. Citywide. City-Initiated. Senior Planner Austin Roy.

## BUSINESS ITEMS

*The Commission will discuss (without public comment) and may either make a recommendation to the City Council, or approve the following items as needed:*

1. Approval of Minutes: February 26, 2026.

## REPORTS

1. Commissioner's Comments.
2. Director's Report.

## CLOSED SESSION

Possible motion to enter into closed session for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.

## ADJOURNMENT

Supporting materials are available for inspection on the City Website [www.saratogasprings-ut.gov](http://www.saratogasprings-ut.gov) Questions and comments to Staff and/or Commissioners may be submitted to [comments@saratogasprings-ut.gov](mailto:comments@saratogasprings-ut.gov) Meetings are streamed live at <https://www.youtube.com/c/CityofSaratogaSprings>

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least two days prior to the meeting.



**VILLAGE PLAN**  
**BEACON POINTE VILLAGE PLAN 8 – PORTER HAVEN**  
**MARCH 12, 2026**  
**PUBLIC HEARING**

Applicant:	Ryan Bull, Suburban Land Reserve, LLC
Owner:	Suburban Land Reserve, LLC
Location:	Mountain View Corridor and Ensign Drive
Major Street Access:	Mountain View Corridor and Ensign Drive
Parcel Number(s) & Size:	Parcel Number, 58:041:0295; 45.9 acres
Land Use Designation:	Planned Community
Parcel Zoning:	Planned Community
Adjacent Zoning:	Planned Community
Current Use of Parcel:	Vacant Land
Adjacent Uses:	Residential
Previous Meetings:	Community Plan Approval; City Council, December 4, 2018
Previous Approvals:	Community Plan Approval; City Council, December 4, 2018
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	City Council
Planner:	Gina Grandpre, Senior Planner

**A. Executive Summary:**

The Beacon Pointe Village Plan 8 – Porter Haven is a 45.9-acre development within the Beacon Pointe Community Plan in Saratoga Springs. As outlined in the Community Plan, it includes 187 residential units over 45.9 acres, yielding a density of approximately 4.1 dwelling units per acre. The development incorporates a mix of traditional single-family detached homes and attached townhomes. Approximately 2.4 acres (5.23%) is designated as open space.

**Staff recommends that the Planning Commission conduct a public hearing on the Beacon Pointe Village Plan 8 – Porter Haven, take public comment, review the proposal, and choose from the options in Section I.** Options include a positive recommendation with conditions, a negative recommendation, or continuation.

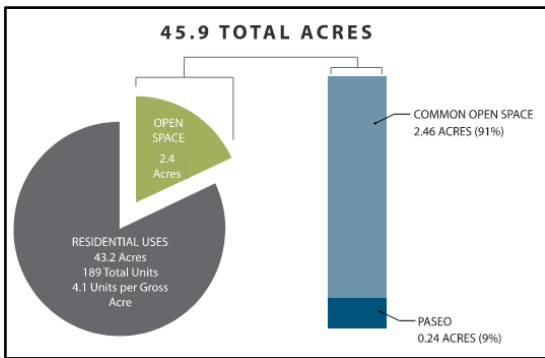
**B. Background:**

December 4, 2018 – The City approved the Beacon Pointe Community Plan on December 4, 2018. The plan covers approximately 371 acres and includes a mix of single-family homes, single-family attached units, and other attached residential dwellings. It also designates two church sites and several open space and park facilities. The Community Plan allocates 1,909 residential Equivalent Residential Units (ERUs) and an additional 61 non-residential ERUs, with the potential for more through future neighborhood commercial development. The plan also establishes development standards and provides the framework for preparing future Village Plan documents.

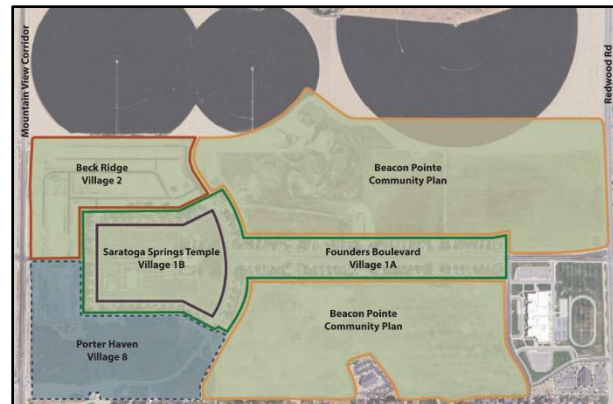
March 11, 2025 – The application for Beacon Pointe Porter Haven Village Plan 8 was submitted on March 11, 2025. The subject property, encompassing approximately 45.9 acres, and the Community Plan has allocated 207 Equivalent Residential Units (ERUs) for this area, with this Village Plan proposing 189 ERUs, remaining within the allowable density range, including flexibility for up to a 15% transfer upon Planning Director approval. This Village Plan is situated east of Mountain View Corridor and north of the existing Canton Ridge, Grandview, and Saratoga Hills subdivisions.

**C. Specific Request:**

The applicant is requesting approval of Village Plan 8, a component of the Beacon Pointe Community Plan. Village 8 is subject to the requirements of the Saratoga City Center District Area Plan, the approved Beacon Pointe Community Plan, and Section 19.26 of the City Code, which governs development within the Planned Community (PC) zone. Permitted uses must comply with the standards outlined in both the District and Community Plans. Where the District, Community, or Village Plans are silent, the applicable provisions of the Saratoga Springs Municipal Code shall apply.










Summary, VP 8, page 2



Community Plan and Village Plan Boundary, VP 8, page 3

Village Plan 8 is approximately 45.9 acres with a proposed density of approximately 4.1 units per acre. The plan will include 189 residential units, consisting of a mix of single-family homes and townhomes on 28.7 acres, and 2.4 acres of open space, as required in the Community Plan and an internal street network with access points from Ensign Drive and Mountain View Corridor, as shown in the image below.

Land Use Summary	
Total Site Area	45.9 ac
 Single-Family Residential	10.2 ac
 Single-Family Residential	4.8 ac
 Single-Family Residential	5.1 ac
 Single-Family Residential Alley-Loaded	5.4 ac
 Townhomes	2.6 ac
 Open Space	2.4 ac
 Roads/Alleys	14.1 ac

Buildout Allocation, VP 8, page 4

### Proposed Project

Overall Village Area: 45.9 ac  
Units per Gross Area: 4.1 du/ac

Mixed Residential Area: 28.7 ac (63%) | 189 ERUs Total | 189 Units  
Open Space Area: 2.4 ac (5.23%)

Projected Population: 777 persons

### Community Plan Comparison

Overall Village Area: 46.0 ac  
Units per Gross Area: 4.5 du/ac

Mixed Residential Area: 28.1 ac (62%) | 207 ERUs Total | 207 Units  
Open Space Area: 2.4 ac (5.28%)

Projected Population: 850 persons



Detailed Concept Plan, VP 8, page 7

The applicant is requesting exceptions to the design standards in Title 19, as proposed in the attached "applicant presentation". While their proposal intends to support specific architectural types, the proposed language does not offer specific guarantees that this what will be developed. Absent that language, staff recommends that they update the architectural standards to comply with Title 19 and has included this as a condition of approval.

- D. Process:** Pursuant to Section 19.13 of the Saratoga Springs Code, the City Council is the Land Use Authority for village plans, following a recommendation from the Planning Commission. A public hearing is also required at Planning Commission for these items.

City Code Section 19.26.09: Village Plan Approval states:  
Subsequent to the approval of a Community Plan, further development of any phase within a Planned Community Zone District shall require approval of a Village Plan. A Village Plan is a preliminary approval prior to subdivision or site plan approval and is intended to commit and provide detailed standards to assure compliance with the guiding principles and intent of the Community Plan and to further commit land uses, supporting infrastructure, and design principles. The Planning Commission shall review each Village Plan application in accordance with the provisions of Chapter 19.17 and certify its recommendation to the City Council.

**E. Community Review:**

Public Hearing: This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City's website and in City Hall, and, except for code amendments, mailing notices to property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

Public Comment: As of the date of this report, no public input has been received.

**F. General Plan:**

The General Plan designation for this property is Planned Community on the Land Use Map. This designation is described as follows:

*Planned Community (PC): Areas designated for a mixture of residential and commercial land uses with a cohesive design and a development plan*

*Staff conclusion: **Consistent.** The Beacon Pointe Community Plan is located within the Saratoga City Center District Area Plan, which encompasses over 2,000 acres and meets the qualifications for development under the Planned Community (PC) zone and corresponding Land Use designation. The Beacon Pointe Community Plan establishes specific development regulations for the area, including the approximate size and location of each Village. Village Plan 8 falls within the boundaries of the Beacon Pointe Community Plan and is consistent with the applicable standards and requirements outlined therein.*

**G. Code Criteria:**

**19.26.09 Village Plan Approval.**

Subsequent to the approval of a Community Plan, further development of any phase within a Planned Community Zone District shall require approval of a Village Plan. A Village Plan is a preliminary approval prior to subdivision or site plan approval and is intended to commit and provide detailed standards to assure compliance with the guiding principles and intent of the Community Plan and to further commit land uses, supporting infrastructure, and design principles. The Planning Commission shall review each Village Plan application in accordance with the provisions of Chapter 19.17 and certify its recommendation to the City Council. Before certifying a recommendation of approval, or approval with conditions, the Planning Commission must find that the Village Plan:

- a) is consistent with the adopted Community Plan;  
*Staff Finding: **Complies.** Beacon Pointe Village Plan 8 generally aligns with the land use designations, density ranges, layout, and design standards for Single-Family Detached and Single-Family Detached Alley Load units as established in the adopted Community Plan. The proposed architectural design standards for the Single-Family Attached Townhomes include several exceptions to Title 19.16, as shown below in Exhibit 4, and do not fully comply with the design requirements of this section. Specifically, styles applied to Single-Family Attached product, as shown on page 13, and elevations facing public streets and open space do not meet the required number of materials and colors. Refer to Condition 5, which requires revisions to address these inconsistencies and achieve compliance with Title 19.16.*
- b) does not exceed the total number of equivalent residential units dictated in the adopted Community Plan;  
*Staff finding: **Complies.** The Community Plan allocates 207 ERUs to Village Plan 8. The applicant is proposing 189 ERUs, which is within the permitted allocation.*
- c) for an individual phase, does not exceed the total number of equivalent residential units dictated in the adopted Community Plan unless transferred per the provisions of the Community Plan;  
*Staff finding: **Complies.** The proposed ERUs are less than what is allowed for Village Plan 8 in the approved Community Plan.*
- d) is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;  
*Staff finding: **Complies.** Engineering has reviewed the utilities, services, and roadways and found them to comply. More detailed reviews will occur with the Preliminary Plat application. The applicant is proposing access to Mountain View Corridor by Ensign Drive at the southwest portion of the Village Plan, with several additional accesses on the north side of the plan.*
- e) properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;  
*Staff finding: **Complies.** Utility plans, open space plans, pedestrian and bicycle plans, and amenity plans have been provided and are consistent with the Community Plan.*
- f) contains the required elements as dictated in Section 19.26.10; and  
*Staff finding: **Partially Consistent.** See analysis below.*
- g) meets the minimum required space in adopted Community Plan, and adopted District Area Plan if applicable.

*Staff finding: **Complies.** The village boundary is consistent with Village Plan 8 in the Community Plan and meets the 5.28 percent open space requirement with 2.4 (5.23 percent) acres of common open space.*

**19.26.10 – Contents of a Village Plan.**

The required contents of a Village Plan are summarized below. A more detailed summary is provided in the attached Planning Review Checklist (Exhibit 3).

1. Legal Description - **Provided**
2. Detailed Use Map - **Provided**
3. Detailed Buildout Allocation – **Provided**
4. Detailed Development Standards – **Partially Consistent**
  - a. *The Development Standards, as shown on page 16 for “Fencing”*
5. Design Guidelines – **Partially Consistent**

*The Townhome Development Standards shown on Pages 14–15 of the Village Plan do not fully comply with the design requirements of Title 19.16. Specifically, styles applied to Single-Family Attached product, as shown on page 13, and elevations facing public streets and open space do not meet the required number of materials and colors. As required by Condition 5, revisions shall be made to address these inconsistencies and achieve compliance with Title 19.16.*
5. Owners’ / Governing Associations - **Provided**
6. Phasing Plan - **Provided**
7. Lotting Map - **Provided**
8. Landscaping Plan – **Provided**
9. Utility Plan - **Provided**
10. Vehicular Plan - **Provided**
11. Pedestrian and Bicycle Plan – **Provided**
12. Additional Detailed Plans. Other elements as necessary (grading plans, storm water drainage plans, wildlife mitigation plans, open space management plans, sensitive lands protection plans, hazardous materials remediation plans, and fire protection plans) - **Provided**
13. Site Characteristics - **Provided**
14. Findings Statement – **Provided**
15. Mitigation Plans. (Protection and mitigation of significant environmental issues) - **Provided**
16. Offsite Utilities – **Provided in the Master Utility Plan approved with the CP**
17. Development Agreement – **Requirement met through District Area Plan**

**H. Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

**Option 1 – Positive Recommendation**

“I move that the Planning Commission forward a positive recommendation to the City Council for Beacon Pointe Village Plan 8, with the Findings and Conditions in the Staff Report.”

**Findings**

1. The application is consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.
2. The application can comply with the criteria in section 19.26 of the Land Development Code, as articulated in Section G of the staff report and the Planning Review Checklist, subject to the conditions below, which section and checklist are incorporated by reference herein.
3. The Single-Family Attached Townhome Development Standards contained in the Beacon Pointe Village Plan 8 can comply with applicable design requirements in Title 19.16 subject to the conditions below and as articulated in Section G of this staff report, which is incorporated herein by reference.

**Conditions:**

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached Engineering Staff Report.
2. All requirements of the Fire Chief shall be met.
3. All requirements of the Public Works and Parks departments shall be met.
4. All other Code requirements shall be met.
5. Following City Council approval and prior to issuance of the approval letter, the applicant shall revise the architectural design standards to comply with Title 19.16, including required materials and colors on street- and open space-facing elevations.
6. Any other conditions or changes as articulated by the Planning Commission:

\_\_\_\_\_.

**Option 2 – Continuance**

“I move to **continue** Beacon Pointe Village Plan 8 to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_

**Option 3 – Negative Recommendation**

“I move that the Planning Commission forward a negative recommendation to the City Council for Beacon Pointe Village Plan 8, with the Findings below:

1. The application is not consistent with the General Plan:
  - a. \_\_\_\_\_, and/or,

2. The application is not consistent with Section [XX.XX] of the Code:
  - a. \_\_\_\_\_, and/or
3. The application does not comply with the approved Community Plan:  
\_\_\_\_\_.

**Exhibits:**

1. City Engineer's Report
2. Location & Zone Map
3. Beacon Pointe Village Plan 8
4. Townhome Architectural Design Standard Title 19 Exceptions
5. Applicant Presentation

# EXHIBIT 1: City Engineer's Staff Report

## Staff Report

**Author:** Jeff Pearson, City Engineer  
**Subject:** Beacon Point VP 8 — Village Plan  
**Date:** March 12, 2026  
**Type of Item:** Village Plan



SARATOGA  
SPRINGS

### Description:

**A. Topic:** The Applicant has submitted a Village Plan Application. Staff has reviewed the submittal and provides the following recommendations.

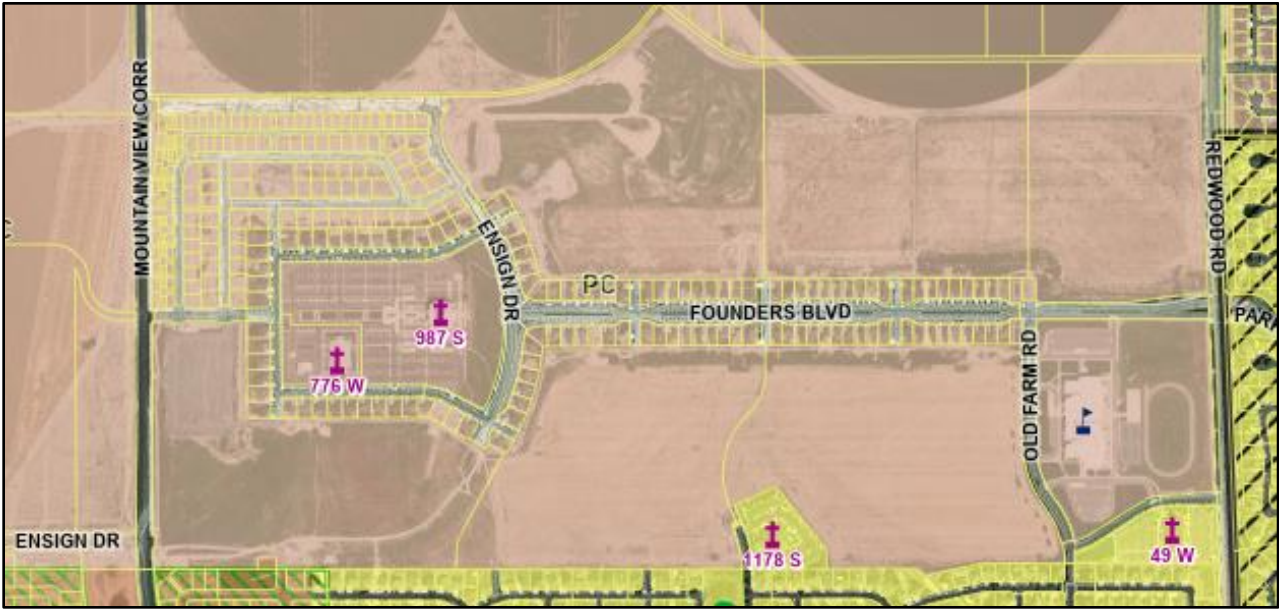
**B. Background:**

*Applicant:* Ryan Bull — Suburban Land Reserve  
*Request:* Village Plan Approval  
*Location:* Mountain View Corridor and Ensign Drive  
*Acreage:* 45.9 Acres

**C. Recommendation:** Staff recommends the approval of village plan subject to the following conditions:

1. All review comments and redlines provided by the City Engineer are to be complied with and implemented into the Village Plan.
2. The recommendations from the applicant's traffic impact study shall be implemented.
3. A master planned traffic signal at the Village 8 intersection of Ensign Drive and Mountain View Corridor is planned. Developer shall design and bond for a signal and build at the time of connection to MVC.
4. Developer shall complete frontage improvements along MVC according to the city standard at this location.
5. The City has insufficient information at this time to determine what project and system improvements will be necessary to service the developer's property. As a result, this approval does not reserve utility system capacity. Prior to, concurrent with, or subsequent to final plat approval, the developer will be required to install all required infrastructure to service the property. In addition to all required project improvements, the developer may also be required to install any and all system improvements, subject to required impact fee credits.
6. This village plan is conceptual in nature. In case of changing circumstances or additional insight, this plan shall be amended as necessary.

Exhibit 2: Location and Zone Map



# BEACON POINTE VILLAGE 8

---

## VILLAGE PLAN



# Table of Contents

Vicinity Context .....	1
Legal Description.....	2
Community & Village Plan Areas .....	3
Use Map & Buildout Allocation.....	4
Road Dedication Plan.....	5
Road Access Plan.....	6
Detailed Concept Plan.....	7
Development Standards .....	8
Vehicular Plan .....	11
Development Standards.....	12
Fencing Plan .....	16
Phasing Plan .....	17
Detailed Lotting Plan - Phase 1.....	18
Detailed Lotting Plan - Phase 2.....	19
Landscape Plan.....	20
Open Space Plan .....	21
Street Tree Plan.....	22
Landscape Plant Palette .....	23
Pedestrian Plan.....	27
Fire Access Plan .....	28
Additional Elements.....	29
Site Characteristics - Survey.....	30
Site Characteristics .....	31
Culinary Water.....	32
Secondary Water .....	33
Sewer.....	34
Storm Drain .....	35

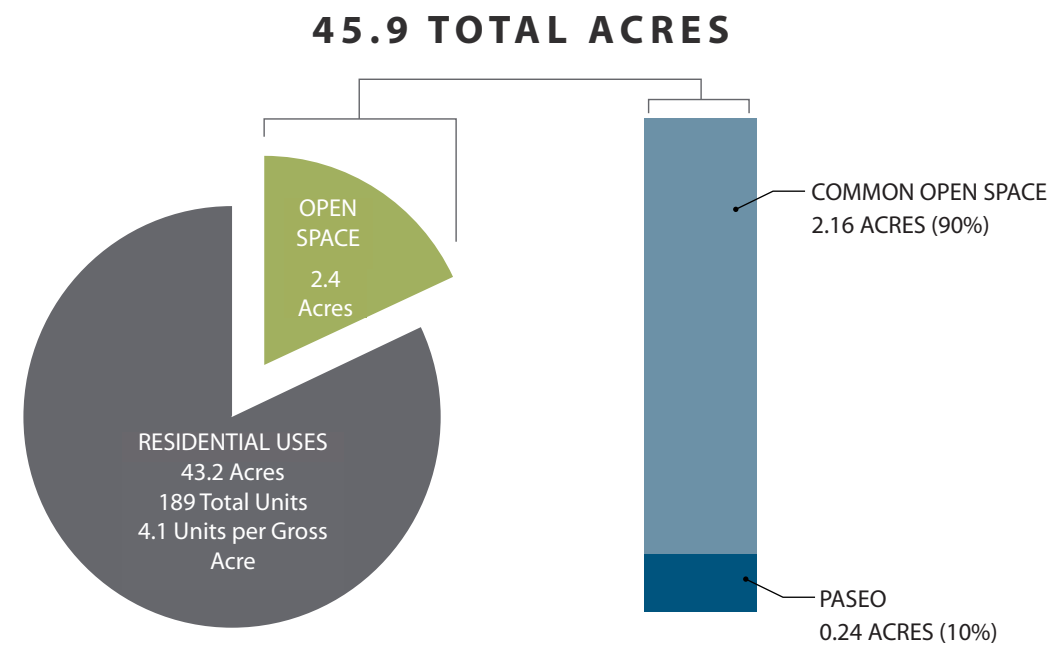
## PREFACE

The following Village Plan document addresses the Improvements as they pertain to the Beacon Pointe Community located in Saratoga Springs, Utah. The property and the proposed improvements for the development are discussed in detail and follow the requirements set forth within the Village Plan requirements of the City Code of Saratoga Springs. This document supersedes Title 19 land development code and ordinances for Village 8 - Porter Haven, where allowable by 2021 city code, however any issue not addressed in either the Beacon Pointe Community

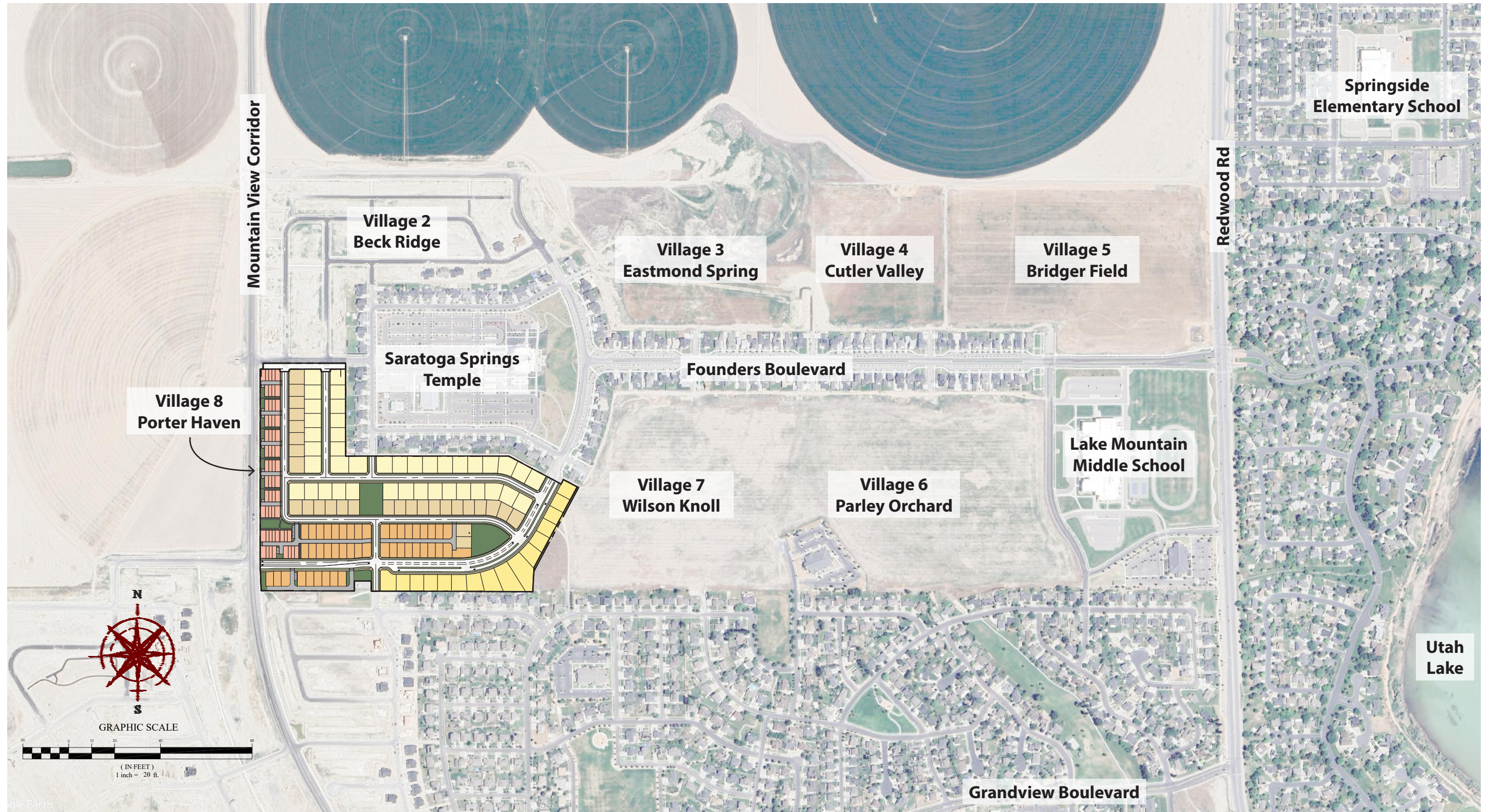
Plan or Village Plan, will default to Title 19 standards. The purpose of the document is to inform the City (Staff, Planning Commission and City Council) and Public of the proposed general design elements, open space plans, guiding design principles and land uses for Village 8. In addition, utility capacities, based on conceptual plans, will outline the methods used to anticipate the demands and service requirements necessary to provide adequate utility service and infrastructure for both the residences within the development and the City.

## EXECUTIVE SUMMARY

Village 8 - Porter Haven is an approximate 45.9 acre parcel located east of the future Mountain View Corridor extension and North of the existing Grandview and Saratoga Hills subdivisions of Saratoga Springs. The proposed Village Plan incorporates the following units and approximate acreages:



# Vicinity Context



# Legal Description

---

LEGAL DESCRIPTION(S)  
(FROM TITLE REPORT)

A part of the North Half of Section 34, Township 5 South, Range 1 West, Salt Lake Base and Meridian, located in Saratoga Springs, Utah County, Utah, being more particularly described as follows:

Beginning at a point located on the easterly right-of-way line of Mountain View Corridor said point being North 89°50'00" West 916.94 feet along the Section line and South 1213.26 feet from the North Quarter Corner of Section 34, Township 5 South, Range 1 W, Salt Lake Base and Meridian; running thence North 89°59'55" East 11.05 feet; thence North 44°59'59" East 10.56 feet; thence North 00°00'01" West 31.03 feet; thence North 89°59'55" East 539.54 feet to the westerly boundary line of Founders at Beacon Pointe Plat A according to the official plat thereof recorded March 03, 2020 as Entry No. 27310:2020 in the Utah County Recorder's Office; thence along said plat the following seven (7) courses: (1) South 00°00'05" East 38.50 feet; thence (2) South 00°00'18" West 568.68 feet; thence (3) East 1,067.49 feet; thence (4) South 61°50'59" East 388.24 feet; thence (5) North 28°09'01" East 29.06 feet; thence (6) Northeasterly along the arc of a non-tangent curve to the right having a radius of 421,901.98 feet (radius bears: South 65°01'20" East) a distance of 4.26 feet through a central angle of 00°00'02" Chord: North 24°58'41" East 4.26 feet; thence (7) South 61°50'59" East 112.39 feet; thence South 28°09'01" West 620.03 feet; thence South 02°59'33" West 134.24 feet to the northerly boundary line of The Benches Plat 10 according to the official plat thereof recorded May 12, 2006 as Entry No. 58788:2006 in the Utah County Recorder's Office; thence along said plat North 89°45'56" West 846.93 feet; thence North 89°50'07" West 210.01 feet to the easterly boundary line of the Questar Benches Minor Subdivision according to the official plat thereof recorded September 24, 2013 as Entry No. 90979:2013 in the Utah County Recorder's Office; thence along said plat the following three (3) courses: (1) North 00°23'17" West 65.00 feet; thence (2) North 89°50'07" West 110.00 feet; thence (3) South 00°23'17" East 65.00 feet to the northerly boundary line of Canton Ridge East Phase A according to the official plat thereof recorded January 25, 2023 as Entry No. 4626:2023 in the Utah County Recorder's Office; thence North 89°50'07" West 609.23 feet to the right-of-way line of Mountain View Corridor; thence along said right-of-way line the following two (2) courses: (1) Northerly along the arc of a non-tangent curve to the right having a radius of 3,000.00 feet (radius bears: North 86°09'42" East) a distance of 200.99 feet through a central angle of 03°50'19" Chord: North 01°55'09" West 200.95 feet; thence (2) North 1,249.14 feet to the point of beginning.

# Community & Village Plan Areas



The Saratoga Springs City Center District Area Plan grants the right to develop in accordance with Section 19.26.13 of the Saratoga Springs City Code. The Beacon Pointe Community Areas is contained within and is a part of the approved City Center District Area Plan.

This Village Plan 8 area is allowed to contain Master-planned Subdivision uses allowing up to 14 dwelling units/acre.

Specific uses shall comply with the standards identified in the District and Community Plans. Where the District, Community or Village Plans are silent, the existing Saratoga Springs Municipal Codes shall govern.

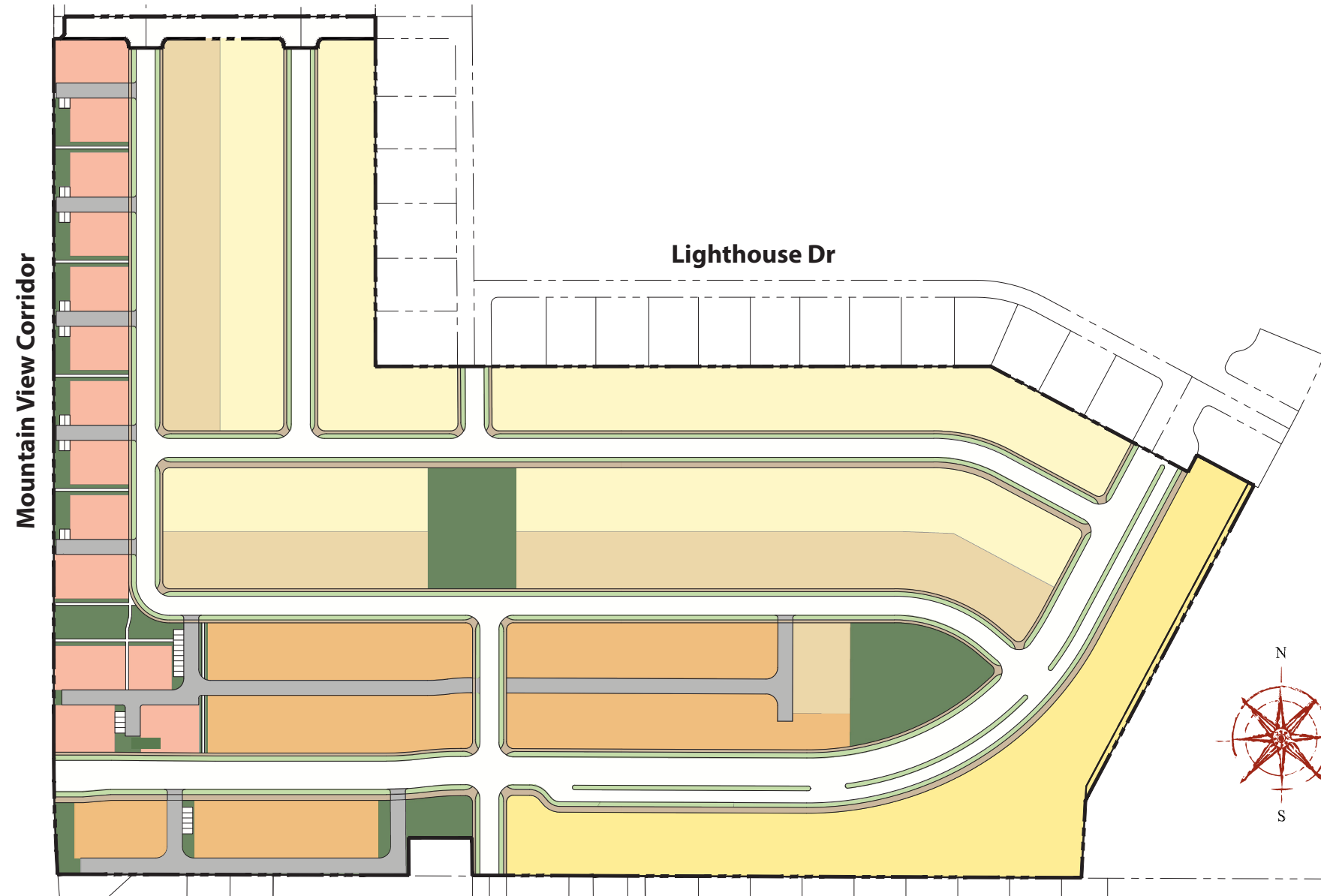
### District Plan Land-Use Designation

MASTER-PLANNED SUBDIVISION	
Range of Average dwelling units/acre	4-14 du/ac
Range of Average FAR	0.35-0.5

### Legend

- Beacon Pointe Community Plan
- Beck Ridge Village 2
- Founders Boulevard Village 1A
- Saratoga Springs Temple Village 1B

# Use Map & Buildout Allocation



The Land Use Map depicts the proposed land uses for Village 8 - Porter Haven. The District Area Plan (DAP) provides specific "Place Types" that have been offered as guidelines for future development. The proposed land uses for Village 8 fall within the Master-Planned Community category with a gross dwelling density of 4.1 units per acre.

The land use tabulations are broken down into the following categories:

### MIXED RESIDENTIAL

This Village is characterized by both traditional single-family detached and single-family attached housing products. Traditional single family lots comprise the bulk of the residential area, with some limited areas of single-family townhomes along Mountain View Corridor.

### OPEN SPACE

The overall Village 8 site contains 2.4 acres (5.22%) of open space, divided into three main areas spread throughout the development.

### LAND USE INTENSITIES

4.11 persons per residential ERU has been used for estimating projected populations.

NOTE: Pursuant to the Community Plan, Unit Count may fluctuate up to 15% with approval of the Planning Director and lot dimensions may vary up to minimum established for Village 8, shifting village boundaries accordingly. If open space is equal to or greater than the minimum requirement and unit count is lower, equal, or within the 15% increase allowance, a village plan amendment will not be required.

### Land Use Summary

Total Site Area	45.9 ac
Single-Family Residential	10.2 ac
Single-Family Residential	4.8 ac
Single-Family Residential	5.1 ac
Single-Family Residential Alley-Loaded	5.4 ac
Townhomes	2.6 ac
Open Space	2.4 ac
Roads/Alleys	14.1 ac

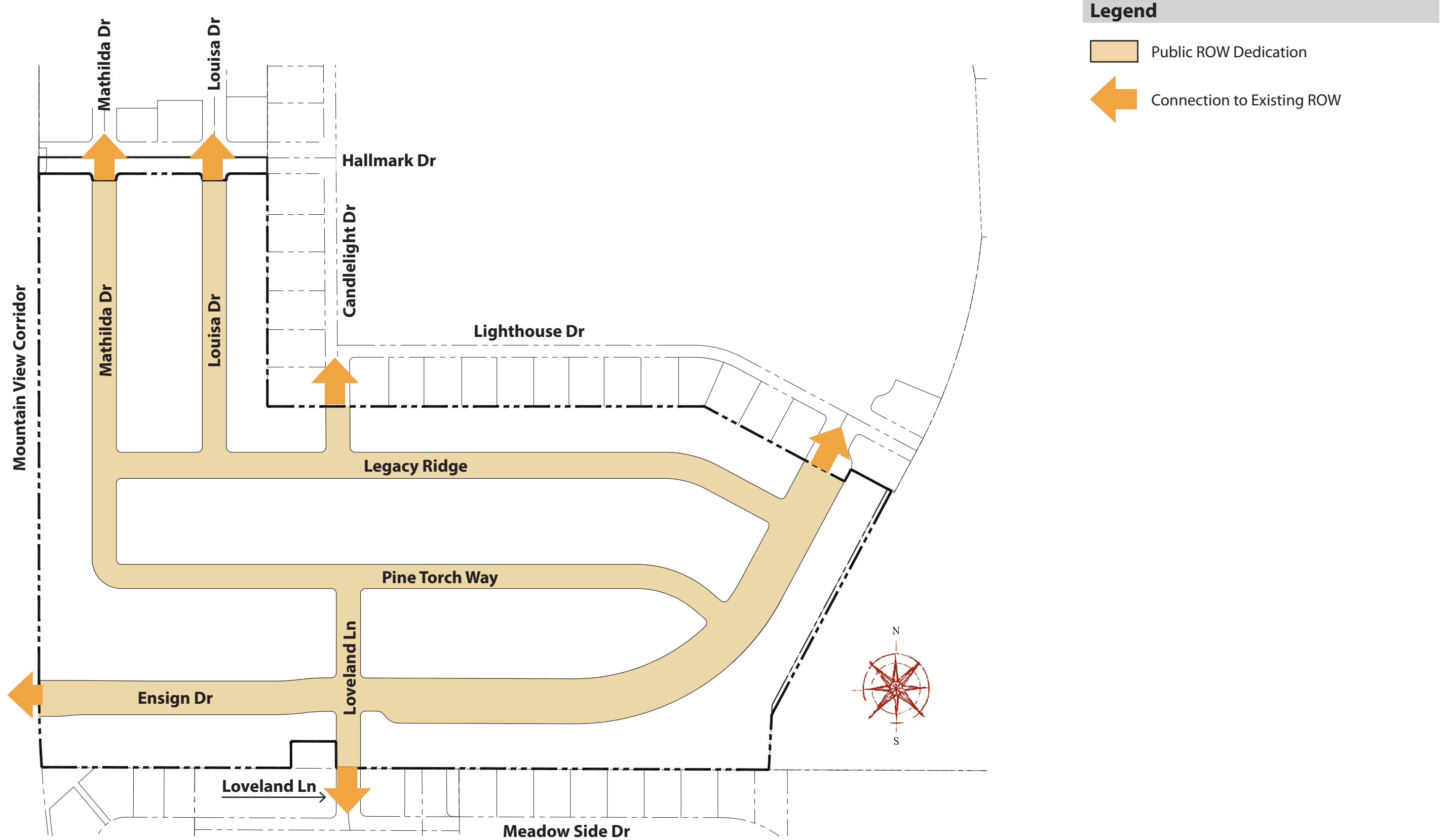
### Proposed Project

**Overall Village Area:** 45.9 ac  
**Units per Gross Area:** 4.1 du/ac  
**Mixed Residential Area:** 28.7 ac (63%) | 189 ERUs Total | 189 Units  
**Open Space Area:** 2.4 ac (5.23%)  
**Projected Population:** 777 persons

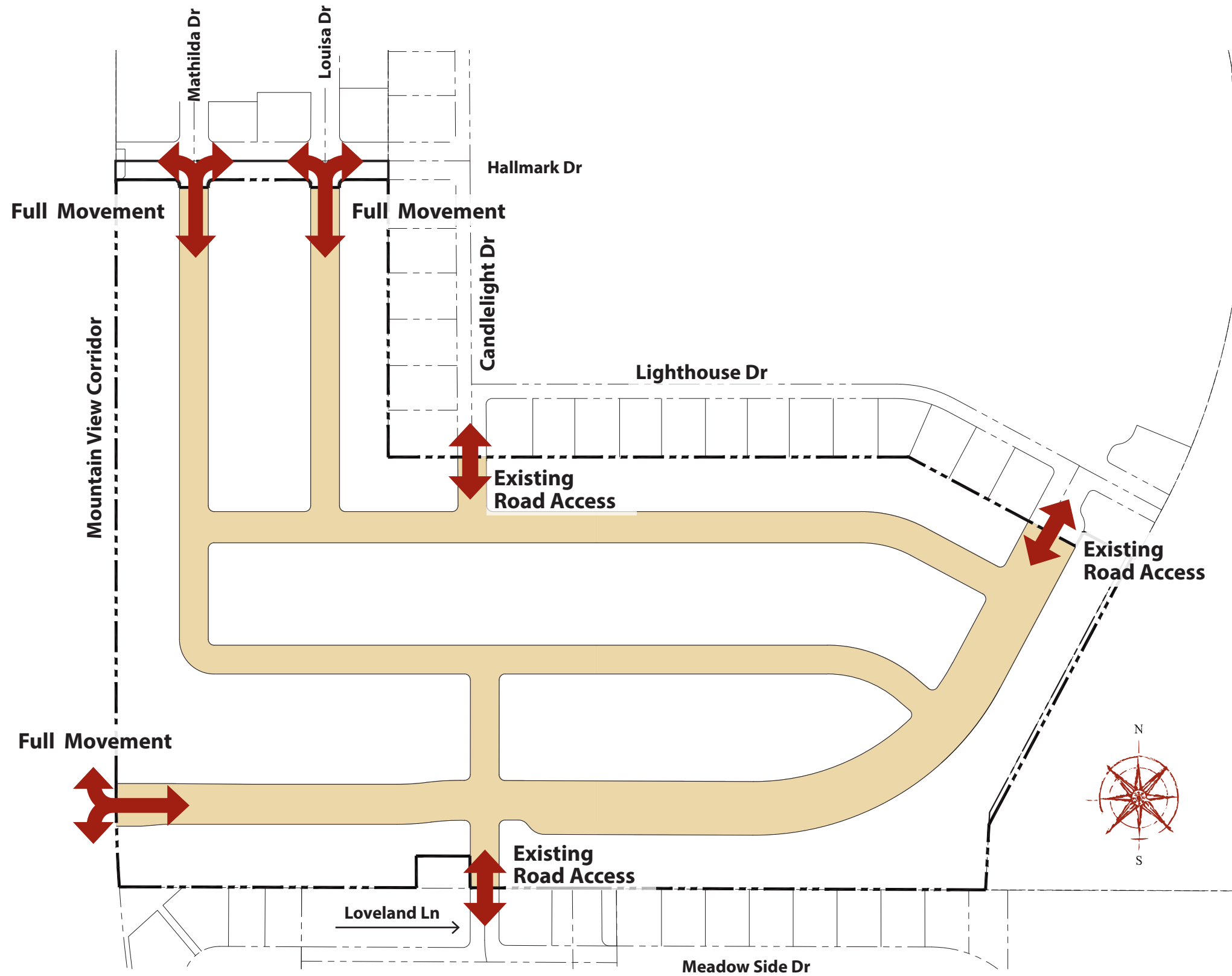
### Community Plan Comparison

**Overall Village Area:** 46.0 ac  
**Units per Gross Area:** 4.5 du/ac  
**Mixed Residential Area:** 28.1 ac (62%) | 207 ERUs Total | 207 Units  
**Open Space Area:** 2.4 ac (5.28%)  
**Projected Population:** 850 persons

# Road Dedication Plan



# Road Access Plan









# Detailed Concept Plan



## Site Summary

Total Site Area	45.9 AC
Total Units	189
Density	4.1 du/ac

## Land Use Summary

	Single-Family Lots (90-100')	10.2 AC
	Single-Family Lots (80-90')	4.8 AC
	Single-Family Lots (75-80')	5.1 AC
	Single-Family Lots (50' rear)	5.4 AC
	Townhomes	2.6 AC
	Common Open Space	2.4 AC

# Development Standards

## TRADITIONAL SINGLE-FAMILY DETACHED

### LOT REGULATIONS

**Lot Size:** The following standards for lots shall be provided and maintained for each dwelling and uses accessory thereto:

**Lot Area:**

85-95' wide lots: 8,000 Sq Ft  
75' wide lots: 6,000 Sq Ft

**Lot Width:**

Minimum 40' at the designated front setback.  
The minimum frontage along a public right-of-way shall be 30 feet.

**Lot Coverage:**

The maximum lot coverage shall be seventy-five percent.

**Building Height:**

40 feet max. All single-family buildings shall be no higher than 40 feet as measured per Saratoga Springs Land Development Code.

**Minimum Square Feet:**

85-95' wide lots: 1,900 Sq Ft of living space above grade.  
75' wide lots: 1,500 Sq Ft of living space above grade.

**Parking Requirements:**

Minimum enclosed parking spaces: 2 spaces per lot

**Driveways:**

Maximum width of driveway at right-of-way is 20 feet. Driveways may widen closer to the garage entrance.

All traditional single-family detached housing shall incorporate a minimum 25 foot long driveway when the garage is facing a public right-of-way.

### SETBACKS

**Front Yard:** 25 feet.

Setback shall be as measured from a public right-of-way to the garage face, or 11' feet measured to the foundation of living space, a covered porch, patio or garage side if present.

**Side Yard:** 5.5 feet.

All dwelling structures, other main buildings, and accessory buildings requiring a building permit shall be set back from each side property line a distance of at least 5.5 feet. Setbacks shall be measured to the foundation. Bay windows, pop-outs and other structures may encroach up to 3' into the 5.5 foot setback.

**Rear Yard:** 15 feet.

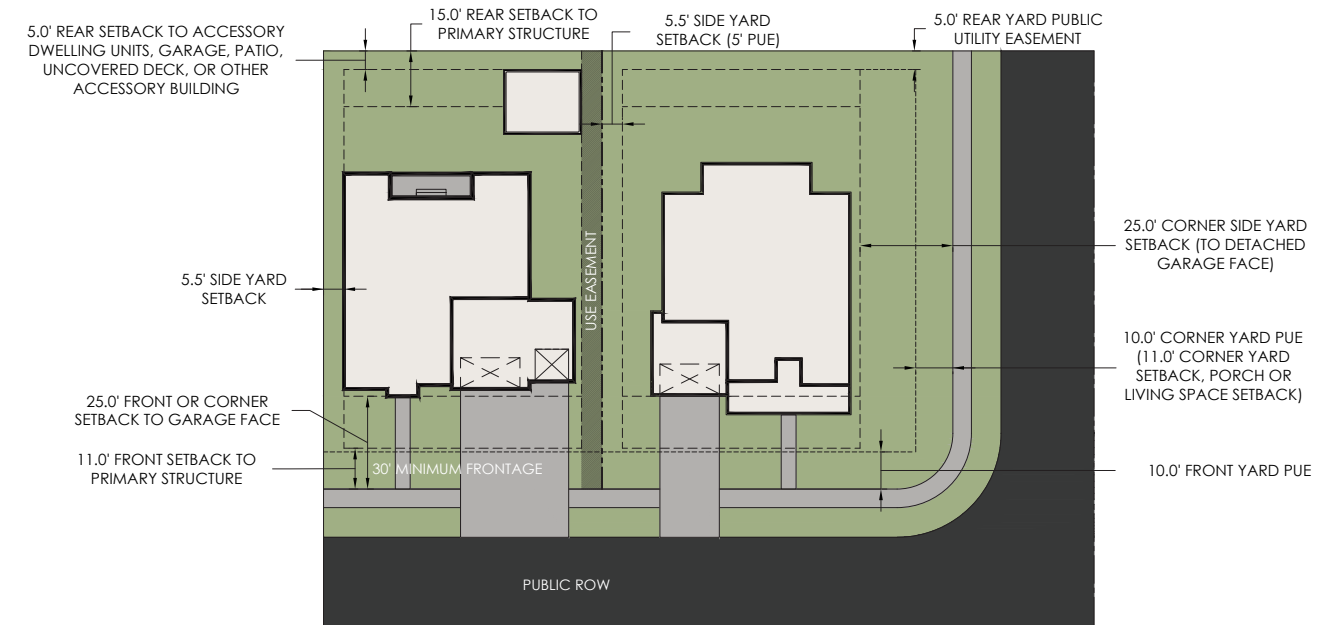
All primary dwelling structures shall be set back from the rear property line a minimum of 15 feet as measured to the foundation.

**Rear Yard detached accessory structures:** 5 feet.

Accessory dwelling units, uncovered decks, patios, detached garages and other accessory buildings shall be set back from the rear property line a minimum of 5 feet as measured to the foundation.

**Corner Lots:**

On corner lots, the side yard setback on the street side of the lot shall be 25 feet as measured from a public right-of-way to the detached garage face and 11 feet measured to foundation of the primary dwelling structure, a covered porch, patio or garage side if present.



### ACCESSORY BUILDINGS & DWELLING UNITS

Any Accessory Buildings including Detached Accessory Dwelling Units (ADU) shall complement the architecture and style of the main residence, with the intent that it appear part of the original build. ADUs shall be governed by state law and Saratoga Springs Title 19 regulations.

#### Development Standard Definitions

**Primary Dwelling Structure:**

Areas of the primary structure that are used for living, sleeping and cooking. Excludes attached covered patios/decks, and other detached accessory buildings. Attached garages will adhere to primary structure setbacks unless a separate setback is specified.

**Accessory Dwelling Unit:**

A subordinate dwelling, which has its own kitchen, living/sleeping area, and sanitation facilities.

**Accessory Building:**

A detached structure or building which is subordinate to, and the use of which is subordinate to, and whose use is customarily incidental to, that of the primary dwelling structure, or use on the same lot. These include but are not limited to detached garages, greenhouses, pool houses, sunrooms, workshops, storage sheds and other similar structures.

# Development Standards

## SINGLE-FAMILY DETACHED ALLEY-LOAD

### LOT REGULATIONS

**Lot Size:** The following standards for lots shall be provided and maintained for each dwelling and uses accessory thereto:

**Lot Area:**

50' wide lots: Minimum 4,000 Sq Ft

**Lot Width:**

Minimum 40' at the designated front setback.  
The minimum frontage along a public right-of-way shall be 30'.

**Lot Coverage:**

The maximum lot coverage shall be seventy-five percent.

**Building Height:**

40 feet max. All single-family buildings shall be no higher than 40 feet as measured per Saratoga Springs Land Development Code.

**Minimum Square Feet:**

50' wide lots: 1,200 Sq Ft of living space above grade.

**Parking Requirements:**

Minimum enclosed parking spaces: 2 spaces per lot

**Driveways:**

Maximum width of driveway at right-of-way is 20 feet.  
Driveways may widen closer to the garage entrance.

**Lighting:**

All rear yard structures facing onto the private alley shall have either directed under eave light or shielded exterior lighting fixtures to allow for safe egress/ingress and are encouraged to use sensors and timers as appropriate. Dark Sky approval or low BUG (Backlight, Uplight, Glare) ratings can be helpful in choosing appropriate fixtures.

### SETBACKS

**Front Yard:** 11 feet.

Setback measured to the foundation of living space, a covered porch, or patio.

**Side Yard:** 5.5 feet.

All dwelling structures, other main buildings, and accessory buildings requiring a building permit shall be set back from each side property line a distance of at least 5.5 feet. Setbacks shall be measured to the foundation. Bay windows, pop-outs and other structures may encroach up to 3' into the 5.5 foot setback.

**Rear Yard:** 20 feet/5.5 feet.

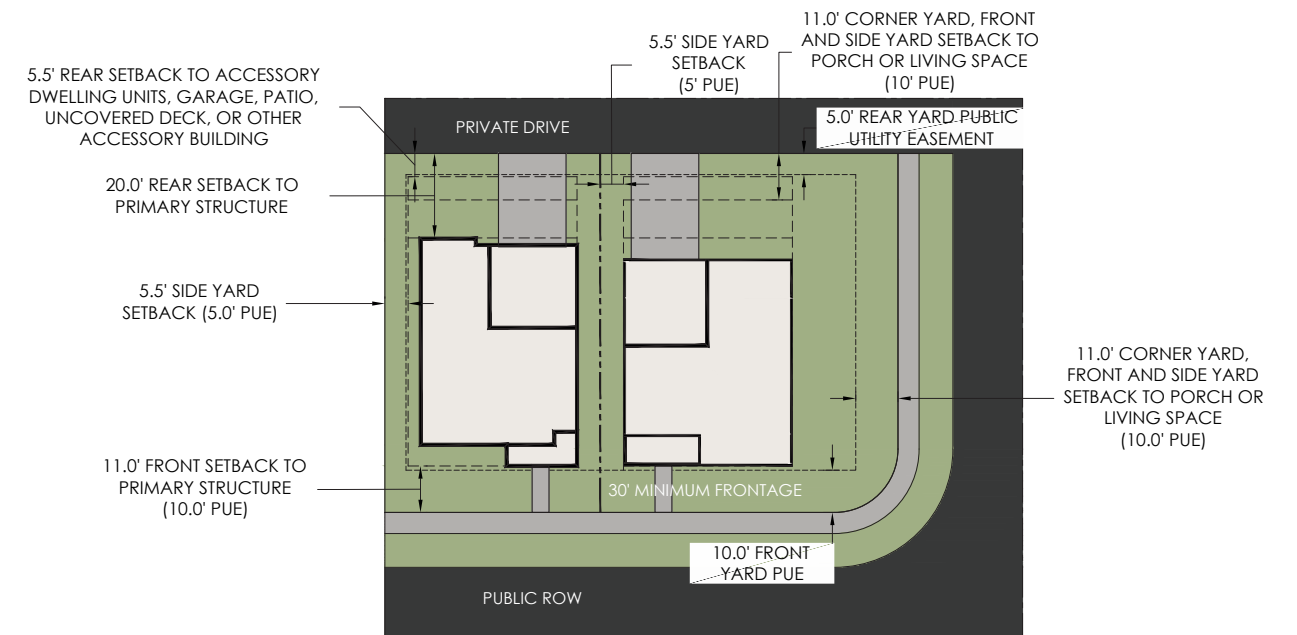
All primary dwelling structures shall be set back from the rear property line a minimum of 20 feet as measured to the foundation. Alley-loaded garages shall be set back a minimum of 5.5 feet from the alley.

**Rear Yard detached accessory structures:** 5.5 feet.

Accessory dwelling units, uncovered decks, patios, detached garages and other accessory buildings shall be set back from the rear property line a minimum of 5.5 feet as measured to the foundation.

**Corner Lots:**

On corner lots, the side yard setback on the street side of the lot shall be 11 feet measured to foundation of the primary dwelling structure, a covered porch, patio or garage side if present.



# Development Standards

## SINGLE FAMILY ATTACHED (NON-TRADITIONAL) TOWNHOMES

### LOT REGULATIONS

The following standards for lots shall be provided and maintained for single family attached residential dwelling areas:

#### Lot Coverage:

The maximum lot coverage shall be seventy-five percent.

#### Building Height:

45 feet. All single family attached residential buildings shall be no higher than 45 feet as measured per Saratoga Springs Land Development Code.

#### Minimum Square Feet:

The minimum finished square footage shall be 1,300 square feet of living space above grade.

#### Parking Requirements:

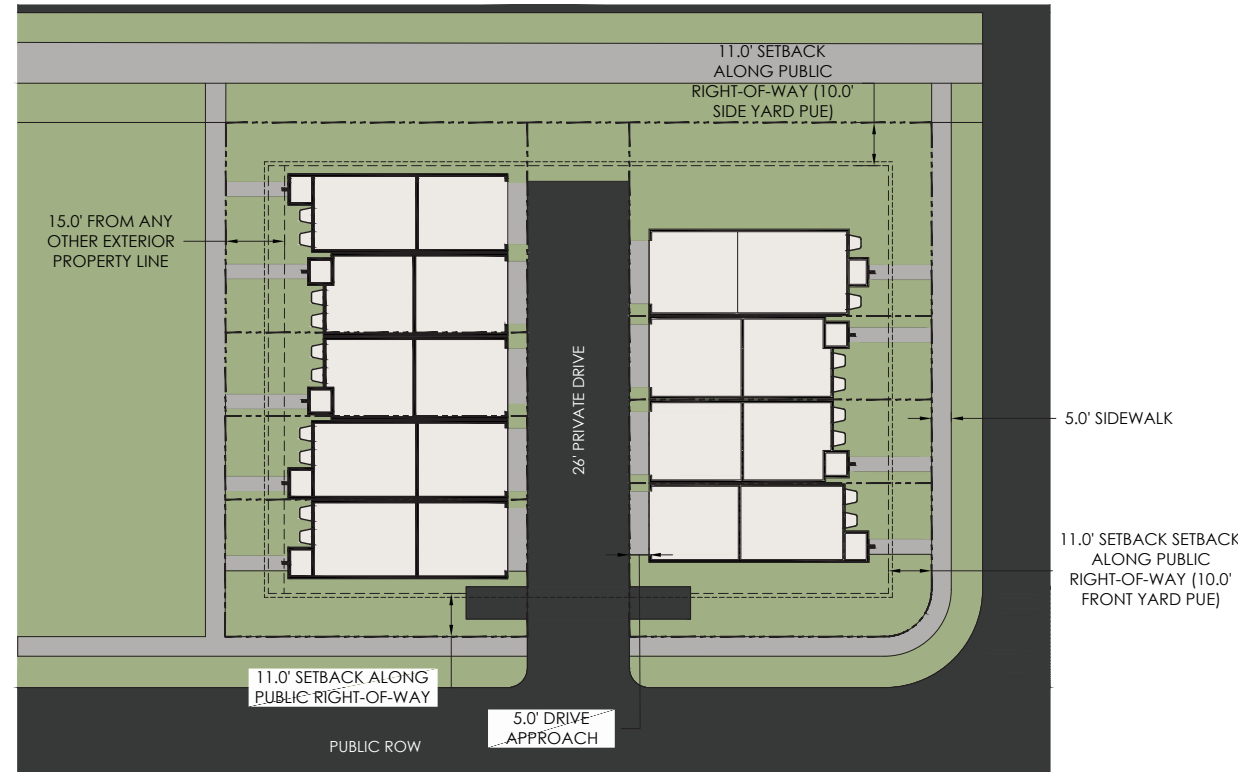
Minimum parking spaces: 2 spaces per unit. Tandem parking of a garage stall and associated driveway stall shall be allowed and count as two stalls. Public street parking does not qualify to meet requirements, but will be provided.

#### Access:

Single-family attached units will be accessed by 26' private drives, with dead-ends not exceeding 150' in length.

### SETBACKS

All single family attached residential buildings shall have a minimum setback of 11 feet from property line to foundation along any public right-of-way and 15 feet from any other exterior property line. Interior lot and rear lines shall not be subject to minimum setbacks. Setbacks shall be measured to the foundation. Bay windows, pop-outs and other structures may encroach up to to 3' into the 5.5 foot setback.



# Development Standards

## SINGLE-FAMILY DETACHED - BUILDING TYPES

### ARCHITECTURAL STANDARDS

Architectural styles that include extreme colors, problematic materials, or styling as defined by the Architectural Review Committee will not be allowed within the Village. However, reasonable variations in the architectural styles and construction materials are allowed and will be necessary to give flexibility for future trends in the market place. All variations in style and material require formal approval from the Village Architectural Review Committee.

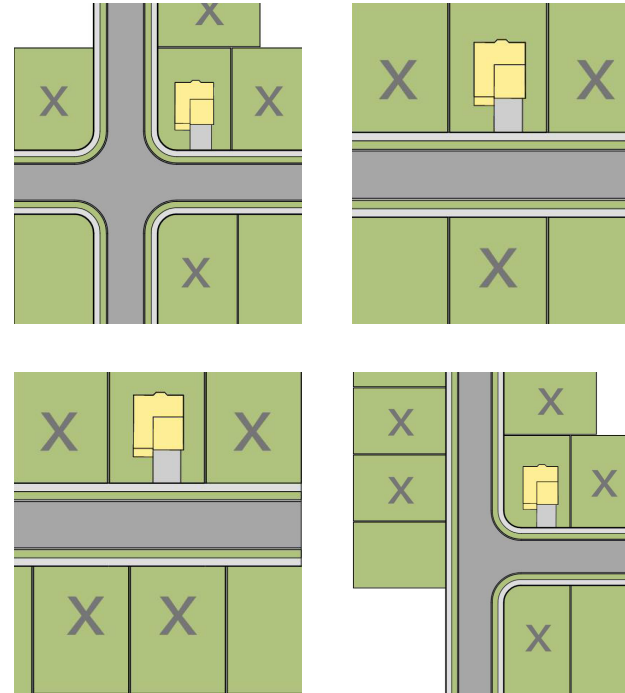
#### Floor Plan & Exterior Color Scheme Mixing:

In an effort to promote variety within the neighborhood the following village-wide restriction will be enforced:

- No single-family homes may be built on lots next door to or directly across the street from previously selected single family homes with the same floor plan.
- Identical floor plan and elevation combinations must be separated by at least 3 lots
- No main body exterior color can be built next door or directly across the street from a previously selected main body exterior color.

#### Spatial Hierarchy:

Create a progression of spaces, transitioning from the public to private realm. At the sidewalk begin to define the semi-public front yard with a change in materials or planting and continue to articulate the semi-private porch or entry court with seating, planters and other furniture.



Floor Plan & Exterior Color Scheme Mixing Exhibit

#### Architectural Styles:

Listed in the section are examples of architectural styles that will be acceptable for Village 8 Builders. Architectural Styles should be inspired by local and regional architecture to contribute to a sense of place. Avoid combining structural and decorative characteristics from different architectural styles into a single building. Allowable styles as set forth in this plan are as described by the Utah Department of Heritage and Arts. Further detail and reference at <https://heritage.utah.gov/history/building-styles> and in the document 'Architectural Styles in Utah' in Appendix G of the Community Plan.

#### A. Classical Building Styles

- Georgian
- Federal

#### B. Picturesque Building Styles

- Greek Revival
- Gothic Revival
- Italianate

#### C. Victorian Building Styles

- Stick Style
- Shingle Style
- Romanesque

#### D. Early Twentieth-Century Building Styles

- Bungalow
- Arts and Crafts
- Prairie School

#### E. Period Revival Building Styles

- Colonial Revival
- Jacobethan Revival 1900-1935

# Development Standards

	SINGLE-FAMILY DETACHED	SINGLE-FAMILY DETACHED ALLEY LOAD	SINGLE-FAMILY ATTACHED TOWNHOMES
LOT REGULATIONS			
Lot Area	85'-95' wide lots: <b>8,000sq ft min.</b> 75' wide lots: <b>6,000sq ft min.</b>	50' wide lots: <b>4,000sq ft min.</b>	NA
Lot Width	Minimum 40' at the designated front setback. Minimum 30' frontage along a public right-of-way	Minimum 40' at the designated front setback. Minimum 30' frontage along a public right-of-way	NA
Lot Coverage	75% maximum	75% maximum	75% maximum
Building Height	40' maximum	40' maximum	45' maximum
Minimum Square Feet	85-95' wide lots: <b>1,900 sq ft of living space above grade.</b> 75' wide lots: <b>1,500 sq ft of living space above grade.</b>	50' wide lots: <b>1,200 sq ft of living space above grade.</b>	<b>1,300 sq ft of living space above grade.</b>
Parking Requirements	Minimum 2 enclosed spaces per lot	Minimum 2 enclosed spaces per lot	Minimum parking spaces: 2 spaces per unit. Tandem parking of a garage stall and associated driveway stall shall be allowed and count as two stalls. Public street parking does not qualify to meet requirements, but will be provided.
Driveways	20' maximum width at right of way	20' maximum width at right of way	Min. length 20'. Driveway length may be shortened to five feet for rear load townhomes. 20' maximum width at back of curb.
Access	NA	NA	Single-family attached units will be accessed by 26' private drives, with dead-ends not exceeding 150' in length.
SETBACKS - PRIMARY STRUCTURE			
Front Yard	25'	11'	All single family attached residential buildings shall have a minimum setback of 11 feet from property line to foundation along any public right-of-way and 15 feet from any other exterior property line. Interior lot and rear lines shall not be subject to minimum setbacks.
Side Yard	5.5'	5.5'	
Rear Yard	15'	All primary dwelling structures from the rear property line: <b>20' min.</b> Alley-loaded garages: <b>5.5' min.</b>	
Rear Yard detached accessory structure	5'	5.5'	
Side Yard - Corner Lot	25' to the garage 11' to the primary structure	11' to the primary structure	

# Development Standards

## BUILDING TYPES

### PICTURESQUE BUILDING STYLES



Greek Revival



Gothic Revival



Italianate

### CLASSIC BUILDING STYLES



Georgian Style



Federal Style

### VICTORIAN BUILDING STYLES



Stick Style



Shingle Style



Romanesque

### PERIOD REVIVAL BUILDING STYLES



Colonial Revival Style



Jacobethan Style

### EARLY TWENTIETH-CENTURY BUILDING STYLES



Bungalow Style



Arts and Crafts Style



Prairie Style

### STYLES APPLIED TO SINGLE-FAMILY ATTACHED



Colonial Revival Style



Georgian Style

# Development Standards

## ARCHITECTURAL SINGLE-FAMILY ATTACHED STANDARDS

These standards are intended to supersede 19.16.06 for single-family attached residential development. The intention is to allow for building composition and development that reflects the building styles shown on page 13 of this document.

The following standards apply to all new single-family attached residential development<sup>1</sup>:

### 1. Architectural Material Transitions.<sup>2</sup>

- a. Material transitions must occur at full-height internal corners.
- b. On corner units\*, stone, brick, or siding shall wrap the front and side elevations and at least 2 feet around the rear elevation.<sup>3</sup>

\*Corner units, for the purposes of the architectural standards specified here, are at the intersection of two streets or the intersection of a street and common open spaces.

### 2. Materials and colors.<sup>3</sup>

- a. A minimum of two permitted materials and two colors shall be utilized on front or street side elevations, building façades abutting common open space, or building façades abutting an arterial or collector road. The roof shall not be considered a material or color. Trim, including soffit/fascia, corner boards, trim around openings, and horizontal bands, may be considered a separate permitted material.
- b. Soffits/Fascia and trim shall match or be a complementary color.
- c. No more than 75 percent of any building elevation shall consist of any one material or color. The roof shall not be considered a material or color.
- d. Enhanced building articulation may count as a separate material/color. This may include:
  - bay windows
  - porches
  - building cornices
  - operable shutters
  - dormers
  - full-height chimneys

### 3. Carports and Similar Structures<sup>4</sup>

- a. Carports and similar structures shall be compatible in

architectural design and details with the main residential structure by using at least two of the same materials and colors.

### 4. Building Articulation<sup>5</sup>

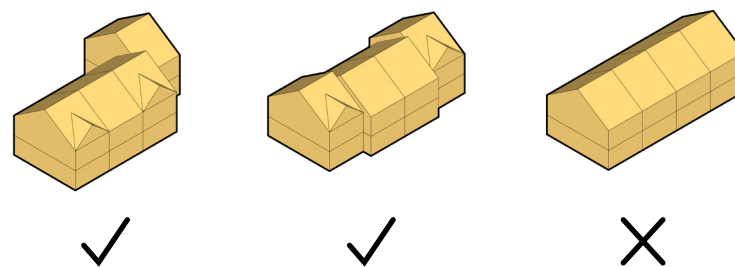
- a. For townhouse buildings composed of three or more units, all building façades abutting an arterial or collector road or abutting common open space shall include either: a porch or stoop that projects a minimum of 7 feet, or a bay window, or other building plane change that projects a minimum of 2 feet.

### 5. Color Variation<sup>6</sup>

- a. Townhouse developments containing more than five units shall be designed with at least two color palettes.<sup>9</sup>

### 6. Townhouse Composition<sup>7</sup>

- a. Townhouse buildings should have no more than three units in the same plane along the front elevation (see exhibit below).
- b. Transitions between building planes must be at least one foot.
- c. Buildings composed of 4 or more units shall include at least one front-facing gable along the street or common open space.



Left and center: Potential configurations for front elevations along different planes, with front-facing gables. Right: Comparing composition without plane change or front-facing gable. (Standards 6a, b, and c).

SEE FOLLOWING PAGE FOR STANDARDS COMPARISON.

### Permitted Materials:

#### Exterior Cladding

- Wood lap siding
- Fiber-cement lap siding, smooth finish
- Fiber-cement board and batten
- Fiber-cement shingles
- Brick
- Stone
- Stucco, smooth sand finish

#### Architectural Trim

- Composite
- Fiber-Cement
- Polymer millwork
- Hardwood

#### Roof

- Dimensional, architectural grade asphalt shingles
- Slate
- Synthetic Slate
- Metal, standing seam
- Metal, 5-v panels

### Prohibited Materials:

#### Exterior Cladding

- Vinyl Siding
- T-1-11 Siding
- Aluminum Siding

#### Architectural Trim

- PVC

# Development Standards

## COMPARISON TO EXISTING 19.16.06 STANDARDS

1. Applicability
  - a. **Removed:** Application to all multi-family and three-family residential development within the Beacon Pointe context.
  - b. **Added:** Standards specific to single-family attached residential development.
  - c. **Expanded:** Applicability to façades facing common open space in addition to arterial and collector roads.
2. Architectural Wrap and Material Transitions
  - a. **Modified:** Existing requirement for a two-foot material wrap into interior side elevations.
  - b. **Added:** Requirement for material transitions at full-height internal corners.
  - c. **Added:** Enhanced material wrap requirements for corner townhouse units, including front and side elevations and two feet around the rear.
3. Materials and Colors
  - a. **Modified:** Minimum requirement reduced from three materials and three colors to two materials and two colors on primary elevations.
  - b. **Removed:** Requirement for two materials and two colors on interior side and rear elevations.
  - c. **Added:** Trim elements may count as a separate material.
4. Carports
  - a. **Modified:** Carports and similar structures must include at least two of the same materials and colors as the primary building, replacing the existing “two out of three” compatibility requirement.
5. Building Articulation
  - a. **Removed:** Requirement for porch pop-outs or dormer gables on every other residential unit along arterial or collector roads.
  - b. **Added:** Flexible articulation options, including deep porches/stoops, bay windows, or building plane changes.
6. Color Variation
  - a. **Modified:** Threshold changed from developments exceeding five buildings to developments exceeding five units.
7. Townhouse Composition (New Section)
  - a. Maximum of three units permitted within the same front building plane.
  - b. Minimum one-foot plane transitions required between units.
  - c. Buildings containing four or more units must include at least one front-facing gable.

# Development Standards

## BUILDING TYPES

### FENCING

#### Fencing:

Fences and walls help define public and private open space boundaries, but can distract from the character of a community without regulation. Homeowners have the option of using the standard village-wide fence or submitting plans for a custom fence to the Architectural Review Committee for approval. Custom fences shall correspond to the style of the Architecture and will be approved at the discretion of the Architectural Review Committee. The City shall regulate and enforce all applicable City fence and wall standards. All City fence regulations shall apply. Any fence or wall standards that exceed City requirements shall be regulated and enforced by the Homeowners Association (HOA) through the Architectural Review Committee.

#### Residential Perimeter Fencing:

- Front Yard Height: maximum of 3 feet
- Back/Side Yard Height: maximum of 6 feet for privacy fencing between lots.
- A privacy fence shall be reduced to a height of 3 feet in front yards, and shall not be placed within 10' of the driveway for visibility.
- Privacy fencing will follow guidelines set in 19.06.09 items 1 and 2
- The Standard fence style throughout Village 8 is a wooden fence stained with Cabot Bleaching Stain in Natural Driftwood Gray.
- Acceptable materials for custom fencing- wood , metal, brick, stone, architectural concrete, etc. Vinyl, composite, and precast concrete products will be allowed on a case-by-case basis as approved by the Architectural Review Committee.

### OTHER STANDARDS

#### Accessory Buildings:

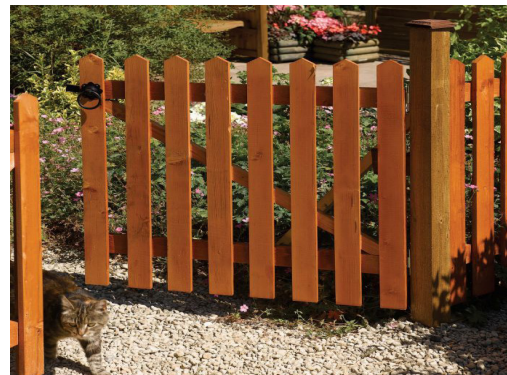
Design accessory buildings such that the exterior appearance of the building demonstrates design integrity in the following ways:

- Use complementary materials for exterior facades.
- Use window types that are similar in size, shape and proportion of the windows on the primary residential building.
- Use consistent roof materials and roof forms.

#### Privacy:

Use design strategies to protect privacy, such as offsetting windows of adjacent units, locating minor windows above eye level, and using opaque glass for minor windows.

#### Custom Fence Examples



Wooden Fence - 3' Max



Contemporary - Semi Private Fence



Wood & Metal Perimeter Fence - 3' Max



Modern Slat Privacy Fence - Closed Picket



Gabion & Wooden Fence - Closed Picket



Contemporary Mesh Fence - 3' Max

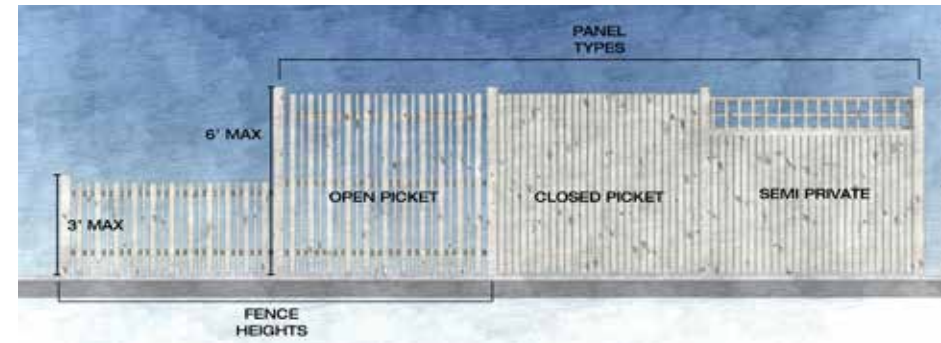
#### Mailbox Structures:

Village 8 multi-family areas will utilize the 16 Door Vogue Classic Cluster Mailbox of approved equivalent, located in or near the park strip for convenience. ADA accessible paths will allow access to the retrieval side. Mailbox locations will be identified on all final plats.







# Fencing Plan

## FENCING | RESIDENTIAL

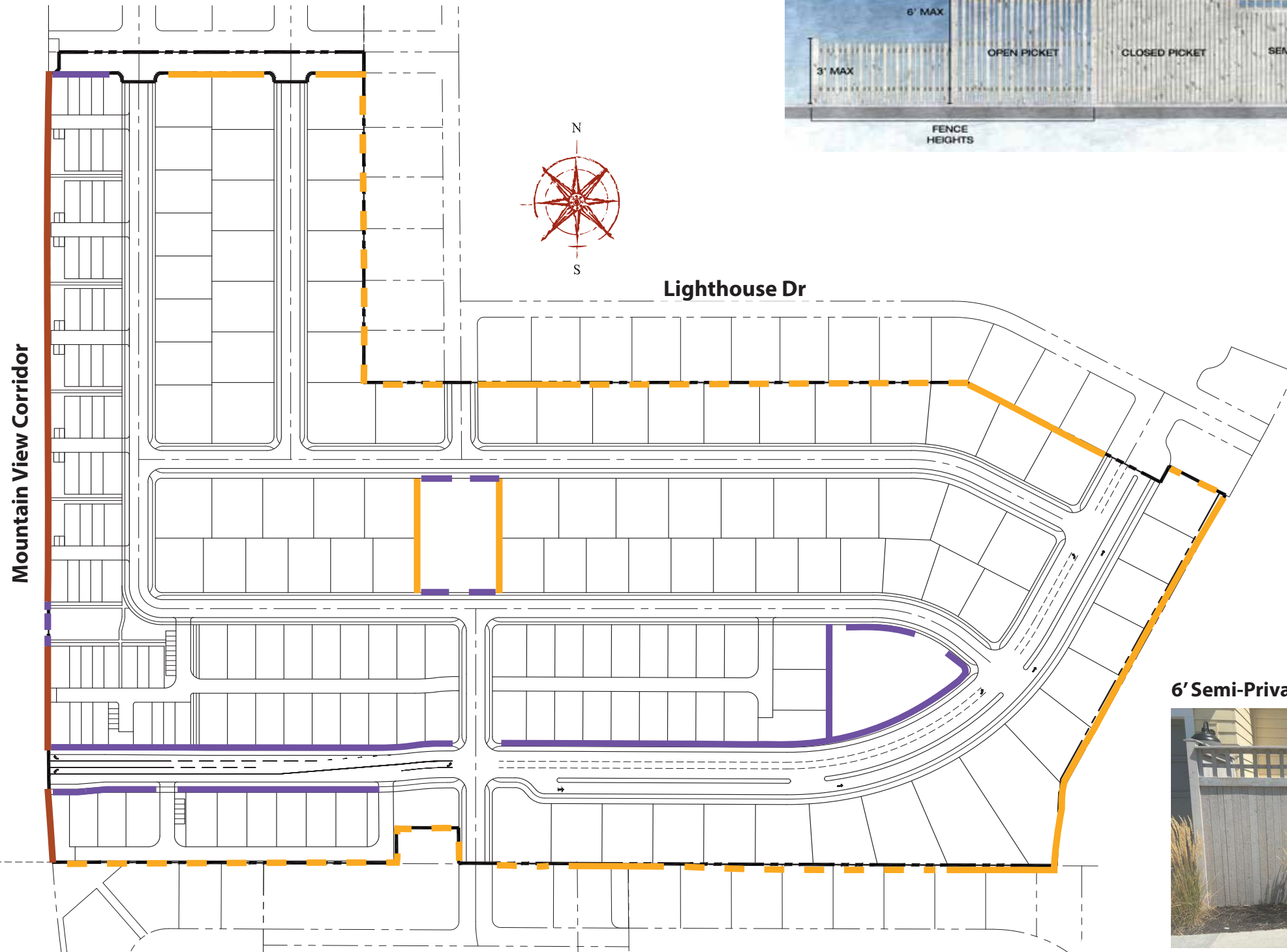


## Fencing Types

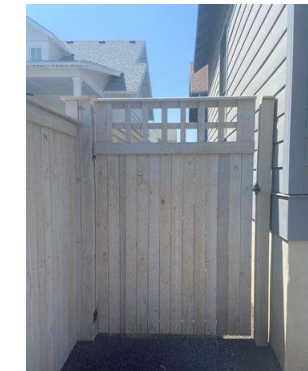
-  6' Semi-Private Stained Cedar Fence
-  6' Stained Cedar Fence
-  3' Picket Cedar with Planting
-  Existing 6' Stained Cedar Privacy Fence

### Notes:

1. Additional fencing may be installed on the side yards and rear yards of lots. Location and type of fence shall be approved by the ARC. Fencing shall follow city standards for fencing if the Village Plan does not state specifics.
2. Fencing on corners shall be terminated at the front-yard setback.
3. Openings in fencing shall accommodate for driveways, alleys and walkways.



6' Gate



6' Privacy



6' Semi-Privacy

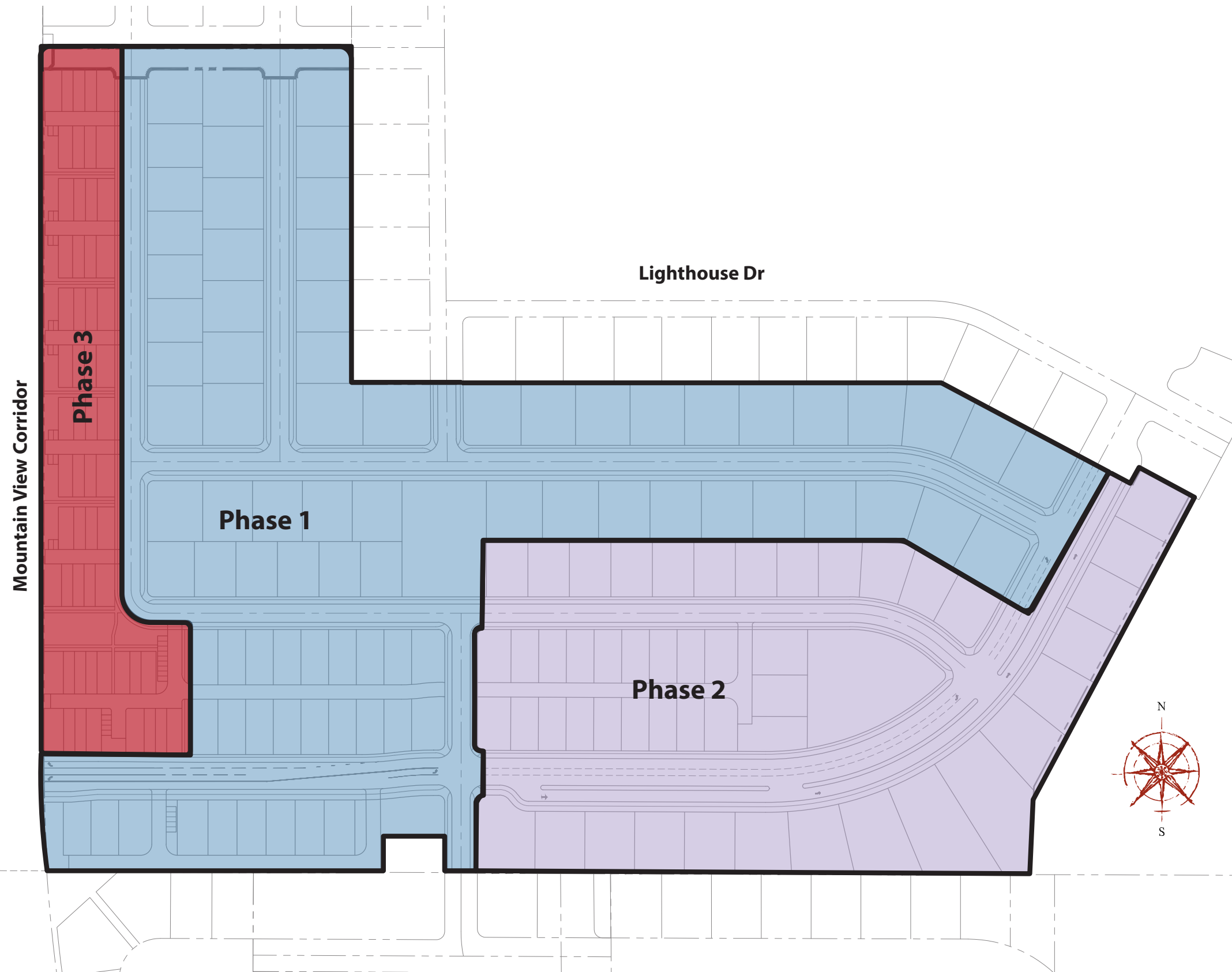


Picket



*Images are conceptual only.*

# Phasing Plan



## Legend

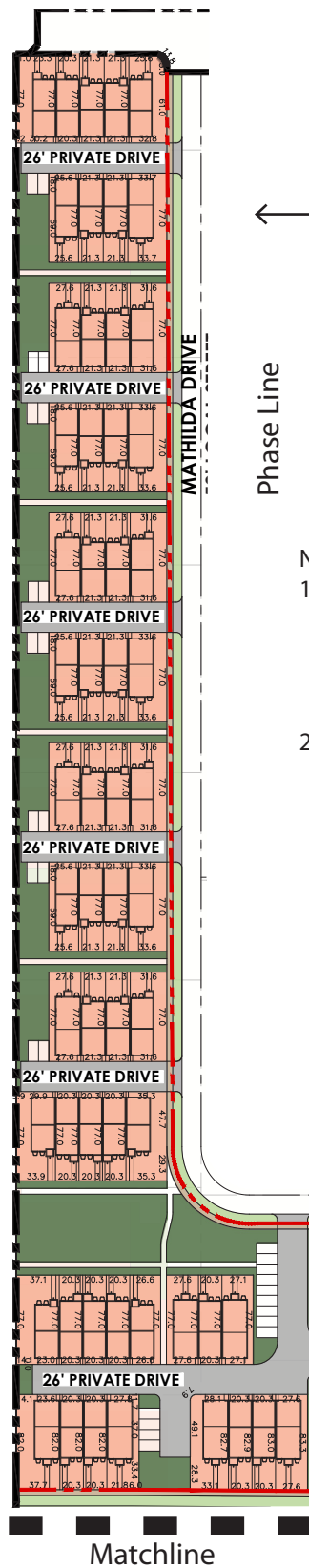
	Phase 1	26 AC	82 Units (52%)
	Phase 2	15 AC	49 Units (26%)
	Phase 3	5 AC	58 Units (22%)

### Notes:

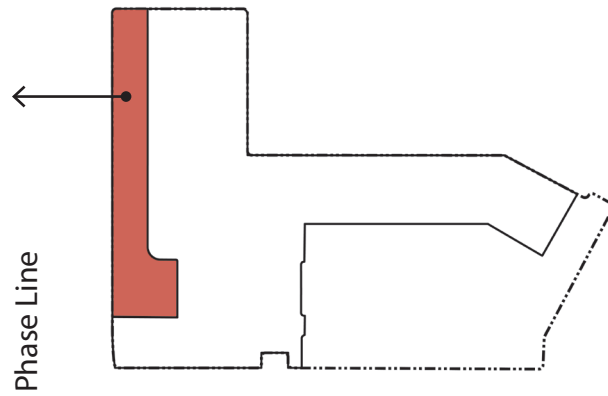
Acres are rounded to nearest whole number. Exact acreages to be determined at preliminary submittals.

Townhome layout is conceptual and shown for illustrative purposes only. Final townhome footprints, layout, and unit count will be determined at Phase 3 Preliminary submittals.

# Detailed Lotting Plan - Phases 1 & 3

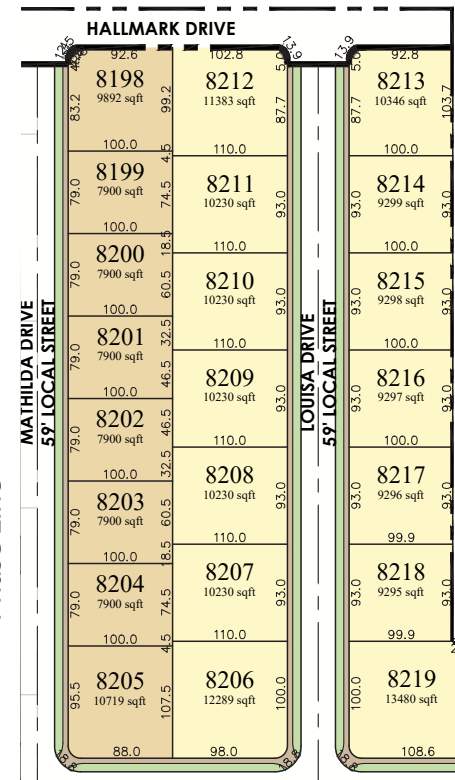


CONTEXT MAP: P3

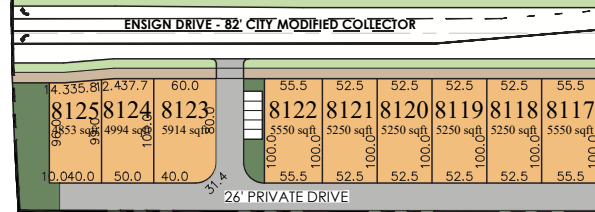
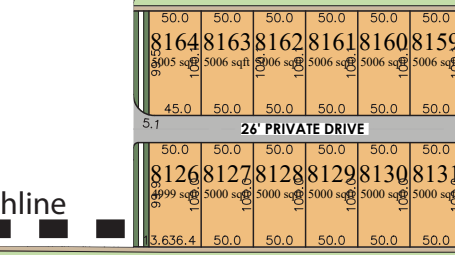
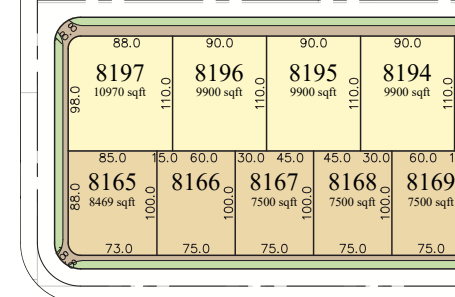
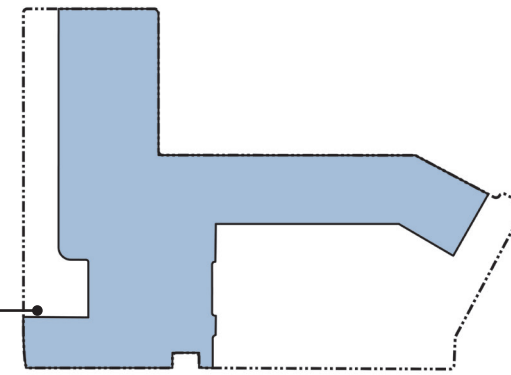


NOTES:

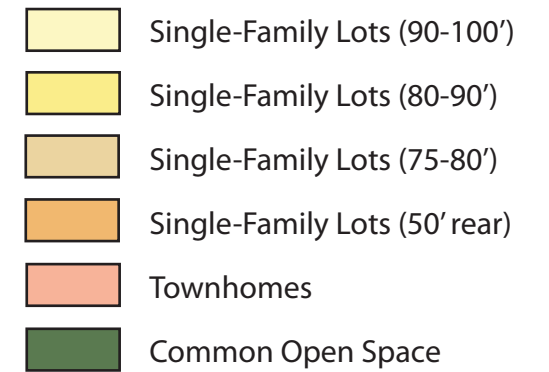
1. Townhome layout is conceptual and shown for illustrative purposes only. Final townhome footprints, layout, unit count, and open space will be determined at Phase 3 Preliminary submittals.
2. Pursuant to the Community Plan, Unit Count may fluctuate up to 15% with approval of the Planning Director and lot dimensions may vary up to minimum established for Village 8, shifting village boundaries accordingly. If open space is equal to or greater than the minimum requirement and unit count is lower, equal, or within the 15% increase allowance, a village plan amendment will not be required.



CONTEXT MAP: P1



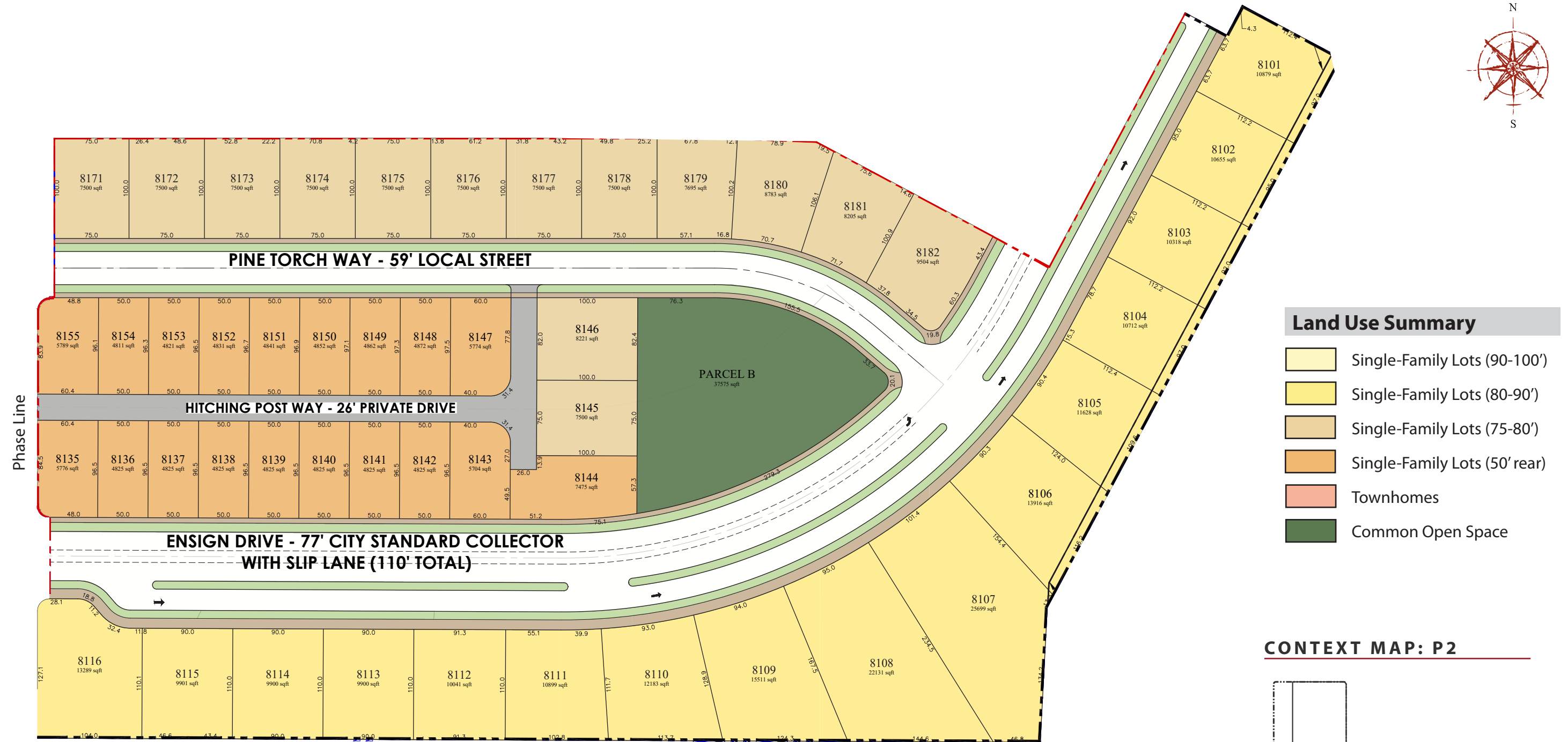
Land Use Summary



Phase Line



# Detailed Lotting Plan - Phase 2



# Landscape Plan

## SINGLE AND MULTI-FAMILY RESIDENTIAL

### LANDSCAPE PLANS

Landscaping shall be considered an extension of a residence and viewed as a series of outdoor rooms. This level of planning can dramatically extend the living environment by creating outdoor spaces with defined functions across the lot. Yards, especially those areas visible from the street, shall complement the architecture while expressing the individuality of each homeowner.

Residential landscapes are a visible expression of neighborhood culture and identity. Any guidelines provided in this document are meant to create coherent streetscapes and encourage thoughtful planning of yards for each housing typology. Expression though landscaping is encouraged and aids in personalizing neighborhoods. Example planting palettes have been provided in the following pages.

Landscape designs should frame the home and reinforce the human scale already integrated into the architecture. For front yards, and side yards adjacent to a road, consider the impact of the design on social opportunities and street life. In general, the landscape should connect the residence to the street. NOTE: No fruit-bearing trees should be placed adjacent to public trails or sidewalks.

### INTENT

- Landscaping shall complement the surrounding architecture and unify open spaces.
- Landscapes shall reduce the apparent mass of adjacent buildings by considering important architectural elements prior to planting and how vegetation will aid in grounding the structure.
- Landscaping shall screen cars, trash enclosures, secondary structures, and parking from the road.
- Vegetation shall be used to define boundaries and preserve residential privacy and discourage defaulting to fencing and walls. Plantings should soften fences and walls exposed to public view.
- Landscape shall enhance safety and comfort. Avoid vegetation that reduces visibility along primary paths and entrances.

### ACCESSORY BUILDINGS & DWELLING UNITS

#### Residential Landscapes

All residential yards are encouraged to have plantings that correspond to the following locations or features of the lot, actual landscape requirements will follow Title 19 code:

#### Foundation Planting

- 3 FT wide densely planted with shrubs to screen the foundation where exposed to view.

#### Fence Planting

- Minimum of 2-3 FT of landscaping on sides exposed to public view where consistent maintenance is provided. (This requirement is waived along Mountain View Corridor (See Edge Condition #2).

All planting areas (planter beds and lawn) shall contain a minimum of 12 inches of topsoil, tilled into the top 4 inches of the existing grade, and 3 inches of mulch (organic or inorganic) to maintain soil moisture and prevent weed growth. Clean edges between lawn and plantings shall be integrated into the landscape and can be accomplished with discrete edging or shovel cut edges.

#### Lawns

Shall be limited to areas where it serves a function. Deep rooted and drought tolerant turf varieties shall be considered in an effort to conserve water. Do not place turf in narrow, small, or odd shaped areas that reduce irrigation efficiency. Lawn strips are encouraged to be at least 8 FT wide. Lawn strips on side yards may be reduced to 3 FT.

- Lawns must be a minimum of 2 FT from fencing and 3 FT from building foundations on sides exposed to public view.

#### Irrigation

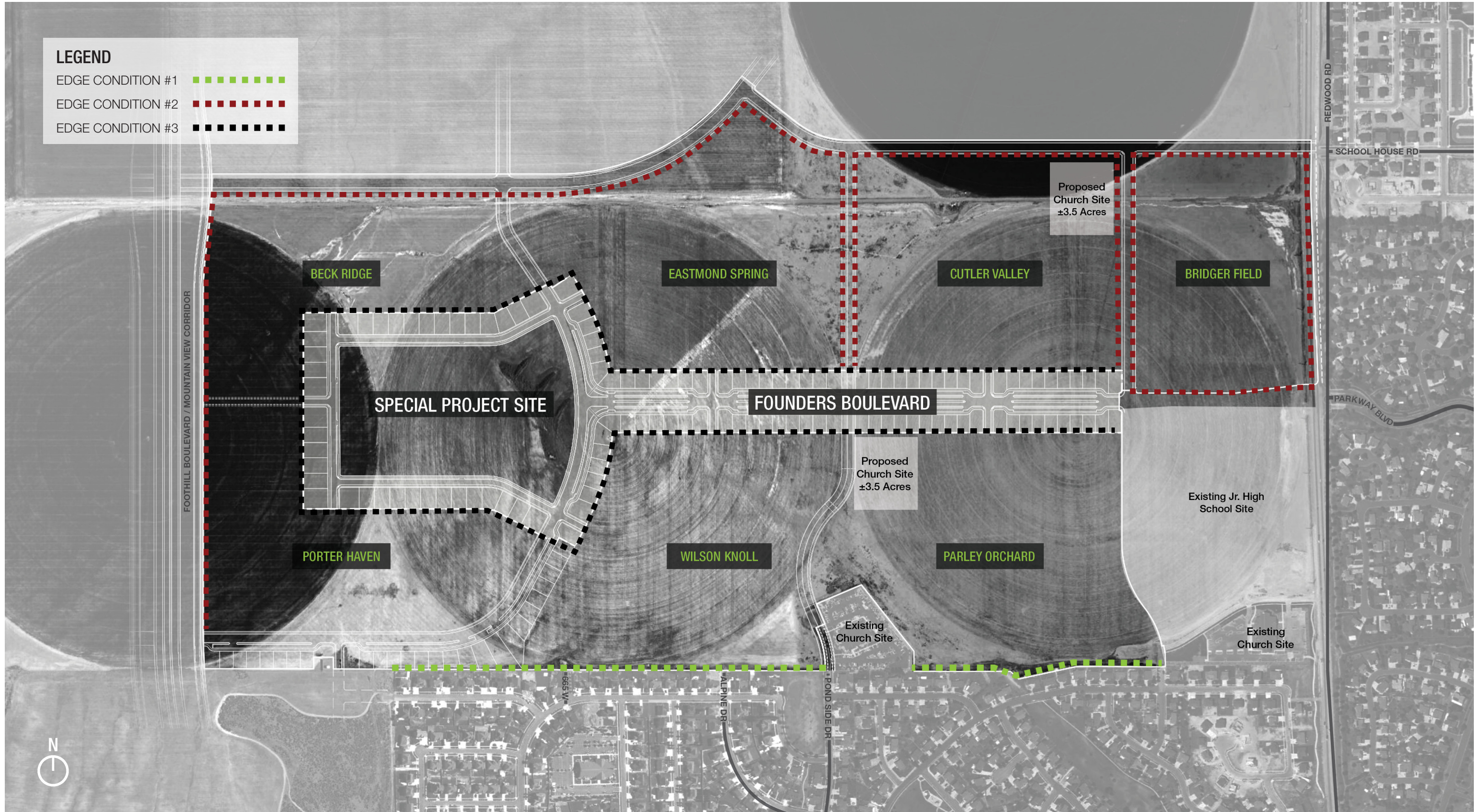
Implement water efficient landscaping techniques. Utilize matched precipitation rate spray and rotor heads for all lawn areas. Avoid overspray by using the appropriate spray head distances and inspect system frequently. Shrub and perennial beds shall be drip irrigated to more efficiently water planter areas and avoid spraying the house, garden structures, and fencing.

#### Landscaped Areas

Areas highlighted in green indicate areas to be treated with landscape (i.e. turf, shrubs, trees, planters, mulch, etc.) Areas in park strips within public rights of way shall also be landscaped with turf, street trees per this village plan and may incorporate additional shrubs and ornamental grasses in locations to be identified in final plat.

#### Open Space Management

All common landscaped areas within Village 8 shall be maintained by a Homeowners Association. Areas within park strips in front of single-family detached residences shall be maintained by homeowners where the lot fronts the right-of-way, including corner lots on both rights-of-way. Maintenance for the multi-family residential portion shall be maintained by a common homeowners association for the townhomes.



## EDGE CONDITIONS

With the Special Project Community Plan being implemented in eight separate Villages, it is imperative that the interactions between Villages and between Villages and public transportation corridors is regulated. For visual reference, see Exhibit 4. Therefore, three distinct Edge Conditions have been identified:

**CONDITION #1.** This condition applies along the portion of the south project border in common with the existing Subdivision. In order to transition from these existing uses into individual Villages, the following criteria applies to residential lots which share a property line:

- Fence lines should align with existing lots to the South where possible
- Residential units to be single family detached dwellings
- Minimum 60 FT frontage lots
- 7,000 square foot lots
- Minimum 20 FT rear setback

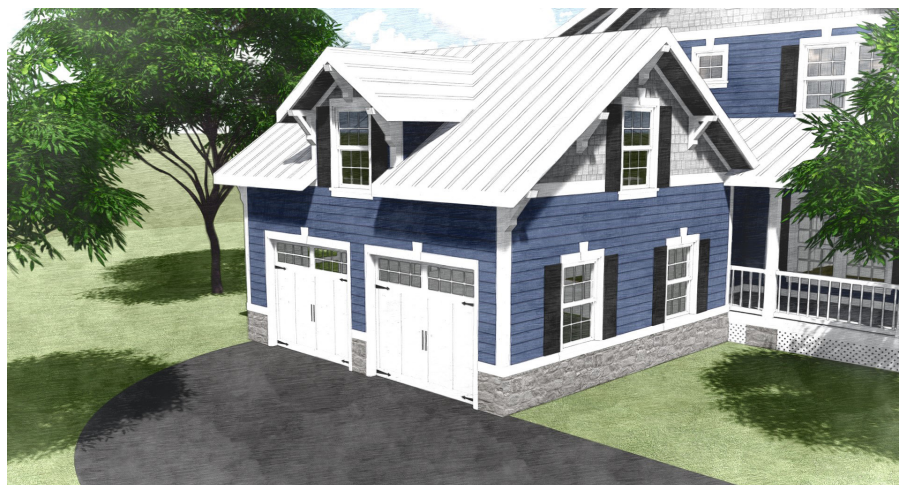
**CONDITION #2.** This edge condition applies to Village boundaries which are adjacent to limited access roadways. Where the following restrictions apply:

- All fencing must meet the fencing standards of this Community Plan
- Housing product may face edges with proper accommodations for rear garage loading which meet City standards for the road classification
- Slip lanes, similar in scope and design to Parkway Boulevard, may be incorporated for limit access roads
- Architecture should be articulated on all four sides and approved by the ARC:
  - Wall plane difference of 2 FT minimum, which is intended to give depth and movement to the elevation
  - Wall planes to be extended through to roof line in order to avoid a mono-plane roof
  - No false facades materials partially wrapping the structure

**CONDITION #3.** In order to preserve the unique characteristics of the Village 1 development and the associated Special Project Area, conditions will be placed along all Village 1 boundaries as follows:

- All fencing must meet the fencing standards of this Community Plan
- Single Family Land Uses
- No alleys or roadways adjacent to edge
- Fence lines are not required to align
- Minimum 20 FT rear setback from Village 1 boundary to all living space

FOUR-SIDED ARCHITECTURE | DO THIS



FOUR-SIDED ARCHITECTURE | NOT THIS





**EDGE CONDITION 1**

- 1** Fence line and lots adjacent to existing Subdivision align where possible.
- 2** Residential units to be single family detached dwellings.
- 3** Minimum 60 FT frontage lots.
- 4** 7,000 square foot lots.
- 5** Minimum 20 FT rear setback.



## EDGE CONDITION 2

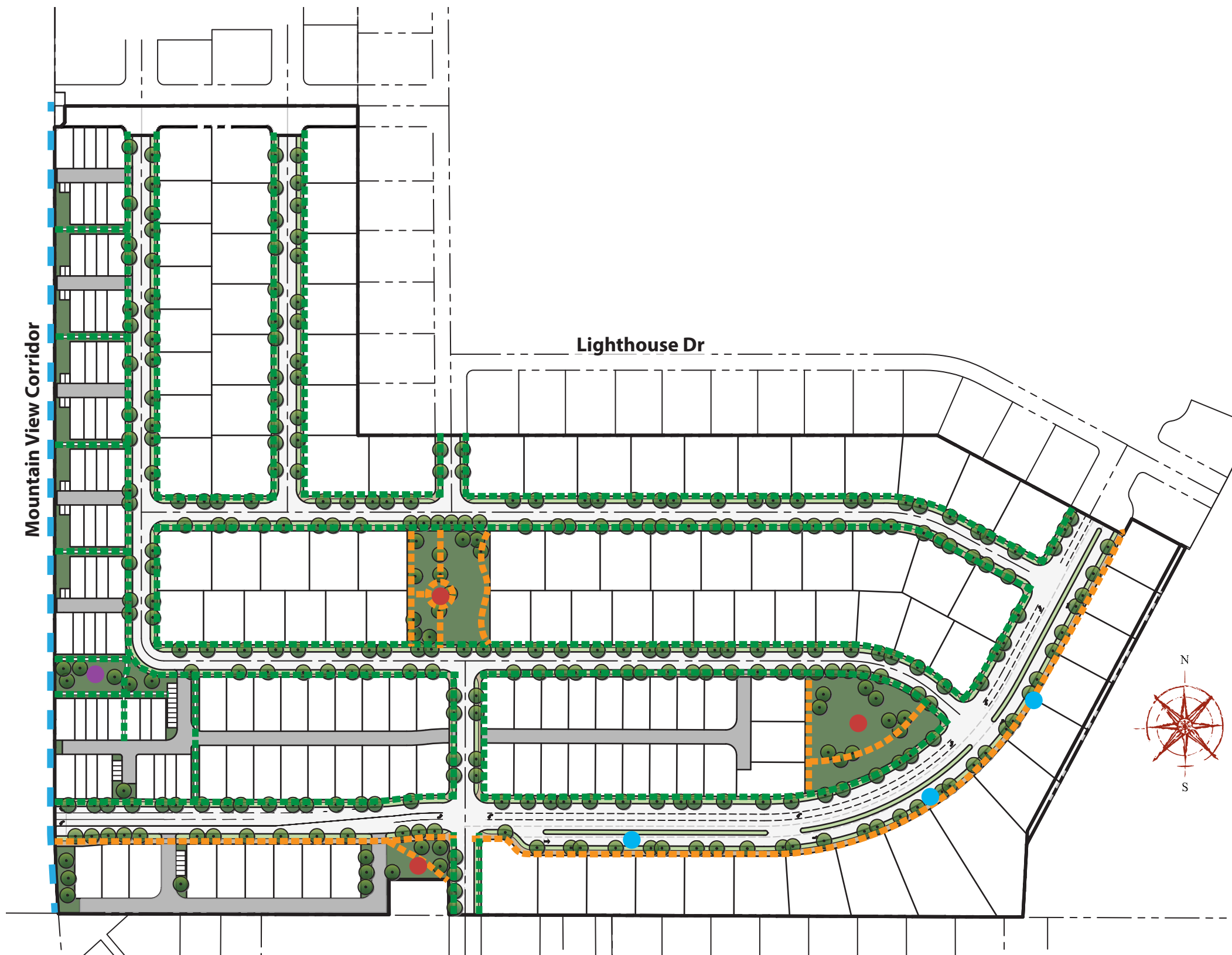
- 1 Slip lanes, similar in scope and design to Founders Boulevard, may be incorporated for limited access roads.
- 2 Housing may face edges with proper accommodation for rear garage loading which meet City standards for the road classification.
- 3 All fencing must meet the fencing standards of Community Plan.
- 4 Housing elevations adjacent have a wall plane difference of at least 2 FT, to give depth and movement to elevation.
- 5 Wall planes to be extended to meet roof line.
- 6 Architecture articulated on all four sides - no partial material wraps.



### EDGE CONDITION 3

- 1 All fencing must meet the fencing standards of Community Plan.
- 2 Single family land uses.
- 3 No alleys or roadways adjacent to edge.
- 4 Fence lines are not required to align
- 5 Minimum 20-foot rear setback from Village 1 boundary to all living space.
- 6 Wall planes to be extended to meet roof line.

# Open Space Plan



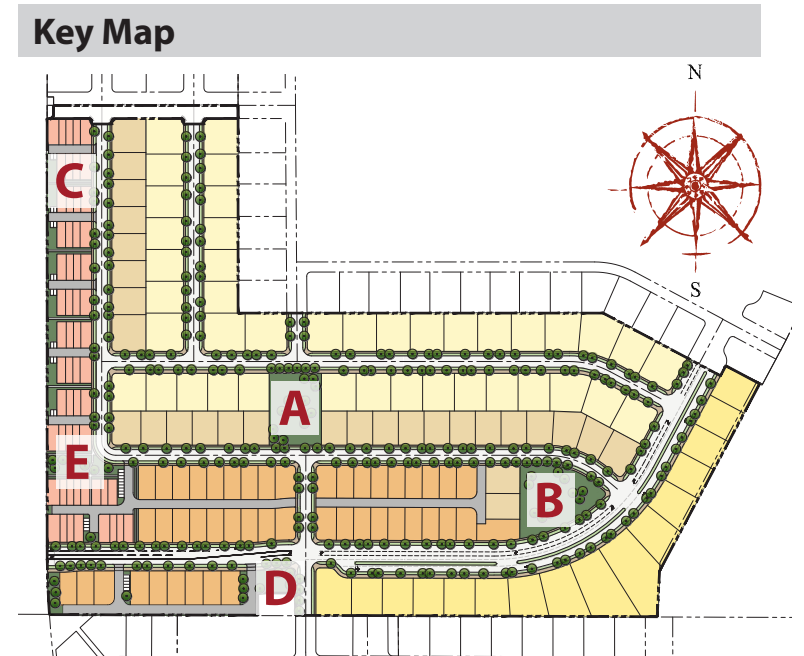
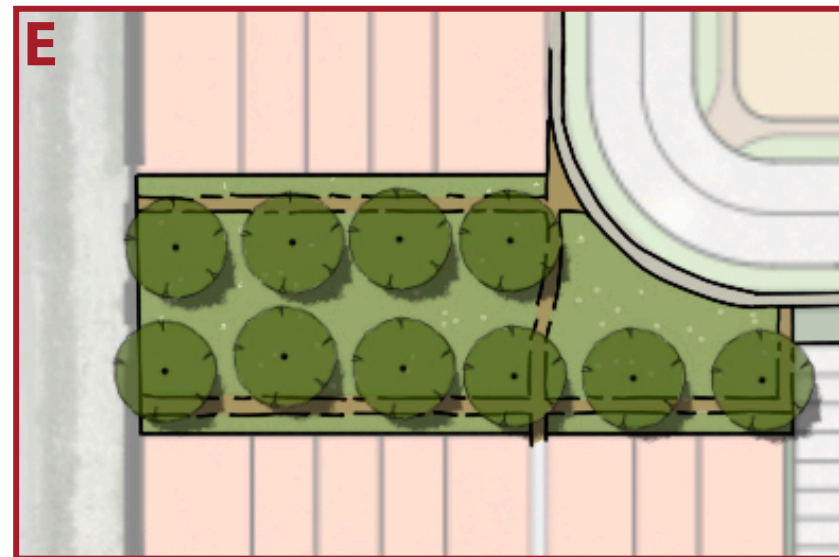
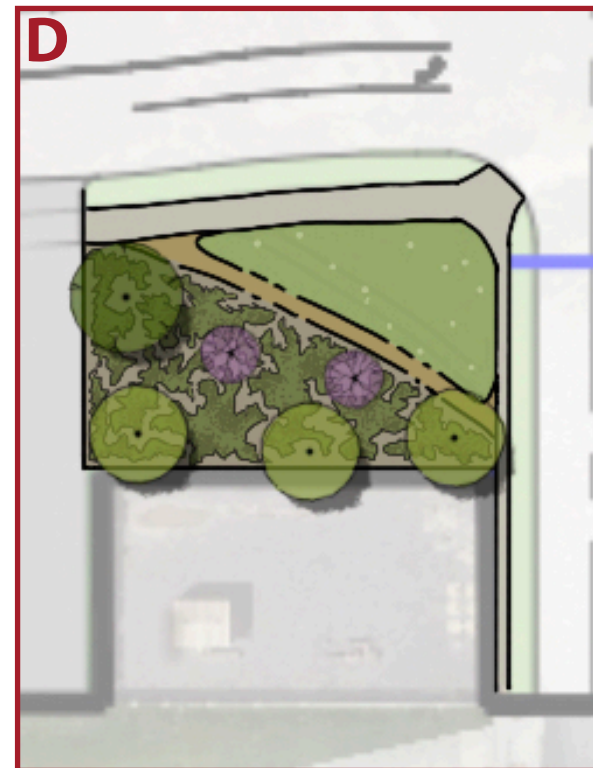
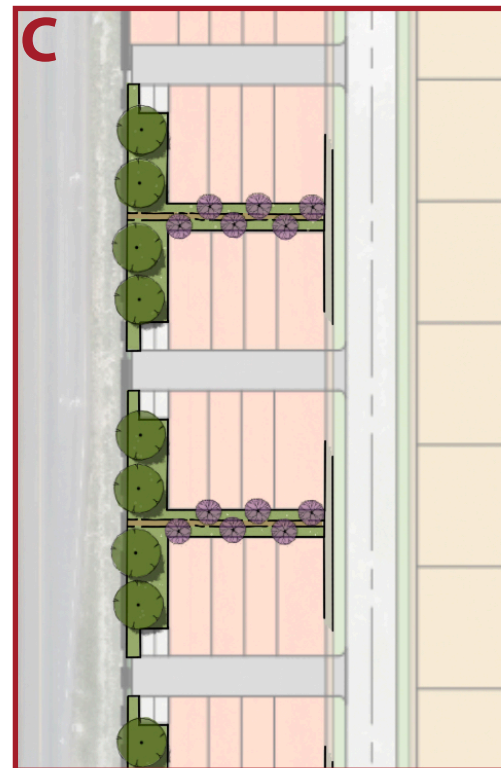
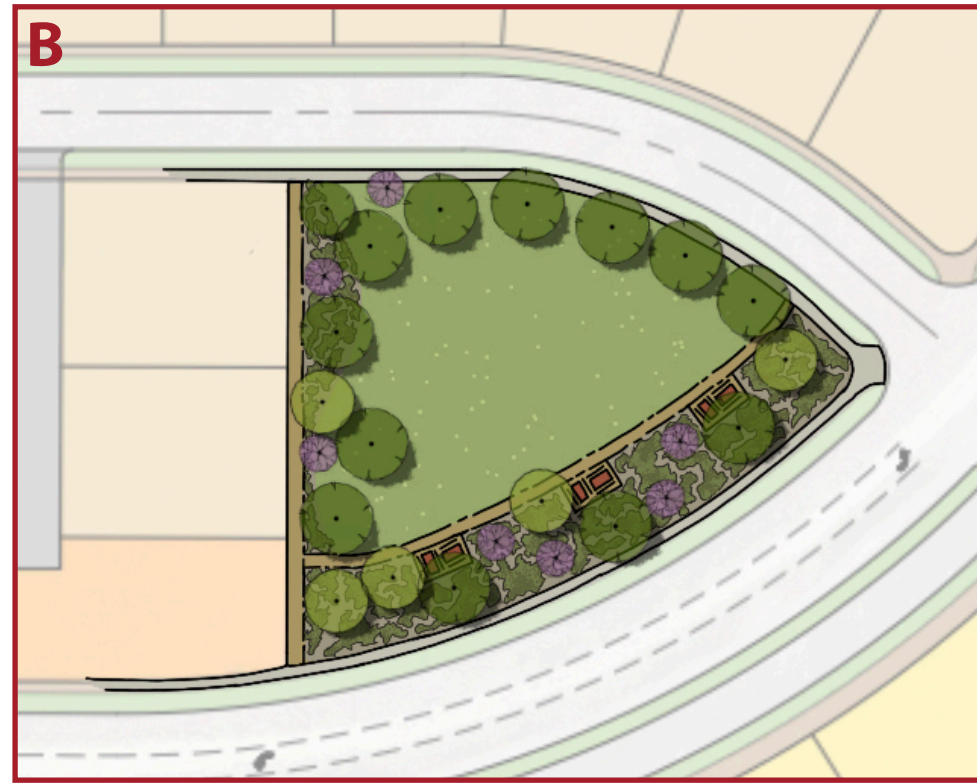
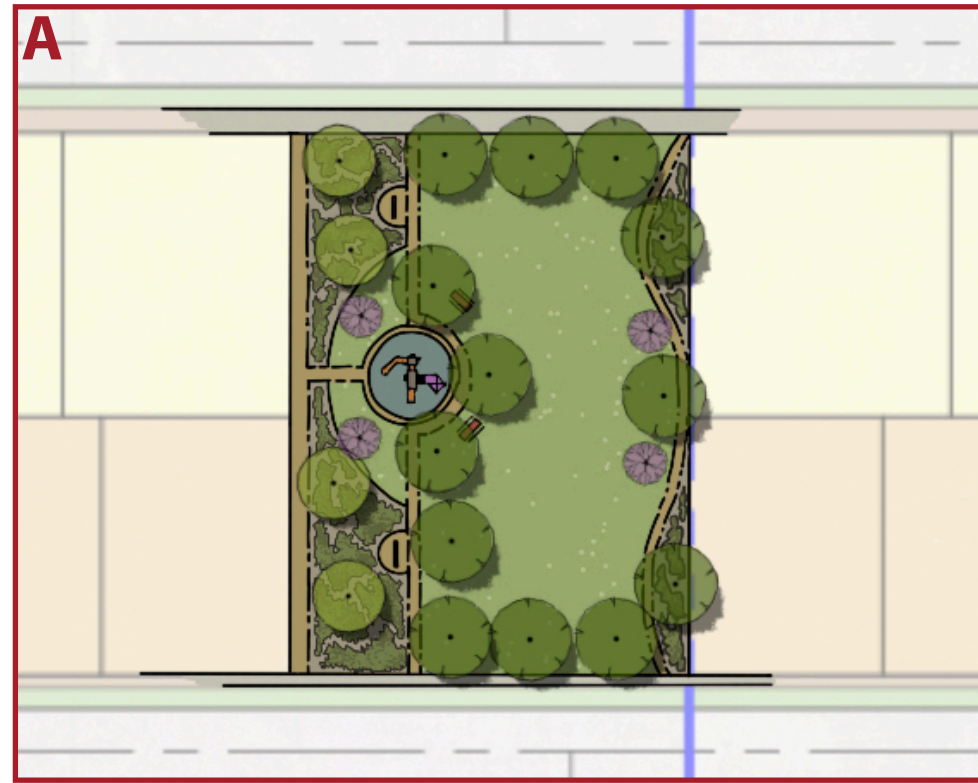
## Legend

- Landscaped Areas
- 5' Pedestrian Walkway
- 10' Pedestrian Trail
- 10' Master-Planned Trail
- Park Lawns
- Pocket Park
- Paseo

## Open Space Summary

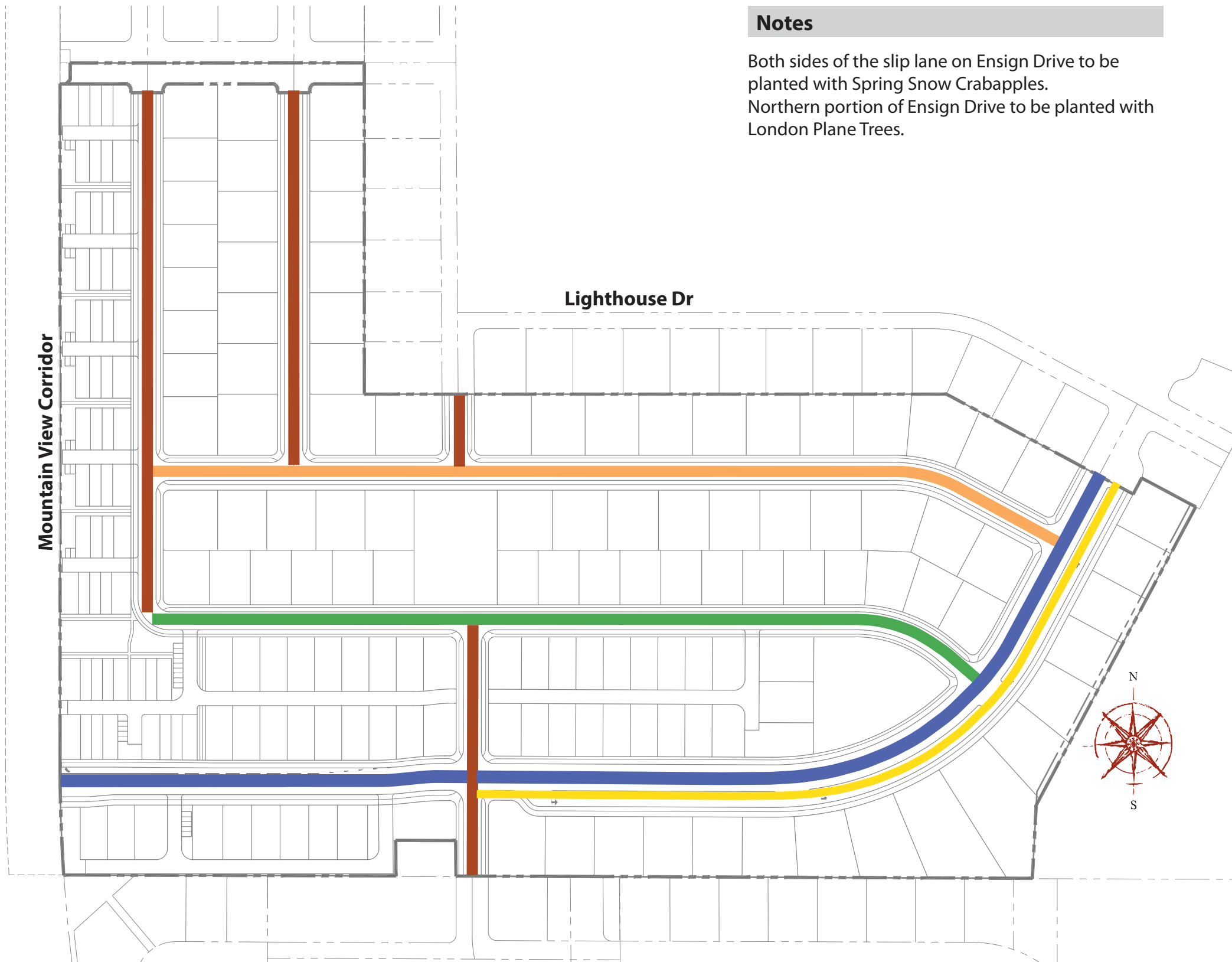
Total Village Plan Area	45.9 Ac
Total Common Open Space	2.4 Ac
Common Open Space %	5.9 %

# Open Space Plan



Notes: All graphics are conceptual. Open spaces and amenities in Beacon Pointe Village 8 meet the requirements outlined in the DAP and Community Plan, including 2,500 sq. ft. minimum for pocket parks, 10' trails, and the intent to create easily accessible spaces throughout the development. All site furnishings and amenities—including benches, picnic areas, pavilions, lighting, water fountains, and trash receptacles—will follow the requirements outlined in the Beacon Pointe Community Plan. Further details for each open space will be provided in future submittals.

# Street Tree Plan



## Notes

Both sides of the slip lane on Ensign Drive to be planted with Spring Snow Crabapples.  
 Northern portion of Ensign Drive to be planted with London Plane Trees.

## Legend

- 

 Platanus x acerifolia  
 London Plane Tree 2" Cal.
  
- 

 Pyrus calleryana 'Aristocrat'  
 'Aristocrat' Callery Pear 2" Cal.
  
- 










 Malus x 'Spring Snow'  
 Spring Snow Crabapple 2" Cal.
  
- 

 Ulmus 'Frontier'  
 Fronter Elm 2" Cal.
  
- 

 Quercus macrocarpa  
 Bur Oak 2" Cal.

# Landscape Plant Palette

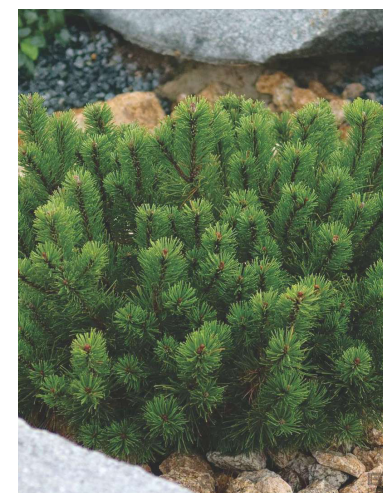
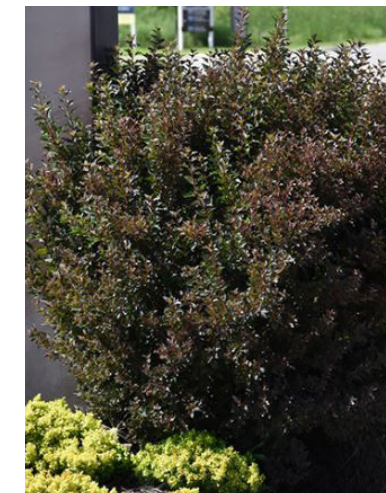
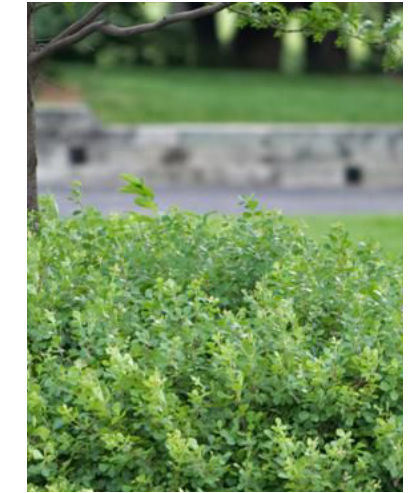
## RECOMMENDED TREE SPECIES

Botanical Name	Common Name	Size	Drought Tolerant	
<i>Acer campestre</i>	Hedge Maple	2" Cal.	✓	
<i>Acer platanoides</i>	Norway Maple	2" Cal.		
<i>Acer truncatum x platanoides</i>	Pacific Sunset Maple	2" Cal.	✓	
<i>Acer freemanii</i>	Freeman Maple	2" Cal.		
<i>Acer pseudoplatanus</i>	Sycamore Maple	2" Cal.	✓	
<i>Acer tatarian</i>	Tatarian Maple	2" Cal.	✓	
<i>Carpinus betulus</i>	Hornbeam	2" Cal.		
<i>Catalpa speciosa</i>	Catalpa (podless)	2" Cal.	✓	
<i>Celtis occidentalis</i>	Common Hackberry	2" Cal.	✓	
<i>Cercis canadensis</i>	Redbud	2" Cal.	✓	
<i>Fagus sylvatica</i>	Weeping Beech	2" Cal.		
<i>Fraxinus mandschurica</i>	Manchurian Ash	2" Cal.	✓	
<i>Fraxinus pennsylvanica</i>	Green Ash	2" Cal.		
<i>Ginkgo biloba</i>	Maidenhair Tree (male)	2" Cal.	✓	
<i>Gleditsia triacanthos inermis</i>	HoneyLocust	2" Cal.		
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	5' Height	✓	
<i>Liriodendron tulipifera</i>	Tuliptree	2" Cal.		
<i>Malus sp.</i>	Crabapple	2" Cal.		
<i>Platanus acerifolia</i>	London Planetree	2" Cal.		
<i>Prunus sargentii</i>	Flowering Cherry	2" Cal.		
<i>Prunus serrulata</i>	Japanese Flowering Cherry	2" Cal.		
<i>Prunus virginiana</i>	Chokecherry	2" Cal.		
<i>Pyrus calleryana</i>	Flowering Pear	2" Cal.		
<i>Quercus gambelii</i>	Gamble Oak	2" Cal.	✓	
<i>Quercus macrocarpa</i>	Bur Oak	2" Cal.	✓	
<i>Tilia cordata</i>	Littleleaf Linden	2" Cal.		
<i>Tilia tomentosa</i>	Silver Linden	2" Cal.	✓	
<i>Ulmus pavifolia</i>	Lace Bark Elm	2" Cal.	✓	
<i>Ulmus sp.</i>	Elm	2" Cal.		
<i>Zelkova serrata</i>	Zelkova	2" Cal.	✓	

# Landscape Plant Palette













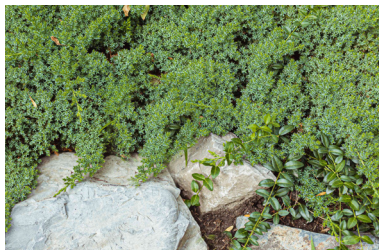


## SHRUBS

Botanical Name	Common Name	Size	Drought Tolerant
<i>Aronia melanocarpa</i>	Chokeberry	1 Gal.	✓
<i>Berberis thunbergii</i> A. N.	Redleaf Barberry	5 Gal.	
<i>Buxus</i>	Boxwood	1 Gal.	
<i>Caryopteris x clandonensis</i>	Blue Beard	3 Gal.	✓
<i>Cornus sericea</i>	Red Twig Dogwood	5 Gal.	
<i>Euonymus alatus</i>	Burning Bush	1 Gal.	
<i>Forsythia x intermedia</i>	Forsythia	1 Gal.	✓
<i>Hibiscus syriacus</i>	Rose of Sharon	1 Gal.	✓
<i>Juniperus chinensis</i>	Juniper	5 Gal.	✓
<i>Juniperus horizontalis</i>	Creeping Juniper	5 Gal.	✓
<i>Lavandula angustifolia</i>	Lavendar	5 Gal.	✓
<i>Lonicera tatarica utahensis</i>	Tatrian Honeysuckle	1 Gal.	
<i>Mahonia aquafolium</i>	Oregon Grape	5 Gal.	✓
<i>Mahonia repens</i>	Creeping Oregon Grape	1 Gal.	✓
<i>Nandina domestica</i>	Heavenly Bamboo	3 Gal.	
<i>Perovskia atriplicifolia</i>	Russian Sage	1 Gal.	✓
<i>Physocarpus opulifolius</i>	Ninebark	5 Gal.	✓
<i>Pinus mugo</i>	Mugo Pine	1 Gal.	✓
<i>Potentilla fruticosa</i>	Potentilla	3 Gal.	✓
<i>Prunus laurocerasus x cistena</i>	Laurel	5 Gal.	
<i>Rhamnus frangula</i>	Fern Leaf Buckthorn	5 Gal.	✓
<i>Rhus aromatica</i>	Fragrant Sumac	5 Gal.	✓
<i>Rhus glabra</i>	Sumac	3 Gal.	✓
<i>Ribes alpinum</i>	Apline Current	3 Gal.	



# Landscape Plant Palette

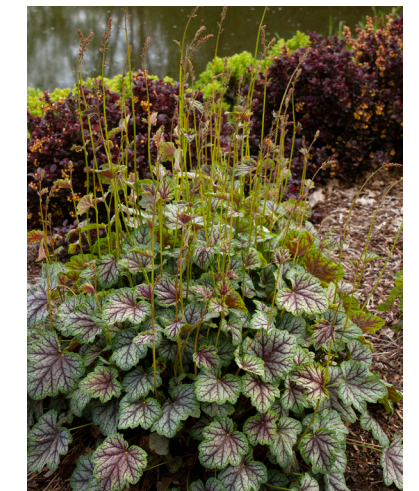
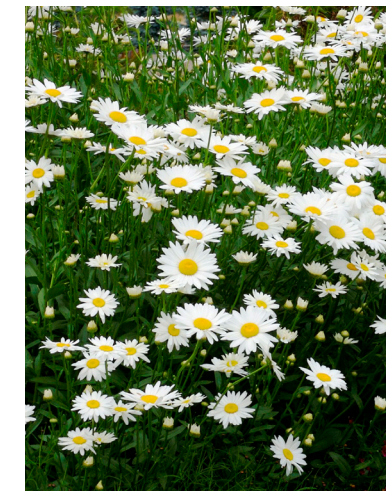
## EVERGREEN SHRUBS, ORNAMENTAL GRASSES, GROUNDCOVERS

Botanical Name	Common Name	Size	Drought Tolerant			
<i>Rosa 'knock out'</i>	Knock Out Rose	3 Gal.				
<i>Rosa 'Radtko'</i>	Double Knock Out Rose	5 Gal.				
<i>Rosa 'Woodsii'</i>	Wood's Rose	5 Gal.	✓			
<i>Spirea bumalda</i>	Spirea	3 Gal.				
<i>Spirea japonica</i>	Japanese Spirea	3 Gal.				
<i>Syringa meyeri</i>	Korean Lilac	1 Gal.				
<i>Syringa patula</i>	Lilac	5 Gal.	✓			
<i>Taxus baccata</i>	Japanese Yew	1 Gal.				
<i>Taxus media</i>	Spreading Yew	5 Gal.	✓			
<i>Viburnum trilobum</i>	Viburnum	3 Gal.				
<i>Weigela florida</i>	Weigela	3 Gal.				
Botanical Name	Common Name	Size	Drought Tolerant			
<i>Calamagrostis x acutiflo 'Karl Foerster'</i>	Karl Foerster Grass	1 Gal.	✓			
<i>Carex muskingumensis</i>	Sedge	1 Gal.				
<i>Chasmanthium latifolium</i>	Northern Sea Oats	1 Gal.				
<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1 Gal.	✓			
<i>Festuca Ovina glauca</i>	Blue Fescue Grass	1 Gal.	✓			
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 Gal.	✓			
<i>Miscanthus sinensis</i>	Dwarf Maiden Hair Grass	1 Gal.	✓			
<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	1 Gal.	✓			
<i>Muhlenbergia reverchonii</i>	Seep Muhly Grass	1 Gal.				
<i>Panicum virgatum</i>	Switch Grass	1 Gal.	✓			
<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	1 Gal.	✓			
Botanical Name	Common Name	Size	Drought Tolerant			
<i>Euonymus fortunei</i>	Winter Creeper	3" Pot	✓			
<i>Ajuga reptans</i>	Bugleweed	3" Pot	✓			
<i>Sedum</i>	Sedum	3" Pot	✓			

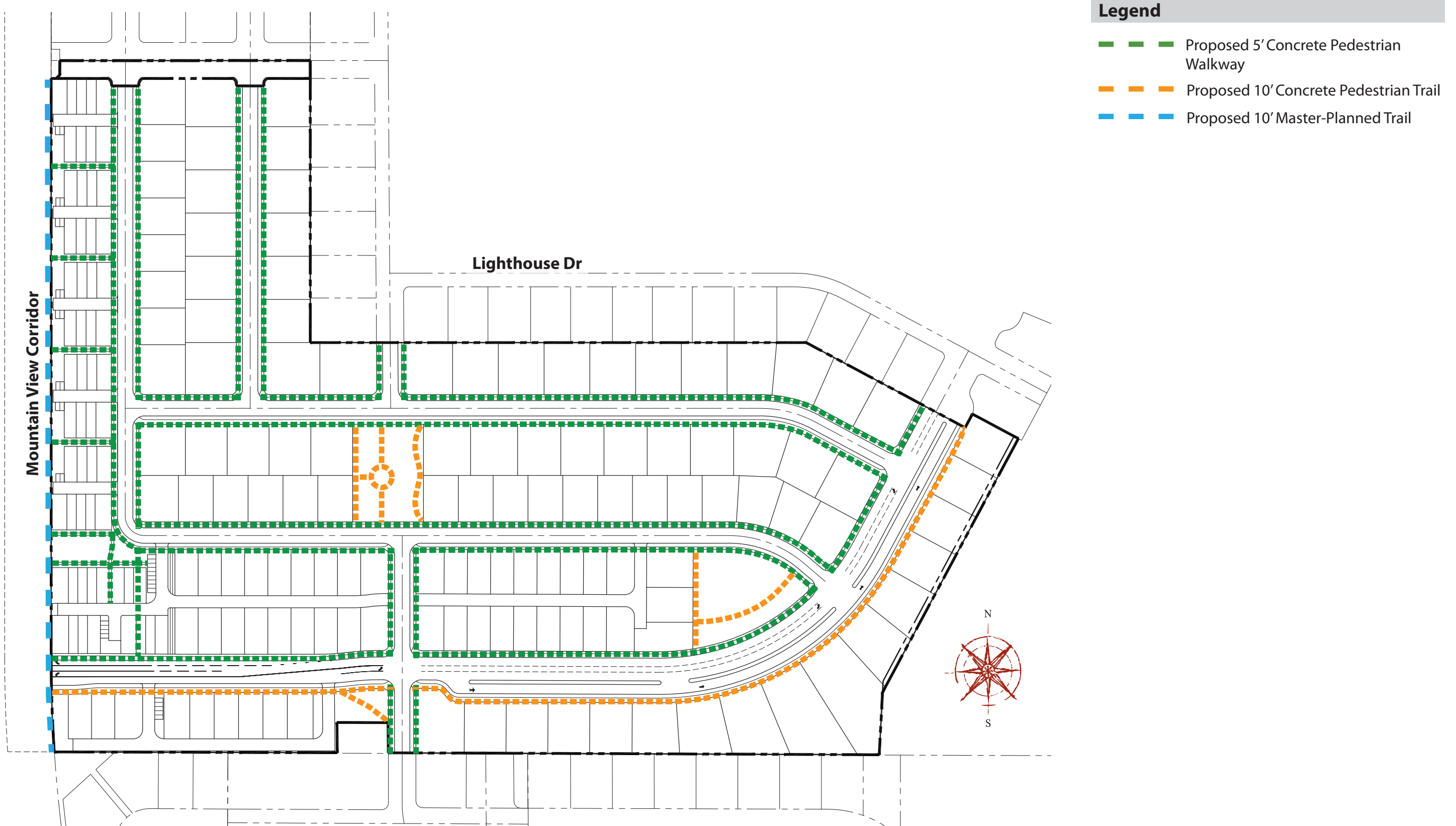
# Landscape Plant Palette

## PERENNIALS

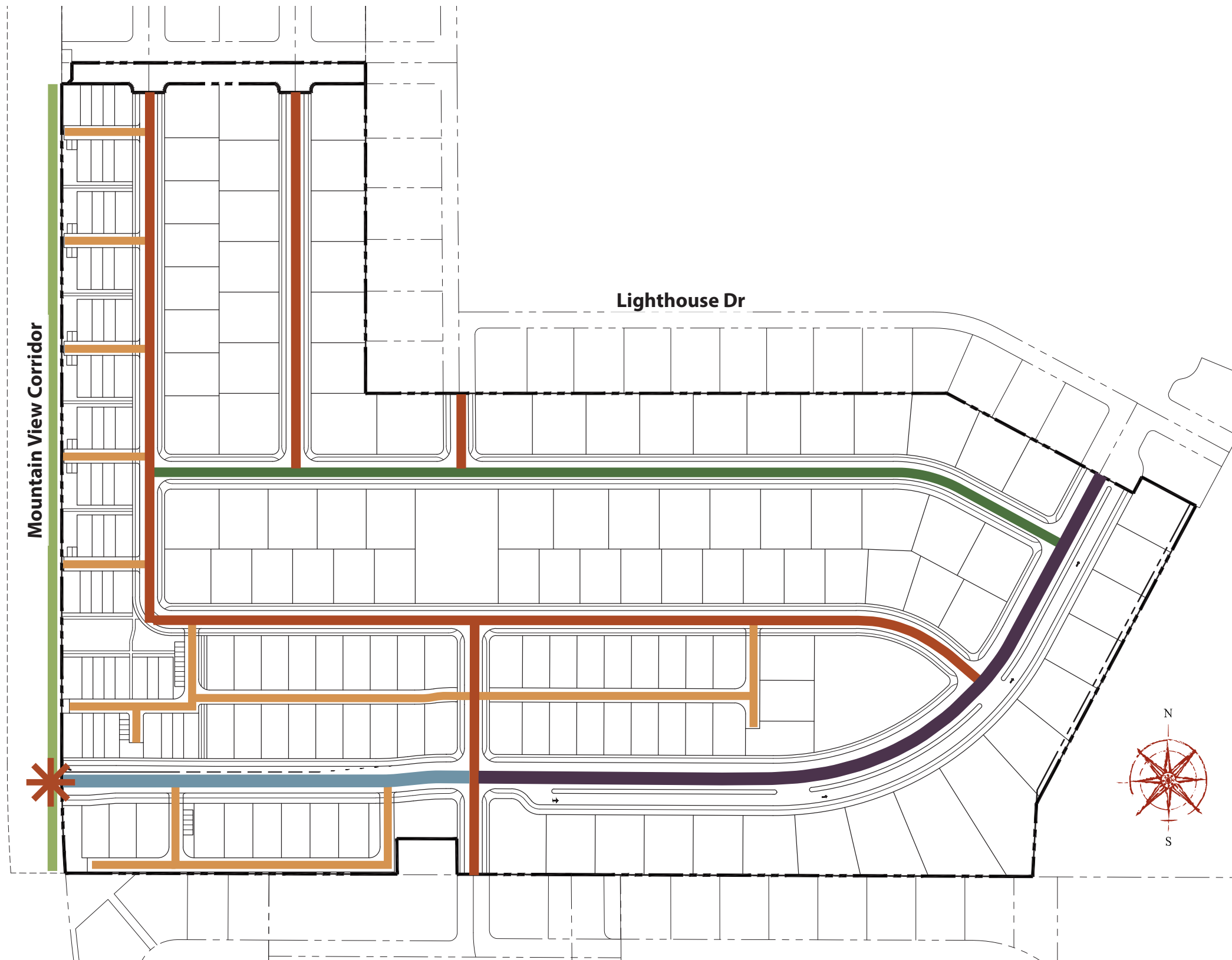
Botanical Name	Common Name	Size	Drought Tolerant
<i>Achillea sp.</i>	Yarrow	1 Gal.	✓
<i>Agastache cana</i>	Mint	1 Gal.	✓
<i>Anemone hybrida</i>	Windflower	1 Gal.	
<i>Astilbe chinensis</i>	Goats Beard	1 Gal.	
<i>Bergenia cordifolia</i>	Heartleaf Bergenia	1 Gal.	✓
<i>Campamula carpatica</i>	Bellflower	1 Gal.	
<i>Coreopsis sp.</i>	Tickseed	1 Gal.	✓
<i>Echinacea purpurea</i>	Coneflower	5 Gal.	
<i>Gaillardia aristata</i>	Blanket Flower	5 Gal.	✓
<i>Gaura lindheimeri</i>	Gaura	1 Gal.	✓
<i>Hemerocallis sp.</i>	Daylily	1 Gal.	✓
<i>Heuchera</i>	Coral Bells	5 Gal.	✓
<i>Hosta sp.</i>	Hosta	5 Gal.	
<i>Kniphofia sp.</i>	Red Hot Poker	1 Gal.	✓
<i>Lavandula angustifolia</i>	Lavender	1 Gal.	✓
<i>Leucanthemum superbum</i>	Shasta Daisy	1 Gal.	
<i>Liriope muscari</i>	Lily Turf	1 Gal.	
<i>Paeonia lactiflora</i>	Peony	5 Gal.	
<i>Rudbeckia fulgida</i>	Black Eyed Susan	1 Gal.	✓
<i>Salvia nemorosa</i>	May Night Sage	1 Gal.	✓
<i>Salvia x sylvestris</i>	Sage	1 Gal.	



# Pedestrian Plan



# Vehicular Plan

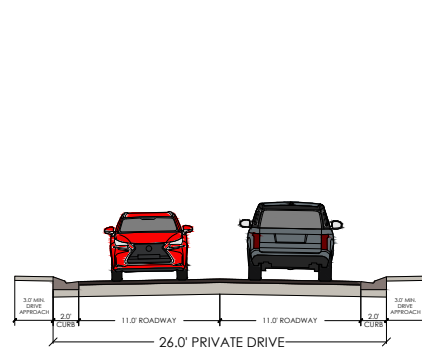


**Legend**

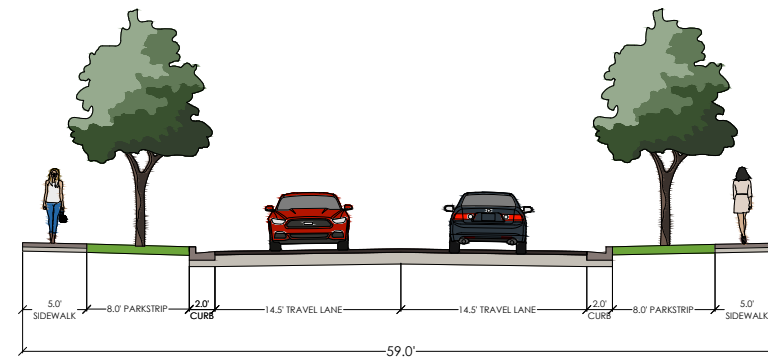
- 26' Private Drive
- 59' Right-of-Way
- 64' Right-of-Way
- 81' Right-of-Way
- 110' Right-of-Way
- MVC Interim ROW
- \* Location of Future Traffic Signal

Note: Traffic signal and intersection design to be added at final design.

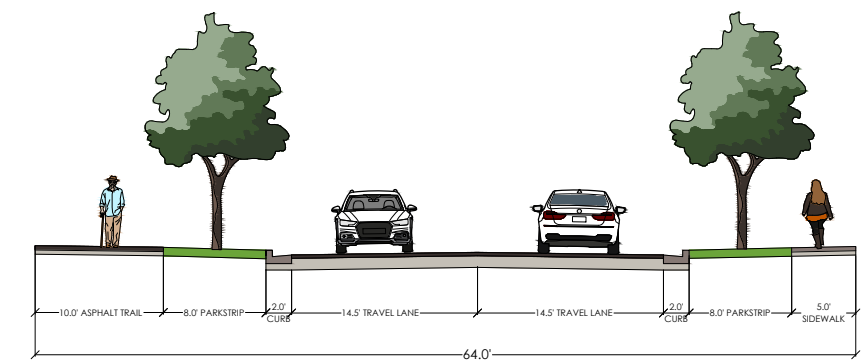
# Vehicular Plan



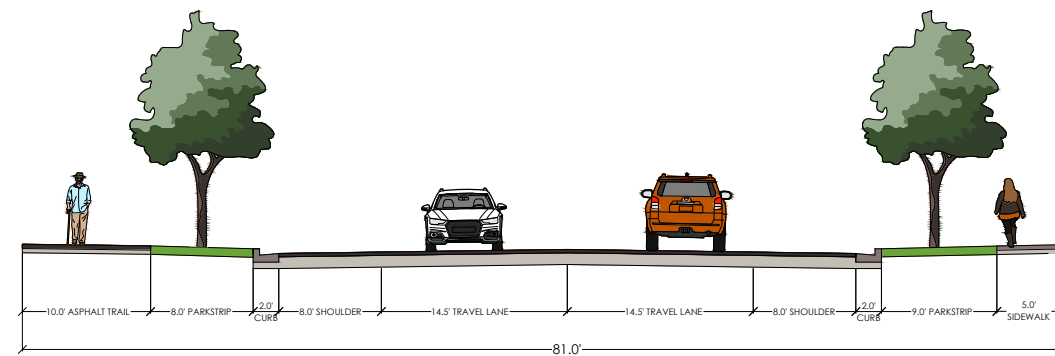
**Private Drive - 26' Fire Lane**



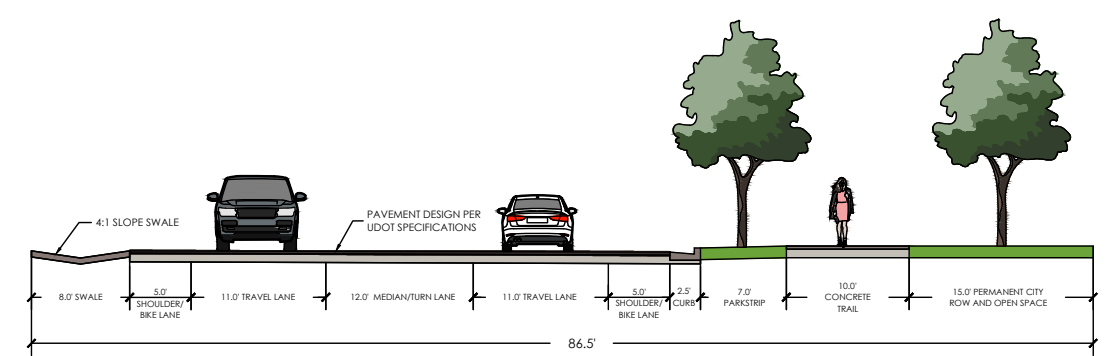
**City Standard Local Roadway - 59' Right-of-Way**



**Modified City Standard Local Roadway - 64' Right-of-Way**



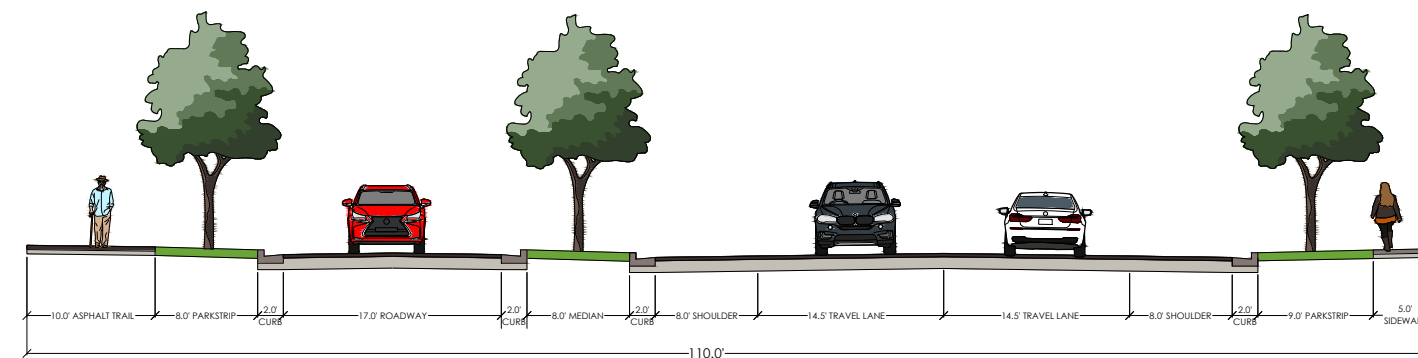
**Modified City Standard Collector - 81' Right-of-Way**



**Mountain View Corridor Interim Cross Section - 86.5' Right-of-Way**

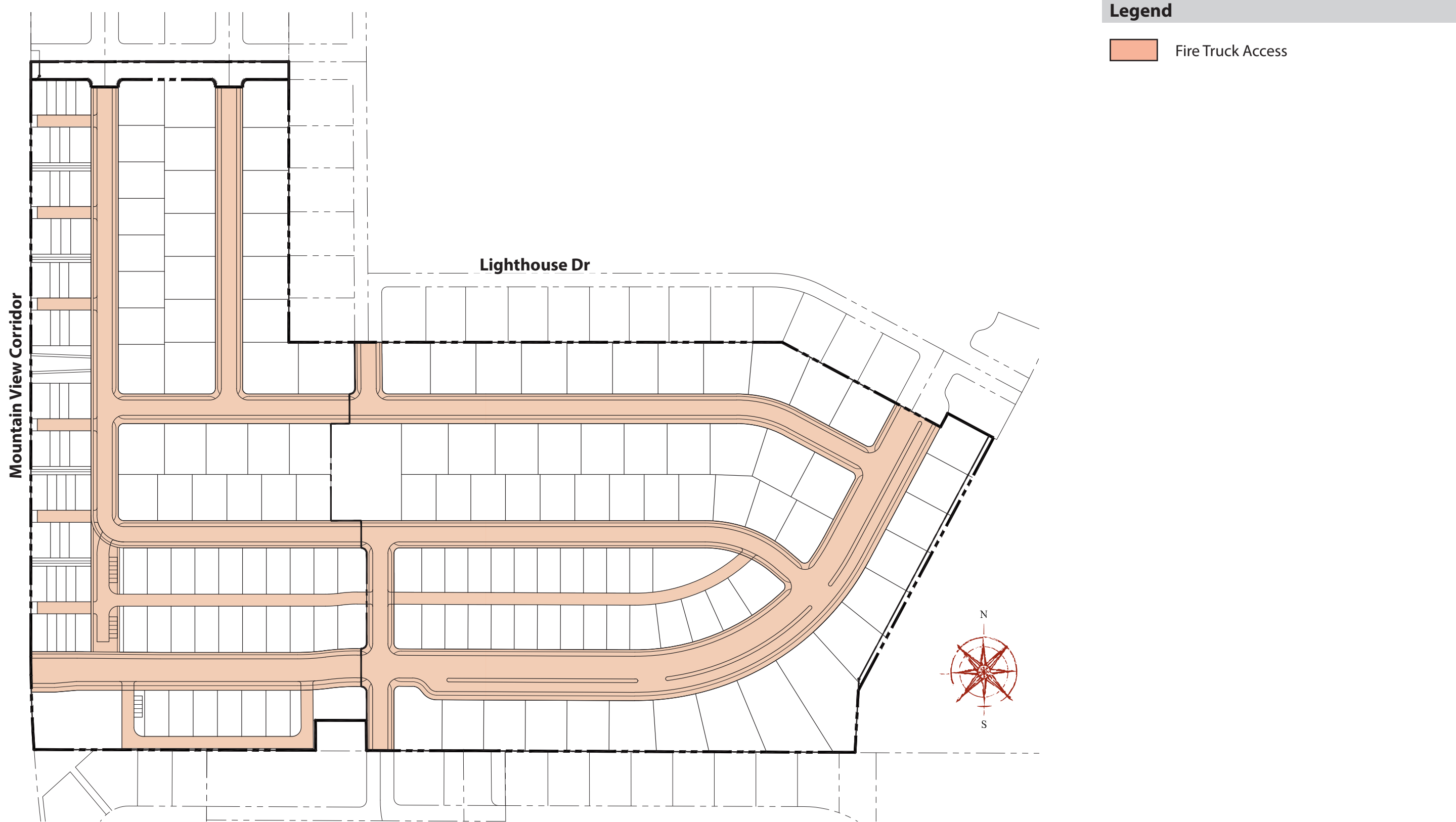
## Legend

- 26' Private Drive
- 59' Right-of-Way
- 64' Right-of-Way
- 81' Right-of-Way
- 110' Right-of-Way
- MVC Interim ROW



**Modified City Standard Collector - 81' Right-of-Way (With Slip Lane, 110' total width)**

# Fire Access Plan



# Additional Elements

## FINDINGS

Village Plan 8 is the 45.9-acre phase within the 371.8-acre Beacon Pointe Community Plan located in Saratoga Springs, Utah. Beacon Pointe Village 8 is compliant with all Planned Community Zone Requirements for Village Plans as defined in Section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan 8:

**A. IS CONSISTENT WITH THE ADOPTED COMMUNITY PLAN;**

Village Plan 8 adheres to the development standards, design guidelines, infrastructure plans, and other requirements established in the Beacon Pointe Community Plan.

**B. IS CONSISTENT WITH THE TOTAL NUMBER OF EQUIVALENT RESIDENTIAL UNITS (ERUS) DICTATED IN THE ADOPTED COMMUNITY PLAN;**

The number of potential ERUs established in the Community Plan for Village Plan 8 establishes a maximum of 207 ERUs, with the potential to transfer a maximum of 15% to or from other villages with the approval of the Planning Director.

**C. FOR AN INDIVIDUAL PHASE, IS CONSISTENT WITH THE TOTAL NUMBER OF EQUIVALENT RESIDENTIAL UNITS DICTATED IN THE ADOPTED COMMUNITY PLAN UNLESS TRANSFERRED PER THE PROVISIONS OF THE COMMUNITY PLAN;**

The number of ERUs established in Village 8 is 189, with the ability to transfer a maximum of 15% to or from other villages with the approval of the Planning Director.

**D. IS CONSISTENT WITH THE UTILITY, INFRASTRUCTURE, AND CIRCULATION PLANS OF THE COMMUNITY PLAN; INCLUDES ADEQUATELY SIZED UTILITIES, SERVICES, AND ROADWAY NETWORKS TO MEET DEMANDS; AND MITIGATES THE FAIR SHARE OF OFF-SITE IMPACTS;**

Village Plan 8 implements the utility, infrastructure, and circulation plans as specified in the Beacon Pointe Community Plan.

**E. PROPERLY INTEGRATES UTILITY, INFRASTRUCTURE, OPEN SPACES, PEDESTRIAN AND BICYCLE SYSTEMS, AND AMENITIES WITH ADJACENT PROPERTIES;**

Village Plan 8 has been designed to accommodate necessary infrastructure elements for residents and establish a framework that will provide for future community development and adjacent connections.

**F. CONTAINS THE REQUIRED ELEMENTS AS DICTATED IN SECTION 19.26.10 OF THE SARATOGA SPRINGS MUNICIPAL CODE.**

Village Plan 8 contains all the relevant required elements as dictated in Section 19.26.10.

**G. MEETS THE MINIMUM REQUIRED SPACE IN ADOPTED COMMUNITY PLAN, AND ADOPTED DISTRICT AREA PLAN IF APPLICABLE.**

Village Plan 8 contains 45.9 acres, down from 46.0 acres as listed in the Beacon Pointe Community Plan, a slight reduction in area.

## Other Project Information

### Associations

The Beacon Pointe HOA will maintain open space, pocket parks and paseos. The Benefited Service Area will allocate cost to townhomes on limited common areas. All streets, excluding private streets, will be maintained by the city.

### Mitigation Plans

No significant environmental issues will be encountered on this site, and as a result, no mitigation plans are required.

### Development Agreement

This property is a part of the Saratoga Springs City Center District Area Plan. A Development agreement was signed at the time of the approval of the District Plan.

### Master Association

Beacon Pointe has been maintained, operated, and governed by a master owners' association known as the Beacon Pointe Owners' Association (the "Master Association") to ensure Beacon Pointe is developed in accordance with the Community Plan, each Village Plan, and to ensure a beautiful and harmonious community for all residents residing within Beacon Pointe. Additionally, the Master Association provides general administration over Beacon Pointe in its entirety, including, design and architectural review, managing, controlling, and operating common areas, and other rights and duties provided in the Master Declaration.



# Site Characteristics



## **WATERWAYS**

There are no existing waterways within the boundaries of the Village 8 site.

## **FAULT LINES AND GEOLOGICAL INFORMATION**

The site is in an area known to have fine-grained soils susceptible to frost heave, wetting-induced collapse and expansive soils. Specific recommendations are made to address these conditions in the geotechnical report.

Liquefaction is not considered a major hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site. These factors will be considered by geotechnical engineer from structural design recommendations.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Cedar Valley Tear Fault located approximately 4 miles northwest.

## **GENERAL SOIL DATA**

Soils within Village 8 vary from silty clay loam to a gravelly loam.

## **SLOPES**

The site currently slopes from the southwest to northeast with grades ranging from 2% to 8%. No slopes exist on the site that are greater than 30%.

## **WETLANDS**

There are no existing wetlands within the project boundaries.

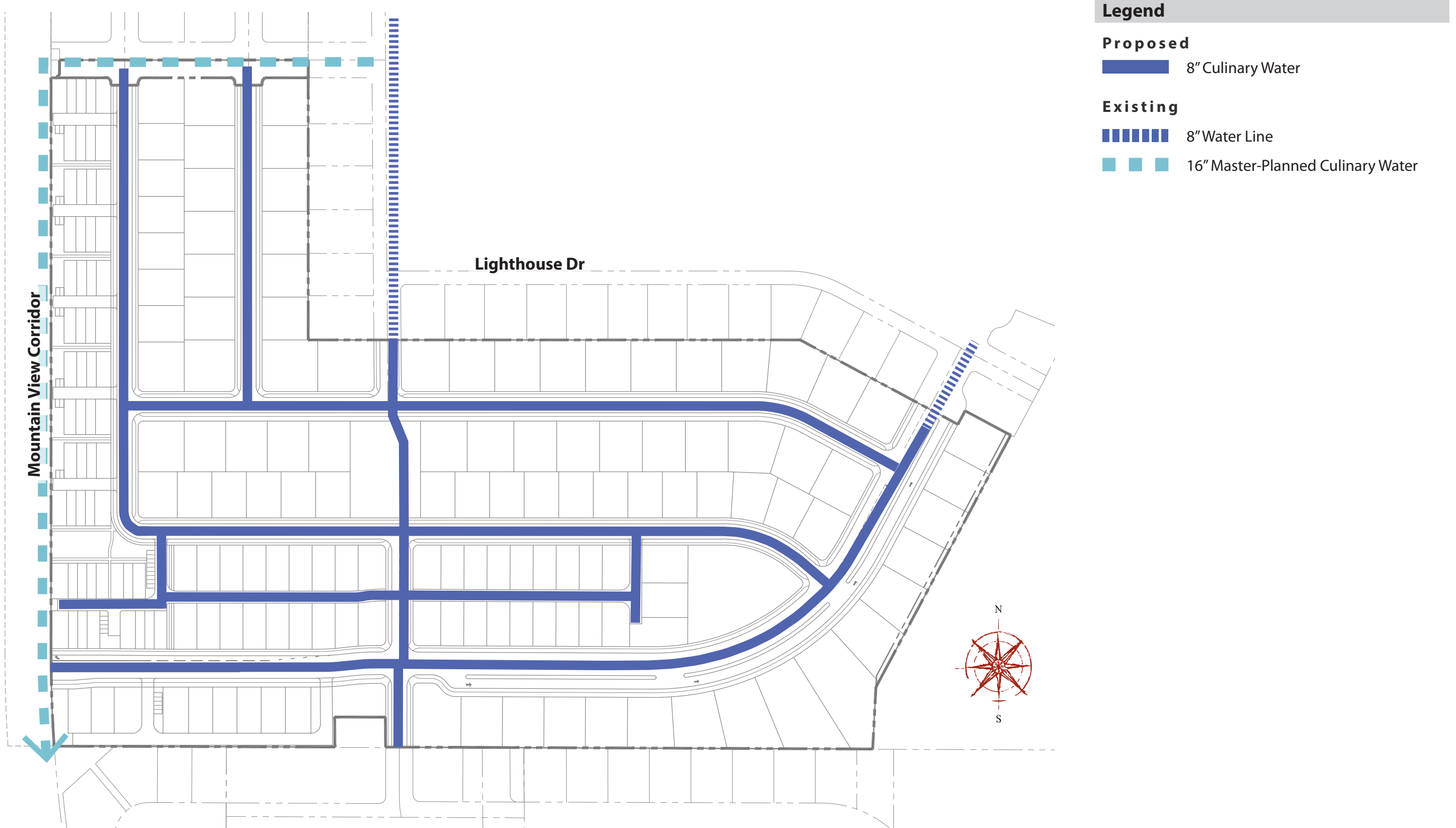
## **ENDANGERED PLANTS**

The site is currently being farmed. There are no endangered plants within the project boundaries.

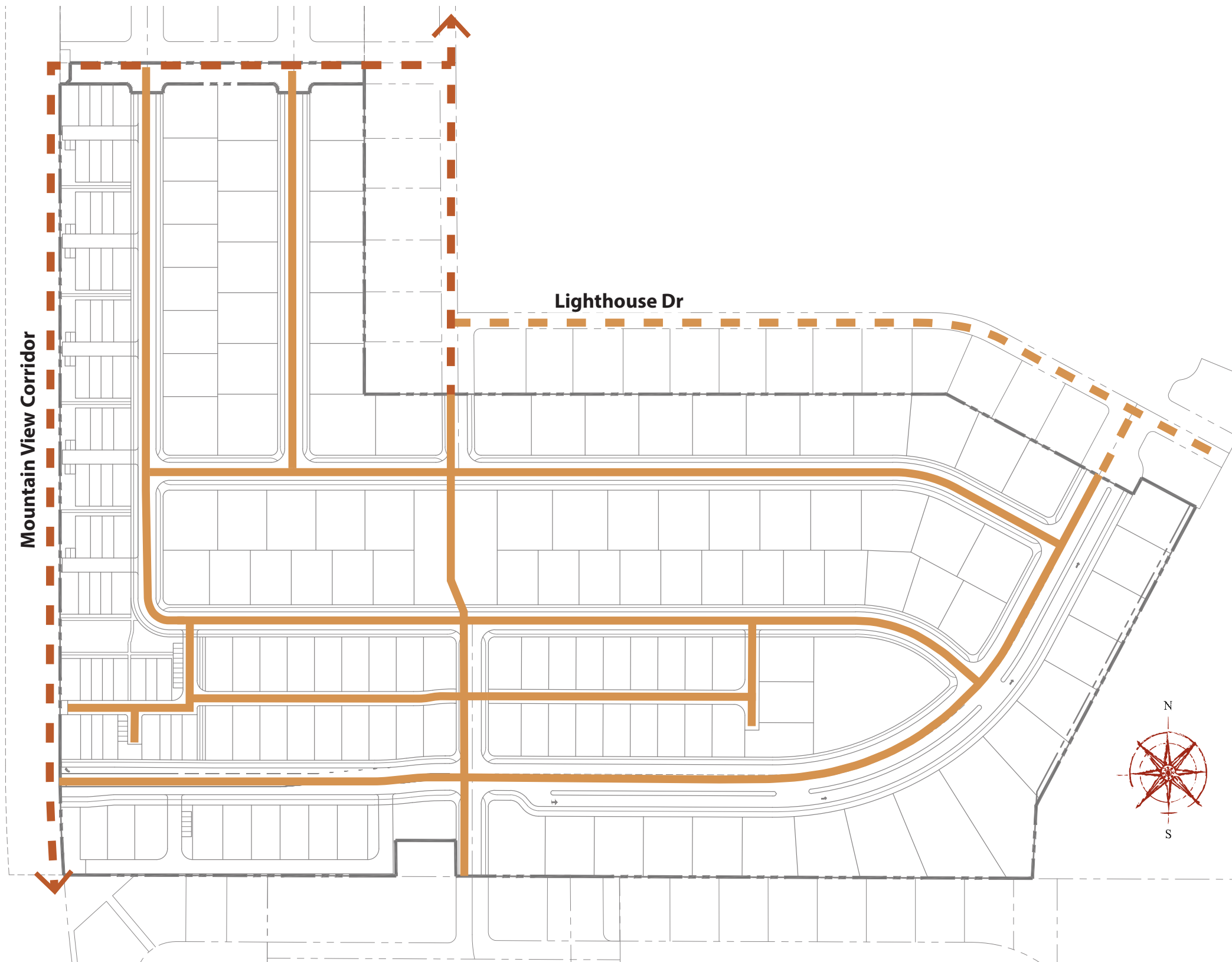
## **WILDLIFE**

The site is currently being farmed. There are no wildlife within the project boundaries.

# Culinary Water



# Secondary Water

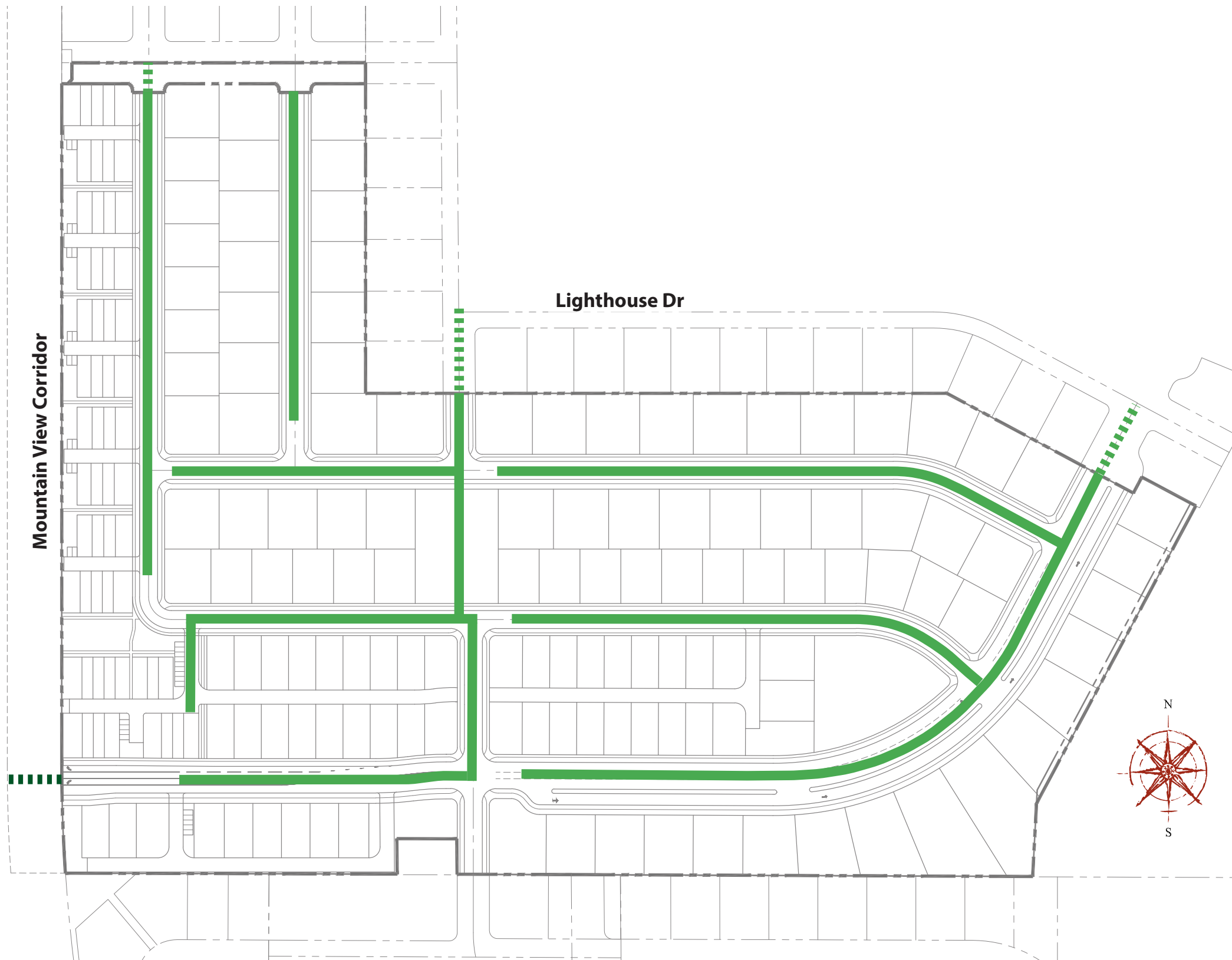


## Legend

**Proposed**  
6" Secondary Water

**Existing**  
6" Secondary Water  
24" Master-Planned Secondary Water

# Sewer

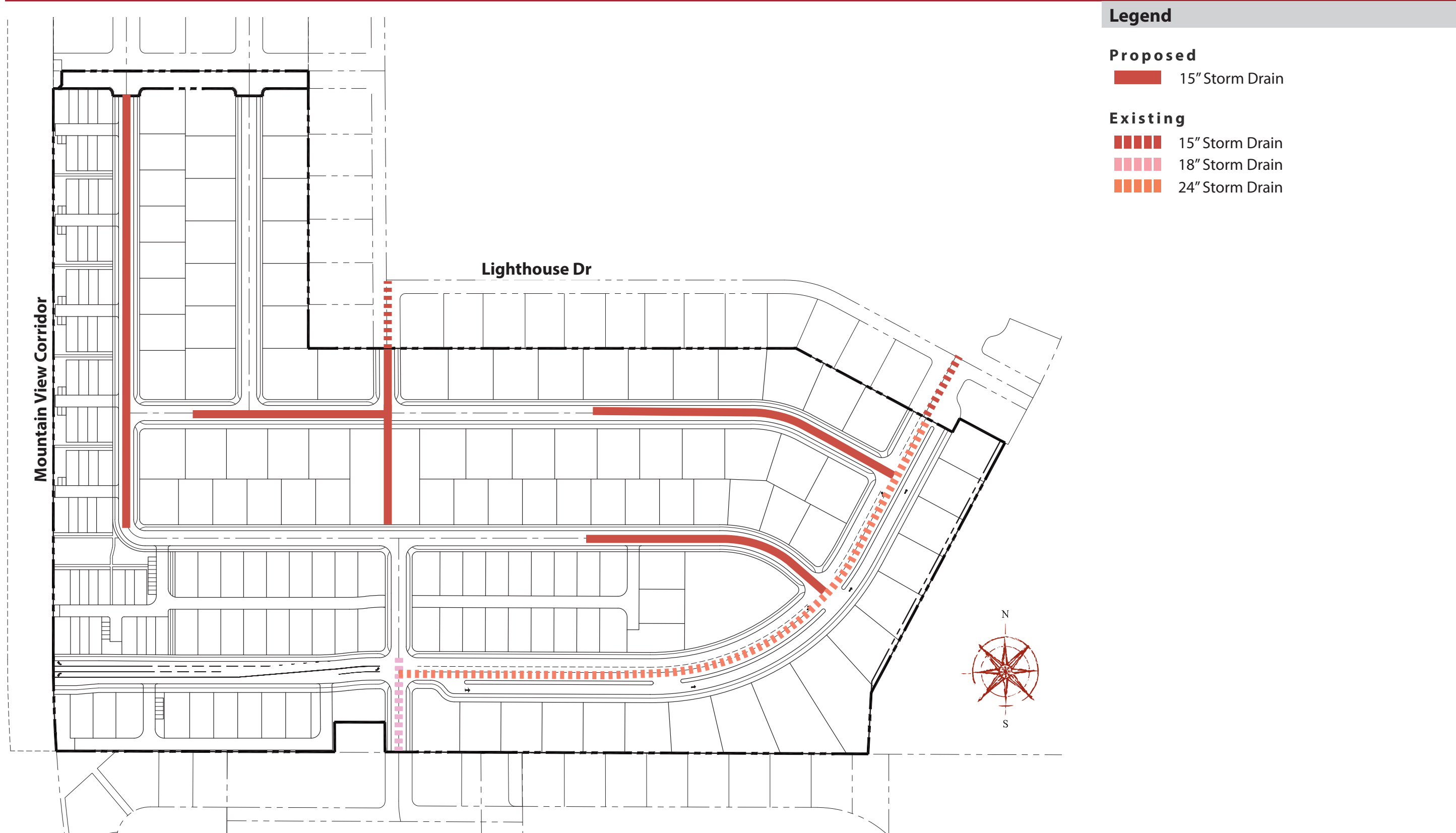


## Legend

**Proposed**  
8" Sewer

**Existing**  
8" Sewer Line  
24" Sewer Line

# Storm Drain



# Development Standards

## BUILDING TYPES

### Architectural Single-Family Attached Standards for Beacon Pointe

#### *Proposed Standards*

*These standards are intended to supersede 19.16.06 for single-family attached residential development.*

The following standards apply to all new single-family attached residential development<sup>1</sup>:

1. Architectural Material Transitions.<sup>2</sup>
  - a. Material transitions must occur at full-height internal corners.
  - b. On corner units\*, stone, brick, or siding shall wrap the front and side elevations and at least 2 feet around the rear elevation.<sup>3</sup>
  - c. \*Corner units are at the intersection of two streets or the intersection of a street and common open spaced
2. Materials and colors.<sup>3</sup>
  - a. A minimum of two materials and two colors shall be utilized on front or street side elevations, building façades abutting common open space, or building facades abutting an arterial or collector road. The roof shall not be considered a material or color. Trim, including soffit/fascia, corner boards, trim around openings, and horizontal bands, may be considered a separate material.
  - b. Soffits/Fascia and trim shall match or be a complementary color.
  - c. No more than 75 percent of any building elevation shall consist of any one material or color. The roof shall not be considered a material or color.
  - d. Enhanced building articulation, including bay windows and porches may count as a separate material/color.
3. Carports and Similar Structures<sup>4</sup>
  - a. Carports and similar structures shall be compatible in architectural design and details with the main residential structure by using at least two of the same materials and colors.

4. Building Articulation<sup>5</sup>
  - a. For townhouse buildings composed of three or more units, all building facades abutting an arterial or collector road or abutting common open space shall include either: a porch or stoop that projects a minimum of 7 feet, or a bay window, or other building plane change that projects a minimum of 2 feet.
5. Color Variation<sup>6</sup>
  - a. Townhouse developments containing more than five units shall be designed with at least two color palettes.<sup>9</sup>
6. Townhouse Composition<sup>7</sup>
  - a. Townhouse buildings should have no more than three units in the same plane along the front elevation.
  - d. Plane transitions between units must be at least one foot.
  - c. Buildings composed of 4 or more units shall include at least one front-facing gable along the street or common open space.

SEE FOLLOWING PAGE FOR REFERENCES.

#### *Existing Standards*

### **19.16.06. Architectural Design Standards, Residential.**

The following standards apply to all new multi-family and three-family residential development:

1. Architectural wrap
  - a. Stone, brick, wainscot, and other front elevation materials shall be wrapped a minimum of two feet into interior side elevations.
  - b. Stone, brick, wainscot, and other front elevation materials shall extend the full width of any street side yard, or façade abutting common open space.
2. Materials and colors.
  - a. A minimum of three materials and three colors shall be utilized on front or street side elevations, building façades abutting common open space, or building facades abutting an arterial or collector road. A minimum of two materials and two colors shall be utilized on interior side and rear elevations. The roof shall not be considered a material or color.
  - b. No more than 75 percent of any building elevation shall consist of any one material or color. The roof shall not be considered a material or color.
  - c. Carports and similar structures shall be compatible in architectural design and details with the main residential structure through the use of at least two out of three of the same materials and colors.
  - d. For each new three-family and multi-family residential building, all building facades abutting an arterial or collector road shall include either a porch pop out of at least 36 inches on every other residential unit or shall include a dormer gable on every other residential unit.
3. Color Variation.
  - a. Three-family, and multi-family developments containing more than five buildings shall be designed with at least two color palettes.

# Development Standards

## COMPARISON TO EXISTING 19.16.06 STANDARDS

Specify how frequently this is required.

### Architectural Single-Family Attached Standards for Beacon Pointe

1. Applicability
  - a. **Removed:** Application to all multi-family and three-family residential development within the Beacon Pointe context.
  - b. **Added:** Standards specific to single-family attached residential development.
2. Architectural Wrap and Material Transitions
  - a. **Modified:** Existing requirement for a two-foot material wrap into interior side elevations.
  - b. **Added:** Requirement for material transitions at full-height internal corners.
  - c. **Added:** Enhanced material wrap requirements for corner townhouse units, including front and side elevations and two feet around the rear.
3. Materials and Colors
  - a. **Modified:** Minimum requirement reduced from three materials and three colors to two materials and two colors on primary elevations.
  - b. **Removed:** Requirement for two materials and two colors on interior side and rear elevations.
  - c. **Added:** Trim elements may count as a separate material.
4. Carports
  - a. **Modified:** Carports and similar structures must include at least two of the same materials and colors as the primary building, replacing the existing "two out of three" compatibility requirement.
5. Building Articulation
  - a. **Removed:** Requirement for porch pop-outs or dormer gables on every other residential unit along arterial or collector roads.
6. Color Variation
  - a. **Modified:** Threshold changed from developments exceeding five buildings to developments exceeding five units.
7. Townhouse Composition (New Section)
  - a. Maximum of three units permitted within the same front building plane.
  - b. Minimum one-foot plane transitions required between units.
  - c. Buildings containing four or more units must include at least one front-facing gable.

- b. **Added:** Flexible articulation options, including deep porches/ stoops, bay windows, or building plane changes.
- c. **Expanded:** Applicability to façades facing common open space in addition to arterial and collector roads.

How do the exceptions contribute to the theming. How are you adding to the standards to balance the exceptions you are asking for. Where do you apply the styles that you refer to on page 13. Where are the requirements for the ornate details and building articulation to warrant only one material and one color as an exception.

Does not meet Title 19.16.06



March 2026



# BEACON POINTE VILLAGE 8

## ATTACHED SINGLE-FAMILY STANDARDS

*Saratoga Springs, Utah*

# VILLAGE PLAN STANDARDS | GOALS OF SINGLE-FAMILY ATTACHED

Title 19



Creating a new form of repetition

Proposal



Unique and Varied Streetscapes

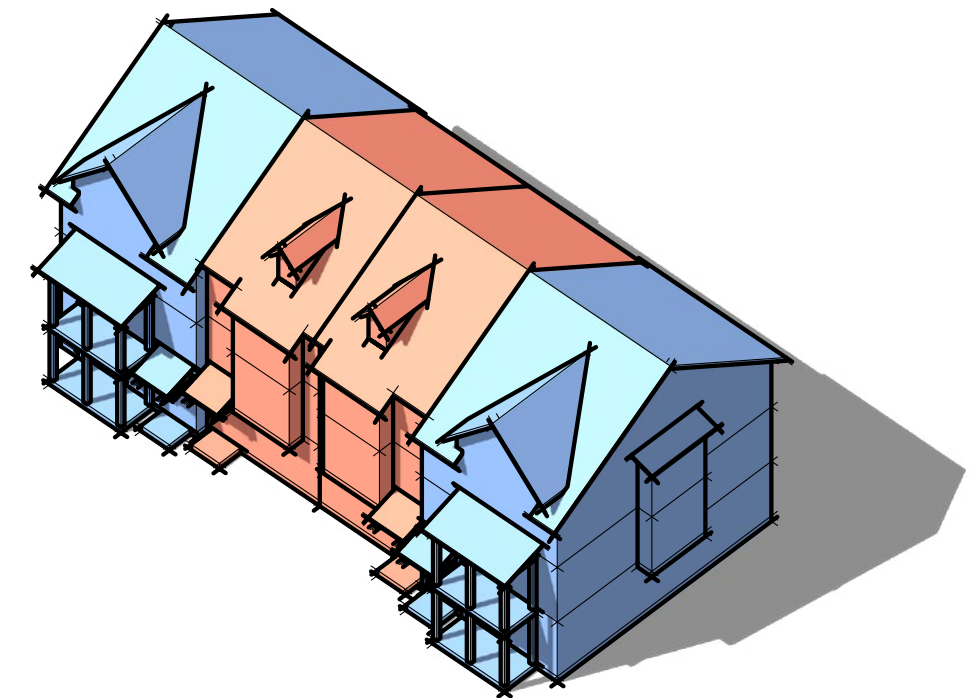
# VILLAGE PLAN STANDARDS | GOALS OF SINGLE-FAMILY ATTACHED



**Material Variation**



**Upgraded Materials & Landscape**



**Building Composition for Variation**

# LEARNING FROM GREAT NEIGHBORHOODS

## Neighborhood Vision

- Following historic precedent from great towns
- Varied, unique streetscapes




## Architectural Examples

- High quality materials
- Hierarchy of colors (main body with accents)
- Style-specific roof forms and building details

**Development Standards**



BUILDING TYPES

**PICTURESQUE BUILDING STYLES**




Greek Revival    Gothic Revival    Italianate

**CLASSIC BUILDING STYLES**



Georgian Style    Federal Style

**VICTORIAN BUILDING STYLES**



Stick Style    Shingle Style    Romanesque

**PERIOD REVIVAL BUILDING STYLES**



Colonial Revival Style    Jacobethan Style

**EARLY TWENTIETH-CENTURY BUILDING STYLES**

Bungalow Style    Arts and Crafts Style    Prairie Style

**STYLES APPLIED TO SINGLE-FAMILY ATTACHED**

Colonial Revival Style    Georgian Style

Village Plan - Beacon Pointe Village 8

13

All images on this page would be prohibited by Title 19

# PROPOSAL | MATERIAL TRANSITIONS

## Architectural Material Transitions

- Material transitions must occur at full-height internal corners.
- On corner units, stone, brick, or siding shall wrap the **front and side** elevations and at least 2 feet around the **rear** elevation.

## How Is This a Higher Standard from Title 19?

- Wrap at least two feet onto internal **SIDE** elevations



Material Transition at Full Height Internal Corner

# PROPOSAL | UPGRADED MATERIALS

- Minimum of two materials and colors
- Trim may be considered a separate material
- Building articulation may be considered a separate material:
  - Bay Windows
  - Porches
  - Building Cornices
  - Operable Shutters
  - Dormers
  - Full-height Chimneys

## How Is This a Higher Standard from Title 19?

- An entire home of a quality material (such as brick) is **allowed**.
- Material list prohibits vinyl, aluminum, and T-1-11 siding



Example of Two Materials  
(Fiber-cement siding, stucco)

# PROPOSAL | UPGRADED MATERIALS

## Exterior Cladding

- Wood lap siding
- Fiber-cement lap siding, smooth finish
- Fiber-cement board and batten
- Fiber-cement shingles
- Brick
- Stone
- Stucco, smooth sand finish

## Architectural Trim

- Composite
- Fiber-Cement
- Polymer millwork
- Hardwood

## Roof

- Dimensional, architectural grade asphalt shingles
- Slate
- Synthetic Slate
- Metal, standing seam
  - Metal, 5-v panels

## Prohibited Materials

### Exterior Cladding

- Vinyl siding
- Vinyl board and batten
- Vinyl shingles
- T-1-11 siding
- Aluminum Siding

### Architectural Trim

- PVC



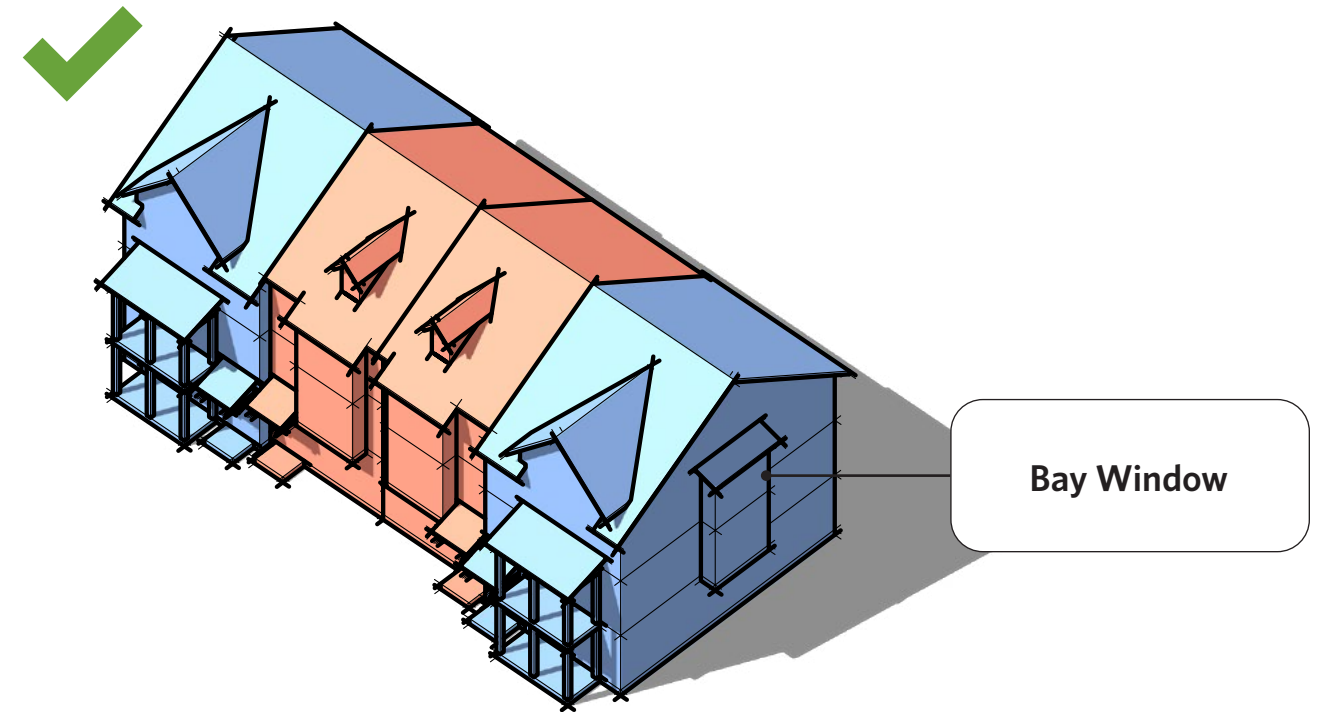
Current standards would prohibit an all brick or stone home

# PROPOSAL | BUILDING ARTICULATION

- Townhome buildings composed of three or more units, all building facades abutting an arterial or collector road or abutting common open space shall include either:
  - a porch or stoop that projects a minimum of 7',
  - a bay window,
  - other building plane change that projects a minimum of 2'.

## How Is This a Higher Standard from Title 19?

- Additional building articulation facing roads or common open space.



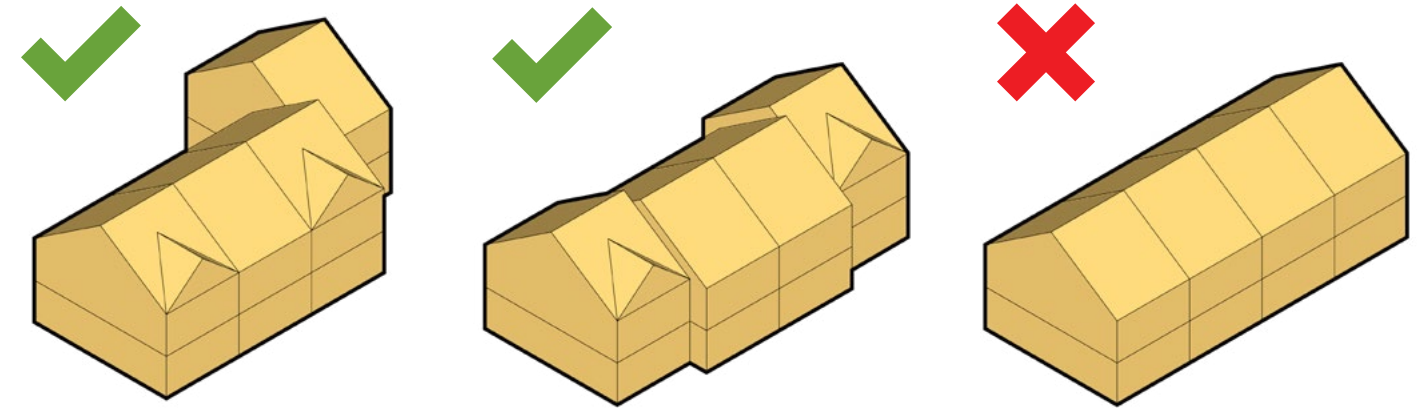
Other building projection facing common open space, 2' minimum



# PROPOSAL | BUILDING COMPOSITION

## Townhome Composition

- Buildings should have no more than three units in the same plane along the front elevation.
- Transitions between building planes must be at least one foot.
- Buildings composed of 4 or more units shall include at least one front-facing gable along the street or common open space.



Front facing gables, transition between building planes



Diagram of a townhome composition

UDA

Creating a sense of place through collaboration, context, and community.



**Code Amendment**

**Section 19.19.05 Minimum Required Amenities**

**March 12, 2026**

**PUBLIC HEARING**

Applicant:	City Initiated
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Gina Grandpre, Senior Planner

---

**A. Executive Summary and Request:**

The City is proposing a code amendment to Chapters 19.19.05.04 - Mixture of Amenities and Required Amenities, allowing a broader mix of amenities for new residential developments.

**Recommendation:**

**Staff recommends that the Planning Commission conduct a public hearing on the application, take public comment, review and discuss the proposal, and choose from the options in the Recommendation and Alternatives Section of this report.** Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

**B. Background:**

Chapter 19.19 establishes open space and amenity requirements for residential development to help ensure livable neighborhoods with usable recreational spaces. The proposed amendment updates the code by expanding the range of amenities that may be used to meet the required point system, providing more flexibility in how developments satisfy open space standards. This change is intended to better align the code with modern development types and resident needs while maintaining the City's open space goals. Staff will propose a separate amendment in the future to update the table of amenity points in this section.

**C. Process:**

Section 19.17.03 outlines the process criteria for Planning Commission and City Council Review:

1. The Planning Commission shall review the petition and make its recommendations to the City Council within thirty days of the receipt of the petition.

***Complies.*** This is a staff-initiated proposal. The application will be reviewed by the Planning Commission and receive a recommendation prior to review by the City Council.

2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title.

***Complies.*** Please see Sections F and G of this report.

3. The Planning Commission shall provide the notice and hold a public hearing as required by the Utah Code and Chapter 19.13. For an application which concerns a specific parcel of property, the City shall provide the notice required by the Utah Code and Chapter 19.13 for a public hearing.

***Complies.*** Please see Section E of this report.

**D. Community Review:**

This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City’s website and in City Hall, and, except for code amendments, mailing notices to property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

As of the date of this report, no public input has been received.

**E. General Plan:**

The proposed amendment, as it relates to the 2022-2042 General Plan Vision, Goals and Strategies for Land Use & Neighborhoods, is evaluated below.

**Land Use and Neighborhoods, The Vision**

“Land Use and Neighborhoods supports the general plan vision by preserving existing neighborhoods and requiring new attractive, healthy, and family-friendly neighborhoods. Neighborhoods will have a variety of housing types and amenities. As new development occurs, it will be supported by appropriate services and amenities, ensuring a high quality of life for existing and future residents.”

**Land Use Goal**

Future development in Saratoga Springs reflects the community’s preferred vision.

***Staff conclusion: Consistent.*** The proposed amendment supports the General Plan by allowing a broader mix of amenities within open space, improving flexibility while still ensuring neighborhoods include appropriate services and amenities that promote quality, healthy, and family-friendly communities.

**F. Code Criteria:**

**Code amendments are a legislative decision and grant the City Council significant discretion when considering changes to the Code.**

The criteria for an ordinance are outlined below and act as guidance to the Council and to the Commission in making a recommendation. Note that the criteria are not binding.

#### **19.17.05 Consideration of General Plan, Ordinance, or Zoning Map Amendment**

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;  
**Consistent.** *See Section E of this report.*
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;  
**Consistent.** *The amendment will not adversely affect the health and welfare of the general public and will allow for clarifications related to land uses.*
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

#### **19.01.04. Purpose.** This section identifies the purpose of Title 19.

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
  - a. encourage and facilitate the orderly growth and expansion of the City;
  - b. secure economy in governmental expenditures;
  - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
  - d. enhance the economic well-being of the municipality and its inhabitants;
  - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
  - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
  - g. stabilize and conserve property values;
  - h. encourage the development of an attractive and beautiful community; and
  - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

**Consistent.** *The proposed amendment will improve clarity in the code and contribute to a streamlined development review process benefiting the City, developers, and the public.*

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

**Consistent.** *The amendment will provide additional clarity and effectiveness of the Code and better enhance the consistency in development review.*

5. any other reason that, subject to the legislative discretion of the City Council, could advance the general welfare.

**G. Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public hearing, take public input, discuss the application, and choose from the following options.

**Option 1 – Positive Recommendation**

“I move that the Planning Commission forward a recommendation for approval of the proposed Code Amendment to Chapter 19.19, with the Findings and Conditions in the Staff Report.”

**Findings**

1. The application is consistent with the General Plan, as articulated in Section E of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in section 19.17.05 of the Land Development Code, as articulated in Section F of the staff report, which section is incorporated by reference herein.

**Conditions:**

1. Any other conditions or changes as articulated by the Planning Commission:

\_\_\_\_\_.

**Option 2 – Continuance**

“I move to **continue** the Code Amendment to Chapter 19.19, with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_.

**Option 3 – Negative Recommendation**

“I move that the Planning Commission forward a recommendation for denial of the proposed Code Amendment to Chapter 19.19, with the Findings below:

1. The application is not consistent with the General Plan:
  - a. \_\_\_\_\_, and/or,
2. The application is not consistent with Section [XX.XX] of the Code:

a. \_\_\_\_\_.

**H. Exhibits:**

1. Proposed Code Amendment

**EXHIBIT 1: Proposed Code Amendment**

**Chapter 19.19. Open Space.**

**Sections:**

- [19.19.01. Purpose and Applicability.](#)
- [19.19.02. Definitions.](#)
- [19.19.03. Equivalent Acres.](#)
- [19.19.04. Minimum Required Open Space.](#)
- [19.19.05. Minimum Amenities.](#)
- [19.19.06. Payment in Lieu of Open Space Program.](#)
- [19.19.07. Phasing.](#)
- [19.19.08. Maintenance of Privately Owned Open Space.](#)
- [19.19.09. Dedication and Maintenance of Public Parks, Trails, Open Space, and Landscaping.](#)

...

(Ord. 17-08)

**19.19.04. Minimum Required Open Space.**

1. **Open Space Required.** A minimum of one Equivalent Acre of park space is required for every 40 residential units in a development, or fraction thereof.
  - a. Example: a development with 150 units must provide 3.75 Equivalent Acres:  $150 \div 40 = 3.75$ .
  - b. Exception: any development where a minimum of 75 percent of the lots are one acre in size or larger shall not be required to provide Equivalent Acres.
2. **Minimum percentage by development.** In addition to the minimum Equivalent Acres, to ensure a livable community, in no case shall the percentage of total open space acreage provided in the following types of development be less than the listed percentage:
  - a. Single family developments: 10 percent of overall development acreage
  - b. Multi-family developments: 15 percent of overall development acreage
  - c. Mixed Use and Mixed Waterfront developments: 25 percent of overall development acreage
  - d. Developments with both single family and multi-family: combination of the requirement based on the acreage for each type of housing.
3. **Other Limitations.**
  - a. In no case may the cumulative total of the following categories qualify for more than 50 percent of a development’s Equivalent Acre requirement.
    - i. Unimproved, not Sensitive Lands
    - ii. Open space with no access

(Ord. 17-08)

**19.19.05. Minimum Required Amenities.**

1. **Methodology.** In order to meet the needs of new residents in each development, each development is required to provide amenities equaling a minimum number of points per required Equivalent Acre of open space.

2. **Minimum Points.** A minimum number of points is required per required Equivalent Acre, based on the total number of required Equivalent Acres provided in an individual park. The amenities may be distributed across all provided acres, but the points requirement is based only on the required Equivalent Acres.
- a. Required points: minimum required points are based on the number of required Equivalent Acres provided in a contiguous park and are outlined in the table below:

Park Size	Minimum Points Per Required Equivalent Acre:
0 - 2.49 Equivalent Acres	<b>100</b>
2.5 - 4.99 Equivalent Acres	<b>80</b>
5 - 9.99 Equivalent Acres	<b>60</b>
10+ Equivalent Acres	<b>40</b>

- b. Example of application: a development with 150 units is required to provide 3.75 Equivalent Acres ( $150 \div 40 = 3.75$ ), and must provide amenities averaging 80 points per Equivalent Acre, for a total of 300 points ( $3.75 \times 80 = 300$ ). If the development provides 6 Equivalent Acres instead of the minimum 3.75, the total point requirement is still 300 and does not increase based on additional acreage.
3. **Points per Amenity.** Each recreational amenity is worth a number of points. For appropriate spacing of amenities, each item also has a minimum square footage requirement.

4. **Mixture of Amenities and Required Amenities.**

- a. All parks are required to provide a mixture of amenities, including at least one separate item ~~each~~ from three different categories C, D, and E.
- ~~a.b. No more than 25% of the required amenity points shall be comprised of Additional Equivalent Acre Above Requirement.~~
- ~~b. No more than 25 percent of the points may be met by one specific item type in any one category.~~
- c. All parks over 5 Equivalent Acres are also required to provide at least one item from Category A or B, and three items from category P, per each 5 acres or fraction thereof. Public parks and trailheads are required to provide a minimum of a 1-toilet restroom, subject to approval by the Land Use Authority, and consistent with the preferred standards and level-of-service guidelines outlined in the City's Parks, Recreation, Trails, and Open Space Master Plan. The Land Use Authority, in making its determination, shall also consider whether the amenities are likely to extend the duration of public use beyond one hour and, in the case of a trail, whether there is onsite parking with a trail access point.

- d. Items in Categories A and B may qualify for impact fee credits, if identified in the Parks and Trails Master Plan.

Item	Min sq. ft. per item	Category	Points per Item
Ice rink - indoor facility	n/a	A	1750.0
Marina - public access (ramp to accommodate 4 boats min.)	n/a	A	500.0
Amphitheater (structure)	2500	A	375.0
Ice rink - outdoor facility	10000	A	250.0
Baseball Diamond - Little League© size	56000	A	216.0
Skate Park - one pit	10000	A	200.0
Swimming Pool, 2 lane equivalent	3000	A	150.0
Amphitheater (100 person seating area)	1000	A	125.0
Splash Pad (25 people)	2250	B	90.0
Restroom 3+ Toilets	400	B	82.0
Play Field - full size (soccer, football, etc.)	56000	B	56.0
Tennis Court (post tension concrete with fencing)	7200	B	50.4
Trail, hard surface, per 1000 linear feet	10000	B	41.3
Restroom 1-2 Toilets	200	B	41.0
Additional Equivalent Acre Above Requirement	See Tables	B	40.0
Pavilion - extra-large (30'x40')	1200	C	39.0
Pavilion - large (30'x32')	960	C	31.2
Play field - half size	28000	C	28.0
Play or skate feature - e.g. rock wall or kicker, large	200	C	25.0
Playground Structure (1-platform)	250	C	25.0
Pavilion - (medium, 30'x24')	720	C	23.4
Pickleball Court	3000	D	22.5
Zipline - per 75' linear rideable line	n/a	D	17.5
Basketball 1/2 court	2350	D	16.5
Pavilion (small, 30'x16')	400	D	15.6
Personal Watercraft Dock	2000	D	12.5
Swingset	100	D	12.5
Trail, soft surface, per 1000 linear feet	5000	D	8.3
Drinking fountain (freeze resistant w/pet bowl & bottle filler)	9	D	6.0
Horseshoes or similar	250	E	3.0
Bleachers - per section	450	E	2.8
Volleyball pit	1800	E	1.3
Art - 1 statue, sculpture, or other single piece	50	E	1.0
Table (6' aluminum)	75	E	0.8

Item	Min sq. ft. per item	Category	Points per Item
Tetherball or similar	250	E	0.6
Trash Receptacle (32 gal)	25	E	0.6
Workout station	100	E	0.5
Bench	50	E	0.4
BBQ Grill	25	E	0.3
Bike Rack, 4-bike capacity	30	E	0.3
Parking - 1 space (hard surface with drive aisle)	320	P	0.4
Parking - 1 space (soft surface with drive aisle)	320	P	0.1
<b>Additional options for stacked residential and residential above commercial:</b>			
Fitness room / gym	400	B	41
Rooftop Garden	150	C	25

*\* When an amenity is proposed that is not listed, Planning Director shall compare the cost and capacity of the amenity with amenities in this table to determine a comparable points value and category.*

*\*\* A minimum of one trash can is required with every pavilion and one for every park without pavilions.*

...



**Code Amendments**  
**Amending Sections 19.16**  
**March 12, 2026**  
**Public Meeting**

Report Date:	March 5, 2026
Applicant:	City Initiated
Previous Meetings:	N/A
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Austin Roy, Senior Planner

---

**A. Executive Summary:**

This is a staff-initiated code amendment related to the building buffer for commercial buildings. Currently the code requires a minimum of 5 feet between the building and the drive thru lane. However, this requirement can be difficult to meet on building corners adjacent to a drive thru lane. Also, the five-foot buffer does not work on a building with a loading bay. Staff is proposing to allow exceptions for these specific circumstances.

**Recommendation:**

**Staff recommends that the Planning Commission conduct a public meeting on the proposed code amendments, review and discuss the proposal, and choose from the options in Section H of this report.** Options include a positive recommendation with or without conditions, a negative recommendation, or continuation.

**B. Background:**

Recent proposals for buildings in Jacob Ranch Marketplace and North Shore Commercial have identified a need to be able to grant exceptions to the building buffer requirement. Title 19 does not currently allow exceptions for building corners or loading bays. An exception would allow better designs and also be consistent with how the City has treated loading bays. This code amendment will provide the ability for the City to grant exceptions for building corners and for loading bays.

**C. Specific Request:**

This is a request for approval of proposed code amendments to Section 19.16 of the Land Development Code, as summarized below and as attached.

<b>19.16, Site and Architectural Design Standards</b>	Adding an exception to the building buffer requirement for loading bays and for building corners.
---	---

**D. Process:**

Section 19.17.03 outlines the process criteria for Planning Commission and City Council Review:

1. The Planning Commission shall review the petition and make its recommendations to the City Council within thirty days of the receipt of the petition.  
*Complies. This is a staff-initiated proposal. The application will be reviewed by the Planning Commission and receive a recommendation prior to review by the City Council.*
  
2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title.  
*Complies. Please see Sections F and G of this report.*
  
3. The Planning Commission shall provide the notice and hold a public hearing as required by the Utah Code and Chapter 19.13. For an application which concerns a specific parcel of property, the City shall provide the notice required by the Utah Code and Chapter 19.13 for a public hearing.  
*Complies. Please see Section E of this report.*

**E. Community Review:**

This has been noticed as a public hearing pursuant to City and State statutes, which requires posting notice on the Utah public notice website and the City’s website and in City Hall, and, except for code amendments, mailing notices to property owners whose land is directly affected by the request and property owners within 300 feet of the subject property at least 10 calendar days prior to the public hearing.

Public Comment: As of the date of this report, no public input has been received.

**F. General Plan:**

The proposed amendments, as they relate to the 2022-2042 General Plan Vision, Goals and Strategies for Land Use & Neighborhoods, are evaluated below.

**Land Use and Neighborhoods, The Vision**

“Land Use and Neighborhoods supports the general plan vision by preserving existing neighborhoods and requiring new attractive, healthy, and family-friendly neighborhoods. Neighborhoods will have a variety of housing types and amenities. As new development occurs, it will be supported by appropriate services and amenities, ensuring a high quality of life for existing and future residents.”

## Land Use Goal

Future development in Saratoga Springs reflects the community's preferred vision.

**Staff conclusion: Consistent.** *The proposed amendments will allow better design for site plans by providing necessary exceptions for important elements of commercial site and building design.*

### G. Code Criteria:

**Code amendments are a legislative decision and grant the City Council significant discretion when considering changes to the Code.**

The criteria for an ordinance are outlined below and act as guidance to the Council and to the Commission in making a recommendation. Note that the criteria are not binding.

#### 19.17.05 Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;  
**Consistent.** *See Section F of this report.*
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;  
**Consistent.** *The amendments will not adversely affect the health and welfare of the general public and will allow for exceptions in the design of commercial sites and buildings.*
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and

#### 19.01.04. Purpose. This section identifies the purpose of Title 19.

1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
  - a. encourage and facilitate the orderly growth and expansion of the City;
  - b. secure economy in governmental expenditures;
  - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;

- d. enhance the economic well-being of the municipality and its inhabitants;
- e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
- f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
- g. stabilize and conserve property values;
- h. encourage the development of an attractive and beautiful community; and
- i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

**Consistent.** *The proposed amendments will improve clarity in the code and contribute to a streamlined development review process both benefiting the City, developers, and the public.*

- 4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

**Consistent.** *The amendments will provide additional clarity and effectiveness of the Code and better enhance the consistency in development review.*

- 5. any other reason that, subject to the legislative discretion of the City Council, could advance the general welfare.

**H. Recommendation and Alternatives:**

Staff recommends that the Planning Commission conduct a public meeting, take public input, discuss the application, and choose from the following options.

**Option 1 – Positive Recommendation**

“I move that the Planning Commission forward a recommendation for approval of the proposed code amendments to Chapter 19.16, with the Findings and Conditions in the Staff Report.”

**Findings**

- 1. The application is consistent with the General Plan, as articulated in Section F of the staff report, which section is incorporated by reference herein.
- 2. The application complies with the criteria in section 19.17.05 of the Land Development Code, as articulated in Section G of the staff report, which section is incorporated by reference herein.

**Conditions:**

- 1. Any other conditions or changes as articulated by the Planning Commission:

\_\_\_\_\_.

**Option 2 – Continuance**

"I move to **continue** the proposed code amendments to Chapter 19.18 to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. \_\_\_\_\_
2. \_\_\_\_\_

**Option 3 – Negative Recommendation**

"I move that the Planning Commission forward a recommendation for denial of the requested code amendments to Chapter 19.16, with the Findings below:

1. The application is not consistent with the General Plan:
  - a. \_\_\_\_\_,  
and/or,
2. The application is not consistent with Section {XX.XX} of the Code:
  - a. \_\_\_\_\_.

**I. Exhibits:**

1. Proposed Code Amendments

## Chapter 19.16. Site and Architectural Design Standards

### 19.16.04. Site Design Standards: Non-Residential Development.

#### 1. Shopping Cart Corrals.

- a. Shopping cart corrals are required for big box or mid box retail uses.
- b. Roof covers are recommended as the local climate includes wind, rain, and winter snow conditions. If roof covers are utilized, they shall blend in with the established building design.
- c. The shopping cart corral rail finish shall match or compliment the exterior finishes of the main building through the use of two out of three of the same exterior colors and finishes.

#### 2. Uses within Buildings. All uses established in any Commercial, Office Warehouse, Business Park, or Industrial zone shall be conducted entirely within a fully enclosed approved building except those uses deemed by the Land Use Authority to be customarily and appropriately conducted in the open.

- a. Uses which qualify for this exception include vegetation nurseries, home improvement centers with lumber, outdoor cafes, outdoor retail display, car wash vacuums, auto dealerships, and similar uses.
- b. Approved temporary uses, such as Christmas tree lots, shall be exempt from this requirement.

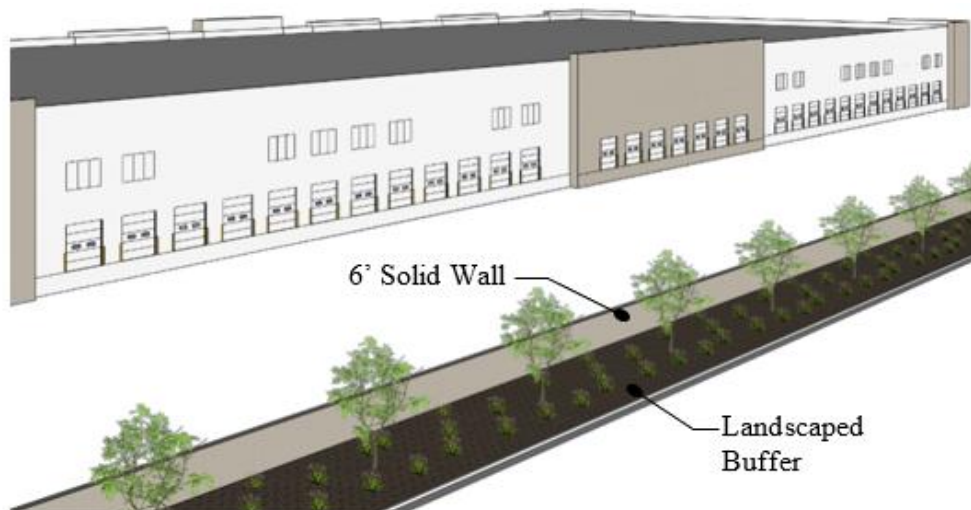
#### 3. Outdoor Display

- a. All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.
- b. All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.
- c. Display areas shall not block building entries or exits, pedestrian walks, required parking spaces, or required landscaped areas.
- d. Seasonal uses outside of these areas may be approved through the Temporary Use process.

#### 4. Outdoor Storage Standards:

- a. Outdoor storage areas shall be located to minimize views from adjacent public rights-of-way, residential development or zones, and adjacent developments. They shall be located behind or to the side of buildings.
- b. Outdoor storage shall be screened from public view. Screening shall consist of a solid wall, excluding CMU blocks. Screening shall be a minimum of 6 feet high and may reach a maximum height of 20 feet subject to approval by the Land Use Authority. A building permit is required for all fencing or walls higher than 7 feet. Chain link fencing is prohibited.
- c. The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.
- d. A landscape strip with a minimum width of five feet shall be installed next to the screening fence or wall when the storage area is adjacent to or visible from a public right-of-way.

- e. Outdoor storage materials must be stored in an orderly manner such that fire codes are met and access to all areas of the yard is possible (e.g. access lanes).
  - f. The outdoor storage materials may not extend above the height of the fence or wall.
5. **Access Requirements.** For each commercial lot:
- a. each roadway shall not be more than forty feet in width, measured at right angles to the center line of the driveway except as increased by permissible curb return radii; and
  - b. the entire flare of any return radii shall fall within the right-of-way.
6. **Off-street Truck Loading Space.** Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets, alleys, required parking stalls, or accessible stalls.
7. **Screening of Storage & Loading Areas**
- a. To alleviate the unsightly appearance of loading facilities, these areas shall not be located on the side(s) of the building facing the public street(s). Such facilities shall be located interior to the site. This does not apply to Municipal Buildings.
  - b. Screening for storage and loading areas shall be composed of 6 foot high solid masonry or architectural precast concrete walls with opaque gates and self-latching mechanisms, to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles.
    - i. Distribution areas in Heavy Commercial, Office Warehouse, Light Industrial, and Industrial zones shall be buffered from view of the public right-of-way through the use of landscaping and opaque screening walls. Paved loading areas shall be set back a minimum of 10 feet from the right-of-way, and the setback area shall be landscaped with street trees every 30 feet adjacent to the public right-of-way.



- c. Gates shall be made of opaque metal for durability. Chain link gates with opaque slats are prohibited.

- d. The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.
- e. Trash areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the business (unless storage is otherwise accommodated behind required screened storage areas).

**8. Buffers.**

- a. A wall and landscaping, fencing, or landscaping of acceptable design shall effectively screen the borders of any commercial or industrial lot which abuts an existing agricultural or platted residential use. Such a wall, fence, or landscaping shall be at least six feet in height, unless a wall or fence of a different height is required by the Land Use Authority as part of a site Plan review. Such wall, fence, or landscaping shall be maintained in good condition with no advertising thereon, except as permitted by Chapter 19.18.
- b. No chain link or wood fences are permitted as buffering or screening between commercial and residential. Masonry and solid vinyl are suggested types of fences, and as circumstances require, one or the other may be required.
- c. Unless otherwise required by this Title, walls or fences used as a buffer or screen shall not be less than six feet in height.

**9. Parking Lot Buffers.**

- a. There shall be a minimum of 10 feet of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses. (See Chapter 19.09, Off-street parking requirements for additional standards.)

**10. Building Buffer:** No building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window, loading bays, or for the corners of buildings. Building corners shall be protected by bollards if an exception is granted.

**11. Change in Grade Buffer:** Where a proposed change in grade would increase the elevation of a non-residential development adjacent to existing residential development greater than three feet, a buffer shall be established adjacent to the existing residential development, as follows:

- a. An increased setback requirement of two feet per one-foot of elevation change, as measured by the difference between the existing finished floor elevation of the nearest building on the residential property and the proposed finished floor elevation of the nearest non-residential building. The increased setback requirement shall be in addition to the existing setback requirement, as outlined in Section 19.04.
  - i. Should there be any dispute regarding the requirement of this buffer, the applicant for the proposed non-residential development shall be responsible for providing a survey showing the change in finished floor elevation between the proposed non-residential development and the existing residential development.
- b. Screening:

- i. A six-foot masonry wall shall be constructed on the subject property, inward from the shared property line, and shall be set at or within one foot vertically of the finished floor elevation of the nearest non-residential building located on the subject property; and
  - ii. One tree shall be required per 15 linear feet along the masonry wall required in (i) above to provide additional screening and privacy.
- c. No drive-thru lanes shall be permitted within the setback area.
- d. This buffer shall be in addition to any other required buffers.
- e. Exceptions: The Land Use Authority may grant exceptions to the buffer requirements outlined in this section, as follows:
  - i. The proposed non-residential development is separated from an existing residential development by a roadway, canal, trail corridor, or powerline easement, measuring at least twenty feet in width, or by any other existing natural or man-made feature that provides equivalent physical separation; or,
  - ii. An existing natural or man-made feature that provides visual screening equivalent to that required by the standard buffer as described in this section.
  - iii. The determination of “equivalent physical separation” or “equivalent visual screening” shall be made by the Land Use Authority based on site specific conditions, including but not limited to topography, vegetation, and built structures.

(Ord. 25-58, Ord. 25-56, Ord. 24-16, Ord. 24-12, Ord. 23-22, Ord. 17-14, Ord. 17-08)



# MINUTES – Planning Commission

Thursday, February 26, 2026

City of Saratoga Springs City Offices

319 S. Saratoga Road, Saratoga Springs, Utah 84045

## PLANNING COMMISSION MEETING MINUTES

**CALL TO ORDER - 6:00 p.m.** by Vice Chair Doug Willden.

- 5 1. **Pledge of Allegiance** - led by Commissioner Roman.
2. **Roll Call** – A quorum was present

**Present:**

10 Commission Members: Scott A. Hill, Virginia Rae Mann, Colton Miles, NH Rather, Chris Roman, Doug Willden.

Staff: Sarah Carroll, Planning Director; Rulon Hopkins, Assistant City Attorney; AnnElise Harrison, Public Relations Manager; Dan McRae, Engineer; David Jellen, Senior Planner; Joel Temple, Planner I; Wendy Wells, Deputy Recorder.

Others: Emily Pulham.

15 **Excused:** Commissioner Rachel Sprosty Burns.

3. **Public Input** - Public input was opened by Vice Chair Doug Willden.

20 Emily Pulham, resident of Saratoga Springs, referred to comments she had made at the last Planning Commission meeting regarding the separation of bike lanes near the new high school. Her understanding following that discussion was that the City's hands were tied, and it would not be fair to ask the school district to build a street cross-section above what City code required. She expressed concern about the paved separated trail shown on map 9, which runs southwest through Brixton Park, but does not appear to connect along Ensign Drive near the new high school, and noted that she felt this gap was problematic. She inquired whether land outside the designated 60 acres for the school could be used to construct a trail separated from the roadway. She thought this type of connection could improve safe access to the new high school for additional neighborhoods.

30 **Public Input Closed** by Vice Chair Doug Willden.

## PUBLIC HEARINGS

- 35 1. **Trails Master Plan General Plan Amendment to provide an update to the Trails chapter of the Parks, Open Space, and Trails Master Plan. Citywide, City-initiated.**

Planner I Joel Temple presented the item. This amendment includes updated city-wide maps of trails, trailheads, and bicycle lanes, and updated tables and figures to more accurately reflect these networks. He advised there had been requests from City Council, Planning Commission and citizens for a multimodal trail network. He pointed out that there were no trail connections between the City of Saratoga Springs and the Frontrunner Station, and explained the City wanted to collaborate with surrounding cities to finish the network and make sure there was access to amenities in the area. He reviewed the changes that had been made, and some of the future plans.

40 **Public Hearing Open** by Vice Chair Doug Willden. Receiving no public comment, the Public Hearing was closed by the Chair.

45 Commissioner Miles really liked the plans and mentioned that some of the trails were quite bumpy with root overgrowth, and wondered how the City managed trail maintenance.

50 Planner I Joel Temple explained that resurfacing and snow removal were handled through Public Works, but resurfacing of the trails happened less frequently than roads because there was typically less wear and tear on them. He noted that Staff could reach out to Public Works regarding the root overgrowth.

55 Commissioner Hill thanked Staff for all their hard work, and thorough plans. He noticed there were some gaps between some of the existing trails, and wondered if there was a cost estimate for linking the major trails together. He felt safe routes were important, and was glad those plans had been included. He noted the distance between the road and sidewalks at Westlake High School, and was hopeful the new high school would be planned and implemented in a similar way to provide safe walking routes for students.

60 Planning Director Sarah Carroll advised that the Staff Report did not include costs, and explained the project would take many years to complete, and costs could change as each project came online. She noted the General Plan amendment helped prioritize projects and also assisted with being able to apply for grants and funding to cover costs.

65 Commissioner Rather loved the trail network. He agreed with Commissioner Miles regarding the trail surfaces, and felt it was important to strike a balance between the cost of the trails and the quality of the surface. He noted that some trails in wooded areas may have issues with existing roots. With construction of new trails, he said he would like to see a level of quality that would help reduce some of the roughness.

70 Planning Director Sarah Carroll related that some of the trails that had been mentioned were county trails, and there would need to be requests submitted to the county for maintenance and improvement on those. She said the new trails that would be constructed had an engineering standard to adhere to.

75 Engineer Dan McRae further clarified the trails that typically had challenges with roots were asphalt trails. He explained the City-maintained trail standard was for 5-inch concrete trails with 8 inches of untreated base, and that type of surface typically had lower maintenance and tended to last a long time. He advised that some private trails in the City were maintained by developers and would be constructed with asphalt.

80 Commissioner Mann inquired about a specific segment of trail running through SSOA near the hot springs that has been experiencing ongoing drainage issues. She noted that, at times, standing water in the area had reached knee height, rendering approximately 20 feet of the trail impassable and had created accessibility issues. She asked if a solution had been planned to address the water issues.

85 Engineer Dan McRae advised there were some ongoing active projects in the area. He said they would follow up with Public Works on that specific area of concern, and look into it a little more.

**Motion made by Commissioner Hill that the Planning Commission forward a recommendation for approval of the requested General Plan Amendment with the Findings and Conditions in the Staff Report. Seconded by Commissioner Miles.**

**Yes: Scott A. Hill, Virginia Rae Mann, Colton Miles, NH Rather, Chris Roman, Doug Willden.**

**No: None.**

**Absent: Rachel Sprosty Burns**

**Motion passed 6 - 0.**

95 2. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs to add regulations for City-owned office trailers. Chapter 19.02 – Definitions; and 19.05 – Supplementary Regulations. Citywide. City-initiated.**

100 Senior Planner David Jellen presented the item. City Code does not currently address the use of trailers on city-owned property. An office trailer was approved as part of the site plan for the City Cemetery with the condition that City Code be amended to add regulations for the trailer. The proposed Code Amendment would provide regulations to address these structures.

Commissioner Hill received clarification regarding the lavatory and sewer set up for the cemetery trailer.

105 **Public Hearing Open** by Vice Chair Doug Willden. Receiving no public comment, the Public Hearing was closed by the Chair.

**Motion made by Commissioner Mann that the Planning Commission forward a recommendation for approval of the proposed Code Amendment to Chapters 19.02 and 19.05, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Roman.**

110 **Yes: Scott A. Hill, Virginia Rae Mann, Colton Miles, NH Rather, Chris Roman, Doug Willden.**

**No: None.**

**Absent: Rachel Sprosty Burns**

**Motion passed 6 - 0.**

115 3. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs to update regulations for Auto Repair uses and Car Washes. Chapter 19.02 – Definitions; 19.04 – Establishment of Land Use Zones and Official Map; and Chapter 19.05 – Supplementary Regulations. Citywide. City-initiated.**

120 Senior Planner David Jellen presented the item. The purpose of the proposed code amendment was to update definitions and clarify regulations related to auto repair shops and car washes. He explained that it wasn't always clear where to find additional regulations that may have been listed under definitions, so part of the amendment was to place those under Chapter 19.05.

125 **Public Hearing Open** by Vice Chair Doug Willden. Receiving no public comment, the Public Hearing was closed by the Chair.

Commissioner Rather appreciated the work to clarify the language, and said it was helpful to be really clear. He asked if there was anything in the code that regulated sound on the car washes.

130 Planning Director Carroll responded that there was not anything specific to sound, but there was something in code relating to distance and so the sound had been addressed through separation.

Commissioner Hill received clarification about the 5000-foot distance requirement between car washes.

135 **Motion made by Commissioner Rather that the Planning Commission forward a recommendation for approval of the proposed Code Amendments to Chapters 19.02, 19.04, and 19.05, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Mann.**

**Yes: Scott A. Hill, Virginia Rae Mann, Colton Miles, NH Rather, Chris Roman, Doug Willden.**

**No: None.**

140 **Absent: Rachel Sprosty Burns**

**Motion passed 6 - 0.**

## BUSINESS ITEMS

145 1. **North Marina Site Plan located at 1192 E. Saratoga Road. City-initiated.**

150 Planning Director Sarah Carroll presented the item. The marina will include a boat ramp, a floating dock, 30 long parking stalls for vehicles with boat trailers, 19 normal parking stalls (2 are ADA compliant), a toll booth, bathroom facilities (a portion of which will be used for storage), and trail connections. According to Chapter 19.09 of the Land Development Code for marina required parking, the parking standard will be determined by the Land Use Authority (City Council). There will be 44 stalls provided. The property is planned to be 5 acres in size. The only proposed buildings will be the toll booth and bathroom facilities.

155 Commissioner Miles received clarification that the trail through Northshore heading East towards American Fork would stay intact.

Commissioner Hill asked what the term "photometric" referred to in the packet.

Planning Director Sarah Carroll explained that the City typically required information on the level of light coverage provided by each individual fixture. She said a photometric plan showed the specific fixture, the

160 brightness produced, and the distribution and extent of its light coverage. She noted that the City had established standards that photometric plans must meet.

Commissioner Hill received clarification that City Staff were working on plans for tree lighting, parking, dumpsters and gates for the North Marina.

165 Commissioner Rather received information following a question about a barn shown on one of the maps. Staff clarified that it was a former scout camp that would be evaluated to see how it fit into future plans.

170 **Motion made by Commissioner Hill that the Planning Commission forward a recommendation for approval of the requested Site Plan for the North Marina located at 1192 East Saratoga Road, with the Findings and Conditions in the Staff Report. Seconded by Commissioner Roman.**

**Yes: Scott A. Hill, Virginia Rae Mann, Colton Miles, NH Rather, Chris Roman, Doug Willden.**

**No: None.**

**Absent: Rachel Sprosty Burns.**

175 **Motion passed 6 - 0.**

2. Approval of Minutes: February 12, 2026.

180 **Motion made by Commissioner Miles to approve the minutes of February 12, 2026. Seconded by Commissioner Mann.**

**Yes: Scott A. Hill, Virginia Rae Mann, Colton Miles, NH Rather, Chris Roman, Doug Willden.**

**No: None.**

**Absent: Rachel Sprosty Burns.**

185 **Motion passed 6 - 0.**

## REPORTS

1. **Commission Comments.** No comments were given.

190 2. **Director's Report.** – Planning Director Sarah Carroll advised of upcoming agenda items for the next Planning Commission meeting.

## CLOSED SESSION

Possible motion to enter into closed session – No closed session was held.

195

## ADJOURNMENT

Meeting Adjourned Without Objection at 6:52 p.m. by Vice Chair Doug Willden.

200

\_\_\_\_\_  
Date of Approval

\_\_\_\_\_  
Planning Commission Chair

205

\_\_\_\_\_  
Deputy City Recorder