

AGENDA
SANTA CLARA HERITAGE COMMISSION
THURSDAY, February 19, 2026
Time: 4:00 PM

Notice is hereby given that the Santa Clara Heritage Commission will hold a meeting on the 19th day of February 2026, in the Santa Clara Town Hall conference room at 2603 Santa Clara Drive. The meeting will begin at 4:00 PM.

Call to Order:

1. Approval of Minutes for January 15, 2026.

Business:

1. **Sign Review** for the Jacob Hamblin Home Visitors Center located at 3386 Santa Clara Drive. Kai Neilson, applicant.
2. **Design Review** for a New Home located at 3263 Santa Clara Drive (Clara Crossing Subdivision). Bennett & Hayley Hayrend, applicants.
3. **Discussion Item:** State Historic Preservation Officer SHPO Document.

Adjournment.

NOTE: In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City at 435-673-6712 at least 24 hours in advance of the meeting.

Members of the public may attend a meeting; however, comments are not allowed unless the Heritage Commission Chair allows it. Seating is limited.

Posted this 12th day of February 2026.

**SANTA CLARA CITY HERITAGE COMMISSION
MEETING MINUTES
Santa Clara Town Hall Conference Room
2603 Santa Clara Drive
January 15, 2026**

Present:

Commission Members: Mimi McKenna, Chairman
Mandi Gubler
Megan Smith
Bob Lamoreaux

City Council Representative:

Director: Jim McNulty, Planning & Economic Development Director

CALL TO ORDER

Mimi McKenna called the meeting to order at approximately 4:00 PM.

1. Approval of Minutes for October 16, 2025.

Mandi Gubler moved to APPROVE the minutes of October 16, 2025. Bob Lamoreaux seconded the motion. The motion passed with the unanimous consent of the Commission.

BUSINESS ITEMS

- 1. Demolition Permit and Construction of a New Home located at 1496 Victors Street. David & Debi Frei, applicants.**

Business

Demolition Permit and Construction of a New Home Located at 1496 Victors Street

Staff provided an overview of the application submitted by David and Debi Frei for the demolition of an existing home at 1496 Victor Street and construction of a new single-family home. The existing home was built in 1909 as a craftsman style bungalow, approximately 1,737 square feet in size. The property is just under half an acre (19,602 square feet) with two adjacent single-family homes.

Staff explained the Frei's inherited the home in 2025 after Gwendolyn Frei passed away. While they respect the home's history, they wish to build a new residence incorporating a modern craftsman style bungalow design.

The staff report referenced Section 17.76.080 of city code, which allows for the demolition of significant historic buildings within the historic district that are not designated landmark sites. Staff noted that while Heritage Commission reviews the application, the Planning Commission ultimately makes the decision on the demolition permit. The application will need to go to Planning Commission in a few weeks for approval.

Staff highlighted that the property has historical significance as it was built in 1909 by Vivian Jacob and Jesse Frei, who served as the local postmaster. For many years, the community post office operated from a room attached to the house. Chair McKenna noted that the historical portion with the post office was removed in 1995.

The proposed new home design was reviewed against the Historic District Design Guidelines. Key elements included:

- A modern craftsman style bungalow design
- Use of materials and techniques drawing upon historical elements
- A covered front porch for outdoor gathering
- Front door and window designs complementing the building architecture
- Decorative corbels as a craftsman element

The Heritage Commission had a detailed discussion about specific design elements including:

- Window colors and styles (3-over-1 grid pattern)
- Hardy board siding colors and brick elements
- Wood post and pillar sizes (recommendation for no smaller than 10 inches due to house size)
- Exterior lighting (recommendation to research craftsman-style lighting options)
- Roof design elements
- Color choices for various exterior elements

Dave Frei discussed the need to remove the existing tree as it was causing sidewalk damage and would be where the new driveway is planned. Staff noted that while the requirement for sycamore trees applies to Santa Clara Drive and not Victor Street, they recommended the applicant replace the existing sycamore tree with a more suitable tree along the property frontage. Chair McKenna recommended planting a replacement tree of substantial size (2-2.5-inch caliper) to maintain the historic shade element of the area.

The Heritage Commission noted the applicants' deep roots in Santa Clara and acknowledged that while demolishing historic structures is generally discouraged, the home's poor condition and the applicants' commitment to build a historically appropriate replacement justified approval. The Commission appreciated that the applicants were creating a "beautiful, clean, upkeep" home that would fit well in Santa Clara.

Mandi Gubler recommended approval of the Demolition Permit and Construction of a New Home located at 1496 Victors Street, subject to the following:

1. That the applicant constructs the home according to the plans presented to the Heritage Commission.
2. That the Historic District Design Guidelines Part II, Sections 4, 8, 9, 11, and 12 as summarized in the staff report are complied with.
3. That the applicant comes back to the Heritage Commission if changes to any items in Condition #2 are proposed.
4. That the applicant provides a color board or material samples (stucco, brick, asphalt shingles) with colors for review and approval by the Heritage Commission prior to construction.
5. That the applicant obtains a demolition permit from the City Building Official prior to any construction activity.
6. That an engineered Site Plan be submitted prior to building permit issuance.
7. That the proposed home improvements meet the area, width, and yard regulations (minimum building setbacks) as per Section 17.64.050 (R-1-10 Zone) of city code.

Megan Gubler seconded the motion. The motion passed with unanimous consent of the Commission.

Staff advised the applicants they would need to work with the City Building Official on the demolition permit and would let them know when they can get on a Planning Commission agenda, likely in a few weeks.

2. **Adjournment.**

The Heritage Commission Meeting adjourned at approximately 4:45 PM

Approved: _____
Sherry Laier, Clerk



City of Santa Clara
2603 Santa Clara Drive
(435) 656-4690, Ext. 225
jmcnulty@sccity.org

Staff Report

Heritage Commission Summary and Recommendation

Public Body: Santa Clara City Heritage Commission
Meeting Date: February 19, 2026
Current Zone: R-1-10/Historic District Overlay Zone
Property Address: 3386 Santa Clara Drive
Applicant Name: Kai Neilson
Staff Planner: Jim McNulty
City Staff Recommendation: Approval with conditions

PROJECT DESCRIPTION

The applicant, **Kai Neilson, representing the Church of Jesus Christ of Latter-Day Saints**, is proposing to replace the existing pole sign with a monument sign for the Jacob Hamblin Home Visitors Center property. The existing pole sign has been on the property for many years and is showing signs of natural wear and tear.

The **existing Pole Sign** is approximately 10' feet in height. The sign face is 6' feet wide and 5' tall which equates thirty (30) square feet. It looks like a large real estate sign made of metal. Please see attached photo of this sign.

The **proposed Monument Sign** is approximately 6' feet in height. The sign face is 7.27 feet wide and 5' feet tall which equates to thirty-six (36) square feet. The sign will be perpendicular to Santa Clara Drive allowing for visibility traveling both east and west. The sign base and supports around the sign will be metal (black), with the sign face also being metal (white). The sign text will be black in color. Please see attached photo provided by the applicant.

SITE & VICINITY DESCRIPTION

The subject property is located at 3386 Santa Clara Drive, north of Santa Clara Drive and northwest of Gates Lane. The subject property has frontage and access off Santa Clara Drive to the Jacob Hamblin Home Visitors Center.

PROJECT REVIEW ITEMS

City staff have reviewed the Historic District Design Guidelines and determined that the following items need to be addressed:

1. **Part II, Section 14, Signs:** All signage shall comply with the Santa Clara City adopted sign ordinance and shall be reviewed by the Heritage Commission. All signage shall utilize the color scheme as outlined in these design guidelines (e.g., Building Colors) for their signage color structure. This color strategy shall utilize a “toned down” version of the corporate colors to allow patrons to recognize brand identity without allowing the glaring color scheme that is so prevalent in modern corporate images. **It appears that the proposed monument sign meets this requirement.**

CITY STAFF RECOMMENDATION

City staff recommends that the Heritage Commission Approve the proposed monument sign located at 3386 Santa Clara Drive (Jacob Hamblin Home Visitors Center) subject to the following conditions:

1. That the applicant constructs the monument sign according to the plans presented to the Heritage Commission.
2. That the Historic District Design Guidelines Part II, Section 14 as summarized in the staff report be complied with.
3. That the applicant comes back to the Heritage Commission if changes to any item in Condition #2 are proposed.
4. That the applicant obtains a building permit prior to construction activity.



SANTA CLARA CITY
2603 Santa Clara Dr.
Santa Clara, UT 84765
(435) 656-4690 Fax: (435) 879-5298

Permit #: _____

Fee: _____

SIGN PERMIT APPLICATION Fee: \$3 per sq. ft.

Address of Sign Location: 3325 Hamblin Dr. Santa Clara, UT. 84765
Name of Business: Kai Neilson Construction Phone #: 435 680-6156
Sign Company: McArthur Welding Phone #: 435 673 2154
Sign Co. Address: 45 N 900 E St. George, UT State License #: 6439605-5501
" " 249249-5501

Type of Sign:

- Monument (low profile) Sign
- Wall Sign
- Free-standing Sign
- Temporary Sign (max. length - 30 days) Display dates: from _____ to _____

Total Square Footage of Sign: 64.5

Value of Sign: 6,586.00

Two copies of the following are required to process permit application:

ALL SIGNS:

1. Accurately dimensioned, scaled drawings showing height, color, square footage, dimensions, sign composition, type of illumination, and how the sign will appear from the street.
2. Details of sign construction
3. Electrical schematics

MONUMENT & FREE-STANDING SIGNS (in addition to All Signs requirements):

1. Plot plan showing relationship of sign to buildings, property lines, setback from public rights-of-way, intersections, easements and driveways.
2. Number of acres.
3. Length of lineal frontage of property.

WALL SIGNS (in addition to All Signs requirements):

1. A profile drawing showing how the sign will appear from the street/parking area and on the building. Drawing must show all existing signs on wall faces and proposed sign(s).

TEMPORARY SIGNS (in addition to All Signs requirements):

1. Plot plan showing relationship of sign(s) to buildings, property lines, setback from public rights-of-way, intersections, easements and driveways.

- ◆ Sign(s) may NOT be installed until permit is issued
- ◆ Incomplete applications will not be accepted
- ◆ Planning & Zoning approval may be required before application can be processed.

Print Applicant Name: Kai Neilson

Signature of Applicant: Kai Neilson Date: 1-9-26

Date Approved: _____ By: _____ Application Fee: _____

Fw: Hamblin sign

From Kai Neilson <Kai.kaineilson.com@outlook.com>

Date Fri 1/9/2026 10:30 AM

To Kai Neilson <kaineilson@infowest.com>

 1 attachment (25 MB)

Hambline Home_Site Identification Signage_1tm.pdf;

From: Drew Corry <CorryAT@churchofjesuschrist.org>

Sent: Friday, January 2, 2026 1:18:35 PM

To: Kai Neilson <kai.kaineilson.com@outlook.com>

Subject: Hamblin sign

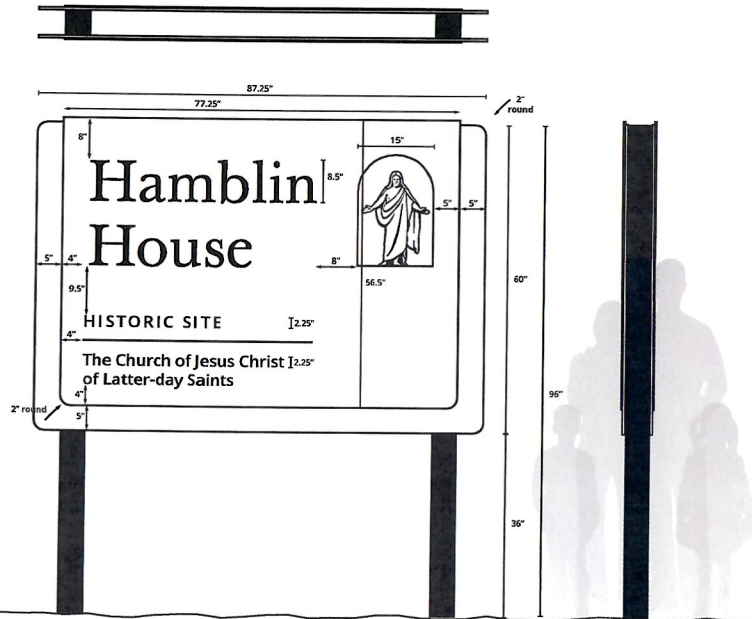
Kai,

I could not find what I originally sent you so I hope I capture everything. These photos show a large landing for the sign. We are not interested with that. Below is what we need.

- Remove the flag pole and current sign.
- Place new sign where the flag pole is as close to the street as is allowed by city code and without causing view obstructions.
- Light if possible. If not we can wait on this.
- Pour a concrete pad around the sign to give a buffer so no grass is around the sign.

Thanks Kai.

REMEMBER: Never give out your account information, password, or other personal information over e-mail.



4X Vertical SIMPLIFIED SIGN



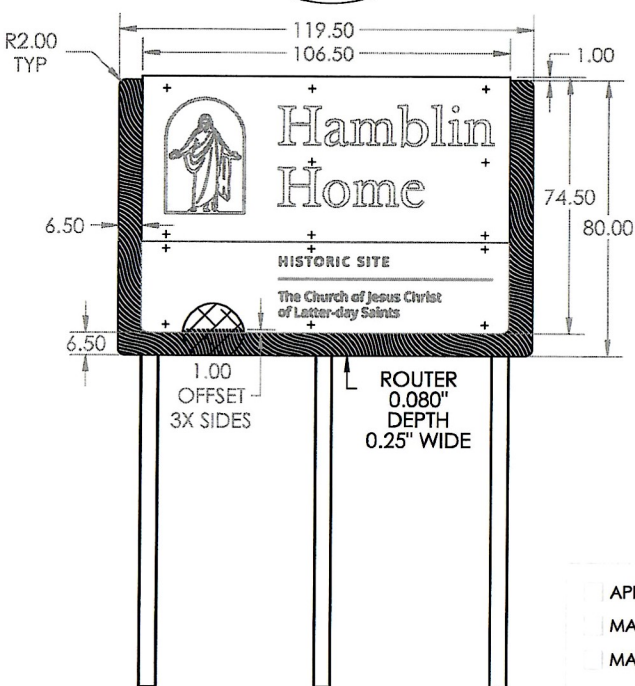
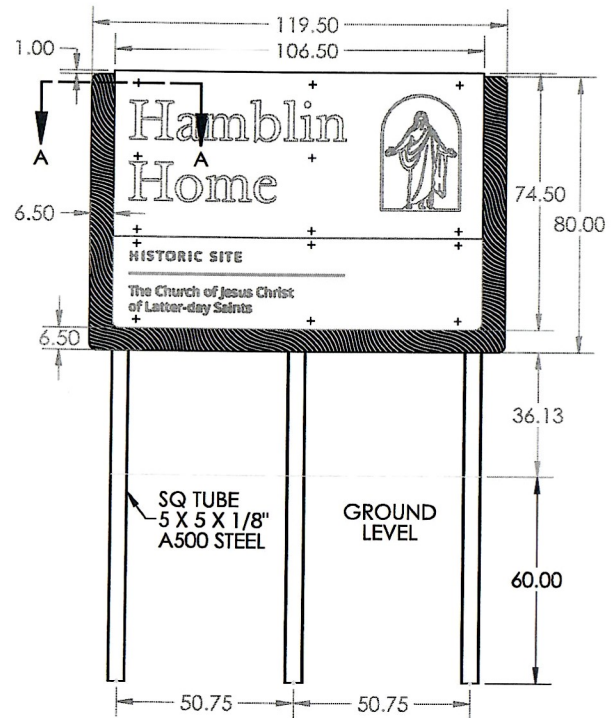
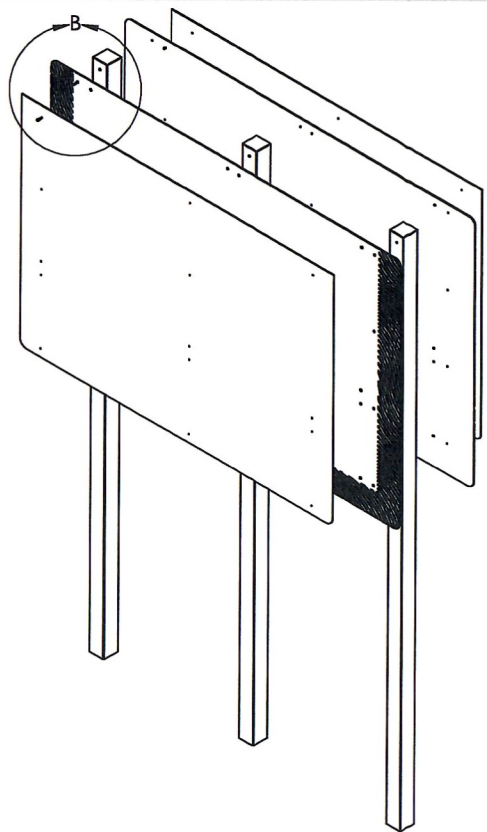
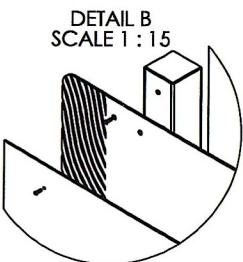
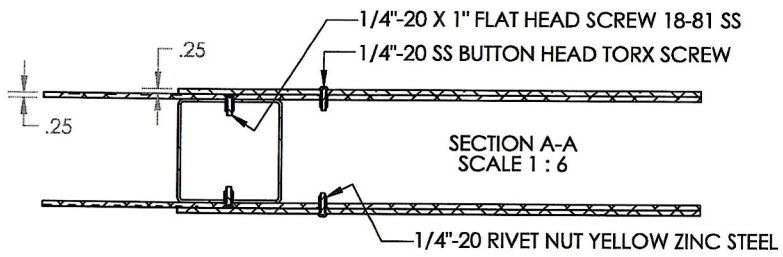
5X Vertical with Rise 12.5%

4

3

2

1



APPROVED AS IS
 MAKE CHANGES AND PROCEED
 MAKE CHANGES AND RESUBMIT

PROJECT NAME	HAMBLIN 3 POST DS DRAPE
CUSTOMER	ENVIROSIGNS-UT
CUST. PO W/PM IN.	P3903x JP
BDID JOB #	13123
BDID ESTIMATE #	BD28252
UNIQUE IDENTIFIER	DRAPE

CUSTOMER'S SIGNATURE		DATE
DESCRIPTION DUAL SIDED DRAPE SIGN ASSEMBLY		
SIZE B	FILE NAME CSTM-13123-ASSY 1	REV A
SCALE: 1:48	WEIGHT: 1198.965	SHEET 1 OF 2

4

3

2

1

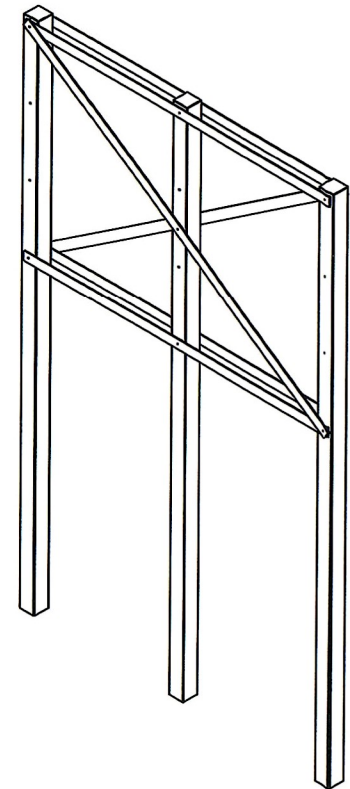
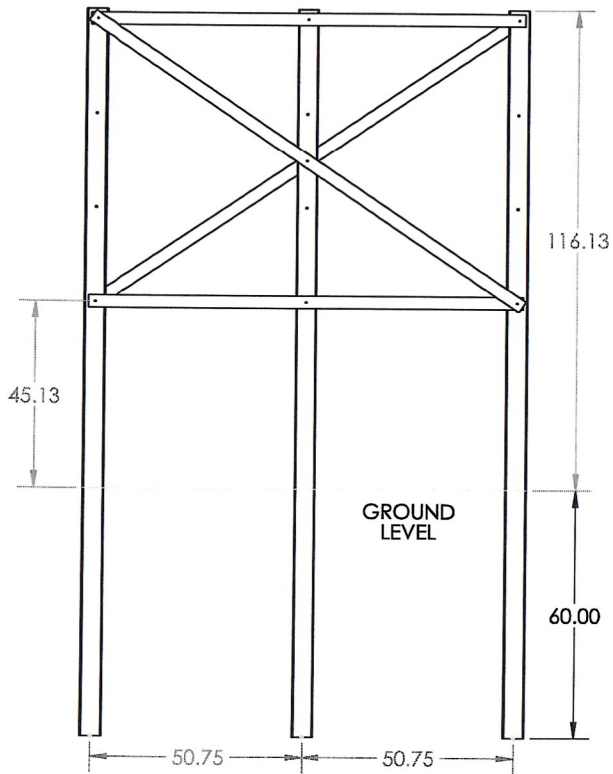
4

3

2

1

SQUARING STRAPS FOR INSTALL



NOTES:

- 1) POSTS ARE SYMMETRIC FRONT TO BACK AND INTERCHANGABLE
- CENTER POST UNIQUE

DIMENSIONS ARE IN INCHES
 FRACTIONAL ± 1/32
 MACHINED ANGLE ± 0.5 DEG
 BEND ANGLE ± 1.0 DEG
 TWO PLACE DECIMAL ±0.030
 THREE PLACE DECIMAL ±0.010

PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS
 DRAWING IS THE SOLE PROPERTY OF
 BIDD. ANY REPRODUCTION IN PART OR
 AS A WHOLE WITHOUT THE WRITTEN
 PERMISSION OF BIDD IS PROHIBITED.

DESCRIPTION

DUAL SIDED DRAPE SIGN
 ASSEMBLY

SIZE	FILE NAME	REV
B	CSTM-13123-ASSY 1	A

SCALE:1:48 WEIGHT: 1198.965 SHEET 2 OF 2

4

3

2

1

Hamblin Home



HISTORIC SITE

The Church of Jesus Christ
of Latter-day Saints



SANTA CLARA CITY
2603 Santa Clara Dr.
Santa Clara, UT 84765
(435) 656-4690 Fax: (435) 879-5298

Permit #: _____
Fee: _____

SIGN PERMIT APPLICATION Fee: \$3 per sq. ft.

Address of Sign Location: 3325 Hamblin Dr. Santa Clara, UT, 84765
Name of Business: Kai Neilson Construction Phone #: 435-680-6136
Sign Company: McArthur Welding Phone #: 435 623 2154
Sign Co. Address: 45 N 900 E St. George, UT State License #: 6439605-5501
" " 249249-5501

Type of Sign:
 Monument (low profile) Sign
 Wall Sign
 Free-standing Sign
 Temporary Sign (max. length - 30 days) Display dates: from _____ to _____

Total Square Footage of Sign: 36.35 Value of Sign: 6,586.00

Two copies of the following are required to process permit application:

ALL SIGNS:

1. Accurately dimensioned, scaled drawings showing height, color, square footage, dimensions, sign composition, type of illumination, and how the sign will appear from the street.
2. Details of sign construction
3. Electrical schematics

MONUMENT & FREE-STANDING SIGNS (in addition to All Signs requirements):

1. Plot plan showing relationship of sign to buildings, property lines, setback from public rights-of-way, intersections, easements and driveways.
2. Number of acres.
3. Length of lineal frontage of property.

WALL SIGNS (in addition to All Signs requirements):

1. A profile drawing showing how the sign will appear from the street/parking area and on the building. Drawing must show all existing signs on wall faces and proposed sign(s).

TEMPORARY SIGNS (in addition to All Signs requirements):

1. Plot plan showing relationship of sign(s) to buildings, property lines, setback from public rights-of-way, intersections, easements and driveways.

- ◆ Sign(s) may NOT be installed until permit is issued
- ◆ Incomplete applications will not be accepted
- ◆ Planning & Zoning approval may be required before application can be processed.

Print Applicant Name: Kai Neilson
Signature of Applicant: Kai Neilson Date: 1-9-26
Date Approved: _____ By: _____ Application Fee: _____



City of Santa Clara
2603 Santa Clara Drive
(435) 656-4690, Ext. 225
jmcnulty@sccity.org

Staff Report

Heritage Commission Summary and Recommendation

Public Body: Santa Clara City Heritage Commission

Meeting Date: February 19, 2026

Current Zone: R-1-10/Historic District Overlay Zone

Property Address: 3263 Santa Clara Drive (Lot 5, Clara Crossing Subdivision)

Applicant Name: Bennett & Haylee Heyrend

Staff Planner: Jim McNulty

City Staff Recommendation: Approval with conditions

PROJECT DESCRIPTION

The applicants, Bennett & Haylee Heyrend, are proposing to build a single-family home in the R-1-10/Historic District Overlay Zone. The subject property is approximately 0.26 acres (11,380 sq. ft.) in size and located at 3263 Santa Clara Drive. The subject property is known as Lot 5 of the Clara Crossing Subdivision.

This **subdivision plat was approved by the Planning Commission on March 14, 2024.** The Clara Crossing Subdivision plat was recorded on April 8, 2025, after all public improvements were completed. At this time, no building permits have been issued for lots in this subdivision.

The **proposed single-family home** includes stone masonry, hardi-board and stucco facade, awnings, window treatments, roof overhangs, dormer windows, asphalt shingles, varied roof pitch, and a side loading garage (**see attached building plans and narrative**). The applicants hired architect, Dan Carrick, with Evokhome to design the home. The design includes a custom one-story cottage style with a daylight basement as the change in grade from the front of the home to the back is approximately 12'.

The subject property was **reviewed by the Heritage Commission on October 24, 2024, and November 21, 2024.** The previous applicants, Neil & Michelle Walter, have decided to sell this lot rather than build the home previously approved by the Heritage Commission.

SITE & VICINITY DESCRIPTION

The subject property is located adjacent and east of Lot 4 (Clara Crossing) off Santa Clara Drive. The property has frontage along Santa Clara Drive. Public improvements are in place for the subject property.

PROJECT REVIEW ITEMS

City staff have reviewed the Historic District Design Guidelines and determined that the following items need to be addressed:

1. **Part II, Section 4, Building Design/Architectural Character:** New and existing construction shall reinforce the architectural character of the area. Additionally, new and existing construction shall achieve compatible design through appropriate massing, form, scale, rhythm, orientation, materials, fenestration, and patterns. **It appears that the proposed single-family home building design/architectural character meets this requirement**
2. **Part II, Section 9 Building Materials:** Building materials shall convey texture, scale, finish, and color like those used traditionally. A minimum of 30% of the vertical wall surface should include masonry such as brick, or stone. The front, right-side and left-side elevations include stone, hardi-board, and stucco. The rear elevation includes hardi-board, and stucco. **It appears that the proposed building materials meet this requirement.**
3. **Part II, Section 11 Building Colors:** Building color is one of the most critical elements in design. Careful attention shall be paid to create colors that blend with the panoramic views and natural landscapes of the area. Approval of color boards with large material samples shall be required in the Historic District. The project narrative includes an idea of the colors to be used; however, City staff recommend that the applicants **review the Color Matrix, Exhibit B, in the Historic District Design Guidelines** and be prepared to discuss it during the meeting. **The applicants have provided a digital color board with material samples for Heritage Commission review and approval.**
4. **Part II, Section 12 Roof Design:** The roof form, its pitch, materials, and associated parapets are all character-defining features for a building. Roof forms and planes should vary to add visual interest to the street environment, provided they're aesthetically appropriate. Roof materials shall be fire-retardant and non-reflective including asphalt shingles (wood appearance). **It appears that the proposed roof design and materials meet these requirements.**

CITY STAFF RECOMMENDATION

City staff recommends that the Heritage Commission consider recommending Approval to the Planning Commission for the New Home Design on Lot 5 of the Clara Crossing Subdivision subject to the following conditions:

1. That the applicants construct the home according to the plans presented to the Heritage Commission.
2. That the Historic District Design Guidelines Part II, Sections 4, 9, 11, and 12 as summarized in the staff report be complied with.
3. That the applicant comes back to the Heritage Commission if changes to any items in Condition #2 are proposed.
4. That the applicant provides a color board with material samples for review and approval by the Heritage Commission prior to construction.
5. That this home be required to meet the area, width, and yard regulations (building setbacks) as per Section 17.64.050 of city code. Also, the building height for this home is limited to 35'.



HEYREND FAMILY HOME

Plan & Design Proposal
for
Clara Crossing Lot #5

FEBRUARY 2026

BUILDER

Sam Flemetakis

435-705-4794 sam@sunhilldevelopment.com

Alec Flemetakis

435-668-4626 alec@sunhilldevelopment.com

For over 20 years, we've been proud to serve Southern Utah as trusted general contractors, custom home builders, and land developers. Based in beautiful St. George, we specialize in delivering top quality construction and services to clients from near and far.

We know the construction process can feel overwhelming, that's why our mission is to make building your dream home smooth, stress free, and professional. From start to finish, we guide you every step of the way, ensuring an on time delivery of the very best finished product possible.

We're grateful to serve amazing clients from across the country and to welcome them into the Southern Utah community we love.



Sun Hill Development LLC
"Unsurpassed Quality & Service"

ARCHITECT

Evōkhome

Dan Carrick

435-313-1577

dan@evokhome.com

[Design Gallery](#)

Evōkhome is a residential and construction firm specializing in creating curated, high-end living spaces with over 20 years experience in Southern Utah.



PROJECT NARRATIVE

The Heyrend Family is very excited to construct their new family home in the Santa Clara City Historic District. As Southern Utah natives, we know the specific charm, quaintness, and beauty of Santa Clara Drive, and we feel honored to get the opportunity to contribute to such a special place.

A lot of thought and care has been given to the design of this project as to create a beautiful addition to Santa Clara Drive, as well as creating a comfortable home for our family. Dan Carrick with Evōkehome has helped us design a plan that we feel fits into the Period Cottage style of architecture. After fully reviewing the 2024 Historic District Design Guidelines, we incorporated a steep, gabled end-roof, small roof overhangs, an arched entry door, gridded windows, 40%+ stone with over-grout, 30-year shingled roof, and side entry garages to help maintain the curb appeal of the home. With Sun Hill Development as our builder, we feel we will execute a beautifully finished product that Santa Clara City will be proud to have in its Historic District. Please review the following slides for examples of proposed materials, color schemes, and overall aesthetic.



FRONT ELEVATION PROPOSAL



DESIGN BOARD

HEYREND HOME

STUCCO COLOR

Designer Color Collection ⓘ

SW 9611

Minimalist

Expert Pick

Designer Color Collection ⓘ

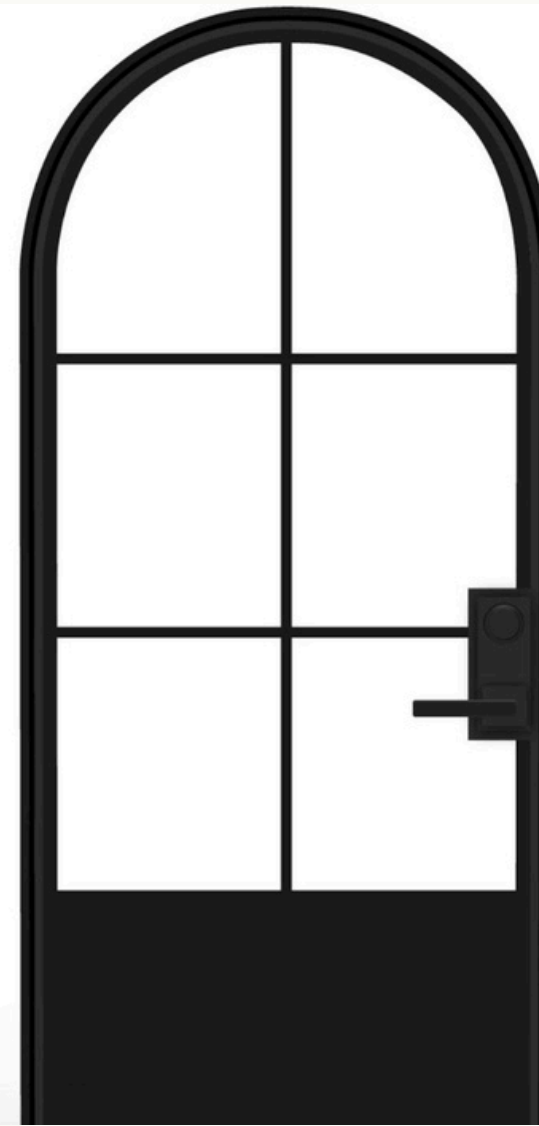
SW 9607

Tanglewood

HARDIE BOARD:
BATTEN BOARD ON FRONT
PLANK SIDING ON REAR

WINDOWS & TRIM: BLACK

Millennium
LIGHTING



STONE: CREATIVE MINES
FOOTHILL RUBBLE IN GREENTEA



ROOF SHINGLES: CERTAINTEED
LANDMARK IN GRANITE GRAY



STUDIO OWN ARCHITECTURE

COLOR INSPIRATION

GENERAL NOTES AND DESIGN CRITERIA

CONCRETE NOTES:

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, ACI 318, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO POURING CONCRETE.
- ALL REINFORCING STEEL SHALL BE GRADE 60, AND BE PROPERLY TIED INTO PLACE PRIOR TO POURING CONCRETE.
- MINIMUM COMPRESSIVE STRENGTH $f'_c = 4500$ PSI FOR SLABS, SUSPENDED SLABS, AND FOUNDATION WALLS, AND $f'_c = 3000$ PSI MINIMUM FOR FOOTINGS.
- DEPRESS FOUNDATION AND POUR SLAB THROUGH, TYPICAL ALL EXTERIOR DOORS AND STORE FRONT TYPE WINDOWS, UNLESS NOTED OR DETAILED OTHERWISE.
- ALL EXTERIOR FOOTINGS SHALL BEAR BELOW FROST DEPTH (FIELD VERIFY).
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL, ELECTRICAL, AND DESIGNER PRIOR TO POURING CONCRETE. PROVIDE SLEEVES, BLOCKOUTS, ETC. AS REQUIRED.
- PROVIDE ISOLATION JOINTS AROUND COLUMNS/SPREAD FOOTINGS, AND CONTROL JOINTS AS REQUIRED. VERIFY LOCATIONS WITH DESIGNER.
- DEPRESS SLAB AS REQUIRED IN AREA OF CERAMIC TILE AND SPECIAL ENTRY MATS, ETC. (VERIFY WITH DESIGNER)
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLACEMENT OF ALL ANCHORS OR STRAPS, ETC. INSTALL PER MANUFACTURER.
- WHERE FOUNDATION WALLS OR FOOTINGS SUPPORT MASONRY WALLS, PROVIDE MATCHING DOWELS OF SAME SIZE AND SPACING.
- CONTRACTOR SHALL PROVIDE ALL SHORING AS REQUIRED.
- BRACE WALLS AS REQUIRED UNTIL FLOOR SLABS ARE IN PLACE.
- TO MINIMIZE CRACKING OF SLABS ON GRADE, #3 REBAR @ 30" O.C. MINIMUM EACH WAY 1" CLEAR FROM TOP, OR EQUIVALENT WELDED WIRE MESH IS RECOMMENDED. VERIFY WITH OWNER.
- CONTRACTOR SHALL FIELD VERIFY ACTUAL SOIL CONDITIONS. ALLOWABLE BEARING PRESSURE USED FOR DESIGN = 1500 PSF.
- FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL MATERIAL, OR ON PROPERLY PLACED ENGINEERED FILL. CONTRACTOR SHALL HAVE SOILS ENGINEER FIELD VERIFY AS REQUIRED.
- CONTRACTOR SHALL STEP FOOTINGS AND FOUNDATIONS AS REQUIRED, TO MAINTAIN FROST DEPTH AS REQUIRED BY BUILDING OFFICIAL.
- ENSURE PROPER COMPACTION OF SOIL PRIOR TO POURING EXTERIOR CONCRETE (I.E. CONCRETE SLABS, STEPS, ETC.).

GENERAL FRAMING NOTES:

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- PROVIDE DRAFTSTOPPING AT OPEN WEB FLOOR TRUSSES SEC. R302.12
- ALL JOISTS, RAFTERS, AND HEADERS SHALL BE DOUGLAS FIR LARCH NO. 2 OR EQUAL. IF TJI'S OR EQUAL ARE USED, THEY MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALSO PROVIDE BRIDGING @ 8' O.C. FOR FLOOR JOISTS.
- ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL WITH SIMPSON A35 FRAMING ANCHORS. ROOF JOISTS TO HAVE HURRICANE CLIPS AT 45" O.C. MIN.
- GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF OR EQUAL FOR CONTINUOUS SPANS.
- ALL STRUCTURAL STEEL SHALL BE A50, PROPERLY PRIMED AND PAINTED.
- ALL WOOD CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER, CONTRACTOR IS RESPONSIBLE FOR CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, SEE PROJECT ENGINEER FOR ADDITIONAL ASSISTANCE. USE SIMPSON OR EQUAL CONNECTIONS FOR WOOD TO WOOD.
- THRUST SHALL BE ELIMINATED BY USE OF COLLAR TIES, OR JOISTS, (PROPERLY INSTALLED), AT ALL STICK FRAME AREAS, UNLESS SUPPORTED BY BEAMS.
- PREFABRICATED AND ENGINEERED TRUSSES CAN BE USED FOR THE ROOF AND OR THE FLOORS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. TRUSS MANUFACTURER SHALL DESIGN TRUSSES FOR ALL LOADS PER 2021 INTERNATIONAL RESIDENTIAL CODE, INCLUDING UNBALANCED SNOW LOADS, SNOW DRIFTING, SNOW BUILD-UPS IN VALLEYS AND ON EAVES, ETC.
- ALL COLUMNS SHALL EXTEND DOWN THROUGH THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE AS WIDE AS THE MEMBER THEY SUPPORT.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MIN. 7/16" THICK EXP 1 SHEATHING OR EQUAL WITH 8d NAILS @ 6" O.C. EDGES AND @ 12" O.C. IN THE FIELD - BLOCKED, UNLESS OTHERWISE NOTED.
- ALL ROOF SHEATHING SHALL BE MIN. 7/16" OSB OR PLYWOOD SHEATHING EQUAL W/ 8d COMMON NAILS @ 6" O.C. EDGES AND @ 12" O.C. IN THE FIELD, UNLESS NOTED, PROVIDE (2) 2" X 4" BLOCKING @ RIDGES UNLESS CONTINUOUS MEMBER EXISTS.
- ALL FLOOR SHEATHING TO BE 3/4" THICK T&G SHEATHING WITH 10d COMMON NAILS OR EQUAL @ 6" O.C. PANEL EDGES AND @ 12" O.C. IN THE FIELD.

GENERAL ELECTRICAL NOTES:

- METER PANELS SHALL BE AT LEAST 36" AWAY FROM ALL DOORS AND WINDOWS
- MAIN DISCONNECTS ARE REQUIRED ON EXTERIOR OF ALL BUILDINGS.
- BREAKER PANELS SHALL NOT BE LOCATED ON THE EXTERIOR OF BUILDING.
- PROVIDE METALLIC WATER SERVICE OR CONCRETE ENCASED GROUNDING ELECTRODE IAW 2011 N.E.C. SEC. 250-50 (C)
- INSTALL A MINIMUM OF TWO WATER-PROOFED GFCI RECEPTACLES (ONE IN REAR AND ONE IN FRONT)
- ALL REQUIRED RECEPTACLES SHALL BE SPACED SO THAT AT NO POINT ALONG THE FLOOR LINE OF WALLS, COUNTERTOPS, ETC. SHALL THE DISTANCE BE GREATER THAN 6 FEET.
- RATED OR METAL BOXES SHALL BE USED IN WALLS SEPARATING HOUSES FROM GARAGES.

GENERAL MECHANICAL NOTES:

- GAS METERS SHALL BE LOCATED AS PER LOCAL GAS COMPANY AND SHALL BE A MINIMUM OF 3' FROM ELEC. METER PANELS AND PERMANENT AIR VENTS.

MISCELLANEOUS NOTES:

- SECTION 46, SECTION 10-9A-542 (H) BEFORE THE DISTURBANCE OF LAND OCCURS ON THE SUBJECT PROPERTY, THE APPLICANT WILL OBTAIN A STORM WATER PERMIT; AND DURING ACTUAL CONSTRUCTION, THE APPLICANT SHALL COMPLY WITH APPLICABLE LOCAL ORDINANCES AND BUILDING CODES; (G) BEFORE THE DISTURBANCE OF LAND AND DURING THE ACTUAL CONSTRUCTION, THE APPLICANT WILL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS ORDINANCES INCLUDING ANY STORM WATER PROTECTION LAWS AND ORDINANCES.

- ADEQUATE COMBUSTION AIR IS REQUIRED FOR ALL FUEL BURNING APPLIANCES
- VENTILATING FANS ARE REQUIRED FOR ALL BATHROOMS WITH TUBS OR SHOWERS AND LAUNDRY ROOMS.
- ALL BATHROOM AND LAUNDRY VENT FANS SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING NO ATTIC VENTING WILL BE ACCEPTABLE.
- DRYER VENT SHALL BE INSTALLED IAW IRC SEC G2439 OR PER MANUF. SPECS
- RANGE AND COOK TOP CLEARANCES TO UNPROTECTED COMBUSTIBLES SHALL BE 30" MINIMUM.

GENERAL PLUMBING NOTES:

- VENTING IS REQUIRED FOR ALL FIXTURE TRAPS PER CODE
- NO PIPING SHALL BE INSTALLED SO AS TO BE SUBJECT TO FREEZING
- NO LEAD OR ACID BEARING SOLDER OR FLUXES ARE ALLOWED FOR POTABLE WATER PIPING SYSTEM.
- PRESSURE REDUCING VALVES ARE REQUIRED WHEN WATER PRESSURE EXCEEDS 80 PSI
- BACKFLOW PROTECTION IS REQUIRED FOR ALL HOSE BIBS, LAWN SPRINKLER SYSTEMS, AND OTHER OUTLETS HAVING HOSE THREADS OR POSING POTENTIAL CROSS CONNECTIONS WITH CITY WATER SYSTEMS.
- FLOOR DRAINS SHALL BE PROVIDED NEAR ALL WATER HEATERS AND HAVE CAST METAL BODIES & GRATES.
- FLOOR DRAINS SHALL BE FULLY VISIBLE AND ACCESSIBLE.
- WATER CLOSET SPACES SHALL BE A MIN OF 30" IN WIDTH AND ALLOW FOR A FRONT CLEARANCE OF 21".
- SHOWER FLOOR SPACES SHALL BE A MIN OF 900 SQ. IN AND SHALL BE ABLE TO ENCOMPASS A 30" CIRCLE TO THE HEIGHT OF 72" AND SHALL BE FRAMED FOR A MIN 22" DOOR.
- AIR GAP PROTECTION IS REQUIRED ON ALL DISHWASHER DRAIN CONNECTIONS TO THE DWV SYSTEM.
- UNFINISHED PLUMBING DWV ROUGH-INS SHALL BE PROPERLY VENTED AND CAPPED OFF.

WOOD TRUSS NOTES:

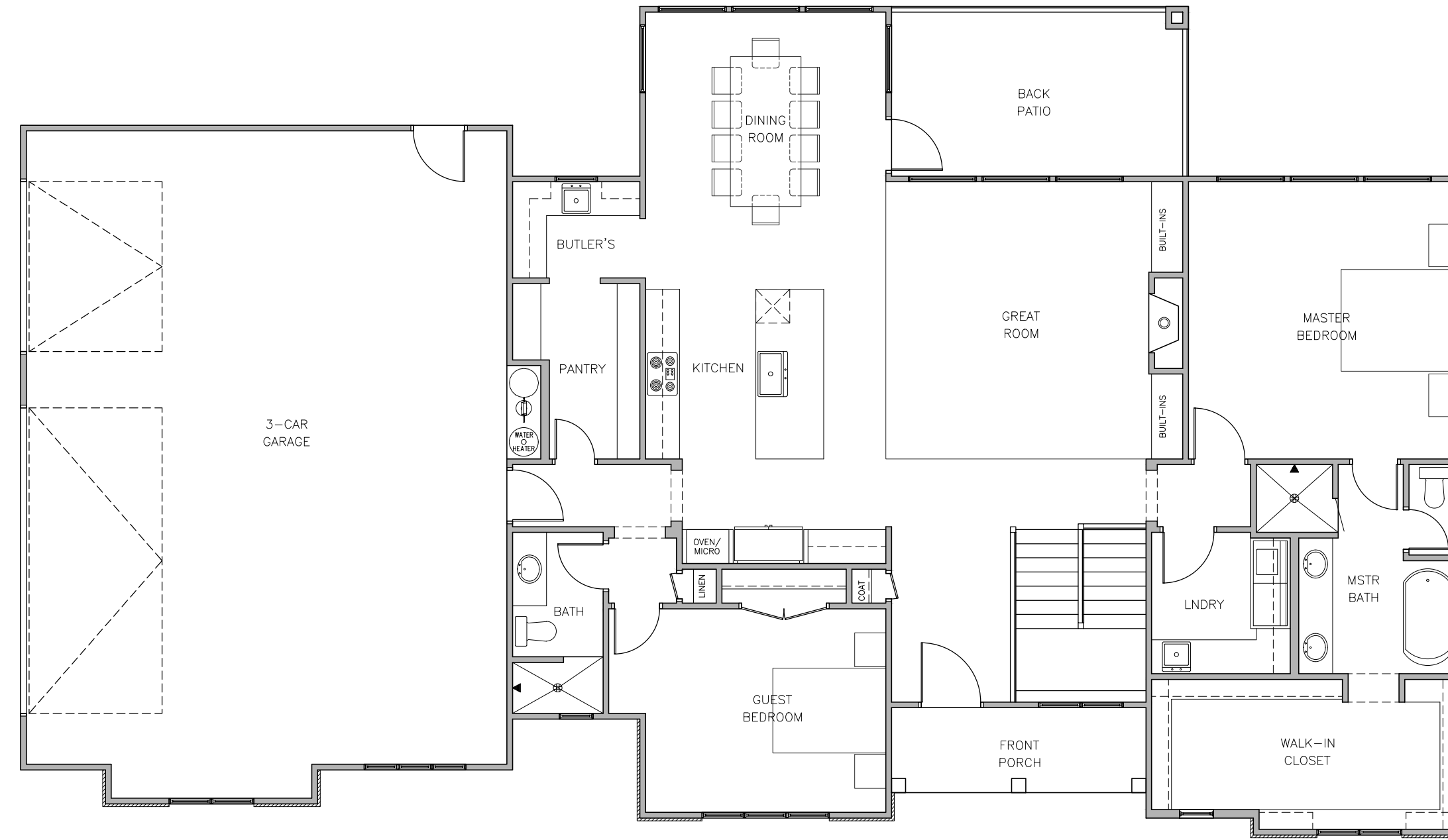
- BOTTOM CHORDS OF TRUSSES, ACTING AS CEILING MEMBERS, MUST BE ABLE TO SUPPORT A 10 PSF LIVE LOAD PER IRC REQUIREMENTS.
- THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE PRE-ENGINEERED TRUSSES, AND SHALL DESIGN THE TRUSSES PER ATTACHED ENGINEERING SPECIFICATIONS.
- THE TRUSSES SHALL BE DESIGNED TO CARRY ANY ADDITIONAL LOADS DUE TO MECHANICAL UNITS, OVERHEAD DOORS, ROOF OVERBUILDS, ETC.
- THE TRUSSES SHALL ALSO BE DESIGNED PER THE 2021 INTERNATIONAL RESIDENTIAL CODE, AND LOCAL ORDINANCES. DESIGN MUST ALSO TAKE INTO ACCOUNT UNBALANCED SNOW LOADS, SNOW DRIFTING, INCREASED SNOW LOADS ON EAVES AND VALLEYS, IMPACT LOADS FROM FALLING SNOW AND ICE, ETC.
- ALL MEMBERS SHALL BE DESIGNED FOR COMBINED STRESSES, BASED ON THE WORST LOADING CONDITION.
- THE TRUSS MANUFACTURER SHALL INDICATE PROPER BRACING OF COMPRESSION CHORD MEMBERS @ 6'-0" LONG (OR LONGER), AS WELL AS BRACING FOR TRUSS ERECTION.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE TRUSSES PER THE TRUSS MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. NO WEB OR CHORD MEMBERS SHALL BE MODIFIED IN THE FIELD.
- THE PROJECT ENGINEER, OR ENGINEER OF RECORD, IS NOT RESPONSIBLE FOR THE PRE-ENGINEERED TRUSSES, NOR FOR THE INSTALLATION, ETC. OF THE TRUSSES. TRUSS PLANT SHALL PROVIDE LICENSED ENGINEERED PLAN.
- FABRICATION OF TRUSSES SHALL BE AS APPROVED BY ICBO EXCEPT THAT THIS SPECIFICATION SHALL GOVERN WHEN IT EXCEEDS ICBO REQUIREMENTS.
- FABRICATE TRUSSES FROM APPROVED SHOP DRAWINGS.
- FABRICATE TRUSSES IN JIGS WITH MEMBERS ACCURATELY CUT TO PROVIDE GOOD BEARING AT JOINTS. JOINTS SHALL BE ACCEPTABLE IF THE AVERAGE OPENING BETWEEN ENDS OF MEMBERS IMMEDIATELY AFTER FABRICATION IS LESS THAN 1/16", EXCEPT THAT TRUSS COMPRESSION CHORD JOINTS AT SPLICES AND RIDGES SHALL HAVE FULL CONTACT BETWEEN MEMBERS.
- EACH CHORD SECTION SHALL BE INVOLVED IN TWO PANEL POINTS BEFORE BEING SPLICED.
- PROVIDE 1/8" CAMBER FOR EACH 6 FEET OF TRUSS UNLESS OTHERWISE INDICATED.
- TRUSS FABRICATORS USING METAL PLATES SHALL HAVE PLANT INSPECTED FOUR TIMES PER YEAR BY AN INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH TPI REGULATIONS AND COPIES OF INSPECTIONS MADE AVAILABLE TO OWNER UPON REQUEST.

METAL GUSSET PLATES:

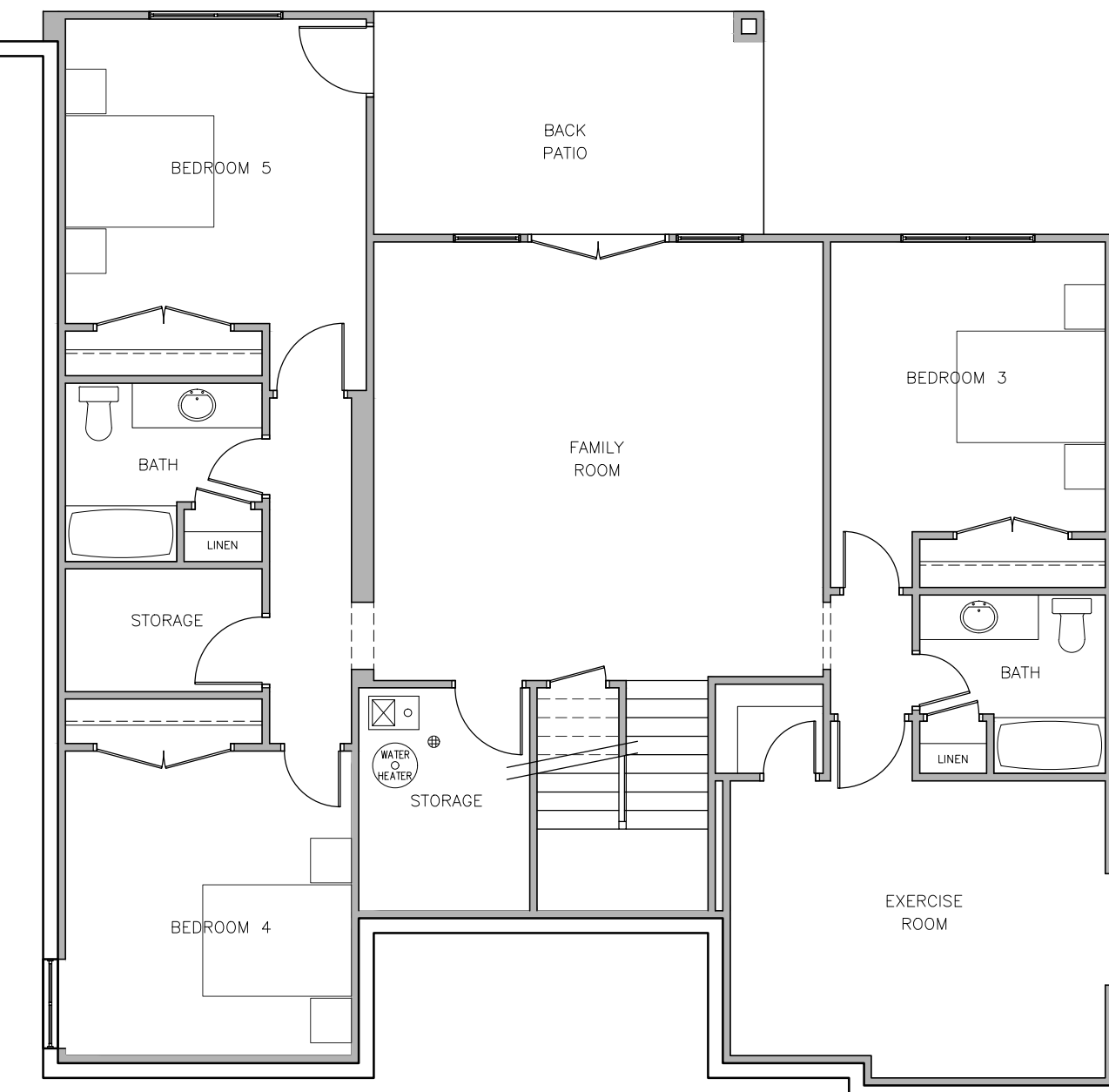
- SIZE PLATES FOR GREATER OF MEMBER FORCES SHOWN ON DRAWINGS OR MEMBER FORCES DERIVED FROM STRUCTURAL ANALYSIS.
- NO PANEL POINT SHALL HAVE MORE THAN ONE PLATE PER TRUSS SIDE.
- PLATES SHALL HAVE MINIMUM BITE OF 2 1/2" ON MEMBERS. MEASURE BITE ALONG CENTER LINE OF WEBS AND PERPENDICULAR TO CHORD AXES. ORIENT PLATE AXIS PARALLEL WITH TRUSS CHORD AXIS EXCEPT WHERE CHORDS CHANGE PITCH AT JOINT.
- PLATE SIZES:
 - MINIMUM WIDTH OF PLATES SHALL BE 3"
 - TRUSSES OTHER THAN SCISSOR TRUSSES - SIZE PLATES, NAIL AND STEEL SECTION, FOR 135% OF MEMBER FORCES.
 - SCISSOR TRUSSES - SIZE PLATES, NAIL AND STEEL SECTION, FOR 135% OF MEMBER FORCES.
 - NO INCREASE IN PLATE VALUES WILL BE ALLOWED FOR DURATION OF LOADING OR OTHER FACTORS.
- PRESS PLATES INTO MEMBERS TO OBTAIN FULL PENETRATION WITHOUT CRUSHING SURFACE OF WOOD. PLATE EMBEDMENT IS ACCEPTABLE IF OPENING BETWEEN PLATE AND WOOD SURFACE IS LESS THAN 1/32".
- LUMBER DEFECTS AND PLATE MISPLACEMENT, IN COMBINATION, SHALL NOT REDUCE PLATE AREA OR NUMBER OF EFFECTIVE TEETH, PRONGS, OR NAILS BY MORE THAN 10%.
- DO NOT APPLY METAL GUSSET PLATES AFTER SHOP FABRICATION.



1 CS.1 FRONT ELEVATION SCALE: N.T.S.



2 CS.1 MAIN FLOOR PLAN SCALE: N.T.S.



3 CS.1 BASEMENT FLOOR PLAN SCALE: N.T.S.

SHEET INDEX	
CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

REVISED:	
-	-
-	-

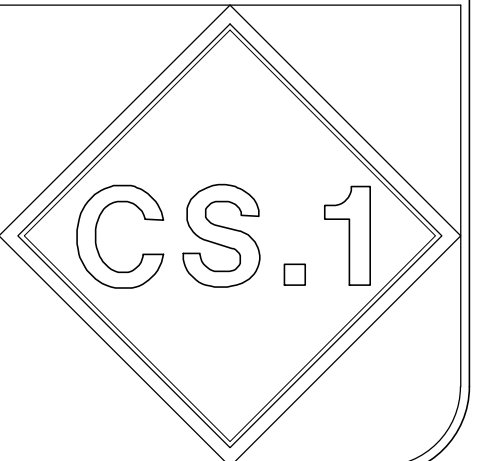
THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED

© COPYRIGHT 2026 EVOKHOME

DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION

SUN HILL DEVELOPMENT	
FEBRUARY 10, 2026	SITE INFORMATION:
SQUARE FOOTAGE:	CITY: SANTA CLARA
MAIN: 2145	SUBD.: CLARA CROSSING
SECOND: N/A	LOT: 05
BASEMENT: 1905	*ONE TIME BUILD
GARAGE: 1127	COVERED: 5602

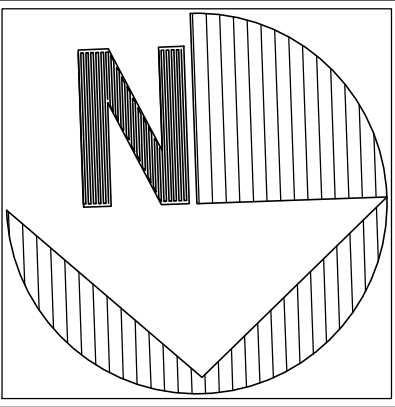
FILE NAME:
2026-005



LOCATION	
CITY	SANTA CLARA
TRACT	CLARA CROSSING
PHASE	-
LOT SIZE	11,380 SF
LOT #	05
ADDRESS	-

NOTES	
1	LOT TO BE GRADED SUCH THAT DRAINAGE WILL NOT DRAIN ONTO ADJOINING PROPERTIES.
2	GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE WORK (I.E. EXCAVATION, BACKFILL, GRADE, COMPACTION, ETC.) ALL WORK MUST IAW IRC AND LOCAL CODES.

SHEET INDEX	
CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

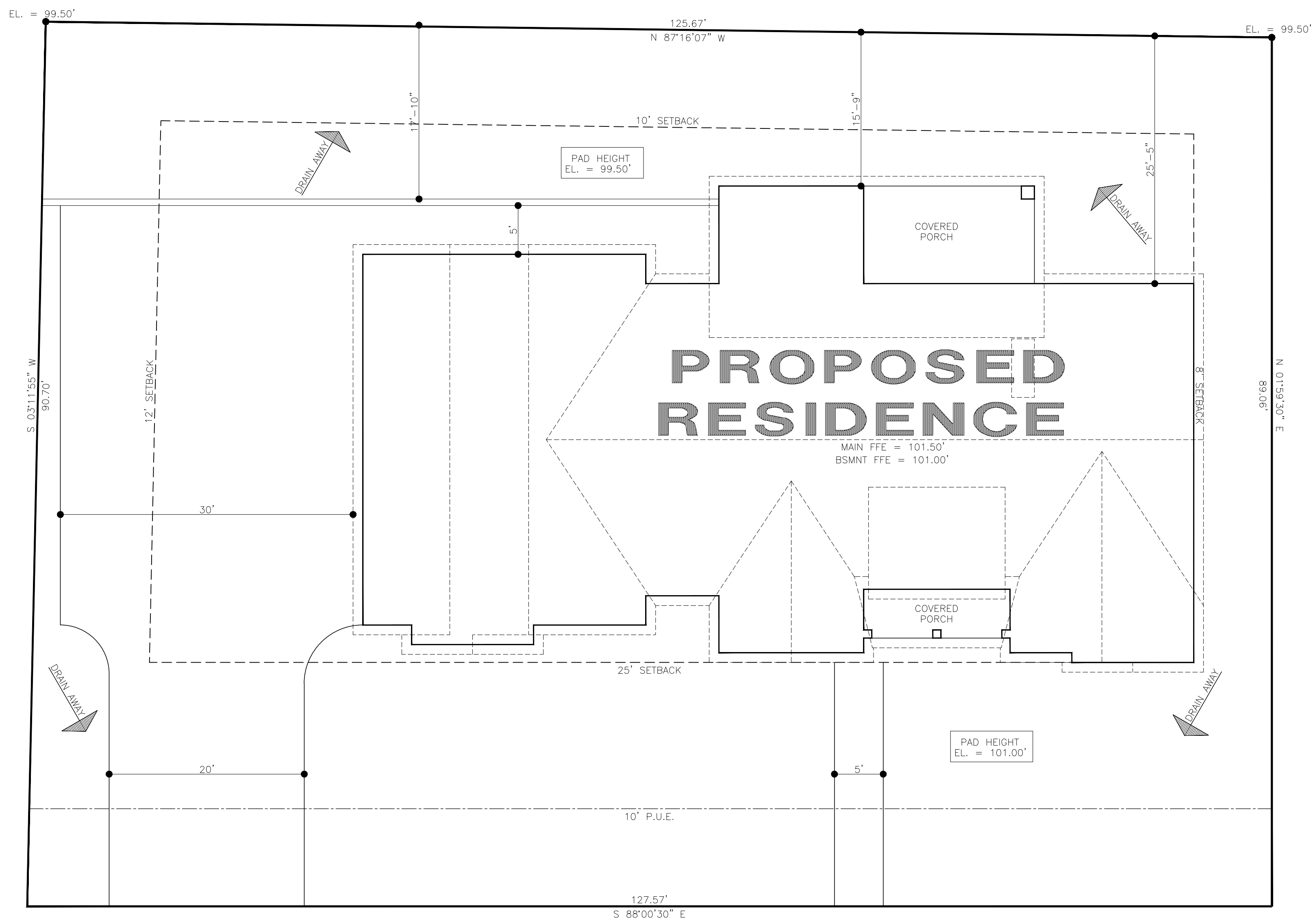


REVISED:	
-	-
-	-

THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED.

© COPYRIGHT 2026 EVOKHOME

DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION.



LEGEND	
	PROPERTY BOUNDARY
	PUBLIC UTILITY EASEMENT
	LIMITED/Common BOUNDARY
	ROOF LINES
	EXTERIOR WALLS & COLUMNS
	EXISTING PRIVACY WALLS
	RETAINING WALLS
	CORNER ELEVATION MARKERS
	FINISHED FLOOR ELEVATION
	TOP BACK OF CURB
	200 METER AMP
	GAS METER
	PHONE/CABLE BOX
	SEWER LATERAL
	POWER LINE
	WATER LINE
	GAS LINE
	PHONE/CABLE BOX
	GAS PEDESTAL
	WATER METER BOX
	IRRIGATION METER
	POWER BOX
	TRANSFORMER
	SEWER CLEANOUT
	FIRE HYDRANT
	STORM DRAIN

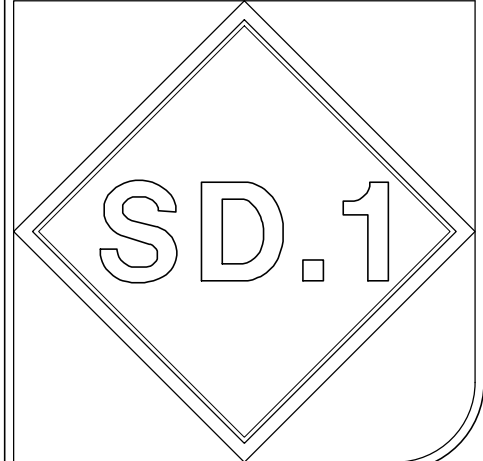
SANTA CLARA DRIVE

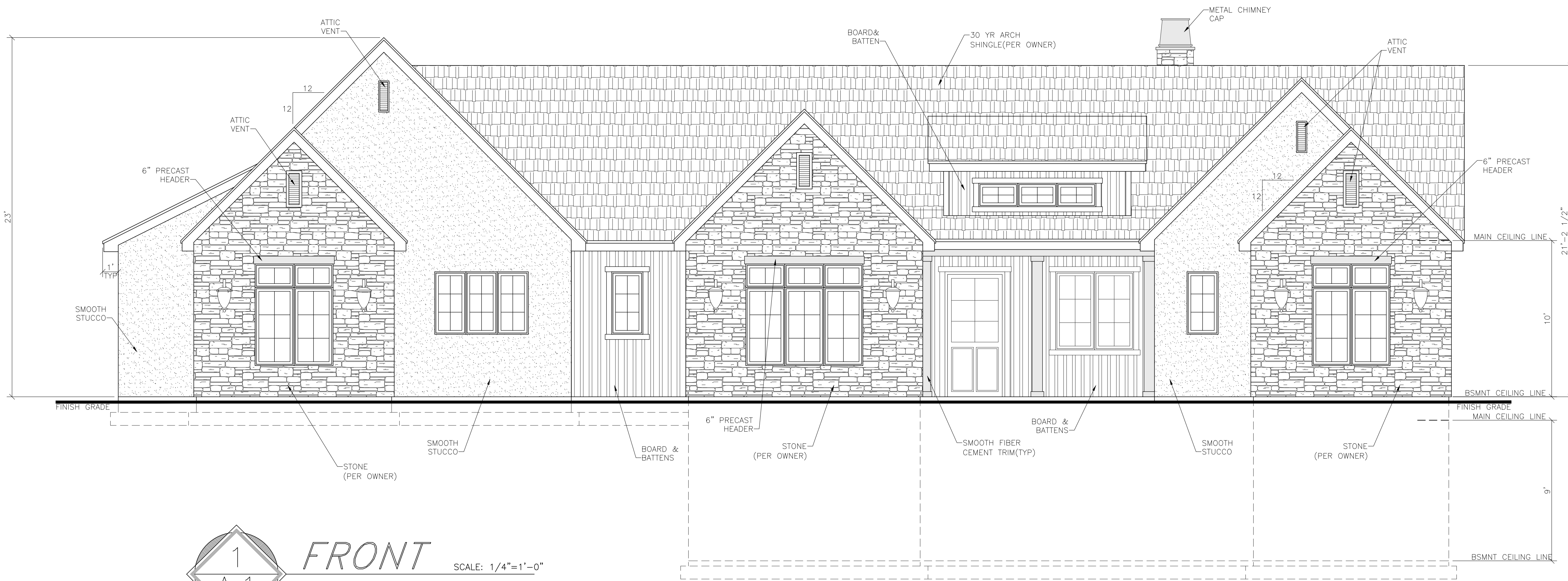
SITE
 SCALE: 1/8"=1'-0"
PLAN

SITE INFORMATION:	
CITY:	SANTA CLARA
SUBD.:	CLARA CROSSING
LOT:	05
*ONE TIME BUILD	
SQUARE FOOTAGE:	
MAIN:	2145
SECOND:	N/A
BASEMENT:	1905
GARAGE:	1127
COVERED:	5602

evokhome
 LIVE BETTER
 dan@evokhome.com
 www.evokhome.com
 ph: 1.435.313.1577
 fax: 1.866.522.7016

FILE NAME:
2026-005





1
A.1
FRONT ELEVATION
SCALE: 1/4"=1'-0"



2
A.1
REAR ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES:

- 1 GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- 2 DRAWINGS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS.
- 3 ALL EXTERIOR DOOR AND WINDOW STYLES SHALL BE APPROVED BY OWNER.
- 4 ALL EXTERIOR TREATMENTS SHALL BE APPROVED BY OWNER.
- 5 PROVIDE SEVERE CLIMATED PROTECTION ON ALL ROOFS IAW LOCAL CODES AND IRC SEC. R905.1.2
- 6 ALL EXTERIOR OPENINGS SHALL BE FLASHED SUCH THAT THEY ARE WEATHER PROOFED
- 7 SEE ELEVATIONS NOTED AND DIMENSIONED FOR WALL HEIGHTS AND FLOOR PLACEMENT.
- 8 APPLICABLE CODE 2021 INTERNATIONAL RESIDENTIAL CODE
- 9 SEE STRUCTURAL CALCULATIONS FOR DESIGN VALUES.
- 10 GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE WORK (I.E. EXCAVATION, BACKFILL, GRADE, COMPACTION, ETC.) ALL WORK MUST BE IAW LATEST EDITION OF INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL CODES.
- 11 GENERAL CONTRACTOR/OWNER IS RESPONSIBLE TO OBTAIN MEC CHECK AND GAS PIPING DIAGRAM.
- 12 PROVIDE ATTIC VENTILATION IAW INTERNATIONAL RESIDENTIAL CODE SEC. R806

KEYED NOTES:

- ⊗ ROOFING MATERIAL AND APPLICATION SHALL BE IAW INTERNATIONAL RESIDENTIAL CODE SEC. R905
- ⊗ PROVIDE FLASHING IAW INTERNATIONAL RESIDENTIAL CODE AS FOLLOWS:
ARCHITECTURAL SHINGLES -R905.2.8
TILE ROOF -R905.3.8
METAL ROOF -R905.4.6
CEDAR SHAKES -R905.8.8
- ⊗ PROVIDE ATTIC VENTILATION IAW INTERNATIONAL RESIDENTIAL CODE SEC. R806
- ⊗ PROVIDE 36" HIGH RAILING W/ BALUSTER PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH (SEE IRC SEC. R312)
- ⊗ APPLY BRICK AND STONE IAW IRC SEC. R703.8
- ⊗ PROVIDE ROCK RETAINING WALL - 4' MAXIMUM HEIGHT

SHEET INDEX

CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

REVISED:

-	-
-	-

THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED

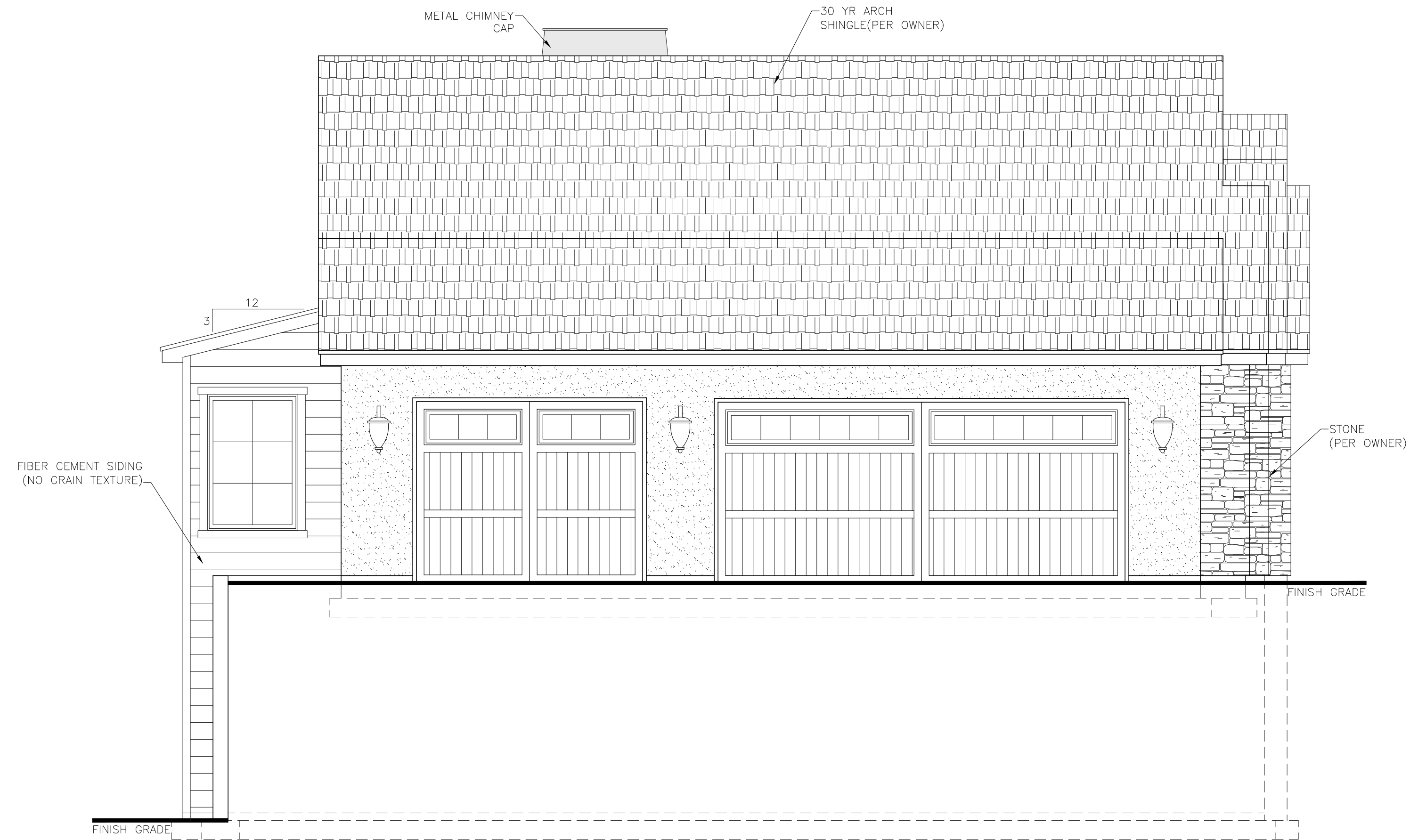
© COPYRIGHT 2026 EVOKHOME
DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION

FEBRUARY 10, 2026
SUN HILL DEVELOPMENT
SITE INFORMATION:
CITY: SANTA CLARA
SUBD.: CLARA CROSSING
LOT: 05
*ONE TIME BUILD

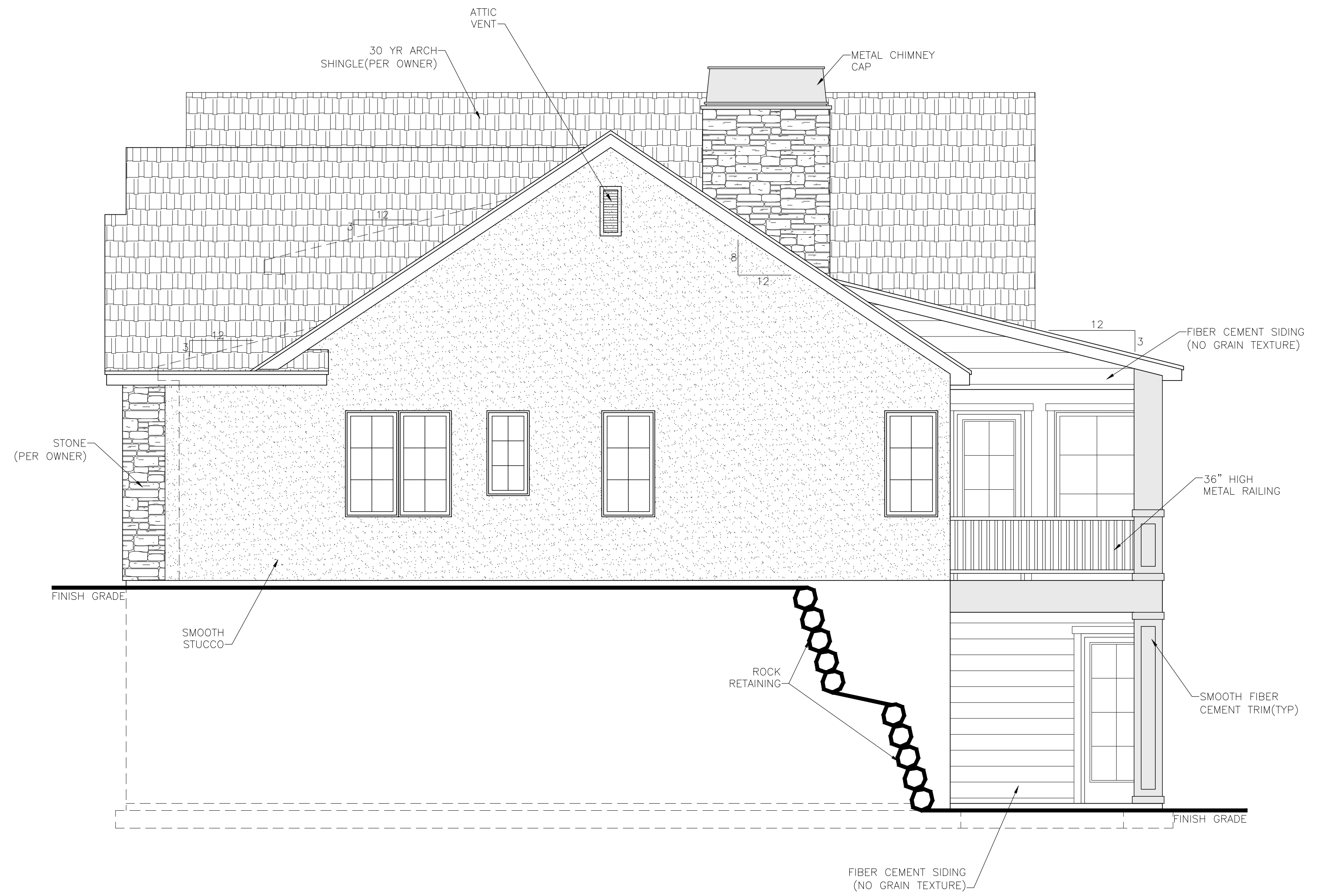
SQUARE FOOTAGE:
MAIN: 2145
SECOND: N/A
BASEMENT: 1905
GARAGE: 1127
COVERED: 5602

FILE NAME:
2026-005

A.1



1
A.1A
LEFT ELEVATION
SCALE: 1/4"=1'-0"



2
A.1A
RIGHT ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES:	
1	GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
2	DRAWINGS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS.
3	ALL EXTERIOR DOOR AND WINDOW STYLES SHALL BE APPROVED BY OWNER.
4	ALL EXTERIOR TREATMENTS SHALL BE APPROVED BY OWNER.
5	PROVIDE SEVERE CLIMATED PROTECTION ON ALL ROOFS IAW LOCAL CODES AND IRC SEC. R905.1.2
6	ALL EXTERIOR OPENINGS SHALL BE FLASHED SUCH THAT THEY ARE WEATHER PROOFED
7	SEE ELEVATIONS NOTED AND DIMENSIONED FOR WALL HEIGHTS AND FLOOR PLACEMENT.
8	APPLICABLE CODE 2015 INTERNATIONAL RESIDENTIAL CODE
9	SEE STRUCTURAL CALCULATIONS FOR DESIGN VALUES.
10	GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE WORK (I.E. EXCAVATION, BACKFILL, GRADE, COMPACTION, ETC.) ALL WORK MUST BE IAW LATEST EDITION OF INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL CODES.
11	GENERAL CONTRACTOR/OWNER IS RESPONSIBLE TO OBTAIN MEC CHECK AND GAS PIPING DIAGRAM.
12	PROVIDE ATTIC VENTILATION IAW INTERNATIONAL RESIDENTIAL CODE SEC. R806

KEYED NOTES:	
⊕	ROOFING MATERIAL AND APPLICATION SHALL BE IAW INTERNATIONAL RESIDENTIAL CODE SEC. R905
⊕	PROVIDE FLASHING IAW INTERNATIONAL RESIDENTIAL CODE AS FOLLOWS: ARCHITECTURAL SHINGLES -R905.2.8 TILE ROOF -R905.3.8 METAL ROOF -R905.4.6 CEDAR SHAKES -R905.8.8
⊕	PROVIDE ATTIC VENTILATION IAW INTERNATIONAL RESIDENTIAL CODE SEC. R806
⊕	PROVIDE 36" HIGH RAILING W/ BALUSTER PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH (SEE IRC SEC. R312)
⊕	APPLY BRICK AND STONE IAW IRC SEC. R703.8
⊕	PROVIDE ROCK RETAINING WALL - 4' MAXIMUM HEIGHT

SHEET INDEX	
CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

REVISED:	
-	-
-	-

THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED

© COPYRIGHT 2026 EVOKHOME

DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION

FEBRUARY 10, 2026

SUN HILL DEVELOPMENT

SQUARE FOOTAGE: 2145

MAIN: 2145
SECOND: N/A
BASEMENT: 1905
GARAGE: 1127
COVERED: 5602

SITE INFORMATION:
CITY: SANTA CLARA
SUBD.: CLARA CROSSING
LOT: 05
*ONE TIME BUILD

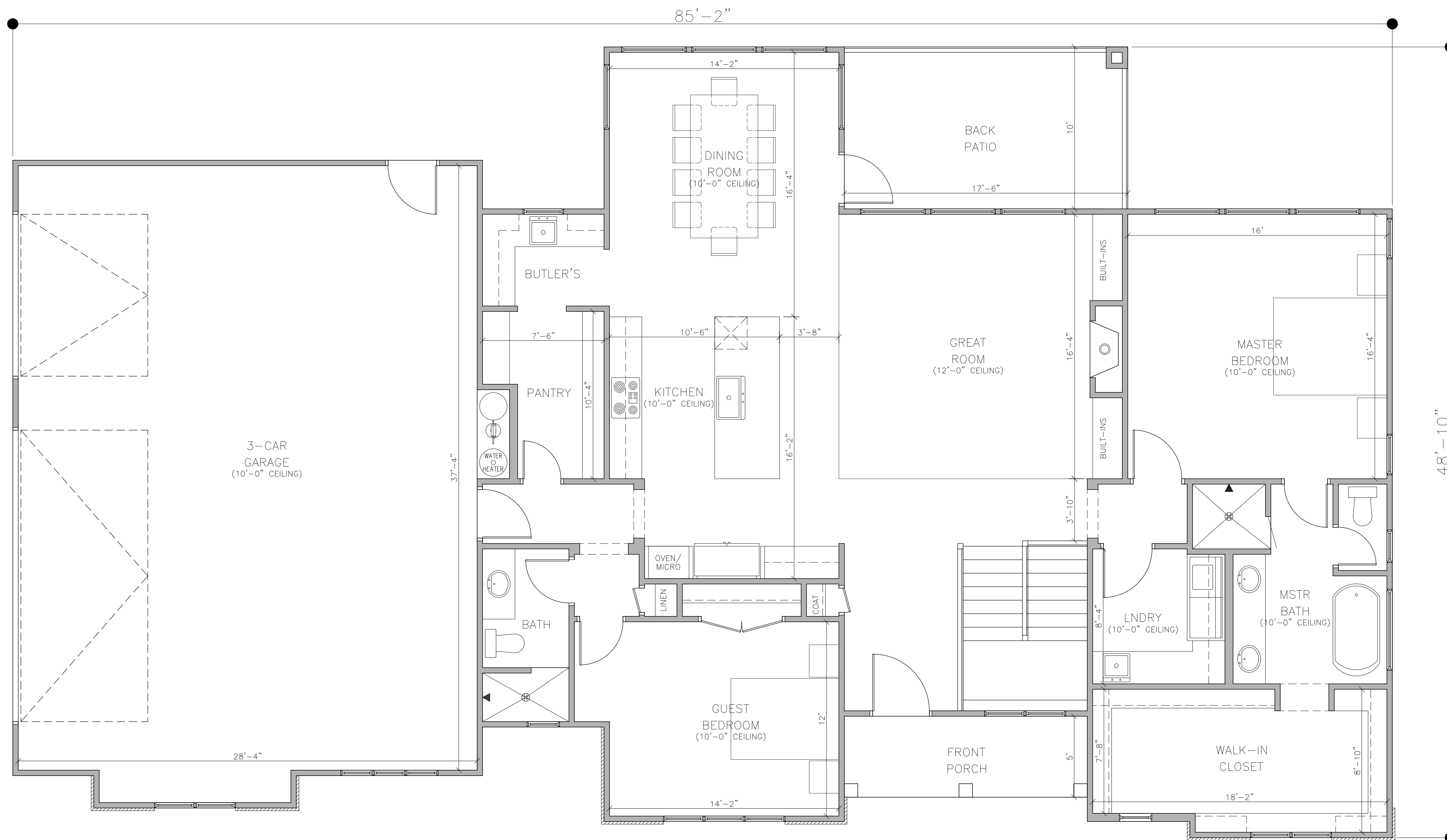
evokhome
LIVE BETTER

ph: 1.435.313.1577
fax: 1.866.522.7016

dan@evokhome.com
www.evokhome.com

FILE NAME:
2026-005





1
A.2 MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:	
1	GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO CONSTRUCTION.
2	THIS PLAN NOT COMPLETE WITHOUT ATTACHED ENGINEERING SPECS.
3	ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE AND LOCAL ORDINANCES.
4	ALL EXTERIOR WALLS ARE 2" X 4" STUDS @ 16" O.C. W/ R-19 INSULATION BETWEEN.
5	ALL PLUMBING WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 6".
6	ALL INTERIOR WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 4".
7	BRICK AND STONE ARE DIMENSIONED AT 3", ADJUST AS REQ'D FOR CULTURED STONE.
8	ALL STYLES AND TYPES OF INTERIOR FINISH (I.E. DOORS, HARDWARE, WINDOWS, PAINT, FLOOR COVERINGS, AND APPLIANCES ETC.) SHALL BE DETERMINED BY OWNER.
9	ALL EXTERIOR OPENINGS SHALL BE FLASHED SUCH THAT THEY ARE WEATHER PROOFED.
10	SEE GENERAL FRAMING NOTES ON SHEET CS1
11	ALL EXTERIOR DOOR LANDINGS-SLOPE 2% MAX (ALL DIRECTIONS)

KEYED NOTES:	
⬢	ALL TOILETS SHALL BE 1.6 GPM IAW IRC SEC. P2903
⬢	ALL TUBS & SHOWERS SHALL HAVE 2.5 GPM HEADS IAW IRC SEC. P2903
⬢	ALL HOSE BIBS, INCLUDING AUTO WASHER VALVE IN GARAGE, MUST BE BACKFLOW PROTECTED.
⬢	PROVIDE DRAIN PAN FOR WASHER
⬢	VENT DRYER TO OUTSIDE IAW IRC SEC. G2439 OR PER MANUF. SPEC.
⬢	SHEETROCK ALL WALLS WITH MINIMUM 1/2" GYPBOARD ON GARAGE, SIDE AND SHEETROCK ALL CEILING & BEAMS WITH MIN. 5/8" GYPBOARD IAW IRC SEC. R302.6(SCREWED)
⬢	PROVIDE 36" HIGH RAILING W/ GUARD PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. NO HORIZONTAL RAILS ARE ALLOWED (SEE IRC SEC. R312)
⬢	PROVIDE JETTED TUB MOTOR ACCESS
⬢	PROVIDE OUTSIDE COMBUSTIBLE AIR TO ALL GAS APPLIANCES. VENT TERMINATION IN ACCORDANCE W/ IRC SEC. M1804.2
⬢	PROVIDE SEISMIC STRAPS FOR WATER HEATERS: - PROVIDE SEISMIC STRAPS - PROVIDE EXPANSION TANKS - PROVIDE 18" PLATFORM - PROVIDE CONCRETE FILLED BUMPER POST-IN GARAGE
⬢	1" CLEARANCE GAS FIREPLACE INSTALL PER MANUF. SPEC. PROVIDE GAS SHUTOFF VALVE WITHIN 6" OF FIREPLACE IAW IRC SEC. G2420.5
⬢	PROVIDE 20 MIN FIRE RATED DOOR W/ SELF CLOSER/LATCH.
⬢	PROVIDE 22" X 30" ATTIC ACCESS AND LATCHED ATTIC ACCESS AS SHOWN (SEE IRC SEC. R807.1)
⬢	PROVIDE CONTINUOUS HANDRAIL IAW IRC SEC. R311.7.8 SEE APPLICABLE DETAIL ON SHEET D.2
⬢	PROVIDE SAFETY GLAZING IAW IRC SEC. R308
⬢	PROVIDE MIN 1/2" GYPBOARD ON WALLS AND CEILING BELOW STAIRS IAW IRC R302.7
⬢	BEARING WALL - SEE APPLICABLE DETAIL ON D.2
⬢	FURNACE LOCATION: A MINIMUM 30"x30" LEVEL WORKING SPACE IN FRONT OF THE FURNACE AND A MINIMUM OF 3 INCHES ALONG THE SIDES AND BACK. IRC M1305.1

THERMAL ENVELOPE:	
1	THERMAL ENVELOPE VOLUME: 39,148 CUBIC FEET
2	A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM WILL BE REQUIRED FOR BUILDINGS W/ LESS THAN 3 AIR CHANGES PER HOUR (IRC 303.4 STATE AMENDMENT) WHEN TESTED BY A BLOWER DOOR TEST
3	THE BUILDING THERMAL ENVELOPE SHALL COMPLY W/ SECTION M1102.4.1.2(R402.4.1.2) "BLOWER DOOR" TESTING.

SHEET INDEX	
CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

REVISED:	
-	-
-	-

THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED

© COPYRIGHT 2026 EVOKHOME

DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION

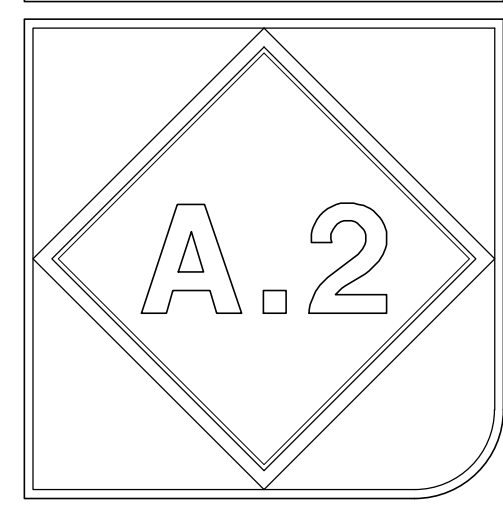
SITE INFORMATION:	
CITY:	SANTA CLARA
SUBD.:	CLARA CROSSING
LOT:	05
*ONE TIME BUILD	
FEBRUARY 10, 2026	
SUN HILL DEVELOPMENT	
SQUARE FOOTAGE:	
MAIN:	2145
SECOND:	N/A
BASEMENT:	1905
GARAGE:	1127
COVERED:	5602

evokhome
LIVE BETTER

ph: 1.435.313.1577
fax: 1.866.522.7016

dan@evokhome.com
www.evokhome.com

FILE NAME:
2026-005



GENERAL NOTES:	
1	GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO CONSTRUCTION.
2	THIS PLAN NOT COMPLETE WITHOUT ATTACHED ENGINEERING SPECS.
3	ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE AND LOCAL ORDINANCES.
4	ALL EXTERIOR WALLS ARE 2" x 4" STUDS @ 16" O.C. W/ R-19 INSULATION BETWEEN.
5	ALL PLUMBING WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 6"
6	ALL INTERIOR WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 4"
7	BRICK AND STONE ARE DIMENSIONED AT 3", ADJUST AS REQ'D FOR CULTURED STONE.
8	ALL EXTERIOR OPENINGS SHALL BE FLASHED SUCH THAT THEY ARE WEATHER PROOFED.
KEYED NOTES:	
⊠	PROVIDE 20 MIN FIRE RATED DOOR W/ SELF CLOSER/LATCH
⊠	PROVIDE MIN 1/2" CYBERSARD ON WALLS AND CEILING BELOW STAIRS IAW IRC SEC. R302.7
⊠	PROVIDE ELEC PANEL PROPERLY SIZED BY ELECTRICAL CONTRACTOR. CONNECT GROUND WIRE TO METAL PIPES OR CONCRETE ENCASED ELECTRODE IAW '99 N.E.C. 250-50 (C)
⊠	PROVIDE SEIZMIC STRAPS FOR WATER HEATERS
⊠	PROVIDE OUTSIDE COMBUSTABLE AIR TO ALL GAS APPLIANCES
⊠	PROVIDE SMOKE DETECTOR WIRED IN SERIES W/ BATTERY BACKUP
⊠	PROVIDE 36" HIGH RAILING W/ GUARD PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. NO HORIZONTAL RAILS ARE ALLOWED (SEE IRC SEC. R312)
⊠	BEARING WALL - SEE DETAIL 17 ON SHEET D.2.
⊠	"0" CLEARANCE GAS FIREPLACE INSTALL PER MANUF. SPEC. PROVIDE GAS SHUTOFF VALVE WITHIN 6" OF FIREPLACE IAW IRC SEC. G2420.5
⊠	PROVIDE JETTED TUB MOTOR ACCESS
⊠	ALL TOILETS SHALL BE 1.6 GPM IAW IRC SEC. P2903
⊠	ALL TUBS & SHOWERS SHALL BE 2.5 GPM IAW IRC SEC. P2903
⊠	ALL HOSE BIBS, INCLUDING AUTO WASHER VALVE IN GARAGE, MUST BE BACKFLOW PROTECTED.
⊠	PROVIDE CONTINUOUS HANDRAIL IAW IRC SEC. R311.7.8 SEE APPLICABLE DETAIL ON SHEET D.2
⊠	PROVIDE DRAIN PAN FOR WASHER
⊠	VENT DRIER TO OUTSIDE IAW IRC SEC. G2439 OR PER MANUF. SPEC.
⊠	PROVIDE FLOOR DRAIN
⊠	PROVIDE 36" DEEP WINDOW WELL W/ LADDER AS REQ'D
⊠	PROVIDE SAFETY GLAZING IAW IRC. SEC. R308

SHEET INDEX	
CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

REVISED:	
-	-
-	-

THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED

© COPYRIGHT 2026 EVOKHOME

DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION

FEBRUARY 10, 2026	SUN HILL DEVELOPMENT
SQUARE FOOTAGE:	MAIN: 2145
	SECOND: N/A
	BASEMENT: 1905
	GARAGE: 1127
	COVERED: 5602
SITE INFORMATION:	CITY: SANTA CLARA
	SUBD.: CLARA CROSSING
	LOT: 05
	*ONE TIME BUILD

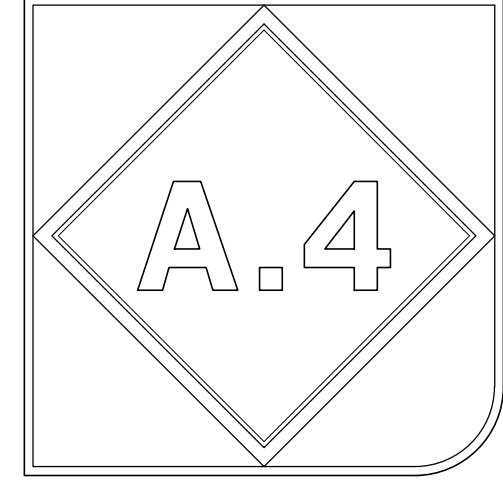


evokhome
LIVE BETTER

ph: 1.435.313.1577
fax: 1.866.522.7016

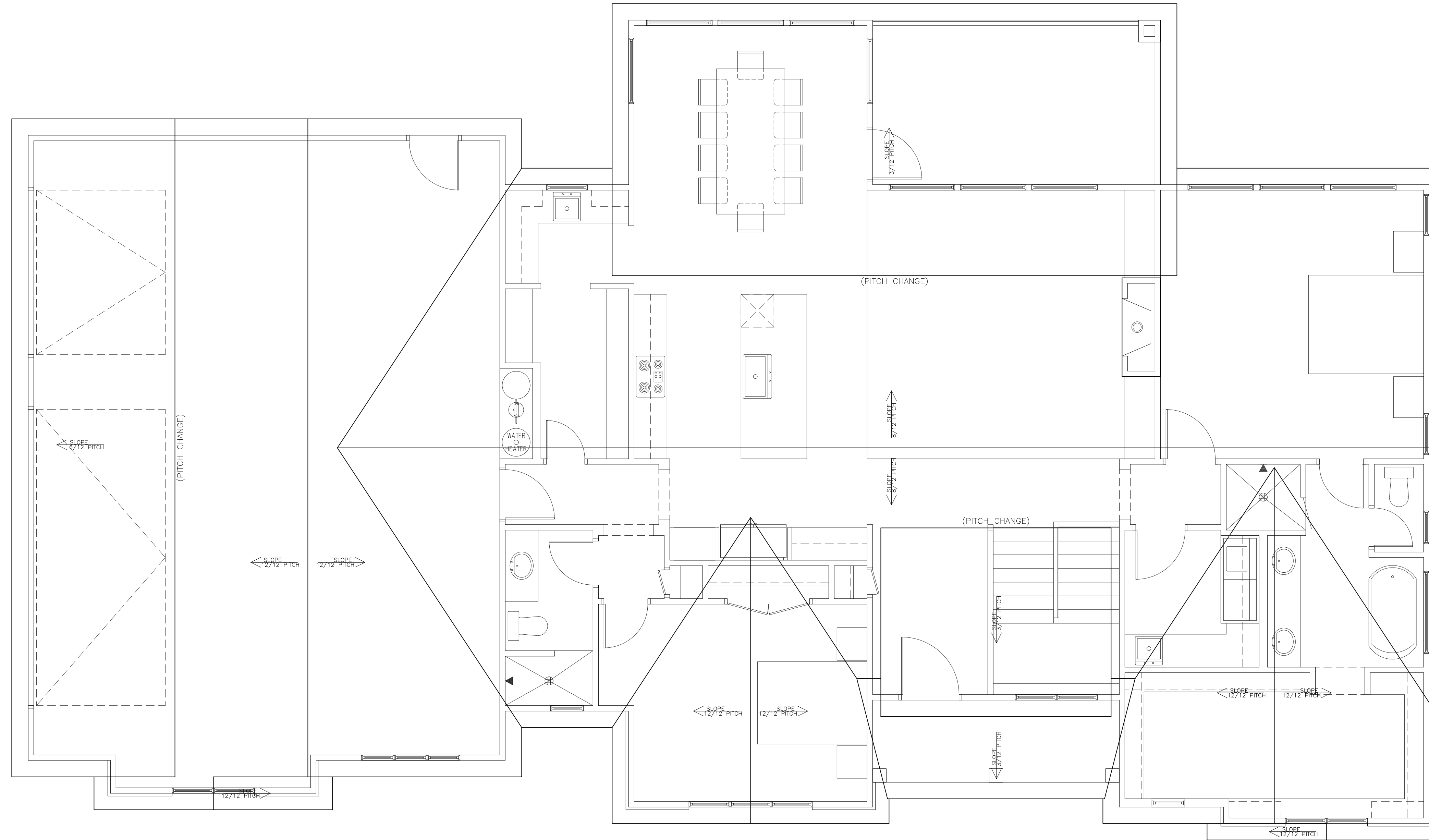
dan@evokhome.com
www.evokhome.com

FILE NAME:
2026-005



1
A.4

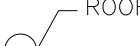
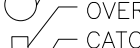
BASEMENT FLOOR PLAN SCALE: 1/4"=1'-0"



1
S.4

ROOF
LINE PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES:	
1	GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
2	VERIFY ALL BEAM SIZES WITH ENGINEERING SPECIFICATIONS.
3	ALL BEAMS AND HEADERS OVER 48" SHALL BE SUPPORTED BY DOUBLE TRIMMERS
4	ALL FRAMING MATERIAL SHALL BE #2 D.F. U.N.O.
5	ALL BEAMS AND POSTS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
6	TRUSS MANUFACTURER SHALL PROVIDE ENGINEERING SPECS. FOR ALL TRUSSES
7	SIZE AND SPACING OF "TJ" ROOF JOISTS SHALL BE DETERMINED BY MANUFACTURER.
8	7/16" O.S.B. OR CDX PLYWOOD SHEATHING -8D NAILS @ 6" O.C. AT EDGES OF ROOF -10D NAILS @ 4" O.C. AT GABLE ENDS -SPACE NAILS 12" O.C. ON INTERMEDIATE MEMBERS -STAGGER SHEATHING JOINTS -PLYWOOD PERP. TO RAFTERS & TRUSSES
9	SOLID BLOCK BETWEEN TRUSSES -SEE APPLICABLE DETAILS ON SHEET D.2.
10	ANCHOR ROOF TRUSSES OR RAFTERS WITH SIMPSON H1 CONNECTORS @ BOTH ENDS.
11	ALL OVER FRAME AREAS TO HAVE FULL ROOF SHEATHING BELOW. (I.E. SEE APPLICABLE DETAIL ON SHEET D.2)
12	SEE WOOD TRUSS AND METAL GUSSET PLATE NOTES ON SHEET CS.1.
13	ROOF FRAME PLAN IS INCOMPLETE WITHOUT ATTACHED ENGINEERED ROOF TRUSS PLAN WITH TRUSS DETAILS AND ALL CONNECTING HARDWARE SPECIFIED.
KEYED NOTES:	
◆	2" X 10" VALLEY PLATE (SEE APPL. DETAIL ON SHEET D.2)
◆	2" X 8" STICKFRAME OVERBUILD @ 16" O.C. W/ PONY WALLS @ 8" O.C.
◆	ROOF SCUPPER
◆	 ROOF DRAIN  OVER-FLOW CATCH BASIN

SHEET INDEX	
CS.1	N/A
SD.1	SITE PLAN
A.1	ELEVATIONS
A.1A	N/A
A.2	MAIN FLOOR PLAN
A.3	N/A
A.4	N/A
E.1	N/A
E.2	N/A
E.3	N/A
S.1	N/A
S.1A	N/A
S.2	N/A
S.3	N/A
S.4	N/A
D.1	N/A
D.2	N/A

REVISED:	
-	-
-	-

THESE PLANS AND DOCUMENTS ARE THE PROPERTY OF EVOKHOME, AND ANY REUSE OR FURTHER DISTRIBUTION THEREOF IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION OF EVOKHOME IS PROHIBITED

© COPYRIGHT 2026 EVOKHOME

DESIGNER IS NOT AN ARCHITECT OR ENGINEER. PLANS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS. VERIFY ALL DIMENSIONS, CONDITIONS, AND MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION

FEBRUARY 10, 2026

SUN HILL DEVELOPMENT

SQUARE FOOTAGE: 2145

MAIN: 2145
 SECOND: N/A
 BASEMENT: 1905
 GARAGE: 1127
 COVERED: 5602

SITE INFORMATION:
 CITY: SANTA CLARA
 SUBD.: CLARA CROSSING
 LOT: *ONE TIME BUILD



ph: 1.435.313.1577
 fax: 1.866.522.7016
 dan@evokhome.com
 www.evokhome.com

ATTIC VENTILATION

3,522 SQ. FT. ATTIC AREA
 3,52/300 = 11.74 SQ. FT. VENTABLE AREA
 11.74 SQ. FT. CONVERTS TO 1,690.56 SQ. IN.

 O'HAGIN VENTS
 LOW: 12
 HIGH: 12

ROOF SHALL BE VENTED WITH THE USE OF RIDGE VENTS, TURTLE VENTS, OR O'HAGIN VENTS IN CONJUNCTION WITH UNDER SOFFIT VENTS TO MEET OR EXCEED MINIMUM VENTABLE AREA.

FILE NAME:
2026-005





HERITAGE COMMISSION APPLICATION

AS PROVIDED BY SANTA CLARA, UTAH, ZONING ORDINANCE CHAPTERS 17.74 AND 17.76

The undersigned applicant(s) is/are the owner(s) of the following legally described property, or an authorized representative of owner(s): (Include Subdivision Name, Lot/Parcel Number, and Street Address):

Bennett & Haylee Heyrend
Clara Crossing, lot 4

Attach a site plan/plot plan, drawn to scale, of the property with the following details:

1. Show existing building(s), and their location on the lot with dimensions to property lines and each other.
2. Show any proposed building(s), additions, and their location on the lot with dimensions to property lines and each other.
3. Show the location of any existing or proposed accessory buildings on the property.
4. Show parking lot layout and points of ingress/egress if applicable.
5. Include any other pertinent information (**project narrative and photos of the home**).

Attach building plans/architectural drawings to scale after reviewing the **2024 Historic District Design Guidelines** document with the following details:

1. Proposed building elevations.
2. Proposed building materials and colors.
3. Other drawings (e.g., schematics, renderings, etc.).
4. Include additional information as per the **2024 Historic District Design Guidelines**.

The Heritage Commission acts as a Design Review Committee for new construction, remodeling, or new signs within the Santa Clara Historic District. Review your plans and be sure all details have been included before submitting your application. The Heritage Commission meets on the 3rd Thursday of the month as needed. Please submit your application a minimum of 10 days before the meeting date to allow for city staff review.

Haylee Heyrend
Signature/Applicant(s)/Rep

2540 Lava Ln #64 Santa Clara, UT
Address Applicant(s)/Rep 84765

Haylee Heyrend
Printed Name of Applicant(s)/Rep

435-669-7287 hay.heyrend@gmail.com
Phone Number/Email



Spencer J. Cox
Governor

Deidre M. Henderson
Lieutenant Governor

Donna Law
Executive Director
Utah Department of Cultural
and Community Engagement



Christopher Merritt
State Historic Preservation Officer
Utah State Historic Preservation Office

November 13, 2025

Dear Property Owner:

We are pleased to inform you that the historic district listed below, in which your building is located, will be considered by the State National Register Review Committee for nomination to the National Register of Historic Places:

ST. GEORGE CENTRAL CITY HISTORIC DISTRICT

Roughly bounded by: Bluff Street (west), 500 South (south), 300 East (east), and Diagonal Street with additional areas north of Diagonal Street and east of 300 East (see attached map)

The National Register of Historic Places is the federal government's official list of historic properties worthy of preservation. Listing on the National Register provides recognition and assists in preserving our Nation's heritage. Listing of a property provides recognition of its historic significance and assures protective review of federal projects that might adversely affect the character of the historic property. If the property is listed in the National Register, tax credits for rehabilitation and other beneficial provisions may apply.

Contrary to popular belief, listing in the National Register does not place any regulations on the property by the federal or state government, as it is only an honorary designation. The government will not attach restrictive covenants to the property or seek to acquire them. There are certain incentives associated with listing. Attached, please find a notice that explains, in greater detail, the results of listing in the National Register. It also describes the rights and procedures by which an owner may comment on or object to listing on the National Register.

Attached, please find a notice that explains, in greater detail, the results of listing in the National Register. It also describes the rights and procedures by which an owner may comment on or object to listing on the National Register.

You are invited to attend the State National Register Review Committee meeting at which the nomination will be considered. The Committee will meet virtually on **Thursday, January 15, 2026, at 10:00 AM, MST**. The public is invited to join the virtual meeting at this link:

<https://meet.google.com/vmj-uogc-fcp>

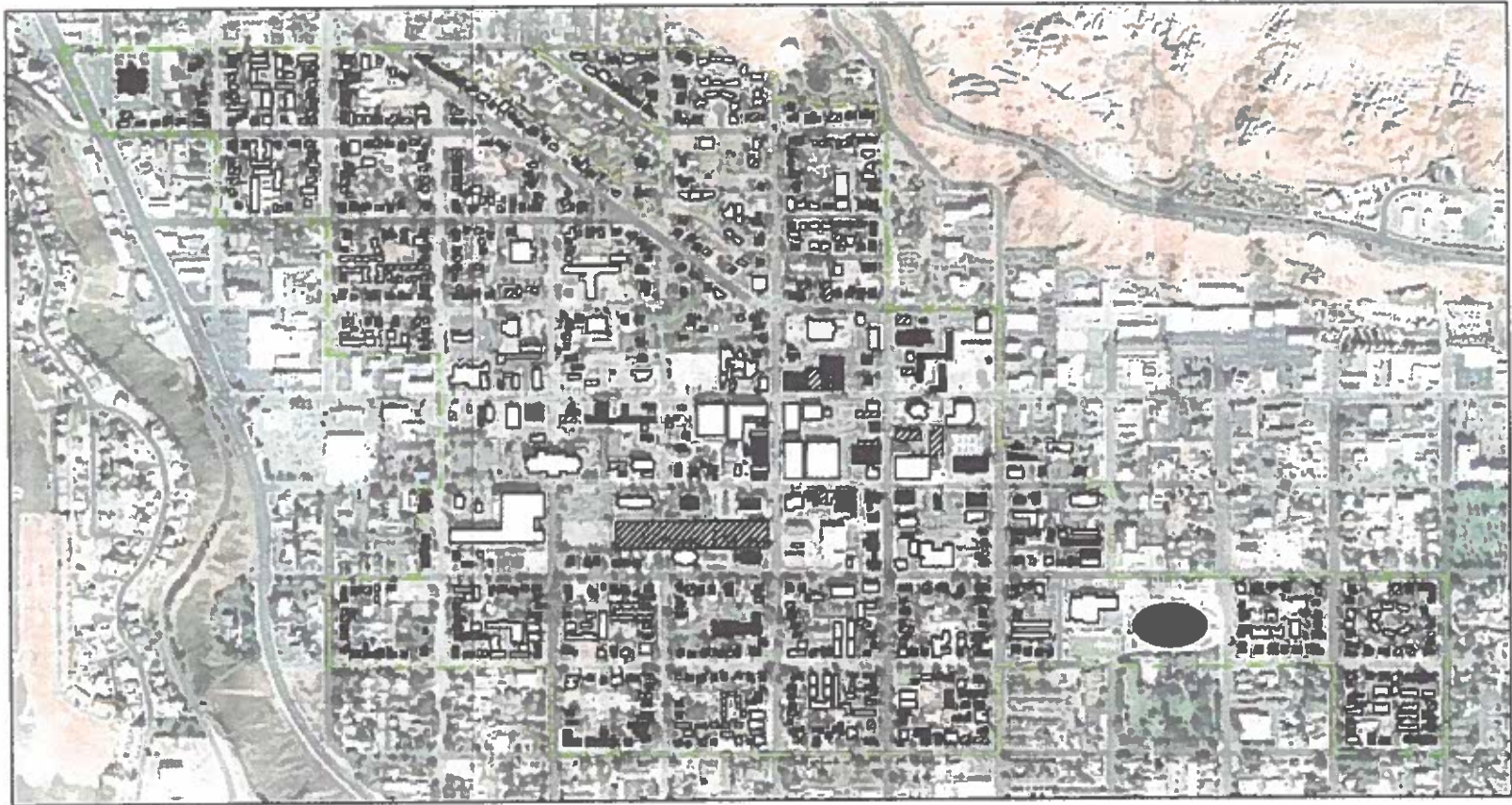
Or dial: (US) +1 669-238-0485 PIN: 970 204 075#

A copy of the nomination can be found at, <https://ushpo.utah.gov/shpo/national-register/nominations-to-be-reviewed/>. Should you have any questions about the nomination before the meeting, please contact me at corvjensen@utah.gov.

Sincerely,



Cory Jensen

National Register Coordinator/Deputy SHPO



Eligibility Aerial Photo
St. George Historic District
St. George, Washington County, Utah
July 2025

Legend

-  Historic District Boundary
-  Out of Period
-  Noncontributing
-  Contributing



RIGHTS OF OWNERS TO COMMENT ON AND/OR OBJECT TO LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES

Owners of private properties nominated to the National Register have an opportunity to concur with or object to listing in accord with the National Historic Preservation Act and 36 CFR 60. Any owner or partial owner of private property who chooses to object to listing may submit to the State Historic Preservation Officer a statement certifying that the party is the sole or partial owner of the private property and objects to the listing. Each owner or partial owner of private property has one vote regardless of the portion of the property that the party owns. If a majority of private property owners object, a property will not be listed. However, the State Historic Preservation Office shall submit the nomination to the Keeper of the National Register of Historic Places for a determination of eligibility of the property rather than a listing in the National Register.

If you choose to object to the listing of your property, the objection must be submitted to Christopher Merritt, State Historic Preservation Officer, at cmerritt@utah.gov, or mail it to: 3760 S. Highland Drive, Salt Lake City, Utah 84106, before the scheduled date of the Utah National Register Review Committee meeting to consider the nomination. Other comments regarding the nomination of this property should also be directed to Mr. Merritt prior to the meeting date. A copy of the nomination, along with information on the National Register and the Federal and State tax provisions, is available at <https://ushpo.utah.gov/shpo/preservation/> or from the above address on request.

If you support the listing of your property, you may send a letter or email to that effect to Mr. Merritt at either the mailing or email address listed above, though there is no requirement that you respond in support. Lack of a response from a property owner is considered a sign of support or lack of opposition.

NATIONAL REGISTER--BENEFITS AND RESTRICTIONS

What is the National Register?

The National Register of Historic Places is the official federal list of properties that are significant in American history, architecture, archeology, and engineering. It was established by the federal government in 1966 as part of the National Historic Preservation Act.

Why would someone list their property on the National Register?

While listing on the National Register is primarily an honorary recognition of the historic or architectural significance of a property, owners also list their buildings to qualify for federal and/or state rehabilitation tax credits or grants, when available (see below). Listing on the National Register can also help educate the public and change a community's perception of its historic and cultural resources.

Does listing limit an owner's property rights?

Listing in the National Register does not interfere with a private property owner's right to alter, manage or dispose of the listed property. The owner is not required to restore or maintain the property or open it to the public. Local preservation ordinances, where present, may have some implication for a property owner. Local ordinances are not associated with the National Register.

Who can nominate properties to the National Register?

Any interested person can research and nominate any property to the National Register. The legal owner has the right to comment on or object to and prevent the listing of their private property. For historic districts, each property owner is provided an opportunity to comment on/object to the nomination. However, at least 51% of property owners must object to prevent the listing of a district.

Is there money available for restoration?

Limited matching grants are occasionally available for the preservation of properties listed on the National Register -- contact the State Historic Preservation Office for more information.

RESULTS OF LISTING IN THE NATIONAL REGISTER

Eligibility for Federal tax provisions: If a property is listed in the National Register, federal law potentially allows for a 20 percent investment tax credit with a full adjustment to basis for the “substantial rehabilitation” of historic commercial, industrial, and rental residential buildings. Whether these provisions are advantageous to a property owner is dependent upon the particular circumstances of the property and the owner. For further information on certification requirements, please refer to 36 CFR 67. More information on federal tax credits is available at this link <https://ushpo.utah.gov/shpo/financial-incentives/>

Eligibility for State tax provisions: The Utah State Legislature created a state income tax credit for the rehabilitation of historic (i.e., National Register listed) residential buildings, either owner-occupied or rental. The credit is 20% of the cost of rehabilitation work totaling more than \$10,000. All of the proposed rehabilitation work must meet the Secretary of the Interior’s “Standards for Rehabilitation” and must be pre-approved by the State Historic Preservation Office. More information on the state tax credits is available at this link: <https://ushpo.utah.gov/shpo/financial-incentives/>

Consideration in planning for Federal, federally licensed and federally assisted projects: Section 106 of the National Historic Preservation Act of 1966 requires that Federal agencies to take account their actions on those resources eligible or listed on the National Register of Historic Places. For further information, please refer to 36 CFR 800. More information on compliance projects is available at this link: <https://ushpo.utah.gov/shpo/shpo-compliance/>

Qualification for Federal or State grants for historic preservation when available: Presently, limited funding may be available through the Certified Local Government (CLG) program. Direct grants to property owners are also occasionally available. For information about possible grants, contact the State Historic Preservation Office.

Where do I go for National Register forms, bulletins, answers, etc.?

Contact: Cory Jensen
National Register Coordinator
Utah State Historic Preservation Office
3760 S. Highland Drive
Salt Lake City, Utah 84106
801/245-7242
corvjensen@utah.gov

Our website: <https://ushpo.utah.gov/shpo/national-register/>

National Register website: <https://www.nps.gov/subjects/nationalregister/index.htm>