



AMERICAN FORK CITY DEVELOPMENT REVIEW COMMITTEE AGENDA

Regular Session
February 17, 2026
Tuesday 11:00 AM

American Fork City Public Works Building
275 East 200 North
American Fork City, UT 84003

<https://www.americanfork.gov/AgendaCenter>

Development Review Committee Members

Patrick O'Brien, Dev. Services Director

Sam Kelly, Public Works Director

Aaron Brems, Fire Chief

Notice is hereby given that the American Fork City Development Review Committee will meet in regular session on February 17, 2026, at the American Fork City Public Works building, 275 East 200 North commencing at 11:00 AM. The agenda shall be as follows:

1. Regular Session

- a. Roll Call

2. Common Consent Agenda (Common Consent is that class of DRC action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda).

- a. Approval of the February 9, 2026, Development Review Committee minutes.

3. Action Items (Action Items is that class of DRC action that requires further discussion on Preliminary Plans, Final Plats, and Amended Commercial Site Plans. The Development Review Committee Board will have authority to approve Preliminary Plans and Final Plats but make a recommending action on Commercial Site Plans.)

- a. Review and action on an application for an Amended Final Plat, known as Mira Vista Phase 4, located at 530 S 1040 E, American Fork City. The Amended Final Plat consists of .63 acres and is in the Residential (R3-7500) Zone.
- b. Review and action on an application for an Amended Commercial Site Plan, known as DCS Warehouse, located at 521 W 200 N, American Fork City. The Commercial Site Plan consists of 2 acres and is in the GC-1 General Commercial Zone.

4. Adjournment

Dated this 12th day of February 2026

Patrick O'Brien

Development Services Director

**The order of agenda items may change at the discretion of the Development Review Committee*

UNAPPROVED MINUTES
02.09.2026

AMERICAN FORK CITY
DEVELOPMENT REVIEW COMMITTEE REGULAR SESSION

February 9th , 2026

The American Fork City Development Review Committee met in a regular session on February 9th, 2025, at the American Fork Public Works Building, 275 East 200 North, commencing at 9:00 a.m.

Development Review Committee:

Public Works Director: Sam Kelly

Development Services Director: Patrick O'Brien

Fire Chief: Aaron Brems

Staff Present:

Cody Opperman	Planner II
Annalisa Reed	Planner I
Mat Sacco	Fire Marshall
Angie McKee	Administrative Assistant I
Ben Hunter	City Engineer

Others Present: David Peay, Will Jones

REGULAR SESSION

Roll Call

COMMON CONSENT AGENDA

Minutes of the January 26th, 2026, Development Review Committee Regular Session.

Patrick O'Brien noted that the date on the agenda was incorrect.

UNAPPROVED MINUTES

02.09.2026

Patrick O'Brien motioned to approve the Common Consent agenda

Aaron Brems seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

ACTION ITEMS

- a. Review and action on an application for an Amended Final Plat, known as Bridges at Fox Hollow Plat C and Plat B Storm Drain Design Amendment, located at approximately 1082 N 370 E, American Fork City. The Amended Final Plat will be for approximately 4.07 acres and will be in the PR 3.0 zone.**

Cody Opperman reviewed the background information for action item letter a: The applicant has applied for an Amended Final Plat to develop a Residential Subdivision. The project looks to increase the HOA Drainage easement due to the needs of the Development's adjacent plat.

Public Hearing Opened

David Peay asked if there would be anything done that would affect his property, as he received a letter from the city to inform him of this meeting.

Public Hearing Closed

UNAPPROVED MINUTES

02.09.2026

Ben Hunter showed Mr. Peay on the map where the current storm drains are located in the area, so he could see that this would not change anything with his property.

Sam Kelly moved to approve the proposed Amended Final Plat, located at 1082 N 370 E, American Fork City, UT 84003, in the PR 3.0 Zone, as the Amended Final Plat meets the requirements of Section 17.8.217 Amended Plats and 17.4.209 PR 3.0 Planned Residential Zone.

Aaron Brems seconded the motion

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

The motion passed

Other Business

There was no other business to discuss

Adjournment

Patrick O'Brien motioned to adjourn the meeting.

Aaron Brems seconded the motion.

Voting was as follows:

Patrick O'Brien	AYE
Sam Kelly	AYE
Aaron Brems	AYE

UNAPPROVED MINUTES

02.09.2026

The motion passed

Meeting adjourned at 9:10 AM

Angie McKee

Administrative Assistant I

The order of agenda items may change to accommodate the needs of the committee, public, and staff.



Agenda Topic

Review and action on an application for an Amended Final Plat, known as Mira Vista Phase 4, located at 530 S 1040 E, American Fork City. The Amended Final Plat consists of .63 acres and is in the Residential (R3-7500) Zone.

BACKGROUND INFORMATION		
Location:		530 S 1040 E
Project Type:		Amended Final Plat
Applicants:		Chris Haertel and Stephanie Hererra
Existing Land Use:		Planned Community
Surrounding Land Use:	North	Planned Community
	South	Planned Community
	East	Planned Community
	West	Planned Community
Existing Zoning:		R3-7500
Surrounding Zoning:	North	R3-7500
	South	R3-7500
	East	R3-7500
	West	Planned Community
Total Number of Units		20

Background

The applicant has applied for an Amended Final Plat to develop a Condominium Planned Community. The project looks to develop 20 condos in a three-story building. This is phase 4 of a multiple part planned community. The Commercial Site Plan is currently going through DRC review and will be placed on an agenda in the future. A public hearing is required to be held within 45 days of the petition to vacate/alter/amend a subdivision plat being accepted into review if all signatures of property owners have not been acquired associated with the originally approved plat, the public hearing was held July 15, 2025.



Sec 17.8.216 Amendments

The plans, plats, documents, and statements may be amended by following the same procedure required for initial approval. No change shall be made which is contrary to the intent of the city's land use plan or the standards and requirements of this code. Any amendment of a recorded final plat shall not be approved or recorded except in conformance with the terms and conditions established by state law.

Sec 17.8.217 Amended Plats

When major changes in a plat of a subdivision which has been recorded are made, approval of said subdivision shall be vacated and an amended plat thereof approved and filed in accordance with the requirements of this code. No change shall be made in approved plats unless approval thereof has been obtained by the planning commission and the city council.

Utah State Code 10-9a-608 – Subdivision Amendments

- (1) (a) A fee owner of land, as shown on the last county assessment roll, in a subdivision that has been laid out and platted as provided in this part may file a written petition with the land use authority to request a subdivision amendment.
- (b) Upon filing a written petition to request a subdivision amendment under Subsection (1)(a), the owner shall prepare and, if approved by the land use authority, record a plat in accordance with Section 10-9a-603 that:
 - (i) depicts only the portion of the subdivision that is proposed to be amended;
 - (ii) includes a plat name distinguishing the amended plat from the original plat;
 - (iii) describes the differences between the amended plat and the original plat; and
 - (iv) includes references to the original plat.
- (c) If a petition is filed under Subsection (1)(a), the land use authority shall provide notice of the petition by mail, email, or other effective means to each affected entity that provides a service to an owner of record of the portion of the plat that is being vacated



or amended at least 10 calendar days before the land use authority may approve the petition for a subdivision amendment.

(d) If a petition is filed under Subsection (1)(a), the land use authority shall hold a public hearing within 45 days after the day on which the petition is filed if:

(i) any owner within the plat notifies the municipality of the owner's objection in writing within 10 days of mailed notification; or

(ii) a public hearing is required because all of the owners in the subdivision have not signed the revised plat.

(e) A land use authority may not approve a petition for a subdivision amendment under this section unless the amendment identifies and preserves any easements owned by a culinary water authority and sanitary sewer authority for existing facilities located within the subdivision.

(2) The public hearing requirement of Subsection (1)(d) does not apply and a land use authority may consider at a public meeting an owner's petition for a subdivision amendment if:

(a) the petition seeks to:

(i) join two or more of the petitioner fee owner's contiguous lots;

(ii) subdivide one or more of the petitioning fee owner's lots, if the subdivision will not result in a violation of a land use ordinance or a development condition;

(iii) adjust the lot lines of adjoining lots or between a lot and an adjoining parcel if the fee owners of each of the adjoining properties join in the petition, regardless of whether the properties are located in the same subdivision;

(iv) on a lot owned by the petitioning fee owner, adjust an internal lot restriction imposed by the local political subdivision; or

(v) alter the plat in a manner that does not change existing boundaries or other attributes of lots within the subdivision that are not:

(A) owned by the petitioner; or



- (B) designated as a common area; and
- (b) notice has been given to adjoining property owners in accordance with any applicable local ordinance.
- (3) A petition under Subsection (1)(a) that contains a request to amend a public street or municipal utility easement is also subject to Section 10-9a-609.5.
- (4) A petition under Subsection (1)(a) that contains a request to amend an entire plat or a portion of a plat shall include:
 - (a) the name and address of each owner of record of the land contained in the entire plat or on that portion of the plat described in the petition; and
 - (b) the signature of each owner described in Subsection (4)(a) who consents to the petition.
- (5) (a) The owners of record of adjoining properties where one or more of the properties is a lot may exchange title to portions of those properties if the exchange of title is approved by the land use authority as a lot line adjustment in accordance with Subsection (5)(b).
- (b) The land use authority shall approve a lot line adjustment under Subsection (5)(a) if the exchange of title will not result in a violation of any land use ordinance.
- (c) If a lot line adjustment is approved under Subsection (5)(b):
 - (i) a notice of lot line adjustment approval shall be recorded in the office of the county recorder which:
 - (A) is approved by the land use authority; and
 - (B) recites the legal descriptions of both the original properties and the properties resulting from the exchange of title; and
 - (ii) a document of conveyance shall be recorded in the office of the county recorder.
- (d) A notice of approval recorded under this Subsection (5) does not act as a conveyance of title to real property and is not required in order to record a document conveying title to real property.



- (6) (a) The name of a recorded subdivision may be changed by recording an amended plat making that change, as provided in this section and subject to Subsection (6)(c).
- (b) The surveyor preparing the amended plat shall certify that the surveyor:
 - (i) holds a license in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act;
 - (ii) (A) has completed a survey of the property described on the plat in accordance with Section 17-23-17 and has verified all measurements; or
(B) has referenced a record of survey map of the existing property boundaries shown on the plat and verified the locations of the boundaries; and
 - (iii) has placed monuments as represented on the plat.
- (c) An owner of land may not submit for recording an amended plat that gives the subdivision described in the amended plat the same name as a subdivision in a plat already recorded in the county recorder's office.
- (d) Except as provided in Subsection (6)(a), the recording of a declaration or other document that purports to change the name of a recorded plat is void.

Project Conditions of Approval

1. N/A

Findings of Fact

1. The Amended Final Plat meets the requirements of Section 17.4.301 R-3-7500 Residential Zone.
2. The Amended Final Plat meets the requirements of Section 17.8.217 Amended Plats.

Project Map



Engineering Development Checklist Completion

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with the Engineering Development Checklist prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to, throughout and after scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder’s Office.

Staff Recommendation

The Amended Final Plat meets the requirements of Section 10-9a-608. Subdivision amendments. Staff recommends APPROVING the application.



Potential Motions – Amended Final Plat

Approval

I move to approve the proposed Amended Final Plat, located at 530 S 1040 E, American Fork City, UT 84003, in the Residential (R3-7500) Zone, as the Amended Final Plat meets the requirements of Section 17.8.217 Amended Plats and Section 17.4.301 R-3-7500 Residential Zone.

Denial

I move to deny the proposed Amended Final Plat, located at 530 S 1040 E, American Fork City, UT 84003, in the Residential (R3-7500) Zone, as the Amended Final Plat does not meet the requirements of Section 17.8.217 Amended Plats and Section 17.4.301 R-3-7500 Residential Zone.

Table

I move to table action for the proposed Amended Final Plat, located at 530 S 1040 E, American Fork City, in the Residential (R3-7500) Zone and instruct staff/developer to.....

MIRA VISTA CONDOMINIUMS - PHASE IV

A PORTION OF LOT 4, MIRA VISTA, PLAT "A" AMENDED
PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
AMERICAN FORK CITY, UTAH COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, **JASON T. FELT**, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR, AND HOLD CERTIFICATE NO. 9239283 IN ACCORDANCE WITH TITLE 58 CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT IN THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT IN ACCORDANCE WITH SECTION 17-73-504, AND BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY AND CONDOMINIUM PLAT AS DESCRIBED BELOW BASED ON APPLICABLE DATA COMPILED FROM OFFICIAL RECORDS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO UNITS HEREAFTER TO BE KNOWN AS **MIRA VISTA CONDOMINIUMS - PHASE IV** AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

SIGNED THIS 3rd DAY OF FEBRUARY, 2026.

9239283
UTAH LICENSE NUMBER



OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND DESCRIBED HEREIN AS **MIRA VISTA CONDOMINIUMS - PHASE IV**, A UTAH CONDOMINIUM PROJECT LOCATED ON SAID TRACT OF LAND, DOES HEREBY MAKE THIS CERTIFICATE THAT SAID OWNER HAS CAUSED A SURVEY TO BE MADE AND THIS CONDOMINIUM PLAT, OR RECORD OF SURVEY MAP TO BE PREPARED, AND THAT SAID OWNER DOES HEREBY CONSENT TO THE RECORDATION OF THIS RECORD OF SURVEY MAP SUBMITS THE DESCRIBED PROPERTY TO THE TERMS OF THE "UTAH CONDOMINIUM OWNERSHIP ACT". THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED ABOVE AND SHOWN ON THIS PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE ANY PUBLIC STREETS AND OTHER PUBLIC AREAS SHOWN THEREON FOR THE PERPETUAL USE OF THE PUBLIC, AND DO HEREBY DEDICATE THE DESIGNATED AREA SHOWN ON THIS PLAT AS "WATER EASEMENT" TO AMERICAN FORK CITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC WATER SERVICES, PURSUANT TO UTAH CODE 10-20-804(1)(D) THE OWNER HEREBY CONVEYS THE COMMON AREA AND LIMITED COMMON AREA AS INDICATED HEREON, TO **MIRA VISTA IV CONDOMINIUMS OWNERS ASSOCIATION** WITH A MAILING ADDRESS OF:

MIRA VISTA IV CONDOMINIUMS OWNERS ASSOCIATION
ATTENTION: STEPHANIE HERRERA
ADDRESS: 825 E. 1180 S.
SUITE 300
AMERICAN FORK, UT 84003

IN WITNESS WHEREOF I/WE HEREUNTO SET OUR HAND THIS _____ DAY OF _____, 20____.

FOUR AMIGOS DEVELOPMENT LLC

NAME/TITLE _____ DATE _____

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF _____) ss.

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID LLC AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LLC FOR THE PURPOSES THEREIN MENTIONED.

NOTARY'S FULL NAME & COMMISSION NUMBER _____

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY DEVELOPMENT REVIEW COMMITTEE APPROVAL AUTHORITY

THE DEVELOPMENT REVIEW COMMITTEE APPROVAL AUTHORITY OF AMERICAN FORK CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS AND EASEMENTS FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. _____.

DEVELOPMENT SERVICES DIRECTOR _____

PUBLIC WORKS DIRECTOR _____

FIRE CHIEF _____

SEWER & WATER AUTHORITY APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE WATER AUTHORITY.

SEWER & WATER AUTHORITY

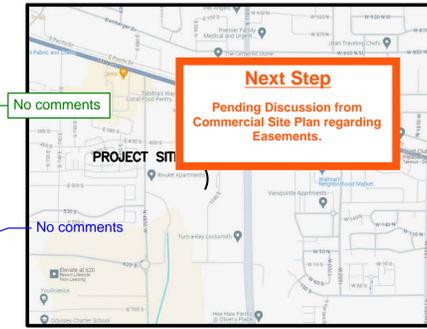
MIRA VISTA CONDOMINIUMS - PHASE IV

A PORTION OF LOT 4, MIRA VISTA, PLAT "A" AMENDED
PART OF THE SOUTHWEST QUARTER OF SECTION 19, T.5S., R.2E., S.L.B.&M.
AMERICAN FORK CITY, UTAH COUNTY, UTAH

LAND SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CLERK-RECORDER SEAL
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PROJECT INFORMATION		UTAH COUNTY RECORDER'S OFFICE	
Surveyor: <u>J. FELT</u>	Name: <u>MIRA VISTA CONDO.</u>	UTAH COUNTY RECORDER'S OFFICE	
Drafter: <u>N. ANDERSON</u>	Number: <u>5336-11</u>		
Begin Date: <u>5-28-2024</u>	Revision: <u>12-18-25 NA</u>		
	Scale: <u>1"=20'</u>		

American Fork City Development Review	
Planning and Zoning Reviewed copperman 02/04/2026	No comments
ECLID Reviewed tmezenen 02/05/2026	Fire Reviewed M.Sacco 02/04/2026
Public Infrastructure Reviewed cscott 02/04/2026	Engineering Division Reviewed rburhill 02/04/2026
No comments	



VICINITY MAP
NOT TO SCALE

LEGEND

- SECTION CORNER
 - FOUND REBAR AND CAP
 - SET 5/8" REBAR AND PLASTIC CAP STAMPED "REEVE AND ASSOCIATES"
 - BOUNDARY LINE
 - ADJOINING PROPERTY
 - EASEMENT
 - SECTION TIE LINE
 - PROPOSED BUILDING
 - EXISTING BUILDING
- Scale: 1" = 20'

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS BETWEEN THE WEST QUARTER CORNER AND THE SOUTH QUARTER CORNER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS: SOUTH 45°16'36" EAST (NAD83)

LEGAL DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 1227.97 FEET AND EAST 447.03 FEET FROM THE WEST QUARTER CORNER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; THENCE WEST 106.75 FEET; THENCE NORTH 113.54 FEET; THENCE WEST 52.77 FEET; THENCE NORTH 106.00 FEET; THENCE EAST 51.92 FEET; THENCE SOUTH 10.00 FEET; THENCE EAST 29.71 FEET; THENCE NORTH 20.00 FEET; THENCE EAST 37.40 FEET; THENCE SOUTH 28.21 FEET; THENCE SOUTH 45°00'00" EAST 11.37 FEET; THENCE EAST 15.94 FEET; THENCE SOUTH 8.60 FEET; THENCE EAST 3.75 FEET; THENCE SOUTH 34.71 FEET; THENCE EAST 12.77 FEET; THENCE SOUTH 149.98 FEET TO THE POINT OF BEGINNING.

CONTAINING 27,492 SQUARE FEET, OR 0.631 ACRE IN AREA, MORE OR LESS.

BEING A PORTION OF LOT 4, MIRA VISTA AMENDED PLAT "A", AMERICAN FORK CITY, UTAH COUNTY, UTAH. TOGETHER WITH THE APPURTENANT UNDIVIDED INTEREST IN AND TO THE COMMON AREA AND FACILITIES MORE PARTICULARLY DESCRIBED IN SAID DECLARATION AND ANY AMENDMENTS THERETO.

ZONING/LAND USE INFORMATION

SUBJECT PROPERTY IS LOCATED IN ZONE R3-7500. PER AMERICAN FORK CITY MUNICIPAL CODE SEC. 17.4.301, "THE R-3-7500 RESIDENTIAL ZONE HAS BEEN ESTABLISHED FOR THE PURPOSE OF PROVIDING A PLACE WHERE ONE-, TWO-, THREE- AND FOUR-FAMILY DWELLINGS AND PLANNED UNIT DEVELOPMENTS CAN BE CONSTRUCTED. HIGHER DENSITY APARTMENT HOUSES AND COMMERCIAL AND INDUSTRIAL USES ARE NOT PERMITTED."

SUBJECT PROPERTY'S LAND USE IS "PLANNED COMMUNITY".

FEMA FLOOD ZONE INFORMATION

THE ENTIRE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED) PER FEMA FLOOD INSURANCE RATE MAP FOR UTAH COUNTY, UTAH, AND INCORPORATED AREAS MAP NO. 49049C0307F, EFFECTIVE DATE 6/19/2020. SAID MAP IS NOT PRINTED. ZONE X (UNSHADED) IS DEFINED AS "AREAS OF MINIMAL FLOOD HAZARD."

NOTES

- ALL TIES TO BUILDING AREA ARE PERPENDICULAR TO THE BOUNDARY. ALL TIES ARE TO THE OUTSIDE BUILDING CORNERS.
- LOWEST FLOOR SLAB ELEVATION MUST BE A MINIMUM OF 3 FEET ABOVE WATER LEVEL MEASURED DURING SPRING SEASON.
- ALL COMMON AREAS OUTSIDE THE BUILDING FOOTPRINT WILL SERVE AS PUBLIC UTILITY EASEMENTS.
- 20 DWELLING UNITS
- ALL PARKING AND DRIVE ISLES LOCATED WITHIN THE BOUNDARY OF THIS DEVELOPMENT ARE RESERVED FOR VEHICULAR AND PEDESTRIAN ACCESS FOR THE OWNERS OF THIS DEVELOPMENT.

ADDRESS TABLE

ADDRESS	UNIT #
502 SOUTH 1040 EAST	103
502 SOUTH 1040 EAST	104
502 SOUTH 1040 EAST	106
502 SOUTH 1040 EAST	107
502 SOUTH 1040 EAST	109
502 SOUTH 1040 EAST	110
502 SOUTH 1040 EAST	203
502 SOUTH 1040 EAST	204
502 SOUTH 1040 EAST	206
502 SOUTH 1040 EAST	207
502 SOUTH 1040 EAST	209
502 SOUTH 1040 EAST	210
502 SOUTH 1040 EAST	212
502 SOUTH 1040 EAST	303
502 SOUTH 1040 EAST	304
502 SOUTH 1040 EAST	306
502 SOUTH 1040 EAST	307
502 SOUTH 1040 EAST	309
502 SOUTH 1040 EAST	310
502 SOUTH 1040 EAST	312



WEST QUARTER CORNER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, FOUND UTAH COUNTY BRASS CAP MONUMENT.

SOUTH 1227.97'

S00°13'43"E 2663.84'
S00°15'21"E 2663.86' (U.C.S.)

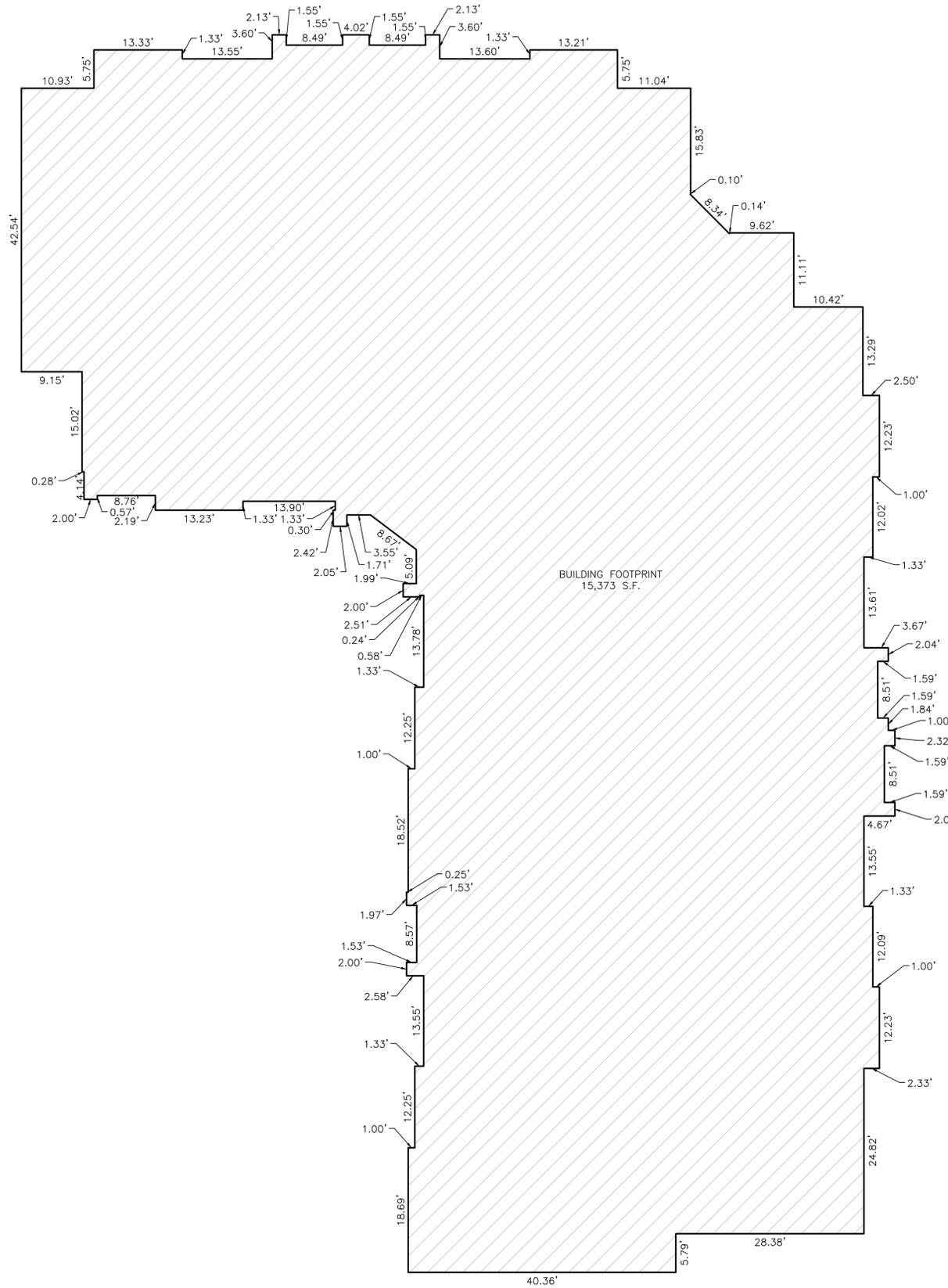
SOUTHWEST CORNER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, CALCULATED.

N89°36'05"E 2661.57' (U.C.S.)
N89°37'39"E 2661.62'

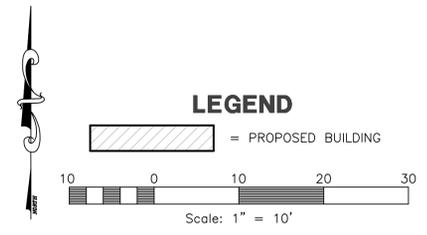
SOUTH QUARTER CORNER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, FOUND UTAH COUNTY BRASS CAP MONUMENT.

MIRA VISTA CONDOMINIUMS - PHASE IV

A PORTION OF LOT 4, MIRA VISTA, PLAT "A" AMENDED
 PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
 AMERICAN FORK CITY, UTAH COUNTY, UTAH



VICINITY MAP
 NOT TO SCALE




PROJECT INFORMATION	
Surveyor:	Name: <u>MIRA VISTA CONDO</u>
Drafter:	<u>PHASE IV</u>
Begin Date:	Number: <u>5336-11</u>
5-28-2024	Revision: <u>12-18-25 NA</u>
	Scale: <u>1"=20'</u>

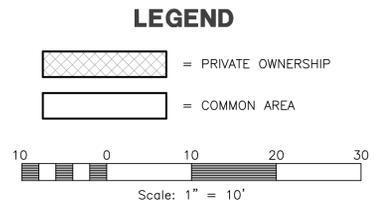
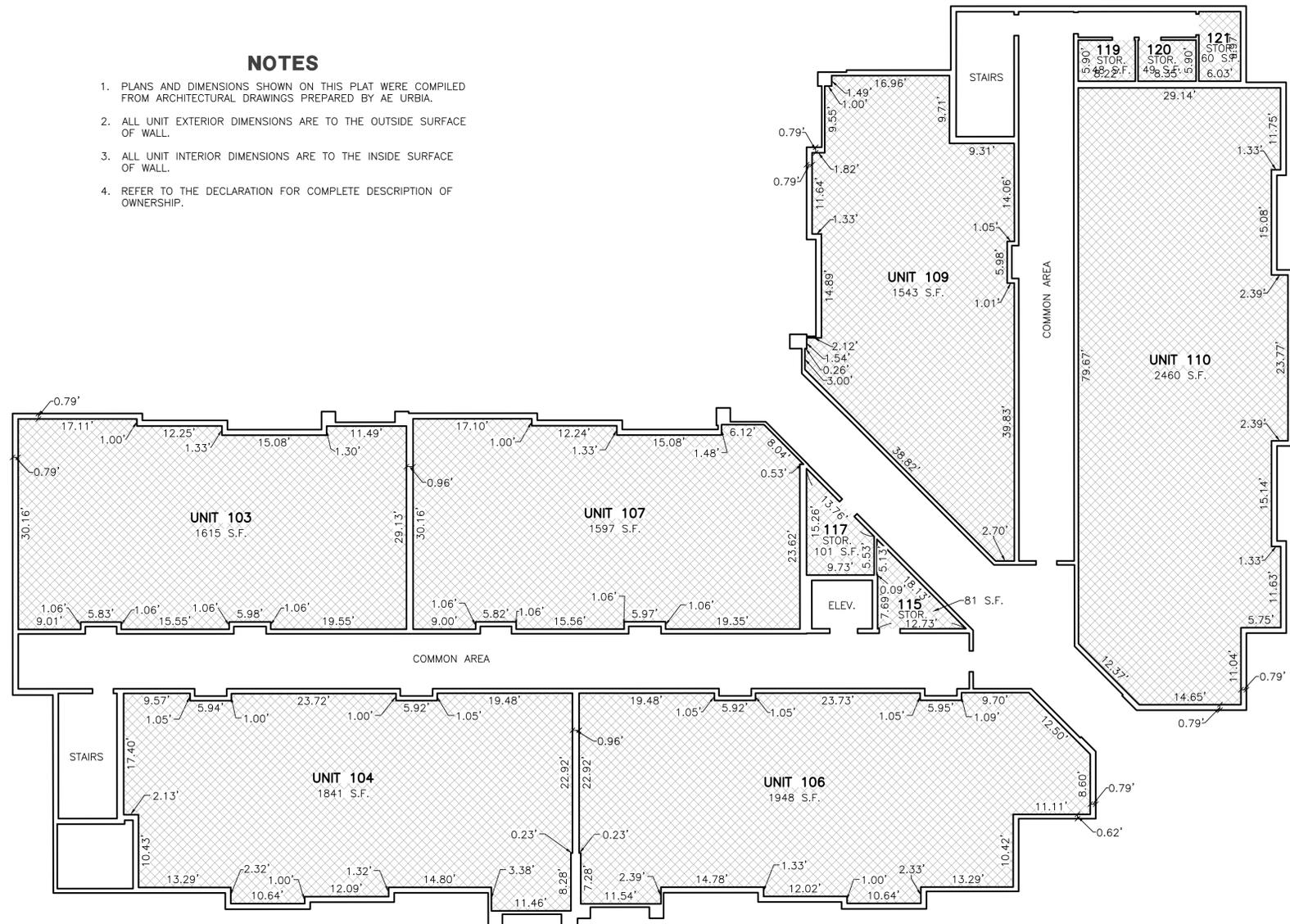
UTAH COUNTY RECORDER'S OFFICE

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 AMERICAN FORK CITY, UTAH COUNTY, UTAH

NOTES

1. PLANS AND DIMENSIONS SHOWN ON THIS PLAT WERE COMPILED FROM ARCHITECTURAL DRAWINGS PREPARED BY AE URBIA.
2. ALL UNIT EXTERIOR DIMENSIONS ARE TO THE OUTSIDE SURFACE OF WALL.
3. ALL UNIT INTERIOR DIMENSIONS ARE TO THE INSIDE SURFACE OF WALL.
4. REFER TO THE DECLARATION FOR COMPLETE DESCRIPTION OF OWNERSHIP.



FIRST FLOOR



PROJECT INFORMATION	
Surveyor: J. FELT	Name: MIRA VISTA CONDO.
Drafter: N. ANDERSON	Number: 5336-11
Begin Date: 5-28-2024	Revision: 12-18-25 NA
	Scale: 1"=10'

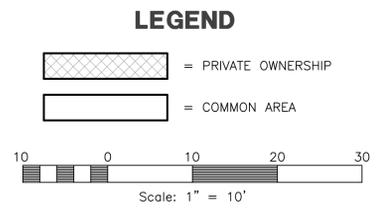
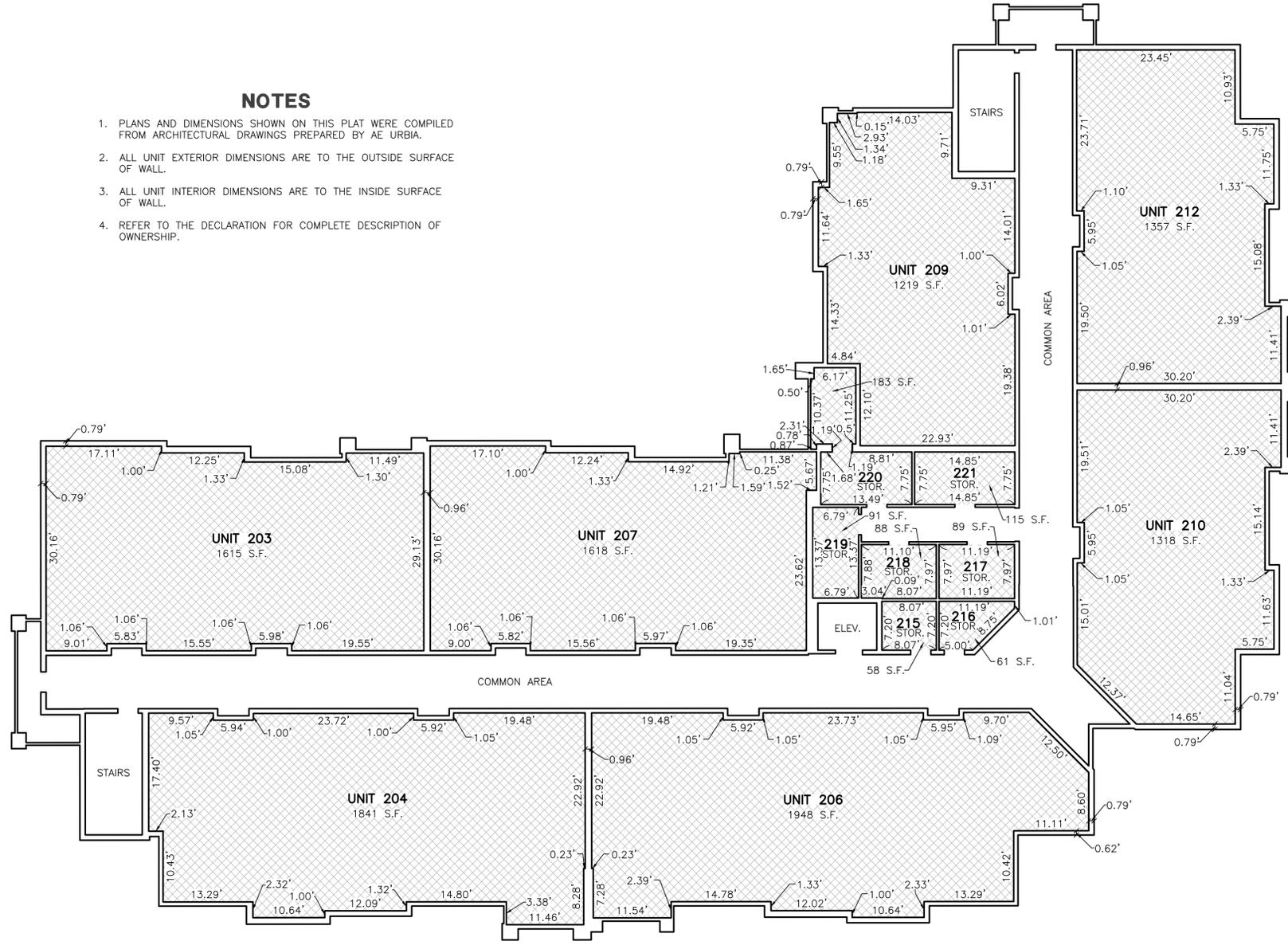
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 AMERICAN FORK CITY, UTAH COUNTY, UTAH

NOTES

1. PLANS AND DIMENSIONS SHOWN ON THIS PLAT WERE COMPILED FROM ARCHITECTURAL DRAWINGS PREPARED BY AE URBIA.
2. ALL UNIT EXTERIOR DIMENSIONS ARE TO THE OUTSIDE SURFACE OF WALL.
3. ALL UNIT INTERIOR DIMENSIONS ARE TO THE INSIDE SURFACE OF WALL.
4. REFER TO THE DECLARATION FOR COMPLETE DESCRIPTION OF OWNERSHIP.



SECOND FLOOR



PROJECT INFORMATION	
Surveyor: J. FELT	Name: MIRA VISTA CONDO.
Drafter: N. ANDERSON	PHASE IV
Begin Date: 5-28-2024	Number: 5336-11
	Revision: 12-18-25 NA
	Scale: 1"=10'

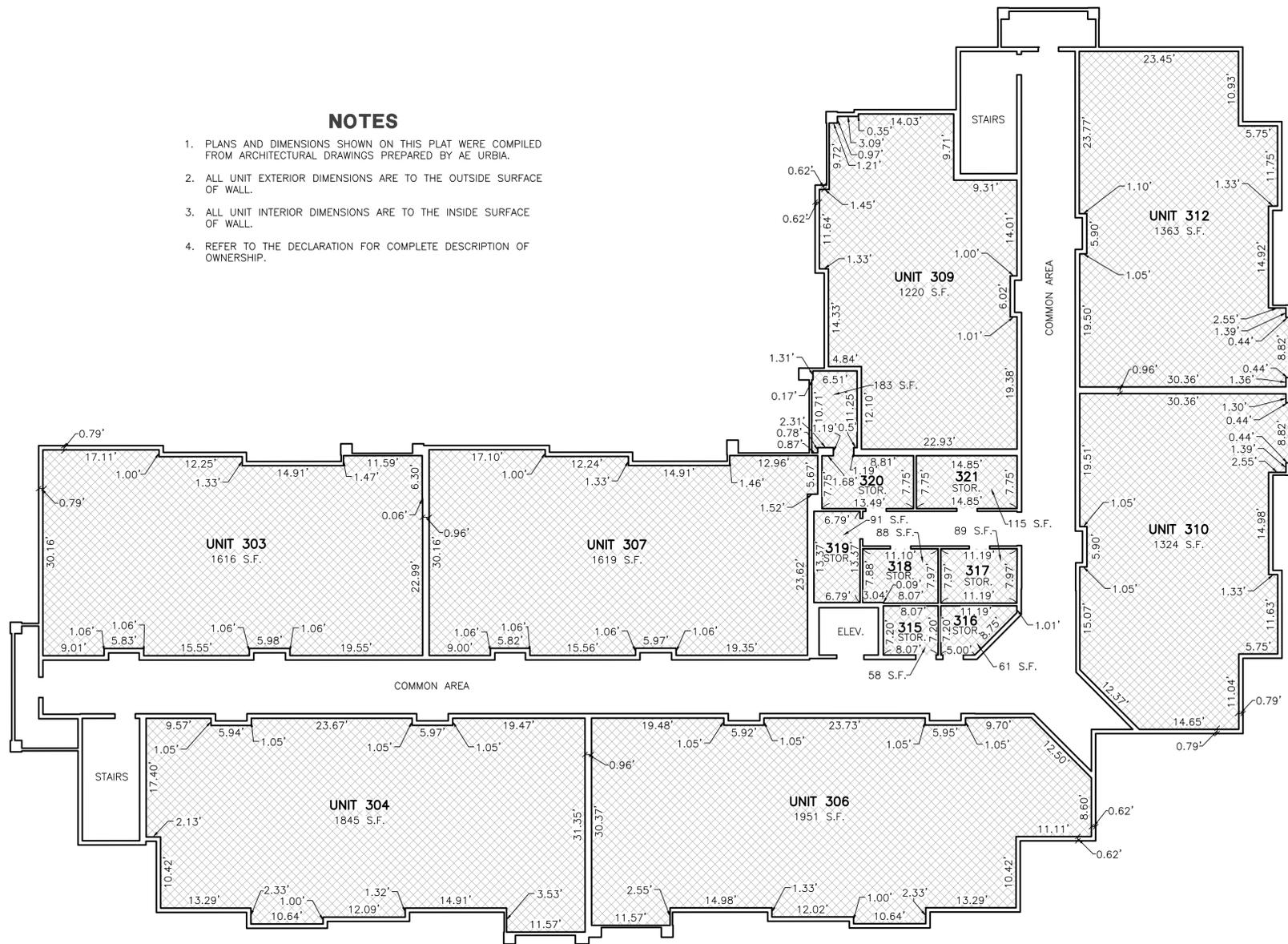
UTAH COUNTY RECORDER'S OFFICE

MIRA VISTA CONDOMINIUMS - PHASE IV

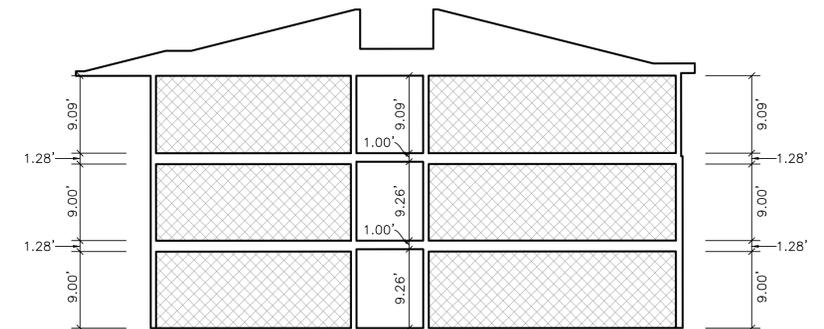
A PORTION OF LOT 4, MIRA VISTA, PLAT "A" AMENDED
 PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
 AMERICAN FORK CITY, UTAH COUNTY, UTAH

NOTES

1. PLANS AND DIMENSIONS SHOWN ON THIS PLAT WERE COMPILED FROM ARCHITECTURAL DRAWINGS PREPARED BY AE URBIA.
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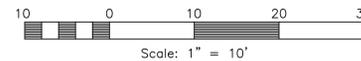
THIRD FLOOR



ELEVATION VIEW

LEGEND

- = PRIVATE OWNERSHIP
- = COMMON AREA



Reeve & Associates, Inc.
 5160 S 1500 W, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve.co

PROJECT INFORMATION	
Surveyor: J. FELT	Name: MIRA VISTA CONDO.
Drafter: N. ANDERSON	Phase: PHASE IV
Begin Date: 5-28-2024	Number: 5336-11
	Revision: 12-18-25_NA
	Scale: 1"=10'

UTAH COUNTY RECORDER'S OFFICE



Agenda Topic

Review and action on an application for an Amended Commercial Site Plan, known as DCS Warehouse, located at 521 W 200 N, American Fork City. The Commercial Site Plan consists of 2 acres and is in the GC-1 General Commercial Zone.

BACKGROUND INFORMATION		
Location:	521 W 200 N, American Fork City, UT	
Parcel ID:	13:004:0067	
Project Type:	Amended Commercial Site Plan	
Applicants:	Trent Williams	
Existing Land Use:	Design Commercial	
Surrounding Land Use:	North	Design Commercial
	South	Design Commercial
	East	Residential High Density
	West	Design Commercial
Existing Zoning:	GC-1	
Surrounding Zoning:	North	SC-1
	South	R4-7500
	East	R4-7500 and R3-7500
	West	SC-1
Square Footage (By Use)	12,623 Office Warehouse	

Background

The applicant has applied for an Amended Commercial Site Plan to update the drainage and exterior elements of the site.

Section 17.6.101 – Administrative Site Plan Review

Wherever the terms of this code require submission and approval of a site plan, such review shall be conducted in accordance with the following provisions.

1. Planning commission to approve. The planning commission, acting in an administrative capacity, shall have the function, duty and power to approve or disapprove a project plan and to attach such modifications or conditions as may be deemed appropriate to improve the layout, to ensure that the project will not pose any detrimental effect to persons or property, or to protect the health, safety, and general welfare of the citizens of the city.
2. Application required. Application for site plan approval shall be submitted on forms provided by the city and shall be accompanied by maps and drawings showing the following:
 - a. The location of all existing and proposed buildings and structures on the site, with full dimensions showing the distance between buildings and distances from buildings to adjacent property lines.
 - b. The location of all parking spaces, driveways, and points of vehicular ingress and egress.
 - c. A landscaping plan showing the location, types, and initial sizes of all planting materials to be used together with the location of fences, walls, hedges, and decorative materials.
 - d. Preliminary elevations of main buildings showing the general appearance and types of external materials to be used.
 - e. The locations of solid waste receptacles and trash pick-up areas.
3. Appeals permitted. Any person aggrieved by a determination of the planning commission may request a hearing before the city council who shall have the authority to reverse, affirm or modify any decision of said commission. Any such appeal shall be filed within ten days of the determination of the planning commission.
4. Issuance of a permit. A building permit shall not be issued for any building or structure or external alterations thereto until the provisions of this section have been complied with. Any construction not in conformance with an approved site plan shall be considered a violation of this code. Any building permit issued shall ensure that development is undertaken and completed in conformity with the plans as approved.
5. Expiration of Site plan approval. A site plan approval issued pursuant to this section shall expire and have no further force or effect if the building, activity, construction, or occupancy authorized by the approval is not commenced within two (2) years of the date of the approval. Up to a twelve (12) month extension may be approved by the land use authority subject to payment of an extension fee equal to one-half of the current filing fee.

Findings of Fact

1. The Amended Commercial Site Plan meets the requirements of Section 17.4.402.
2. The Amended Commercial Site Plan meets the requirements of Section 17.6.101.

Project Map



Engineering Development Checklist Completion

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with the Engineering Development Checklist prior to any platting,



permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to, throughout and after scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

Staff Recommendation

The Amended Commercial Site Plan meets the requirements of Section 17.6.101. Staff recommends Approving the application.

Potential Motions – Amended Commercial Site Plan

Approval

I move to approve the proposed Amended Commercial Site Plan, located at 521 W 200 N, American Fork City, in the GC-1 Zone, as the Amended Commercial Site Plan meets the requirements of Section 17.4.402 and 17.6.101.

Denial

I move to deny the proposed Amended Commercial Site Plan, located at 521 W 200 N, American Fork City, in the GC-1 Zone as the Amended Commercial Site Plan does not meet the requirements of Section 17.4.402 and 17.6.101.

Table

I move to table action for the proposed Amended Commercial Site Plan, located at 521 W 200 N, American Fork City, in the GC-1 Zone and instruct staff/developer to.....

American Fork City Development Review	
Sewer/Storm Drain Division Reviewed ahardy 02/11/2026	Planning and Zoning Reviewed copperman 02/11/2026
Communications Reviewed MHunsaker 02/11/2026	Engineering Division Reviewed rburkhill 02/11/2026
Public Infrastructure Reviewed cscott 02/10/2026	Streets Division Reviewed ehyde 02/11/2026
	Water/P1 Division Reviewed jbrems 02/10/2026

DRY CREEK STRUCTURES

SITE IMPROVEMENTS

521 WEST 200 NORTH

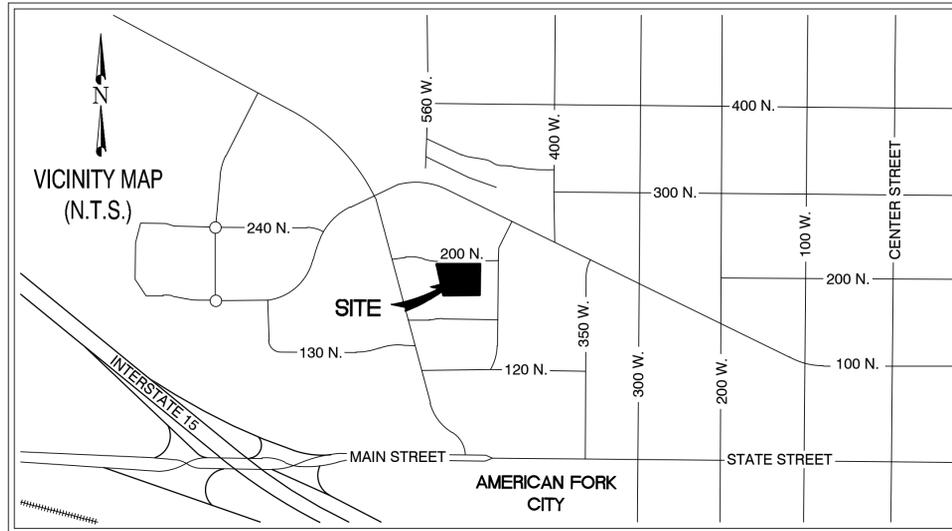
AMERICAN FORK CITY, UTAH 84003

IMPERVIOUS AREA NOTE:
THERE IS NO LANDSCAPE PROPOSED WITH THIS SITE REDEVELOPMENT.

Next Step
 Proceed to the Development
 Review Committee on
02/17/2026

FEBRUARY 6th, 2026

LEGEND			
---	PROPERTY LINE	⊗	EXISTING FIRE HYDRANT
---	EASEMENT LINE	⊗	PROPOSED FIRE HYDRANT
-4240.0	PROPOSED GRADE CONTOURS	⊗	EXISTING STREET LIGHT
-4240.0	EXISTING GRADE CONTOURS	⊗	PROPOSED STREET LIGHT
---	EXISTING CURB	⊗	EXISTING WATER METER
---	PROPOSED CURB AND GUTTER	⊗	EXISTING WATER VALVE
---	PROPOSED CURB WALL	⊗	EXISTING GATE VALVE
---	REVERSE PAN CURB & GUTTER	⊗	EXISTING OVERHEAD POWER POLE
---	EXISTING SEWER	⊗	TOP BACK CONCRETE
---	PROPOSED SEWER	⊗	FINISHED FLOOR
---	EXISTING WATER	⊗	HIGH WATER
---	PROPOSED WATER	⊗	TOP OF GRATE
---	EXISTING FIRE LINE	⊗	TOP OF LID
---	PROPOSED FIRE LINE	⊗	INVERT ELEVATION
---	EXISTING STORM DRAIN	⊗	EXISTING
---	PROPOSED STORM DRAIN	⊗	NATURAL GROUND
---	PROPOSED ROOF DRAIN	⊗	TOP OF ASPHALT
---	EXISTING GAS	⊗	TOP OF CONCRETE
---	PROPOSED GAS	⊗	EDGE OF CONCRETE
---	EXISTING OVERHEAD POWER	⊗	EDGE OF ASPHALT
---	EXISTING UNDERGROUND POWER	⊗	TOP OF WALL
---	PROPOSED UNDERGROUND POWER	⊗	BOTTOM OF WALL
---	EXISTING TELEPHONE LINE	⊗	TOP OF GRAVEL
---	PROPOSED TELEPHONE LINE	⊗	TOP OF LANDSCAPING
---	EXISTING FIBER OPTIC LINE	⊗	TOP OF SIDEWALK
---	PROPOSED FIBER OPTIC LINE	⊗	PROPOSED
---	EXISTING FENCE	⊗	TBC CALLOUT UNLESS OTHERWISE DESIGNATED
---	PROPOSED FENCE	⊗	
---	PROPOSED CONCRETE	⊗	
---	PROPOSED ASPHALT	⊗	
---	PROPOSED LANDSCAPING	⊗	



- PROJECT CONSTRUCTION NOTES:**
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
 - IF SOFT SOILS ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, CONTRACTOR TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT TO MITIGATE.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
 - ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
 - CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
 - CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
 - CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
 - INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
 - INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS. SEE AMERICAN FORK CITY STANDARD PLAN NO. 15.22
 - ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
 - ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
 - FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS
 - ALL WATER LINES TO HAVE A MINIMUM 4' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
 - THRUST BLOCKS TO BE INSTALLED PER AMERICAN FORK CITY PLAN NO 15.21
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
 - THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL SITE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT.

General Notes:

CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.

ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.

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PROJECT CONTACT INFORMATION:		
AF CITY CULINARY WATER	JAY BREMS	(801) 763 3060
AF PRESSURIZED IRRIGATION	JAY BREMS	(801) 763 3060
AF SANITARY SEWER	ASHTON HARDY	(801) 763 3060
AF STORM DRAIN SEWER	ASHTON HARDY	(801) 763 3060
AF FIRE MARSHALL	MAT SACCO	(801) 763 3040
AF CITY INSPECTOR	CHAD SCOTT	(801) 763 3060
AF FIBER	KYLE PETERSEN	(801) 400 2933
AF FLOOD IRRIGATION COMPANY	ERNIE JOHN	(801) 471 6576
TIMPANOGOS SSD	DAVID BARLOW	(801) 756 5231
ROCKY MOUNTAIN POWER	TERIA WALKER	(801) 756 1310
COMCAST	ELYSIA VALDEZ	(801) 401 3017
CENTURY LINK	RYAN ALLRED	(385) 223 0084
ENBRIDGE	TRENT JOHNSON	(801) 853 6548

SHEET INDEX

- CV COVER SHEET
- GN GENERAL NOTES
- C1.0 SITE PLAN
- C2.0 GRADING PLAN
- C2.1 DRAINAGE PLAN
- C3.0 UTILITY PLAN
- C4.0 DETAIL SHEET
- C4.1 DETAIL SHEET
- C6.0 EROSION CONTROL PLAN (SWPPP)
- C6.1 EROSION CONTROL DETAIL SHEET

Re-Submittal Acknowledgment Statement
The Applicant is responsible for reviewing all documents to ensure all comments have been addressed

TW _____ [Applicant Initial] I understand that a Review Cycle is not complete unless and until the applicant replies to all of the required modifications and requests for additional information noted on the previous submittal

TW _____ [Applicant Initial] I hereby acknowledge that this re-submittal addresses all required modifications and requests for additional information noted on the previous submittal.

TW _____ [Applicant Initial] This is the 2nd complete re-submittal of the subdivision constituting the start of the 2nd [Same Number] Review Cycle.

CIVIL ENGINEER:

10718 S BECKSTEAD LANE, SUITE 102
South Jordan, Utah - 801-949-6296

OWNER:

Flood Note

By graphic plotting only, this property is in zone(s) X (Other Areas) of the Flood Insurance Rate Map No. 49049C0168.F, Community Panel No. 168 of 1450, Map No. 49046C0164.F, Community Panel No. 164 of 1450, which bears an Effective Date of June 19, 2020.

Benchmark Info

The Benchmark for the project is the Southeast Corner of Section 15, T.5S. R.1E., SLB&M
 Elevation= 4568.87
 Datum is NAVD 88 derived from UTAH TURN GPS System

 CIVIL ENGINEERING + SURVEYING 10718 S BECKSTEAD LANE, SUITE 102 South Jordan, Utah - 801-949-6296	PROJECT ENGINEER: REVISIONS NO. BY DATE DESIGNER:
DRY CREEK STRUCTURES - SITE IMPROVEMENTS 521 W 200 N, AMERICAN FORK, UT 84003 COVER SHEET	
SHEET NO. CV	
PROJECT ID:	DATE:
E25-013	04/22/25
FILE NAME:	SCALE:
PRJ-AFDC	

GENERAL NOTES

- 1. City of American Fork, A.P.W.A, Utah Chapter and Utah Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of American Fork Item Numbers unless otherwise noted.
2. The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.
3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Road Cut Permits and Notices of Intent (NOI), Building Permits, etc.
4. The Contractor shall notify the City of American Fork, Public Works Department in writing at least 7 working days prior to beginning construction and request a pre-construction meeting. Bond for public improvements and inspection fees must be paid in full prior to requesting a pre-construction meeting.
5. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
6. Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the City of American Fork, Public Works Department, that documents "as built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the construction drawings.
7. The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
8. The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by a License Utah Professional Surveyor as approved by the City Engineer.
9. Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
10. The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
11. Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
12. Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) must be approved by the City Engineer.
13. All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
14. All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
15. All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of American Fork. Precast concrete products without proof of inspection shall not be approved for installation.
16. All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during nonworking hours.
17. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.
18. All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 - inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater.
19. Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.
20. Permits to construct in the right-of-way of existing streets must be obtained from the City of American Fork, Public Works Department before commencing construction.
21. The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
22. Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as required by the City Engineer.
23. The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc. shall be provided according to the approved construction drawings and the City of American Fork standard construction drawings.
24. Any modification to the work shown on drawings must have prior written approval by the City Engineer.
25. Traffic control and other regulatory signs shall comply with the Utah Department of Transportation Traffic Control Guidelines and MUTCD Manual, current edition
26. Public street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a green background.
27. Private street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a blue background

UTILITIES

- 1. The following utilities are known to be located within the limits of this project:
COMPANY CONTACT PHONE
AF CITY CULINARY WATER JAY BREMS (801) 763 3060
AF PRESSURIZED IRRIGATION JAY BREMS (801) 763 3060
AF SANITARY SEWER ASHTON HARDY (801) 763 3060
AF STORM DRAIN SEWER ASHTON HARDY (801) 763 3060
AF FIRE MARSHALL MAT SACCO (801) 763 3040
AF CITY INSPECTOR CHAD SCOTT (801) 763 3060
AF FIBER KYLE PETERSEN (801) 400 2933
AF FLOOD IRRIGATION COMPANY ERNIE JOHN (801) 471 6576
TIMPANOGOS SSD DAVID BARLOW (801) 756 5231
ROCKY MOUNTAIN POWER TERIA WALKER (801) 756 1310
COMCAST ELYSIA VALDEZ (801) 401 3017
CENTURY LINK RYAN ALLRED (385) 223 0084
ENBRIDGE TRENT JOHNSON (801) 853 6548
2. The Contractor shall give notice of intent to construct to Blue Stake (telephone number 800_662-4111) at least 2 working days before start of construction.
3. The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of American Fork and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
4. Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
5. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.

TRAFFIC CONTROL

- 1. Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Utah Department of Transportation, Traffic Control Guidelines or Manual of Uniform Traffic Control Devices, current edition.
2. All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer.
3. At all other hours the Contractor shall maintain minimum one - lane two - way traffic. Traffic circulation must be supervised by a Certified Flagger.
4. Steady - burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
5. Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles.
6. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein.
7. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.
8. Traffic Control requiring road closures and/ or detouring must be approved by the City Council.

EROSION AND SEDIMENT CONTROL

- 1. The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Utah DWQ.
2. The NOI must be submitted to DWQ 45 days prior to the start of construction and may entitle coverage under the Utah DWQ General Permit for Storm Water Discharges associated with construction activity. A project location map must be submitted with the NOI.
3. A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times.
4. A UPDES Storm water Discharge Permit may be required. The Contractor shall be considered the Permittee.
5. The Contractor shall provide sediment control at all points where storm water runoff leaves the site, including waterways, overland sheet flow, and storm sewers.
6. Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
7. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
8. Disturbed areas that will remain un-worked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance.
9. Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

WATER LINE

- 1. All water line materials shall be provided and installed according to current specifications of the City of American Fork, Water Department.
2. All public water pipe with a diameter 3 inches to 8 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54.
3. Only fire hydrants conforming to City of American Fork standards will be approved for use.
4. Public water lines shall be disinfected by the City of American Fork, Water Department. Requests for water line chlorination shall be made through the City of American Fork, Water Department. The cost for chlorination shall be paid for by the Contractor.
5. All water lines shall be disinfected according to City of American Fork Standard specifications. Special attention is directed to applicable sections of American Water Works Association specification C_651, particularly for flushing (Section 5) and for chlorinating valves and fire hydrants (Section 7).
6. Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications. When water lines are ready for disinfection, the Contractor shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and need to be disinfected, to the City of American Fork, Water Department.
7. The Contractor shall be responsible for all costs associated with the disinfection of all water lines construction per this plan. Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications.
8. The Contractor shall paint all fire hydrants according to City of American Fork standards. The cost of painting fire hydrants shall be included in the contract unit price for fire hydrants.
9. No water taps or service connections (e.g., to curb stops or meter pits) may be issued until adjacent public water lines serving the construction site have been disinfected by the City of American Fork, Water Department and have been accepted by the Public Works Department.
10. The Contractor shall notify the City of American Fork, Water Department at (801) 763 3060 at least 24 hours before tapping into existing water lines.
11. All water main stationing shall be based on street centerline stationing.
12. All bends, joint deflections and fittings shall be backed with concrete per City of American Fork standards.
13. The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of water service. Interruption of water service shall be minimized and must be approved by the City Engineer.
14. All water lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of water line. Water lines shall be set deeper at all points where necessary to clear existing or proposed utility lines or other underground restrictions by a minimum of 18 inches.

SANITARY SEWER

- 1. Sanitary sewage collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of American Fork, Public Works Department and the Utah Department of Health Code and Regulations.
2. The minimum requirements for sanitary sewer pipe with diameters 15 inches and smaller shall be reinforced concrete pipe ASTM C76 Class 3, or PVC sewer pipe ASTM D3034, SDR 35.
3. Pipe for 6-inch diameter house service lines shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used at depths greater than 28 feet. Pipe materials and related structures shall be shop tested in accordance with City of American Fork Construction Inspection Division quality control requirements.
4. All manhole lids shall be provided with continuous self-sealing gaskets.
5. The approved construction drawings shall show where bolt-down lids are required.
6. Sanitary sewer manholes shall be precast concrete or as approved by the City Engineer and conform to the City of American Fork sanitary manhole standard drawing. Manhole lids shall include the word SEWER.
7. All PVC sewer pipes shall be deflection tested no less than 60 days after completion of backfilling operations.
8. At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
9. Visible leaks or other defects observed or discovered during TV inspection shall be repaired to the satisfaction of the Engineer.
10. Roof drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to the American Fork Code of Ordinances.
11. All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers, to the greatest extent practicable.
12. Where sanitary sewers cross water mains or other sewers or other utilities, trench backfill shall be placed between the pipes crossing and shall be compacted granular material according to the city Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
13. Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price bid for the related items.
14. The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes.
15. All sewer lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of sewer line.

STORM SEWER

- 1. All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro - seeded and hydro - mulched according to the City of American Fork Standard Specifications.
2. Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
3. Granular backfill shall be compacted granular material according to American Fork City Standard Specifications.
4. All public storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
5. Headwalls and end walls shall be required at all storm sewer inlets or outlets to and from storm water management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and/or end walls surfaces.
6. Storm inlets or catch basins shall be channelized and have bicycle safe grates. Manhole lids shall include the word STORM.
7. Storm sewer outlets greater than 18 inches in diameter accessible from storm water management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer.

STRIPING AND SIGNING

- 1. All striping must be done following Utah Department of Transportation guidelines and MUTCD Manual recommendations, current edition.
2. All signing must be done following MUTCD Manual recommendations, current edition.
3. Only sand-blasting is allowed for removal of existing striping.
4. Contractor is responsible for removal of conflicting existing striping.
5. Materials used for striping must comply with the Utah Department of Transportation standard specifications.

MAIL DELIVERY

- 1. The Contractor shall be responsible to ensure that US Mail delivery within the project limits is not disrupted by construction operations.
2. This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location.
3. Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.
4. Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.

USE OF FIRE HYDRANTS

- 1. The Contractor shall make proper arrangements with the American Fork City, Water Department for the use of fire hydrants when used for work performed under this project's approval.

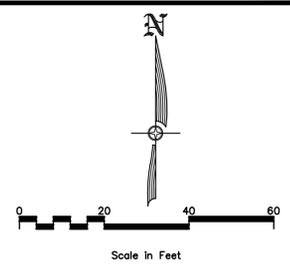
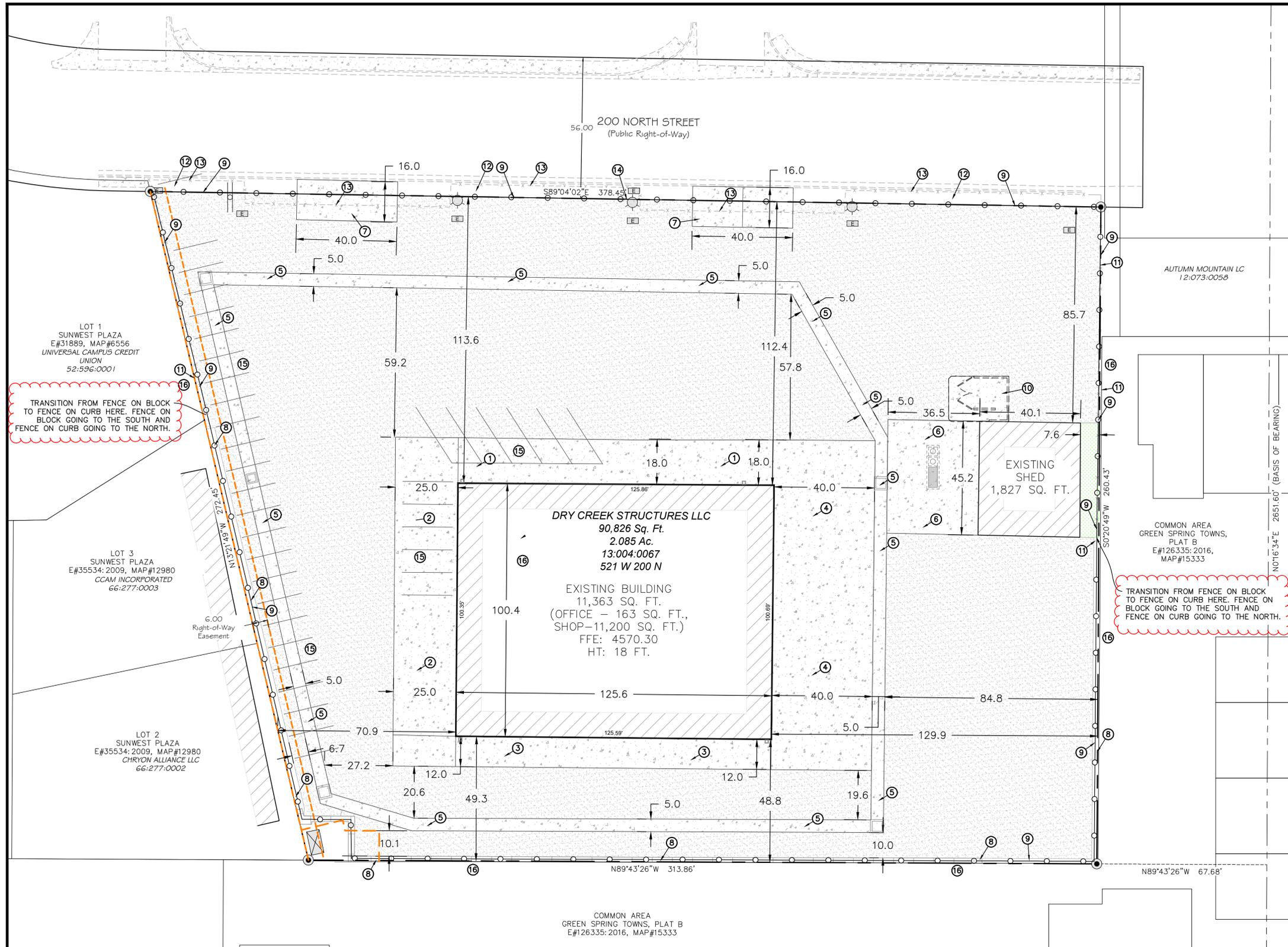
Table with columns for NO, REVISIONS, BY, DATE

CIVIL ENGINEERING SURVEYING logo and address: 10718 S BECKSTEAD LANE, SUITE 102, South Jordan, Utah - 801-949-6296

DRY CREEK STRUCTURES - SITE IMPROVEMENTS
521 W 200 N, AMERICAN FORK, UT 84003
GENERAL NOTES



Table with project details: SHEET NO. GN, PROJECT ID: E25-013, DATE: 04/22/25, FILE NAME: PRJ-AFDC, SCALE: 1"=20'



SITE PLAN KEYNOTES

- 1 INSTALL 18' CONCRETE APRON. #4/#5 BARS 24" O.C. CUT 9'X9' CONST. JOINTS.
- 2 INSTALL 25' CONCRETE APRON. #4/#5 BARS 24" O.C. CUT 9'X9' CONST. JOINTS.
- 3 INSTALL 12' CONCRETE APRON. #5/#6 BARS 12" O.C. CUT 6' (LONG.) X 9' (TRANS.) CONST. JOINTS.
- 4 INSTALL 40' CONCRETE APRON. #4/#5 BARS 24" O.C. CUT 10'X10' CONST. JOINTS.
- 5 INSTALL 5' CONCRETE WATERWAY AS PER DETAIL 2/C4.0.
- 6 INSTALL CONCRETE PAD IN FRONT OF EXISTING SHED.
- 7 INSTALL CONCRETE DRIVEWAY.
- 8 INSTALL PRECAST CONCRETE BLOCK WALL SEE DETAIL 5 & 6/C4.0.
- 9 INSTALL 6" CHAINLINK FENCE ON PROPERTY LINE WITH SECURITY GATES AT SITE ACCESS LOCATIONS. SEE DETAIL 8/C4.0. IF FENCE ALREADY EXISTS AND IS IN GOOD CONDITION IT DOES NOT NEED TO BE REPLACED.
- 10 PROPOSED TRASH ENCLOSURE AS PER DETAIL ON SHEET C4.1.
- 11 PROPOSED 8" WIDE X 12" TALL CURB WITH FENCE ON TOP.
- 12 ASPHALT PAVING OR LANDSCAPE ROCK.
- 13 REMOVE EXISTING CHAINLINK FENCE.
- 14 INSTALL FIRE DEPT KNOX BOX WITH GATE KEYS OR CODE PER CITY REGS
- 15 INSTALL PARKING LOT STRIPING MATCHING PREVIOUS PARKING LAYOUT
- 16 EXISTING VINYL FENCES TO REMAIN.

LOT 1
SUNWEST PLAZA
E#31889, MAP#6556
UNIVERSAL CAMPUS CREDIT UNION
52:596:0001

LOT 3
SUNWEST PLAZA
E#35534:2009, MAP#12980
CCAM INCORPORATED
66:277:0003

LOT 2
SUNWEST PLAZA
E#35534:2009, MAP#12980
CHRYON ALLIANCE LLC
66:277:0002

DRY CREEK STRUCTURES LLC
90,826 Sq. Ft.
2.085 Ac.
13:004:0067
521 W 200 N

EXISTING BUILDING
11,363 SQ. FT.
(OFFICE - 163 SQ. FT.,
SHOP - 11,200 SQ. FT.)
FFE: 4570.30
HT: 18 FT.

EXISTING SHED
1,827 SQ. FT.

COMMON AREA
GREEN SPRING TOWNS, PLAT B
E#126335:2016, MAP#15333

AUTUMN MOUNTAIN LC
12:073:0058

COMMON AREA
GREEN SPRING TOWNS,
PLAT B
E#126335:2016,
MAP#15333

TRANSITION FROM FENCE ON BLOCK TO FENCE ON CURB HERE. FENCE ON BLOCK GOING TO THE SOUTH AND FENCE ON CURB GOING TO THE NORTH.

Benchmark Info

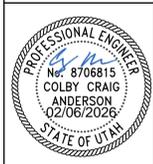
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Elevation= 4568.87
Datum is NAVD 88 derived from UTAH TURN GPS System



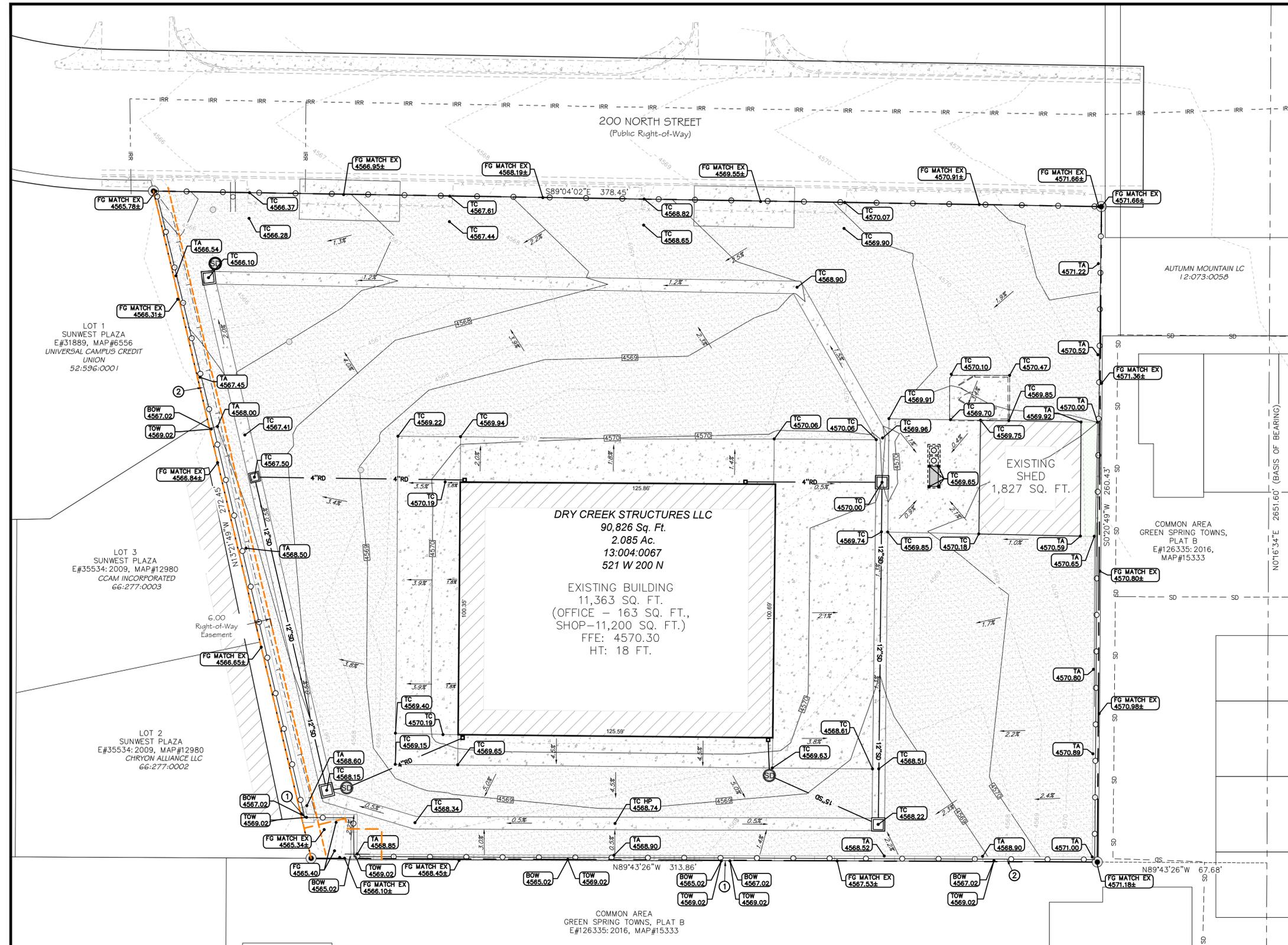
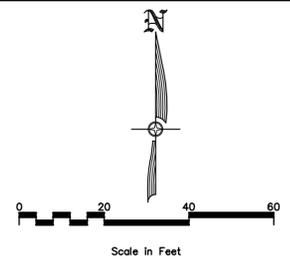
NO	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
CIR
10718 S BECKSTEAD LANE, SUITE 102
South Jordan, Utah - 801-949-6296
DESIGNER: PROJECT ENGINEER:

DRY CREEK STRUCTURES - SITE IMPROVEMENTS
521 W 200 N, AMERICAN FORK, UT 84003
SITE PLAN



SHEET NO. C1.0
PROJECT ID: E25-013
DATE: 04/22/25
FILE NAME: PRJ-AFDC
SCALE: 1"=20'



GRADING PLAN KEYNOTES

- ① STEP PROPOSED BLOCK WALL.
- ② END PROPOSED BLOCK WALL.

NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
CIR
 10718 S BECKSTEAD LANE, SUITE 102
 South Jordan, Utah - 801-949-6296
 DESIGNER: PROJECT ENGINEER:

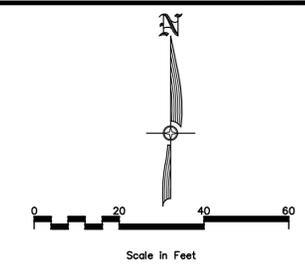
DRY CREEK STRUCTURES - SITE IMPROVEMENTS
 521 W 200 N, AMERICAN FORK, UT 84003
GRADING PLAN



Benchmark Info
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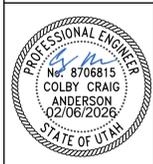
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 PROJECT ID: E25-013
 DATE: 04/22/25
 FILE NAME: PRJ-AFDC
 SCALE: 1"=20'



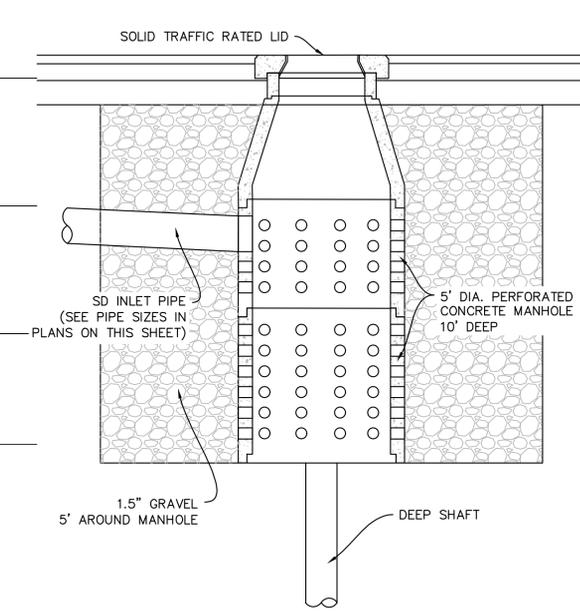
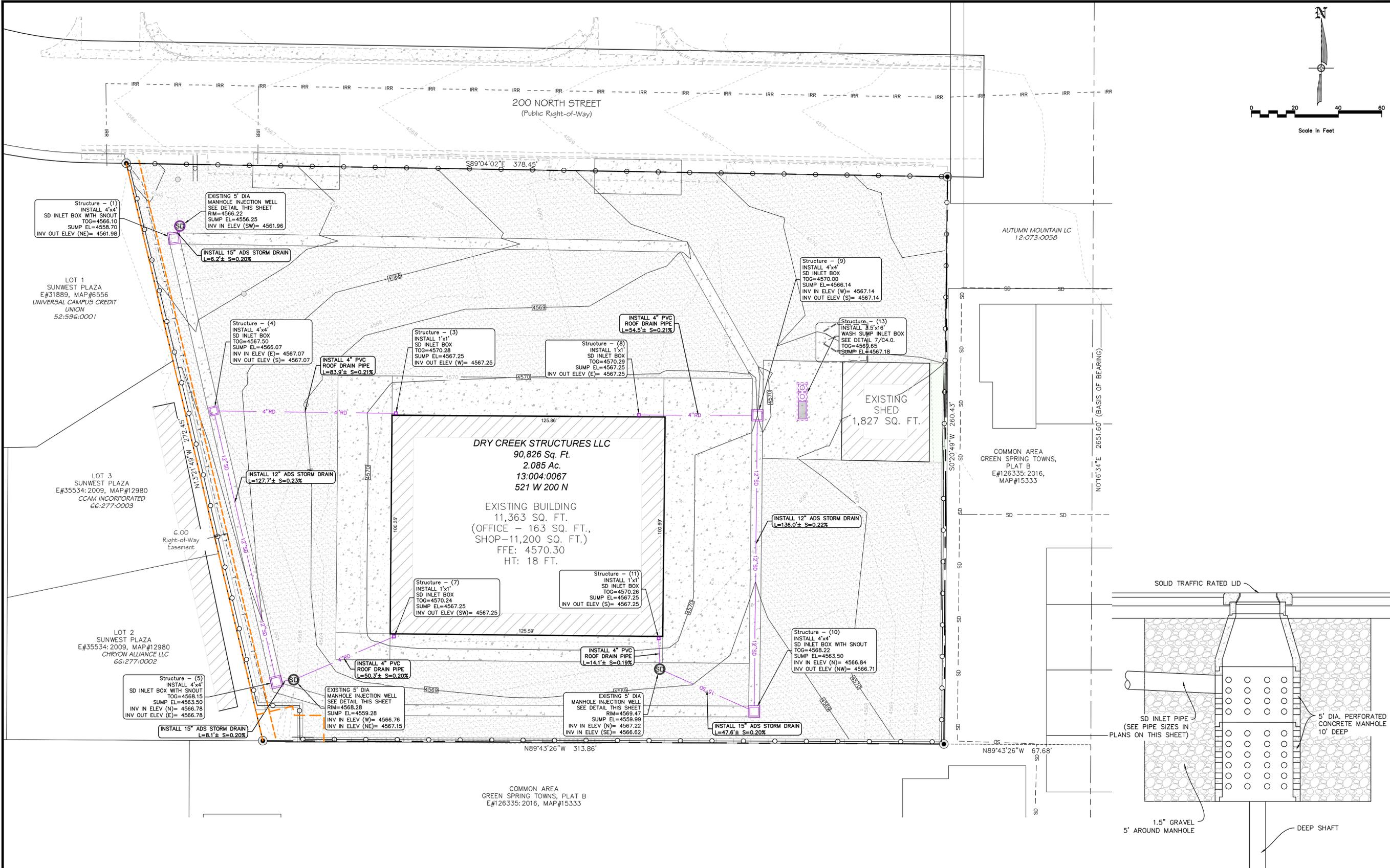
NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
CIR
 10718 S BECKSTEAD LANE, SUITE 102
 South Jordan, Utah - 801-949-6296
 PROJECT ENGINEER:

DRY CREEK STRUCTURES - SITE IMPROVEMENTS
 521 W 200 N, AMERICAN FORK, UT 84003
 DRAINAGE PLAN



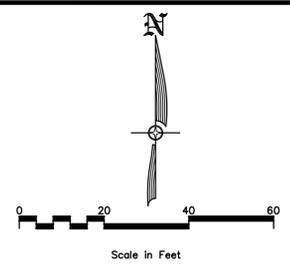
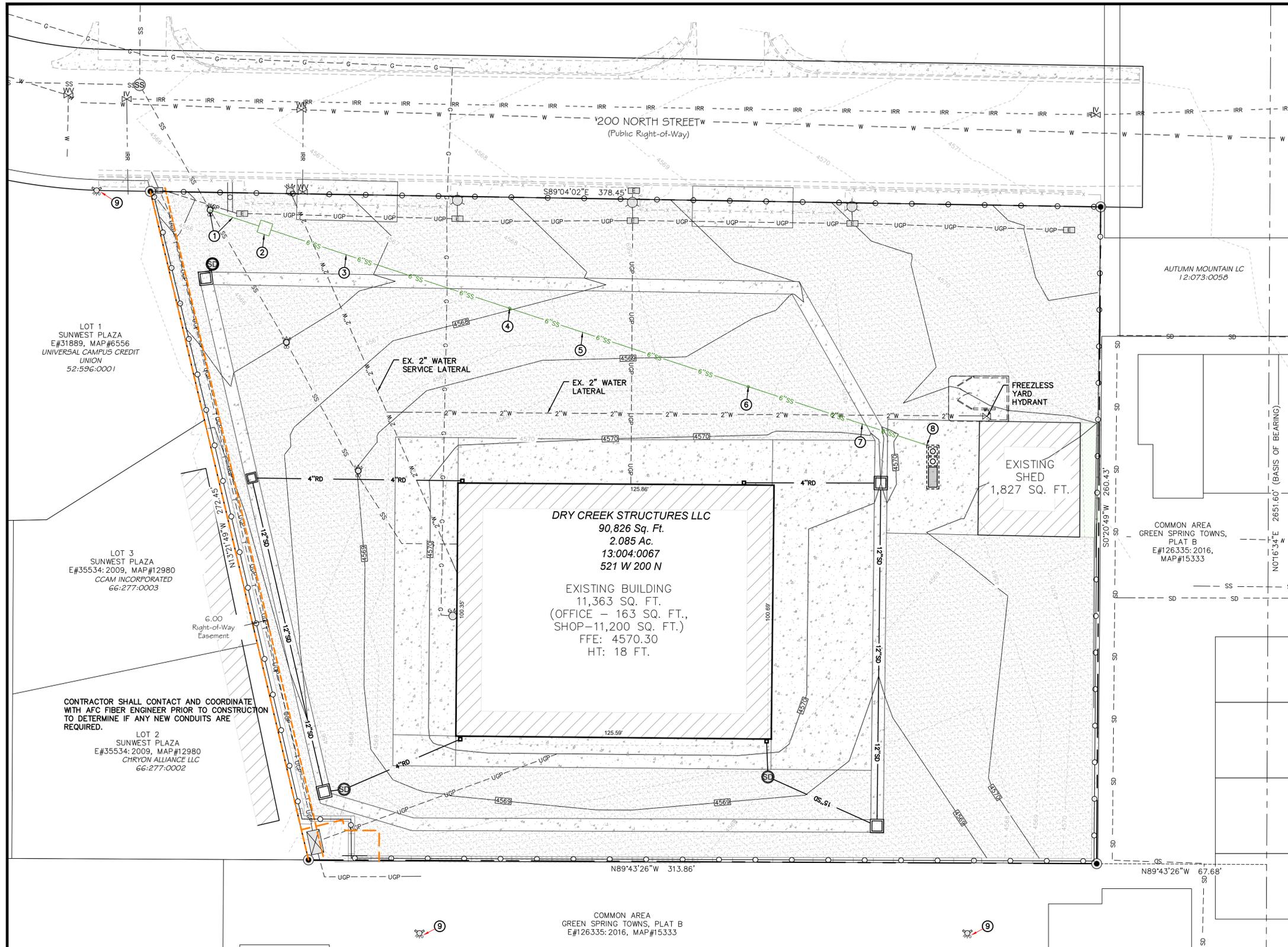
SHEET NO. **C2.1**
 PROJECT ID: E25-013
 DATE: 04/22/25
 FILE NAME: PRJ-AFDC
 SCALE: 1"=20'



EXISTING STORM DRAIN INJECTION WELL DETAIL
 N.T.S.

Benchmark Info
 The Benchmark for the project is the Southeast Corner of Section 15, T.6S. R.1E., SLB&M
 Elevation= 4568.87'
 Datum is NAVD 88 derived from UTAH TURN GPS System





UTILITY PLAN KEYNOTES

- ① CONNECT TO EXISTING SEWER AT I.E.=4563.85 AND INSTALL 20' OF 4" PVC SEWER PIPE, S=2.8%.
- ② INSTALL SEWER SAMPLING MANHOLE PER TSSD REQUIREMENTS. SEE DETAIL SHEET C4.1. RIM=4566.49, I.E.(IN)=4564.60, I.E.(OUT)=4564.40
- ③ INSTALL 100'± OF 6" PVC SEWER PIPE, S=1.0%.
- ④ INSTALL 6" CLEANOUT. TOL=4567.95, I.E.=4565.60
- ⑤ INSTALL 100'± OF 6" PVC SEWER PIPE, S=1.0%.
- ⑥ INSTALL 6" CLEANOUT. TOL=4569.52, I.E.=4566.60
- ⑦ INSTALL 75'± OF 6" PVC SEWER PIPE, S=1.0%.
- ⑧ CONNECT TO EXISTING GREASE TRAP. TOL=4569.95, I.E.=4567.35
- ⑨ EXISTING FIRE HYDRANT.

UTILITIES NOTES:

EXISTING UTILITIES TO BE PROTECTED IN PLACE. IF ANY UTILITIES ARE ENCOUNTERED AND THE CONDITION NEEDS TO BE VERIFIED, NOTIFY ENGINEER

CONTRACTOR TO CONTACT THE FOLLOWING UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. EXACT LOCATION OF THESE UTILITIES TO BE DESIGNED AND COORDINATED BY THE FOLLOWING COMPANIES.

UTAH POWER: 801-576-6226
ENBRIDGE GAS: 801-324-3448
CENTURY LINK: 801-974-8112

ALL LATERAL CONNECTIONS SHALL BE INSERT-A-TEE OR WYE AT TEN O'CLOCK OR TWO O'CLOCK POSITIONING TO THE CENTER OF THE MAINLINE.

ALL SANITARY SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.

CONTRACTOR TO NOTIFY CITY ENGINEER AND OWNER IF RUTTING OR PUMPING OCCURS DURING CONSTRUCTION ACTIVITIES.

CONTRACTOR SHALL CONTACT AND COORDINATE WITH AFC FIBER ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY NEW CONDUITS ARE REQUIRED.

LOT 1
SUNWEST PLAZA
E#31889, MAP#6556
UNIVERSAL CAMPUS CREDIT UNION
52:596:0001

LOT 3
SUNWEST PLAZA
E#35534:2009, MAP#12980
CCAM INCORPORATED
66:277:0003

CONTRACTOR SHALL CONTACT AND COORDINATE WITH AFC FIBER ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY NEW CONDUITS ARE REQUIRED.

LOT 2
SUNWEST PLAZA
E#35534:2009, MAP#12980
CHRYON ALLIANCE LLC
66:277:0002

EX. 2" WATER SERVICE LATERAL

DRY CREEK STRUCTURES LLC
90,826 Sq. Ft.
2.085 Ac.
13:004:0067
521 W 200 N

EXISTING BUILDING
11,363 SQ. FT.
(OFFICE - 163 SQ. FT.,
SHOP - 11,200 SQ. FT.)
FFE: 4570.30
HT: 18 FT.

EXISTING SHED
1,827 SQ. FT.

AUTUMN MOUNTAIN LC
12:073:0058

COMMON AREA
GREEN SPRING TOWNS,
PLAT B
E#126335:2016,
MAP#15333

COMMON AREA
GREEN SPRING TOWNS, PLAT B
E#126335:2016, MAP#15333

NO	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
CIR
10718 S BECKSTEAD LANE, SUITE 102
South Jordan, Utah - 801-949-6296
DESIGNER: PROJECT ENGINEER:

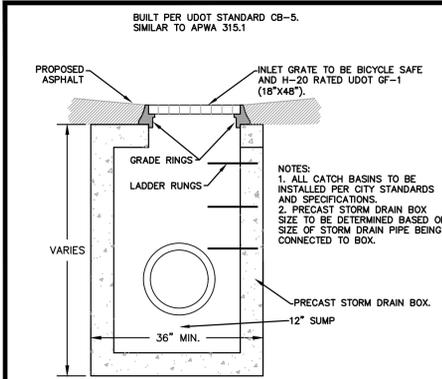
DRY CREEK STRUCTURES - SITE IMPROVEMENTS
521 W 200 N, AMERICAN FORK, UT 84003
UTILITY PLAN



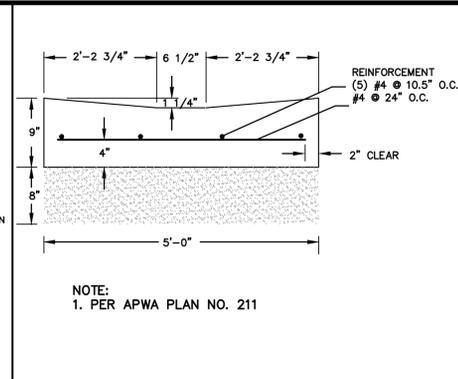
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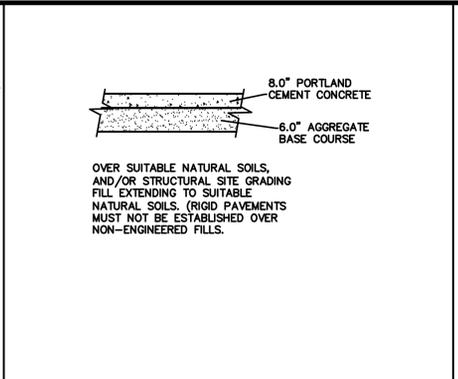
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PROJECT ID: DATE: E25-013 8.45.24 4569
FILE NAME: SCALE: PRJ-AFDC 1:45=1 4569



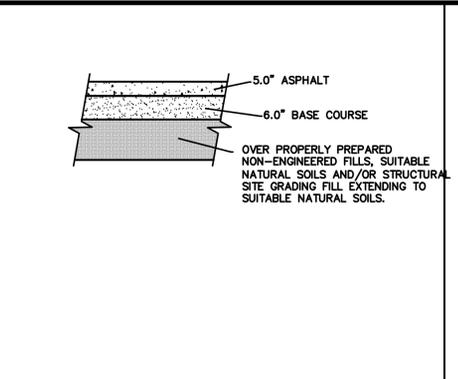
1 STANDARD STORM DRAIN INLET BOX
N.T.S.



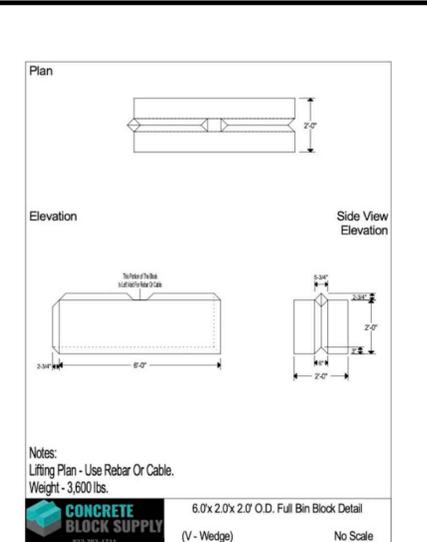
2 5'-0" ROLL GUTTER
N.T.S.



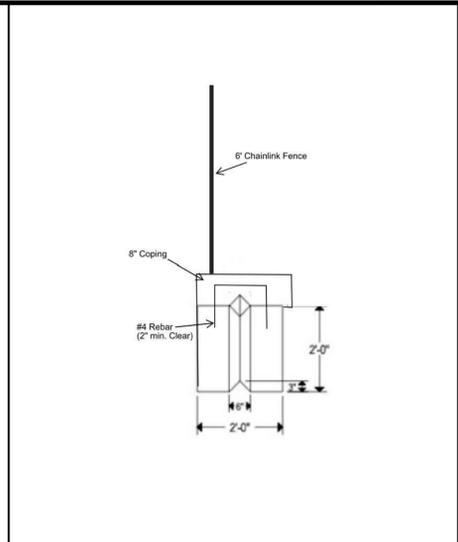
3 CONCRETE PAVEMENT SECTION
N.T.S.



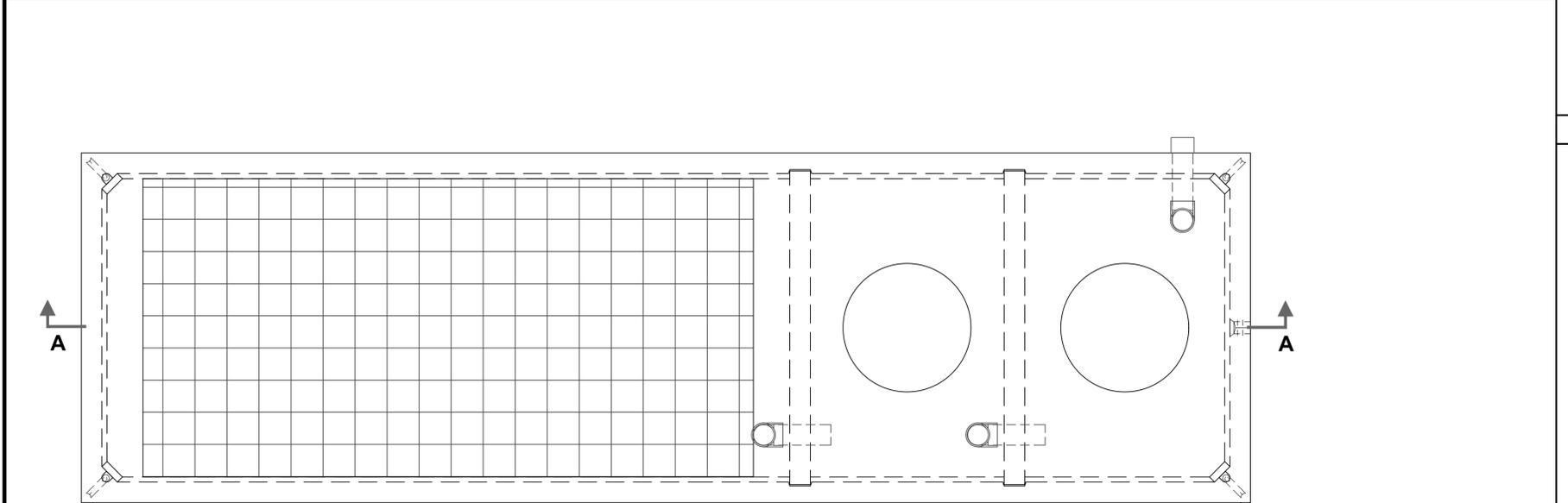
4 ASPHALT PAVEMENT SECTION
N.T.S.



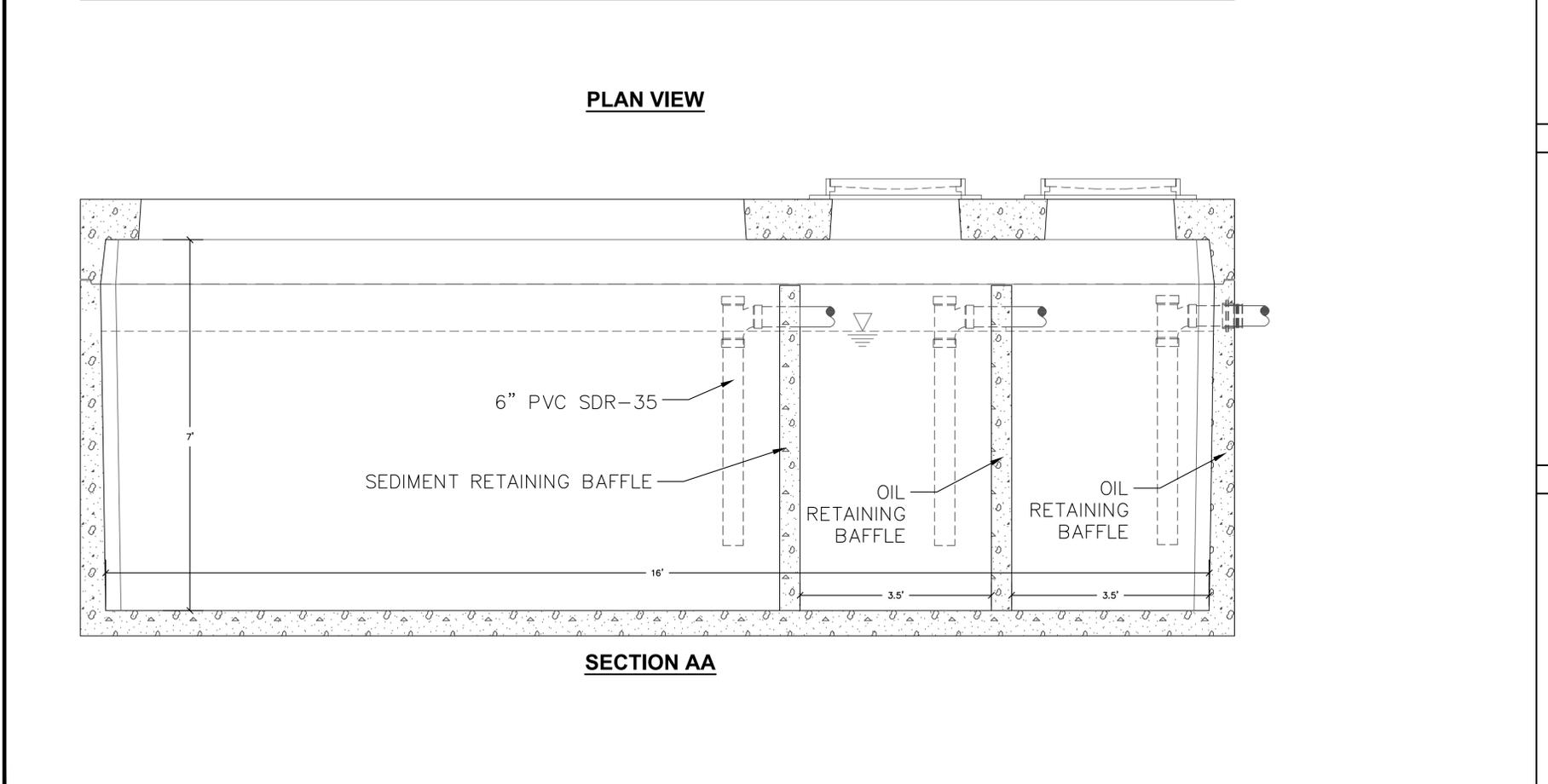
5 BLOCK WALL DETAIL
N.T.S.



6 FENCE ON BLOCK WALL DETAIL
N.T.S.

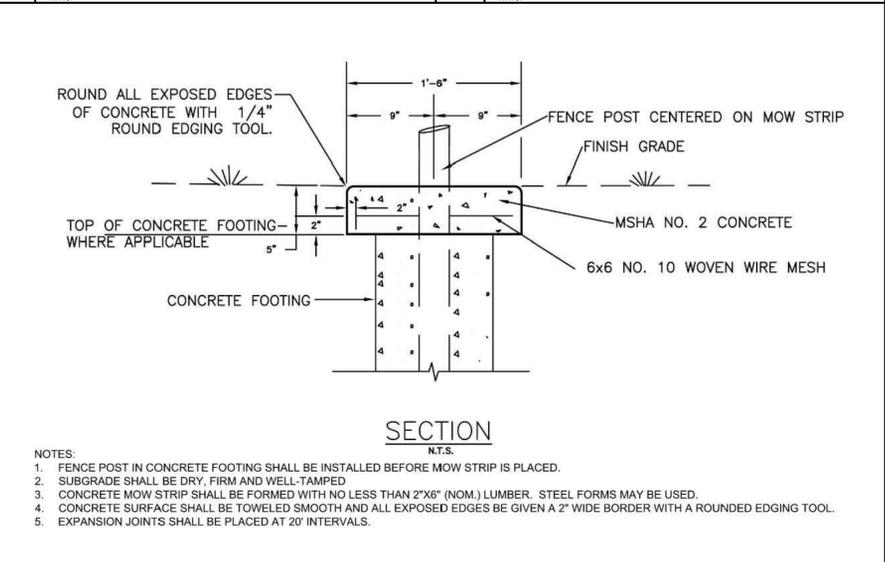


PLAN VIEW

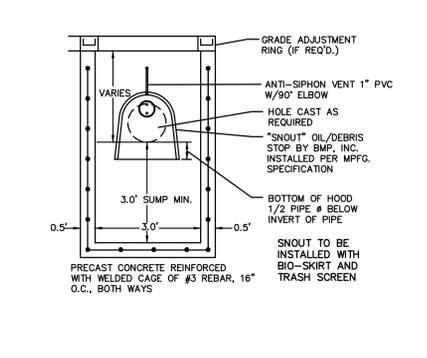


SECTION AA

7 WASH SUMP INLET BOX WITH SEDIMENT-OIL-WATER SEPARATOR
N.T.S.



8 MOW STRIP / FENCE DETAIL
N.T.S.



9 SNOOT OIL & DEBRIS STOP
N.T.S.

NO.	REVISIONS	BY	DATE

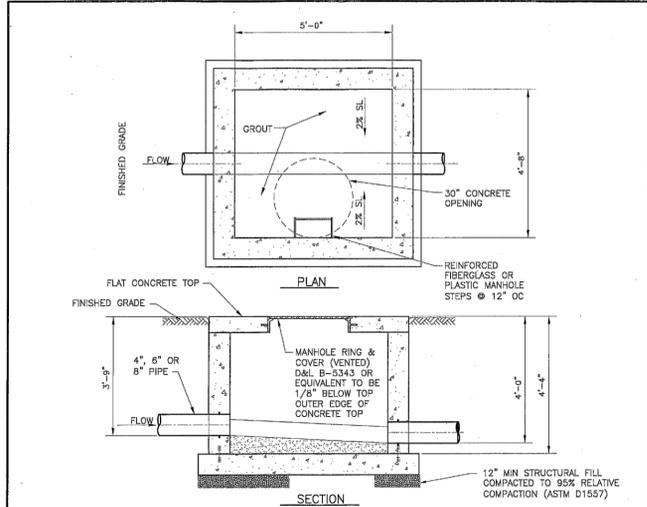
CIVIL ENGINEERING + SURVEYING
CIR
 10718 S BECKSTEAD LANE, SUITE 102
 South Jordan, Utah - 801-949-6296
 PROJECT ENGINEER:
 DESIGNER:

DRY CREEK STRUCTURES - SITE IMPROVEMENTS
 521 W 200 N, AMERICAN FORK, UT 84003
 DETAIL SHEET



SHEET NO.
C4.0
 PROJECT ID: E25-013
 DATE: 04/22/25
 FILE NAME: PRJ-AFDC
 SCALE:





- NOTES:
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
 - REINFORCING STEEL SHALL BE ASTM A615 GRADE 60.
 - THE CONCRETE COVER OVER THE REINFORCING STEEL SHALL BE A MINIMUM OF 1 1/2-INCH.
 - THE STRUCTURE SHALL BE DESIGNED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF UTAH.
 - THE STRUCTURE SHALL AT MINIMUM MEET THE FOLLOWING DESIGN CRITERIA:
 - WALLS DESIGNED FOR SATURATED EQUIVALENT FLUID AT-REST SOIL PRESSURE OF 120 PCF PLUS TRUCK SURCHARGE.
 - TRUCK LOADING USING AN AASHTO H-20 TRUCK LOAD.
 - PIPING PER CITY OR DISTRICT REQUIREMENTS.
 - ALL MANHOLES SHALL HAVE REINFORCED FIBERGLASS OR PLASTIC MANHOLE STEPS.
 - ALL MANHOLES MUST HAVE ROUND, NOTCHED, VENTED LIDS WITH PICK HOLES FOR REMOVAL.
 - THE MINIMUM WIDTH OF CHANNEL WITHIN MANHOLE TO BE DIAMETER OF PIPE.
 - CONTACT DISTRICT INSPECTOR 48 HOURS (2 BUSINESS DAYS) PRIOR TO CONSTRUCTION.

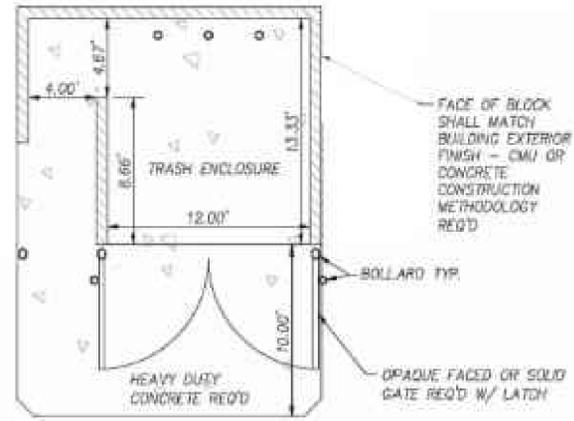
5									
4									
3									
2									
1									
0									

TIMPANOGOS SPECIAL SERVICES DISTRICT
SAMPLING MANHOLE
4FT OR LESS

DATE: AUG 07
DRAWING NUMBER: D-6

CITY STANDARD - DUMPSTER/ TRASH ENCLOSURE STANDARD 17.5.121.B

MODIFIED DETAIL FOR THIS PROJECT



- NOTES:
- ENCLOSURE SHALL BE 6" TALL MIN.
 - ENCLOSURE EXTERIOR FINISH SHALL MATCH THE EXTERIOR OF THE BUILDING FOR WHICH IT SUPPORTS.
 - ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE, AS SUCH, CITY ENGINEER/CITY PLANNER SHALL HAVE THE ABILITY TO REVIEW AND RECOMMEND APPROPRIATE SIZE OF A GIVEN ENCLOSURE FOR A SPECIFIC USE.
 - A VARIANCE FROM THE REQUIREMENT OF AN ENCLOSURE CAN BE GRANTED BY THE LAND USE AUTHORITY FOR A GIVEN ZONE IF IT CAN BE DEMONSTRATED THAT THE USE FOR THE SITE DOES NOT REQUIRE MORE THAN A TRADITIONAL CURB SIDE PICK UP CONTAINER. CURB SIDE CONTAINER MUST BE AVAILABLE IN THAT AREA TO QUALIFY FOR THIS EXCEPTION.



NO.	REVISIONS	BY	DATE

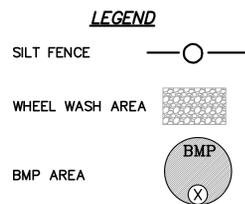
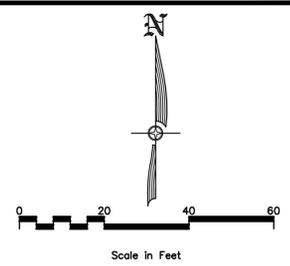
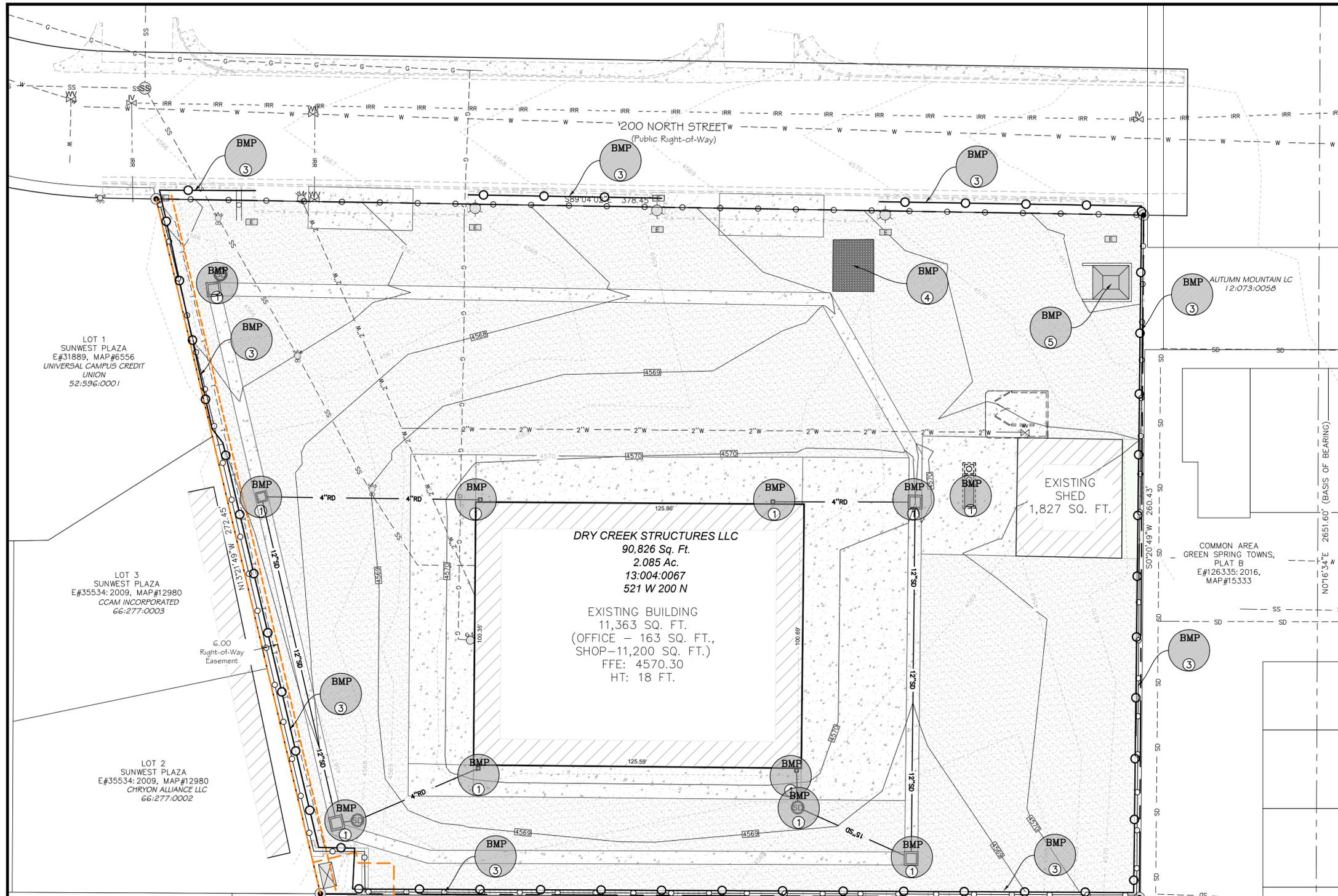
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521 W 200 N, AMERICAN FORK, UT 84003
DETAIL SHEET



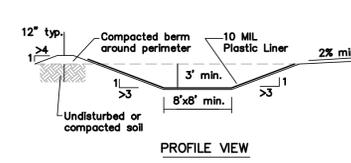
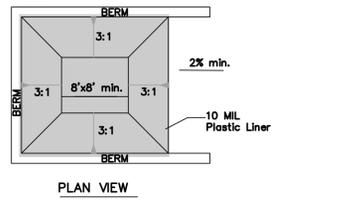
SHEET NO.	C4.1
PROJECT ID	E25-013
DATE	04/22/25
FILE NAME	PRJ-AFDC
SCALE	





- BMP CALLOUTS**
- PLACE A SILT FENCE AROUND THE PERIMETER OF THE INLET, ONCE PAVEMENT AND/OR CURB HAS BEEN INSTALLED PLACE GRAVEL BAGS AROUND THE INLET. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNIMPROVED SURFACES.
NOTE: IN HIGH TRAFFIC AREAS CONTRACTOR TO USE INSERT FILTER FABRIC. IF INLET HAS CURB OPENING, THE FILTER FABRIC IS TO BE EXTENDED UP TO COVER THE CURB OPENING AND GRAVEL BAGS PLACED IN CUTTING AT EACH SIDE OF OPENING TO KEEP FILTER FABRIC SNUG AGAINST CURB WALL.
 - PLACE GRAVEL BAGS AS NECESSARY TO PREVENT SEDIMENT FROM DRAINING INTO EXISTING CATCH BASINS. *SEE NOTE IN CALLOUT 1.*
 - INSTALL TYPICAL SILT FENCE, SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW. INSTALLATION TO BE DONE SO AS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
NOTE: CONTRACTOR TO USE VEGETATIVE BUFFER AND OR CUT BACK INSTEAD OF SILT FENCE WHERE POSSIBLE.
 - CONTRACTOR TO INSTALL A MINIMUM OF 6" DEEP GRAVEL (3" TO 6") OF SUFFICIENT SIZE (MINIMUM OF 50' IN LENGTH AND 20' WIDE) AS TO PROVIDE A WHEEL WASH AREA TO PREVENT THE TRACKING OF MUD OFFSITE. THE LOCATION OF WHEEL WASH MAY VARY FROM LOCATION SHOWN ON PLANS SO AS TO PROVIDE THE BEST PROTECTION AGAINST TRACKING MUD OFFSITE. CONTRACTOR TO MAINTAIN AND CLEAN WHEEL WASH AREA AS NEEDED TO PREVENT THE TRACKING OF MUD OFFSITE.
 - CONTRACTOR TO INSTALL CONCRETE WASHOUT AREA. THE LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.

- WASHOUT AREA TO BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8', SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER AND THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- USE EXCAVATED MATERIAL FOR BERM CONSTRUCTION.
- INSTALL 10 MIL PLASTIC LINER OVER THE ENTIRE PIT AREA.



CONCRETE WASHOUT AREA

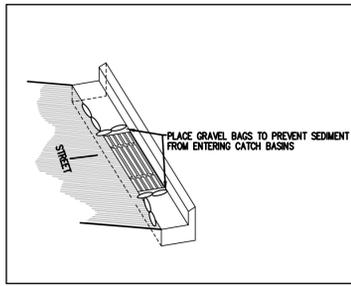
GRAVEL BAG BARRIER

DEFINITION: TEMPORARY SEDIMENT BARRIER CONSISTING OF A ROW OF GRAVEL BAGS.

PURPOSE: TO FILTER STORM WATER RUNOFF FROM UP-GRADE DISTURBED AREA AND TRAP SEDIMENT ON SITE.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
- REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
- REALIGN BAGS AS NECESSARY TO PROVIDE CONTINUOUS BARRIER AND FILL GAPS.



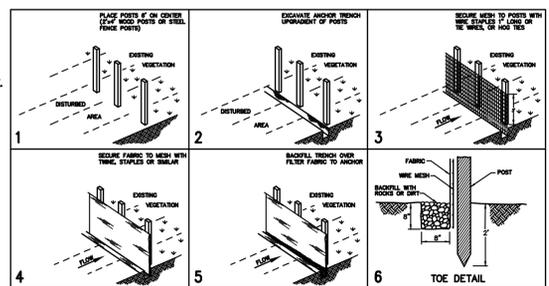
SILT FENCE

DEFINITION: A TEMPORARY SEDIMENT BARRIER CONSISTING OF FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS AND ENTRENCHED.

PURPOSE: TO FILTER STORM WATER RUNOFF FROM UPGRADIENT DISTURBED AREA AND TRAP SEDIMENT ON SITE.

APPLICATION:

- PERIMETER CONTROL: PLACE FENCE AT DOWNGRADENT LIMITS OF DISTURBANCE
- SEDIMENT BARRIER: PLACE FENCE AT TOE OF SLOPE OR SOIL STOCKPILE
- PROTECTION OF EXISTING WATERWAYS: PLACE FENCE AT TOP OF STREAM BANK
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS
- BUILDING SITES: PLACE FENCE ON THE DOWNHILL LOCATION OF ALL BUILDING SITES
- ROADWAYS: PLACE FENCE ON THE DOWNHILL LOCATION OF ALL ROADWAY GRADED AREAS



- INSTALLATION:**
- PLACE POSTS 6 FOOT ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
 - SECURE WIRE MESH (14 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY WIRE STAPLES 1 INCH LONG, THE WIRES OR HOG RINGS.
 - CUT FABRIC TO REQUIRED WIDTH. UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
 - BACKFILL TRENCH OVER FILTER FABRIC TO ANCHOR.
 - SPICES TO OCCUR ONLY @ POSTS W/A MIN 6" OVERLAP AND SECURE SEAL.
- MAINTENANCE:**
- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 - LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING FENCE.
 - REPAIR OR REPLACE DAMAGED AREAS OF THE FENCE AND REMOVE ACCUMULATED SEDIMENT.
 - REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
 - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING

CIR

10718 S BECKSTEAD LANE, SUITE 102
South Jordan, Utah - 801-949-6296

DRY CREEK STRUCTURES - SITE IMPROVEMENTS

521 W 200 N, AMERICAN FORK, UT 84003

EROSION CONTROL PLAN (SWPPP)



SHEET NO. C6.0

PROJECT ID: E25-013

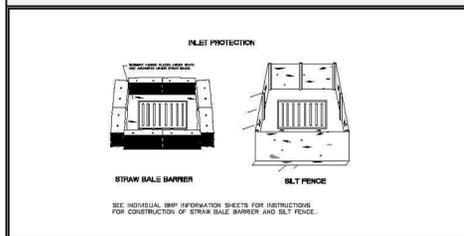
DATE: 04/22/25

FILE NAME: PRJ-AFDC

SCALE: 1"=20'



BMP: Inlet Protection - Silt Fence or Straw Bale IPS



- OBJECTIVES**
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion

DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located downgradient of areas to be disturbed by construction (for inlets in paved areas see other information sheets for inlet protection).

INSTALLATION/APPLICATION CRITERIA:

- ▶ Provide upgradient sediment controls, such as silt fence during construction of inlet.
- ▶ When construction of inlet is complete, erect straw bale barrier or silt fence surrounding perimeter of inlet. Follow instructions and guidelines on individual BMP information sheets for straw bale barrier and silt fence construction.

LIMITATIONS:

- ▶ Recommended maximum contributing drainage area of one acre.
- ▶ Limited to inlets located in open unpaved areas.
- ▶ Requires shallow slopes adjacent to inlet.

MAINTENANCE:

- ▶ Inspect inlet protection following storm event and at a minimum of once monthly.
- ▶ Remove accumulated sediment when it reaches 4-inches in depth.
- ▶ Repair or realign barrier/fence as needed.
- ▶ Look for bypassing or undercutting and recompact soil around barrier/fence as required.



- TARGETED POLLUTANTS**
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste

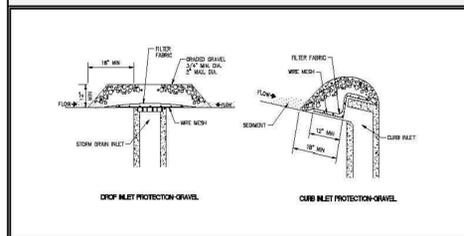
- High Impact
 Medium Impact
 Low or Unknown Impact

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training

- High Medium Low

American Fork City Storm Water Management Program-2004

BMP: Inlet Protection - Gravel IPG



- OBJECTIVES**
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion

DESCRIPTION:
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

INSTALLATION/APPLICATION CRITERIA:

- ▶ Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- ▶ Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- ▶ Place graded gravel, to a minimum depth of 12-inches, over the filter fabric and extending 18-inches past the grate in all directions.

LIMITATIONS:

- ▶ Recommended for maximum drainage area of one acre.
- ▶ Excess flows may bypass the inlet requiring down gradient controls.
- ▶ Ponding will occur at inlet.

MAINTENANCE:

- ▶ Inspect inlet protection after every large storm event and at a minimum of once monthly.
- ▶ Remove sediment accumulated when it reaches 4-inches in depth.
- ▶ Replace filter fabric and clean or replace gravel if clogging is apparent.



- TARGETED POLLUTANTS**
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste

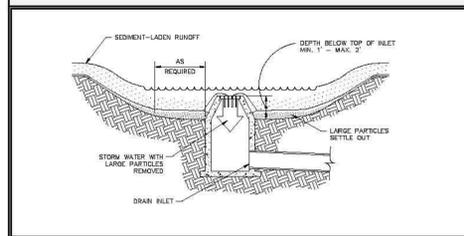
- High Impact
 Medium Impact
 Low or Unknown Impact

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training

- High Medium Low

American Fork City Storm Water Management Program-2004

BMP: Inlet Protection - Excavated IPE



- OBJECTIVES**
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion

DESCRIPTION:
An area excavated around a storm drain inlet to impound water below the inlet.

APPLICATION:
Construct at storm drainage inlets located downgradient of areas to be disturbed by construction (for inlets in paved areas see other information sheets for inlet protection).

INSTALLATION/APPLICATION CRITERIA:

- ▶ Provide upgradient sediment controls, such as silt fence during construction of inlet.
- ▶ When construction of inlet is complete, excavate adjacent area 1 to 2 feet lower than the grate elevation. Size of excavated area should be based on soil type and contributing acreage.

LIMITATIONS:

- ▶ Recommended maximum contributing drainage area of one acre.
- ▶ Limited to inlets located in open unpaved areas.
- ▶ Requires flat area adjacent to inlet.

MAINTENANCE:

- ▶ Inspect inlet protection following storm event and at a minimum of once monthly.
- ▶ Remove accumulated sediment when it reaches one half of the excavated sump below the grate.
- ▶ Repair side slopes as required.



- TARGETED POLLUTANTS**
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste

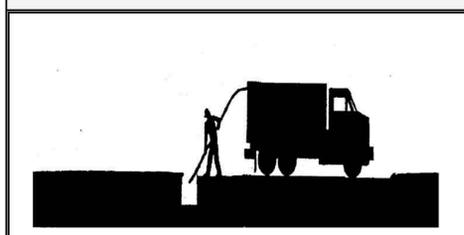
- High Impact
 Medium Impact
 Low or Unknown Impact

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training

- High Medium Low

American Fork City Storm Water Management Program-2004

BMP: Catch Basin Cleaning CBC



- PROGRAM ELEMENTS**
- New Development
 - Residential
 - Commercial Activities
 - Industrial Activities
 - Municipal Facilities
 - Illegal Discharges

DESCRIPTION:
Maintain catch basin and stormwater inlets on a regular basis to remove pollutants, reduce high pollutant concentrations during the first flush of storms, prevent clogging of the downstream conveyance system, and restore the catch basins' sediment trapping capacity. A catch basin is distinguished from a stormwater inlet by having at its base a sediment sump designed to catch and retain sediments below the overflow point. This information sheet focuses on the cleaning of accumulated sediments from catch basins.

APPROACH:
Regular maintenance of catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the key to effective catch basins are:

- ▶ At least annual inspections.
- ▶ Prioritize maintenance to clean catch basins and inlets in areas with the highest pollutant loading.
- ▶ Clean catch basins in high pollutant load areas just before the wet season to remove sediments and debris accumulated during the summer.
- ▶ Keep accurate logs of the number of catch basins cleaned.
- ▶ Record the amount of waste collected.

LIMITATIONS:
There are no major limitations to this best management practice.

MAINTENANCE:
Regular maintenance of public and private catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the keys to effective catch basins are:

- ▶ Annual/monthly inspection of public and private facilities to ensure structural integrity, a clean sump, and a stenciling of catch basins and inlets.
- ▶ Keep logs of the number of catch basins cleaned.
- ▶ Record the amount of waste collected.



- TARGETED POLLUTANTS**
- Sediment
 - Nutrients
 - Heavy Metals
 - Toxic Materials
 - Oxygen Demanding Substances
 - Oil & Grease
 - Floatable Materials
 - Bacteria & Viruses

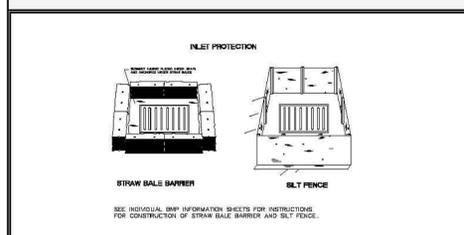
- High Impact
 Medium Impact
 Low or Unknown Impact

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
 - O&M Costs
 - Regulatory
 - Training
 - Staffing
 - Administrative

- High Medium Low

American Fork City Storm Water Management Program-2004

BMP: Inlet Protection - Silt Fence or Straw Bale IPS



- OBJECTIVES**
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion

DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located downgradient of areas to be disturbed by construction (for inlets in paved areas see other information sheets for inlet protection).

INSTALLATION/APPLICATION CRITERIA:

- ▶ Provide upgradient sediment controls, such as silt fence during construction of inlet.
- ▶ When construction of inlet is complete, erect straw bale barrier or silt fence surrounding perimeter of inlet. Follow instructions and guidelines on individual BMP information sheets for straw bale barrier and silt fence construction.

LIMITATIONS:

- ▶ Recommended maximum contributing drainage area of one acre.
- ▶ Limited to inlets located in open unpaved areas.
- ▶ Requires shallow slopes adjacent to inlet.

MAINTENANCE:

- ▶ Inspect inlet protection following storm event and at a minimum of once monthly.
- ▶ Remove accumulated sediment when it reaches 4-inches in depth.
- ▶ Repair or realign barrier/fence as needed.
- ▶ Look for bypassing or undercutting and recompact soil around barrier/fence as required.



- TARGETED POLLUTANTS**
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste

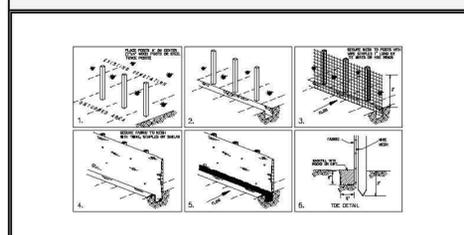
- High Impact
 Medium Impact
 Low or Unknown Impact

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training

- High Medium Low

American Fork City Storm Water Management Program-2004

BMP: Silt Fence SF



- OBJECTIVES**
- Housekeeping Practices
 - Contain Waste
 - Minimize Disturbed Areas
 - Stabilize Disturbed Areas
 - Protect Slopes/Channels
 - Control Site Perimeter
 - Control Internal Erosion

DESCRIPTION:
A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:

- ▶ Perimeter control: place barrier at downgradient limits of disturbance
- ▶ Sediment barrier: place barrier at toe of slope or soil stockpile
- ▶ Protection of existing waterways: place barrier near top of stream bank
- ▶ Inlet protection: place fence surrounding catchbasins

INSTALLATION/APPLICATION CRITERIA:

- ▶ Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
- ▶ Secure wire mesh (14 gage min. With 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
- ▶ Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- ▶ Backfill trench over filter fabric to anchor.

LIMITATIONS:

- ▶ Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- ▶ Recommended maximum upgradient slope length of 150 feet
- ▶ Recommended maximum uphill grade of 2:1 (50%)
- ▶ Recommended maximum flow rate of 0.5 cfs
- ▶ Ponding should not be allowed behind fence

MAINTENANCE:

- ▶ Inspect immediately after any rainfall and at least daily during prolonged rainfall.
- ▶ Look for runoff bypassing ends of barriers or undercutting barriers.
- ▶ Repair or replace damaged areas of the barrier and remove accumulated sediment.
- ▶ Reanchor fence as necessary to prevent shortcutting.
- ▶ Remove accumulated sediment when it reaches 1/2 the height of the fence.



- TARGETED POLLUTANTS**
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil & Grease
 - Floatable Materials
 - Other Waste

- High Impact
 Medium Impact
 Low or Unknown Impact

- IMPLEMENTATION REQUIREMENTS**
- Capital Costs
 - O&M Costs
 - Maintenance
 - Training

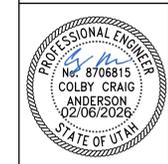
- High Medium Low

American Fork City Storm Water Management Program-2004

NO.	REVISIONS	BY	DATE

CIVIL ENGINEERING + SURVEYING
CIR
 10718 S BECKSTEAD LANE, SUITE 102
 South Jordan, Utah - 801-969-6296
 PROJECT ENGINEER:

DRY CREEK STRUCTURES – SITE IMPROVEMENTS
 521 W 200 N, AMERICAN FORK, UT 84003
 EROSION CONTROL DETAIL SHEET



SHEET NO. **C6.1**

PROJECT ID	DATE:
E25-013	04/22/25
FILE NAME:	SCALE:
PRJ-AFDC	

