



EAGLE MOUNTAIN PLANNING COMMISSION MEETING

FEBRUARY 10, 2026, 5:30 PM

EAGLE MOUNTAIN CITY COUNCIL CHAMBERS
1650 EAST STAGECOACH RUN, EAGLE MOUNTAIN, UTAH 84005

5:30 PM – PLANNING COMMISSION WORK SESSION

1. DISCUSSION ITEMS

- 1.A. CONCEPT PLAN - Eagle Mountain Chapel Addition
- 1.B. AGENDA REVIEW

6:30 PM PLANNING COMMISSION POLICY SESSION

2. CALL TO ORDER

3. PLEDGE OF ALLEGIANCE

4. DECLARATION OF CONFLICTS OF INTEREST

5. MINUTES

- 5.A. December 9, 2025 Planning Commission Minutes
- 5.B. January 13, 2026 Planning Commission Minutes

6. STATUS REPORT

7. ACTION AND ADVISORY ITEMS

7.A. PUBLIC HEARING / ACTION ITEM - One Call Auto Site Plan

BACKGROUND: (*Presented by Senior Planner, David Stroud*) A proposed site plan for One Call Auto, at 643 E. Split Rock Drive, Parcel 51:829:0114.

7.B. PUBLIC HEARING / ACTION ITEM - Consolidated Fee Schedule for Site Plan Amendment

BACKGROUND: (*Presented by Senior Planner, David Stroud*) Amendment to the Consolidated Fee Schedule to implement a fee to process a minor site plan amendment.

7.C. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code 17.60 and 17.10 Fencing Amendment

BACKGROUND: (*Presented by Planner, Mickie Mills*) Initiated by Eagle Mountain Resident, Katie Elliott, this code amendment adds “pre-weathered weathering steel” as an approved material type for residential perimeter fencing and defines “pre-weathered steel fences.” Amended sections include 17.60.120, and 17.10.030.

7.D. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain, Utah approving

the 5th Amendment to the Amended and Restated Overland Master Development Agreement

BACKGROUND: (*Presented by City Attorney, Marcus Draper*) : The City is proposing to amend the Amended and Restated Master Development Agreement for Overland. In 2017, the City entered into the ARMDA with SITLA and Ivory Homes for the Overland Development. Ivory and SITLA have sold a 53 acre parcel within the commercial area of the development to a commercial developer working with Kroger for the development of a commercial shopping center. The parcel is located north of Mid Valley Road and east of Pony Express Parkway. The shopping center would include a Smith's Marketplace, another major big box retailer, 4 other smaller anchors adjacent to the Smith's, and numerous pad sites. To make the project financially feasible, the agreement includes tax incentives for the cost of infrastructure to support the development. The agreement would allow the developer to develop the property consistent with the already vested historic commercial zone. It also allows a few other permitted uses consistent with a Smith's anchored commercial marketplace.

7.E. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain City, Utah, Rezoning Certain Lands Known as QTS-SCL 2.

BACKGROUND: (*Presented by Senior Planner, David Stroud*) Rezone of Parcels 59:055:0002, 59:055:0005, 59:055:0010, 59:055:0013, 59:055:0016, 59:055:0017, 59:055:0021, and 59:058:0004, to the Regional Technology and Industry Overlay zone.

7.F. PUBLIC HEARING / ACTION ITEM - An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Wildlife Urban Interface.

BACKGROUND: (*Presented by Community Development Director, Brandon Larsen*) An Ordinance of Eagle Mountain City, Utah, Approving the Eagle Mountain City Wildland Urban Interface Area Map, an amendment to Chapter 15.95 of the Eagle Mountain City Municipal Code.

8. DISCUSSION ITEMS

9. AGENDA REVIEW

10. NEXT SCHEDULED MEETING

11. ADJOURNMENT

THE PUBLIC IS INVITED TO PARTICIPATE IN PUBLIC MEETINGS FOR ALL AGENDAS.

In accordance with the Americans with Disabilities Act, Eagle Mountain City will make reasonable accommodations for participation in all Public Meetings and Work Sessions. Please call the City Recorder's Office at least 3 working days prior to the meeting at 801-789-6611. This meeting may be held telephonically to allow a member of the public body to participate. This agenda is subject to change with a minimum 24-hour notice.



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	Eagle Mountain Chapel Addition Concept Plan
ITEM TYPE:	Concept Plan
FISCAL IMPACT:	Wastewater impact fees
APPLICANT:	Kevin Olsen

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
General Plan Designation: Agricultural/Rural Density Two Zoning: Residential	2.92 Acres

PUBLIC HEARING

No

PREPARED BY

Steven Lehmitz, Planner

PRESENTED BY

Steven Lehmitz

RECOMMENDATION:

Staff recommends that the Planning Commission provide feedback to the applicant regarding their proposed concept plan.

BACKGROUND:

On the evening of September 25, 2012, the applicant for 3375 E Autumn Lane received a Conditional Use Permit for a "private recreational facility". The Planning Commission meeting minutes for that night provide background for the property at that time. A Certificate of Occupancy was issued seven months later that reaffirmed the condition that the structure was for private use only. The Applicant is seeking to convert the private recreational facility into a religious/cultural meeting hall. Staff has worked with the Applicant to identify possible routes toward this goal. The Applicant has submitted a concept plan and is seeking feedback on the proposal(s).

ITEMS FOR CONSIDERATION:

As currently constituted, the City's residential zoning standards do not permit residential dwellings nor religious/cultural meeting halls as accessory uses ([EMMC 17.25.030](#)). To facilitate using the accessory structure in the northeast corner of the property as an approved religious/cultural meeting hall, here are some important considerations:

1. The Applicant is proposing to divide the lot into two lots via a plat amendment. This would allow for both uses (dwelling and religious/cultural meeting hall) to operate as permitted/special uses on their respective properties ([EMMC 16.55](#)). The applicant is proposing a 0.55 acre (24,090 SF) lot for the house, leaving 2.37 acres (103,237 SF) for the religious/cultural meeting hall. Is that a good division for the lots?
2. The lot containing the proposed religious/cultural meeting house would have to be fully improved (parking, lighting, landscaping, etc.) per the City's site development standards ([EMMC 17.100](#)).
3. The structure would have to meet the applicable commercial design standards found in [EMMC 17.72](#).

4. The City Council could decide whether to dispose of the open space north of the property.
5. Currently, parking standards dictate that 1 stall is provided per 20 square feet in the main assembly room ([EMMC Table 17.55.120\(c\)](#)). If there is insufficient space to meet the parking requirements, options may be:
 - a. The City Council could amend the Code to permit less parking for churches.
 - b. Per [EMMC 17.55.110\(G\)](#), the Planning Commission may determine that the service level is still met with what parking can be provided (recommended by Staff).
 - c. [EMMC 17.55.100](#) provides the City Council the ability to grant a shared parking agreement with neighboring properties. They may permit up to 35% of the required parking spaces to be shared. One hurdle to this would be that parking lots are not a permitted accessory use to residential dwellings — which is what all the surrounding properties [will] feature.
6. The proposed religious/cultural meeting hall would be required to meet all applicable building codes for such a use. This may require significant renovations to the current structure.

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. Site Plan and Related Plans
2. Maps
3. 9-25-12 PC Minutes
4. Certificate of Occupancy



ZONING REQUIREMENTS:

PARKING:

CHURCHES:
1 STALL PER 20 SQ. FT. IN MAIN ASSEMBLY ROOM.

THE SQUARE FOOTAGE OF THE CHAPEL IS 3,806. THIS WOULD REQUIRE 191 STALLS.
THE DESIGN ON THIS SHEET PROVIDES **184 STALLS**.
THIS PROJECT WOULD REQUIRE A REDUCTION OF **7 STALLS**.

FRONTAGE:

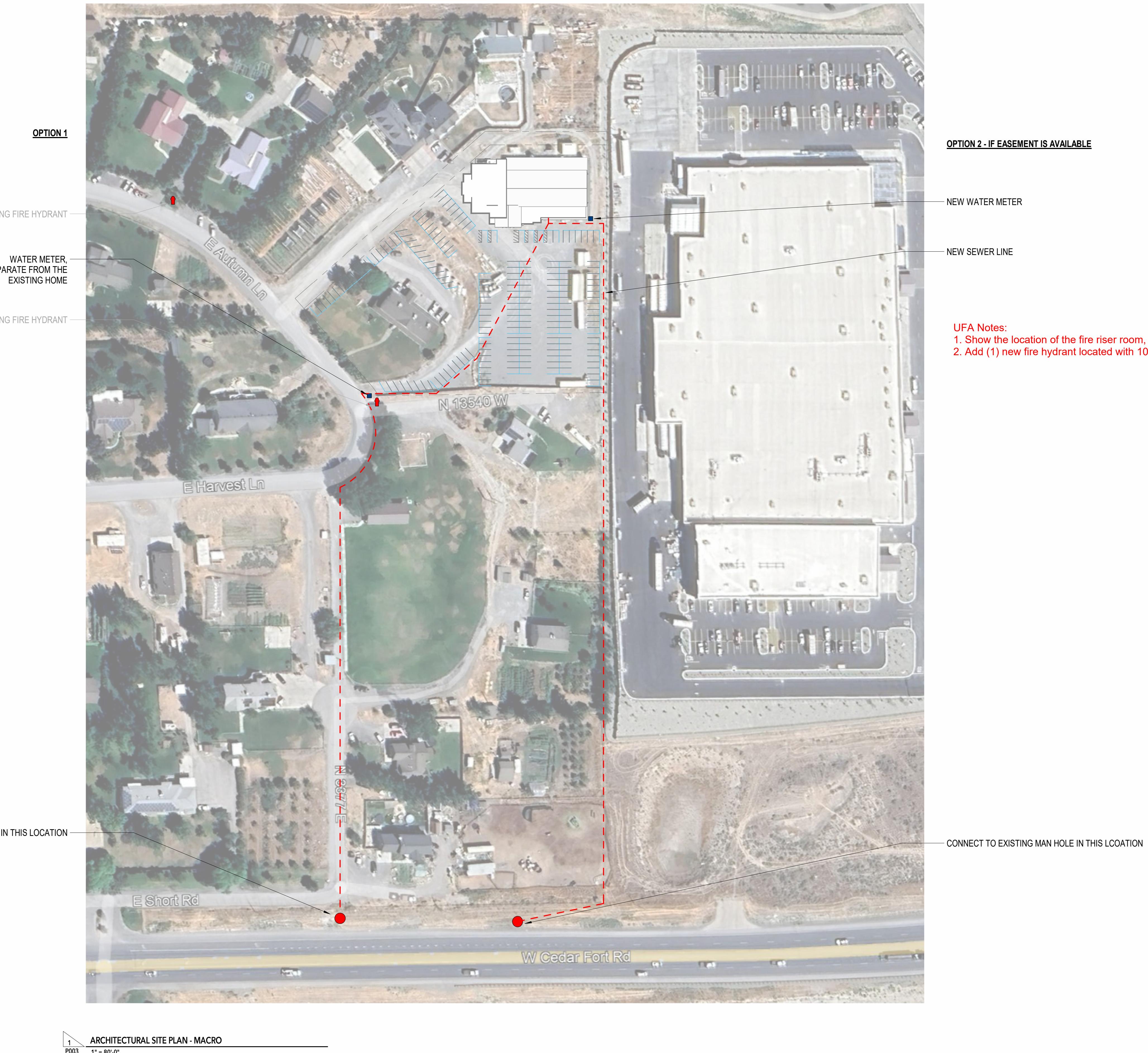
THE PROPOSED FRONTAGE FOR THE EXISTING HOME PARCEL WOULD BE ABOUT **86'-4"** WIDE.

Per EMMC 17.55.080(C), landscape islands are required at the end of each parking row. This will decrease the parking provided.

10' of landscaping required between parking areas and the property lines, unless an alternative width is approved by the Planning Commission (EMMC 17.60.170).

Given the requirements for landscaping and landscape islands, the provided parking is likely decreasing by at least 18 stalls.

EAGLE MOUNTAIN CHAPEL



1 ARCHITECTURAL SITE PLAN - MACRO
P003 1" = 80'-0"

CONCEPTUAL UTILITY PLAN NOTES

STORM WATER WILL BE RETAINED ON SITE - AS REQ'D.

THIS PLAN ASSUMES A SEWER LINE COULD BE RUN FROM THIS SITE, ALONG THE EAST PROPERTY LINE ALL THE WAY TO SR-73. CONSIDERATIONS WITH THIS OPTION WOULD BE EXISTING EASEMENTS, EXISTING LANDSCAPING.

UFA Notes:

1. Show the location of the fire riser room, FDC and fire line size / location.
2. Add (1) new fire hydrant located with 100' of the FDC.



EAGLE MOUNTAIN CHAPEL

Issue Date

UTILITY PLAN

SHEET

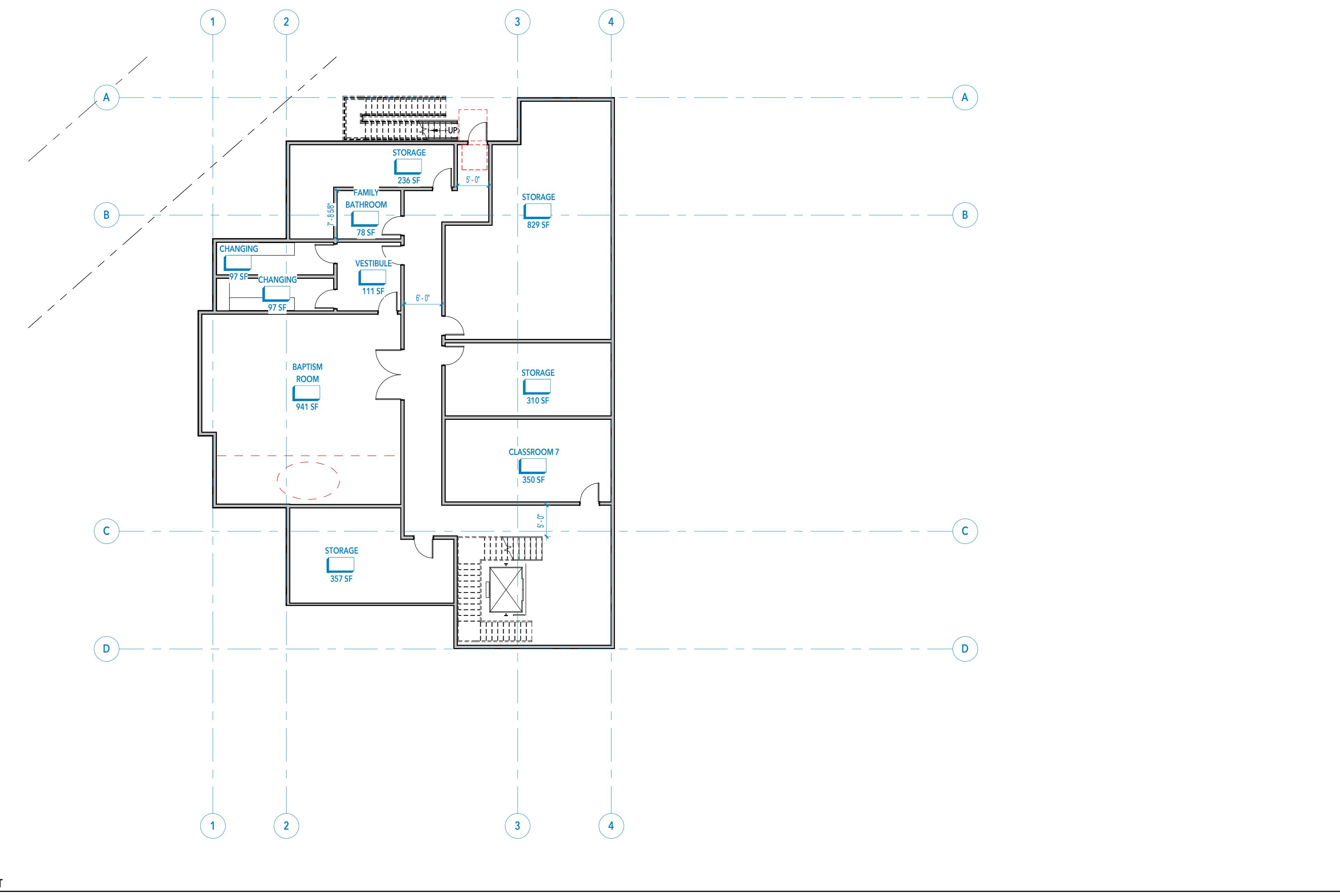
P003

Area Schedule (Gross Building)		
Level	Name	Area

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NOT FOR CONSTRUCTION

PRINTED AT 12/18/2025 4:46:57 PM
1 BASEMENT
P101 3/32" = 1'-0"



EAGLE MOUNTAIN CHAPEL ADDITION

LOWER LEVEL FLOOR PLAN

Issue Date

P101



RENDERING OF CHAPEL TO SHOW POTENTIAL LIGHTING SCHEME

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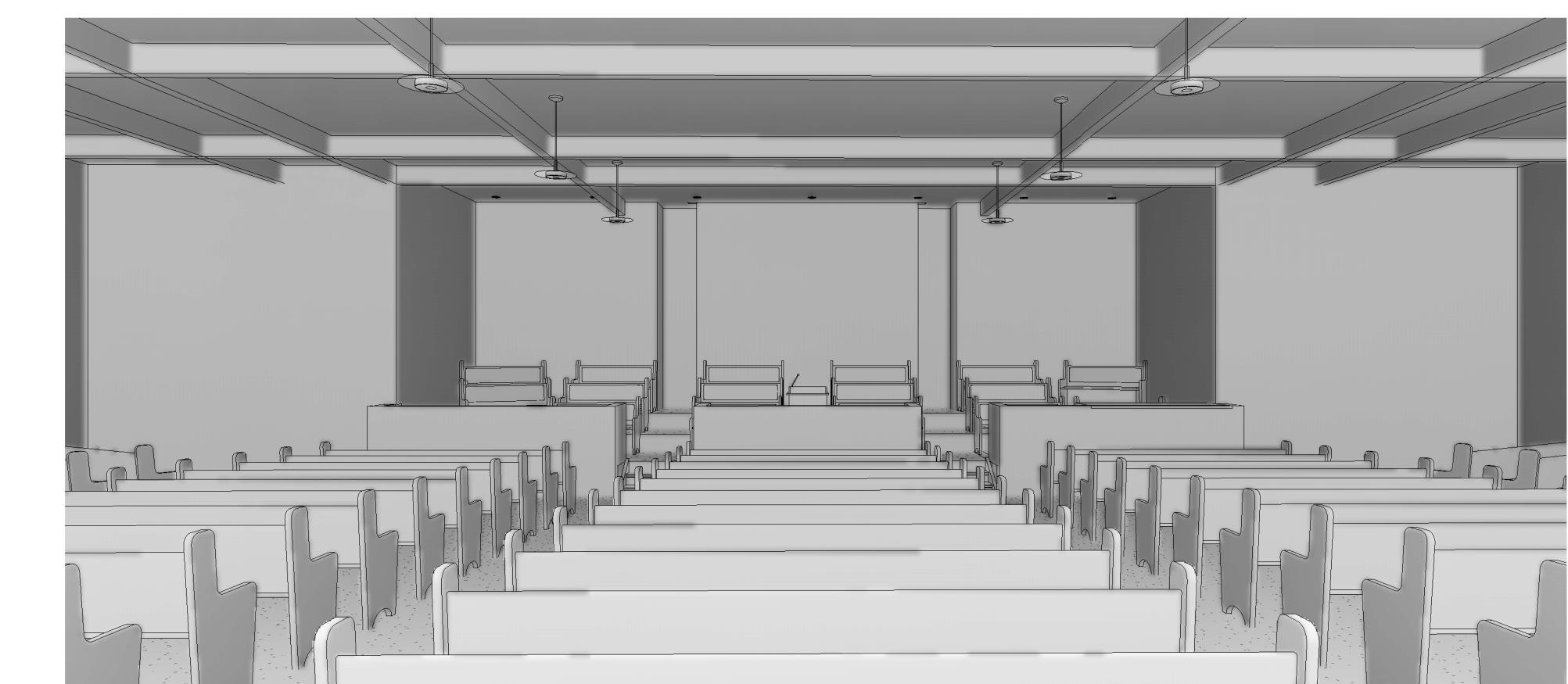
IOT FOR CONSTRUCTION

PRINTED AT 12/18/2025 4:47:01 PM

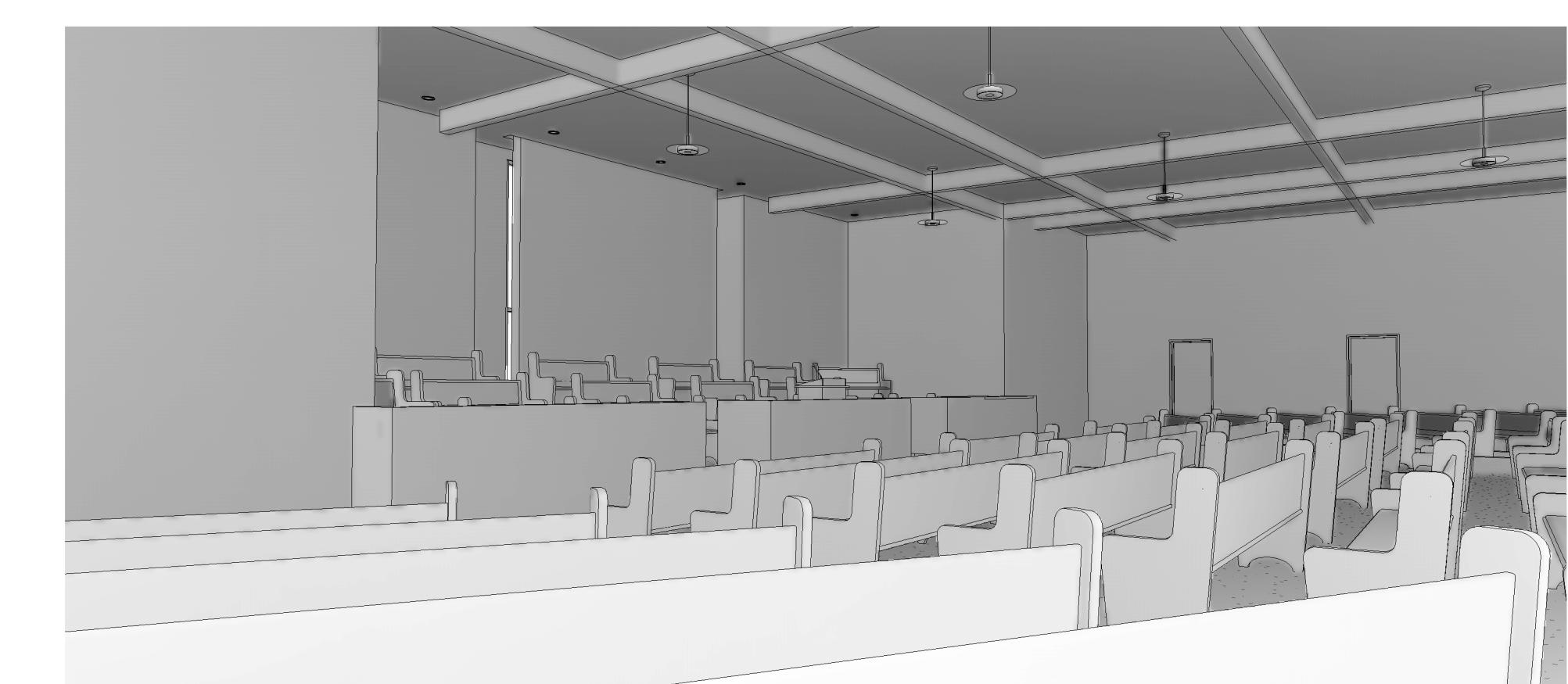
Area Schedule (Gross Building)



3D View - FAR RIGHT CORNER



 3D View - CENTER
P102



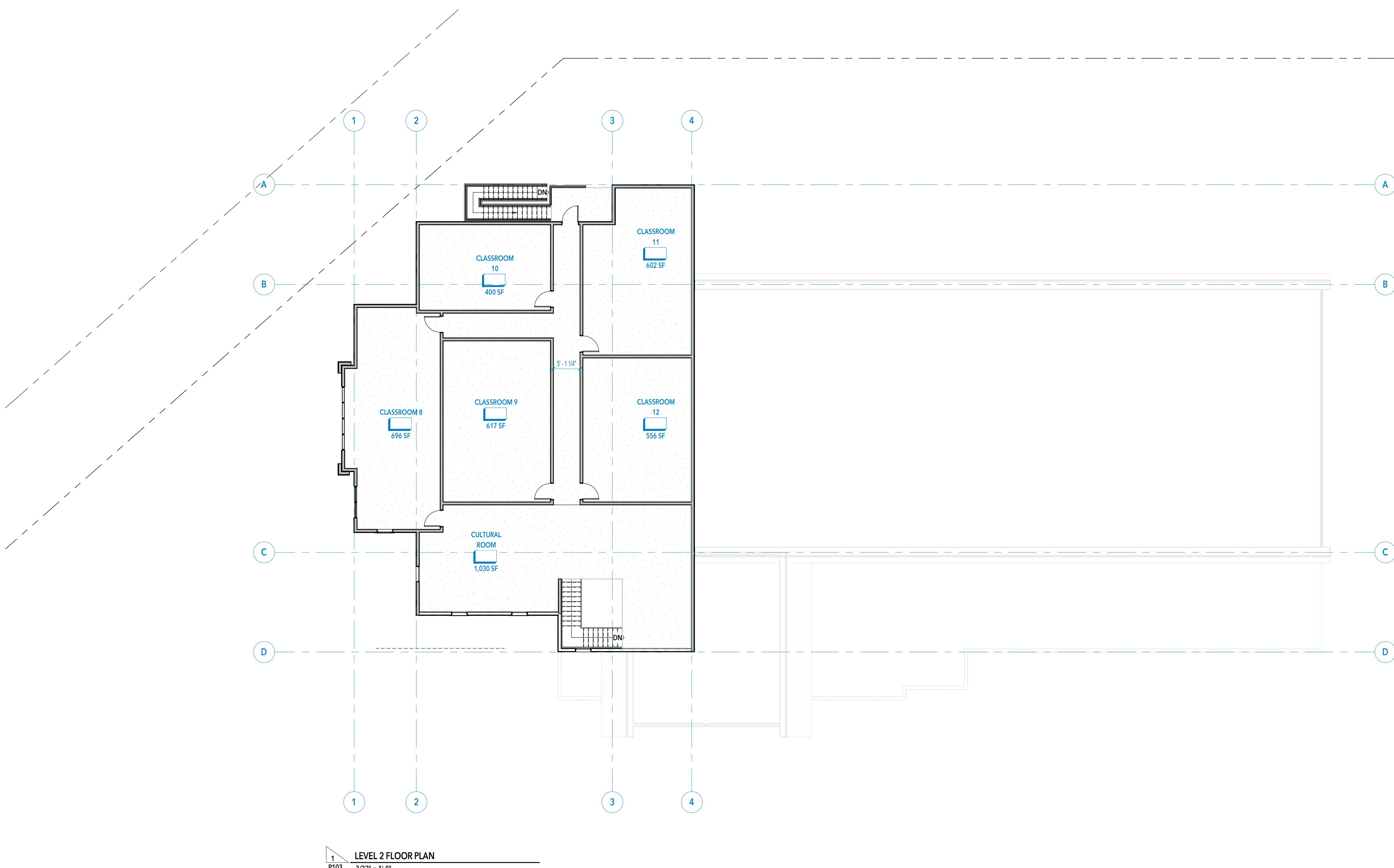
EAGLE MOUNTAIN CHAPEL ADDITION

5755 S UNION PARK AVE., STE 100
SANDY, UT 84047
PHONE: 801.996.6646
www.buildwithmint.com

MAIN LEVEL FLOOR PLAN

SHEET

Area Schedule (Gross Building)		
Level	Name	Area



EAGLE MOUNTAIN CHAPEL ADDITION

UPPER LEVEL FLOOR PLAN

SHEET

P103

Issue Date

Future Land Use Designation

LEGEND

Residential Categories:

- Foothill Residential
- Agricultural/Rural Density One
- Agricultural/Rural Density Two
- Neighborhood Residential One
- Neighborhood Residential Two
- Neighborhood Residential Three

Mixed Use/Commercial Categories:

- Community Commercial
- Town Center Mixed Use
- Regional Commercial
- Employment Center/Campus
- Business Park/Light Industry

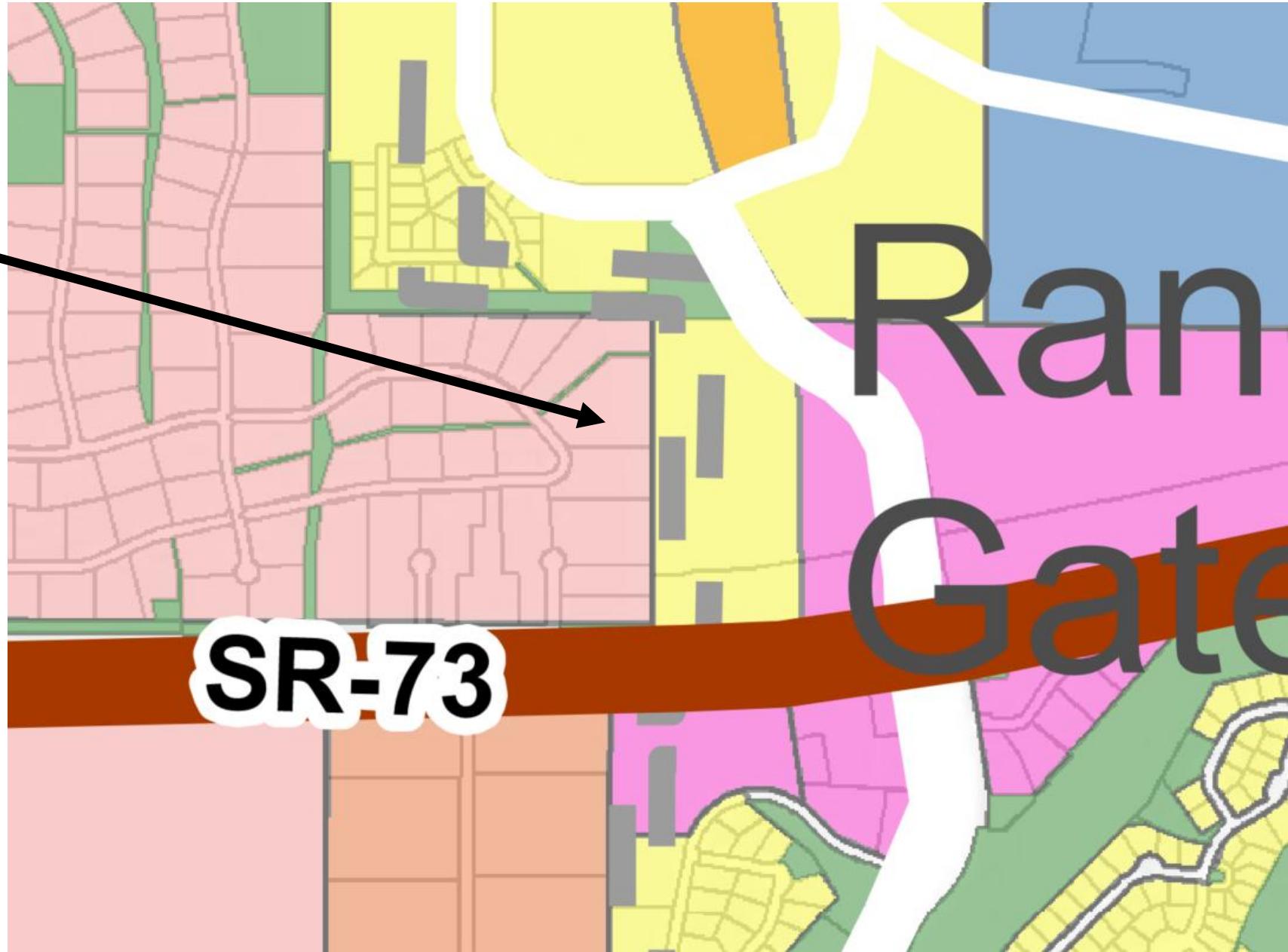
Public/Civic Categories:

- Civic Uses/Schools
- Parks and Open Space

NEIGHBORHOOD CHARACTER AREA

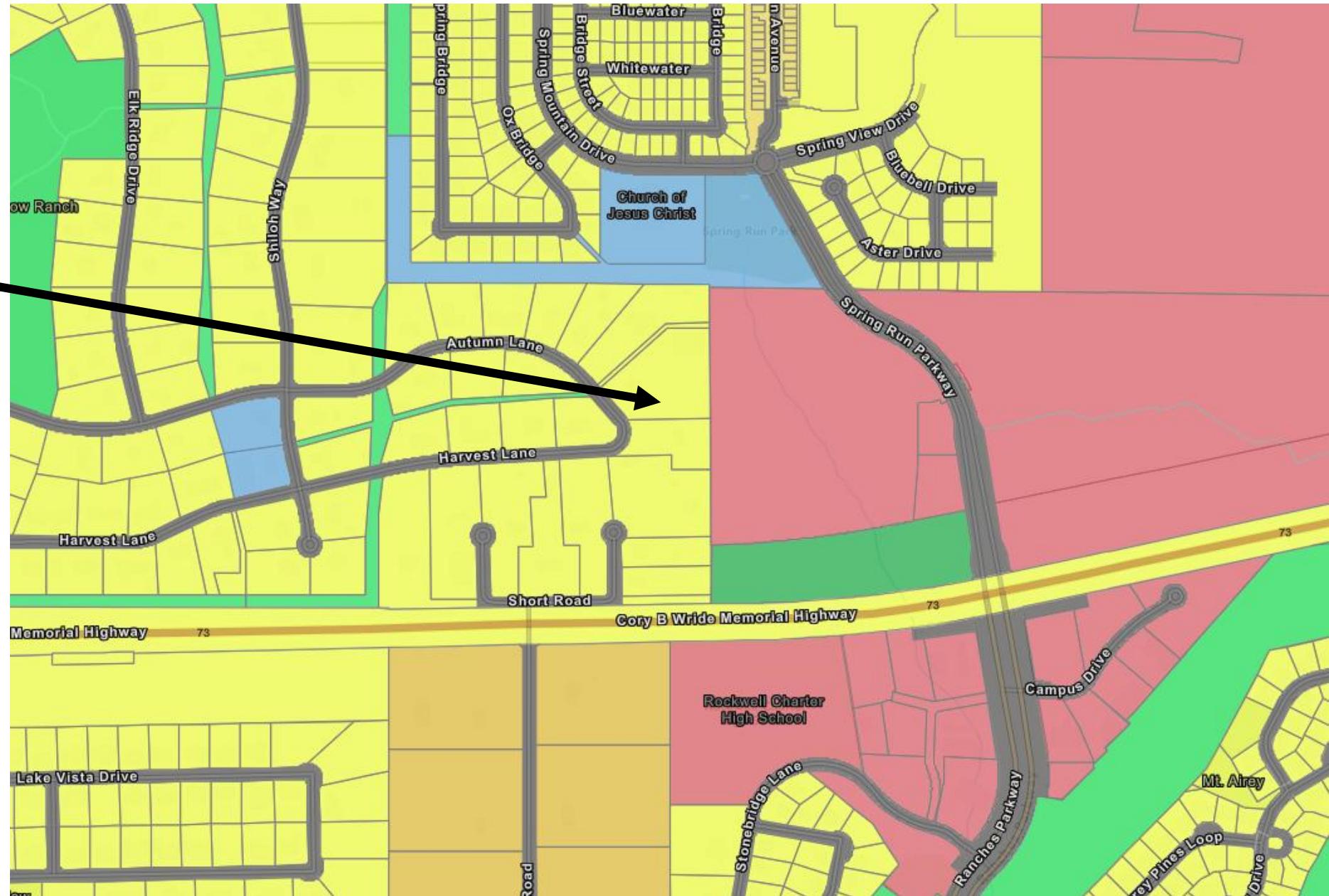
TRANSPORTATION

- UDOT Highway/Freeway
- City Road Network - Collector & up



Zoning

Residential







EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

COMMISSION MEMBERS PRESENT: Preston Dean, John Linton, Daniela Camacho, and Wendy Komoroski

CITY STAFF PRESENT: Steve Mumford, Mike Hadley, and Kent Partridge

ELECTED OFFICIALS PRESENT: Ryan Ireland

1. Pledge of Allegiance

John Linton led the Pledge of Allegiance

2. Declaration of Conflicts of Interest

None

3. Approval of Meeting Minutes – September 11, 2012

MOTION:

Preston Dean moved to approve the September 11, 2012, meeting minutes. Daniela Camacho seconded the motion. Those voting aye: Preston Dean, John Linton, Wendy Komoroski and Daniela Camacho. The motion passed with a unanimous vote.

4. City Council Action Update

Steve Mumford updated Planning Commission on:

- City Council discussed the SilverLake subdivision project.
- City Council tabled Clearview Estates master plan to review the septic tank, the preservation of SR 73 right of ways, and how to use the community improvement funds.
- Heatherwood on the Green's HOA has come up with a way to fund their amenities.
- City Council approved the creation of an Economic Development Area.

5. Development Items

A. Conditional Use Application – Northmoor 148 Flagpole; Action Item, Public Hearing.
Edge Homes is requesting a 50-foot high flagpole on their model home lot in the Northmoor neighborhood, located at 4174 E. Inverness Way.

Mike Hadley explained that Edge Homes has applied for a Conditional Use Permit for a 50 ft. flagpole. The flagpole will be located on their model home at 4174 E. Inverness Way. The flagpole would remain temporarily until the model home is sold. Edge Homes would need to

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 apply for a new Conditional Use Permit when the flagpole is moved to another lot. City Code
2 allows a 35 ft. flagpole and Edge Homes is requesting a 50 ft. flagpole. The application actually
3 shows the flagpole being proposed on property owned by the Home Owner's Association. Any
4 approval of this application would require written approval or permission from the HOA for this
5 flagpole. A review of flagpoles within the City on residential lots shows that there are no
6 flagpoles over 25 ft. in height. Any flagpole that is more than 25 ft. in height in the City is
7 located on City buildings or property and on Alpine School District property.

8
9 Commissioner Dean questioned a Conditional Use Permit over a variance.

10
11 Mr. Mumford explained that a Conditional Use Permit would give the Planning Commission
12 more flexibility in the code.

13
14 *Commissioner Linton opened the public hearing at 6:12 p.m.*

15
16 Steve Maddox with Edge Homes explained that Edge Homes is a local Utah based builder. Edge
17 Homes currently flies eight American flags throughout Utah. Edge Homes applied for the
18 Conditional Use Permit, because that is what other cities have required. The flagpole would be
19 50 ft. for the size of the flag and help keep all their flags uniform, that would help maintenance
20 of the flag. If they cannot get an agreement with the HOA, they will move the flagpole to their
21 property.

22
23 *Commissioner Linton closed the public hearing at 6:15 p.m.*

24
25 Commissioner Linton explained from past Planning Commission meetings Richmond American
26 had come in and proposed a 70 ft. flagpole and it was denied, and then Richmond American put
27 in a 35 ft. flagpole that followed the City's code. Colonial Flags had come in and spoken
28 extensively about flags, and one of the issues with a larger flag was it created more noise for the
29 neighborhood.

30
31 Mr. Maddox explained that there would be two flags, one American flag and one home builder
32 flag. Edge Homes has never had a complaint about the noise of a flag. The only complaint was
33 when the flag was removed.

34
35 **MOTION:**

*Preston Dean moved that the Planning Commission deny the
Northmoor 148 flagpole application for Conditional Use Permit
of the 50 ft. flagpole. Daniela Camacho seconded the motion.
Those voting aye: Preston Dean, John Linton, Daniela
Camacho and Wendy Komoroski. The motion passed with a
unanimous vote.*

41
42
43 B. Conditional Use Application – Meadow Ranch Private Recreation Facility; Action Item,
44 Public Hearing.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.
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1 This application is requesting conditional use for an exception to the permitted accessory
2 uses and structures in a Residential Zone, located at 3375 East Autumn Lane in the
3 Meadow Ranch neighborhood.

4
5 Mr. Hadley explained that the applicant is applying for a Conditional Use Permit for a private
6 recreational facility located in the Meadow Ranch subdivision at 3375 E Autumn Lane. The lot is
7 2.92 ac and the facility is approximately 11,172 sq. ft. in size. This application is unique because
8 the building has already been built. The building was originally permitted through the City
9 Building Department as a barn with limited electrical – 2 plugs and lighting. The applicant then
10 proceeded to upgrade the building to its current status without obtaining the proper permits,
11 paying the proper fees, or getting the required inspections. The City issued a stop work order on
12 the building after an investigation by the Building Department. The building is now completely
13 finished on the inside, consisting of a basketball court, stage, kitchen, numerous accessory rooms
14 and restroom facilities. The building also contains a basement with a canning kitchen, which
15 was not on the original permit. None of the electrical, sewer or plumbing has been inspected or
16 permitted. All of these interior improvements are illegal, as they were completed without
17 permits or inspections.

18
19 Conditions of approval:

- 20 • The applicant must obtain a building permit for the structure as a private recreation
21 facility. The permit should be obtained and the proper fees paid within 30 days of
22 approval of CUP or the building must be restored to the original building permit status
23 (barn).
- 24 • The building must comply with current IBC code requirements.
- 25 • All applicable building, impact, infrastructure and utility system upgrade fees must be
26 paid.
- 27 • The parking lot on the site plan must be removed, including ADA parking stalls.
- 28 • The owner must sign a document, to be recorded at the County, restricting the use of the
29 building to private recreational use only.
- 30 • The use of the building should not result in parking on public streets.
- 31 • A notice of interest on the property must be filed with the County Recorder's office by
32 the City.
- 33 • The building cannot be used for large assembly use.

34
35 Kent Partridge explained that a building permit was pulled November 1, 2004 for the barn
36 located at 3375 E. Autumn Lane. The barn was complete within a year of pulling the permit.
37 After the barn was complete, the residents of the barn started adding to the barn without a
38 building permit. They had added a basketball court, stage, kitchen, numerous accessory rooms,
39 and restrooms. The Building Department issued a stop work order in 2010, when the City
40 received a call that the barn was being used improperly as a church. He stated that to his
41 knowledge since the stop work order the residents have not used it for a church.

42
43 Commissioner Dean asked if there was a definition for private recreation facilities.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.
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1 Mr. Partridge stated that it would still be classified as A-3 occupancy use which is a commercial
2 facility. It is going to be a difficult task for the resident and the Building Department to bring this
3 building up to code. He stated that the electrical, plumbing and mechanical were not part of the
4 initial inspections. The structure of the building was inspected to code.

5
6 Commissioner Linton was concerned that the building was not engineered correctly to withstand
7 the extra weight of the finishing.

8
9 Mr. Partridge said that it could be a requirement that the engineer review the structure. But he
10 felt that it was adequate, because the drywall would add some shear stability and it would help
11 the structure.

12
13 *Commissioner Linton opened the public hearing at 6:34 p.m.*

14
15 Glenn Allred representing Hyrum Thompson, the property owner, stated that the owner
16 understands the City's request, and is willing to work with the Building department. He stated
17 that the owner's intentions for the building are to use it as a private recreational area.

18
19 *Commissioner Linton closed the public hearing at 6:36 p.m.*

20
21 Commissioner Camacho asked if it was the City's goal to work together and make the best of
22 this situation.

23
24 Mr. Hadley explained that the City has worked on this project for the last two years. He stated
25 that the City is willing to work with the applicant, but he believed that the City should put time
26 restrictions on the fees, application, and the completion of this project.

27
28 Mr. Mumford explained that the building would be brought up to building and City codes. The
29 City could not restrict residents on building a private recreational building on their property. The
30 issue at first was that the home owner wanted to turn this building into a congregation use
31 building. Parking space and building codes made that request impossible.

32
33 Commissioner Linton asked if the parking lot area was asphalt. He asked why the plan shows the
34 parking lot being striped.

35
36 Mr. Hadley explained that the parking lot is a type of gravel.

37
38 Mr. Allred explained that when the building plans were submitted to the architect and the
39 engineer, they were told the building would need a bigger parking lot, due to the square footage
40 of the building.

41
42 Commissioner Linton asked how many parking spaces would be needed for a public meeting
43 house of this type.

44
45 Mr. Hadley explained about 200 to 250, typical for a structure this size.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, SEPTEMBER 25, 2012 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1
2 Mr. Mumford explained that code requires one parking stall for each 20 sq. ft. of the main
3 assembly room.
4
5 Commissioner Dean asked if the only difference from a public building and private a building
6 would be a City agreement.
7
8 Mr. Partridge stated that the building code does not care how the building is used. The building
9 code only cares if the building complies with the safety requirements.
10
11 Mr. Hadley explained that the City would have the homeowner sign a City agreement and a
12 notice of interest will be recorded with the County for that property. The City would then be
13 notified of new ownership or conflicting interest or issues on the property.
14
15 Commissioner Linton asked if there were numerous complaints about the property or was it just
16 the one call?
17
18 Mr. Hadley stated that the Planning Department had not received any complaints about the
19 property.
20
21 Mr. Partridge stated that the Building Department had not received any complaints that he was
22 aware of. He stated that he had gone out to the property on numerous Sundays, and there were
23 cars parked everywhere. That is why the City was concerned about the assembly use and why
24 the City needs it to be a private use. He explained that building uses change all the time, for
25 example a B-occupancy (business) could change to A-occupancy (assembly). He explained that
26 the owner is responsible to notify the Building Department and Fire Department of occupancy
27 change.
28
29 **MOTION:** *Preston Dean moved that the Planning Commission approve the Conditional Use Permit application for the Meadow Ranch private recreation facility, subject to the conditions stated in the staff report. Daniela Camacho seconded the motion. Those voting aye: Preston Dean, John Linton, Daniela Camacho and Wendy Komoroski. The motion passed with a unanimous vote.*
30
31
32
33
34
35
36
37 6. Other Business
38
39 7. Meeting Information:
40 A. Next Regularly Scheduled Meeting – October 9; upcoming agenda items
41
42 8. Adjournment
43
44 The meeting was adjourned at 6:58 p.m.
45

CERTIFICATE OF OCCUPANCY

COMMERCIAL

THIS CERTIFICATE OF OCCUPANCY IS ISSUED PURSUANT TO THE REQUIREMENTS OF THE 2006, IBC, IPC, IMC AND 2005 NEC, INDICATING AT THE TIME OF ISSUANCE THIS STRUCTURE WAS IN COMPLIANCE WITH ALL OF THE APPLICABLE CODES AND ORDINANCES OF EAGLE MOUNTAIN CITY.

OWNER / CONTRACTOR: HYRUM THOMPSON

PERMIT #:G2b1E0341

M O U N T A I N

SITE ADDRESS: 3375 E AUTUMN LANE, EAGLE MOUNTAINUT 84005

OCCUPANCY: A-3/S-2/E OCCUPANCY LOAD: 299 TYPE OF CONSTRUCTION: V-B

SPRINKLED NOT SPRINKLED

SPECIAL STIPULATIONS

1. EDUCATIONAL USE (E OCCUPANCY LIMIT TO 49 OR LESS)
2. THIS BUILDING IS FOR PRIVATE RECREATIONAL USE ONLY.
3. OWNER SHALL COMPLY WITH THE CONDITIONAL USE PERMIT FOR THIS FACILITY.

4-23-2013

DATE ISSUED



KENT L. PARTRIDGE, BUILDING OFFICIAL



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	N/A
ITEM TYPE:	Discussion Item
FISCAL IMPACT:	N/A
APPLICANT:	N/A

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

No

PREPARED BY

PRESENTED BY

RECOMMENDATION:

N/A

BACKGROUND:

N/A

ITEMS FOR CONSIDERATION:

N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

None



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	December 09, 2025 Planning Commission meeting minutes
ITEM TYPE:	Minutes
FISCAL IMPACT:	N/A
APPLICANT:	N/A

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

No

PREPARED BY

Megan Green, Planning
Secretary

PRESENTED BY

RECOMMENDATION:

N/A

BACKGROUND:

N/A

ITEMS FOR CONSIDERATION:

N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. 12.09.2025 PC Meeting Minutes Draft



EAGLE MOUNTAIN PLANNING COMMISSION

MEETING MINUTES

December 9, 2025, 5:30 p.m.

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Jason Allen, Robert Fox, Brent Strong, Craig Whiting, and Alternate Commissioner Bryan Free.

CITY STAFF PRESENT: Deputy City Manager, Steve Mumford; Brandon Larsen, Community Development Director; Marcus Draper, City Attorney; Robert Hobbs, Senior Planner; Steven Lehmitz, Planner; and Megan Green, Planning Secretary.

5:30 P.M. – Eagle Mountain City Planning Commission Work Session

Commissioner Allen called the meeting to order at 5:33 p.m.

1. Discussion Items

1.A. DISCUSSION ITEMS – Horizon Master Development Plan

Planner Robert Hobbs presented the Horizon Master Development Plan. Scot Hazard discussed the project with the Commissioners, which is located near Pony Express and Lone Tree, and includes 110 single-family lots on 110 acres. Concerns raised included compliance with block length and slope requirements, wildlife corridor impact, ridgeline codes, and emergency egress. The developer proposed a 360-stair amenity and trail systems to address pedestrian connectivity. The commission emphasized the need for thorough review and community engagement to ensure the project meets City standards and addresses community concerns. The Planning Commission discussed several key issues, including the need for an additional egress route on Pony Express Parkway due to safety concerns and traffic projections.

Commissioner Allen adjourned the work session at 6:25 p.m.

6:30 P.M. – Eagle Mountain City Planning Commission Policy Session

2. Commissioner Allen called the policy session to order at 6:32 p.m.

3. Pledge of Allegiance

Commissioner Allen led the Pledge of Allegiance.

4. Declaration of Conflicts of Interest

None.

5. Approval of Meeting Minutes

5.A.

MOTION: *Commissioner Fox moved to approve the minutes of November 25, 2025, Planning Commission meeting. Commissioner Strong seconded the motion.*

Jason Allen Yes

Robert Fox Yes

Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Abstain

The motion passed with 4 yes and 1 abstention.

6. Status Report

Community Development Director Brandon Larsen reviewed the planning items discussed and voted upon during the City Council meeting.

7. Action and Advisory Items

7.A. 2026 Planning Commission Schedule

Discussion summary:

Commissioners agreed to add another Planning Commission Meeting to the calendar on November 24, 2026, and if the meeting is not necessary it can be cancelled.

MOTION: *Commissioner Strong moved to approve Item 7.A., 2026 Planning Commission Schedule, with the addition of one meeting on November 24, 2026. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.B. Horizon Master Community MDP/Plat Review

Presentation summary: A request by Caden Hazard for Master Development Plan and for Preliminary Plat Approval for 110 single-family detached residential lots with open space all on/for approximately 109 acres of property located in Section 30, T5S, R1W, on the north side of Pony Express Parkway and Lone Tree Parkway addressed as 2434 E. Pony Express Parkway; application set identified as the: "Horizon" project.

Applicant's statements summary: Scot Hazard declined to comment during the Policy Session.

Discussion summary:

- Robert Hobbs provided a quick overview of the Horizon Master Development Plan, highlighting the property's location near Pony Express and Lone Tree.
- The plat includes open space parcels, a 20-count parking lot, a 360-stair amenity, trail systems, and a commitment to not exacerbate traffic issues in Lone Tree until egress is resolved.
- The project includes a wildlife corridor, with the Nature Wildlife Alliance suggesting an alternative route, and the need for a final plat to reflect the boundary.
- Jason Allen and other Commissioners discussed the project's compliance with code, particularly regarding slope and block length requirements.
- Marcus Draper clarified the applicability of the ridge line protection overlay zone and the need for reasonable diligence in implementing approvals.

- The Commission considered the impact of the project on existing neighborhoods, including traffic and emergency access, and the need for pedestrian connectivity.
- The discussion concluded with a commitment by the applicant to continue working on the project's details, including addressing traffic and emergency access issues, and ensuring compliance with city codes and ordinances.
- Commissioners Whiting and Allen agree on the need for the City Council to evaluate the subdivision with a different lens.

Commissioner Allen opened the public hearing at 6:43 p.m.

Alexia Turley, Kayla Baugh, Chad Hicks, Tracey Snyder, Teri Hansen, and Karina Woodbury all sent in or made public comments.

Commissioner Allen closed the public hearing at 6:58 p.m.

MOTION: *Commissioner Whiting moved to deny Item 7.B., Horizon MDP/Preliminary Plat. Commissioner Allen seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.C. Hidden Hollow Pool Amenity

Presentation Summary Points: This matter is a second request/attempt by Cadence Homes to receive approval to trade-out a required swimming pool for the Hidden Hollow development. Proposed is the substitution of a gym and additional lawn games for a swimming pool. The property under consideration is Parcel D in Hidden Hollow at the southeast corner of the intersection of N. Smooth Way and N. Carlton Way. Although a recent code amendment permits administrative (Staff-level) review of site plans, the specific criteria outlined in that amendment—along with the code referenced in the 'Items for Consideration' section of this report—necessitated processing the Applicant's request as a standard site plan amendment. Review by both the Planning Commission and City Council is required, since site plans must be reviewed sequentially by these two bodies. Staff considers the proposed amenity swap to be minor in nature and scope, especially when compared to other types of possible site plan revisions.

Applicant's statements summary: Hunter Smith representing Cadence Homes presented the proposed Amenity Exchange. He presented a new survey showing strong preference for a gym among residents, emphasizing the active lifestyle in the community. Smith explained the challenges of maintaining a swimming pool in a windy and dusty environment and the preference for year-round gym access.

Discussion summary points:

- Commissioners discussed the potential benefits and drawbacks of a gym versus a swimming pool, considering cost, maintenance, and community needs.
- Commissioners emphasized the importance of providing amenities that meet community needs and the potential for future expansion of the clubhouse.
- Jason Allen and Commissioners agreed on the need for a balanced approach that considers both community feedback and code requirements.

Commissioner Allen opened the public hearing at 7:50 p.m. As there were no comments, he closed the hearing.

MOTION: *Commissioner Strong moved to recommend approval to the City Council of Item 7.C., Hidden Hollow Pool Amenity, with the recommendation to add an amenity to the clubhouse. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.D. Fence Code Patch Amendment

Presentation Summary Points: A pair of Neighborhood Improvement cases prompted the drafting of the attached code amendment designed to clarify and strengthen the City's disposition regarding maintenance of fences, walls and retaining structures. Legal counsel has reviewed the draft.

Discussion summary points:

- Robert Hobbs introduced the fence code amendment, addressing issues of fence maintenance and repair responsibilities.
- Commissioners discussed the importance of maintaining fences and the potential impact on Neighborhood Improvement efforts.
- Commissioners agreed that the code amendment is pretty straight forward and recommend approval to the City Council.

Commissioner Allen opened the public hearing at 7:56 p.m. As there were no comments, he closed the hearing at 7:57 p.m.

MOTION: *Commissioner Whiting moved to recommend approval to the City Council of Item 7.D., Fence Code Patch Amendment. Commissioner Fox seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.E. Pacific Springs Development Agreement

Presentation Summary Points: R5 Homes is working on getting permits for lots 511–514 in Pacific Springs A5. However, per EMMC 16.35.090, they are required to install privacy screening "prior to any building permits being issued in that phase of development that abuts such right-of-way." R5 Homes is requesting flexibility--through a development agreement--to install the fencing after home construction on the lots to avoid potential damage during the building process.

Applicant's statement summary: Brian Haskell from R5 Homes explained the challenges of dealing with incomplete fencing in the Pacific Springs neighborhood and the need for a bonding system.

Discussion summary points:

- Commissioners agreed on the importance of maintaining fences and the potential benefits of a bonding system for future developments.

Commissioner Allen opened the public hearing at 8:01 p.m. As there were no comments, he closed the hearing 8:02 p.m.

MOTION: *Commissioner Fox moved to recommend approval to the City Council of Item 7.E., Pacific Springs Development Agreement. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.F. Data Center Directional Signage Code Amendment

Presentation Summary Points: Staff has been approached on a couple of occasions by data center representatives wanting to construct directional signage for their trucks and workers. Our current code does not allow for such signage, but Staff feels that it is worth considering the proposed code amendment to help reduce traffic along roads such as Pony Express Parkway by keeping it on SR-73 for as long as possible.

Discussion summary points:

- Steven Lehmitz introduced the proposal for off-premise directional signage for large-scale developments, such as data centers.
- The proposal aims to direct truck traffic away from Pony Express and onto designated routes, improving traffic flow and safety.
- Commissioners discussed the potential benefits and drawbacks of the proposal, considering the need for clear signage and community input.
- The proposal includes requirements for maintaining signage and ensuring compliance with dark sky regulations.
- Commissioners agreed the code amendment makes sense and like the Alternate Energy Overlay Zone being included.

Commissioner Allen opened the public hearing at 8:09 p.m. As there were no comments, he closed the hearing.

MOTION: *Commissioner Whiting moved to recommend approval to the City Council of Item 7.F., Data Center Directional Signage Code Amendment with an addition to paragraph E. to include the Alternate Energy Overlay Zone. Commissioner Fox seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

5. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for January 13, 2026.

6. Adjournment

MOTION: *Commissioner Fox moved to adjourn the meeting at 8:15 p.m. Commissioner Whiting seconded the motion.*

Jason Allen	Yes
Robert Fox	Yes
Rod Hess	Excused
Brent Strong	Yes
Craig Whiting	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

The meeting was adjourned at 8:15 p.m.

Approved by the Planning Commission on

Brandon Larsen
Community Development Director

DRAFT



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	January 13, 2026 Planning Commission meeting minutes
ITEM TYPE:	Minutes
FISCAL IMPACT:	N/A
APPLICANT:	N/A

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

No

PREPARED BY

Megan Green, Planning
Secretary

PRESENTED BY

RECOMMENDATION:

N/A

BACKGROUND:

N/A

ITEMS FOR CONSIDERATION:

N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. 1.13.26 PC Meeting Minutes Draft



EAGLE MOUNTAIN PLANNING COMMISSION

MEETING MINUTES

January 13, 2026, 5:30 p.m.

Eagle Mountain City Council Chambers

1650 East Stagecoach Run, Eagle Mountain, Utah 84005

COMMISSION MEMBERS PRESENT: Commissioners Rod Hess, Brent Strong, and Bryan Free.

ELECTED OFFICIAL PRESENT: Mayor, Jared Gray

CITY STAFF PRESENT: Assistant City Manager, Steve Mumford; Brandon Larsen, Community Development Director; Marcus Draper, City Attorney; Zac Hilton, Assistant Public Works Director; Ben Reeves, City Manager; Robert Hobbs, Senior Planner; David Stroud, Senior Planner; Elizabeth Fewkes, Long-range Planner; and Megan Green, Planning Secretary.

5:30 P.M. – Eagle Mountain City Planning Commission Work Session

Commissioner Hess called the meeting to order at 5:32 p.m.

1. Discussion Items

1.A. DISCUSSION ITEMS – Parks, Trails and Open Space Master Plan and IFFP

Vince Alcott with MHTN Architects introduced the updated Parks, Trails, and Open Space Master Plan and IFFP to the Planning Commission. Vince explained the Plan's purpose, the coordination with other city plans, and the vision statement guiding the update. He outlined the Project's process, including community engagement and feedback, including a survey with 249 respondents which revealed that maintaining existing parks and trails was the top priority for respondents. Vince went over the updated Open Space classifications: developed, undeveloped, naturalized, and conservation open spaces. The City currently has 6.16 acres of park per 1000 people, down from 8.79 in 2020 due to population growth. Proposed strategies include focusing on community and regional parks, improving existing parks, and addressing speed and mode conflicts on trails. The Plan recommends developing official volunteer programs, improving signage, and increasing awareness of park and trail resources.

Commissioner Hess adjourned the work session at 6:21 p.m.

6:30 P.M. – Eagle Mountain City Planning Commission Policy Session

2. Commissioner Hess called the policy session to order at 6:30 p.m. stating that Commissioner Allen was excused.

3. Pledge of Allegiance

Commissioner Allen led the Pledge of Allegiance.

4. Declaration of Conflicts of Interest

None.

5. Approval of Meeting Minutes

5.A.

MOTION: *Commissioner Strong moved to table the minutes of December 9, 2025, Planning Commission meeting. Commissioner Hess seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

6. Status Report

Community Development Director Brandon Larsen reviewed the planning items discussed and voted upon during the December 16, 2025, City Council meeting.

7. Action and Advisory Items

7.A. Slope Development Code Amendment

Presentation Summary: Robert Hobbs presented the Slope Development Code Amendment. Staff was asked to prepare a code amendment to specify that slopes 25% or greater may not be graded or otherwise physically altered.

Discussion summary: The amendment includes defining slope, reformatting code language for clarity, and introducing a new definition for slope. Commissioners discussed the importance of clear and consistent language in the code and the need for proper implementation.

Commissioner Hess opened the public hearing at 7:08 p.m. As there were no comments, he closed the hearing at 7:09 p.m.

MOTION: *Commissioner Strong moved to recommend approval to the City Council of Item 7.A., Slope Development Code Amendment. Commissioner Hess seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.B. City Parks, Trails and Open Space Master Plan ordinance

Presentation summary: Eagle Mountain has contracted with MHTN to update the Parks, Trails and Open Space Plan. This effort includes a comprehensive inventory of the City's existing parks and recreational assets, an evaluation of current conditions, and an analysis of level of service to identify gaps and opportunities. The plan also outlines strategic recommendations to guide parks development and improvements over the next several years, including project prioritization based on community needs, service equity, and long-term buildout. An updated and associated Impact Fee Facilities Plan (IFFP) is also proposed.

Discussion summary: Vince Alcott with MHTN Architects briefly went through the Parks, Trails and Open Space Master Plan and IFFP. The plan was previously discussed during the Work Session of the Planning Commission meeting. Commissioners discussed the Plan's recommendations, including the importance of maintaining existing parks and addressing maintenance needs. The Plan's alignment with the City's overall transportation and development plans were also highlighted. The need for clear communication and outreach to residents about the plan and its implementation was emphasized.

Commissioner Hess opened the public hearing at 6:58 p.m. As there were no comments, he closed the hearing at 6:59 p.m.

MOTION: *Commissioner Hess moved to recommend approval to the City Council of Item 7.B., City Parks, Trails and Open Space Master Plan ordinance. Commissioner Strong seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

7.C. Overland Village 2 Phase B Concept Plan

Presentation Summary Points: Overland Village is guided by the initial Development Agreement and subsequent amendments. Village 2A consists of a school and several residential plats, containing single-family and townhome units. The second area to develop, Phase B contains single-family dwellings. A "Medium Park or Club Ivory" is contained in Village 2B and is required to be constructed prior to recording the plat containing the 400th residential unit.

Applicant's statements summary: Brad Mackey from Ivory Homes presented the Overland Village Phase 2B Concept Plan. Mackey agreed with Commissioner Hess on the importance of larger street trees for a canopy effect and compliance with the Code and applicable standards. The Concept Plan includes detailed landscaping guidelines and trail systems. The Plan also includes a requirement to construct a park before reaching a certain unit count. Mackey explained the development phases, including the paved road to Airport Road and the planned park, park access, and trail connections.

Discussion summary points: Commissioner Strong and David Stroud discussed the development phases and the reason for dead-ending roads, with input from the Fire Marshal Devoogd. Commissioner Hess asked about a connection to Airport Road, and Mackey confirmed the location of a four-way stop. Trail construction was discussed, and how it will be built with the roads in each phase. Overall the Commissioners were in favor of the Plan.

This Item was not a Public Hearing.

8. Next Scheduled Meeting

The next Planning Commission meeting is scheduled for February 10, 2026.

9. Adjournment

MOTION: *Commissioner Strong moved to adjourn the meeting at 7:35 p.m. Commissioner Hess seconded the motion.*

Jason Allen	Excused
Rod Hess	Yes
Brent Strong	Yes
Bryan Free	Yes

The motion passed with a unanimous vote.

The meeting was adjourned at 7:35 p.m.

Approved by the Planning Commission on

Brandon Larsen
Community Development Director

DRAFT



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	One Call Auto Site Plan
ITEM TYPE:	Site Plan
FISCAL IMPACT:	N/A
APPLICANT:	Mitchell Menlove

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
Employment Center/Campus / RTI	0.95

PUBLIC HEARING

Yes

PREPARED BY

David Stroud, Senior Planner

PRESENTED BY

David Stroud

RECOMMENDATION:

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the One Call Auto site plan.

BACKGROUND:

This request is to locate an auto repair business in the Rush Creek subdivision. A plat amendment was recently approved that divided two lots into four lots and one of these new lots is to be occupied by One Call Auto. OCA currently operates one location in Lehi, but the owner sees the need to expand into Eagle Mountain. The site plan contains one building of 4,432 square feet with six repair bays. The lot will also contain 8,757 square feet of landscaping.

ITEMS FOR CONSIDERATION:

The proposed site plan complies with all applicable standards in the site plan development (EMMC 17.100) and commercial design (EMMC 17.72) zoning standards.

PLANNING COMMISSION ACTION/RECOMMENDATION:

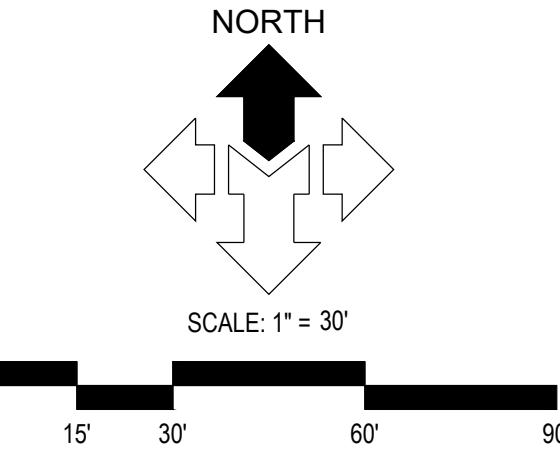
The Planning Commission shall make a recommendation to the City Council regarding the site plan.

ATTACHMENTS:

1. One Call Auto Civil
2. One Call Auto Elevations
3. One Call Auto Landscape
4. One Call Auto Lighting

ONE CALL AUTO CONSTRUCTION PLANS

657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN, UTAH 84043



RUSH CREEK PROPERTIES
59-024-0183

LOT 101
RUSH CREEK INDUSTRIAL
PHASE A, PLAT 1
ENTRY NO. 61319:2023
RUSH CREEK PROPERTIES LLC

LOT 114
RUSH CREEK INDUSTRIAL
PHASE A, PLAT 1B

LOT 11

PARCEL A
RUSH CREEK INDUSTRIAL
PHASE A, PLAT 1

WORK AND MATERIALS FOR WATER T CONFORM TO EAGLE MOUNTAIN Y STANDARDS AND SPECIFICATIONS

**ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO EAGLE MOUNTAIN
CITY STANDARDS AND SPECIFICATIONS**

**ALL WORK AND MATERIALS MUST
CONFORM TO APWA STANDARDS AND
SPECIFICATIONS**

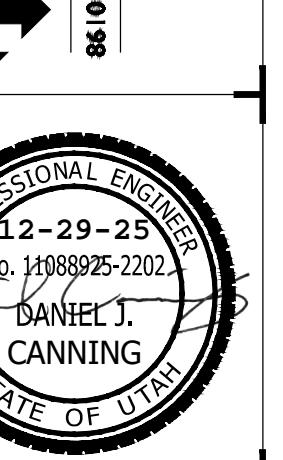
EVEI OPER & OWNER CONTACT INFO

OWNER: ONE CALL AUTO
DEVELOPER: MENLOVE CONSTRUCTION
DEVELOPER CONTACT: KEN MENLOVE
4243 WEST NIKE DRIVE SUITE C
WEST JORDAN, UTAH
PHONE: 801-671-4697



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LEGEND



GENERAL NOTES

1.1 COMPLIANCE

1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REGULATIONS.
2. ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

1.2 PERMITTING AND INSPECTIONS

1. PERMITTING: THE CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

1.3 COORDINATION & VERIFICATION

1. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OR ANY OTHER PERMITTING AUTHORITY PRIOR TO CONSTRUCTION OF ANY CHANGES TO THE PLANS. GRADE OR DIMENSIONAL CHANGES NOT APPROVED BY THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFORING BIDDING. ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN EASILY BE OBSERVED.

3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDINGS, PLANS FOR LOCATION OF SERVICES TO THE BUILDINGS, INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY, FOR TELEPHONE CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

1.4 SAFETY AND PROTECTION

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.

3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.

4. CONTRACTOR SHALL TAKE ALL MEASURES TO PROTECT PUBLIC AND PRIVATE PROPERTY, ROADS, AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAID BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.

5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT AREA. CONTRACTOR IS RESPONSIBLE TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.

6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

7. CONTRACTOR SHALL PLACE SAFETY BARRIERS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.

8. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.

9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.

10. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DUST RESULTING FROM AND ALL WORK IN CONJUNCTION WITH THE CONSTRUCTION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.

11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.

12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.

13. NATURAL VEGETATION AND SOIL COVERS SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASK CLEARING OF THE SITE IN AN APPROVED APPROXIMATE LOCATION AND AVOIDING CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.

14. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAID OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

1.5 GRADING / SOILS

1. CONTRACTOR SHALL SUBMIT A COMPLIANCE REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.

2. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.

3. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

1.6 UTILITIES

1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR TO VERIFY BY POTHoling BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT OF CONNECTION TO THE NEW LINE AND THE CONNECTION AT THE NEW LINE. NO COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
4. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHoling A MINIMUM OF 30 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH EXISTING UTILITIES. EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS OR ON BLUE STAKE MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
6. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. ALL STORM DRAIN IRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS.
9. ALL STORM DRAIN PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
10. NOTIFICATION IN THE FIELD OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHIN THE APPROVED GRADE OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

1.8 SURVEY CONTROL

1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH OUTSIDE REFILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

1.9 AMERICAN DISABILITIES ACT

1. PEDESTRIAN ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
*ROUTES SHALL HAVE A 2.0% (1:50) MAXIMUM CROSS SLOPE.
*ROUTES SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE.
*ROUTES SHALL HAVE A 1.25% (1:12) MAXIMUM RUNNING SLOPE.
2. ADA PARKING STALS AND ADJACENT ROUTES SHALL HAVE A 2.0% (1:50) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

EAGLE MOUNTAIN CITY GENERAL NOTES:

B. REFERENCE TO THE VERTICAL DATUM. THE 1929 NORTH AMERICAN VERTICAL DATUM (NAVD29) SHALL BE USED FOR ALL ELEVATION DATA.

C. BENCHMARK LOCATION AND ELEVATION FOR CHECKING CONSTRUCTION.

D. STATIONING ALIGNED FROM PLAN VIEW WITH THE PROFILE VIEW.

E. EXISTING GROUND, DITCH AND UTILITY LINES.

C. INCLUDE THE FOLLOWING FOR CURBS, GUTTERS, STORM DRAINS, DRAINAGE STRUCTURES, SIDEWALKS AND STREET SURFACING PLANS.

1. PLAN AND PROFILE FOR TOP BACK OF CURB FOR EACH SIDE OF THE STREET. LABEL PROFILE LINE AS TOP BACK OF CURB FOR BOTH SIDES OF STREET IF IT IS THE SAME.

2. STATIONING AND TOP BACK OF CURB ELEVATIONS WITH CURVE DATA FOR CURB RETURNS.

3. FLOW DIRECTION AND TYPE OF CROSS DRAINAGE STRUCTURES AT INTERSECTIONS WITH ADEQUATE FLOW LINE ELEVATIONS.

4. TYPE OF CURB AND GUTTER IF OTHER THAN THE STANDARD 30-INCH MODIFIED CURB AND GUTTER IN THE STANDARD DRAWINGS.

5. PLAN AND PROFILE OF ALL NEW AND EXISTING STORM DRAINS AND STORM MANHOLES AND BOXES.

6. STORM BOX AND MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RIM.

7. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING STORM DRAINS.

8. STORM WATER CALCULATIONS FOR A 25-YEAR AND 100-YEAR STORM.

9. DETAIL OF ADA RAMPS WITH DETECTABLE WARNING PADS.

D. INCLUDE THE FOLLOWING FOR SEWER PLANS:

1. PLAN AND PROFILE OF ALL NEW AND EXISTING SEWER MAINS AND MANHOLES.

2. MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RIM.

3. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING SEWER MAINS.

4. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.

DII. INCLUDE THE FOLLOWING FOR THE PRESSURIZED IRRIGATION PLANS:

1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING IRRIGATION MAINS.

2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.

3. LOCATION OF VALVES, FITTINGS, BOXES, METERS AND APPURTENANCES.

4. MINIMUM COVER.

5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.

B. INCLUDE THE FOLLOWING ON EACH DRAWING SHEET:

1. NORTH ARROW

2. SCALE. USE A STANDARD ENGINEERING SCALE BETWEEN ONE INCH EQUALS 10 FEET AND 60 FEET. USE A SCALE OF ONE INCH EQUALS 100 FEET ON THE PLAN VIEW OF THE ENTIRE PROJECT IF NECESSARY TO FIT THE PROJECT ON ONE SHEET.

3. TITLE BLOCK ALONG RIGHT SIDE OF SHEET WITH TITLE OF DRAWING IN LOWER RIGHT CORNER. INCLUDE IN TITLE BLOCK:

A. NAME OF SUBDIVISION AND PLAT AND LOT NUMBER.

B. NAME OF CITY.

C. SPECIFIC TYPE OF DRAWING (CONSTRUCTION DRAWINGS, PLAN VIEW, PROFILE AND PROFILES, OFF-SITE CONSTRUCTION, DETAIL DRAWINGS).

D. SPACE PROVIDED FOR APPROVAL SIGNATURE OF CITY ENGINEER OR HISHER DESIGNEE AND DATE.

E. NAME OF ENGINEER, SURVEYOR OR FIRM PREPARING DRAWINGS.

F. DRAWING NUMBER OF TOTAL NUMBER OF DRAWINGS.

4. ALSO INCLUDE THE FOLLOWING WITH PROFILE DRAWINGS:

A. VERTICAL SCALE OF ONE INCH EQUALS ONE, TWO, THREE OR FOUR FEET.

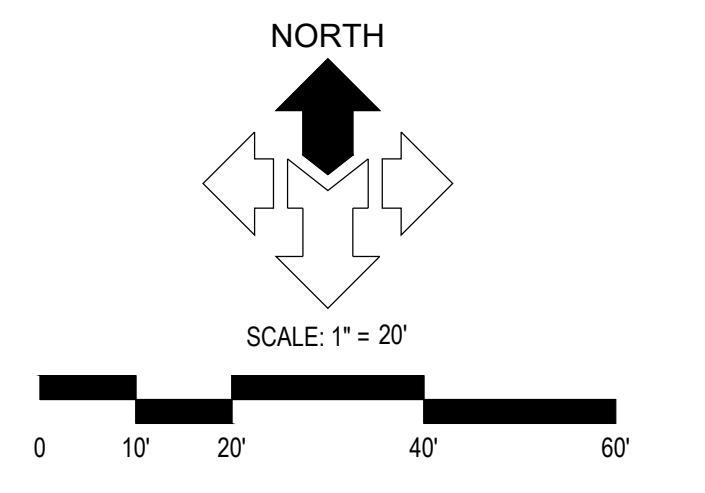
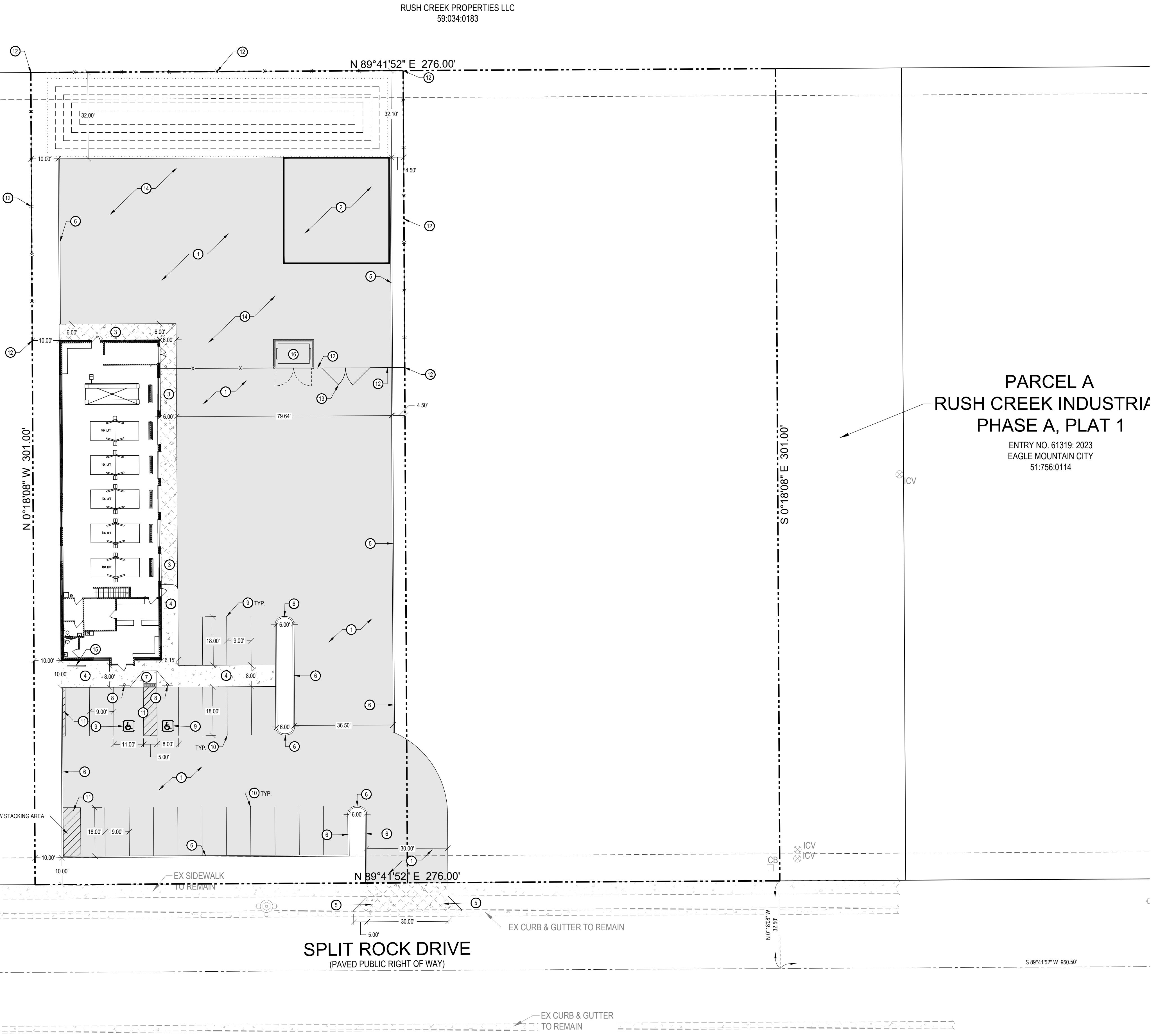
5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.

ABBREVIATIONS

AC	ACRE	DIP	DUCTILE IRON PIPE	GM	GAS METER	PCC	POINT OF COMPOUND CURVE	T	TOWNSHIP
ADA	AMERICANS WITH DISABILITIES ACT	DTREE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION	TBC	TOP BACK OF CURB
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	DYL	DOUBLE YELLOW LINE	GUY	GUY WIRE	PM	PARKING METER	TELE	TELEPHONE
BC	BUILDING CORNER	EB	ELECTRIC BOX	GV	GAS VALVE	PP	POINT OF PIPING	TFC	TOP FACE OF CURB
BFG	BOTTOM FINISH GRADE	EQL	ENERGY GRADE LINE	HG	HEADGATE	PRC	POINT OF REVERSE CURVE	TFG	TOP FACE OF GRADE
BLU	BLUE STAKED ELECTRIC	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	POC	POINT OF CONNECTION	TMH	TELEPHONE MANHOLE
BLUFO	BLUE STAKED FIBER OPTIC	EM	ELECTRIC METER	HP	HIGH POINT	PT	POINT OF TANGENCY	TOA	TOP OF ASPHALT
BLUH	BLUE STAKED PROPANE GAS	EDH	ELectRIC DRAIN HOLE	HWP	HEADWATER or HIGH WATER	PWR	POINT OF CONCRETE	TOC	TOP OF CONCRETE
BLUR	BLUE STAKED IRRIGATION	EOA	EDGE OF ASPHALT	HWW	HIGHWAY	PVC	POLE/PIPE/CHLORIDE PIPE		

LOT 101
RUSH CREEK INDUSTRIAL
PHASE A, PLAT 1

ENTRY NO. 61319:2023
 RUSH CREEK PROPERTIES LLC
 51:756:0101



DESCRIPTION	AREA	%
Hardscape	28,349 SQFT	68%
Landscape	8,757 SQFT	21%
Buildings	4,432 SQFT	11%
TOTAL	41,538 SQFT	100%

GENERAL NOTES:
 ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
 SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
 ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

PARCEL A
RUSH CREEK INDUSTRIAL
PHASE A, PLAT 1

ENTRY NO. 61319:2023
 EAGLE MOUNTAIN CITY
 51:756:0114

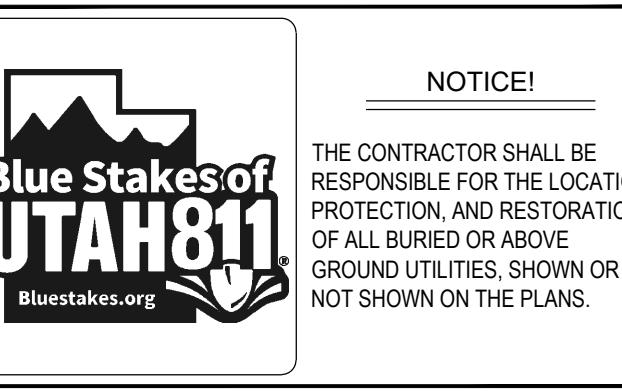
ONE CALL AUTO

657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN UTAH 84043

REVISIONS	REV	DATE	DESCRIPTION

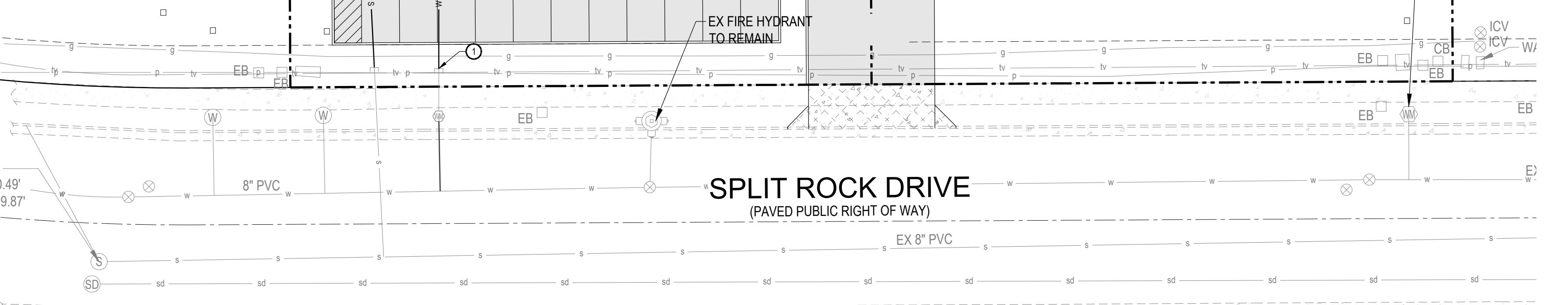
PROJECT NO: 25446
 DRAWN BY: TJO
 CHECKED BY: DJC
 DATE: 12/29/25

CIVIL
SITE PLAN
C1.01



LOT 101
JSH CREEK INDUSTRIAL
PHASE A, PLAT 1

ENTRY NO. 61319-2023
RUSH CREEK PROPERTIES LLC
51-756-0101



EAGLE MOUNTAIN CITY GENERAL NOTES:

FOLLOWING APPROVAL OF THE CITY COUNCIL, FOUR COPIES OF THE CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL. ONE APPROVED COPY SHALL BE KEPT BY THE ENGINEER AND ONE COPY RETURNED TO THE SUBDIVIDER WITH THE APPROVAL MARK AND SIGNATURE OF THE CITY ENGINEER OR HISHER DESIGNEE. ONE APPROVED COPY SHALL BE KEPT AVAILABLE AT THE CONSTRUCTION SITE.

THESE PLANS AND DESIGNS SHALL MEET THE STANDARDS DEFINED IN THE SPECIFICATIONS AND DRAWINGS OF THE CITY DESCRIBED HEREIN. THE MINIMUM INFORMATION REQUIRED ON DRAWINGS FOR IMPROVEMENTS ARE AS FOLLOWS:

ALL DRAWINGS AND/OR PRINTS SHALL BE CLEAR AND LEGIBLE AND CONFORM TO GOOD ENGINEERING AND DRAFTING ROOM PRACTICE. SIZE OF DRAWINGS SHALL BE 24-INCH BY 36-INCH (TRIM LINE) WITH MINIMUM BORDERS OF ONE-HALF INCH ON TOP, BOTTOM AND RIGHT SIDES, LEFT SIDE ONE AND ONE-HALF INCH.

A. INCLUDE THE FOLLOWING WITH THE CONSTRUCTION DRAWINGS:

1. A COPY OF THE PROPOSED FINAL PLAT.
2. A PLAN VIEW OF THE ENTIRE PROJECT.
3. PLAN AND PROFILES OF ALL CURBS, GUTTERS, STORM DRAINS, WATER, PRESSURIZED IRRIGATION AND SEWER SYSTEMS.
4. DETAIL DRAWINGS ONLY FOR ITEMS NOT FOUND IN THE APWA MANUAL. DETAIL DRAWINGS SHALL BE TO SCALE AND COMPLETELY DIMENSIONED AND DESCRIBED. ALL STRUCTURES SHALL BE DESIGNED IN ACCORDANCE WITH MINIMUM REQUIREMENTS ESTABLISHED BY THIS TITLE OR THE APWA MANUAL.
5. COMPLETE PLANS FOR ALL OFF-SITE WORK TO BE DONE IN CONJUNCTION WITH THE PROJECT.
6. A SWPPP PAGE WITH MAPS SHOWING:

- A. STORM DRAIN SYSTEM.
- B. TOPOGRAPHICAL LINES AND FLOW ARROWS.
- C. UPDES PERMIT NUMBER WITH CONTACT INFORMATION.
- D. LOCATIONS OF BMPs AND GOOD HOUSEKEEPING MEASURES.
- E. PERMANENT BMPs AND HIGH HOUSEKEEPING SITES.

B. INCLUDE THE FOLLOWING ON EACH DRAWING SHEET:

1. NORTH ARROW.
2. SCALE USE A STANDARD ENGINEERING SCALE BETWEEN ONE INCH EQUALS 10 FEET AND 60 FEET. USE A SCALE OF ONE INCH EQUALS 100 FEET ON THE PLAN VIEW OF THE ENTIRE PROJECT IF NECESSARY TO FIT THE PROJECT ON ONE SHEET.
3. TITLE BLOCK ALONG RIGHT SIDE OF SHEET WITH TITLE OF DRAWING IN LOWER RIGHT CORNER. INCLUDE IN TITLE BLOCK:

- A. NAME OF SUBDIVISION AND PLAT AND LOT NUMBER.
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- C. SPECIFIC TYPE OF DRAWING (CONSTRUCTION DRAWINGS, PLAN VIEW, PLAN AND PROFILES, OFF-SITE CONSTRUCTION, DETAIL DRAWINGS).
- D. SPACE PROVIDED FOR APPROVAL SIGNATURE OF CITY ENGINEER OR HISHER DESIGNEE AND DATE.
- E. NAME OF ENGINEER, SURVEYOR OR FIRM PREPARING DRAWINGS.
- F. DRAWING NUMBER OF TOTAL NUMBER OF DRAWINGS.

4. ALSO INCLUDE THE FOLLOWING WITH PROFILE DRAWINGS:

- A. VERTICAL SCALE OF ONE INCH EQUALS ONE, TWO, THREE OR FOUR FEET.
- B. STATIONING AND TOP BACK OF CURB ELEVATIONS WITH CURVE DATA FOR CURB RETURNS.
- C. FLOW DIRECTION AND TYPE OF CROSS DRAINAGE STRUCTURES AT INTERSECTIONS WITH ADEQUATE FLOW LINE ELEVATIONS.
- D. TYPE OF CURB AND GUTTER IF OTHER THAN THE STANDARD 30-INCH MODIFIED CURB AND GUTTER ON THE STANDARD DRAWINGS.
- E. PLAN AND PROFILE OF ALL NEW AND EXISTING STORM DRAINS AND STORM MANHOLES AND BOXES.
- F. STORM BOX AND MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RIM.
- G. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING STORM DRAINS.
- H. STORM WATER CALCULATIONS FOR A 25-YEAR AND 100-YEAR STORM.
- I. DETAIL OF ADA RAMPS WITH DETECTABLE WARNING PADS.

C. INCLUDE THE FOLLOWING FOR CURBS, GUTTERS, STORM DRAINS, DRAINAGE STRUCTURES, SIDEWALKS AND STREET SURFACING PLANS:

1. PLAN AND PROFILE FOR TOP BACK OF CURB FOR EACH SIDE OF THE STREET. LABEL PROFILE LINE AS TOP BACK OF CURB FOR BOTH SIDES OF STREET IF IT IS THE SAME.
2. STATIONING AND TOP BACK OF CURB ELEVATIONS WITH CURVE DATA FOR CURB RETURNS.
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8. STORM WATER CALCULATIONS FOR A 25-YEAR AND 100-YEAR STORM.
9. DETAIL OF ADA RAMPS WITH DETECTABLE WARNING PADS.

D. INCLUDE THE FOLLOWING FOR SEWER PLANS:

1. PLAN AND PROFILE OF ALL NEW AND EXISTING SEWER MAINS AND MANHOLES.
2. MANHOLE SIZE, LOCATION, AND ELEVATIONS OF FLOW LINES AND RIM.
3. LOCATION, SIZE, GRADE AND TYPE OF PIPE OF NEW AND EXISTING SEWER MAINS.
4. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.

DII. INCLUDE THE FOLLOWING FOR CULINARY WATER PLANS:

1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING WATER MAINS.
2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.
3. LOCATION OF VALVES, FITTINGS, HYDRANTS, BOXES, METERS AND APPURTENANCES.
4. MINIMUM COVER.
5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.

DIII. INCLUDE THE FOLLOWING FOR THE PRESSURIZED IRRIGATION PLANS:

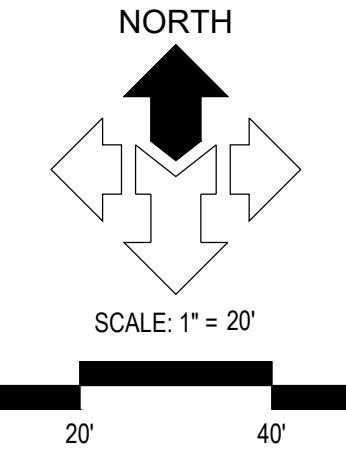
1. LOCATION, SIZE AND TYPE OF PIPE OF NEW AND EXISTING IRRIGATION MAINS.

2. PROFILE OR DETAIL SHOWING SEPARATION AT EACH CONFLICTING UTILITY CROSSING.

3. LOCATION OF VALVES, FITTINGS, BOXES, METERS AND APPURTENANCES.

4. MINIMUM COVER.

5. LOCATION OF EACH LATERAL WITH DISTANCE STUBBED BACK INTO PROPERTY CLEARLY DRAWN AND DIMENSIONED.



GENERAL NOTES:

CONTRACTOR IS TO COORDINATE ALL SITE UTILITIES WITH PLUMBING DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.

CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATION / DATA FACILITIES TO BUILDING WITH UTILITY PROVIDER.

CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH DOMINION ENERGY AND MECHANICAL PLANS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY PROVIDERS:

WATER EAGLE MOUNTAIN

SEWER EAGLE MOUNTAIN

NATURAL GAS ENBRIDGE GAS

ELECTRICAL POWER ROCKY MOUNTAIN POWER

TELEPHONE CENTURY LINK

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ① CONNECT NEW 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE TO EXISTING WATER STUB, PER EAGLE MOUNTAIN CITY DETAIL '5'.
- ② 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE, PER EAGLE MOUNTAIN CITY DETAIL '5'.
- ③ 4" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING ALL FITTINGS. CLEANOUTS AT 50-FOOT MAXIMUM SPACING PER EAGLE MOUNTAIN CITY DETAIL '2'.
- ④ SANITARY SEWER CLEANOUT, PER APWA PLAN NO. 431.
- ⑤ APPROXIMATE LOCATION OF NEW UNDERGROUND POWER SERVICE LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ROCKY MOUNTAIN POWER WITH OTHER CONSTRUCTION.
- ⑥ APPROXIMATE LOCATION OF NEW NATURAL GAS FACILITIES. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ENBRIDGE GAS WITH OTHER CONSTRUCTION.
- ⑦ APPROXIMATE LOCATION OF NEW UNDERGROUND TELEPHONE LINE. CONTRACTOR TO COORDINATE DESIGN AND INSTALLATION BY CENTURY LINE WITH OTHER CONSTRUCTION.

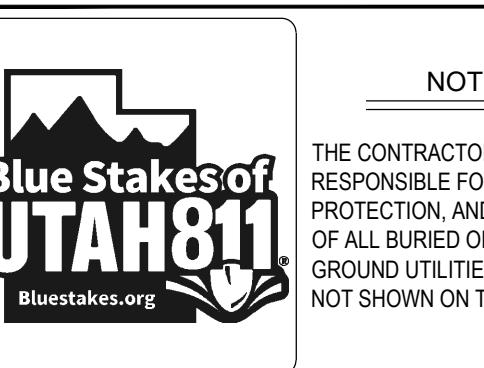
ONE CALL AUTO

657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN UTAH 84043

REVISIONS
DESCRIPTION

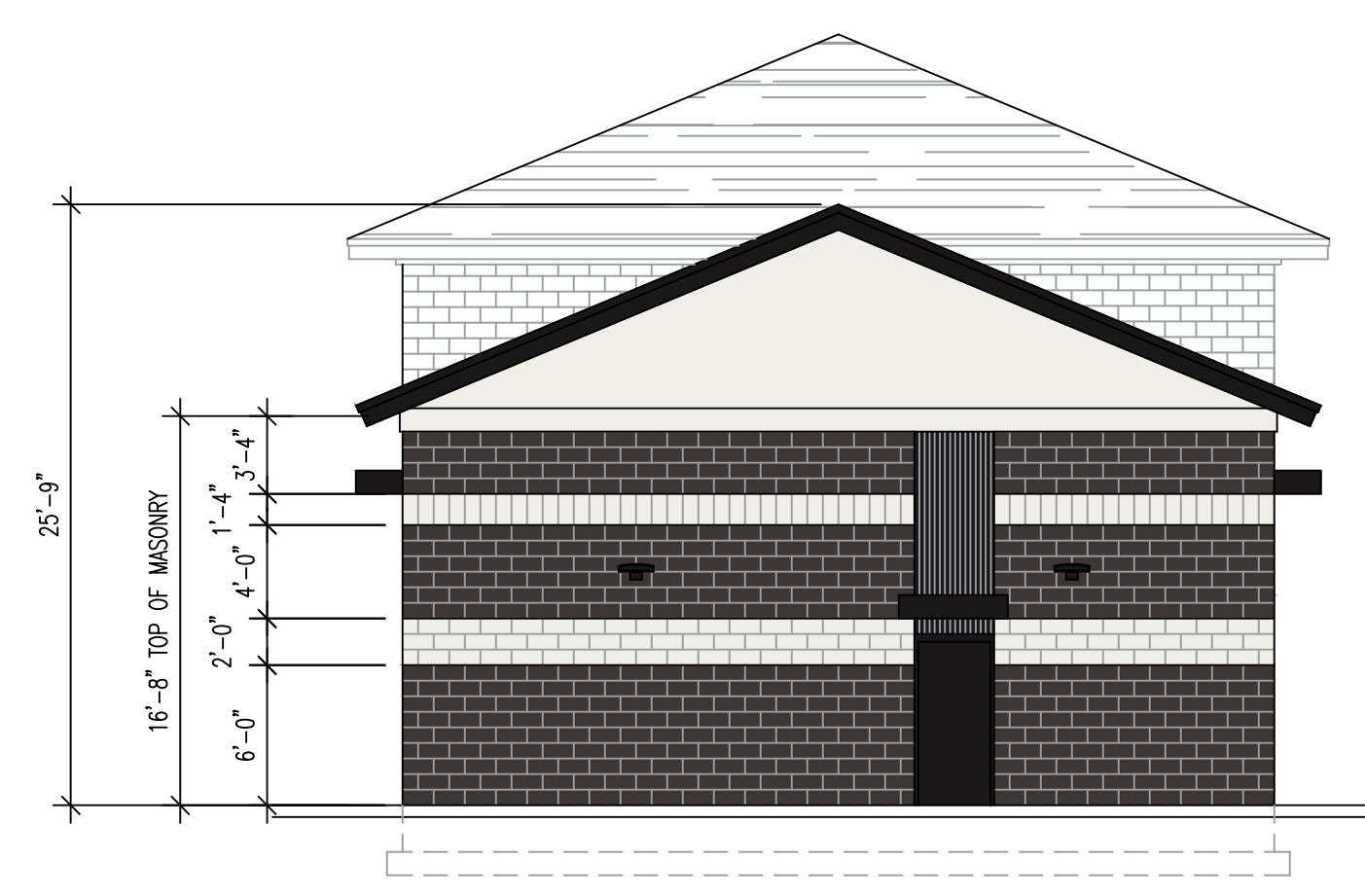
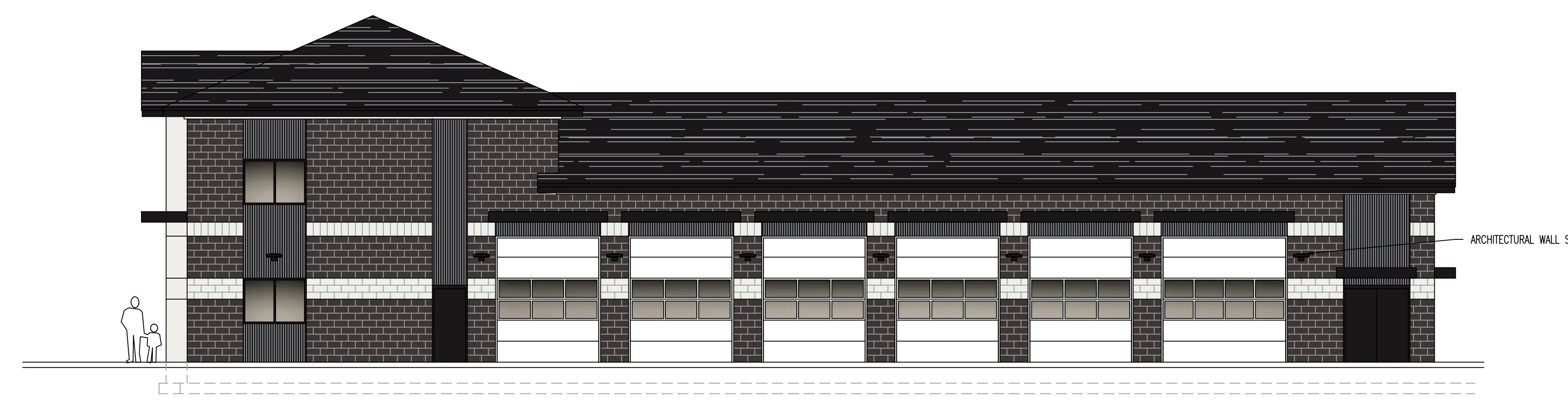
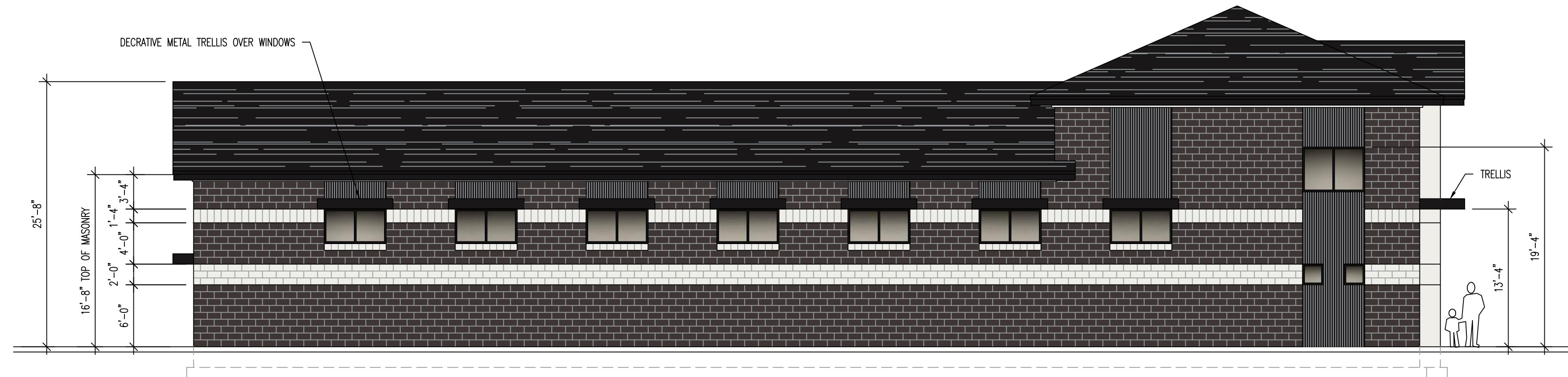
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DRAWN BY: TJO
CHECKED BY: DJC
DATE: 12/29/25

SITE
UTILITY
PLAN
C4.01



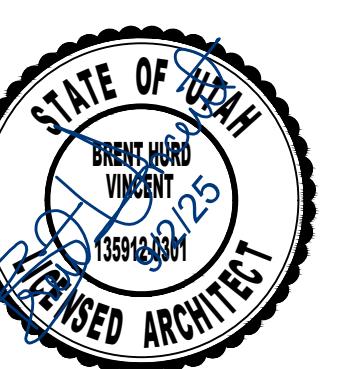
NOTICE!

THE CONTRACTOR SHALL BE
RESPONSIBLE FOR THE LOCATION,
PROTECTION, AND RESTORATION
OF ALL BURIED OR ABOVE
GROUND UTILITIES, SHOWN OR
NOT SHOWN ON THE PLANS.



ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS, INDICATED, OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINCENT DESIGN GROUP, INC. AND WERE CREATED, DEVELOPED, AND DEVELOPED WITH THIS SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED, BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, OR ANY OTHER PERSON, FIRM, OR CORPORATION, OR ANY OTHER PERSON, FIRM, OR CORPORATION, WITHOUT WRITTEN CONSENT OF VINCENT DESIGN GROUP, INC. BRENT H. VINCENT, REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 1005 UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET, MISAPPROPRIATION, IN VIOLATION OF 18 U.S.C. SEC. 1005 ET. SEQ. AND OTHER LAWS.

VDG VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS



ONE CALL AUTOMOTIVE

657 E SPLIT ROCK DRIVE
EAGLE MOUNTAIN, UTAH
EXTERIOR ELEVATIONS

ARCH. PROJECT NO: 25-64
DATE: 9/2/25
DRAWN BY: BRENT
CHECKED BY:
DESIGNED BY:
© COPYRIGHT VDG ARCHITECTS

DATE REVISION

SHEET TITLE

A-2.00
ARCHITECTURAL



ONE CALL AUTO
657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN, UTAH

COMMON EARTHWORK NOTES

- VERIFICATION OF CONDITIONS:
 - FORTY-EIGHT (48) HOURS MINIMUM BEFORE COMMENCING ANY WORK ON SITE, CONTACT THE APPROPRIATE UNDERGROUND UTILITY SERVICE AGENCY TO ARRANGE FOR UTILITY LOCATION SERVICES.
 - PERFORM MINOR INVESTIGATIVE EXCAVATIONS TO VERIFY LOCATION OF VARIOUS EXISTING UNDERGROUND FACILITIES AT SUFFICIENT LOCATIONS TO ASSURE THAT CONFLICT WITH THE PROPOSED WORK IS NOT AND SUFFICIENT CLEARANCE IS AVAILABLE TO AVOID DAMAGE TO EXISTING FACILITIES.
 - PERFORM INVESTIGATIVE EXCAVATING TEN (10) DAYS MINIMUM IN ADVANCE OF PERFORMING ANY EXCAVATION OR UNDERGROUND WORK.
 - UPON DISCOVERY OF CONFLICTS OR PROBLEMS WITH EXISTING FACILITIES, NOTIFY ARCHITECT BY PHONE OR FAX WITHIN TWENTY-FOUR (24) HOURS FOLLOW TELEGRAPHIC OR FAX COMMUNICATION WITH LETTER AND DIAGRAMS INDICATING CONFLICT OR PROBLEM AND SUFFICIENT MEASUREMENTS AND DETAILS TO EVALUATE PROBLEM.
- PROTECTION:
 - SPILLAGE:**
 - AVOID SPILLAGE BY COVERING AND SECURING LOADS WHEN HAULING ON OR ADJACENT TO PUBLIC STREETS OR HIGHWAYS.
 - DRIVE SPILLAGE AND SWEEP, WASH, OR OTHERWISE CLEAN PROJECT, STREETS, AND HIGHWAYS.
 - DUST CONTROL:**
 - TAKE PRECAUTIONS NECESSARY TO PREVENT DUST NUISANCE, BOTH ON-SITE AND ADJACENT TO PUBLIC AND PRIVATE PROPERTIES.
 - CORRECT OR REPAIR DAMAGE CAUSED BY DUST.
 - DO NOT DAMAGE TOPS, TRUNKS, AND ROOTS OF EXISTING TREES AND SHRUBS ON SITE THAT ARE INTENDED TO REMAIN.
 - DO NOT USE HEAVY EQUIPMENT WITHIN BRANCH SPREAD.
 - INTERFERING BRANCHES MAY BE REMOVED ONLY UPON APPROVAL OF ARCHITECT.
 - DO NOT DAMAGE OTHER PLANTS AND FEATURES THAT ARE TO REMAIN.
 - PROTECT UTILITIES AND SITE ELEMENTS FROM DAMAGE.
 - LIMIT USE OF HEAVY EQUIPMENT TO AREAS NO CLOSER THAN 6 FEET (1.80 METER) FROM BUILDING OTHER PERMANENT STRUCTURES.
 - REPAIR / RESTORATION:**
 - ADJUST EXISTING COVERS, BOXES, AND VAULTS TO GRADE.
 - REPLACE BROKEN OR DAMAGED COVERS, BOXES, AND VAULTS.
 - INDEPENDENTLY CONFIRM SIZE, LOCATION, AND NUMBER OF COVERS, BOXES, AND VAULTS THAT REQUIRE ADJUSTMENT.
 - NON-CONFORMING WORK:**
 - IF SPECIFIED PROTECTION PRECAUTIONS ARE NOT TAKEN OR CORRECTIONS AND REPAIRS NOT MADE PROMPTLY, OWNER MAY TAKE SUCH STEPS AS MAY BE DEEMED NECESSARY AND INJUDGMENT COSTS OF SUCH FROM OWNER'S PART, CONTRACTOR, OR ARCHITECT OR LACK OF ACTION ON OWNER'S PART DOES NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR PROPER PROTECTION OF THE WORK.

TOPSOIL & GRADING NOTES

- IMPORT AND INSTALL TOPSOIL AS NEEDED TO FILL ALL PLANTING AREAS. SUBMIT TEST BY LICENSED LABORATORY TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, TOPSOIL USED IN LANDSCAPED AREAS SHALL BE WEED FREE, FERTILE, LOOSE, FRIABLE SOIL MEETING THE FOLLOWING CRITERIA:
 - CHEMICAL CHARACTERISTICS:**
 - SOUBLE SALTS: LESS THAN 3.0 MHOS/cm.
 - PH 5.5 TO 9.0.
 - SODIUM ABSORPTION RATIO (SAR): LESS THAN 6.0.
 - ORGANIC MATTER: GREATER THAN ONE PERCENT.
 - PHYSICAL CHARACTERISTICS:**
 - GRADATION DEFINED BY USDA TRIANGLE OF PHYSICAL CHARACTERISTICS AS MEASURED BY HYDRAULIC TEST.
 - SAND: 15 TO 60 PERCENT.
 - SILT: 10 TO 60 PERCENT.
 - CLAY: 5 TO 30 PERCENT.
 - CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, NOXIOUS WEEDS, ROCKS LARGER THAN OR EQUAL TO 1/2 INCH (38 MM) IN ANY DIMENSION, AND OTHER OBJECTIONABLE MATERIALS.
 - SOIL:**
 - SOIL SHALL NOT CONTAIN MORE THAN FIVE (5) PERCENT BY VOLUME OF ROCKS MEASURING OVER 1/4 INCH (6 MM) IN LARGEST SIZE.
 - SOIL SHALL BE TOPSOIL IN NATURE.
 - SOIL RESEMBLING ROAD BASE OR OTHER LIKE MATERIALS ARE NOT ACCEPTABLE.
 - INSTALL A MINIMUM DEPTH OF 6 INCHES TOPSOIL IN LAWN AND GROUND COVER PLANTING AREAS. NO TOPSOIL REQUIRED IN TREE AND SHRUB PLANTING AREAS OR NATIVE GRASS, SHRUB, OR TREE AREAS AS LONG AS WHAT IS IN PLACE IS NOT EXCESSIVELY ROCKY OR OTHERWISE UNFAVORABLE TO HEALTHY PLANT GROWTH. IF IT IS UNFAVORABLE, INSTALL A MINIMUM DEPTH OF 12 INCHES. PROVIDE NO LESS THAN ONE (1) YEAR TO ACHIEVE TOPSOIL REQUIREMENT IN PLANTING NOTE 5. INSTALLER OF THIS SECTION IS RESPONSIBLE FOR PROVIDING SUFFICIENT TOPSOIL MATERIAL.
 - FINISH TOPSOIL GRADE OF PLANTING AREAS BEFORE PLANTING AND AFTER ADDITION OF SOIL ADDITIVES SHALL BE SPECIFIED DISTANCES BELOW TOP OF ADJACENT PAVEMENT OR LAWNS:
 - GROUND COVER AREAS: 2 INCHES BELOW.
 - SEDED AREAS: ONE INCH BELOW.
 - TREE AND SHRUB AREAS (NOT INDIVIDUAL TREES): 4 INCHES BELOW.
 - RAKE THE FINISH GRADE OF THE TOPSOIL WITHIN THE PLANTING AREAS TO REMOVE CLODS, ROCKS, WEEDS, ROOTS, DEBRIS OR OTHER MATERIAL 1/2" OR MORE IN ANY DIMENSION. GRADE AND SHAPE LANDSCAPE AREA TO BRING SURFACE TO TRUE UNIFORM PLANES FREE FROM IRREGULARITIES AND TO PROVIDE PROPER SLOPE FOR DRAINAGE.

IRRIGATION NOTES

- FURNISH AND INSTALL LANDSCAPE IRRIGATION SYSTEM AS DESCRIBED IN CONTRACT DOCUMENTS COMPLETE WITH ACCESSORIES NECESSARY FOR PROPER FUNCTION.
- FIELD TESTS AND INSPECTIONS:
 - IRRIGATION SYSTEM:**
 - NOTIFY LANDSCAPE ARCHITECT TWO (2) WORKING DAYS PRIOR TO BEING CONDUCTED TEST.
 - IN PRESENCE OF LANDSCAPE ARCHITECT, PRESSURE TEST MAIN LINE WITH ALL VALVES INSTALLED.
 - TEST PRESSURE AT 100 PSI (690 KPA) MINIMUM FOR TWO (2) HOURS MINIMUM.
 - VERIFY THERE ARE NO LEAKS.
 - RECEIVE LANDSCAPE ARCHITECT APPROVAL TO PROPOSED PRIOR TO BACKFILLING.
 - TEST REPORT:**
 - FOLLOWING PRESSURE TEST, CREATE PRESSURE TEST REPORT DOCUMENT PRESSURE TEST RESULTS THROUGH PROVIDING PHOTOS, LISTING PROCESSES USED, ISSUES ENCOUNTERED, AND MEASURES TAKEN TO CORRECT THEM.
 - STABILIZATION OF SOILS AND GROUNDS THROUGH:
 1. LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE(S) WILL SITE AND CREATE LIST OF NON-COMFORMING ITEMS TO BE RESOLVED PRIOR TO LANDSCAPE FINAL ACCEPTANCE. DATE ON THIS LIST WILL ACT AS DATE OF LANDSCAPE SUBSTANTIAL COMPLETION.
 2. INSTALLATION OF BACKFILL AFTER WATER SOURCE HAS BEEN TURNED OFF FOR SEASON, AS DETERMINED BY LANDSCAPE ARCHITECT, WILL BE INSPECTED FOLLOWING SPRING AFTER SYSTEM CAN BE CHECKED FOR PROPER OPERATION.
 - IRRIGATION APPROVAL:**
 - IRRIGATION WILL BE APPROVED WHEN ALL NON-COMFORMING WORK IS BROUGHT INTO CONFORMANCE.
 - CORRECT ANY WORK FOUND DEFECTIVE OR NOT COMPLYING WITH CONTRACT DOCUMENT REQUIREMENTS AT NO ADDITIONAL COST TO OWNER.
 - WINTERIZATION AND SPRING START-UP:**
 - DURING FIRST YEAR OF OPERATION, INSTALLER SHALL SHOT-DOWN IRRIGATION SYSTEM PRIOR TO FREEZING TEMPERATURES AND RE-START IRRIGATION SYSTEM AT BEGINNING OF GROWING SEASON.
 - A. WINTER SHOT-DOWN IS INTENDED TO REMOVE ALL POTENTIALLY DAMAGING WATER FROM IRRIGATION SYSTEM. PERFORM FOLLOWING AS WELL AS ANY OTHER EFFORTS NECESSARY TO PROPERLY WINTERIZE SYSTEM:
 - 1) TURN OFF WATER SOURCE AT POINT OF CONNECTION.
 - 2) BLOW OUT SYSTEM WITH PRESSURIZED AIR, TURNING ON EACH VALVE UNTIL WATER IS CLEARED OUT OF SYSTEM. RUN THROUGH SYSTEM TWICE. ONLY BLOW OUT COMPONENTS SUITABLE TO RECEIVE PRESSURIZED AIR. HYDROMETERS, FOR INSTANCE, SHOULD NOT BE BLOWN OUT. DO NOT USE EXCESSIVE AIR PRESSURE THAT WILL DAMAGE PIPES AND PARTS.
 - 3) TURN CONTROLLER OFF OR IF AVAILABLE TURN TO PERTINENT WINTERIZATION.
 - 4) OPEN ALL MANUAL DRAIN VALVES.
 - 5) DRAIN, WRAP, PROTECT, OR REMOVE ANY BATTERY, DEVIATOR, OR THERMISTOR FROM FREEZING TEMPERATURES USING MANUFACTURER'S RECOMMENDATIONS AND BEST PRACTICES. COORDINATE METHOD WITH OWNER'S REPRESENTATIVE.
 - 6) DRAIN AND REMOVE PUMPS FOR OWNER'S REPRESENTATIVE STORAGE.
 - 7) DRAIN AND REMOVE PUMPS FOR MANUFACTURER'S RECOMMENDATIONS.
 - 8) CHECK SPRINKLER HEADS TO MAKE SURE THEY ARE BELOW SIDEWALK AND CURB LEVELS AND NOT VULNERABLE TO SNOWPLOW DAMAGE. LOWER HEADS TO PROPER ELEVATION.
 - 9) NOTIFY OWNER'S REPRESENTATIVE WHEN SYSTEM HAS BEEN TURNED OFF.
 - B. SPRINKLER SYSTEMS WILL INCLUDE FOLLOWING:
 - 1) CLOSE ALL MANUAL VALVES.
 - 2) CLEAN PUMP FILTERS AND REPLACE IF NECESSARY.
 - 3) REMOVE FREEZE PROTECTION AS REQUIRED.
 - 4) TURN ON WATER SOURCE AT POINT OF CONNECTION.
 - 5) VERIFY THAT CONTROLLER(S) AND RAIN SENSOR ARE PROPERLY OPERATING. CHANGE BATTERY IN CONTROLLER(S) AND SENSOR(S) AS REQUIRED.
 - 6) TURN ON SPRINKLER SYSTEM. RUN EACH VALVE FOR TWO (2) MINUTES TO CHECK FOR DAMAGE, LEAKS, AND COVERAGE.
 - 7) REPAIR AND ADJUST SYSTEM AS NEEDED. FINE TUNE HEADS FOR EFFICIENT COVERAGE.
 - 8) NOTIFY OWNER'S REPRESENTATIVE WHEN SYSTEM HAS BEEN CHARGED AND IS IN FULL REPAIR.
 13. **SLEEVING:**
 - A. SLEEVE WATER LINES AND CONTROL WIRES UNDER WALKS AND PAVING. EXTEND SLEEVES 6 INCHES (150 MM) MINIMUM BEYOND WALK OR PAVING EDGE. COVER SLEEVES UNTIL PIPES AND WIRES ARE INSTALLED TO KEEP THEM CLEAN AND FREE OF DIRT AND DEBRIS.
 - B. POSITION SLEEVES WITH RESPECT TO BUILDINGS AND OTHER OBSTRUCTIONS SO PIPE CAN BE EASILY REMOVED.
 - C. INSTALL SLEEVES AND CONDUIT BEFORE INSTALLATION OF CAST-IN-PLACE CONCRETE SIDE ELEMENTS AND PAVING. COORDINATE WITH APPROPRIATE SUB-CONTRACTOR AS NEEDED FOR TIMELY INSTALLATION.
 14. **GRADES AND DRAINING:**
 - IN LOCALITIES WHERE WINTERIZATION IS REQUIRED, GRADE PIPING SO SYSTEM CAN BE COMPLETELY DRAINED OR BLOWN OUT WITH COMPRESSED AIR. IF SYSTEM IS NOT DESIGNED TO BE BLOWN OUT WITH COMPRESSED AIR:
 1. SLOPE PIPE TO DRAIN TO CONTROL VALVE BOX WHERE POSSIBLE.
 2. WHERE THIS IS NOT POSSIBLE, SLOPE PIPE TO MINIMUM NUMBER OF LOW POINTS. AT THESE LOW POINTS, INSTALL:
 - a) 3/4 INCH (19 MM) BRASS BALL VALVE FOR MANUAL DRAINING.
 - b) INSTALL 2 INCH (50 MM) CLASS 250 PVC PIPE OVER TOP OF DRAIN AND CUT AT FINISH GRADE.
 - c) PROVIDE RUBBER VALVE CAP MARKER.
 - d) PROVIDE ONE CU FT (0.03 CU M) PEA GRAVEL SUMP AT OUTLET OF EACH DRAIN.
 3. SLOPE PIPES UNDER PARKING AREAS OR DRIVEWAYS TO DRAIN OUTSIDE THESE AREAS.
 4. PROVIDE AN APPROPRIATE COUPLING VALVE OR VALVE LOCATION FOR EASY BLOWOUT OF ENTIRE SYSTEM. INSTALL QUICK COUPLER VALVES WITH 2 LINEAL FEET (0.60 M) MINIMUM OF GALVANIZED PIPE BETWEEN VALVE AND MAIN LINE.
 - E. FINAL PAYMENT FOR SYSTEM WILL NOT BE AUTHORIZED UNTIL CLOSEOUT SUBMITTALS ARE RECEIVED AND ACCEPTED BY ARCHITECT AND LANDSCAPE ARCHITECT.

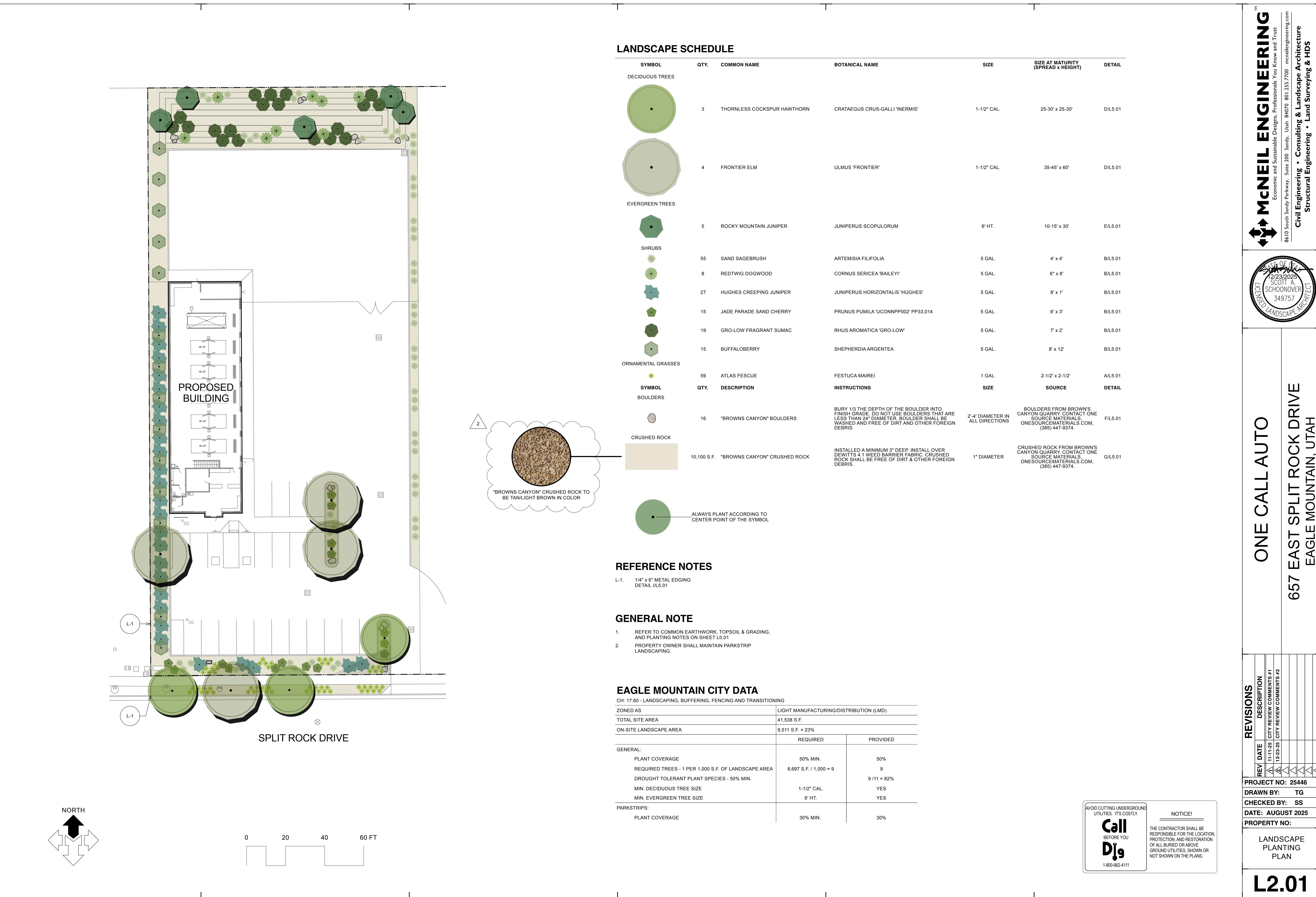
PLANTING NOTES:

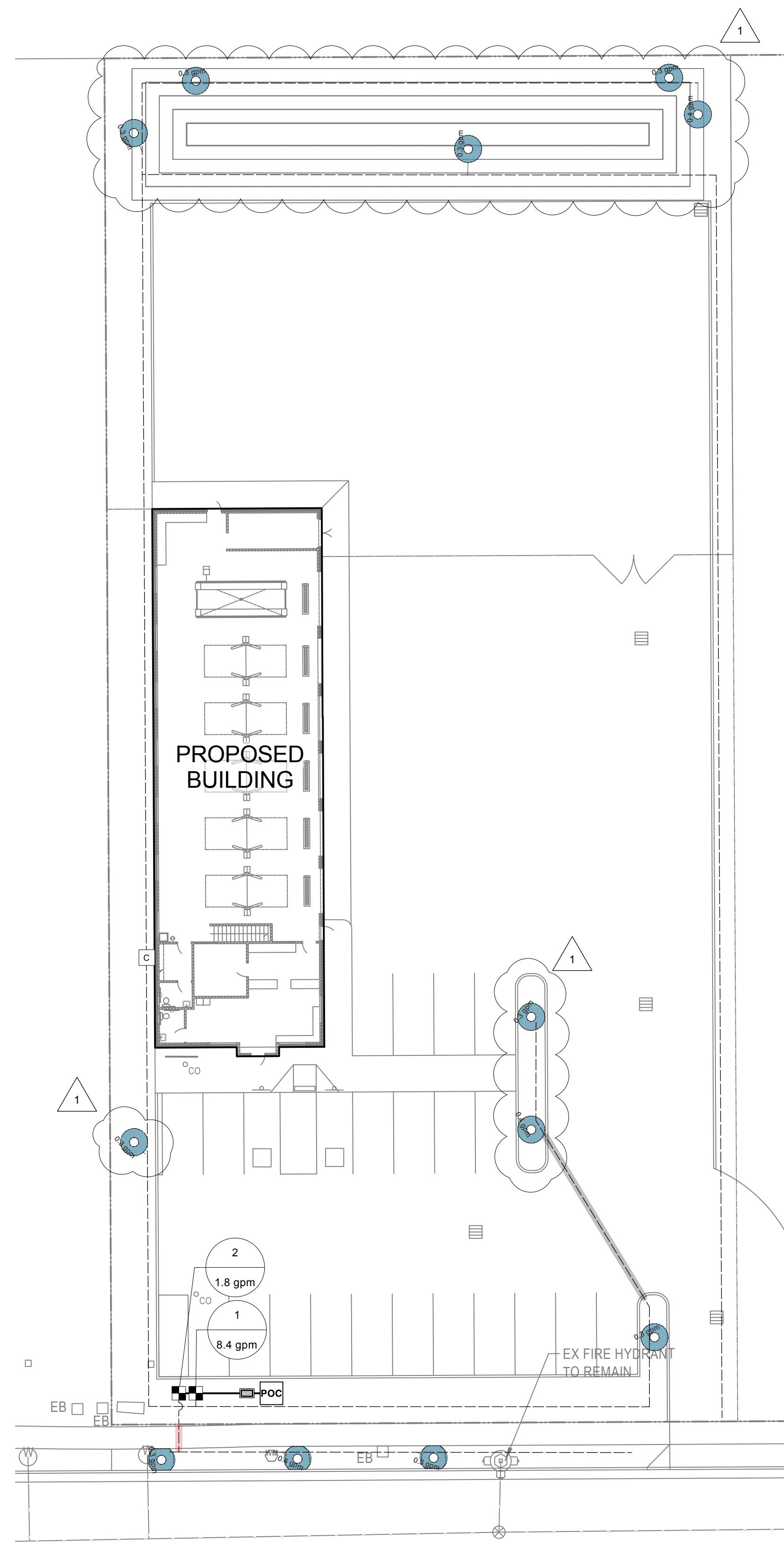
- BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY 15. **INSTALLATION OF PIPE:**
 - INSTALL PIPE IN MANNER TO PROVIDE FOR EXPANSION AND CONTRACTION AS RECOMMENDED BY MANUFACTURER.
 - UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS, INSTALL MAIN LINES WITH MINIMUM COVER OF 18 INCHES (450 MM) BASED ON FINISHED GRADE. INSTALL SIDEWALKS AND SIDEWALK HOLES CONNECTING DRAIN TUBING WITH MINIMUM OF 12 INCHES (300 MM) OF COVER BASED ON FINISH GRADE.
 - INSTALL PIPE AND WIRES UNDER DRIVEWAYS OR PARKING AREAS IN SPECIFIED SLEEVES 18 INCHES (450 MM) BELOW FINISH GRADE OR AS SHOWN ON CONTRACT DRAWINGS. SPRINKLER INSTALLATIONS.
 - LOCATE PIPE SO NO SPRINKLER HEAD WILL BE CLOSER THAN 12 INCHES (300 MM) FROM BUILDING FOUNDATION. CUT PLASTIC PIPE SQUARE. REMOVE BURRS AT CUT EDGES BEFORE INSTALLATION SO UNOBSTRUCTED FLOW WILL RESULT.
 - MAKE SOLVENT WELD JOINTS AS FOLLOWS:
 - DO NOT MAKE SOLVENT WELD JOINTS IF AMBIENT TEMPERATURE IS BELOW 35 DEG F (2 DEG C).
 - CLEAN MATING PIPE AND FITTING WITH CLEAN, DRY CLOTH AND APPLY ONE (1) COAT OF PRIMER TO EACH SURFACE.
 - APPLY UNIFORM COAT OF SOLVENT CEMENT TO OUTSIDE OF PIPE.
 - APPLY SOLVENT CEMENT TO FITTING IN SIMILAR MANNER.
 - INSERT PIPE COMPLETELY INTO FITTING.
 - DRY JOINTS BY DROPPING QUARTER TURN TO INSURE EVEN DISTRIBUTION OF SOLVENT AND MAKE SURE PIPE IS INSERTED TO FULL DEPTH OF FITTING SOCKET.
 - ALLOW JOINTS TO SET AT LEAST TWENTY-FOUR (24) HOURS BEFORE APPLYING PRESSURE TO PVC PIPE.
 - TAPE THREADED CONNECTIONS WITH TEFLON TAPE.
 - IF PIPE IS LARGER THAN 3 INCHES (75 MM), INSTALL JOINT RESTRAINTS WHEREVER CHANGE OF DIRECTION OCCURS ON PVC MAIN LINES.
 - CONTROL VALVES AND CONTROL VALVE WIRING:**
 - INSTALL VALVES IN PLASTIC BOXES WITH REINFORCED HEAVY-DUTY PLASTIC COVERS. LOCATE VALVE BOXES WITHIN 12 INCHES (300 MM) TO 24 INCHES (600 MM) OF SIDEWALKS AND SHRUB BED EDGES WITH TOPS AT FINISH GRADE. DO NOT INSTALL MORE THAN ONE (1) VALVE IN SIDEWALK.
 - INSTALL EQUIPMENT FOR EASE OF REMOVAL.
 - PLACE 3 INCHES (75 MM) MINIMUM OF PEA GRAVEL BELOW BRICKS SUPPORTING VALVE BOXES TO DRAIN BOX. SET VALVE BOXES OVER VALVE SO ALL PARTS OF VALVE CAN BE REACHED FOR SERVICE. SET COVER OF VALVE BOX EVEN WITH FINISH GRADE. VALVE BOX CAVITY SHALL BE REASONABLY FREE FROM DIRT AND DEBRIS.
 - WIRING:**
 - USE WATERPROOF WIRE CONNECTORS CONSISTING OF PROPERLY-SIZED WIRE NUT AND GREASE CAP AT SPLICES AND LOCATE ALL SPLICES WITHIN VALVE BOXES.
 - WIRE LENGTH FROM ANY DECODER TO THE SPARE CONTROLLER SHALL BE NO MORE THAN 8,500 FT (2,500 M).
 - DO NOT LOOP WIRING.
 - INSTALL LIGHTNING ARRESTOR(S) AS PER MANUFACTURER'S RECOMMENDATIONS AND THROUGHOUT MAINTENANCE PERIOD.
 - TRADITIONAL WIRING:
 - CONNECT WIRE TO SIDE OF MAIN LINE EVERY 10 FEET (3.05 M). WHERE CONTROL WIRE LEAVES MAIN OR LATERAL LINE, ENCLOSE IT IN GRAY CONDUIT.
 - USE WHITE OR GRAY COLOR FOR COMMON WIRE AND OTHER COLORS FOR ALL OTHER WIRE. EACH COMMON WIRE MAY SERVE ONLY ONE (1) SPARE CONTROLLER.
 - RUN SPARE CONTROL WIRE FROM PANEL CONTINUOUSLY FROM VALVE TO VALVE THROUGHOUT SYSTEM SIMILAR TO COMMON WIRE FOR USE AS REPLACEMENT IF WIRE FAILS.
 - SPARE WIRE SHALL BE DIFFERENT COLOR THAN OTHER WIRES. USE OF GREEN WIRE IS NOT ADVISED.
 - MARK SPARE CONTROL WIRE VISIBLY WITHIN VALVE BOX AS AN UN-CONNECTED WIRE. EXTEND SPARE CONTROL WIRES 24 INCHES (600 MM) AND LEAVE COILED IN EACH VALVE BOX. MARK SPARE WIRE VISIBLY WITHIN CONTROLLER AS 'UN-CONNECTED WIRE'.
 - ARRANGEMENT/VALUATION:**
 - ARRANGE PLANTING LOCATIONS TO OPERATE IN AN EASY-TO-VERIFY PROGRESSIVE SEQUENCE AROUND BUILDING. TAG VALVES WITH WATERPROOF LABELS SHOWING FINAL SEQUENCE STATION ASSIGNMENTS.
 - PROTECTION:**
 - PROTECT PLANTED AREAS AGAINST TRAFFIC OR OTHER USE IMMEDIATELY AFTER PLANTING IS COMPLETED BY PLACING ADEQUATE WARNING SIGNS AND BARRICADES.
 - PROVIDE ADEQUATE PROTECTION OF PLANTED AREAS AGAINST TRESPASSING, EROSION, AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER ARCHITECT HAS ACCEPTED PLANTED AREAS.
 - TAKE CARE OF PLANTED AREAS DURING ESCAPING WORK TO AVOID CONDITIONS THAT WILL CREATE HAZARDS. POST SIGNS OR BARRIERS AS REQUIRED.
 - PROVIDE ADEQUATE MEANS FOR PROTECTION FROM DAMAGE THROUGH EXCESSIVE EROSION, FLOODING, HEAVY RAINS, ETC. REPAIR OR REPLACE DAMAGED AREAS.
 - KEEP SITE WELL DRAINED AND LANDSCAPE EXCAVATIONS DRY.
 - EXCAVATION:**
 - IF UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION OF PLANTING HOLE, LANDSCAPE ARCHITECT WILL SELECT ALTERNATE PLANTING LOCATIONS.
 - PLANT EXCAVATION SIZE:
 - DIAMETER: TWICE DIAMETER OF ROOT BALL OR CONTAINER MINIMUM.
 - DEPTH: EQUAL TO CONTAINER OR ROOTBALL DEPTH.
 - UNLESS EXCAVATED MATERIAL MEETS TOPSOIL REQUIREMENTS AS SPECIFIED IN TOPSOIL & GRADING NOTES, REMOVE EXCAVATED MATERIAL FROM PLANTED AREA AND DO NOT USE FOR LANDSCAPING PURPOSES.
 - DOUGHEN SIDES AND BOTTOMS OF EXCAVATIONS.
 - WITH APPROVAL OF LANDSCAPE ARCHITECT, SELECT FIVE (5) TYPICAL PLANTING EXCAVATIONS THROUGHOUT SITE FOR DRAINAGE TESTING.
 - THAT WATER DRAINS AWAY AT RATE OF 3 INCHES (75 MM) PER HOUR MINIMUM. FORM LANDSCAPE TO AVOID CONDITIONS WHERE WATER DOES NOT DRAIN PROPERLY.
 - SELECT THREE (3) EXCAVATIONS APPROXIMATELY 5 FEET (1.50 M) AWAY FROM EACH NON-DRAINING AREAS. AUGER 8 INCH (150 MM) DIAMETER HOLE 4 FEET (1.200 M) DEEP IN LOW POINT OF EACH EXCAVATION AND FILL WITH TAMPED PLANTING MIX.
 - DO NOT PLANT TREES OR SHRUBS IN HOLES THAT DO NOT PROPERLY DRAIN.

DRAWING INDEX

REVISIONS	DESCRIPTION
REV DATE	◀◀◀◀◀
DRAWN BY:	TG
CHECKED BY:	SS
DATE:	AUGUST 2025
PROPERTY NO:	
LANDSCAPE NOTES & SPECIFICATIONS	
L5.03	LANDSCAPE IRRIGATION DETAILS
L5.02	LANDSCAPE IRRIGATION DETAILS
L5.01	LANDSCAPE DETAILS
L3.01	LANDSCAPE IRRIGATION PLAN
L2.01	LANDSCAPE PLANTING PLAN
L0.01	LANDSCAPE NOTES & SPECIFICATIONS

L0.01





IRRIGATION SCHEDULE

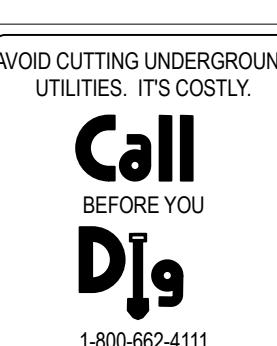
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	DETAIL
Drip Areas				
	TREE DRIP RING W/ ROWS SPACED @ 24" APART	NETAFIM	TLCV9-12	E/L5.02
Valves				
	DRIP CIRCUIT CONTROL VALVE	RAIN BIRD	XCZ-100-PRB-COM DRIP ZONE KIT WITH 100' PEB CONTROL VALVE AND BASKET FILTER WITH BUILT-IN PRV	C/L5.02
Other Equipment				
	IRRIGATION CONTROLLER WITH RAIN SHUTOFF DEVICE	RAIN BIRD	ESP8LXME	G/L5.03
	POINT OF CONNECTION			A/L5.03
Concrete Pad for Backflow Preventer				
Symbol				
PIPE				
*1" Drip Supply Line, 1/2" SWING PIPE (FUNKY PIPE) AND EMITTERS NOT SHOWN ON PLAN FOR GRAPHIC CLARITY.				
SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS.				
1" MAIN LINE				
SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 PVC FITTINGS.				
PIPE SLEEVE UNDER NEW PAVING				
SCHEDULE 40 PVC				
PIPE SLEEVE UNDER EXISTING PAVING				
SCHEDULE 40 PVC				
I/I5.03				
# Valve Number				
gpm Valve Flow				

EMITTER SCHEDULE

PLANT NAME	Drip Emission Device	Manufacturer	Model	Detail
FRONTIER ELM	TREE DRIP RING	NETAFIM	TLCV9-12	E/L5.02
ROCKY MOUNTAIN JUNIPER	TREE DRIP RING	NETAFIM	TLCV9-12	E/L5.02
THORNLESS COCKSPUR HAWTHORN	TREE DRIP RING	NETAFIM	TLCV9-12	E/L5.02
ATLAS FESCUE	(1) 1-GPH Emitter	RAIN BIRD IRRIGATION	XBT10 (BLACK)	D/L5.02
BUFFALO BERRY	(1) 5-GPH Emitter	RAIN BIRD IRRIGATION	PCT05 (BEIGE)	D/L5.02
GRO-LOW FRAGRANT SUMAC	(1) 2-GPH Emitter	RAIN BIRD IRRIGATION	XBT20 (RED)	D/L5.02
HUGHES CREEPING JUNIPER	(1) 2-GPH Emitter	RAIN BIRD IRRIGATION	XBT20 (RED)	D/L5.02
JADE PARADE SAND CHERRY	(1) 2-GPH Emitter	RAIN BIRD IRRIGATION	XBT20 (RED)	D/L5.02
REDTWIG DOGWOOD	(1) 5-GPH Emitter	RAIN BIRD IRRIGATION	PCT05 (BEIGE)	D/L5.02
SAND SAGEBRUSH	(1) 1-GPH Emitter	RAIN BIRD IRRIGATION	XBT10 (BLACK)	D/L5.02

GENERAL NOTE

1. REFER TO IRRIGATION NOTES ON SHEET L0.01



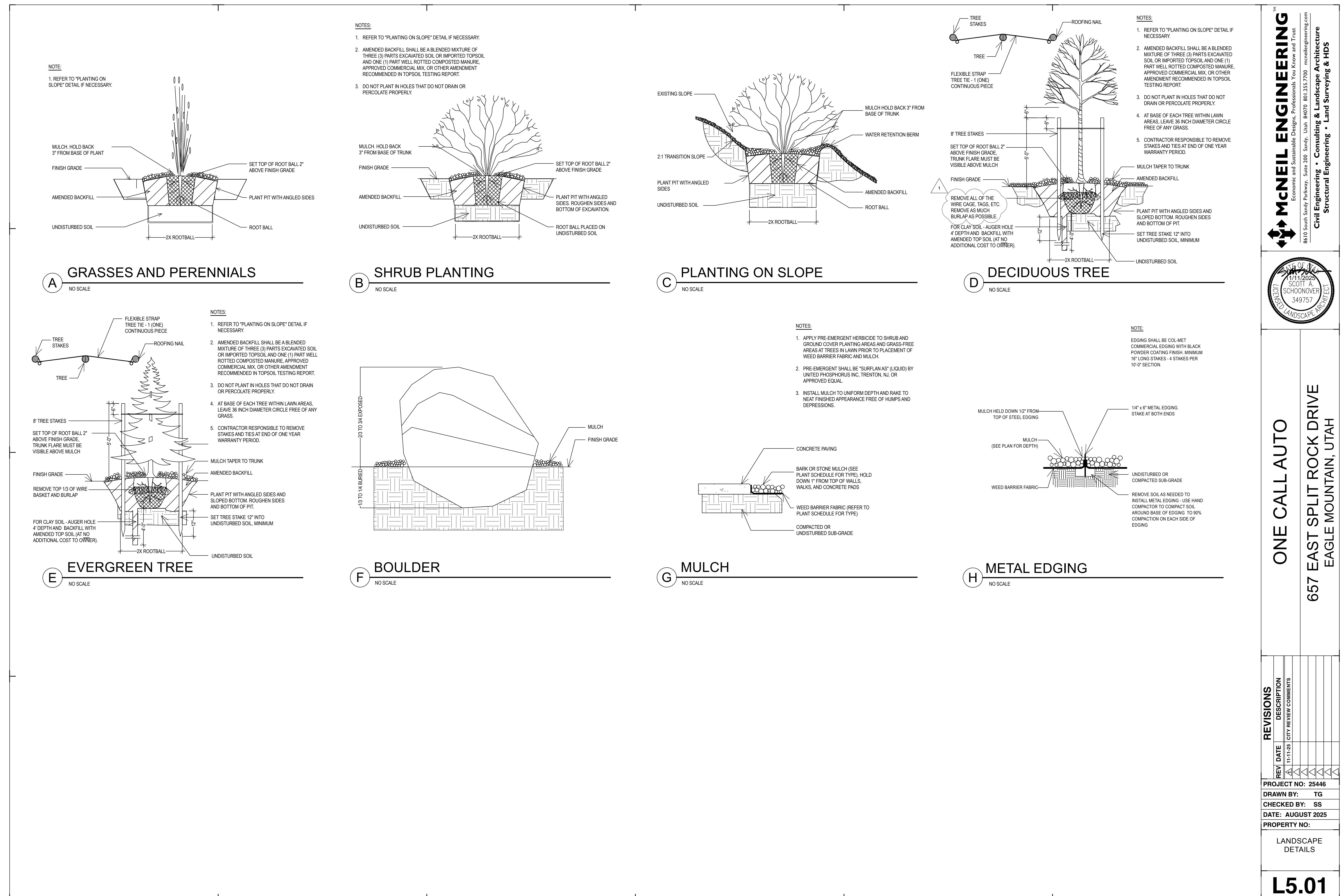
AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.
Call Before You Dig
1-800-662-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE-GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

ONE CALL AUTO

657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN, UTAH

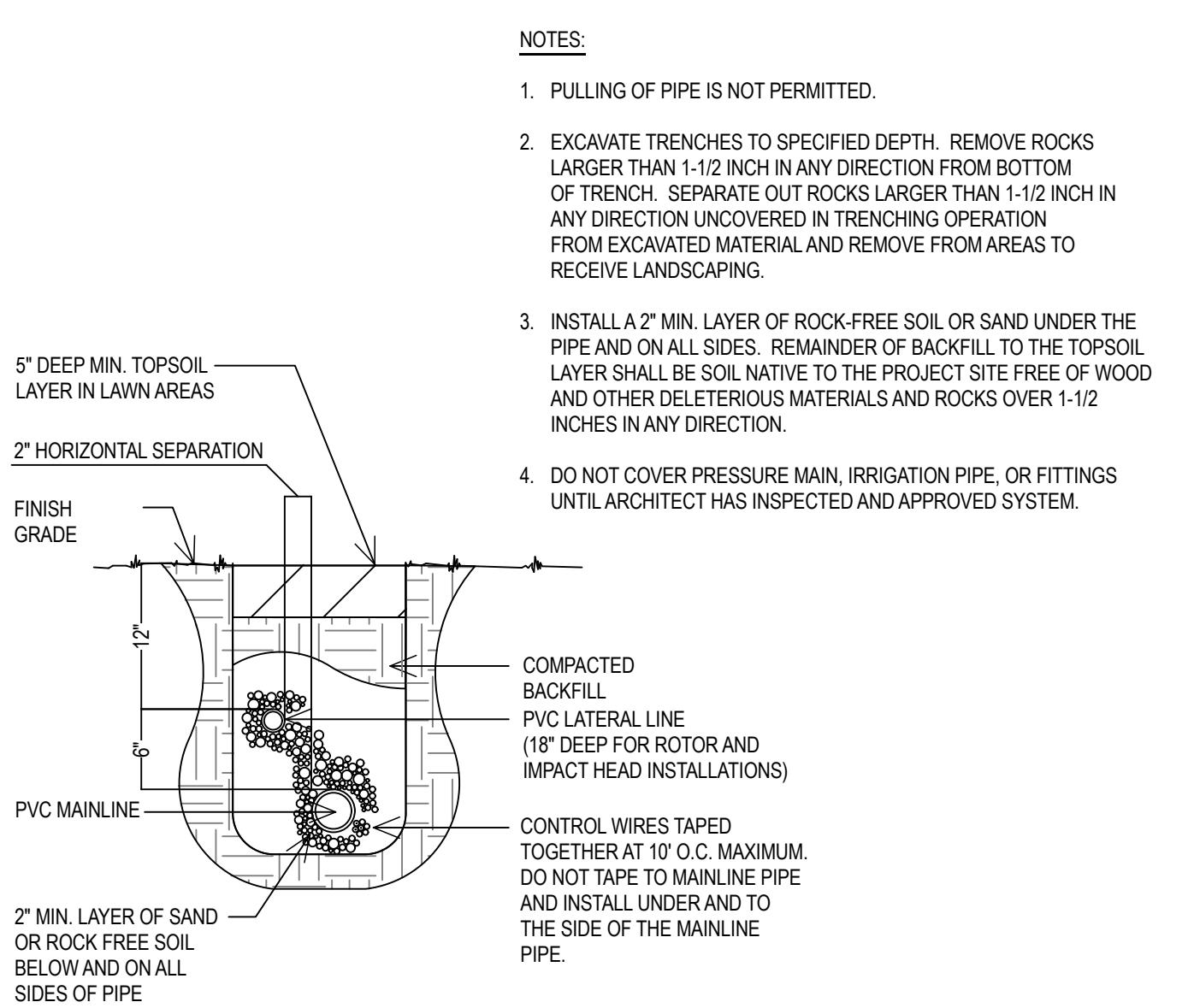




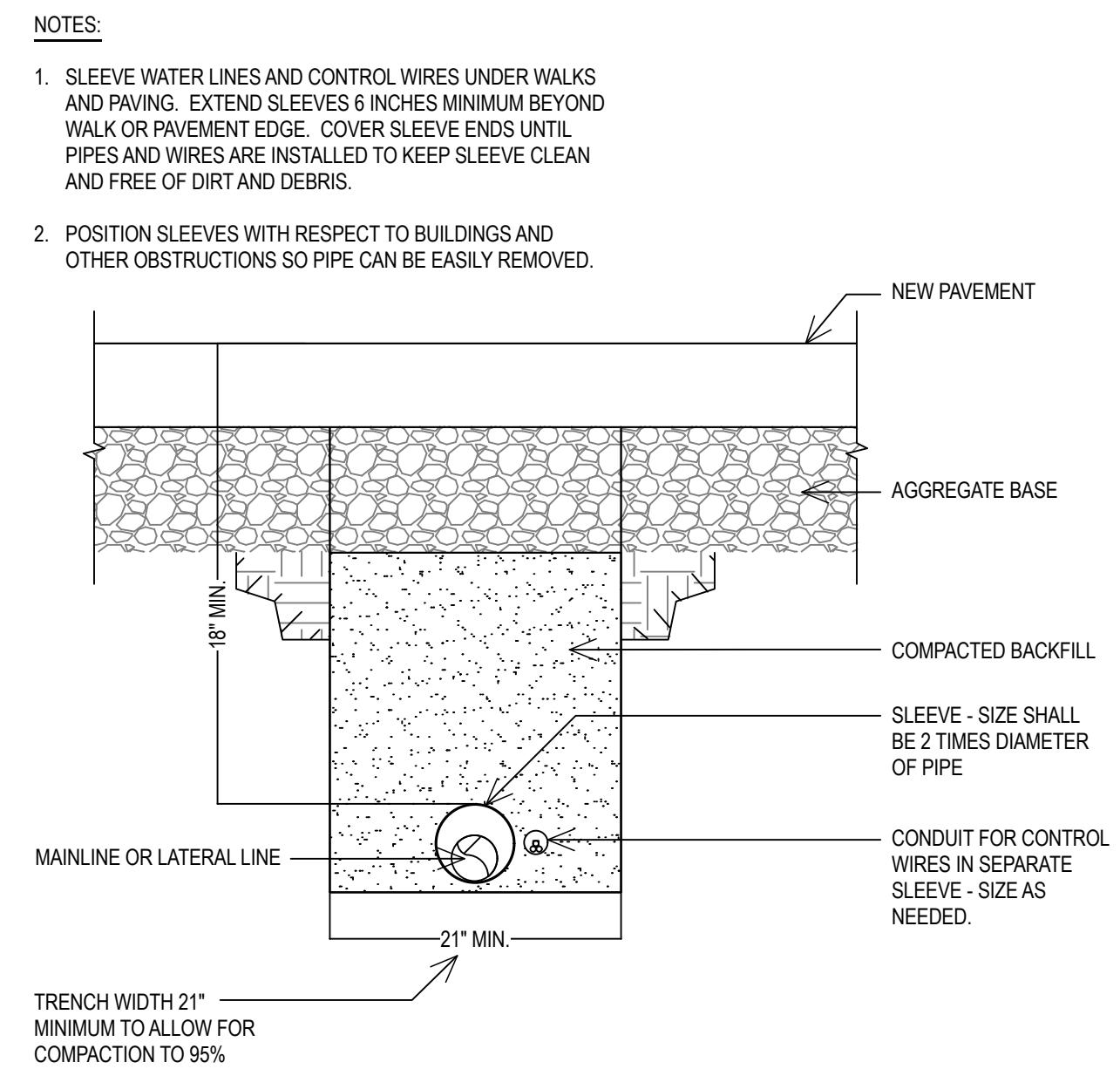
ONE CALL AUTO
657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN, UTAH

REVISIONS	DESCRIPTION
REV DATE	
DRAWN BY:	TG
CHECKED BY:	SS
DATE:	AUGUST 2025
PROPERTY NO:	
LANDSCAPE IRRIGATION DETAILS	

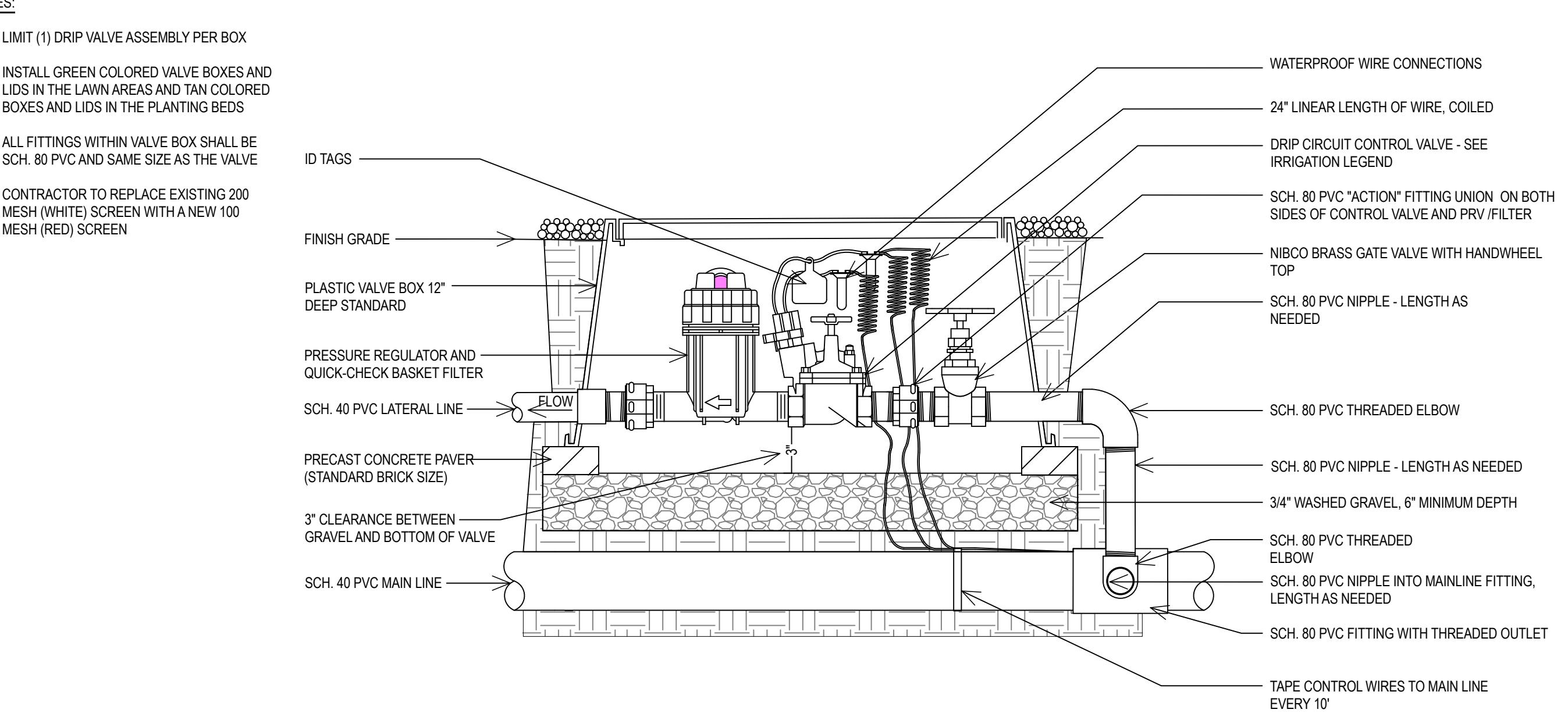
A TRENCH
NO SCALE



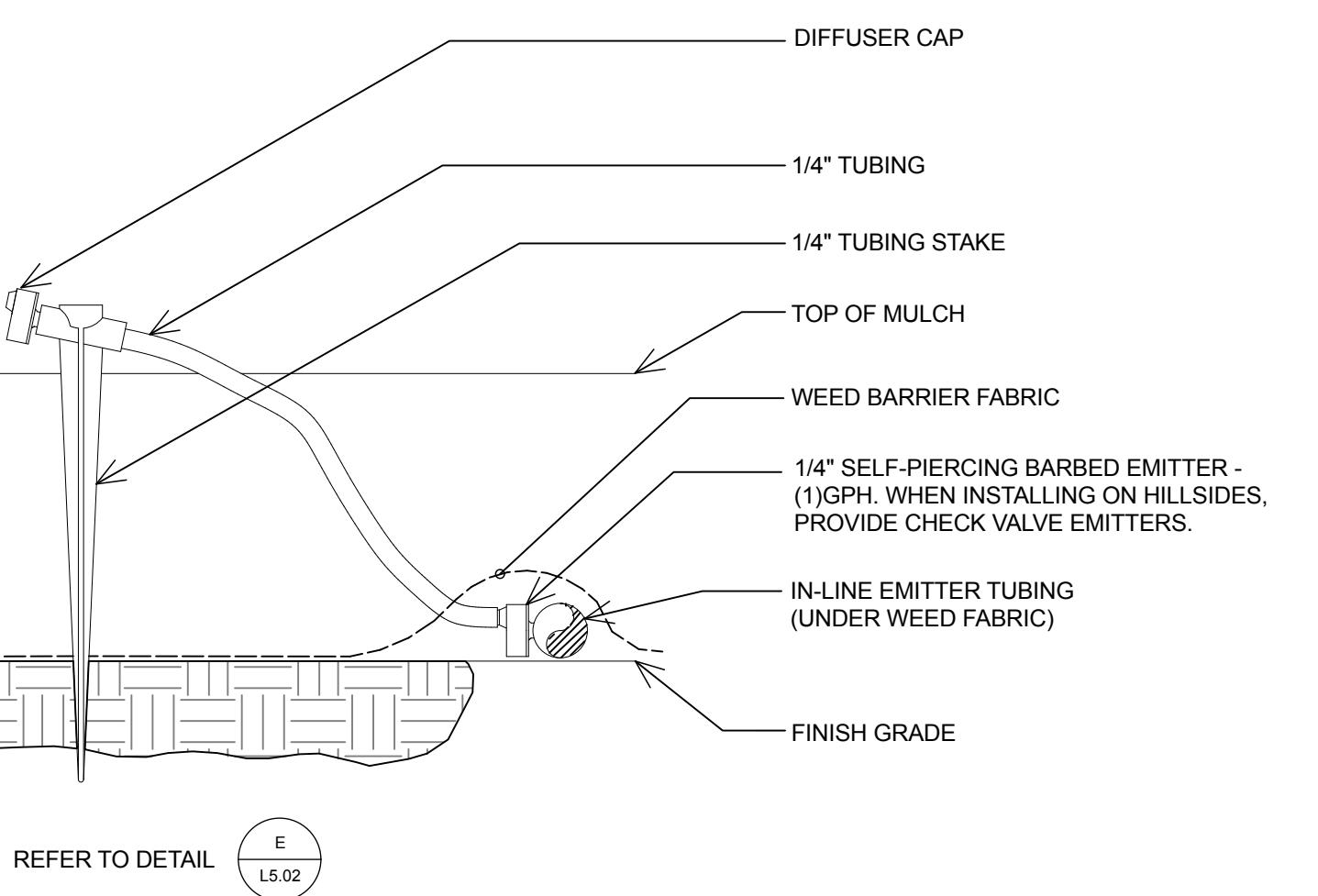
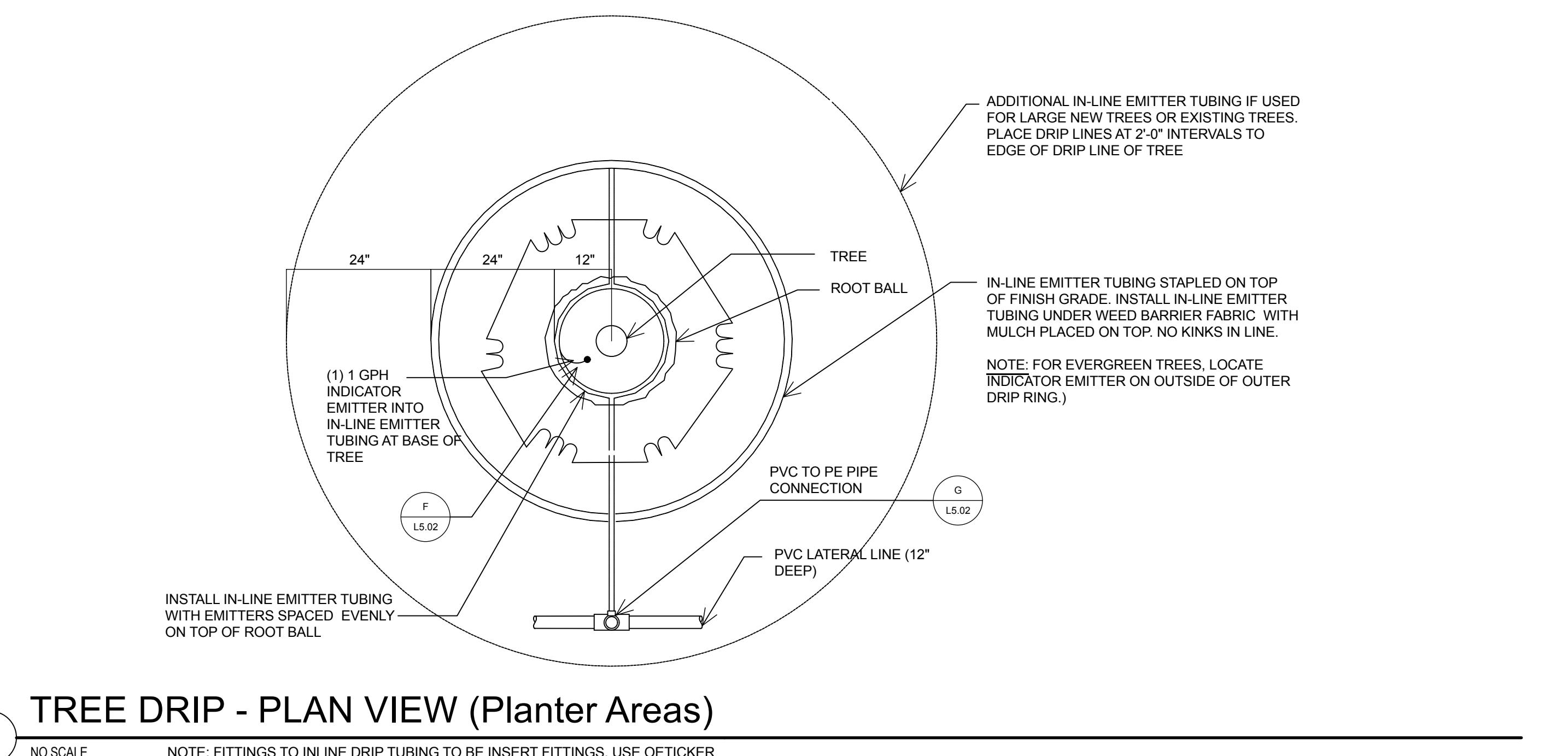
B TRENCH UNDER NEW PAVEMENT
NO SCALE



C CONTROL VALVE - DRIP CIRCUIT
NO SCALE

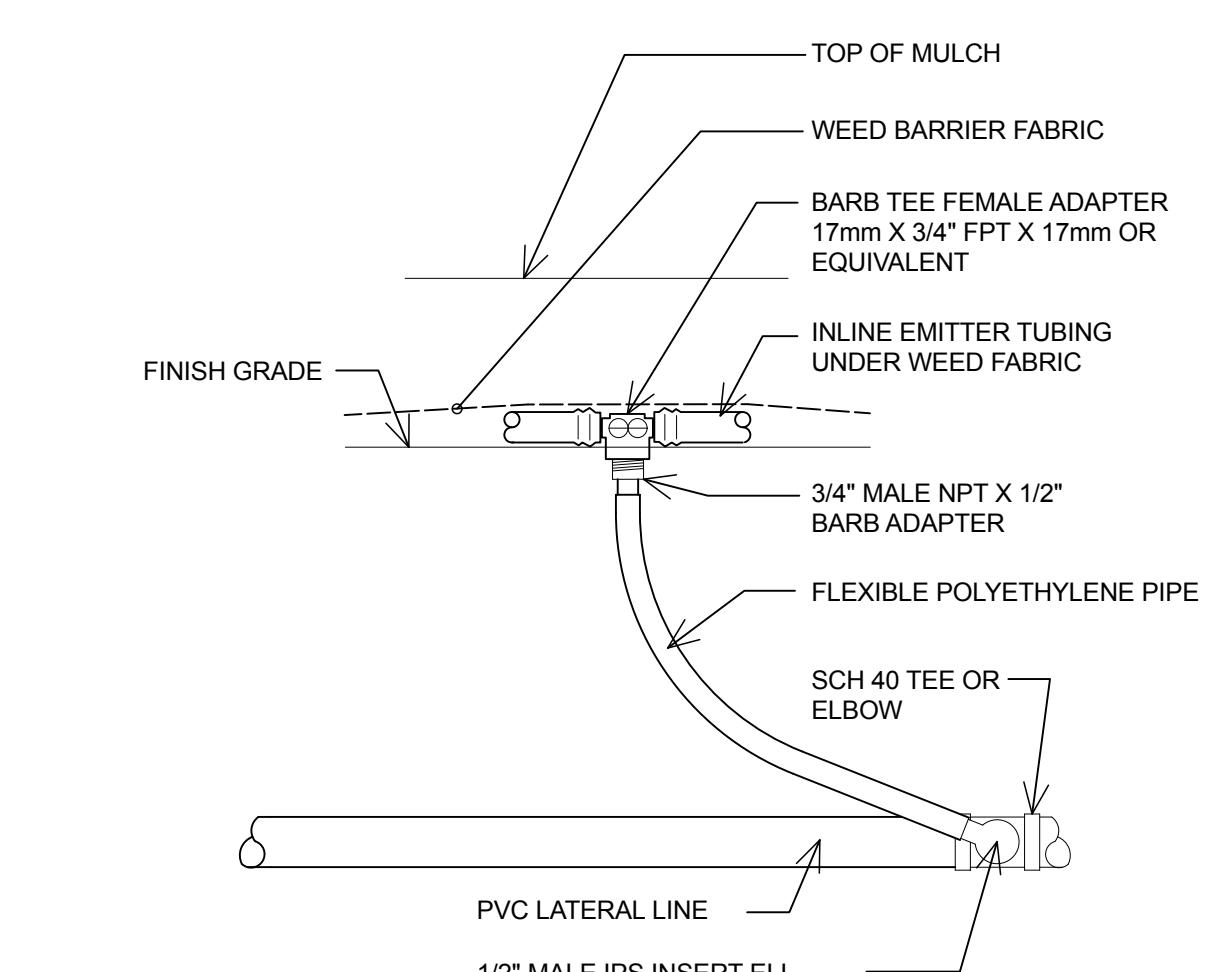


D DRIP EMISSION DEVICE @ SHRUBS
NO SCALE



F INDICATOR Emitter
NO SCALE

NOTE:
1. CONNECT SELF-PIERCING EMMITTER DIRECTLY INTO IN-LINE EMMITTER TUBING.
2. THIS IS AN INDICATOR ONLY EMMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMMITTER TUBING IS INSTALLED.
3. 1/4" TUBING LENGTH: MINIMUM 14", MAXIMUM 24".

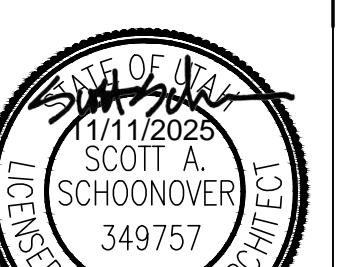


NOTE:
1. USE AT TREE RINGS AND AS CONNECTION FROM SUPPLY AND EXHAUST HEADERS.
2. DO NOT EXCEED (3) GPM FLOW THROUGH SINGLE CONNECTION.

G PVC TO IN-LINE Emitter
NO SCALE

L5.02

NOTE: FITTINGS TO IN-LINE Drip TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.

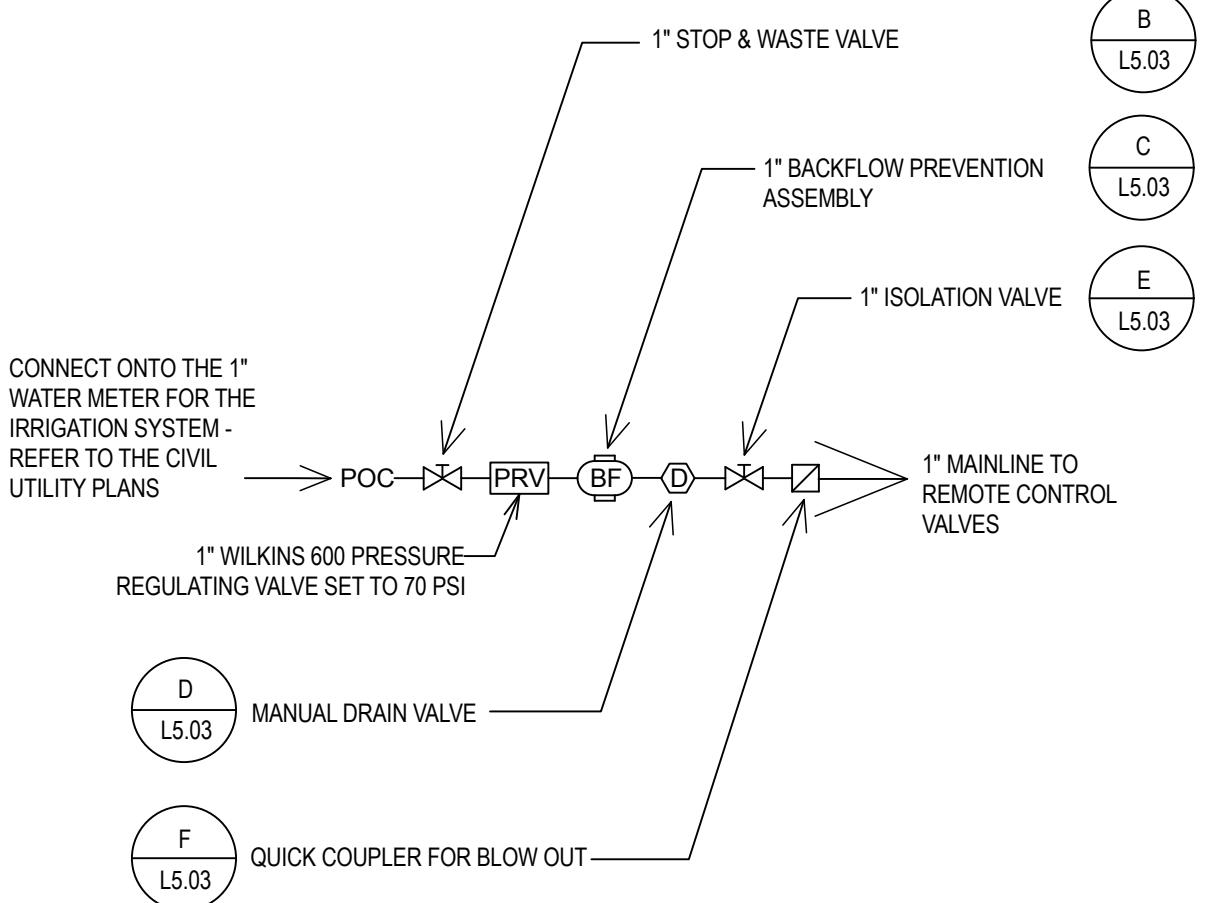


ONE CALL AUTO
657 EAST SPLIT ROCK DRIVE
EAGLE MOUNTAIN, UTAH

REVISIONS	DESCRIPTION
REV DATE	
DRAWN BY:	TG
CHECKED BY:	SS
DATE:	AUGUST 2025
PROPERTY NO:	
LANDSCAPE IRRIGATION DETAILS	
PROJECT NO:	25446

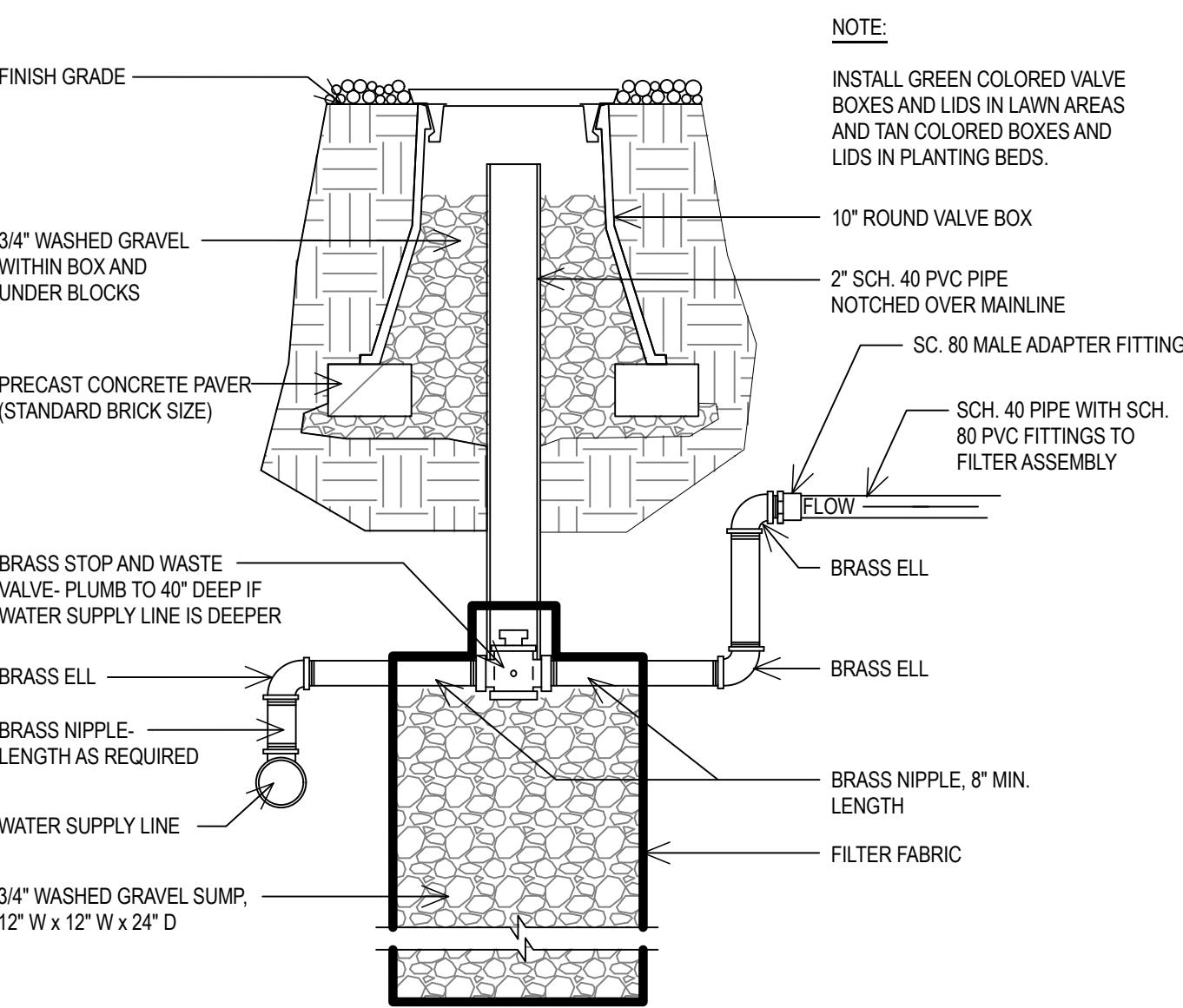
L5.03

NOTE:
THE POINT OF CONNECTION DETAILS IS
SCHEMATIC ONLY AND MEANT TO CONVEY THE
ORDER OF THE COMPONENTS. ACTUAL LAYOUT
MAY VARY AND SHOULD BE COORDINATED AS
NEEDED PRIOR TO INSTALLATION.



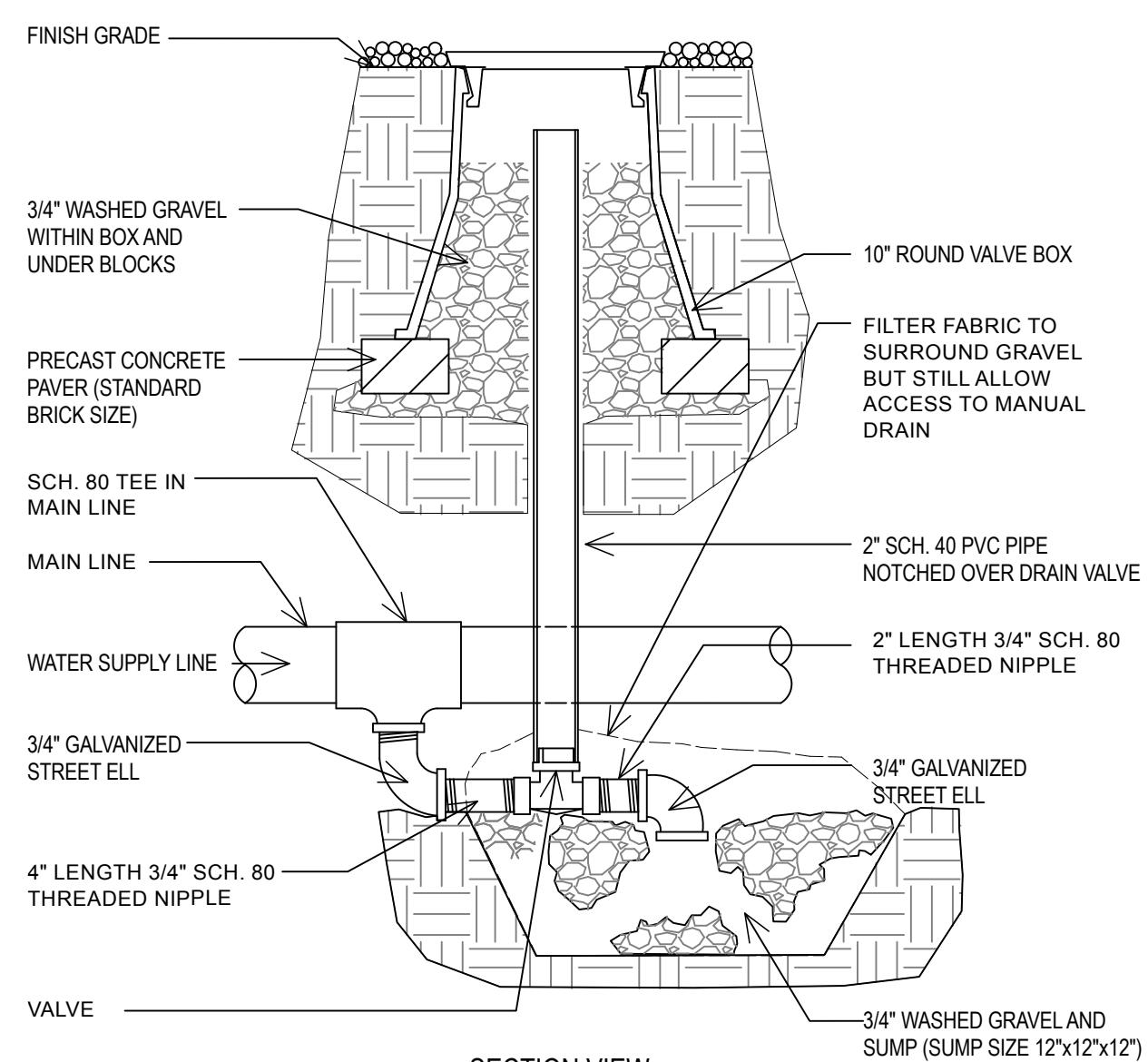
A POC SCHEMATIC LAYOUT

NO SCALE



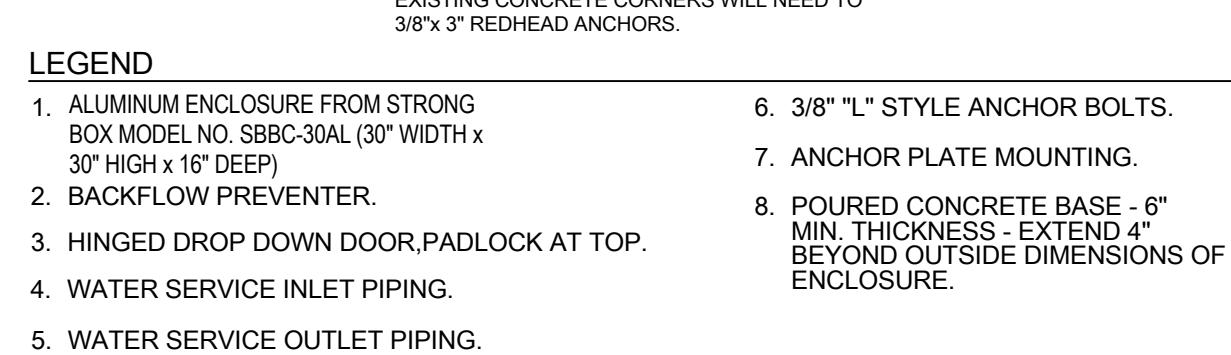
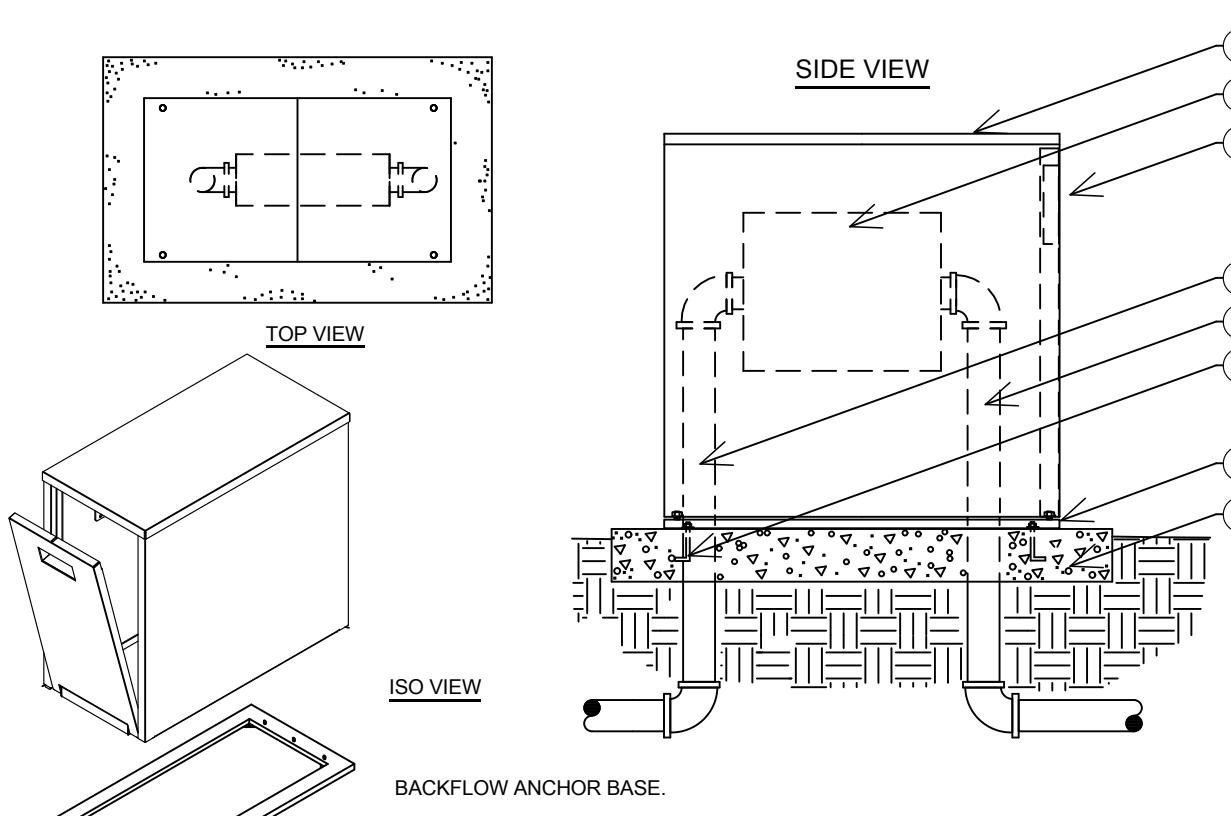
B STOP & WASTE VALVE

NO SCALE



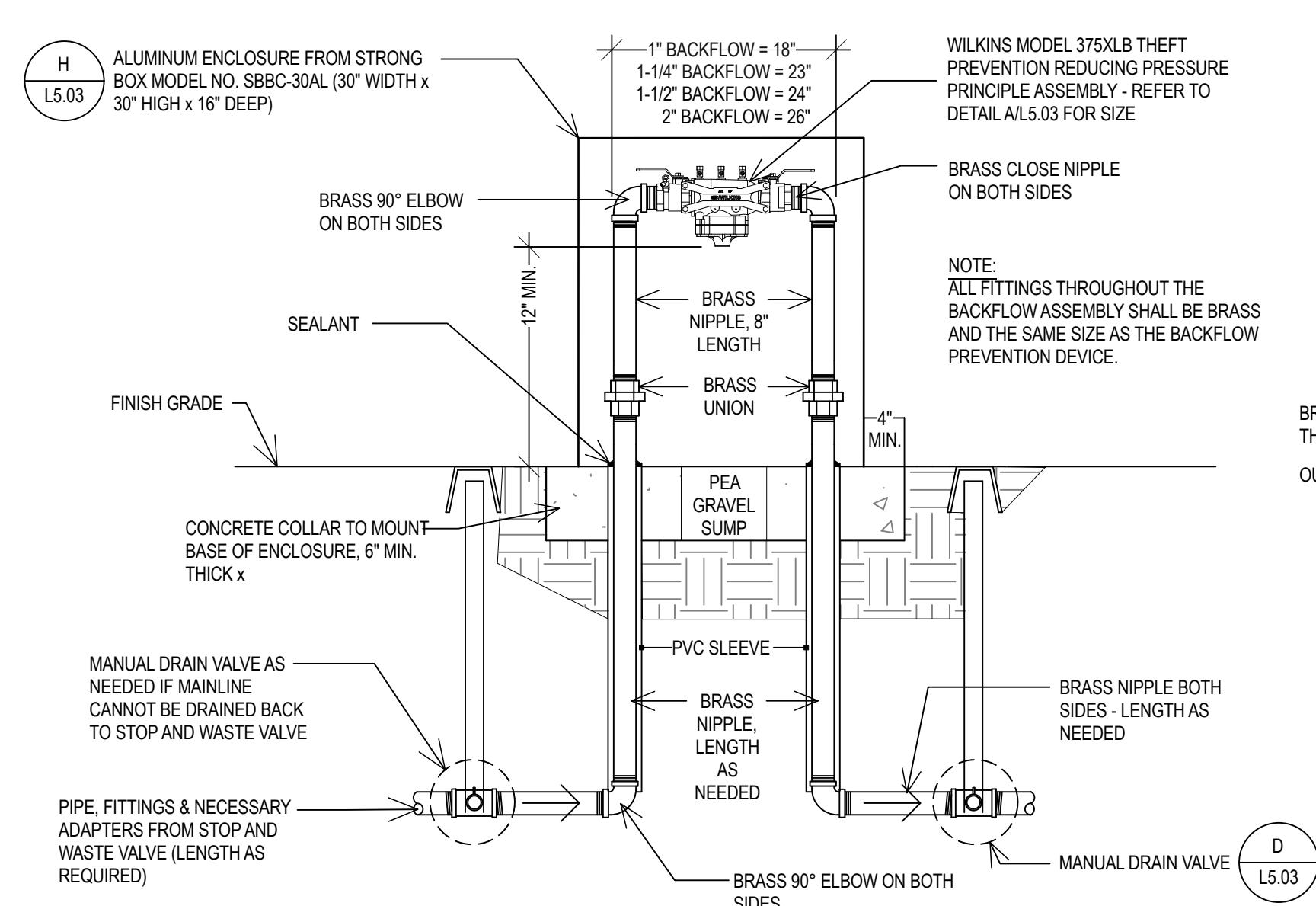
D MAINLINE DRAIN VALVE

NO SCALE



G CONTROLLER - EXTERIOR MOUNT

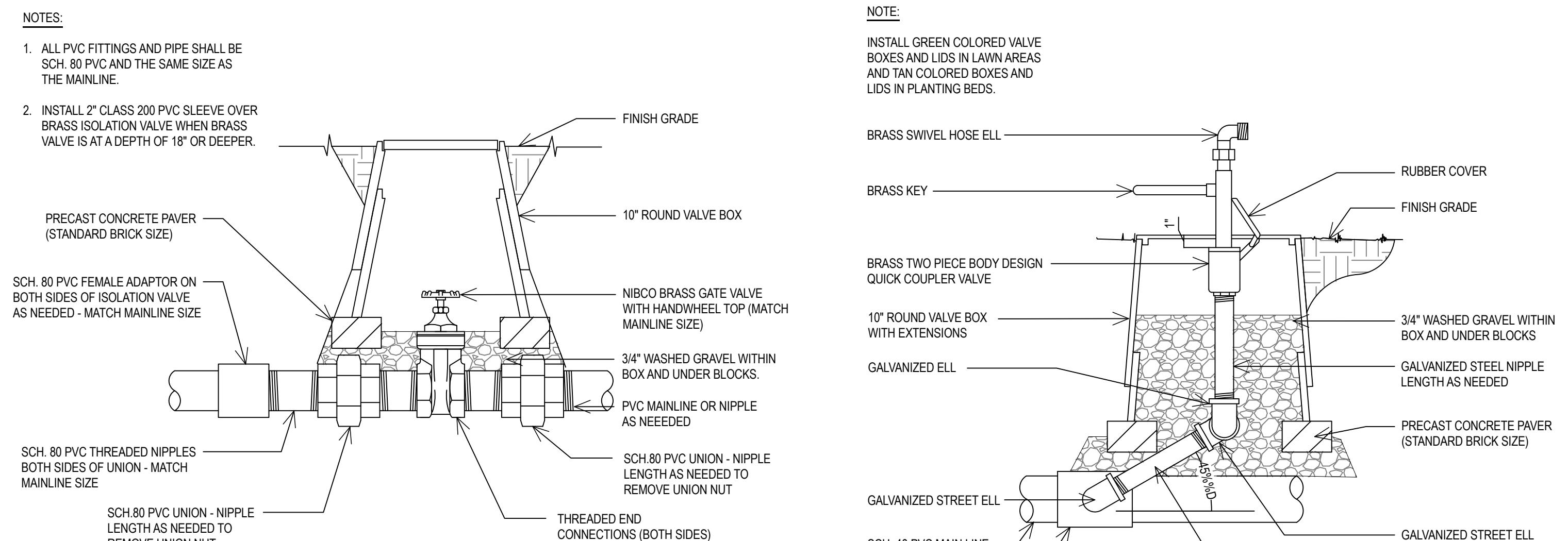
NO SCALE



C BACKFLOW PREVENTER

NO SCALE

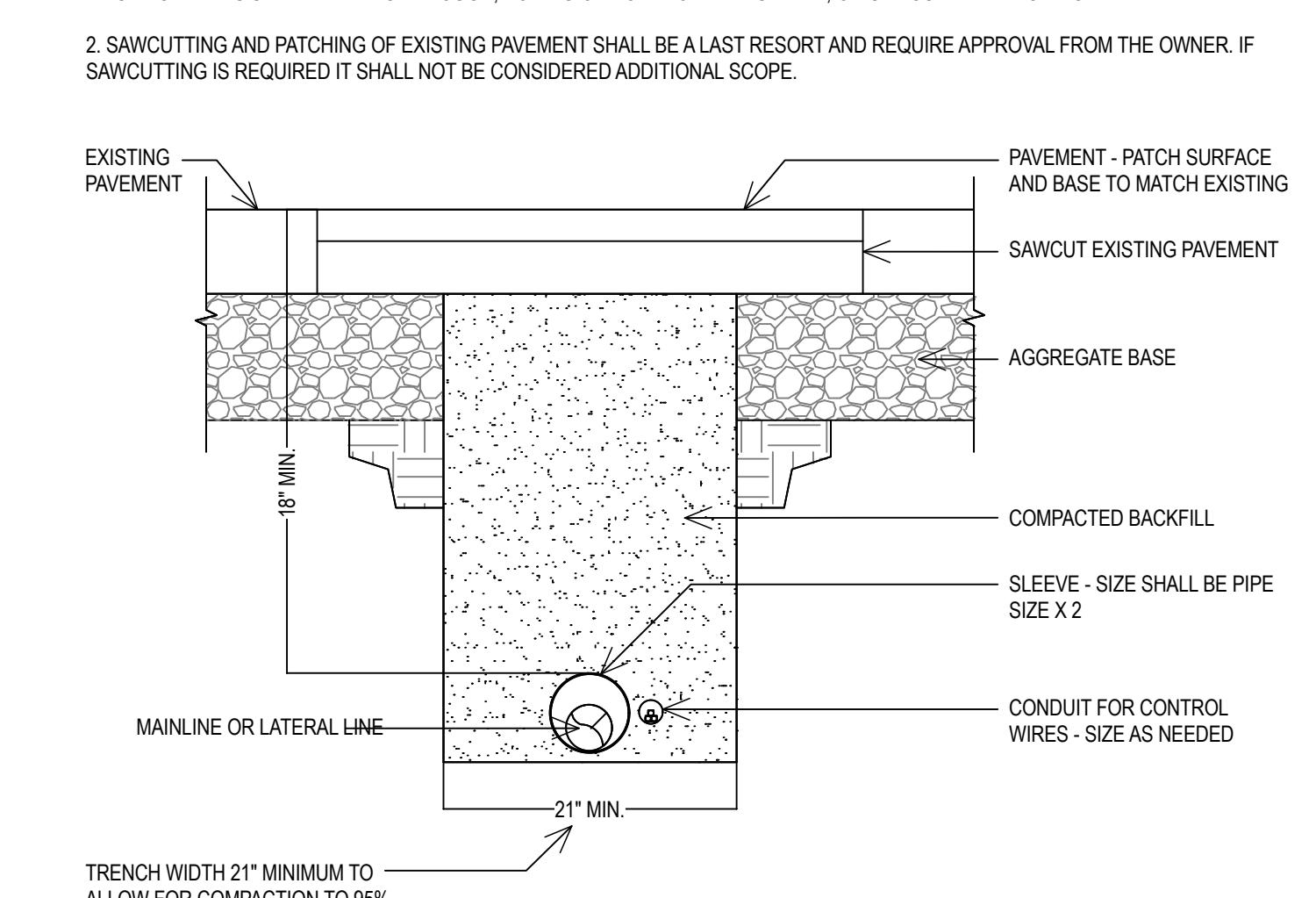
NOTES:
1. ALL PVC FITTINGS AND PIPE SHALL BE SCH. 80 PVC AND THE SAME SIZE AS THE MAINLINE.
2. INSTALL 2" CLAS 200 PVC SLEEVE OVER BRASS ISOLATION VALVE WHEN BRASS VALVE IS AT A DEPTH OF 18" OR DEEPER.



E ISOLATION VALVE - THREADED

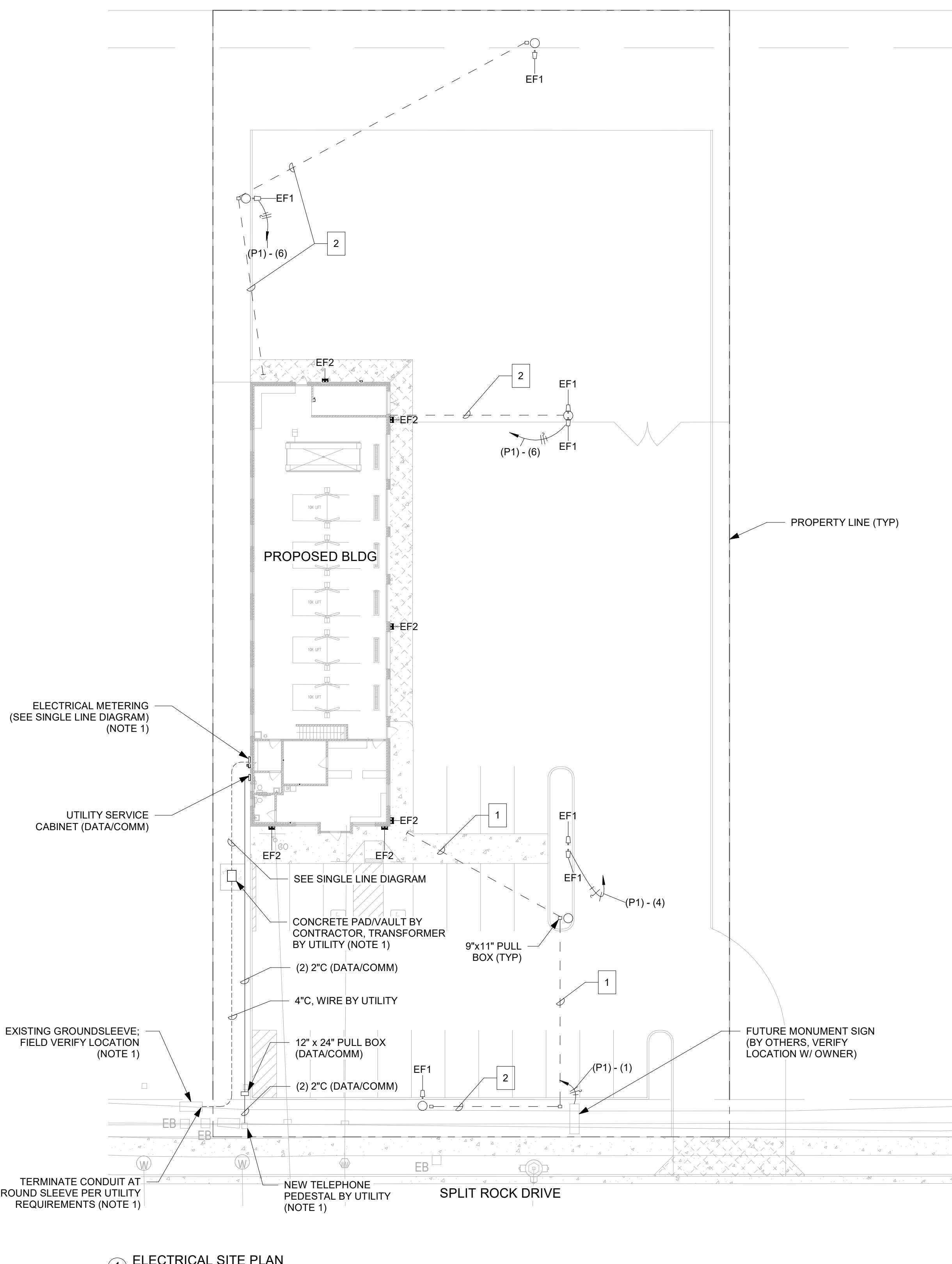
NO SCALE

NOTES:
1. CONTRACTOR TO DETERMINE METHOD OF SLEEVING PRIOR TO BIDDING. OPTIONS INCLUDE: USE OF EXISTING SLEEVE, USE OF EXISTING PIPE AS SLEEVE IF LARGE ENOUGH, BORING OF HOLE FOR NEW SLEEVE, OR SAWCUT AND PATCHING.
2. SAWCUTTING AND PATCHING OF EXISTING PAVEMENT SHALL BE A LAST RESORT AND REQUIRE APPROVAL FROM THE OWNER. IF SAWCUTTING IS REQUIRED IT SHALL NOT BE CONSIDERED ADDITIONAL SCOPE.



I TRENCH UNDER EXISTING PAVEMENT

SCALE: NO SCALE



① ELECTRICAL SITE PLAN
1" = 20'-0"

LIGHTING FIXTURE SCHEDULE					
Mark	Description	Manufacturer	Model	Wattage	Lamp
EF1	Full cut-off pole light, H=16' (above grade)	Lithonia	DSX0-LED-P2-30K-T4M-MVOLT	45 W	LED
EF2	Full cut-off wall pack, H=12'-8"	Lithonia	DSXW2-LED 20C 700 MVOLT	47 W	LED

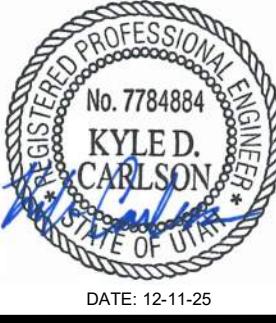
CONDUIT/ CONDUCTOR SCHEDULE	
1	(4) #10, #10 GND, 1°C; 1°C (SPARE)
2	(2) #10, #10 GND, 1°C; 1°C (SPARE)

CONSTRUCTION NOTES

- VERIFY ALL REQUIREMENTS FOR SERVICE W/ UTILITY PRIOR TO INSTALLATION. MAKE ALL FIELD ADJUSTMENTS TO EQUIPMENT LOCATIONS, CONDUIT SIZES, AND ANY OTHER UTILITY REQUIREMENTS, AS NECESSARY.
- ROUTE ALL EXTERIOR LIGHT CIRCUITS THROUGH LIGHTING CONTROL PANEL FOR ADDITIONAL CONTROL CAPABILITY AS REQD BY THE IEC. A MASTER PHOTOCELL MAY BE PROVIDED IN LIEU OF SEPERATE PHOTOCELLS FOR EACH CIRCUIT SHOWN.

DATE
DECEMBER 2025

epic
ENGINEERING

REVISIONS		
MARK	DATE	DESCRIPTION
1	11-26-25	Pole light change
DRAWN: NEH DESIGNER: KDC REVIEWED: DIO		
PROJECT # 25VDG094		
 <p>No. 7748484 KYLE D. CARLSON PE STATE OF UTAH DATE: 12-11-25</p>		
SCALES		
1" = 20'-0" 0' 1'		
BAR SCALE MEASURES 1'-0" & A FULL SCALE SHEET. ADJUST TO A HALF SIZE SHEET.		
PROJECT NAME: ONE CALL AUTOMOTIVE		
PROJECT LOCATION: 657 E SPLIT ROCK DRIVE EAGLE MOUNTAIN, UTAH		
SHEET TITLE: ELECTRICAL SITE PLAN		
PLAN SET:	SHEET	PERMIT
E.1.1		

ALL NONESSENTIAL COMMERCIAL EXTERIOR LIGHTING SHALL ONLY CONTINUE IN OPERATION UNTIL 11:00 P.M. OR FOR AS LONG AS THE BUSINESS IS OPEN OR AREA IS IN ACTIVE USE AND SHALL REMAIN OFF UNTIL THE BUSINESS REOPENS OR UNTIL DAYLIGHT THE FOLLOWING DAY

N
↑



Mark	Description	Manufacturer	Model	Wattage	Lamp
EF1	Full cut-off pole light, H=16' (above grade)	Lithonia	DSXO-LED-P2-30K-T4M-MVOLT	45 W	LED
EF2	Full cut-off wall pack, H=12'-8"	Lithonia	DSXW2-LED-20C 700 MVOLT	47 W	LED

EXTERIOR LIGHTING DENSITY CALCULATION

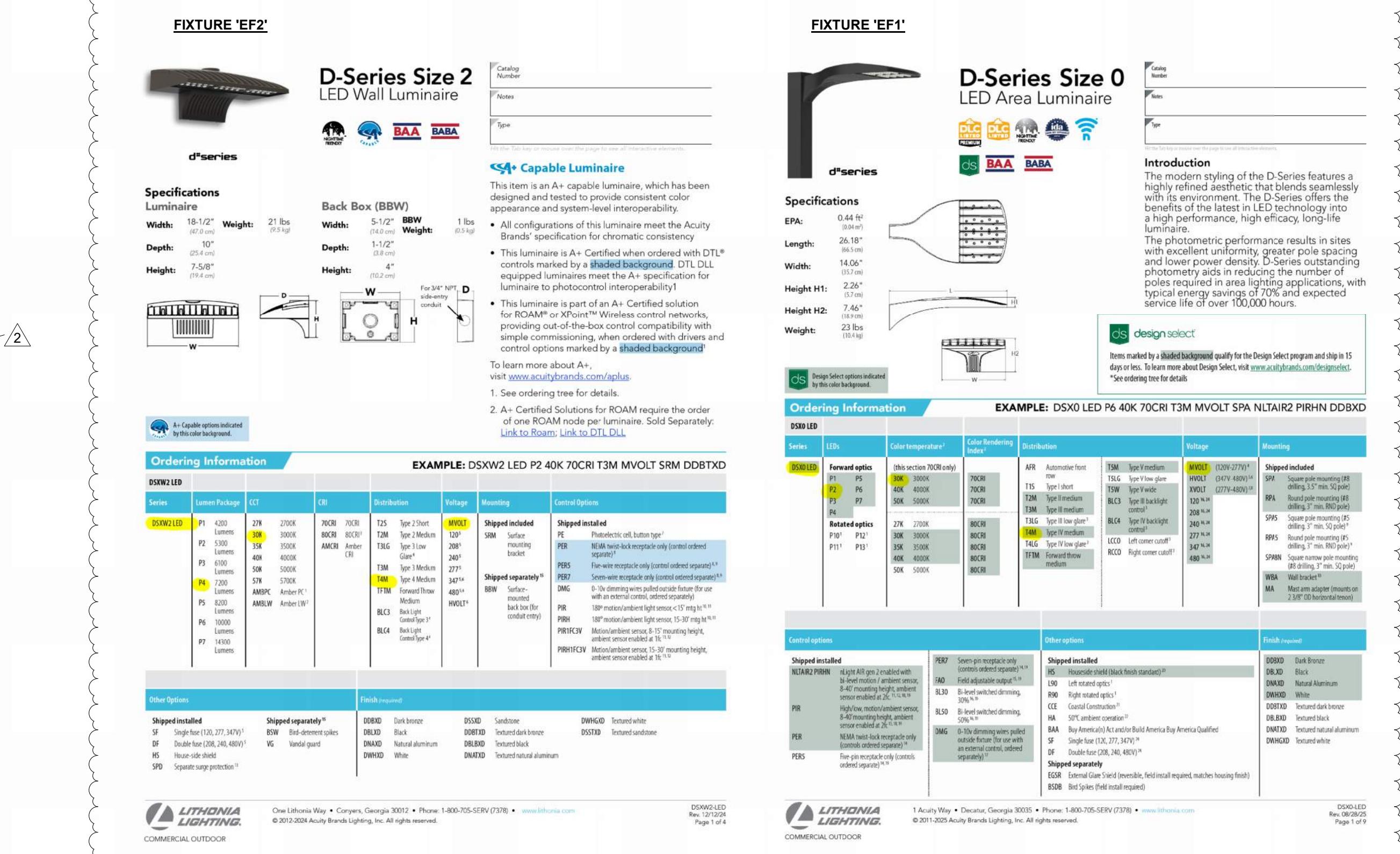
SITE AREA = 0.95 ACRES

EF1 LUMENS = 6018 LM * 7 FIXTURES = 42,126 LM
EF2 LUMENS = 6836 LM * 6 FIXTURES = 41,178 LM
TOTAL = 83,304 LUMENS

LIGHTING DENSITY = 83,304 / 0.95 = 87,688 LUMENS/ ACRE < 100,000 LUMENS/ ACRE ALLOWED

EXTERIOR LIGHTING CONTROL NOTE:

ALL NONESSENTIAL COMMERCIAL EXTERIOR LIGHTING SHALL ONLY CONTINUE IN OPERATION UNTIL 11:00 P.M. OR FOR AS LONG AS THE BUSINESS IS OPEN OR AREA IS IN ACTIVE USE AND SHALL REMAIN OFF UNTIL THE BUSINESS REOPENS OR UNTIL DAYLIGHT THE FOLLOWING DAY.



CONSTRUCTION NOTES

- GRID VALUES SHOWN ARE FOOT-CANDLES AT GROUND LEVEL.
- CONTRIBUTION OF LIGHT FROM EXISTING STREET LIGHTS (WHERE APPLICABLE) IS NOT INCLUDED IN ANALYSIS.

DATE
DECEMBER 2025

REVISIONS

MARK	DATE	DESCRIPTION
1	11-26-25	Pole light change
2	12-11-25	Site plan review #1

DRAWN: NEH
DESIGNER: KDC
REVIEWED: DIO
PROJECT #: 25VDG094
DATE: 12-11-25

SCALES
1" = 20'-0" BAR SCALE MEASURES 1'-0" A FULL SIZE SHEET, ADJUST TO 1'-0" A HALF SIZE SHEET

PROJECT NAME: ONE CALL AUTOMOTIVE

PROJECT LOCATION: 657 E SPLIT ROCK DRIVE EAGLE MOUNTAIN, UTAH

SHEET TITLE: PHOTOMETRIC LIGHTING PLAN

PLAN SET: PERMIT **SHEET:** E1.2



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	Consolidated Fee Schedule for Site Plan Amendment
ITEM TYPE:	Development Code Amendment
FISCAL IMPACT:	N/A
APPLICANT:	City-initiated

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

Yes

PREPARED BY

David Stroud, Senior Planner

PRESENTED BY

David Stroud

RECOMMENDATION:

Staff recommends the City Council forward a positive recommendation to the City Council.

BACKGROUND:

The City Council recently approved a text amendment to administer approval of a Minor Site Plan Amendment. Because the nature of such a request does not typically require a lengthy review, the fee should be commensurate with the level of review. In discussion with the Finance Director, it was determined that a fee of \$250 for a Staff-level Administrative Site Plan review and approval is sufficient. The proposed fee is in-line with the fee other municipalities charge for a similar request.

ITEMS FOR CONSIDERATION:

N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

The Planning Commission shall make a recommendation to the City Council regarding this text amendment.

ATTACHMENTS:

1. Consolidated Fee Schedule

Consolidated Fee Schedule

10.5. | SITE PLAN REVIEW FEES

Last Revision: 07/20/2016 02/2026

Residential Master Site Plan Review Fee, 5-10 Acres	\$2,000
Residential Master Site Plan 10+ Acres.....	\$4,000
Residential Site Plan Review Fee	\$60/Dwelling
Unit Non-residential Master Site Plan Review Fee, 5-10 Acres.....	\$2,000
Non-residential Master Site Plan Review Fee, 10+ Acres.....	\$4,000
Non-residential Site Plan Review Fee, 0-5 Acres	\$2,000
Non-residential Site Plan Review Fee, 5-10 Acres.....	\$4,000
Non-residential Site Plan Review Fee, 10-50 Acres	\$6,000
Non-residential Site Plan Review Fee, 50+Acres.....	\$8,000
Temporary Non-residential Site Plan Review Fee.....	\$1,580
<u>Administrative Site Plan Amendment Review Fee.....</u>	<u>\$250</u>



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	ORDINANCE / PUBLIC HEARING — An Ordinance of Eagle Mountain City, Utah, Amending the Eagle Mountain Municipal Code 17.60 and 17.10 Fencing Amendment.
ITEM TYPE:	Development Code Amendment
FISCAL IMPACT:	N/A
APPLICANT:	Eagle Mountain Resident, Katie Elliott

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
N/A	N/A

PUBLIC HEARING

Yes

PREPARED BY

Mickie Mills, Planner

PRESENTED BY

Mickie Mills

RECOMMENDATION:

Staff recommends that the Planning Commission forward a negative recommendation to City Council regarding an Ordinance of Eagle Mountain City, Utah, amending the Eagle Mountain Municipal Code 17.60 and 17.10 Fencing Amendment.

BACKGROUND:

This code amendment was requested by Eagle Mountain City resident, Katie Elliott. It adds “pre-weathered weathering steel” as an approved material type for residential perimeter fencing and adds a definition for “pre-weathered weathering steel fences.” Corten steel is a brand name for weathering steel.

ITEMS FOR CONSIDERATION:

The Planning Commission should consider the potential consequences of the rusted patina surface, and its impact on surrounding areas. The surface rust from weathering steel can run off during storms and stain concrete and other surfaces. Stains from run off are most likely to develop when the steel is first exposed to the elements as it works to build up the rusted patina surface, but can occur for the lifetime of the fence, even on pre-weathered types. Clean up and mitigation of these effects are costly and difficult to enforce. If allowed, the Planning Commission should consider the enforcement consequences and costs associated with the proposed code changes.

Ordinances pertaining to Development Code Amendments, and processing of the same, may be found in EMMC 17.05.120.

PLANNING COMMISSION ACTION/RECOMMENDATION:

N/A

ATTACHMENTS:

1. Redlines
2. Clean

Resident Initiated Fence Code Amendment

PLGL-26-2

Proposed Code Language

17.60.120 General fencing/screening provisions.

A. The standards in this section shall apply universally to fencing, walls, and screens in all zones unless specified otherwise. Various fence types are defined in EMMC [17.10.030](#). A fence permit or authorization via city site plan approval shall be required by the city to sanction the placement of a fence or wall or privacy screen.

Property owners should only install fencing on their property. If the property lines are not clearly marked, the city encourages the property owner(s) to consider having a surveyor determine property line locations and mark the same. Fence or wall height is measured or assessed from either: (1) the height of finished grade of the property whereupon a fence lies or to which it pertains, to the top of the fence or wall; or (2) from the height of the grade of a commercial or industrial building/parking pad where such is at a higher-grade elevation than any abutting residentially zoned or developed property, whichever results in a higher screen.

B. Residential Perimeter Fencing Standards.

1. Material Type(s).

a. Allowed: board (e.g., cedar), vinyl, and/or solid walls (made of decorative concrete or masonry (including brick)), **weathering steel with wood posts**, wrought iron or imitation variety thereof, composite material and limited amounts (i.e., less than 80 percent of the overall area of a section of fencing between posts) of black painted hog wire provided all such have top and bottom rails and substantial posts/columns.

b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent, save for posts or support columns which may be of different composition or style.

c. Not allowed: chain-link, wire, razor, chain fencing, gabion basket fencing, and/or electric (except as allowed per standards hereafter). Also, fences comprised of, or containing, sheet metal (**except weathering steel**), OSB, and nontraditional materials/items such as signs, rugs, cardboard, Styrofoam, etc.

Exception(s):

- i. Livestock animal enclosure. Barbed wire or wire fences (including electric lines) may be used to create animal enclosures. In such cases, the fence shall not exceed six feet in height and may only be used within/alongside of rear yard areas.
- ii. Sport court or golf course protection screening. Refer to provisions in subsection (J) of this section.
- iii. Electric fences as allowed in accordance with electric fence provisions stated in this section.

2. Height(s).

- a. Interior Lots. No fence shall exceed four feet in height in the front yard area of a property. Wing fencing extending from the front corners of a residence to the side property lines may be up to six feet tall. Fencing along the side property lines past the front wall plane of a residence to, and along, the rear property line, including against an alley or service drive, may be up to six feet tall. Fencing that adjoins an alley or service drive shall be required to comply with clear vision triangle standards where applicable.
- b. Corner Lots. Same as interior lots save that no fencing over three feet in height shall be within a clear vision triangle. Fencing that adjoins an alley, service drive or driveway shall be required to comply with clear vision triangle standards where applicable.

Exception(s): Sport court fencing or golf course screening shall be exempt from the height regulations of this subsection but may not be used as exterior property fencing/screening.

C. Nonresidential (i.e., Agricultural, Commercial, Industrial, etc.) Perimeter Fence/Wall Materials, Appearance and Maintenance Standards.

1. Material Type(s).

- a. Allowed: board (e.g., cedar), vinyl, and/or decorative concrete or masonry (including brick), wrought iron or simulated/imitation version thereof, composite material and limited amounts of painted hog wire provided all such have top and bottom rails and substantial posts/columns.
- b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent save for posts or support columns which may be of different composition or style.
- c. Not allowed: full wire, razor, chained fencing, gabion basket fencing, chain-link fencing, and/or electric screen fencing.

Exception(s): Barbed wire, electrified wire (not fully electrified fences – see subsection H of this section) or full wire fences (e.g., hog wire or similar) shall be allowed:

- i. In conjunction with the care and keeping of livestock on property.
- ii. On property that has either greenbelt tax status or legal nonconforming status.
- iii. For city fencing of conservation easements or other sensitive public or municipal lands, and/or perimeter screening of the city's wildlife corridor.
- iv. For city fencing of land for vegetative management purposes (i.e., livestock grazing of open spaces, utility rights-of-way and other areas).
- v. Chain-link fencing as specified in this title around industrially zoned properties or monopole cell towers (see subsection (C)(1)(d) of this section).

d. Where chain-link is allowed in industrial zones or in conjunction with monopole cell towers, said fencing:

- i. Shall have top rails.
- ii. Shall be vinyl coated.
- iii. Shall be obscured by a vegetative screen between it and any parking lot or adjoining public street.
- iv. Shall not have slats embedded therein.
- v. Chain-link mesh shall be flush to the ground.

2. Height(s).

- a. Agricultural Zone. Fencing in industrial zones shall not exceed eight feet in height.
- b. Commercial Zones. Fencing in commercial zones shall not exceed eight feet in height in any property area.
- c. Industrial Zones. Fencing in industrial zones shall not exceed eight feet in height.

D. City Facilities Fencing Standards. Security fencing type/materials and height for public municipal facilities shall be no less than six feet nor higher than eight feet tall, and shall be simulated wrought iron. Exception: City fencing installed to preserve conservation easement areas, or the wildlife corridor may be of material type and height as determined appropriate by the city.

E. Walls or Fences as Buffers or Street Screens. Where required, screening walls or fences shall not be less than six feet in height. Required wall installations shall precede issuance of a building permit for a project related to a wall as per EMMC [16.35.090](#). Masonry or decorative concrete shall be used as a:

1. Buffer. Where and when a commercial use borders a residential or agricultural zone or development. Such wall, fence and landscaping shall be maintained in good condition with no advertising thereon.
2. Refuse Areas. Trash enclosures and other refuse collection areas shall be screened by a solid masonry or decorative concrete wall. Gates shall be (full) metal and sight-obscuring, not made of chain link or chain link with slats.
3. Street Screens. Where and when residential fencing abutting a road identified by the city as a “major” or “minor” “arterial,” or, as a “major” or “minor” “collector” is installed, it shall be of consistent height (not less than six feet), material and color, and be made of stone, masonry or decorative concrete.

Residential subdivisions, business park, commercial, commercial storage, and industrial developments shall install six-foot-tall privacy screening made of durable materials consisting of either stone, masonry or decorative concrete (including precast concrete) along the rear and/or side lot lines of a project that abut(s) an arterial or collector road right-of-way, or one designated as such on the city’s existing future transportation plan.

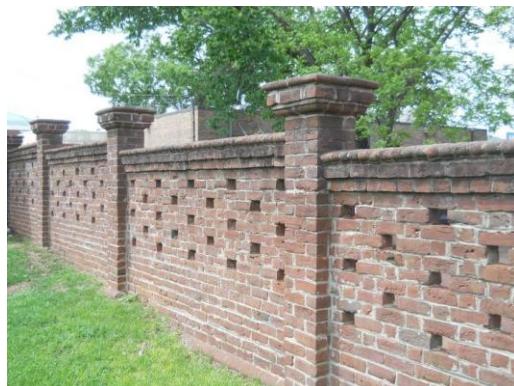
Developers/builders are required to install privacy screening prior to any building permits being issued in that phase of development that abuts such right-of-way. Property purchasers, at any such time as they desire to install screening along an arterial or collector where such is absent, shall install an acceptable wall.

Exception: In cases where a residential property:

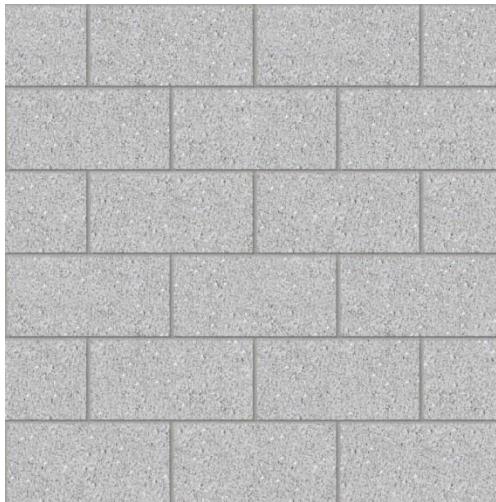
- a. Either abuts the Ranches Parkway; or
- b. Faces (at an angle within 45 degrees of being parallel) to Ranches Parkway; and
- c. Is within 75 feet of the closest Ranches Parkway right-of-way line; and
- d. Where and when screening of the property (usually along a rear property line) from the Parkway has not already been installed by a developer.builder prior to occupancy of a house on that property; then

screening installed by that lot’s owner shall be a “Monterey Gray” colored wood fence – six feet maximum height.

Note that the foregoing requirement does not pertain to those properties in the Ranches with yards abutting or facing actively used golf course land (i.e., fairways or greens) where wrought iron type fencing is instead required between those yard areas (usually backyards) and the golf course.



Examples of inappropriate concrete and masonry walls styling include:



F. Residential Privacy Screens. Privacy screens on residential properties that serve as view curtains, decorative elements, buffers to neighboring properties, etc., shall be allowed; provided, that:

1. They are treated as accessory structures in terms of allowed height(s), required setback(s) and the need to avoid being placed in or across an easement.
2. If under seven feet in height, neither a fence nor a building permit is, or shall be, required. However, if a privacy screen is [to be] over seven feet in height, a building permit is [first] required.

G. Wall or Fence Location Restrictions.

1. **Rights-of-Way.** Neither fences nor walls shall be located within any portion of any public right-of-way without written city consent. Written city consent shall consist of an approved right-of-way encroachment agreement/license. If allowed within a public right-of-way, it shall be the duty of the owner of the fence or wall to remove the same at their expense upon notification by the city for any reason deemed sufficient by the city.

2. Easements.

- a. Fences may be placed across or in easements.

b. Walls (including retaining types) shall not be allowed to cross or rest within an easement unless approved otherwise by vacating all or a portion of the easement or obtaining an easement release coupled with an encroachment license/agreement from the city.

3. Utility Fixtures. Fire hydrants and utility boxes shall not be fenced into a yard (i.e., trapped). Fencing shall be kept at least three feet from any such fixtures.

4. Utility Meters. Fencing shall not obstruct access to gas, electric, and water meters. If an area of a property with such meters is enclosed by fencing, there shall be an unlocked entrance (e.g., a gate) to allow access to the meter(s).

H. Electric Perimeter/Screen Fences (Fully Electrified Fence). Electric perimeter security fences shall only be allowed in the city as provided in this section, subject to the following standards:

1. IEC Standard 60335-2-76. Unless otherwise specified herein, electric fences shall be constructed or installed in conformance with the specifications set forth in International Electrotechnical Commission (IEC) Standard 60335-2-76.

2. Energizer. The energizer for electric fences must be driven by a commercial storage battery not to exceed 12 volts DC. The storage battery is charged primarily by a solar panel. However, the solar panel may be augmented by a commercial trickle charger.

3. Charge Limit. The electric charge produced by the fence upon contact shall not exceed energizer characteristics set forth in paragraph 22.108 and depicted in Figure 102 of IEC Standard 60335-2-76.

4. Where permitted: Electric fences shall be permitted on any nonresidential outdoor storage area or to secure power plant property.

5. Signage. Electric fences shall be clearly identified with warning signs that read “Warning – Electric Fence” placed at intervals not less than 60 feet apart.

6. Governing Regulations. Electric fences shall otherwise be governed and regulated under burglar alarm regulations and permitted as such.

7. Violation. It shall be unlawful for any person to install, maintain or operate an electric fence in violation of this section save those fences designed and operated to contain livestock. Those fences shall comply with traditional practice and industry standards applicable to livestock enclosure.

I. Berms and Landscape Screens or Hedges. Berms, landscape screens, including hedges, shall be considered functionally equivalent to fences unless otherwise specified. If used, berms and any planting or fencing atop the same shall be restricted in height equivalent to that allowed for a fence in a given

location. This shall not be construed to mean, however, that berms or hedges may be substituted for fencing or walls where fencing or a wall are specifically required to be installed per code.

17.10.030 Definitions.

“Fence” means a type of upright linear structure that serves as a barrier and/or boundary and is customarily used to mark a property boundary and/or to control access to/from a property, serve as a sight or protective screen or as a decorative element. **Fences** are made of varying materials and in varying styles. Common subtypes (with sample pictorial representations) include as follows:

“Board” means a **fence** that is mainly or wholly comprised of vertically arranged boards (often cedar wood) abutted together in a row.



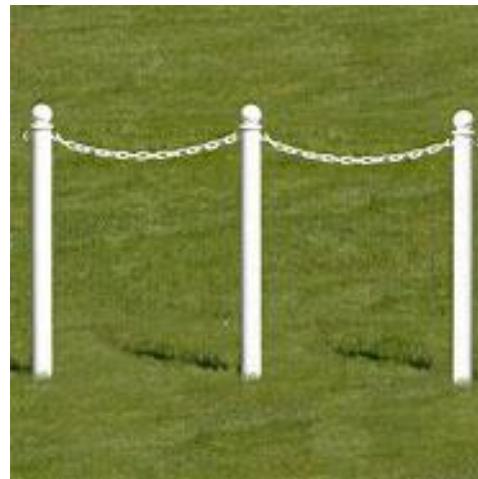
“Board-on-board” (aka “shadowbox”) means a **fence** with alternating vertical boards over horizontal structures that give the **fence** a finished look on both sides.



“Chain-link” or “cyclone” means any **fence** that is constructed out of some type of woven wire **fence**, typically with a minimum gauge ranging from nine to 11.



“Chained **fencing**” means lengths of chain (usually heavy gauge) suspended between support poles/bollard or columns.



“Decorative” means any **fence** not specifically established to curtail access through or past the same. Decorative **fences** shall not include any form of chain link material.



“Gabion basket” means a wire mesh wrapped column of rock, usually river rock or similar materials to form an effectual basket.



“Lattice” means an open framework made of strips of wood or similar material overlapped or overlaid in a regular crisscross or decorative pattern.



“Non-site-obscuring” means a **fence** (e.g., picket, chain-link, solid **fence** with partial wire or lattice composition) that allows some view through the same.



“Ornamental” means wrought iron, tubular aluminum, or other decorative metal **fence**.



“Picket” means a **fence** with in-line boards with gaps between the same. Typically, the gaps are the same width as the boards and the boards are usually arranged vertically.



“Privacy screen, residential” means a type of **fence** or curtain wall placed on a property (typically along a patio, deck, courtyard, or swimming pool) not as a **fence** but rather a barrier to facilitate enhanced privacy or view screening on a property. Screens in this title are treated as a form of accessory structure instead of a **fence**, and are subject to accessory structure code standards.



“Site-obscuring” means a **fence** (e.g., board or vinyl) or wall that by its construct inhibits viewing through or past the same.

“Split-rail” means a **fence** typically featuring two or three cross-members between posts or supports.



“Vinyl” means a **fence** that is mainly or wholly comprised (typically) of vertically arranged vinyl panels abutted together in a row.



“Weathering steel” refers to low-alloy steel manufactured to develop a protective rust-like patina after exposure to weather.



Resident Initiated Fence Code Amendment

PLGL-26-2

Proposed Code Language

17.60.120 General fencing/screening provisions.

A. The standards in this section shall apply universally to fencing, walls, and screens in all zones unless specified otherwise. Various fence types are defined in EMMC [17.10.030](#). A fence permit or authorization via city site plan approval shall be required by the city to sanction the placement of a fence or wall or privacy screen.

Property owners should only install fencing on their property. If the property lines are not clearly marked, the city encourages the property owner(s) to consider having a surveyor determine property line locations and mark the same. Fence or wall height is measured or assessed from either: (1) the height of finished grade of the property whereupon a fence lies or to which it pertains, to the top of the fence or wall; or (2) from the height of the grade of a commercial or industrial building/parking pad where such is at a higher-grade elevation than any abutting residentially zoned or developed property, whichever results in a higher screen.

B. Residential Perimeter Fencing Standards.

1. Material Type(s).

a. Allowed: board (e.g., cedar), vinyl, and/or solid walls (made of decorative concrete or masonry (including brick)), pre-weathered weathering steel with wood posts (to be re-sealed annually to prevent staining), wrought iron or imitation variety thereof, composite material and limited amounts (i.e., less than 80 percent of the overall area of a section of fencing between posts) of black painted hog wire provided all such have top and bottom rails and substantial posts/columns.

b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent, save for posts or support columns which may be of different composition or style.

c. Not allowed: chain-link, wire, razor, chain fencing, gabion basket fencing, and/or electric (except as allowed per standards hereafter). Also, fences comprised of, or containing, sheet metal (except pre-weathered weathering steel), OSB, and nontraditional materials/items such as signs, rugs, cardboard, Styrofoam, etc.

Exception(s):

- i. Livestock animal enclosure. Barbed wire or wire fences (including electric lines) may be used to create animal enclosures. In such cases, the fence shall not exceed six feet in height and may only be used within/alongside of rear yard areas.
- ii. Sport court or golf course protection screening. Refer to provisions in subsection (J) of this section.
- iii. Electric fences as allowed in accordance with electric fence provisions stated in this section.

2. Height(s).

- a. Interior Lots. No fence shall exceed four feet in height in the front yard area of a property. Wing fencing extending from the front corners of a residence to the side property lines may be up to six feet tall. Fencing along the side property lines past the front wall plane of a residence to, and along, the rear property line, including against an alley or service drive, may be up to six feet tall. Fencing that adjoins an alley or service drive shall be required to comply with clear vision triangle standards where applicable.
- b. Corner Lots. Same as interior lots save that no fencing over three feet in height shall be within a clear vision triangle. Fencing that adjoins an alley, service drive or driveway shall be required to comply with clear vision triangle standards where applicable.

Exception(s): Sport court fencing or golf course screening shall be exempt from the height regulations of this subsection but may not be used as exterior property fencing/screening.

C. Nonresidential (i.e., Agricultural, Commercial, Industrial, etc.) Perimeter Fence/Wall Materials, Appearance and Maintenance Standards.

1. Material Type(s).

- a. Allowed: board (e.g., cedar), vinyl, and/or decorative concrete or masonry (including brick), wrought iron or simulated/imitation version thereof, composite material and limited amounts of painted hog wire provided all such have top and bottom rails and substantial posts/columns.
- b. Composition. Fences shall be constructed such that no more than two materials (i.e., wood or vinyl, etc.) are used throughout and its color(s), pattern, and composition are consistent save for posts or support columns which may be of different composition or style.
- c. Not allowed: full wire, razor, chained fencing, gabion basket fencing, chain-link fencing, and/or electric screen fencing.

Exception(s): Barbed wire, electrified wire (not fully electrified fences – see subsection H of this section) or full wire fences (e.g., hog wire or similar) shall be allowed:

- i. In conjunction with the care and keeping of livestock on property.
- ii. On property that has either greenbelt tax status or legal nonconforming status.
- iii. For city fencing of conservation easements or other sensitive public or municipal lands, and/or perimeter screening of the city's wildlife corridor.
- iv. For city fencing of land for vegetative management purposes (i.e., livestock grazing of open spaces, utility rights-of-way and other areas).
- v. Chain-link fencing as specified in this title around industrially zoned properties or monopole cell towers (see subsection (C)(1)(d) of this section).

d. Where chain-link is allowed in industrial zones or in conjunction with monopole cell towers, said fencing:

- i. Shall have top rails.
- ii. Shall be vinyl coated.
- iii. Shall be obscured by a vegetative screen between it and any parking lot or adjoining public street.
- iv. Shall not have slats embedded therein.
- v. Chain-link mesh shall be flush to the ground.

2. Height(s).

- a. Agricultural Zone. Fencing in industrial zones shall not exceed eight feet in height.
- b. Commercial Zones. Fencing in commercial zones shall not exceed eight feet in height in any property area.
- c. Industrial Zones. Fencing in industrial zones shall not exceed eight feet in height.

D. City Facilities Fencing Standards. Security fencing type/materials and height for public municipal facilities shall be no less than six feet nor higher than eight feet tall, and shall be simulated wrought iron. Exception: City fencing installed to preserve conservation easement areas, or the wildlife corridor may be of material type and height as determined appropriate by the city.

E. Walls or Fences as Buffers or Street Screens. Where required, screening walls or fences shall not be less than six feet in height. Required wall installations shall precede issuance of a building permit for a project related to a wall as per EMMC [16.35.090](#). Masonry or decorative concrete shall be used as a:

1. Buffer. Where and when a commercial use borders a residential or agricultural zone or development. Such wall, fence and landscaping shall be maintained in good condition with no advertising thereon.
2. Refuse Areas. Trash enclosures and other refuse collection areas shall be screened by a solid masonry or decorative concrete wall. Gates shall be (full) metal and sight-obscuring, not made of chain link or chain link with slats.
3. Street Screens. Where and when residential fencing abutting a road identified by the city as a “major” or “minor” “arterial,” or, as a “major” or “minor” “collector” is installed, it shall be of consistent height (not less than six feet), material and color, and be made of stone, masonry or decorative concrete.

Residential subdivisions, business park, commercial, commercial storage, and industrial developments shall install six-foot-tall privacy screening made of durable materials consisting of either stone, masonry or decorative concrete (including precast concrete) along the rear and/or side lot lines of a project that abut(s) an arterial or collector road right-of-way, or one designated as such on the city’s existing future transportation plan.

Developers/builders are required to install privacy screening prior to any building permits being issued in that phase of development that abuts such right-of-way. Property purchasers, at any such time as they desire to install screening along an arterial or collector where such is absent, shall install an acceptable wall.

Exception: In cases where a residential property:

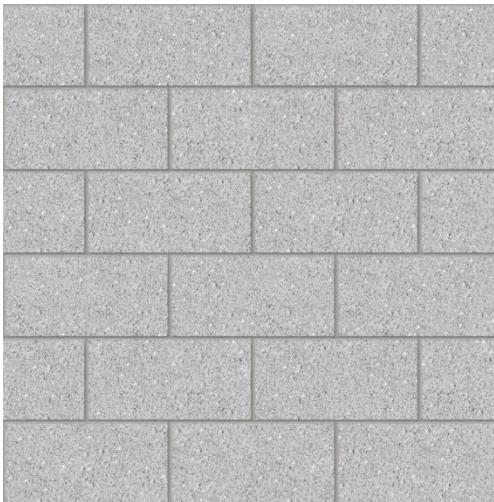
- a. Either abuts the Ranches Parkway; or
- b. Faces (at an angle within 45 degrees of being parallel) to Ranches Parkway; and
- c. Is within 75 feet of the closest Ranches Parkway right-of-way line; and
- d. Where and when screening of the property (usually along a rear property line) from the Parkway has not already been installed by a developer.builder prior to occupancy of a house on that property; then

screening installed by that lot’s owner shall be a “Monterey Gray” colored wood fence – six feet maximum height.

Note that the foregoing requirement does not pertain to those properties in the Ranches with yards abutting or facing actively used golf course land (i.e., fairways or greens) where wrought iron type fencing is instead required between those yard areas (usually backyards) and the golf course.



Examples of inappropriate concrete and masonry walls styling include:



F. Residential Privacy Screens. Privacy screens on residential properties that serve as view curtains, decorative elements, buffers to neighboring properties, etc., shall be allowed; provided, that:

1. They are treated as accessory structures in terms of allowed height(s), required setback(s) and the need to avoid being placed in or across an easement.
2. If under seven feet in height, neither a fence nor a building permit is, or shall be, required. However, if a privacy screen is [to be] over seven feet in height, a building permit is [first] required.

G. Wall or Fence Location Restrictions.

1. **Rights-of-Way.** Neither fences nor walls shall be located within any portion of any public right-of-way without written city consent. Written city consent shall consist of an approved right-of-way encroachment agreement/license. If allowed within a public right-of-way, it shall be the duty of the owner of the fence or wall to remove the same at their expense upon notification by the city for any reason deemed sufficient by the city.

2. **Easements.**

- a. Fences may be placed across or in easements.

b. Walls (including retaining types) shall not be allowed to cross or rest within an easement unless approved otherwise by vacating all or a portion of the easement or obtaining an easement release coupled with an encroachment license/agreement from the city.

3. Utility Fixtures. Fire hydrants and utility boxes shall not be fenced into a yard (i.e., trapped). Fencing shall be kept at least three feet from any such fixtures.

4. Utility Meters. Fencing shall not obstruct access to gas, electric, and water meters. If an area of a property with such meters is enclosed by fencing, there shall be an unlocked entrance (e.g., a gate) to allow access to the meter(s).

H. Electric Perimeter/Screen Fences (Fully Electrified Fence). Electric perimeter security fences shall only be allowed in the city as provided in this section, subject to the following standards:

1. IEC Standard 60335-2-76. Unless otherwise specified herein, electric fences shall be constructed or installed in conformance with the specifications set forth in International Electrotechnical Commission (IEC) Standard 60335-2-76.

2. Energizer. The energizer for electric fences must be driven by a commercial storage battery not to exceed 12 volts DC. The storage battery is charged primarily by a solar panel. However, the solar panel may be augmented by a commercial trickle charger.

3. Charge Limit. The electric charge produced by the fence upon contact shall not exceed energizer characteristics set forth in paragraph 22.108 and depicted in Figure 102 of IEC Standard 60335-2-76.

4. Where permitted: Electric fences shall be permitted on any nonresidential outdoor storage area or to secure power plant property.

5. Signage. Electric fences shall be clearly identified with warning signs that read “Warning – Electric Fence” placed at intervals not less than 60 feet apart.

6. Governing Regulations. Electric fences shall otherwise be governed and regulated under burglar alarm regulations and permitted as such.

7. Violation. It shall be unlawful for any person to install, maintain or operate an electric fence in violation of this section save those fences designed and operated to contain livestock. Those fences shall comply with traditional practice and industry standards applicable to livestock enclosure.

I. Berms and Landscape Screens or Hedges. Berms, landscape screens, including hedges, shall be considered functionally equivalent to fences unless otherwise specified. If used, berms and any planting or fencing atop the same shall be restricted in height equivalent to that allowed for a fence in a given

location. This shall not be construed to mean, however, that berms or hedges may be substituted for fencing or walls where fencing or a wall are specifically required to be installed per code.

17.10.030 Definitions.

“**Fence**” means a type of upright linear structure that serves as a barrier and/or boundary and is customarily used to mark a property boundary and/or to control access to/from a property, serve as a sight or protective screen or as a decorative element. **Fences** are made of varying materials and in varying styles. Common subtypes (with sample pictorial representations) include as follows:

“Board” means a **fence** that is mainly or wholly comprised of vertically arranged boards (often cedar wood) abutted together in a row.



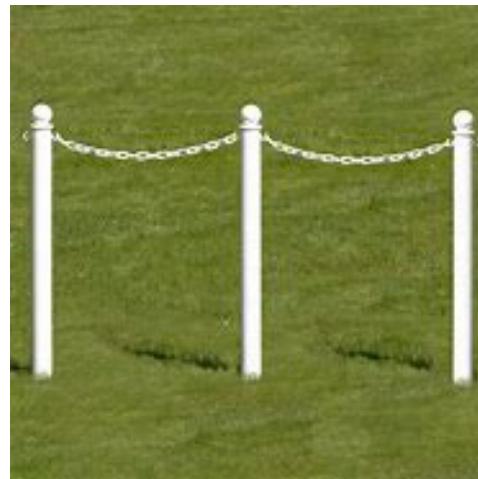
“Board-on-board” (aka “shadowbox”) means a **fence** with alternating vertical boards over horizontal structures that give the **fence** a finished look on both sides.



“Chain-link” or “cyclone” means any **fence** that is constructed out of some type of woven wire **fence**, typically with a minimum gauge ranging from nine to 11.



“Chained **fencing**” means lengths of chain (usually heavy gauge) suspended between support poles/bollard or columns.



“Decorative” means any **fence** not specifically established to curtail access through or past the same. Decorative **fences** shall not include any form of chain link material.



“Gabion basket” means a wire mesh wrapped column of rock, usually river rock or similar materials to form an effectual basket.



“Lattice” means an open framework made of strips of wood or similar material overlapped or overlaid in a regular crisscross or decorative pattern.



“Non-site-obscuring” means a **fence** (e.g., picket, chain-link, solid **fence** with partial wire or lattice composition) that allows some view through the same.



“Ornamental” means wrought iron, tubular aluminum, or other decorative metal **fence**.



“Picket” means a **fence** with in-line boards with gaps between the same. Typically, the gaps are the same width as the boards and the boards are usually arranged vertically.



“Privacy screen, residential” means a type of **fence** or curtain wall placed on a property (typically along a patio, deck, courtyard, or swimming pool) not as a **fence** but rather a barrier to facilitate enhanced privacy or view screening on a property. Screens in this title are treated as a form of accessory structure instead of a **fence**, and are subject to accessory structure code standards.



“Site-obscuring” means a **fence** (e.g., board or vinyl) or wall that by its construct inhibits viewing through or past the same.

“Split-rail” means a **fence** typically featuring two or three cross-members between posts or supports.



“Vinyl” means a **fence** that is mainly or wholly comprised (typically) of vertically arranged vinyl panels abutted together in a row.



“Pre-Weathered Weathering steel” refers to low-alloy steel manufactured to develop a protective rust-like patina after exposure to weather.





**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	5th Amendment to the Amended and Restated Overland Development Agreement
ITEM TYPE:	Master Development Agreement
FISCAL IMPACT:	\$8,000,000 in incentives.
APPLICANT:	Terra Smith's Eagle Mountain I, LLC

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
Town Center Mixed Use / Historic Commercial Zone	53 acres

PUBLIC HEARING
Yes

PREPARED BY
Marcus Draper, City Attorney

PRESENTED BY
Marcus Draper, Evan Berrett

RECOMMENDATION:
Approve Amendment

BACKGROUND:

BACKGROUND - In 2017, the City entered into an Amended and Restated Master Development Agreement with SITLA and Ivory Homes for the Overland Development. Ivory and SITLA have sold a 53-acre parcel within the commercial area of the development to a commercial developer working with Kroger for the development of a commercial shopping center. The parcel is located north of Mid-Valley Road and east of Pony Express Parkway. The shopping center would include a Smith's Marketplace, another major big box retailer, 4 other smaller anchors adjacent to the Smith's, and numerous pad sites. To make the project financially feasible, the Agreement includes tax incentives for the cost of infrastructure to support the development. The Agreement would allow the developer to develop the property consistent with the vested historic commercial zone. It also allows a few other permitted uses consistent with a Smith's anchored commercial marketplace.

ITEMS FOR CONSIDERATION:
NA

PLANNING COMMISSION ACTION/RECOMMENDATION:
NA

ATTACHMENTS:
None



**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	Rezone of Parcels 59:055:0002, 59:055:0005, 59:055:0010, 59:055:0013, 59:055:0016, 59:055:0017, 59:055:0021, and 59:058:0004, to the Regional Technology and Industry Overlay zone.
ITEM TYPE:	Rezone
FISCAL IMPACT:	N/A
APPLICANT:	Jed Hellmich, Basin Engineering

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
Business Park/Light Industry / Agriculture	523.17

PUBLIC HEARING

Yes

PREPARED BY

David Stroud, Senior Planner

PRESENTED BY

David Stroud

RECOMMENDATION:

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the proposed rezone.

BACKGROUND:

QTS owns the eight parcels in this request, which encompass 524 acres. The approved Development Agreement states that any property acquired by QTS is subject to the approved Agreement. From Section 4.8 of the Agreement: *"This Agreement is hereby adopted and approved by the City to apply to any real property within the municipal limits of the City that is adjacent and contiguous to the property (or that is separated from the Property only by roads, public rights of way, easements, or similar land rights or uses) that the Company or affiliate of the Company may from time to time acquire following the effective date..."* The properties need to be rezoned at the RTI zone in order to utilize the standards of the zone (in addition to the Agreement's standards).

ITEMS FOR CONSIDERATION:

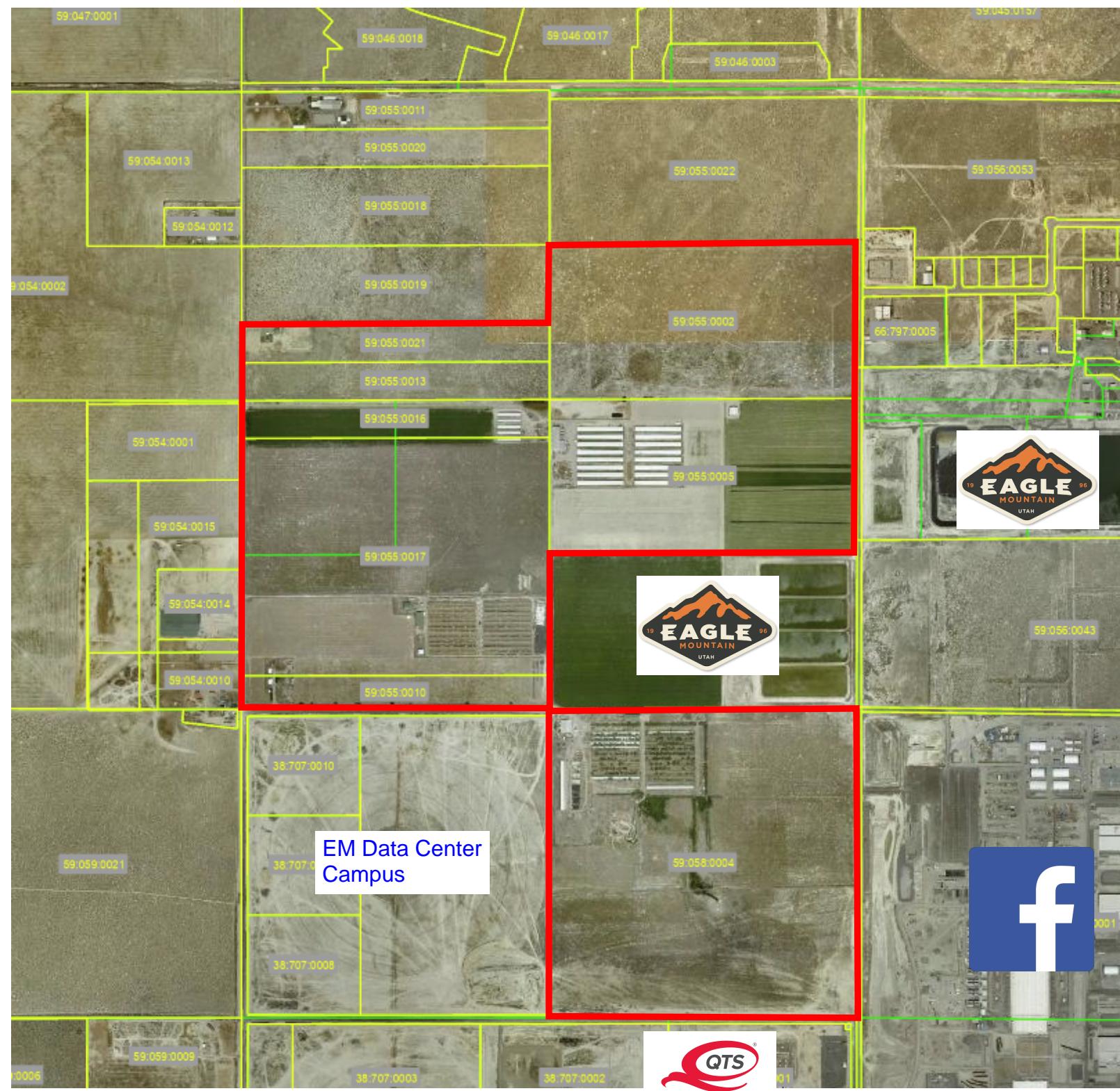
N/A

PLANNING COMMISSION ACTION/RECOMMENDATION:

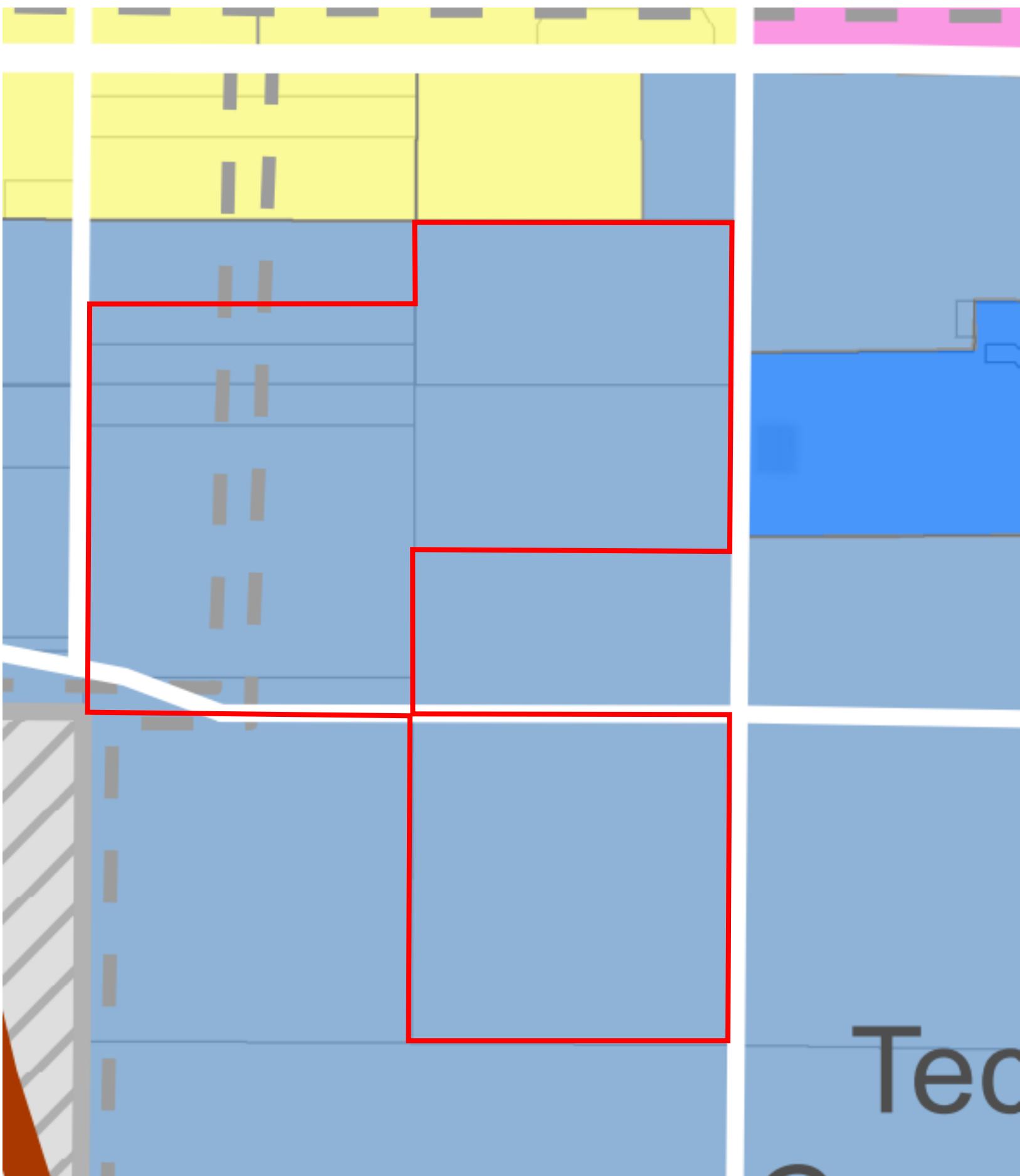
The Planning Commission shall forward a recommendation to the City Council regarding the rezone request.

ATTACHMENTS:

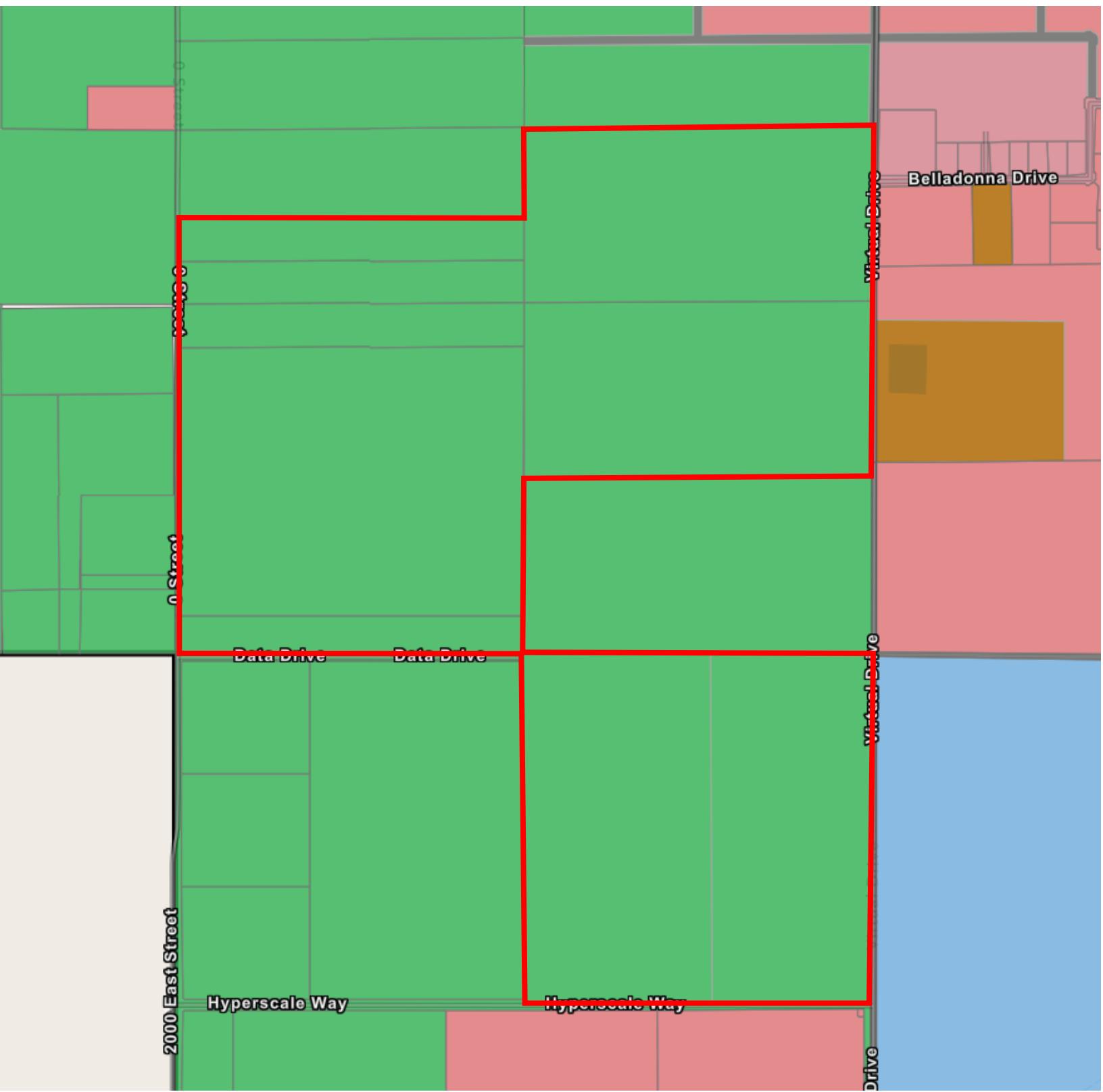
1. QTS Aerial Map
2. QTS GP map
3. QTS Zone Map



General Plan - Business Park/Light Industry



Zone - Agriculture





**EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING
FEBRUARY 10, 2026**

TITLE:	An Ordinance of Eagle Mountain City, Utah, Amending the General Plan Future Land Use Map for Wildlife Urban Interface
ITEM TYPE:	General Plan Amendment
FISCAL IMPACT:	
APPLICANT:	City-initiated

CURRENT GENERAL PLAN DESIGNATION & ZONE	ACREAGE
City-wide	City-wide

PUBLIC HEARING

Yes

PREPARED BY

Brandon Larsen, Planning
Director

PRESENTED BY

Brandon Larsen

RECOMMENDATION:

Staff recommends the Planning Commission forward a positive recommendation to the City Council regarding the Wildland Urban Interface Area Map.

BACKGROUND:

House Bill 48 (2025) requires cities that participate in the Cooperative Wildfire System (CWS) to adopt and enforce Utah Wildland Urban Interface (WUI) Code requirements. According to Battalion Chief, Bret Fossum, Eagle Mountain is a member of the CWS. Further, as per EMMC 15.95.010, the City has adopted the 2006 edition of the Utah Wildland Urban Interface (WUI) Code. The WUI Code contains a series of building and fire requirements related to a structure's presence in the WUI. Currently, the City does not have a map showing which portions of the City that lie within the WUI. As such, Staff has prepared and proposes adoption of the Eagle Mountain City Wildland Urban Interface Area Map. The proposed map shows the areas of the City that are proposed to be subject to the WUI Code requirements. Staff coordinated the proposed location of the WUI within the City with Battalion Chief Bret Fossum; Utah County Fire Warden, Garrett Nielsen; Area Fire Marshal, Dan Devoogd; and Battalion Chief Wade Watkins. The included area is based on the "Smoothed Structure Exposure Score."

According to the Utah Division of Forestry, Fire, and State Lands website: "The Smoothed Structure Exposure Score (SES) represents a neighborhood level of wildfire exposure that considers both wildfire likelihood and consequence of wildfire to homes." This score ranges from 1 (lowest exposure) to 8 (Extreme Exposure). Areas 7 (Very High Exposure) and 8 have been included on the map (minus any subdivisions and schools). Subdivisions were excluded because of feedback from fire officials who consulted with staff on the preparation of the map. The officials explained that development activities lessen fire hazards.

The City appears to have broad control on the areas it includes on the map. The map can be amended to include or exclude land.

This proposed map does not call out the "High Risk" Wildland Urban Interface Boundary, which insurance companies must use for assessing the fire risk of structures in the state. The FFSL manages this map.

Another important reason this map is needed is because House Bill 48 provides that the FFSL may choose not to pay certain fire response costs for land in the City if the City essentially doesn't adopt and enforce the WUI Code.

ITEMS FOR CONSIDERATION:

EMMC 15.95.010 states: "Eagle Mountain City hereby adopts the specific editions of the current construction and fire code in Title 15A, Chapter 2, Part 1, Utah Code Annotated 1953, and Title 15A, Chapter 5, Part 1, Utah Code Annotated 1953, State Construction and Fire Codes Act, including the current statewide amendments set forth in Title 15A, Chapter 3, Utah Code Annotated 1953, State Construction and Fire Codes Act."

Title 15A, Chapter 2, Part 1, Utah Code Annotated 1953, specifically adopts the 2006 edition of the Wildland Urban Interface Code as part of the state construction code.

PLANNING COMMISSION ACTION/RECOMMENDATION:

ATTACHMENTS:

1. WUI Map to PC, 2.4.26



Camp Williams

Saratoga
Springs

Cedar Fort

Fairfield

POLE CANYON

FINNSTOWN
1000 NORTH

Highway 73

AIRPORT

OLD AIRPORT

MID VALLEY
PONY EXPRESS
AVIATOR

EAGLE MOUNTAIN

CEDAR
PASS
CREST

CEDAR

CREST

RANCHES

TINAMOUS

GOLDEN EAGLE

WOODHAVEN



**Eagle Mountain City
Wildland Urban Interface Area Map**

Legend

- EM WUI Area (Orange)
- EMC Boundary (Black line)
- Municipalities (Light Green)