



## EAGLE MOUNTAIN PLANNING COMMISSION MEETING

**FEBRUARY 10, 2026, 5:30 PM**

EAGLE MOUNTAIN CITY COUNCIL CHAMBERS

1650 EAST STAGECOACH RUN, EAGLE MOUNTAIN, UTAH 84005

### **5:30 PM – PLANNING COMMISSION WORK SESSION**

#### **1. DISCUSSION ITEMS**

1.A. CONCEPT PLAN - Eagle Mountain Chapel Addition

1.B. AGENDA REVIEW

### **6:30 PM PLANNING COMMISSION POLICY SESSION**

#### **2. CALL TO ORDER**

#### **3. PLEDGE OF ALLEGIANCE**

#### **4. DECLARATION OF CONFLICTS OF INTEREST**

#### **5. MINUTES**

5.A. December 9, 2025 Planning Commission Minutes

5.B. January 13, 2026 Planning Commission Minutes

#### **6. STATUS REPORT**

#### **7. ACTION AND ADVISORY ITEMS**

7.A. PUBLIC HEARING / ACTION ITEM - One Call Auto Site Plan

BACKGROUND: *(Presented by Senior Planner, David Stroud)* A proposed site plan for One Call Auto, at 643 E. Split Rock Drive, Parcel 51:829:0114.

7.B. PUBLIC HEARING / ACTION ITEM - Consolidated Fee Schedule for Site Plan Amendment

BACKGROUND: *(Presented by Senior Planner, David Stroud)* Amendment to the Consolidated Fee Schedule to implement a fee to process a minor site plan amendment.

7.C. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code 17.60 and 17.10 Fencing Amendment

BACKGROUND: *(Presented by Planner, Mickie Mills)* Initiated by Eagle Mountain Resident, Katie Elliott, this code amendment adds “pre-weathered weathering steel” as an approved material type for residential perimeter fencing and defines “pre-weathered steel fences.” Amended sections include 17.60.120, and 17.10.030.

7.D. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain, Utah approving



the 5th Amendment to the Amended and Restated Overland Master Development Agreement

BACKGROUND: (*Presented by City Attorney, Marcus Draper*) : The City is proposing to amend the Amended and Restated Master Development Agreement for Overland. In 2017, the City entered into the ARMDA with SITLA and Ivory Homes for the Overland Development. Ivory and SITLA have sold a 53 acre parcel within the commercial area of the development to a commercial developer working with Kroger for the development of a commercial shopping center. The parcel is located north of Mid Valley Road and east of Pony Express Parkway. The shopping center would include a Smith's Marketplace, another major big box retailer, 4 other smaller anchors adjacent to the Smith's, and numerous pad sites. To make the project financially feasible, the agreement includes tax incentives for the cost of infrastructure to support the development. The agreement would allow the developer to develop the property consistent with the already vested historic commercial zone. It also allows a few other permitted uses consistent with a Smith's anchored commercial marketplace.

7.E. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain City, Utah, Rezoning Certain Lands Known as QTS-SCL 2.

BACKGROUND: (*Presented by Senior Planner, David Stroud*) Rezone of Parcels 59:055:0002, 59:055:0005, 59:055:0010, 59:055:0013, 59:055:0016, 59:055:0017, 59:055:0021, and 59:058:0004, to the Regional Technology and Industry Overlay zone.

7.F. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Wildlife Urban Interface.

BACKGROUND: (*Presented by Community Development Director, Brandon Larsen*) An Ordinance of Eagle Mountain City, Utah, Approving the Eagle Mountain City Wildland Urban Interface Area Map, an amendment to Chapter 15.95 of the Eagle Mountain City Municipal Code.

8. **DISCUSSION ITEMS**

9. **AGENDA REVIEW**

10. **NEXT SCHEDULED MEETING**

11. **ADJOURNMENT**

**THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.**

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodations for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6611. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	Eagle Mountain Chapel Addition Concept Plan
<b>ITEM TYPE:</b>	Concept Plan
<b>FISCAL IMPACT:</b>	Wastewater impact fees
<b>APPLICANT:</b>	Kevin Olsen

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
General Plan Designation: Agricultural/Rural Density Two Zoning: Residential	2.92 Acres

**PUBLIC HEARING**

No

**PREPARED BY**

Steven Lehmitz, Planner

**PRESENTED BY**

Steven Lehmitz

**RECOMMENDATION:**

Staff recommends that the Planning Commission provide feedback to the applicant regarding their proposed concept plan.

**BACKGROUND:**

On the evening of September 25, 2012, the applicant for 3375 E Autumn Lane received a Conditional Use Permit for a "private recreational facility". The Planning Commission meeting minutes for that night provide background for the property at that time. A Certificate of Occupancy was issued seven months later that reaffirmed the condition that the structure was for private use only. The Applicant is seeking to convert the private recreational facility into a religious/cultural meeting hall. Staff has worked with the Applicant to identify possible routes toward this goal. The Applicant has submitted a concept plan and is seeking feedback on the proposal(s).

**ITEMS FOR CONSIDERATION:**

As currently constituted, the City's residential zoning standards do not permit residential dwellings nor religious/cultural meeting halls as accessory uses ([EMMC 17.25.030](#)). To facilitate using the accessory structure in the northeast corner of the property as an approved religious/cultural meeting hall, here are some important considerations:

1. The Applicant is proposing to divide the lot into two lots via a plat amendment. This would allow for both uses (dwelling and religious/cultural meeting hall) to operate as permitted/special uses on their respective properties ([EMMC 16.55](#)). The applicant is proposing a 0.55 acre (24,090 SF) lot for the house, leaving 2.37 acres (103,237 SF) for the religious/cultural meeting hall. Is that a good division for the lots?
2. The lot containing the proposed religious/cultural meeting house would have to be fully improved (parking, lighting, landscaping, etc.) per the City's site development standards ([EMMC 17.100](#)).
3. The structure would have to meet the applicable commercial design standards found in [EMMC 17.72](#).



4. The City Council could decide whether to dispose of the open space north of the property.
5. Currently, parking standards dictate that 1 stall is provided per 20 square feet in the main assembly room ([EMMC Table 17.55.120\(c\)](#)). If there is insufficient space to meet the parking requirements, options may be:
  - a. The City Council could amend the Code to permit less parking for churches.
  - b. Per [EMMC 17.55.110\(G\)](#), the Planning Commission may determine that the service level is still met with what parking can be provided (recommended by Staff).
  - c. [EMMC 17.55.100](#) provides the City Council the ability to grant a shared parking agreement with neighboring properties. They may permit up to 35% of the required parking spaces to be shared. One hurdle to this would be that parking lots are not a permitted accessory use to residential dwellings — which is what all the surrounding properties [will] feature.
6. The proposed religious/cultural meeting hall would be required to meet all applicable building codes for such a use. This may require significant renovations to the current structure.

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

N/A

**ATTACHMENTS:**

1. Site Plan and Related Plans
2. Maps
3. 9-25-12 PC Minutes
4. Certificate of Occupancy





7585 S UNION PARK AVE., STE 100  
SANDY, UT 84047  
PHONE: 801.996.3646  
[www.buildwithmint.com](http://www.buildwithmint.com)

## EAGLE MOUNTAIN CHAPEL

**ZONING REQUIREMENTS:**

**PARKING:**

CHURCHES:  
1 STALL PER 20 SQ. FT. IN MAIN ASSEMBLY ROOM.

THE SQUARE FOOTAGE OF THE CHAPEL IS 3,806. THIS WOULD REQUIRE 191 STALLS.  
THE DESIGN ON THIS SHEET PROVIDES **184 STALLS**.  
THIS PROJECT WOULD REQUIRE A REDUCTION OF **7 STALLS**.

**FRONTAGE:**

THE PROPOSED FRONTAGE FOR THE EXISTING HOME PARCEL WOULD BE ABOUT 86'-4" WIDE.

Per EMMC 17.55.080(C), landscape islands are required at the end of each parking row. This will decrease the parking provided.

10' of landscaping required between parking areas and the property lines, unless an alternative width is approved by the Planning Commission (EMMC 17.60.170).

Given the requirements for landscaping and landscape islands, the provided parking is likely decreasing by at least 18 stalls.

NEW PROPOSED WATER METER

EXISTING SEPTIC LOCATION

Landscape island  
required within this  
parking row.

Issue Date

## SITE PLAN

# SHEET

# P002



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7585 S LINCOLN PARK AVE., STE. 100  
DENVER, CO 80231  
PHONE: 303.796.9606  
www.buildwithmint.com

EAGLE MOUNTAIN CHAPEL

CONCEPTUAL UTILITY PLAN NOTES

STORM WATER WILL BE RETAINED ON SITE - AS REQ'D.

THIS PLAN ASSUMES A SEWER LINE COULD BE RUN FROM THIS SITE, ALONG THE EAST PROPERTY LINE ALL THE WAY TO SR-73.  
CONSIDERATIONS WITH THIS OPTION WOULD BE EXISTING EASEMENTS, EXISTING LANDSCAPING.

OPTION 1  
EXISTING FIRE HYDRANT  
WATER METER, SEPARATE FROM THE EXISTING HOME  
EXISTING FIRE HYDRANT

OPTION 2 - IF EASEMENT IS AVAILABLE  
NEW WATER METER  
NEW SEWER LINE

UFA Notes:  
1. Show the location of the fire riser room, FDC and fire line size / location.  
2. Add (1) new fire hydrant located with 100' of the FDC.

CONNECT TO EXISTING MAN HOLE IN THIS LOCATION

CONNECT TO EXISTING MAN HOLE IN THIS LOCATION

1 ARCHITECTURAL SITE PLAN - MACRO  
P003 1" = 80'-0"

Issue Date

UTILITY PLAN

SHEET





1 ARCHITECTURAL SITE PLAN - MACRO  
P003 1" = 80'-0"

EAGLE MOUNTAIN CHAPEL

--

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DENVER, CO 80231  
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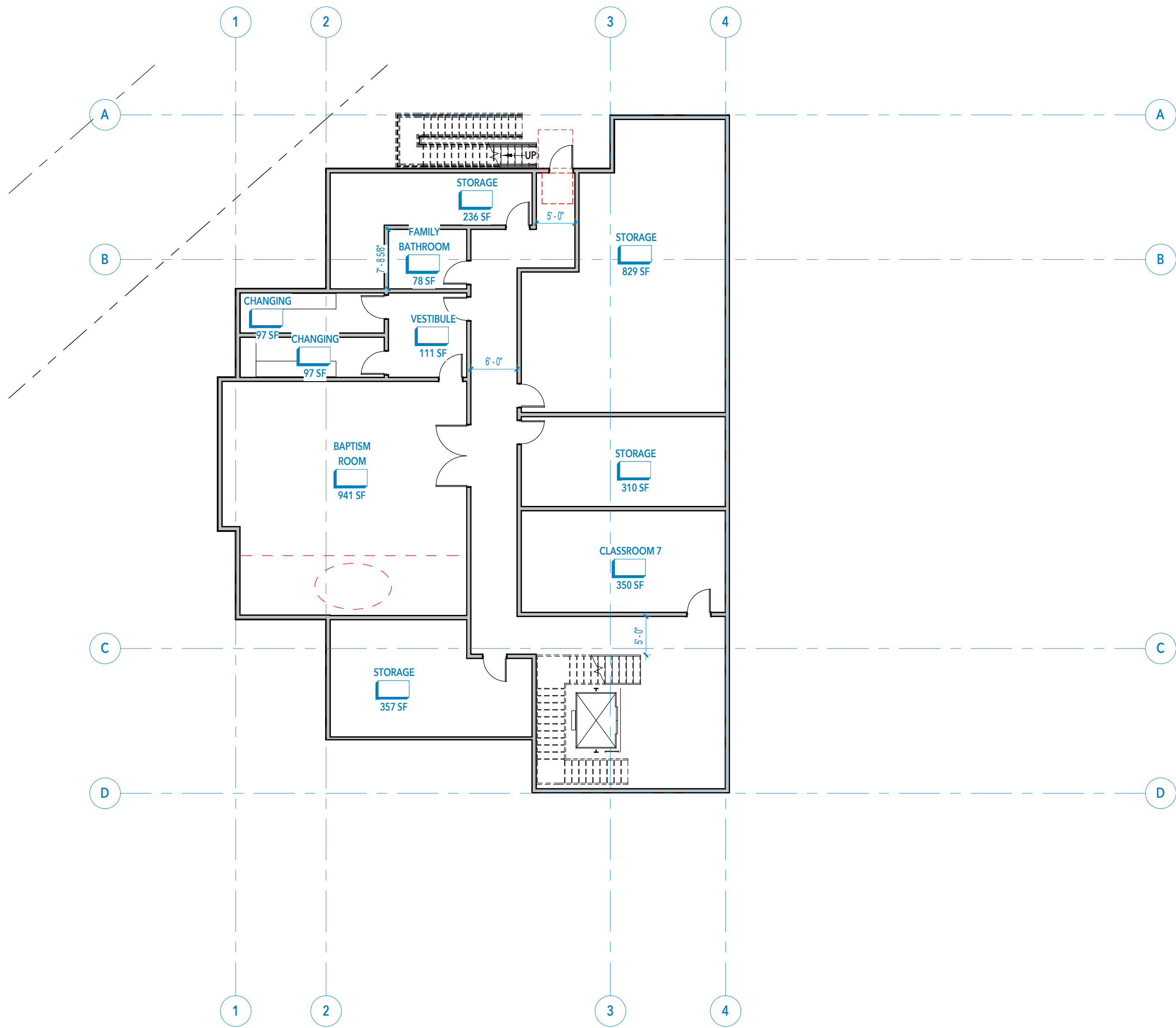
Issue Date

UTILITY PLAN

SHEET



Area Schedule (Gross Building)		
Level	Name	Area



1 BASEMENT  
P101 3/32" = 1'-0"

## EAGLE MOUNTAIN CHAPEL ADDITION

Issue Date

LOWER LEVEL FLOOR PLAN

SHEET

P101





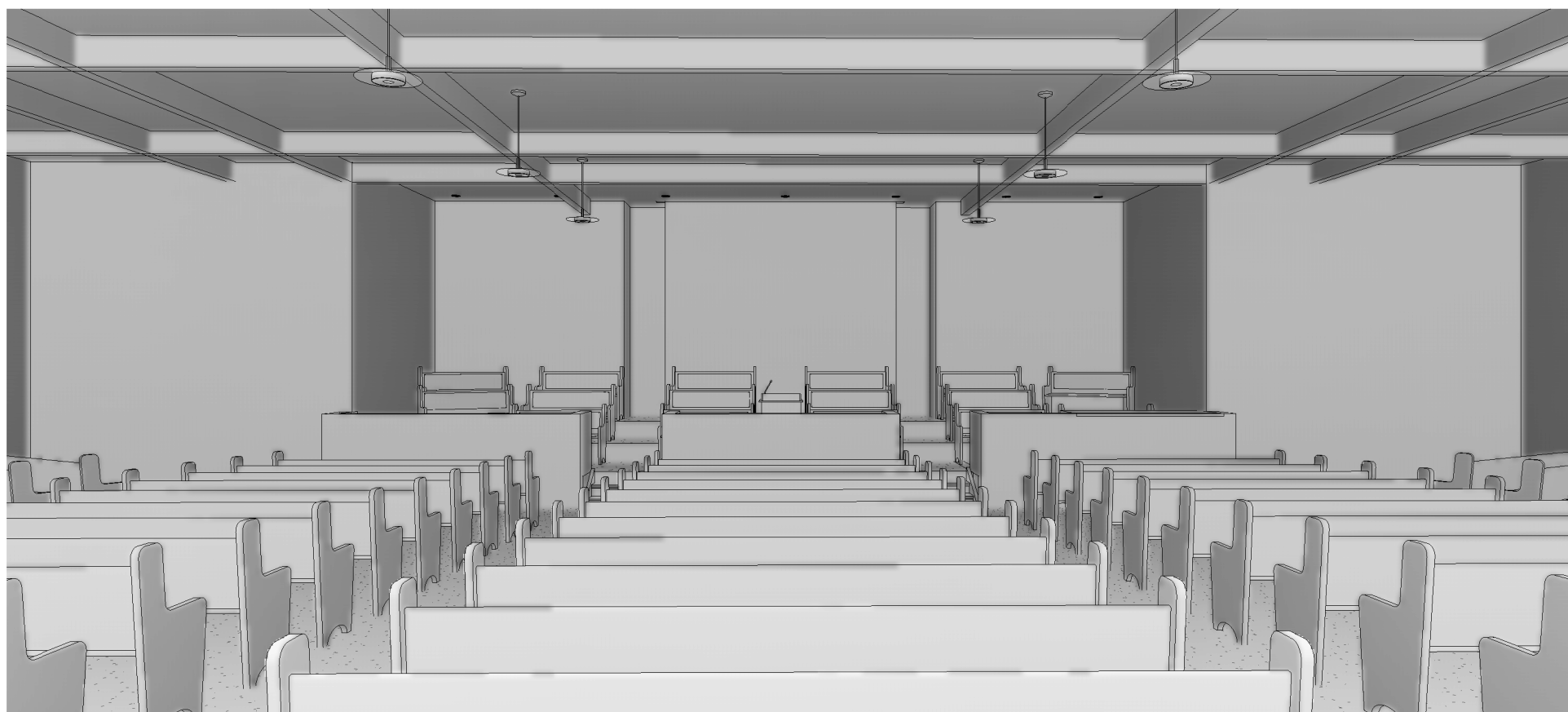
RENDERING OF CHAPEL TO SHOW POTENTIAL LIGHTING SCHEME

Area Schedule (Gross Building)		
Level	Name	Area



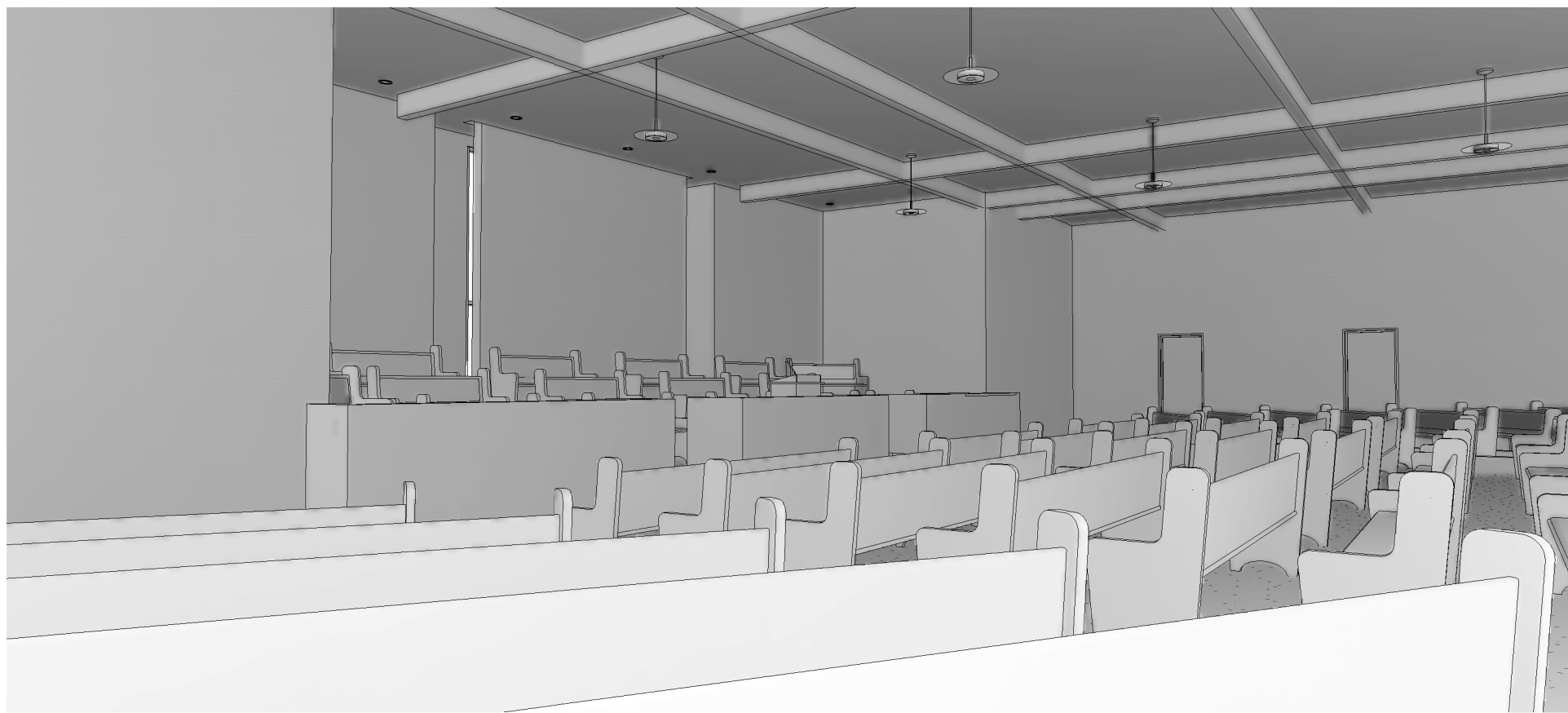
2  
P102

3D View - FAR RIGHT CORNER



3  
P102

3D View - CENTER



4  
P102

3D View - FAR LEFT CORNER

## EAGLE MOUNTAIN CHAPEL ADDITION

Issue Date

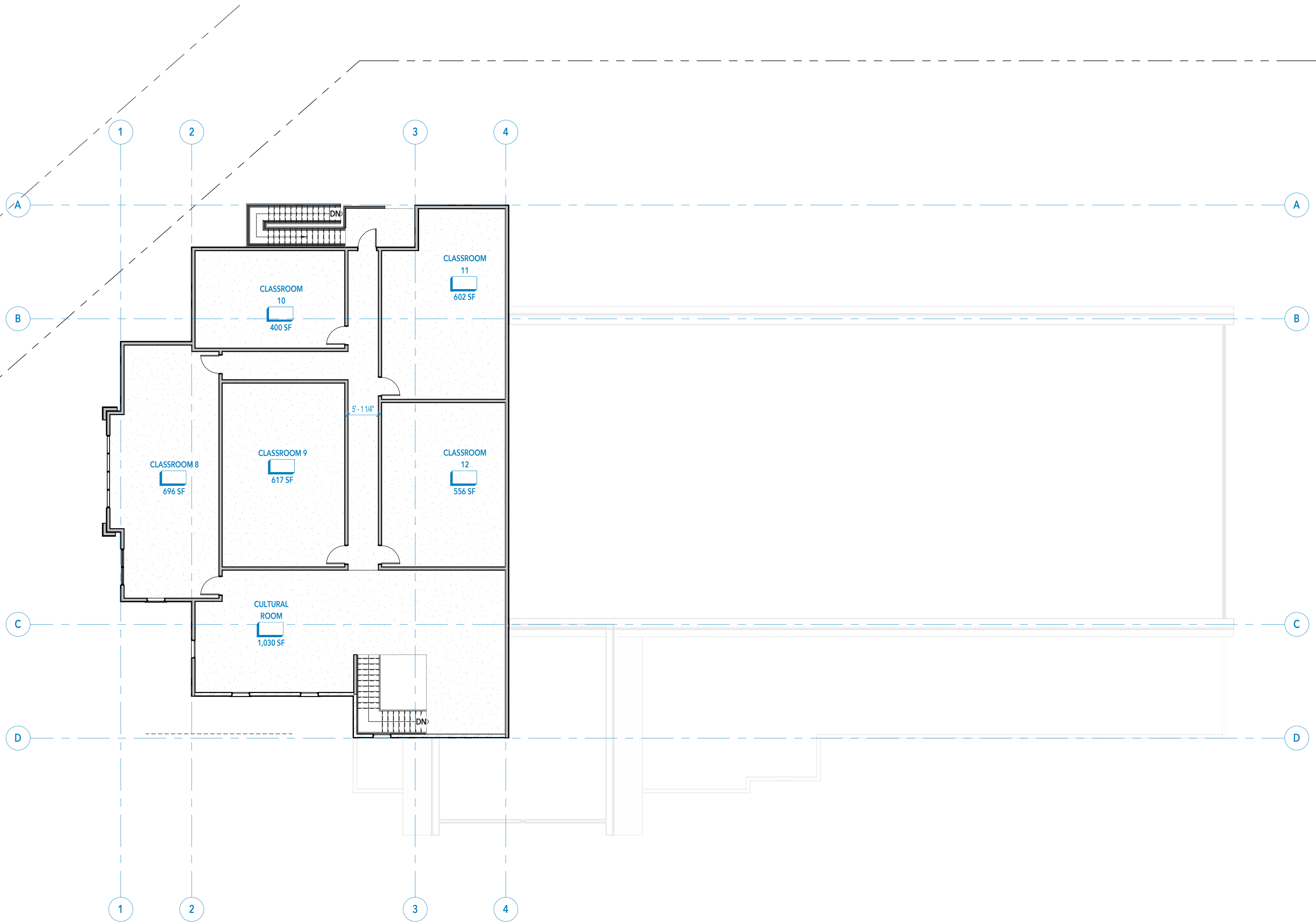
MAIN LEVEL FLOOR PLAN

SHEET

P102



Area Schedule (Gross Building)		
Level	Name	Area



1  
P103 LEVEL 2 FLOOR PLAN  
3/32" = 1'-0"

## EAGLE MOUNTAIN CHAPEL ADDITION

Issue Date

UPPER LEVEL FLOOR PLAN

SHEET

P103



# Future Land Use Designation

## LEGEND

### Residential Categories:

- Foothill Residential
- Agricultural/Rural Density One
- Agricultural/Rural Density Two
- Neighborhood Residential One
- Neighborhood Residential Two
- Neighborhood Residential Three

### Mixed Use/Commercial Categories:

- Community Commercial
- Town Center Mixed Use
- Regional Commercial
- Employment Center/Campus
- Business Park/Light Industry

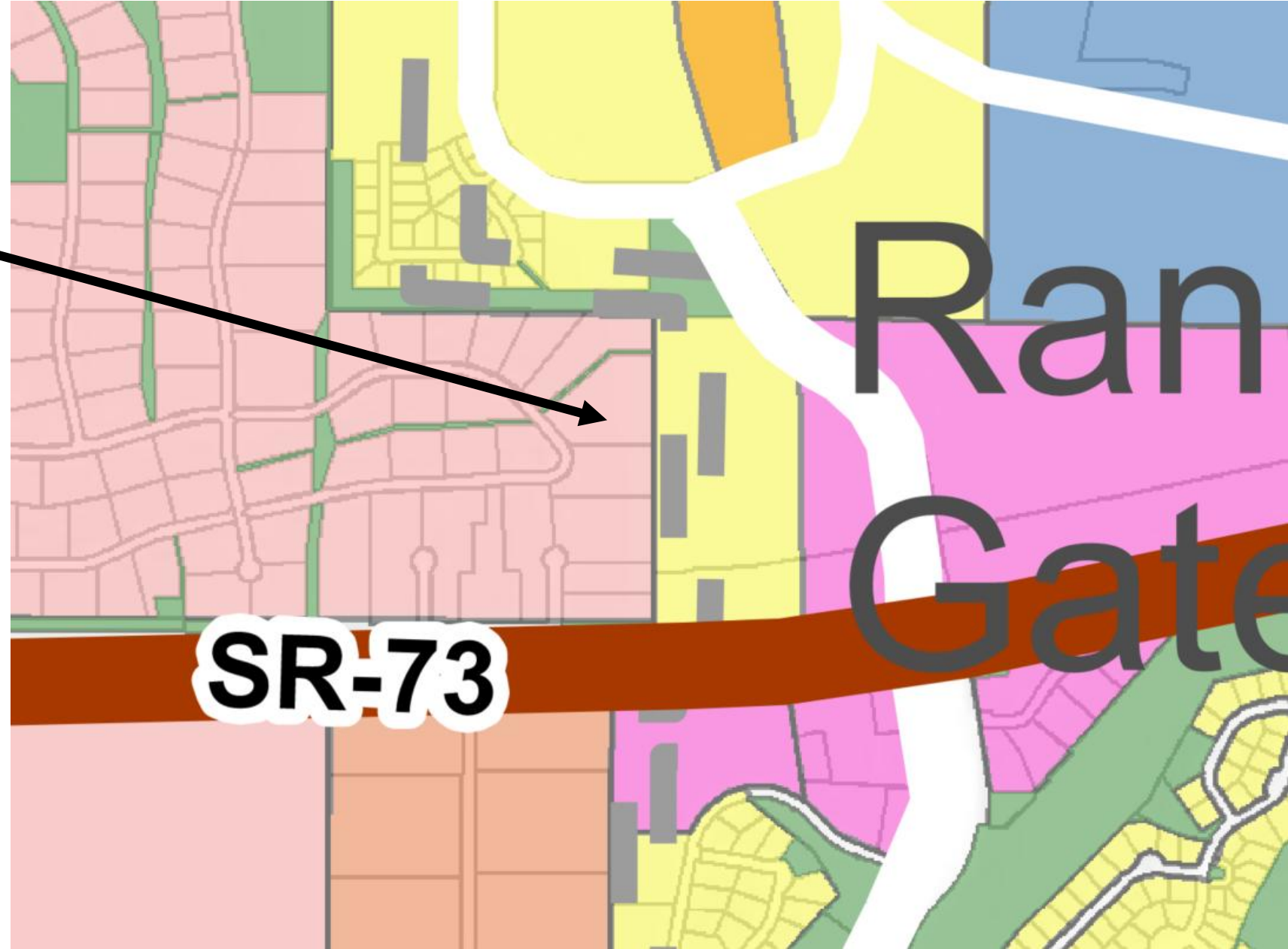
### Public/Civic Categories:

- Civic Uses/Schools
- Parks and Open Space

 NEIGHBORHOOD CHARACTER AREA

### TRANSPORTATION

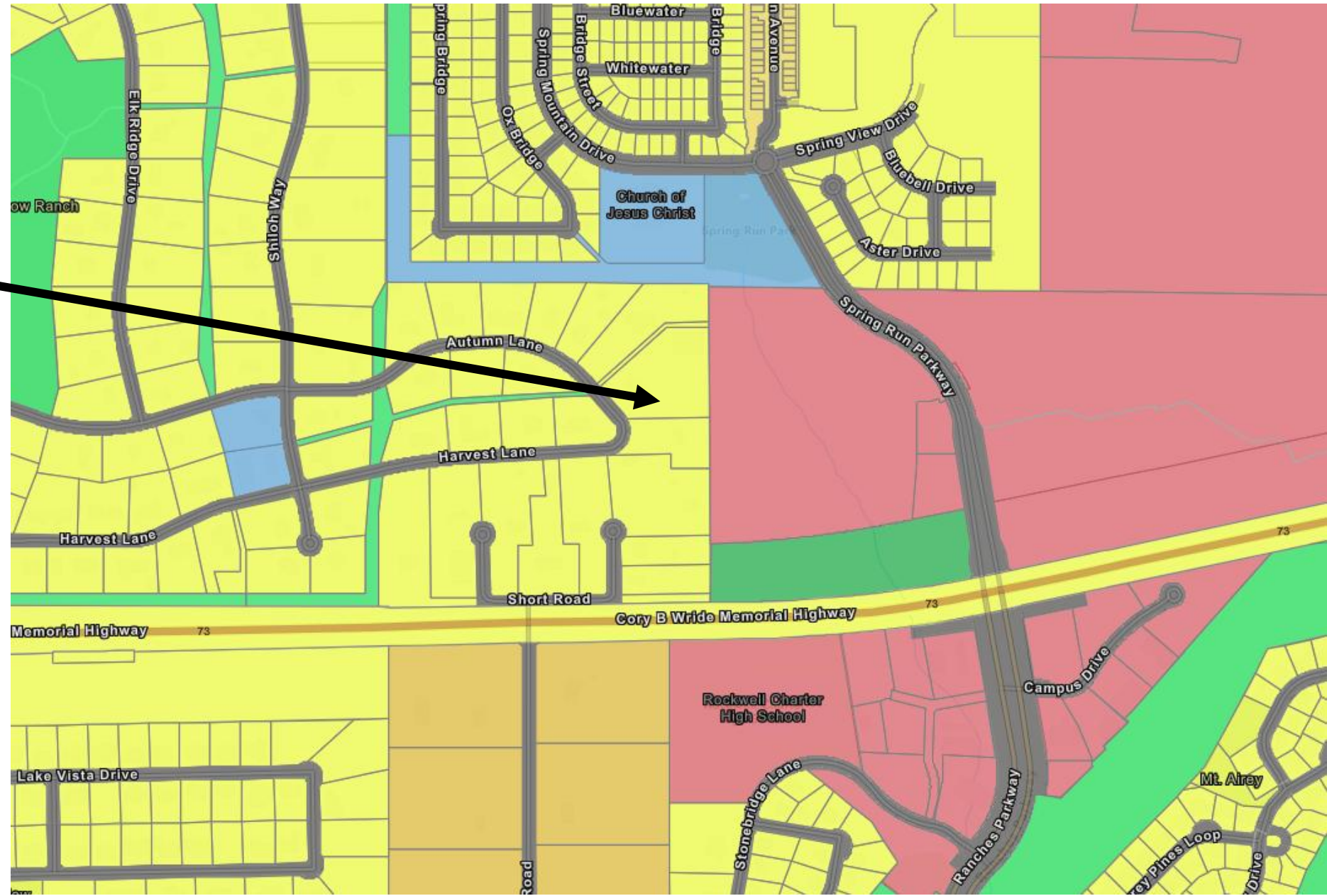
- UDOT Highway/Freeway
- City Road Network - Collector & up





# Zoning

Residential













EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING AGENDA

TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

**6:00 P.M. - Eagle Mountain City Planning Commission Policy Session**

COMMISSION MEMBERS PRESENT: Preston Dean, John Linton, Daniela Camacho, and Wendy Komoroski

CITY STAFF PRESENT: Steve Mumford, Mike Hadley, and Kent Partridge

ELECTED OFFICIALS PRESENT: Ryan Ireland

1. Pledge of Allegiance

John Linton led the Pledge of Allegiance

2. Declaration of Conflicts of Interest

None

3. Approval of Meeting Minutes – September 11, 2012

**MOTION:**

*Preston Dean moved to approve the September 11, 2012, meeting minutes. Daniela Camacho seconded the motion. Those voting aye: Preston Dean, John Linton, Wendy Komoroski and Daniela Camacho. The motion passed with a unanimous vote.*

4. City Council Action Update

Steve Mumford updated Planning Commission on:

- City Council discussed the SilverLake subdivision project.
- City Council tabled Clearview Estates master plan to review the septic tank, the preservation of SR 73 right of ways, and how to use the community improvement funds.
- Heatherwood on the Green's HOA has come up with a way to fund their amenities.
- City Council approved the creation of an Economic Development Area.

5. Development Items

- A. Conditional Use Application – Northmoor 148 Flagpole; Action Item, Public Hearing.  
Edge Homes is requesting a 50-foot high flagpole on their model home lot in the Northmoor neighborhood, located at 4174 E. Inverness Way.

Mike Hadley explained that Edge Homes has applied for a Conditional Use Permit for a 50 ft. flagpole. The flagpole will be located on their model home at 4174 E. Inverness Way. The flagpole would remain temporarily until the model home is sold. Edge Homes would need to



EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING AGENDA

TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 apply for a new Conditional Use Permit when the flagpole is moved to another lot. City Code  
2 allows a 35 ft. flagpole and Edge Homes is requesting a 50 ft. flagpole. The application actually  
3 shows the flagpole being proposed on property owned by the Home Owner's Association. Any  
4 approval of this application would require written approval or permission from the HOA for this  
5 flagpole. A review of flagpoles within the City on residential lots shows that there are no  
6 flagpoles over 25 ft. in height. Any flagpole that is more than 25 ft. in height in the City is  
7 located on City buildings or property and on Alpine School District property.

8  
9 Commissioner Dean questioned a Conditional Use Permit over a variance.

10  
11 Mr. Mumford explained that a Conditional Use Permit would give the Planning Commission  
12 more flexibility in the code.

13  
14 *Commissioner Linton opened the public hearing at 6:12 p.m.*

15  
16 Steve Maddox with Edge Homes explained that Edge Homes is a local Utah based builder. Edge  
17 Homes currently flies eight American flags throughout Utah. Edge Homes applied for the  
18 Conditional Use Permit, because that is what other cities have required. The flagpole would be  
19 50 ft. for the size of the flag and help keep all their flags uniform, that would help maintenance  
20 of the flag. If they cannot get an agreement with the HOA, they will move the flagpole to their  
21 property.

22  
23 *Commissioner Linton closed the public hearing at 6:15 p.m.*

24  
25 Commissioner Linton explained from past Planning Commission meetings Richmond American  
26 had come in and proposed a 70 ft. flagpole and it was denied, and then Richmond American put  
27 in a 35 ft. flagpole that followed the City's code. Colonial Flags had come in and spoken  
28 extensively about flags, and one of the issues with a larger flag was it created more noise for the  
29 neighborhood.

30  
31 Mr. Maddox explained that there would be two flags, one American flag and one home builder  
32 flag. Edge Homes has never had a complaint about the noise of a flag. The only complaint was  
33 when the flag was removed.

34  
35 **MOTION:** *Preston Dean moved that the Planning Commission deny the*  
36 *Northmoor 148 flagpole application for Conditional Use Permit*  
37 *of the 50 ft. flagpole. Daniela Camacho seconded the motion.*  
38 *Those voting aye: Preston Dean, John Linton, Daniela*  
39 *Camacho and Wendy Komoroski. The motion passed with a*  
40 *unanimous vote.*

41  
42  
43 B. Conditional Use Application – Meadow Ranch Private Recreation Facility; Action Item,  
44 Public Hearing.



EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING AGENDA

TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 This application is requesting conditional use for an exception to the permitted accessory  
2 uses and structures in a Residential Zone, located at 3375 East Autumn Lane in the  
3 Meadow Ranch neighborhood.  
4

5 Mr. Hadley explained that the applicant is applying for a Conditional Use Permit for a private  
6 recreational facility located in the Meadow Ranch subdivision at 3375 E Autumn Lane. The lot is  
7 2.92 ac and the facility is approximately 11,172 sq. ft. in size. This application is unique because  
8 the building has already been built. The building was originally permitted through the City  
9 Building Department as a barn with limited electrical – 2 plugs and lighting. The applicant then  
10 proceeded to upgrade the building to its current status without obtaining the proper permits,  
11 paying the proper fees, or getting the required inspections. The City issued a stop work order on  
12 the building after an investigation by the Building Department. The building is now completely  
13 finished on the inside, consisting of a basketball court, stage, kitchen, numerous accessory rooms  
14 and restroom facilities. The building also contains a basement with a canning kitchen, which  
15 was not on the original permit. None of the electrical, sewer or plumbing has been inspected or  
16 permitted. All of these interior improvements are illegal, as they were completed without  
17 permits or inspections.  
18

19 Conditions of approval:

- 20 • The applicant must obtain a building permit for the structure as a private recreation  
21 facility. The permit should be obtained and the proper fees paid within 30 days of  
22 approval of CUP or the building must be restored to the original building permit status  
23 (barn).
- 24 • The building must comply with current IBC code requirements.
- 25 • All applicable building, impact, infrastructure and utility system upgrade fees must be  
26 paid.
- 27 • The parking lot on the site plan must be removed, including ADA parking stalls.
- 28 • The owner must sign a document, to be recorded at the County, restricting the use of the  
29 building to private recreational use only.
- 30 • The use of the building should not result in parking on public streets.
- 31 • A notice of interest on the property must be filed with the County Recorder's office by  
32 the City.
- 33 • The building cannot be used for large assembly use.  
34

35 Kent Partridge explained that a building permit was pulled November 1, 2004 for the barn  
36 located at 3375 E. Autumn Lane. The barn was complete within a year of pulling the permit.  
37 After the barn was complete, the residents of the barn started adding to the barn without a  
38 building permit. They had added a basketball court, stage, kitchen, numerous accessory rooms,  
39 and restrooms. The Building Department issued a stop work order in 2010, when the City  
40 received a call that the barn was being used improperly as a church. He stated that to his  
41 knowledge since the stop work order the residents have not used it for a church.  
42

43 Commissioner Dean asked if there was a definition for private recreation facilities.  
44



EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING AGENDA

TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 Mr. Partridge stated that it would still be classified as A-3 occupancy use which is a commercial  
2 facility. It is going to be a difficult task for the resident and the Building Department to bring this  
3 building up to code. He stated that the electrical, plumbing and mechanical were not part of the  
4 initial inspections. The structure of the building was inspected to code.

5  
6 Commissioner Linton was concerned that the building was not engineered correctly to withstand  
7 the extra weight of the finishing.

8  
9 Mr. Partridge said that it could be a requirement that the engineer review the structure. But he  
10 felt that it was adequate, because the drywall would add some shear stability and it would help  
11 the structure.

12  
13 *Commissioner Linton opened the public hearing at 6:34 p.m.*

14  
15 Glenn Allred representing Hyrum Thompson, the property owner, stated that the owner  
16 understands the City's request, and is willing to work with the Building department. He stated  
17 that the owner's intentions for the building are to use it as a private recreational area.

18  
19 *Commissioner Linton closed the public hearing at 6:36 p.m.*

20  
21 Commissioner Camacho asked if it was the City's goal to work together and make the best of  
22 this situation.

23  
24 Mr. Hadley explained that the City has worked on this project for the last two years. He stated  
25 that the City is willing to work with the applicant, but he believed that the City should put time  
26 restrictions on the fees, application, and the completion of this project.

27  
28 Mr. Mumford explained that the building would be brought up to building and City codes. The  
29 City could not restrict residents on building a private recreational building on their property. The  
30 issue at first was that the home owner wanted to turn this building into a congregation use  
31 building. Parking space and building codes made that request impossible.

32  
33 Commissioner Linton asked if the parking lot area was asphalt. He asked why the plan shows the  
34 parking lot being striped.

35  
36 Mr. Hadley explained that the parking lot is a type of gravel.

37  
38 Mr. Allred explained that when the building plans were submitted to the architect and the  
39 engineer, they were told the building would need a bigger parking lot, due to the square footage  
40 of the building.

41  
42 Commissioner Linton asked how many parking spaces would be needed for a public meeting  
43 house of this type.

44  
45 Mr. Hadley explained about 200 to 250, typical for a structure this size.



EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING AGENDA

TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

Mr. Mumford explained that code requires one parking stall for each 20 sq. ft. of the main assembly room.

Commissioner Dean asked if the only difference from a public building and private a building would be a City agreement.

Mr. Partridge stated that the building code does not care how the building is used. The building code only cares if the building complies with the safety requirements.

Mr. Hadley explained that the City would have the homeowner sign a City agreement and a notice of interest will be recorded with the County for that property. The City would then be notified of new ownership or conflicting interest or issues on the property.

Commissioner Linton asked if there were numerous complaints about the property or was it just the one call?

Mr. Hadley stated that the Planning Department had not received any complaints about the property.

Mr. Partridge stated that the Building Department had not received any complaints that he was aware of. He stated that he had gone out to the property on numerous Sundays, and there were cars parked everywhere. That is why the City was concerned about the assembly use and why the City needs it to be a private use. He explained that building uses change all the time, for example a B-occupancy (business) could change to A-occupancy (assembly). He explained that the owner is responsible to notify the Building Department and Fire Department of occupancy change.

**MOTION:** *Preston Dean moved that the Planning Commission approve the Conditional Use Permit application for the Meadow Ranch private recreation facility, subject to the conditions stated in the staff report. Daniela Camacho seconded the motion. Those voting aye: Preston Dean, John Linton, Daniela Camacho and Wendy Komoroski. The motion passed with a unanimous vote.*

6. Other Business

7. Meeting Information:

A. Next Regularly Scheduled Meeting – October 9; upcoming agenda items

8. Adjournment

The meeting was adjourned at 6:58 p.m.



# CERTIFICATE OF OCCUPANCY

## COMMERCIAL

THIS CERTIFICATE OF OCCUPANCY IS ISSUED PURSUANT TO THE REQUIREMENTS OF THE 2006, IBC, IPC, IMC AND 2005 NEC, INDICATING AT THE TIME OF ISSUANCE THIS STRUCTURE WAS IN COMPLIANCE WITH ALL OF THE APPLICABLE CODES AND ORDINANCES OF EAGLE MOUNTAIN CITY.

OWNER / CONTRACTOR: HYRUM THOMPSON

PERMIT #: G2b1E-0341

M O U N T A I N

SITE ADDRESS: 3375 E AUTUMN LANE, EAGLE MOUNTAIN UT 84005

OCCUPANCY: A-3/S-2/E OCCUPANCY LOAD: 299 TYPE OF CONSTRUCTION: V-B

       SPRINKLED        X NOT SPRINKLED

### SPECIAL STIPULATIONS

1. EDUCATIONAL USE (E OCCUPANCY LIMIT TO 49(OR LESS)
2. THIS BUILDING IS FOR PRIVATE RECREATIONAL USE ONLY.
3. OWNER SHALL COMPLY WITH THE CONDITIONAL USE PERMIT FOR THIS FACILITY.

  
KENT L. PARTRIDGE, BUILDING OFFICIAL

DATE ISSUED

4-23-2013





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	N/A
<b>ITEM TYPE:</b>	Discussion Item
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	N/A

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
N/A	N/A

**PUBLIC HEARING**

No

**PREPARED BY**

**PRESENTED BY**

**RECOMMENDATION:**

N/A

**BACKGROUND:**

N/A

**ITEMS FOR CONSIDERATION:**

N/A

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

N/A

**ATTACHMENTS:**

None





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	December 09, 2025 Planning Commission meeting minutes
<b>ITEM TYPE:</b>	Minutes
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	N/A

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
N/A	N/A

**PUBLIC HEARING**

No

**PREPARED BY**

Megan Green, Planning  
Secretary

**PRESENTED BY**

**RECOMMENDATION:**

N/A

**BACKGROUND:**

N/A

**ITEMS FOR CONSIDERATION:**

N/A

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

N/A

**ATTACHMENTS:**

1. 12.09.2025 PC Meeting Minutes Draft





## EAGLE MOUNTAIN PLANNING COMMISSION

### MEETING MINUTES

December 9, 2025, 5:30 p.m.

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Robert Fox, Brent Strong, Craig Whiting, and Alternate Commissioner Bryan Free.

CITY STAFF PRESENT: Deputy City Manager, Steve Mumford; Brandon Larsen, Community Development Director; Marcus Draper, City Attorney; Robert Hobbs, Senior Planner; Steven Lehmitz, Planner; and Megan Green, Planning Secretary.

#### **5:30 P.M. – Eagle Mountain City Planning Commission Work Session**

Commissioner Allen called the meeting to order at 5:33 p.m.

##### 1. Discussion Items

###### 1.A. DISCUSSION ITEMS – Horizon Master Development Plan

Planner Robert Hobbs presented the Horizon Master Development Plan. Scot Hazard discussed the project with the Commissioners, which is located near Pony Express and Lone Tree, and includes 110 single-family lots on 110 acres. Concerns raised included compliance with block length and slope requirements, wildlife corridor impact, ridgeline codes, and emergency egress. The developer proposed a 360-stair amenity and trail systems to address pedestrian connectivity. The commission emphasized the need for thorough review and community engagement to ensure the project meets City standards and addresses community concerns. The Planning Commission discussed several key issues, including the need for an additional egress route on Pony Express Parkway due to safety concerns and traffic projections.

Commissioner Allen adjourned the work session at 6:25 p.m.

#### **6:30 P.M. – Eagle Mountain City Planning Commission Policy Session**

##### 2. Commissioner Allen called the policy session to order at 6:32 p.m.

##### 3. Pledge of Allegiance

Commissioner Allen led the Pledge of Allegiance.

##### 4. Declaration of Conflicts of Interest

None.

##### 5. Approval of Meeting Minutes

###### 5.A.

**MOTION:** *Commissioner Fox moved to approve the minutes of November 25, 2025, Planning Commission meeting. Commissioner Strong seconded the motion.*

**Jason Allen**

**Yes**

**Robert Fox**

**Yes**



Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Abstain

***The motion passed with 4 yes and 1 abstention.***

6. Status Report

Community Development Director Brandon Larsen reviewed the planning items discussed and voted upon during the City Council meeting.

7. Action and Advisory Items

**7.A. 2026 Planning Commission Schedule**

**Discussion summary:**

Commissioners agreed to add another Planning Commission Meeting to the calendar on November 24, 2026, and if the meeting is not necessary it can be cancelled.

**MOTION:** *Commissioner Strong moved to approve Item 7.A., 2026 Planning Commission Schedule, with the addition of one meeting on November 24, 2026. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

***The motion passed with a unanimous vote.***

**7.B. Horizon Master Community MDP/Plat Review**

**Presentation summary:** A request by Caden Hazard for Master Development Plan and for Preliminary Plat Approval for 110 single-family detached residential lots with open space all on/for approximately 109 acres of property located in Section 30, T5S, R1W, on the north side of Pony Express Parkway and Lone Tree Parkway addressed as 2434 E. Pony Express Parkway; application set identified as the: "Horizon" project.

**Applicant's statements summary:** Scot Hazard declined to comment during the Policy Session.

**Discussion summary:**

- Robert Hobbs provided a quick overview of the Horizon Master Development Plan, highlighting the property's location near Pony Express and Lone Tree.
- The plat includes open space parcels, a 20-count parking lot, a 360-stair amenity, trail systems, and a commitment to not exacerbate traffic issues in Lone Tree until egress is resolved.
- The project includes a wildlife corridor, with the Nature Wildlife Alliance suggesting an alternative route, and the need for a final plat to reflect the boundary.
- Jason Allen and other Commissioners discussed the project's compliance with code, particularly regarding slope and block length requirements.
- Marcus Draper clarified the applicability of the ridge line protection overlay zone and the need for reasonable diligence in implementing approvals.



- The Commission considered the impact of the project on existing neighborhoods, including traffic and emergency access, and the need for pedestrian connectivity.
- The discussion concluded with a commitment by the applicant to continue working on the project's details, including addressing traffic and emergency access issues, and ensuring compliance with city codes and ordinances.
- Commissioners Whiting and Allen agree on the need for the City Council to evaluate the subdivision with a different lens.

*Commissioner Allen opened the public hearing at 6:43 p.m.*

*Alexia Turley, Kayla Baugh, Chad Hicks, Tracey Snyder, Teri Hansen, and Karina Woodbury all sent in or made public comments.*

*Commissioner Allen closed the public hearing at 6:58 p.m.*

**MOTION:** *Commissioner Whiting moved to deny Item 7.B., Horizon MDP/Preliminary Plat. Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

#### **7.C. Hidden Hollow Pool Amenity**

**Presentation Summary Points:** This matter is a second request/attempt by Cadence Homes to receive approval to trade-out a required swimming pool for the Hidden Hollow development. Proposed is the substitution of a gym and additional lawn games for a swimming pool. The property under consideration is Parcel D in Hidden Hollow at the southeast corner of the intersection of N. Smooth Way and N. Carlton Way. Although a recent code amendment permits administrative (Staff-level) review of site plans, the specific criteria outlined in that amendment—along with the code referenced in the 'Items for Consideration' section of this report—necessitated processing the Applicant's request as a standard site plan amendment. Review by both the Planning Commission and City Council is required, since site plans must be reviewed sequentially by these two bodies. Staff considers the proposed amenity swap to be minor in nature and scope, especially when compared to other types of possible site plan revisions.

**Applicant's statements summary:** Hunter Smith representing Cadence Homes presented the proposed Amenity Exchange. He presented a new survey showing strong preference for a gym among residents, emphasizing the active lifestyle in the community. Smith explained the challenges of maintaining a swimming pool in a windy and dusty environment and the preference for year-round gym access.

#### **Discussion summary points:**

- Commissioners discussed the potential benefits and drawbacks of a gym versus a swimming pool, considering cost, maintenance, and community needs.
- Commissioners emphasized the importance of providing amenities that meet community needs and the potential for future expansion of the clubhouse.
- Jason Allen and Commissioners agreed on the need for a balanced approach that considers both community feedback and code requirements.



Commissioner Allen opened the public hearing at 7:50 p.m. As there were no comments, he closed the hearing.

**MOTION:** *Commissioner Strong moved to recommend approval to the City Council of Item 7.C., Hidden Hollow Pool Amenity, with the recommendation to add an amenity to the clubhouse. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

#### **7.D. Fence Code Patch Amendment**

**Presentation Summary Points:** A pair of Neighborhood Improvement cases prompted the drafting of the attached code amendment designed to clarify and strengthen the City's disposition regarding maintenance of fences, walls and retaining structures. Legal counsel has reviewed the draft.

**Discussion summary points:**

- Robert Hobbs introduced the fence code amendment, addressing issues of fence maintenance and repair responsibilities.
- Commissioners discussed the importance of maintaining fences and the potential impact on Neighborhood Improvement efforts.
- Commissioners agreed that the code amendment is pretty straight forward and recommend approval to the City Council.

Commissioner Allen opened the public hearing at 7:56 p.m. As there were no comments, he closed the hearing at 7:57 p.m.

**MOTION:** *Commissioner Whiting moved to recommend approval to the City Council of Item 7.D., Fence Code Patch Amendment. Commissioner Fox seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

#### **7.E. Pacific Springs Development Agreement**

**Presentation Summary Points:** R5 Homes is working on getting permits for lots 511–514 in Pacific Springs A5. However, per EMMC 16.35.090, they are required to install privacy screening “prior to any building permits being issued in that phase of development that abuts such right-of-way.” R5 Homes is requesting flexibility--through a development agreement--to install the fencing after home construction on the lots to avoid potential damage during the building process.

**Applicant's statement summary:** Brian Haskell from R5 Homes explained the challenges of dealing with incomplete fencing in the Pacific Springs neighborhood and the need for a bonding system.

**Discussion summary points:**

- Commissioners agreed on the importance of maintaining fences and the potential benefits of a bonding system for future developments.



Commissioner Allen opened the public hearing at 8:01 p.m. As there were no comments, he closed the hearing 8:02 p.m.

**MOTION:** *Commissioner Fox moved to recommend approval to the City Council of Item 7.E., Pacific Springs Development Agreement. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

#### **7.F. Data Center Directional Signage Code Amendment**

**Presentation Summary Points:** Staff has been approached on a couple of occasions by data center representatives wanting to construct directional signage for their trucks and workers. Our current code does not allow for such signage, but Staff feels that it is worth considering the proposed code amendment to help reduce traffic along roads such as Pony Express Parkway by keeping it on SR-73 for as long as possible.

**Discussion summary points:**

- Steven Lehmitz introduced the proposal for off-premise directional signage for large-scale developments, such as data centers.
- The proposal aims to direct truck traffic away from Pony Express and onto designated routes, improving traffic flow and safety.
- Commissioners discussed the potential benefits and drawbacks of the proposal, considering the need for clear signage and community input.
- The proposal includes requirements for maintaining signage and ensuring compliance with dark sky regulations.
- Commissioners agreed the code amendment makes sense and like the Alternate Energy Overlay Zone being included.

Commissioner Allen opened the public hearing at 8:09 p.m. As there were no comments, he closed the hearing.

**MOTION:** *Commissioner Whiting moved to recommend approval to the City Council of Item 7.F., Data Center Directional Signage Code Amendment with an addition to paragraph E. to include the Alternate Energy Overlay Zone. Commissioner Fox seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

#### **5. Next Scheduled Meeting**

The next Planning Commission meeting is scheduled for January 13, 2026.

#### **6. Adjournment**



**MOTION:**                    *Commissioner Fox moved to adjourn the meeting at 8:15 p.m. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

The meeting was adjourned at 8:15 p.m.

Approved by the Planning Commission on

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Brandon Larsen  
Community Development Director





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	January 13, 2026 Planning Commission meeting minutes
<b>ITEM TYPE:</b>	Minutes
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	N/A

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
N/A	N/A

**PUBLIC HEARING**

No

**PREPARED BY**

Megan Green, Planning  
Secretary

**PRESENTED BY**

**RECOMMENDATION:**

N/A

**BACKGROUND:**

N/A

**ITEMS FOR CONSIDERATION:**

N/A

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

N/A

**ATTACHMENTS:**

1. 1.13.26 PC Meeting Minutes Draft





## EAGLE MOUNTAIN PLANNING COMMISSION

### MEETING MINUTES

January 13, 2026, 5:30 p.m.

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Rod Hess, Brent Strong, and Bryan Free.

ELECTED OFFICIAL PRESENT: Mayor, Jared Gray

CITY STAFF PRESENT: Assistant City Manager, Steve Mumford; Brandon Larsen, Community Development Director; Marcus Draper, City Attorney; Zac Hilton, Assistant Public Works Director; Ben Reeves, City Manager; Robert Hobbs, Senior Planner; David Stroud, Senior Planner; Elizabeth Fewkes, Long-range Planner; and Megan Green, Planning Secretary.

#### **5:30 P.M. – Eagle Mountain City Planning Commission Work Session**

Commissioner Hess called the meeting to order at 5:32 p.m.

##### 1. Discussion Items

##### **1.A. DISCUSSION ITEMS – Parks, Trails and Open Space Master Plan and IFFP**

Vince Alcott with MHTN Architects introduced the updated Parks, Trails, and Open Space Master Plan and IFFP to the Planning Commission. Vince explained the Plan's purpose, the coordination with other city plans, and the vision statement guiding the update. He outlined the Project's process, including community engagement and feedback, including a survey with 249 respondents which revealed that maintaining existing parks and trails was the top priority for respondents. Vince went over the updated Open Space classifications: developed, undeveloped, naturalized, and conservation open spaces. The City currently has 6.16 acres of park per 1000 people, down from 8.79 in 2020 due to population growth. Proposed strategies include focusing on community and regional parks, improving existing parks, and addressing speed and mode conflicts on trails. The Plan recommends developing official volunteer programs, improving signage, and increasing awareness of park and trail resources.

Commissioner Hess adjourned the work session at 6:21 p.m.

#### **6:30 P.M. – Eagle Mountain City Planning Commission Policy Session**

2. Commissioner Hess called the policy session to order at 6:30 p.m. stating that Commissioner Allen was excused.

##### 3. Pledge of Allegiance

Commissioner Allen led the Pledge of Allegiance.

##### 4. Declaration of Conflicts of Interest

None.

##### 5. Approval of Meeting Minutes

##### 5.A.



**MOTION:** *Commissioner Strong moved to table the minutes of December 9, 2025, Planning Commission meeting. Commissioner Hess seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

6. Status Report

Community Development Director Brandon Larsen reviewed the planning items discussed and voted upon during the December 16, 2025, City Council meeting.

7. Action and Advisory Items

**7.A. Slope Development Code Amendment**

**Presentation Summary:** Robert Hobbs presented the Slope Development Code Amendment. Staff was asked to prepare a code amendment to specify that slopes 25% or greater may not be graded or otherwise physically altered.

**Discussion summary:** The amendment includes defining slope, reformatting code language for clarity, and introducing a new definition for slope. Commissioners discussed the importance of clear and consistent language in the code and the need for proper implementation.

*Commissioner Hess opened the public hearing at 7:08 p.m. As there were no comments, he closed the hearing at 7:09 p.m.*

**MOTION:** *Commissioner Strong moved to recommend approval to the City Council of Item 7.A., Slope Development Code Amendment. Commissioner Hess seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

**7.B. City Parks, Trails and Open Space Master Plan ordinance**

**Presentation summary:** Eagle Mountain has contracted with MHTN to update the Parks, Trails and Open Space Plan. This effort includes a comprehensive inventory of the City's existing parks and recreational assets, an evaluation of current conditions, and an analysis of level of service to identify gaps and opportunities. The plan also outlines strategic recommendations to guide parks development and improvements over the next several years, including project prioritization based on community needs, service equity, and long-term buildout. An updated and associated Impact Fee Facilities Plan (IFFP) is also proposed.

**Discussion summary:** Vince Alcott with MHTN Architects briefly went through the Parks, Trails and Open Space Master Plan and IFFP. The plan was previously discussed during the Work Session of the Planning Commission meeting. Commissioners discussed the Plan's recommendations, including the importance of maintaining existing parks and addressing maintenance needs. The Plan's alignment with the City's overall transportation and development plans were also highlighted. The need for clear communication and outreach to residents about the plan and its implementation was emphasized.



Commissioner Hess opened the public hearing at 6:58 p.m. As there were no comments, he closed the hearing at 6:59 p.m.

**MOTION:** *Commissioner Hess moved to recommend approval to the City Council of Item 7.B., City Parks, Trails and Open Space Master Plan ordinance. Commissioner Strong seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

#### **7.C. Overland Village 2 Phase B Concept Plan**

**Presentation Summary Points:** Overland Village is guided by the initial Development Agreement and subsequent amendments. Village 2A consists of a school and several residential plats, containing single-family and townhome units. The second area to develop, Phase B contains single-family dwellings. A "Medium Park or Club Ivory" is contained in Village 2B and is required to be constructed prior to recording the plat containing the 400th residential unit.

**Applicant's statements summary:** Brad Mackey from Ivory Homes presented the Overland Village Phase 2B Concept Plan. Mackey agreed with Commissioner Hess on the importance of larger street trees for a canopy effect and compliance with the Code and applicable standards. The Concept Plan includes detailed landscaping guidelines and trail systems. The Plan also includes a requirement to construct a park before reaching a certain unit count. Mackey explained the development phases, including the paved road to Airport Road and the planned park, park access, and trail connections.

**Discussion summary points:** Commissioner Strong and David Stroud discussed the development phases and the reason for dead-ending roads, with input from the Fire Marshal Devoogd. Commissioner Hess asked about a connection to Airport Road, and Mackey confirmed the location of a four-way stop. Trail construction was discussed, and how it will be built with the roads in each phase. Overall the Commissioners were in favor of the Plan.

*This Item was not a Public Hearing.*

#### **8. Next Scheduled Meeting**

The next Planning Commission meeting is scheduled for February 10, 2026.

#### **9. Adjournment**

**MOTION:** *Commissioner Strong moved to adjourn the meeting at 7:35 p.m. Commissioner Hess seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

*The motion passed with a unanimous vote.*

The meeting was adjourned at 7:35 p.m.

Approved by the Planning Commission on



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Brandon Larsen  
Community Development Director

DRAFT





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	One Call Auto Site Plan
<b>ITEM TYPE:</b>	Site Plan
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	Mitchell Menlove

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
Employment Center/Campus / RTI	0.95

**PUBLIC HEARING**

Yes

**PREPARED BY**

David Stroud, Senior Planner

**PRESENTED BY**

David Stroud

**RECOMMENDATION:**

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the One Call Auto site plan.

**BACKGROUND:**

This request is to locate an auto repair business in the Rush Creek subdivision. A plat amendment was recently approved that divided two lots into four lots and one of these new lots is to be occupied by One Call Auto. OCA currently operates one location in Lehi, but the owner sees the need to expand into Eagle Mountain. The site plan contains one building of 4,432 square feet with six repair bays. The lot will also contain 8,757 square feet of landscaping.

**ITEMS FOR CONSIDERATION:**

The proposed site plan complies with all applicable standards in the site plan development (EMMC 17.100) and commercial design (EMMC 17.72) zoning standards.

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

The Planning Commission shall make a recommendation to the City Council regarding the site plan.

**ATTACHMENTS:**

1. One Call Auto Civil
2. One Call Auto Elevations
3. One Call Auto Landscape
4. One Call Auto Lighting

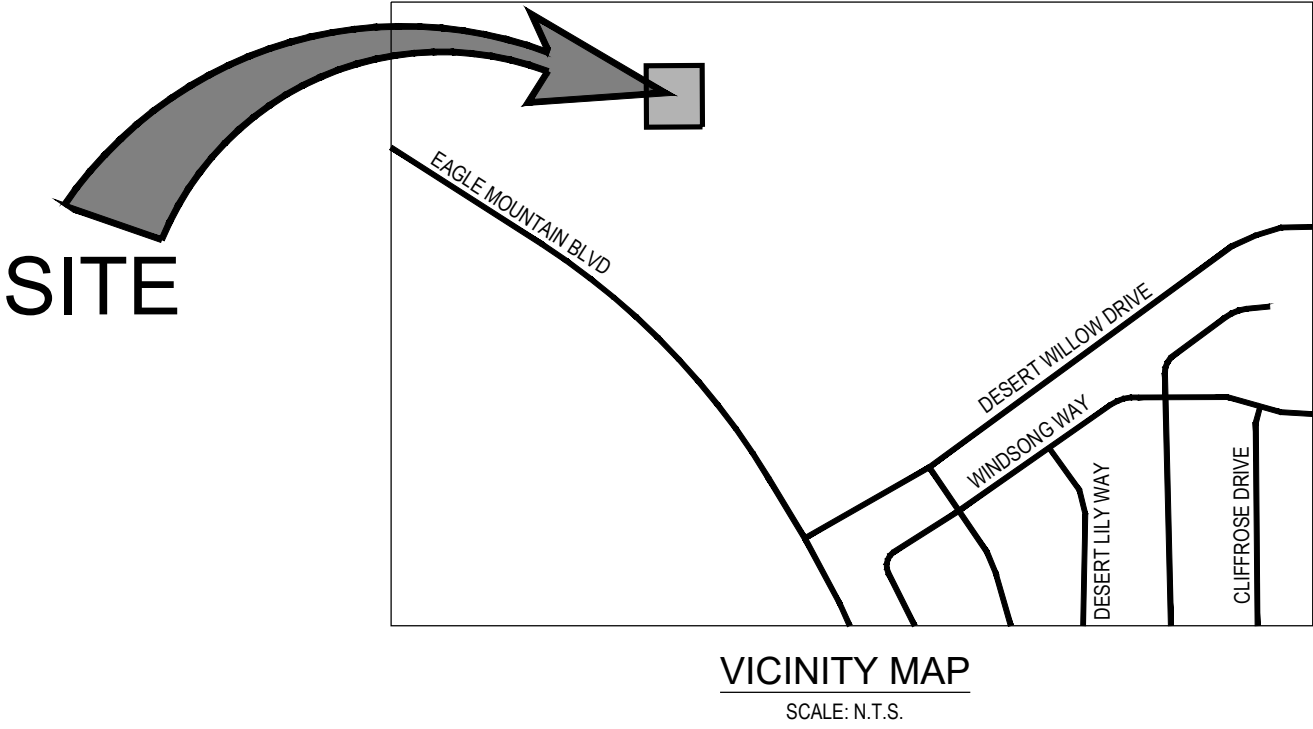
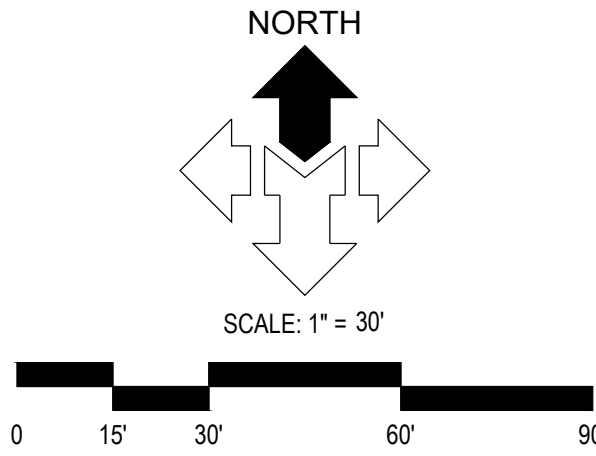


RBallif 1/8/26 no comment  
M BAHR 1-9-26 NO COMMENT  
D Payne 1/9/2026- No comment

ABoydston 1/12/26 No Comment  
DDeVoogd 1/8/26 - No comment  
D Stroud 1.15.26 no comment

# ONE CALL AUTO CONSTRUCTION PLANS

657 EAST SPLIT ROCK DRIVE  
EAGLE MOUNTAIN, UTAH 84043



DRAWING INDEX	
SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C2.10	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS

ALL WORK AND MATERIALS FOR WATER  
MUST CONFORM TO EAGLE MOUNTAIN  
CITY STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER  
MUST CONFORM TO EAGLE MOUNTAIN  
CITY STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS MUST  
CONFORM TO APWA STANDARDS AND  
SPECIFICATIONS

DEVELOPER & OWNER CONTACT INFO

OWNER: ONE CALL AUTO  
DEVELOPER: MENLOVE CONSTRUCTION  
DEVELOPER CONTACT: KEN MENLOVE  
4243 WEST NIKE DRIVE SUITE C  
WEST JORDAN, UTAH  
PHONE: 801-671-4697

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GENERAL NOTES

- 1.1 COMPLIANCE
1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.
- 1.2 PERMITTING AND INSPECTIONS
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.
- 1.3 COORDINATION & VERIFICATION
1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDINGS WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.
- 1.4 SAFETY AND PROTECTION
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
7. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
13. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNERS SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

- 1.5 GRADING / SOILS
1. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
3. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

- 1.6 UTILITIES
1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
4. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE. REQUIRING FIELD VERIFICATION.
5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUIT SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

- 1.8 SURVEY CONTROL
1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

- 1.9 AMERICAN DISABILITIES ACT
1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:  
"ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE"  
"ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE."  
"RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE."
2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

EAGLE MOUNTAIN CITY GENERAL NOTES:

FOLLOWING APPROVAL OF THE CITY COUNCIL, FOUR COPIES OF THE CONSTRUCTION PLANS SHALL BE SUBMITTED WITH THREE COPIES TO BE RETAINED BY THE CITY ENGINEER OR HIS/HER DESIGNEE AND ONE COPY RETURNED TO THE SUBDIVIDER WITH THE APPROVAL MARK AND SIGNATURE OF THE CITY ENGINEER OR HIS/HER DESIGNEE. ONE APPROVED COPY SHALL BE KEPT AVAILABLE AT THE CONSTRUCTION SITE.

THESE PLANS AND DESIGNS SHALL MEET THE STANDARDS DEFINED IN THE SPECIFICATIONS AND DRAWINGS OF THE CITY DESCRIBED HEREIN. THE MINIMUM INFORMATION REQUIRED ON DRAWINGS FOR IMPROVEMENTS ARE AS FOLLOWS:

ALL DRAWINGS AND/OR PRINTS SHALL BE CLEAR AND LEGIBLE AND CONFORM TO GOOD ENGINEERING AND DRAFTING ROOM PRACTICE. SIZE OF DRAWINGS SHALL BE 24 INCH BY 36 INCH (TRIM LINE) WITH MINIMUM BORDERS OF ONE-HALF INCH ON TOP, BOTTOM AND RIGHT SIDES, LEFT SIDE ONE AND ONE-HALF INCH.

- A. INCLUDE THE FOLLOWING WITH THE CONSTRUCTION DRAWINGS:
1. A COPY OF THE PROPOSED FINAL PLAT.
2. A PLAN VIEW OF THE ENTIRE PROJECT.
3. PLAN AND PROFILES OF ALL CURBS, GUTTERS, STORM DRAINS, WATER, PRESSURIZED IRRIGATION AND SEWER SYSTEMS.
4. DETAIL DRAWINGS ONLY FOR ITEMS NOT FOUND IN THE APWA MANUAL. DETAIL DRAWINGS SHALL BE TO SCALE AND COMPLETELY DIMENSIONED AND DESCRIBED. ALL STRUCTURES SHALL BE DESIGNED IN ACCORDANCE WITH MINIMUM REQUIREMENTS ESTABLISHED BY THIS TITLE OR THE APWA MANUAL.
5. COMPLETE PLANS FOR ALL OFF-SITE WORK TO BE DONE IN CONJUNCTION WITH THE PROJECT.
6. A SWPPP PAGE WITH MAPS SHOWING:
- A. STORM DRAIN SYSTEM.
- B. TOPOGRAPHICAL LINES AND FLOW ARROWS.
- C. UPDES PERMIT NUMBER WITH CONTACT INFORMATION.
- D. LOCATIONS OF BMP'S AND GOOD HOUSEKEEPING MEASURES.
- E. PERMANENT BMP'S AND HIGH PRIORITY SITES.

- B. INCLUDE THE FOLLOWING ON EACH DRAWING SHEET:
1. NORTH ARROW
2. SCALE. USE A STANDARD ENGINEERING SCALE BETWEEN ONE INCH EQUALS 10 FEET AND 80 FEET. USE A SCALE OF ONE INCH EQUALS 100 FEET ON THE PLAN VIEW OF THE ENTIRE PROJECT IF NECESSARY TO FIT THE PROJECT ON ONE SHEET.
3. TITLE BLOCK ALONG RIGHT SIDE OF SHEET WITH TITLE OF DRAWING IN LOWER RIGHT CORNER. INCLUDE IN TITLE BLOCK:
- A. NAME OF SUBDIVISION AND PLAT AND LOT NUMBER.
- B. NAME OF CITY.
- C. SPECIFIC TYPE OF DRAWING (CONSTRUCTION DRAWINGS, PLAN VIEW, PLAN AND PROFILES, OFF-SITE CONSTRUCTION, DETAIL DRAWINGS).
- D. SPACE PROVIDED FOR APPROVAL SIGNATURE OF CITY ENGINEER OR HIS/HER DESIGNEE AND DATE.
- E. NAME OF ENGINEER, SURVEYOR OR FIRM PREPARING DRAWINGS.
- F. DRAWING NUMBER OF TOTAL NUMBER OF DRAWINGS.
4. ALSO INCLUDE THE FOLLOWING WITH PROFILE DRAWINGS:
- A. VERTICAL SCALE OF ONE INCH EQUALS ONE, TWO, THREE OR FOUR FEET.

B. REFERENCE TO THE VERTICAL DATUM. THE 1929 NORTH AMERICAN VERTICAL DATUM (NAV1929) SHALL BE USED FOR ALL ELEVATION DATA.

C. BENCHMARK LOCATION AND ELEVATION FOR CHECKING CONSTRUCTION.

D. STATIONING ALIGNED FROM PLAN VIEW WITH THE PROFILE VIEW.

E. EXISTING GROUND, DITCH AND UTILITY LINES.

C. INCLUDE THE FOLLOWING FOR CURBS, GUTTERS, STORM DRAINS, DRAINAGE STRUCTURES, SIDEWALKS AND STREET SURFACING PLANS:

1. PLAN AND PROFILE FOR TOP BACK OF CURB FOR EACH SIDE OF THE STREET. LABEL PROFILE LINE AS TOP BACK OF CURB FOR BOTH SIDES OF STREET IF IT IS THE SAME.
2. STATIONING AND TOP BACK OF CURB ELEVATIONS WITH CURVE DATA FOR CURB RETURNS
3. FLOW DIRECTION AND TYPE OF CROSS DRAINAGE STRUCTURES AT INTERSECTIONS WITH ADEQUATE FLOW LINE ELEVATIONS.
4. TYPE OF CURB AND GUTTER IF OTHER THAN THE STANDARD 30-INCH MODIFIED CURB AND GUTTER IN THE STANDARD DRAWINGS.
5. PLAN AND PROFILE OF ALL NEW AND EXISTING STORM DRAINS AND STORM MANHOLES AND BOXES.
6. STORM BOX AND MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RM.
7. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING STORM DRAINS.
8. STORM WATER CALCULATIONS FOR A 25-YEAR AND 100-YEAR STORM.
9. DETAIL OF ADA RAMPS WITH DETECTABLE WARNING PADS.

D. INCLUDE THE FOLLOWING FOR SEWER PLANS:

1. PLAN AND PROFILE OF ALL NEW AND EXISTING SEWER MAINS AND MANHOLES.
2. MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RM.
3. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING SEWER MAINS.
4. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAIN AND DIMENSIONED.

D. INCLUDE THE FOLLOWING FOR CULINARY WATER PLANS:

1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING WATER MAINS.
2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.
3. LOCATION OF VALVES, FITTINGS, HYDRANTS, BOXES, METERS AND APPURTENANCES.
4. MINIMUM COVER.
5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAIN AND DIMENSIONED.
- D. INCLUDE THE FOLLOWING FOR THE PRESSURIZED IRRIGATION PLANS:
1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING IRRIGATION MAINS.
2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.
3. LOCATION OF VALVES, FITTINGS, BOXES, METERS AND APPURTENANCES.
4. MINIMUM COVER.
5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAIN AND DIMENSIONED.

ABBREVIATIONS

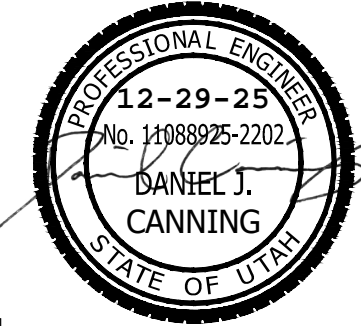
AC	ACRE	DIP	DUCTILE IRON PIPE	GM	GAS METER	PCC	POINT OF COMPOUND CURVE
ADA	AMERICANS WITH DISABILITIES ACT	DTREE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	DYL	DOUBLE YELLOW LINE	GUY	GUY WIRE	PM	PARKING METER
B&C	BAR & CAP	E	EAST	GV	GAS VALVE	PP	POWER POLE
BC	BUILDING CORNER	EB	ELECTRIC BOX	HDPE	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE
BFG	BOTTOM FINISH GRADE	EGL	ENERGY GRADE LINE	HG	HEADGATE	PRK	PARKING STRIPE
BLUE	BLUE STAKED ELECTRIC	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	POC	POINT OF CONNECTION
BLUFO	BLUE STAKED FIBER OPTIC	EH	ELECTRIC METER	HP	HIGH POINT	PT	POINT OF TANGENCY
BLUG	BLUE STAKED NATURAL GAS	EMH	EDGE OF MANHOLE	HW	HEADWALL or HIGH WATER	PWR	POWER
BLUIRR	BLUE STAKED IRRIGATION	EOA	EDGE OF ASPHALT	HWY	HIGHWAY	PVC	POLYVINYL CHLORIDE PIPE
BLUSD	BLUE STAKED STORM DRAIN	EOC	EDGE OF CONCRETE	ICO	IRRIGATION CLEANOUT	R	RANGE
BLUSS	BLUE STAKED SANITARY SEWER	EOG	EDGE OF GRAVEL	ICV	IRRIGATION CONTROL VALVE	RCP	REINFORCED CONCRETE PIPE
BLUT	BLUE STAKED TELEPHONE	EOL	EDGE OF LAWN	IE	INVERT ELEVATION	RD	ROOF DRAIN
BLUW	BLUE STAKED WATER	EX or EXIST	EXISTING	IRR	IRRIGATION	REV	REVISION
BM	BENCHMARK	F	FIRE	LF	LINEAR FEET	ROW	RIGHT-OF-WAY
BOF	BOTTOM OF FOOTING	FC	FOUNDATION CORNER	LIP	LIP OF GUTTER	RR	RAILROAD
BOF	BOTTOM OF BOX	FD	FOUND or FOUNDATION DRAIN	LP	LOW POINT or LIGHT POLE	S	SOUTH
BOL	BOLLARD	FDC	FIRE DEPT. CONNECTION	MAX	MAXIMUM	SAD	SEE ARCHITECTURAL DRAWINGS
BOT	BOTTOM	FMN	FOUND MONUMENT	MN	MINIMUM	SD	STORM DRAIN
BOV	BLOW-OFF VALVE	FDSC	FOUND SECTION CORNER	MON	MONUMENT	SDCB	STORM DRAIN CATCH BASIN
BOW	BACK OF WALK	FFE	FINISHED FLOOR ELEVATION	MP	METAL PIPE	SDCO	STORM DRAIN CLEANOUT BOX
BW	BLIND	FG	FINISHED GRADE	N	MONITORING WELL	SDMH	STORM DRAIN MANHOLE
C	CENTERLINE	FH	FIRE HYDRANT	N	NORTH	SEC	SECTION
CATV	CABLE TELEVISION	FL	FLOW LINE	NG	NATURAL GROUND	SPECs	SPECIFICATIONS
CNB	CONCRETE BARRIER	FNCCL	FENCE	NGRET	NG AT RETAINING WALL	SLBM	SALT LAKE BASE & MERIDIAN
CC	CURB CUT	FNCCL	CHAIN LINK FENCE	NR	NAIL & RIBBON	SO	SQUARE
COL	COLUM	FNCIRN	IRON FENCE	NW	NAIL & WASHER	SOFT	SQUARE FEET
COMM	COMMUNICATIONS	FNCVLY	VINYL FENCE	NTS	NOT TO SCALE	SOVD	SQUARE YARD
CONC	CONCRETE	FNCVD	WOOD FENCE	OG	ORIGINAL GROUND	SD	STORM DRAIN
CONST	CONSTRUCTION	FNCWR	WIRE FENCE	OH	OVERHANG	SSCO	SANITARY SEWER CLEANOUT
CMP	CORRUGATED METAL PIPE	FO	FIBER OPTIC	OHC	OVERHEAD COMMUNICATIONS	SSMH	SANITARY SEWER MANHOLE
CP	CONTROL POINT	FOW	FRONT OF WALK	OHP	OVERHEAD POWER	ST	STEAM
CTREE	CUT	FT	FEET	OT	OVERHEAD TELEPHONE	STA	STATION
CUDY	CUBIC YARD	G	NATURAL GAS	OTV	OVERHEAD TELEVISION	STD	STANDARD
DEL	DELINEATOR	GA	GARAGE	P	PROPERTY LINE	STM	STORM
DIA or Ø	DIAMETER	GB	GRADE BREAK	PB	POWER BOX	SYL	SOLID YELLOW LINE
		GL	GROUND LIGHT	PC	POINT OF CURVATURE	SWL	SOLID WHITE LINE

LEGEND

NEW	EXISTING		NEW	EXISTING	
---	---	MONUMENT LINE	↑	↑	SECTION CORNER (FOUND)
---	---	CENTER LINE	↑	↑	SECTION CORNER (NOT FOUND)
---	---	SUBJECT PROPERTY LINE	↑	↑	STREET MONUMENT
---	---	ADJACENT PROPERTY LINE	↑	↑	BRASS CAP MONUMENT
---	---	EASEMENT LINE	↑	↑	POWER POLE
---	---	DITCH FLOWLINE	↑	↑	UTILITY POLE
---	---	FENCE LINE	↑	↑	GUY ANCHOR
---	---	ATMS CABLE	↑	↑	POWER TRANSFORMER
---	---	CABLE TV LINE	↑	↑	TRAFFIC SIGNAL CABINET
---	---	COMMUNICATIONS LINE	↑	↑	LIGHT POLE
---	---	FIBER-OPTIC CABLE	↑	↑	TELEPHONE RISER
---	---	FIRE LINE	↑	↑	TELEPHONE MANHOLE
---	---	IRRIGATION LINE	↑	↑	TRAFFIC SIGNAL BOX
---	---	NATURAL GAS LINE	↑	↑	WATER MANHOLE
---	---	OVERHEAD COMMUNICATIONS	↑	↑	WATER VALVE
---	---	OVERHEAD POWER LINE	↑	↑	WATER METER
---	---	OVERHEAD TELEPHONE LINE	↑	↑	FIRE HYDRANT
---	---	OVERHEAD TELEVISION LINE	↑	↑	SANITARY SEWER MANHOLE
---	---	POWER LINE	↑	↑	SANITARY SEWER CLEANOUT
---	---	POWER/COMMUNICATIONS LINE	↑	↑	STORM DRAIN MANHOLE
---	---	POWER/TELEPHONE LINE	↑	↑	STORM DRAIN CURB INLET
---	---	POWER/TELE/COMM LINE	↑	↑	STORM DRAIN CATCH BASIN
---	---	ROOF DRAIN LINE	↑	↑	STORM DRAIN CLEANOUT
---	---	SECONDARY WATER LINE	↑	↑	STORM DRAIN COMBO BOX
---	---	SANITARY SEWER LINE	↑	↑	MAILBOX
---	---	STEAM LINE	↑	↑	SIGN
---	---	STORM DRAIN LINE	↑	↑	FLOW DIRECTION
---	---	TELEPHONE LINE	↑	↑	SPOT ELEVATION
---	---	TELEPHONE/COMM LINE	↑	↑	CONFEROUS TREE
---	---	UNDERDRAIN	↑	↑	DECIDUOUS TREE
---	---	UNDERGROUND COMMUNICATIONS	↑	↑	
---	---	UNDERGROUND POWER LINE	↑	↑	
---	---	UNDERGROUND TELEPHONE LINE	↑	↑	
---	---	UNDERGROUND TELEVISION	↑	↑	
---	---	WATER LINE	↑	↑	
---	---	CONTOUR LINE	↑	↑	
---	---	CURB & GUTTER (STD)	↑	↑	
---	---	CURB & GUTTER (OUTFALL)	↑	↑	

ONE CALL AUTO

657 EAST SPLIT ROCK DRIVE  
EAGLE MOUNTAIN UTAH 84043



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**Structural Engineering • Land Surveying & HDS**

REV	DATE	DESCRIPTION
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PROJECT NO: 25446

DRAWN BY: TJO

CHECKED BY: DJC

DATE: 12/29/25

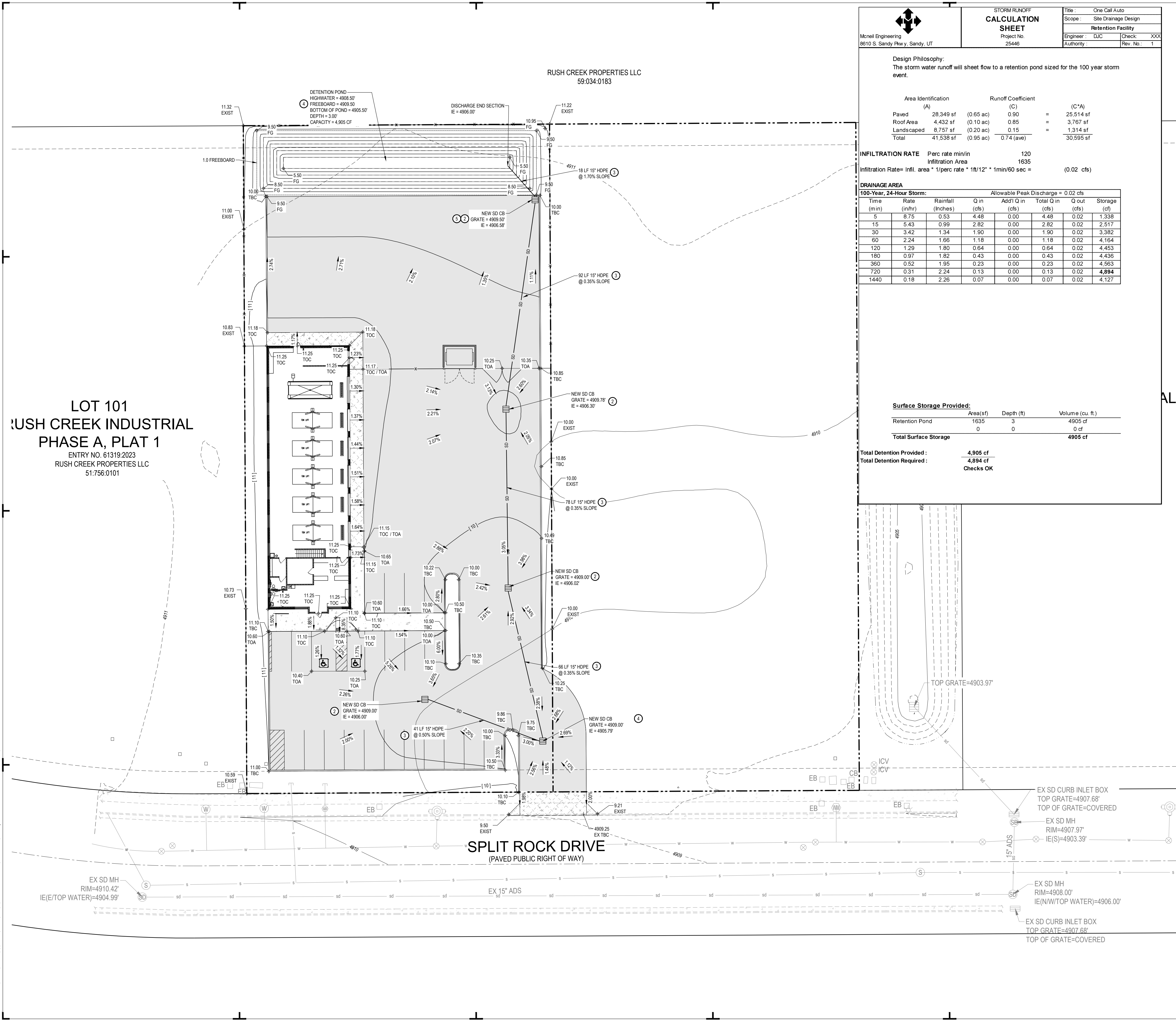
GENERAL NOTES,  
LEGEND AND  
ABBREVIATIONS


C0.01









 <p>McNeill Engineering 8610 S. Sandy Pkwy, Sandy, UT</p>	<p>STORM RUNOFF</p> <p><b>CALCULATION SHEET</b></p> <p>Project No. 25446</p>	<p>Title : One Call Auto</p> <p>Scope : Site Drainage Design</p>
		<p><b>Retention Facility</b></p>
		<p>Engineer : DJC      Check: XXX</p>
		<p>Authority :              Rev. No.: 1</p>

**Design Philosophy:**  
The storm water runoff will sheet flow to a retention pond sized for the 100 year storm event.

Area Identification		Runoff Coefficient			
(A)		(C)			(C*A)
Paved	28,349 sf	(0.65 ac)	0.90	=	25,514 sf
Roof Area	4,432 sf	(0.10 ac)	0.85	=	3,767 sf
Landscaped	8,757 sf	(0.20 ac)	0.15	=	1,314 sf
Total	41,538 sf	(0.95 ac)	0.74 (ave)		30,595 sf

INFILTRATION RATE	Perc rate min/in	120	
	Infiltration Area	1635	
Infiltration Rate= Infil. area * 1/perc rate * 1ft/12" * 1min/60 sec =			(0.02 cfs)

DRAINAGE AREA							
100-Year, 24-Hour Storm:				Allowable Peak Discharge = 0.02 cfs			
Time (min)	Rate (in/hr)	Rainfall (inches)	Q in (cfs)	Add'l Q (cfs)	Total Q in (cfs)	Q out (cfs)	Storage (cfs)
5	8.75	0.53	4.48	0.00	4.48	0.02	3.38
15	5.43	0.99	2.82	0.00	2.82	0.02	2.517
30	3.42	1.34	1.90	0.00	1.90	0.02	3.382
60	2.24	1.66	1.18	0.00	1.18	0.02	4.164
120	1.29	1.80	0.64	0.00	0.64	0.02	4.453
180	0.97	1.82	0.43	0.00	0.43	0.02	4.436
360	0.52	1.95	0.23	0.00	0.23	0.02	4.563
720	0.31	2.24	0.13	0.00	0.13	0.02	<b>4.894</b>
1440	0.18	2.26	0.07	0.00	0.07	0.02	4.127

<b>Surface Storage Provided:</b>			
	Area(sf)	Depth (ft)	Volume (cu. ft.)
Retention Pond	1635	3	4905 cf
	0	0	0 cf
<b>Total Surface Storage</b>			<b>4905 cf</b>

Total Detention Provided :	4,905 cf
Total Detention Required :	4,894 cf
	Checks OK

## GENERAL NOTES:

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL SUBGRADE AND SUBFILL MEETS THE SPECIFIED COMPACTION AND AREA AND AREAS TO BE FILL HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS.

2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C171 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF SHEET PREPARATION. PLANS, LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATE IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THE VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

**KEY NOTES:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR  
REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- ② STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE.
- ③ STORM DRAIN PIPE PER EAGLE MOUNTAIN CITY STANDARDS. SEE PLAN FOR LENGTH, SIZE, TYPE AND SLOPE.
- ④ DETENTION POND AREA.
- ⑤ OIL/WATER SEPARATOR SNOUT. MUST BE MAINTAINED BY OWNER. PER EAGLE MOUNTAIN DETAIL 119, SEE SHEET C5.01.

**STORM DRAIN NOTES:**  
ALL STORM DRAIN UPSTREAM OF AND INCLUDING THE ISO BOX WILL BE CONSIDERED PRIVATE AND WILL NOT BE MAINTAINED BY EAGLE MOUNTAIN CITY, ALL PRIVATE STORM DRAIN WILL BE MAINTAINED BY THE PROPERTY OWNER.

**COMMON GRADING ABBREVIATIONS:**  
SEE SHEET C0.01 FOR ADDITIONAL ABBREVIATIONS

- BFE	BASEMENT FLOOR ELEVATION
- BW	FINISH GRADE AT BOTTOM OF WALL
- EX or EXIST	EXISTING
- EOC	EDGE OF CONCRETE
- FFE	FINISH FLOOR ELEVATION
- FG	FINISH GRADE
- FL	FLOW LINE
- GB	GRADE BREAK
- HP	HIGH POINT
- LP	LOW POINT
- NG	NATURAL GROUND
- SDCB	STORM DRAIN CATCH BASIN
- SDCO	STORM DRAIN CLEANOUT BOX
- SDOB	STORM DRAIN DRAIN BASIN
- SDMH	STORM DRAIN MANHOLE
- TB	TOP BACK OF CURB
- TOA	TOP OF ASPHALT
- TOC	TOP OF CONCRETE
- TOG	TOP OF GRATE
- TOW	TOP OF WALL
- TW	FINISH GRADE AT TOP OF WALL
- WW	WATERWAY

**NOTICE!**

TRACTOR SHALL BE  
ABLE FOR THE LOCATION,  
ION, AND RESTORATION  
RIED OR ABOVE  
ILITIES, SHOWN OR  
N ON THE PLANS.



**ONE CALL AUTO**

**657 EAST SPLIT ROCK DRIVE**  
**EAGLE MOUNTAIN UTAH 84043**

[illegible]

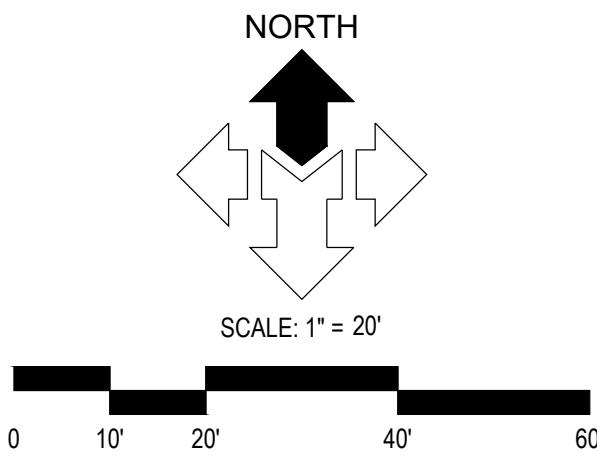
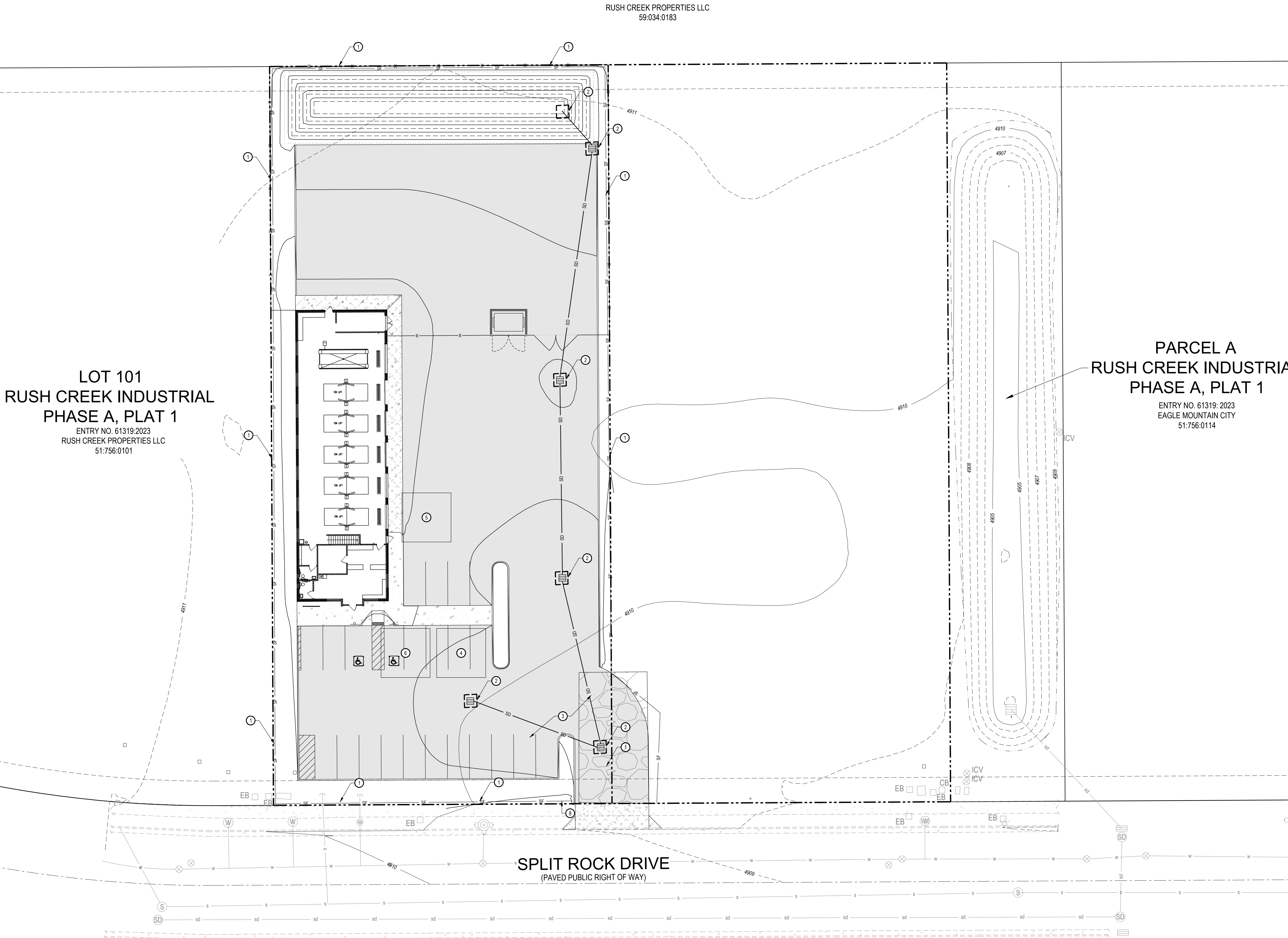
PROJECT NO:	25446
DRAWN BY:	TJO
CHECKED BY:	DJC
DATE:	12/29/25

## GRADING AND DRAINAGE PLAN

## C2.01



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**GENERAL NOTES:**  
THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.  
ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.  
THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.  
WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.  
THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

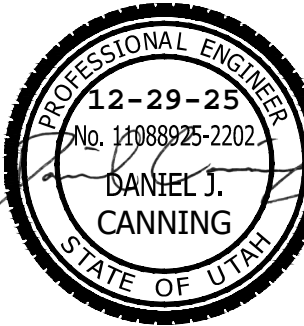
**MAINTENANCE:**  
THE OWNERS REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.  
SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.  
CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.  
NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.  
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

**KEYED NOTES:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.  
① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C3', SHEET C5.04.  
② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE EAGLE MOUNTAIN CITY DETAIL '30', SHEET C5.02.  
③ TEMPORARY STABILIZED CONSTRUCTION ENTRANCE, TO BE 20' WIDE, 50' LONG, AND 8" THICK WITH 3" TO 6" COBBLE. SEE DETAIL 'C1', SHEET C5.02. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.  
④ CONCRETE WASHOUT, TO BE A LEAK-PROOF CONTAINER WITH SOLID SIDES OR A PIT THAT IS FULLY LINED WITH IMPERVIOUS SHEETING. SEE DETAIL 'A3', SHEET C5.02. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.  
⑤ CONSTRUCTION DUMPSTER, CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.  
⑥ PORTABLE TOILET, TO BE PLACED A MINIMUM OF 10' BEHIND CURB AND SECURED TO THE GROUND. SEE EAGLE MOUNTAIN CITY DETAIL '29', SHEET C5.02. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.  
⑦ MATERIAL STORAGE AND TOPSOIL STOCK PILE AREA. MAINTAIN SILT FENCE AROUND PERIMETER AT ALL TIMES. CONTROL DUST FROM PILE BY EITHER COVERING OR KEEPING MOIST. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.  
⑧ SWPPP SIGN PER EAGLE MOUNTAIN CITY DETAIL '21', SEE SHEET C5.02.



**NOTICE!**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE-GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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**ONE CALL AUTO**  
657 EAST SPLIT ROCK DRIVE  
EAGLE MOUNTAIN UTAH 84043

REVISIONS	
REV	DESCRIPTION

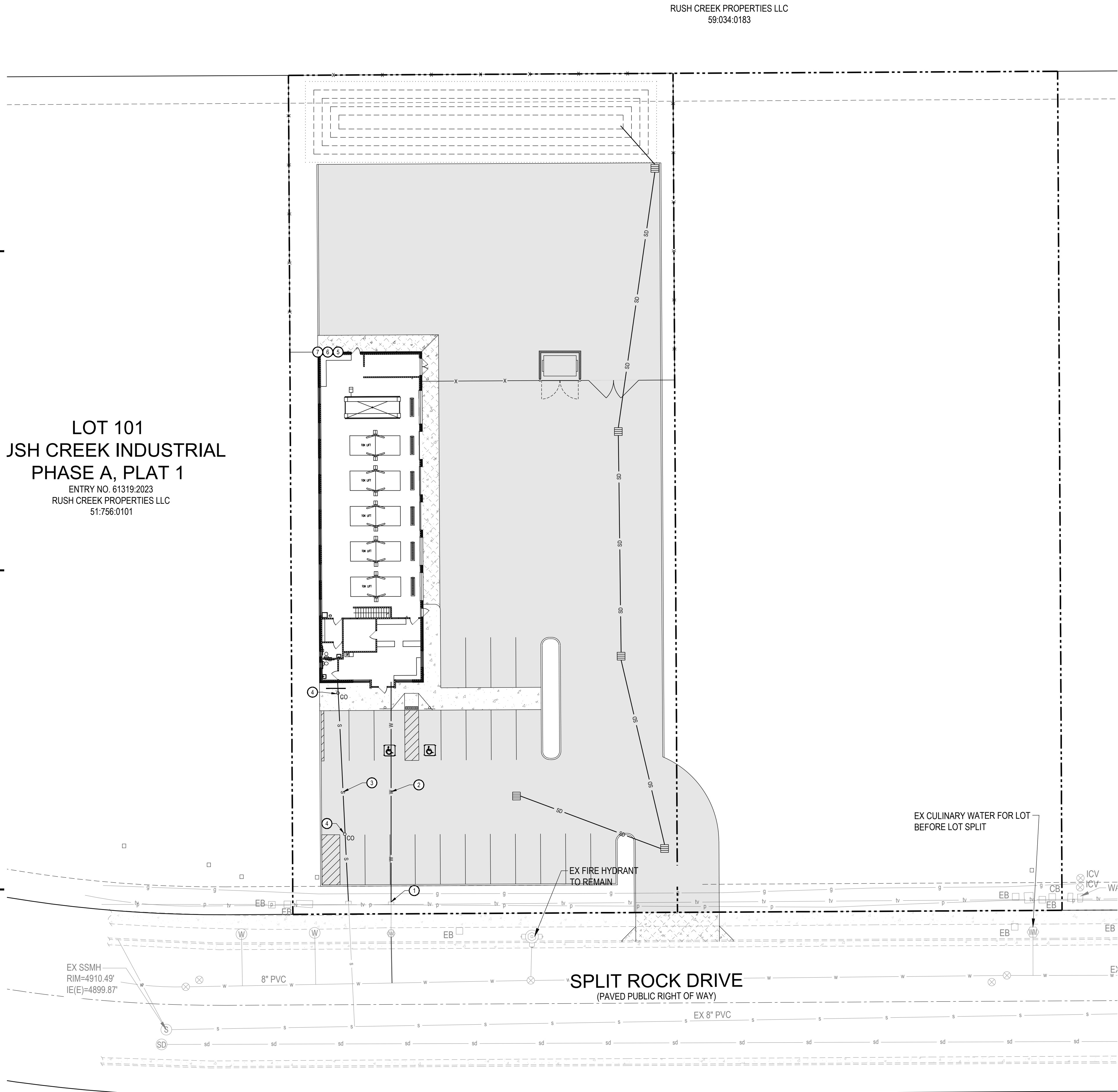
PROJECT NO: 25446  
DRAWN BY: TJO  
CHECKED BY: DJC  
DATE: 12/29/25

**EROSION CONTROL PLAN**

**C2.10**



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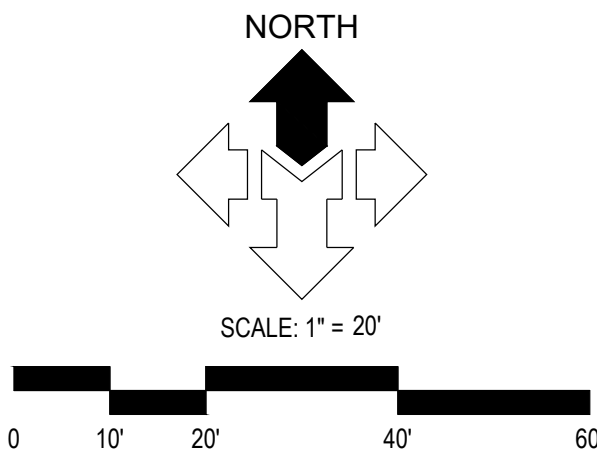
EAGLE MOUNTAIN CITY GENERAL NOTES:

FOLLOWING APPROVAL OF THE CITY COUNCIL, FOUR COPIES OF THE CONSTRUCTION PLANS SHALL BE SUBMITTED WITH THREE COPIES TO BE RETAINED BY THE CITY ENGINEER OR HIS/HER DESIGNEE AND ONE COPY RETURNED TO THE SUBDIVIDER WITH THE APPROVAL MARK AND SIGNATURE OF THE CITY ENGINEER OR HIS/HER DESIGNEE. ONE APPROVED COPY SHALL BE KEPT AVAILABLE AT THE CONSTRUCTION SITE.

THESE PLANS AND DESIGNS SHALL MEET THE STANDARDS DEFINED IN THE SPECIFICATIONS AND DRAWINGS OF THE CITY DESCRIBED HEREIN. THE MINIMUM INFORMATION REQUIRED ON DRAWINGS FOR IMPROVEMENTS ARE AS FOLLOWS:

ALL DRAWINGS AND/OR PRINTS SHALL BE CLEAR AND LEGIBLE AND CONFORM TO GOOD ENGINEERING AND DRAFTING ROOM PRACTICE. SIZE OF DRAWINGS SHALL BE 24 INCH BY 36 INCH (TRIM LINE) WITH MINIMUM BORDERS OF ONE-HALF INCH ON TOP, BOTTOM AND RIGHT SIDES, LEFT SIDE ONE AND ONE-HALF INCH.

- A. INCLUDE THE FOLLOWING WITH THE CONSTRUCTION DRAWINGS:
1. A COPY OF THE PROPOSED FINAL PLAT.
  2. A PLAN VIEW OF THE ENTIRE PROJECT.
  3. PLAN AND PROFILES OF ALL CURBS, GUTTERS, STORM DRAINS, WATER, PRESSURIZED IRRIGATION AND SEWER SYSTEMS.
  4. DETAIL DRAWINGS ONLY FOR ITEMS NOT FOUND IN THE APWA MANUAL. DETAIL DRAWINGS SHALL BE TO SCALE AND COMPLETELY DIMENSIONED AND DESCRIBED. ALL STRUCTURES SHALL BE DESIGNED IN ACCORDANCE WITH MINIMUM REQUIREMENTS ESTABLISHED BY THIS TITLE OR THE APWA MANUAL.
  5. COMPLETE PLANS FOR ALL OFF-SITE WORK TO BE DONE IN CONJUNCTION WITH THE PROJECT.
  6. A SWPPP PAGE WITH MAPS SHOWING:
    - A. STORM DRAIN SYSTEM.
    - B. TOPOGRAPHICAL LINES AND FLOW ARROWS.
    - C. UPDES PERMIT NUMBER WITH CONTACT INFORMATION.
    - D. LOCATIONS OF BMP'S AND GOOD HOUSEKEEPING MEASURES.
    - E. PERMANENT BMP'S AND HIGH PRIORITY SITES
- B. INCLUDE THE FOLLOWING ON EACH DRAWING SHEET:
1. NORTH ARROW
  2. SCALE. USE A STANDARD ENGINEERING SCALE BETWEEN ONE INCH EQUALS 10 FEET AND 50 FEET. USE A SCALE OF ONE INCH EQUALS 100 FEET ON THE PLAN VIEW OF THE ENTIRE PROJECT IF NECESSARY TO FIT THE PROJECT ON ONE SHEET.
  3. TITLE BLOCK ALONG RIGHT SIDE OF SHEET WITH TITLE OF DRAWING IN LOWER RIGHT CORNER. INCLUDE IN TITLE BLOCK:
    - A. NAME OF SUBDIVISION AND PLAT AND LOT NUMBER.
    - B. NAME OF CITY.
    - C. SPECIFIC TYPE OF DRAWING (CONSTRUCTION DRAWINGS, PLAN VIEW, PLAN AND PROFILES, OFF-SITE CONSTRUCTION, DETAIL DRAWINGS).
    - D. SPACE PROVIDED FOR APPROVAL SIGNATURE OF CITY ENGINEER OR HIS/HER DESIGNEE AND DATE.
    - E. NAME OF ENGINEER, SURVEYOR OR FIRM PREPARING DRAWINGS.
    - F. DRAWING NUMBER OF TOTAL NUMBER OF DRAWINGS.
  4. ALSO INCLUDE THE FOLLOWING WITH PROFILE DRAWINGS:
    - A. VERTICAL SCALE OF ONE INCH EQUALS ONE, TWO, THREE OR FOUR FEET.
    - B. REFERENCE TO THE VERTICAL DATUM. THE 1929 NORTH AMERICAN VERTICAL DATUM (NAVD29) SHALL BE USED FOR ALL ELEVATION DATA.
    - C. BENCHMARK LOCATION AND ELEVATION FOR CHECKING CONSTRUCTION.
    - D. STATIONING ALIGNED FROM PLAN VIEW WITH THE PROFILE VIEW.
    - E. EXISTING GROUND, DITCH AND UTILITY LINES.
- C. INCLUDE THE FOLLOWING FOR CURBS, GUTTERS, STORM DRAINS, DRAINAGE STRUCTURES, SIDEWALKS AND STREET SURFACING PLANS:
1. PLAN AND PROFILE FOR TOP BACK OF CURB FOR EACH SIDE OF THE STREET. LABEL PROFILE LINE AS TOP BACK OF CURB FOR BOTH SIDES OF STREET IF IT IS THE SAME.
  2. STATIONING AND TOP BACK OF CURB ELEVATIONS WITH CURVE DATA FOR CURB RETURNS.
  3. FLOW DIRECTION AND TYPE OF CROSS DRAINAGE STRUCTURES AT INTERSECTIONS WITH ADEQUATE FLOW LINE ELEVATIONS.
  4. TYPE OF CURB AND GUTTER IF OTHER THAN THE STANDARD 30-INCH MODIFIED CURB AND GUTTER IN THE STANDARD DRAWINGS.
  5. PLAN AND PROFILE OF ALL NEW AND EXISTING STORM DRAINS AND STORM MANHOLES AND BOXES.
  6. STORM BOX AND MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RIM.
  7. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING STORM DRAINS.
  8. STORM WATER CALCULATIONS FOR A 25-YEAR AND 100-YEAR STORM.
  9. DETAIL OF ADA RAMPS WITH DETECTABLE WARNING PADS.
- D. INCLUDE THE FOLLOWING FOR SEWER PLANS:
1. PLAN AND PROFILE OF ALL NEW AND EXISTING SEWER MAINS AND MANHOLES.
  2. MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RIM.
  3. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING SEWER MAINS.
  4. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.
- D.I. INCLUDE THE FOLLOWING FOR CULINARY WATER PLANS:
1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING WATER MAINS.
  2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.
  3. LOCATION OF VALVES, FITTINGS, HYDRANTS, BOXES, METERS AND APPURTENANCES.
  4. MINIMUM COVER.
  5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.
- D.II. INCLUDE THE FOLLOWING FOR THE PRESSURIZED IRRIGATION PLANS:
1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING IRRIGATION MAINS.
  2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.
  3. LOCATION OF VALVES, FITTINGS, BOXES, METERS AND APPURTENANCES.
  4. MINIMUM COVER.
  5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.



GENERAL NOTES:

CONTRACTOR IS TO COORDINATE ALL SITE UTILITIES WITH PLUMBING DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.

CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATION / DATA FACILITIES TO BUILDING WITH UTILITY PROVIDER.

CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH DOMINION ENERGY AND MECHANICAL PLANS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY PROVIDERS:  
WATER: EAGLE MOUNTAIN  
SEWER: EAGLE MOUNTAIN  
NATURAL GAS: ENBRIDGE GAS  
ELECTRICAL POWER: ROCKY MOUNTAIN POWER  
TELEPHONE: CENTURY LINK

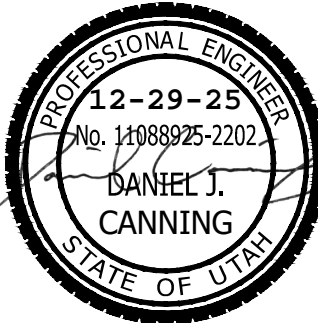
KEYED NOTES:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. CONNECT NEW 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE TO EXISTING WATER STUB, PER EAGLE MOUNTAIN CITY DETAIL '5'.
  2. 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE, PER EAGLE MOUNTAIN CITY DETAIL '5'.
  3. 4" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING ALL FITTINGS. CLEANOUTS AT 50-FOOT MAXIMUM SPACING, PER EAGLE MOUNTAIN CITY DETAIL '7'.
  4. SANITARY SEWER CLEANOUT, PER APWA PLAN NO. 431.
  5. APPROXIMATE LOCATION OF NEW UNDERGROUND POWER SERVICE LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ROCKY MOUNTAIN POWER WITH OTHER CONSTRUCTION.
  6. APPROXIMATE LOCATION OF NEW NATURAL GAS FACILITIES. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ENBRIDGE GAS WITH OTHER CONSTRUCTION.
  7. APPROXIMATE LOCATION OF NEW UNDERGROUND TELEPHONE LINE. CONTRACTOR TO COORDINATE DESIGN AND INSTALLATION BY CENTURY LINK WITH OTHER CONSTRUCTION.



NOTICE!  
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**ONE CALL AUTO**  
**657 EAST SPLIT ROCK DRIVE**  
**EAGLE MOUNTAIN UTAH 84043**

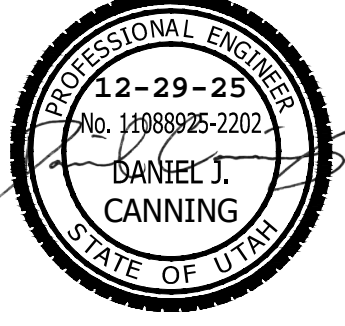
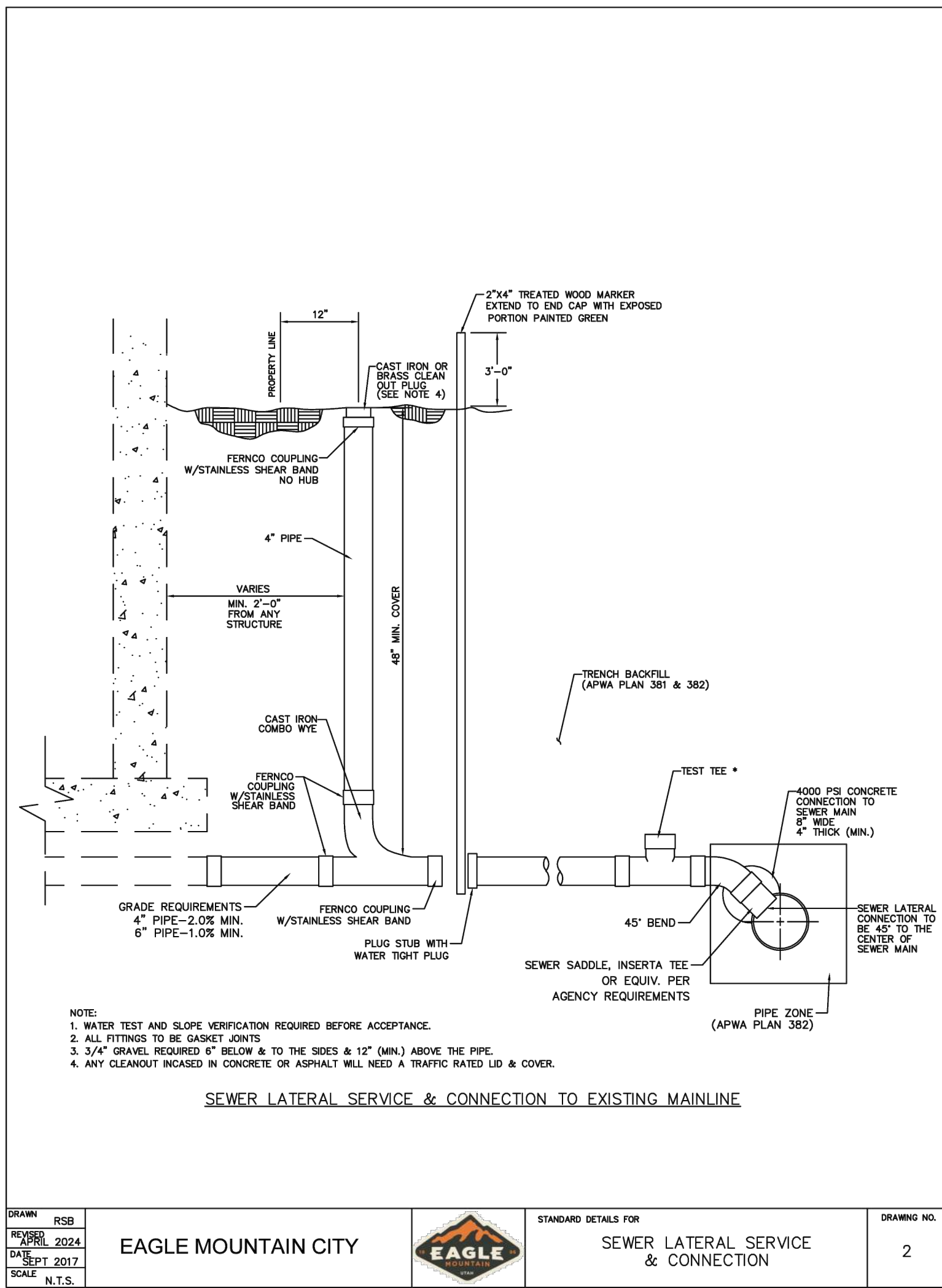
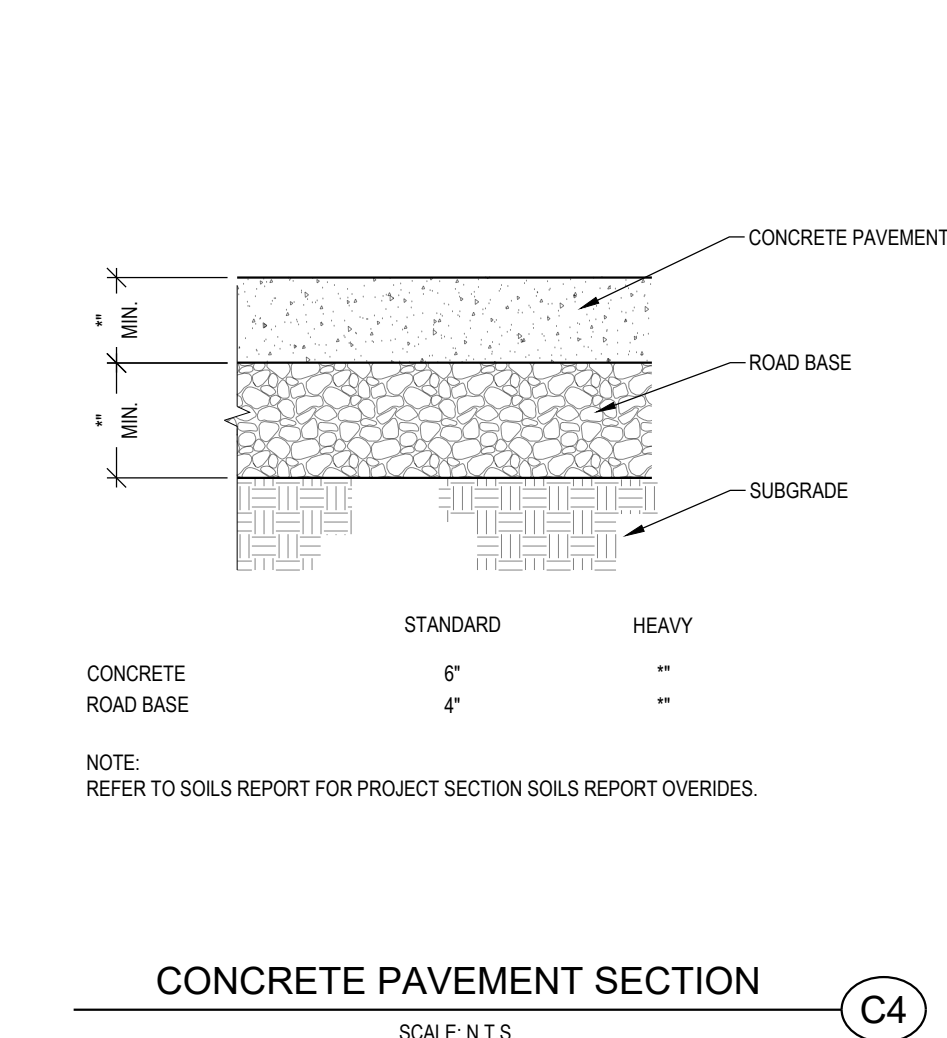
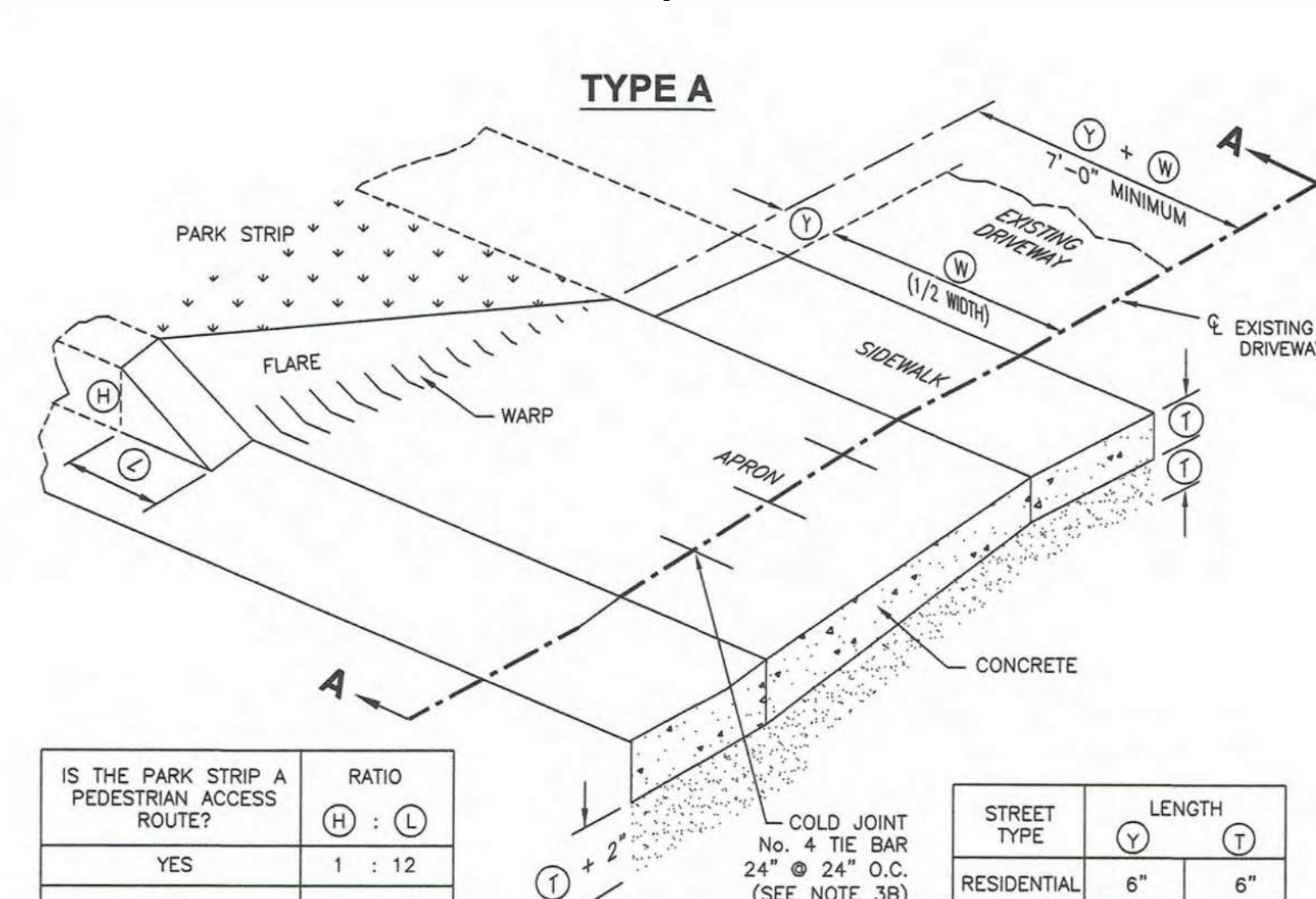
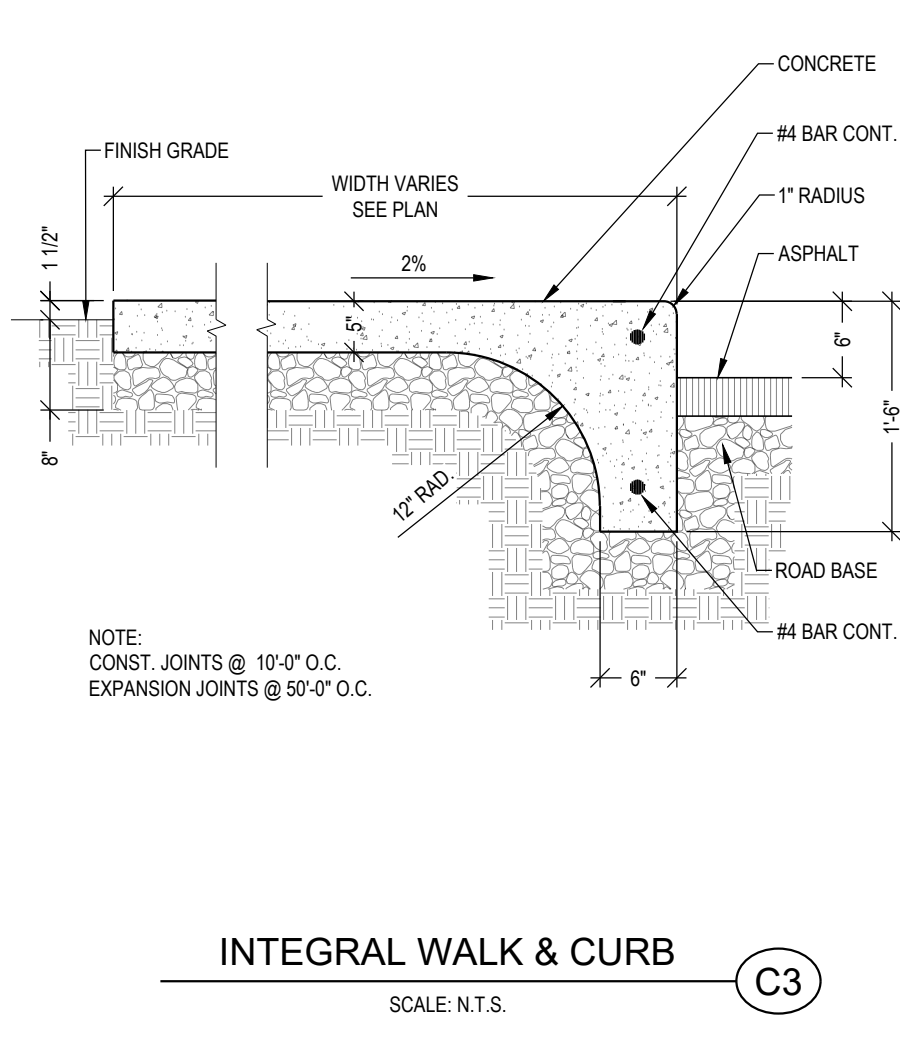
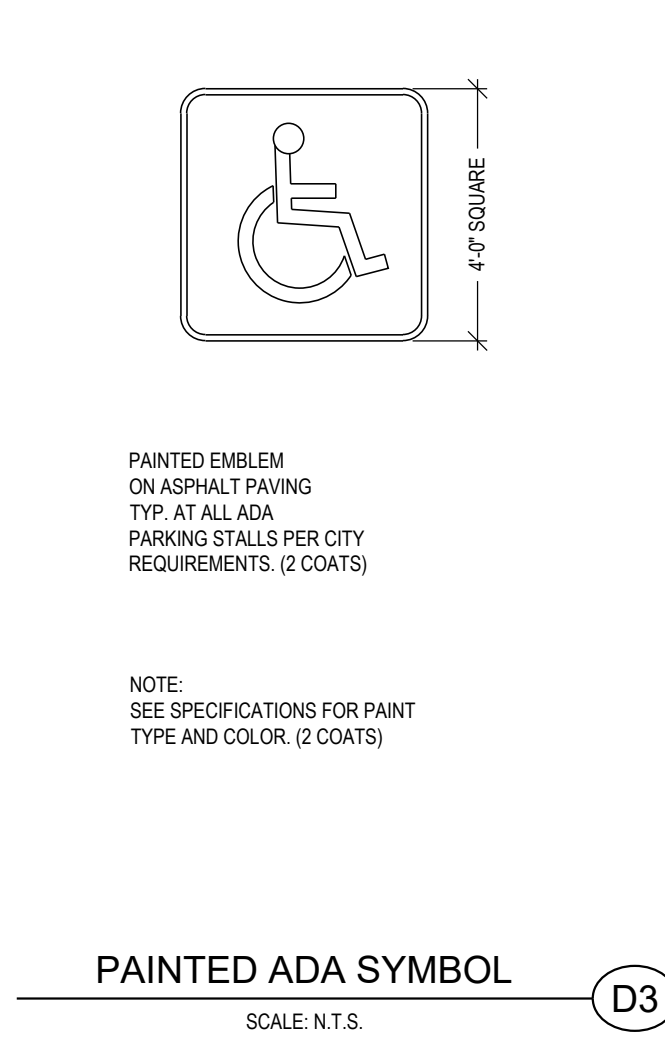
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REV	DATE	

PROJECT NO: 25446  
DRAWN BY: TJO  
CHECKED BY: DJC  
DATE: 12/29/25

**SITE**  
**UTILITY**  
**PLAN**

**C4.01**





**ONE CALL AUTO**

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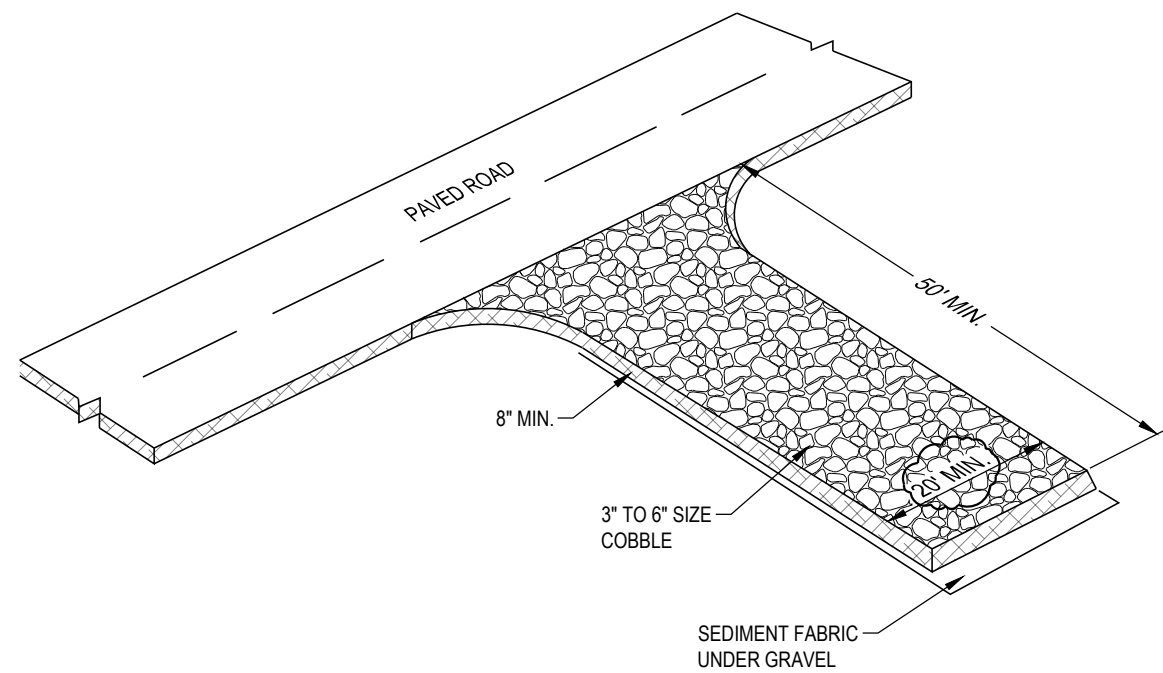
**657 EAST SPLIT ROCK DRIVE**  
EAGLE MOUNTAIN UTAH 84043

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<b>CHECKED BY:</b>		<b>DJC</b>
<b>DATE:</b>		<b>12/29/25</b>

## CIVIL DETAILS

## C5.01





DESCRIPTION:  
A STABILIZED PAD OF CRUSHED STONE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE FROM OR TO PAVED SURFACE.

APPLICATIONS:  
AT ANY POINT OF INGRESS OR EGRESS AT A CONSTRUCTION SITE WHERE ADJACENT TRAVELED WAY IS PAVED. GENERALLY APPLIES TO SITES OVER 2 ACRES UNLESS SPECIAL CONDITIONS EXIST.

INSTALLATION/APPLICATION CRITERIA:  
• CLEAR GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.  
• COMPACT SUB GRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS).  
• PLACE COARSE AGGREGATE, 1 TO 2-1/2 INCHES IN SIZE, TO A MINIMUM DEPTH OF 8 INCHES.

LIMITATIONS:  
• REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.  
• SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:  
• INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.  
• INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.  
• REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.  
• EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

#### OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

#### TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

#### IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

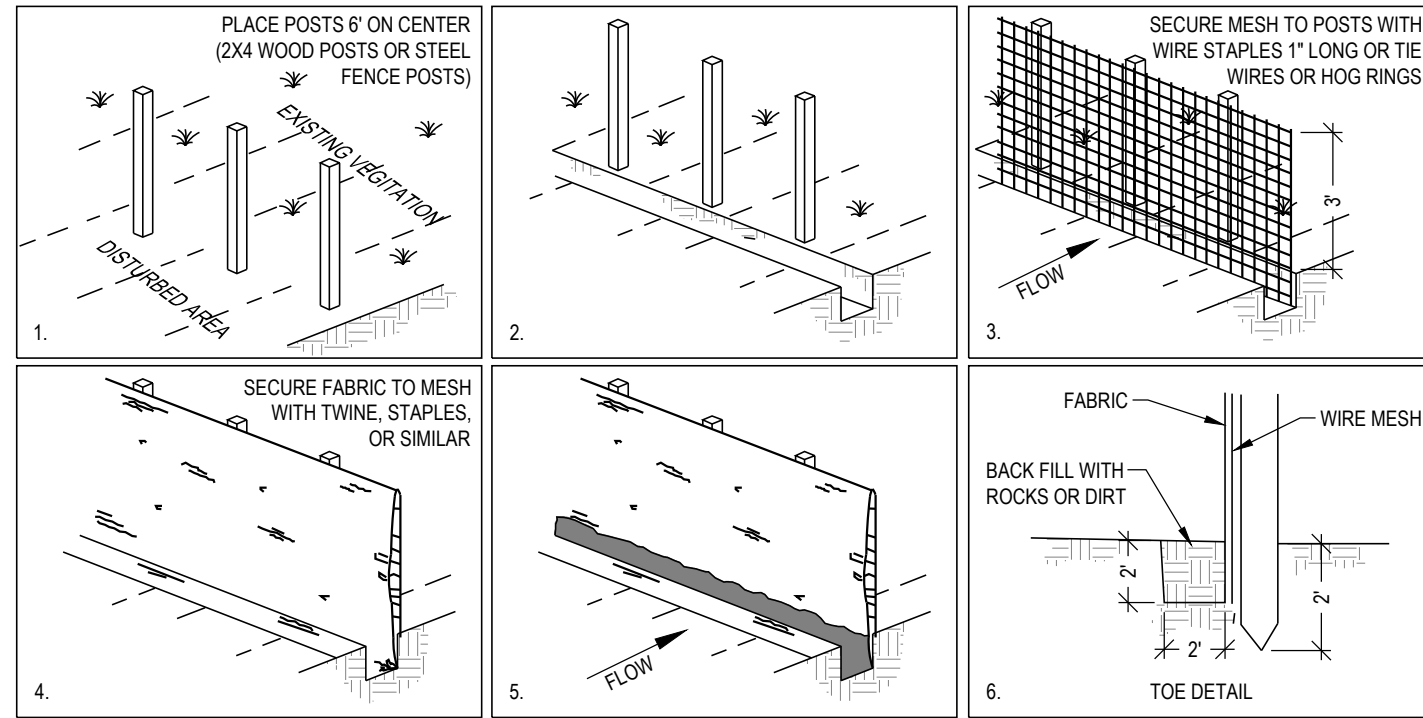
- HIGH ■ MEDIUM □ LOW

### STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.

C1

4'-0"			
SWPPP			
STORM WATER POLLUTION PREVENTION PLAN			
A UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM(UPDES) PERMIT COVERS THIS CONSTRUCTION SITE, IF ANY NON-STORM WATER DISCHARGE OR SEVERE VEHICLE TRACKING OCCURS, PLEASE CALL: 801-786-6636			
PROJECT NAME:	SWPPP LOCATION:	SWPPP CONTACT:	
SITE NOTICE	AUTHORIZATION TO DISCHARGE LETTER	ELECTRONIC SWPPP ACCESS OR IF APPLICABLE	PUBLIC NOTICE
24' MIN.			
3'-0"			
DRAWN: RSB			
REVISED: MAY 2024			
DATE: MAY 2024			
SCALE: VARIES			
EAGLE MOUNTAIN CITY		EAGLE	STANDARD DETAILS FOR 1 ACRE OR LARGE RESIDENCE AND ALL COMMERCIAL SWPPP SIGN
			DRAWING NO. 21



DESCRIPTION:  
A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.

#### APPLICATIONS:

- PERIMETER CONTROL: PLACE BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE.
- SEDIMENT BARRIER: PLACE BARRIER AT TOE OF SLOPE OR SOIL STOCKPILE.
- PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK.
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS.
- PLACE POSTS 6 FEET APART ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
- SECURE WIRE MESH (1/4 GAGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL OVER FILTER FABRIC TO ANCHOR.

LIMITATIONS:  
• RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE.  
• RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET.  
• RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%).  
• RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.  
• PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.

#### MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
- REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

#### OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

#### TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

#### IMPLEMENTATION REQUIREMENTS

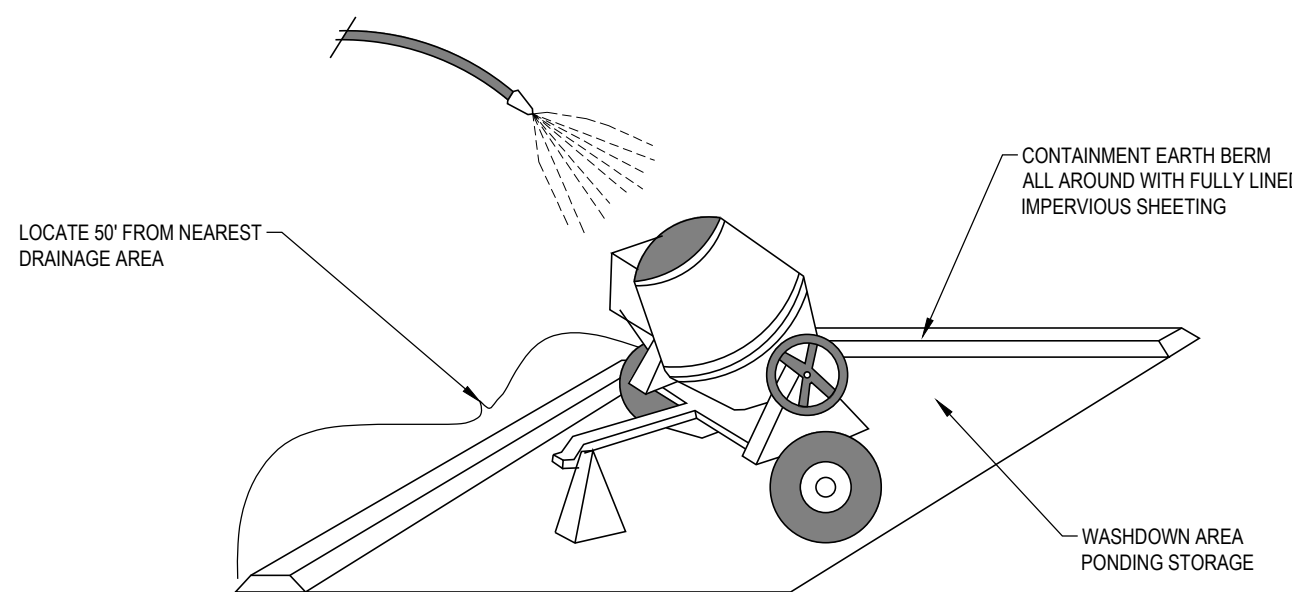
- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH ■ MEDIUM □ LOW

### SILT FENCE

SCALE: N.T.S.

C3



DESCRIPTION:  
PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

#### APPLICATIONS:

- THIS TECHNIQUE IS APPLICABLE TO ALL TYPES OF SITES.

#### INSTALLATION/APPLICATION CRITERIA:

- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
- PERFORM WASHOUT OF CONCRETE TRUCKS OFF-SITE OR IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER WITHIN A BERMED OR LEVEL AREA (SEE EARTH BERM BARRIER INFORMATION SHEET).
- TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER CONCRETE WASTE MANAGEMENT.

LIMITATIONS:  
• OFF-SITE WASHOUT OF CONCRETE WASTES MAY NOT ALWAYS BE POSSIBLE.

#### MAINTENANCE:

- INSPECT SUBCONTRACTORS TO ENSURE THAT CONCRETE WASTES ARE BEING PROPERLY MANAGED.
- IF USING A TEMPORARY PIT, DISPOSE HARDENED CONCRETE ON A REGULAR BASIS.

#### OBJECTIVES

- HOUSEKEEPING PRACTICES
- CONTAIN WASTE
- MINIMIZE DISTURBED AREA
- STABILIZE DISTURBED AREA
- PROTECT SLOPES/CHANNELS
- CONTROL SITE PERIMETER
- CONTROL INTERNAL EROSION

#### TARGETED POLLUTANTS

- SEDIMENT
- NUTRIENTS
- TOXIC MATERIALS
- OIL & GREASE
- FLOATABLE MATERIALS
- OTHER WASTE

- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

#### IMPLEMENTATION REQUIREMENTS

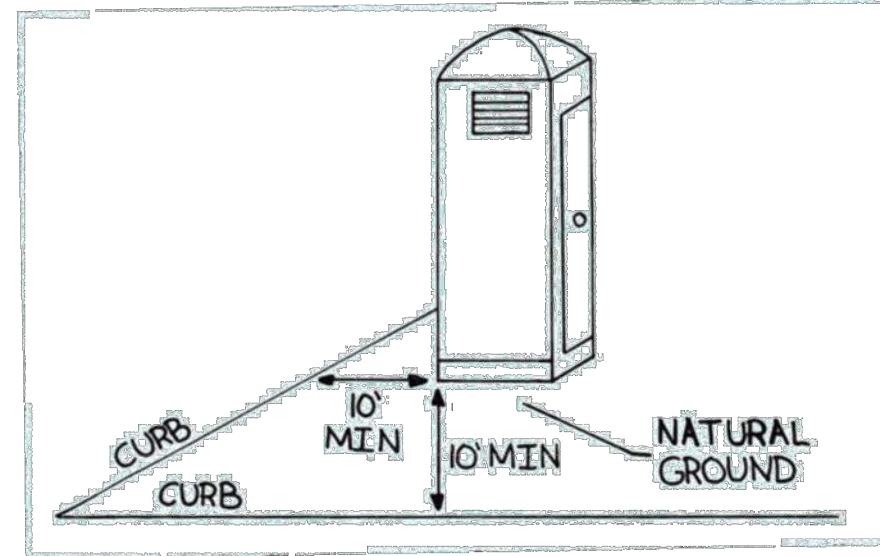
- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- TRAINING

- HIGH ■ MEDIUM □ LOW

### CONCRETE WASTE MANAGEMENT

SCALE: N.T.S.

A3



#### APPLICATION

- Provide temporary sanitary facilities when permanent facilities are too far from activities or are unavailable.

#### INSTALLATION/USE PROCEDURE

- Locate portable toilets away from waters of the state, and at least 10 feet from any storm water conveyance, inlet, curb and gutter, or conduit to a waterway.
- Wherever possible, locate portable toilets upon natural ground and not on impervious surfaces such as asphalt, concrete, or similar.
- Prepare a level surface and provide clear access to the toilet(s) for servicing and for on-site personnel.
- Secure portable toilets to prevent tipping.

#### ALTERNATIVE DESIGN

- If it is not possible to locate toilets away from waters of the state, storm water conveyances, or paved surfaces, evaluate the need for additional controls such as secondary containment, additional surface preparation, or berms and implement as appropriate.

#### MAINTENANCE

- Portable toilets should be maintained in good working order by licensed service.
- Portable toilets should be inspected daily to detect any leaks.
- Damaged toilets must be repaired/replaced immediately.
- All waste must be deposited in the sanitary sewer system for treatment with appropriate agency approval.

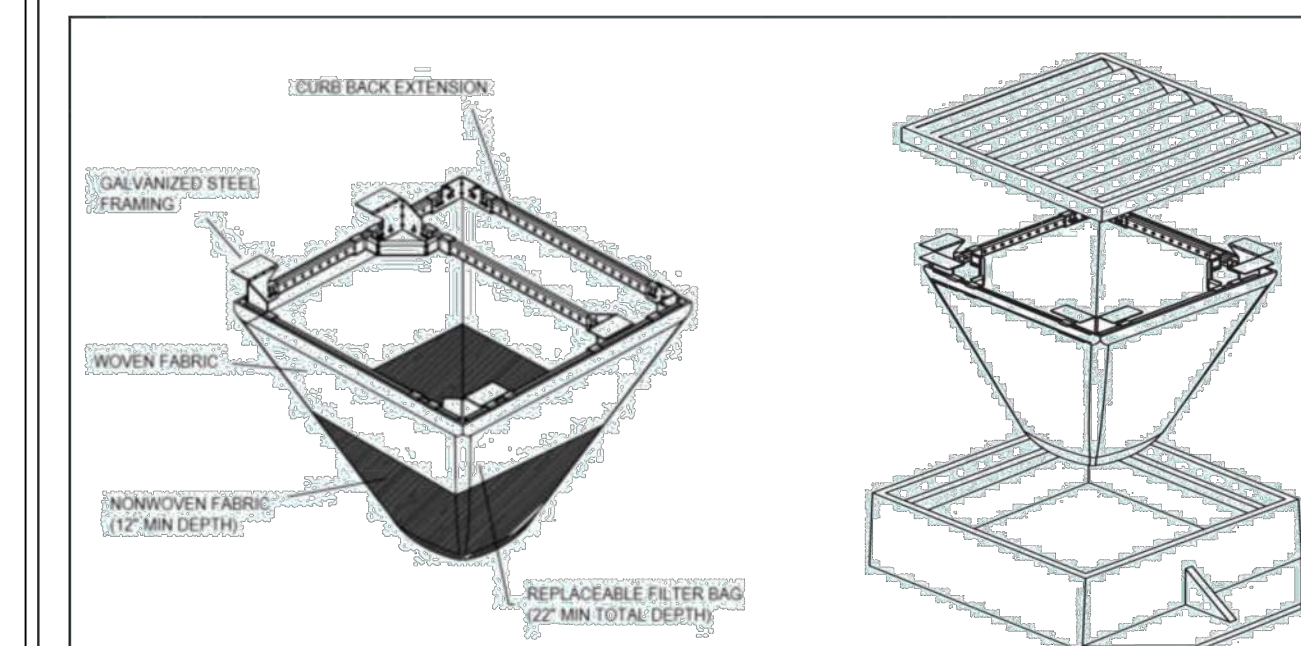
#### PERFORMANCE

- Portable toilets must be placed, secured, and maintained in such a way that sanitary waste is contained without leaks.
- Portable toilets must be placed, secured, and maintained in such a way that in the event of a spill or leak, sanitary waste would not enter any waters of the state, storm water conveyance, inlet, curb and gutter, or conduit to a waterway.

#### GENERAL

- The operator is responsible for selecting effective BMPs.

DRAWN: RSB	EAGLE MOUNTAIN CITY	EAGLE	STANDARD DETAILS FOR SWPPP PORTABLE TOILET	DRAWING NO. 29
REVISED: ---				
DATE: NOV. 2024				
SCALE: VARIES				



#### APPLICATION

- As per Eagle Mountain City code 15.50.070, inlet protection must meet or exceed ASTM D8057.
- Use inlet protection methods to trap sediment and debris from runoff before it enters the stormwater system.
- Ideal for areas near storm drains, curb inlets, and other drainage structures.
- Not intended for high-flow areas without additional support measures.

#### SUBMITTAL AND OPERATION PROCEDURE

- Submit manufacturer's detail to the oversight authority and attach to this detail.
- Attached manufacturer installation and maintenance literature.
- Ensure the devices are securely fastened and properly positioned to maximize effectiveness.
- Regularly inspect and maintain the devices to ensure they are functioning correctly.
- Use appropriate types of inlet protection based on site-specific conditions.
- Do not install drop inlet systems without overflows in sag locations where hydroplaning is a risk.
- Install inlet protection measures that remove sediment from discharges prior to entry into any storm drain inlet that carries storm water flow from your site to surface water of the state, provided you have authority to access the storm drain inlet.
- Clean, or remove and replace, the protection measures as sediment accumulates, the filter becomes clogged, and/or performance is compromised. Where there is evidence of sediment accumulation adjacent to the inlet protection measure, remove the deposited sediment by the end of the same business day in which it is found.

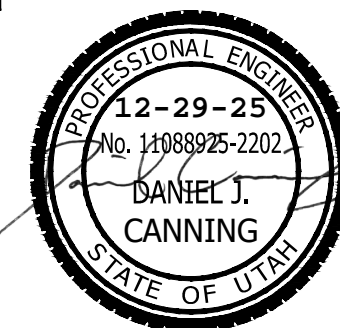
#### ALTERNATIVE DESIGN

- Alternative inlet protection devices may be used if they demonstrate equal or better performance to ASTM D8057.
- Submit alternatives to the oversight authority for approval.
- Document any alternative designs with detailed installation procedures and maintenance requirements.

#### MAINTENANCE

- Inspect inlet protection devices regularly, especially after storm events.
- Remove accumulated sediment and debris as needed to maintain effectiveness.
- Repair or replace damaged inlet protection devices prior to the next wet condition risk.
- Ensure a clear area around inlet protection devices to facilitate inspections and maintenance.

DRAWN: RSB	EAGLE MOUNTAIN CITY	EAGLE	STANDARD DETAILS FOR SWPPP INLET PROTECTION	DRAWING NO. 30
REVISED: ---				
DATE: NOV. 2024				
SCALE: VARIES				



#### REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 25446

DRAWN BY: TJO

CHECKED BY: DJC

DATE: 12/29/25

#### CIVIL DETAILS





DECORATIVE FEATURES		
DETAIL	PRESENT	ELEVATION
REVEALS	---	
CANOPIES	YES	SOUTH
AWNINGS	---	
POPOUTS	YES	NORTH, SOUTH
COLUMNS	---	
DECORATIVE TRIM/MOLDINGS	YES	ALL ELEVATIONS
ARCHITECTURAL LIGHTING	YES	NORTH, SOUTH, EAST
CORNICES	---	
MASONRY PATTERNS	YES	ALL
DEC. DOORS/ WINDOWS	YES	ALL
EXPOSED TIMBERS	---	
TRELLIS	YES	ALL

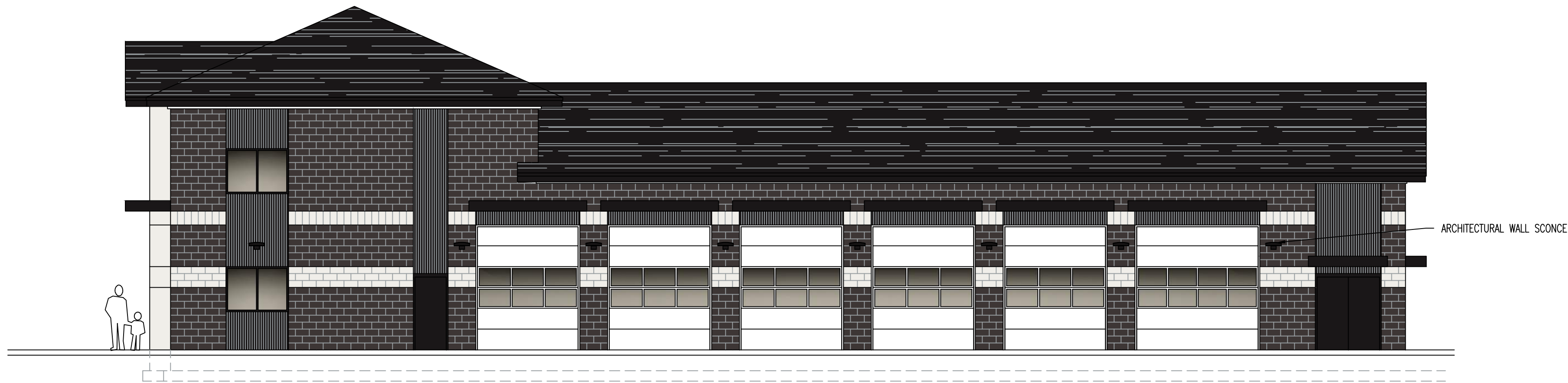
PROPOSED SOUTH ELEVATION #1

SCALE: 1/4" = 1'-0"



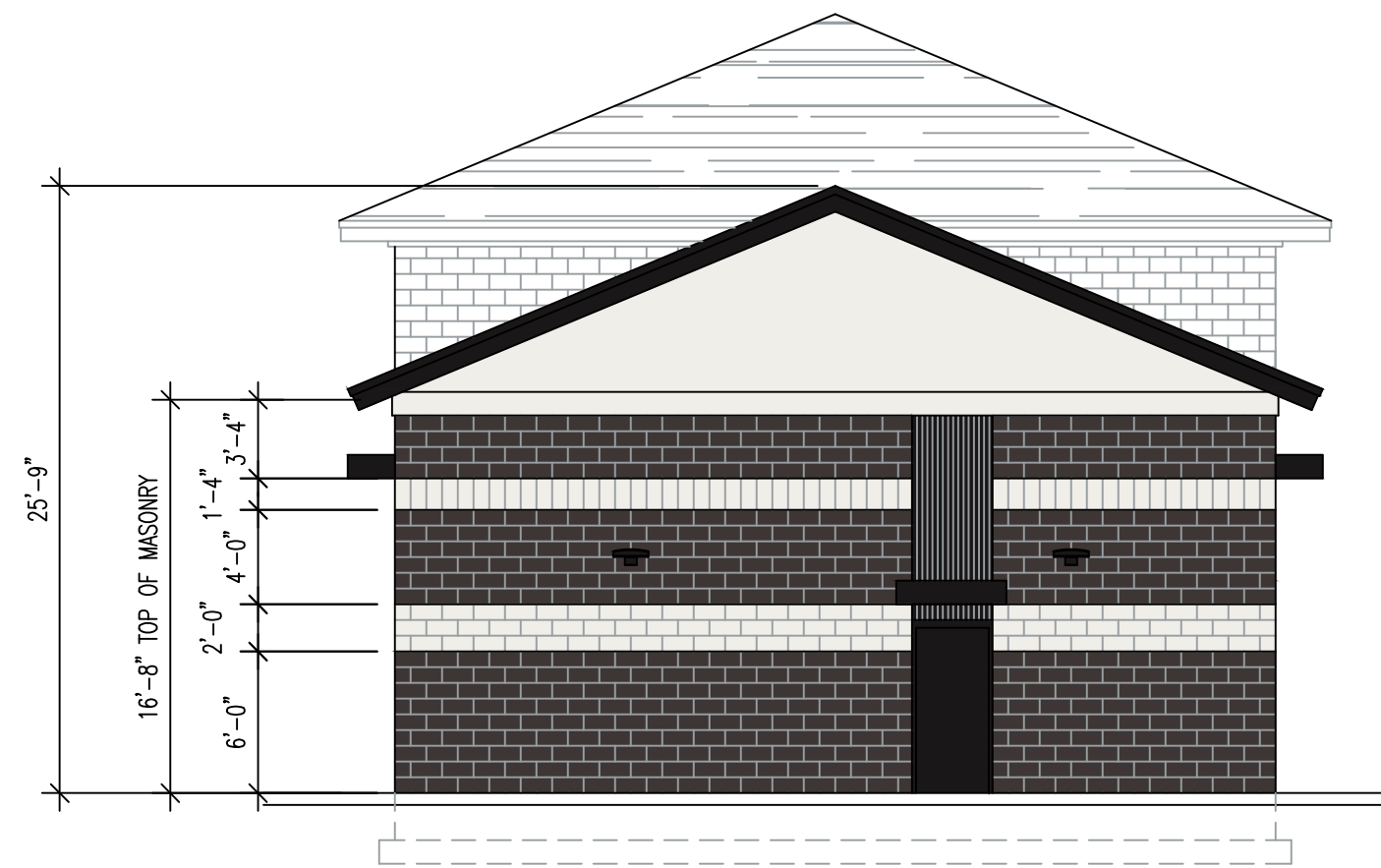
PROPOSED WEST ELEVATION #1

SCALE: 1/4" = 1'-0"



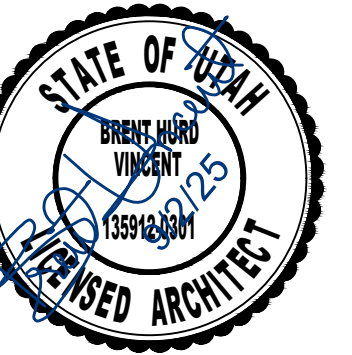
PROPOSED EAST ELEVATION #1

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION #1

SCALE: 1/4" = 1'-0"



VINCENT DESIGN GROUP, INC.  
ARCHITECTS AND PLANNERS

**VDG**

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH (801) 484-2046  
vincentdesignarchitects@gmail.com

NEW AUTO REPAIR SHOP:  
**ONE CALL AUTOMOTIVE**

657 E SPLIT ROCK DRIVE  
EAGLE MOUNTAIN, UTAH  
EXTERIOR ELEVATIONS

ARCH. PROJECT NO: 25-64  
DATE: 9/2/25  
DRAWN BY: BRENT  
CHECKED BY:  
DESIGNED BY:

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DATE	REVISION

SHEET TITLE

**A-2.00**

ARCHITECTURAL



### IRRIGATION NOTES

- VERIFICATION OF CONDITIONS;
- A. FORTY-EIGHT (48) HOURS MINIMUM BEFORE PERFORMING ANY WORK ON SITE, CONTACT THE APPROPRIATE UNDERGROUND UTILITY SERVICE AGENCY TO ARRANGE FOR UTILITY LOCATION SERVICES.
- B. PERFORM MINOR, INVESTIGATIVE EXCAVATIONS TO VERIFY LOCATION OF VARIOUS EXISTING UNDERGROUND FACILITIES AT SUFFICIENT LOCATIONS TO ASSURE THAT NO CONFLICT WITH THE PROPOSED WORK EXISTS AND SUFFICIENT CLEARANCE IS AVAILABLE TO AVOID DAMAGE TO EXISTING FACILITIES.
- C. PERFORM INVESTIGATIVE EXCAVATING TEN (10) DAYS MINIMUM IN ADVANCE OF PERFORMING ANY EXCAVATION OR UNDERGROUND WORK.
- D. UPON DISCOVERY OF CONFLICTS OR PROBLEMS WITH EXISTING FACILITIES, NOTIFY ARCHITECT BY PHONE OR FAX WITHIN TWENTY-FOUR (24) HOURS. FOLLOW TELEPHONE OR FAX NOTIFICATION WITH LETTER AND DIAGRAMS INDICATING CONFLICT OR PROBLEM AND SUFFICIENT MEASUREMENTS AND DETAILS TO EVALUATE PROBLEM.
2. PROTECTION:
- A. SPILLAGE:
1. AVOID SPILLAGE BY COVERING AND SECURING LOADS WHEN HAULING ON OR ADJACENT TO PUBLIC STREETS OR HIGHWAYS.
2. REMOVE SPILLAGE AND SWEEP, WASH, OR OTHERWISE CLEAN PROJECT, STREETS, AND HIGHWAYS.
- B. DUST CONTROL:
1. TAKE PRECAUTIONS NECESSARY TO PREVENT DUST NUISANCE, BOTH ON-SITE AND ADJACENT TO PUBLIC AND PRIVATE PROPERTIES.
2. CORRECT OR REPAIR DAMAGE CAUSED BY DUST.
- C. EXISTING PLANTS AND FEATURES:
1. DO NOT DAMAGE TOPS, TRUNKS, AND ROOTS OF EXISTING TREES AND SHRUBS ON SITE THAT ARE INTENDED TO REMAIN.
2. DO NOT USE HEAVY EQUIPMENT WITHIN BRANCH SPREAD.
3. INTERFERING BRANCHES MAY BE REMOVED ONLY WITH PERMISSION OF ARCHITECT.
4. DO NOT DAMAGE OTHER PLANTS AND FEATURES THAT ARE TO REMAIN.
5. PROTECT UTILITIES AND SITE ELEMENTS FROM DAMAGE.
6. LIMIT USE OF HEAVY EQUIPMENT TO AREAS NO CLOSER THAN 6 FEET (1.80 METER) FROM BUILDING OR OTHER PERMANENT STRUCTURES.
3. REPAIR / RESTORATION:
- A. ADJUST EXISTING COVERS, BOXES, AND VAULTS TO REPLACE BROKEN OR DAMAGED COVERS, BOXES, AND VAULTS.
- B. INDEPENDENTLY CONFIRM SIZE, LOCATION, AND NUMBER OF COVERS, BOXES, AND VAULTS THAT REQUIRE ADJUSTMENT.
4. NON-CONFORMING WORK:
- A. IF SPECIFIED PROTECTION PRECAUTIONS ARE NOT TAKEN FOR PROTECTION OF EXISTING UTILITIES, PROBABLY, OWNER MAY TAKE SUCH STEPS AS MAY BE DEEMED NECESSARY AND DEDUCT COSTS OF SUCH FROM MONIES DUE TO CONTRACTOR. SUCH ACTION OR LACK OF ACTION ON OWNER'S PART DOES NOT RELIEVE CONTRACTOR FROM HIS OWN RESPONSIBILITY FOR PROPER PROTECTION OF THE WORK.

1. IMPLANT AND INSTALL TOPSOIL AS NEEDED TO FILL ALL PLANTING AREAS. SUBMIT TEST BY LICENSED LABORATORY TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TOPSOIL. TOPSOIL USED IN PLANTING AREAS SHALL BE WEED FREE, FERTILE, LOOSE, FRIABLE SOIL MEETING THE FOLLOWING CRITERIA:
  - a) CHEMICAL CHARACTERISTICS:
    - a) SOLUBLE SALTS: LESS THAN 3.0 MMHOS/CM.
    - b) PH 5.5 TO 8.0.
    - c) SODIUM ABSORPTION RATIO (SAR): LESS THAN 6.0
    - d) ORGANIC MATTER: GREATER THAN ONE PERCENT.
  - b) PHYSICAL CHARACTERISTICS:
    - a) GRADATION AS DEFINED BY USDA TRIANGLE OF PHYSICAL CHARACTERISTICS AS MEASURED BY HYDROMETER.
    - (1) SAND: 15 TO 60 PERCENT.
    - (2) SILT: 10 TO 60 PERCENT.
    - (3) CLAY: 5 TO 30 PERCENT.
  - c) CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, NOXIOUS WEEDS, ROCKS LARGER THAN OR EQUAL TO 1-1/2 INCH (38 MM) IN ANY DIMENSION, AND OTHER OBJECTIONABLE MATERIALS.
  - d) SOIL:
    - (1) SOIL SHALL NOT CONTAIN MORE THAN FIVE (5) PERCENT BY VOLUME OF ROCKS MEASURING OVER 1/4 INCH (6 MM) IN LARGEST SIZE.
    - (2) SOIL SHALL BE TOPSOIL IN NATURE.
    - (3) SOIL RESEMBLING PLANTING AREAS OTHER LIKE MATERIALS ARE NOT ACCEPTABLE.
2. INSTALL A MINIMUM DEPTH OF 5 INCHES TOPSOIL IN LAWN AND GROUND COVER PLANTING AREAS. NO TOPSOIL REQUIRED IN TREE AND SHRUB PLANTING AREAS OR NATIVE GRASS, SHRUB, OR TREE AREAS AS LONG AS WHAT IS IN PLACE IS NOT EXCESSIVELY ROCKY OR OTHERWISE UNDESIRABLE. IF THERE IS NO PLANT GROWTH, IF IT IS UNFAVORABLE, INSTALL A MINIMUM DEPTH OF 12 INCHES. PROVIDE NO LESS THAN QUANTITY REQUIRED TO ACHIEVE TOLERANCES OUTLINED IN PLANTING NOTE 5. INSTALLER OF THIS SPEC IS RESPONSIBLE FOR PROVIDING SUFFICIENT TOPSOIL MATERIAL.
3. FINISH TOPSOIL GRADE OF PLANTING AREAS BEFORE PLANTING AND AFTER ADDITION OF SOIL ADDITIVES SHALL BE SPECIFIED TO BE BELOW TOP OF ADJACENT PAVEMENT OF ANY KIND:
  - a) GROUND COVER AREAS: 2 INCHES BELOW.
  - b) SEEDED AREAS: ONE INCH BELOW.
  - c) SODDED AREAS: 2 INCHES BELOW.
  - d) TREE AND SHRUB AREAS (NOT INDIVIDUAL TREES): 4 INCHES BELOW.
4. RAKE THE FINISH GRADE OF THE TOPSOIL WITHIN THE PLANTING AREAS TO REMOVE CLODS, ROCKS, WEEDS, ROOTS, DEBRIS OR OTHER MATERIAL 1/12" OR MORE IN ANY DIMENSION. GRADE AND SHAPE LANDSCAPE AREA TO BRING SURFACE TO TRUE UNIFORM GRADE AND FREE FROM IRREGULARITIES AND TO PROVIDE PROPER SLOPE FOR DRAINAGE.

- FURNISH AND INSTALL LANDSCAPE IRRIGATION SYSTEM AS DESCRIBED IN CONTRACT DOCUMENTS COMPLETE WITH ACCESSORIES NECESSARY FOR PROPER FUNCTION.
2. FIELD TESTS AND INSPECTIONS:
- A. IRRIGATION SYSTEM:
1. SYSTEM PRESSURE TEST:
- a) NOTIFY LANDSCAPE ARCHITECT TWO (2) WORKING DAYS MINIMUM BEFORE CONDUCTING TEST.
- b) IN PRESENCE OF LANDSCAPE ARCHITECT.
- c) PRESSURE TEST MAIN LINE WITH ALL VALVES.
- d) IRRIATED.
- e) TEST PRESSURE AT 100 PSI (690 KPA) MINIMUM FOR TWO (2) HOURS MINIMUM.
- f) VERIFY THERE ARE NO LEAKS.
- g) RECEIVE LANDSCAPE ARCHITECT APPROVAL TO PROCEED PRIOR TO BACKFILLING.
2. TEST REPORT:
- a) FOLLOWING PRESSURE TEST, CREATE PRESSURE TEST REPORT OF DOCUMENT PRESSURE TEST RESULTS THROUGH PROVIDING PHOTOS, LISTING PROCESSES USED, ISSUES ENCOUNTERED, AND MEASURES TAKEN TO CORRECT PROBLEMS.
- B. SUBSTANTIAL COMPLETION:
1. LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE(S) WILL INSPECT SITE AND CREATE LIST OF NON-CONFORMING ITEMS TO BE RESOLVED PRIOR TO LANDSCAPE FINAL ACCEPTANCE. DATE ON WHICH LIST WILL ACT AS DATE OF LANDSCAPE SUBSTANTIAL COMPLETION.
2. INSTALLATIONS COMPLETED AFTER WATER SOURCE HAS BEEN TURNED OFF FOR SEASON, AS DETERMINED BY LANDSCAPE ARCHITECT, WILL BE INSPECTED FOLLOWING SPRING AFTER SYSTEM CAN BE CHECKED FOR PROPER OPERATION.
- C. IRRIGATION APPROVAL:
1. IRRIGATION WILL BE APPROVED WHEN ALL NON-CONFORMING WORK IS BROUGHT INTO CONFORMANCE.
2. CORRECT ANY WORK FOUND DEFECTIVE OR NOT CONFORMING WITH CONTRACT DOCUMENT REQUIREMENTS AT NO ADDITIONAL COST TO OWNER.
3. WINTERIZATION AND SPRING START-UP:
- a) PRIOR FIRST YEAR OF OPERATION, INSTALLER SHALL SHUT-DOWN IRRIGATION SYSTEM PRIOR TO FREEZING TEMPERATURES AND RE-START IRRIGATION SYSTEM AT BEGINNING OF GROWING SEASON:
- A. WINTER SHUT-DOWN IS INTENDED TO REMOVE ALL POTENTIALLY DAMAGING WATER FROM IRRIGATION SYSTEM. PERFORM FOLLOWING AS WELL AS ANY OTHER EFFORTS NECESSARY TO PROPERLY WIRELESS SYSTEM:
- 1) TURN OFF WATER SOURCE AT POINT OF CONNECTION.
- 2) BLOW OUT SYSTEM WITH PRESSURIZED AIR, TURNING ON EACH VALVE UNTIL WATER IS CLEARED OUT OF SYSTEM. RUN THROUGH SYSTEM TWICE, ONLY BLOW OUT COMPONENTS SUITABLE TO RECEIVE PRESSURIZED AIR. HYDROMETERS, FOR INSTANT, SHOULD NOT BE BLOWN OUT. DO NOT USE EXCESSIVE AIR PRESSURE THAT WILL DAMAGE PIPES AND PARTS.
- 3) TURN CONTROLLER OFF OR IF AVAILABLE TURN TO PROGRAM THAT WINTERIZES SYSTEM.
- 4) OPEN ALL MANUAL DRAIN VALVES.
- 5) DRAIN, WRAP, PROTECT, OR REMOVE ANY BACKFLOW DEVICE EXPOSED TO FREEZING TEMPERATURES USING MANUFACTURER'S RECOMMENDATIONS AND BEST PRACTICES. COORDINATE METHOD WITH OWNER'S REPRESENTATIVE.
- 6) DRAIN AND REMOVE PUMPS FOR OWNER'S REPRESENTATIVE STORAGE.
- 7) DRAIN FILTERS USING MANUFACTURER'S RECOMMENDATIONS.
- 8) CHECK SPRINKLER HEADS TO MAKE SURE THEY ARE BELOW SIDEWALK AND CURB LEVELS AND NOT VULNERABLE TO SNOW/LOW DAMAGE. LOWER HEADS TO PROPER ELEVATION.
- 9) NOTIFY OWNER'S REPRESENTATIVE WHEN SYSTEM HAS BEEN TURNED OFF.
- B. SPRING START-UP SHALL INCLUDE FOLLOWING:
- 1) CLOSE ALL MANUAL VALVES.
- 2) CLEAN PUMP FILTERS AND REPLACE IF NECESSARY.
- 3) REMOVE FREEZE AND WINTER GEAR AS REQUIRED.
- 4) TURN ON WATER SOURCE AT POINT OF CONNECTION.
- 5) VERIFY THAT CONTROLLER(S) AND RAIN SENSOR ARE PROPERLY OPERATING. CHANGE BATTERY IN CONTROLLER(S) IF NECESSARY.
- 6) FLUSH ENTIRE SYSTEM. RUN EACH VALVE FOR TWO (2) MINUTES TO CHECK FOR DAMAGE, LEAKS, AND COVERAGE.
- 7) REPAIR AND ADJUST SYSTEM AS NEEDED. FINE TUNE SYSTEM FOR EFFICIENT COVERAGE.
- 8) NOTIFY OWNER'S REPRESENTATIVE WHEN SYSTEM HAS BEEN CHARGED AND IS IN FULL REPAIR.
4. SUBMIT MANUFACTURER'S CUT SHEETS FOR EACH ELEMENT OF SYSTEM TO THE LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE(S) FOR REVIEW AND APPROVAL PRIOR TO BEGINNING INSTALLATION.
5. CLOSEOUT SUBMITTALS:
- A. SUBMITTAL FORMAT: DIGITAL FORMAT ONLY.
- B. OPERATIONS AND MAINTENANCE DATA:
- 1) PROVIDE IRRIGATION AND MAINTENANCE OPERATION AND MAINTENANCE RECOMMENDATIONS.
- 2) PROVIDE IRRIGATION SYSTEM OPERATION AND MAINTENANCE RECOMMENDATIONS FROM MANUFACTURERS.
- 3) PROVIDE IRRIGATION SYSTEM WINTERIZATION INSTRUCTIONS.
- 4) PROVIDE POST PLANT ESTABLISHMENT PERIOD WATERING SCHEDULE.
- 5) PROVIDE POST PLANT ESTABLISHMENT PERIOD WATERING SCHEDULE.
- C. IRRIGATION SYSTEM WARRANTY DOCUMENTATION:
- 1) PROVIDE MANUFACTURER'S PRINTED LITERATURE AND CUT SHEETS FOR EACH ELEMENT OF SYSTEM.
- 2) TESTING AND INSPECTION REPORTS
- 3) IRRIGATION RECORD DRAWINGS. AS INSTALLATION OCCURS, PREPARE ACCURATE RECORD DRAWING TO BE SUBMITTED BEFORE FINAL INSPECTION, INCLUDING:
- A) DETAIL AND DIMENSION CHANGES MADE DURING CONSTRUCTION. RECORD AT TIME OF INSTALLATION.
- B) SIGNIFICANT DETAILS AND DIMENSIONS NOT SHOWN IN ORIGINAL CONTRACT DOCUMENTS.
- C) DETAIL DIMENSIONS FOR LOCATION OF VALVE BOXES, MANUAL DRAINS, QUICK-COUPLER VALVES, CONTROL WIRE RUNS NOT IN MAINLINE DITCH AND BOTH ENDS OF SLEEVES.
- D) TAKE DIMENSIONS FROM PERMANENT CONSTRUCTED SURFACES OR EDGES LOCATED AT OR ABOVE FINISH GRADE.
- E) TAKE AND RECORD DIMENSIONS AT TIME OF INSTALLATION.
- F) PROVIDE PHOTOGRAPHS PRIOR TO BURIAL OF KEY ELEMENTS.
- E. FINAL PAYMENT FOR SYSTEM WILL NOT BE AUTHORIZED UNTIL CLOSEOUT SUBMITTALS ARE RECEIVED AND ACCEPTED BY ARCHITECT AND LANDSCAPE ARCHITECT.

- REGULATORY REQUIREMENTS:
- A. WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH LATEST RESOLUTIONS, ORDINANCES, AND OTHER APPLICABLE STATE OR LOCAL LAWS.
- B. NOTHING IN CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
7. QUALIFICATIONS:
- A. IRRIGATION SUBCONTRACTOR:
1. COMPANY SPECIALIZING IN PERFORMING WORK OF THIS SECTION.
2. MINIMUM FIVE (5) YEARS EXPERIENCE IN IRRIGATION SPRINKLER INSTALLATIONS.
3. MINIMUM FIVE (5) YEAR FACTORILY COMPLETED IRRIGATION SPRINKLER INSTALLATIONS IN PAST THREE (3) YEARS OF PROJECTS SIMILAR IN SIZE, SCOPE, AND COMPLEXITY REQUIRED FOR THIS PROJECT BEFORE SUBMITTING PROPOSAL.
4. USE TRAINED PERSONNEL FAMILIAR WITH REQUIRED IRRIGATION SPRINKLER PROCEDURES AND WITH CONTRACT DOCUMENTS.
5. FOREMAN OR SUPERVISOR REQUIRED TO ATTEND SITE MEETINGS.
- F. UPON REQUEST, SUBMIT DOCUMENTATION.
- B. IRRIGATION INSTALLER:
1. PERFORM INSTALLATION UNDER DIRECTION OF FOREMAN OR SUPERVISOR.
2. MINIMUM THREE (3) YEARS EXPERIENCE IN IRRIGATION SPRINKLER INSTALLATIONS SIMILAR IN SIZE, SCOPE, AND COMPLEXITY.
8. WARRANTY:
- WARRANTY: IRRIGATION SYSTEM FOR PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION. AS PART OF WARRANTY, INSTALLER SHALL PERFORM FOLLOWING:
1. FILLING AND REPAIRING DEPRESSIONS AND REPLACING PLANTINGS DUE TO SETTLEMENT OF IRRIGATION SYSTEM TRENCHES.
2. REPAIRING FAULTY EQUIPMENT, WIRING AND PIPE INSTALLATIONS.
3. REPAIRING EQUIPMENT AND PIPE NOT PROPERLY WINTERIZED.
9. VERIFICATION OF CONDITIONS:
- A. PERFORM SOURCE PRESSURE TEST AT STUB-OUT ON MAIN WATER LINE PROVIDED FOR IRRIGATION SYSTEM, OR AT NEAREST FIRE HYDRANT.
- B. NOTIFY ARCHITECT IF PRESSURES OVER 70 PSI (480 KPA) OR UNDER 55 PSI (379 KPA) ARE FOUND TO DETERMINE IF SOME RE-DESIGN OF SYSTEM IS NECESSARY BEFORE BEGINNING WORK ON SYSTEM.
10. PROTECTION:
- A. REPAIR OR REPLACE WORK DAMAGED DURING COURSE OF WORK. IF NO ADDITIONAL WORK IS REQUIRED, IF DAMAGED WORK IS NEW, INSTALLER OF ORIGINAL WORK SHALL PERFORM REPAIR OR REPLACEMENT.
- B. DO NOT CUT EXISTING TREE ROOTS MEASURING OVER 2 INCHES (50 MM) IN DIAMETER IN ORDER TO INSTALL IRRIGATION LINES.
11. LAYOUT OF IRRIGATION SYSTEM:
- A. LOCATION OF IRRIGATION SYSTEM SHOWN ON CONTRACT DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS IS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE WITHOUT SPRAYING OR FOLDINGS, SIDEWALKS, FENCES, ETC.
- B. DURING LAYOUT, CONSULT WITH ARCHITECT TO VERIFY PROPER PLACEMENT AND MAKE RECOMMENDATIONS, WHERE REVISIONS ARE ADVISABLE.
- C. AT NEAREST FIRE HYDRANT, LAYOUT WILL BE PERMITTED TO AVOID EXISTING FIXED OBSTRUCTIONS.
- D. MAKE CERTAIN CHANGES FROM CONTRACT DOCUMENTS ARE SHOWN ON RECORD DRAWINGS.
12. TRENCHING AND BACKFILLING:
- A. PULLING OF PIPE IS NOT PERMITTED.
- B. EXCAVATE TRENCHES TO SPECIFIED DEPTH. REMOVE ROCKS LARGER THAN 4 INCHES (100 MM) IN ANY DIRECTION FROM BOTTOM OF TRENCH. SEPARATE OUT ROCKS LARGER THAN 1-1/2 INCH (38 MM) IN ANY DIRECTION UNCOVERED IN TRENCHING OPERATION FROM EXCAVATED MATERIAL AND REMOVE FROM AREAS TO RECEIVE BACKFILLING.
- C. COVER PIPE BOTH TOP AND SIDES WITH 2 INCHES (50 MM) OF ROCK-FREE SOIL OR SAND. REMAINDER OF BACKFILL TO TOP OF DEPTH USING SAME MATERIAL.
- D. DO NOT COVER PRESSURE MAIN, IRRIGATION PIPE, OR FITTINGS UNTIL LANDSCAPE ARCHITECT HAS INSPECTED AND APPROVED SYSTEM.
13. SLEEVING:
- A. SLEEVE WATER LINES AND CONTROL WIRES UNDER WALKS AND PAVING. EXTEND SLEEVES 6 INCHES (150 MM) MINIMUM BEYOND WALK OR PAVEMENT EDGE. COVER SLEEVES WITH 2 INCHES (50 MM) OF ROCK-FREE SOIL OR SAND. WIRES ARE INSTALLED TO KEEP SLEEVES CLEAN AND FREE OF DIRT AND DEBRIS.
- B. POSITION SLEEVES WITH RESPECT TO BUILDINGS AND OTHER OBSTRUCTIONS SO PIPE CAN BE REMOVED EASILY.
- C. INSTALL SLEEVES AND CONDUIT BEFORE INSTALLATION OF CAST-IN-PLACE CONCRETE SITE ELEMENTS AND PAVING. COORDINATE WITH APPROPRIATE SUBCONTRACTOR AS NEEDED FOR TIMELY INSTALLATION.

- A. INSTALL PIPE IN MANNER TO PROVIDE FOR EXPANSION AND CONTRACTION AS RECOMMENDED BY MANUFACTURER.
  - B. UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS, INSTALL MAIN LINES WITH MINIMUM COVER OF 18 INCHES (450 MM) BELOW FINISH GRADE. INSTALL LATERAL LINES, INCLUDING THOSE CONNECTING DRIP TUBING, WITH MINIMUM OF 12 INCHES (300 MM) OF COVER BASED ON FINISH GRADE.
  - C. INSTALL MAIN AND LATERAL LINES UNDER DRIVEWAYS OR PARKING AREAS IN SPECIFIED SLEEVES 18 INCHES (450 MM) BELOW FINISH GRADE OR AS SHOWN ON CONTRACT DRAWINGS.
  - D. LOCATE PIPE SO NO SPRINKLER HEAD WILL BE CLOSER THAN 12 INCHES (300 MM) TO ANY FOUNDATION.
  - E. CUT PLASTIC PIPE SQUARE. REMOVE BURRS AT CUT ENDS BEFORE INSTALLATION SO UNOBSTRUCTED FLOW WILL RESULT.
  - F. MAKE SOLVENT WELD JOINTS AS FOLLOWS:
    1. DO NOT MAKE SOLVENT WELD JOINTS IF AMBIENT TEMPERATURE IS BELOW 35 DEG F (2 DEG C).
    2. CLEAN MATING PIPE AND FITTING WITH CLEAN, DRY RAG AND APPLY ONE (1) COAT OF PRIMER TO EACH SURFACE.
    3. APPLY UNIFORM COAT OF SOLVENT CEMENT TO OUTSIDE OF PIPE.
    4. APPLY SOLVENT CEMENT TO FITTING IN SIMILAR MANNER.
    5. INSERT PIPE COMPLETELY INTO FITTING.
    6. GIVE PIPE OR FITTING QUARTER TURN TO INSURE EVEN DISTRIBUTION OF CEMENT.
    7. INSERT PIPE TO FULL DEPTH OF FITTING SOCKET.
    8. ALLOW JOINTS TO SET AT LEAST TWENTY-FOUR (24) HOURS BEFORE APPLYING PRESSURE TO PVC PIPE.
  - G. TAPE ALL JOINTED CONNECTIONS WITH TEFLON TAPE.
  - H. IF PIPE IS LARGER THAN 3 INCHES (75 MM), INSTALL JOINT RESTRAINTS WHEREVER CHANGE OF DIRECTION OCCURS ON PVC MAIN LINES.
16. CONTROL VALVES AND CONTROL VALVE WIRING:
- A. INSTALL VALVES IN PLASTIC BOXES WITH REINFORCED HEAVY-DUTY PLASTIC COVERS. LOCATE VALVE BOXES WITHIN 12 INCHES (300 MM) TO 24 INCHES (600 MM) OF SIDEWALKS AND SHRUB BED EDGES WITH TOPS AT FINISH GRADE. DO NOT INSTALL MORE THAN ONE (1) VALVE IN SINGLE BOX.
  - B. INSTALL EQUIPMENT FOR EASE OF REMOVAL.
  - C. PLACE 3 INCHES (75 MM) MINIMUM OF PEA GRAVEL BELOW BRICKS SUPPORTING VALVE BOXES TO DRAIN BOX. SET VALVE BOXES OVER VALVE SO ALL PARTS OF VALVE CAN BE REACHED FOR REPAIRS. SET COVER OF VALVE BOX EVEN WITH FINISH GRADE. VALVE BOXES MUST BE REASONABLY FREE FROM DIRT AND DEBRIS.
  - D. WIRING:
    1. USE WATERPROOF WIRE CONNECTORS CONSISTING OF ONE WATERPROOF WIRE NUT AND GREASE CAP AT SPLICES AND LOCATE ALL SPLICES WITHIN VALVE BOXES.
    2. WIRE LENGTH FROM ANY DECODER TO THE CONTROLLER SHALL BE NO MORE THAN 8,500 FT (2,590 M).
    3. DO NOT LOOP WIRING.
    4. INSTALL LIGHTNING ARRESTORS AS PER MANUFACTURER'S RECOMMENDATIONS.
    5. FOLLOW ALL OTHER MANUFACTURER RECOMMENDATIONS WHEN INSTALLING WIRE.
  - E. TRAILING WIRING:
    - a) TAPE CONTROL WIRE TO SIDE OF MAIN LINE EVERY 10 FEET (3,050 M). WHERE CONTROL WIRE LEAVES MAIN OR LATERAL LINE, ENCLOSE IT IN GRAY CONDUIT.
    - b) USE WHITE OR GRAY COLOR FOR COMMON WIRE AND OTHER COLORS FOR ALL OTHER WIRE. EACH COMMON WIRE MAY SERVE ONLY ONE (1) CONTROLLER.
    - c) RUN ONE (1) SPARE CONTROL WIRE FROM PANEL CONTINUOUSLY FROM VALVE TO VALVE THROUGHOUT SYSTEM SIMILAR TO COMMON WIRE FOR USE AS REPLACEMENT IF WIRE FAILS.
    - d) SPARE WIRE MUST TO EACH BRANCH OF SYSTEM.
    - e) SPARE WIRE SHALL BE DIFFERENT COLOR THAN OTHER WIRES. USE OF GREEN WIRE IS NOT ACCEPTABLE.
    - f) MARK SPARE CONTROL WIRE VISIBLY WITHIN VALVE BOX AS 'UN-CONNECTED WIRE'. EXTEND SPARE CONTROL WIRES 24 INCHES (600 MM) AND LEAVE COILED IN EACH VALVE BOX. MARK SPARE WIRE AS 'WITHIN CONTROLLER AS 'UN-CONNECTED WIRE'.
  - F. ARRANGE VALVE STATIONS TO OPERATE IN AN EASY-TO-FIND PROGRESSIVE SEQUENCE AROUND BUILDING TAG VALVE BOXES TO EACH BRANCH OF SYSTEM SHOWING FINAL SEQUENCE STATION ASSIGNMENTS.

- BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN DRAWINGS AND SITE TO LANDSCAPE ARCHITECT BEFORE PROCEEDING.
2. PLANT TOTALS ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. VERIFY AMOUNTS SHOWN ON CONTRACT OCCUR ON ALL PLANTING INDICATED ON CONTRACT DOCUMENTS IS REQUIRED UNLESS INDICATED OTHERWISE.
3. LAYOUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTING.
- A. STAKE LOCATIONS AND OUTLINE AREAS.
- B. SECURE LANDSCAPE ARCHITECT'S APPROVAL BEFORE PLANTING.
- C. MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED.
4. MAINTENANCE:
- A. GENERAL:
1. BEFORE BEGINNING MAINTENANCE PERIOD, PLANTS SHALL BE IN AT LEAST AS SOUND, HEALTHY, VIGOROUS, AND IN APPROVED CONDITION AS WHEN DELIVERED TO SITE, UNLESS ACCEPTED BY ARCHITECT IN WRITING AT FINAL LANDSCAPE INSPECTION.
2. MAINTAIN LANDSCAPING FOR THIRTY (30) CONTINUOUS DAYS MINIMUM AFTER SUBSTANTIAL COMPLETION. IF MAINTENANCE PERIOD IS INTERRUPTED BY NON-GROWING SEASON OR IRRIGATION WINTER SHUT-DOWN, BEGIN MAINTENANCE PERIOD AFTER START OF GROWING SEASON AS AGREED WITH ARCHITECT, AND CONTINUE ONE (1) CONTINUOUS MONTH THEREFROM.
3. REPLACE LANDSCAPING THAT IS DEAD OR APPEARS UNHEALTHY OR NON-VIGOROUS AS DIRECTED BY ARCHITECT BEFORE BEGINNING MAINTENANCE PERIOD. MAKE REPLACEMENTS WITHIN TEN (10) DAYS OF NOTIFICATION. LAWN BEING REPLACED SHALL BE GUARANTEED AND MAINTAINED AN ADDITIONAL THIRTY (30) DAYS FROM DATE OF REPLACEMENT.
- B. SEEDED LAWN:
1. SEEDED LAWN AREAS WILL NOT BE ACCEPTED AS COMPLETE AND THIRTY (30) DAY MAINTENANCE PERIOD WILL NOT BEGIN UNTIL EVEN STAND OF GRASS AT LEAST 3 INCHES (75 MM) TALL HAS BEEN OBTAINED.
2. AFTER GRASS IS ESTABLISHED AND 3 INCHES (75 MM) TALL, MOW LAWN AT EXTENSIVE WEEKLY TO A HEIGHT OF 2 INCHES (50 MM). DURING THIS PERIOD, PERFORM WORK NECESSARY TO MAINTAIN A FULL, EVEN STAND OF GRASS.
3. AT END OF THIRTY (30) DAYS OF MAINTENANCE PERIOD, FERTILIZE LAWNS.
4. APPLY HERBICIDES AS NECESSARY IN ORDER TO OBTAIN WEED FREE LAWN. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS DURING CALM WEATHER WHEN AIR TEMPERATURE IS BETWEEN 50 AND 80 DEG F (10 AND 27 DEG C).
- C. SODDED LAWN:
1. MAINTAIN SODDED LAWN AREAS UNTIL LAWN COMPLIES WITH SPECIFIED REQUIREMENTS AND THROUGHOUT MAINTENANCE PERIOD.
2. WHEN SODDED LAWN AREAS ARE DELIVERED, QUANTITIES AND AT REQUIRED FREQUENCY TO MAINTAIN SUB-SOIL, IMMEDIATELY UNDER SOD CONTINUOUSLY MOIST TO 4 INCHES (75 TO 100 MM) DEEP.
3. COME TO FIRST TIME WHEN IT REACHES 3 INCHES (75 MM) HIGH. CONTINUE TO MOW AT LEAST ONCE EACH WEEK THROUGHOUT MAINTENANCE PERIOD. REMOVE CLIPPINGS.
4. APPLY HERBICIDES AS NECESSARY TO MAINTAIN WEED-FREE LAWN. APPLY HERBICIDE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS DURING CALM WEATHER WHEN AIR TEMPERATURE IS BETWEEN 50 AND 80 DEG F (10 AND 27 DEG C).
5. AT END OF THIRTY (30) DAY MAINTENANCE PERIOD, FERTILIZE LAWNS.
- D. TREES, SHRUBS, & PLANTS:
1. MAINLY BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH.
2. RESTORE PLANTING BASINS.
3. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS.
4. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITIONS AS REQUIRED.
5. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
6. PROVIDE SUPPLEMENTARY WATER BY HAND AS NEEDED IN ADDITION TO WATER FROM SPRINKLING SYSTEM.
5. PROTECTION:
- A. PROTECT PLANTED AREAS AGAINST TRAFFIC OR OTHER USE IMMEDIATELY AFTER PLANTING IS COMPLETED BY PLACING ADEQUATE WARNING SIGNS AND BARRICADES TO PREVENT ADEQUATE PROTECTION AGAINST AREAS AGAINST TRESPASSING, EROSION, AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER ARCHITECT HAS ACCEPTED PLANTED AREAS.
- B. PROTECT TREES AND SHRUBS BY PROVIDING PROTECTION TO AVOID CONDITIONS THAT WILL CREATE HAZARDS. POST SIGNS OR BARRIERS AS REQUIRED.
- C. PROVIDE ADEQUATE MEANS FOR PROTECTION FROM THE EFFECTS THROUGHOUT MAINTENANCE PERIOD OF HEAVY RAINS, ETC. REPAIR OR REPLACE DAMAGED AREAS.
- D. KEEP SITE WELL DRAINED AND LANDSCAPE EXCAVATIONS DRY.
6. WARRANTY:
1. PROVIDE WRITTEN WARRANTIES AS FOLLOWS:
- A. WARRANTY WITHIN THIRTY (30) CONTINUOUS DAYS MINIMUM AFTER SUBSTANTIAL COMPLETION. IF A CONTINUOUS FIRST THIRTY (30) DAYS OF THE WARRANTY PERIOD IS INTERRUPTED BY NON-GROWING SEASON OR IRRIGATION WINTER SHUT-DOWN, BEGIN WARRANTY PERIOD AFTER START OF GROWING SEASON AS AGREED ON WITH ARCHITECT. THEREAFTER, CONTINUE WARRANTY THROUGHOUT MAINTENANCE PERIOD.
- B. WARRANTY SHRUBS, GROUND COVERS, AND VINES TO LIVE AND REMAIN IN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR 90 DAYS MINIMUM FROM DATE OF SUBSTANTIAL COMPLETION.
- C. WARRANTY TREES TO LIVE AND REMAIN IN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- D. WHEN TREES ARE COMPLETELY ACCEPTED AT END OF WARRANTY PERIOD, REMOVE STAKING.

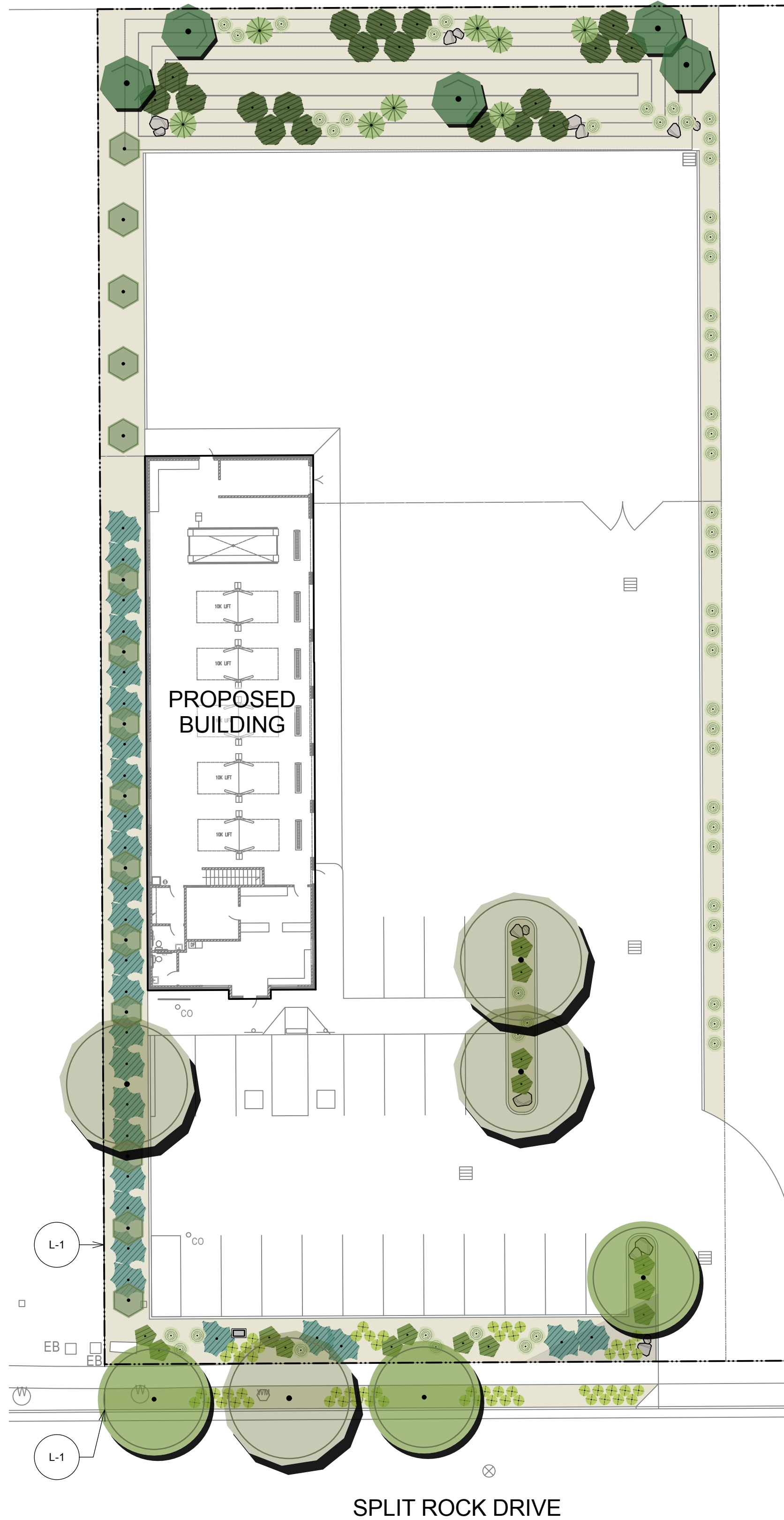
- D. DELIVERY, STORAGE, AND HANDLING:**
- 1. DELIVERY AND ACCEPTANCE REQUIREMENTS:**
1. DELIVER TREES, SHRUBS, GROUND COVERS, AND PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY.
  2. DO NOT PRUNE BEFORE DELIVERY. EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
  3. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE.
  4. DO NOT BEND ROOT SYSTEMS OF TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY NATURAL SHAPE.
  5. PROVIDE PROTECTIVE COVERING DURING DELIVERY.
- 6. STORAGE AND HANDLING REQUIREMENTS:**
1. SET BALLED STOCK ON GROUND OR IN A CONTAINER. DO NOT DROP TREES AND SHRUBS DURING DELIVERY.
  2. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTING MATERIALS IN SHADE AND PROTECT FROM WEATHER AND MECHANICAL DAMAGE.
  3. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, SAW DUST, OR OTHER ACCEPTABLE MATERIAL, APPROVED BY LANDSCAPE ARCHITECT.
  4. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING.
  5. DO NOT STORE PLANT MATERIAL ON PAVEMENT.
  6. WATER ROOT SYSTEMS OF TREES AND SHRUBS STORED ON SITE WITH FINE SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN MOIST CONDITION. DO NOT ALLOW PLANT FOLIAGE TO DRY OUT.
- 8. PLANT MATERIAL:**
- A. CONFORM TO REQUIREMENTS OF PLANT LIST AND KEY TO CONTRACT. PLANT NAMES AND TO ANSI (ANSI Z60.1).**
- B. PLANT NAMES USED IN PLANT LIST CONFORM TO "STANDARDIZED PLANT NAMES" BY AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE EXCEPT IN CASES NOT COVERED. IN THESE CASES, FOLLOW THE LIST OF TRADE PLANTS WHICH SHALL BEAR TAG SHOWING GENUS, SPECIES, AND VARIETY OF AT LEAST 10 PERCENT OF EACH SPECIES DELIVERED TO SITE.**
- C. REQUIREMENTS:**
1. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASE, INSECT PESTS OR THEIR EGGS, NOXIOUS WEEDS, AND HAVE HEALTHY, NORMAL ROOT SYSTEMS. CONTAINER STOCK SHALL BE WELL ESTABLISHED AND FREE OF EXCESSIVE ROOT-BOUND CONDITIONS.
  2. DO NOT PRUNE PLANTS OR TOP TREES PRIOR TO DELIVERY.
  3. PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AS TO SIZE, HEALTH, QUALITY, AND CHARACTER.
  4. BARE ROOT TREES SHALL NOT ACCEPT CONCHETER.
  5. PROVIDE PLANT MATERIALS FROM LICENSED NURSERY OR GROWER.
- D. MEASUREMENTS:**
1. MEASURE HEIGHT AND SPREAD OF SPECIMEN PLANT MATERIALS WITH BRANCHES IN THEIR NORMAL POSITION AS INDICATED ON CONTRACT DOCUMENTS OR PLANT LIST.
  2. MEASUREMENT SHOULD BE AVERAGE OF PLANT, NOT CALIPER DIAMETER.
  3. IF EXEMPLE, PLANT MEASURE 15 INCHES (375 MM) IN WIDEST DIRECTION AND 9 INCHES (225 MM) IN NARROWEST SHOULD BE CLASSIFIED AS 12 INCH (300 MM) STOCK.
  4. IF NOT PROPORTIONATE, MEASUREMENT SHOULD MEASURE SAME IN EVERY DIRECTION.
  5. MEASURE CALIPER OF TREES 6 INCHES (150 MM) ABOVE SURFACE OF GROUND.
  6. MEASURE CALIPER FOR OTHER DIMENSIONS OF PLANT MATERIALS ARE OMITTED FROM PLANT LIST. PLANT MATERIALS SHALL BE NORMAL STOCK FOR TYPE LISTED.
  7. PLANT MATERIALS LARGER THAN THOSE SPECIFIED MAY BE SUPPLIED, WITH PRIOR WRITTEN APPROVAL OF LANDSCAPE ARCHITECT, AND:
    - a) IF COMPLYING WITH CONTRACT DOCUMENT REQUIREMENTS IN ALL OTHER RESPECTS.
    - b) AT NO ADDITIONAL COST TO OWNER.
    - c) IF SIZES OF ROOTS OR BALLS ARE INCREASED PROPORTIONATELY.
- E. PLANT FORM:**
1. PLANT MATERIALS SHALL BE SYMMETRICAL OR TYPICAL FOR VARIETY AND SPECIES AND CONFORM TO MEASUREMENTS SPECIFIED IN PLANT LIST.
  2. WELL GROWN PLANT WILL GENERALLY HAVE CALIPER EQUAL TO OR EXCEEDS SPREAD. HOWEVER, SPREAD SHALL NOT BE LESS THAN 2/3'S OF HEIGHT.
- 9. EXCAVATION**
- A. IF UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION OF PLANTING HOLES, LANDSCAPE ARCHITECT WILL SELECT ALTERNATE LOCATIONS.**
- B. PLANT EXCAVATION SIZE:**
1. DIAMETER: TWICE DIAMETER OF ROOT BALL OR CONTAINER MINIMUM.
  2. DEPTH: EQUAL TO CONTAINER OR ROOT BALL DEPTH, UNLESS EXCAVATED MATERIAL MEETS TOPSOIL REQUIREMENTS AS SPECIFIED IN "TOPSOIL & GRADING NOTES". REMOVE FROM LANDSCAPE AREAS AND DO NOT USE FOR LANDSCAPING PURPOSES.
- C. DRAINAGE OF PLANTING AREAS:**
- D. DRAINAGE OF PLANTING AREAS:**
- E. WITH APPROVAL OF LANDSCAPE ARCHITECT, SELECT FIVE (5) TYPICAL PLANTING EXCAVATIONS THROUGHOUT SITE FOR DRAINAGE TESTING.**
- F. PLANTER DRAINAGE:** INFLUX AT RATE OF 3 INCHES (75 MM) PER HOUR MINIMUM. SHOW LANDSCAPE ARCHITECT IN WRITING OF EXCAVATIONS WHERE WATER DOES NOT DRAIN PROPERLY.
- G. SELECT THREE (3) EXCAVATIONS APPROXIMATELY 5 FEET (1500 MM) AWA FROM EACH NON-DRAINING EXCAVATION AND REPEAT TESTS. CONTINUE TESTING PROCESS UNTIL NON-DRAINING AREAS HAVE BEEN IDENTIFIED.**
- H. EXCAVATIONS LOCATED IN IDENTIFIED NON-DRAINING AREAS, AUGER 6 INCH (150 MM) DIAMETER HOLE 4 FEET (1200 MM) DEEP IN LOW POINT OF EACH EXCAVATION AND FILL WITH TAMPED PLANTING MIX.**
- I. REMOVE PLANTING MIX FROM SHRUBS IN HOLES THAT DO NOT PROPERLY DRAIN.**

1. **PLANTING:**
  - A. **REMOVING BINDERS AND CONTAINERS:**
    1. REMOVE TOP ONE / THIRD OF WIRE BASKET AND BURLAP BINDERS.
    2. REMOVE PLASTIC AND TWINE BINDERS FROM AROUND ROOT BALL AND TREE TRUNK.
    3. REMOVE PLASTIC CONTAINERS
    4. REMOVE WOOD BOXES FROM AROUND ROOT BALL. REMOVE BOX BOTTOMS BEFORE POSITIONING PLANT IN HOLE. AFTER PLANT IS PARTIALLY PLANTED, REMOVE REMAINDER OF BOX WITHOUT INJURING ROOT BALL.
  2. **PLANT IMMEDIATELY AFTER REMOVING BINDING MATERIAL AND CONTAINERS:**
    - A. PLACE TREE AND SHRUB ROOT BALLS ON UNDISTURBED SOIL.
    - B. AFTER WATERING AND SETTLING, TOP OF TREE ROOT BALLS SHALL BE APPROXIMATELY TWO INCHES (50 MM) HIGHER THAN FINISHED GRADE AND TRUNK FLARE IS VISIBLE.
    - C. SHRUB ROOT BALLS SHALL BE APPROXIMATELY ONE INCH (25 MM) HIGHER THAN FINISHED GRADE.
  3. **PROPERLY CUT OFF BROKEN OR FRAYED ROOTS.**
  4. **CENTER PLANT IN HOLE, REMOVE REMAINING WIRE BASKET AND BURLAP TAKING CARE NOT TO DAMAGE ROOT BALL:**
    - A. REPLACE DAMAGED MATERIAL.
    - B. BACKFILL WITH SPECIFIED PLANTING MIX.
    - C. EXCEPT IN HEAVY CLAY SOILS, MAKE RING OF MOUNDED SOIL AROUND HOLE PERIMETER TO FORM WATERING BASIN.
  5. **ADD FERTILIZER IN PLANT PIT AS PER TOPSOIL TESTING REPORT AND DURING PROPER SEASON.**
  6. **FILL LANDSCAPE EXCAVATIONS WITH TAMPED PLANTING MIX AND RECOMMENDED FERTILIZER.**
    - A. COMPACT IN 6 INCH (150 MM) LIFTS.
    - B. CONTACT BY WATERING TO ENSURE TOP OF ROOT BALL IS 2 INCHES (50 MM) HIGHER FOR TREES AND ONE INCH (25 MM) HIGHER FOR SHRUBS THAN SURROUNDING SOIL FOLLOWING COMPACTION AND SETTLING.
  7. **DO NOT USE MUDDY SOIL FOR BACKFILLING.**
  8. **MAKE ADJUSTMENTS IN POSITIONS OF PLANTS AS DIRECTED BY LANDSCAPE ARCHITECT.**
  9. **THOROUGHLY WATER TREES AND SHRUBS IMMEDIATELY AFTER PLANTING.**
  10. **AT BASE OF EACH TREE, LEAVE 36 INCH (900 MM) DIAMETER CIRCLE FREE OF ANY GRASS.**

SHEET	DESCRIPTION
L.0.01	LANDSCAPE NOTES & SPECIFICATIONS
L.2.01	LANDSCAPE PLANTING PLAN
L.3.01	LANDSCAPE IRRIGATION PLAN
L.5.01	LANDSCAPE DETAILS
L.5.02	LANDSCAPE IRRIGATION DETAILS
L.5.03	LANDSCAPE IRRIGATION DETAILS

REVISIONS	
REV	DATE
PROJECT NO: 25446	
DRAWN BY: TG	
CHECKED BY: SS	
DATE: AUGUST 2025	
PROPERTY NO:	
LANDSCAPE NOTES & SPECIFICATIONS	
L0.01	





LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	SIZE AT MATURITY (SPREAD x HEIGHT)	DETAIL
DECIDUOUS TREES						
	3	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI 'INERMIS'	1-1/2" CAL.	25-30' x 25-30'	D/L5.01
	4	FRONTIER ELM	ULMUS 'FRONTIER'	1-1/2" CAL.	35-45' x 60'	D/L5.01
EVERGREEN TREES						
	5	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM	6' HT.	10-15' x 30'	E/L5.01
SHRUBS						
	55	SAND SAGEBRUSH	ARTEMISIA FILIFOLIA	5 GAL.	4' x 4'	B/L5.01
	8	REDTWIG DOGWOOD	CORNUS SERICEA 'BAILEY'	5 GAL.	6" x 8"	B/L5.01
	27	HUGHES CREEPING JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL.	8' x 1'	B/L5.01
	15	JADE PARADE SAND CHERRY	PRUNUS PUMILA 'UCONNPP002' PP33,014	5 GAL.	6' x 3'	B/L5.01
	19	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL.	7' x 2'	B/L5.01
	15	BUFFALOBERRY	SHEPHERDIA ARGENTEA	5 GAL.	8' x 12'	B/L5.01
ORNAMENTAL GRASSES						
	59	ATLAS FESCUE	FESTUCA MAIREI	1 GAL.	2-1/2' x 2-1/2'	A/L5.01
BOULDERS						
	16	"BROWNS CANYON" BOULDERS	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS.	2'-4" DIAMETER IN ALL DIRECTIONS	BOULDERS FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374.	F/L5.01
CRUSHED ROCK						
	10,100 S.F.	"BROWNS CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITT'S 4-1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1" DIAMETER	CRUSHED ROCK FROM BROWN'S CANYON QUARRY. CONTACT ONE SOURCE MATERIALS, ONESOURCEMATERIALS.COM, (385) 447-9374.	G/L5.01
ALWAYS PLANT ACCORDING TO CENTER POINT OF THE SYMBOL						

REFERENCE NOTES

- L-1. 1/4" x 6" METAL EDGING  
DETAIL I/L5.01

GENERAL NOTE

1. REFER TO COMMON EARTHWORK, TOPSOIL & GRADING, AND PLANTING NOTES ON SHEET L0.01  
2. PROPERTY OWNER SHALL MAINTAIN PARKSTRIP LANDSCAPING.

EAGLE MOUNTAIN CITY DATA

CH: 17.60 - LANDSCAPING, BUFFERING, FENCING AND TRANSITIONING

ZONED AS	LIGHT MANUFACTURING/DISTRIBUTION (LMD)	
TOTAL SITE AREA	41,538 S.F.	
ON-SITE LANDSCAPE AREA	9,511 S.F. = 23%	
	REQUIRED	PROVIDED
GENERAL:		
PLANT COVERAGE	50% MIN.	50%
REQUIRED TREES - 1 PER 1,000 S.F. OF LANDSCAPE AREA	8,697 S.F. / 1,000 = 9	9
DROUGHT TOLERANT PLANT SPECIES - 50% MIN.		9 / 11 = 82%
MIN. DECIDUOUS TREE SIZE	1-1/2" CAL.	YES
MIN. EVERGREEN TREE SIZE	6' HT.	YES
PARKSTRIPS:		
PLANT COVERAGE	30% MIN.	30%

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

**Call**  
BEFORE YOU  
**DIG**  
1-800-682-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



ONE CALL AUTO  
657 EAST SPLIT ROCK DRIVE  
EAGLE MOUNTAIN, UTAH

REVISIONS		DESCRIPTION
REV	DATE	
1	11-11-25	CITY REVIEW COMMENTS #1
2	12-23-25	CITY REVIEW COMMENTS #2
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO: 25446

DRAWN BY: TG

CHECKED BY: SS

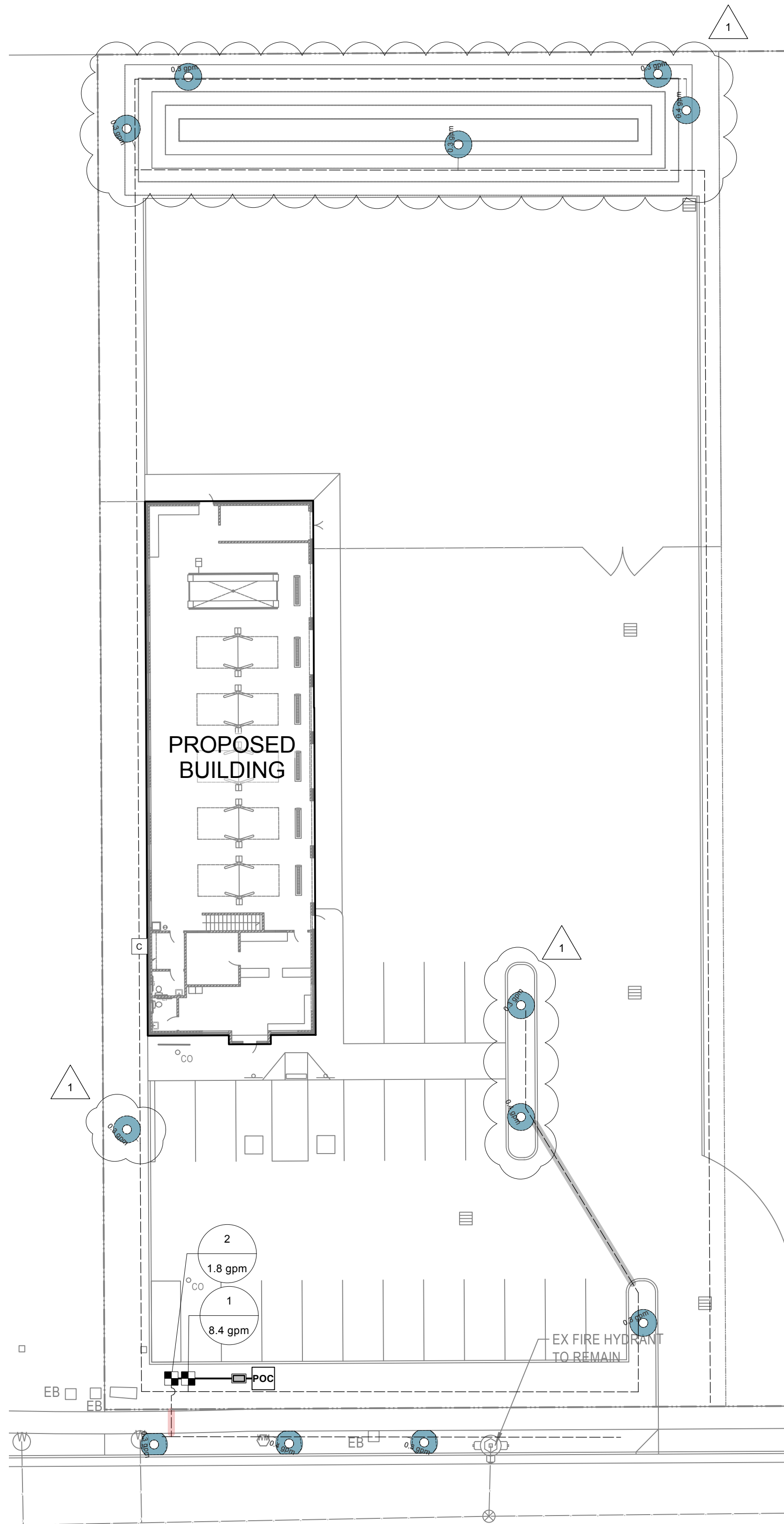
DATE: AUGUST 2025

PROPERTY NO:

LANDSCAPE  
PLANTING  
PLAN

L2.01



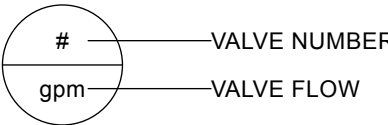


SPLIT ROCK DRIVE

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	DETAIL
DRIP AREAS				
	TREE DRIP RING W/ ROWS SPACED @ 24" APART	NETAFIM	TLCV9-12	E/L5.02
VALVES				
	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100-FEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV	C/L5.02
OTHER EQUIPMENT				
	IRRIGATION CONTROLLER WITH RAIN SHUTOFF DEVICE	RAIN BIRD	ESP8LXME	G/L5.03
	POINT OF CONNECTION			A/L5.03
	CONCRETE PAD FOR BACKFLOW PREVENTER			C/L5.03

SYMBOL	TYPE	MATERIAL	DETAIL
PIPE			
	1" DRIP SUPPLY LINE, 1/2" SWING PIPE (FUNNY PIPE) AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.	SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS.	A/L5.02
	1" MAIN LINE	SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.	A/L5.02
	PIPE SLEEVE UNDER NEW PAVING	SCHEDULE 40 PVC	B/L5.02
	PIPE SLEEVE UNDER EXISTING PAVING	SCHEDULE 40 PVC	I/L5.03



EMITTER SCHEDULE

PLANT NAME	DRIP EMISSION DEVICE	MANUFACTURER	MODEL	DETAIL
FRONTIER ELM	TREE DRIP RING	NETAFIM	TLCV9-12	E/L5.02
ROCKY MOUNTAIN JUNIPER	TREE DRIP RING	NETAFIM	TLCV9-12	E/L5.02
THORNLESS COCKSPUR HAWTHORN	TREE DRIP RING	NETAFIM	TLCV9-12	E/L5.02
ATLAS FESCUE	(1) 1-GPH Emitter	RAIN BIRD IRRIGATION	XBT10 (BLACK)	D/L5.02
BUFFALOBERRY	(1) 5-GPH Emitter	RAIN BIRD IRRIGATION	PCT05 (BEIGE)	D/L5.02
GRO-LOW FRAGRANT SUMAC	(1) 2-GPH Emitter	RAIN BIRD IRRIGATION	XBT20 (RED)	D/L5.02
HUGHES CREEPING JUNIPER	(1) 2-GPH Emitter	RAIN BIRD IRRIGATION	XBT20 (RED)	D/L5.02
JADE PARADE SAND CHERRY	(1) 2-GPH Emitter	RAIN BIRD IRRIGATION	XBT20 (RED)	D/L5.02
REDTWIG DOGWOOD	(1) 5-GPH Emitter	RAIN BIRD IRRIGATION	PCT05 (BEIGE)	D/L5.02
SAND SAGEBRUSH	(1) 1-GPH Emitter	RAIN BIRD IRRIGATION	XBT10 (BLACK)	D/L5.02

GENERAL NOTE

1. REFER TO IRRIGATION NOTES ON SHEET L0.01

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

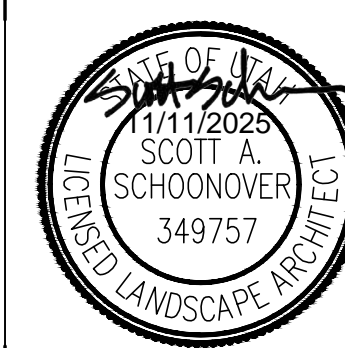
**Call**  
BEFORE YOU  
**DIG**  
1-800-682-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

**McNEIL ENGINEERING**  
Economic and Sustainable Designs, Professionals You Know and Trust  
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcnengineering.com

**Civil Engineering • Consulting & Landscape Architecture**  
**Structural Engineering • Land Surveying & HDS**



ONE CALL AUTO

657 EAST SPLIT ROCK DRIVE

EAGLE MOUNTAIN, UTAH

REV	DATE	DESCRIPTION
1	11-11-25	CITY REVIEW COMMENTS

PROJECT NO: 25446

DRAWN BY: TG

CHECKED BY: SS

DATE: AUGUST 2025

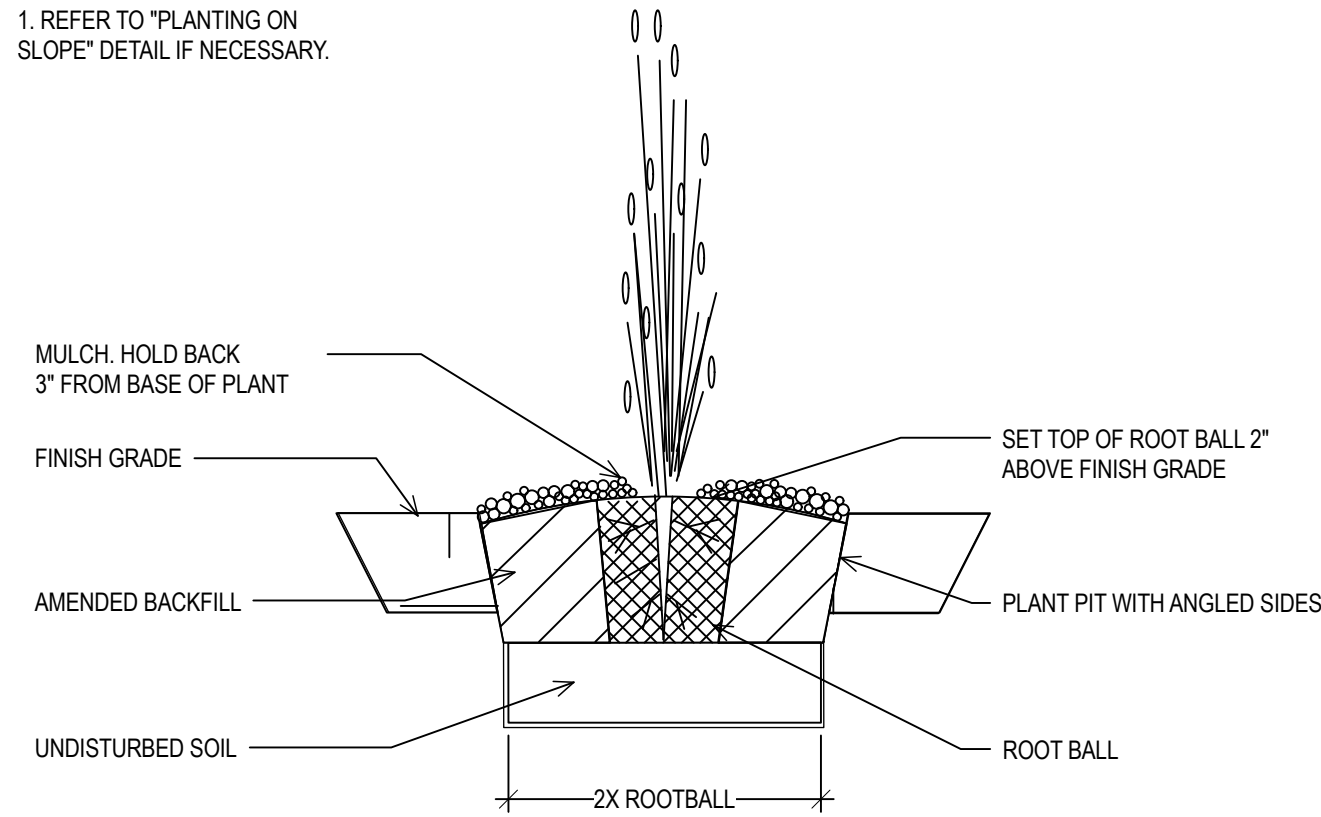
PROPERTY NO:

LANDSCAPE IRRIGATION PLAN

L3.01

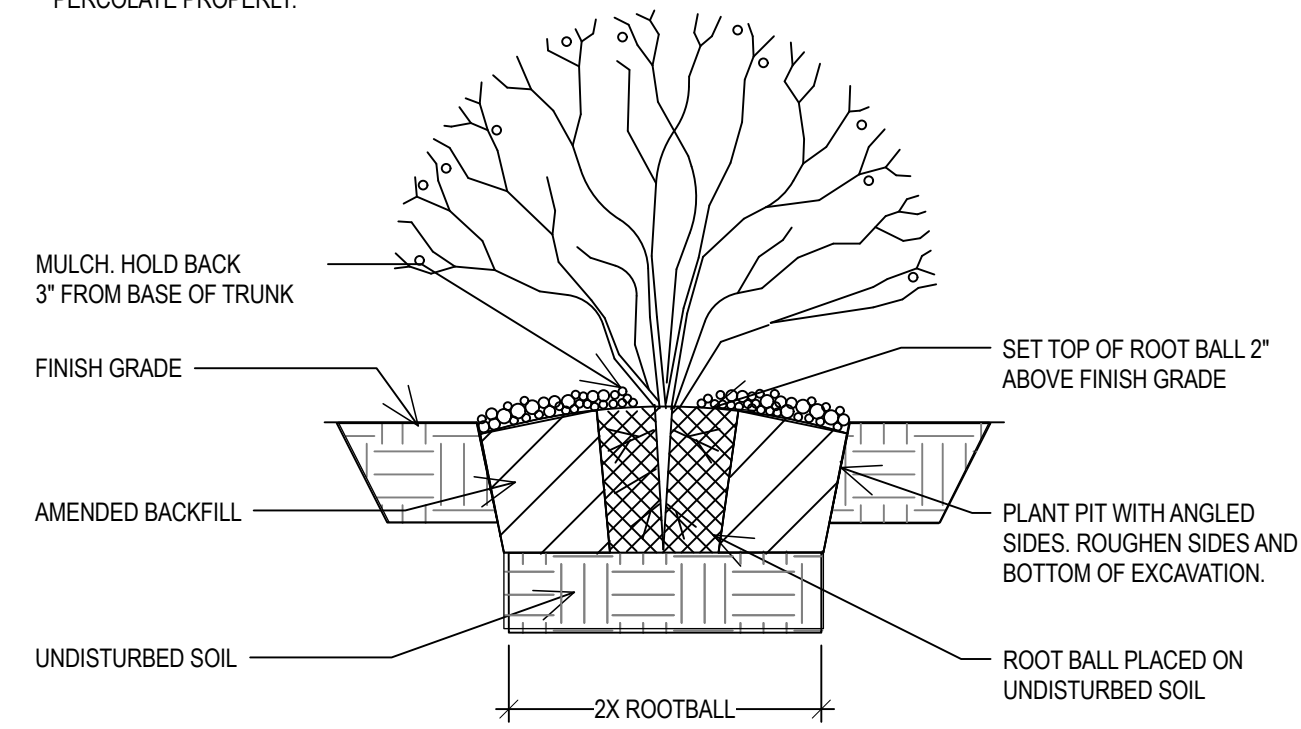


NOTE:  
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.

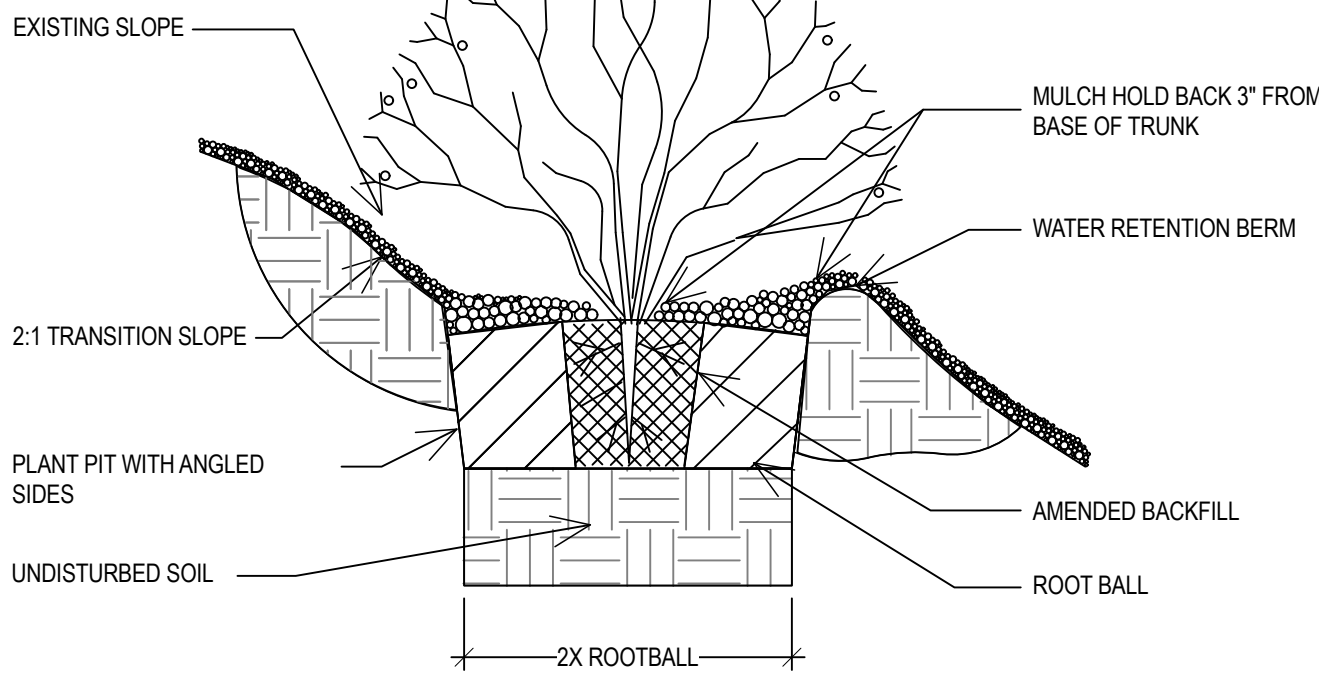


A GRASSES AND PERENNIALS  
NO SCALE

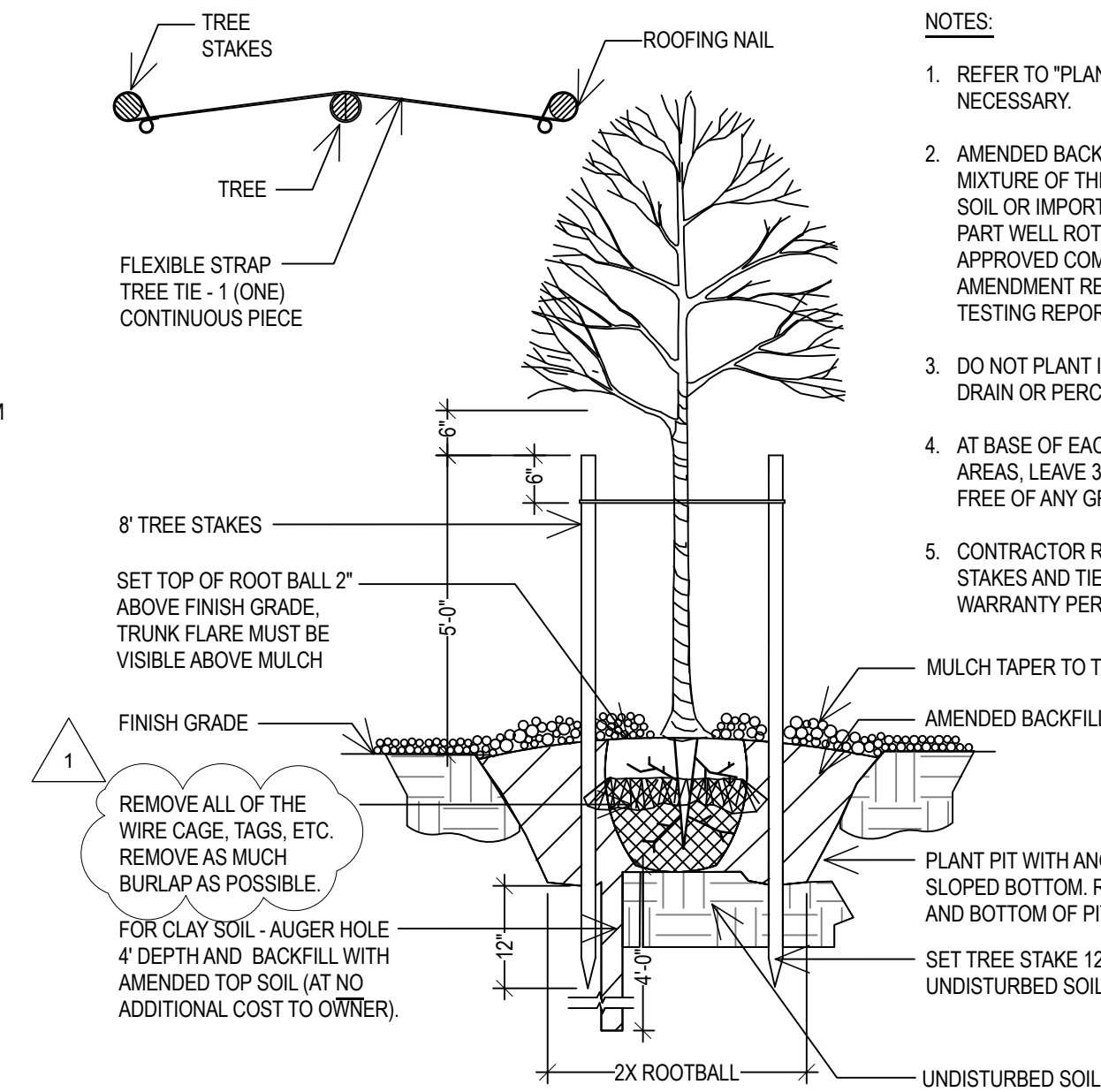
- NOTES:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
  2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
  3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.



B SHRUB PLANTING  
NO SCALE

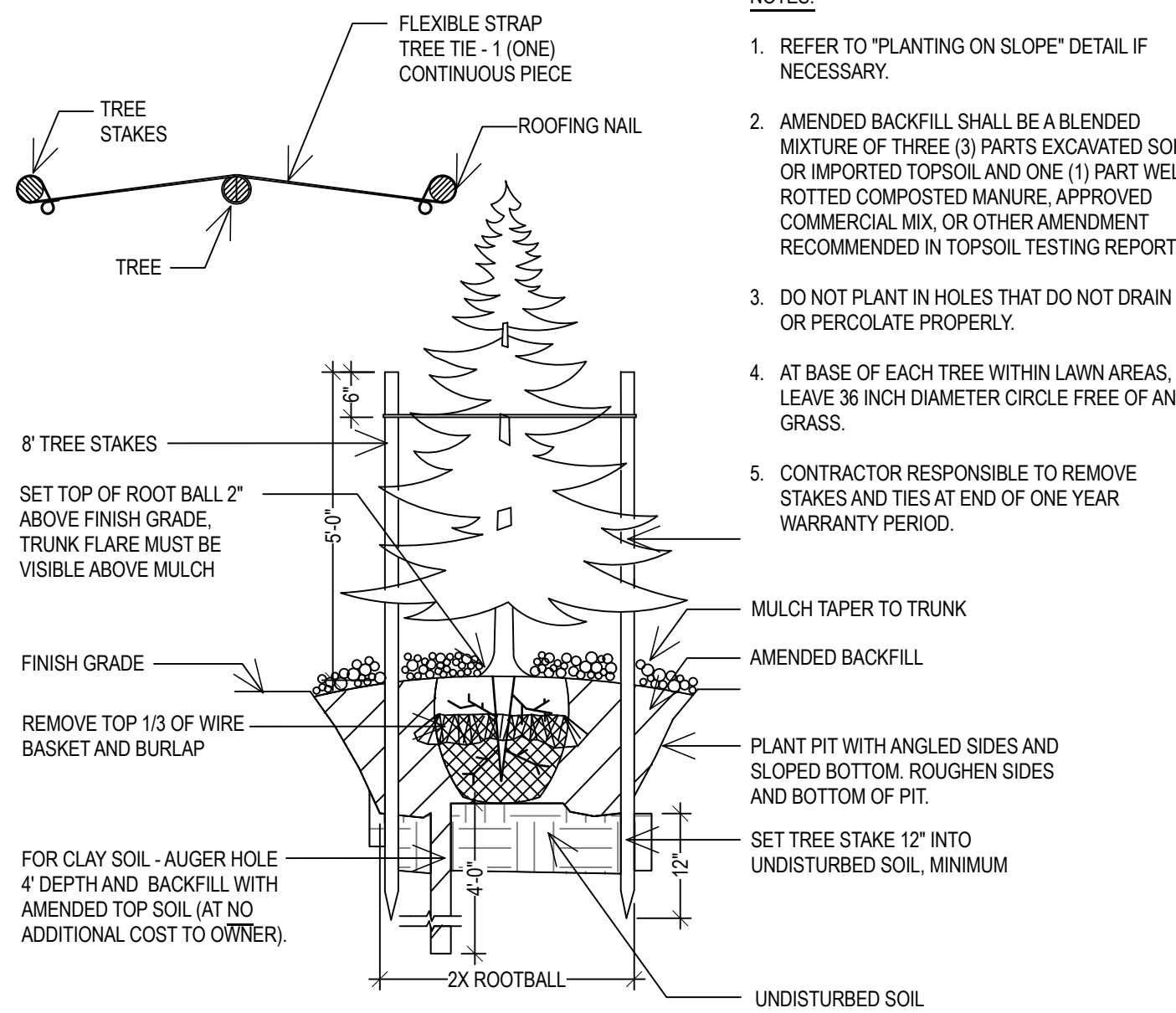


C PLANTING ON SLOPE  
NO SCALE



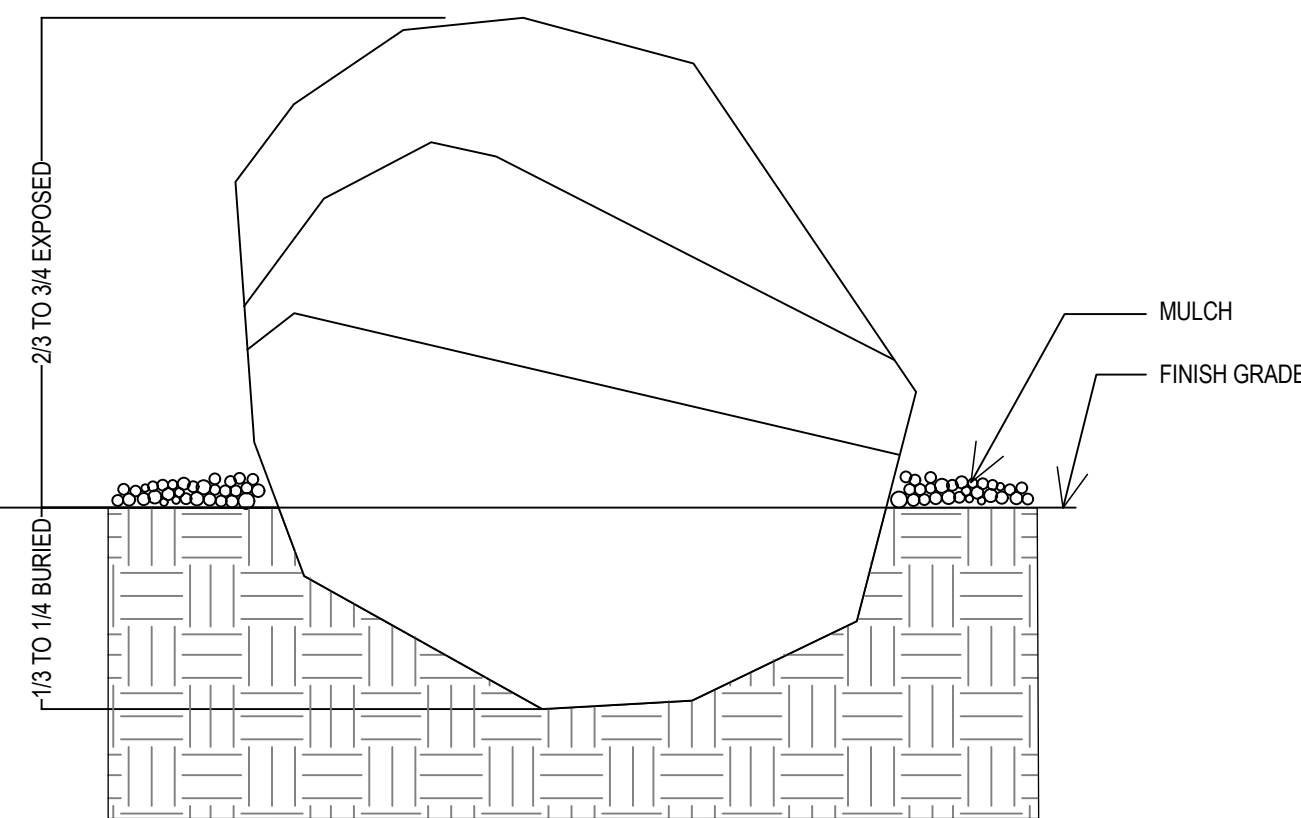
- NOTES:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
  2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
  3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.
  4. AT BASE OF EACH TREE WITHIN LAWN AREAS, LEAVE 36 INCH DIAMETER CIRCLE FREE OF ANY GRASS.
  5. CONTRACTOR RESPONSIBLE TO REMOVE STAKES AND TIES AT END OF ONE YEAR WARRANTY PERIOD.

D DECIDUOUS TREE  
NO SCALE



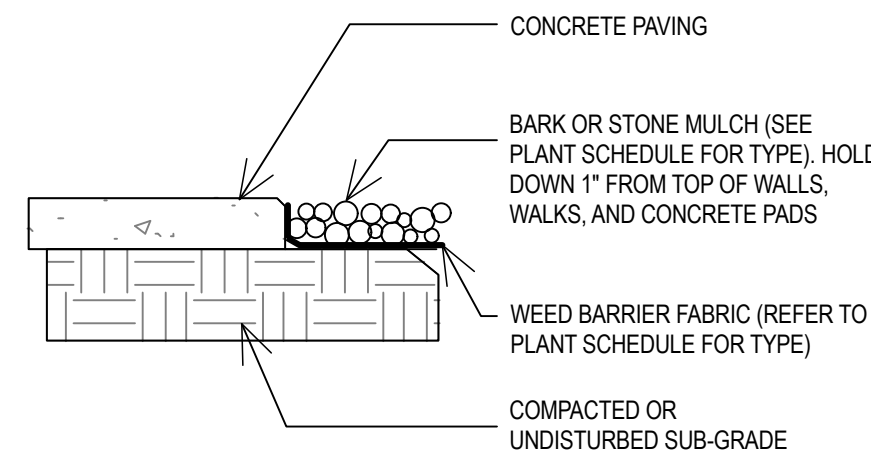
- NOTES:
1. REFER TO "PLANTING ON SLOPE" DETAIL IF NECESSARY.
  2. AMENDED BACKFILL SHALL BE A BLENDED MIXTURE OF THREE (3) PARTS EXCAVATED SOIL OR IMPORTED TOPSOIL AND ONE (1) PART WELL ROTTED COMPOSTED MANURE, APPROVED COMMERCIAL MIX, OR OTHER AMENDMENT RECOMMENDED IN TOPSOIL TESTING REPORT.
  3. DO NOT PLANT IN HOLES THAT DO NOT DRAIN OR PERCOLATE PROPERLY.
  4. AT BASE OF EACH TREE WITHIN LAWN AREAS, LEAVE 36 INCH DIAMETER CIRCLE FREE OF ANY GRASS.
  5. CONTRACTOR RESPONSIBLE TO REMOVE STAKES AND TIES AT END OF ONE YEAR WARRANTY PERIOD.

E EVERGREEN TREE  
NO SCALE

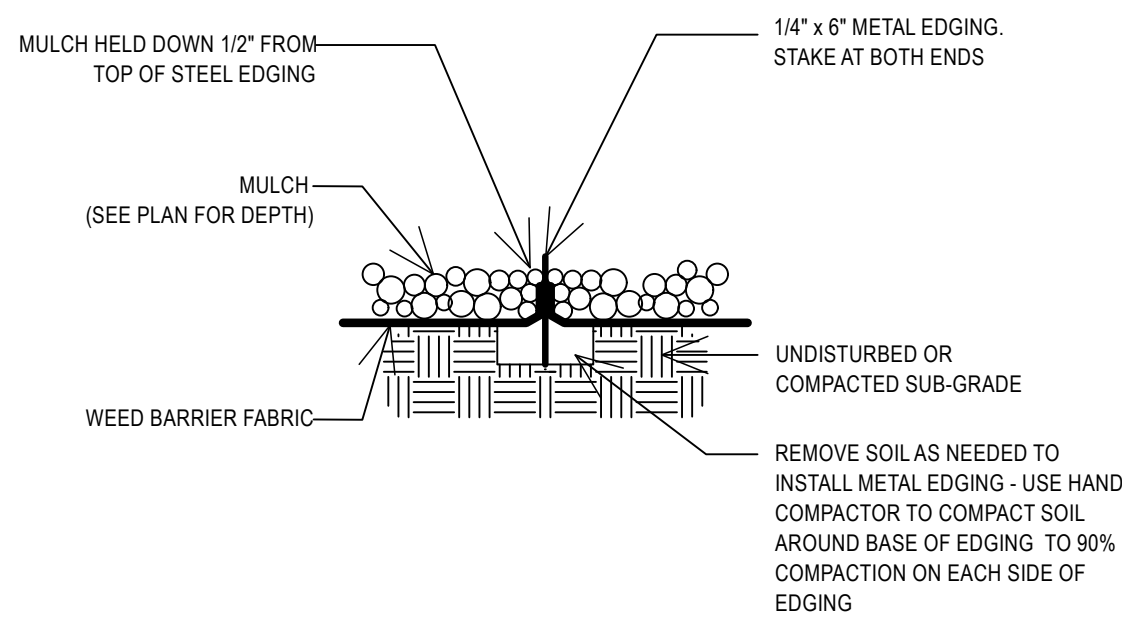


F BOULDER  
NO SCALE

- NOTES:
1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
  2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ, OR APPROVED EQUAL.
  3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.



G MULCH  
NO SCALE



NOTE:  
EDGING SHALL BE COL-MET POWDER COATING FINISH, MINIMUM 16" LONG STAKES - 4 STAKES PER 10'-0" SECTION.

H METAL EDGING  
NO SCALE

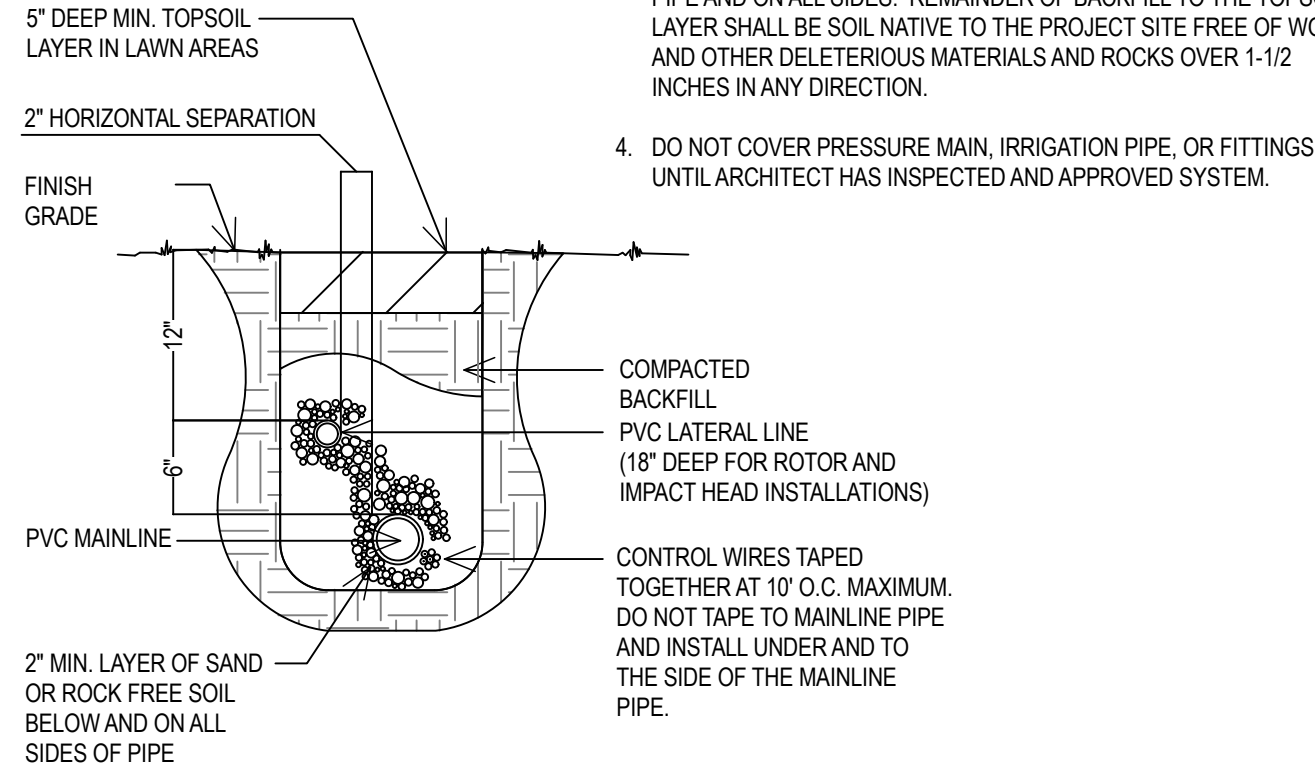
REVISIONS		DESCRIPTION
REV	DATE	CITY REVIEW COMMENTS
1	11-11-25	
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO: 25446  
DRAWN BY: TG  
CHECKED BY: SS  
DATE: AUGUST 2025  
PROPERTY NO:

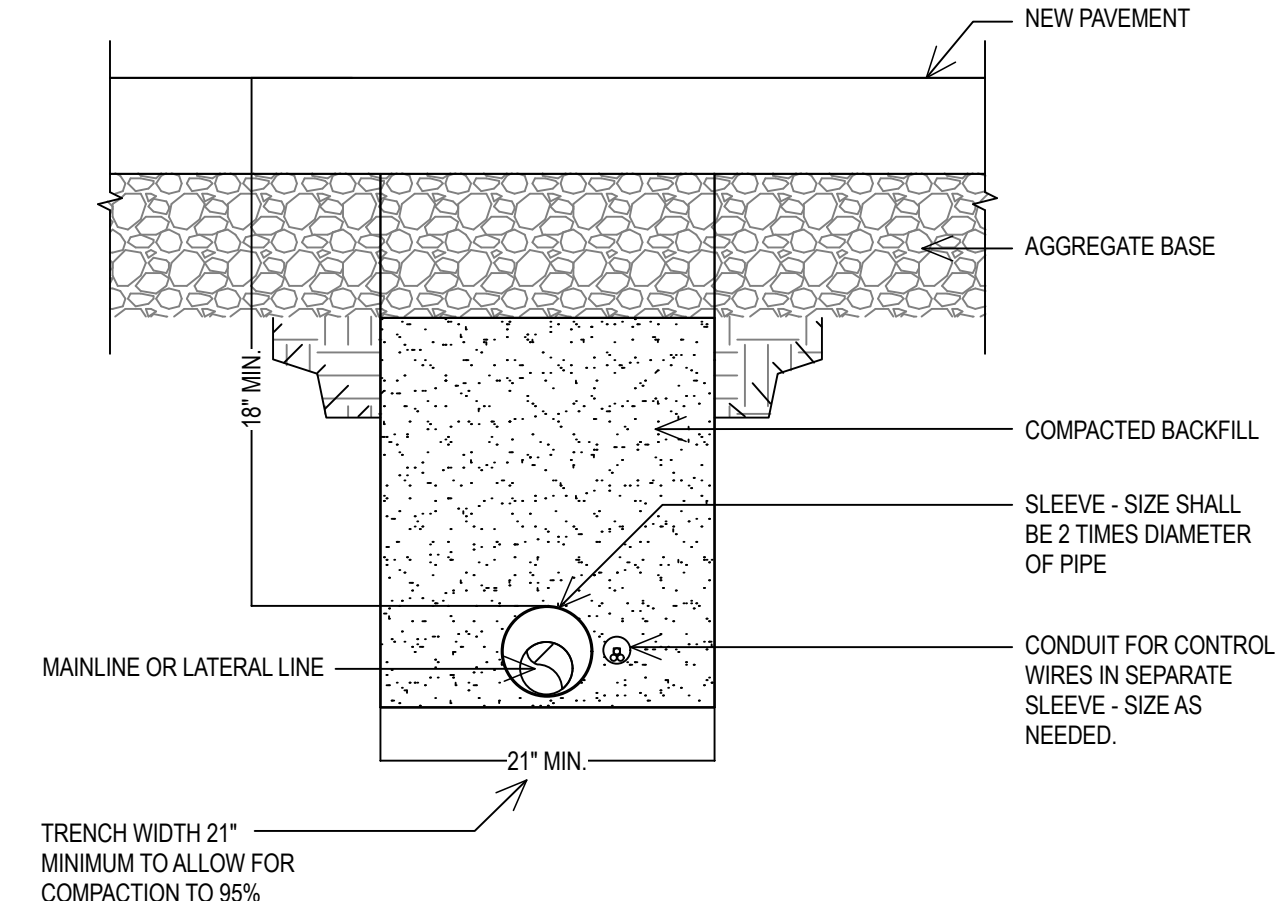
LANDSCAPE  
DETAILS



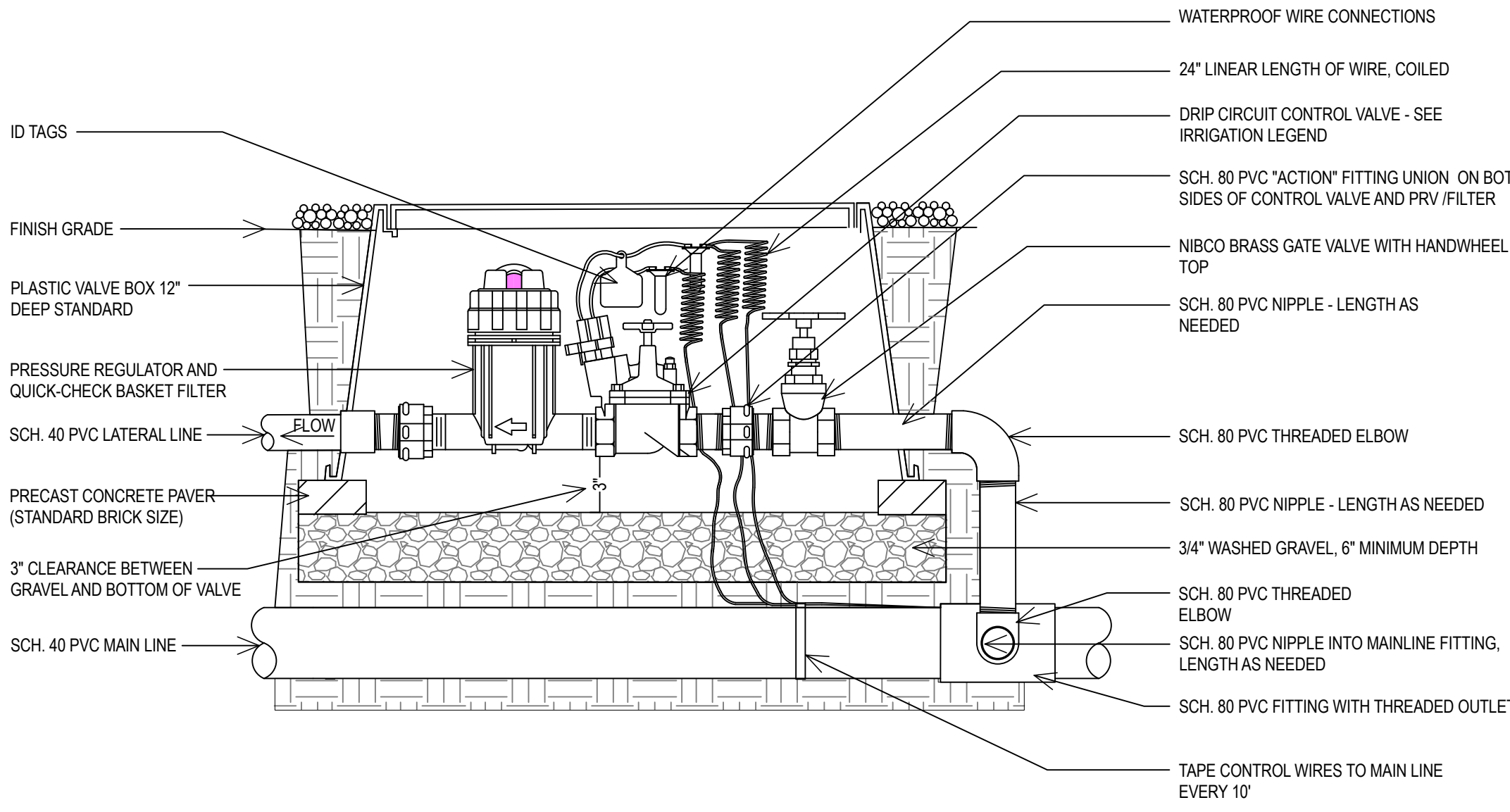
A TRENCH



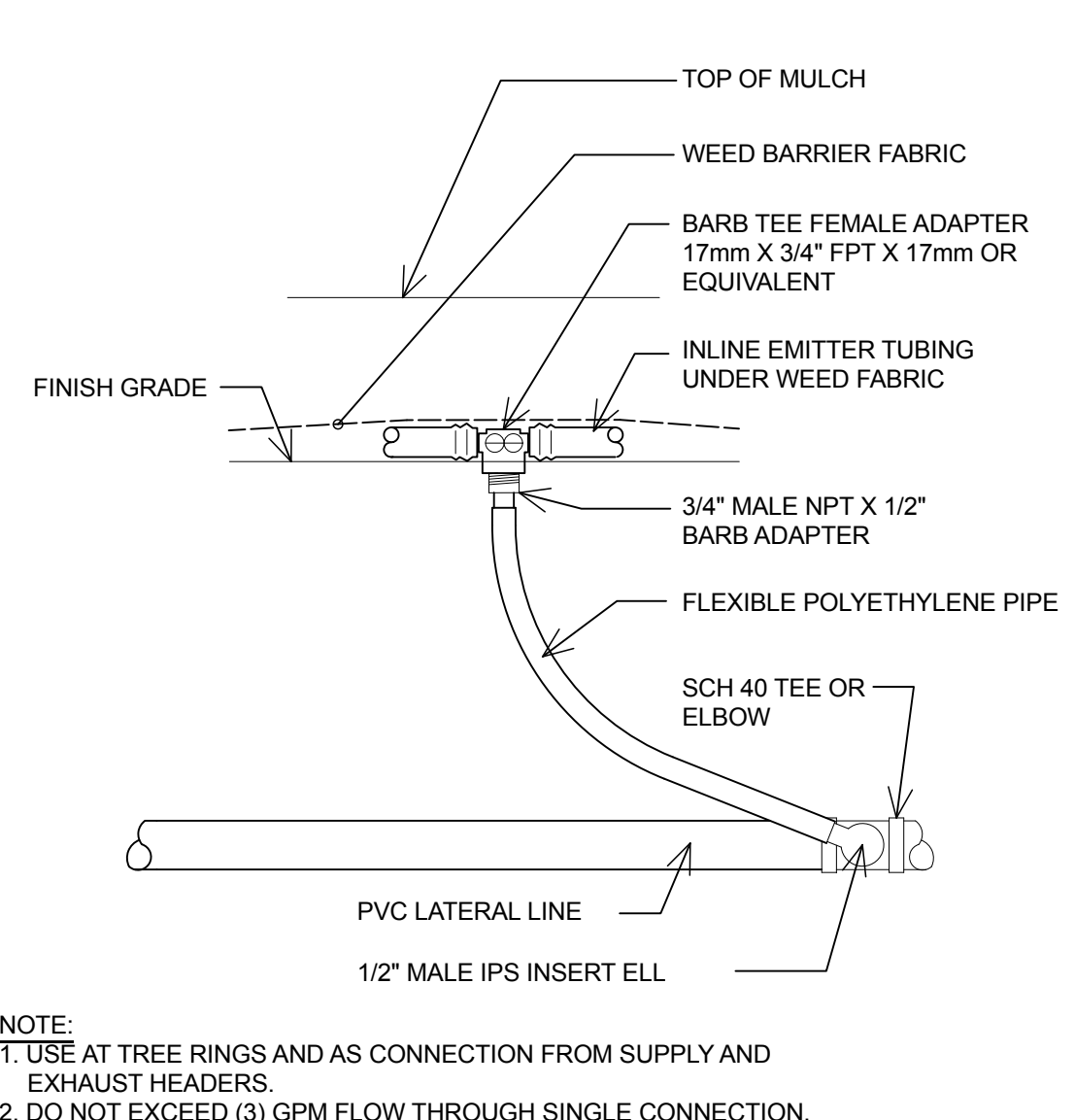
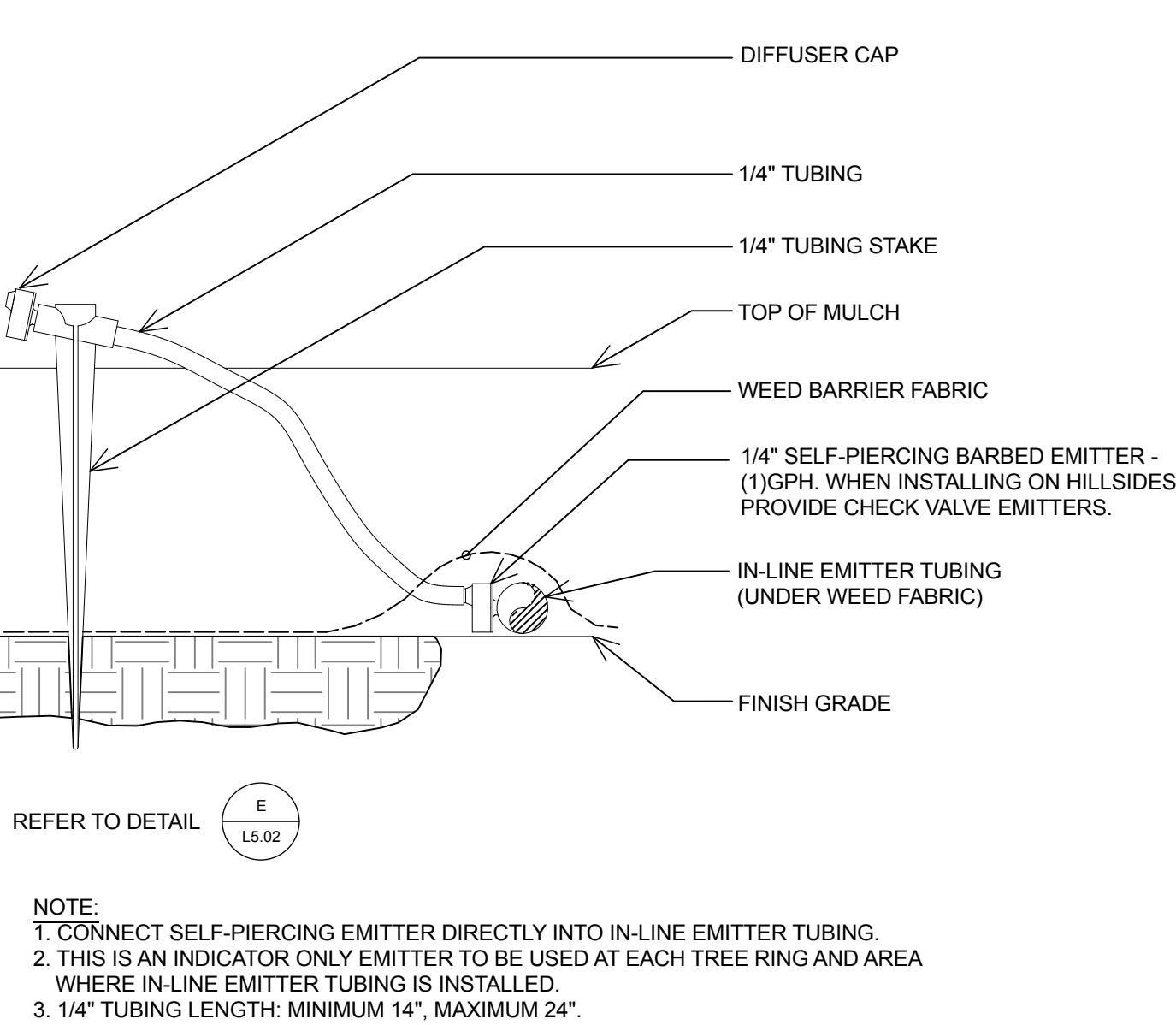
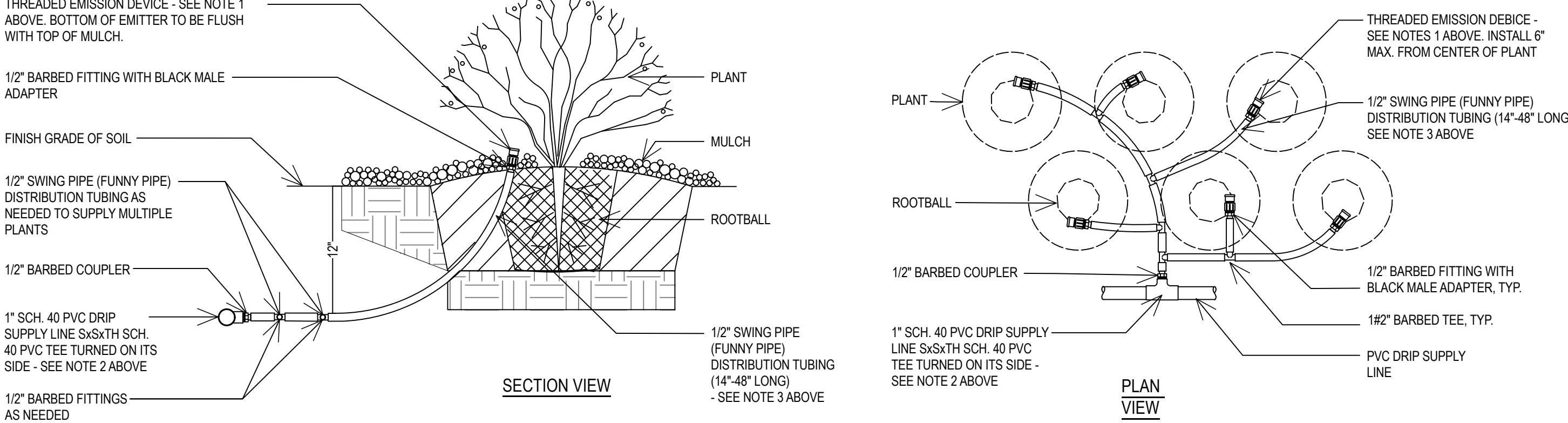
B TRENCH UNDER NEW PAVEMENT



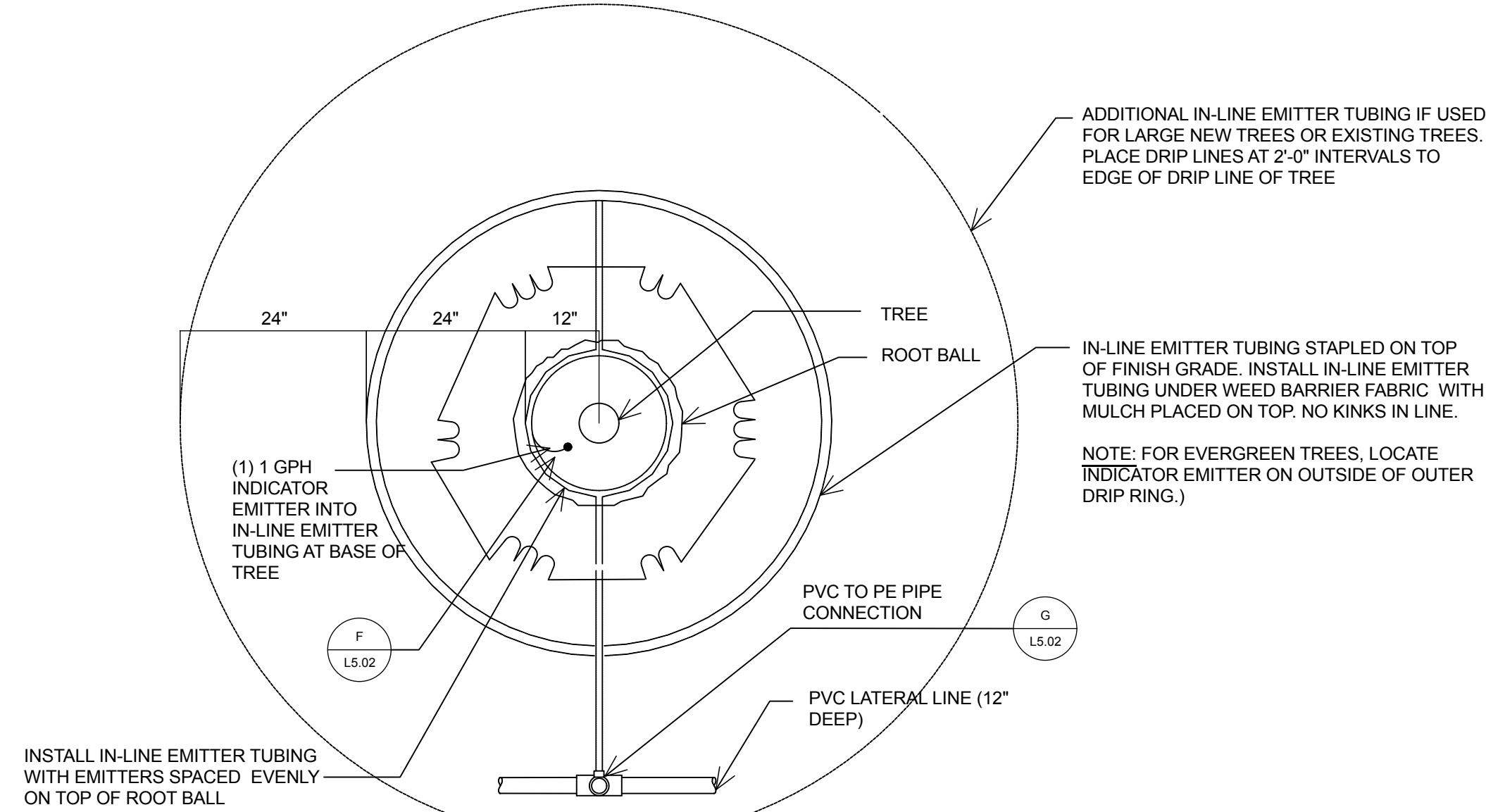
C CONTROL VALVE - DRIP CIRCUIT



D DRIP EMISSION DEVICE @ SHRUBS



E TREE DRIP - PLAN VIEW (Planter Areas)



F INDICATOR EMITTER

G PVC TO IN-LINE EMITTER

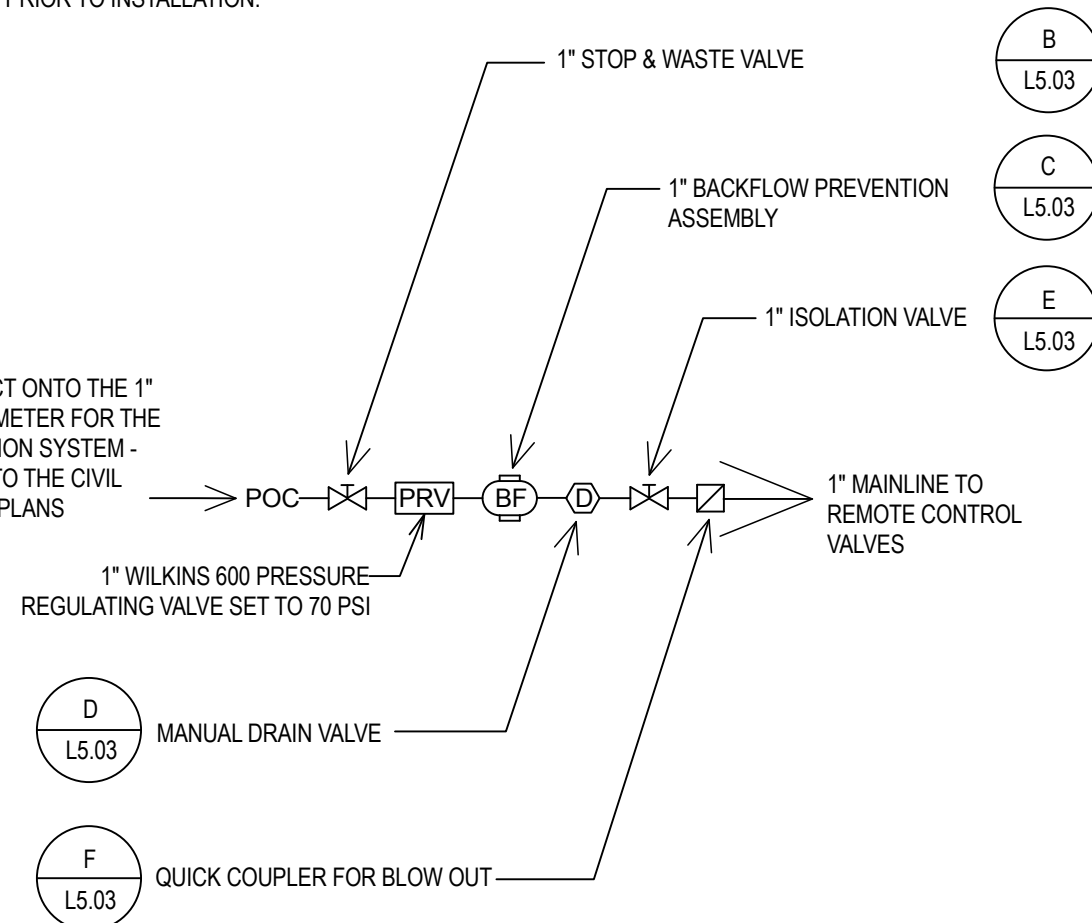
REVISIONS	
REV	DESCRIPTION

PROJECT NO: 25446  
DRAWN BY: TG  
CHECKED BY: SS  
DATE: AUGUST 2025  
PROPERTY NO:

LANDSCAPE  
IRRIGATION  
DETAILS



CONNECT ONTO THE 1" WATER METER FOR THE IRRIGATION SYSTEM - REFER TO THE CIVIL UTILITY PLANS



FINISH GRADE

3/4" WASHED GRAVEL WITHIN BOX AND UNDER BLOCKS

PRECAST CONCRETE PAVER (STANDARD BRICK SIZE)

SCH. 80 TEE IN MAIN LINE

MAIN LINE

WATER SUPPLY LINE

3/4" GALVANIZED STREET ELL

4" LENGTH 3/4" SCH. 80 THREADED NIPPLE

VALVE

10" ROUND VALVE BOX

FILTER FABRIC TO SURROUND GRAVEL BUT STILL ALLOW ACCESS TO MANUAL DRAIN

2" SCH. 40 PVC PIPE NOTCHED OVER NIPPLE

2" LENGTH 3/4" SCH. 80 THREADED NIPPLE

3/4" GALVANIZED STREET ELL

3/4" WASHED GRAVEL AND SUMP (SUMP SIZE 12"x12"x12")

SECTION VIEW

IRRIGATION CONTROLLER

METAL ELECTRICAL JUNCTION BOX

SURGE SUPPRESSOR

5'-0"

18"

FINISH GRADE

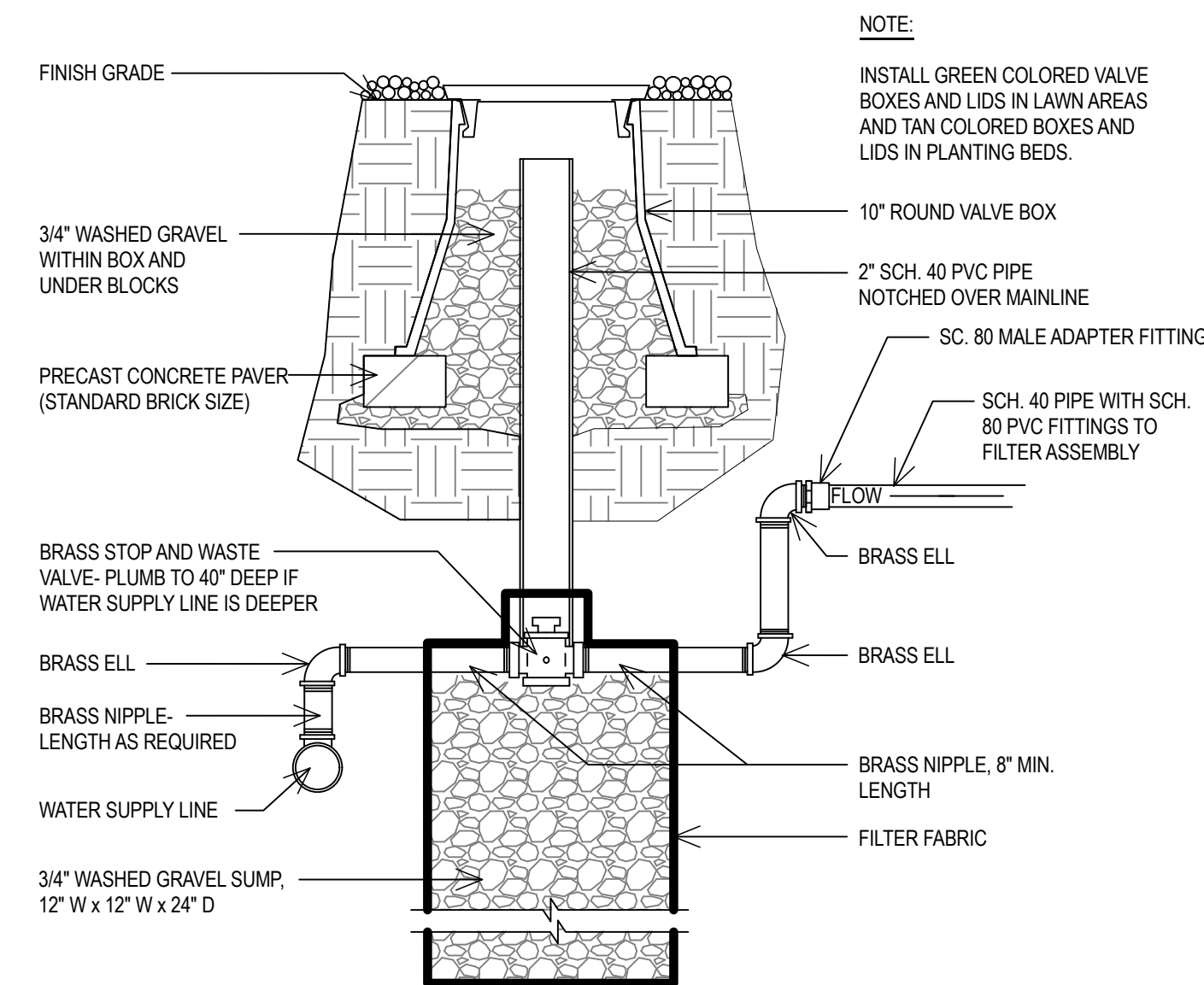
FLOOR

RIGID STEEL CONDUIT SWEEP ELBOW, 12" RADIUS MIN.

FIRMLY SECURE CONTROLLER TO WALL

THREADED CONNECTOR TO BOTTOM OF CONTROLLER

RIGID STEEL CONDUIT LOCATED NEXT TO WALL AND SECURELY FASTENED



NOTES:

INSTALL GREEN COLORED VALVE BOXES AND LIDS IN LAWN AREAS AND TAN COLORED BOXES AND LIDS IN PLANTING BEDS.

DRAIN INTO CENTER OF GRAVEL SUMP

MAIN LINE

SCH. 80 TEE IN MAIN LINE

3/4" GALVANIZED STREET ELL

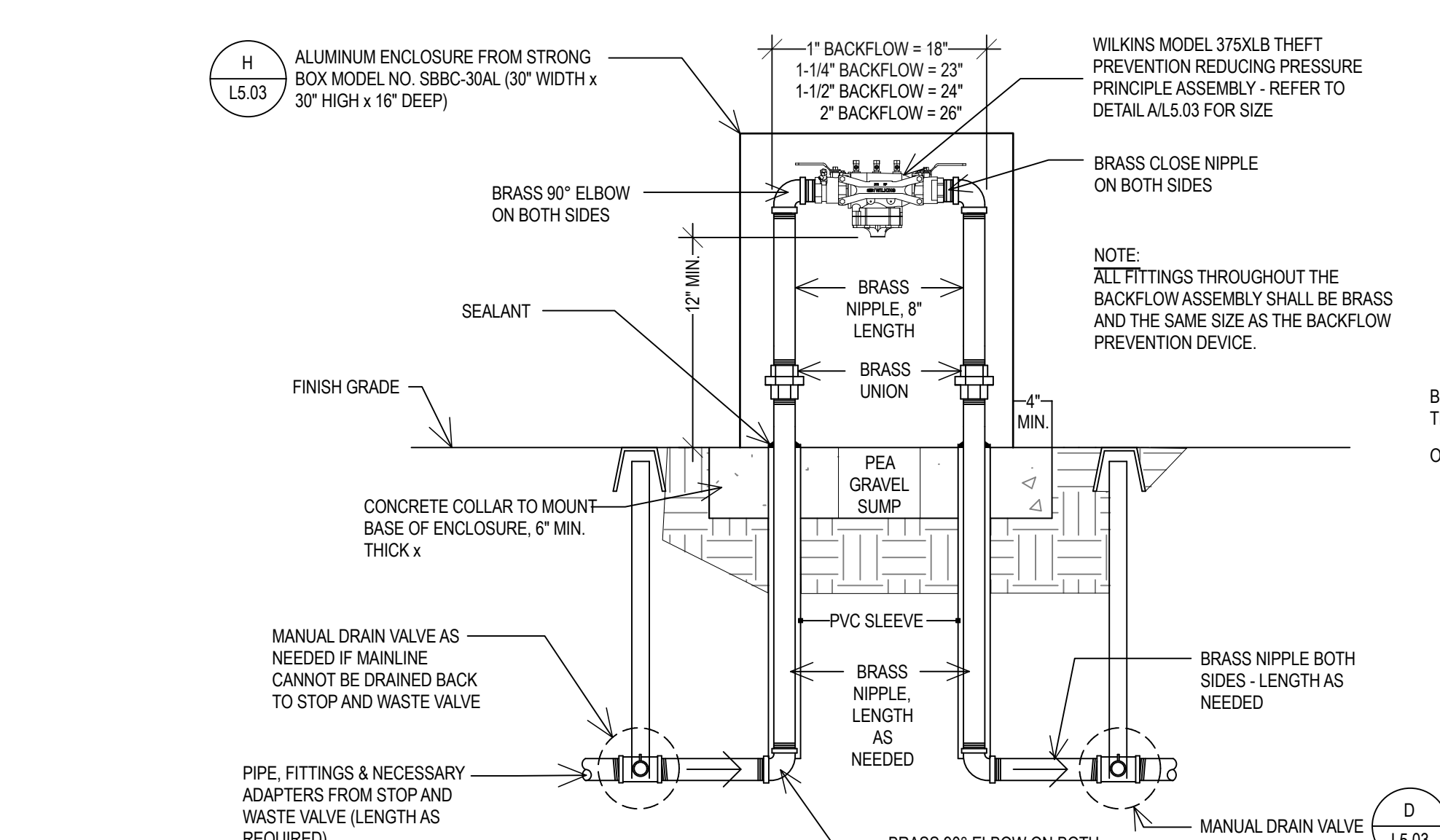
3/4" GALVANIZED NIPPLE - 4" MIN. LENGTH

3/4" MARLEX STREET ELL

2" SCH. 40 PVC PIPE NOTCHED OVER DRAIN VALVE

3/4" BRASS DRAIN VALVE W/ SLOTTED TOP

TOP VIEW



**NOTES:**

1. ALL PVC FITTINGS AND PIPE SHALL BE SCH. 80 PVC AND THE SAME SIZE AS THE MAINLINE.
2. INSTALL 2" CLASS 200 PVC SLEEVE OVER BRASS ISOLATION VALVE WHEN BRASS VALVE IS AT A DEPTH OF 18" OR DEEPER.

**NOTE:** INSTALL GREEN COLORED VALVE BOXES AND LIDS IN LAWN AREAS AND TAN COLORED BOXES & LIDS IN PLANTING BEDS.

BRASS SWIVEL HOSE END

BRASS KEY

BRASS TWO PIECE BODY WITH QUICK COUPLER VALVE

10" ROUND VALVE BOX WITH EXTENSIONS

GALVANIZED ELL

GALVANIZED STREET ELL

SCH. 40 PVC MAIN LINE

SCH. 80 PVC FITTING W/ THREADED OUTLET

FINISH GRADE

10" ROUND VALVE BOX

NIBCO BRASS GATE VALVE WITH HANDWHEEL TOP (MATCH MAINLINE SIZE)

3/4" WASHED GRAVEL WITHIN BOX AND UNDER BLOCKS.

PVC MAINLINE OR NIPPLE AS NEEDED

SCH. 80 PVC UNION - NIPPLE LENGTH AS NEEDED TO REMOVE UNION NUT

THREADED END CONNECTIONS (BOTH SIDES)

PRECAST CONCRETE PAVER (STANDARD BRICK SIZE)

SCH. 80 PVC FEMALE ADAPTOR ON BOTH SIDES OF ISOLATION VALVE AS NEEDED - MATCH MAINLINE SIZE

SCH. 80 PVC THREADED NIPPLES BOTH SIDES OF UNION - MATCH MAINLINE SIZE

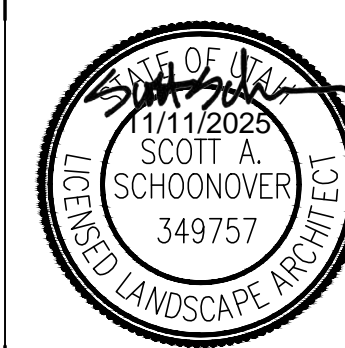
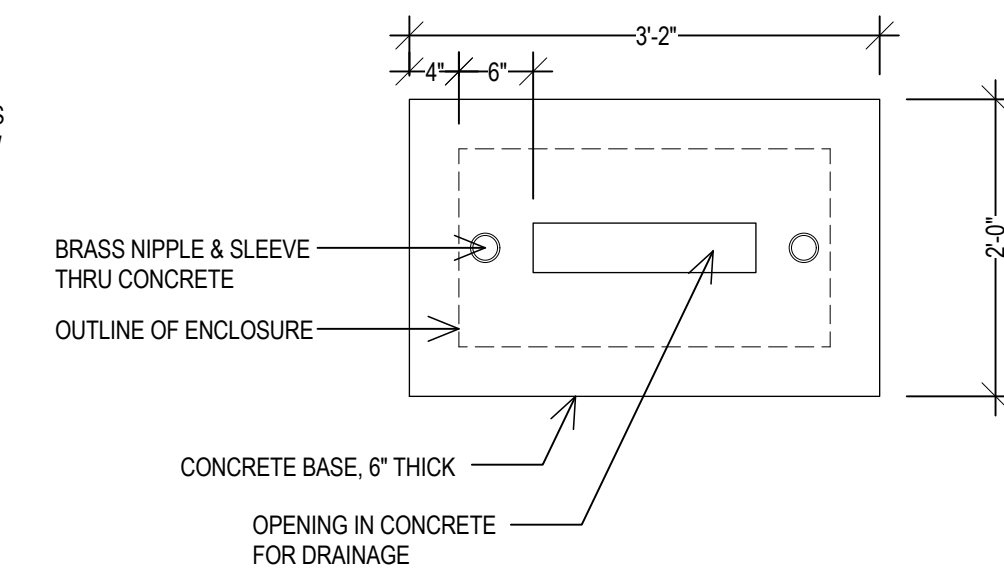
SCH. 80 PVC UNION - NIPPLE LENGTH AS NEEDED TO REMOVE UNION NUT

NOTES:

1. CONTRACTOR TO DETERMINE METHOD OF SLEEVING PRIOR TO BIDDING. OPTIONS INCLUDE: USE OF EXISTING SLEEVE, USE OF EXISTING PIPE AS SLEEVE IF LARGE ENOUGH, BORING OF HOLE FOR NEW SLEEVE, OR SAWCUT AND PATCHING.
2. SAWCUTTING AND PATCHING OF EXISTING PAVEMENT SHALL BE A LAST RESORT AND REQUIRE APPROVAL FROM THE OWNER. IF SAWCUTTING IS REQUIRED IT SHALL NOT BE CONSIDERED ADDITIONAL SCOPE.

The diagram is a cross-sectional view of a trench installation. A central horizontal pipe is labeled 'MAINLINE OR LATERAL LINE'. A vertical section of this pipe is labeled '18" MIN.'. To the right of the mainline pipe, a horizontal section is labeled '21" MIN.'. A sleeve is shown around the mainline pipe, labeled 'SLEEVE - SIZE SHALL BE PIPE SIZE X 2'. A conduit is shown next to the sleeve, labeled 'CONDUIT FOR CONTROL WIRES - SIZE AS NEEDED'. The sleeve and conduit are surrounded by 'COMPACTED BACKFILL'. The backfill is surrounded by 'AGGREGATE BASE'. The aggregate base is surrounded by 'PAVEMENT - PATCH SURFACE AND BASE TO MATCH EXISTING'. A 'SAWCUT EXISTING PAVEMENT' is shown on the right side of the pavement. The entire assembly is labeled 'TRENCH WIDTH 21" MINIMUM TO' at the bottom.

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[illegible]

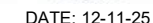


CONDUIT/ CONDUCTOR SCHEDULE	
1	(4) #10, #10 GND, 1" C; 1" C (SPARE)
2	(2) #10, #10 GND, 1" C; 1" C (SPARE)

- DATE**  
DECEMBER 2025

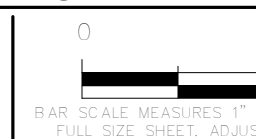


DRAWN:	NEH
DESIGNER:	KDC
REVIEWED:	DIO



## SCALES

1" = 20'-0"

**PROJECT NAME:**

**ONE CALL  
AUTOMOTIVE**

**PROJECT LOCATION:**

657 E SPLIT ROCK  
DRIVE EAGLE  
MOUNTAIN, UTAH

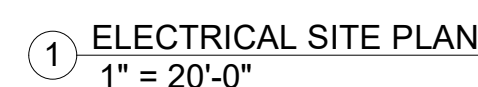
**SHEET TITLE:**

## ELECTRICAL SITE PLAN

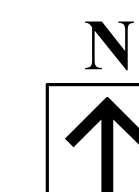
**PLAN SET:****PERMIT**

	<b>SHEET</b>
--	--------------

## E1.1



ALL NONESSENTIAL COMMERCIAL EXTERIOR LIGHTING SHALL ONLY CONTINUE IN OPERATION UNTIL 11:00 P.M. OR FOR AS LONG AS THE BUSINESS IS OPEN OR AREA IS IN ACTIVE USE AND SHALL REMAIN OFF UNTIL THE BUSINESS REOPENS OR UNTIL DAYLIGHT THE FOLLOWING DAY





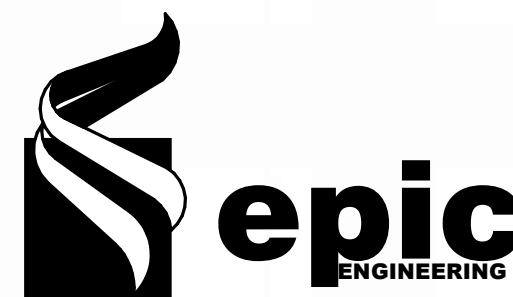


ALL NONESSENTIAL COMMERCIAL EXTERIOR LIGHTING SHALL ONLY CONTINUE IN OPERATION UNTIL 11:00 P.M. OR FOR AS LONG AS THE BUSINESS IS OPEN OR AREA IS IN ACTIVE USE AND SHALL REMAIN OFF UNTIL THE BUSINESS REOPENS OR UNTIL DAYLIGHT THE FOLLOWING DAY

**CONSTRUCTION NOTES**

1. GRID VALUES SHOWN ARE FOOT-CANDLES AT GROUND LEVEL.
2. CONTRIBUTION OF LIGHT FROM EXISTING STREET LIGHTS (WHERE APPLICABLE) IS NOT INCLUDED IN ANALYSIS.

**DATE**  
DECEMBER 2025



REVISIONS		
MARK	DATE	DESCRIPTION
1	11-26-25	Pole light change
2	12-11-25	Site plan review #1

DRAWN:	NEH
DESIGNER:	KDC
REVIEWED:	DIO



REGISTERED PROFESSIONAL ENGINEER  
No. 7784884  
KYLE D.

PROJECT #  
**25VDG094**

**SCALES**

1" = 20'-0"



BAR SCALE MEASURES 1" ON A FULL SIZE SHEET. ADJUST

**PROJECT NAME:**

**ONE CALL  
AUTOMOTIVE**

**PROJECT LOCATION:**  
**657 E SPLIT ROCK  
DRIVE EAGLE  
MOUNTAIN, UTAH**

**SHEET TITLE:**

**PHOTOMETRIC  
LIGHTING PLAN**

<b>PLAN SET:</b>	<b>SHEET</b>
<b>PERMIT</b>	<b>E1.2</b>





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	Consolidated Fee Schedule for Site Plan Amendment
<b>ITEM TYPE:</b>	Development Code Amendment
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	City-initiated

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
N/A	N/A

**PUBLIC HEARING**

Yes

**PREPARED BY**

David Stroud, Senior Planner

**PRESENTED BY**

David Stroud

**RECOMMENDATION:**

Staff recommends the City Council forward a positive recommendation to the City Council.

**BACKGROUND:**

The City Council recently approved a text amendment to administer approval of a Minor Site Plan Amendment. Because the nature of such a request does not typically require a lengthy review, the fee should be commensurate with the level of review. In discussion with the Finance Director, it was determined that a fee of \$250 for a Staff-level Administrative Site Plan review and approval is sufficient. The proposed fee is in-line with the fee other municipalities charge for a similar request.

**ITEMS FOR CONSIDERATION:**

N/A

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

The Planning Commission shall make a recommendation to the City Council regarding this text amendment.

**ATTACHMENTS:**

1. Consolidated Fee Schedule



# Consolidated Fee Schedule

## 10.5. | SITE PLAN REVIEW FEES

Last Revision: ~~07/20/2016~~ 02/2026

Residential Master Site Plan Review Fee, 5-10 Acres .....	\$2,000
Residential Master Site Plan 10+ Acres.....	\$4,000
Residential Site Plan Review Fee .....	\$60/Dwelling
Unit Non-residential Master Site Plan Review Fee, 5-10 Acres.....	\$2,000
Non-residential Master Site Plan Review Fee, 10+ Acres.....	\$4,000
Non-residential Site Plan Review Fee, 0-5 Acres .....	\$2,000
Non-residential Site Plan Review Fee, 5-10 Acres.....	\$4,000
Non-residential Site Plan Review Fee, 10-50 Acres .....	\$6,000
Non-residential Site Plan Review Fee, 50+Acres.....	\$8,000
Temporary Non-residential Site Plan Review Fee.....	\$1,580
<u>Administrative Site Plan Amendment Review Fee.....</u>	<u>\$250</u>





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	ORDINANCE / PUBLIC HEARING — An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code 17.60 and 17.10 Fencing Amendment.
<b>ITEM TYPE:</b>	Development Code Amendment
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	Eagle Mountain Resident, Katie Elliott

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
N/A	N/A

**PUBLIC HEARING**

Yes

**PREPARED BY**

Mickie Mills, Planner

**PRESENTED BY**

Mickie Mills

**RECOMMENDATION:**

Staff recommends that the Planning Commission forward a negative recommendation to City Council regarding an Ordinance of Eagle Mountain City, Utah, amending the Eagle Mountain Municipal Code 17.60 and 17.10 Fencing Amendment.

**BACKGROUND:**

This code amendment was requested by Eagle Mountain City resident, Katie Elliott. It adds “pre-weathered weathering steel” as an approved material type for residential perimeter fencing and adds a definition for “pre-weathered weathering steel fences.” Corten steel is a brand name for weathering steel.

**ITEMS FOR CONSIDERATION:**

The Planning Commission should consider the potential consequences of the rusted patina surface, and its impact on surrounding areas. The surface rust from weathering steel can run off during storms and stain concrete and other surfaces. Stains from run off are most likely to develop when the steel is first exposed to the elements as it works to build up the rusted patina surface, but can occur for the lifetime of the fence, even on pre-weathered types. Clean up and mitigation of these effects are costly and difficult to enforce. If allowed, the Planning Commission should consider the enforcement consequences and costs associated with the proposed code changes.

Ordinances pertaining to Development Code Amendments, and processing of the same, may be found in EMMC 17.05.120.

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

N/A

**ATTACHMENTS:**



1. Redlines

2. Clean



# Resident Initiated Fence Code Amendment

PLGL-26-2

## Proposed Code Language

### 17.60.120 General fencing/screening provisions.

A. The standards in this section shall apply universally to fencing, walls, and screens in all zones unless specified otherwise. Various fence types are defined in EMMC [17.10.030](#). A fence permit or authorization via city site plan approval shall be required by the city to sanction the placement of a fence or wall or privacy screen.

Property owners should only install fencing on their property. If the property lines are not clearly marked, the city encourages the property owner(s) to consider having a surveyor determine property line locations and mark the same. Fence or wall height is measured or assessed from either: (1) the height of finished grade of the property whereupon a fence lies or to which it pertains, to the top of the fence or wall; or (2) from the height of the grade of a commercial or industrial building/parking pad where such is at a higher-grade elevation than any abutting residentially zoned or developed property, whichever results in a higher screen.

#### B. Residential Perimeter Fencing Standards.

##### 1. Material Type(s).

a. Allowed: board (e.g., cedar), vinyl, and/or solid walls (made of decorative concrete or masonry (including brick)), **weathering steel with wood posts**, wrought iron or imitation variety thereof, composite material and limited amounts (i.e., less than 80 percent of the overall area of a section of fencing between posts) of black painted hog wire provided all such have top and bottom rails and substantial posts/columns.

b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent, save for posts or support columns which may be of different composition or style.

c. Not allowed: chain-link, wire, razor, chain fencing, gabion basket fencing, and/or electric (except as allowed per standards hereafter). Also, fences comprised of, or containing, sheet metal (**except weathering steel**), OSB, and nontraditional materials/items such as signs, rugs, cardboard, Styrofoam, etc.

Exception(s):



i. Livestock animal enclosure. Barbed wire or wire fences (including electric lines) may be used to create animal enclosures. In such cases, the fence shall not exceed six feet in height and may only be used within/alongside of rear yard areas.

ii. Sport court or golf course protection screening. Refer to provisions in subsection (J) of this section.

iii. Electric fences as allowed in accordance with electric fence provisions stated in this section.

## 2. Height(s).

a. Interior Lots. No fence shall exceed four feet in height in the front yard area of a property. Wing fencing extending from the front corners of a residence to the side property lines may be up to six feet tall. Fencing along the side property lines past the front wall plane of a residence to, and along, the rear property line, including against an alley or service drive, may be up to six feet tall. Fencing that adjoins an alley or service drive shall be required to comply with clear vision triangle standards where applicable.

b. Corner Lots. Same as interior lots save that no fencing over three feet in height shall be within a clear vision triangle. Fencing that adjoins an alley, service drive or driveway shall be required to comply with clear vision triangle standards where applicable.

Exception(s): Sport court fencing or golf course screening shall be exempt from the height regulations of this subsection but may not be used as exterior property fencing/screening.

## C. Nonresidential (i.e., Agricultural, Commercial, Industrial, etc.) Perimeter Fence/Wall Materials, Appearance and Maintenance Standards.

### 1. Material Type(s).

a. Allowed: board (e.g., cedar), vinyl, and/or decorative concrete or masonry (including brick), wrought iron or simulated/imitation version thereof, composite material and limited amounts of painted hog wire provided all such have top and bottom rails and substantial posts/columns.

b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent save for posts or support columns which may be of different composition or style.

c. Not allowed: full wire, razor, chained fencing, gabion basket fencing, chain-link fencing, and/or electric screen fencing.



Exception(s): Barbed wire, electrified wire (not fully electrified fences – see subsection H of this section) or full wire fences (e.g., hog wire or similar) shall be allowed:

- i. In conjunction with the care and keeping of livestock on property.
  - ii. On property that has either greenbelt tax status or legal nonconforming status.
  - iii. For city fencing of conservation easements or other sensitive public or municipal lands, and/or perimeter screening of the city's wildlife corridor.
  - iv. For city fencing of land for vegetative management purposes (i.e., livestock grazing of open spaces, utility rights-of-way and other areas).
  - v. Chain-link fencing as specified in this title around industrially zoned properties or monopole cell towers (see subsection (C)(1)(d) of this section).
- d. Where chain-link is allowed in industrial zones or in conjunction with monopole cell towers, said fencing:
- i. Shall have top rails.
  - ii. Shall be vinyl coated.
  - iii. Shall be obscured by a vegetative screen between it and any parking lot or adjoining public street.
  - iv. Shall not have slats embedded therein.
  - v. Chain-link mesh shall be flush to the ground.

## 2. Height(s).

- a. Agricultural Zone. Fencing in industrial zones shall not exceed eight feet in height.
- b. Commercial Zones. Fencing in commercial zones shall not exceed eight feet in height in any property area.
- c. Industrial Zones. Fencing in industrial zones shall not exceed eight feet in height.

D. City Facilities Fencing Standards. Security fencing type/materials and height for public municipal facilities shall be no less than six feet nor higher than eight feet tall, and shall be simulated wrought iron. Exception: City fencing installed to preserve conservation easement areas, or the wildlife corridor may be of material type and height as determined appropriate by the city.



E. Walls or Fences as Buffers or Street Screens. Where required, screening walls or fences shall not be less than six feet in height. Required wall installations shall precede issuance of a building permit for a project related to a wall as per EMMC [16.35.090](#). Masonry or decorative concrete shall be used as a:

1. Buffer. Where and when a commercial use borders a residential or agricultural zone or development. Such wall, fence and landscaping shall be maintained in good condition with no advertising thereon.
2. Refuse Areas. Trash enclosures and other refuse collection areas shall be screened by a solid masonry or decorative concrete wall. Gates shall be (full) metal and sight-obscuring, not made of chain link or chain link with slats.
3. Street Screens. Where and when residential fencing abutting a road identified by the city as a “major” or “minor” “arterial,” or, as a “major” or “minor” “collector” is installed, it shall be of consistent height (not less than six feet), material and color, and be made of stone, masonry or decorative concrete.

Residential subdivisions, business park, commercial, commercial storage, and industrial developments shall install six-foot-tall privacy screening made of durable materials consisting of either stone, masonry or decorative concrete (including precast concrete) along the rear and/or side lot lines of a project that abut(s) an arterial or collector road right-of-way, or one designated as such on the city’s existing future transportation plan.

Developers/builders are required to install privacy screening prior to any building permits being issued in that phase of development that abuts such right-of-way. Property purchasers, at any such time as they desire to install screening along an arterial or collector where such is absent, shall install an acceptable wall.

Exception: In cases where a residential property:

- a. Either abuts the Ranches Parkway; or
- b. Faces (at an angle within 45 degrees of being parallel) to Ranches Parkway; and
- c. Is within 75 feet of the closest Ranches Parkway right-of-way line; and
- d. Where and when screening of the property (usually along a rear property line) from the Parkway has not already been installed by a developer/builder prior to occupancy of a house on that property; then

screening installed by that lot’s owner shall be a “Monterey Gray” colored wood fence – six feet maximum height.

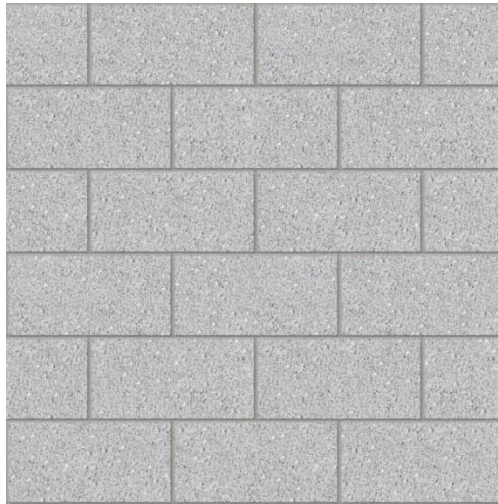


Note that the foregoing requirement does not pertain to those properties in the Ranches with yards abutting or facing actively used golf course land (i.e., fairways or greens) where wrought iron type fencing is instead required between those yard areas (usually backyards) and the golf course.





**Examples of inappropriate concrete and masonry walls styling include:**



F. Residential Privacy Screens. Privacy screens on residential properties that serve as view curtains, decorative elements, buffers to neighboring properties, etc., shall be allowed; provided, that:

1. They are treated as accessory structures in terms of allowed height(s), required setback(s) and the need to avoid being placed in or across an easement.
2. If under seven feet in height, neither a fence nor a building permit is, or shall be, required. However, if a privacy screen is [to be] over seven feet in height, a building permit is [first] required.

G. Wall or Fence Location Restrictions.

1. Rights-of-Way. Neither fences nor walls shall be located within any portion of any public right-of-way without written city consent. Written city consent shall consist of an approved right-of-way encroachment agreement/license. If allowed within a public right-of-way, it shall be the duty of the owner of the fence or wall to remove the same at their expense upon notification by the city for any reason deemed sufficient by the city.

2. Easements.

- a. Fences may be placed across or in easements.



b. Walls (including retaining types) shall not be allowed to cross or rest within an easement unless approved otherwise by vacating all or a portion of the easement or obtaining an easement release coupled with an encroachment license/agreement from the city.

3. Utility Fixtures. Fire hydrants and utility boxes shall not be fenced into a yard (i.e., trapped). Fencing shall be kept at least three feet from any such fixtures.

4. Utility Meters. Fencing shall not obstruct access to gas, electric, and water meters. If an area of a property with such meters is enclosed by fencing, there shall be an unlocked entrance (e.g., a gate) to allow access to the meter(s).

H. Electric Perimeter/Screen Fences (Fully Electrified Fence). Electric perimeter security fences shall only be allowed in the city as provided in this section, subject to the following standards:

1. IEC Standard 60335-2-76. Unless otherwise specified herein, electric fences shall be constructed or installed in conformance with the specifications set forth in International Electrotechnical Commission (IEC) Standard 60335-2-76.

2. Energizer. The energizer for electric fences must be driven by a commercial storage battery not to exceed 12 volts DC. The storage battery is charged primarily by a solar panel. However, the solar panel may be augmented by a commercial trickle charger.

3. Charge Limit. The electric charge produced by the fence upon contact shall not exceed energizer characteristics set forth in paragraph 22.108 and depicted in Figure 102 of IEC Standard 60335-2-76.

4. Where permitted: Electric fences shall be permitted on any nonresidential outdoor storage area or to secure power plant property.

5. Signage. Electric fences shall be clearly identified with warning signs that read “Warning – Electric Fence” placed at intervals not less than 60 feet apart.

6. Governing Regulations. Electric fences shall otherwise be governed and regulated under burglar alarm regulations and permitted as such.

7. Violation. It shall be unlawful for any person to install, maintain or operate an electric fence in violation of this section save those fences designed and operated to contain livestock. Those fences shall comply with traditional practice and industry standards applicable to livestock enclosure.

I. Berms and Landscape Screens or Hedges. Berms, landscape screens, including hedges, shall be considered functionally equivalent to fences unless otherwise specified. If used, berms and any planting or fencing atop the same shall be restricted in height equivalent to that allowed for a fence in a given



location. This shall not be construed to mean, however, that berms or hedges may be substituted for fencing or walls where fencing or a wall are specifically required to be installed per code.

#### 17.10.030 Definitions.

“**Fence**” means a type of upright linear structure that serves as a barrier and/or boundary and is customarily used to mark a property boundary and/or to control access to/from a property, serve as a sight or protective screen or as a decorative element. **Fences** are made of varying materials and in varying styles. Common subtypes (with sample pictorial representations) include as follows:

“Board” means a **fence** that is mainly or wholly comprised of vertically arranged boards (often cedar wood) abutted together in a row.



“Board-on-board” (aka “shadowbox”) means a **fence** with alternating vertical boards over horizontal structures that give the **fence** a finished look on both sides.

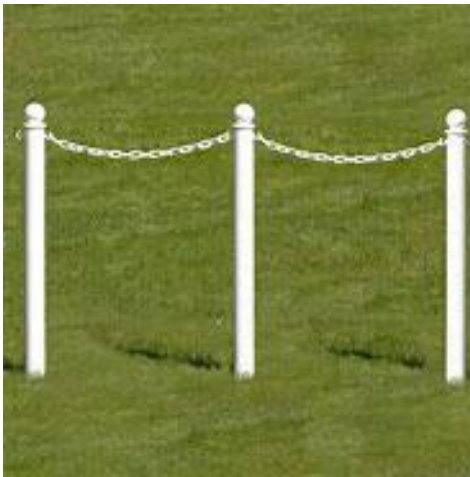


“Chain-link” or “cyclone” means any **fence** that is constructed out of some type of woven wire **fence**, typically with a minimum gauge ranging from nine to 11.





“Chained **fencing**” means lengths of chain (usually heavy gauge) suspended between support poles/bollard or columns.



“Decorative” means any **fence** not specifically established to curtail access through or past the same. Decorative **fences** shall not include any form of chain link material.



“Gabion basket” means a wire mesh wrapped column of rock, usually river rock or similar materials to form an effectual basket.





“Lattice” means an open framework made of strips of wood or similar material overlapped or overlaid in a regular crisscross or decorative pattern.



“Non-site-obscuring” means a **fence** (e.g., picket, chain-link, solid **fence** with partial wire or lattice composition) that allows some view through the same.



“Ornamental” means wrought iron, tubular aluminum, or other decorative metal **fence**.





“Picket” means a **fence** with in-line boards with gaps between the same. Typically, the gaps are the same width as the boards and the boards are usually arranged vertically.



“Privacy screen, residential” means a type of **fence** or curtain wall placed on a property (typically along a patio, deck, courtyard, or swimming pool) not as a **fence** but rather a barrier to facilitate enhanced privacy or view screening on a property. Screens in this title are treated as a form of accessory structure instead of a **fence**, and are subject to accessory structure code standards.



“Site-obscuring” means a **fence** (e.g., board or vinyl) or wall that by its construct inhibits viewing through or past the same.

“Split-rail” means a **fence** typically featuring two or three cross-members between posts or supports.





“Vinyl” means a **fence** that is mainly or wholly comprised (typically) of vertically arranged vinyl panels abutted together in a row.



“Weathering steel” refers to low-alloy steel manufactured to develop a protective rust-like patina after exposure to weather.





# Resident Initiated Fence Code Amendment

PLGL-26-2

## Proposed Code Language

### 17.60.120 General fencing/screening provisions.

A. The standards in this section shall apply universally to fencing, walls, and screens in all zones unless specified otherwise. Various fence types are defined in EMMC [17.10.030](#). A fence permit or authorization via city site plan approval shall be required by the city to sanction the placement of a fence or wall or privacy screen.

Property owners should only install fencing on their property. If the property lines are not clearly marked, the city encourages the property owner(s) to consider having a surveyor determine property line locations and mark the same. Fence or wall height is measured or assessed from either: (1) the height of finished grade of the property whereupon a fence lies or to which it pertains, to the top of the fence or wall; or (2) from the height of the grade of a commercial or industrial building/parking pad where such is at a higher-grade elevation than any abutting residentially zoned or developed property, whichever results in a higher screen.

#### B. Residential Perimeter Fencing Standards.

##### 1. Material Type(s).

a. Allowed: board (e.g., cedar), vinyl, and/or solid walls (made of decorative concrete or masonry (including brick)), pre-weathered weathering steel with wood posts (to be re-sealed annually to prevent staining), wrought iron or imitation variety thereof, composite material and limited amounts (i.e., less than 80 percent of the overall area of a section of fencing between posts) of black painted hog wire provided all such have top and bottom rails and substantial posts/columns.

b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent, save for posts or support columns which may be of different composition or style.

c. Not allowed: chain-link, wire, razor, chain fencing, gabion basket fencing, and/or electric (except as allowed per standards hereafter). Also, fences comprised of, or containing, sheet metal (except pre-weathered weathering steel), OSB, and nontraditional materials/items such as signs, rugs, cardboard, Styrofoam, etc.

Exception(s):



i. Livestock animal enclosure. Barbed wire or wire fences (including electric lines) may be used to create animal enclosures. In such cases, the fence shall not exceed six feet in height and may only be used within/alongside of rear yard areas.

ii. Sport court or golf course protection screening. Refer to provisions in subsection (J) of this section.

iii. Electric fences as allowed in accordance with electric fence provisions stated in this section.

## 2. Height(s).

a. Interior Lots. No fence shall exceed four feet in height in the front yard area of a property. Wing fencing extending from the front corners of a residence to the side property lines may be up to six feet tall. Fencing along the side property lines past the front wall plane of a residence to, and along, the rear property line, including against an alley or service drive, may be up to six feet tall. Fencing that adjoins an alley or service drive shall be required to comply with clear vision triangle standards where applicable.

b. Corner Lots. Same as interior lots save that no fencing over three feet in height shall be within a clear vision triangle. Fencing that adjoins an alley, service drive or driveway shall be required to comply with clear vision triangle standards where applicable.

Exception(s): Sport court fencing or golf course screening shall be exempt from the height regulations of this subsection but may not be used as exterior property fencing/screening.

## C. Nonresidential (i.e., Agricultural, Commercial, Industrial, etc.) Perimeter Fence/Wall Materials, Appearance and Maintenance Standards.

### 1. Material Type(s).

a. Allowed: board (e.g., cedar), vinyl, and/or decorative concrete or masonry (including brick), wrought iron or simulated/imitation version thereof, composite material and limited amounts of painted hog wire provided all such have top and bottom rails and substantial posts/columns.

b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent save for posts or support columns which may be of different composition or style.

c. Not allowed: full wire, razor, chained fencing, gabion basket fencing, chain-link fencing, and/or electric screen fencing.



Exception(s): Barbed wire, electrified wire (not fully electrified fences – see subsection H of this section) or full wire fences (e.g., hog wire or similar) shall be allowed:

- i. In conjunction with the care and keeping of livestock on property.
  - ii. On property that has either greenbelt tax status or legal nonconforming status.
  - iii. For city fencing of conservation easements or other sensitive public or municipal lands, and/or perimeter screening of the city's wildlife corridor.
  - iv. For city fencing of land for vegetative management purposes (i.e., livestock grazing of open spaces, utility rights-of-way and other areas).
  - v. Chain-link fencing as specified in this title around industrially zoned properties or monopole cell towers (see subsection (C)(1)(d) of this section).
- d. Where chain-link is allowed in industrial zones or in conjunction with monopole cell towers, said fencing:
- i. Shall have top rails.
  - ii. Shall be vinyl coated.
  - iii. Shall be obscured by a vegetative screen between it and any parking lot or adjoining public street.
  - iv. Shall not have slats embedded therein.
  - v. Chain-link mesh shall be flush to the ground.

## 2. Height(s).

- a. Agricultural Zone. Fencing in industrial zones shall not exceed eight feet in height.
- b. Commercial Zones. Fencing in commercial zones shall not exceed eight feet in height in any property area.
- c. Industrial Zones. Fencing in industrial zones shall not exceed eight feet in height.

D. City Facilities Fencing Standards. Security fencing type/materials and height for public municipal facilities shall be no less than six feet nor higher than eight feet tall, and shall be simulated wrought iron. Exception: City fencing installed to preserve conservation easement areas, or the wildlife corridor may be of material type and height as determined appropriate by the city.



E. Walls or Fences as Buffers or Street Screens. Where required, screening walls or fences shall not be less than six feet in height. Required wall installations shall precede issuance of a building permit for a project related to a wall as per EMMC [16.35.090](#). Masonry or decorative concrete shall be used as a:

1. Buffer. Where and when a commercial use borders a residential or agricultural zone or development. Such wall, fence and landscaping shall be maintained in good condition with no advertising thereon.
2. Refuse Areas. Trash enclosures and other refuse collection areas shall be screened by a solid masonry or decorative concrete wall. Gates shall be (full) metal and sight-obscuring, not made of chain link or chain link with slats.
3. Street Screens. Where and when residential fencing abutting a road identified by the city as a “major” or “minor” “arterial,” or, as a “major” or “minor” “collector” is installed, it shall be of consistent height (not less than six feet), material and color, and be made of stone, masonry or decorative concrete.

Residential subdivisions, business park, commercial, commercial storage, and industrial developments shall install six-foot-tall privacy screening made of durable materials consisting of either stone, masonry or decorative concrete (including precast concrete) along the rear and/or side lot lines of a project that abut(s) an arterial or collector road right-of-way, or one designated as such on the city’s existing future transportation plan.

Developers/builders are required to install privacy screening prior to any building permits being issued in that phase of development that abuts such right-of-way. Property purchasers, at any such time as they desire to install screening along an arterial or collector where such is absent, shall install an acceptable wall.

Exception: In cases where a residential property:

- a. Either abuts the Ranches Parkway; or
- b. Faces (at an angle within 45 degrees of being parallel) to Ranches Parkway; and
- c. Is within 75 feet of the closest Ranches Parkway right-of-way line; and
- d. Where and when screening of the property (usually along a rear property line) from the Parkway has not already been installed by a developer/builder prior to occupancy of a house on that property; then

screening installed by that lot’s owner shall be a “Monterey Gray” colored wood fence – six feet maximum height.

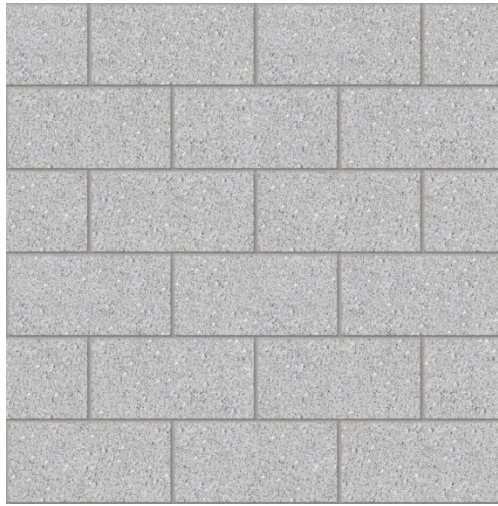


Note that the foregoing requirement does not pertain to those properties in the Ranches with yards abutting or facing actively used golf course land (i.e., fairways or greens) where wrought iron type fencing is instead required between those yard areas (usually backyards) and the golf course.





**Examples of inappropriate concrete and masonry walls styling include:**



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2. If under seven feet in height, neither a fence nor a building permit is, or shall be, required. However, if a privacy screen is [to be] over seven feet in height, a building permit is [first] required.

G. Wall or Fence Location Restrictions.

1. Rights-of-Way. Neither fences nor walls shall be located within any portion of any public right-of-way without written city consent. Written city consent shall consist of an approved right-of-way encroachment agreement/license. If allowed within a public right-of-way, it shall be the duty of the owner of the fence or wall to remove the same at their expense upon notification by the city for any reason deemed sufficient by the city.

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5. Signage. Electric fences shall be clearly identified with warning signs that read “Warning – Electric Fence” placed at intervals not less than 60 feet apart.

6. Governing Regulations. Electric fences shall otherwise be governed and regulated under burglar alarm regulations and permitted as such.

7. Violation. It shall be unlawful for any person to install, maintain or operate an electric fence in violation of this section save those fences designed and operated to contain livestock. Those fences shall comply with traditional practice and industry standards applicable to livestock enclosure.

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location. This shall not be construed to mean, however, that berms or hedges may be substituted for fencing or walls where fencing or a wall are specifically required to be installed per code.

#### 17.10.030 Definitions.

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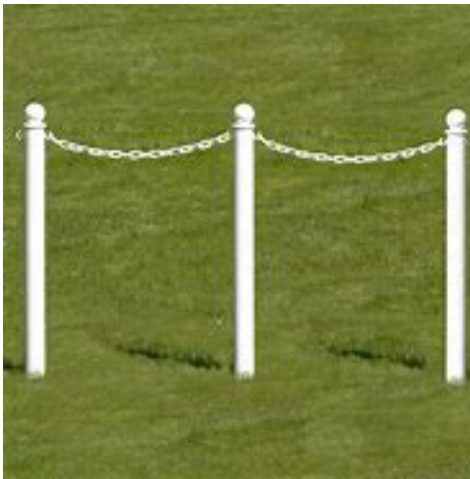


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“Chained **fencing**” means lengths of chain (usually heavy gauge) suspended between support poles/bollard or columns.



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“Ornamental” means wrought iron, tubular aluminum, or other decorative metal **fence**.





“Picket” means a **fence** with in-line boards with gaps between the same. Typically, the gaps are the same width as the boards and the boards are usually arranged vertically.



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“Site-obscuring” means a **fence** (e.g., board or vinyl) or wall that by its construct inhibits viewing through or past the same.

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“Vinyl” means a **fence** that is mainly or wholly comprised (typically) of vertically arranged vinyl panels abutted together in a row.



“Pre-Weathered Weathering steel” refers to low-alloy steel manufactured to develop a protective rust-like patina after exposure to weather.







**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	5th Amendment to the Amended and Restated Overland Development Agreement
<b>ITEM TYPE:</b>	Master Development Agreement
<b>FISCAL IMPACT:</b>	\$8,000,000 in incentives.
<b>APPLICANT:</b>	Terra Smith's Eagle Mountain I, LLC

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
Town Center Mixed Use / Historic Commercial Zone	53 acres

**PUBLIC HEARING**

Yes

**PREPARED BY**

Marcus Draper, City Attorney

**PRESENTED BY**

Marcus Draper, Evan Berrett

**RECOMMENDATION:**

Approve Amendment

**BACKGROUND:**

BACKGROUND - In 2017, the City entered into an Amended and Restated Master Development Agreement with SITLA and Ivory Homes for the Overland Development. Ivory and SITLA have sold a 53-acre parcel within the commercial area of the development to a commercial developer working with Kroger for the development of a commercial shopping center. The parcel is located north of Mid-Valley Road and east of Pony Express Parkway. The shopping center would include a Smith's Marketplace, another major big box retailer, 4 other smaller anchors adjacent to the Smith's, and numerous pad sites. To make the project financially feasible, the Agreement includes tax incentives for the cost of infrastructure to support the development. The Agreement would allow the developer to develop the property consistent with the vested historic commercial zone. It also allows a few other permitted uses consistent with a Smith's anchored commercial marketplace.

**ITEMS FOR CONSIDERATION:**

NA

**PLANNING COMMISSION ACTION/RECOMMENDATION:**

NA

**ATTACHMENTS:**

None





**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	Rezone of Parcels 59:055:0002, 59:055:0005, 59:055:0010, 59:055:0013, 59:055:0016, 59:055:0017, 59:055:0021, and 59:058:0004, to the Regional Technology and Industry Overlay zone.
<b>ITEM TYPE:</b>	Rezone
<b>FISCAL IMPACT:</b>	N/A
<b>APPLICANT:</b>	Jed Hellmich, Basin Engineering

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
Business Park/Light Industry / Agriculture	523.17

**PUBLIC HEARING**

Yes

**PREPARED BY**

David Stroud, Senior Planner

**PRESENTED BY**

David Stroud

**RECOMMENDATION:**

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the proposed rezone.

**BACKGROUND:**

QTS owns the eight parcels in this request, which encompass 524 acres. The approved Development Agreement states that any property acquired by QTS is subject to the approved Agreement. From Section 4.8 of the Agreement: *"This Agreement is hereby adopted and approved by the City to apply to any real property within the municipal limits of the City that is adjacent and contiguous to the property (or that is separated from the Property only by roads, public rights of way, easements, or similar land rights or uses) that the Company or affiliate of the Company may from time to time acquire following the effective date..."* The properties need to be rezoned to the RTI zone in order to utilize the standards of the zone (in addition to the Agreement's standards).

**ITEMS FOR CONSIDERATION:**

N/A

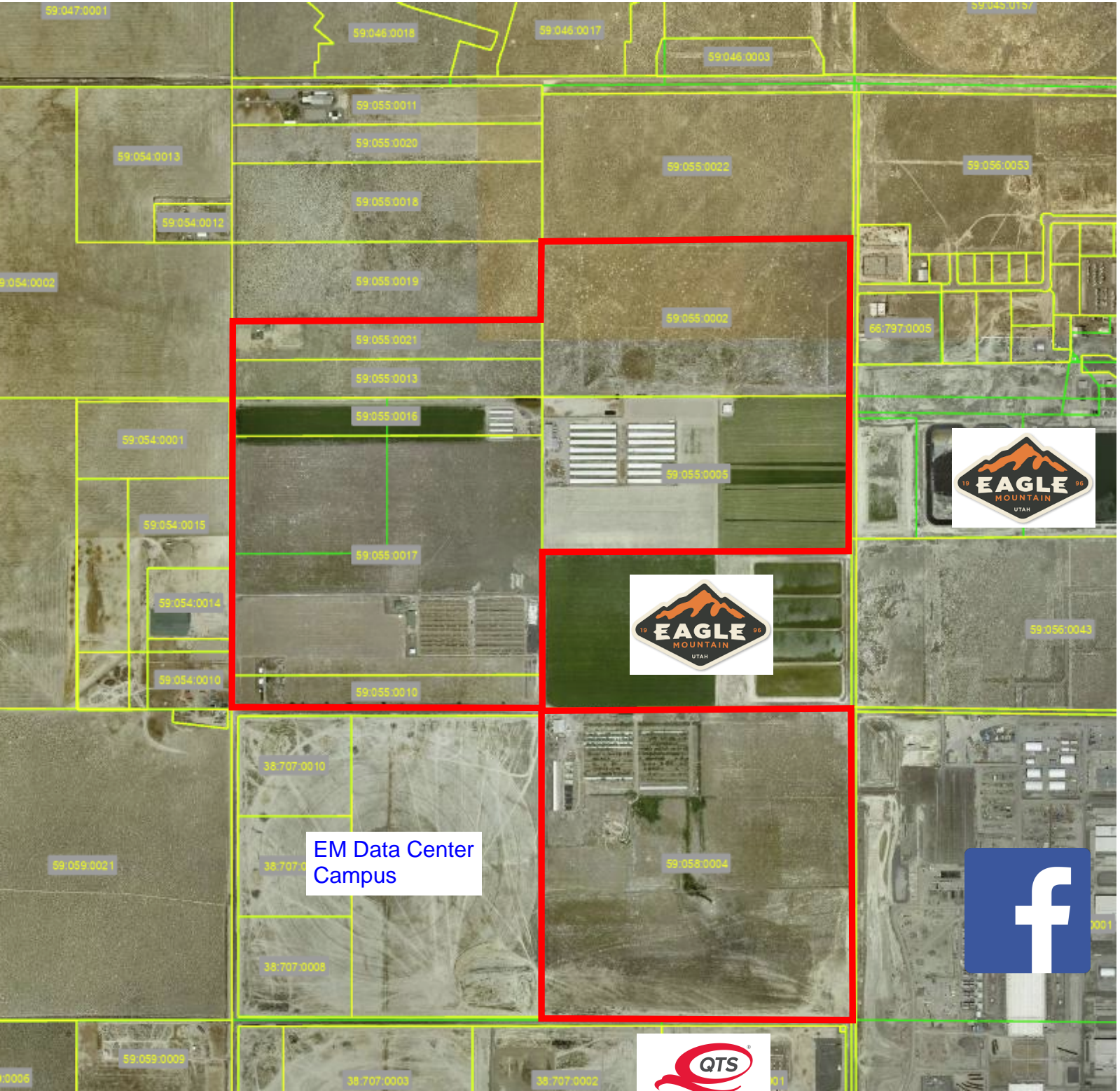
**PLANNING COMMISSION ACTION/RECOMMENDATION:**

The Planning Commission shall forward a recommendation to the City Council regarding the rezone request.

**ATTACHMENTS:**

1. QTS Aerial Map
2. QTS GP map
3. QTS Zone Map



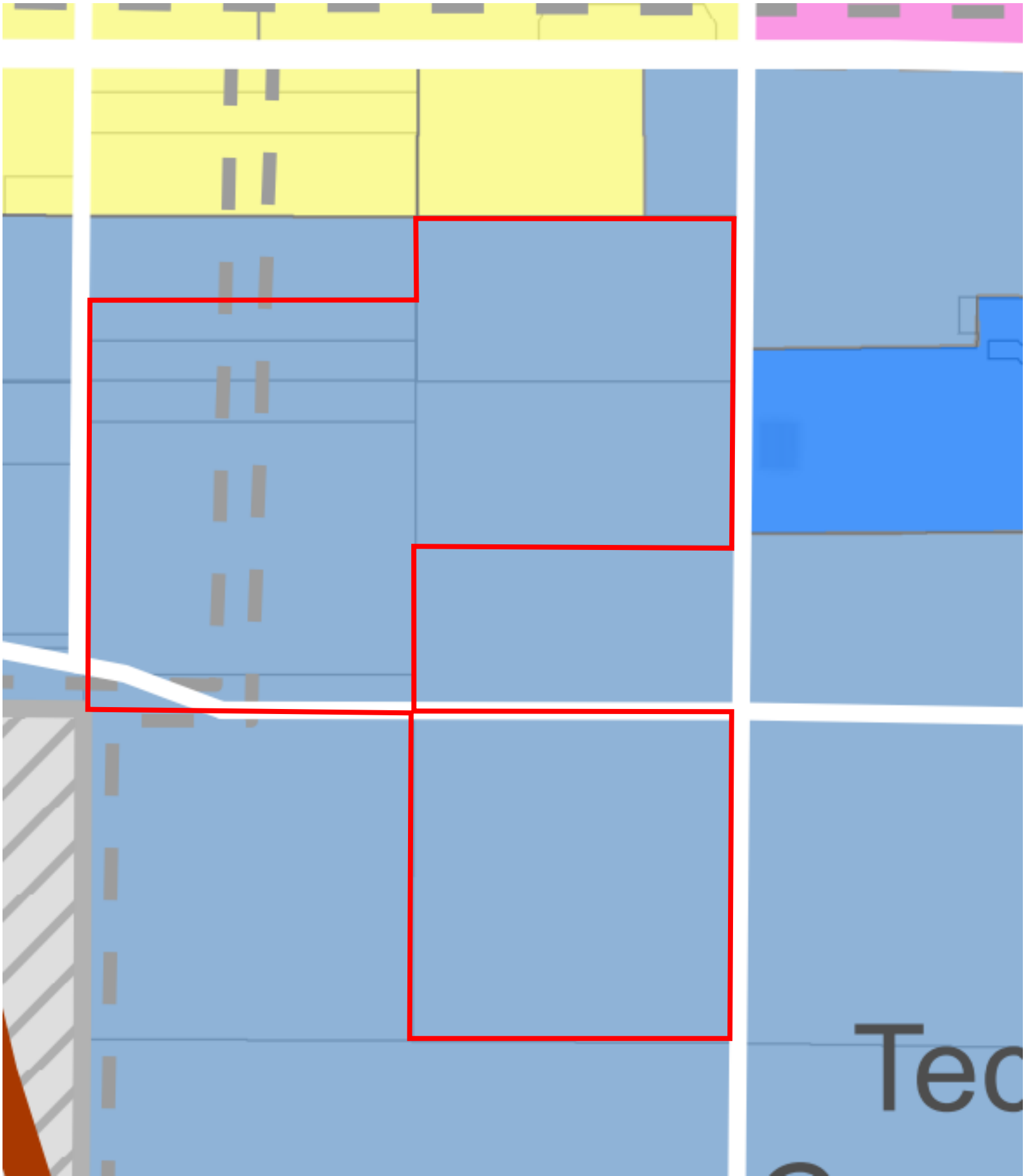


EM Data Center  
Campus



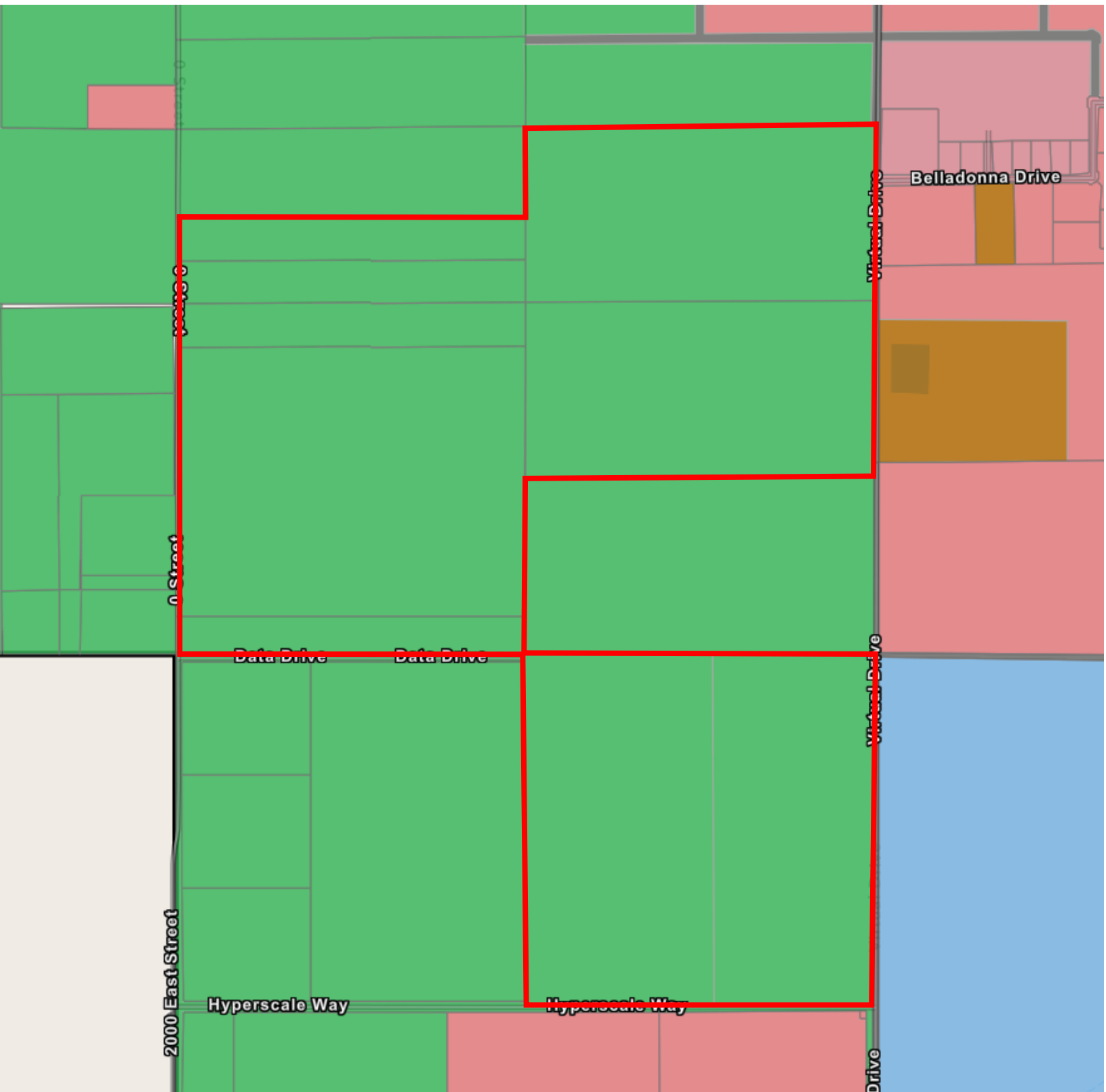


General Plan - Business Park/Light Industry





Zone - Agriculture







**EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING  
FEBRUARY 10, 2026**

<b>TITLE:</b>	An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Wildlife Urban Interface
<b>ITEM TYPE:</b>	General Plan Amendment
<b>FISCAL IMPACT:</b>	
<b>APPLICANT:</b>	City-initiated

<b>CURRENT GENERAL PLAN DESIGNATION &amp; ZONE</b>	<b>ACREAGE</b>
City-wide	City-wide

**PUBLIC HEARING**

Yes

**PREPARED BY**

Brandon Larsen, Planning  
Director

**PRESENTED BY**

Brandon Larsen

**RECOMMENDATION:**

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the Wildland Urban Interface Area Map.

**BACKGROUND:**

House Bill 48 (2025) requires cities that participate in the Cooperative Wildfire System (CWS) to adopt and enforce Utah Wildland Urban Interface (WUI) Code requirements. According to Battalion Chief, Bret Fossum, Eagle Mountain is a member of the CWS. Further, as per EMMC 15.95.010, the City has adopted the 2006 edition of the Utah Wildland Urban Interface (WUI) Code. The WUI Code contains a series of building and fire requirements related to a structure's presence in the WUI. Currently, the City does not have a map showing which portions of the City that lie within the WUI. As such, Staff has prepared and proposes adoption of the Eagle Mountain City Wildland Urban Interface Area Map. The proposed map shows the areas of the City that are proposed to be subject to the WUI Code requirements. Staff coordinated the proposed location of the WUI within the City with Battalion Chief Bret Fossum; Utah County Fire Warden, Garrett Nielsen; Area Fire Marshal, Dan Devoogd; and Battalion Chief Wade Watkins. The included area is based on the "Smoothed Structure Exposure Score."

According to the Utah Division of Forestry, Fire, and State Lands website: "The Smoothed Structure Exposure Score (SES) represents a neighborhood level of wildfire exposure that considers both wildfire likelihood and consequence of wildfire to homes." This score ranges from 1 (lowest exposure) to 8 (Extreme Exposure). Areas 7 (Very High Exposure) and 8 have been included on the map (minus any subdivisions and schools). Subdivisions were excluded because of feedback from fire officials who consulted with staff on the preparation of the map. The officials explained that development activities lessen fire hazards.

The City appears to have broad control on the areas it includes on the map. The map can be amended to include or exclude land.



This proposed map does not call out the "High Risk" Wildland Urban Interface Boundary, which insurance companies must use for assessing the fire risk of structures in the state. The FFSL manages this map.

Another important reason this map is needed is because House Bill 48 provides that the FFSL may choose not to pay certain fire response costs for land in the City if the City essentially doesn't adopt and enforce the WUI Code.

#### **ITEMS FOR CONSIDERATION:**

EMMC 15.95.010 states: "Eagle Mountain City hereby adopts the specific editions of the current construction and fire code in Title 15A, Chapter 2, Part 1, Utah Code Annotated 1953, and Title 15A, Chapter 5, Part 1, Utah Code Annotated 1953, State Construction and Fire Codes Act, including the current statewide amendments set forth in Title 15A, Chapter 3, Utah Code Annotated 1953, State Construction and Fire Codes Act."

Title 15A, Chapter 2, Part 1, Utah Code Annotated 1953, specifically adopts the 2006 edition of the Wildland Urban Interface Code as part of the state construction code.

#### **PLANNING COMMISSION ACTION/RECOMMENDATION:**

#### **ATTACHMENTS:**

1. WUI Map to PC, 2.4.26





Camp Williams

Saratoga Springs

Cedar Fort

Highway 73

CEDAR PASS  
MT AIREY  
CEDAR  
CREST  
RANCHES  
TINAMOUS  
WOODHAVEN  
GOLDEN EAGLE

AIRPORT  
OLD AIRPORT

EAGLE MOUNTAIN  
MID VALLEY  
PONY EXPRESS  
AVIATOR

POLE CANYON

FINNSTOWN

1000 NORTH

LAKE MOUNTAIN

Fairfield

Eagle Mountain City  
Wildland Urban Interface Area Map

Legend

EM WUI Area

EMC Boundary

Municipalities