

**HEBER CITY CORPORATION
75 North Main Street
Heber City, UT 84032
Planning Commission Meeting**

February 10, 2026

6:00 p.m. – Regular Meeting

-Time and Order of Items are approximate and may be changed as Time Permits-

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

1. Regular Meeting:

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance: By Invitation
- IV. Prayer/Thought by Invitation ()
- V. Recuse for Conflict of Interest

2. Consent Agenda:

- I. January 27, 2026, PC Minutes for Approval

3. Action Items:

- I. Site Plan and Conditional Use Permit approval for New London North Commercial Development Lot 1 Pad A, located at 908 North US-40 (Planner Aubrey Larsen/Engineer Ross Hansen)
- II. Site Plan and Conditional Use Permit approval for New London North Commercial Development Pad B, located at 948 North US-40 (planner Aubrey Larsen/Engineer Ross Hansen)

4. Work Meeting:

- I. Trailhead Plaza Discussion (Development Director Tony Kohler)

5. Administrative Items:

- I. Planning Commission Training
<https://luau.utah.gov/>

6. Adjournment:

Ordinance 2006-05 allows Commission Members to participate in meetings via telecommunications media. In accordance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Meshelle Kijanen at the Heber City Offices at 435.657.7898 at least eight hours

prior to the meeting.

Posted on 02.05.2026, in the Heber City Municipal Building located at 75 North Main, the Heber City Website at www.heberut.gov, and on the Utah Public Notice Website at <http://pmn.utah.gov>.

**HEBER CITY CORPORATION
75 North Main Street
Heber City, UT 84032
Heber City Council Meeting
January 27, 2026**

DRAFT Minutes

6:00 p.m. – Regular Meeting

1. Regular Meeting:

I. Call to Order

Vice Chair Tori Broughton called the Planning Commission Meeting to order at 6:00 p.m. and welcomed everyone present and welcomed the newest full-term voting member, Greg Royal to the Planning Commission and also mentioned that the Mayor will be recognizing long-t

II. Roll Call

Planning Commission Present:

Chairman Phil Jordan
Vice-Chair Tori Broughton
Commissioner Darek Slagowski
Commissioner Josh Knight
Commissioner Greg Royall
Commissioner Robert McKinley

Planning Commission Absent:

Chairman Phil Jordan
Commissioner Dave Richard
Commissioner Robert Wilson

Staff Present:

Planning Manager Jamie Baron
Planning Office Admin Meshelle Kijanen

Staff Participating Remotely:

N/A

Also Present:

Mike Johnston and Howard Saldarini

Also Attending Remotely:

N/A

III. Pledge of Allegiance: By Invitation

Alternate PC Member Robert McKinnley led the recitation of the Pledge of Allegiance.

IV. Prayer/Thought by Invitation N/A ()

V. Recuse for Conflict of Interest N/A

2. Consent Agenda:

Motion: Commissioner Knight moved to approve the consent agenda for the minutes

from December 9, 2025 and the approval for the 2026 Planning Commission meeting dates. Commissioner Greg Royall made a second to the motion.

Discussion: N/A

Voting Yes: 5 Voting No: None. The Motion 5-0.

- I. 12.09.2025 PC Minutes for Approval
- II. Approve 2026 Planning Commission Meeting Dates

3. Action Items:

- I. Saldarini Annexation, located at 110 W Moulton Lane.

Planning Manager Jamie Baron presented the Staff Report as included in the meeting materials. The State requires a zone at the time of annexation and staff is requesting neighborhoods with open space (NOS). There is not a Master Development Agreement or Concept Plan for this Annexation as Mr. Saldarini only wants to annex into the City. Also, there is a master plan trail along the Timpanogos Canal, which is right along the back side of the applicant's property. We would require that at the time of development, whether by Mr. Saldarini or successors of his property, that they abide by the Timpanogo Canal Master Trail Plan. See the full Staff Report as included in the meeting materials.

The applicant, Mr. Saldarin agreed with the contents of the Staff Report.

Commissioner Darek Slagowski asked why the City is recommending NOS rather than University Village (UV)? Mr. Baron responded, Staff is recommending the Nos based mostly from the General Plan and because of the zoning map and where those boundaries are, the majority of this property is within and surrounded by NOS.

However, if this Planning Commission feels that something else is more appropriate, it's within your purview to recommend something else. Mr. Slagowski followed up with asking if the applicant thought the Zone was acceptable, and the applicant confirmed that the zone was acceptable.

Vice-Chair Broughton asked what level of change to the property would then be required to do a trail? Mr. Baron responded, We're looking at full development or a subdivision to the lot to initiate the trail requirement. If the applicant is doing an accessory building, I don't see that being a trigger for the trail compliance.

Commissioner Joshua Knight asked for the difference between the NOS and the UV Zone. Mr. Baron responded, that the University Village (UV) Zone is a lower density zone with more mixed-use and commercial, with more intense uses that are

surrounding the UVU campus, with no single family homes in the. Neighborhoods with open space is limited commercial and more like townhomes and single-family homes.

Commissioner Greg Royall asked when the original annexation was taking place, when the applicant decided not to annex with everybody else. Was it the area zoned NOS zone or was it the UV zone? Mr. Baron said he wasn't sure and would need to do research and get back to Mr. Royall with an answer. However, as he could recall without research,

I think the actual application for that annexation probably came in before we have this current version that we are discussing today. At the time, we had the original North Village overlay Zone (NVOZ), which had more of a strip type development instead of clusters. The NVOZ was structured from the highway up the hill with Town Center, then Village Center, and then Neighborhoods. Mr. Baron continued, the NOS I believe, was adopted during that process and this Annexation was on hold for the new zoning, which we now have these sub-designations. Mr. Baron concluded that was a ruff summary of the timeline.

Motion: Commissioner Knight moved to make a positive recommendation for the Saldarini Annexation, located at 110 W Moulton Lane and to be in the NOS classification. Commissioner Royall made the second.

Discussion: N/A

Voting Yes: Commissioner Slagowski, Commissioner Knight, Commissioner Royall, Commissioner McKinley, and Vice-Chair Broughton. **Voting No:** None. The Motion Passed 5-0.

4. Work Meeting: N/A

5. Administrative Items:

I. Discuss Planning Commission Bylaws

Commissioner Knight asked whether any changes had been made to the Planning Commission Bylaws since the last review. Mr. Baron responded that no changes had been made, noting that only the Planning Commission has the authority to amend the bylaws. Staff can prepare proposed amendments for the Commission's consideration upon request.

Commissioner Knight then asked whether staff believed there were any specific provisions the Planning Commission should review. Mr. Baron responded that attendance requirements are always important to revisit. He explained that failure to meet attendance requirements could result in a Commissioner being asked to step down due to inactivity. While no Planning Commissioner has ever been removed for inactivity, he emphasized the importance of understanding the commitment involved in serving on the Commission.

Mr. Baron also noted that the Commission may wish to discuss the six-year term length. After discussing the pros and cons, the Planning Commission decided to retain the six-year terms as currently written in the bylaws.

The Commission further discussed potential discrepancies between the Planning

Commission Bylaws and the Municipal Code, specifically regarding whether the Commission is allowed one alternate or two alternates, and how vacancies are handled when a Commissioner leaves before completing a term. Staff stated they would review the Municipal Code and bylaws for any inconsistencies and report back to the Commission.

Mr. Baron and the Commissioners also discussed staff and public participation rules and the order of proceedings. It was determined that the Planning Commission follows the appropriate participation and procedural rules.

Commissioner Knight asked how many Commissioners could communicate without violating the Public Open Meetings Act. Mr. Baron clarified that three or fewer Commissioners may communicate, as a quorum consists of four Commissioners. He noted that different types of conversations and scenarios can affect compliance.

The Commissioners were informed that this bylaws discussion would count toward their required four hours of annual training. The Planning Commissioners requested that the full four hours of required training be conducted during regular meetings when agendas are light. The Commissioners also shared the types of training they would like to receive. Mr. Baron reminded the Commission that attendance at the fall conference counts toward the annual training requirement.

Vice-Chair Broughton requested highlights from the City Council retreat. Mr. Baron summarized key topics, including parks, traffic, C Street, dark-sky regulations, amortization of commercial uses, a possible change to dogs in parks, and affordable housing.

Commissioner Knight commented that he would like the City Council to reevaluate deed restrictions related to affordable housing. Vice-Chair Broughton and Mr. Baron continued the discussion, with Mr. Baron outlining the benefits and limitations of deed restrictions.

Mr. Baron then addressed the old fire station building, explaining that a presentation had been given regarding the idea of converting the building into an incubator space, particularly for artists. The concept includes allowing the public to observe artists working along C Street, fostering local art, and reusing the semi-industrial building in the downtown area. The idea also includes potential renovation of the building and use of surrounding parking. The Commissioners and Mr. Baron discussed parking impacts related to public activities on C Street and Main Street. Mr. Baron reminded the Commission that the City does not currently own the old fire station but is in negotiations with Wasatch County.

Vice-Chair Broughton commented that a traffic study would be needed for First South. Commissioner Royall suggested removing the grass area in front of the Public Safety Building and converting it into parking. Access more detailed information that is included in the meeting materials

- II. Discuss any changes needed on the PC Term End Date List (emails, addresses, phone numbers) A paper copy will be provided to the Commissioners at the Meeting.

The Planning Commissioners looked at their specific information listed on the PC Term End Date List and reported on any changes that were needed.

6. Adjournment:

Motion: Commissioner Knight moved to Adjournment:. Commissioner Slagowski made the second.

Discussion: N/A

Voting Yes: Commissioner Slagowski, Commissioner Knight, Commissioner Royall, Commissioner McKinley, Vice-Chair Broughton. **Voting No:** None. The Motion Passed 5-0.

Meshelle Kijanen, Administrative Assistant



Planning Commission Staff Report

MEETING DATE: 2/10/2026

SUBJECT: Site Plan and Conditional Use Permit approval for New London North Commercial Development Lot 1 Pad A, located at 908 North US-40 (Planner Aubrey Larsen/Engineer Ross Hansen)

RESPONSIBLE: Aubrey Larsen

DEPARTMENT: Planning

STRATEGIC RELEVANCE: Community Development

SUMMARY

The City has received a request for Site Plan and Conditional Use Permit approval for New London North Commercial Development Lot 1 Pad A. The application is before the Planning Commission because a Commercial Complex (defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application) requires Planning Commission review. Lot 1, Pad A includes an approximate 6,000 square-foot commercial multi-tenant building. Included with this Site Plan is off-site utility and parking lot drive aisle improvements that will be utilized by future phases to ensure good circulation.

RECOMMENDATION

Staff recommends that the Planning Commission approve the New London North Commercial Development Lot 1 Pad A Site Plan and Conditional Use Permit subject to findings and conditions.

BACKGROUND

Lot 1, Pad A, located at 908 North US-40, is part of the larger New London North Commercial Subdivision - a proposed four-lot mixed-use development within the Mixed-Use Residential Commercial Zone (MURCZ). Lot 1, Pad A, is a corner lot consisting of a 5,584-square-foot multi-tenant building with parking and circulation shared between Lots 1 and 2. Several engineering-related issues required clarification and revision, including updating site boundaries and legal descriptions, addressing easements and utility connections, resolving circulation and drainage concerns, and ensuring consistent plan details across all sheets. Wasatch Fire review required adjustments to hydrant placement and a secondary access connection, and planning review focused on landscaping, site furnishings, trash enclosure details, and lighting - specifically the photometric plan, fixture schedule, and use of black fluted poles to meet city standards. After several rounds of revisions, the New London Commercial Development Lot 1, Pad A meets Site Plan approval requirements subject to findings and conditions.

DISCUSSION

As a conditional use, the Planning Commission may consider the required mitigation of impacts such as parking, traffic circulation, pedestrian access, site amenities, utilities, emergency access, and overall site design. These items have largely been evaluated throughout the review process to ensure the development meets City standards and minimizes adverse effects. Based on this review, staff recommends approval subject to the findings and conditions outlined in this report.

FISCAL IMPACT

CONCLUSION

Staff recommends that the **New London North Commercial Development Lot 1 Pad A Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

Findings:

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

Conditions:

1. All requirements of the City Engineer shall be met including:
 - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
 - Water Rights will be required for landscaping and indoor use as part of the building permit process.
 - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

ALTERNATIVES

Staff Recommended Option - Approval

I move to **approve the item** as presented, with the findings and conditions as presented in the conclusion above.

Alternative 2 - Continuance

I move to **continue the item** to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

Alternative 3 - DENIAL

I move to **deny the item** with the following findings.

POTENTIAL MOTIONS

ACCOUNTABILITY

Department: Planning
Staff member: Aubrey Larsen , Planning Consultant

EXHIBITS

1. New London Lot 1 Combinde Civil
2. 20251204 - WPI Heber Retail BLDG A - ASI 02
3. New London Lot 1 Pad A - PC 02102026

New London North Commercial Development Lot 1 Site Plan

908 North Main Street (US 40)

Heber City, Utah

Developer's Acknowledgement

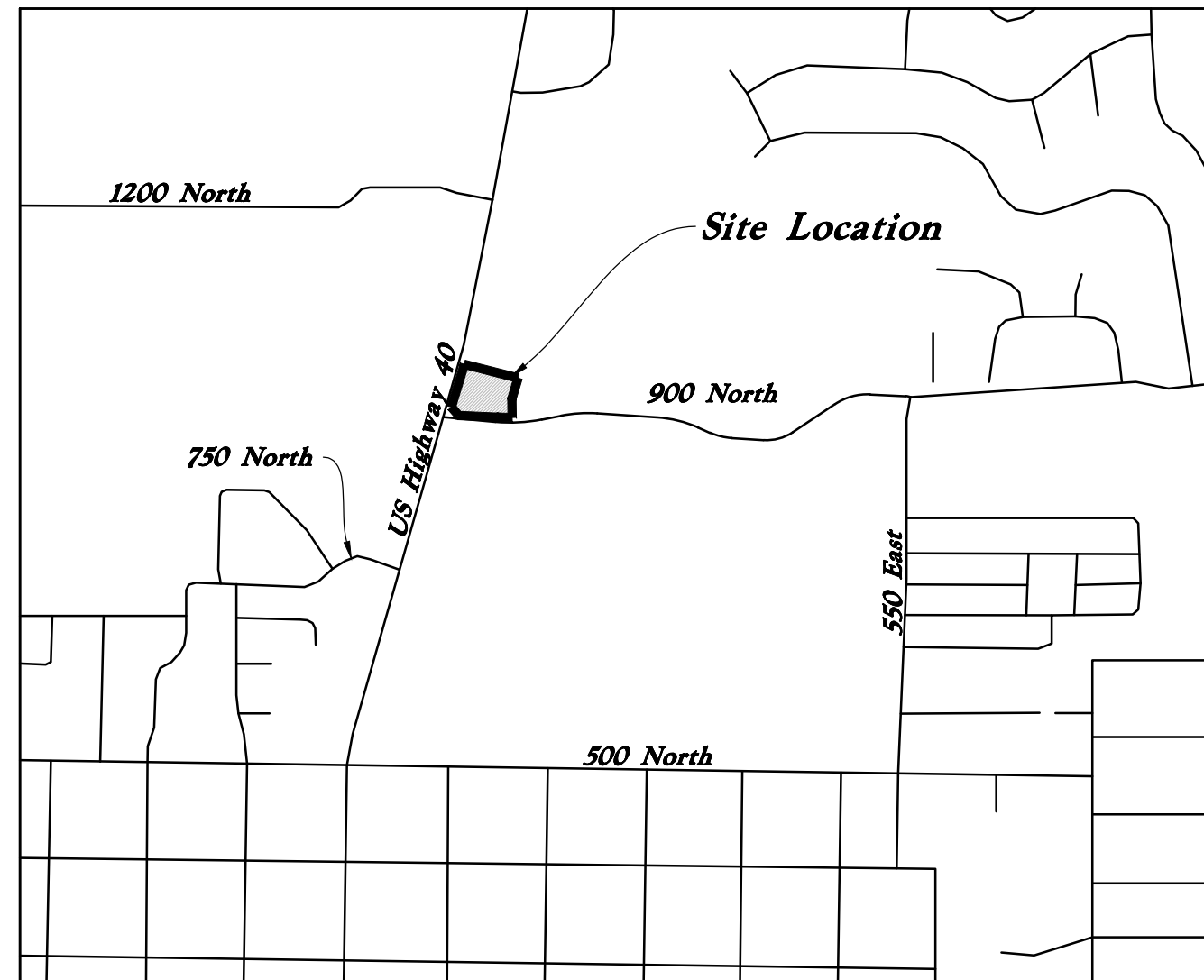
As the developer of this property, I hereby acknowledge that I understand: (1) how the existing gravity irrigation system works in the vicinity of this property, (2) how my development of this property will affect this system and associated stakeholders, (3) that I have coordinated with and have approval from the subject irrigation company(ies), (4) that I take full responsibility for the changes I am making to this system, (5) Heber City does not assume responsibility or liability for changes I make to this system.

Developer's Printed Name

Developer's Signature

Date

Reference Most Current City Standards
<https://www.heberut.gov/159/Standard-Specifications>
Contractor to Download



Vicinity Map
Not to Scale



Civil Sheet Index

C0.0

1

2

C0.1

C1.1

C2.0

C2.1

C2.2

C3.1

C6.1

C6.2

C6.3

C7.1

C7.2

C7.3

L1.1

L2.1

L2.2

Cover Sheet

Subdivision Plat

Subdivision Plat

Demolition Plan

Site Plan

Grading Plan

Grading Details & Notes

Grading Details & Notes

Utility Plan

Details

Details

Details

Erosion Control Plan - Phase 1

Erosion Control Plan - Phase 2

Erosion Control Plan - Phase 2

Landscape Plan

Irrigation Plan

Irrigation Details

Engineer's Acknowledgement

By affixing hereto my engineering stamp and signature, I hereby acknowledge that this report/design for the management of storm water of this development was prepared by me, or under my direct supervision in accordance with the provisions of Heber City's Storm Water Design Manual and Standard Specifications and Drawings, and was designed to comply with the provisions thereof. I understand that the City assumes no responsibility or liability for this report.

Engineer-Of-Record Acknowledgment

As the Engineer-of-Record, I hereby represent that these construction drawing and supporting information ("Plans") comply with Heber City Code and Standard Specifications and Drawings ("Standards"). I understand and agree that:

- The City's Acknowledgement of these plans shall not be construed to be a permit for, or an approval of, any variance from any of the provisions of the Standards, unless a separate written approval authorizing a specific deviation has been provided by the City Engineer.
- The City's Acknowledgement of these Plans, or feedback from the City on whether the Plans meet the Standards, shall not prevent the City from requiring the correction of errors in the Plans at any time, including after construction of improvements.
- The City's Acknowledgement of these Plans does not constitute a permit from the Federal or State Government or permission to deviate from Federal or State Laws or Regulations.
- The City's Acknowledgement of these Plans does not grant permission to work on the properties of others.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlert & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Heber City Standard Construction Notes

A. TYPICAL

- Contractor assumes all responsibility for job site conditions during construction of this project, including the safety and well-being of all persons and property. This responsibility shall apply continuously and not be limited to normal working hours.
- Contractor shall obtain all applicable permits and/or written agreements necessary to complete the work.
- City owned water valves may be operated only by City staff. Opening, closing or tampering with a City water valve without permission of the City public works department is a Class B misdemeanor punishable by up to six months in jail and a \$1,000 fine.
- Contractor shall schedule a pre-construction meeting with the City's Engineering Department at least 5 business days prior to the start of construction. Contractor must attend and bring one set of the Acknowledged construction drawings and a copy of the HCSS 00700-5 September 2023 current Heber City Standard Specifications and Drawings Manual (available at heberut.gov).
- Contractor shall have in possession and on-site at all times one copy of the current acknowledged construction plans stamped, signed, and dated by the Engineer of Record, the Applicant, and the City.
- Developer's Engineers (Civil and Geotechnical) shall perform sufficient inspections and surveys during grading and construction to render an opinion in writing as to adherence to the accepted plans and compliance with Heber City Standard Specifications and Drawings Manual.
- Any work done in the absence of an inspector's approval shall be subject to rejection. All underground GPS data must be collected by a City representative prior to backfill. Inspectors may request the contractor to expose work that has been backfilled without prior inspection or collection of GPS data. All such rework shall be completed at the Developer's or Owner's expense.
- Survey monuments must be installed in accordance with the current Heber City and Wasatch County Surveyor's Office requirements.
- All disturbed property survey markers shall be reset in their original locations upon completion of all construction activities.
- Contractor shall provide all traffic control which must conform to the current MUTCD. Provide site-specific Traffic Control Plans [prepared by an American Traffic Safety Services Association (ATSSA) or AGC-Certified Individual] prior to installation of any traffic control device. Traffic Control Plans must be Accepted by the City prior to implementation and before any shoulder, lane, or street closure.

B. TRENCHES AND UTILITIES

- Trenches shall be completed and restored per City Standard Drawing UTIL-1.
- Pathology existing utilities in accordance with City Standard Drawing UTIL-5.
- Contractor is responsible to locate, avoid, protect, and repair all utilities encountered during construction, whether or not they are shown on the plans. Locations of underground utilities shown on plans are approximate and require field verification by Contractor.
- All trenches within public right-of-way must be backfilled or securely placed during nonworking hours. Trenches outside these areas shall be back-filled or protected by approved temporary fencing and/or barricades during non-working hours. Trenches in the roadway must be backfilled, compacted, and paved within 48 hours of road-cut. Paint striping shall be replaced in accordance to City Standards within 48-hours of restoration of pavement.

C. ROADWAY CONSTRUCTION AND RESTORATION

- Subgrade must be approved prior to construction of untreated base course and pavement sections. Subgrade approval requires that a proof-roll be completed and verified by a City inspector, and that all utilities be installed, inspected with connections to main lines completed, and accepted by the City.
- Asphalt patching to roads between October 15 and April 15 will be considered temporary only, and must be replaced according to City Standards and Specifications between the following April 15 and July 1.
- Material Submittals are required for all items placed within the City right-of-way. All submittals must be dated within 90 days of the Construction Start Date (unless specified otherwise) and be submitted prior to the start of construction activities.
- Material Standard (New, Reconstructed, and Overlay Streets): No cuts permitted for two (2) years from the time of construction/ reconstruction/overlay HCSS 00700-6 September 2023
- Special Restoration Standard: This standard applies to new, reconstructed, overlay, and chip/slurry-sealed streets.
- New, Reconstructed, and Overlay Streets (for 5 years after end of moratorium): The asphalt surface shall be milled a minimum depth of two (2) inches, and fifteen (15) feet each way from the edge of the cut. Milling shall be done in widths equivalent to existing striped traffic lanes. The City Engineer reserves the right to require additional area and/or depth if deemed appropriate to restore roadway to original condition. Approved fabric is required when existing pavement included a fabric prior to the permitted cut.
- Chip/Slurry-Sealed Streets (for one year after chip/slurry application): The asphalt surface shall be re-chipped/slurred a minimum of fifteen (15) feet each way from the edge of the cut, in widths equivalent to existing striped traffic lanes.
- Roads shall be opened for traffic during peak hours. Lane closures may only be in effect from 9am-2pm, and 7pm-7am when night work is approved. Contractors shall accommodate all special school or local government schedules and events. Paint striping shall be replaced in accordance with City Standards within 48-hours of restoration of pavement.
- All road closures must be approved by the City Engineer. All requests for road closures shall be made in writing and include a site-specific Traffic Control Plan for the proposed closure. When approved, closures of Collector Streets will require a 2-week advance notice to the public informing them of the upcoming closure. The notice shall be provided using on-site Variable Message Sign (VMS) boards indicating the anticipated start date and duration of the closure. VMS boards shall remain on site for the full two week advance-notice period. If the duration of the closure is extended beyond the approved period, the extension shall be coordinated with the City Engineer and shall require additional VMS board notification to the public.

Civil Note to Contractor

The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Basis of Bearings

Northwest Corner Section 32, T3S, R5E, SLB & M. U.S. Survey
A Line with N89°31'24" E VRS Basis of Bearings

Benchmark

Brass Cap Monument for the Northwest Corner of Section 32, T3S, R5E, SLB&M
Assigned elevation = 5565.64 feet
Observed November 30, 2020

Legal Description

All of future Lot 1 of the forthcoming New London North Commercial Subdivision, located within the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base and Meridian, in the City of Heber, Wasatch County, Utah.

UDOT General Notes

- All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including supplemental) drawings and specifications.
- The contractor is to obtain an encroachment permit from the applicable UDOT Region Permit office prior to commencing work within UDOT right-of-way. Working hour limitations will be listed in the limitations section of the encroachment permit.
- UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-out at any time.
- Owner, developer, and contractor are responsible for any damages directly or indirectly within the UDOT right-of-way as a result of development activities.
- Owner, developer, and/or contractor is required to hire an independent company for all testing within the UDOT right-of-way.
- All signs installed on the UDOT right-of-way must be high intensity grade (Type XI sheeting) with a B3 slip base. Install all signs per UDOT SN series Standard Drawings.
- Comply with the requirements of Utah Code 17-23-14 (Disturbed Corners - County surveyor to be notified - Coordination with certain state agencies).

Legend

| | | |
|-------------------------------|------------------------------|--------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Asphalt |
| Proposed Open Face C & G | Existing Concrete | Existing Inlet Box |
| Proposed Concrete | Existing Catch Basin | Existing Manhole |
| Proposed Truncated Domes | Existing Fire Hydrant | Existing Water Valve |
| Proposed Inlet Box | Existing Overhead Power Line | Existing Water |
| Proposed Catch Basin | Existing Water | Existing Secondary Water |
| Proposed Manhole | Existing Sewer | Existing Storm Drain |
| Proposed Transformer | Existing Gas | Existing Power |
| Proposed Meter Box | Existing Telephone | Existing Fence |
| Proposed Water Meter | Existing Power Line | Existing Centerline |
| Proposed Combo Box | Existing Spot | Existing Contour |
| Proposed Fire Hydrant | Existing Light Pole | Existing Street Light |
| Proposed Water Valve | Existing Building | Existing Telephone Box |
| Proposed Water Line | Existing Power Meter | Existing Electrical Box |
| Proposed Sanitary Sewer | Existing Gas Meter | Existing Water Meter |
| Proposed Storm Drain | Existing Irrig. Control Box | Existing Ballast |
| Proposed Conduit Line | Existing Hose Bib | Working Point |
| Proposed Power Line | Existing Deciduous Tree | Existing Coniferous Tree |
| Proposed Fire Line | | |
| Proposed Secondary Water Line | | |
| Proposed Roof Drain | | |
| Proposed Fence | | |
| Ridge line | | |
| Grade Break | | |
| Proposed Contour | | |
| Direction of Drainage | | |
| Proposed Spot | | |
| ADA Accessible Route | | |
| Property Line | | |
| Sawcut Line | | |
| Proposed Light Pole | | |
| Proposed Street Light | | |
| Proposed Building | | |
| Existing Power Pole w/ Guy | | |
| Existing Utility Marker | | |
| Existing Post | | |

A Notice to Proceed Must be Obtained
from the City Engineer Prior to Doing
Any Work on the Project.

Acceptance

City Engineer, Russell Funk, P.E.

Approval Date

Developer:

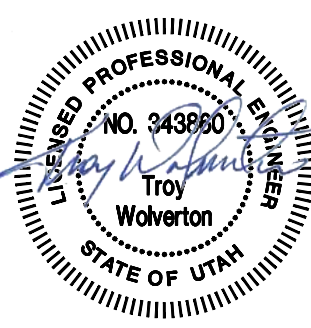
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

Cover Sheet

New London North Commercial Development Lot 1 Site Plan

908 North Main Street (US 40)
Heber City, Utah



December 09, 2025

18 July, 2025

SHEET NO.

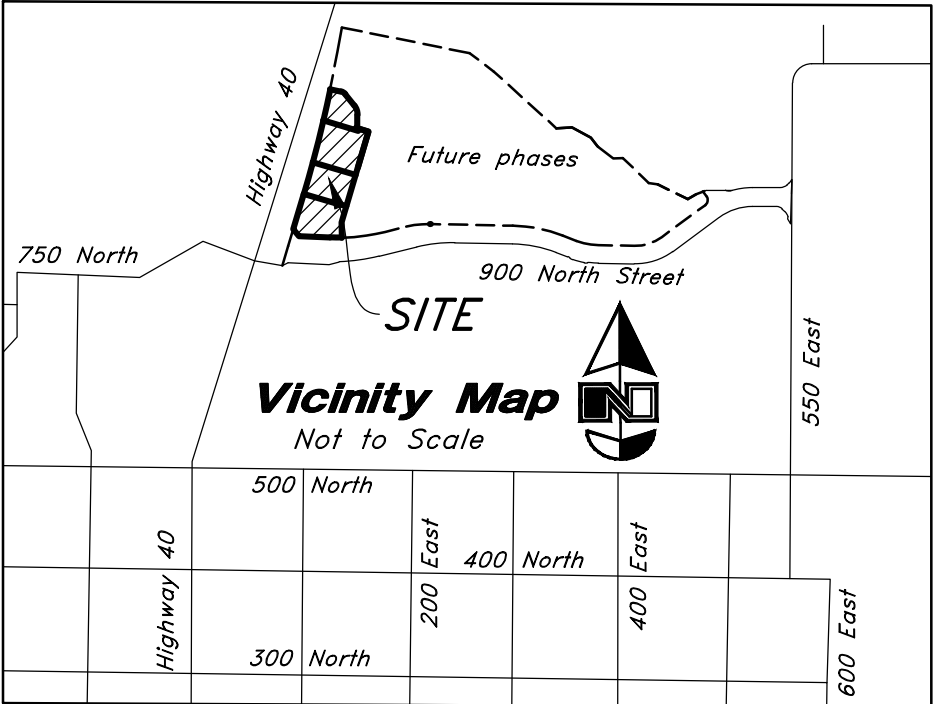
C0.0

New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32,
Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey
in Heber City, Wasatch County, Utah
2025

Notes

- Final plats not recorded within one (1) year from the Date Receiving final approval shall be null and void unless physical construction has started or an extension has been requested and granted prior to the original plat expiration date. In cases where construction has not started, applicants may request and be granted a one (1) year extension. However, if an extension is granted, the requirement to incorporate updated city standards, or reevaluate bonds or other assurances may be enforced as a condition of approval for the extension.
- This plat may be subject to a development agreement that specifies the conditions of developing, building, and using the property within this plat. See city recorder for details.
- Plat is subject to installation of improvements and bond agreement which requires the construction and warranty of improvements in this subdivision. These obligations run with the land and are binding on successors, agents, and assigns of developer. There are no third-party rights or beneficiaries under this agreement.
- Building permits will not be issued until all required improvements have been installed per city standard and all fees including impact and connection fee are paid.
- References herein to developer or owner shall apply to both, and any such reference shall also apply to successors, agents, and assigns.
- A Geotechnical Report has been completed by GSH, (1) Report Geotechnical Study Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated September 23, 2021; (2) Addendum No 1 – Retaining Wall Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated March 24, 2022; (3) Addendum No 2 – Updated Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated November 28, 2022; (4) Addendum No 2 – Update No 2 Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated December 20, 2022; which addresses soil and groundwater conditions, provides Engineering Design criteria, and recommends mitigation measures if problematic conditions are encountered. The city assumes no liability or responsibility for any reliance on the information or lack thereof in the report.
- Agricultural uses, operations and rights are adjacent to or near the plat and lots. The lots in this plat are subject to the sights, sounds, odors, nuisances and aspects associated with agricultural operations, uses, and rights. These uses and operations may occur at all times of the day and night including weekends and holidays. The city is not responsible or liable for these uses and impacts and will not restrict any grandfathered agricultural use from continuing to occur lawfully.
- Each Lot will be required to install a water, sanitary sewer and secondary water connection
- Any public fire hydrant installed will require an easement to be granted to Heber City.
- The Lots within this Subdivision will be subject to Covenants, Conditions and Restrictions contained in a Declaration which includes but is not limited to Cross Access, Public Utility, and Drainage Easements to be recorded by a separate document simultaneously with this Plat as Entry No. _____.
- This subdivision is subject to a culinary waterline easement in favor of Heber City Corporation as shown on plat recorded by a separate instrument. Heber City has the right to access through these easements to access, maintain, and repair city culinary water utilities. No changes to topography, structures, above of below ground are permitted within the easement without written authorization from the Heber City Engineer. Obstacles erected within the easement without written permission will be removed at the property owner's expense.
- Stormwater for each lot shall be managed in conjunction with the New London Long-Term Storm Water Maintenance Agreement, dated September 3, 2025, and the stormwater plans, specifications, and engineering drawings approved by Heber City. Individual lots may include surface or subsurface stormwater facilities for the conveyance of stormwater from adjacent lots, including lots within other plats, and public roads. The stormwater facilities shall be owned and operated by the owner or the property owners association, as designated in the project CC&Rs, and each lot owner grants an easement in favor of the owner and property owners association for installation, maintenance and repair of stormwater facilities. Notwithstanding the foregoing, each lot shall remain jointly responsible for maintenance of the stormwater facilities. Owner hereby conveys to Heber City and its agents a non-exclusive perpetual easement over, on and in the property for the purpose of access to the private stormwater management system(s) for the management, inspection, maintenance and repair thereof.
- A perpetual, non-exclusive easement for vehicular and pedestrian ingress, egress, and access is hereby established over all internal private drives, access lanes, and other designated shared access areas within the subdivision. Said easement shall benefit and burden all lots within this subdivision and may be used by lot owners, tenants, customers, agents, and the general public. This easement shall run with the land and be binding on all current and future owners, successors, and assigns.



Narrative

This Subdivision was requested by Valley Hills, LLC to create 4 commercial Lots.

This Plat retraces the underlying 2021 Parcel Line Adjustment Survey by AWA recorded on October 19, 2021 as Filing No. 003722 in the Official Records of Wasatch County.

Four Wasatch County Section Corner Monuments were recovered and utilized for control. A line between monuments found for the Northwest Corner and the North Quarter Corner of Section 32 was assigned the bearing of North 89°31'24" East as the Basis of Bearings to match the 2021 Parcel Line Adjustment Survey referenced hereon. Independent measurements were taken of the North Quarter and Northeast Corners of Section 32 on a NAD83 Utah Central Zone State Plane mapping projection for the purpose of identifying a rotation to match said datum. Bearings shown hereon must be rotated 0°00'29" Clockwise in order to place the Survey on the NAD83 Utah Central Zone State Plane Datum.

The 1995 State Highway Plans were acquired and rotated 5°45" Counter Clockwise to match and honor the Highway Right-of-Way markers as recovered in place on the ground.

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Area of Minimal Flood Hazard."

Surveyor's Certificate

I, David M. Hamilton, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12966234 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify that, and on behalf of AWA that by authority of the Owners I have retraced Wasatch County Record of Survey Filing No. 0003722, being the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as New London North Commercial Subdivision.

Boundary Description

A Part of Parcel 6 of that certain Record of Survey filed as No. 3722 in the Office of the Wasatch County Surveyor, located within the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base and Meridian, U.S. Survey, in the City of Heber, Wasatch County, Utah:

Beginning at the point of intersection of the Northerly line of Heritage Farms Parkway as dedicated per that certain Heritage Farms Parkway Dedication Plat recorded as Entry No. 548347, in the Official Records of Wasatch County, and the Easterly line of U.S. Highway 40 as it is monumented on the ground at 75.00 foot half-width, located 849.08 feet North 89°31'24" East along the North line of said Section 36; and 1315.34 feet South 0°28'36" East from a Wasatch County Monument found marking the Northwest Corner of said Section 36; and running thence along said Easterly line the following two courses: North 16°34'49" East 159.05 feet to a point of curvature; and Northeasterly along the arc of a 5804.43 foot radius curve to the left a distance of 488.94 feet (Central Angle equals 4°49'35" and Long Chord bears North 14°10'02" East 488.79 feet); thence South 73°25'11" East 50.86 feet to a point of curvature; thence Southeasterly along the arc of a 33.00 foot radius curve to the right a distance of 19.99 feet (Central Angle equals 34°42'43" and Long Chord bears South 56°03'49" East 19.69 feet) to a point of tangency; thence South 38°42'27" East 65.79 feet to a point of curvature; thence Southeasterly along the arc of a 63.00 foot radius curve to the right a distance of 43.63 feet (Central Angle equals 39°40'31" and Long Chord bears South 18°52'12" East 42.76 feet) to a point of tangency; thence South 0°58'03" West 52.01 feet to a point of curvature; thence Southeasterly along the arc of a 10.00 radius curve to the left a distance of 12.98 feet (Central Angle equals 74°23'14" and Long Chord bears South 36°13'34" East 12.09 feet) to a point of tangency; thence South 73°25'11" East 45.53 feet; thence South 16°34'49" West 421.09 feet; thence South 0°53'42" East 67.91 feet along a radial line to said Northerly line of Heritage Farms Parkway; thence along said Northerly line the following three courses: Northwesterly along the arc of a 856.00 foot radius curve to the right a distance of 51.92 feet (Center Bears North 0°53'42" West, Central Angle equals 3°28'31" and Long Chord bears North 89°09'26" West 51.91 feet) to a point of tangency; North 87°25'11" West 139.04 feet; and North 39°44'02" West 39.19 feet to said Easterly line of U.S. Highway 40 and the point of beginning.

Contains 120,558 sq. ft.
or 2.768 acres
4 Lots



5 Nov, 2025

Date

David M. Hamilton
Utah PLS No. 12966234

Owner's Dedication

Know all men by these presents that we, the undersigned Owner of the above described tract of land, having caused the same to be subdivided into 4 Lots to be hereafter known as

New London North Commercial Subdivision

and do hereby dedicate for the perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereby I/We, hereunto set my/our hand(s) _____ This Day _____ AD, 20____.

Valley Hills, LLC, a Utah limited liability company

by: _____
its:

Acknowledgment

State of _____ } ss
County of _____ }
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, _____, who being by me duly sworn did say that they are the _____ of _____, by authority of its members or its articles of organization, and they acknowledged to me that said limited liability company executed the same.

Residing at: _____
Commission Expires: _____

Print Name A Notary Public

New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32, Township 3 South, Range 5 East,
Salt Lake Base & Meridian, U.S. Survey
in Heber City, Wasatch County, Utah

Sheet 1 of 2

Recorded

State of Utah, County of Wasatch, Recorded and Filed at the Request of

Date _____ Time _____ Book _____ Page _____

Fee \$ _____ Wasatch County Recorder

Owner/ Developer

Valley Hills, LLC
1245 Brickyard Road Suite 70
Salt Lake City, Utah 84106



County Surveyor

Approved this _____ Day of _____ A.D., 20__.

Wasatch County Surveyor

Wasatch Co. Fire District

Approved this _____ Day of _____ A.D., 20__.

Fire Chief

Heber City Engineer

Approved this _____ Day of _____ A.D., 20__.

Heber City Engineer

Planning Department

Approved this _____ Day of _____ A.D., 20__.

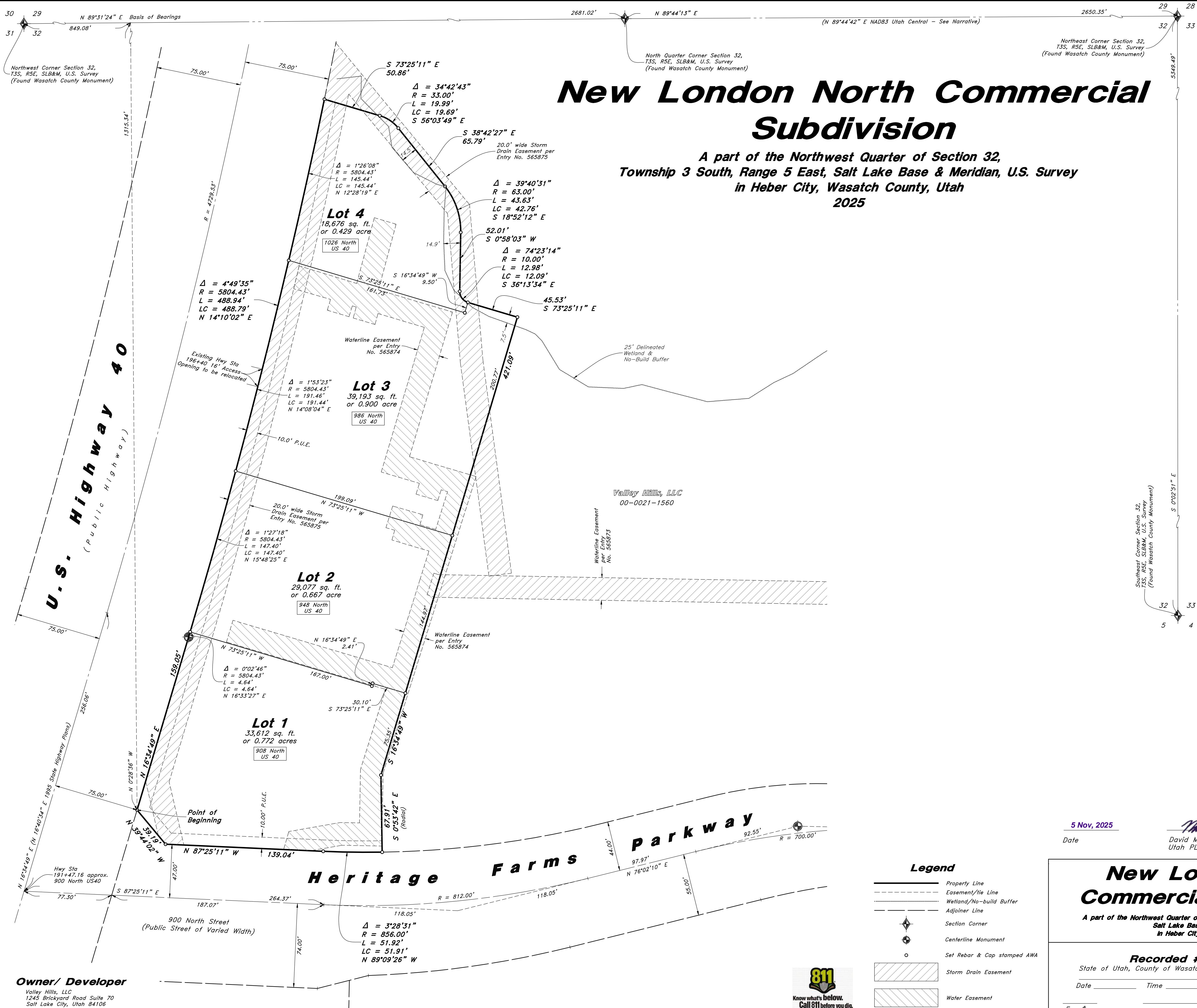
TITLE:

Approval by Legislative Body

The City Council of Heber City, County of Wasatch, approves this Subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

Mayor

Date



| Legend | |
|--------|-----------------------------|
| | Property Line |
| | Easement/Use Line |
| | Wetland/No-build Buffer |
| | Adjoiner Line |
| | Section Corner |
| | Centerline Monument |
| | Set Rebar & Cap stamped AWA |
| | Storm Drain Easement |
| | Water Easement |

5 Nov, 2025
Date

David M. Hamilton
Utah PLS No. 12966234

New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey in Heber City, Wasatch County, Utah

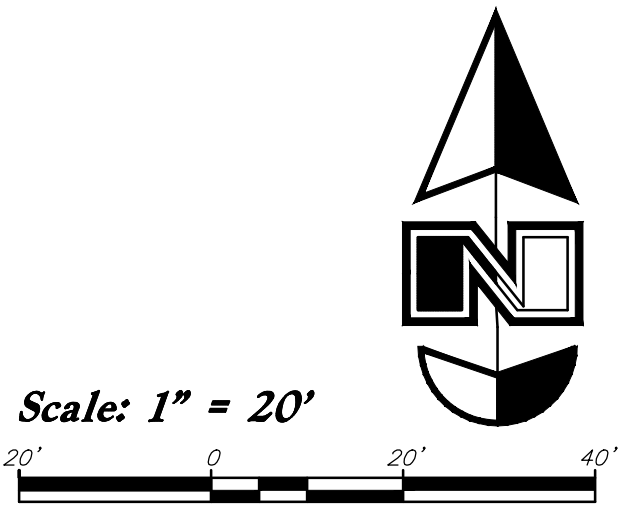
Sheet 2 of 2

Recorded

State of Utah, County of Wasatch, Recorded and Filed at the Request of

Date _____ Time _____ Book _____ Page _____

Fee \$ _____ Wasatch County Recorder

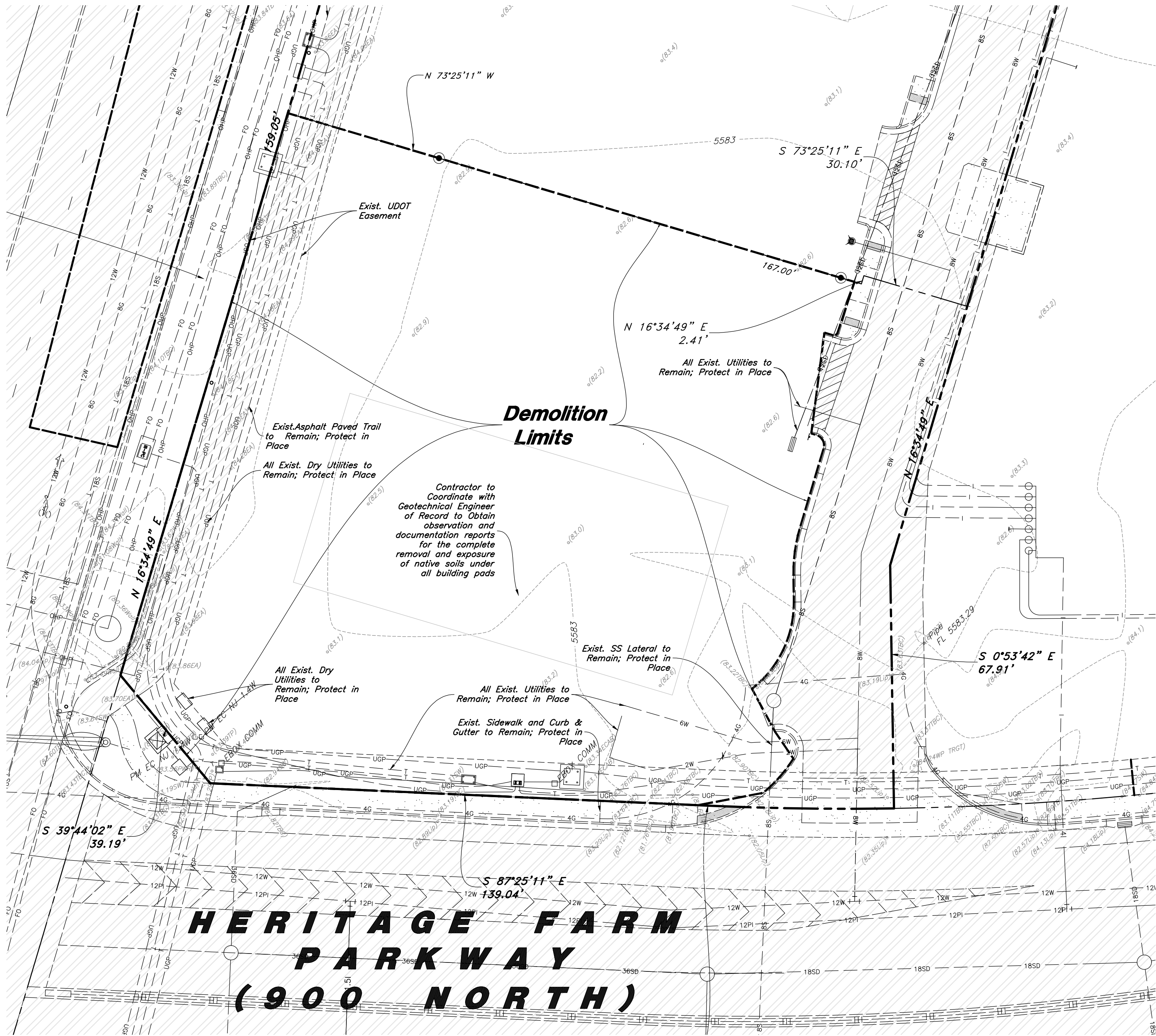


Legends:

- Existing Asphalt / Asphalt installed with Subdivision Improvements
- Open Space Buffer
- Construction Easement
- Stream Channel
- 25' Delineation Wetland Setback
- Wetland Boundary

General Demolition Notes:

- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
- All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction, it is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
- Contractor shall share and protect neighboring properties per OSHA stds. during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.
- The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.



CAUTION :
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Acceptance

City Engineer, Russell Funk, P.E. Approval Date

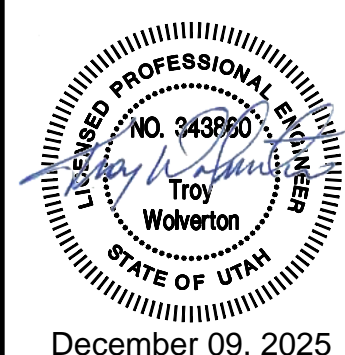
Developer:

NuLo, LLC
5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

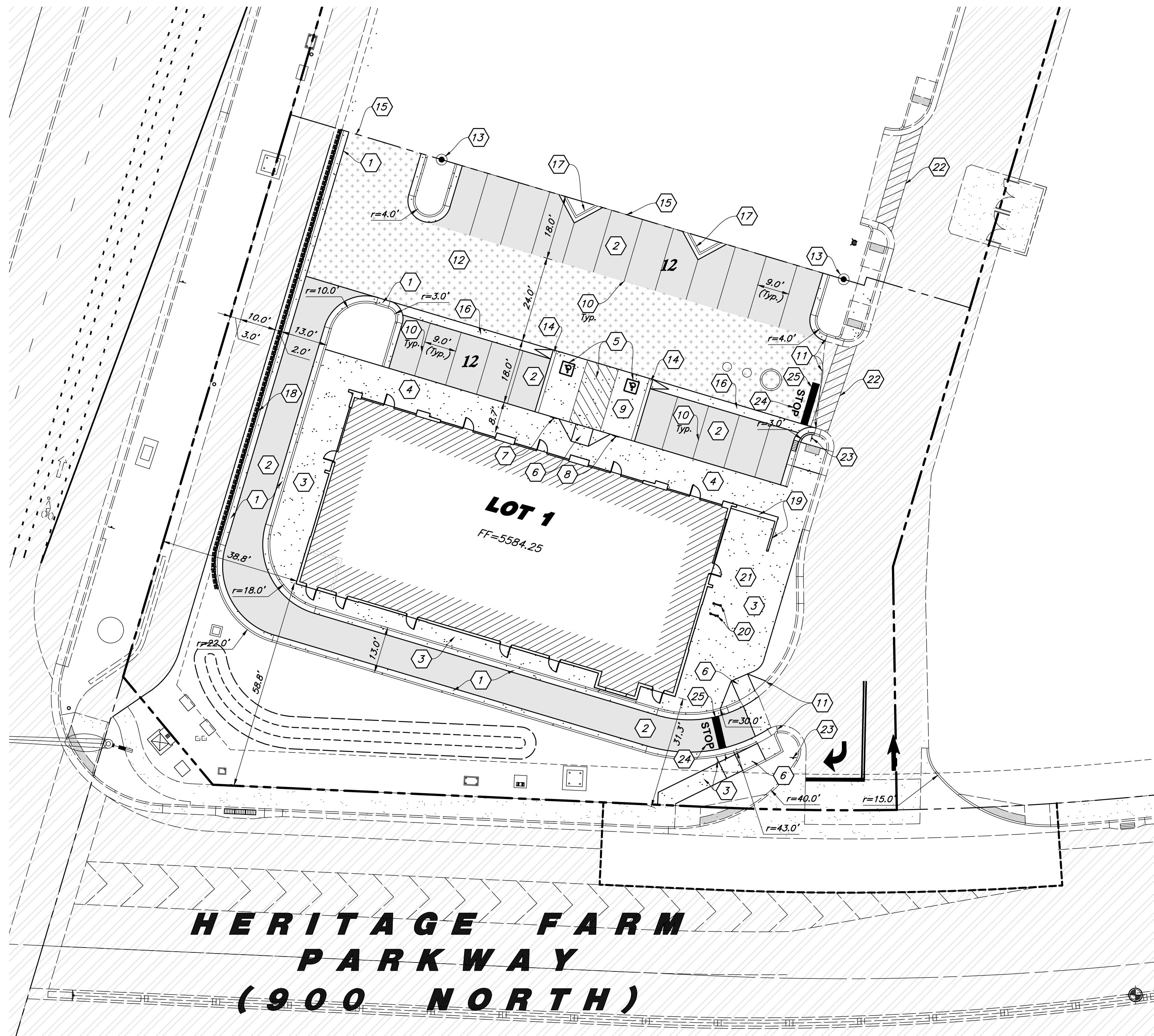


Demolition Plan
New London North Commercial Development Lot 1 Site Plan
908 North Main Street (US 40)
Heber City, Utah

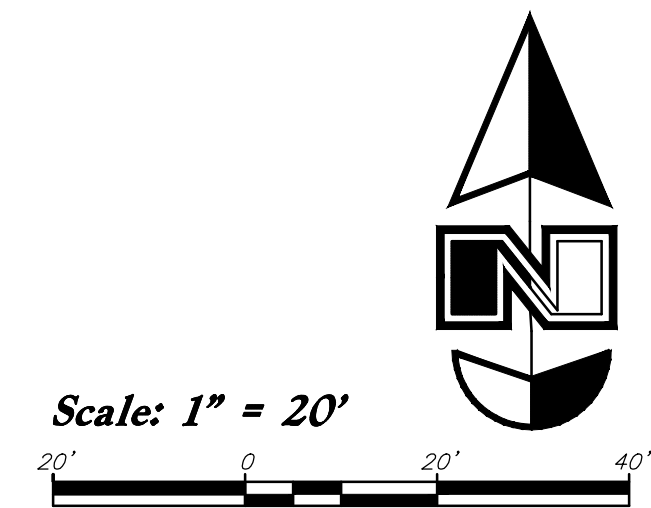


18 July, 2025

SHEET NO.
C0.1



| Abbreviations | | | |
|---------------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Bollard | PT | Point of Tangency |
| BRW | Finish Grade - Bottom of Retaining Wall | PVC | Polyvinyl Chloride |
| CATV | Cable Television Box | PVI | Point of Vertical Intersection |
| CB | Catch Basin | RCP | Reinforced Concrete Pipe |
| CMP | Corrugated Metal Pipe | RD | Roof Drain |
| COB | Cleanout Box | SB | Signal Box |
| COTG | Cleanout to Grade | SD | Storm Drain |
| EA | Edge of Asphalt | SDMH | Storm Drain Manhole |
| EB | Electrical Box | SMH | Sewer Manhole |
| EC | End of Curve | SP | Signal Pole |
| EOR | End Curb Return | SS | Sanitary Sewer |
| FF | Finished Floor | SVZ | Sight Visibility Zone |
| g | Ground | SW | Secondary Water |
| GB | Grade Break | TA | Top of Asphalt |
| GM | Gas Meter | TB | Telephone Box |
| HB | Hose Bib | TBC | Top Back of Curb |
| HP | High Point | TG | Top of Grate |
| I | Irrigation Line | TMH | Telephone Manhole |
| ICB | Irrigation Control Box | TP | Top of Concrete |
| Lip | Lip of Gutter | TRW | Finish Grade - Top of Retaining Wall |
| LP | Light Pole | TW | Top of Walk |
| MH | Manhole | VC | Vertical Curve |
| Mon | Monument | VPC | Vertical Point of Curve |
| PC | Point of Curvature | VPT | Vertical Point of Tangency |
| PCC | Point of Compound Curvature | WL | Waterline |
| PI | Point of Intersection | WP | Working Point |
| PM | Power Meter | WV | Water Valve |



Hatch Legend

| | |
|-----------------|----------------------------|
| [Hatch Pattern] | Standard Asphalt Paving |
| [Hatch Pattern] | Heavy Duty Asphalt Paving |
| [Hatch Pattern] | Existing Asphalt Paving |
| [Hatch Pattern] | Standard Concrete Paving |
| [Hatch Pattern] | Heavy Duty Concrete Paving |
| [Hatch Pattern] | Existing Concrete Paving |
| [Hatch Pattern] | Building Interior |

Site Construction Notes

- 1 Const. 24" Curb & Gutter (C4.1)
- 2 Const. Standard Asphalt Paving (C4.1)
- 3 Const. Conc. Sidewalk (C4.1)
- 4 Const. Thickened Edge Sidewalk (C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- 6 Const. Accessible Curb Ramp and Truncated Domes per ICC/ANSI A117.1 (Latest Edition) (See Detail Sheets) (C2.2)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
- 9 Const. Conc. Paving (C6.1)
- 10 Const. 4" Yellow Paint Stripe, 2 Coats (Typ.)
- 11 Conn. & Match Existing Improvements
- 12 Const. Heavy Duty Asphalt (C6.1)
- 13 Const. Light Pole (See Site Electrical Plans)
- 14 Const. Concrete Chamfer
- 15 Edge of Asphalt
- 16 Const. Conc. Waterway (C6.1)
- 17 Const. Diamond Planter (C6.2)
- 18 Const. "Keystone Compac" Segmented Block Retaining Wall (Design by Contractor. Color to be approved by Owner via Contractor Submittal)
- 19 Const. 48" "Ameristar Echelon II Majestic Rail Fence"
- 20 Const. Bike Rack, Supplied and Installed by GC. BOD: National Cart, BR-2436, Black or Approved Equal by Owner.
- 21 Outdoor Seating by Architect (See Building Plans)
- 22 Const. 4" White Paint Stripe w/ 45" Cross-Hatch at 24" o.c., 2 Coats
- 23 Const. R1-1 30"x30" Stop Sign, Final Install Location To Have an Unobstructed View.
- 24 Paint White "STOP" per MUTCD
- 25 Const. 24" White Stop Bar, 2 Coats

| Legend | | |
|---------------------------------|-----------------------------|------------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Fire Hydrant |
| Proposed Open Face C & G | Existing Asphalt | Existing Water Valve |
| Proposed Asphalt | Existing Concrete | Existing Overhead Power Line |
| Proposed Concrete | Existing Inlet Box | Existing Water |
| Proposed Truncated Domes | Existing Catch Basin | Existing Secondary Water |
| Proposed Inlet Box | Existing Manhole | Existing Storm Drain |
| Proposed Catch Basin | Existing Fire Hydrant | Existing Gas |
| Proposed Manhole | Existing Water Valve | Existing Power |
| Proposed Transformer | Existing Sewer | Existing Telephone |
| Proposed Meter Box | Existing Water | Existing Fence |
| Proposed Water Meter | Existing Secondary Water | Flowline |
| Proposed Combo Box | Existing Storm Drain | Centerline |
| Proposed Fire Hydrant | Existing Gas | Existing Contour |
| Proposed Water Valve | Existing Power | Existing Spot |
| Proposed Water Line | Existing Telephone | Existing Light Pole |
| Proposed Sanitary Sewer | Existing Fence | Existing Street Light |
| Proposed Storm Drain | Flowline | Existing Building |
| Proposed Conduit Line | Centerline | Existing Telephone Box |
| Proposed Power Line | Existing Contour | Existing Power Meter |
| Proposed Gas Line | Existing Spot | Existing Electrical Box |
| Proposed Fire Line | Existing Light Pole | Existing Gas Meter |
| Proposed Secondary Water Line | Existing Street Light | Existing Water Meter |
| Proposed Roof Drain | Existing Building | Existing Irrig. Control Box |
| Proposed Fence | Existing Telephone Box | Existing Bollard |
| Ridge Line | Existing Power Meter | Existing Hose Bib |
| Grade Break | Existing Electrical Box | Working Point |
| Proposed Contour | Existing Electrical Cabinet | Existing Deciduous Tree |
| Direction of Drainage | Existing Gas Meter | Existing Coniferous Tree |
| Proposed Spot | Existing Water Meter | Detail Number |
| ADA Accessible Route | Existing Irrig. Control Box | Sheet Number |
| Property Line | Existing Bollard | |
| Sowcut Line | Existing Hose Bib | |
| Proposed Light Pole | Working Point | |
| Proposed Street Light | Existing Deciduous Tree | |
| Proposed Building | Existing Coniferous Tree | |
| Existing Power Pole w/ Guy | | |
| Existing Utility Marker | | |
| Existing Post | | |
| Stream Channel | | |
| 25' Delineation Wetland Setback | | |
| Wetland Boundary | | |

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Acceptance

City Engineer, Russell Funk, P.E. Approval Date

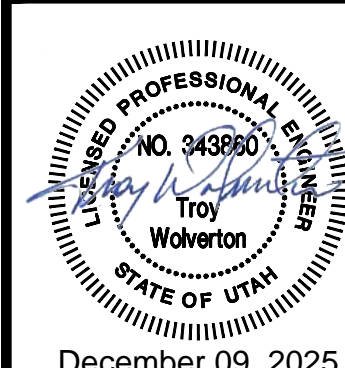
Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

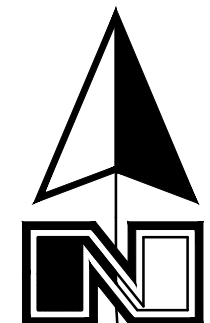


Site Plan
New London North Commercial Development Lot 1 Site Plan
908 North Main Street (US 40)
Heber City, Utah



18 July, 2025

SHEET NO.
C1.1



Scale: 1" = 20'



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by GSH Geotechnical, Inc. are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Study, Proposed Heber Mixed-Use Development, Approximately 894 North Highway 40, Heber, Utah".
Project No.: 2093-015-21
Dated: September 23, 2021
18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
20. The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Abbreviations

| | | | |
|------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Bollard | PT | Point of Tangency |
| BRW | Finish Grade - Bottom of Retaining Wall | PVC | Polyvinyl Chloride |
| CATV | Cable Television Box | PVI | Point of Vertical Intersection |
| CB | Catch Basin | RCP | Reinforced Concrete Pipe |
| CMP | Corrugated Metal Pipe | RD | Roof Drain |
| COB | Cleanout Box | SB | Signal Box |
| COTG | Cleanout to Grade | SD | Storm Drain |
| EA | Edge of Asphalt | SDMH | Storm Drain Manhole |
| EB | Electrical Box | SMH | Sewer Manhole |
| EC | End of Curve | SP | Signal Pole |
| ECR | End Curb Return | SS | Sanitary Sewer |
| FF | Finished Floor | SVZ | Sight Visibility Zone |
| g | Ground | SW | Secondary Water |
| GB | Grade Break | TA | Top of Asphalt |
| GM | Gas Meter | TB | Telephone Box |
| HB | Hose Bib | TBC | Top Back of Curb |
| HP | High Point | TG | Top of Grate |
| I | Irrigation Line | TMH | Telephone Manhole |
| ICB | Irrigation Control Box | TP | Top of Concrete |
| Lip | Lip of Gutter | TRW | Finish Grade - Top of Retaining Wall |
| LP | Light Pole | TW | Top of Walk |
| MH | Manhole | VC | Vertical Curve |
| Mon | Monument | VPC | Vertical Point of Curve |
| PC | Point of Curvature | VPT | Vertical Point of Tangency |
| PCC | Point of Compound Curvature | WL | Waterline |
| PI | Point of Intersection | WP | Working Point |
| PM | Power Meter | WV | Water Valve |

Legend

| | | | |
|---------------------------------|------------------------------|--------------------------|-----------------------------|
| Proposed Curb & Gutter | Existing Improvements | Proposed Open Face C & G | Existing Asphalt |
| Proposed Open Face C & G | Existing Concrete | Proposed Concrete | Existing Inlet Box |
| Proposed Truncated Domes | Existing Catch Basin | Proposed Inlet Box | Existing Manhole |
| Proposed Catch Basin | Existing Fire Hydrant | Proposed Catch Basin | Existing Water Valve |
| Proposed Manhole | Existing Overhead Power Line | Proposed Transformer | Existing Water |
| Proposed Meter Box | Existing Secondary Water | Proposed Water Meter | Existing Sewer |
| Proposed Combo Box | Existing Storm Drain | Proposed Fire Hydrant | Existing Gas |
| Proposed Water Valve | Existing Power | Proposed Water Line | Existing Telephone |
| Proposed Sanitary Sewer | Existing Telephone | Proposed Storm Drain | Existing Fence |
| Proposed Conduit Line | Flowline | Proposed Power Line | Centerline |
| Proposed Gas Line | Existing Contour | Proposed Fire Line | Existing Spot |
| Proposed Secondary Water Line | Existing Street Light | Proposed Road Drain | Existing Building |
| Proposed Fence | Existing Building | Proposed Power Pole | Existing Telephone Box |
| Ridge Line | Existing Power Meter | Proposed Gas Meter | Existing Electrical Box |
| Grade Break | Existing Electrical Cabinet | Proposed Contour | Existing Gas Meter |
| Direction of Drainage | Existing Water Meter | Proposed Spot | Existing Irrig. Control Box |
| ADA Accessible Route | Existing Hose Bib | Property Line | Working Point |
| Sawcut Line | Existing Deciduous Tree | Stream Channel | Existing Coniferous Tree |
| 25' Delineation Wetland Setback | Detail Number | | |
| Wetland Boundary | Sheet Number | | |
| | Storm Drain Flow Direction | | |

Acceptance

City Engineer, Russell Funk, P.E.

Approval Date

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 4905100118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Benchmark

Brass Cap Monument for the Northwest Corner of Section 32, T3S, R5E, SLB&M
Assigned elevation = 5565.64 feet
Observed November 30, 2020

All areas within rough future Pad Grading Limits to be constructed 1' below grades shown. Transitions at edges shall be 3:1(Max.) slope. All fills within future pad sites shall be structural fill in anticipation of future development. All grading upon Pad Sites shall be placed in a maximum 8" thick loose lifts and compacted to 95% maximum dry density as determined by ASTM D1557 (Modified Proctor) with moisture content within 2% of optimum at the time of compaction. Compaction reports required to avoid future declaration of existing undocumented fills.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

Engineer's Statement

I hereby acknowledge that this design for the management of storm water of this development was prepared by me, or under my direct supervision in accordance with the provisions of Heber City's Drainage Manual and Standard Specifications and Drawing, and was designed to comply with the provisions thereof. I understand that the City assumes no responsibility or liability for this report.



Developer:

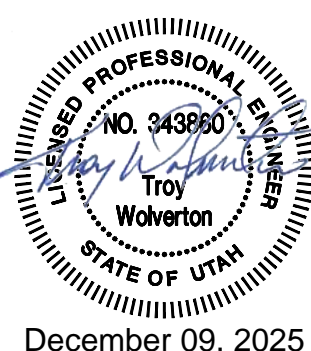
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
t@wpi.us.com

Grading Plan

New London North Commercial Development Lot 1 Site Plan

908 North Main Street (US 40)
Heber City, Utah

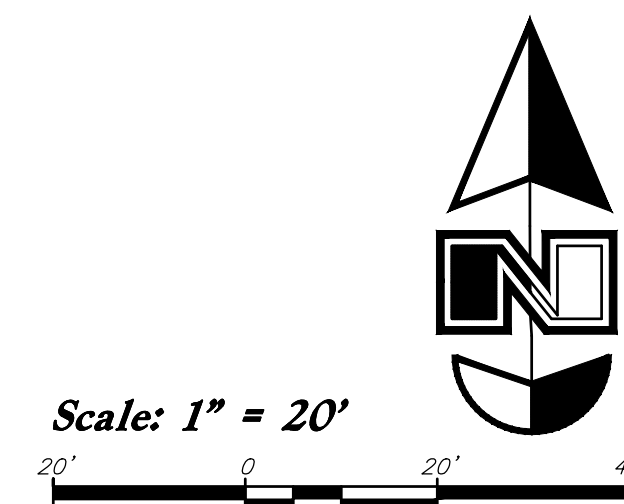
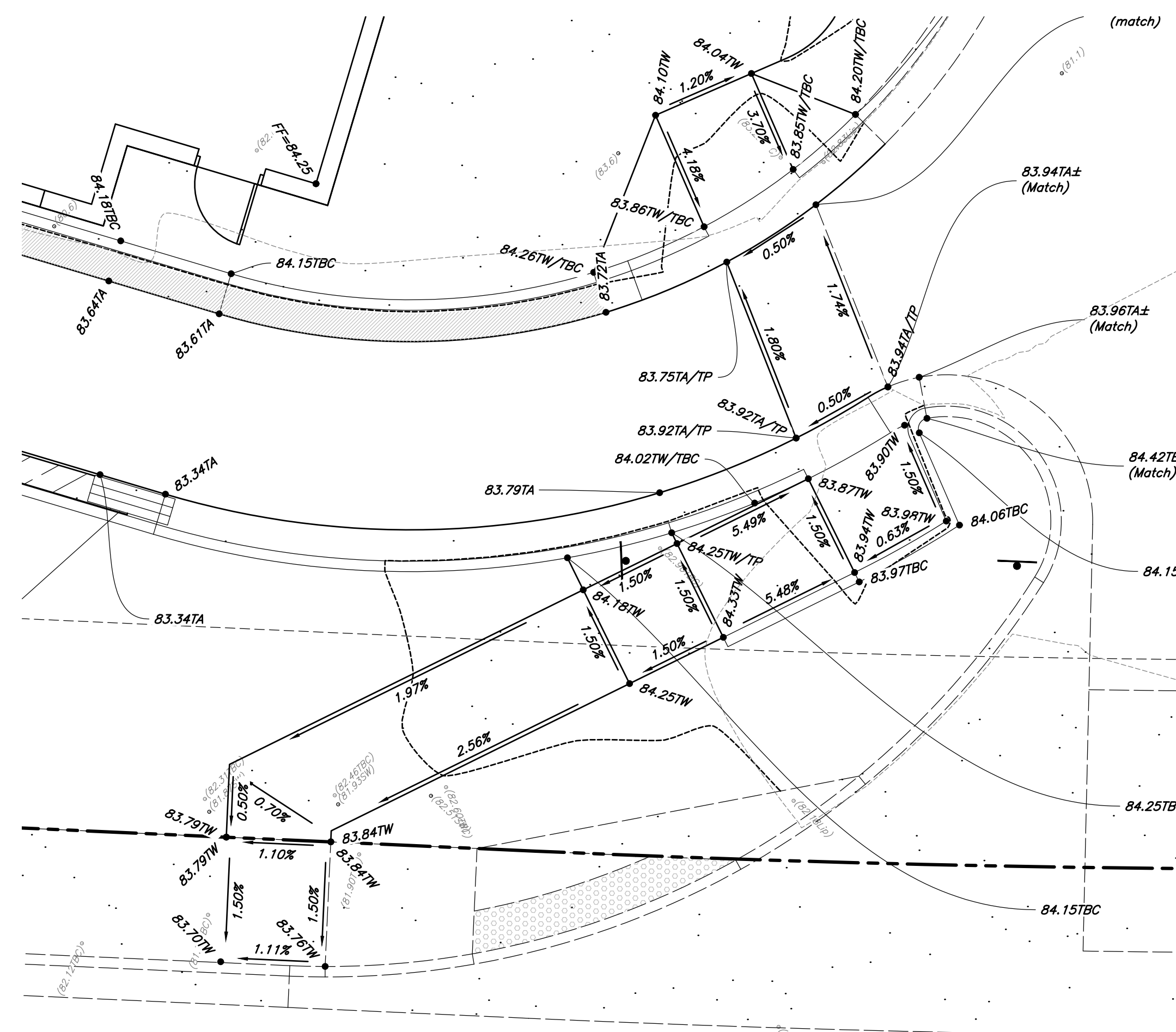
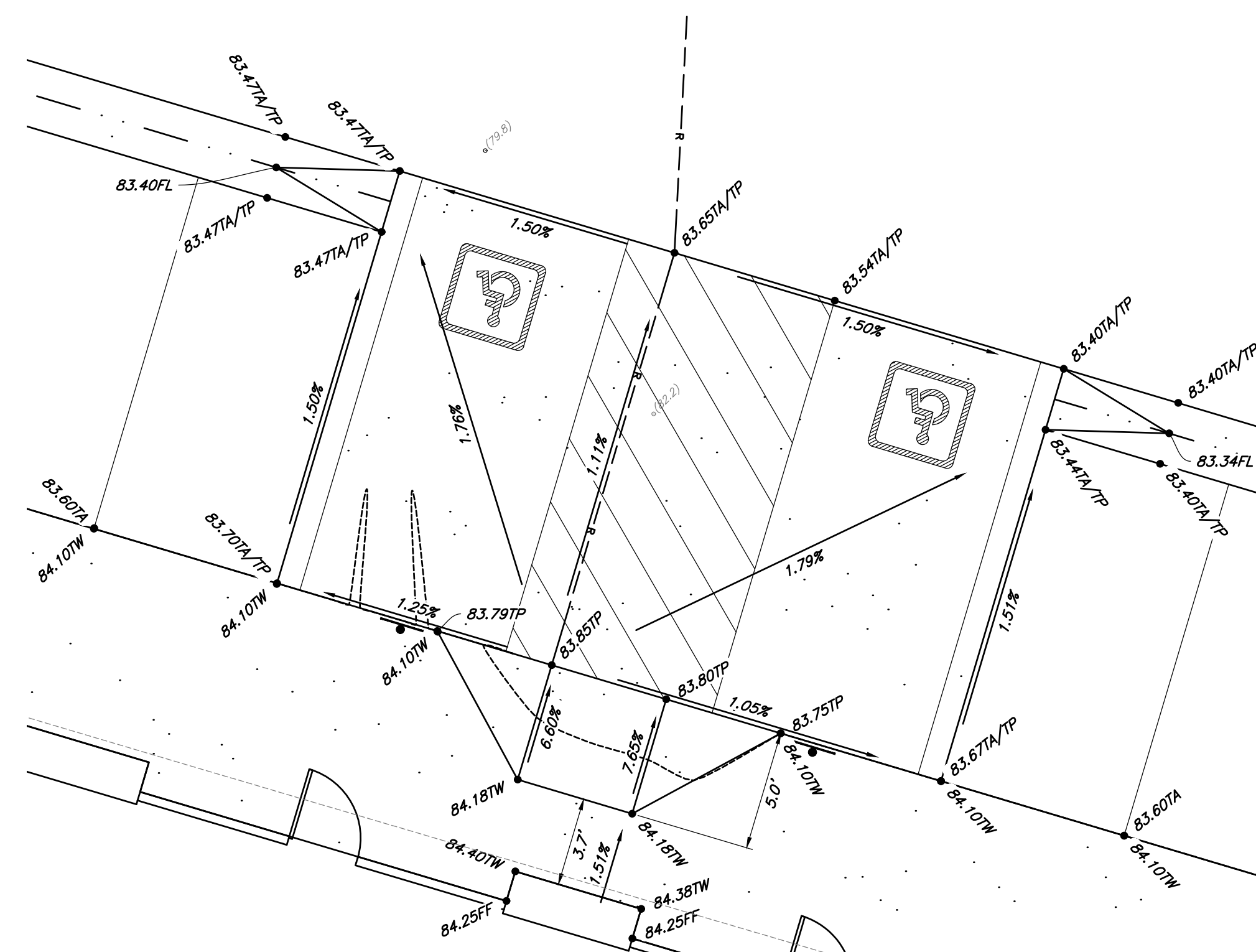


December 09, 2025

18 July, 2025

SHEET NO.

C2.0



Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is responsible to contact Engineer and Schedule Pre-Construction Meeting

Public Curb Ramp Construction Notes

1. *All public curb ramps shall be constructed in accordance with governing municipalities standards and specifications.*
2. *It is the contractors responsibility to obtain governing municipalities standards and specifications.*
3. *The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions or aspects that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1—Latest Edition) and/or FHAA.*

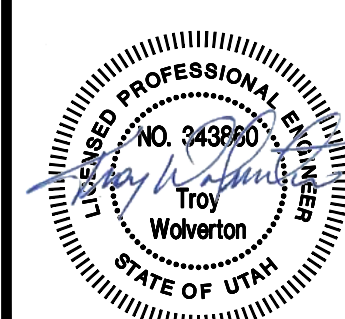
Private Curb Ramp Construction Notes

1. Slopes provided are per Anderson Wahlen & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
2. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of accessibility codes, rules, guidelines and Facilities (ICC/ANSI A117.1—Latest Edition) and/or FHAA.
3. Counter slopes of adjoining walks & paving adjacent to the curb ramp shall not be steeper than 4.50%.
4. Accessible ramp flares shall be poured separately from curb to ensure proper slopes.
5. Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.

Grading Details & Notes

New London North Commercial Development Lot 1 Site Plan

3008 North Main Street (US 40)
Heber City, Utah

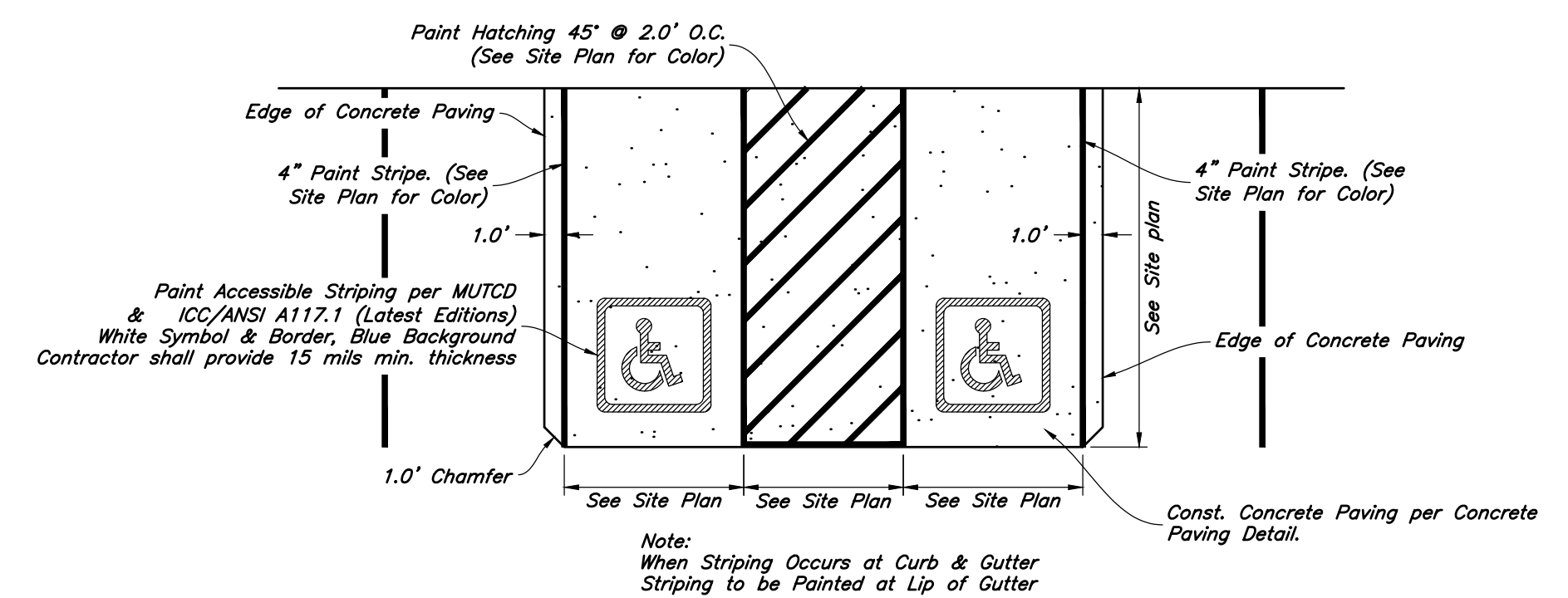
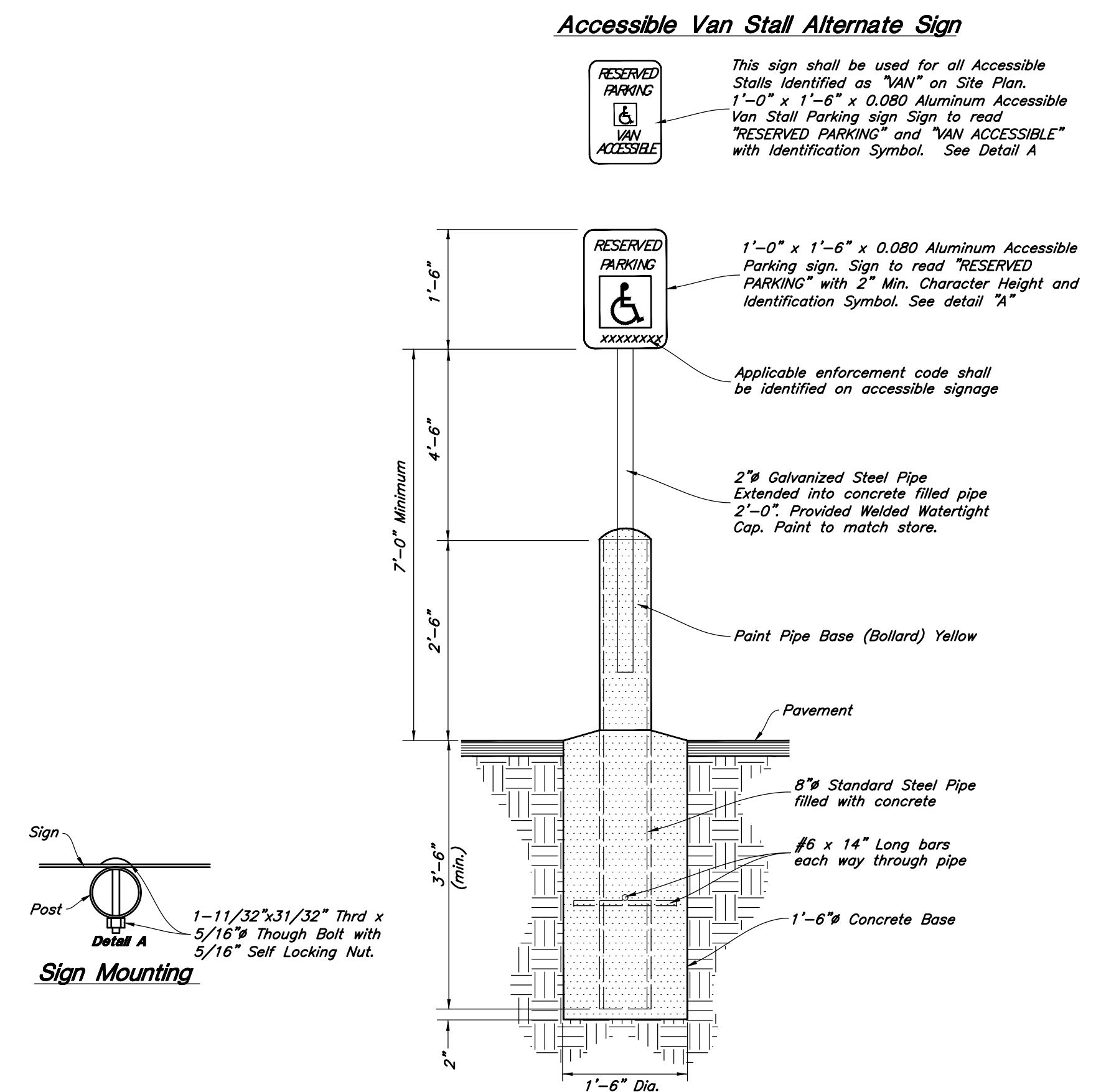


December 09, 2025

18 July, 2025

SHEET NO.

C2.1

[illegible]

Designed by: TW

Drafted by: GM

Client Name: Mule LLC

NDLCO, LLC

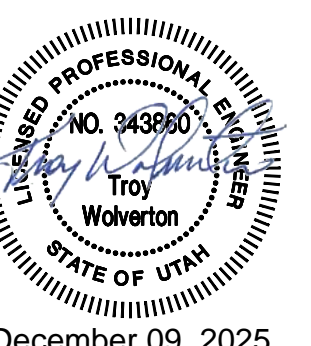
21-263_03-GR



Grading Details & Notes

New London North Commercial Development Lot 1 Site Plan
008 North Main Street (HS 10)

Heber City, Utah

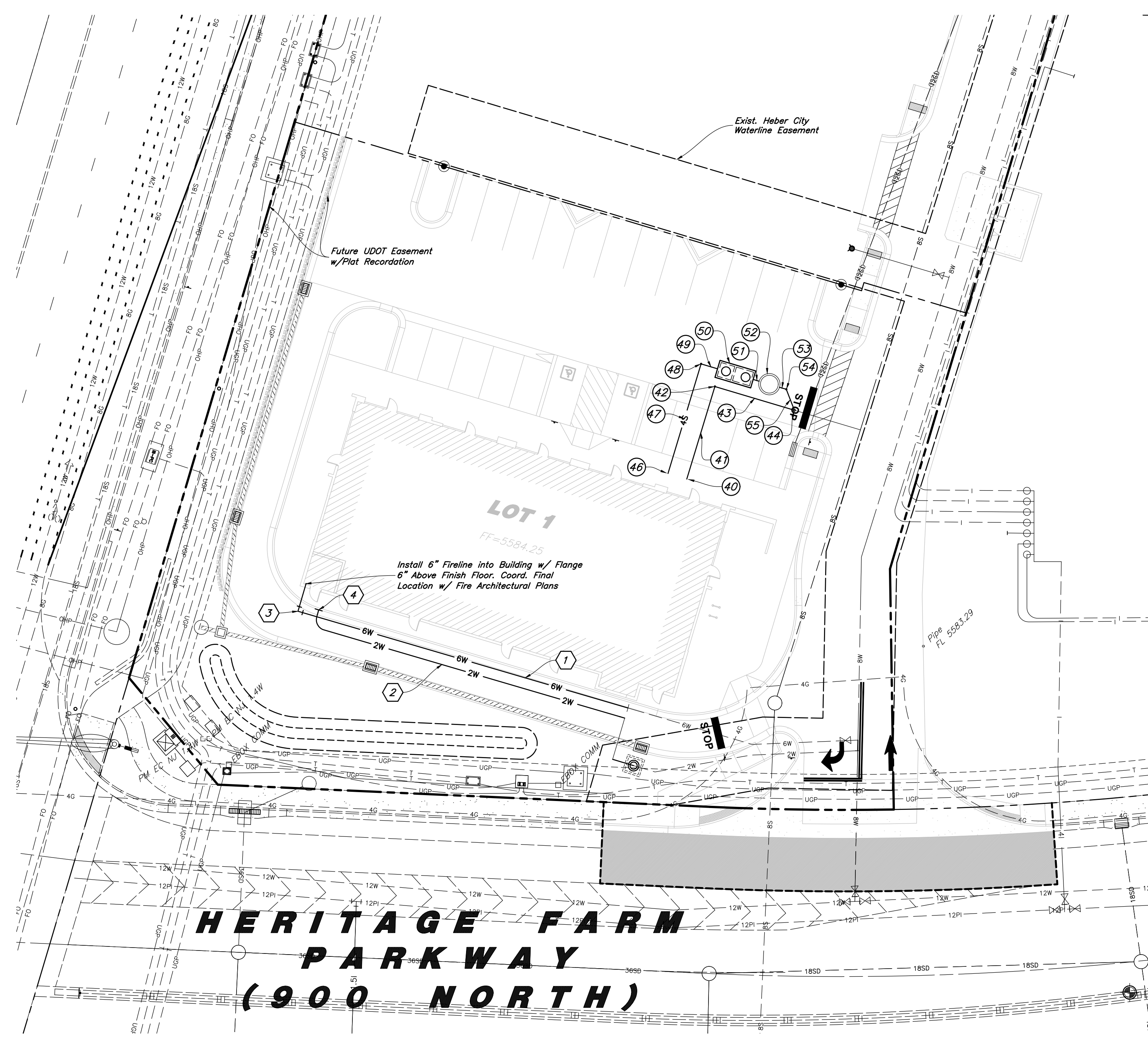


December 09, 2025

18 July, 2025

ET NO.

C2.2



- Legends:**
- Stream Channel
 - 25' Delineation Wetland Setback
 - Wetland Boundary

Sanitary Sewer Keynotes

- 40 Const. SS Building Connection
Flow4=5577.14
- 41 Const. 4" PVC SS
27.3' @ 3.99%
- 42 Const. 4" C.O.T.G.
Flow4=5576.05
FLin4=5576.05
- 43 Const. 4" PVC SS
23.4' @ 3.40%
- 44 Const. Wye SS Connection
Flow4=5575.26
FLin4=5575.26
- 45 Const. SS Building Connection
Flow4=5577.14
- 46 Const. 4" PVC SS
32.3' @ 2.24%
- 48 Const. Wye SS Connection
Flow4=5576.42
FLin4=5576.42
- 49 Const. 4" PVC SS
10.1' @ 2.00%
- 50 Const. Grease Interceptor
RIM=5583.60
Flow4=5575.88
FLin4=5576.22
- 51 Const. 4" PVC SS
10.0' @ 2.00%
- 52 Const. 5" SS Manhole
RIM=5583.52
Flow4=5575.48
FLin4=5575.68
- 53 Const. 4" PVC SS
5.0' @ 2.00%
- 54 Const. 4" C.O.T.G.
Flow4=5575.38
FLin4=5575.38
- 55 Const. 4" PVC SS
6.3' @ 2.00%

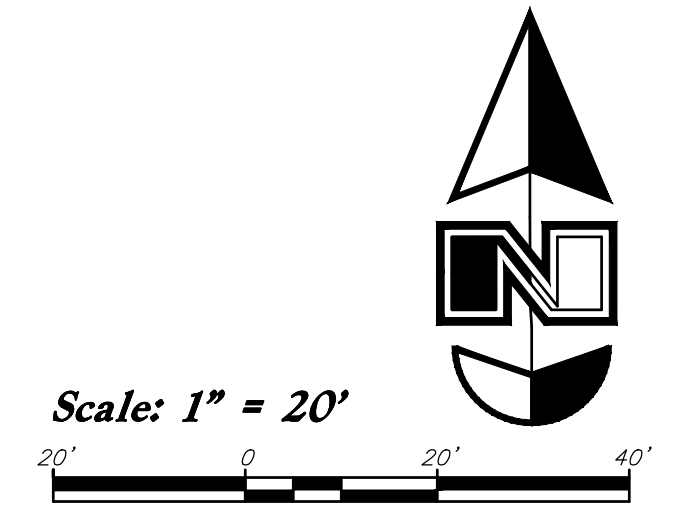
Waterline Construction Notes

- 1 Const. 6" PVC (DR18) Waterline C900 per Heber City Standard Drawings
- 2 Const. 2" SDR9 Poly Pipe Waterline per Heber City Standard Drawing Water-6B
- 3 Const. 90° Bend w/ Restraint Glands, Thrust Block Required per Heber City Standard Drawing Water-2
- 4 See Plumbing Plans for Continuation

- Onsite Utility Connection Notes:**
- 1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
 - 2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
 - 3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

Acceptance

City Engineer, Russell Funk, P.E. Approval Date



Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

PVC Pipe Protection During Construction:

PVC Pipe must have 24" cover for heavy construction loading during construction. The Contractor is responsible to temporarily protect any pipes with less than 24" cover by berming over the pipes.

- Utility Piping Materials:**
- All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- Culinary Service Laterals**
- 1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
- Water Main Lines and Fire Lines**
- 1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 235
- Sanitary Sewer Lines**
- 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- Storm Drain Lines**
- 1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

- General Utility Notes:**
- 1. The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.
 - 2. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
 - 3. Coordinate all utility connections to building with plumbing plans and building contractor.
 - 4. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 - 5. All catch basin and inlet box grates are to be bicycle proof.
 - 6. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 - 7. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
 - 8. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 - 9. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
 - 10. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.



Utility Plan

New London North Commercial Development Lot 1 Site Plan

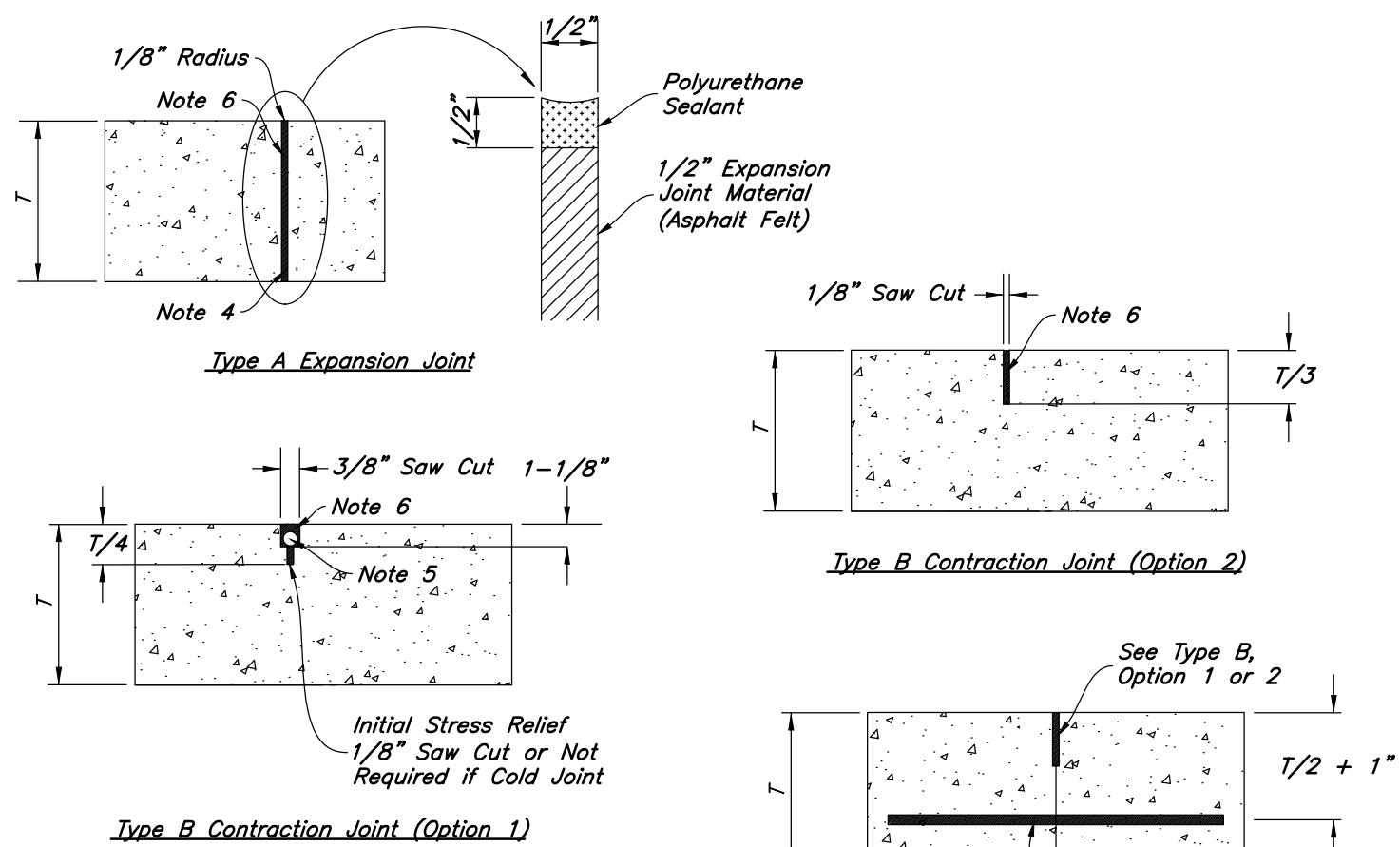
908 North Main Street (US 40)
Heber City, Utah

DESIGNED PROFESSIONAL SEAL
NO. 343860
Troy Holverson
STATE OF UTAH
December 09, 2025

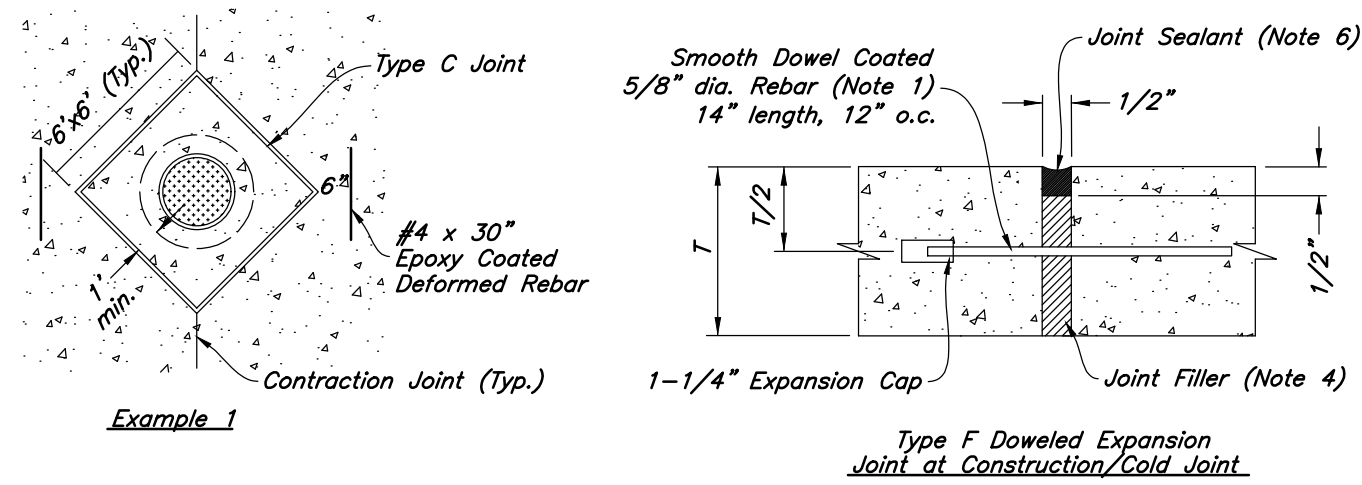
18 July, 2025

SHEET NO. **C3.1**

1. REINFORCEMENT: ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
- A. Space rebar and dowels at 12 to 15 inches on center.
B. Grease dowels to provide movement in expansion joints.
C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
2. SAWING: Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
3. JOINTS: Lay out joints to aid construction and control random cracking.
- A. Joint Spacing shall be 12 feet maximum on center in both directions.
B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
C. Make adjustments in joint locations to meet inlet or manhole locations.
D. Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
4. JOINT FILLER: Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
5. BACKER ROD: Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
6. JOINT SEALANT: Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.

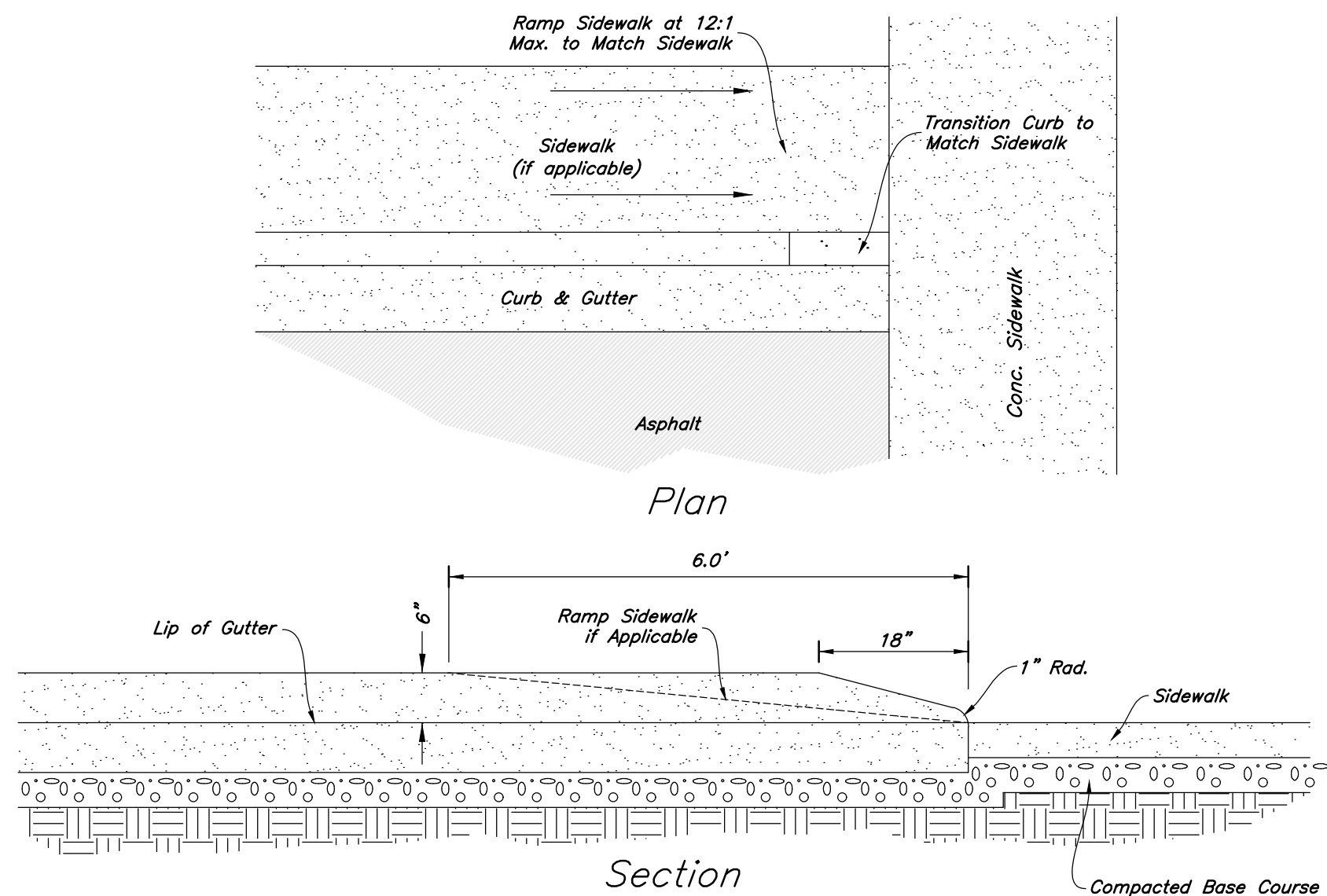


Rebar at all corners of expansion joints that do not intersect a contraction joint.



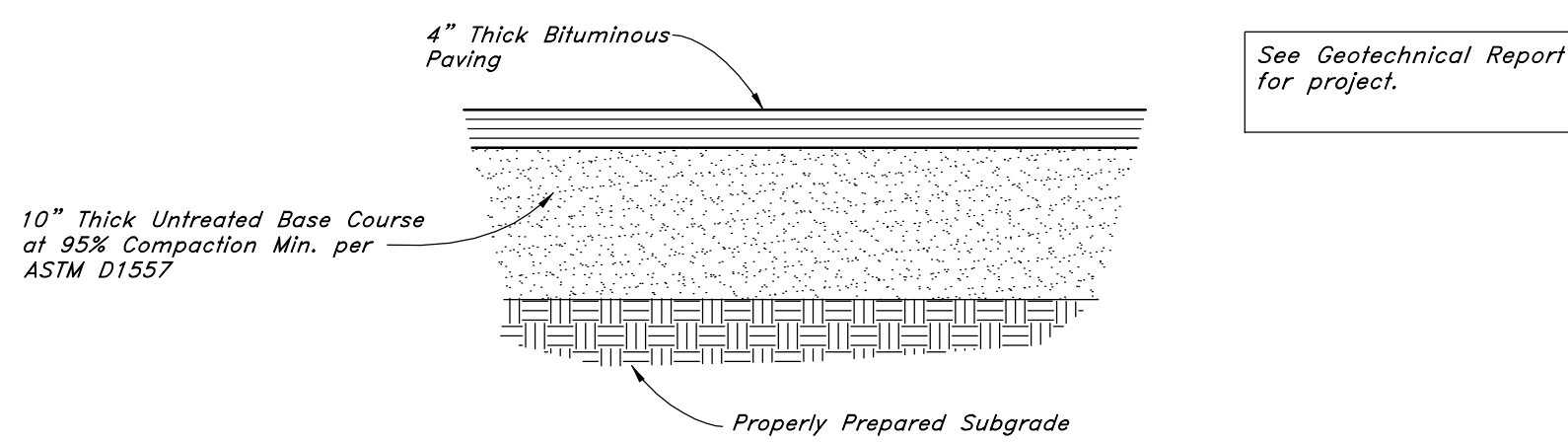
9 Concrete Joint Detail

Not to Scale



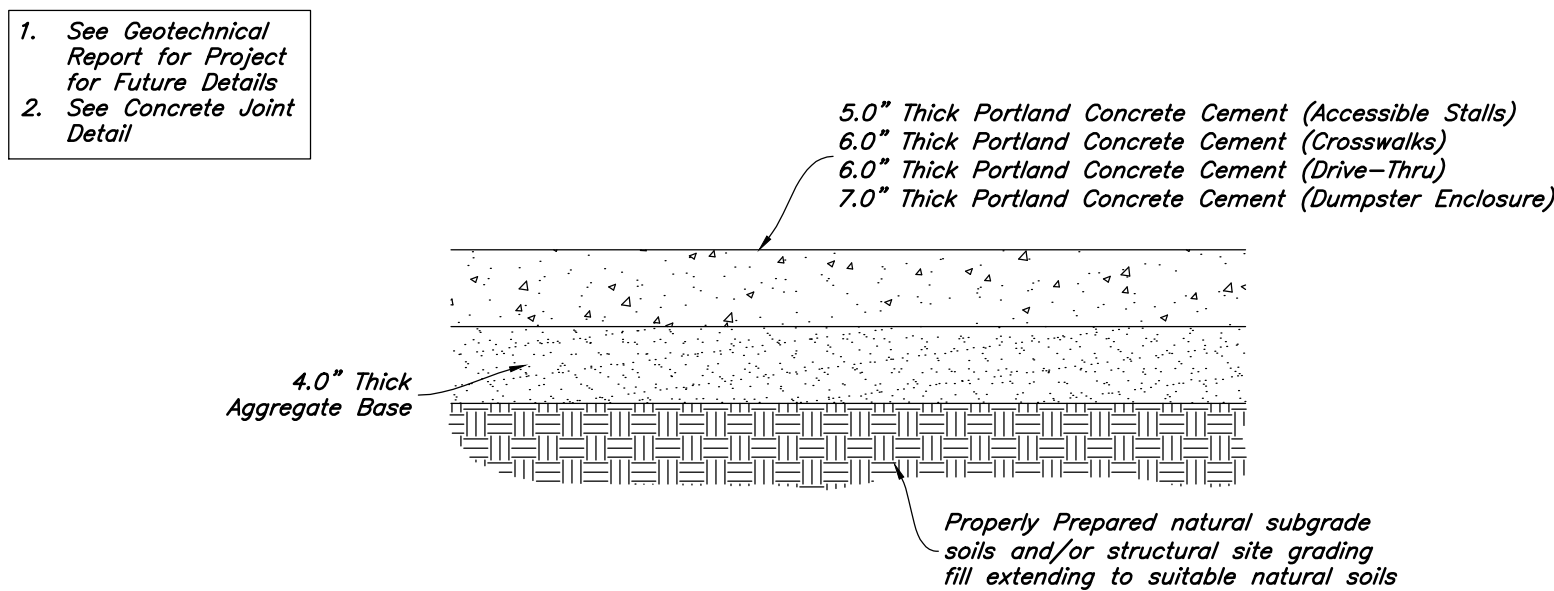
8 Curb Transition

Not to Scale



7 Heavy Duty Asphalt Paving

Not to Scale



6 Concrete Paving Section

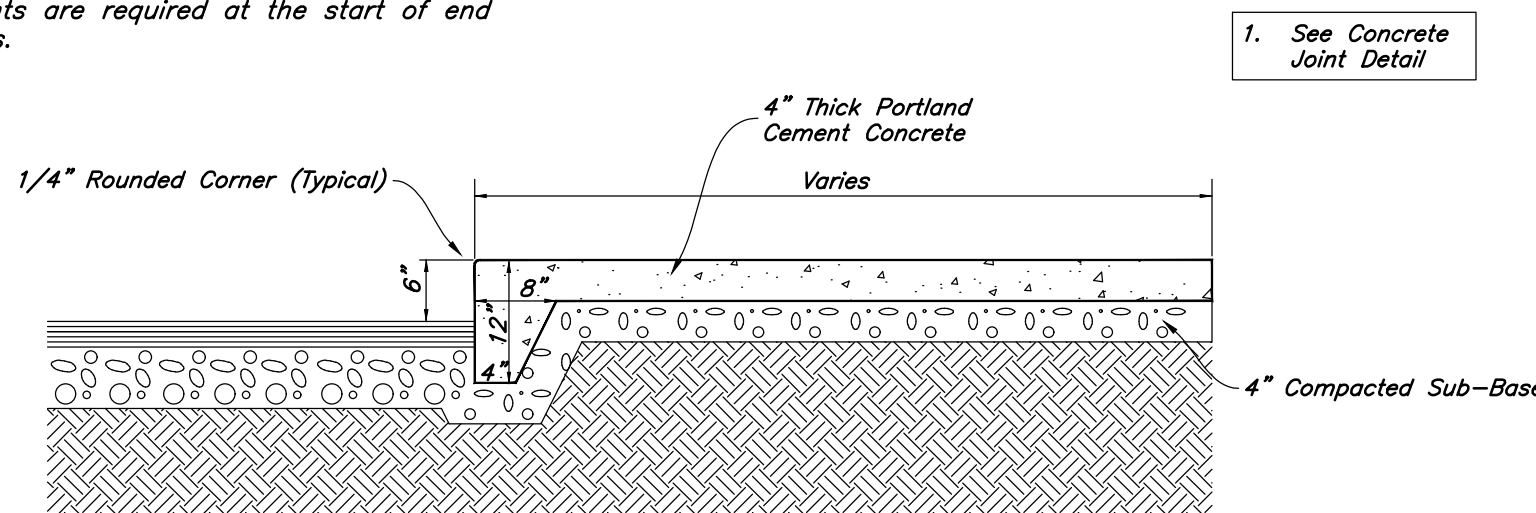
Not to Scale

Contraction Joints

- A. Spacing = 10' O.C.

Expansion Joints

- A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at the start of end of curb radius.



5 Thickened Edge Walk

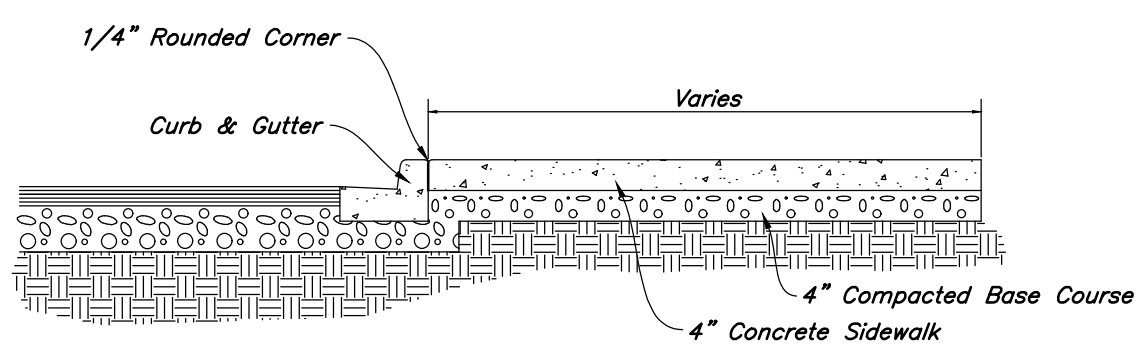
Not to Scale

Contraction Joints

- A. Spacing = 10' O.C.

Expansion Joints

- A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at the start of end of curb radius.

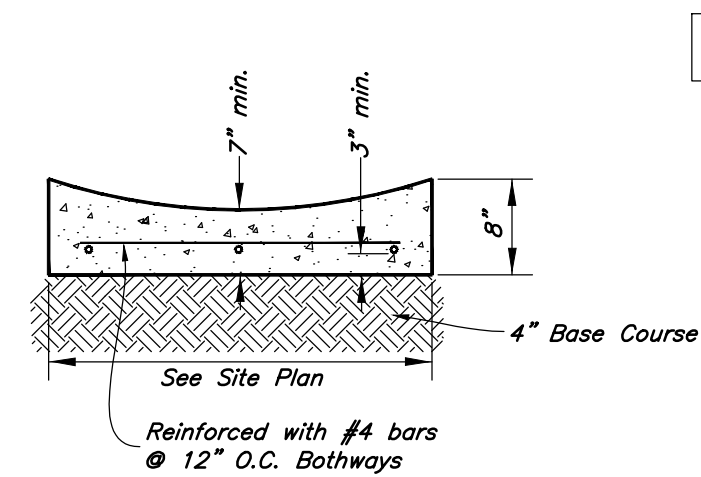


4 Typical Sidewalk Detail

Not to Scale

Contraction Joints

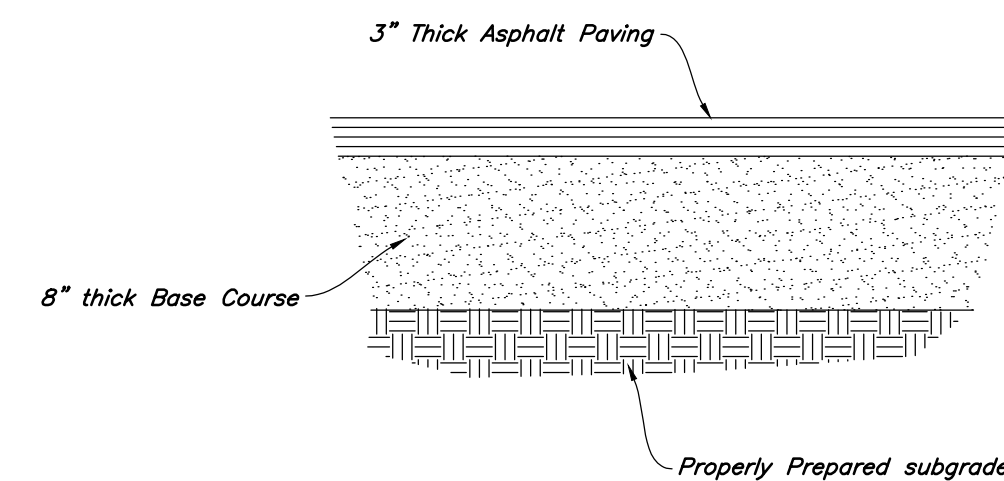
- A. Spacing = 10' O.C.
B. 1/8" Wide by 2" Deep



3 Typical Waterway Detail

Not to Scale

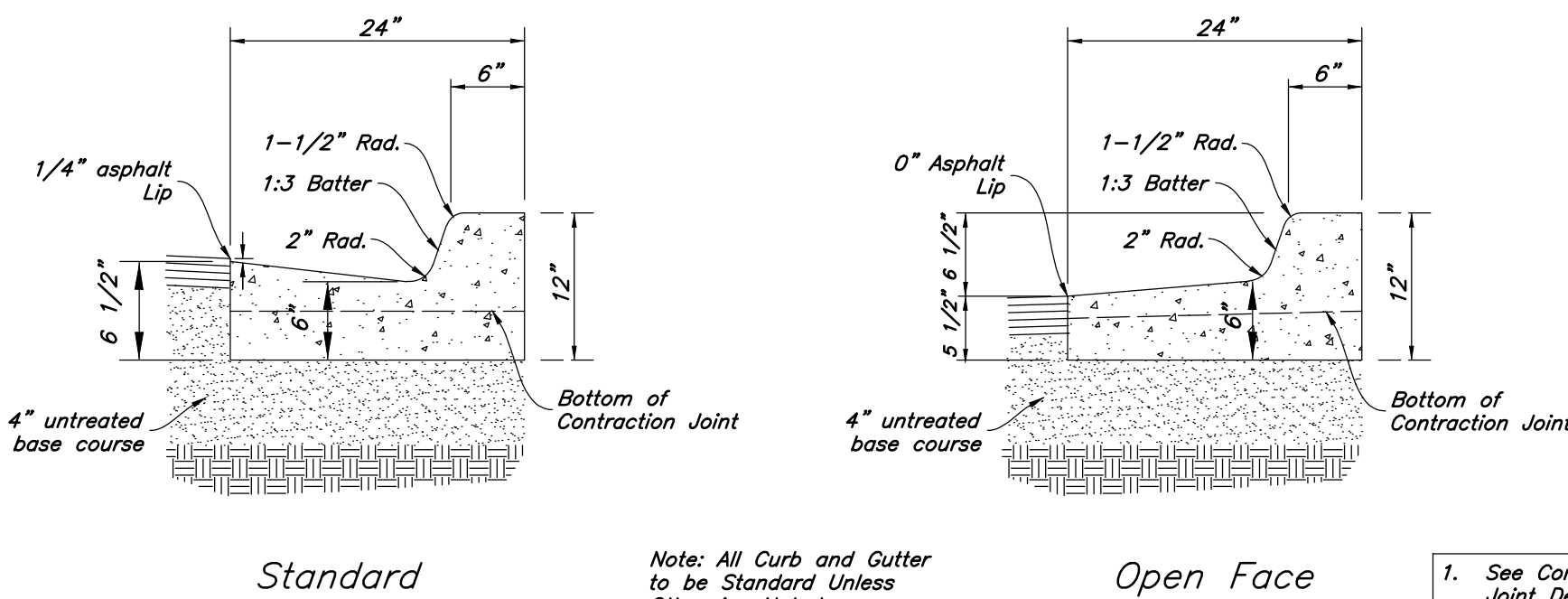
1. See Geotechnical Report for Project



2 Standard Asphalt Section

Not to Scale

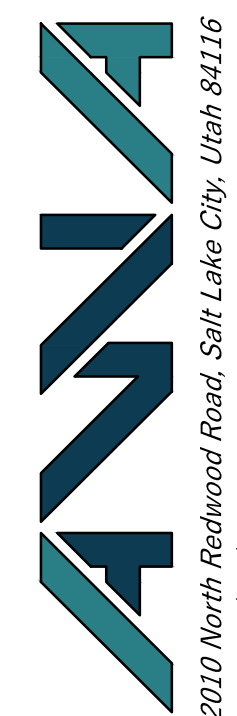
1. Contraction Joints
A. Spacing = 10' o.c., see joint detail
B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals
2. Expansion Joints
A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at ends of all radii 0.08.
D. Required 5'-0" on each side of drainage structures
E. Required at 90'-0" maximum intervals in straight curb and gutter
F. Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3/4" thick bituminous filler material)
3. 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
4. Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
5. Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
6. All radii shall be true arcs
7. Medium to light broom finish on all exterior concrete



1 24" Curb And Gutter

Not to Scale

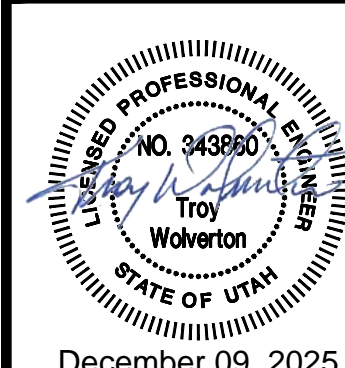
Designed by: TW
Drafted by: GM
Client Name:
NuLo, LLC
21-263_03-DT



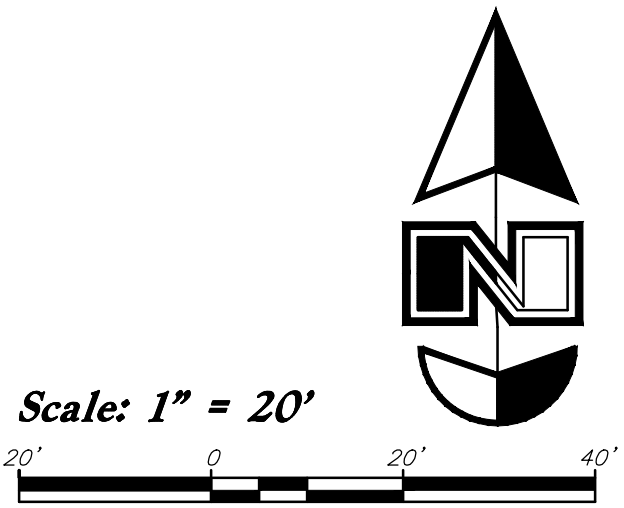
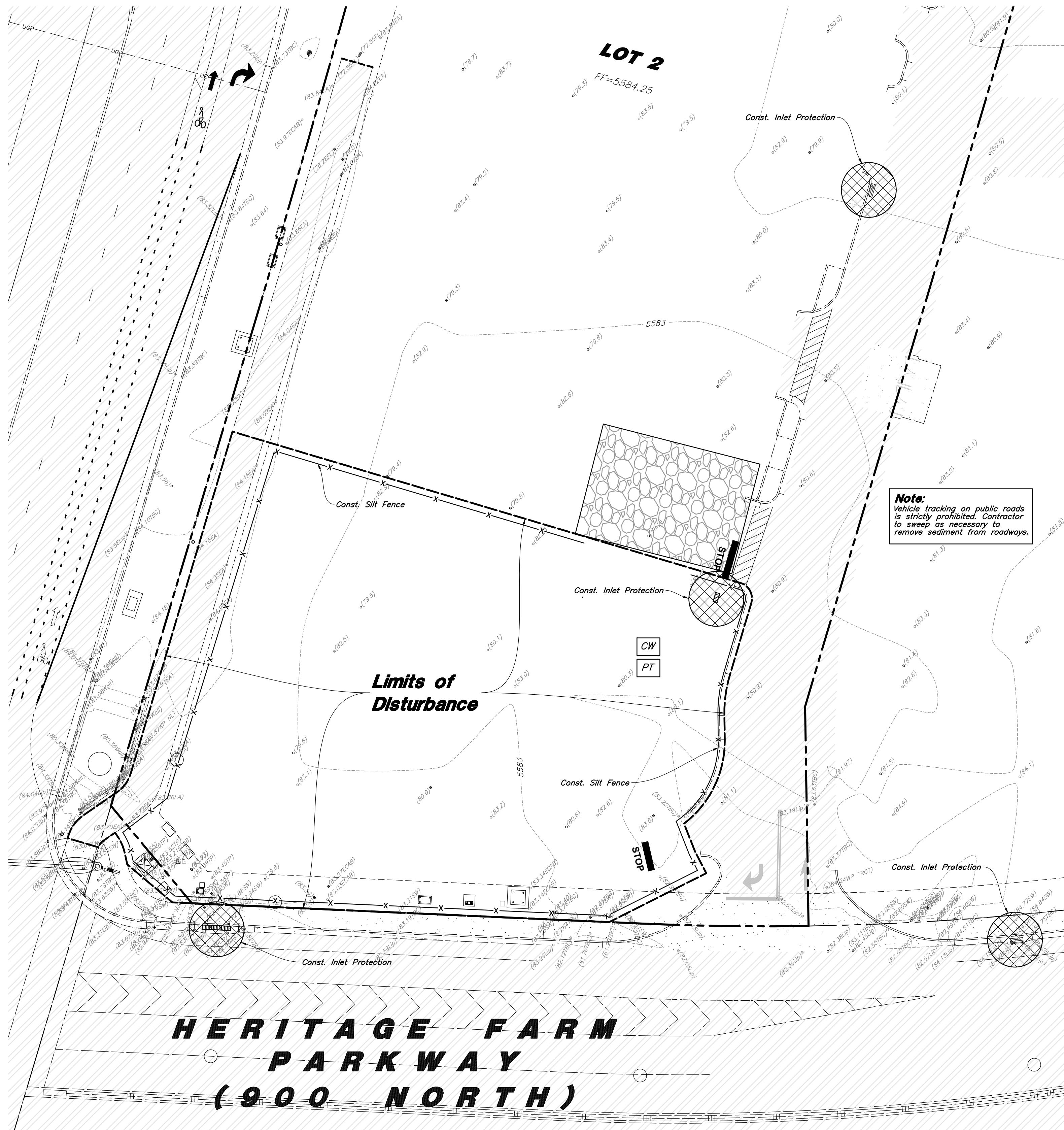
Details

New London North Commercial Development Lot 1 Site Plan

908 North Main Street (US 40)
Heber City, Utah



December 09, 2025
18 July, 2025
SHEET NO.
C6.1



- Legend**
- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour
- Stream Channel
- 25' Delineation Wetland Setback
- Wetland Boundary

Erosion Control Notes

- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
- The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
- All Construction equipment will enter thru Designated Construction Entrances.
- Coordinate Entrance locations with the local jurisdiction.
- Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
- Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
- The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
- All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
- Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
- Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
- Inlet Protection Devices shall be Installed Immediately upon individual Inlets becoming Functional.
- This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
- Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
- Re-vegetate areas where landscaping has died or not taken hold.
- Divert storm water runoff around disturbed soils with berms or dirt swales.
- Contractor to provide permanent stabilization to any areas disturbed by construction by hydreseeding native vegetation (if not otherwise stabilized).
- Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.



CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main / 104 ext.
tl@wpi.us.com

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Acceptance

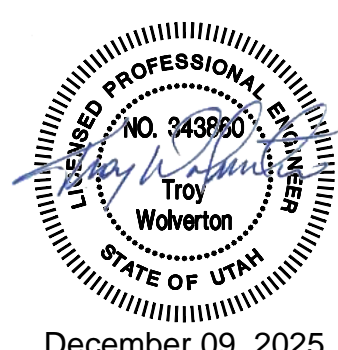
City Engineer, Russell Funk, P.E.

Approval Date

Erosion Control Plan - Phase 1

New London North Commercial Development Lot 1 Site Plan

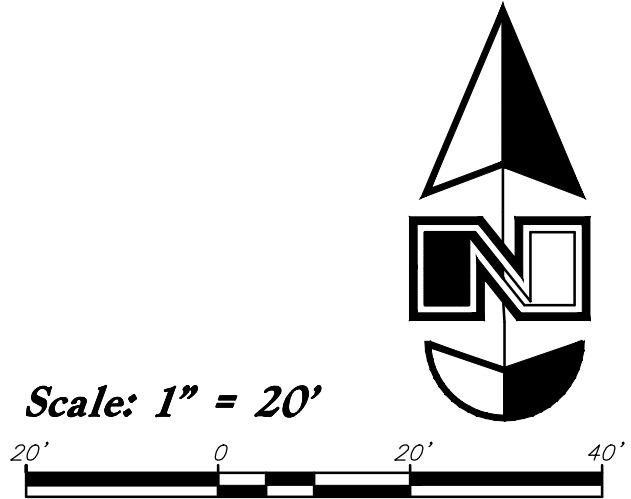
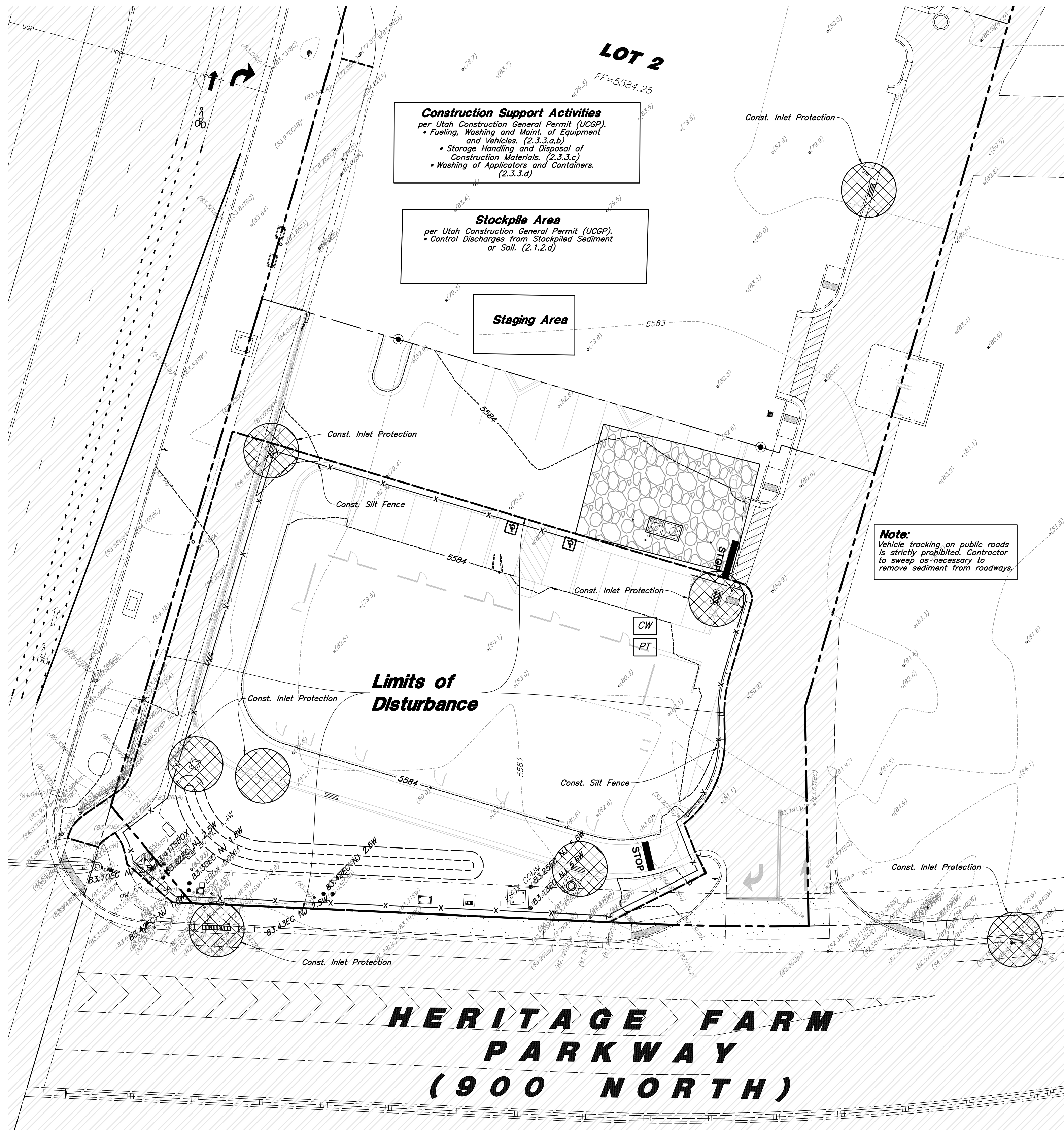
908 North Main Street (US 40)
Heber City, Utah



18 July, 2025

SHEET NO.

C7.1



- Legend**
- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour
- Stream Channel
- 25' Delineation Wetland Setback
- Wetland Boundary

- Erosion Control Notes**
- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
 - The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 - All Construction equipment will enter thru Designated Construction Entrances.
 - Coordinate Entrance locations with the local jurisdiction.
 - Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
 - Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
 - The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
 - All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
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 - Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
 - Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
 - This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
 - Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
 - Re-vegetate areas where landscaping has died or not taken hold.
 - Divert storm water runoff around disturbed soils with berms or dirt swales.
 - Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
 - Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.



CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

Acceptance

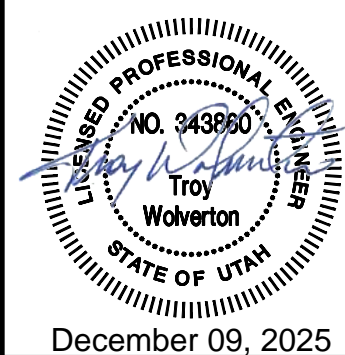
City Engineer, Russell Funk, P.E. Approval Date

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Erosion Control Plan - Phase 2

New London North Commercial Development Lot 1 Site Plan

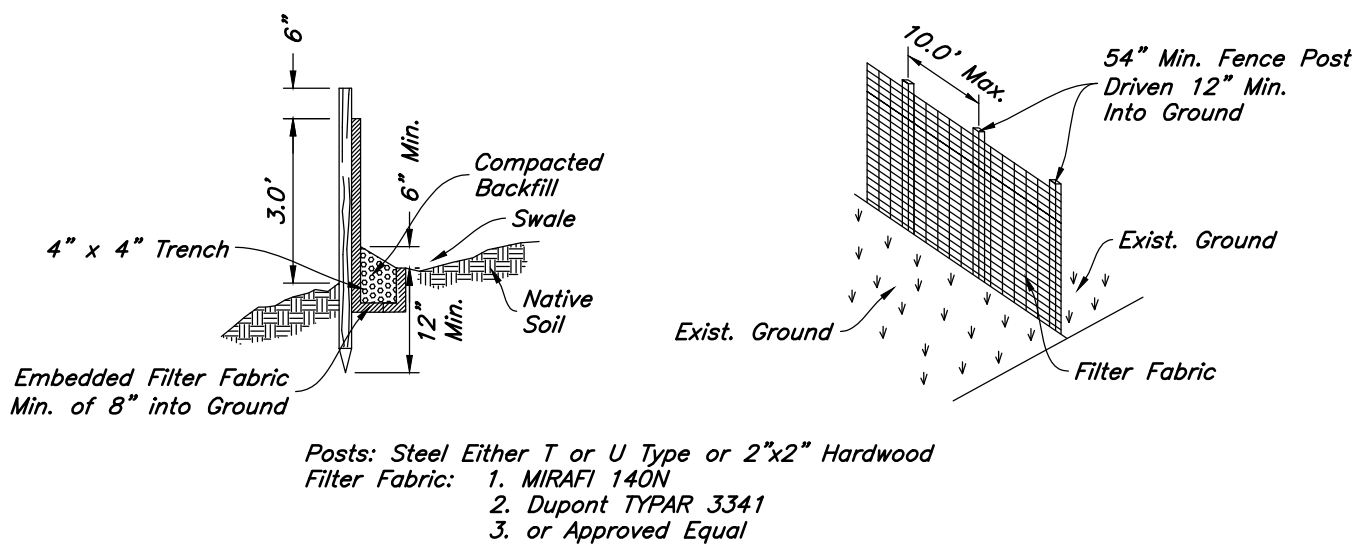
908 North Main Street (US 40)
Heber City, Utah



18 July, 2025

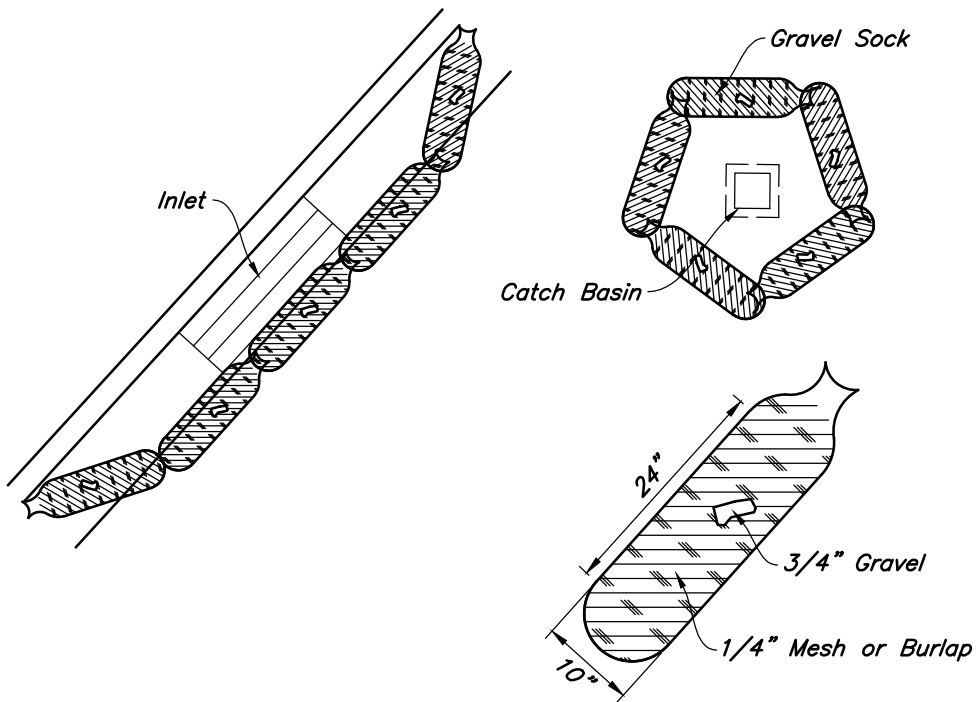
SHEET NO.

C7.2

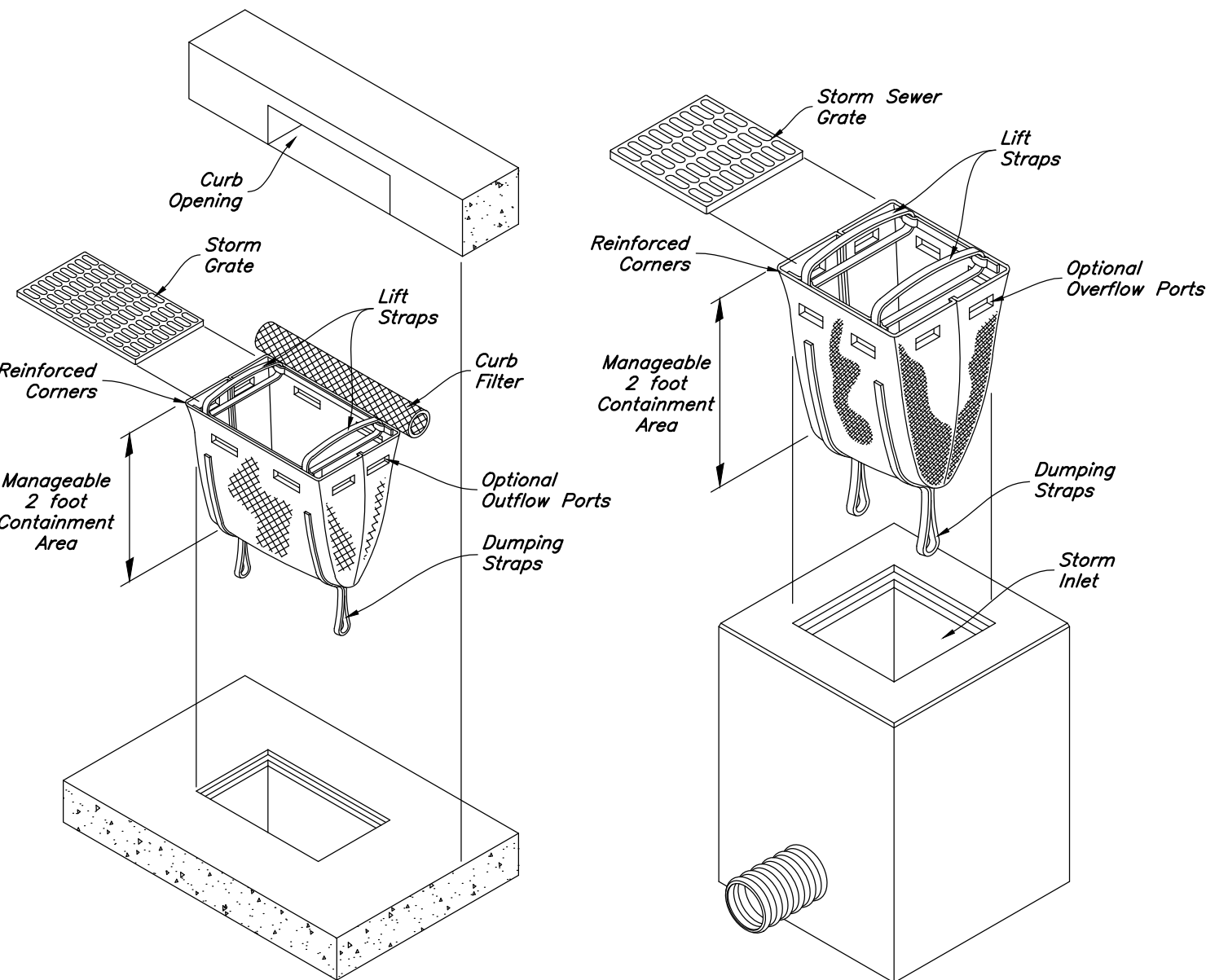


- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.

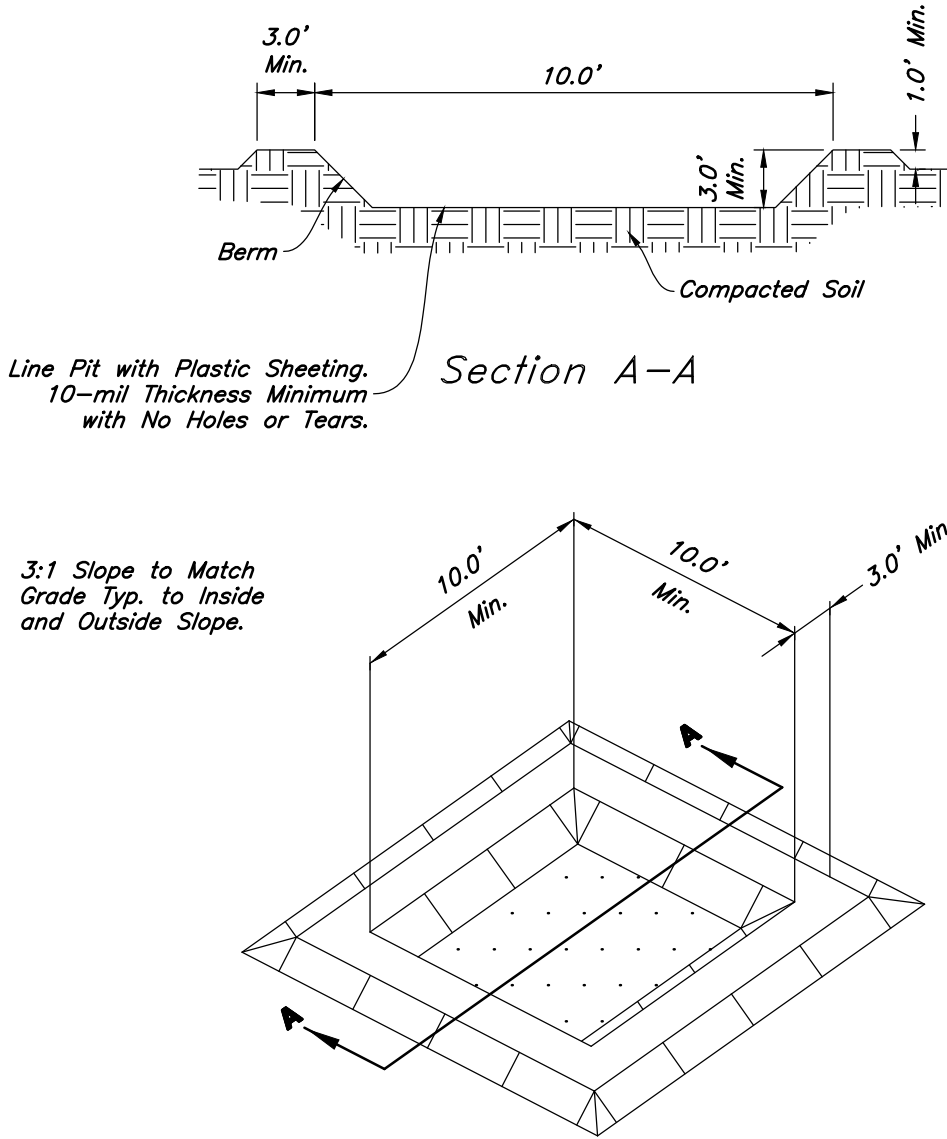
3 Silt Fence Section
Not to Scale



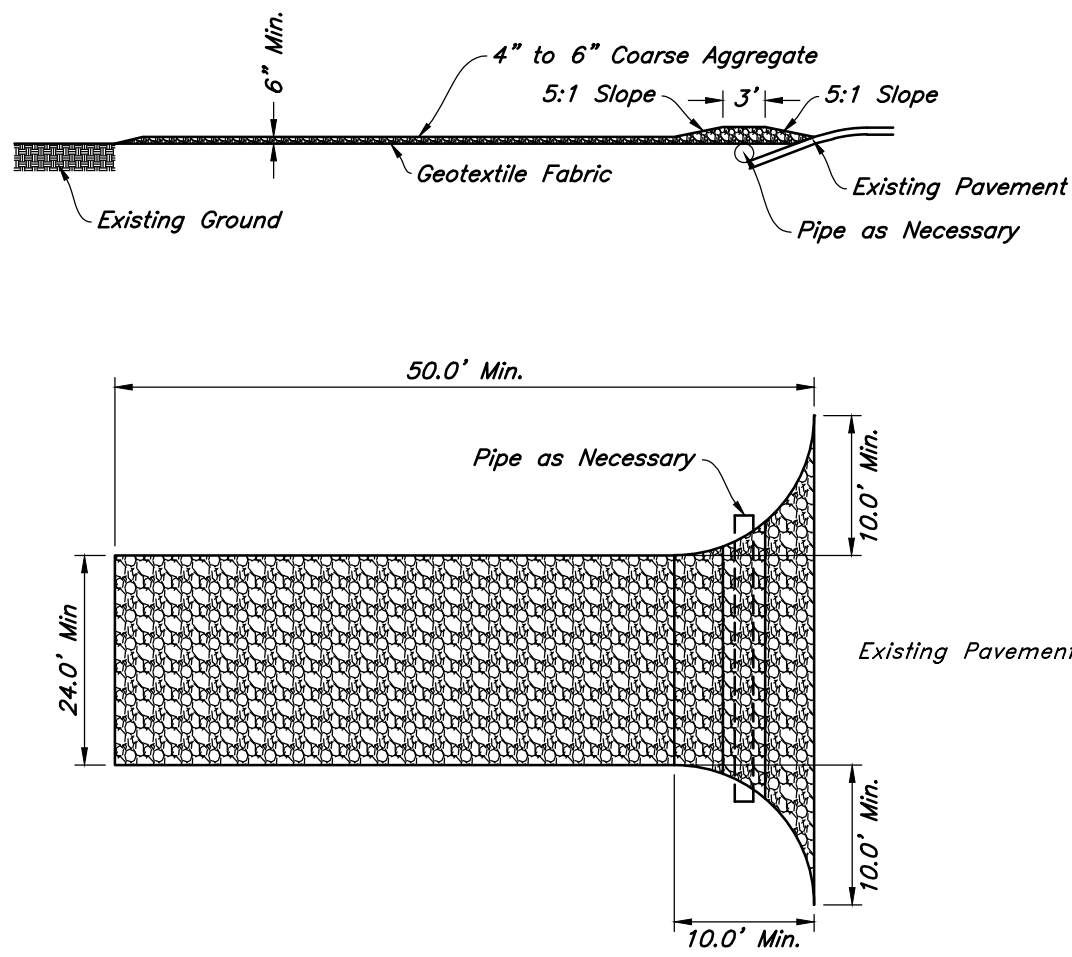
5 Gravel Sock Sediment Barrier
Not to Scale



2 Dandy Sack Inlet Protection
Not to Scale



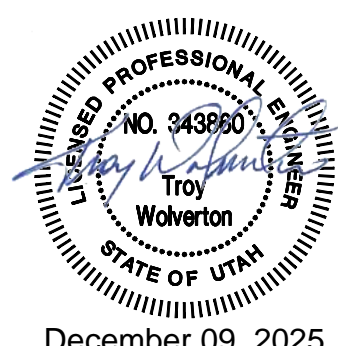
4 Concrete Washout
Not to Scale



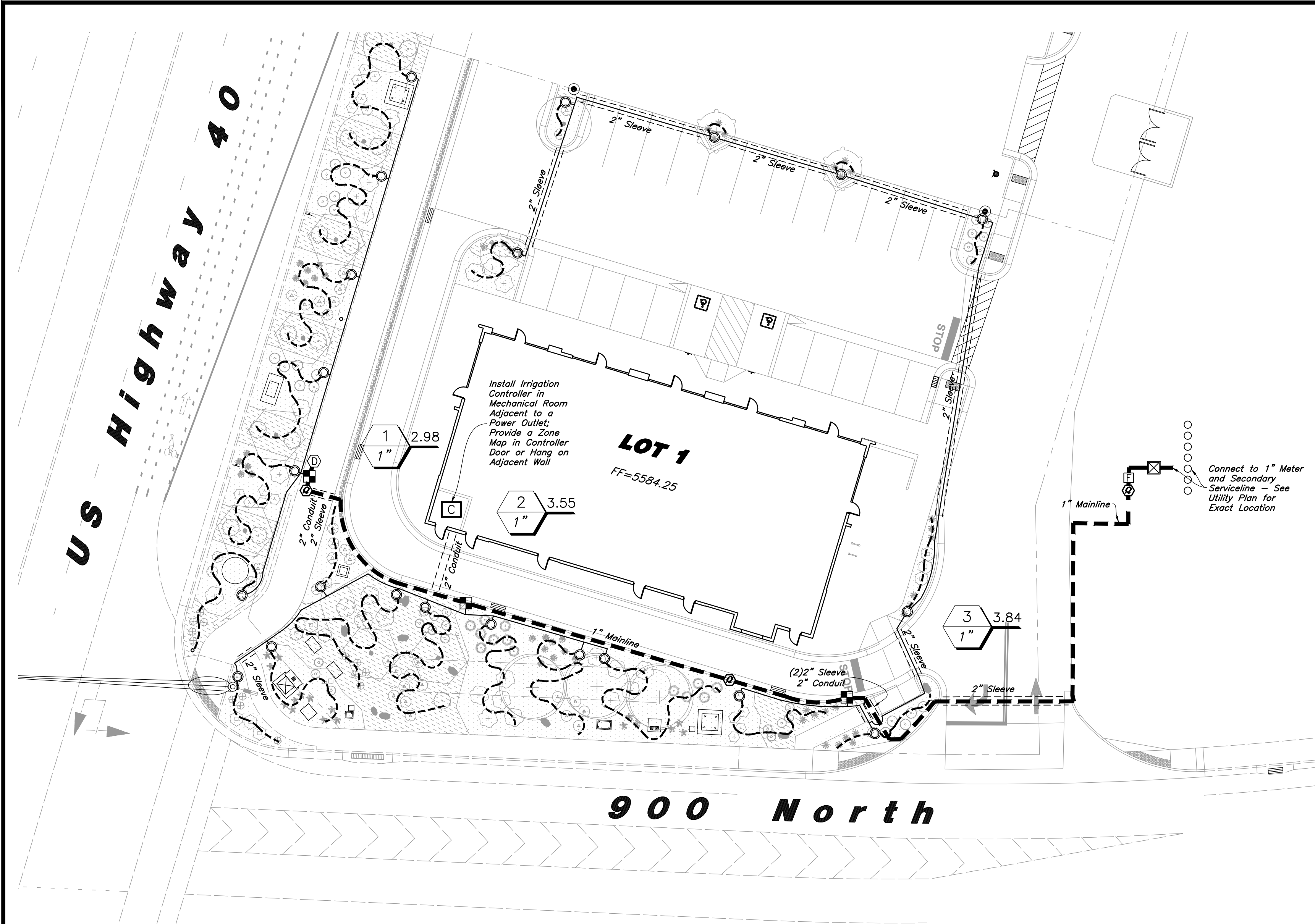
1 Stabilized Construction Entrance
Not to Scale



Erosion Control Details
New London North Commercial Development Lot 1 Site Plan
908 North Main Street (US 40)
Heber City, Utah



December 09, 2025
18 July, 2025
SHEET NO.
C7.3



General Irrigation Notes:

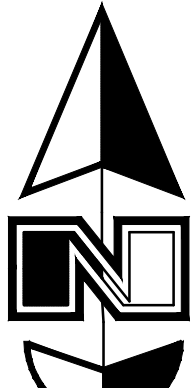
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
- Irrigation installer agrees to repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems.
- Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
- Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that run the length of the mainline and to the controller. All wiring shall be UF-LU rated. All connections shall be made with water tight connectors (DBR/Y) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
- Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks.
- Quick couplers shall be a Rain Bird 44NP with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (28) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
- Plans are diagrammatic and approximate due to scale. where possible, all piping is to be installed within the shrub areas. No tees, els, or changes in direction shall occur under hardscape.
- It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each shrub area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- The irrigation system design is based on the operating pressure specified on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.
- Provide and install all manufacturer's recommended surge and lightning protection equipment on all controllers.
- All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
- Upon completion and approval of irrigation system, irrigation contractor to provide the owner with one set of drawings indicating actual location of piping, valves, wiring, and zones.
- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

Main Service Line & Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Irrigation Notes:

- See Sheet L1.1 for Landscape Layout and Planting Details.
- See Sheet L2.1-L2.2 for Irrigation Layout, Schedule, Notes, and Details.
- The Irrigation Shall Utilize a Secondary Water Irrigation Connection. See Utility Plan for Exact Location.
- Sleeving Shall be Added to Various Parking Islands Under New Driveway Access Roads.
- The Irrigation System Requires a Minimum of 39 psi to Function. Verify Static Pressure.

Scale: 1" = 20'



Irrigation Schedule

| Symbol | Manufacturer/Model # | Description | Notes | Detail |
|---------------|---------------------------|--|---|---------|
| Valves | | | | |
| | Rain Bird XZC-100-PRB-COM | Drip Remote Control Valve | 1 Inch Size; Drip Control Zone Kit; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors | 10/L2.2 |
| | Rain Bird 44NP | Non-potable (Purple Cap) Quick Coupler Valve with a Swing Joint Assembly | 1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier | 2/L2.2 |
| | Matco-Norca 759 | Manual Drain Valve | 1/2" Inch Size; Install at End of Mainline and After Filter in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier | 4/L2.2 |
| Drip | | | | |
| | PVC Pipe To Drip Tubing | Provide Connection Fittings | Install 1" Feeder Line To All Drip Areas | 7/L2.2 |
| | Netafim TLCV9-12XX | Techline CV Dripline with 0.9 gph Emitters @ 12" Spacing; Dripline Shall be Used to Water all Perennials, Shrubs, Ornamental Grasses and Trees; See Drip Irrigation Detail for Dripline Configuration and Layout; Blank Tubing Shall be Used in Areas Where There is No Plant Material; Install per Manufacturer's Specifications; Drip Shall be Installed After Plant Installation; Secure Tubing with Staples No Less Than Every 24 Inches & at Critical Holding Points; Tubing with Emitters Shall be Installed Under Weed Barrier so That the Water Drips on the Soil and not on Top of Weed Barrier | | 5/L2.2 |

P.O.C. Components

| | | | | |
|--|----------------------|--------------------------------|---|---------|
| | Nibco T-FP-600A | Shutoff Valve Brass Ball Valve | 1 Inch Size; Installed in a Standard Valve Box with 3" Depth Gravel Over Weed Barrier; Valve Shall be Turned Sideways for Easy Maneuvering | 1/L2.0 |
| | Amiad Tagline Filter | Secondary Water Filter | 1 Inch Size; Plastic Filter with 300 Micron Stainless Steel Weave-Wire Screen Filter Element; Filter Shall be installed Underground in Jumbo Size Box with Clean Gravel Over Weed Barrier | 11/L2.2 |

Pipes

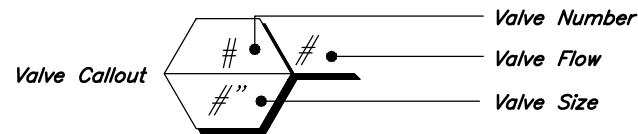
| | | | | |
|--|-----------------|-------------------|---|--------|
| | Schedule 40 PVC | Mainline Pipe | 1 Inch Size; Controller Wire Shall be Tucked Under Mainline; Sch 80 Fittings Shall be Used for Mainline Connections | 3/L2.2 |
| | Schedule 40 PVC | Lateral Line Pipe | See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Inch; Minimum Pipe Size Shall be 1 Inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections | 3/L2.2 |

Controller

| | | | | |
|--|------------------|---------------------------------|--|--------|
| | Rain Bird ESP4ME | 4 Station Base Model Controller | See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Provide Zone Map with Controller | 6/L2.2 |
|--|------------------|---------------------------------|--|--------|

Sleeving

| | | | | |
|--|-----------------|--|---|--------|
| | Schedule 40 PVC | Provide for Irr. Mainlines, Laterals and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths | Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted. | 8/L2.2 |
|--|-----------------|--|---|--------|



Designed by: TW
Drafted by: GM
Client Name:
NuLo, LLC
21-263_03-IR



2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AIAEngineering.net

Irrigation Plan

New London North Commercial Development Lot 1 Site Plan

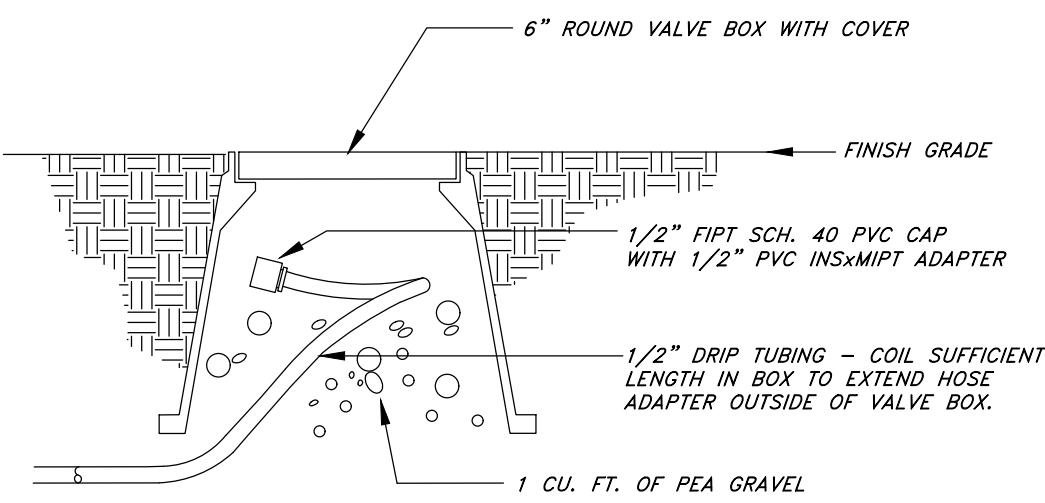
908 North Main Street (US 40)
Heber City, Utah



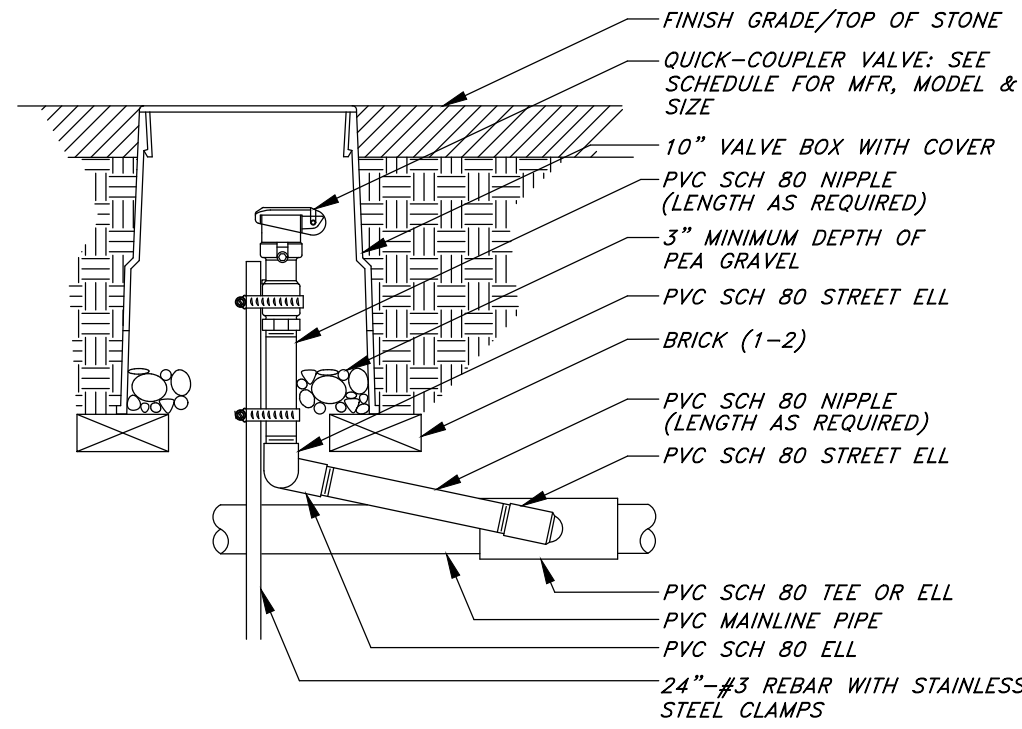
18 July, 2025
SHEET NO.

L2.1

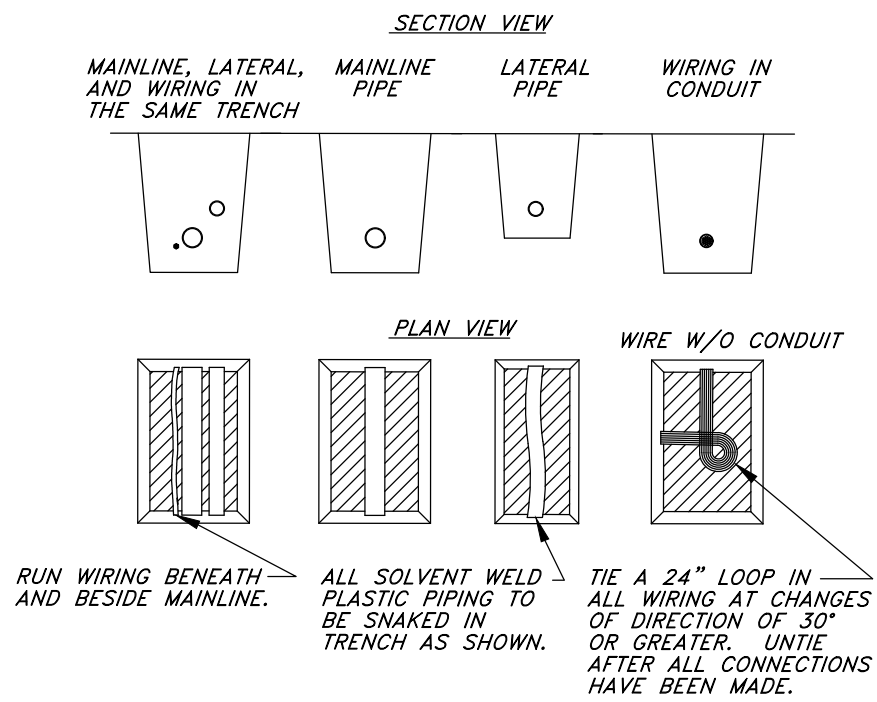




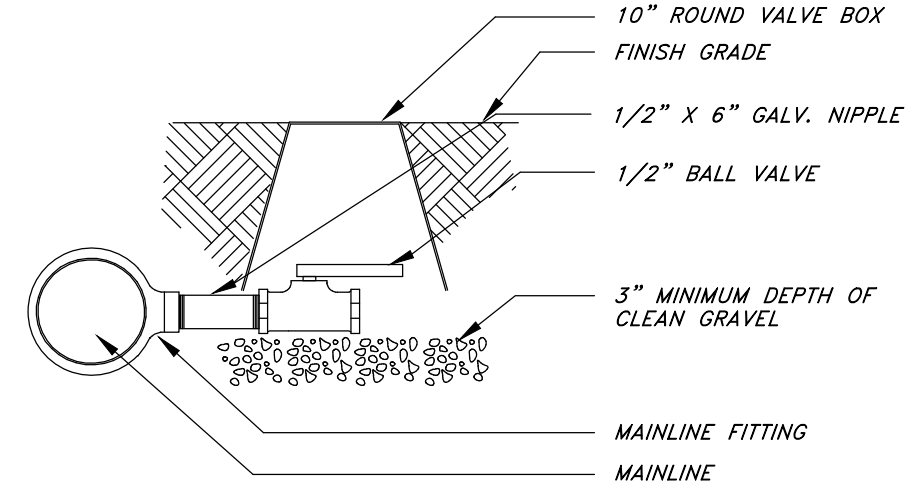
1 **COMPRESSION FLUSH CAP**
NOT TO SCALE



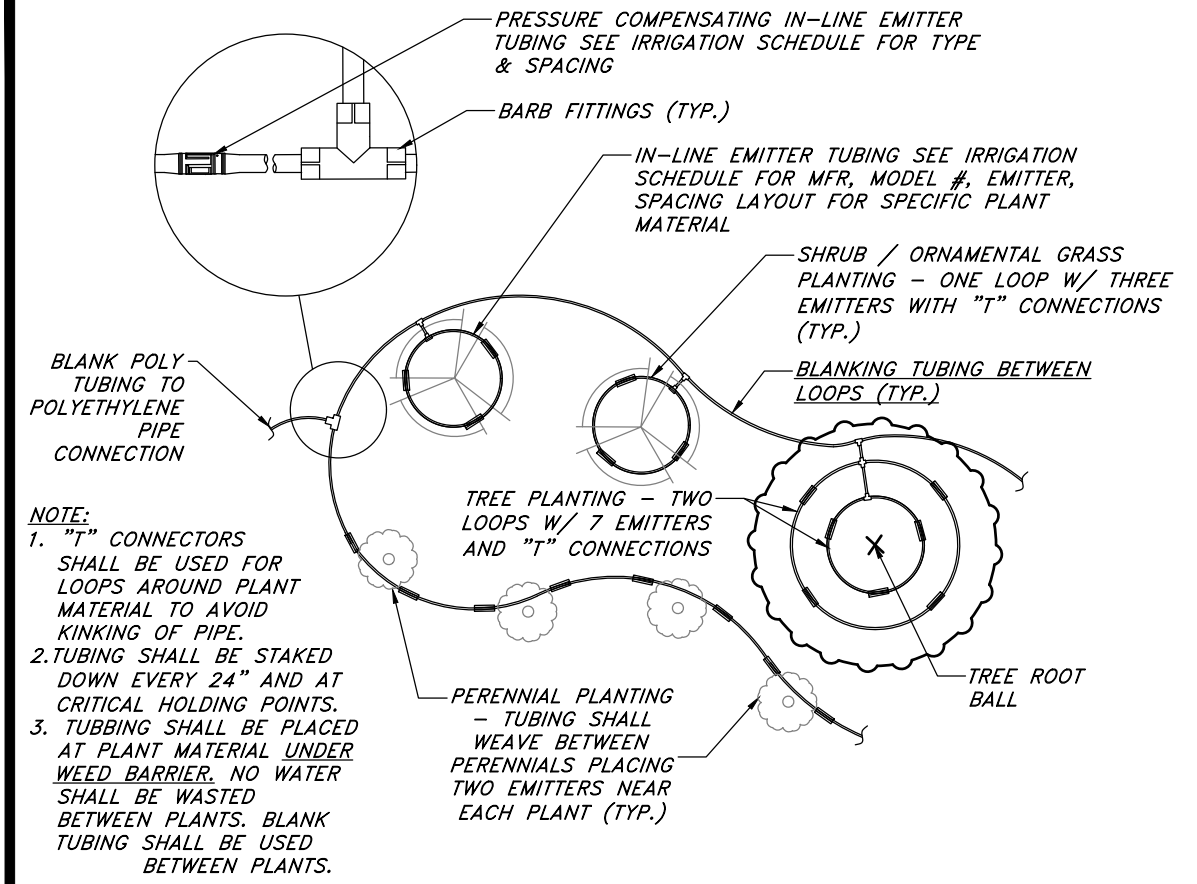
2 **QUICK COUPLING VALVE**
NOT TO SCALE



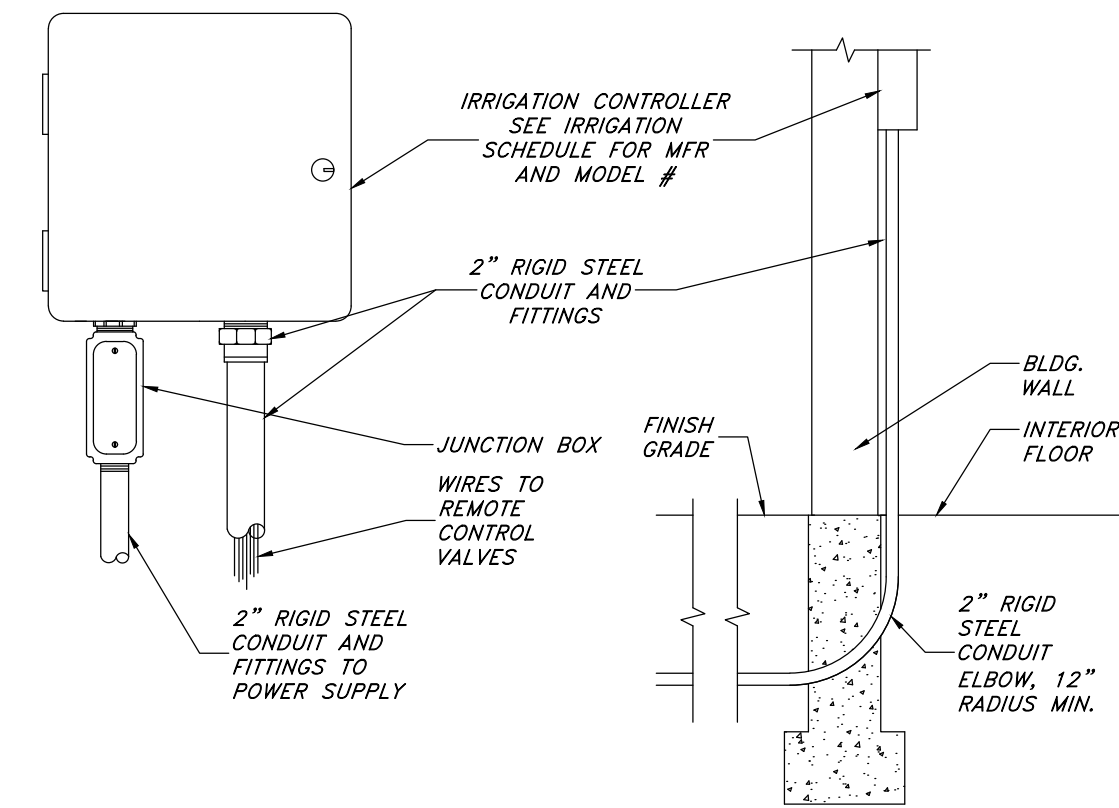
3 **PIPE & WIRE TRENCHING**
NOT TO SCALE



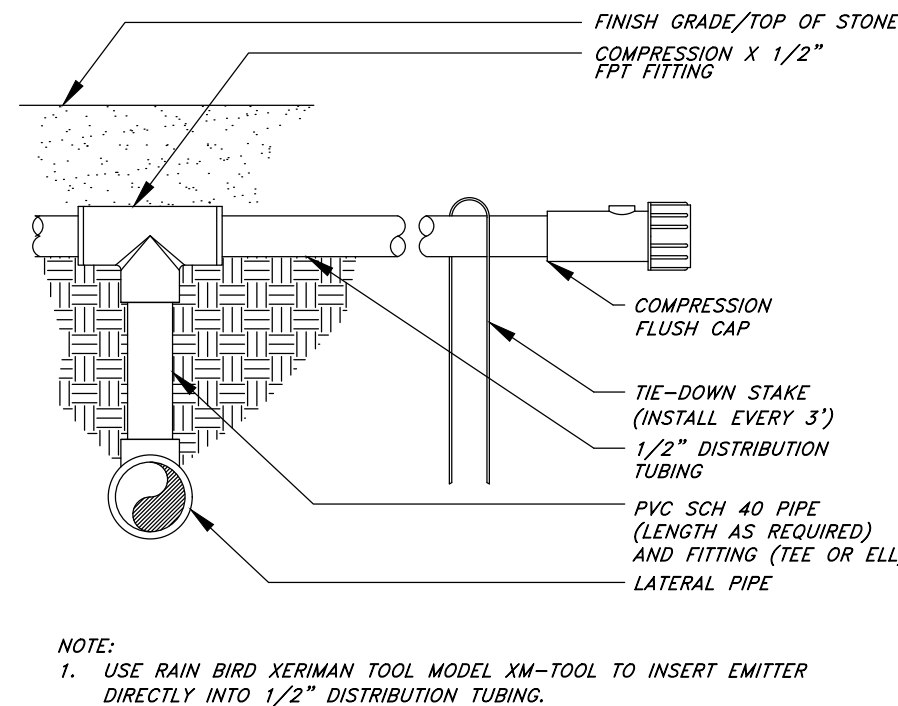
4 **MANUAL DRAIN VALVE**
NOT TO SCALE



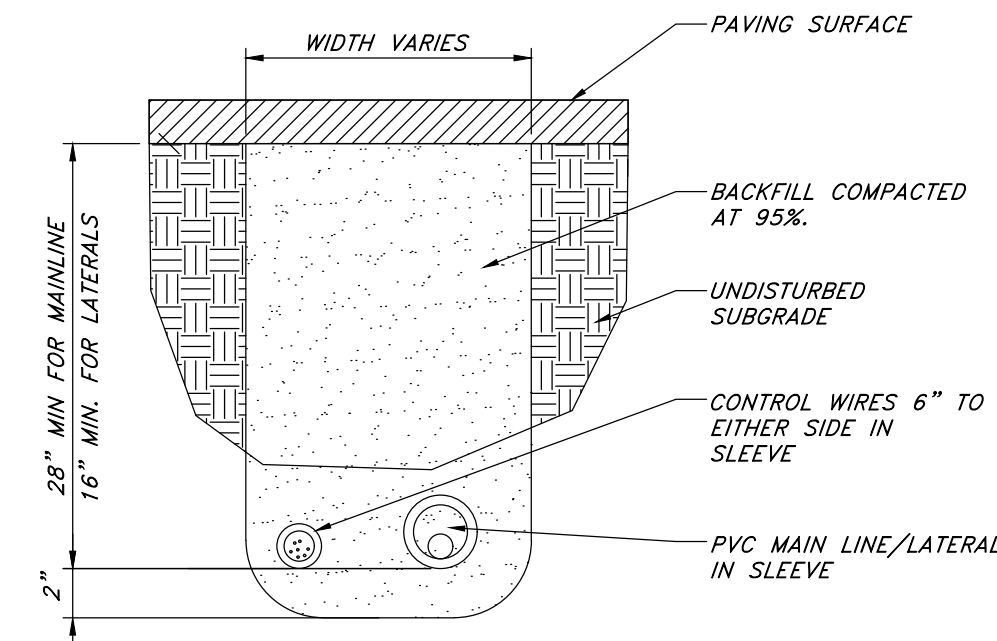
5 **DRIP TUBING AT PLANT**
NOT TO SCALE



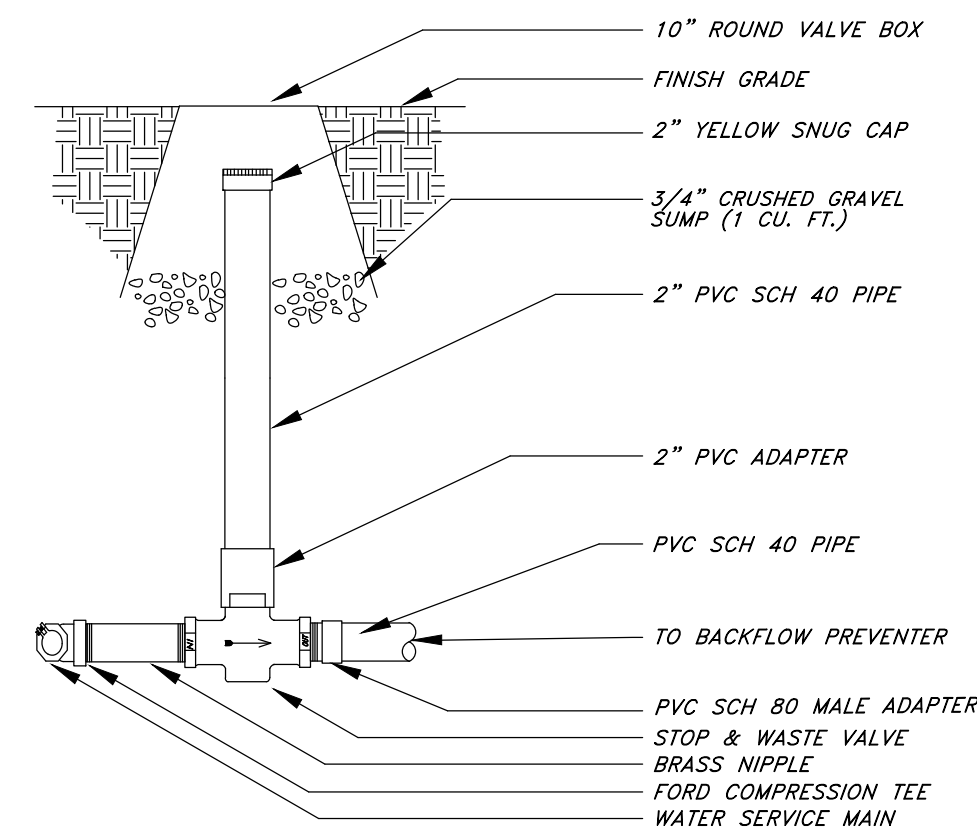
6 **IRR. CONTROLLER - INDOOR WALL MOUNT**
NOT TO SCALE



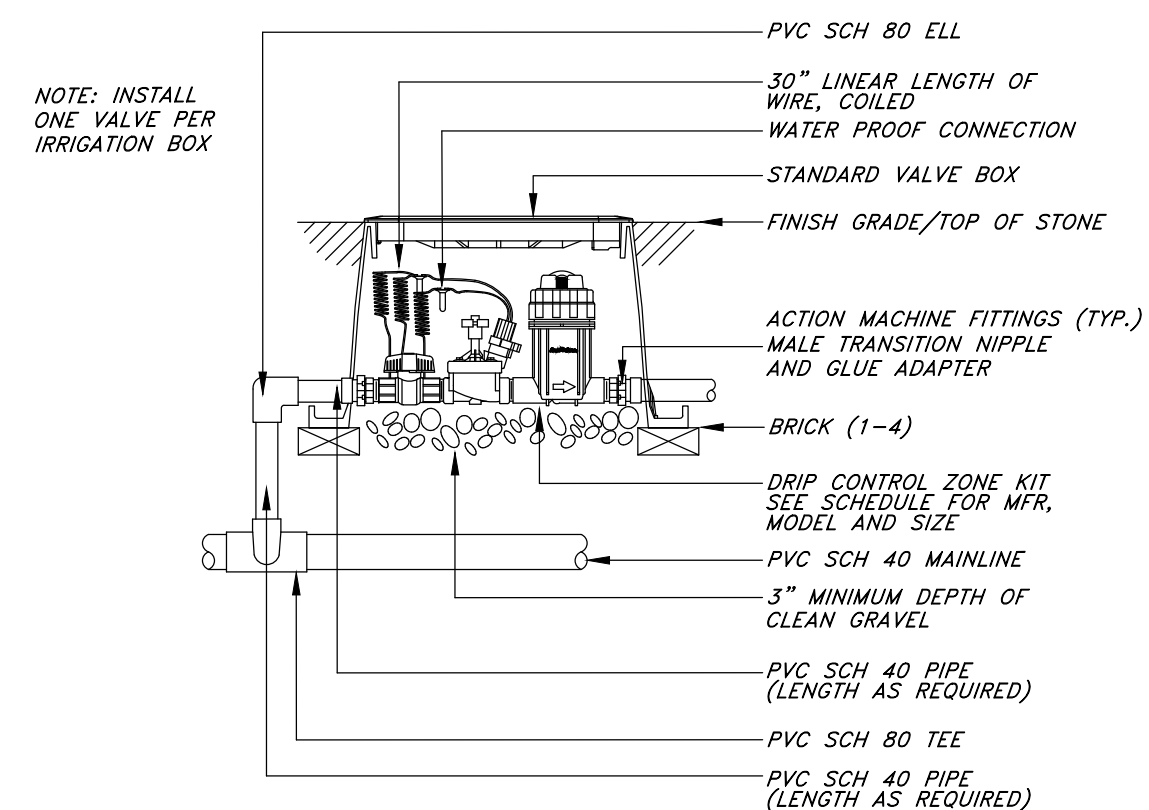
7 **PVC TO POLY PIPE CONNECTION**
NOT TO SCALE



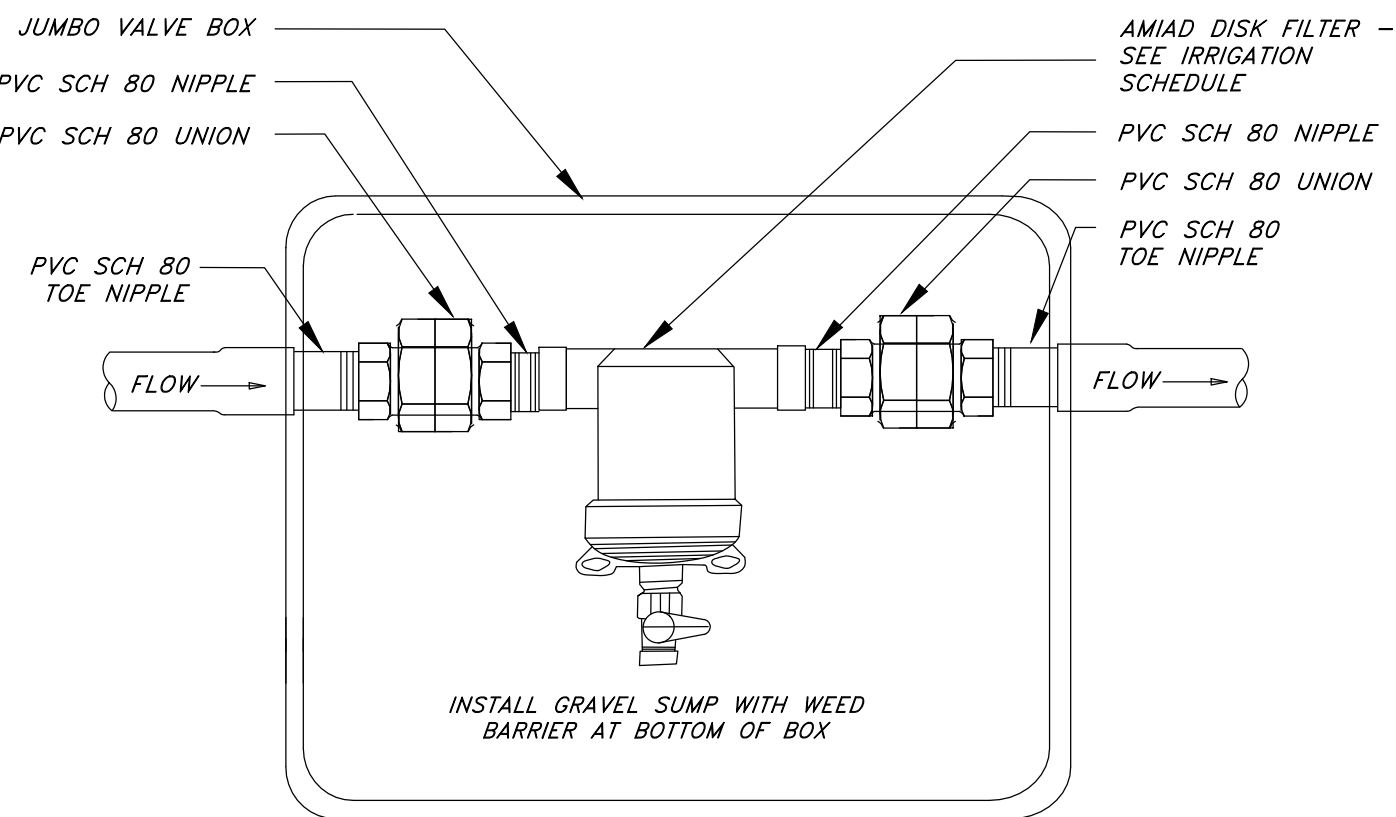
8 **PIPE SLEEVING**
NOT TO SCALE



9 **STOP & WASTE VALVE**
NOT TO SCALE



10 **DRIP CONTROL VALVE**
NOT TO SCALE



11 **SECONDARY WATER FILTER**
NOT TO SCALE

VALVE SCHEDULE

| VALVE # | VALVE SIZE | IRRIGATION TYPE | FLOW (GPM) | PSI @ VALVE | PSI @ POC | PRECIP. RATE |
|---------|------------|------------------------|------------|-------------|-----------|--------------|
| 1 | 1" | Area for Drip Emitters | 2.98 | 37.1 | 38.2 | 0.15 in/h |
| 2 | 1" | Area for Drip Emitters | 3.55 | 37.0 | 38.3 | 0.31 in/h |
| 3 | 1" | Area for Drip Emitters | 3.84 | 37.2 | 37.3 | 0.26 in/h |

Designed by: TW
Drafted by: GM
Client Name:
NuLo, LLC
21-263_03-IR

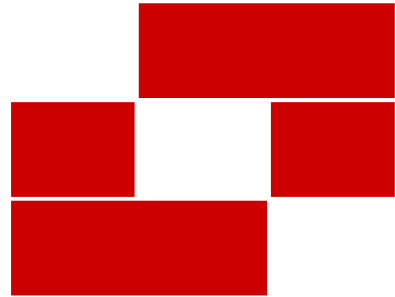
NEW
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AllWangEngineering.net

Irrigation Details
New London North Commercial Development Lot 1 Site Plan
908 North Main Street (US 40)
Heber City, Utah

State of Utah
Jared R. Manscill
No. 7745428-5300
12/02/2023
Licensed Landscape Architect

811
Know what's below.
Call before you dig.

18 July, 2025
SHEET NO.
L2.2



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babcockdesign.com

Consultant

WPI ENTERPRISES

WPI HEBER RETAIL
BLDG A

project address



Revisions

| Num. | Description | Date |
|------|-------------|----------|
| 1 | ASI 01 | 04/19/24 |
| 2 | ASI 02 | 12/05/25 |

Project Number | 22050
Original Issue | 03-06-2025
Project Status | PERMIT SET

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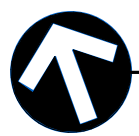
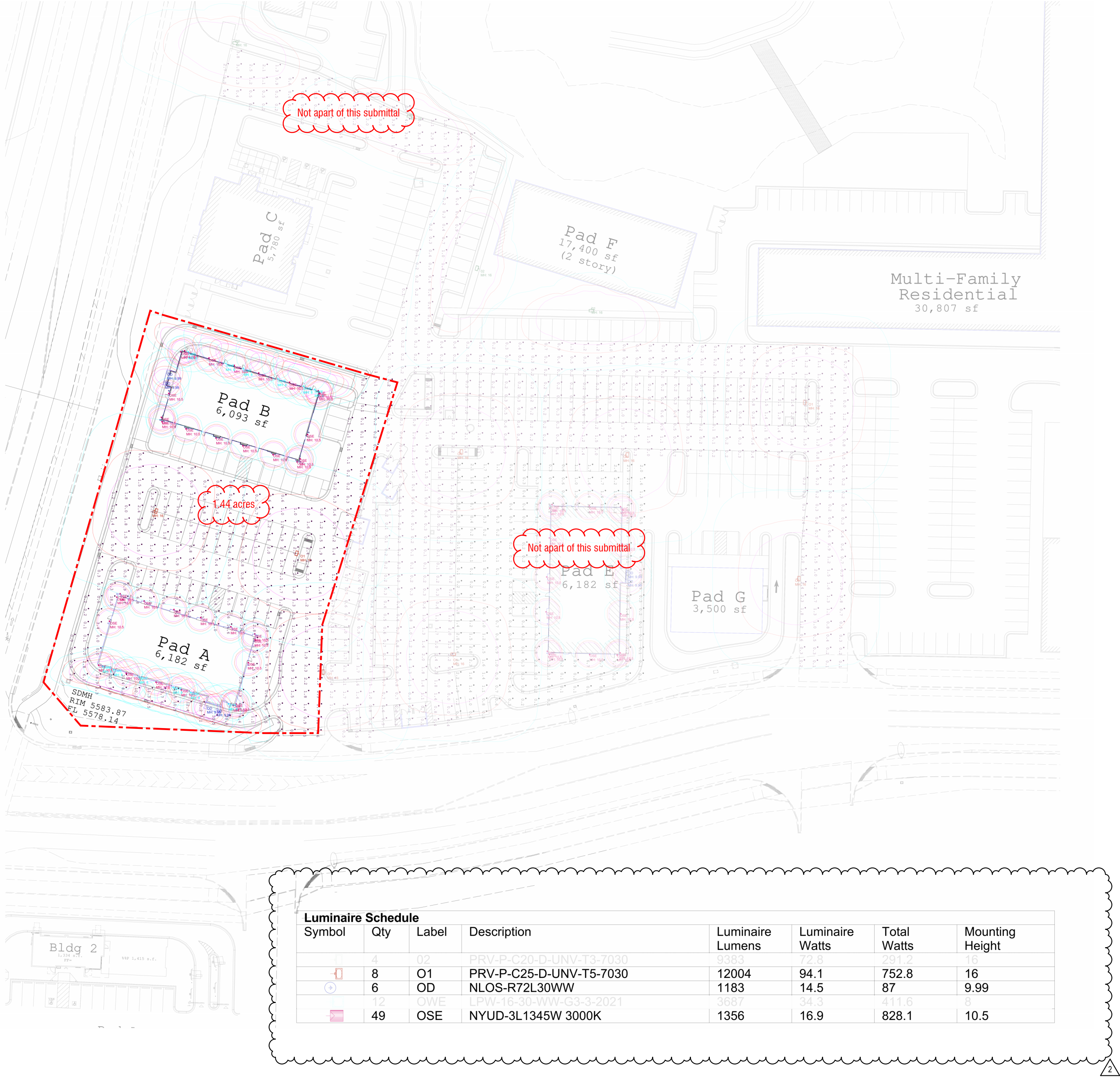
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Sheet Title

PHOTOMETRICS -
AREA A&B

Sheet Number

E103A



SITE PHOTOMETRIC - BLDG A&B

SCALE = 1" = 40'-0"



MEMORANDUM

DATE: 12/04/25

TO: David Plastow

FROM: Robert Kaldahl

PROJECT NO. 24030

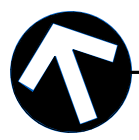
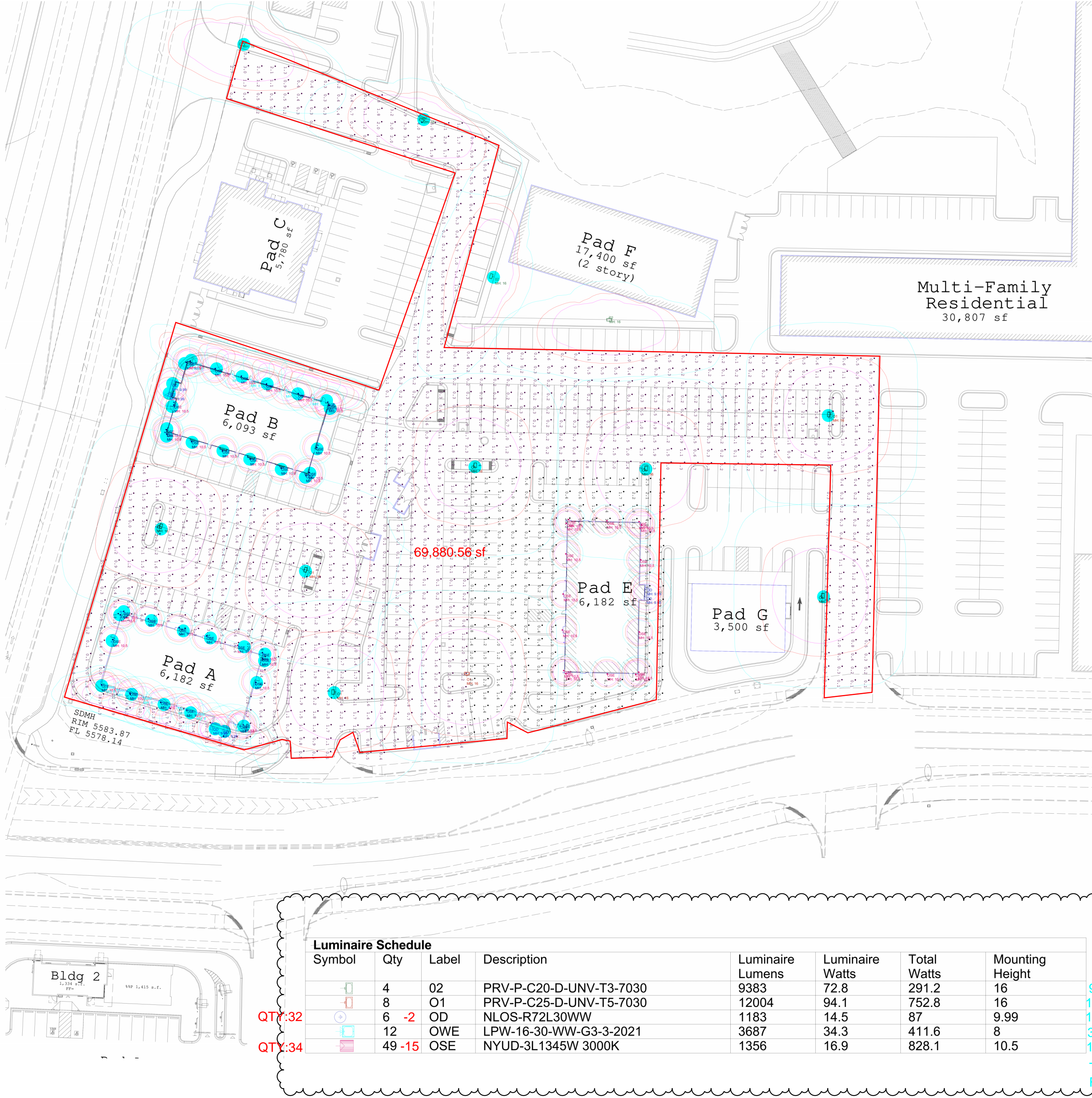
PROJECT: Heber Retail BLDG A

RE: ASI - 02

Sheet E103A

- Added Luminaire Schedule to sheet to accommodate city comments.
- Please note all fixtures specified in project are black and poles specified are fluted.

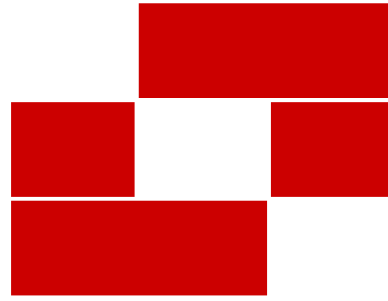
OSE



SITE PHOTOMETRIC - BLDG A&B
SCALE = 1" = 40'-0"

AUBREY - LANDMARK DESIGN -
AubreyI@idi-ut.com Landmark Design 801-474-3300

SHEET KEYNOTES



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Consultant

WPI ENTERPRISES

WPI HEBER RETAIL
BLDG A

project address



Revisions

| Num. | Description | Date |
|------|-------------|----------|
| 1 | ASI 01 | 04/19/24 |
| 2 | ASI 02 | 12/05/25 |

Project Number | 22050
Original Issue | 03-06-2025
Project Status | PERMIT SET

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Sheet Title

PHOTOMETRICS -
AREA A&B

Sheet Number

E103A



PLANNING COMISSION

New London Commercial North Development Lot 1, Pad A

Site Plan and Conditional Use Permit

Project Details

Location: 908 North US-40

Description: New London Commercial Development Lot 1, Pad A is a Commercial Site Plan and Conditional Use Permit application for an approximate 6,000 square-foot commercial multi-tenant building. Included with this Site Plan is off-site utility and parking lot drive aisle improvements that will be utilized by future phases to ensure good circulation.

The application is before the Planning Commission because a **Commercial Complex** (*defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application*) requires Planning Commission review. Lot 1, Pad A is a multi-tenant building.

General Plan Designation: SB Scenic Buffer

Zoning: Mixed-Use Residential Commercial

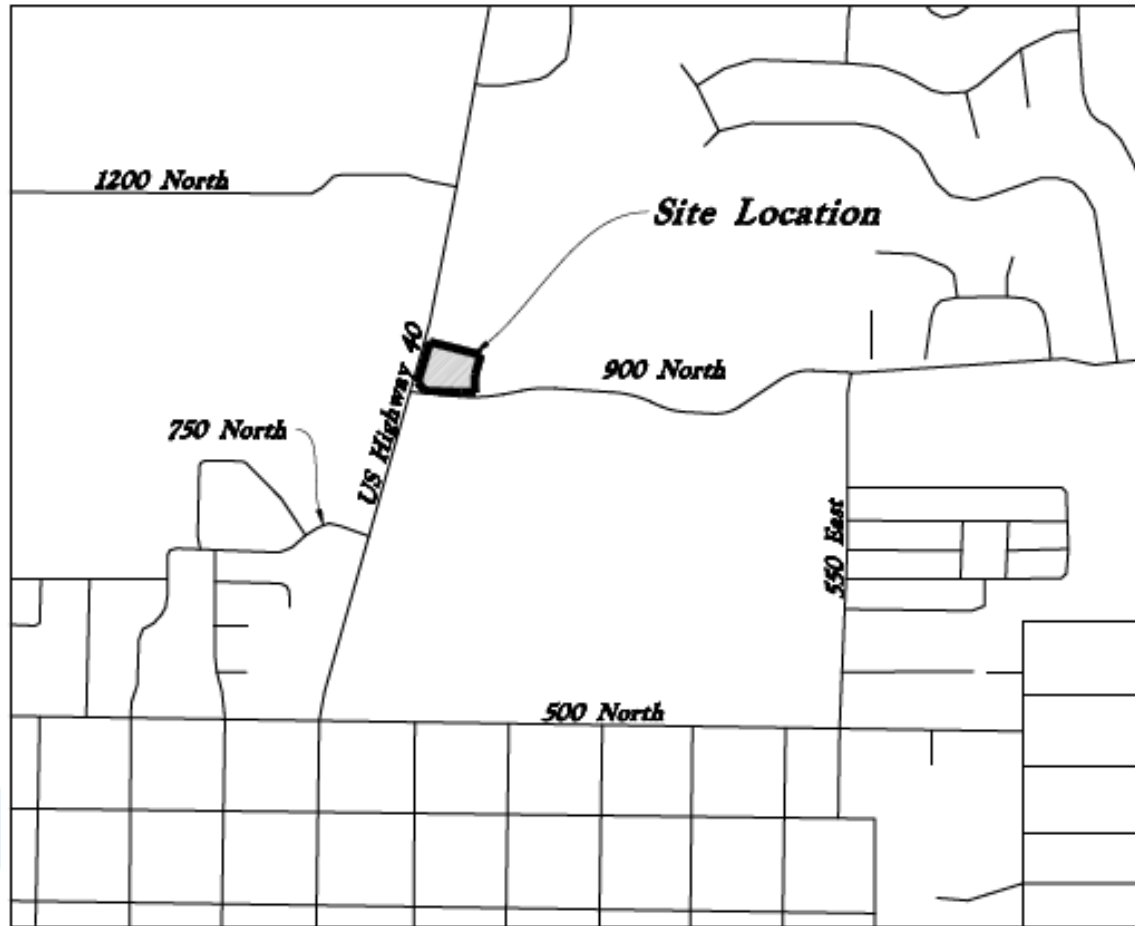
Acres: 1.01 acres

Lots: 1

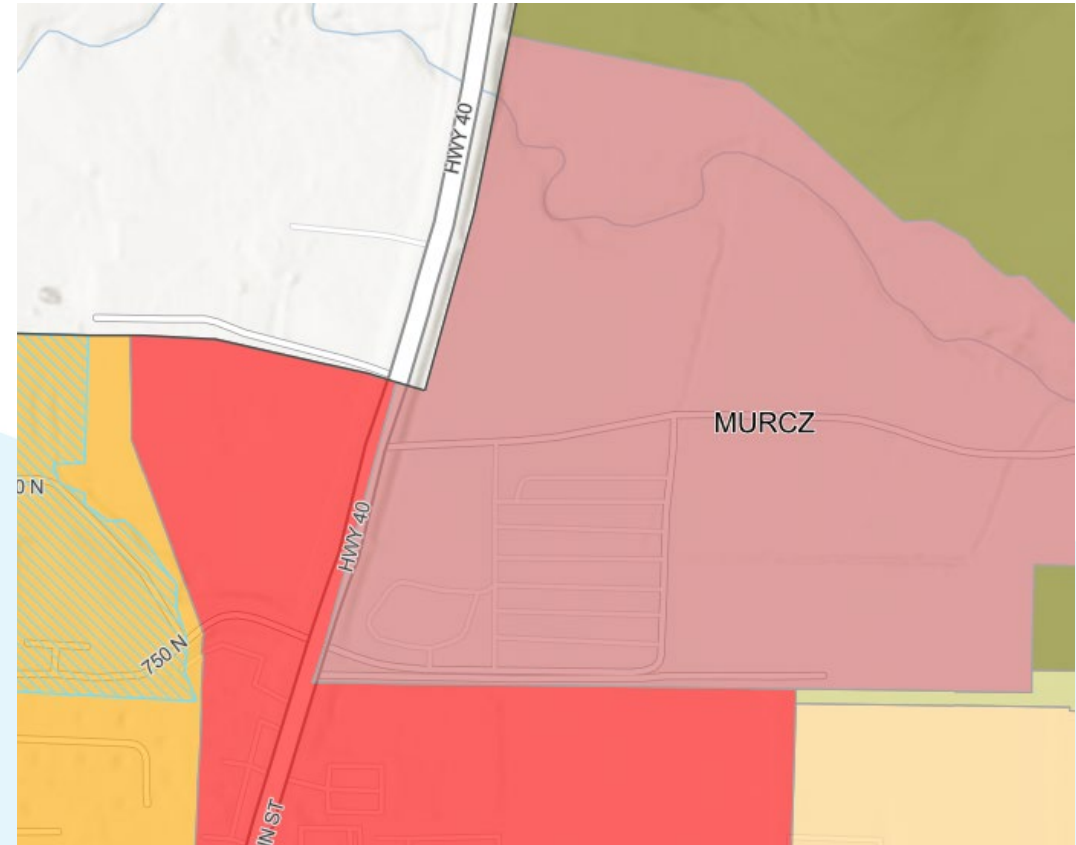
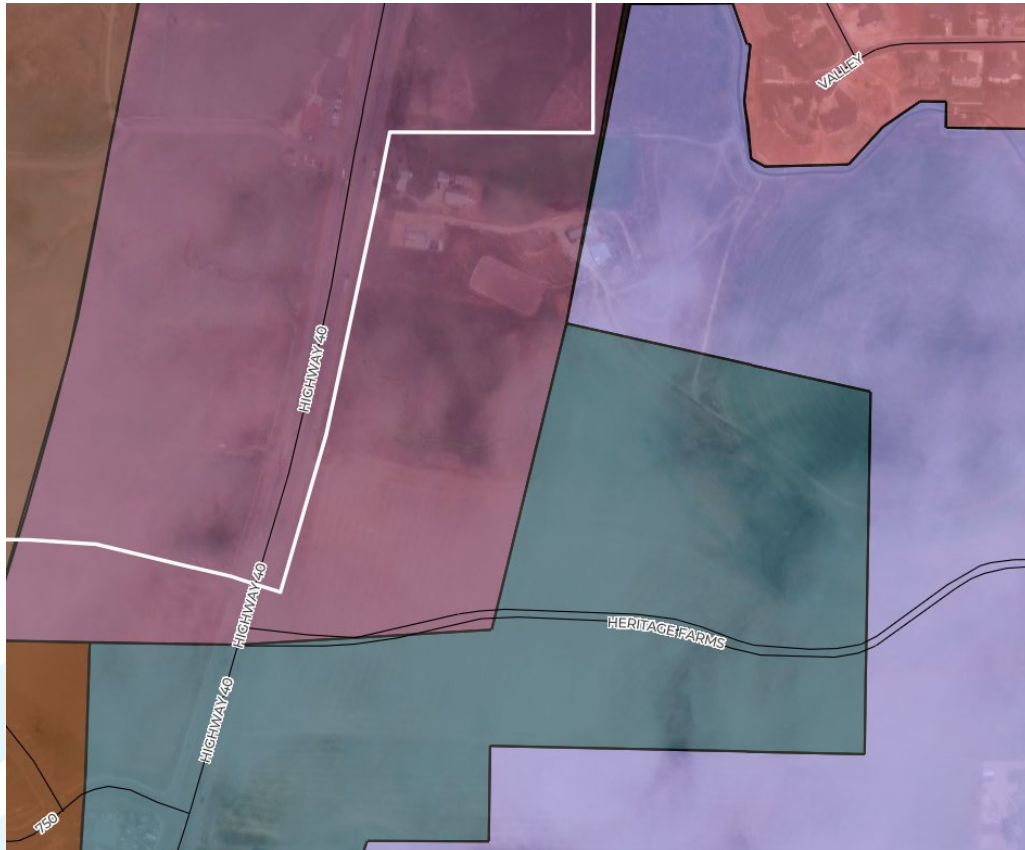
Adjacent Uses:

- North: Vacant/Developing
- South: Commercial/Smiths
- East: Vacant/Developing
- West: Hwy 40

Vicinity Map/Context



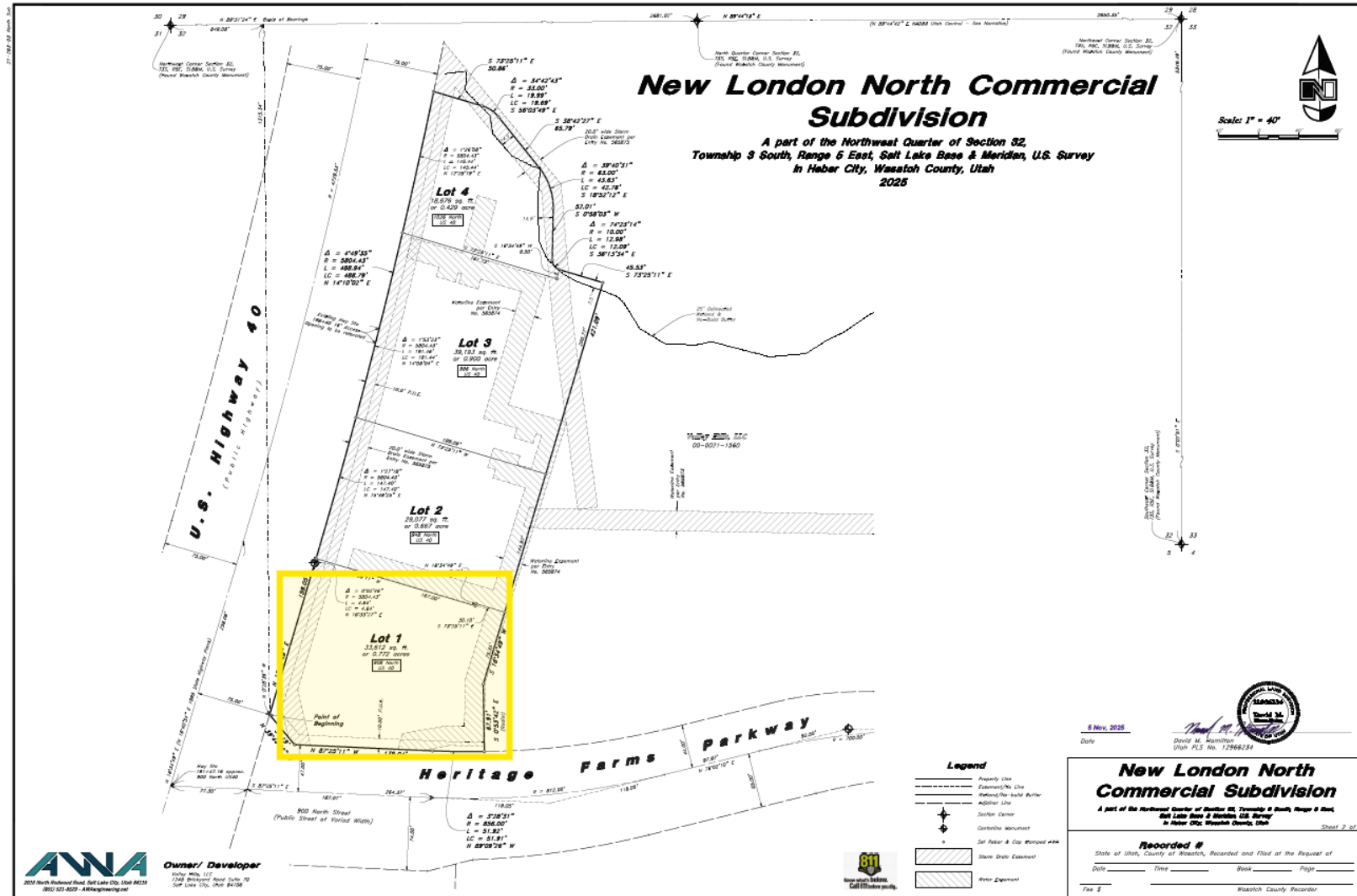
General Plan & Zoning Map



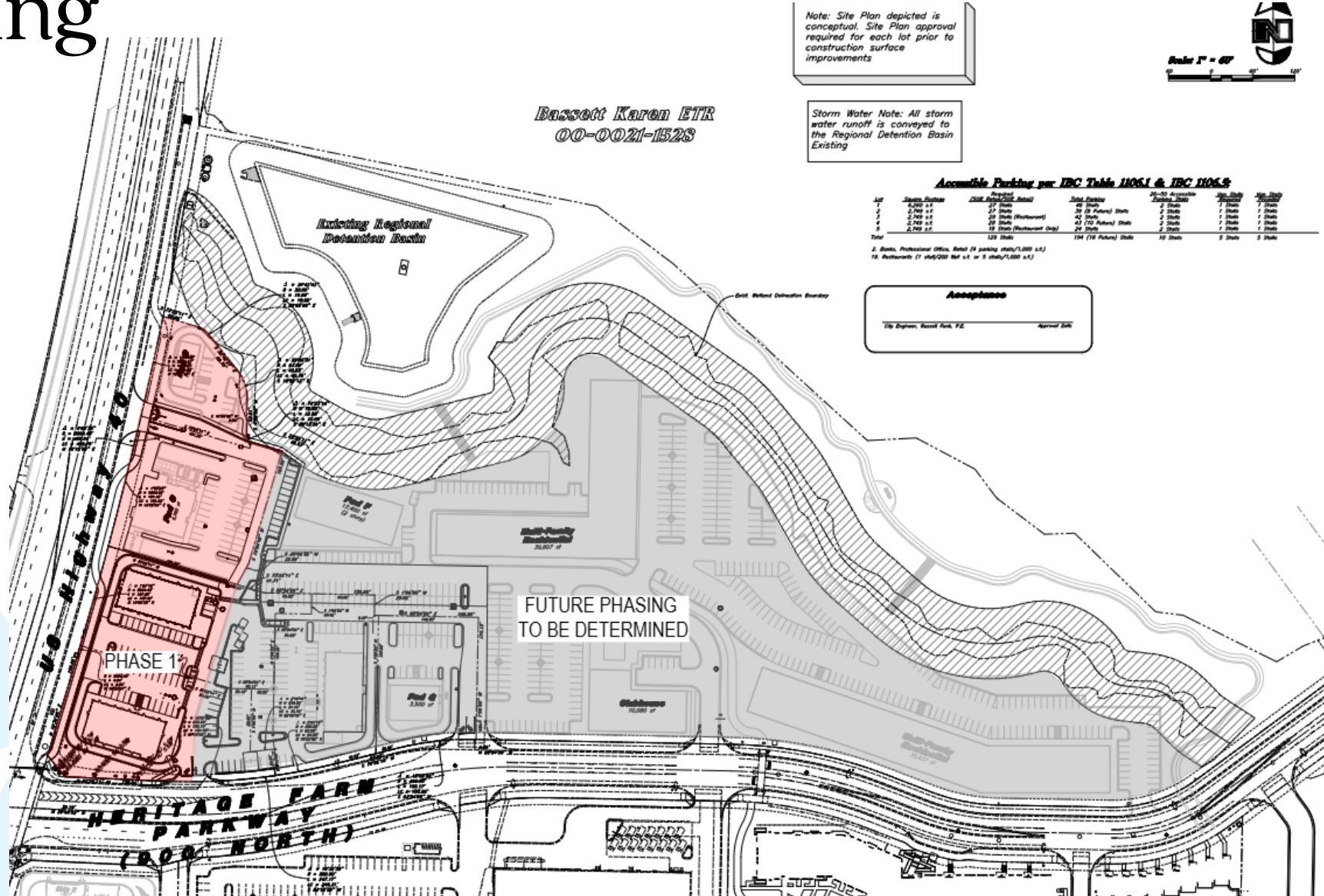
Background:

- Lot 1, Pad A is part of the New London North Commercial Subdivision - a four-lot mixed-use development in the Mixed-Use Residential Commercial Zone (MURCZ).
- The lot is a corner site includes a proposed 5,584-square-foot multi-tenant building with shared parking and circulation between Lots 1 and 2.
- Engineering review required clarifications and revisions on:
 - Site boundaries and legal descriptions
 - Easements and utility connections
 - Circulation and drainage concerns
 - Consistency of plan details across all sheets
- Wasatch Fire review required adjustments to hydrant placement and a secondary access connection.
- Planning review focused on landscaping, site furnishings, trash enclosure details, and lighting, including the photometric plan, fixture schedule, and use of black fluted poles per city standards.
- After multiple rounds of revision, the site plan generally meets requirements for approval, subject to findings and conditions.

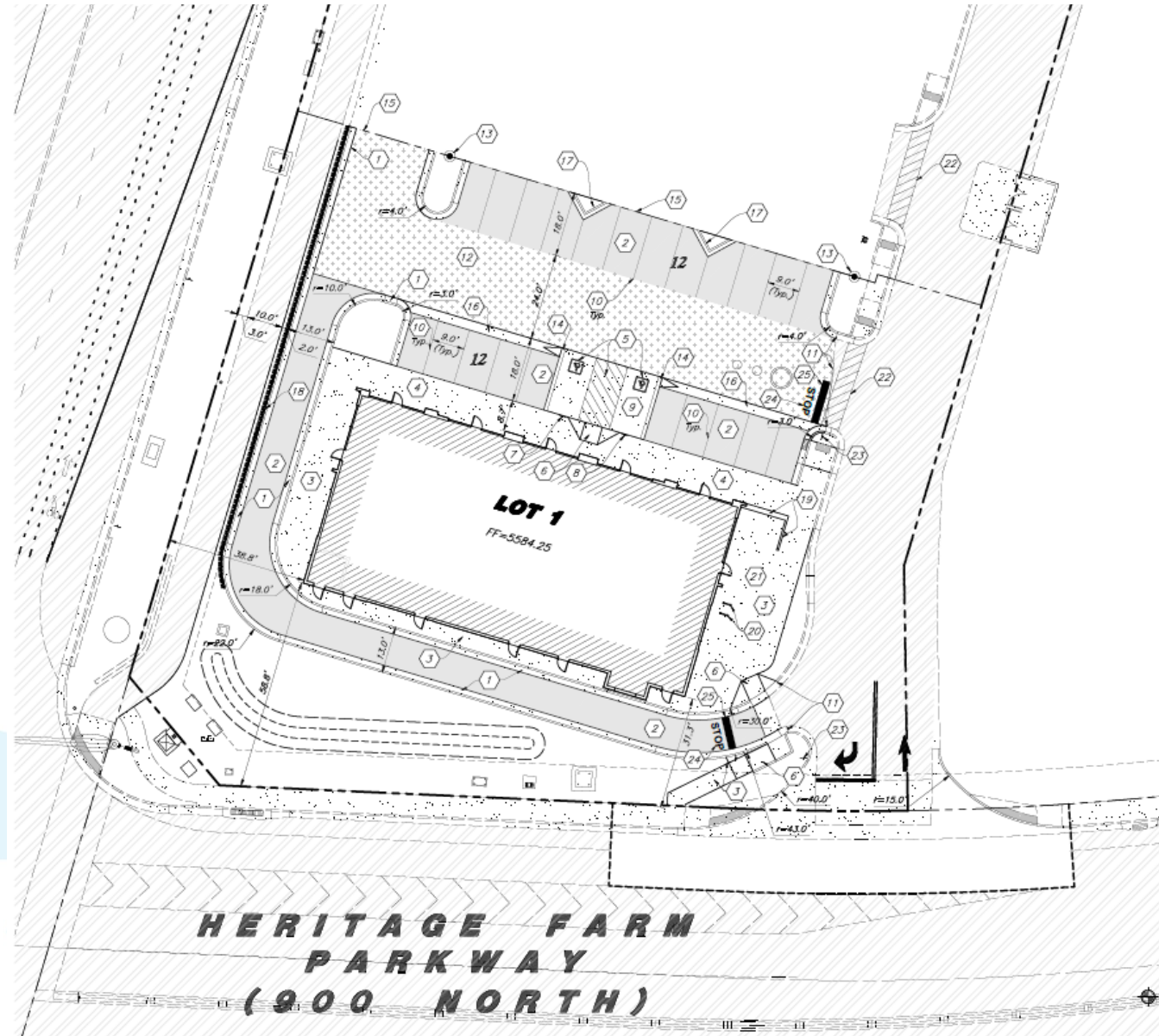
New London North Commercial Subdivision



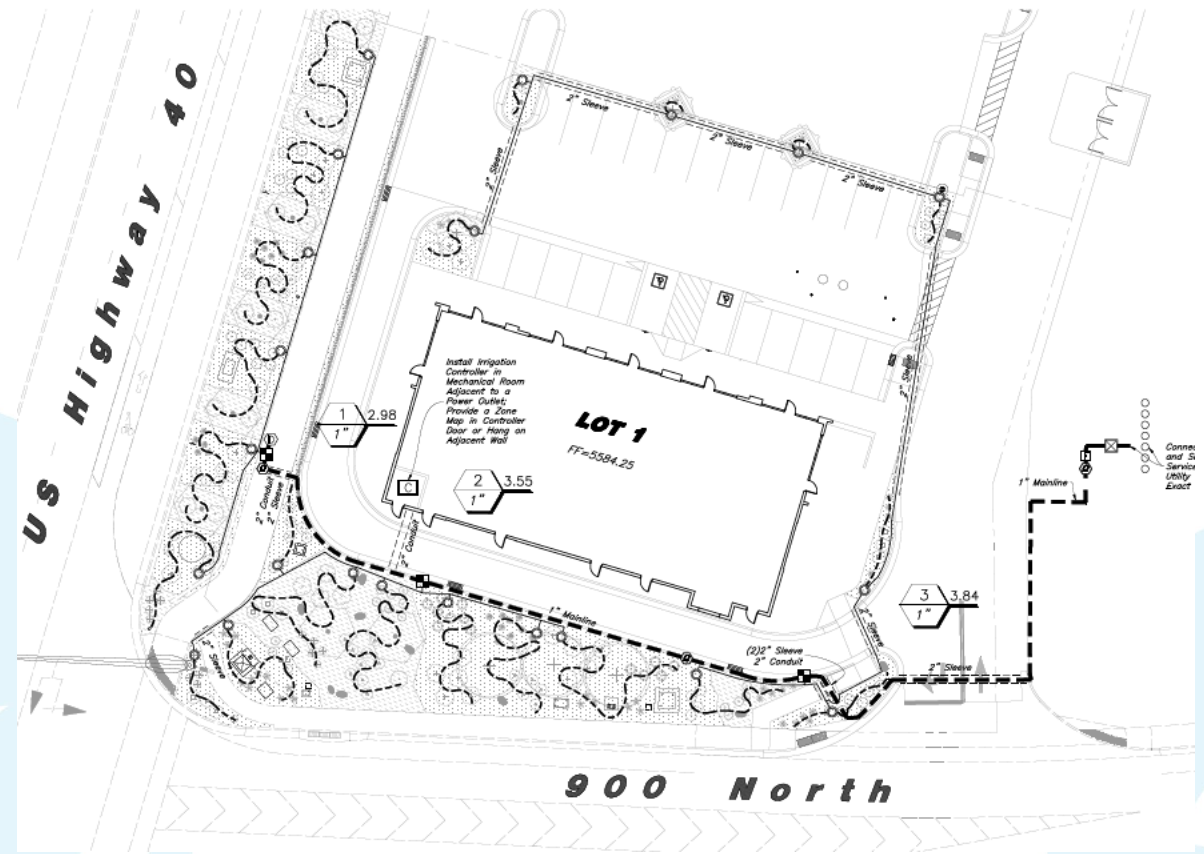
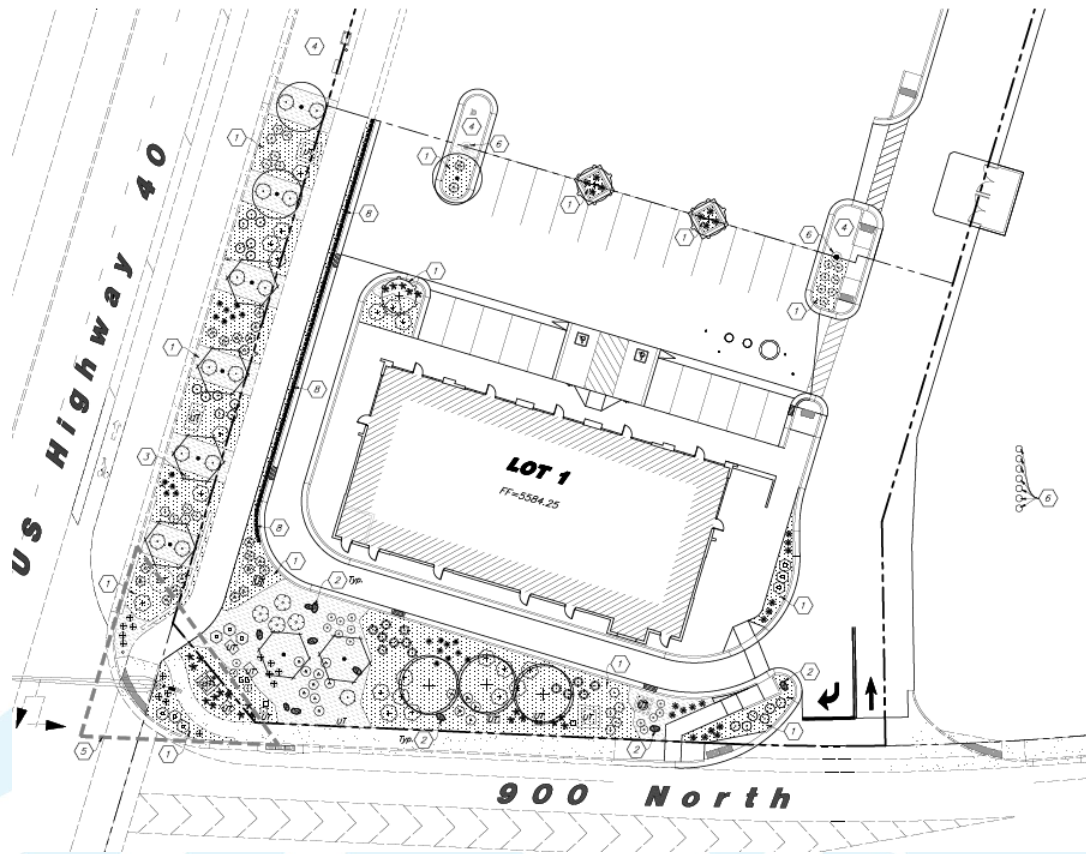
Phasing



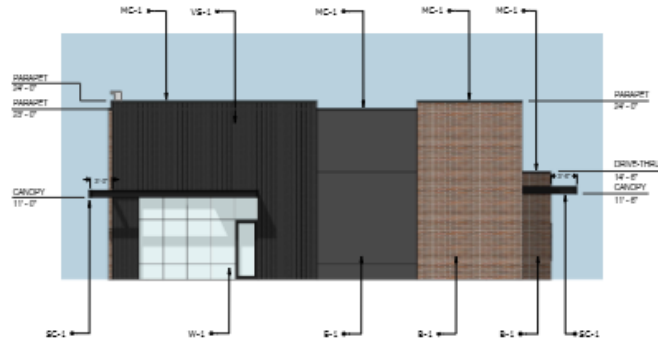
Site Plan



Landscaping & Irrigation

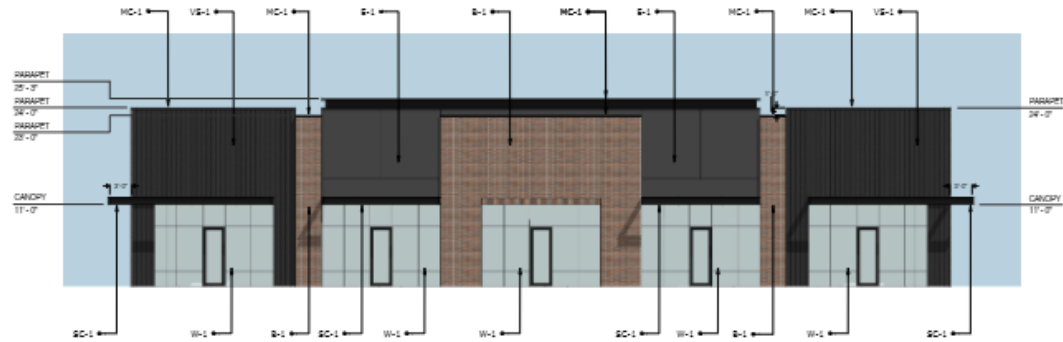


Elevations



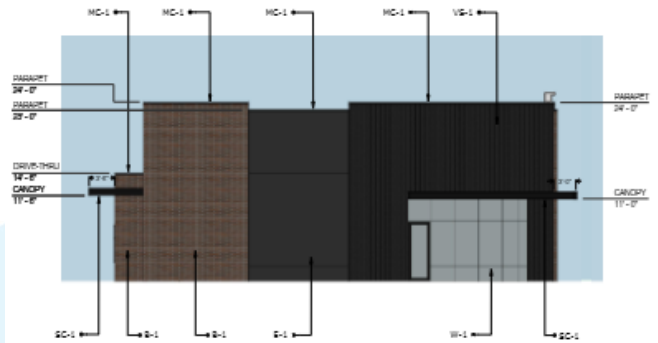
RIGHT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 397 SF (25%) |
| B-1: | 799 SF (37%) |
| VS-1: | 458 SF |
| MC-1: | 22 SF |
| SC-1: | 29 SF |
| WALL TOTAL: | 1,214 SF |
| GLAZING: | 178 SF |



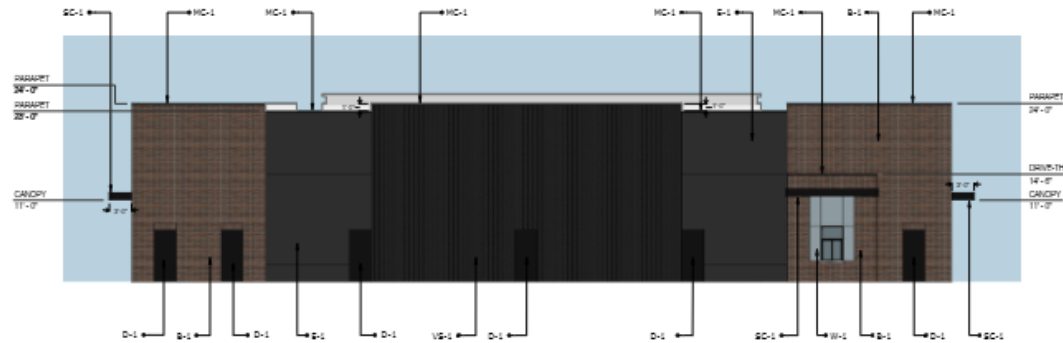
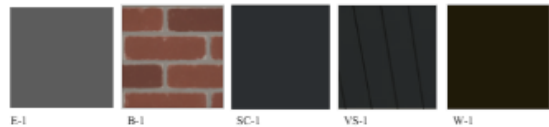
FRONT ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 397 SF (22%) |
| B-1: | 844 SF (37%) |
| VS-1: | 458 SF |
| MC-1: | 106 SF |
| SC-1: | 76 SF |
| WALL TOTAL: | 1,830 SF |
| GLAZING: | 830 SF |



LEFT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 397 SF (25%) |
| B-1: | 799 SF (37%) |
| VS-1: | 458 SF |
| MC-1: | 22 SF |
| SC-1: | 29 SF |
| WALL TOTAL: | 1,214 SF |
| GLAZING: | 178 SF |



BACK ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 685 SF (25%) |
| B-1: | 826 SF (34%) |
| VS-1: | 973 SF |
| MC-1: | 30 SF |
| SC-1: | 18 SF |
| WALL TOTAL: | 2,450 SF |
| GLAZING: | 52 SF |
| D-1: | 126 SF |

FINISH SCHEDULE

- E-1: EIFS - DRYVIT, 152 ANTHRACITE COAL
- B-1: THIN BRICK VENEER - SUMMIT BRICK, LODG. (MORTAR: DAVIS COLORS 860 DARK GRAY)
- VS-1: PAINTED FIBER CEMENT SIDING - JAMES HARDIE, ARTISAN SIDING, SHIPLAP, SW 6993 BLACK OF NIGHT
- MC-1: PREFINISHED METAL CAP FLASHING - CMG METALS, EXTRA DARK BRONZE
- SC-1: PAINTED STEEL CANOPY - SW 6993 BLACK OF NIGHT
- D-1: PAINTED HOLLOW METAL DOOR & FRAME - SW 6993 BLACK OF NIGHT
- W-1: ALUMINUM STOREFRONT SYSTEM - EXTRA DARK BRONZE

OR SIMILAR EXTERIOR FINISH PRODUCT

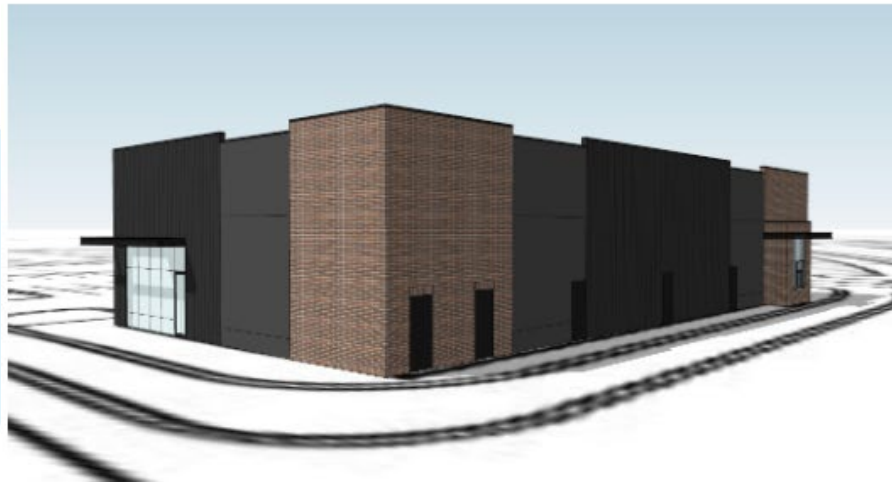
Elevations



SOUTHEAST ELEVATION



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



NORTHWEST ELEVATION

Photometric



Site Lumens



Staff Recommendation

Staff recommends that the **New London North Commercial Development Lot 1 Pad A Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

Findings

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

Conditions

1. All requirements of the City Engineer shall be met including:
 - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
 - Water Rights will be required for landscaping and indoor use as part of the building permit process.
 - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

Discussion



Planning Commission Staff Report

MEETING DATE: 2/10/2026

SUBJECT: Site Plan and Conditional Use Permit approval for New London North Commercial Development Pad B, located at 948 North US-40 (planner Aubrey Larsen/Engineer Ross Hansen)

RESPONSIBLE: Aubrey Larsen

DEPARTMENT: Planning

STRATEGIC RELEVANCE: Community Development

SUMMARY

The City has received a request for Site Plan and Conditional Use Permit approval for New London North Commercial Development Pad B. The application is before the Planning Commission because a Commercial Complex (defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application) requires Planning Commission review. Lot 2, Pad B includes an approximate 6,000 square-foot multi-tenant building.

RECOMMENDATION

Staff recommends that the Planning Commission approve the New London North Commercial Development Pad B Site Plan and Conditional Use Permit subject to findings and conditions.

BACKGROUND

Pad B, located at 948 North US-40, is part of the larger New London North Commercial Subdivision - a proposed four-lot mixed-use development within the Mixed-Use Residential Commercial Zone (MURCZ). Lot 2, Pad B is directly north of Lot 1, sharing parking and circulation, and includes a 5,820-square-foot multi-tenant commercial building. Several engineering-related issues required clarification and revision, including correcting the site plan title and legal description, coordinating the plans with the approved subdivision plat, clarifying the Lot 2 pad labeling and square footage, and ensuring utilities are shown in compliance with Heber City Standard Drawings. Wasatch Fire review addressed hydrant placement and access between Lots 1 and 2, and planning review focused on landscaping, site furnishings, trash enclosure details, and lighting - including the photometric plan, fixture schedule, and use of black fluted poles to meet City standards. After several rounds of revisions, the New London North Commercial Development Pad B meets Site Plan approval requirements, subject to the findings and conditions.

DISCUSSION

As a conditional use, the Planning Commission may consider the required mitigation of impacts such as parking, traffic circulation, pedestrian access, site amenities, utilities, emergency access, and overall site design. These items have largely been evaluated throughout the review process to ensure the development meets City standards and minimizes adverse effects. Based on this review, staff recommends approval subject to the findings and conditions outlined in this report.

FISCAL IMPACT

CONCLUSION

Staff recommends that the **New London North Commercial Development Pad B Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

Findings:

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

Conditions:

1. All requirements of the City Engineer shall be met including:
 - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
 - Water Rights will be required for landscaping and indoor use as part of the building permit process.
 - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

ALTERNATIVES

Staff Recommended Option - Approval

I move to **approve the item** as presented, with the findings and conditions as presented in the conclusion above.

Alternative 2 - Continuance

I move to **continue the item** to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

Alternative 3 - DENIAL

I move to **deny the item** with the following findings.

POTENTIAL MOTIONS

ACCOUNTABILITY

Department: Planning
Staff member: Aubrey Larsen , Planning Consultant

EXHIBITS

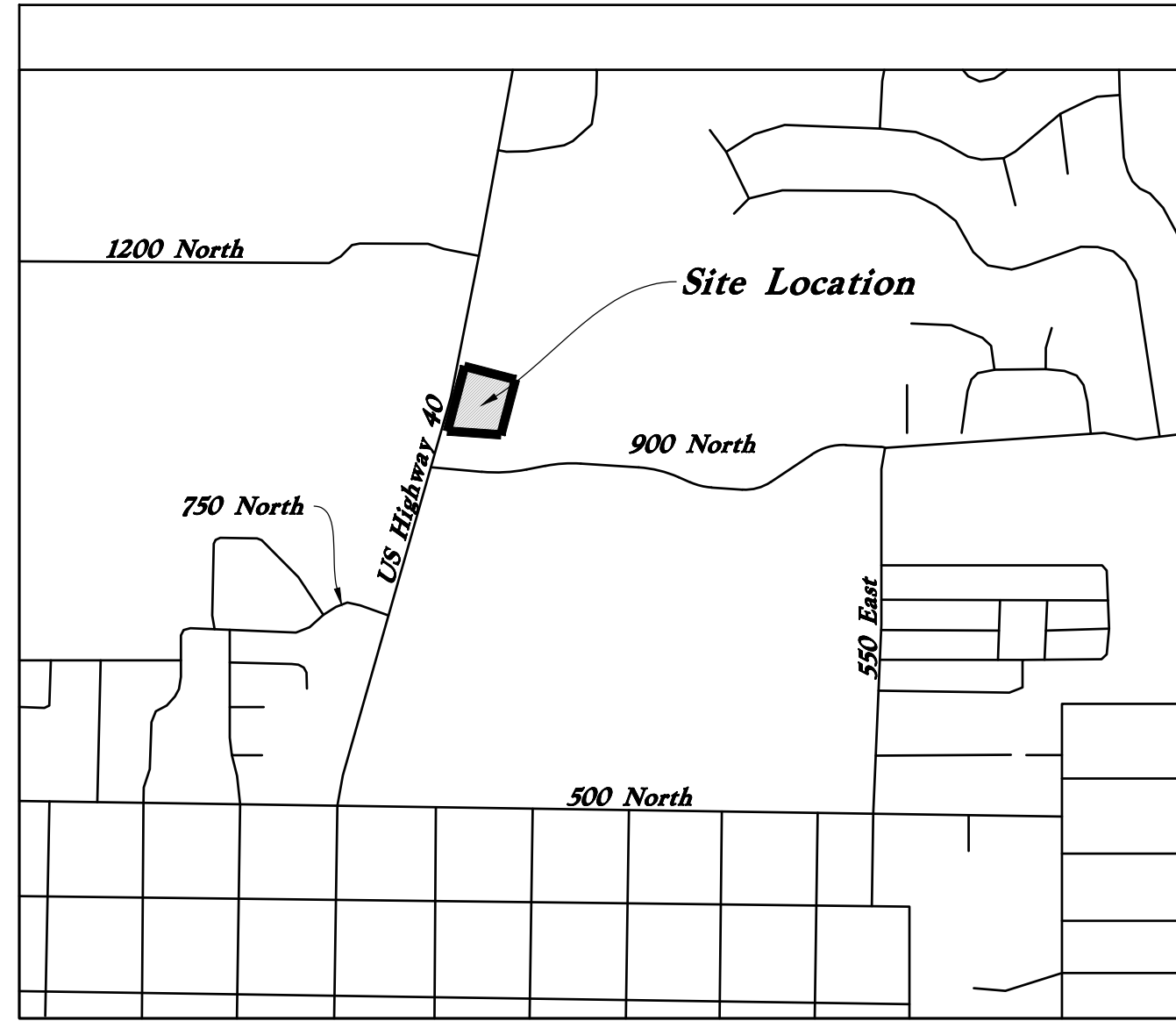
1. New London Lot 2 Combined Civil
2. WPI Heber Pad B - Elev Calcs v4
3. New London Lot 2 Pad B - PC 02102026

New London North Commercial Development Lot 2 Site Plan

948 North Main Street (US 40)

Heber City, Utah

Reference Most Current City Standards
<https://www.heberut.gov/159/Standard-Specifications>
Contractor to Download



Civil Sheet Index

C0.0
1
2
C0.1
C1.1
C2.1
C2.2
C3.1
C4.1
C4.2
C4.3
C5.1
C5.2
C5.3
L1.1
L2.1
L2.2

Cover Sheet
Subdivision Plat
Subdivision Plat
Demolition Plan
Site Plan
Grading Plan
Accessible Grading Details and Notes
Utility Plan
Details
Details
Erosion Control Plan - Phase 1
Erosion Control Plan - Phase 2
Erosion Control Details
Landscape Plan
Irrigation Plan
Irrigation Details

Abbreviations

| | | | |
|------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Ballard | PT | Point of Tangency |
| BRW | Finish Grade - Bottom of Retaining Wall | PVC | Polyvinyl Chloride |
| CATV | Cable Television Box | PVI | Point of Vertical Intersection |
| CB | Catch Basin | RCP | Reinforced Concrete Pipe |
| CMP | Corrugated Metal Pipe | RD | Roof Drain |
| COB | Cleanout Box | SB | Signal Box |
| COTG | Cleanout to Grade | SD | Storm Drain |
| EA | Edge of Asphalt | SDMH | Storm Drain Manhole |
| EB | Electrical Box | SMH | Sewer Manhole |
| EC | End of Curve | SP | Signal Pole |
| ECR | End Curb Return | SS | Sanitary Sewer |
| FF | Finished Floor | SVZ | Sight Visibility Zone |
| g | Ground | SW | Secondary Water |
| GB | Grade Break | TA | Top of Asphalt |
| GM | Gas Meter | TB | Telephone Box |
| HB | Hose Bib | TBC | Top Back of Curb |
| HP | High Point | TG | Top of Grate |
| I | Irrigation Line | TMH | Telephone Manhole |
| ICB | Irrigation Control Box | TP | Top of Concrete |
| Lip | Lip of Gutter | TRW | Finish Grade - Top of Retaining Wall |
| LP | Light Pole | TW | Top of Walk |
| MH | Manhole | VC | Vertical Curve |
| Mon | Monument | VPC | Vertical Point of Curve |
| PC | Point of Curvature | VPT | Vertical Point of Tangency |
| PCC | Point of Compound Curvature | WL | Waterline |
| PI | Point of Intersection | WP | Working Point |
| PM | Power Meter | WV | Water Valve |

Legend

| | | |
|-------------------------------|------------------------------|--------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Asphalt |
| Proposed Open Face C & G | Existing Concrete | Existing Inlet Box |
| Proposed Asphalt | Existing Catch Basin | Existing Manhole |
| Proposed Concrete | Existing Fire Hydrant | Existing Water Valve |
| Proposed Truncated Domes | Existing Overhead Power Line | Existing Water |
| Proposed Inlet Box | Existing Water | Existing Secondary Water |
| Proposed Catch Basin | Existing Sewer | Existing Storm Drain |
| Proposed Manhole | Existing Gas | Existing Power |
| Proposed Transformer | Existing Telephone | Existing Fence |
| Proposed Meter Box | Flowline | Centerline |
| Proposed Water Meter | Existing Contour | Existing Spot |
| Proposed Combo Box | Existing Light Pole | Existing Street Light |
| Proposed Fire Hydrant | Existing Building | Existing Telephone Box |
| Proposed Water Valve | Existing Power Meter | Existing Electrical Box |
| Proposed Water Line | Existing Electrical Cabinet | Existing Gas Meter |
| Proposed Sanitary Sewer | Existing Gas Meter | Existing Water Meter |
| Proposed Storm Drain | Existing Irrig. Control Box | Existing Ballard |
| Proposed Conduit Line | Existing Hose Bib | Working Point |
| Proposed Power Line | Existing Deciduous Tree | Existing Coniferous Tree |
| Proposed Gas Line | Detail Number | Sheet Number |
| Proposed Fire Line | | |
| Proposed Secondary Water Line | | |
| Proposed Roof Drain | | |
| Proposed Fence | | |
| Ridge line | | |
| Grade Break | | |
| Proposed Contour | | |
| Direction of Drainage | | |
| Proposed Spot | | |
| ADA Accessible Route | | |
| Property Line | | |
| Sawcut Line | | |
| Proposed Light Pole | | |
| Proposed Street Light | | |
| Proposed Building | | |
| Existing Power Pole | | |
| Existing Power Pole w/ Guy | | |
| Existing Utility Marker | | |
| Existing Post | | |

Civil Note to Contractor

The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

Heber City Standard Construction Notes

A. TYPICAL

- Contractor assumes all responsibility for job site conditions during construction of this project, including the safety and well-being of all persons and property. This responsibility shall apply continuously and not be limited to normal working hours.
- Contractor shall obtain all applicable permits and/or written agreements necessary to complete the work.
- City owned water valves may be operated only by City staff. Opening, closing or tampering with a City water valve without permission of the City public works department is a Class B misdemeanor punishable by up to six months in jail and a \$1,000 fine.
- Contractor shall schedule a pre-construction meeting with the City's Engineering Department at least 5 business days prior to the start of construction. Contractor must attend and bring one set of the Acknowledged construction drawings and a copy of the HCSS 00700-5 September 2023 current Heber City Standard Specifications and Drawings Manual (available at heberut.gov).
- Contractor shall have in possession and on-site at all times one copy of the current acknowledged construction plans stamped, signed, and dated by the Engineer of Record, the Applicant, and the City.
- Developer's Engineers (Civil and Geotechnical) shall perform sufficient inspections and surveys during grading and construction to render an opinion in writing as to adherence to the accepted plans and compliance with Heber City Standard Specifications and Drawings Manual.
- Any work done in the absence of an inspector's approval shall be subject to rejection. All underground GPS data must be collected by a City representative prior to backfill. Inspectors may request the contractor to expose work that has been backfilled without prior inspection or collection of GPS data. All such rework shall be completed at the Developer's or Owner's expense.
- Survey monuments must be installed in accordance with the current Heber City and Wasatch County Surveyor's Office requirements.
- All disturbed property survey markers shall be reset in their original locations upon completion of all construction activities.
- Contractor shall provide all traffic control which must conform to the current MUTCD. Provide site-specific Traffic Control Plans [prepared by an American Traffic Safety Services Association (ATSSA) or AGC-Certified Individual] prior to installation of any traffic control device. Traffic Control Plans must be Accepted by the City prior to implementation and before any shoulder, lane, or street closure.

B. TRENCHES AND UTILITIES

- Trenches shall be completed and restored per City Standard Drawing UTIL-1.
- Pothole existing utilities in accordance with City Standard Drawing UTIL-5.
- Contractor is responsible to locate, avoid, protect, and repair all utilities encountered during construction, whether or not they are shown on the plans. Locations of underground utilities shown on plans are approximate and require field verification by Contractor.
- All trenches within public right-of-way must be backfilled or securely plated during nonworking hours. Trenches outside these areas shall be back-filled or protected by approved temporary fencing and/or barricades during non-working hours. Trenches in the roadway must be backfilled, compacted, and paved within 48 hours of road-cut. Point striping shall be replaced in accordance to City Standards within 48-hours of restoration of pavement.

C. ROADWAY CONSTRUCTION AND RESTORATION

- Subgrade must be approved prior to construction of untreated base course and pavement sections. Subgrade approval requires that a proof-roll be completed and verified by a City inspector, and that all utilities be installed, inspected with connections to main lines completed, and accepted by the City.
- Asphalt patching to roads between October 15 and April 15 will be considered temporary only, and must be replaced according to City Standards and Specifications between the following April 15 and July 1.
- Material Submittals are required for all items placed within the City right-of-way. All submittals must be dated within 90 days of the Construction Start Date (unless specified otherwise) and be submitted prior to the start of construction activities.
- Moratorium Standard (New, Reconstructed, and Overlay Streets): No cuts permitted for two (2) years from the time of construction/reconstruction/overlay) HCSS 00700-6 September 2023
- Special Restoration Standard: This standard applies to new, reconstructed, overlay, and chip/surry-sealed streets:
 - New, Reconstructed, and Overlay Streets (for 5 years after end of moratorium): The asphalt surface shall be milled a minimum depth of two (2) inches, and fifteen (15) feet each way from the edge of the cut. Milling shall be done in widths equivalent to existing striped traffic lanes. The City Engineer reserves the right to require additional area and/or depth if deemed appropriate to restore roadway to original condition. Approved fabric is required when existing pavement included a fabric prior to the permitted cut.
 - Chip/Surry-Sealed Streets (for one year after chip/surry application): The asphalt surface shall be re-chipped/surried a minimum of fifteen (15) feet each way from the edge of the cut, in widths equivalent to existing striped traffic lanes.
- Roads shall be opened for traffic during peak hours. Lane closures may only be in effect from 9am-2pm, and 7pm-7am when night work is approved. Contractors shall accommodate all special school or local government schedules and events. Point striping shall be replaced in accordance with City Standards within 48-hours of restoration of pavement.
- All road closures must be approved by the City Engineer. All requests for road closures shall be made in writing and include a site-specific Traffic Control Plan for the proposed closure. When approved, closures of Collector Streets will require a 2-week advance notice to the public informing them of the upcoming closure. The notice shall be provided using on-site Variable Message Sign (VMS) boards indicating the anticipated start date and duration of the closure. VMS boards shall remain on site for the full two week advance-notice period. If the duration of the closure is extended beyond the approved period, the extension shall be coordinated with the City Engineer and shall require additional VMS board notification to the public.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Walsh & Associates, The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Acceptance

City Engineer, Russell Funk, P.E.

Approval Date

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Basis of Bearings

Northwest Corner Section 32, T3S, R5E, SLB & M. U.S. Survey
A Line with N82°31'24" E VRS Basis of Bearings

Benchmark

Brass Cap Monument for the Northwest Corner of Section 32, T3S, R5E, SLB&M
Assigned elevation = 5565.64 feet
Observed November 30, 2020

Legal Description

All of Lot 2 of the New London North Commercial Subdivision as recorded in the office of the Wasatch County Recorder's Office.

Engineer-of-Record Acknowledgement

AS the Engineer-of-Record, I hereby Acknowledge Construction drawings and supporting information ("Plans") comply with the Heber City Code and Standard Specifications and Drawings ("Standards"). I understand and agree that:

- The City's Acknowledgment of these plans shall not be construed to be a permit for, or an approval of, any variance from any of the provisions of the Standards, unless a separate written approval authorizing a specific deviation has been provided by the City Engineer.
- The City's Acknowledgment of these Plans, or feedback from the City on whether the Plans meet the Standards, shall not prevent the City from requiring the correction of errors in the Plans at any time, including after construction of improvements.
- The City's Acknowledgment of these Plans does not constitute a permit from the Federal or State Government or permission to deviate from Federal or State Laws or Regulations.
- The City's Acknowledgment of these Plans does not grant permission to work on the properties of others.

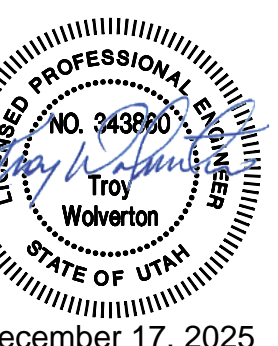
Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com



Cover Sheet
New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah



21 Apr, 2025

SHEET NO.

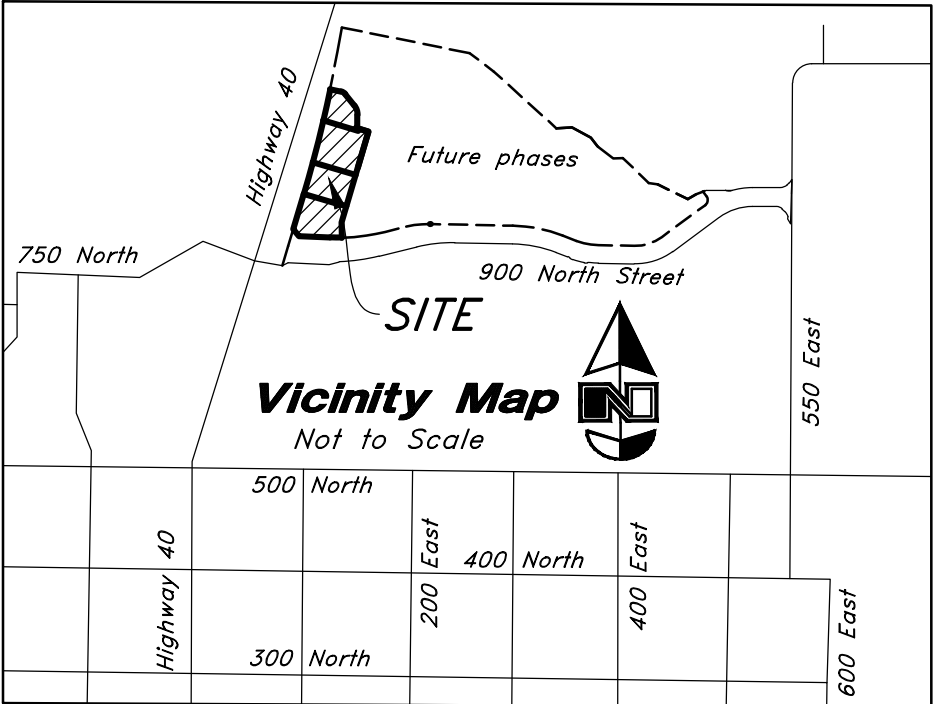
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New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32,
Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey
in Heber City, Wasatch County, Utah
2025

Notes

- Final plats not recorded within one (1) year from the Date Receiving final approval shall be null and void unless physical construction has started or an extension has been requested and granted prior to the original plat expiration date. In cases where construction has not started, applicants may request and be granted a one (1) year extension. However, if an extension is granted, the requirement to incorporate updated city standards, or reevaluate bonds or other assurances may be enforced as a condition of approval for the extension.
- This plat may be subject to a development agreement that specifies the conditions of developing, building, and using the property within this plat. See city recorder for details.
- Plat is subject to installation of improvements and bond agreement which requires the construction and warranty of improvements in this subdivision. These obligations run with the land and are binding on successors, agents, and assigns of developer. There are no third-party rights or beneficiaries under this agreement.
- Building permits will not be issued until all required improvements have been installed per city standard and all fees including impact and connection fee are paid.
- References herein to developer or owner shall apply to both, and any such reference shall also apply to successors, agents, and assigns.
- A Geotechnical Report has been completed by GSH, (1) Report Geotechnical Study Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated September 23, 2021; (2) Addendum No 1 – Retaining Wall Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated March 24, 2022; (3) Addendum No 2 – Updated Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated November 28, 2022; (4) Addendum No 2 – Update No 2 Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated December 20, 2022; which addresses soil and groundwater conditions, provides Engineering Design criteria, and recommends mitigation measures if problematic conditions are encountered. The city assumes no liability or responsibility for any reliance on the information or lack thereof in the report.
- Agricultural uses, operations and rights are adjacent to or near the plat and lots. The lots in this plat are subject to the sights, sounds, odors, nuisances and aspects associated with agricultural operations, uses, and rights. These uses and operations may occur at all times of the day and night including weekends and holidays. The city is not responsible or liable for these uses and impacts and will not restrict any grandfathered agricultural use from continuing to occur lawfully.
- Each Lot will be required to install a water, sanitary sewer and secondary water connection
- Any public fire hydrant installed will require an easement to be granted to Heber City.
- The Lots within this Subdivision will be subject to Covenants, Conditions and Restrictions contained in a Declaration which includes but is not limited to Cross Access, Public Utility, and Drainage Easements to be recorded by a separate document simultaneously with this Plat as Entry No. _____.
- This subdivision is subject to a culinary waterline easement in favor of Heber City Corporation as shown on plat recorded by a separate instrument. Heber City has the right to access through these easements to access, maintain, and repair city culinary water utilities. No changes to topography, structures, above of below ground are permitted within the easement without written authorization from the Heber City Engineer. Obstacles erected within the easement without written permission will be removed at the property owner's expense.
- Stormwater for each lot shall be managed in conjunction with the New London Long-Term Storm Water Maintenance Agreement, dated September 3, 2025, and the stormwater plans, specifications, and engineering drawings approved by Heber City. Individual lots may include surface or subsurface stormwater facilities for the conveyance of stormwater from adjacent lots, including lots within other plats, and public roads. The stormwater facilities shall be owned and operated by the owner or the property owners association, as designated in the project CC&Rs, and each lot owner grants an easement in favor of the owner and property owners association for installation, maintenance and repair of stormwater facilities. Notwithstanding the foregoing, each lot shall remain jointly responsible for maintenance of the stormwater facilities. Owner hereby conveys to Heber City and its agents a non-exclusive perpetual easement over, on and in the property for the purpose of access to the private stormwater management system(s) for the management, inspection, maintenance and repair thereof.
- A perpetual, non-exclusive easement for vehicular and pedestrian ingress, egress, and access is hereby established over all internal private drives, access lanes, and other designated shared access areas within the subdivision. Said easement shall benefit and burden all lots within this subdivision and may be used by lot owners, tenants, customers, agents, and the general public. This easement shall run with the land and be binding on all current and future owners, successors, and assigns.



Narrative

This Subdivision was requested by Valley Hills, LLC to create 4 commercial Lots.

This Plat retraces the underlying 2021 Parcel Line Adjustment Survey by AWA recorded on October 19, 2021 as Filing No. 003722 in the Official Records of Wasatch County.

Four Wasatch County Section Corner Monuments were recovered and utilized for control. A line between monuments found for the Northwest Corner and the North Quarter Corner of Section 32 was assigned the bearing of North 89°31'24" East as the Basis of Bearings to match the 2021 Parcel Line Adjustment Survey referenced hereon. Independent measurements were taken of the North Quarter and Northeast Corners of Section 32 on a NAD83 Utah Central Zone State Plane mapping projection for the purpose of identifying a rotation to match said datum. Bearings shown hereon must be rotated 0°00'29" Clockwise in order to place the Survey on the NAD83 Utah Central Zone State Plane Datum.

The 1995 State Highway Plans were acquired and rotated 5°45" Counter Clockwise to match and honor the Highway Right-of-Way markers as recovered in place on the ground.

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Area of Minimal Flood Hazard."

Surveyor's Certificate

I, David M. Hamilton, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12966234 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify that, and on behalf of AWA that by authority of the Owners I have retraced Wasatch County Record of Survey Filing No. 0003722, being the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as New London North Commercial Subdivision.

Boundary Description

A Part of Parcel 6 of that certain Record of Survey filed as No. 3722 in the Office of the Wasatch County Surveyor, located within the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base and Meridian, U.S. Survey, in the City of Heber, Wasatch County, Utah:

Beginning at the point of intersection of the Northerly line of Heritage Farms Parkway as dedicated per that certain Heritage Farms Parkway Dedication Plat recorded as Entry No. 548347, in the Official Records of Wasatch County, and the Easterly line of U.S. Highway 40 as it is monumented on the ground at 75.00 foot half-width, located 849.08 feet North 89°31'24" East along the North line of said Section 36; and 1315.34 feet South 0°28'36" East from a Wasatch County Monument found marking the Northwest Corner of said Section 36; and running thence along said Easterly line the following two courses: North 16°34'49" East 159.05 feet to a point of curvature; and Northeasterly along the arc of a 5804.43 foot radius curve to the left a distance of 488.94 feet (Central Angle equals 4°49'35" and Long Chord bears North 14°10'02" East 488.79 feet); thence South 73°25'11" East 50.86 feet to a point of curvature; thence Southeasterly along the arc of a 33.00 foot radius curve to the right a distance of 19.99 feet (Central Angle equals 34°42'43" and Long Chord bears South 56°03'49" East 19.69 feet) to a point of tangency; thence South 38°42'27" East 65.79 feet to a point of curvature; thence Southeasterly along the arc of a 63.00 foot radius curve to the right a distance of 43.63 feet (Central Angle equals 39°40'31" and Long Chord bears South 18°52'12" East 42.76 feet) to a point of tangency; thence South 0°58'03" West 52.01 feet to a point of curvature; thence Southeasterly along the arc of a 10.00 radius curve to the left a distance of 12.98 feet (Central Angle equals 74°23'14" and Long Chord bears South 36°13'34" East 12.09 feet) to a point of tangency; thence South 73°25'11" East 45.53 feet; thence South 16°34'49" West 421.09 feet; thence South 0°53'42" East 67.91 feet along a radial line to said Northerly line of Heritage Farms Parkway; thence along said Northerly line the following three courses: Northwesterly along the arc of a 856.00 foot radius curve to the right a distance of 51.92 feet (Center Bears North 0°53'42" West, Central Angle equals 3°28'31" and Long Chord bears North 89°09'26" West 51.91 feet) to a point of tangency; North 87°25'11" West 139.04 feet; and North 39°44'02" West 39.19 feet to said Easterly line of U.S. Highway 40 and the point of beginning.

Contains 120,558 sq. ft.
or 2.768 acres
4 Lots



5 Nov, 2025

Date

David M. Hamilton
Utah PLS No. 12966234

Owner's Dedication

Know all men by these presents that we, the undersigned Owner of the above described tract of land, having caused the same to be subdivided into 4 Lots to be hereafter known as

New London North Commercial Subdivision

and do hereby dedicate for the perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereby I/We, hereunto set my/our hand(s) _____ This Day _____ AD, 20____.

Valley Hills, LLC, a Utah limited liability company

by: _____
its:

Acknowledgment

State of _____ } ss
County of _____ }
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, _____, who being by me duly sworn did say that they are the _____ of _____, by authority of its members or its articles of organization, and they acknowledged to me that said limited liability company executed the same.

Residing at: _____
Commission Expires: _____

Print Name A Notary Public

New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32, Township 3 South, Range 5 East,
Salt Lake Base & Meridian, U.S. Survey
in Heber City, Wasatch County, Utah

Sheet 1 of 2

Recorded

State of Utah, County of Wasatch, Recorded and Filed at the Request of

Date _____ Time _____ Book _____ Page _____

Fee \$ _____ Wasatch County Recorder

Approval by Legislative Body

The City Council of Heber City, County of Wasatch, approves this Subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

Mayor Date

Owner/ Developer

Valley Hills, LLC
1245 Brickyard Road Suite 70
Salt Lake City, Utah 84106



County Surveyor

Approved this _____ Day of _____ A.D., 20__.

Wasatch County Surveyor

Wasatch Co. Fire District

Approved this _____ Day of _____ A.D., 20__.

Fire Chief

Heber City Engineer

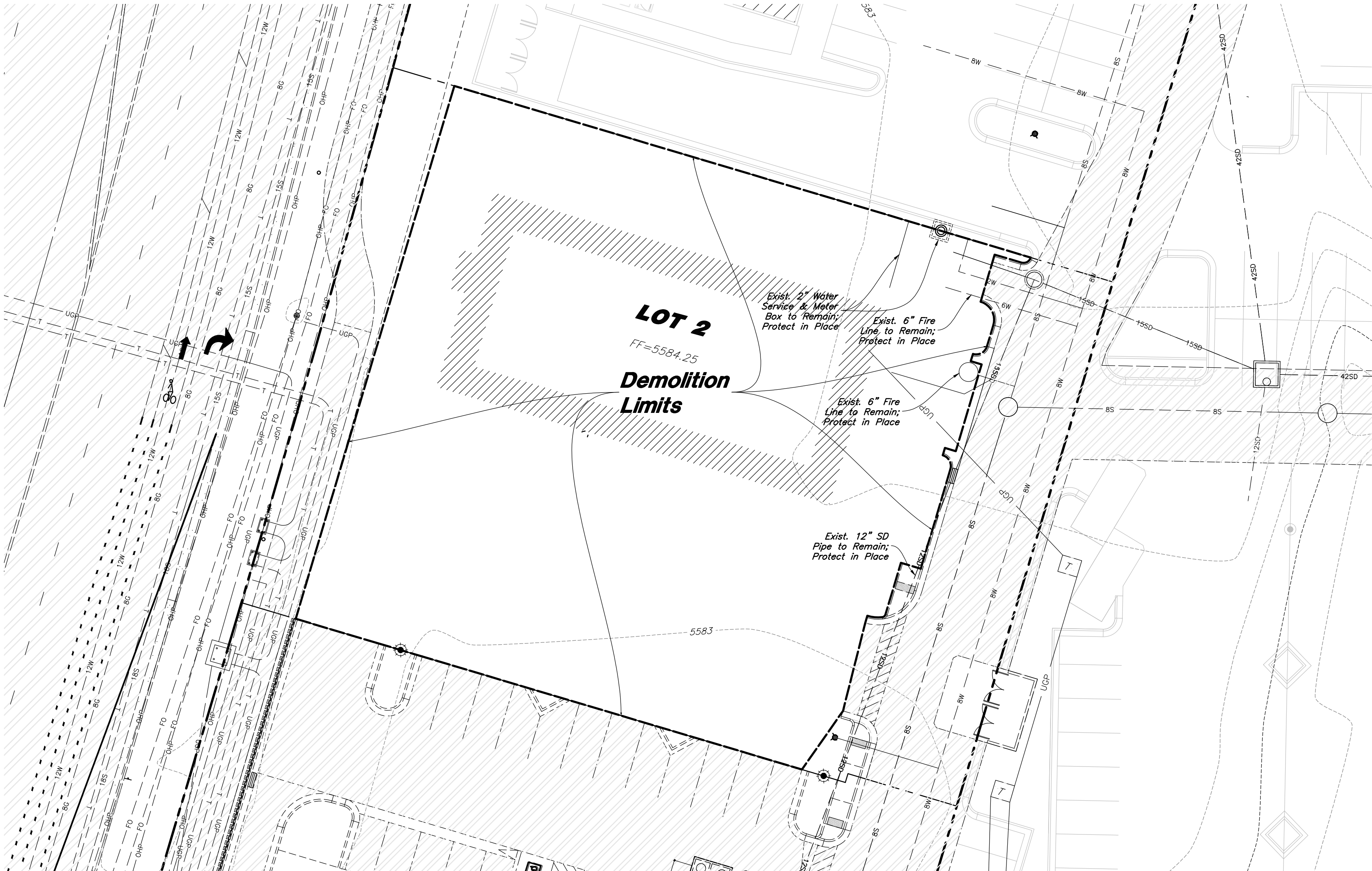
Approved this _____ Day of _____ A.D., 20__.

Heber City Engineer

Planning Department

Approved this _____ Day of _____ A.D., 20__.

TITLE:



General Demolition Notes:

- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
- All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-00. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
- Contractor shall shore and protect neighboring properties per OSHA stds. during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



Acceptance

City Engineer, Russell Funk, P.E. Approval Date

Developer:

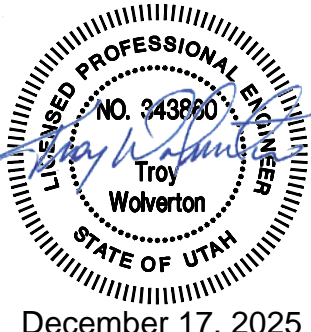
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main / 104 ext.
H@wpi.us.com

Demolition Plan

New London North Commercial Development Lot 2 Site Plan

948 North Main Street (US 40)
Heber City, Utah



21 Apr, 2025

SHEET NO.

C0.1

Scale: 1" = 20'

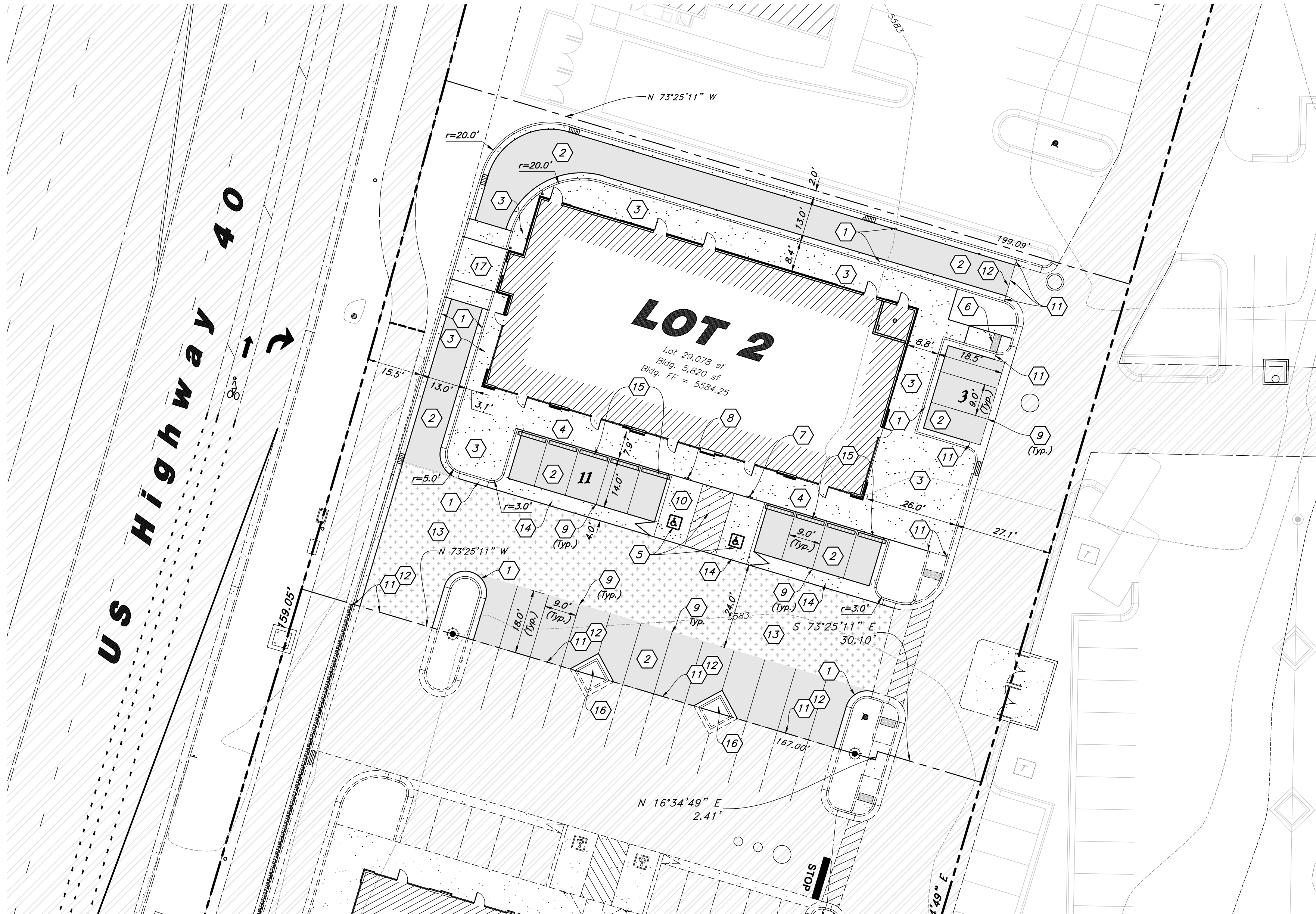


Legend

| | | |
|-------------------------------|------------------------------|-----------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Contour |
| Proposed Open Face C & G | Existing Asphalt | Existing Spot |
| Proposed Asphalt | Existing Concrete | Existing Light Pole |
| Proposed Concrete | Existing Inlet Box | Existing Street Light |
| Proposed Truncated Domes | Existing Catch Basin | Existing Building |
| Proposed Inlet Box | Existing Manhole | Existing Telephone Box |
| Proposed Catch Basin | Existing Fire Hydrant | Existing Power Meter |
| Proposed Manhole | Existing Water Valve | Existing Electrical Box |
| Proposed Transformer | Existing Overhead Power Line | Existing Electrical Cabinet |
| Proposed Water Meter | Existing Water | Existing Gas Meter |
| Proposed Corbbo Box | Existing Secondary Water | Existing Water Meter |
| Proposed Fire Hydrant | Existing Sewer | Existing Irrig. Control Box |
| Proposed Water Valve | Existing Storm Drain | Existing Bollard |
| Proposed Water Line | Existing Gas | Existing Hose Bib |
| Proposed Sanitary Sewer | Existing Power | Working Point |
| Proposed Storm Drain | Existing Telephone | Existing Deciduous Tree |
| Proposed Conduit Line | Existing Fence | Existing Coniferous Tree |
| Proposed Power Line | Flowline | |
| Proposed Gas Line | Centerline | |
| Proposed Fire Line | Existing Contour | |
| Proposed Secondary Water Line | Existing Spot | |
| Proposed Roof Drain | Existing Light Pole | |
| Proposed Fence | Existing Building | |
| Ridge line | Existing Telephone Box | |
| Grade Break | Existing Power Meter | |
| Proposed Contour | Existing Electrical Box | |
| Direction of Drainage | Existing Electrical Cabinet | |
| Proposed Spot | Existing Gas Meter | |
| ADA Accessible Route | Existing Water Meter | |
| Sawcut Line | Existing Irrig. Control Box | |
| Proposed Light Pole | Existing Bollard | |
| Proposed Street Light | Existing Hose Bib | |
| Proposed Building | Working Point | |
| Existing Power Pole | Existing Deciduous Tree | |
| Existing Power Pole w/ Guy | Existing Coniferous Tree | |
| Existing Utility Marker | | |
| Existing Post | | |

Abbreviations

| | | | |
|------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Bollard | PT | Point of Tangency |
| BRW | Finish Grade - Bottom of Retaining Wall | PVC | Polyvinyl Chloride |
| CATV | Cable Television Box | PVI | Point of Vertical Intersection |
| CB | Catch Basin | RCP | Reinforced Concrete Pipe |
| CMP | Corrugated Metal Pipe | RD | Roof Drain |
| COB | Cleanout Box | SB | Signal Box |
| COTG | Cleanout to Grade | SD | Storm Drain |
| EA | Edge of Asphalt | SDMH | Storm Drain Manhole |
| EB | Electrical Box | SMH | Sewer Manhole |
| EC | End of Curve | SP | Signal Pole |
| ECR | End Curb Return | SS | Sanitary Sewer |
| FF | Finished Floor | SVZ | Sight Visibility Zone |
| g | Ground | SW | Secondary Water |
| GB | Grade Break | TA | Top of Asphalt |
| GM | Gas Meter | TB | Telephone Box |
| HB | Hose Bib | TBC | Top Back of Curb |
| HP | High Point | TG | Top of Grate |
| I | Irrigation Line | TMH | Telephone Manhole |
| ICB | Irrigation Control Box | TP | Top of Concrete |
| Lip | Lip of Gutter | TRW | Finish Grade - Top of Retaining Wall |
| LP | Light Pole | TW | Top of Walk |
| MH | Manhole | VC | Vertical Curve |
| Mon | Monument | VPC | Vertical Point of Curve |
| PC | Point of Curvature | VPT | Vertical Point of Tangency |
| PCC | Point of Compound Curvature | WL | Waterline |
| PI | Point of Intersection | WP | Working Point |
| PM | Power Meter | WV | Water Valve |



Hatch Legend

| | |
|--|----------------------------|
| | Standard Asphalt Paving |
| | Heavy Duty Asphalt Paving |
| | Existing Asphalt Paving |
| | Standard Concrete Paving |
| | Heavy Duty Concrete Paving |
| | Existing Concrete Paving |
| | Building Interior |
| | Rip Rap/Gravel Areas |

Site Construction Notes

1. Const. 24" Curb & Gutter (C4.1)
2. Const. Standard Asphalt Paving (C4.1)
3. Const. Conc. Sidewalk (C4.1)
4. Const. Thickened Edge Sidewalk (C4.1)
5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
6. Const. Accessible Curb Ramp and Truncated Domes per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (C2.2)
7. Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
8. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
9. Const. 4" Yellow Paint Stripes, 2 Coats (Typ.) (C4.1)
10. Const. Conc. Paving (C4.1)
11. Conn. & Match Existing Improvements
12. Sawcut and Provide Smooth Clean Edge
13. Const. Heavy Duty Asphalt
14. Const. Concrete Waterway (C4.1)
15. Install Concrete Wheel Stop per Manufacturer Specifications. (C4.1)
16. Const. Diamond Planter (C4.3)
17. Const. Concrete Drive-Thru Speed Table (See Grading Details) (C4.1)

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Scale: 1" = 20'



Legend

| | | |
|-------------------------------|-------------------------------|-----------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Asphalt |
| Proposed Open Face C & G | Existing Concrete | Existing Inlet Box |
| Proposed Concrete | Existing Catch Basin | Existing Manhole |
| Proposed Truncated Domes | Existing Fire Hydrant | Existing Water Valve |
| Proposed Inlet Box | Existing Overhead Power Line | Existing Water |
| Proposed Catch Basin | Existing Secondary Water | Existing Sewer |
| Proposed Manhole | Existing Storm Drain | Existing Gas |
| Proposed Transformer | Existing Power | Existing Telephone |
| Proposed Meter Box | Existing Fence | Flowline |
| Proposed Water Meter | Centerline | Existing Contour |
| Proposed Combo Box | Existing Spot | Existing Light Pole |
| Proposed Fire Hydrant | Existing Street Light | Existing Building |
| Proposed Water Line | Existing Telephone Box | Existing Power Meter |
| Proposed Sanitary Sewer | Existing Electrical Box | Existing Electrical Cabinet |
| Proposed Storm Drain | Existing Gas Meter | Existing Water Meter |
| Proposed Conduit Line | Existing ADA Accessible Route | Existing Ballast |
| Proposed Power Line | Existing ADA Accessible Route | Existing Hose Bib |
| Proposed Gas Line | Existing ADA Accessible Route | Working Point |
| Proposed Fire Line | Existing ADA Accessible Route | Existing Deciduous Tree |
| Proposed Secondary Water Line | Existing ADA Accessible Route | Existing Coniferous Tree |
| Proposed Roof Drain | Existing ADA Accessible Route | Detail Number |
| Proposed Fence | Existing ADA Accessible Route | Sheet Number |
| Ridge line | Existing ADA Accessible Route | |
| Grade Break | Existing ADA Accessible Route | |
| Proposed Contour | Existing ADA Accessible Route | |
| Direction of Drainage | Existing ADA Accessible Route | |
| Proposed Spot | Existing ADA Accessible Route | |
| ADA Accessible Route | Existing ADA Accessible Route | |
| Property Line | Existing ADA Accessible Route | |
| Sawcut Line | Existing ADA Accessible Route | |
| Proposed Light Pole | Existing ADA Accessible Route | |
| Proposed Street Light | Existing ADA Accessible Route | |
| Proposed Building | Existing ADA Accessible Route | |
| Existing Power Pole w/ Guy | Existing ADA Accessible Route | |
| Existing Utility Marker | Existing ADA Accessible Route | |
| Existing Post | Existing ADA Accessible Route | |

Abbreviations

| | | | |
|------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Ballard | PT | Point of Tangency |
| BRW | Finish Grade - Bottom of Retaining Wall | PVC | Polyvinyl Chloride |
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| PCC | Point of Compound Curvature | WL | Waterline |
| PI | Point of Intersection | WP | Working Point |
| PM | Power Meter | WV | Water Valve |

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the general Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Acceptance

City Engineer, Russell Funk, P.E. Approval Date

Developer:

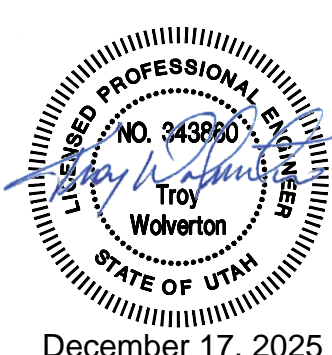
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

Site Plan

New London North Commercial Development Lot 2 Site Plan

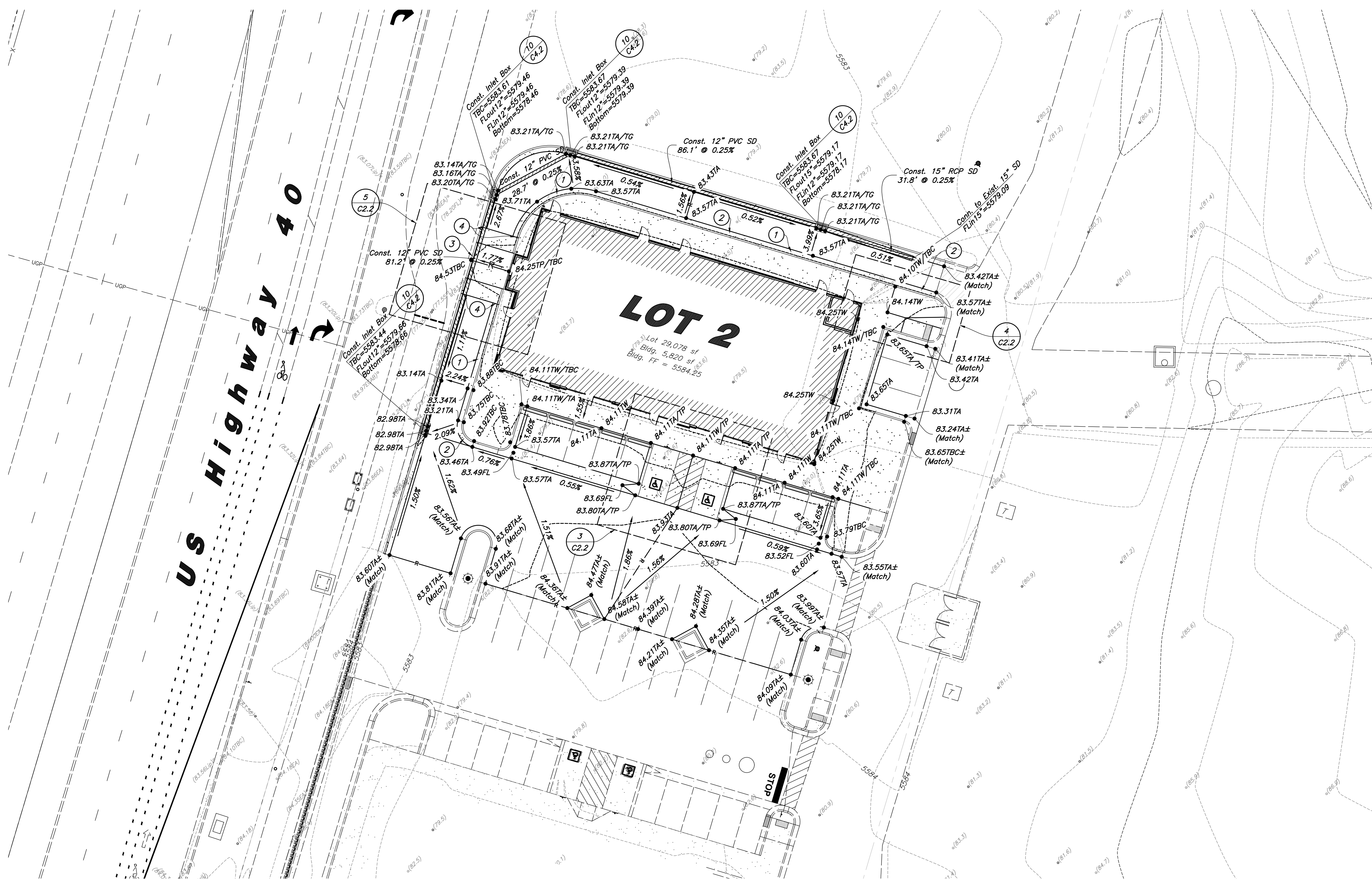
948 North Main Street (US 40)
Heber City, Utah



21 Apr, 2025

SHEET NO.

C1.1



Legend

Proposed Curb & Gutter

Proposed Open Face C & G

Proposed Asphalt

Proposed Concrete

Proposed Truncated Domes

Proposed Inlet Box

Proposed Catch Basin

Proposed Manhole

Proposed Transformer

Proposed Meter Box

Proposed Water Meter

Proposed Combo Box

Proposed Fire Hydrant

Proposed Water Valve

Proposed Water Line

Proposed Sanitary Sewer

Proposed Storm Drain

Proposed Conduit Line

Proposed Power Line

Proposed Gas Line

Proposed Fire Line

Proposed Secondary Water Line

Proposed Roof Drain

Proposed Fence

Ridge line

Grade Break

Proposed Contour

Direction of Drainage

Proposed Spot

ADA Accessible Route

Property Line

Sawcut Line

Proposed Light Pole

Proposed Street Light

Proposed Building

Existing Power Pole

Existing Power Pole w/ Guy

Existing Utility Marker

Existing Post

Existing Improvements

Existing Asphalt

Existing Concrete

Existing Inlet Box

Existing Catch Basin

Existing Manhole

Existing Fire Hydrant

Existing Water Valve

Existing Overhead Power Line

Existing Water

Existing Secondary Water

Existing Sewer

Existing Storm Drain

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Existing Light Pole

Existing Street Light

Existing Building

Existing Telephone Box

Existing Power Meter

Existing Electrical Box

Existing Electrical Cabinet

Existing Gas Meter

Existing Water Meter

Existing Irrig. Control Box

Existing Hose Bib

Working Point

Existing Deciduous Tree

Existing Coniferous Tree

Detail Number

Sheet Number

General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by GSH Geotechnical, Inc. are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Study, Proposed Heber Mixed-Use Development, Approximately 894 North Highway 40, Heber, Utah".

Project No.: 2093-015-21
Dated: September 23, 2021

- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for standard and open face curb and gutter dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
- Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.
- Construct 6" monolithic curb to slab.
- Transition gutter to concrete flatwork.

Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
- Refer to the Site Plan for sidewalk dimensions.

Acceptance

City Engineer, Russell Funk, P.E.

Approval Date

Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Benchmark

Brass Cap Monument for the Northwest Corner of Section 32, T3S, R5E, SLB&M
Assigned elevation = 5565.64 feet
Observed November 30, 2020

Engineer's Statement

I hereby acknowledge that this design for the management of storm water of this development was prepared by me, or under my direct supervision in accordance with the provisions of Heber City's Drainage Manual and Standard Specifications and Drawing, and was designed to comply with the provisions thereof. I understand that the City assumes no responsibility or liability for this report.

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Abbreviations

| | | | |
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Grading Plan
New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah

PROFESSIONAL ENGINEER
No. 343860
Troy Holmstrom
STATE OF UTAH

December 17, 2025

21 Apr, 2025

SHEET NO.
C2.1



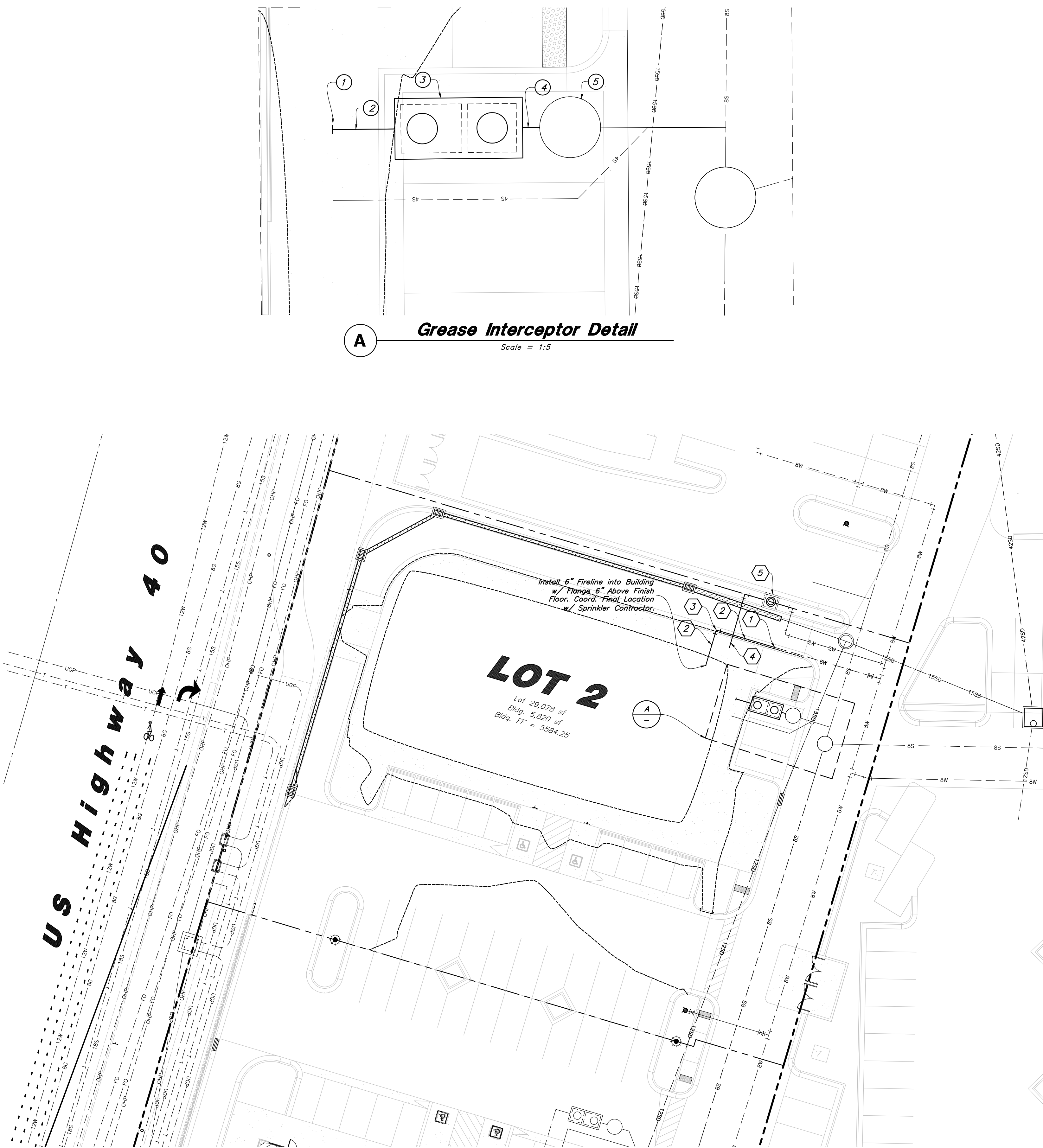
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Accessible Details and Notes

New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah



SHEET NO.
C2.2



Sanitary Sewer Keynotes

- 1 Const. SS Building Connection
FLin4"=5576.35
- 2 Const. 4" PVC SS
3.1' @ 2.00%
- 3 Const. Grease Interceptor
RIM=5583.60
FLin4"=5575.99
- 4 Const. 4" PVC SS
9.2' @ 2.00%
- 5 Exist. 5" Sampling SSMH
exRIM=5583.39
exFLout4"=5575.81

Waterline Construction Notes

- 1 Conn. to 6" PVC C900 *(DR18) Waterline Stub per Heber City Standards
- 2 Const. 6" Fire Sprinkler Line PVC (DR18) C900 per Heber City Standards
- 3 Const. 90° Bend w/ Restraint Glands, Thrust Block Required per Heber City Standard Drawing Water-2
- 4 Const. 2" SDR9 Poly Pipe Waterline per Heber City Standard Drawing Water-6B
- 5 Existing 2" Culinary Water Service

General Utility Notes:

- 1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- 2. Coordinate all utility connections to building with plumbing plans and building contractor.
- 3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- 4. All catch basin and inlet box grates are to be bicycle proof.
- 5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- 6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- 7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- 8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- 9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

- 1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
- 2. Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

- 1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 235

Sanitary Sewer Lines

- 1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

- 1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

| Building Data | |
|---------------------|---|
| Type: | V-B |
| Square Footage: | 5691 sf |
| Fire Sprinkled: | Yes |
| Building Height: | 26'-2" To Top of Parapet |
| Fire Flow Required: | 500 GPM for 2 Hours (25% of Required Non-Sprinkled Flow) |

CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

- 1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
- 2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
- 3. Construction of any onsite utilities prior to the onsite connection will be done at the contractors risk.

PVC Pipe Protection During Construction:
PVC Pipe must have 24" cover for heavy construction loading during construction. The Contractor is responsible to temporarily protect any pipes with less than 24" cover by berming over the pipes.

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



Acceptance

City Engineer: Russell Funk, P.E.

Approval Date

Scale: 1" = 20'



Legend

| | | |
|-------------------------------|------------------------------|-----------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Asphalt |
| Proposed Open Face C & G | Existing Concrete | Existing Inlet Box |
| Proposed Asphalt | Existing Catch Basin | Existing Manhole |
| Proposed Concrete | Existing Fire Hydrant | Existing Water Valve |
| Proposed Truncated Domes | Existing Overhead Power Line | Existing Secondary Water |
| Proposed Inlet Box | Existing Water | Existing Sewer |
| Proposed Catch Basin | Existing Storm Drain | Existing Gas |
| Proposed Manhole | Existing Power | Existing Telephone |
| Proposed Transformer | Existing Fence | Existing Flowline |
| Proposed Meter Box | Centerline | Existing Contour |
| Proposed Water Meter | Existing Spot | Existing Light Pole |
| Proposed Combo Box | Existing Street Light | Existing Building |
| Proposed Fire Hydrant | Existing Telephone Box | Existing Power Meter |
| Proposed Water Valve | Existing Electrical Box | Existing Electrical Cabinet |
| Proposed Water Line | Existing Gas Meter | Existing Water Meter |
| Proposed Sanitary Sewer | Existing Irrig. Control Box | Existing Hose Bib |
| Proposed Storm Drain | Existing Bollard | Working Point |
| Proposed Conduit Line | Existing Coniferous Tree | Detail Number |
| Proposed Power Line | Existing Post | Sheet Number |
| Proposed Gas Line | | |
| Proposed Fire Line | | |
| Proposed Secondary Water Line | | |
| Proposed Roof Drain | | |
| Proposed Building | | |
| Proposed Fence | | |
| Ridge line | | |
| Grade Break | | |
| Proposed Contour | | |
| Direction of Drainage | | |
| Proposed Spot | | |
| ADA Accessible Route | | |
| Property Line | | |
| Sawcut Line | | |
| Proposed Light Pole | | |
| Proposed Street Light | | |
| Existing Power Pole | | |
| Existing Power Pole w/ Guy | | |
| Existing Utility Marker | | |
| Existing Post | | |

Abbreviations

| | | | |
|------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Bollard | PT | Point of Tangency |
| BRW | Finish Grade - Bottom of Retaining Wall | PVC | Polyvinyl Chloride |
| CATV | Cable Television Box | PVI | Point of Vertical Intersection |
| CB | Catch Basin | RCP | Reinforced Concrete Pipe |
| CMP | Corrugated Metal Pipe | RD | Roof Drain |
| COB | Cleanout Box | SB | Signal Box |
| COTG | Cleanout to Grade | SD | Storm Drain |
| EA | Edge of Asphalt | SDMH | Storm Drain Manhole |
| EB | Electrical Box | SMH | Sewer Manhole |
| EC | End of Curve | SP | Signal Pole |
| ECR | End Curb Return | SS | Sanitary Sewer |
| FF | Finished Floor | SVZ | Sight Visibility Zone |
| G | Ground | SW | Secondary Water |
| GB | Grade Break | TA | Top of Asphalt |
| GM | Gas Meter | TB | Telephone Box |
| HB | Hose Bib | TBC | Top Back of Curb |
| HP | High Point | TG | Top of Gate |
| I | Irrigation Line | TMH | Telephone Manhole |
| ICB | Irrigation Control Box | TP | Top of Concrete |
| Lip | Lip of Gutter | TRW | Finish Grade - Top of Retaining Wall |
| LP | Light Pole | TW | Top of Walk |
| MH | Manhole | VC | Vertical Curve |
| Mon | Monument | VPC | Vertical Point of Curve |
| PC | Point of Curvature | VPT | Vertical Point of Tangency |
| PCC | Point of Compound Curvature | WL | Waterline |
| PI | Point of Intersection | WP | Working Point |
| PM | Power Meter | WV | Water Valve |

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Developer:

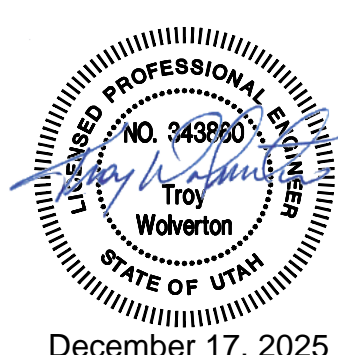
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
tl@wpi.us.com

Utility Plan

New London North Commercial Development Lot 2 Site Plan

948 North Main Street (US 40)
Heber City, Utah



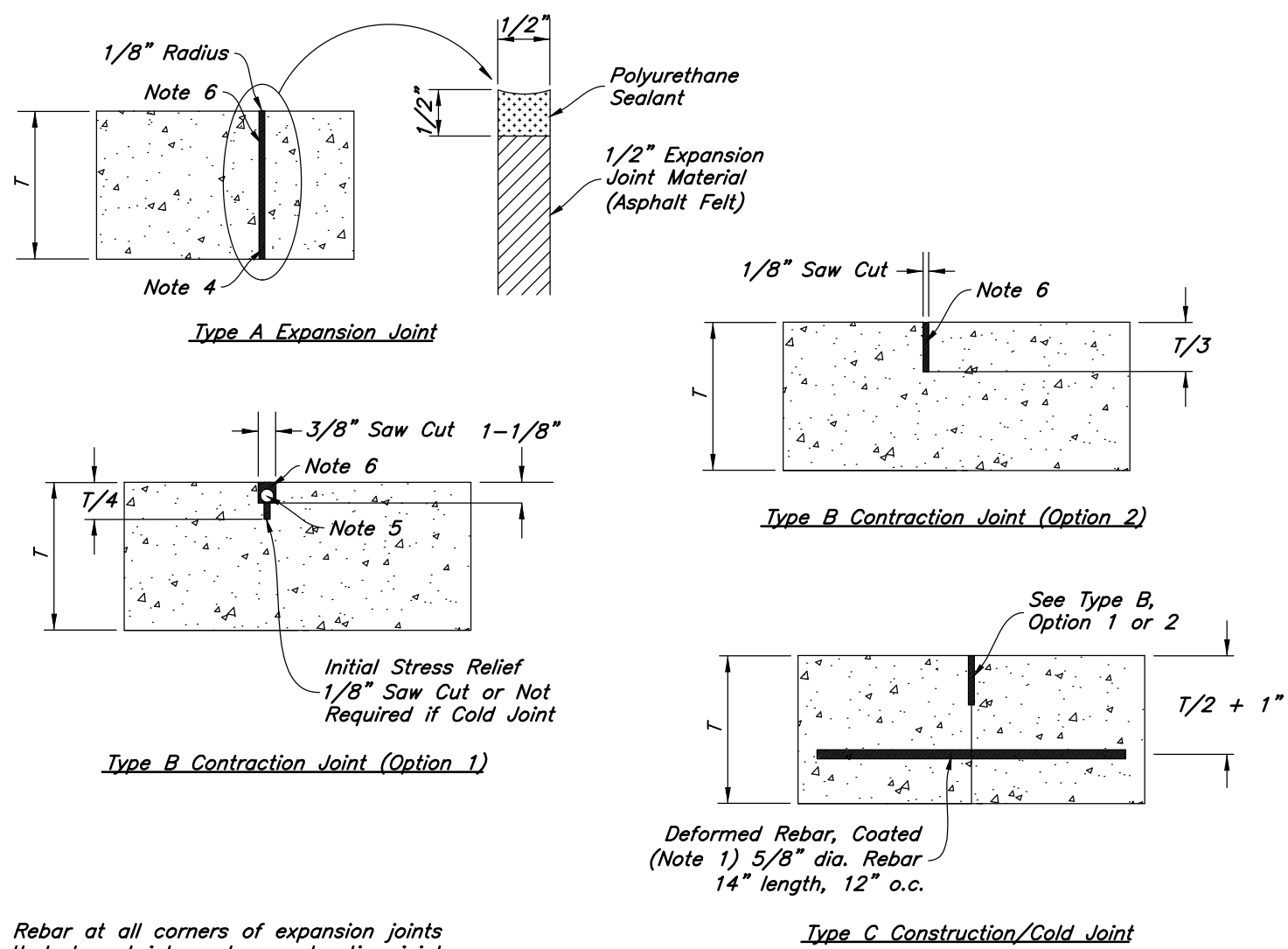
December 17, 2025

21 Apr, 2025

SHEET NO.

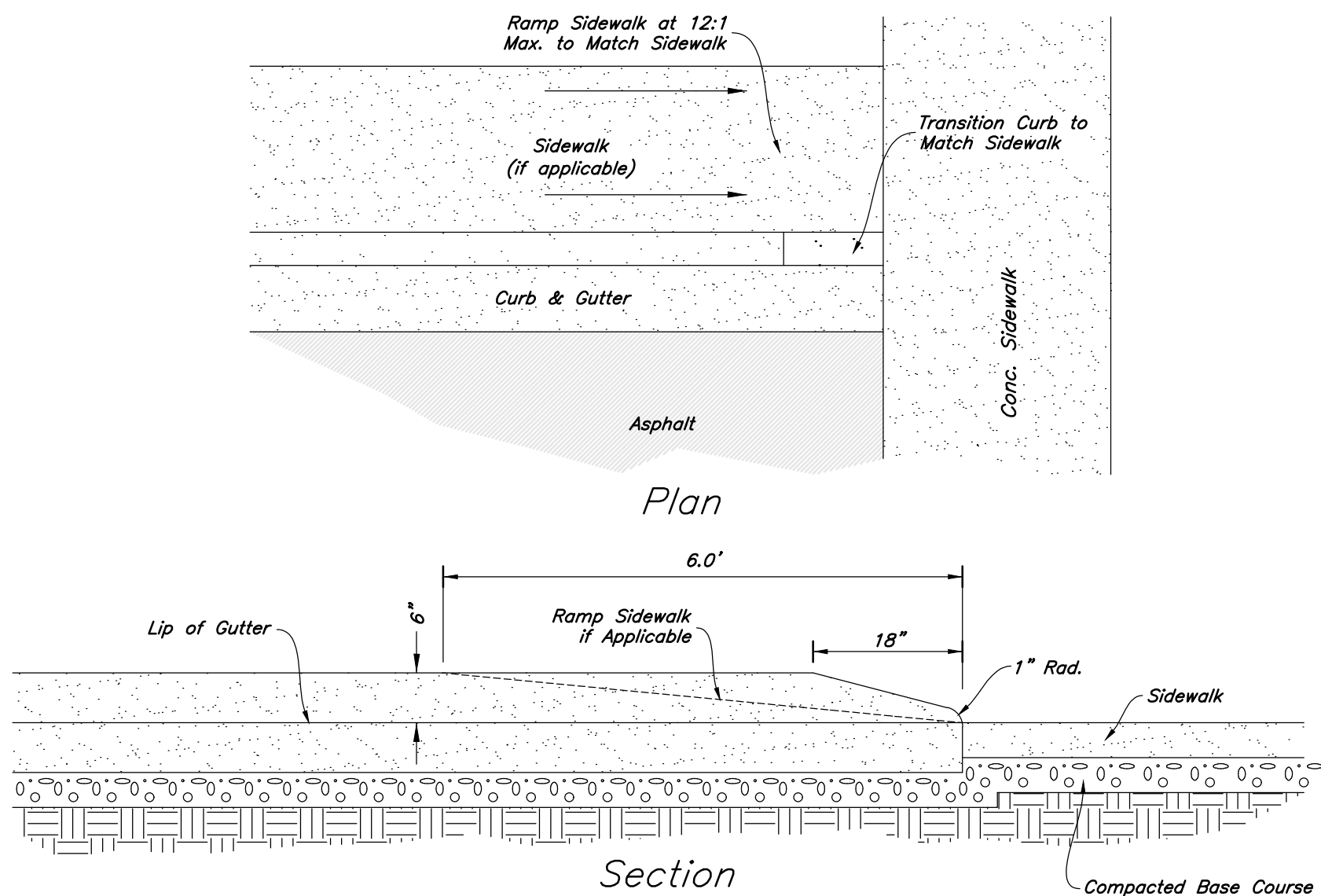
C3.1

1. **REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
- A. Space rebar and dowels at 12 to 15 inches on center.
B. Grease dowels to provide movement in expansion joints.
C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
2. **SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
3. **JOINTS:** Lay out joints to aid construction and control random cracking.
- A. Joint Spacing shall be 12 feet maximum on center in both directions.
B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
C. Make adjustments in joint locations to meet inlet or manhole locations.
D. Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
4. **JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
5. **BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
6. **JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



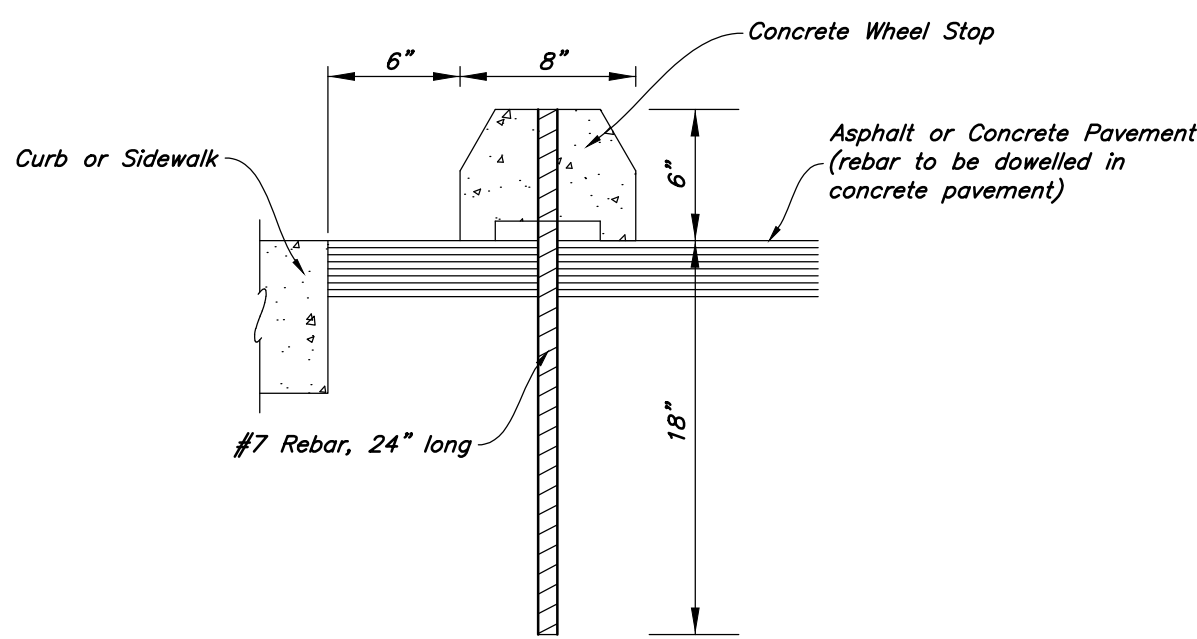
9 Concrete Joint Detail

Not to Scale



8 Curb Transition

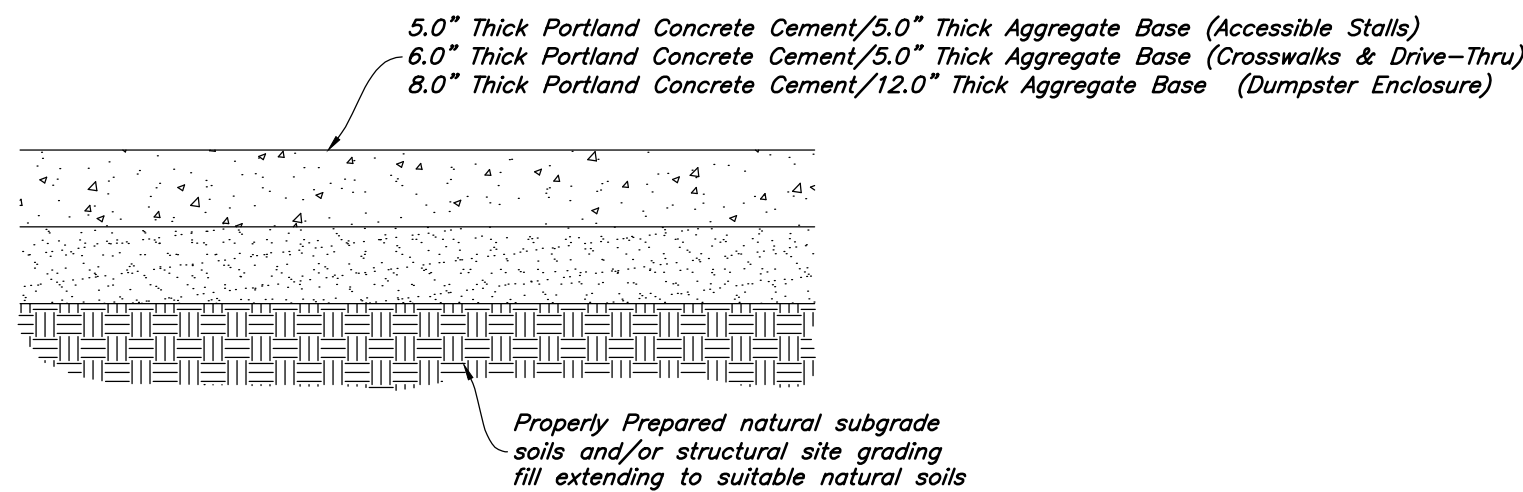
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7 Concrete Wheel Stop Detail

Not to Scale

1. See Geotechnical Report for Project for Future Details
2. See Concrete Joint Detail



6 Concrete Pavement Sections

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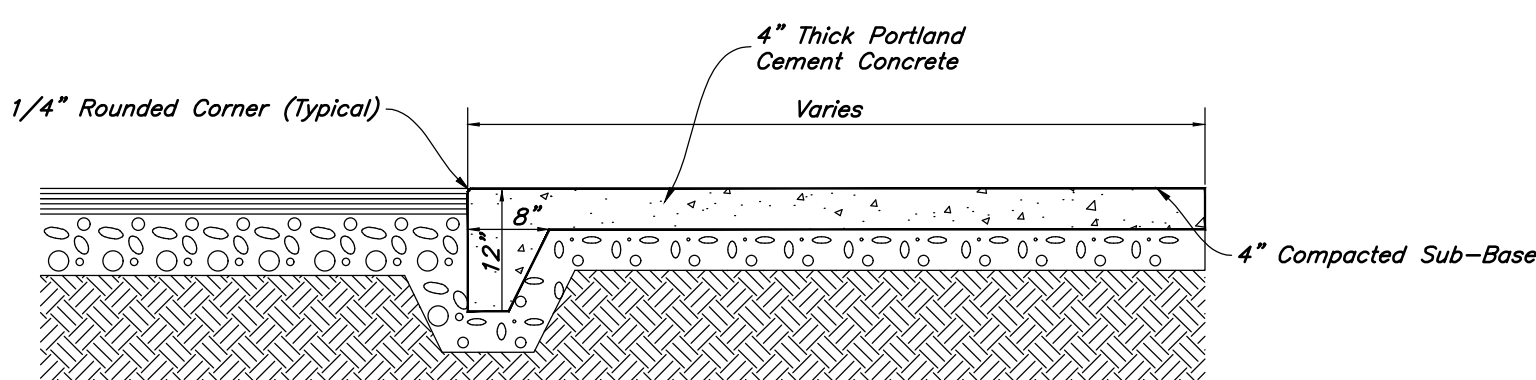
Contraction Joints

- A. Spacing = 10' O.C.

Expansion Joints

- A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at the start of end of curb radius.

1. See Concrete Joint Detail



5 Thickened Edge Walk

Not to Scale

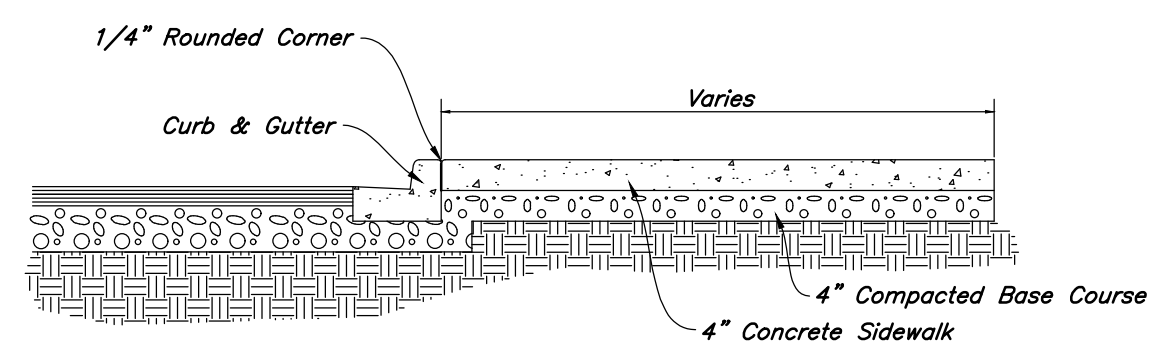
Contraction Joints

- A. Spacing = 10' O.C.

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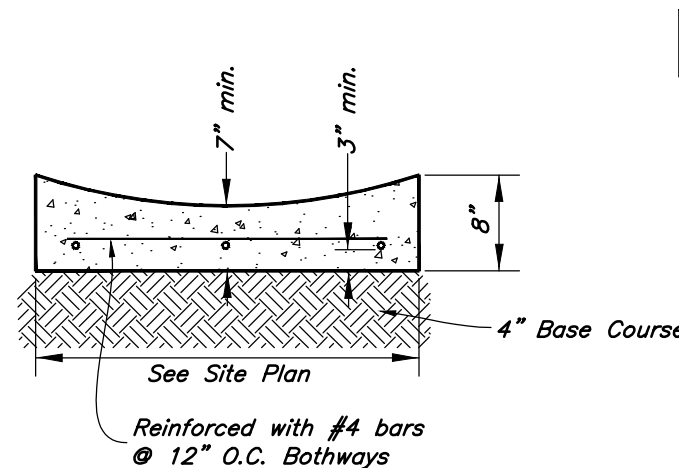
1. See Concrete Joint Detail



4 Typical Sidewalk Detail

Not to Scale

- Contraction Joints
A. Spacing = 10' O.C.
B. 1/8" Wide by 2" Deep

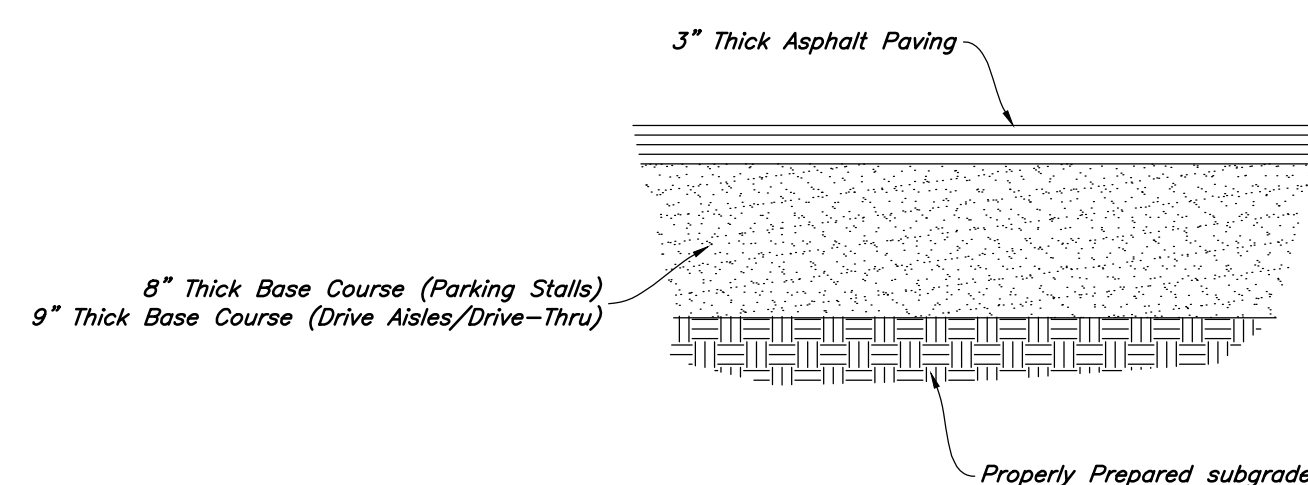


1. See Concrete Joint Detail

3 Typical Waterway Detail

Not to Scale

1. See Geotechnical Report for Project



2 Parking Area/Drive Lane Asphalt Sections

Not to Scale

1. Contraction Joints

- A. Spacing = 10' o.c., see joint detail
B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals

2. Expansion Joints

- A. Make expansion joints full depth, see joint detail
B. Place expansion joint at all cold joints
C. Expansion joints are required at ends of all radii 0.08.
D. Required 5'-0" on each side of drainage structures
E. Required at 90'-0" maximum intervals in straight curb and gutter
F. Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3" thick bituminous filler material)

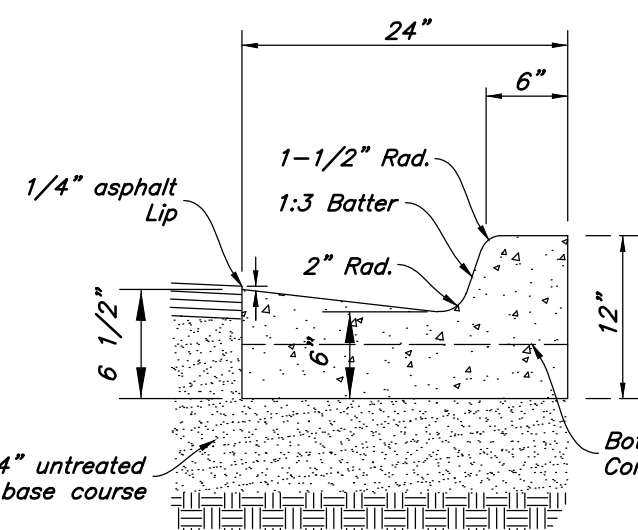
3. 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement

4. Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter

5. Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.

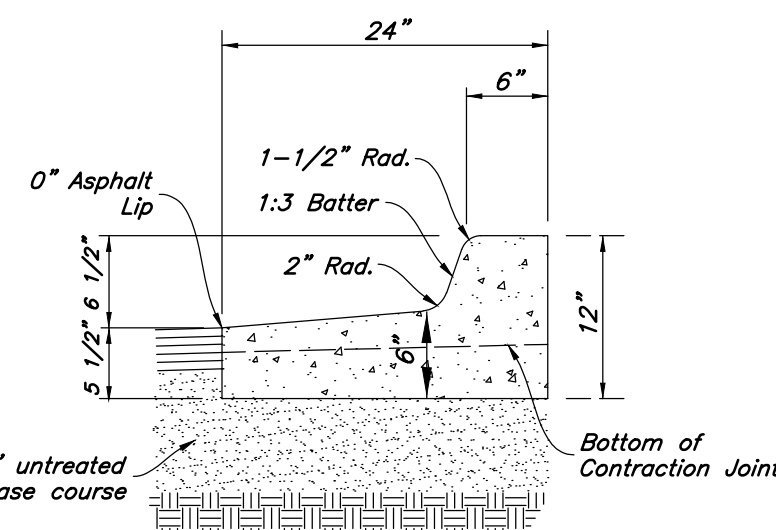
6. All radii shall be true arcs

7. Medium to light broom finish on all exterior concrete



Standard

Note: All Curb and Gutter to be Standard Unless Otherwise Noted



Open Face

1. See Concrete Joint Detail

1 24" Curb And Gutter

Not to Scale

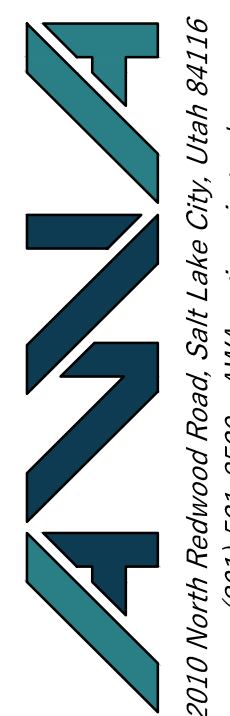
Designed by: xx

Drafted by: xx

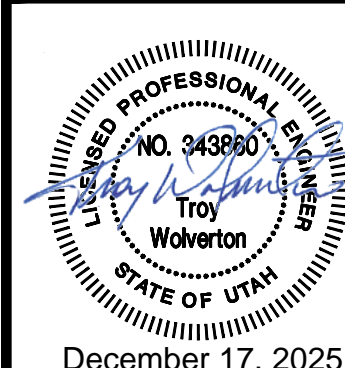
Client Name:

Client

21-263_03_B-DT



Details
New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah

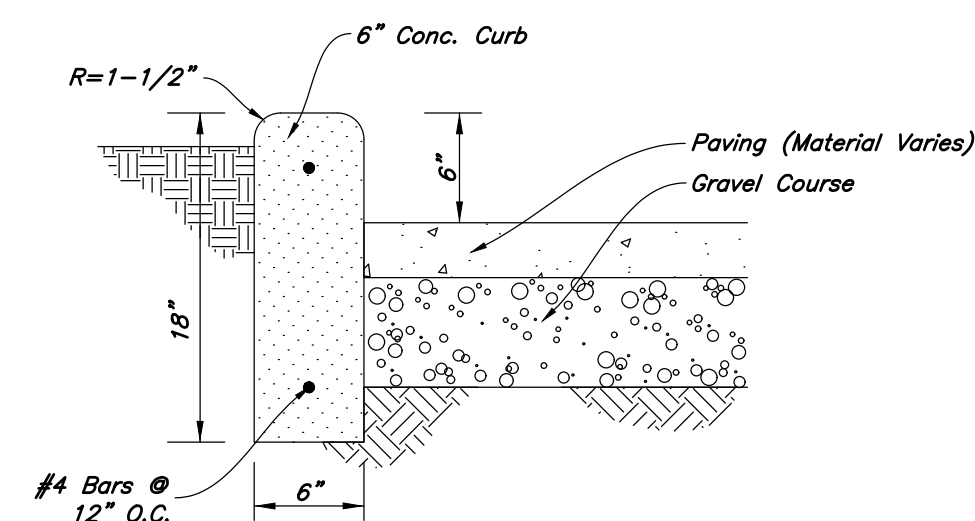


December 17, 2025

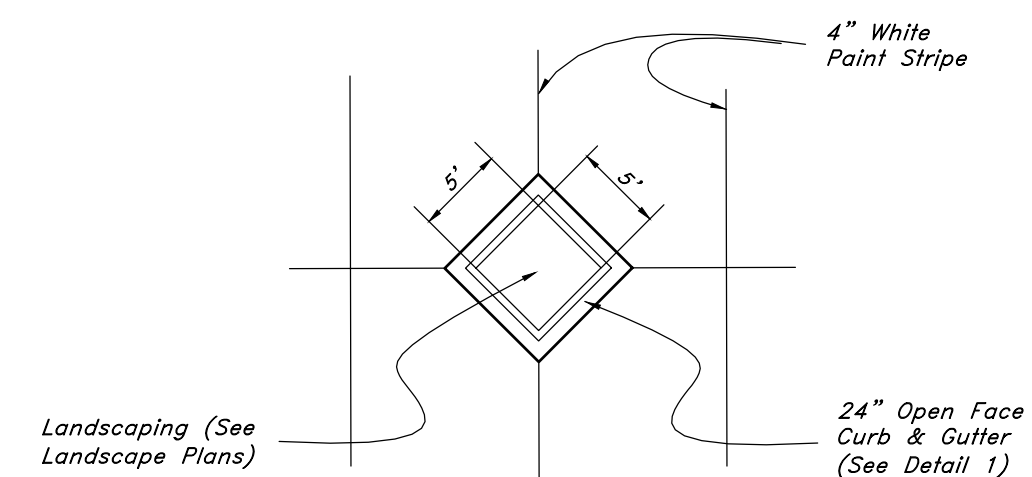
21 Apr, 2025

SHEET NO.

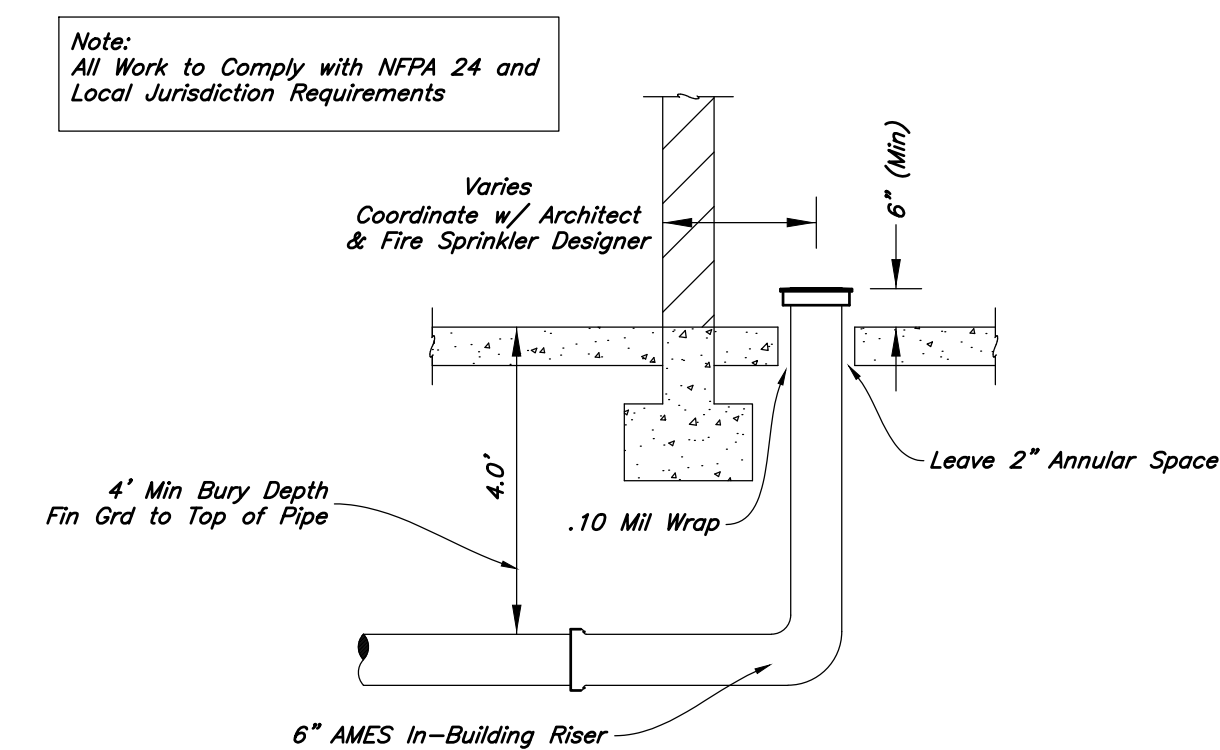
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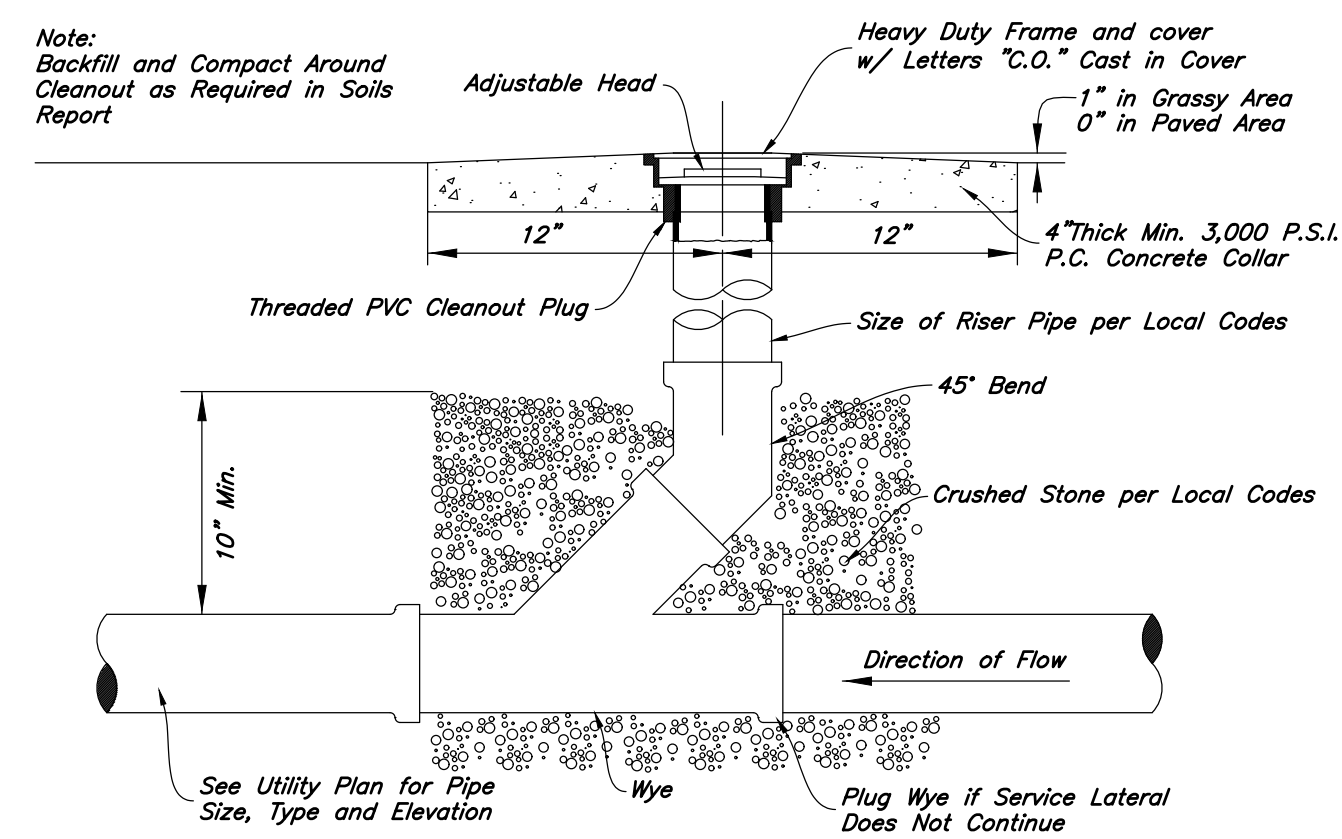
24 *Curb Wall Detail*
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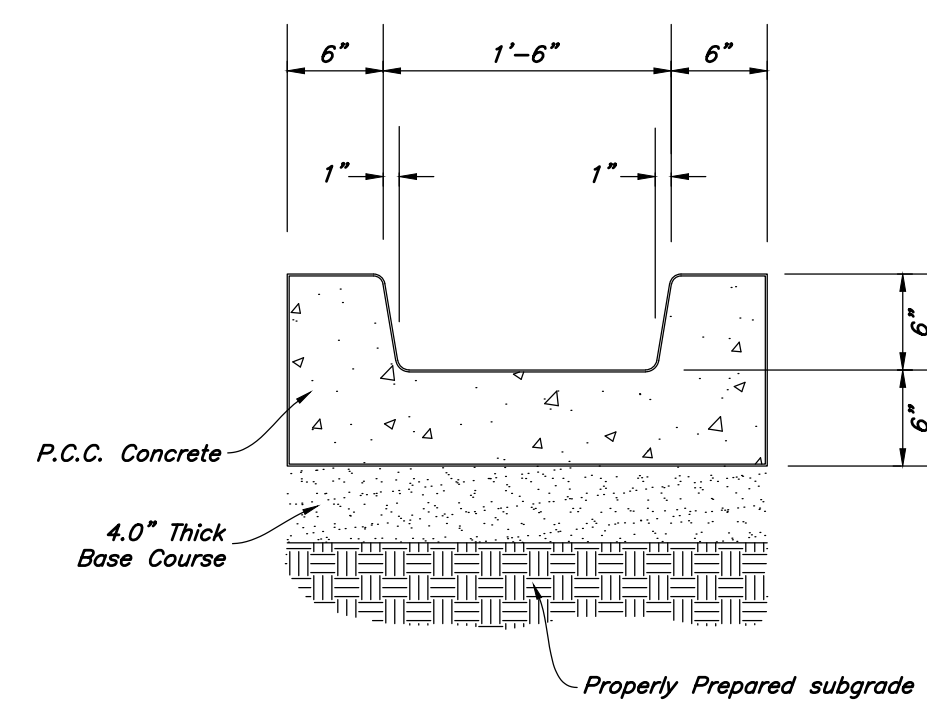
19 ***Diamond Planter Detail***
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18 *Fire Riser Stub-In Detail*
Not to Scale



17 *Typical Cleanout Detail*
Not to Scale



16 *Thru Planter Drainage Channel Detail*
Not to Scale

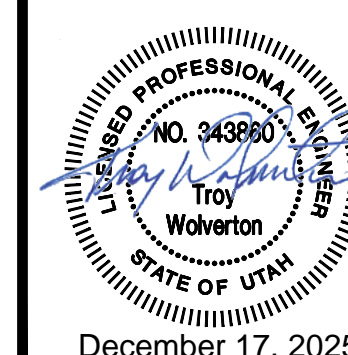
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| Designed by: xx |
| Drafted by: xx |
| Client Name: |
| Client: |
| 21-263 03 |

21-263 03 B-DT



Details

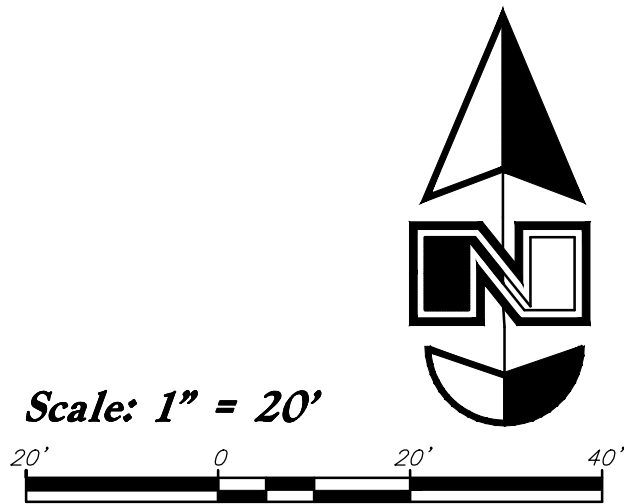
New London North Commercial Development Lot 2 Site Plan
 948 North Main Street (US 40)
 Heber City, Utah



21 Apr, 2025

SHEET NO.

C4.3



Erosion Control Notes

- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
- The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
- All Construction equipment will enter thru Designated Construction Entrances.
- Coordinate Entrance locations with the local jurisdiction.
- Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
- Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
- The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Tap Dressing of the Construction Entrances as Conditions Demand.
- All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
- Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
- Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
- Inlet Protection Devices shall be Installed Immediately upon individual Inlets becoming Functional.
- This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
- Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
- Re-vegetate areas where landscaping has died or not taken hold.
- Divert storm water runoff around disturbed soils with berms or dirt swales.
- Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
- Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Legend

Place Inlet Protection at all Inlet Locations to prevent boxes from silting.

Silt Fence

Limit of Disturbance

Construction Entrance / Truck Wash (50'x24' Min.)

Concrete Washout Area

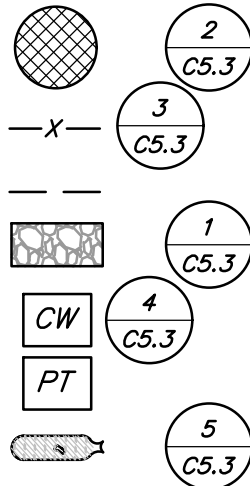
Portable Toilet

Gravel Sock

Existing Contour

Existing Spot

Proposed Contour



Legend

Proposed Curb & Gutter

Proposed Open Face C & G

Proposed Asphalt

Proposed Concrete

Proposed Truncated Dams

Proposed Inlet Box

Proposed Catch Basin

Proposed Manhole

Proposed Transformer

Proposed Meter Box

Proposed Water Meter

Proposed Combo Box

Proposed Fire Hydrant

Proposed Water Valve

Proposed Water Line

Proposed Sanitary Sewer

Proposed Storm Drain

Proposed Conduit Line

Proposed Power Line

Proposed Gas Line

Proposed Fire Line

Proposed Secondary Water Line

Proposed Roof Drain

Proposed Fence

Ridge line

Grade Break

Proposed Contour

Direction of Drainage

Proposed Spot

ADA Accessible Route

Property Line

Sawcut Line

Proposed Light Pole

Proposed Street Light

Proposed Building

Existing Power Pole

Existing Power Pole w/ Guy

Existing Utility Marker

Existing Post

Existing Improvements

Existing Asphalt

Existing Concrete

Existing Inlet Box

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Existing Building

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Existing Power Meter

Existing Electrical Box

Existing Electrical Cabinet

Existing Gas Meter

Existing Water Meter

Existing Irrig. Control Box

Existing Ballard

Existing Hose Bib

Working Point

Existing Deciduous Tree

Existing Coniferous Tree

Detail Number

Sheet Number

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



| Abbreviations | | | |
|---------------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PP | Power Pole |
| BOL | Ballard | PT | Point of Tangency |
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Acceptance

City Engineer: Russell Funk, P.E. Approval Date

Developer:

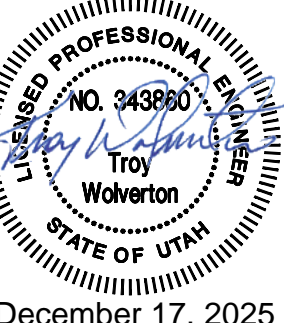
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main / 104 ext.
H@wpi.us.com

Erosion Control Plan - Phase 1

New London North Commercial Development Lot 2 Site Plan

948 North Main Street (US 40)
Heber City, Utah



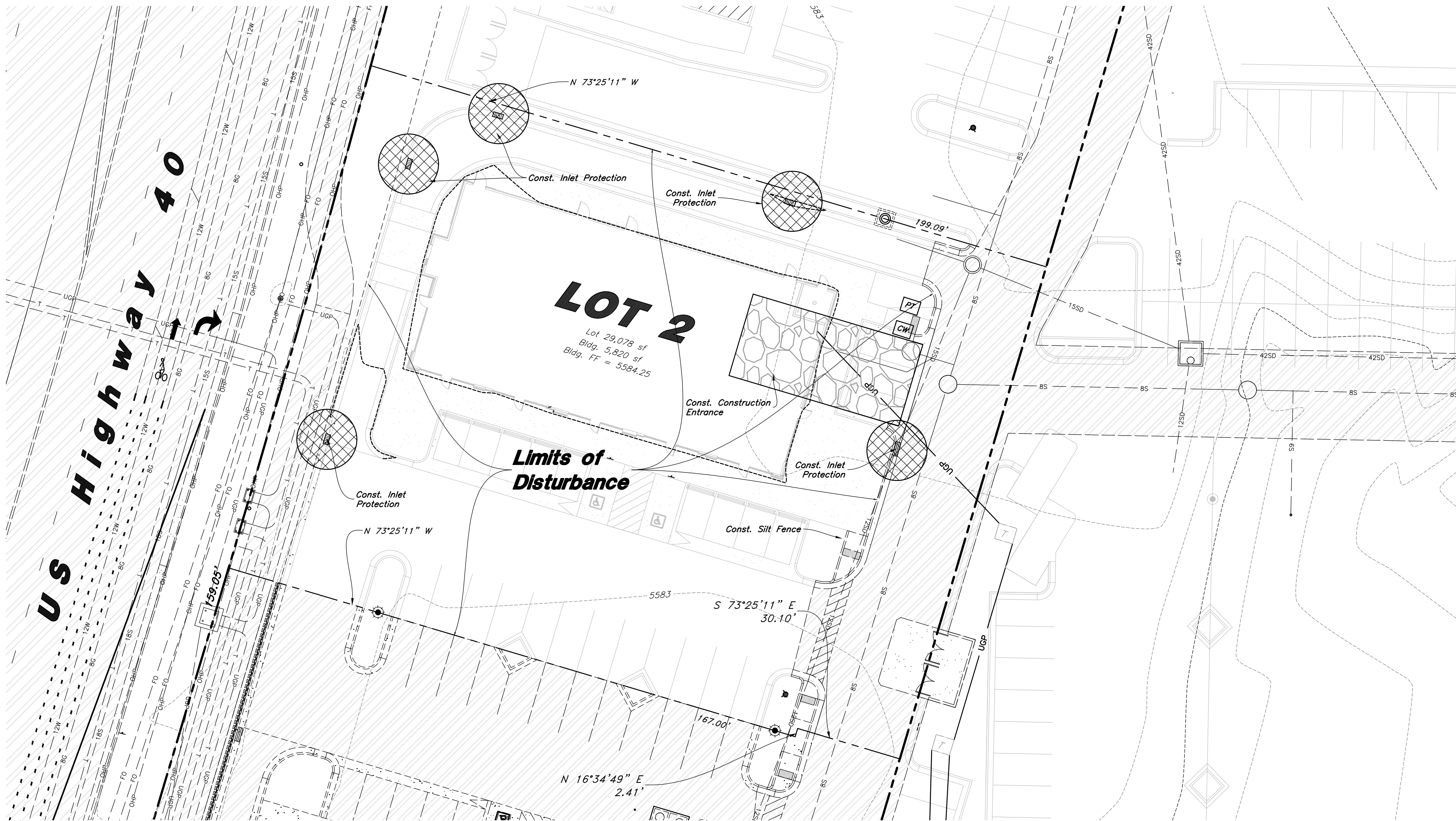
21 Apr, 2025

SHEET NO.

C5.1

21-263_03_B-EC

Designed by: xx
Drafted by: xx
Client Name:
Client



Erosion Control Notes

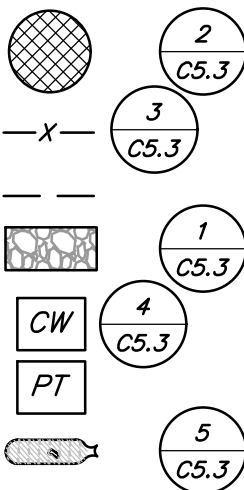
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Scale: 1" = 20'



Legend

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- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour



Legend

- Proposed Curb & Gutter
- Proposed Open Face C & G
- Proposed Asphalt
- Proposed Concrete
- Proposed Truncated Domes
- Proposed Inlet Box
- Proposed Catch Basin
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- Proposed Building
- Existing Power Pole w/ Guy
- Existing Utility Marker
- Existing Post
- Existing Improvements
- Existing Asphalt
- Existing Concrete
- Existing Inlet Box
- Existing Catch Basin
- Existing Manhole
- Existing Fire Hydrant
- Existing Water Valve
- Existing Overhead Power Line
- Existing Water
- Existing Secondary Water
- Existing Sewer
- Existing Storm Drain
- Existing Gas
- Existing Power
- Existing Telephone
- Existing Fence
- Flowline
- Centerline
- Existing Contour
- Existing Spot
- Existing Light Pole
- Existing Street Light
- Existing Building
- Existing Telephone Box
- Existing Power Meter
- Existing Electrical Box
- Existing Electrical Cabinet
- Existing Gas Meter
- Existing Water Meter
- Existing Irrig. Control Box
- Existing Bollard
- Existing Hose Bib
- Working Point
- Existing Deciduous Tree
- Existing Coniferous Tree

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

Acceptance

City Engineer, Russell Funk, P.E. Approval Date

Developer:

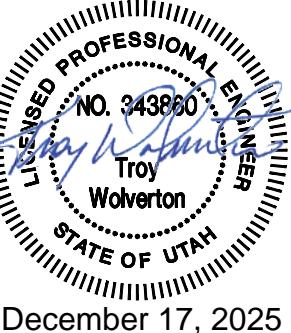
NuLo, LLC

5457 W. 11000 N., Suite No.200
Highland, Utah 84003
Thomas Lehnardt
801-467-7000 main | 104 ext.
h@wpl.us.com

Erosion Control Plan - Phase 2

New London North Commercial Development Lot 2 Site Plan

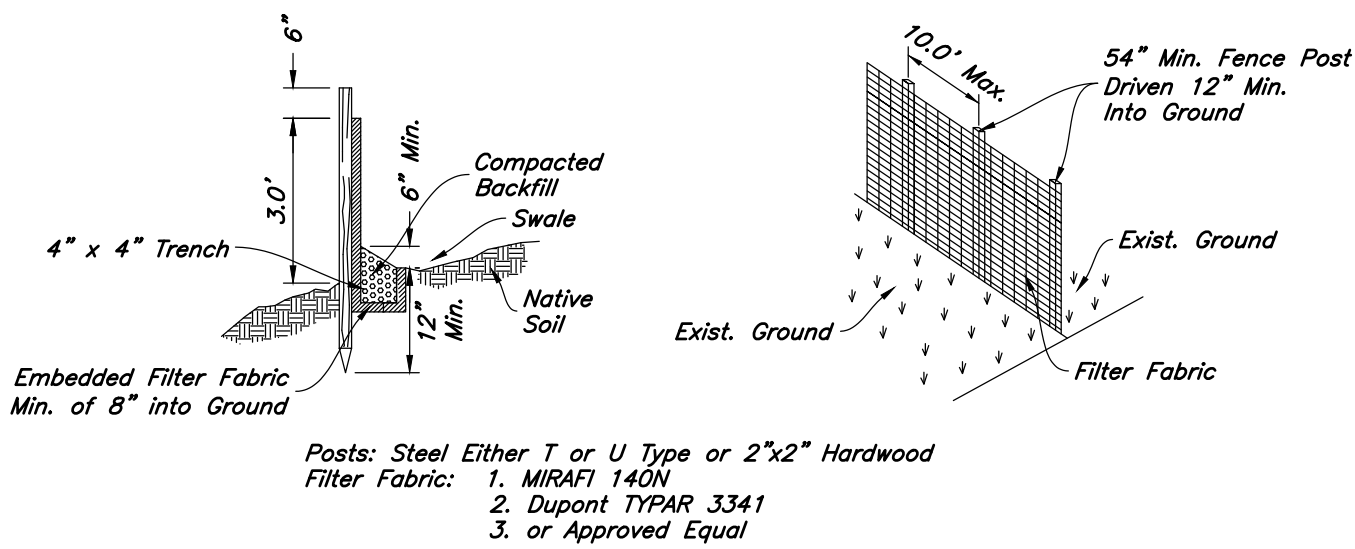
948 North Main Street (US 40)
Heber City, Utah



21 Apr, 2025

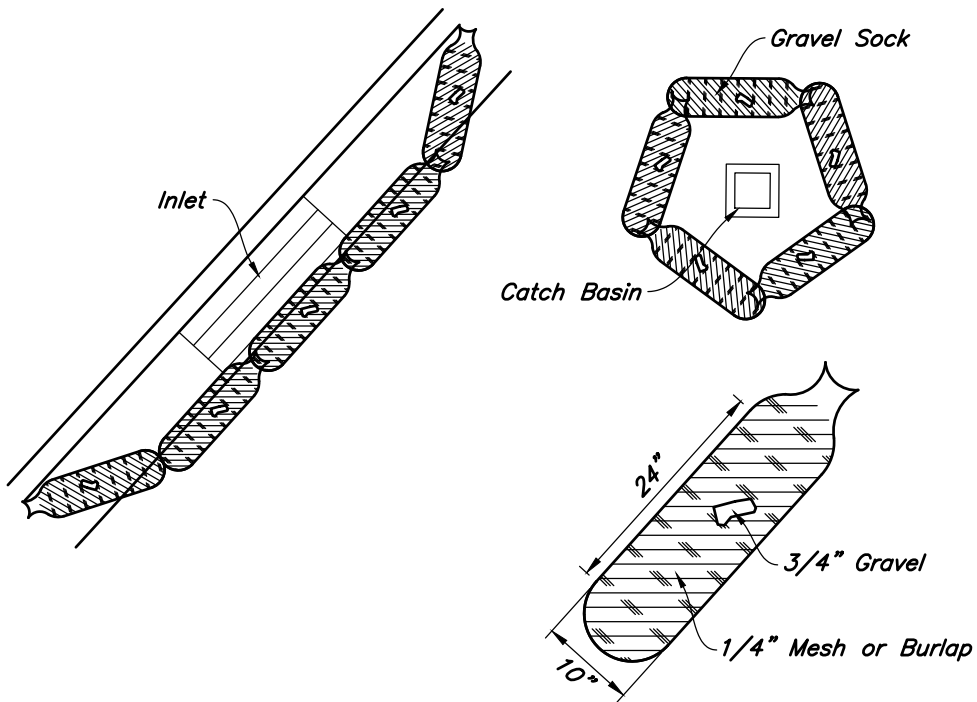
SHEET NO.

C5.2

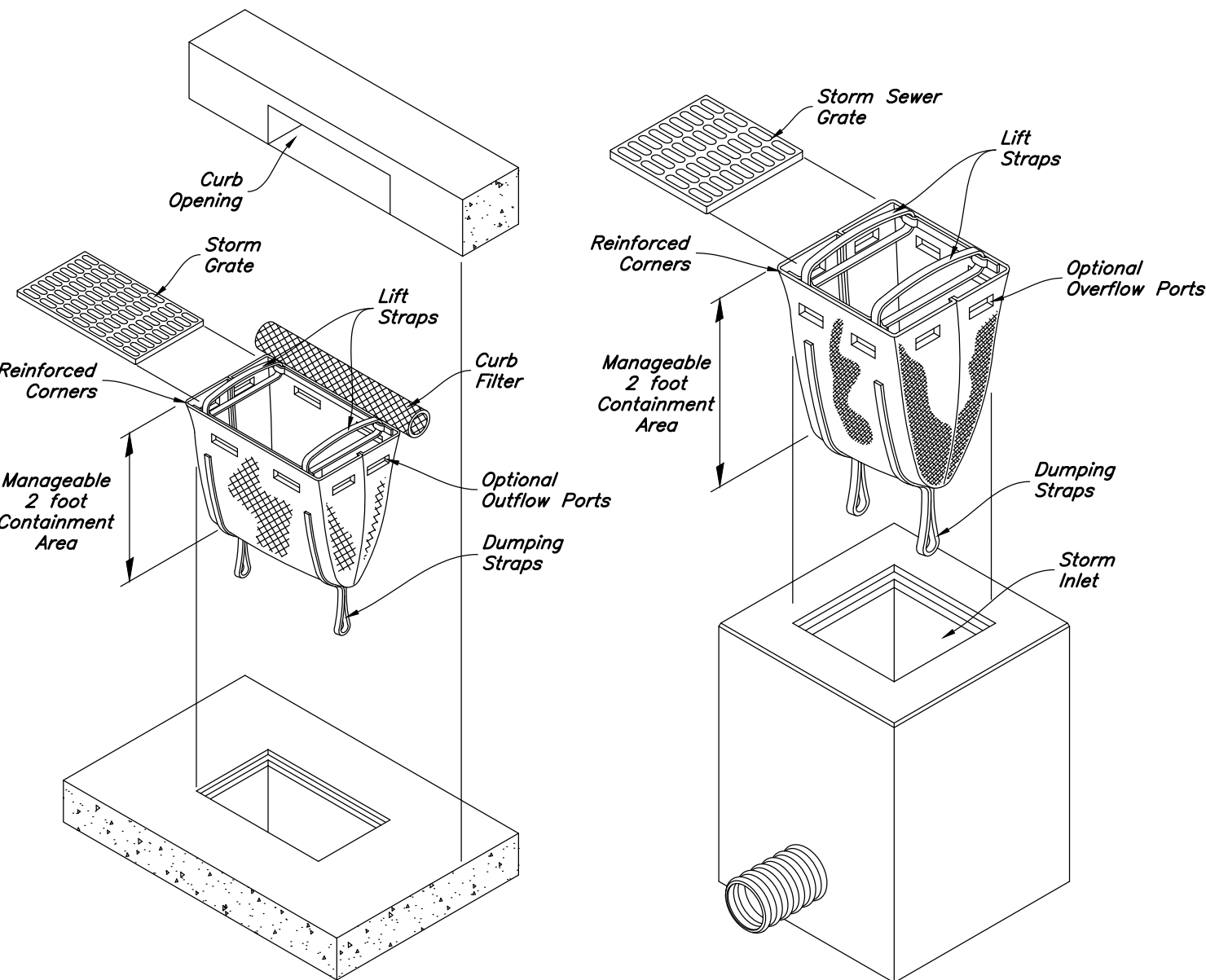


- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.

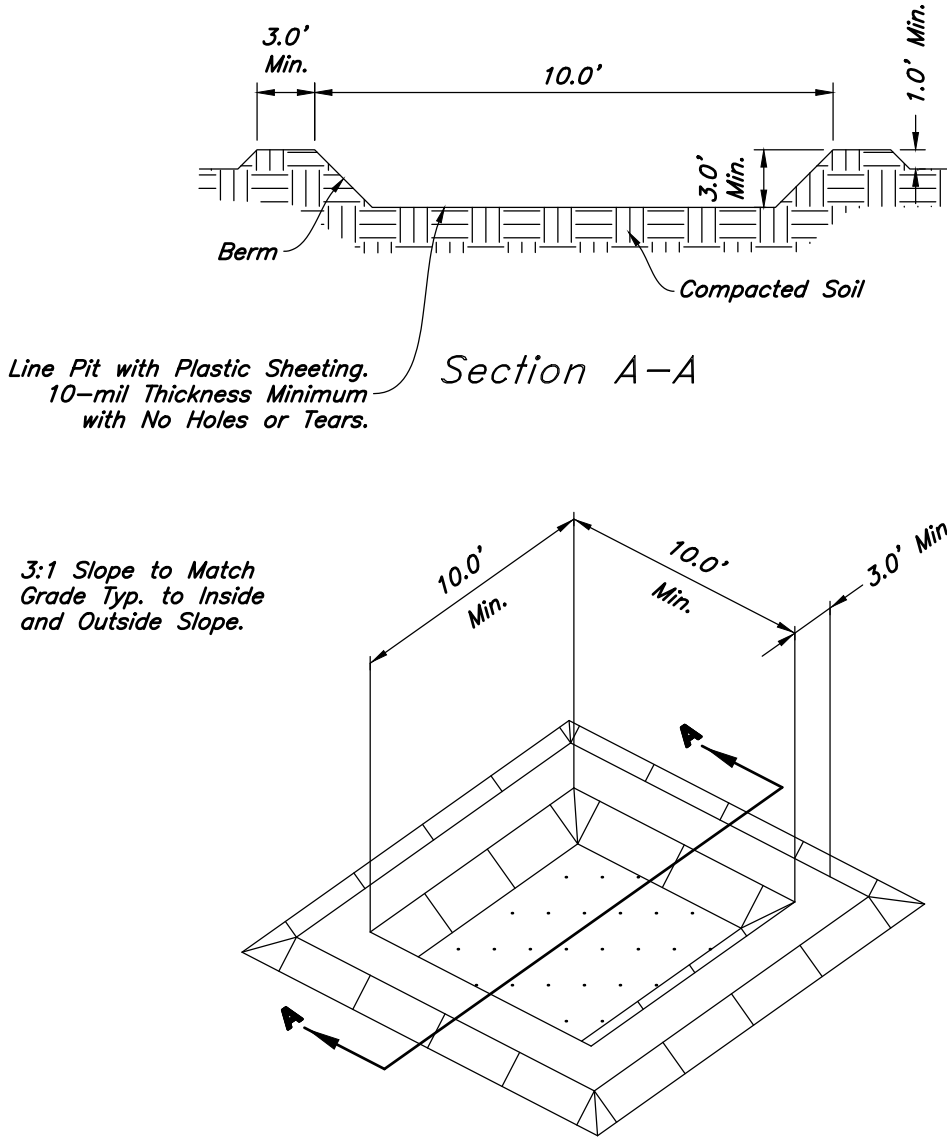
3 Silt Fence Section
Not to Scale



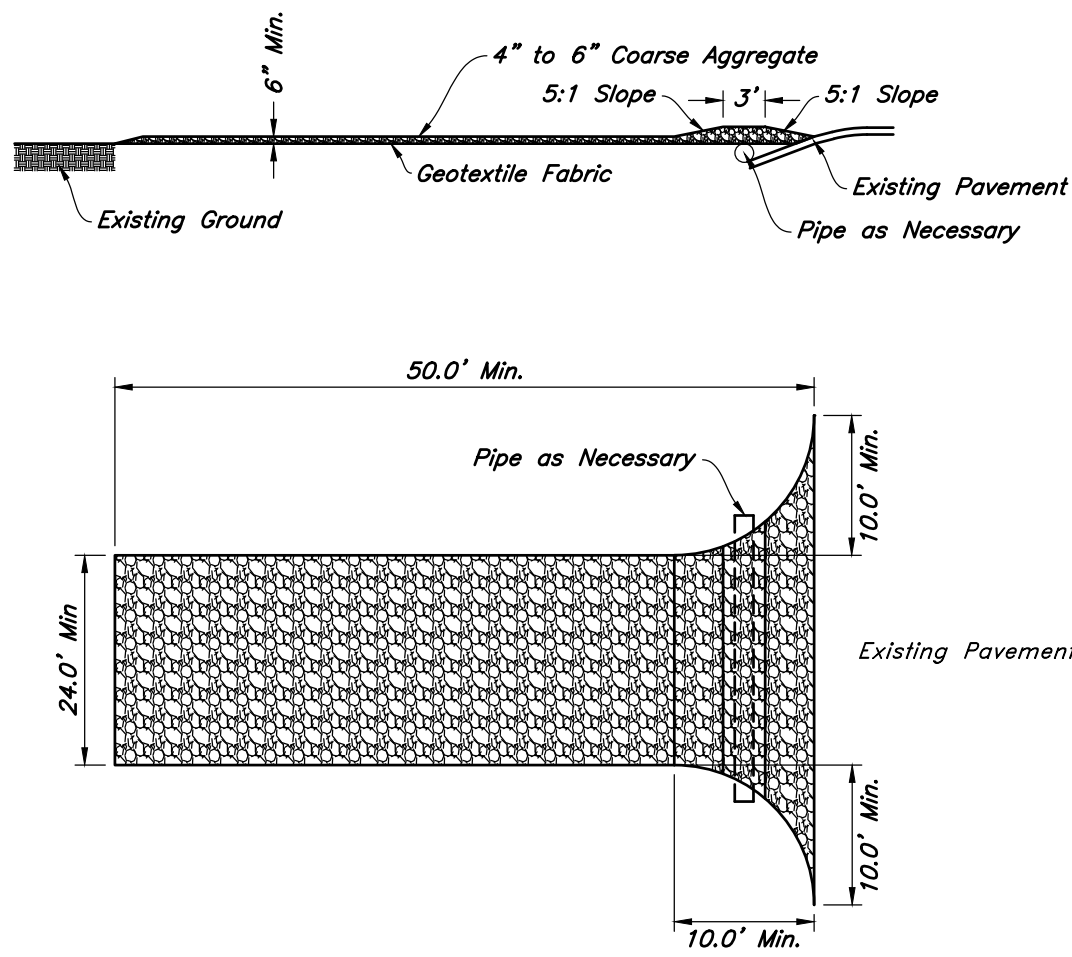
5 Gravel Sock Sediment Barrier
Not to Scale



2 Dandy Sack Inlet Protection
Not to Scale



4 Concrete Washout
Not to Scale



1 Stabilized Construction Entrance
Not to Scale



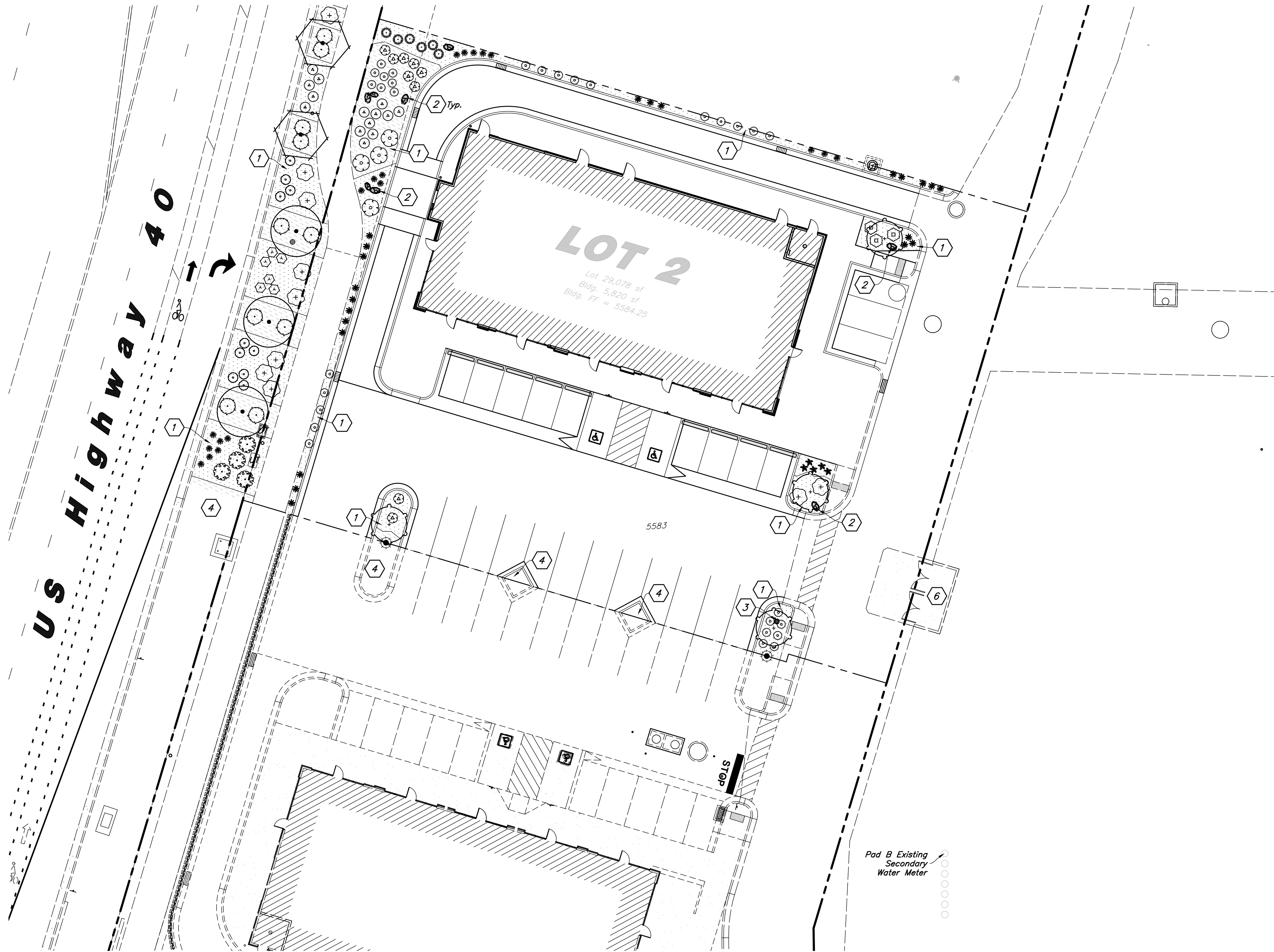
Erosion Control Details
New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah



December 17, 2025

21 Apr, 2025

SHEET NO.
C5.3



PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL / COMMON NAME | SIZE |
|---------------------------|-----|--|------------|
| SITE TREES | | | |
| | 4 | Quercus robur 'Skyrocket' / Skyrocket English Oak | 2" Caliper |
| STREET TREES | | | |
| | 3 | Acer grandidentatum / Bigtooth Maple | 2" Caliper |
| | 2 | Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam | 2" Caliper |
| SHRUBS | | | |
| | 8 | Caragana frutex 'Globosa' / Globe Russian Peashrub | 5 gal |
| | 4 | Cornus sericea / Red Twig Dogwood | 5 gal |
| | 4 | Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea | 5 gal |
| | 3 | Juniperus communis 'Alpine Carpet' / Juniper | 5 gal |
| | 10 | Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper | 5 gal |
| | 6 | Pinus mugo 'Pumilio' / Dwarf Mugo Pine | 5 gal |
| | 6 | Potentilla fruticosa 'Pink Beauty' / Pink Beauty Bush Cinquefoil | 5 gal |
| | 14 | Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla | 5 gal |
| | 10 | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac | 5 gal |
| | 10 | Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea | 5 gal |
| ORNAMENTAL GRASSES | | | |
| | 30 | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass | 1 gal |
| PERENNIALS | | | |
| | 5 | Hemerocallis x 'Red Hot Returns' / Red Hot Returns Daylily | 1 gal |
| | 22 | Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily | 1 gal |
| | 19 | Nepeta x faassenii 'Dropmore' / Catmint | 1 gal |

MATERIAL SCHEDULE

| Symbol | Comments | Details |
|--------|---|---------|
| | Decorative Stone #1 - Install over Dewitt Pro5 Weed Barrier at a Three (3) Inch Depth to Cover Weed Barrier; Stone Shall be Used in all Specified Shrub Areas Where Shown on Plan and Washed Prior to Installation; Stone Shall be 1-1/2" Diameter Crushed, Tan Colored Stone From Brown's Canyon Quarry; Match Smith's Stone Across the Street to the South; Submit Sample for Approval | 2/L1.1 |
| | Decorative Stone #2 - Install over Dewitt Pro5 Weed Barrier at a Depth to Cover Weed Barrier; Stone Shall be Used in all Specified Shrub Planters and Washed Prior to Installation; Stone Shall be 1-5" Diameter, Crushed, Grayish-White Colored Stone From Geneva Rock Quarry in Located in Morgan; Match Smith's Stone to the South; Match Smith's Stone Across the Street to the South; Submit Sample for Approval | 2/L1.1 |
| | Landscape Boulder - Boulders Shall be 3-4' in Diameter, Angular, and Match Decorative Stone Color From Brown's Canyon Quarry (Tan Color); Boulders Shall be Recessed into Ground and Washed Prior to Installation; Match Smith's Boulders to the South; Submit Photo for Approval | 4/L1.1 |

Scale: 1" = 20'

Landscape Data
Pad B Site Area = 39,184 s.f. (0.90 ac.)
Pad B Landscape Area = 3,780 s.f. (0.09 ac.)
Highway 40 Street Trees Required = 5 Trees
Highway 40 Street Trees Provided = 5 Trees +
Plant Material Shall Provide 40% Coverage at Maturity
+ Street Tree Spacing Shall be Every 30' with Medium Size Trees; Trees Have Been Selected From the Heber City Tree List

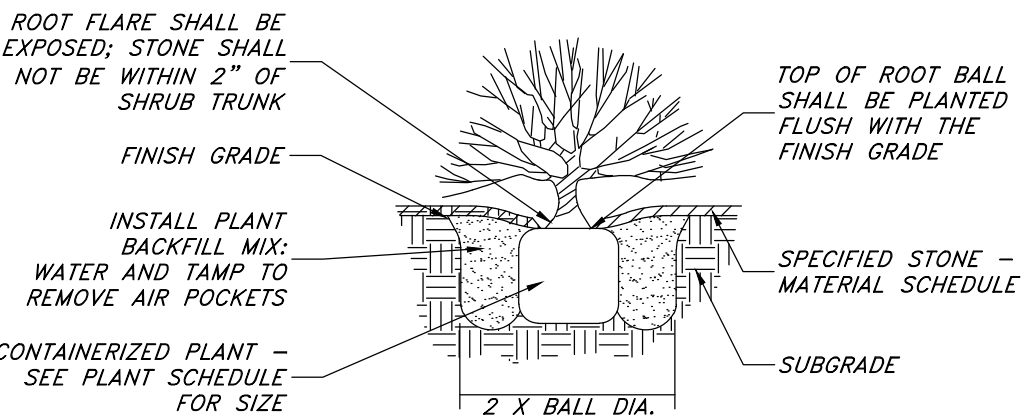
Landscape Notes:
1. All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Plant Source Drip Shall be Used for Shrub Areas. See Sheet L2.1 for Irrigation Layout and Irrigation Notes. See Sheet L2.2 for Irrigation Details.
2. Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
3. All Areas Disturbed by Construction Shall be Landscaped and not Left Undone. Contact Landscape Architect with Areas in Question.
4. No Edging Shall be Used Between Different Types and Sizes of Stone. Provide a Clean Define Line Between Stone as Shown on Plan.

Landscape Installation Keynotes
1. Install Shrub Planter with Decorative Stone and Weed Barrier. See Material Schedule for Stone Type.
2. Install Landscape Boulder.
3. Existing Fire Hydrant - Keep Area Clear of Plant Material.
4. Landscape Shall be Installed with Adjacent Lot; Provide Nice Clean Edge Between New and Undeveloped Landscape Area.
5. New Light Pole - See Site Elect. Plans; Evenly Space Plant Material Around Light Poles.
6. Existing Trash Enclosure.
UT - Existing/New Utility Manhole or Box; Adjust Plant Material as Needed to Allow Access to Utilities

General Landscape Notes:

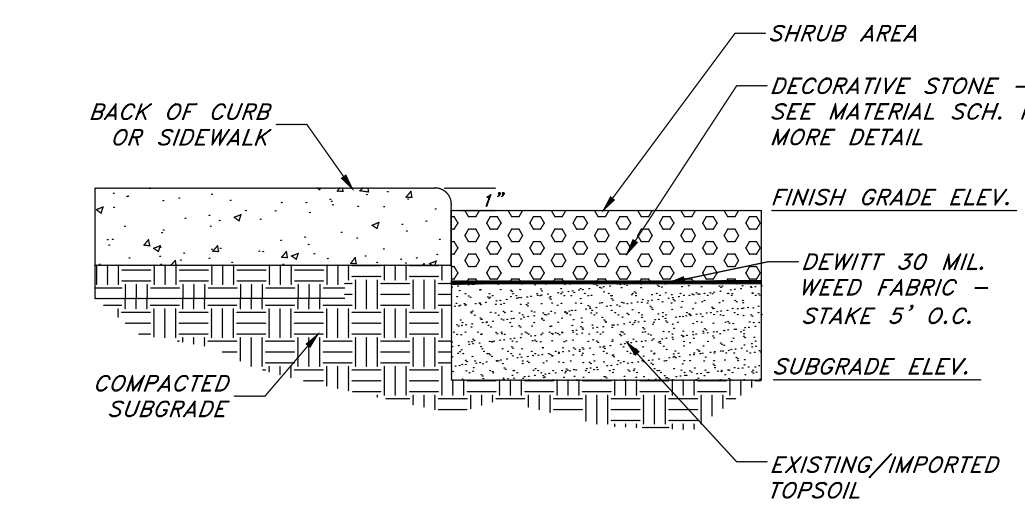
- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of any unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Cleanup must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurseryman, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants

- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing and/or imported topsoil shall be used for all landscape areas. Verify if existing topsoil is available and acceptable for shrub areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on existing and/or imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide an 8 inch depth of existing and/or imported topsoil in shrub areas and 12 inch depth in parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 Weed Barrier. Weed barrier shall be overlapped six (6) inches at seams and staked down using triangular spacing at five (5) feet spacing. Install fussy side down. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking detail. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #CT32.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.

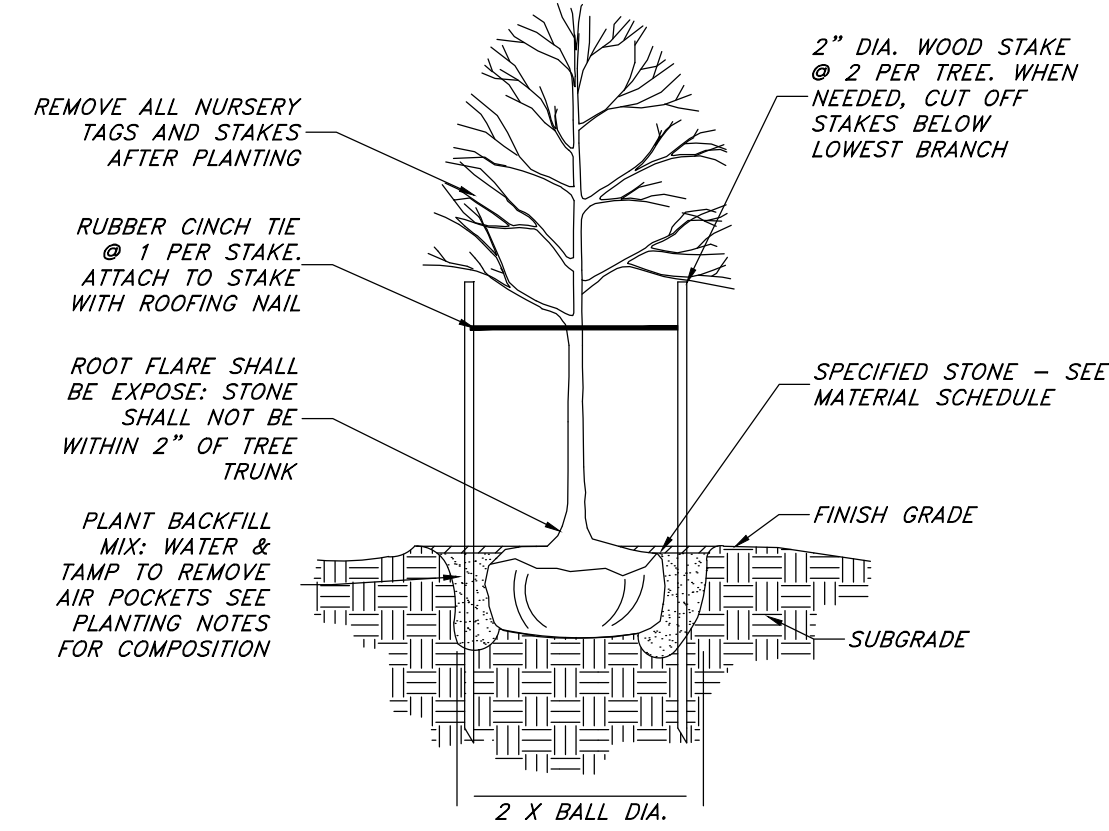


- NOTE:
- SEE GENERAL LANDSCAPE NOTES FOR PLANT BACKFILL MIX COMPOSITION.
 - REMOVE ALL NURSERY TAGS AND STAKES AFTER PLANTING.

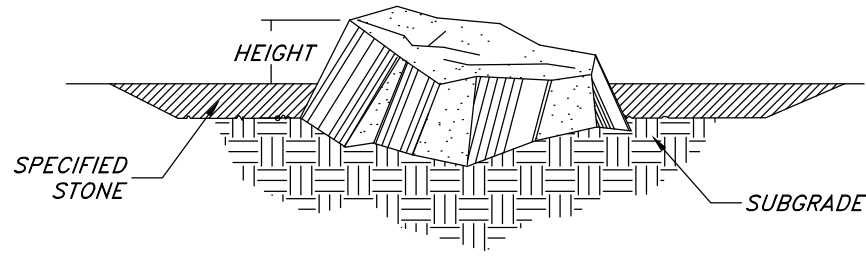
SHRUB PLANTING



LANDSCAPE PREPARATION



DECIDUOUS TREE PLANTING



- NOTE:
- USE CARE TO MINIMIZE MARRING & SCRATCHING
 - BURY TWO INCHES OF BOULDER HEIGHT INTO SOIL, KEEPING BEST VISUAL SIDE ABOVE GROUND.

LANDSCAPE BOULDER



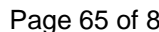
Landscape Plan
New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AllWiring.net

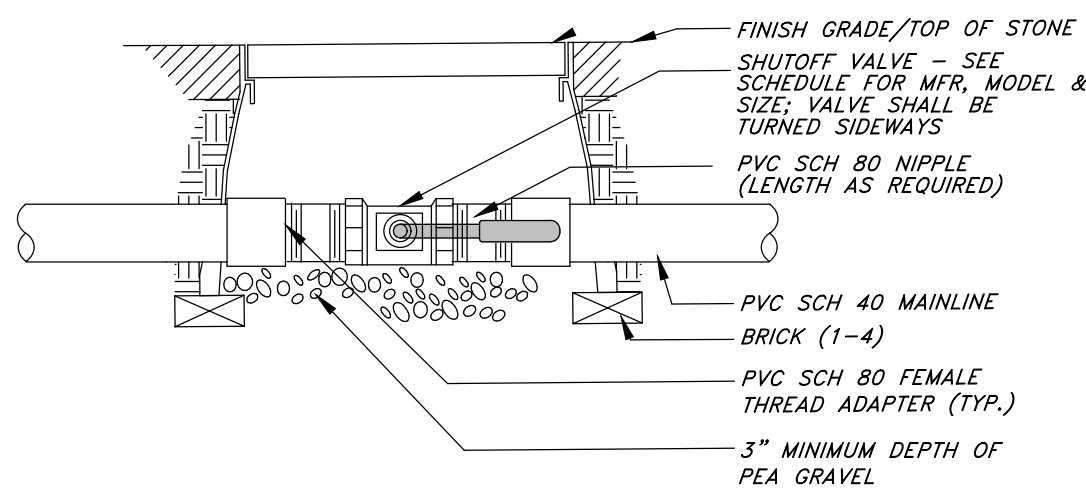
State of Utah
Jared R. Mansfield
No. 7740426-3301
12/17/2020
Licensed Landscape Architect

21 Apr, 2025

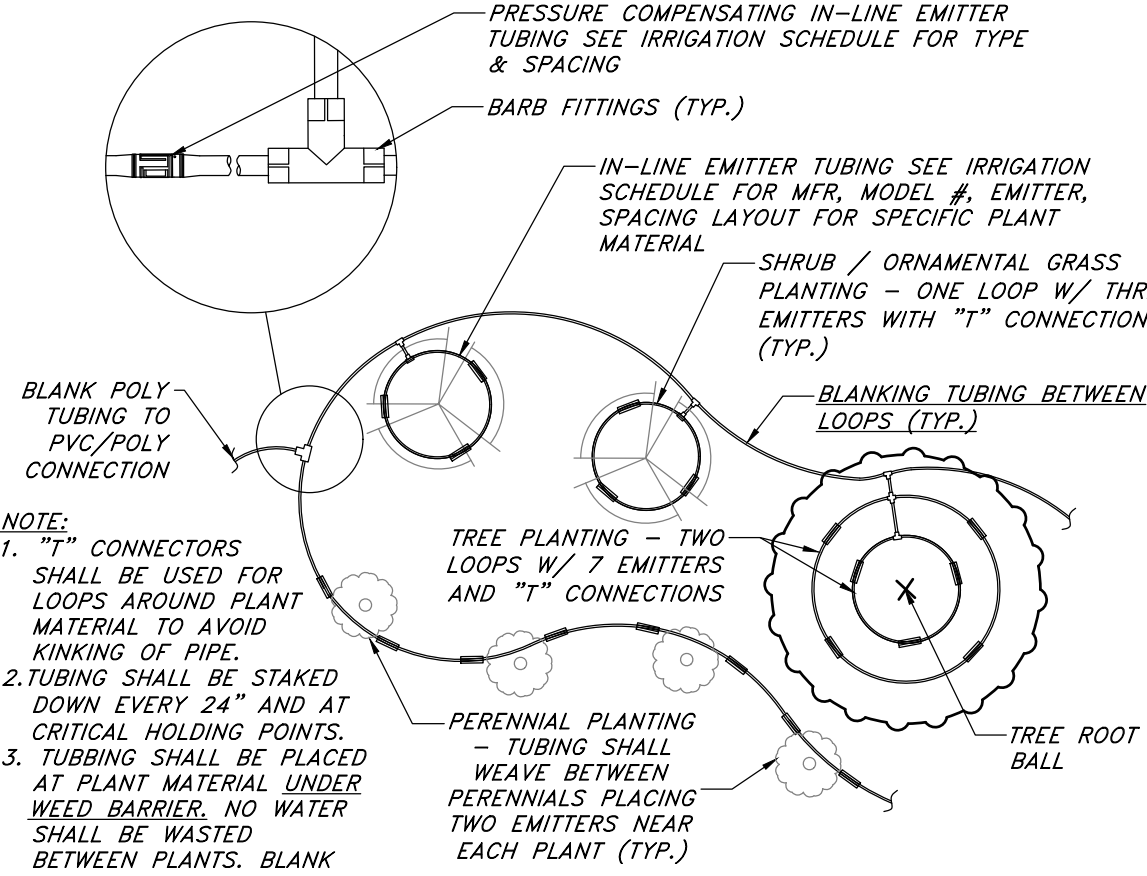
SHEET NO.

L1.1

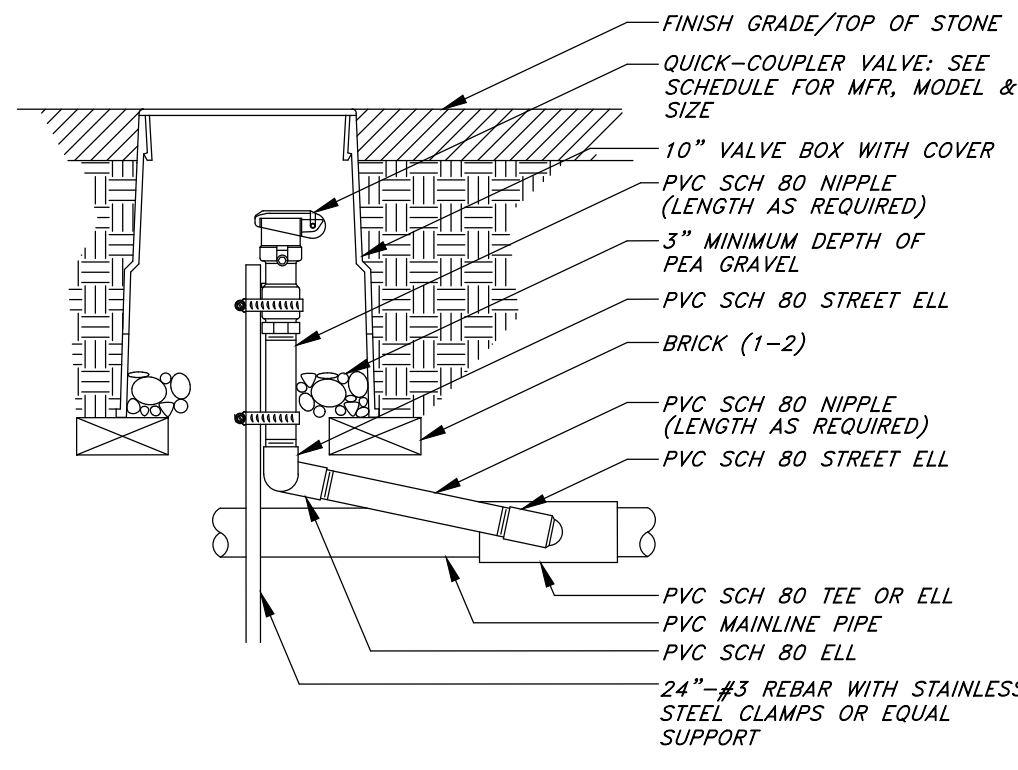




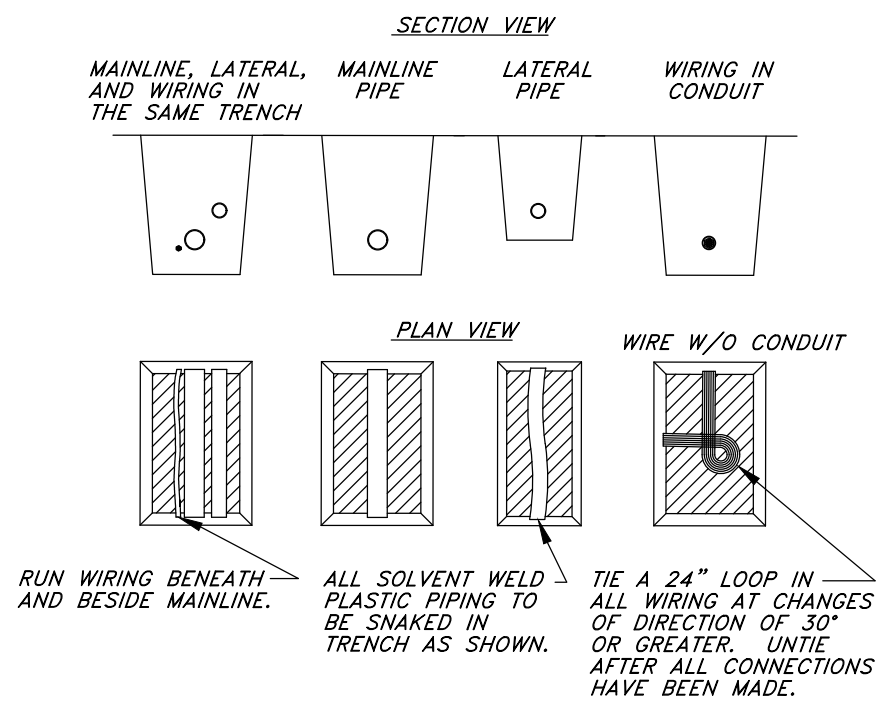
1 SHUTOFF VALVE - BALL VALVE
NOT TO SCALE



2 DRIP TUBING AT PLANT
NOT TO SCALE

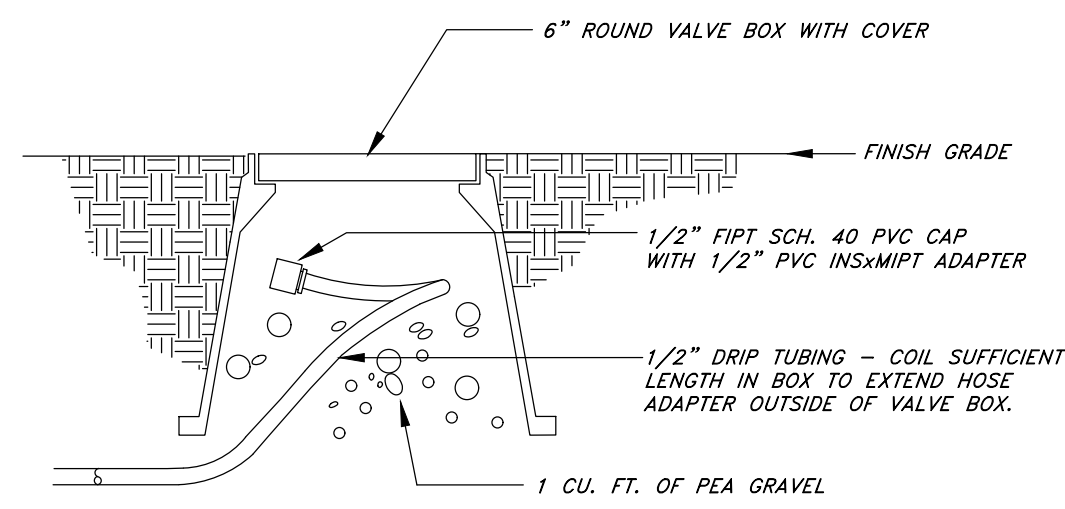


3 QUICK COUPLING VALVE
NOT TO SCALE

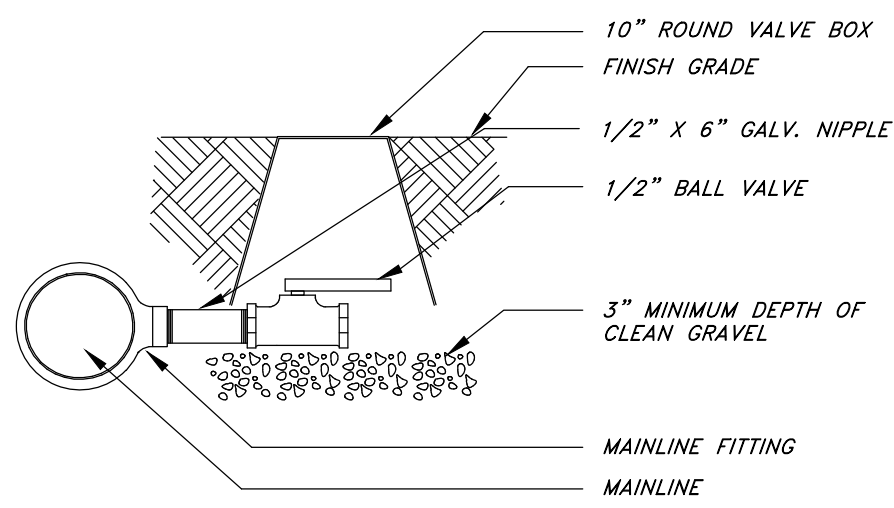


- NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH. 40 PVC PIPE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
 2. FOR PIPE AND WIRE BURIAL DEPTHS SEE IRRIGATION NOTES.

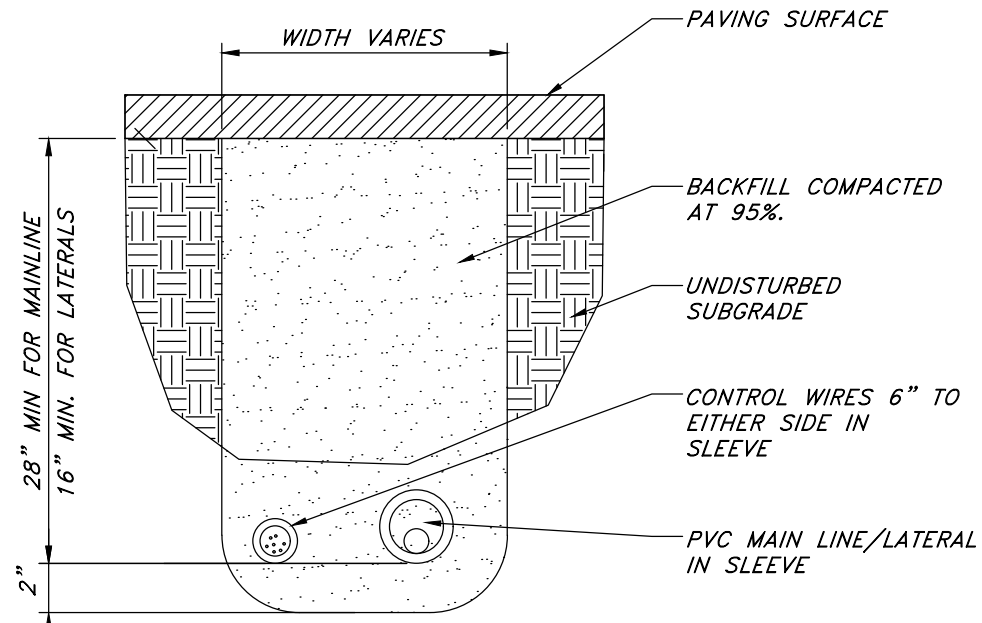
4 PIPE & WIRE TRENCHING
NOT TO SCALE



5 COMPRESSION FLUSH CAP
NOT TO SCALE

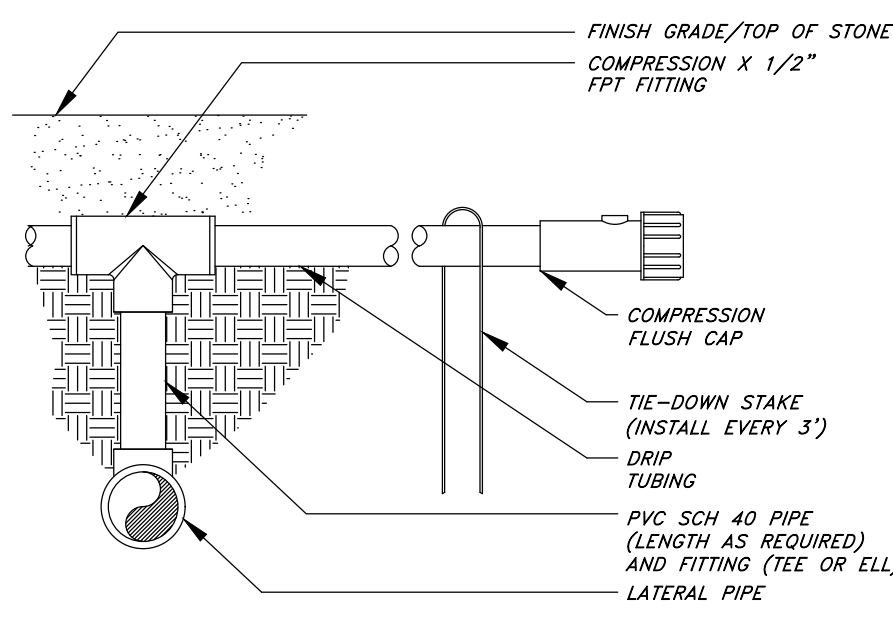


6 MANUAL DRAIN VALVE
NOT TO SCALE

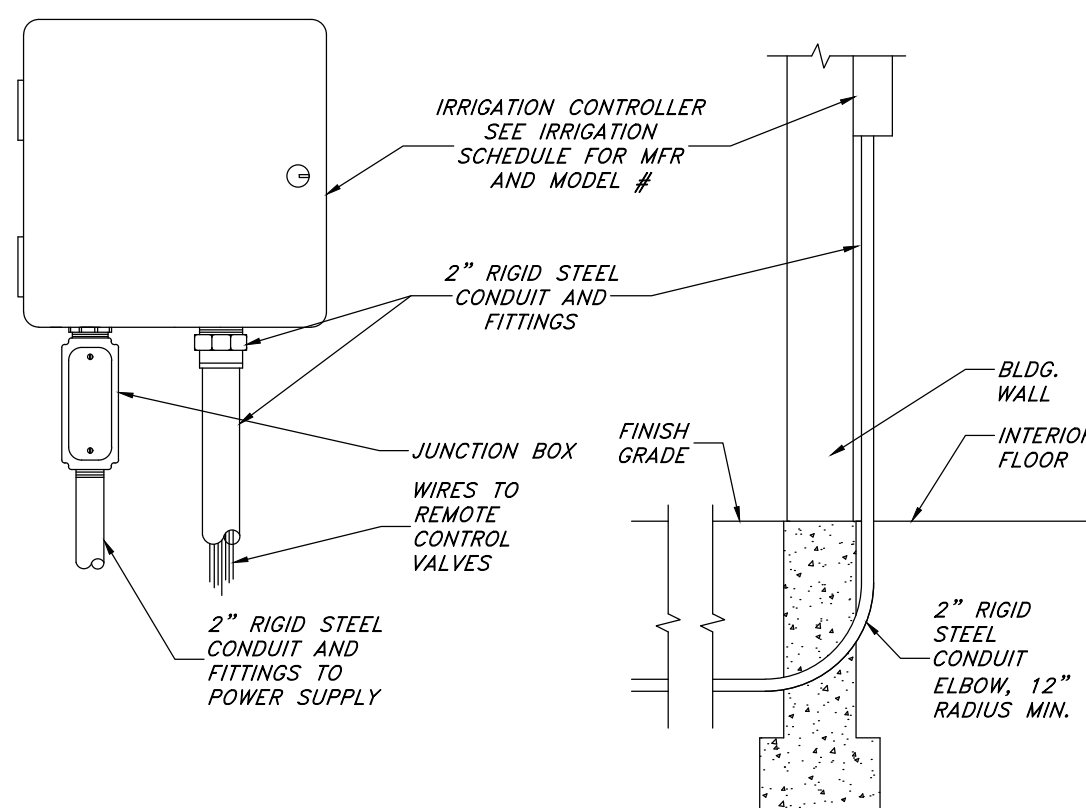


- NOTE:
1. ALL IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
 2. ALL SLEEVES SHALL BE TWICE THE NOMINAL SIZE OF THE PIPE WITHIN.
 3. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 4. SLEEVE TO BE RUN UNDER PAVEMENT AND EXTEND A MIN. OF 18\"/>

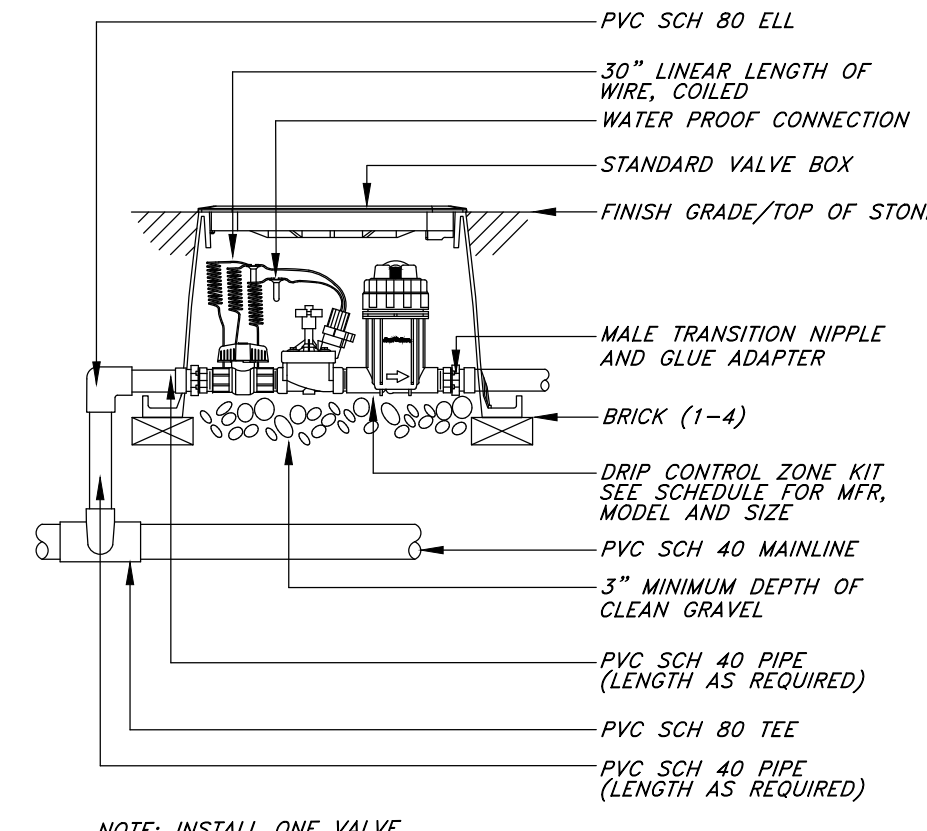
7 PIPE SLEEVING
NOT TO SCALE



8 PVC TO POLY PIPE CONNECTION
NOT TO SCALE

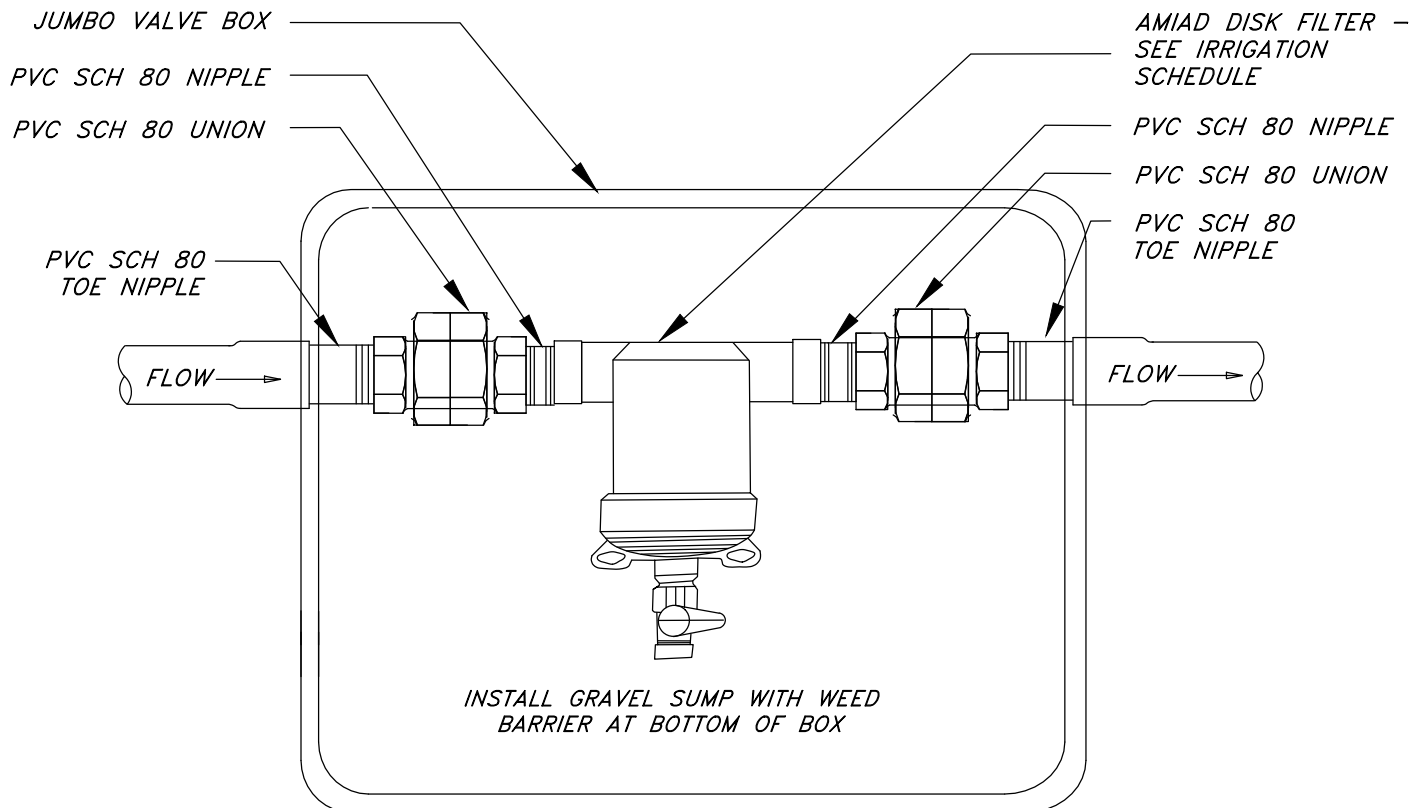


9 IRR. CONTROLLER - INDOOR WALL MOUNT
NOT TO SCALE



- NOTE: INSTALL ONE VALVE PER IRRIGATION BOX

10 DRIP CONTROL VALVE
NOT TO SCALE



11 SECONDARY WATER FILTER
NOT TO SCALE

Designed by: xx
Drafted by: xx
Client Name:
Client
21-263_03_B-IR

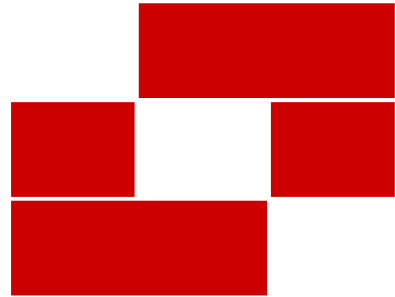


Irrigation Details
New London North Commercial Development Lot 2 Site Plan
948 North Main Street (US 40)
Heber City, Utah



21 Apr, 2025
SHEET NO.
L2.2





BabcockDesign

Salt Lake City
52 Exchange Place
Salt Lake City, UT 84111
801.531.1144

Boise
800 W Main Street, Suite 940
Boise, ID 83702
208.424.7675

babcockdesign.com

Consultant

WPI ENTERPRISES

WPI HEBER RETAIL
BLDG A

project address



Revisions

| Num. | Description | Date |
|------|-------------|----------|
| 1 | ASI 01 | 04/19/24 |
| 2 | ASI 02 | 12/05/25 |

Project Number | 22050
Original Issue | 03-06-2025
Project Status | PERMIT SET

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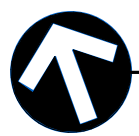
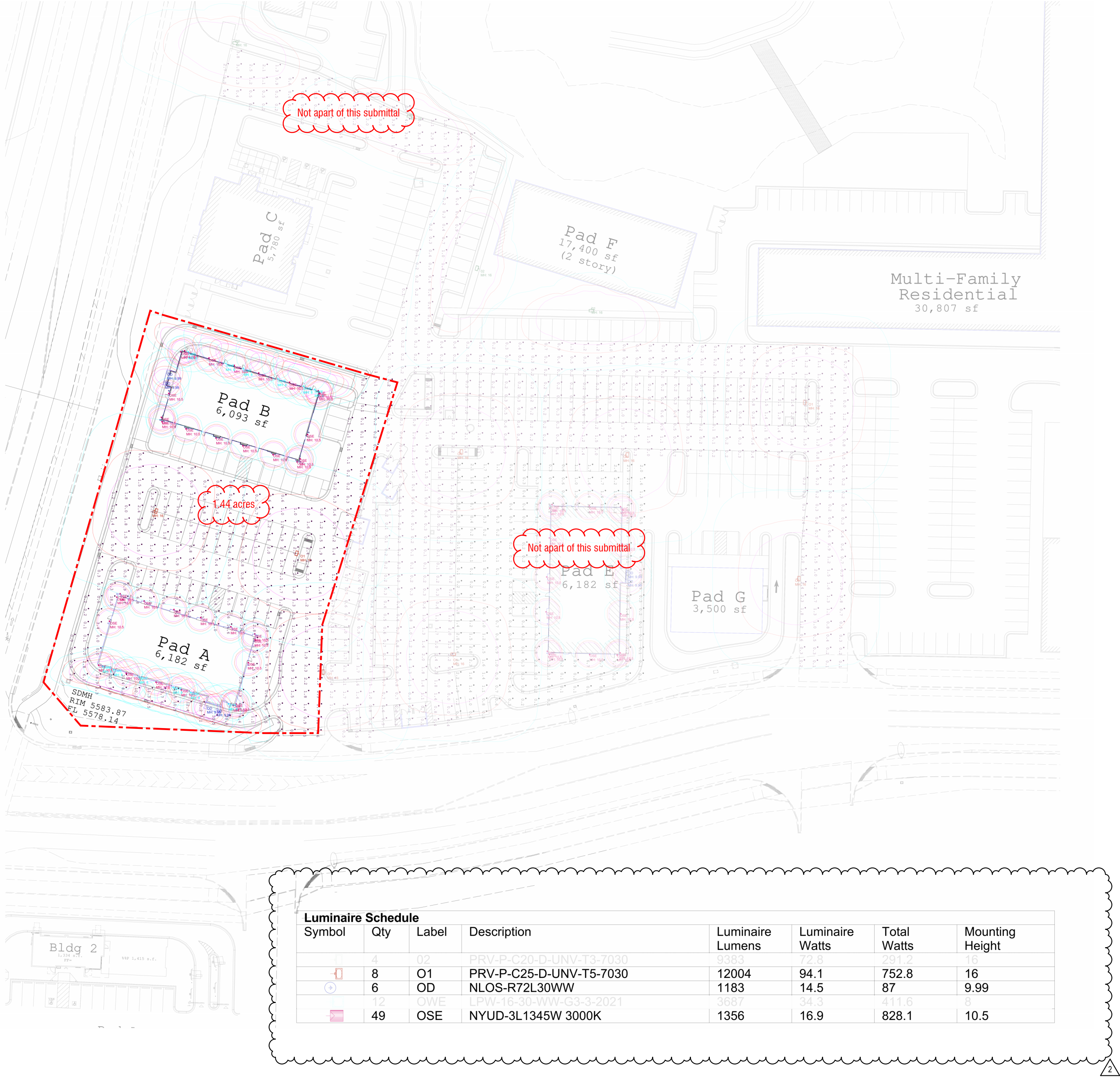
Stamp

Sheet Title

PHOTOMETRICS -
AREA A&B

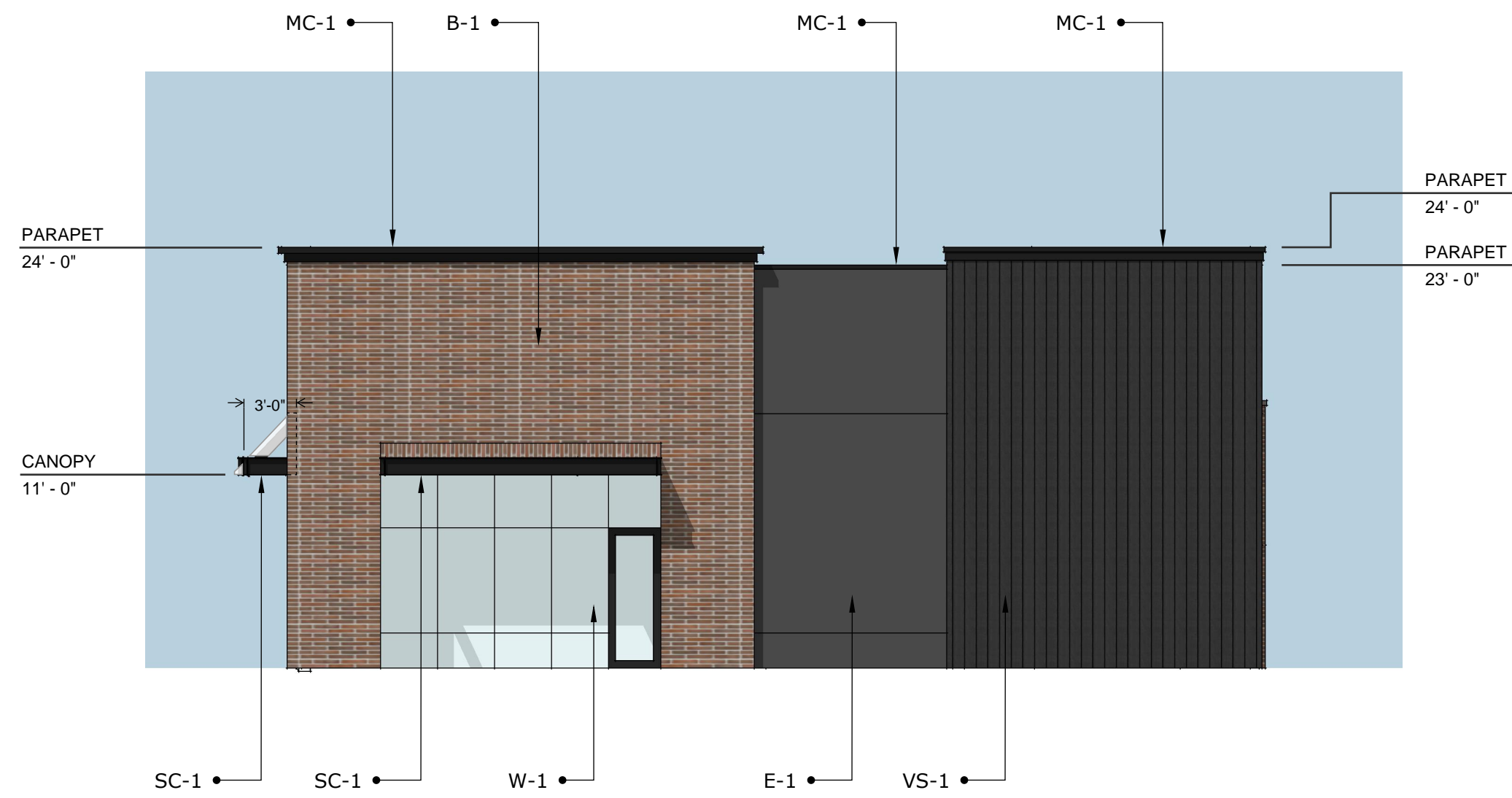
Sheet Number

E103A



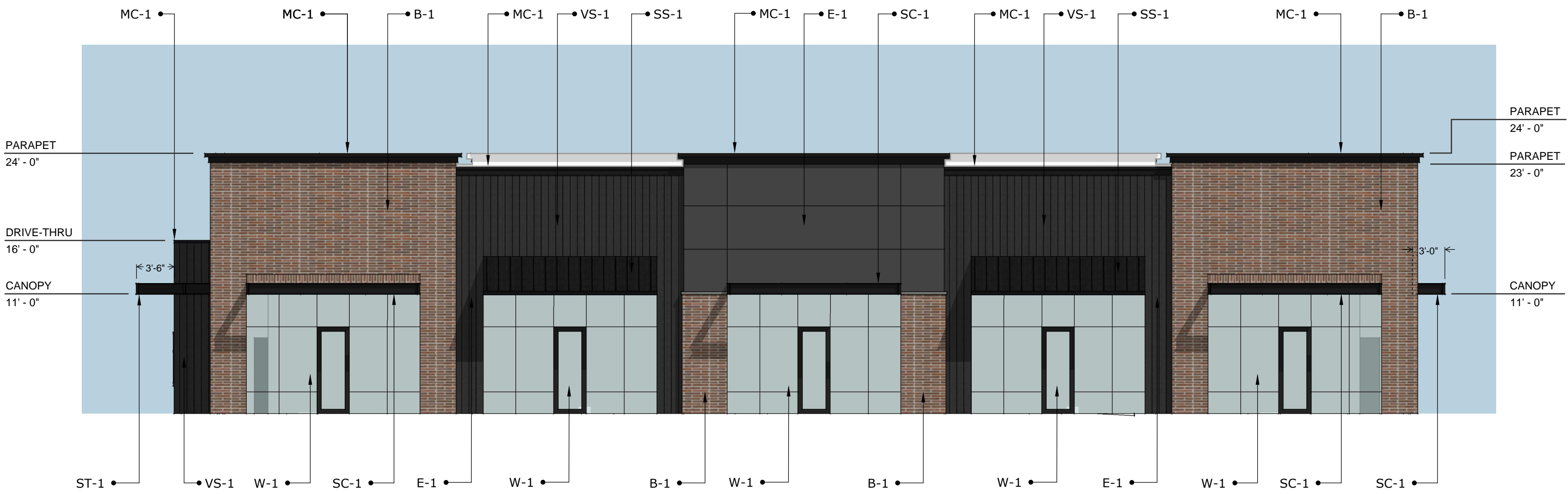
SITE PHOTOMETRIC - BLDG A&B

SCALE = 1" = 40'-0"



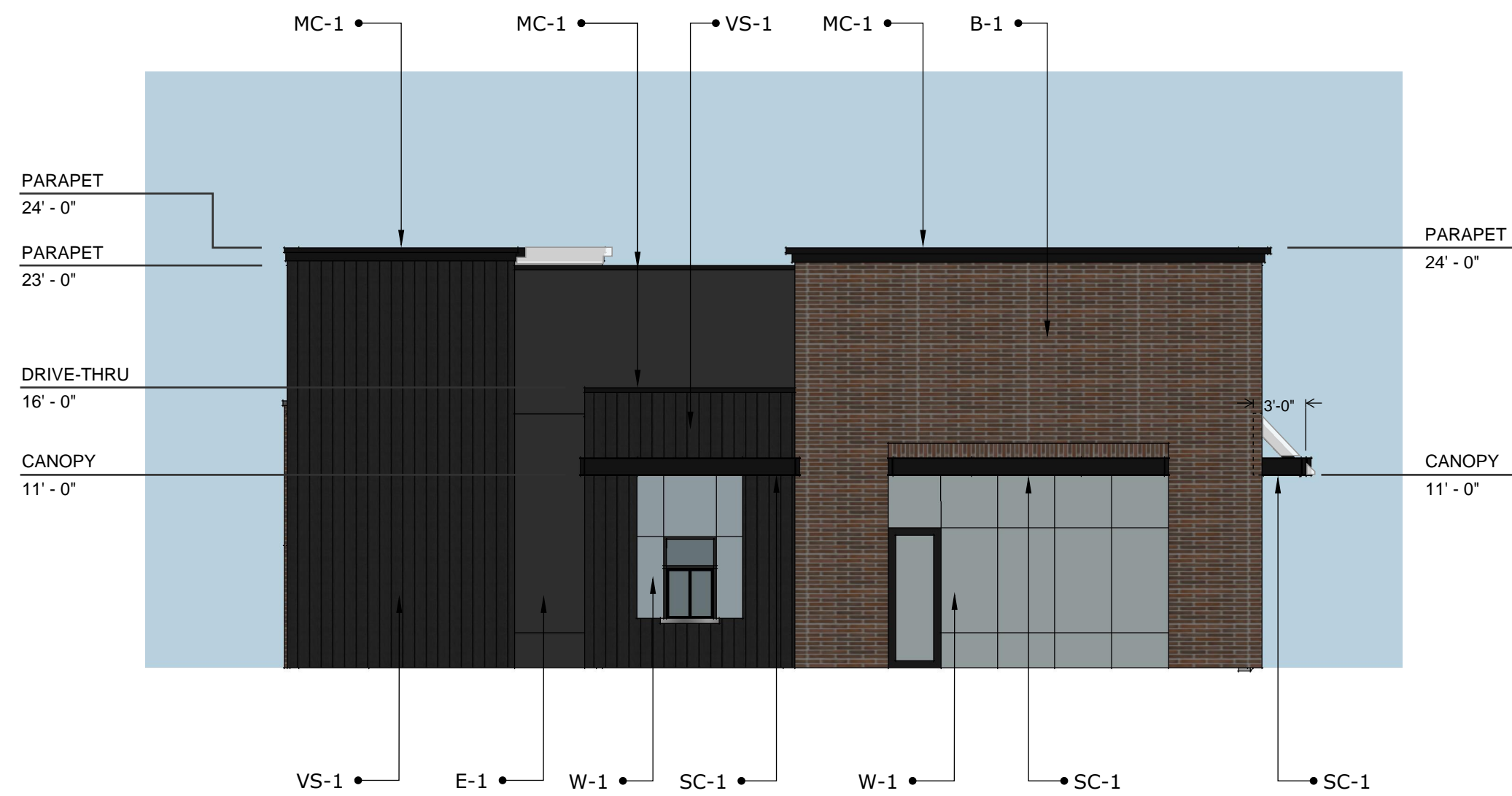
RIGHT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 250 SF (22%) |
| B-1: | 428 SF (37%) |
| VS-1: | 429 SF |
| MC-1: | 27 SF |
| SC-1: | 18 SF |
| WALL TOTAL: | 1,152 SF |
| GLAZING | 176 SF |



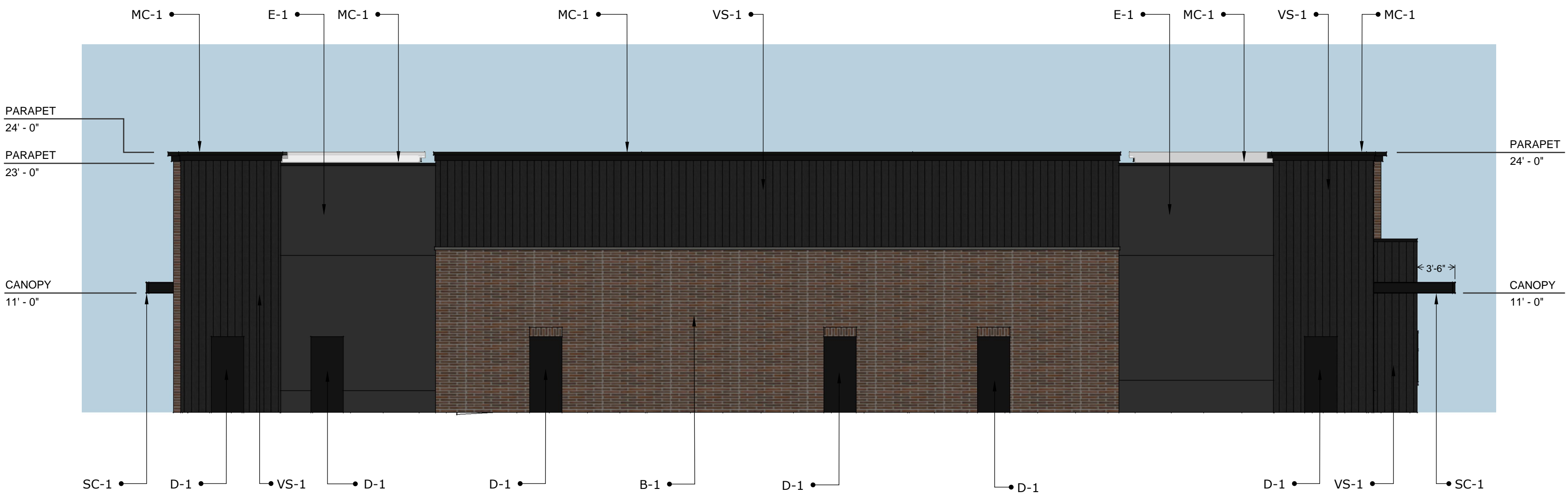
FRONT ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 270 SF (15%) |
| B-1: | 724 SF (41%) |
| VS-1: | 508 SF |
| MC-1: | 42 SF |
| SC-1: | 60 SF |
| SS-1: | 114 SF |
| WALL TOTAL: | 1,718 SF |
| GLAZING | 880 SF |



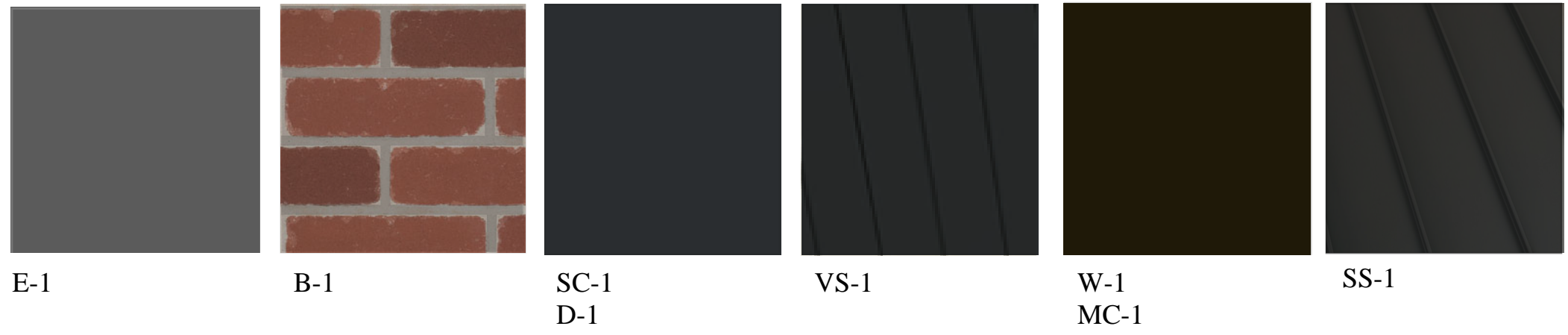
LEFT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 170 SF (15%) |
| B-1: | 426 SF (39%) |
| VS-1: | 435 SF |
| MC-1: | 35 SF |
| SC-1: | 29 SF |
| WALL TOTAL: | 1,095 SF |
| GLAZING | 225 SF |



BACK ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 628 SF (24%) |
| B-1: | 923 SF (36%) |
| VS-1: | 968 SF |
| MC-1: | 50 SF |
| SC-1: | 10 SF |
| WALL TOTAL: | 2,579 SF |
| D-1 | 126 SF |



FINISH SCHEDULE

| | |
|-------|---|
| E-1: | EIFS - DRYVIT, 152 ANTHRACITE COAL |
| B-1: | THIN BRICK VENEER - SUMMIT BRICK, LODO, (MORTAR: DAVIS COLORS 860 DARK GRAY) |
| VS-1: | PAINTED FIBER CEMENT SIDING - JAMES HARDIE, ARTISAN SIDING, SHIPLAP, SW 6993 BLACK OF NIGHT |
| MC-1: | PREFINISHED METAL CAP FLASHING - CMG METALS, EXTRA DARK BRONZE |
| SC-1: | PAINTED STEEL CANOPY - SW 6993 BLACK OF NIGHT |
| SS-1: | STANDING SEAM METAL ROOF - MBCI, TRUE BLACK |
| D-1: | PAINTED HOLLOW METAL DOOR & FRAME - SW 6993 BLACK OF NIGHT |
| W-1: | ALUMINUM STOREFRONT SYSTEM - EXTRA DARK BRONZE |

OR SIMILAR EXTERIOR FINISH PRODUCT



Babcock Design

WPI HEBER RETAIL - BUILDING B
500 North Highway 40 | Heber City, Utah

Salt Lake City 52 Exchange Place SLC, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com

11 FEBRUARY 2025

TF-01



NORTHWEST ELEVATION



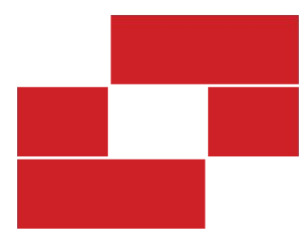
SOUTHWEST ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION



Babcock Design

WPI HEBER RETAIL - BUILDING B

500 North Highway 40 | Heber City, Utah

Salt Lake City 52 Exchange Place SLC, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com

11 FEBRUARY 2025

TF-01



PLANNING COMISSION

New London North Commercial Development Lot 2, Pad B

Site Plan and Conditional Use Permit

Project Details

Location: 948 North US-40

Description: New London Commercial Development Pad B is a Commercial Site Plan and Conditional Use Permit application for an approximate 6,000 square-foot commercial, multi-tenant retail building.

The application is before the Planning Commission because a **Commercial Complex** (*defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application*) requires Planning Commission review. Pad B is a multi-tenant building.

General Plan Designation: SB Scenic Buffer

Zoning: Mixed-Use Residential Commercial

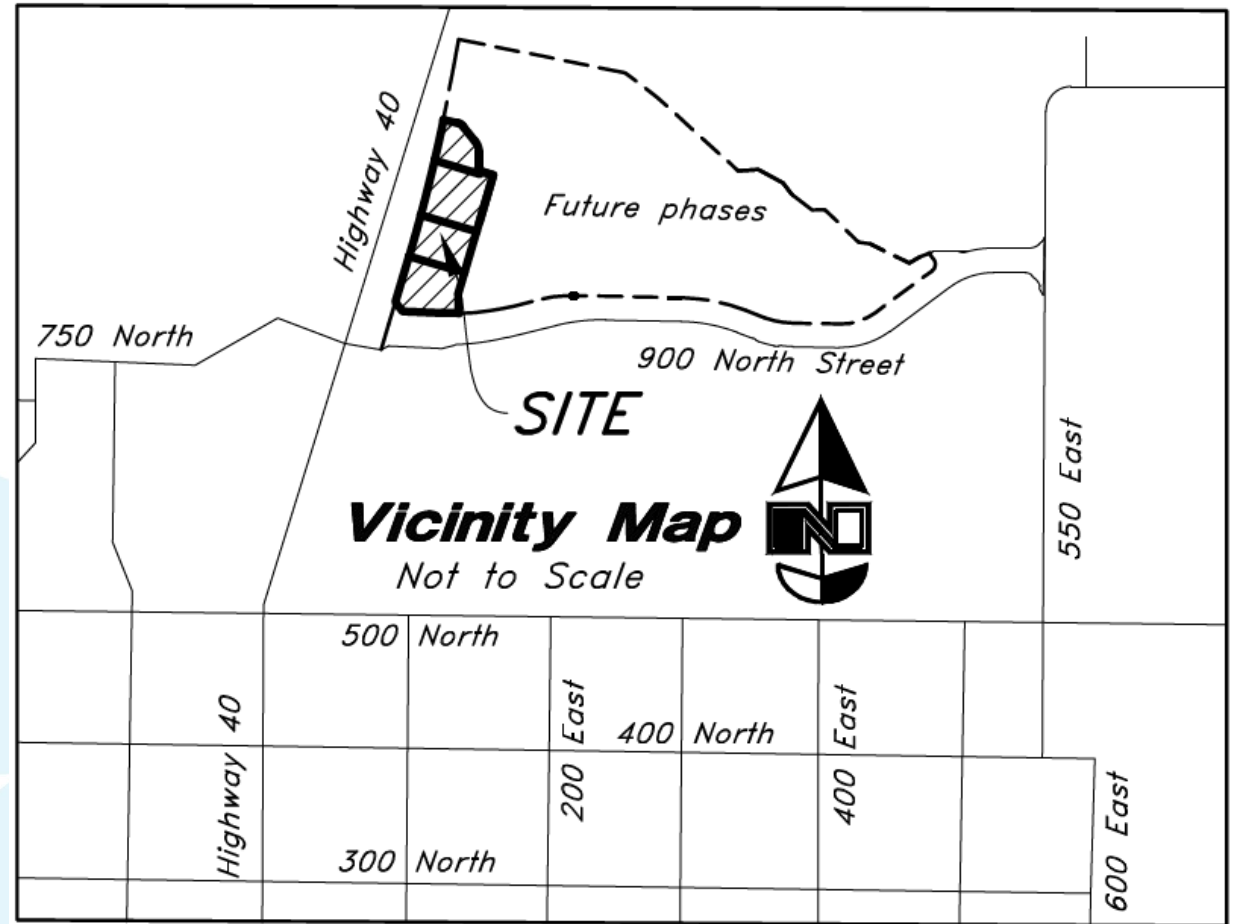
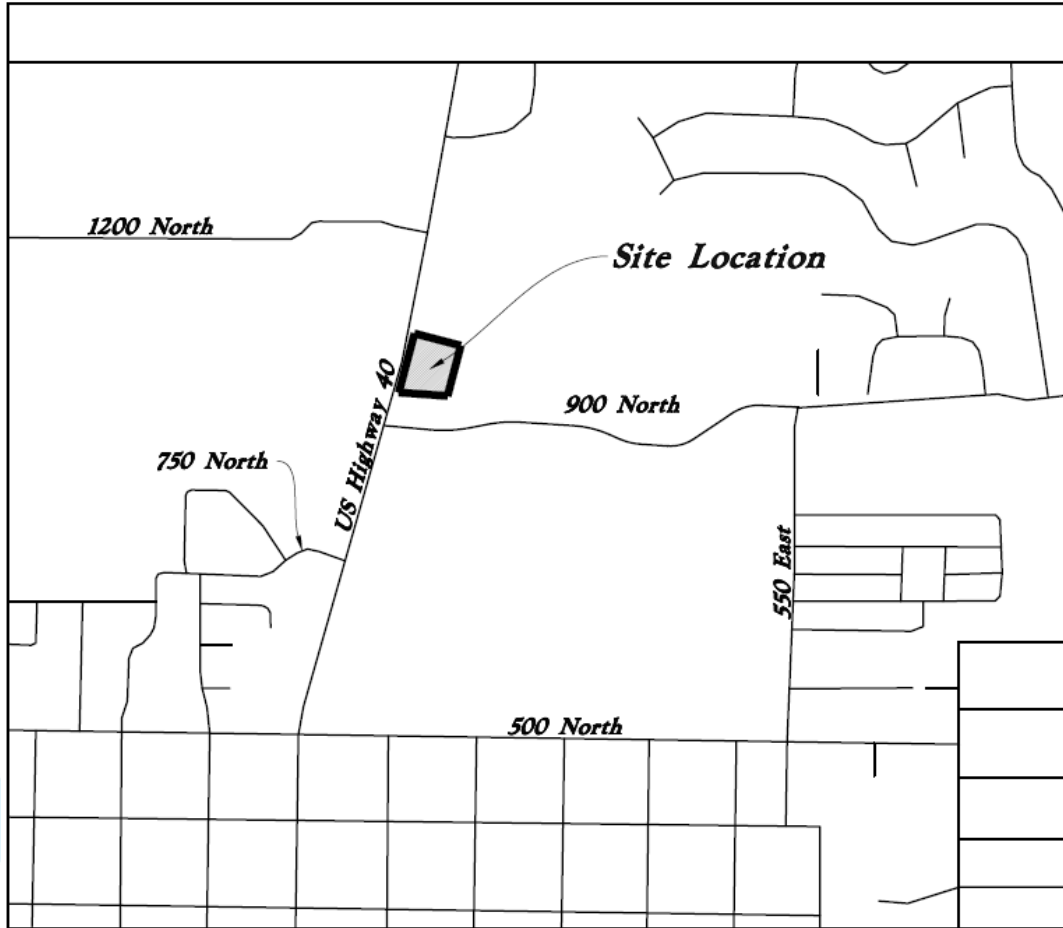
Acres: 0.92 acres

Lots: 1

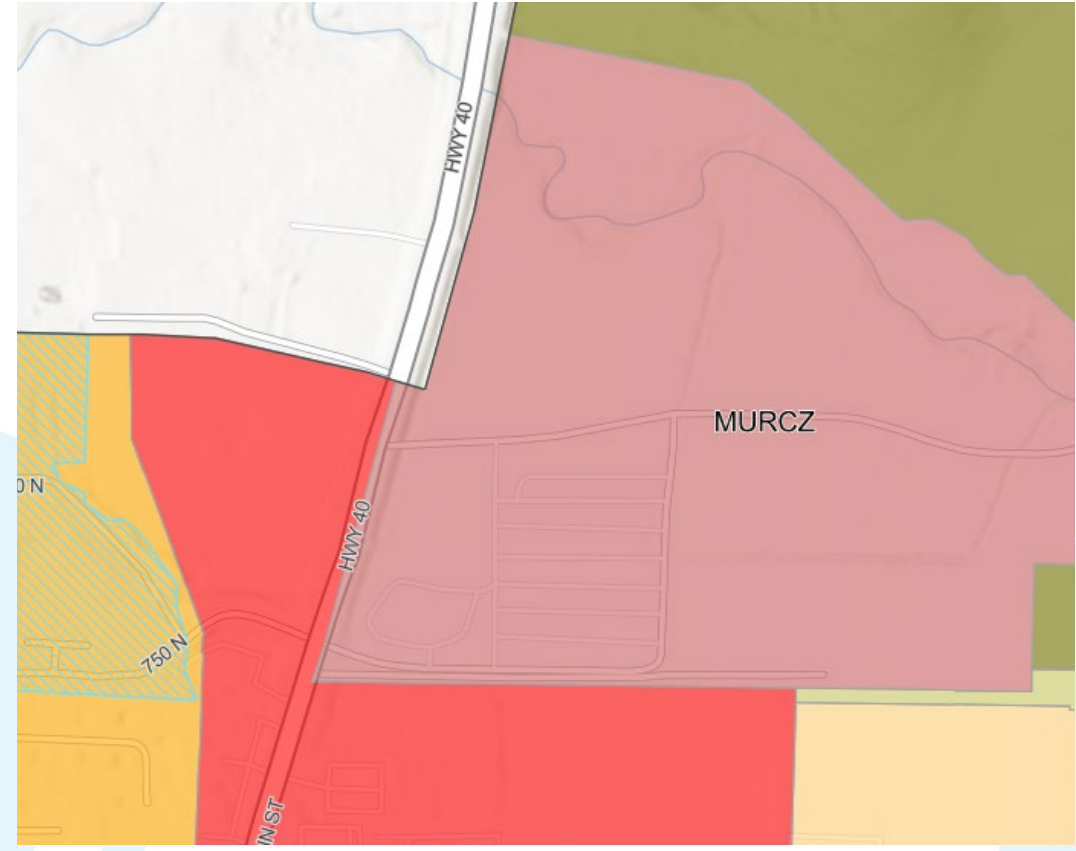
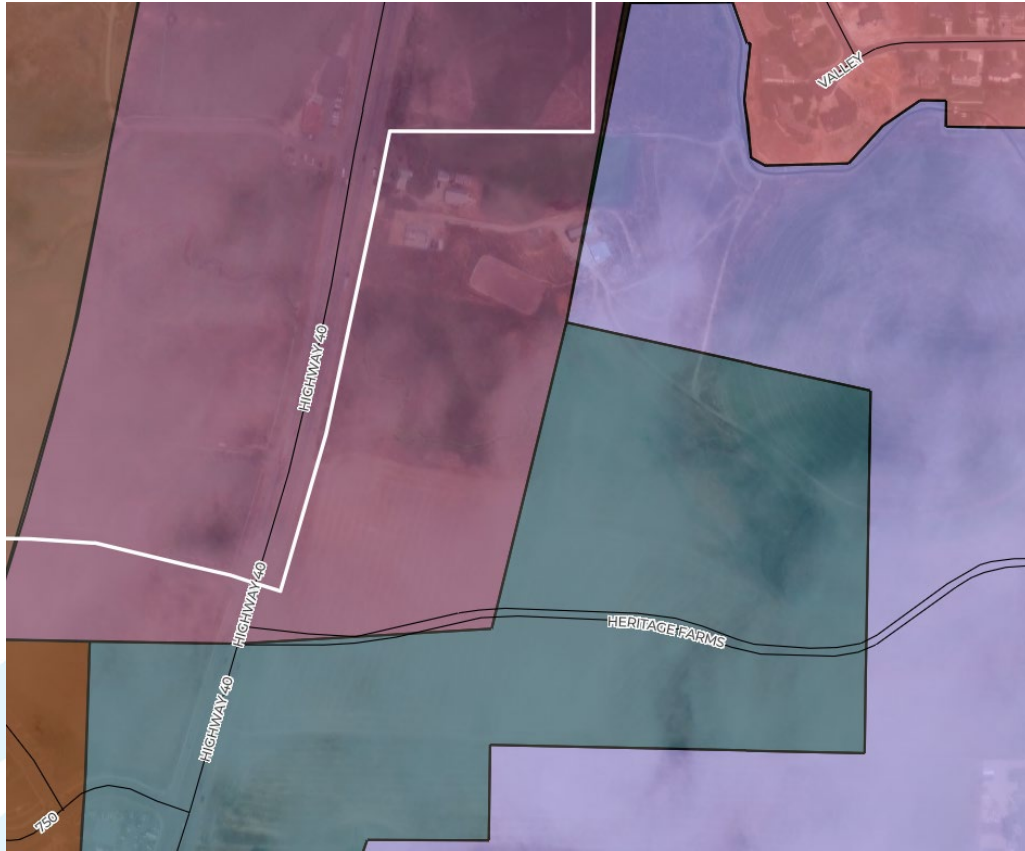
Adjacent Uses:

- North: Vacant/Developing
- South: Commercial (Lot 1 Pad A) /Smiths
- East: Vacant/Developing
- West: Hwy 40

Vicinity Map/Context



General Plan & Zoning Map

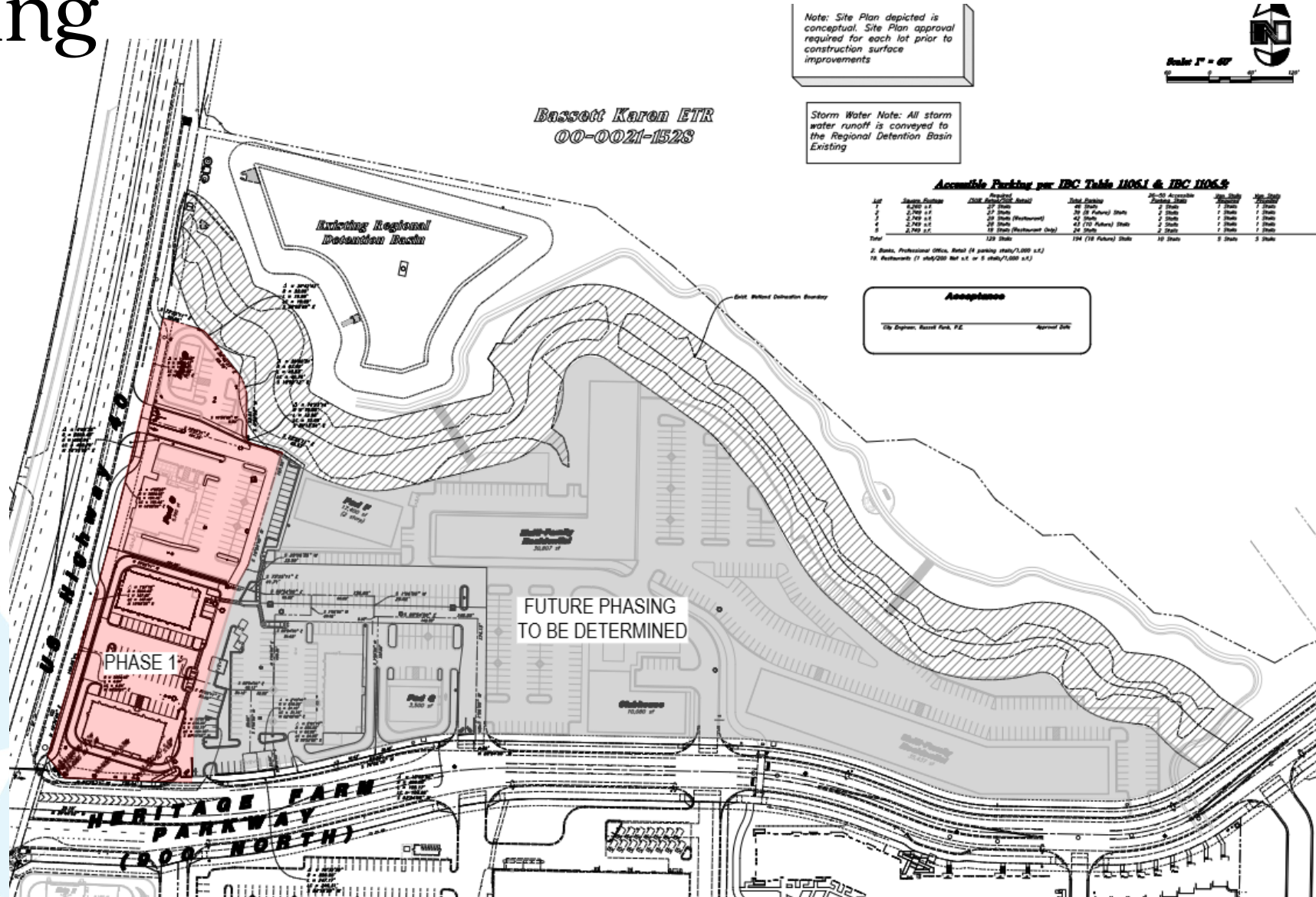


Background:

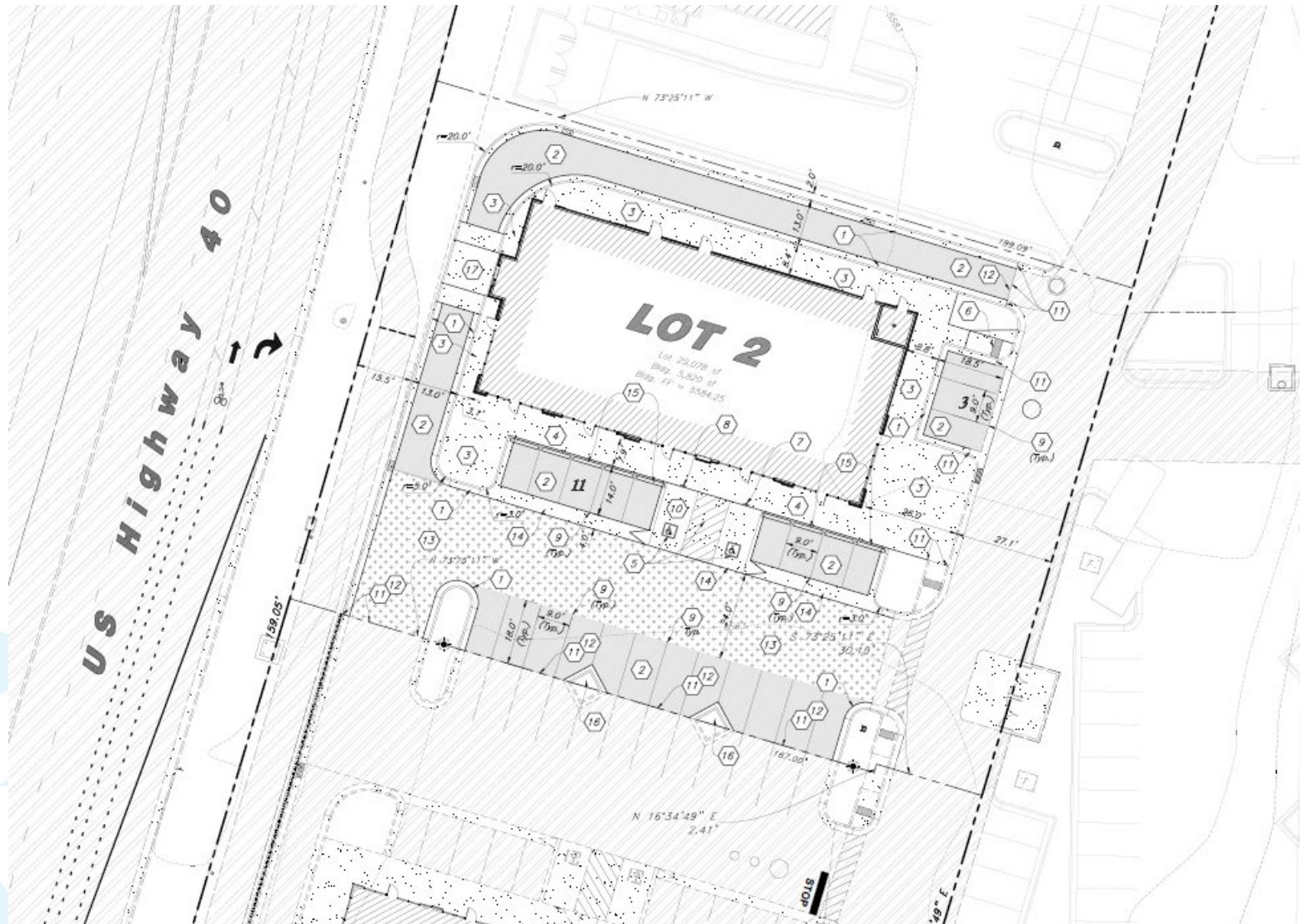
- Lot 2, Pad B is part of the New London North Commercial Subdivision - a four-lot mixed-use development in the Mixed-Use Residential Commercial Zone (MURCZ).
- Lot 2, Pad B is directly north of Lot 1 and includes a proposed 5,584-square-foot multi-tenant building that shares parking and circulation with Lot 1.
- Engineering review required clarifications and revisions on:
 - Site plat title and legal description
 - Coordination with the approved subdivision plat
 - Pad labeling and square footage
 - Utility details shown in accordance with Heber City Standard Drawings
- Wasatch Fire review addressed hydrant placement between Lots 1 and 2 and confirmed fire access through the shared circulation.
- Planning review focused on landscaping, site furnishings, trash enclosure details, and lighting, including the photometric plan, fixture schedule, and use of black fluted poles per city standards.
- After multiple rounds of revision, the site plan generally meets requirements for approval, subject to findings and conditions.



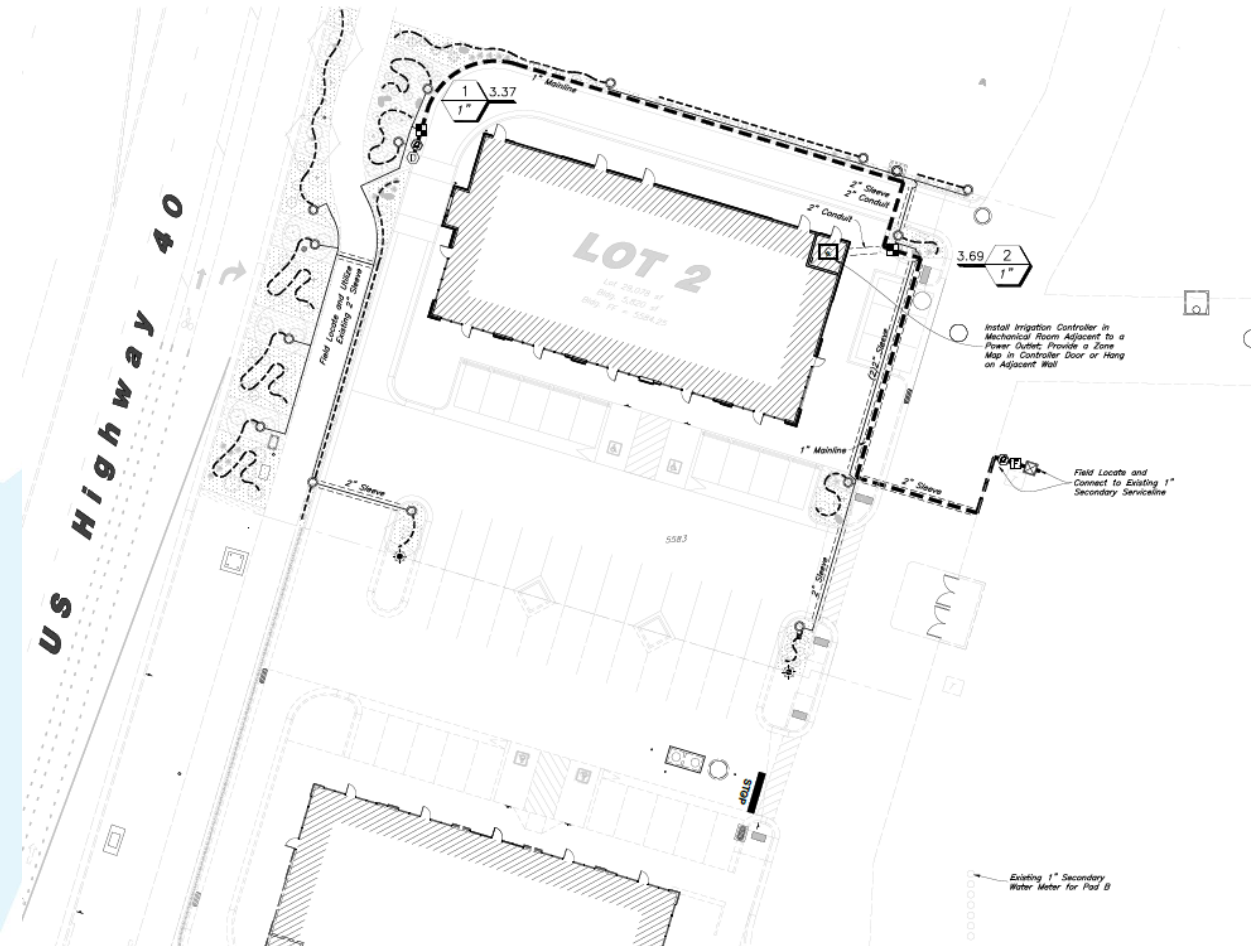
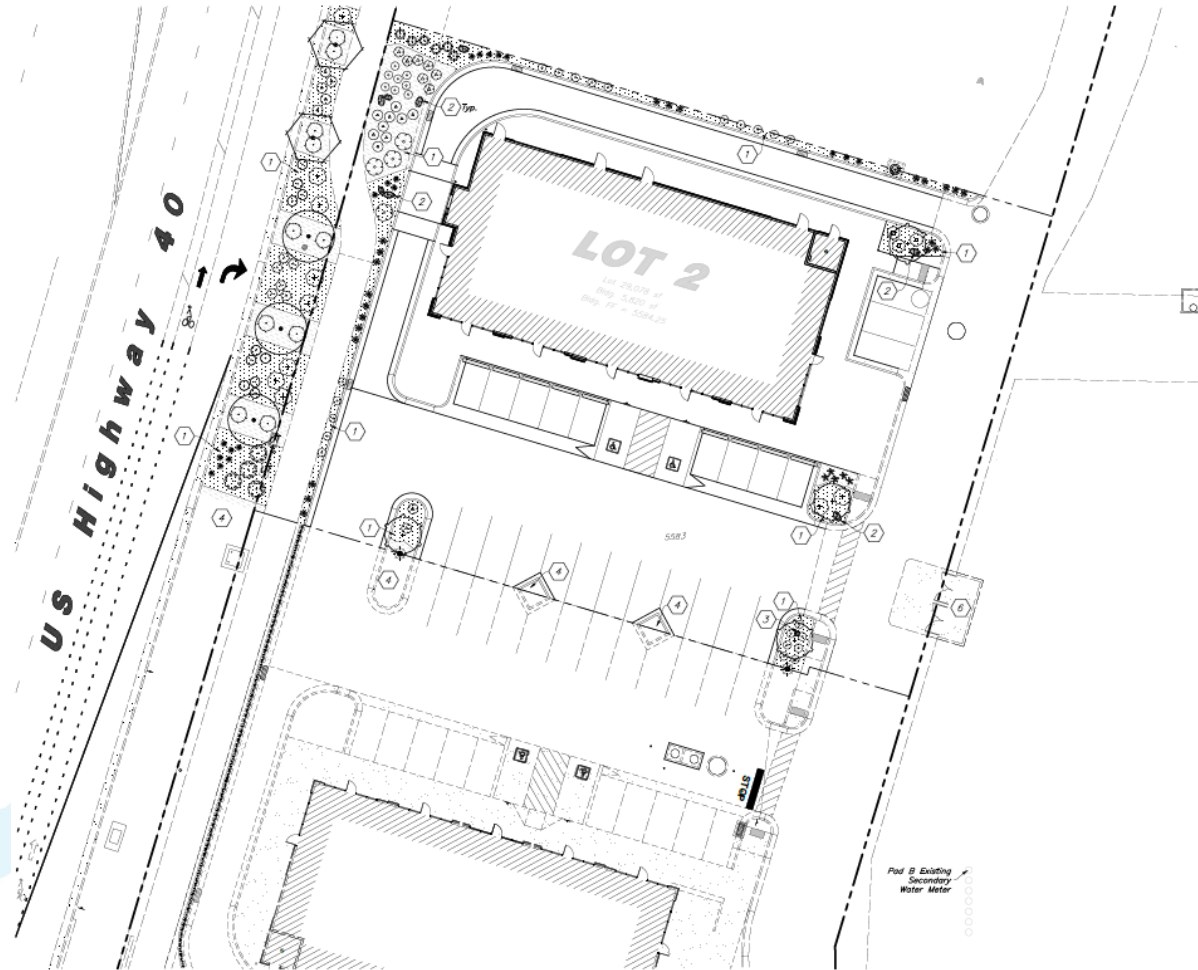
Phasing



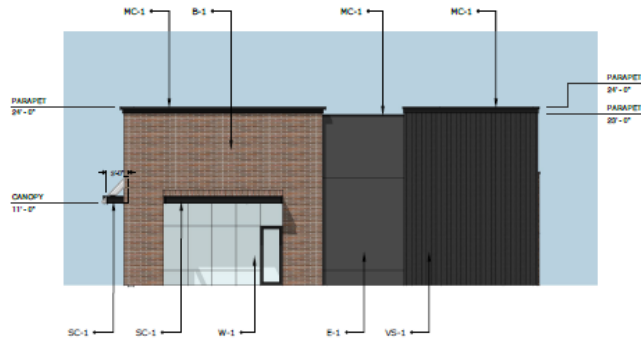
Site Plan



Landscaping & Irrigation

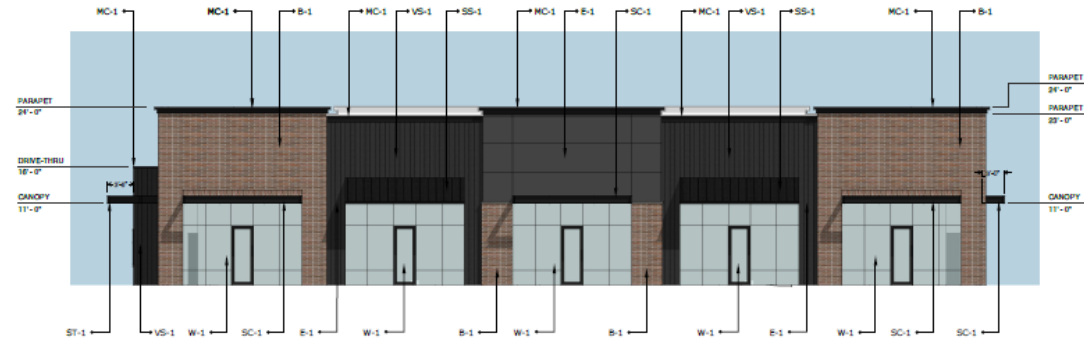


Elevations



RIGHT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 250 SF (22%) |
| B-1: | 428 SF (37%) |
| VS-1: | 429 SF |
| MC-1: | 27 SF |
| SC-1: | 18 SF |
| WALL TOTAL: | 1,152 SF |
| GLAZING | 176 SF |



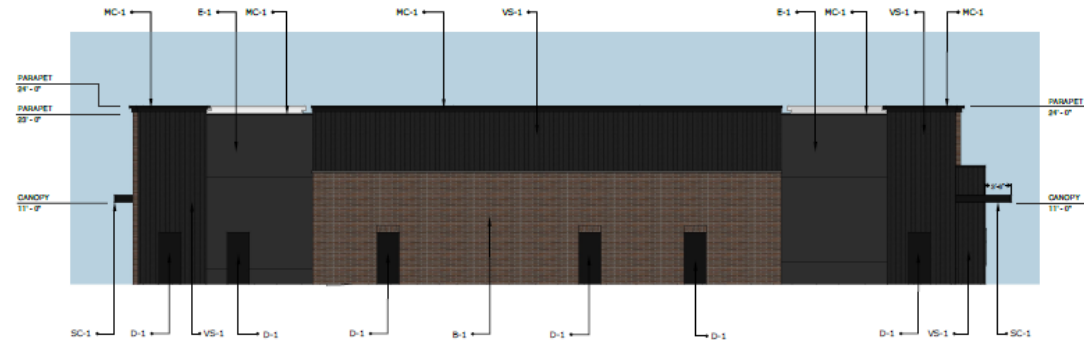
FRONT ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 270 SF (15%) |
| B-1: | 724 SF (41%) |
| VS-1: | 508 SF |
| MC-1: | 42 SF |
| SC-1: | 60 SF |
| SS-1: | 114 SF |
| WALL TOTAL: | 1,718 SF |
| GLAZING | 880 SF |



LEFT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 170 SF (13%) |
| B-1: | 426 SF (33%) |
| VS-1: | 433 SF |
| MC-1: | 33 SF |
| SC-1: | 29 SF |
| WALL TOTAL: | 1,095 SF |
| GLAZING | 223 SF |



BACK ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

| | |
|-------------|--------------|
| E-1: | 628 SF (24%) |
| B-1: | 923 SF (36%) |
| VS-1: | 968 SF |
| MC-1: | 50 SF |
| SC-1: | 10 SF |
| WALL TOTAL: | 2,579 SF |
| D-1: | 126 SF |



FINISH SCHEDULE

| | |
|-------|---|
| E-1: | EIFS - DRIVIT, 152 ANTHRACITE COAL |
| B-1: | THIN BRICK VENEER - SUMMIT BRICK, LODO, (MORTAR: DAVIS COLORS 860 DARK GRAY) |
| VS-1: | PAINTED FIBER CEMENT SIDING - JAMES HARDIE, ARTISAN SIDING, SHIPLAP, SW 6993 BLACK OF NIGHT |
| MC-1: | PAINTED METAL CAP FLASHING - CMG METALS, EXTRA DARK BRONZE |
| SC-1: | PAINTED STEEL CANOPY - SW 6993 BLACK OF NIGHT |
| SS-1: | STANDING SEAM METAL ROOF - MCCI, TRUE BLACK |
| D-1: | PAINTED HOLLOW METAL DOOR & FRAME - SW 6993 BLACK OF NIGHT |
| W-1: | ALUMINUM STOREFRONT SYSTEM - EXTRA DARK BRONZE |

OR SIMILAR EXTERIOR FINISH PRODUCT

Elevations



NORTHWEST ELEVATION



SOUTHWEST ELEVATION



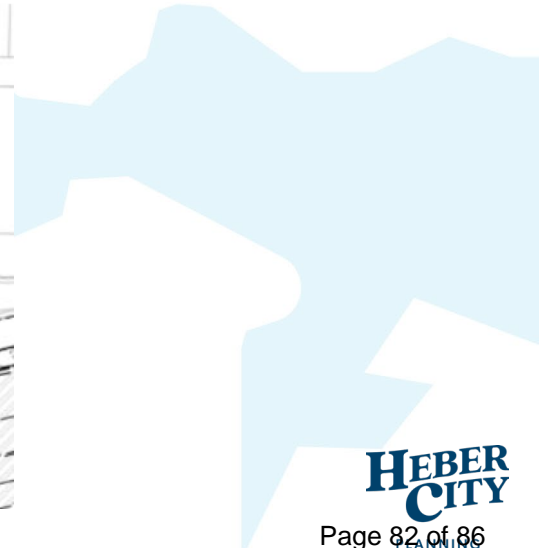
NORTHEAST ELEVATION



SOUTHEAST ELEVATION

Photometric





Staff Recommendation

Staff recommends that the **New London North Commercial Development Pad B Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

Findings

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

Conditions

1. All requirements of the City Engineer shall be met.
 - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
 - Water Rights will be required for landscaping and indoor use as part of the building permit process.
 - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

Discussion



Planning Commission Staff Report

MEETING DATE: 2/10/2026
SUBJECT: Trailhead Plaza Discussion (Development Director Tony Kohler)
RESPONSIBLE:
DEPARTMENT: Planning
STRATEGIC RELEVANCE:

SUMMARY

RECOMMENDATION

BACKGROUND

DISCUSSION

FISCAL IMPACT

CONCLUSION

ALTERNATIVES

Staff Recommended Option - Approval

I move to **approve** the item as presented, with the findings and conditions as presented in the conclusion above.

Alternative 2 - Continuance

I move to **continue the item** to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

Alternative 3 - DENIAL

I move to **deny the item** with the following findings.

POTENTIAL MOTIONS

ACCOUNTABILITY

Department: Planning
Staff member:

EXHIBITS

None