

**HEBER CITY CORPORATION**  
**75 North Main Street**  
**Heber City, UT 84032**  
**Planning Commission Meeting**

**February 10, 2026**

**6:00 p.m. – Regular Meeting**

**-Time and Order of Items are approximate and may be changed as Time Permits-**

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

**1. Regular Meeting:**

- I. Call to Order
- II. Roll Call
- III. Pledge of Allegiance: By Invitation
- IV. Prayer/Thought by Invitation ()
- V. Recuse for Conflict of Interest

**2. Consent Agenda:**

- I. January 27, 2026, PC Minutes for Approval

**3. Action Items:**

- I. Site Plan and Conditional Use Permit approval for New London North Commercial Development Lot 1 Pad A, located at 908 North US-40 (Planner Aubrey Larsen/Engineer Ross Hansen)
- II. Site Plan and Conditional Use Permit approval for New London North Commercial Development Pad B, located at 948 North US-40 (planner Aubrey Larsen/Engineer Ross Hansen)

**4. Work Meeting:**

- I. Trailhead Plaza Discussion (Development Director Tony Kohler)

**5. Administrative Items:**

- I. Planning Commission Training  
<https://luau.utah.gov/>

**6. Adjournment:**

Ordinance 2006-05 allows Commission Members to participate in meetings via telecommunications media.

In accordance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Meshelle Kijanen at the Heber City Offices at 435.657.7898 at least eight hours

prior to the meeting.

Posted on 02.05.2026, in the Heber City Municipal Building located at 75 North Main, the Heber City Website at [www.heberut.gov](http://www.heberut.gov), and on the Utah Public Notice Website at <http://pmn.utah.gov>.

**HEBER CITY CORPORATION  
75 North Main Street  
Heber City, UT 84032  
Heber City Council Meeting  
January 27, 2026**

**DRAFT Minutes**

**6:00 p.m. – Regular Meeting**

**1. Regular Meeting:**

**I. Call to Order**

Vice Chair Tori Broughton called the Planning Commission Meeting to order at 6:00 p.m. and welcomed everyone present and welcomed the newest full-term voting member, Greg Royal to the Planning Commission and also mentioned that the Mayor will be recognizing long-t

**II. Roll Call**

**Planning Commission Present:**

Chairman Phil Jordan  
Vice-Chair Tori Broughton  
Commissioner Darek Slagowski  
Commissioner Josh Knight  
Commissioner Greg Royall  
Commissioner Robert McKinley

**Planning Commission Absent:**

Chairman Phil Jordan  
Commissioner Dave Richard  
Commissioner Robert Wilson

**Staff Present:**

Planning Manager Jamie Baron  
Planning Office Admin Meshelle Kijanen

**Staff Participating Remotely:**

N/A

**Also Present:**

Mike Johnston and Howard Saldarini

**Also Attending Remotely:**

N/A

**III. Pledge of Allegiance:** By Invitation

Alternate PC Member Robert McKinley led the recitation of the Pledge of Allegiance.

**IV. Prayer/Thought by Invitation** N/A ()

**V. Recuse for Conflict of Interest** N/A

**2. Consent Agenda:**

**Motion:** Commissioner Knight moved to approve the consent agenda for the minutes

from December 9, 2025 and the approval for the 2026 Planning Commission meeting dates. Commissioner Greg Royall made a second to the motion.

**Discussion: N/A**

**Voting Yes: 5 Voting No: None. The Motion 5-0.**

- I. 12.09.2025 PC Minutes for Approval
- II. Approve 2026 Planning Commission Meeting Dates

**3. Action Items:**

- I. Saldarini Annexation, located at 110 W Moulton Lane.

Planning Manager Jamie Baron presented the Staff Report as included in the meeting materials. The State requires a zone at the time of annexation and staff is requesting neighborhoods with open space (NOS). There is not a Master Development Agreement or Concept Plan for this Annexation as Mr. Saldarini only wants to annex into the City. Also, there is a master plan trail along the Timpanogos Canal, which is right along the back side of the applicant's property. We would require that at the time of development, whether by Mr. Saldarini or successors of his property, that they abide by the Timpanog Canal Master Trail Plan. See the full Staff Report as included in the meeting materials.

The applicant, Mr. Saldarini agreed with the contents of the Staff Report. Commissioner Darek Slagowski asked why the City is recommending NOS rather than University Village (UV)? Mr. Baron responded, Staff is recommending the Nos based mostly from the General Plan and because of the zoning map and where those boundaries are, the majority of this property is within and surrounded by NOS. However, if this Planning Commission feels that something else is more appropriate, it's within your purview to recommend something else. Mr. Slagowski followed up with asking if the applicant thought the Zone was acceptable, and the applicant confirmed that the zone was acceptable.

Vice-Chair Broughton asked what level of change to the property would then be required to do a trail? Mr. Baron responded, We're looking at full development or a subdivision to the lot to initiate the trail requirement. If the applicant is doing an accessory building, I don't see that being a trigger for the trail compliance.

Commissioner Joshua Knight asked for the difference between the NOS and the UV Zone. Mr. Baron responded, that the University Village (UV) Zone is a lower density zone with more mixed-use and commercial, with more intense uses that are surrounding the UVU campus, with no single family homes in the. Neighborhoods with open space is limited commercial and more like townhomes and single-family homes. Commissioner Greg Royall asked when the original annexation was taking place, when the applicant decided not to annex with everybody else. Was it the area zoned NOS zone or was it the UV zone? Mr. Baron said he wasn't sure and would need to do research and get back to Mr. Royall with an answer. However, as he could recall without research,

I think the actual application for that annexation probably came in before we have this current version that we are discussing today. At the time, we had the original North Village overlay Zone (NVOZ), which had more of a strip type development instead of clusters. The NVOZ was structured from the highway up the hill with Town Center, then Village Center, and then Neighborhoods. Mr. Baron continued, the NOS I believe, was adopted during that process and this Annexation was on hold for the new zoning, which we now have these sub-designations. Mr. Baron concluded that was a ruff summary of the timeline.

**Motion:** Commissioner Knight moved to make a positive recommendation for the Saldarini Annexation, located at 110 W Moulton Lane and to be in the NOS classification. Commissioner Royall made the second.

**Discussion:** N/A

**Voting Yes:** Commissioner Slagowski, Commissioner Knight, Commissioner Royall, Commissioner McKinley, and Vice-Chair Broughton. **Voting No:** None. The Motion Passed 5-0.

**4. Work Meeting: N/A**

**5. Administrative Items:**

I. Discuss Planning Commission Bylaws

Commissioner Knight asked whether any changes had been made to the Planning Commission Bylaws since the last review. Mr. Baron responded that no changes had been made, noting that only the Planning Commission has the authority to amend the bylaws. Staff can prepare proposed amendments for the Commission's consideration upon request.

Commissioner Knight then asked whether staff believed there were any specific provisions the Planning Commission should review. Mr. Baron responded that attendance requirements are always important to revisit. He explained that failure to meet attendance requirements could result in a Commissioner being asked to step down due to inactivity. While no Planning Commissioner has ever been removed for inactivity, he emphasized the importance of understanding the commitment involved in serving on the Commission.

Mr. Baron also noted that the Commission may wish to discuss the six-year term length. After discussing the pros and cons, the Planning Commission decided to retain the six-year terms as currently written in the bylaws.

The Commission further discussed potential discrepancies between the Planning

Commission Bylaws and the Municipal Code, specifically regarding whether the Commission is allowed one alternate or two alternates, and how vacancies are handled when a Commissioner leaves before completing a term. Staff stated they would review the Municipal Code and bylaws for any inconsistencies and report back to the Commission.

Mr. Baron and the Commissioners also discussed staff and public participation rules and the order of proceedings. It was determined that the Planning Commission follows the appropriate participation and procedural rules.

Commissioner Knight asked how many Commissioners could communicate without violating the Public Open Meetings Act. Mr. Baron clarified that three or fewer Commissioners may communicate, as a quorum consists of four Commissioners. He noted that different types of conversations and scenarios can affect compliance.

The Commissioners were informed that this bylaws discussion would count toward their required four hours of annual training. The Planning Commissioners requested that the full four hours of required training be conducted during regular meetings when agendas are light. The Commissioners also shared the types of training they would like to receive. Mr. Baron reminded the Commission that attendance at the fall conference counts toward the annual training requirement.

Vice-Chair Broughton requested highlights from the City Council retreat. Mr. Baron summarized key topics, including parks, traffic, C Street, dark-sky regulations, amortization of commercial uses, a possible change to dogs in parks, and affordable housing.

Commissioner Knight commented that he would like the City Council to reevaluate deed restrictions related to affordable housing. Vice-Chair Broughton and Mr. Baron continued the discussion, with Mr. Baron outlining the benefits and limitations of deed restrictions.

Mr. Baron then addressed the old fire station building, explaining that a presentation had been given regarding the idea of converting the building into an incubator space, particularly for artists. The concept includes allowing the public to observe artists working along C Street, fostering local art, and reusing the semi-industrial building in the downtown area. The idea also includes potential renovation of the building and use of surrounding parking. The Commissioners and Mr. Baron discussed parking impacts related to public activities on C Street and Main Street. Mr. Baron reminded the Commission that the City does not currently own the old fire station but is in negotiations with Wasatch County.

Vice-Chair Broughton commented that a traffic study would be needed for First South. Commissioner Royall suggested removing the grass area in front of the Public Safety Building and converting it into parking. Access more detailed information that is included in the meeting materials

- II. Discuss any changes needed on the PC Term End Date List (emails, addresses, phone numbers) A paper copy will be provided to the Commissioners at the Meeting.

The Planning Commissioners looked at their specific information listed on the PC Term End Date List and reported on any changes that were needed.

**6. Adjournment:**

**Motion:** Commissioner Knight moved to Adjournment:. Commissioner Slagowski made the second.

**Discussion:** N/A

**Voting Yes:** Commissioner Slagowski, Commissioner Knight, Commissioner Royall, Commissioner McKinley, Vice-Chair Broughton. **Voting No:** None. The Motion Passed 5-0.

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Meshelle Kijanen, Administrative Assistant



# Planning Commission Staff Report

**MEETING DATE:**

2/10/2026

**SUBJECT:**

Site Plan and Conditional Use Permit approval for New London North Commercial Development Lot 1 Pad A, located at 908 North US-40 (Planner Aubrey Larsen/Engineer Ross Hansen)

**RESPONSIBLE:**

Aubrey Larsen

**DEPARTMENT:**

Planning

**STRATEGIC RELEVANCE:**

Community Development

## SUMMARY

The City has received a request for Site Plan and Conditional Use Permit approval for New London North Commercial Development Lot 1 Pad A. The application is before the Planning Commission because a Commercial Complex (defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application) requires Planning Commission review. Lot 1, Pad A includes an approximate 6,000 square-foot commercial multi-tenant building. Included with this Site Plan is off-site utility and parking lot drive aisle improvements that will be utilized by future phases to ensure good circulation.

## RECOMMENDATION

Staff recommends that the Planning Commission approve the New London North Commercial Development Lot 1 Pad A Site Plan and Conditional Use Permit subject to findings and conditions.

## BACKGROUND

Lot 1, Pad A, located at 908 North US-40, is part of the larger New London North Commercial Subdivision - a proposed four-lot mixed-use development within the Mixed-Use Residential Commercial Zone (MURCZ). Lot 1, Pad A, is a corner lot consisting of a 5,584-square-foot multi-tenant building with parking and circulation shared between Lots 1 and 2. Several engineering-related issues required clarification and revision, including updating site boundaries and legal descriptions, addressing easements and utility connections, resolving circulation and drainage concerns, and ensuring consistent plan details across all sheets. Wasatch Fire review required adjustments to hydrant placement and a secondary access connection, and planning review focused on landscaping, site furnishings, trash enclosure details, and lighting - specifically the photometric plan, fixture schedule, and use of black fluted poles to meet city standards. After several rounds of revisions, the New London Commercial Development Lot 1, Pad A meets Site Plan approval requirements subject to findings and conditions.

## DISCUSSION

As a conditional use, the Planning Commission may consider the required mitigation of impacts such as parking, traffic circulation, pedestrian access, site amenities, utilities, emergency access, and overall site design. These items have largely been evaluated throughout the review process to ensure the development meets City standards and minimizes adverse effects. Based on this review, staff recommends approval subject to the findings and conditions outlined in this report.

## FISCAL IMPACT

## CONCLUSION

Staff recommends that the **New London North Commercial Development Lot 1 Pad A Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

### Findings:

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

### Conditions:

1. All requirements of the City Engineer shall be met including:
  - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
  - Water Rights will be required for landscaping and indoor use as part of the building permit process.
  - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

## ALTERNATIVES

### Staff Recommended Option - Approval

I move to **approve** the item as presented, with the findings and conditions as presented in the conclusion above.

### Alternative 2 - Continuance

I move to **continue** the item to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

### Alternative 3 - DENIAL

I move to **deny** the item with the following findings.

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## POTENTIAL MOTIONS

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## ACCOUNTABILITY

**Department:** Planning  
**Staff member:** Aubrey Larsen , Planning Consultant

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## EXHIBITS

1. New London Lot 1 Combinde Civil
2. 20251204 - WPI Heber Retail BLDG A - ASI 02
3. New London Lot 1 Pad A - PC 02102026



# New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32,  
Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey  
in Heber City, Wasatch County, Utah

2025

## Notes

- Final plats not recorded within one (1) year from the Date Receiving final approval shall be null and void unless physical construction has started or an extension has been requested and granted prior to the original plat expiration date. In cases where construction has not started, applicants may request and be granted a one (1) year extension. However, if an extension is granted, the requirement to incorporate updated city standards, or reevaluate bonds or other assurances may be enforced as a condition of approval for the extension.
- This plat may be subject to a development agreement that specifies the conditions of developing, building, and using the property within this plat. See city recorder for details.
- Plat is subject to installation of improvements and bond agreement which requires the construction and warranty of improvements in this subdivision. These obligations run with the land and are binding on successors, agents, and assigns of developer. There are no third-party rights or beneficiaries under this agreement.
- Building permits will not be issued until all required improvements have been installed per city standard and all fees including impact and connection fee are paid.
- References herein to developer or owner shall apply to both, and any such reference shall also apply to successors, agents, and assigns.
- A Geotechnical Report has been completed by GSH, (1) Report Geotechnical Study Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No 2093-015-21 dated September 23, 2021; (2) Addendum No 1 - Retaining Wall Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated March 24, 2022; (3) Addendum No 2 - Updated Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated November 28, 2022; (4) Addendum No 2 - Update No 2 Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated December 20, 2022; which addresses soil and groundwater conditions, provides Engineering Design criteria, and recommends mitigation measures if problematic conditions are encountered. The city assumes no liability or responsibility for any reliance on the information or lack thereof in the report.
- Agricultural uses, operations and rights are adjacent to or near the plat and lots. The lots in this plat are subject to the sights, sounds, odors, nuisances and aspects associated with agricultural operations, uses, and rights. These uses and operations may occur at all times of the day and night including weekends and holidays. The city is not responsible or liable for these uses and impacts and will not restrict any grandfathered agricultural use from continuing to occur lawfully.
- Each Lot will be required to install a water, sanitary sewer and secondary water connection
- Any public fire hydrant installed will require an easement to be granted to Heber City.
- The Lots within this Subdivision will be subject to Covenants, Conditions and Restrictions contained in a Declaration which includes but is not limited to Cross Access, Public Utility, and Drainage Easements to be recorded by a separate document simultaneously with this Plat as Entry No. \_\_\_\_\_.
- This subdivision is subject to a culinary waterline easement in favor of Heber City Corporation as shown on plat recorded by a separate instrument. Heber City has the right to access through these easements to access, maintain, and repair city culinary water utilities. No changes to topography, structures, above or below ground are permitted within the easement without written authorization from the Heber City Engineer. Obstacles erected within the easement without written permission will be removed at the property owner's expense.
- Stormwater for each lot shall be managed in conjunction with the New London Long-Term Storm Water Maintenance Agreement, dated September 3, 2025, and the stormwater plans, specifications, and engineering drawings approved by Heber City. Individual lots may include surface or subsurface stormwater facilities for the conveyance of stormwater from adjacent lots, including lots within other plats, and public roads. The stormwater facilities shall be owned and operated by the owner or the property owners association, as designated in the project CC&Rs, and each lot owner grants an easement in favor of the owner and property owners association for installation, maintenance and repair of stormwater facilities. Notwithstanding the foregoing, each lot shall remain jointly responsible for maintenance of the stormwater facilities. Owner hereby conveys to Heber City and its agents a non-exclusive perpetual easement over, on and in the property for the purpose of access to the private stormwater management system(s) for the management, inspection, maintenance and repair thereof.
- A perpetual, non-exclusive easement for vehicular and pedestrian ingress, egress, and access is hereby established over all internal private drives, access lanes, and other designated shared access areas within the subdivision. Said easement shall benefit and burden all lots within this subdivision and may be used by lot owners, tenants, customers, agents, and the general public. This easement shall run with the land and be binding on all current and future owners, successors, and assigns.

## Owner/ Developer

Valley Hills, LLC  
1245 Brickyard Road Suite 70  
Salt Lake City, Utah 84106



## County Surveyor

Approved this \_\_\_\_\_ Day of  
A.D., 20\_\_\_\_\_.  
Wasatch County Surveyor

## Wasatch Co. Fire District

Approved this \_\_\_\_\_ Day of  
A.D., 20\_\_\_\_\_.  
Fire Chief

## Heber City Engineer

Approved this \_\_\_\_\_ Day of  
A.D., 20\_\_\_\_\_.  
Heber City Engineer

## Planning Department

Approved this \_\_\_\_\_ Day of  
20\_\_\_\_\_.  
TITLE:  
Mayor Date

## Approval by Legislative Body

The City Council of Heber City, County of Wasatch, approves this Subdivision subject to the conditions and restrictions stated herein, and hereby accepts the dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

## Surveyor's Certificate

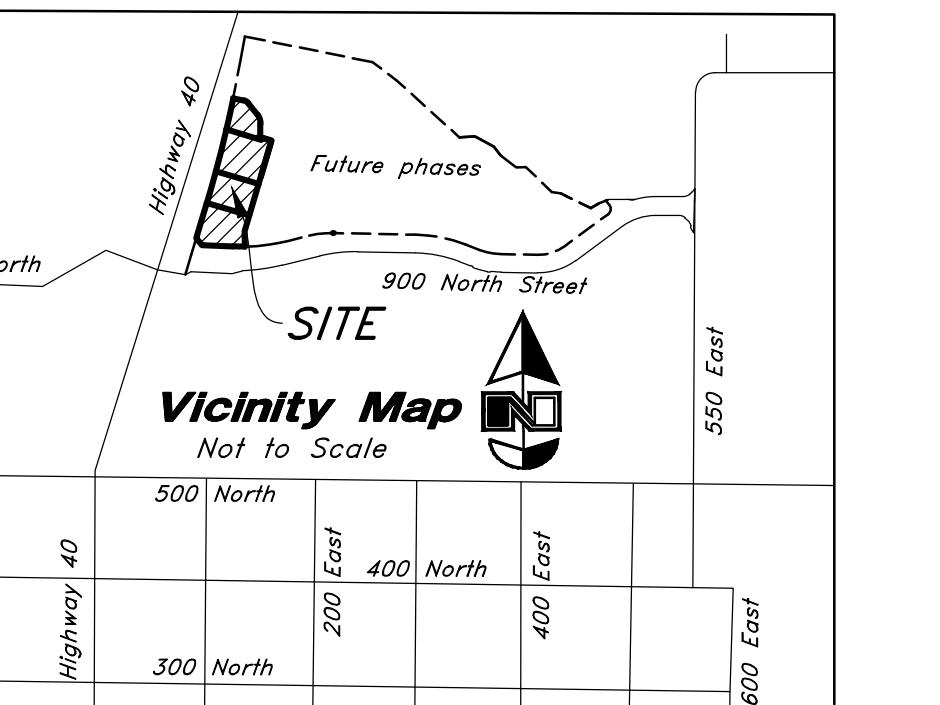
I, David M. Hamilton, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12966234 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of AWA that by authority of the Owners I have retraced Wasatch County Record of Survey Filing No. 0003722, being the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as New London North Commercial Subdivision.

## Boundary Description

A Part of Parcel 6 of that certain Record of Survey filed as No. 3722 in the Office of the Wasatch County Surveyor, located within the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base and Meridian, U.S. Survey, in the City of Heber, Wasatch County, Utah:

Beginning at the point of intersection of the Northerly line of Heritage Farms Parkway as dedicated per that certain Heritage Farms Parkway Dedication Plat recorded as Entry No. 548347, in the Official Records of Wasatch County, and the Easterly line of U.S. Highway 40 as it is monumented on the ground of 75.00 foot half-width, located 849.08 feet North 89°31'24" East along the North line of said Section 36; and 1315.34 feet South 02°28'36" East from a Wasatch County Monument found marking the Northwest Corner of said Section 36; and running thence along said Easterly line the following two courses: North 16°34'49" East 159.05 feet to a point of curvature; and Northeastly along the arc of a 5804.43 foot radius curve to the left a distance of 488.94 feet (Central Angle equals 4°49'35" and Long Chord bears North 14°10'02" East 488.79 feet); thence South 73°25'11" East 50.86 feet to a point of curvature; thence Southeasterly along the arc of a 33.00 foot radius curve to the right a distance of 19.99 feet (Central Angle equals 34°42'43" and Long Chord bears South 56°03'49" East 19.69 feet) to a point of tangency; thence South 38°42'27" East 65.79 feet to a point of curvature; thence Southeasterly along the arc of a 63.00 foot radius curve to the right a distance of 43.63 feet (Central Angle equals 39°40'31" and Long Chord bears South 18°52'12" East 42.76 feet) to a point of tangency; thence South 0°58'03" West 52.01 feet to a point of curvature; thence Southeastly along the arc of a 10.00 radius curve to the left a distance of 12.98 feet (Central Angle equals 74°23'14" and Long Chord bears South 36°13'34" East 12.09 feet) to a point of tangency; thence South 0°53'42" West 421.09 feet; thence South 0°53'42" East 67.91 feet along a radial line to said Northerly line of Heritage Farms Parkway; thence along said Northerly line the following three courses: Northwesterly along the arc of a 856.00 foot radius curve to the right a distance of 51.92 feet (Center Bears North 0°53'42" West, Central Angle equals 3°28'31" and Long Chord bears North 89°09'26" West 51.91 feet) to a point of tangency; North 87°25'11" West 139.04 feet; and North 39°44'02" West 39.19 feet to said Easterly line of U.S. Highway 40 and the point of beginning.

Contains 120,558 sq. ft.  
or 2.768 acres  
4 Lots



## Narrative

This Subdivision was requested by Valley Hills, LLC to create 4 commercial Lots.

This Plat retraces the underlying 2021 Parcel Line Adjustment Survey by AWA recorded on October 19, 2021 as Filing No. 003722 in the Official Records of Wasatch County.

Four Wasatch County Section Corner Monuments were recovered and utilized for control. A line between monuments found for the Northwest Corner and the North Quarter Corner of Section 32 was assigned the bearing of North 89°31'24" East as the Basis of Bearings to match the 2021 Parcel Line Adjustment Survey referenced hereon. Independent measurements were taken of the North Quarter and Northeast Corners of Section 32 on a NAD83 Utah Central Zone State Plane mapping projection for the purpose of identifying a rotation to match said datum. Bearings shown hereon must be rotated 0°00'29" Clockwise in order to place the Survey on the NAD83 Utah Central Zone State Plane Datum.

The 1995 State Highway Plans were acquired and rotated 5°45" Counter Clockwise to match and honor the Highway Right-of-Way markers as recovered in place on the ground.

## Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Area of Minimal Flood Hazard."

5 Nov, 2025

Date

## Owner's Dedication

Know all men by these presents that we, the undersigned Owner of the above described tract of land, having caused the same to be subdivided into 4 Lots to be hereafter known as

New London North Commercial Subdivision

and do hereby dedicate for the perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereby I/We, hereunto set my/our hand(s) \_\_\_\_\_ This Day \_\_\_\_\_ AD, 20\_\_\_\_\_.  
Valley Hills, LLC, a Utah limited liability company

by:

its:

## Acknowledgment

State of \_\_\_\_\_ County of \_\_\_\_\_ ss  
On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, personally appeared before me, the undersigned Notary Public, \_\_\_\_\_, who being by me duly sworn did say that they are the \_\_\_\_\_ of \_\_\_\_\_ members or its articles of organization, and they acknowledged to me that said limited liability company executed the same.

Residing at: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Print Name \_\_\_\_\_ A Notary Public \_\_\_\_\_

## New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey  
In Heber City, Wasatch County, Utah

Sheet 1 of 2

## Recorded #

State of Utah, County of Wasatch, Recorded and Filed at the Request of \_\_\_\_\_

Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_

Fee \$ \_\_\_\_\_

Wasatch County Recorder

|  |  |   |  |   |
|--|--|---|--|---|
| <b>AWA</b><br>2010 North Redwood Road, Salt Lake City, Utah 84116<br>(801) 521-8529 - AWAengineering.net | <b>County Surveyor</b><br>Approved this _____ Day of _____ A.D., 20_____.<br>Wasatch County Surveyor | <b>Wasatch Co. Fire District</b><br>Approved this _____ Day of _____ A.D., 20_____.<br>Fire Chief | <b>Heber City Engineer</b><br>Approved this _____ Day of _____ A.D., 20_____.<br>Heber City Engineer | <b>Planning Department</b><br>Approved this _____ Day of _____ 20_____.<br>TITLE:<br>Mayor Date |
|--|--|---|--|---|

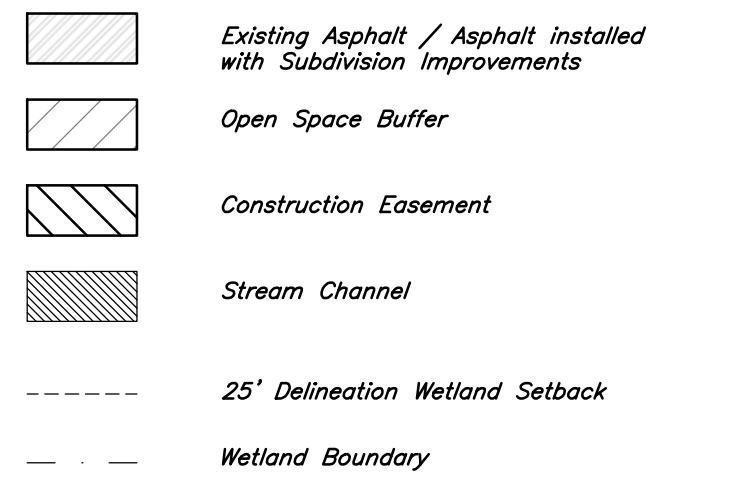




Scale: 1" = 20'

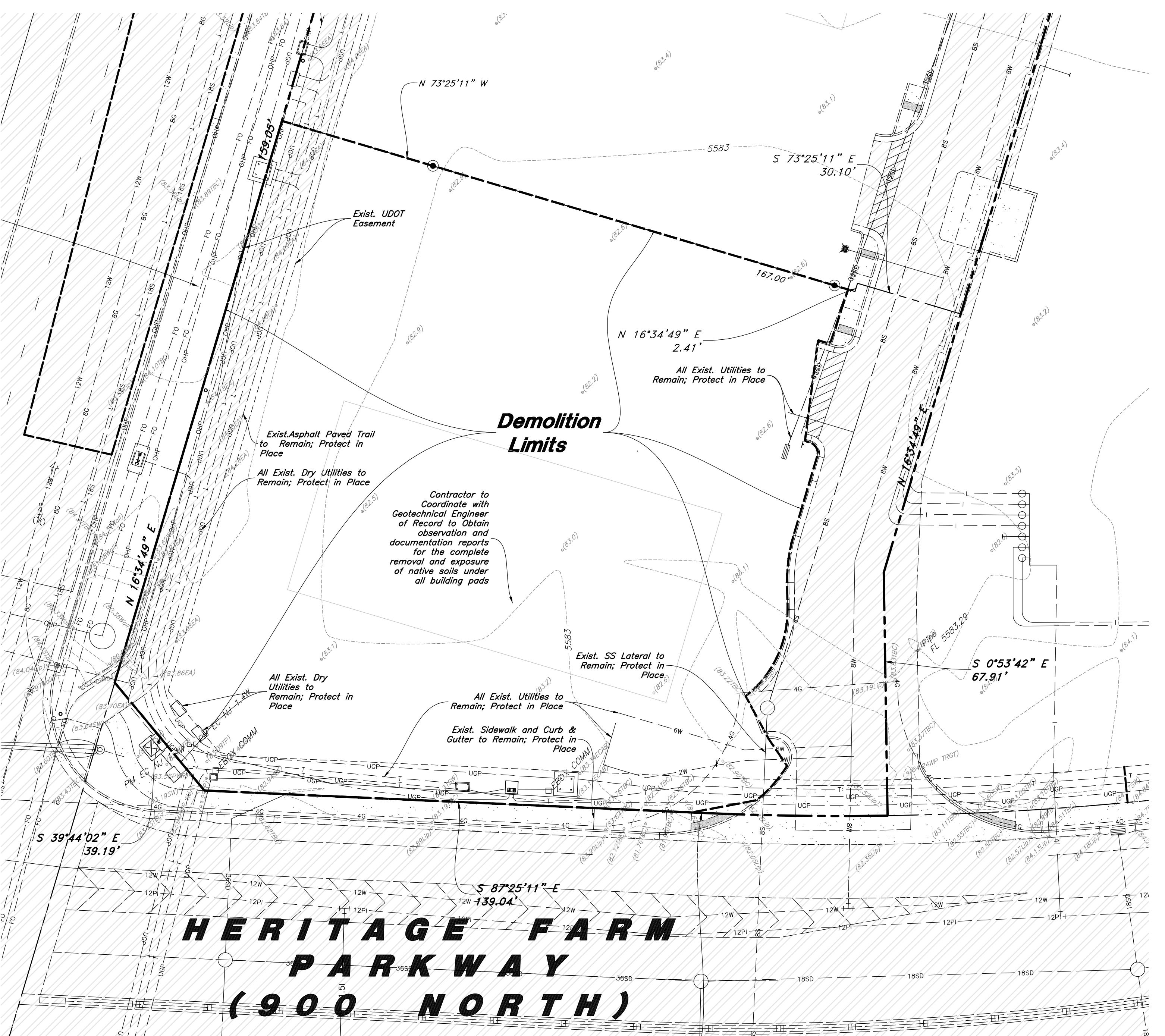
20' 0' 20' 40'

#### Legends:



#### General Demolition Notes:

- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- All curbs, gutters, walks, slabs, walls, fences, network, asphalt, pipelines and related, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
- If Contractor observes evidence of hazardous materials or contaminated soil, he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
- Contractor shall shore and protect neighboring properties per OSHPD standards. The contractor shall not proceed with any work on and within the bounds of the subject property. Unless specifically noted on and plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.
- The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.



A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.



#### CAUTION :

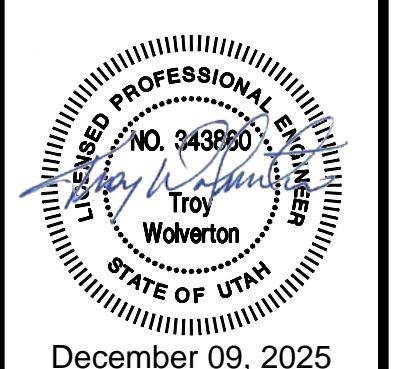
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

#### Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200  
Highland, Utah 84003  
Thomas Lehnhardt  
801-467-7000 main / 104 ext.  
H@wpi.us.com

18 July, 2025



CO.1

#### Acceptance

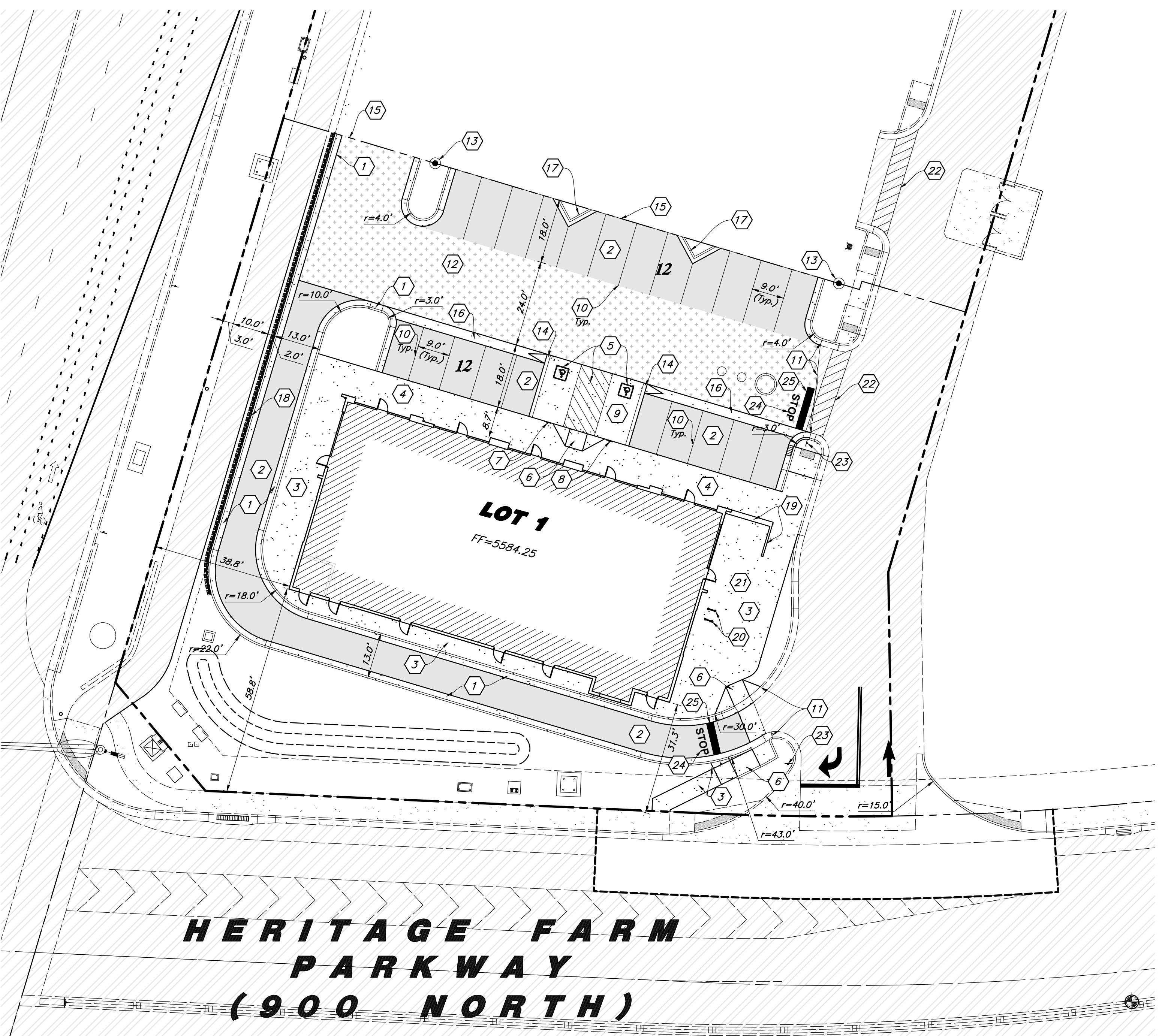
City Engineer, Russell Funk, P.E. Approval Date

REVISION DATE

21-263-03-DM

AWWA  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5629 - AWEngineering.net

**Demolition Plan**  
New London North Commercial Development Lot 1 Site Plan  
908 North Main Street (US 40)  
Heber City, Utah



### Abbreviations

|      |   |      |                                      |
|------|---|------|--------------------------------------|
| BCR  | Begin Curb Return                       | PP   | Power Pole                           |
| BOL  | Bollard                                 | PT   | Point of Tangency                    |
| BRW  | Finish Grade - Bottom of Retaining Wall | PVC  | Polyvinyl Chloride                   |
| CATV | Cable Television Box                    | PVI  | Point of Vertical Intersection       |
| CB   | Catch Basin                             | RCP  | Reinforced Concrete Pipe             |
| CMP  | Corrugated Metal Pipe                   | RD   | Roof Drain                           |
| COB  | Clearout Box                            | SB   | Signal Box                           |
| COTG | Clearout to Grade                       | SD   | Storm Drain                          |
| EA   | Edge of Asphalt                         | SDMH | Storm Drain Manhole                  |
| EB   | Electrical Box                          | SMH  | Sewer Manhole                        |
| EC   | End of Curve                            | SP   | Signal Pole                          |
| ECR  | End Curb Return                         | SS   | Sanitary Sewer                       |
| FF   | Finished Floor                          | SVZ  | Sight Visibility Zone                |
| g    | Ground                                  | SW   | Secondary Water                      |
| GB   | Grade Break                             | TA   | Top of Asphalt                       |
| GM   | Gas Meter                               | TB   | Telephone Box                        |
| HB   | Hose Bib                                | TBC  | Top Back of Curb                     |
| HP   | High Point                              | TC   | Top of Grate                         |
| I    | Irrigation Line                         | TMH  | Telephone Manhole                    |
| ICB  | Irrigation Control Box                  | TP   | Top of Concrete                      |
| Lip  | Lip of Gutter                           | TRW  | Finish Grade - Top of Retaining Wall |
| LP   | Light Pole                              | TW   | Top of Walk                          |
| MH   | Manhole                                 | VC   | Vertical Curve                       |
| Mon  | Monument                                | VPC  | Vertical Point of Curve              |
| PC   | Point of Curvature                      | VPT  | Vertical Point of Tangency           |
| PCC  | Point of Compound Curvature             | WL   | Waterline                            |
| PI   | Point of Intersection                   | WP   | Working Point                        |
| PM   | Power Meter                             | WV   | Water Valve                          |



Scale: 1" = 20'

20' 0' 20' 40'

### Hatch Legend

|                            |
|----------------------------|
| Standard Asphalt Paving    |
| Heavy Duty Asphalt Paving  |
| Existing Asphalt Paving    |
| Standard Concrete Paving   |
| Heavy Duty Concrete Paving |
| Existing Concrete Paving   |
| Building Interior          |

Designed by: TW  
Drafted by: GM  
Client Name: NuLo, LLC  
21-263-03-SP

**AWWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWAEengineering.net

**Site Plan**  
New London North Commercial Development Lot 1 Site Plan  
908 North Main Street (US 40)  
Heber City, Utah

### Legend

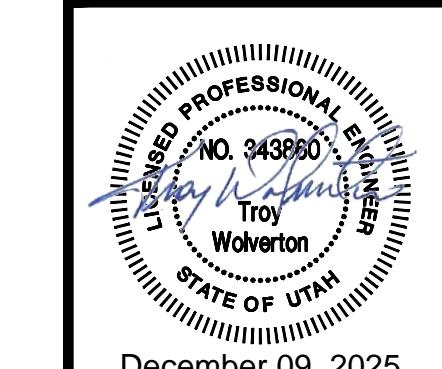
|                                 |                              |
|---------------------------------|------------------------------|
| Proposed Curb & Gutter          | Existing Improvements        |
| Proposed Open Face C & G        | Existing Asphalt             |
| Proposed Asphalt                | Existing Concrete            |
| Proposed Concrete               | Existing Inlet Box           |
| Proposed Truncated Domes        | Existing Catch Basin         |
| Proposed Inlet Box              | Existing Manhole             |
| Proposed Catch Basin            | Existing Fire Hydrant        |
| Proposed Manhole                | Existing Water Valve         |
| Proposed Transformer            | Existing Overhead Power Line |
| Proposed Meter Box              | Existing Water               |
| Proposed Water Meter            | Existing Secondary Water     |
| Proposed Combo Box              | Existing Sewer               |
| Proposed Fire Hydrant           | Existing Storm Drain         |
| Proposed Water Valve            | Existing Gas                 |
| Proposed Water Line             | Existing Power               |
| Proposed Sanitary Sewer         | Existing Telephone           |
| Proposed Storm Drain            | Existing Fence               |
| Proposed Conduit Line           | Flowline                     |
| Proposed Power Line             | Centerline                   |
| Proposed Gas Line               | Existing Contour             |
| Proposed Fire Line              | Existing Spot                |
| Proposed Secondary Water Line   | Existing Light Pole          |
| Proposed Roof Drain             | Existing Street Light        |
| Proposed Fence                  | Existing Building            |
| Ridge line                      | Existing Power Box           |
| Grade Break                     | Existing Power Meter         |
| Proposed Contour                | Existing Electrical Box      |
| Direction of Drainage           | Existing Gas Meter           |
| Proposed Spot                   | Existing Water Meter         |
| ADA Accessible Route            | Existing Irrig. Control Box  |
| Property Line                   | Existing Bollard             |
| Sawcut Line                     | Existing Hose Bib            |
| Proposed Light Pole             | Working Point                |
| Proposed Street Light           | Existing Deciduous Tree      |
| Proposed Building               | Existing Coniferous Tree     |
| Existing Power Pole             | Detail Number                |
| Existing Power Pole w/ Guy      | Sheet Number                 |
| Existing Utility Marker         | XX                           |
| Existing Post                   | XX                           |
| Stream Channel                  |                              |
| 25' Delineation Wetland Setback |                              |
| Wetland Boundary                |                              |

A Notice to Proceed Must be Obtained  
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Any Work on the Project.

### Developer:

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Thomas Lehnhardt  
801-467-7000 main / 104 ext.  
H@wpi.us.com



18 July, 2025

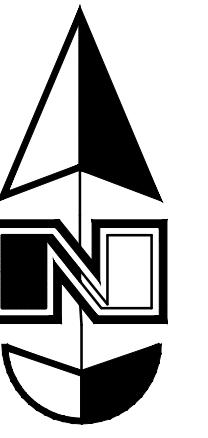
SHEET NO.

**C1.1**



### Acceptance

City Engineer, Russell Funk, P.E. Approval Date



Scale: 1" = 20'

20' 0' 20' 40'

**General Grading Notes:**

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benchered into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by GSH Geotechnical, Inc. are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Study: Proposed Heber Mixed-Use Development; Approximately 894 North Highway 40; Heber, Utah".

REV. DATE DESCRIPTION

Designed by: TW

Drafted by: GM

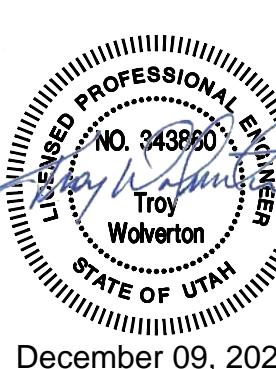
Client Name:

NuLo, LLC

21-263\_03-CR

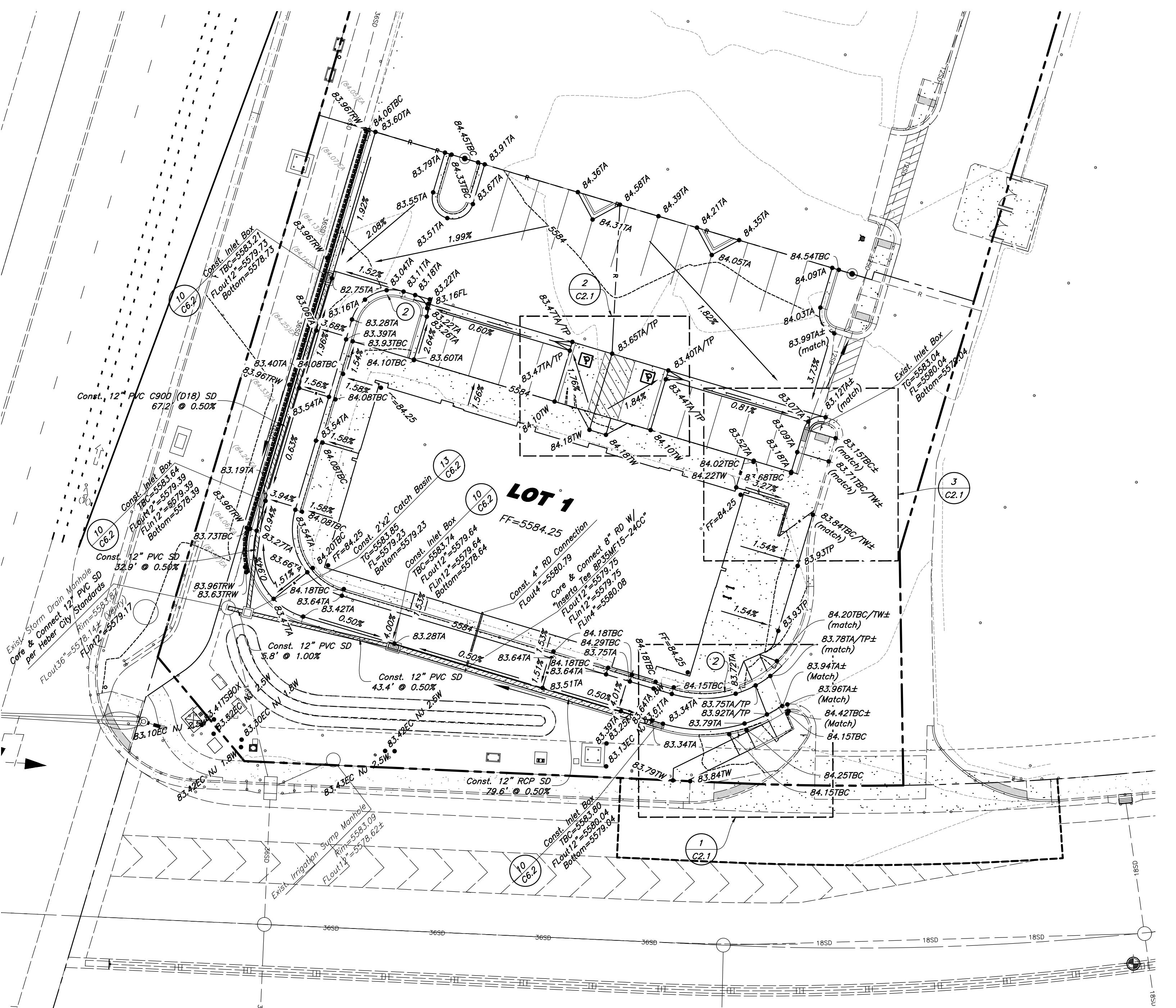
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWEngineering.net

**Grading Plan**  
908 North Main Street (US 40)  
Heber City, Utah



18 July, 2025

SHEET NO.

**C2.0**

All areas within rough future Pad Grading Limits to be constructed 1' below grades shown. Transitions at edges shall be 3:1 (Max.) slope. All fills within future pad sites shall be constructed in anticipation of future development. All ground surface Pad Sites shall be placed in a maximum 8" thick loose lifts and compacted to 95% maximum dry density as determined by ASTM D1557 (Modified Proctor) with moisture content within 2% of optimum at the time of compaction. Compaction reports required to avoid future declaration of existing undocumented fills.

**Benchmark**

Brass Cap Monument for the Northwest Corner of Section 32, T3S, R5E, SLB&M  
Assigned elevation = 5565.64 feet  
Observed November 30, 2020

**A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.**

**Flood Zone**

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

**Acceptance**

City Engineer, Russell Funk, P.E. Approval Date

**Abbreviations**

|      |   |
|------|---|
| BCR  | Begin Curb Return                       |
| BOL  | Ballard                                 |
| BRW  | Finish Grade - Bottom of Retaining Wall |
| CATV | Cable Television Box                    |
| CB   | Catch Basin                             |
| CMP  | Corrugated Metal Pipe                   |
| COB  | Cleanout Box                            |
| COTG | Cleanout to Grade                       |
| EA   | Edge of Asphalt                         |
| EB   | Electrical Box                          |
| EC   | End of Curve                            |
| ECR  | End Curb Return                         |
| FF   | Finished Floor                          |
| g    | Ground                                  |
| GB   | Grade Break                             |
| GM   | Gas Meter                               |
| HB   | Hose Bib                                |
| HP   | High Point                              |
| I    | Irrigation Line                         |
| ICB  | Irrigation Control Box                  |
| Lip  | Lip of Gutter                           |
| LP   | Light Pole                              |
| MH   | Manhole                                 |
| Mon  | Monument                                |
| PC   | Point of Curvature                      |
| PCC  | Point of Compound Curvature             |
| PI   | Point of Intersection                   |
| PM   | Power Meter                             |
| PP   | Power Pole                              |
| PT   | Point of Tangency                       |
| PVC  | Polyvinyl Chloride                      |
| PVI  | Point of Vertical Intersection          |
| RCP  | Reinforced Concrete Pipe                |
| RD   | Roof Drain                              |
| SB   | Signal Box                              |
| SD   | Storm Drain                             |
| SDMH | Storm Drain Manhole                     |
| SMH  | Sewer Manhole                           |
| SP   | Signal Pole                             |
| SS   | Sanitary Sewer                          |
| SVZ  | Sight Visibility Zone                   |
| SW   | Secondary Water                         |
| TA   | Top of Asphalt                          |
| TB   | Telephone Box                           |
| TBC  | Top Back of Curb                        |
| TG   | Top of Grade                            |
| TMH  | Telephone Manhole                       |
| TP   | Top of Concrete                         |
| TRW  | Finish Grade - Top of Retaining Wall    |
| TW   | Top of Walk                             |
| VC   | Vertical Curve                          |
| VPC  | Vertical Point of Curve                 |
| VPT  | Vertical Point of Tangency              |
| ML   | Waterline                               |
| WP   | Working Point                           |
| WV   | Water Valve                             |

**Legend**

|                                 |                              |
|---------------------------------|------------------------------|
| Proposed Curb & Gutter          | Existing Improvements        |
| Proposed Open Face C & G        | Existing Asphalt             |
| Proposed Asphalt                | Existing Concrete            |
| Proposed Concrete               | Existing Inlet Box           |
| Proposed Truncated Domes        | Existing Catch Basin         |
| Proposed Inlet Box              | Existing Manhole             |
| Proposed Catch Basin            | Existing Fire Hydrant        |
| Proposed Manhole                | Existing Water Valve         |
| Proposed Transformer            | Existing Overhead Power Line |
| Proposed Meter Box              | Existing Water               |
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| Ridge line                      | Existing Power Meter         |
| Grade Break                     | Existing Electrical Box      |
| Proposed Contour                | Existing Water Meter         |
| Direction of Drainage           | Existing Irrig. Control Box  |
| Proposed Spot                   | Existing Hose Bib            |
| ADA Accessible Route            | Working Point                |
| Property Line                   | Existing Deciduous Tree      |
| Sawcut Line                     | Existing Coniferous Tree     |
| Proposed Light Pole             | Detail Number                |
| Proposed Street Light           | Sheet Number                 |
| Proposed Building               | Storm Drain Flow Direction   |
| Existing Power Pole             |                              |
| Existing Power Pole w/ Guy      |                              |
| Existing Utility Marker         |                              |
| Existing Post                   |                              |
| Stream Channel                  |                              |
| 25' Delineation Wetland Setback |                              |
| Wetland Boundary                |                              |

**Sidewalk Construction Notes:**

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

**Engineer's Statement**

I hereby acknowledge that this design for the management of storm water of this development was prepared by me, or under my direct supervision, for the City of Heber. This design complies with the City's Drainage Manual and Standard Specifications and Drawings and was designed to comply with the provisions thereof. I understand that the City assumes no responsibility or liability for this report.

**Developer:**

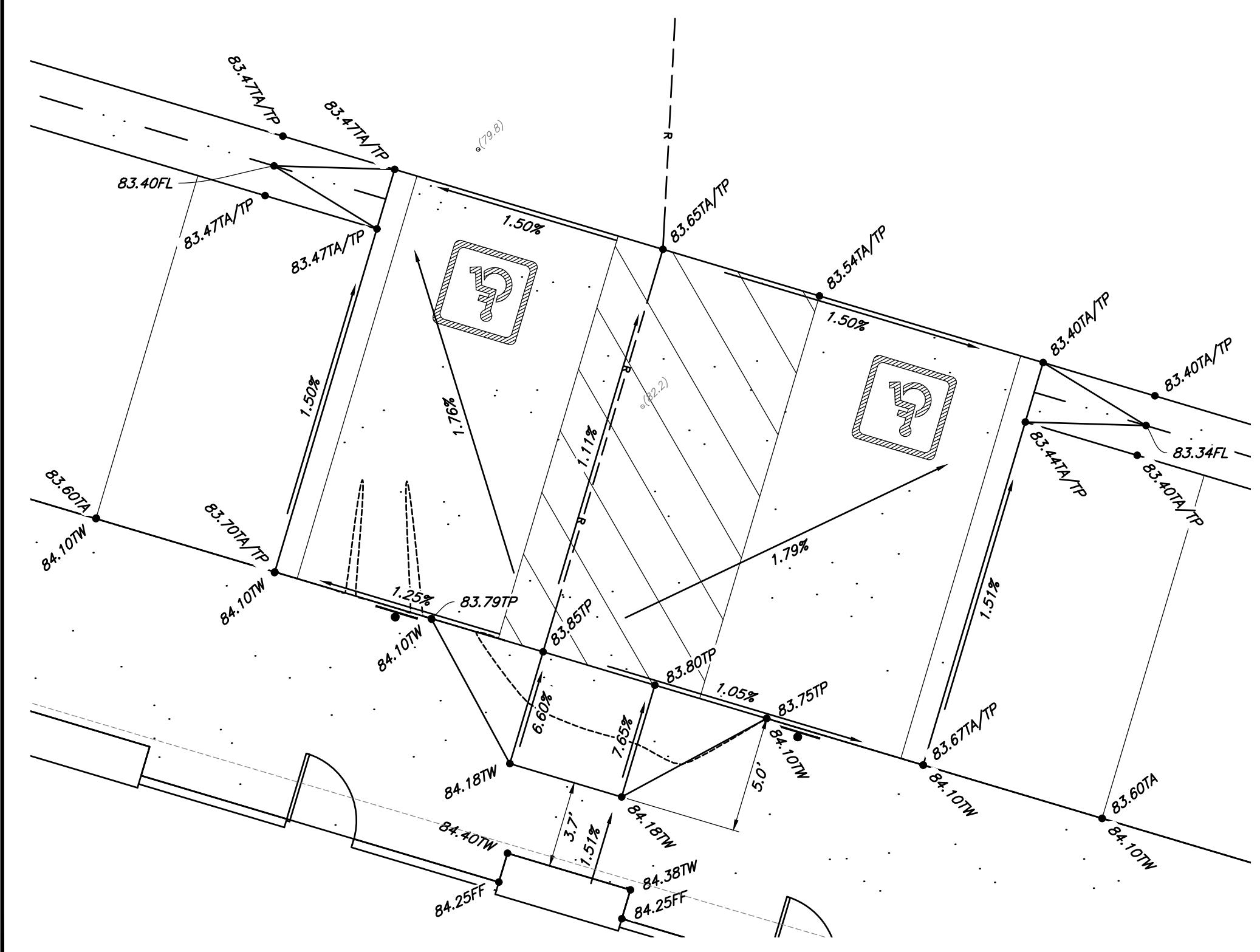
NuLo, LLC

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Thomas Lehnhardt  
801-467-7000 main / 104 ext.  
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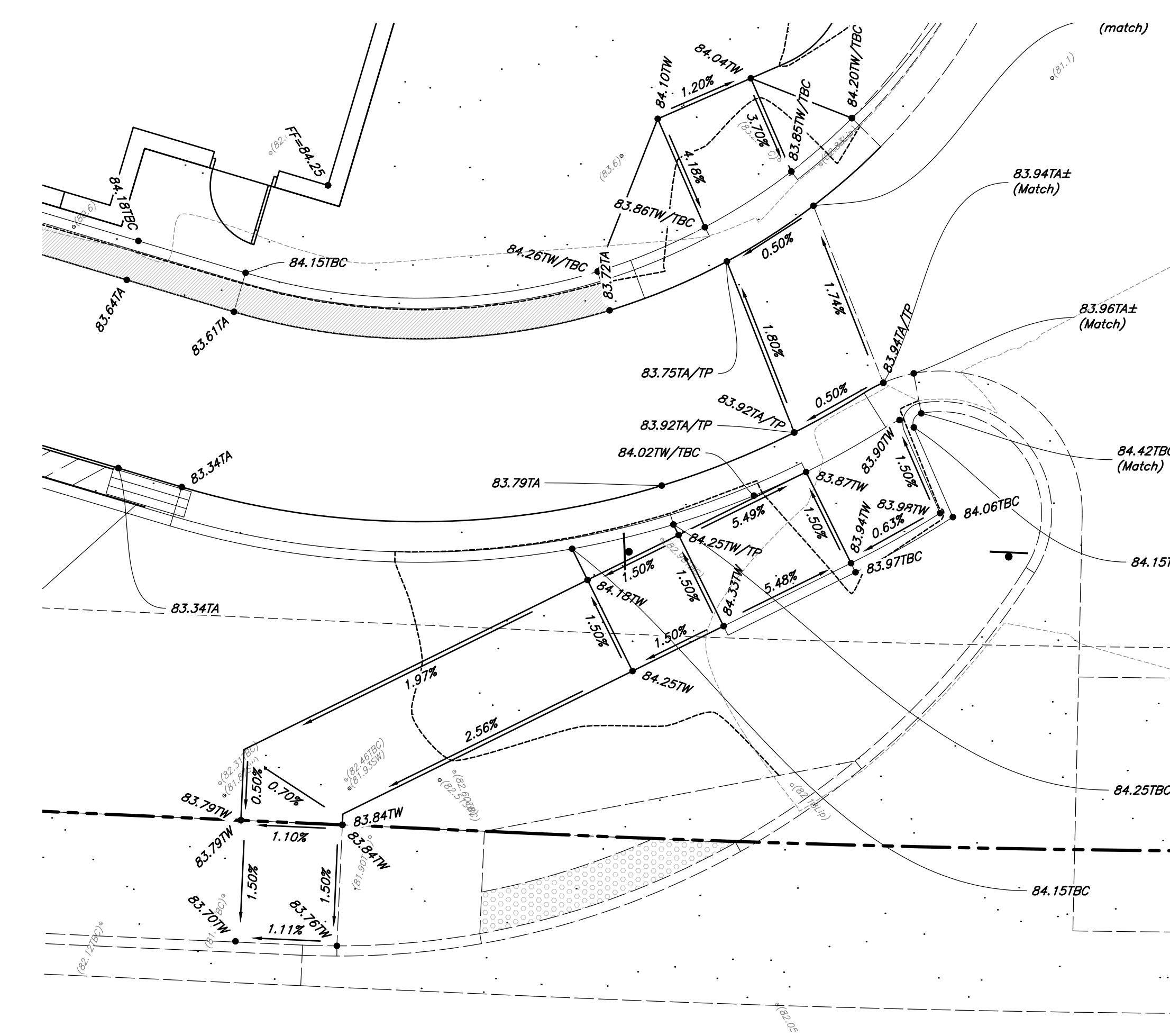
# **Patio & Ramp Detail**

Scale: 1



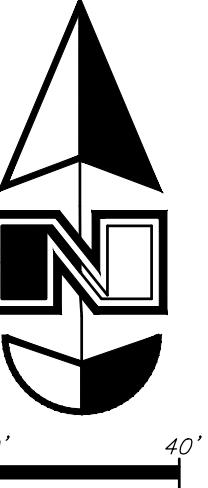
## ***Curb Ramp Details***

*Scale:*



## ***Curb Ramp Details***

Scale: 1' = 5'



*Scale: 1" = 20'*



Designed by: TW  
Drafted by: GM  
Client Name:  
NuLo, LLC  
21-263\_03-GR

## *Grading Details & Notes*

*New London North Commercial Development Lot*  
908 North Main Street (US 40)  
Heber City, Utah

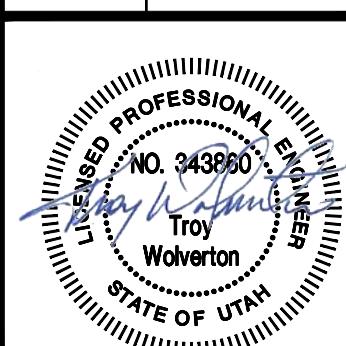
*rior to any construction of any Accessible Improvements, Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and Schedule Pre-Construction Meeting*

## ***Public Curb Ramp Construction Notes***

1. *All public curb ramps shall be constructed in accordance with governing municipalities standards and specifications.*
  2. *It is the contractors responsibility to obtain governing municipalities standards and specifications.*
  3. *The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or*  
*ADA*

## ***Private Curb Ramp Construction Notes***

1. *Slopes provided are per Anderson Wahlen & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.*
  2. *The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1—Latest Edition) and/or FHAA.*
  3. *Counter slopes of adjoining gutters & paving adjacent to the curb ramp shall not be steeper than 4.50%.*
  4. *Accessible ramp flares shall be poured separately from ramp to ensure proper slopes.*
  5. *Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.*



December 09, 2025

12.5.1 2027

18 July, 2025

**SHEET NO.**

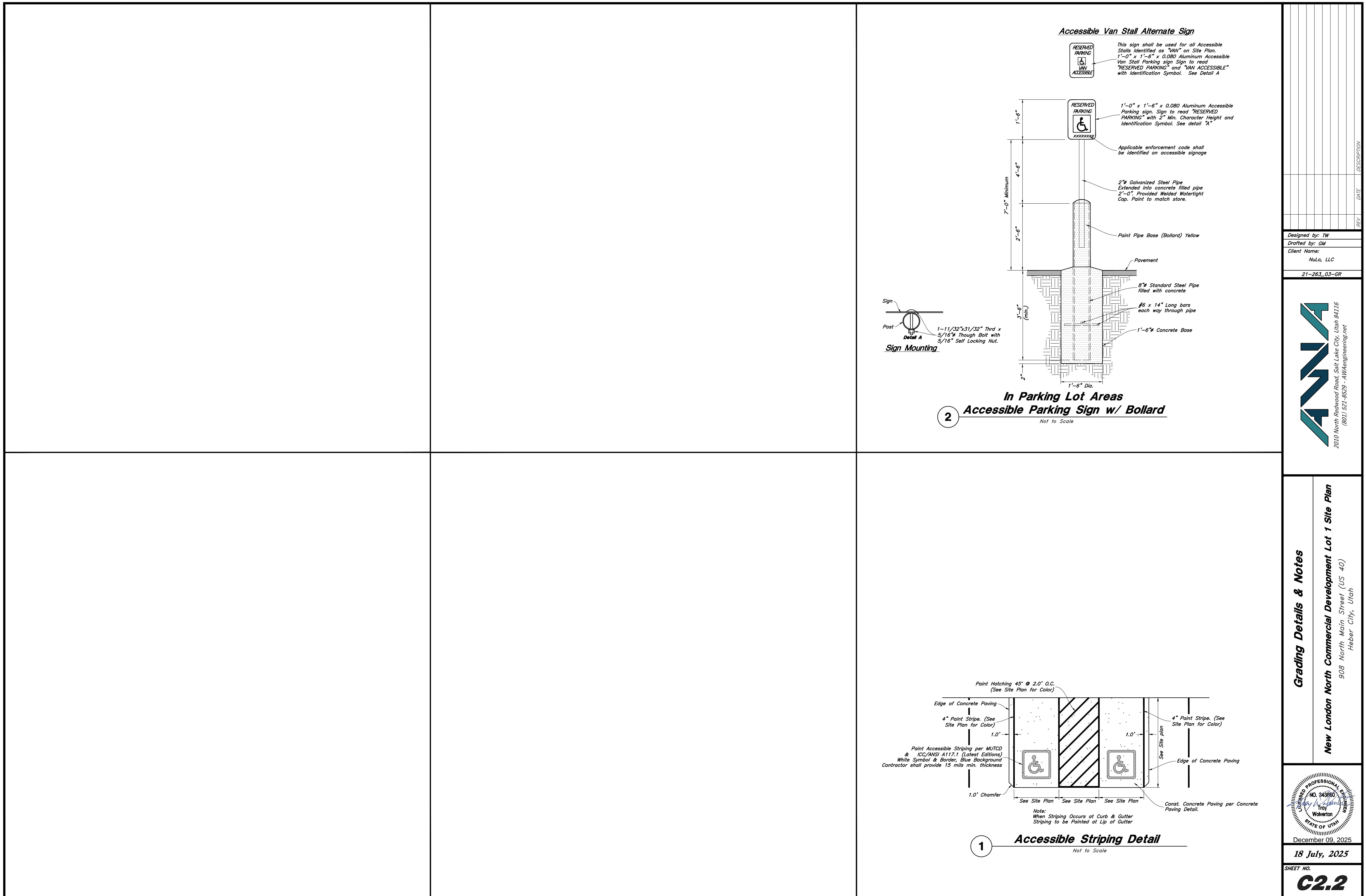
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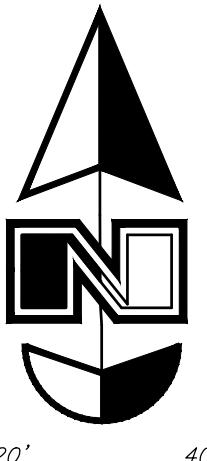
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- 1 -

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Pag





Scale: 1" = 20'

20' 0' 20' 40'

#### Sanitary Sewer Keynotes

- ④0) Const. SS Building Connection
- ④1) Const. 4" PVC SS
- ④2) Const. 4" G.O.T.G.
- ④3) Const. 4" PVC SS
- ④4) Const. Wye SS Connection
- ④5) Const. SS Building Connection
- ④6) Const. 4" PVC SS
- ④7) Const. 4" G.O.T.G.
- ④8) Const. Wye SS Connection
- ④9) Const. 4" PVC SS
- ④10) Const. 4" PVC SS
- ④11) Const. Grease Interceptor
- ④12) Const. 4" PVC SS
- ④13) Const. 4" PVC SS
- ④14) Const. 5" SS Manhole
- ④15) Const. 4" PVC SS
- ④16) Const. 4" G.O.T.G.
- ④17) Const. 4" PVC SS

**Storm Drain & Sanitary Sewer Note:**  
All Storm Drainage & Sanitary Sewer Pipe  
Lengths and Slopes are from  
Center of Structure to Center of Structure

**A Notice to Proceed Must be Obtained  
from the City Engineer Prior to Doing  
Any Work on the Project.**

**PVC Pipe Protection During Construction:**  
PVC Pipe must have 24" cover for heavy construction  
loading during construction. The Contractor is responsible to  
temporarily protect any pipes with less than 24" cover by  
berming over the pipes.

#### Utility Piping Materials:

All piping materials shall be per local agency standards or the  
specifications below at a minimum. All utility piping shall be  
installed per manufacturers recommendations. Refer to project  
specifications for more detailed information regarding materials,  
installation, etc.

##### Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter),  
AWWA C901, PE 3408, SDR 9 (200 psi)

##### Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter);  
AWWA C900, Class 235

##### Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe,  
ASTM D3034, Type PSM, SDR 35

##### Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer  
pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe,  
ASTM C76, Class III

#### General Utility Notes:

1. The Contractor shall immediately notify the Engineer in writing of any  
discrepancies, conflicts, or conditions encountered during construction  
that may affect the work, schedule, or cost. Work in the affected area  
shall not proceed until directed by the Engineer.
2. All sewer and water facilities shall be constructed per local jurisdiction  
standards and specifications. Contractor is responsible to obtain  
standards and specifications.
3. Coordinate all utility connections to building with plumbing plans and  
building contractor.
4. Verify depth and location of all existing utilities prior to constructing  
any new utility lines. Notify Civil Engineer of any discrepancies or  
conflicts prior to any connections being made.
5. All catch basin and inlet box grates are to be bicycle proof.
6. Refer to the site electrical plan for details and locations of electrical  
lines, transformers and light poles.
7. Gas lines, telephone lines, and cable TV lines are not a part of these  
plans.
8. Water meters are to be installed per city standards and specifications.  
It will be the contractor's responsibility to install all items required.
9. Water lines, valves, fire hydrants, fittings, etc. are to be constructed  
as shown on plans. Contractor is responsible for the work to  
construct any vertical adjustments necessary to clear sewer, storm  
drain, or other utilities as necessary including valve boxes and  
hydrant spools to proper grade.
10. Contractor shall install a 12" concrete collar around all manholes,  
valves, catch basins, cleanouts & any other structures located within  
the asphalt.

#### Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection  
elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to  
any onsite utility construction. Gravity lines are to be  
constructed starting at the lowest point and be  
installed prior to any waterline installation.
3. Construction of any onsite utilities prior to the offsite  
connection will be done at the contractors risk.

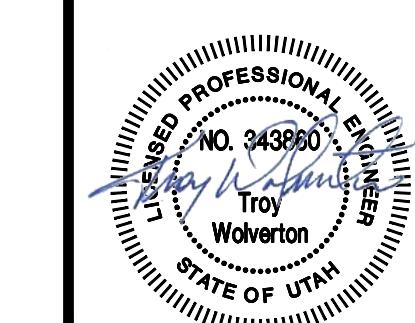
#### CAUTION :

The locations and/or elevations of existing  
utilities as shown on these plans are based on  
records of the various utility companies and  
when possible, measurements taken in the field.  
The information is not to be relied on as being  
exact or complete.

#### Acceptance

City Engineer, Russell Funk, P.E.

Approval Date



18 July, 2025

SHEET NO.

**C3.1**

**AWWA**

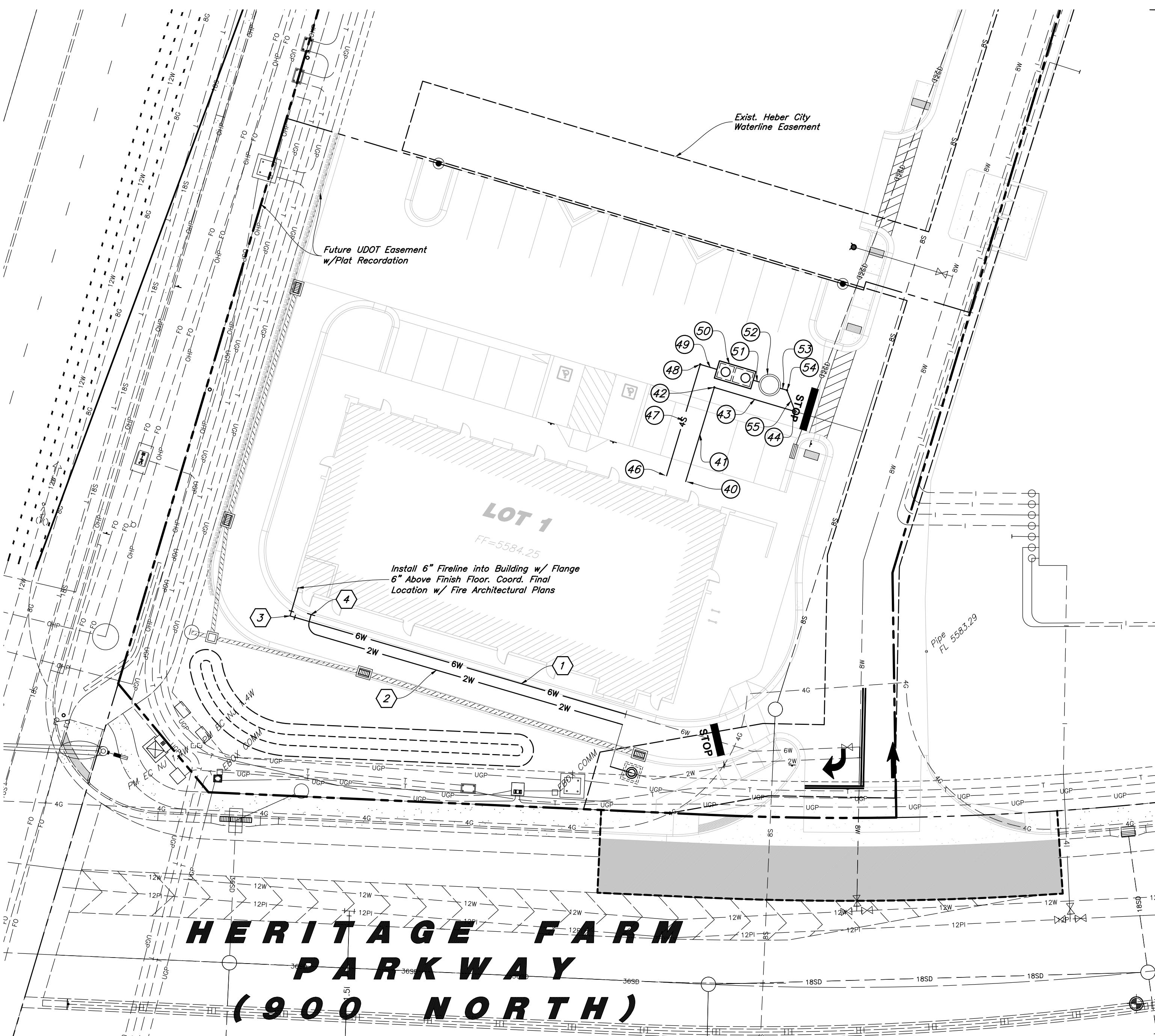
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWAAengineering.net

**Utility Plan**

**New London North Commercial Development Lot 1 Site Plan**

**908 North Main Street (US 40)**

**Heber City, Utah**



#### Legends:

- Stream Channel
- 25' Delineation Wetland Setback
- Wetland Boundary

Stream Channel

25' Delineation Wetland Setback

Wetland Boundary

#### Acceptance

City Engineer, Russell Funk, P.E.

Approval Date

1. REINFORCEMENT: ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.

A. Space rebar and dowels at 12 to 15 inches on center.

B. Grease dowels to provide movement in expansion joints.

C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.

2. SAWING: Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommended by sealant manufacturer and approved by ENGINEER.

3. JOINTS: Lay out joints to aid construction and control random cracking.

A. Joint Spacing shall be 12 feet maximum on center in both directions.

B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.

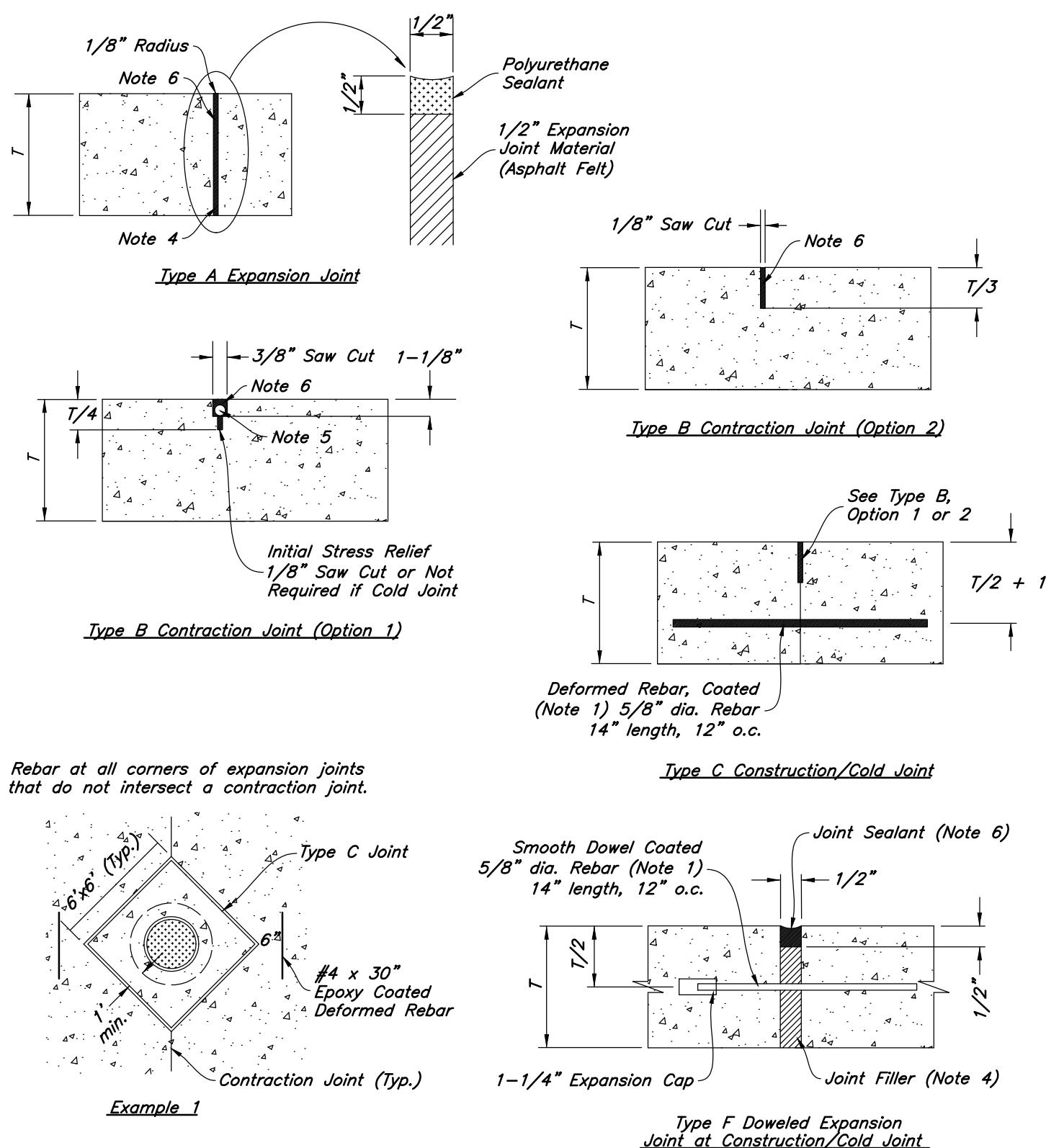
C. Make adjustments in joint locations to meet inlet or manhole locations.

D. Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.

4. JOINT FILLER: Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.

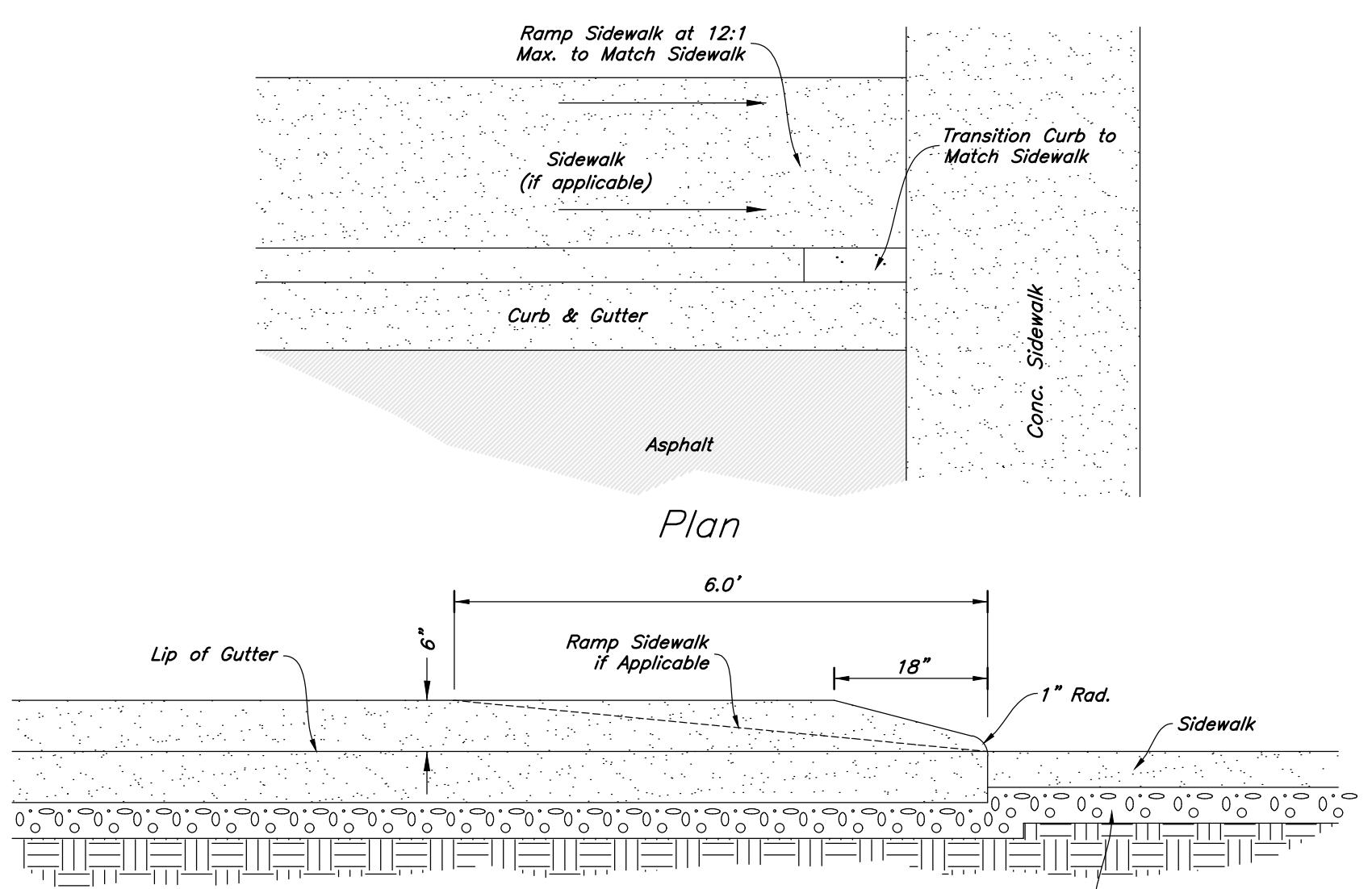
5. BACKER ROD: Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.

6. JOINT SEALANT: Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



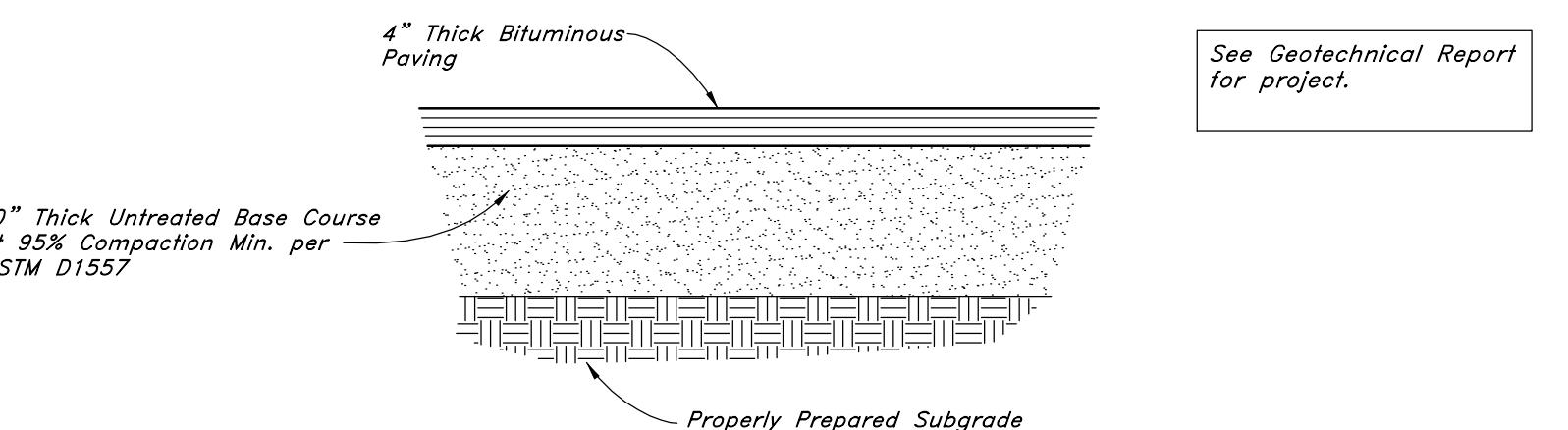
## Concrete Joint Detail

Not to Scale



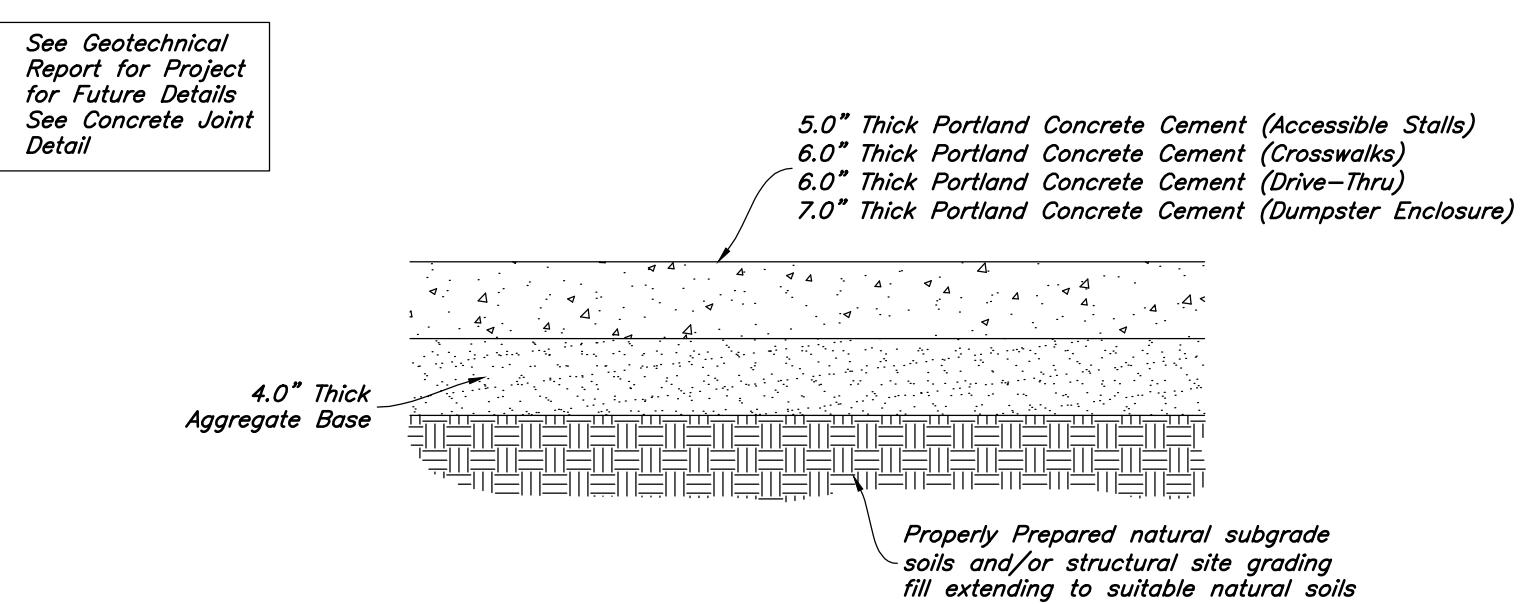
## Curb Transition

Not to Scale



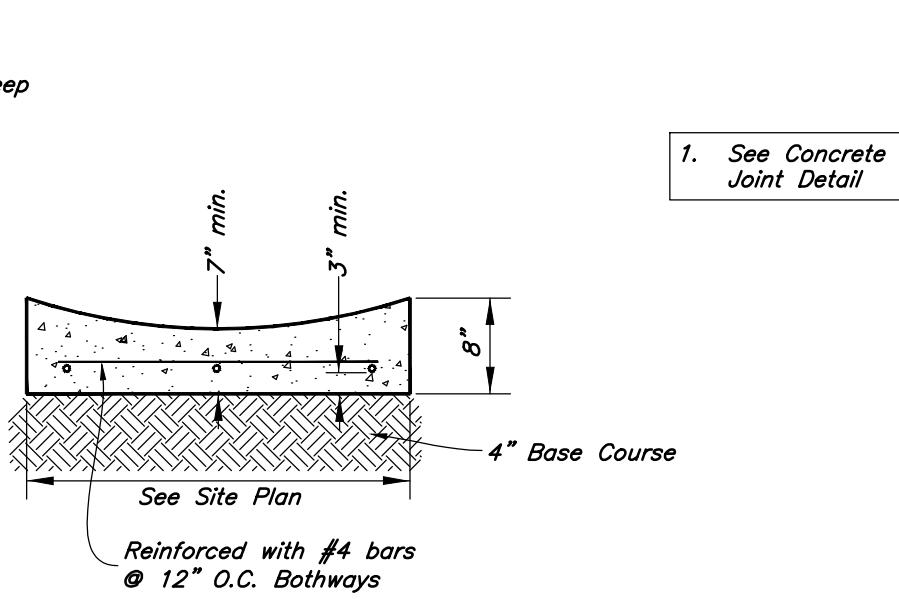
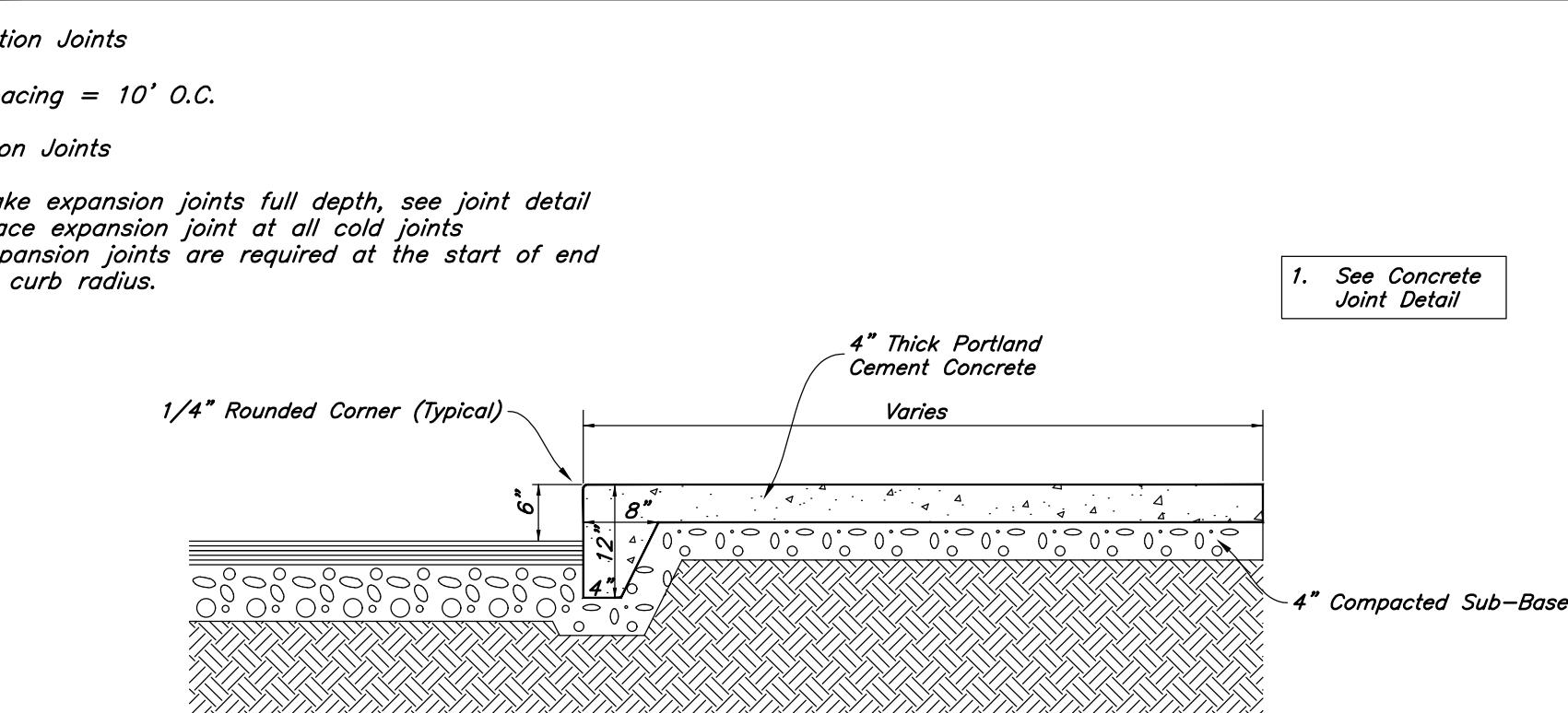
## 7 Heavy Duty Asphalt Paving

Not to Scale



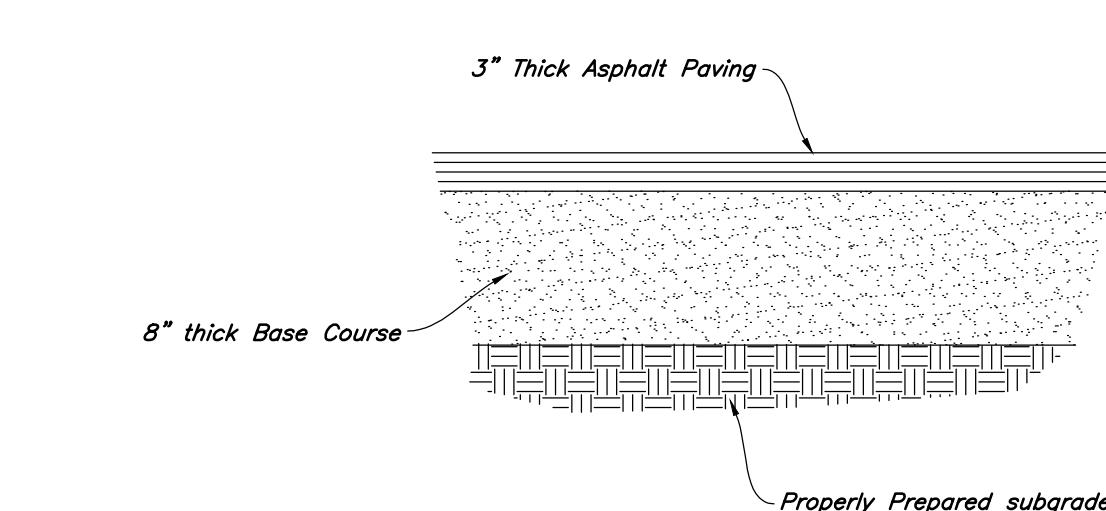
## 6 Concrete Paving Section

Not to Scale



## 3 Typical Waterway Detail

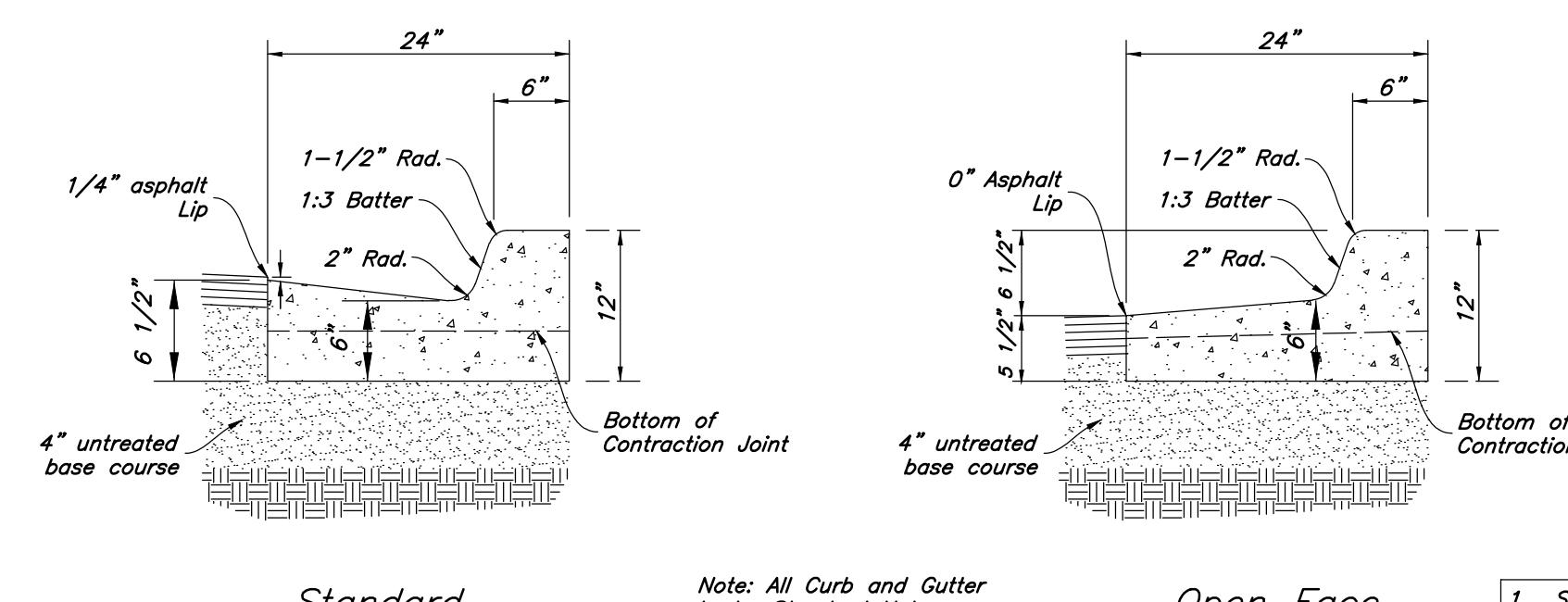
Not to Scale



## 2 Standard Asphalt Section

Not to Scale

1. Contraction Joints  
A. Spacing = 10' O.C.  
B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals  
2. Expansion Joints  
A. Make expansion joints full depth, see joint detail  
B. Place expansion joint at all cold joints  
C. Expansion joints are required at the start of end of curb radius.  
3. 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement  
4. Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter  
5. Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.  
6. All radii shall be true arcs  
7. Medium to light broom finish on all exterior concrete

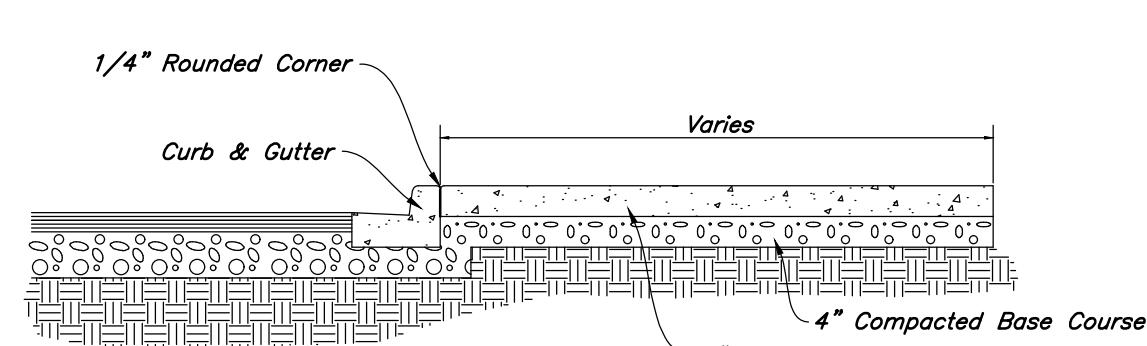


## 1 24" Curb And Gutter

Not to Scale

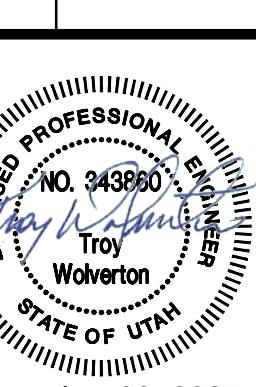
## 4 Typical Sidewalk Detail

Not to Scale



AWA  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWEngineering.net

Details  
New London North Commercial Development Lot 1 Site Plan  
908 North Main Street (US 40)  
Heber City, Utah



18 July, 2025

SHEET NO.

C6.1

DESIGNER  
TW

DRAFTER  
GM

CLIENT  
NULO, LLC

DATE  
21-263-03-DT

REV.

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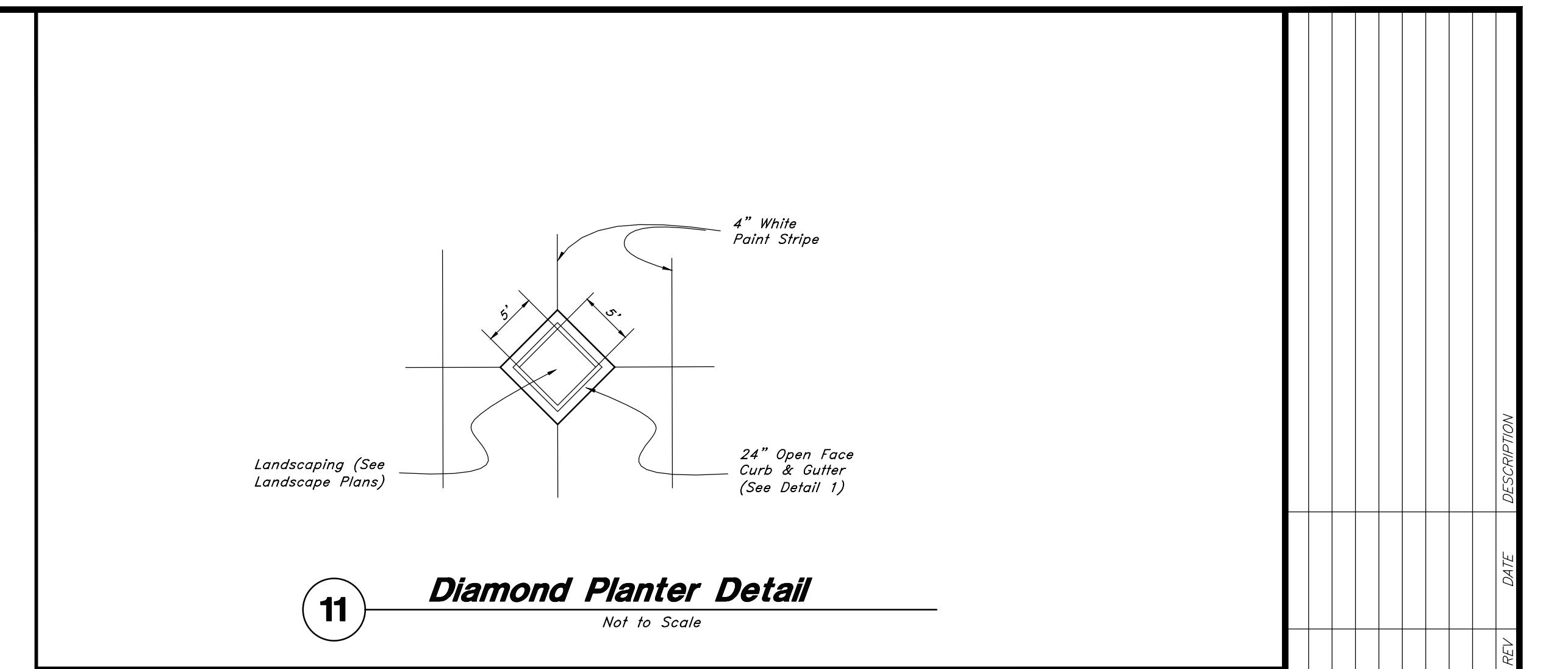
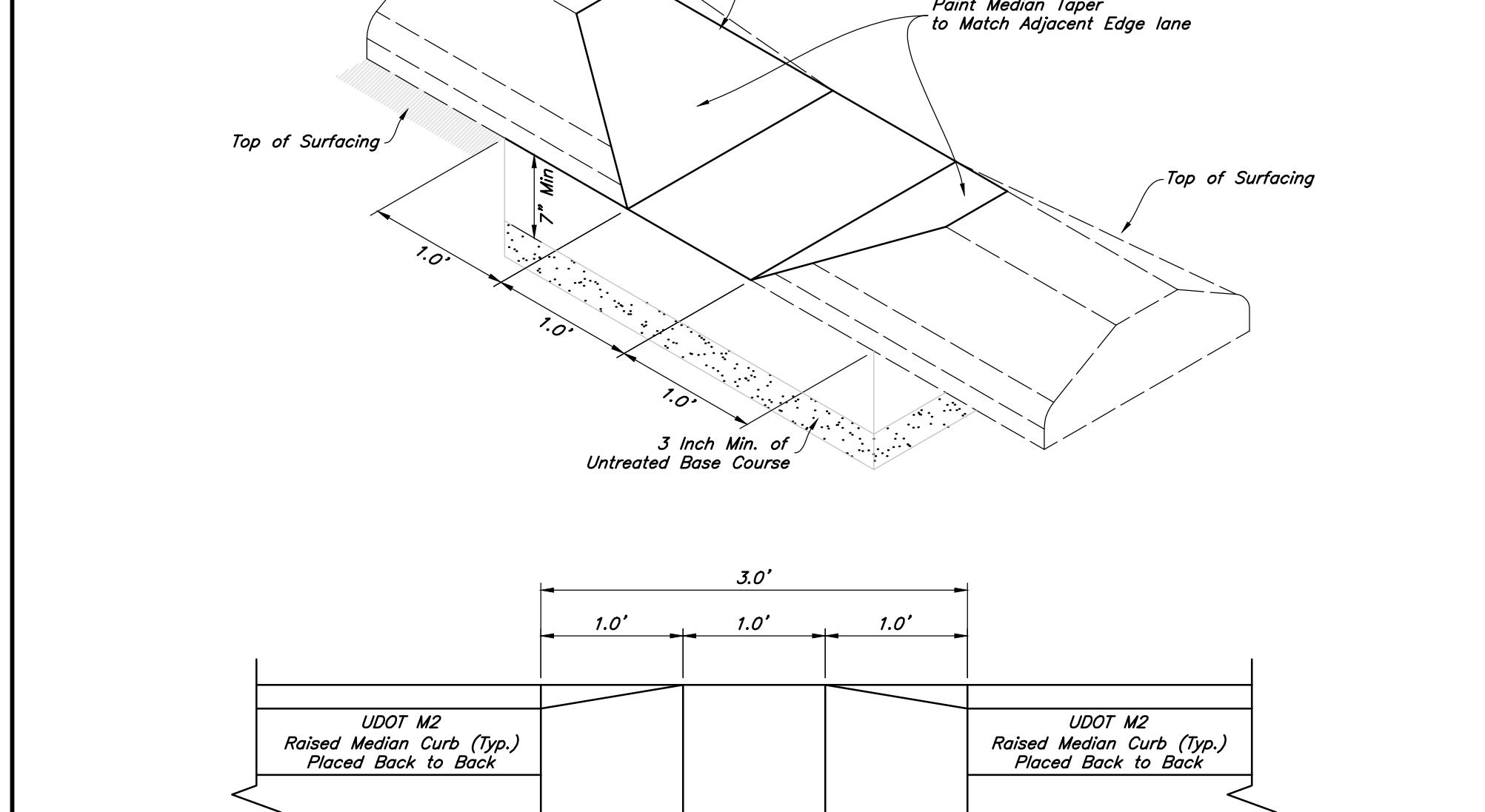
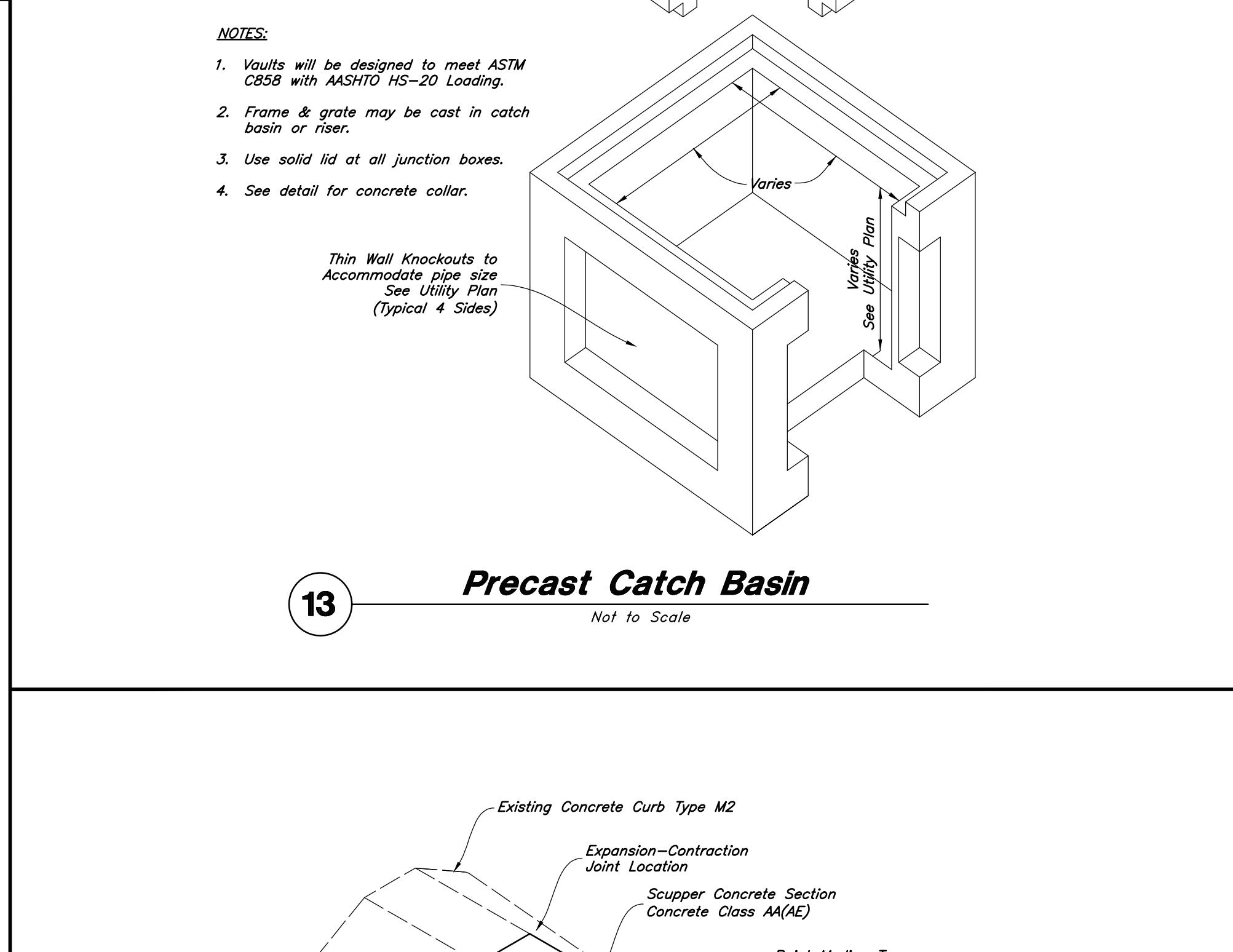
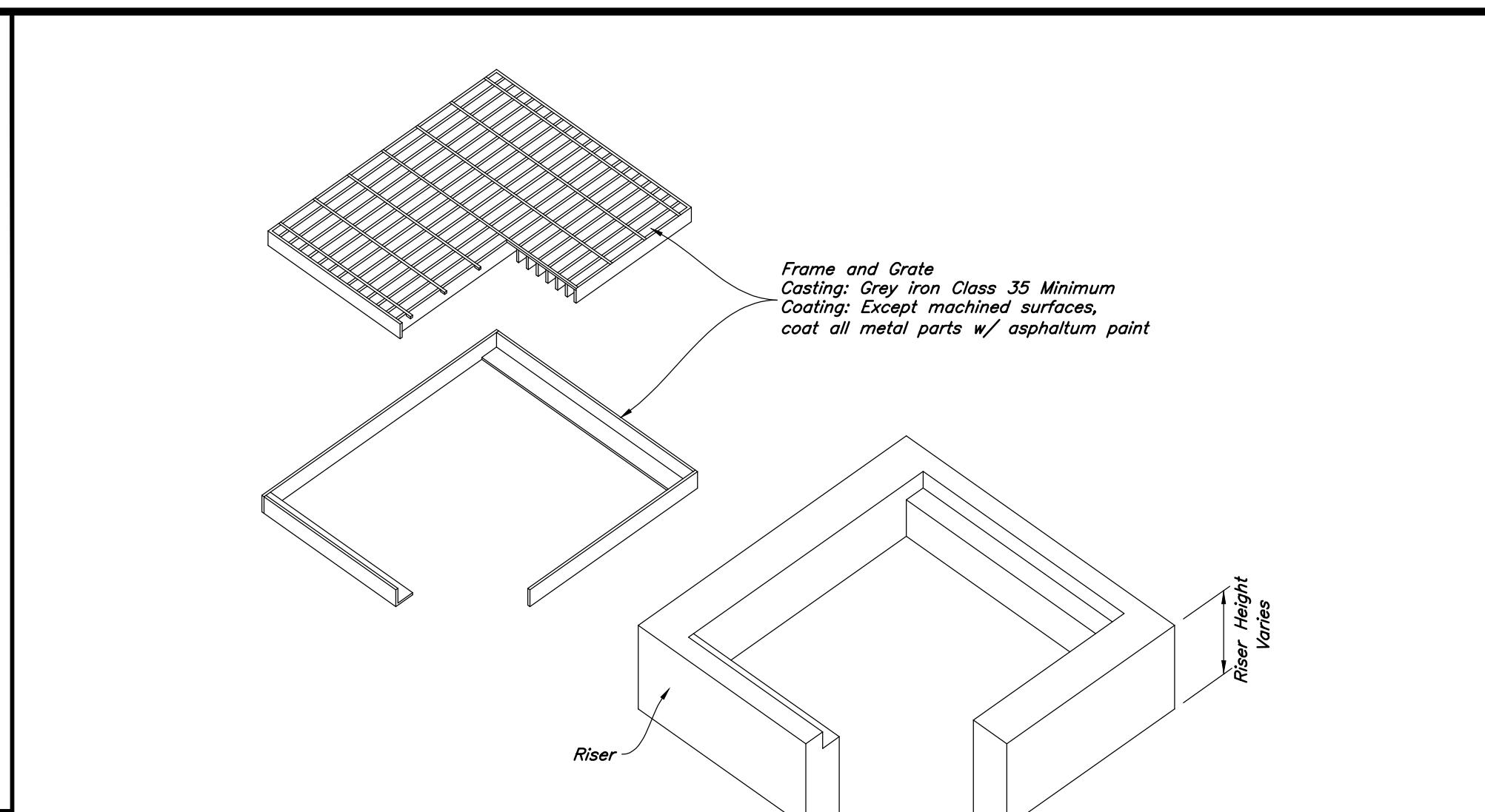
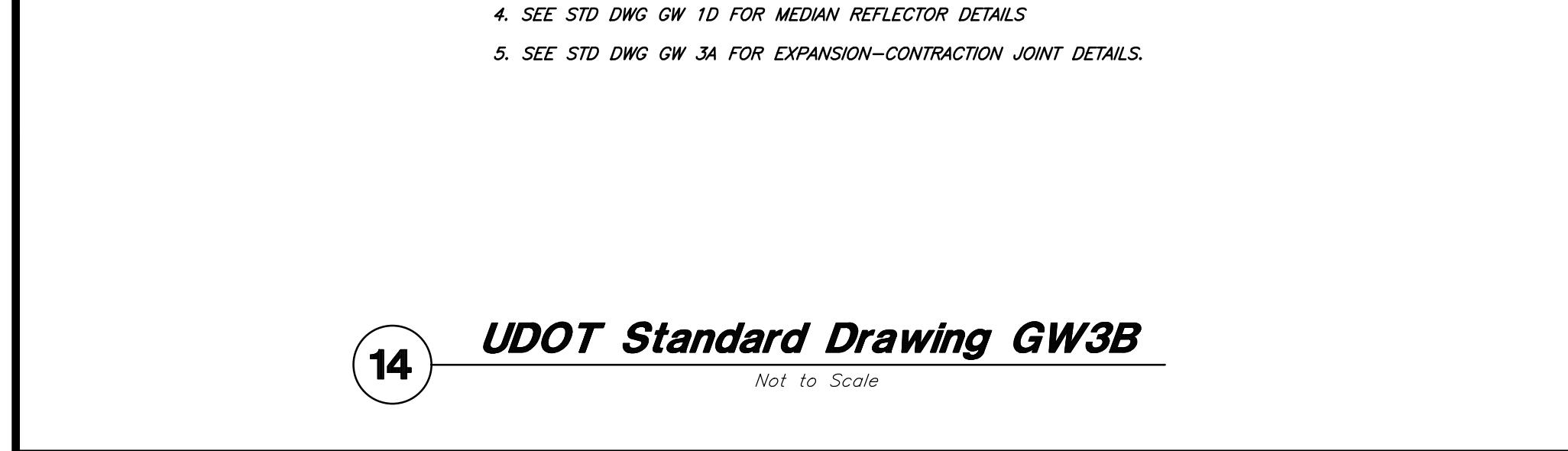
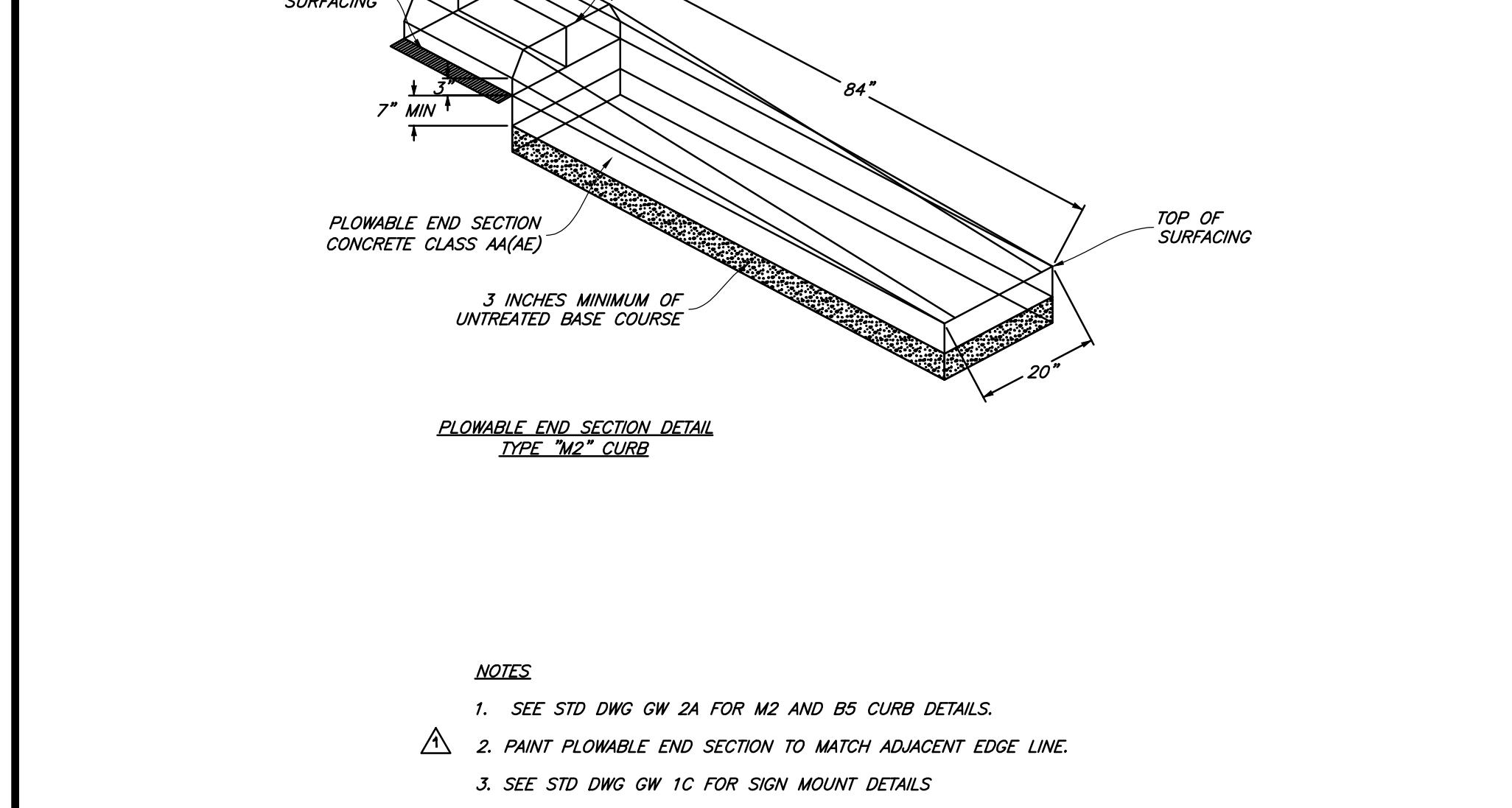
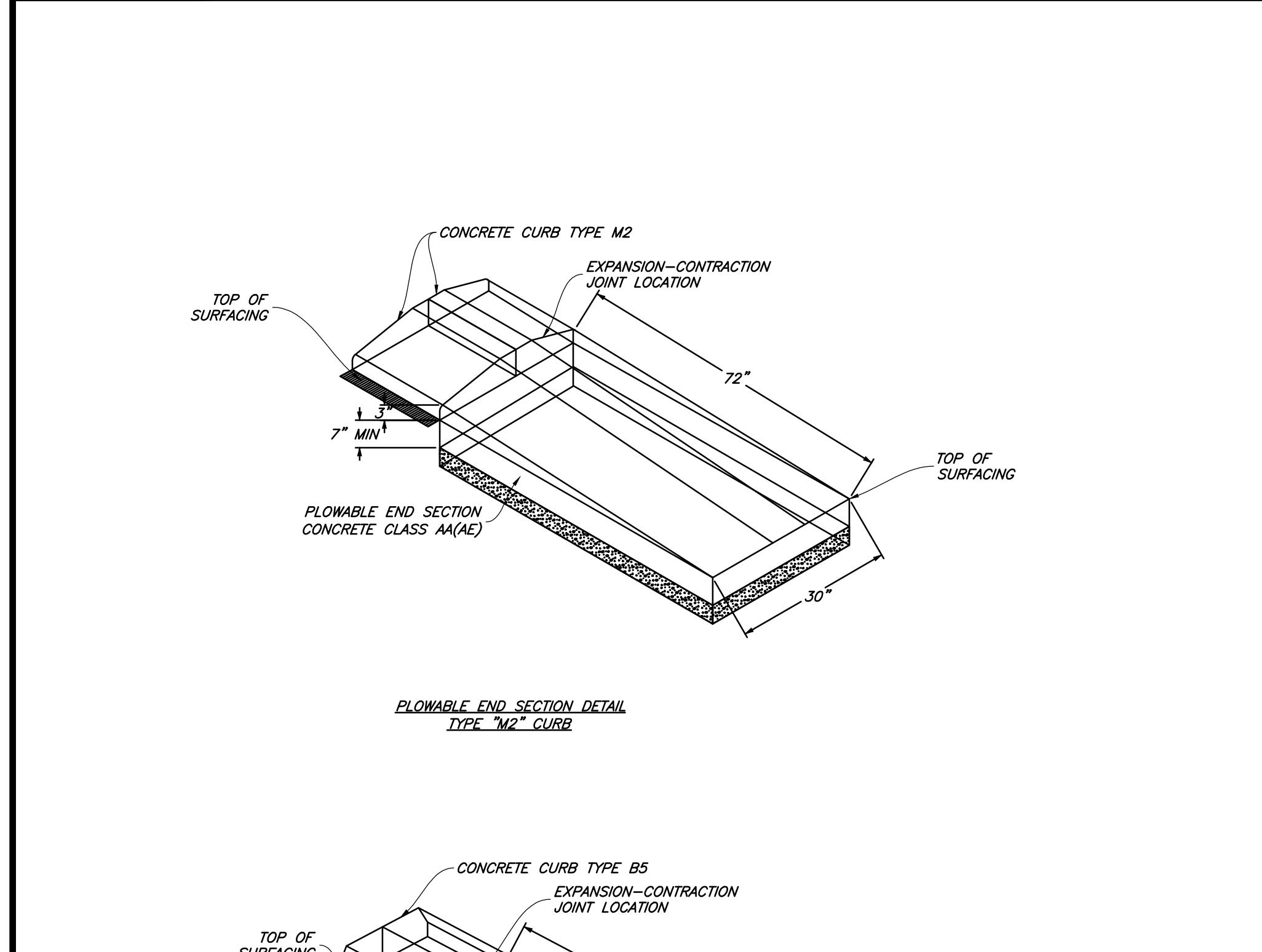
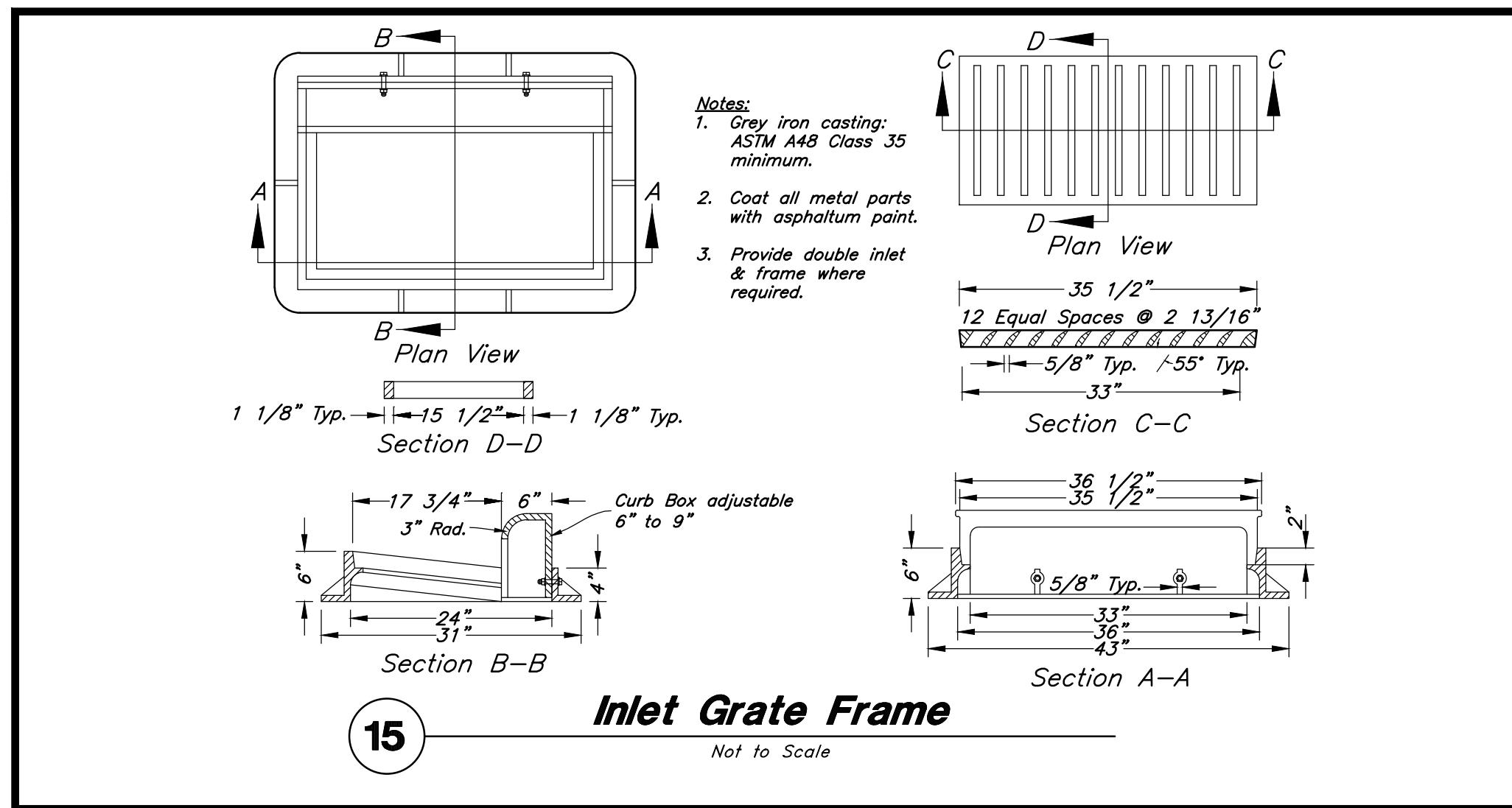
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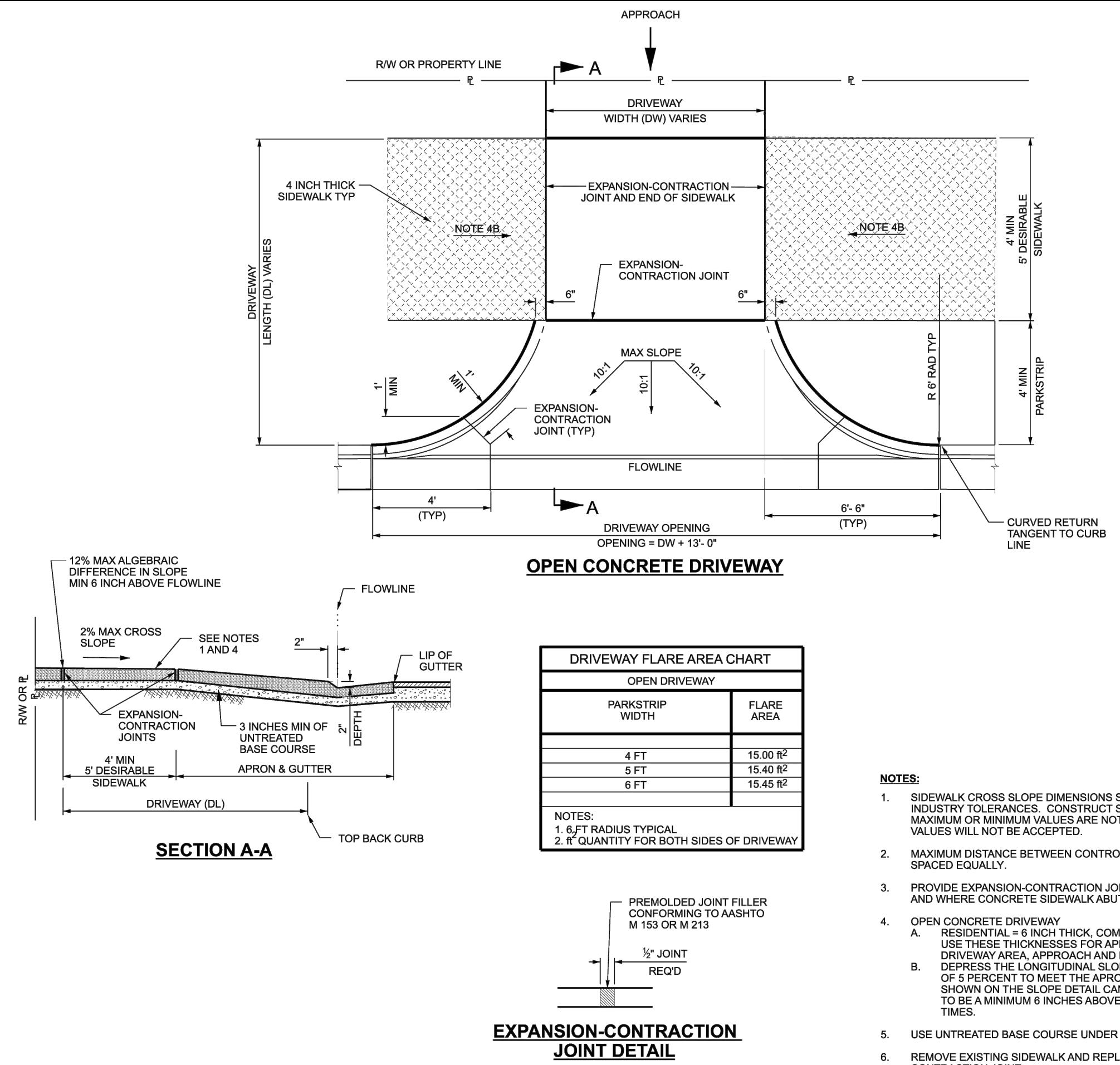
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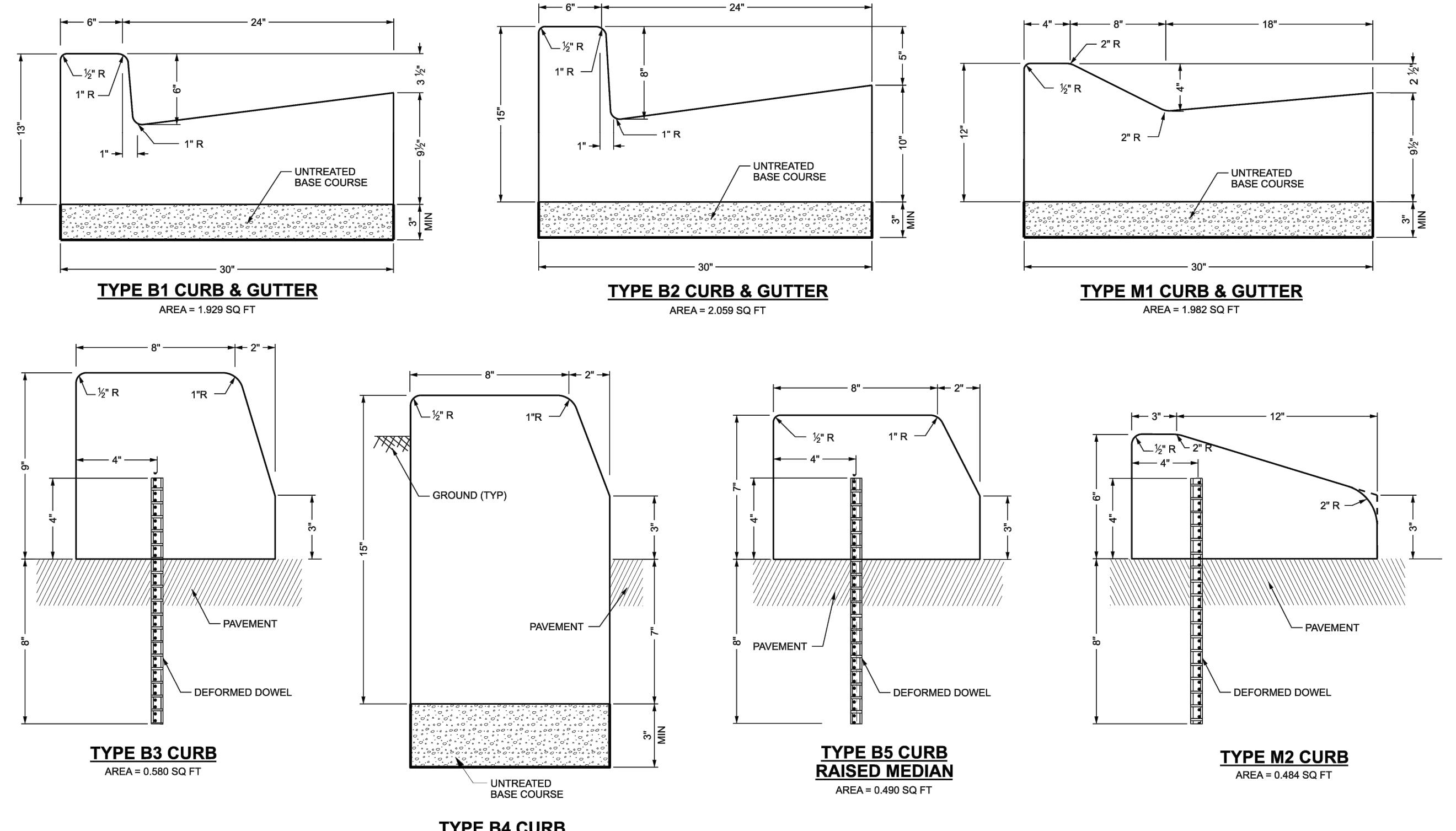
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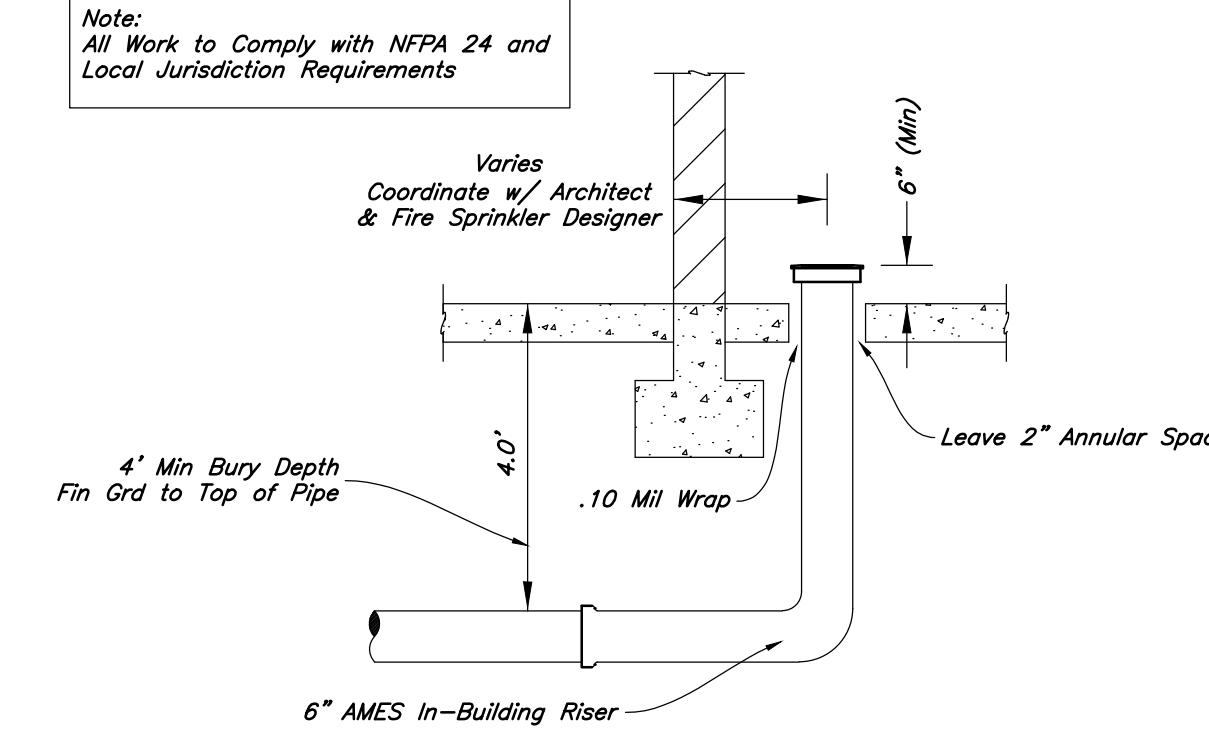
**21** *UDOT Standard Drawing GW 3B* *Not to Scale*



**20** *UDOT Standard Drawing GW 2A* *Not to Scale*

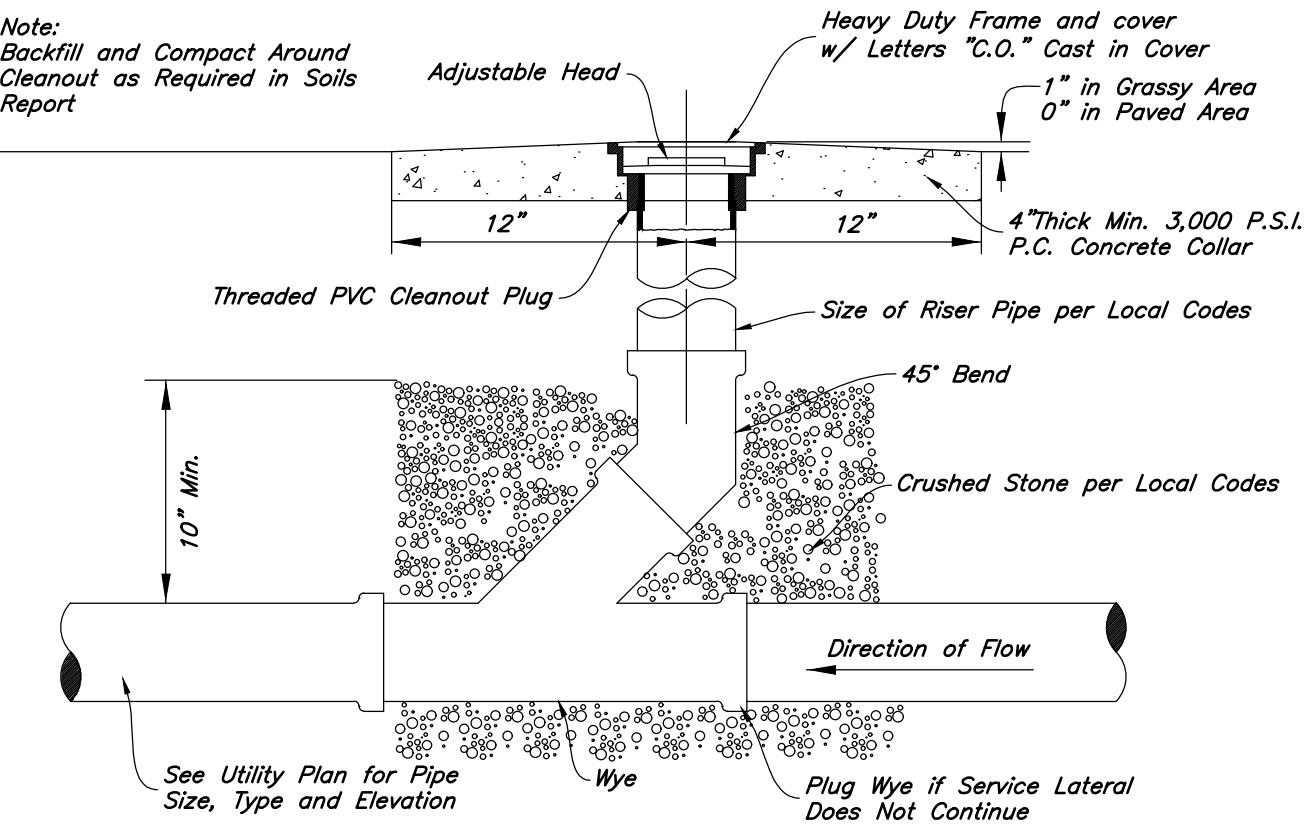


10. *What is the primary purpose of the following statement?*



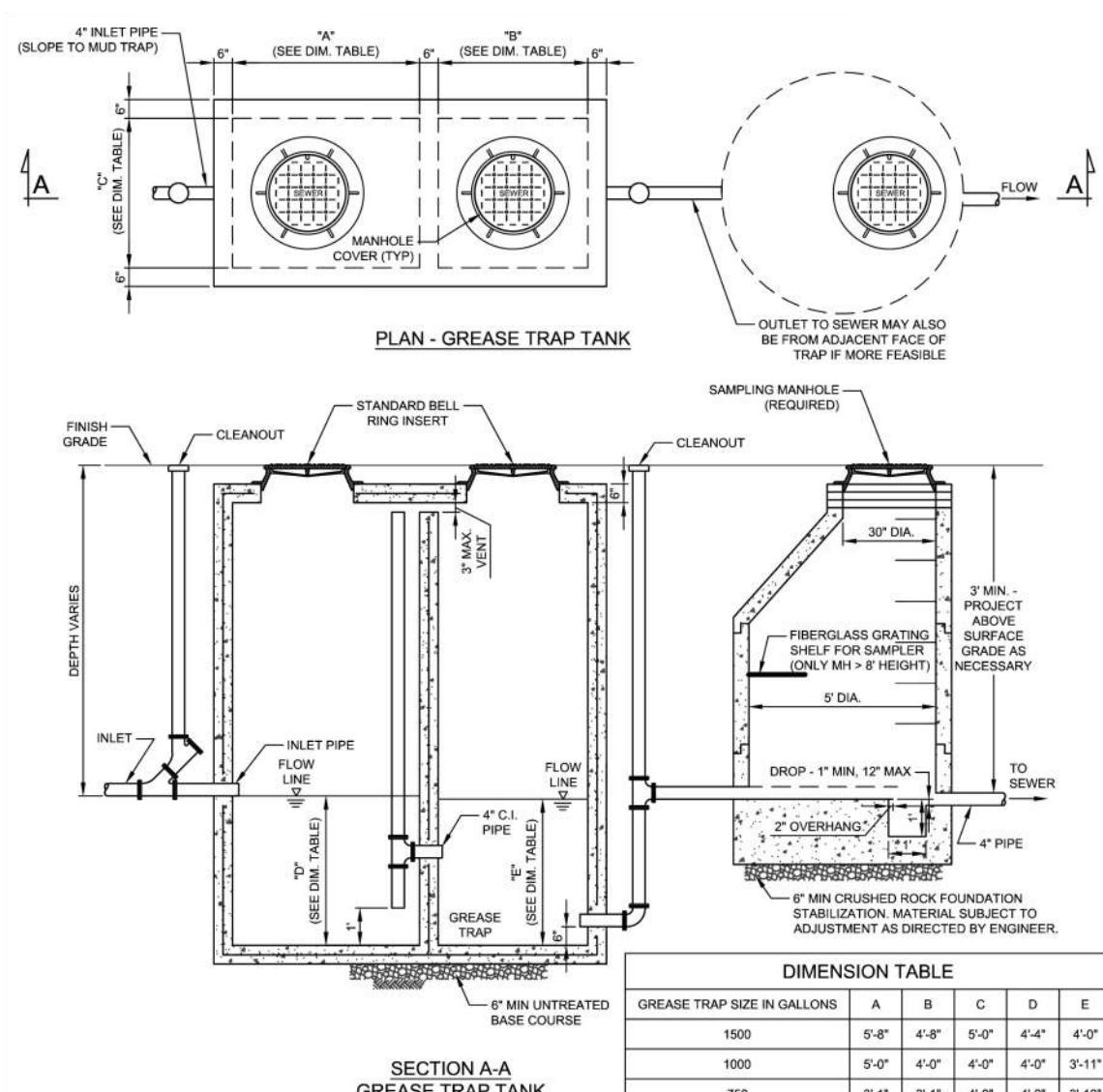
## 18 *Fire Riser Stub-In Detail*

*Not to Scale*



## ***Typical Cleanout Detail***

*Not to Scale*



**16** *Heber City Std. Dwg. Sewer-6*  
*Not to Scale*

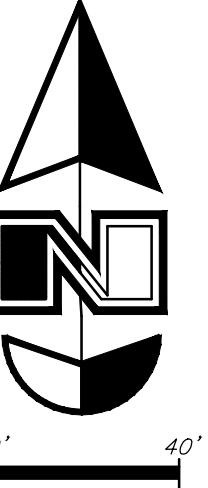
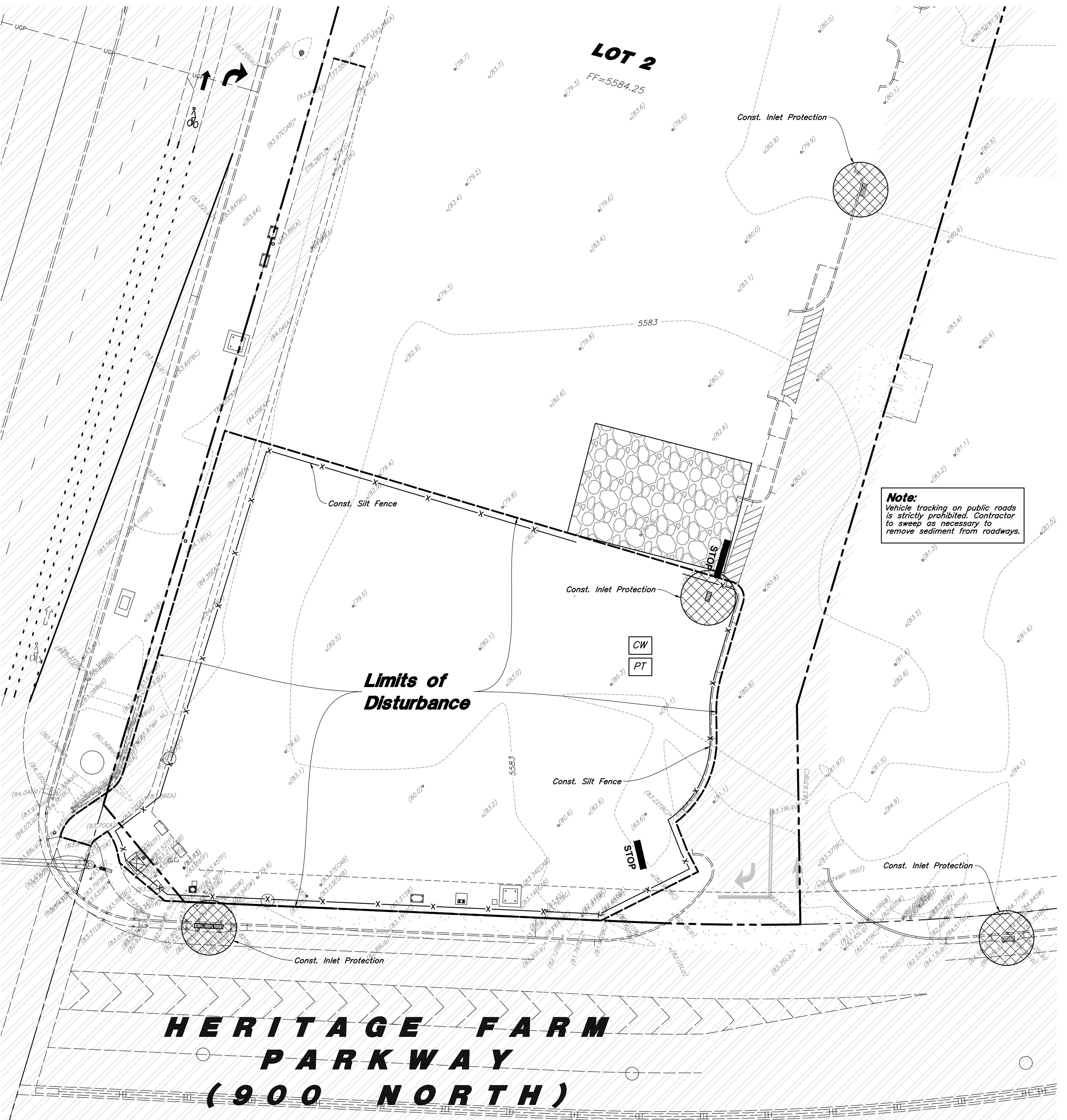
# *New London North Commercial Development Lot 1 Site Plan*

A circular professional engineer seal. The outer ring contains the text "PENNSYLVANIA" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom. The inner circle has a dotted border and contains the text "NO. 343860" at the top and "Troy Wolverton" at the bottom. The date "1/1/11" is handwritten in the bottom left corner of the inner circle.

STATE OF UTAH

18 July, 2025

MEET NO.  
**C6.3**



Scale: 1" = 20'

#### Legend

|  |        |
|--|--------|
| Place Inlet Protection at all Inlet Locations to prevent boxes from silting. | 2 C5.3 |
| Silt Fence   | 3 C5.3 |
| Limit of Disturbance   | 4 C5.3 |
| Construction Entrance / Truck Wash (50'x24' Min.)                            | 5 C5.3 |
| Concrete Washout Area  | CW     |
| Portable Toilet  | PT     |
| Gravel Sack  |        |
| Existing Contour   |        |
| Existing Spot  |        |
| Proposed Contour   |        |
| Stream Channel   |        |
| 25' Delineation Wetland Setback  |        |
| Wetland Boundary   |        |

**AWWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - [AWAengineering.net](http://AWAengineering.net)

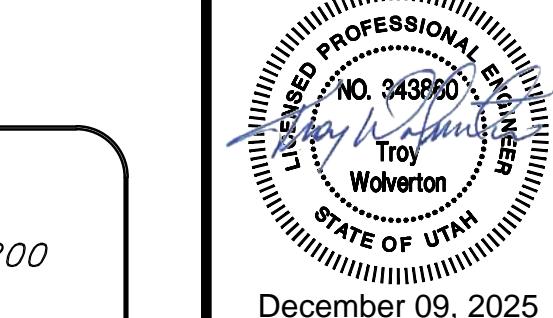
#### Erosion Control Plan - Phase 1

New London North Commercial Development Lot 1 Site Plan  
908 North Main Street (US 40)  
Heber City, Utah

#### Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200  
Highland, Utah 84003  
Thomas Lehnhardt  
801-467-7000 main / 104 ext.  
[Hi@wpi.us.com](mailto:Hi@wpi.us.com)



18 July, 2025  
SHEET NO. C7.1



#### CAUTION :

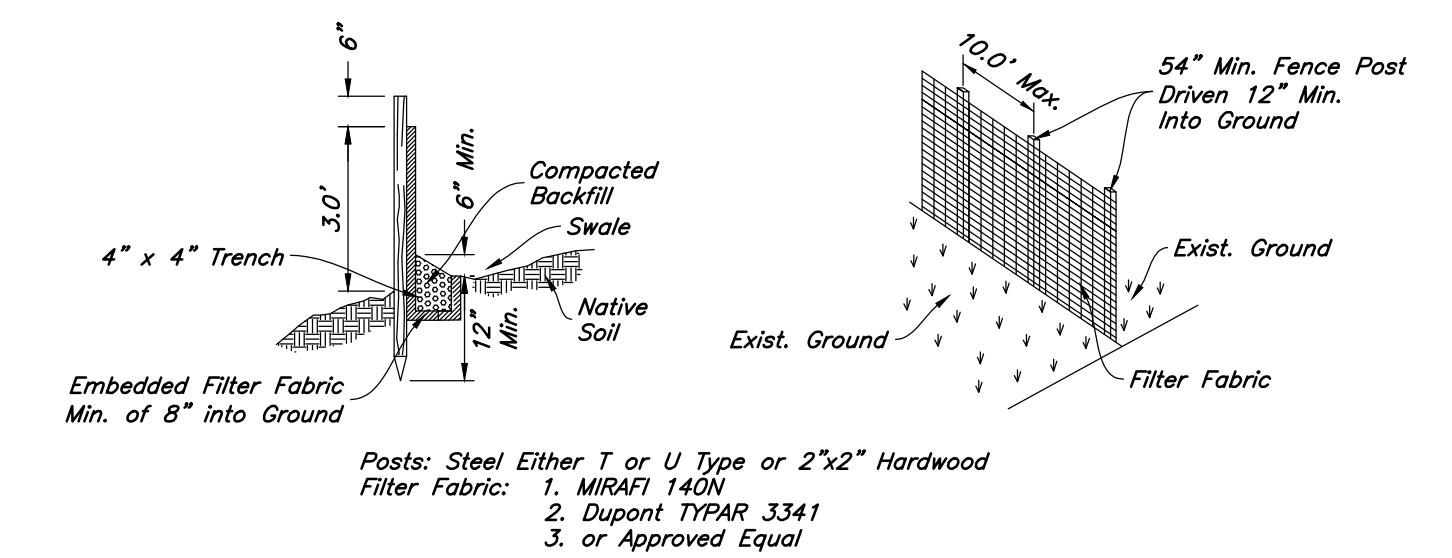
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

#### Acceptance

City Engineer, Russell Funk, P.E. Approval Date

A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

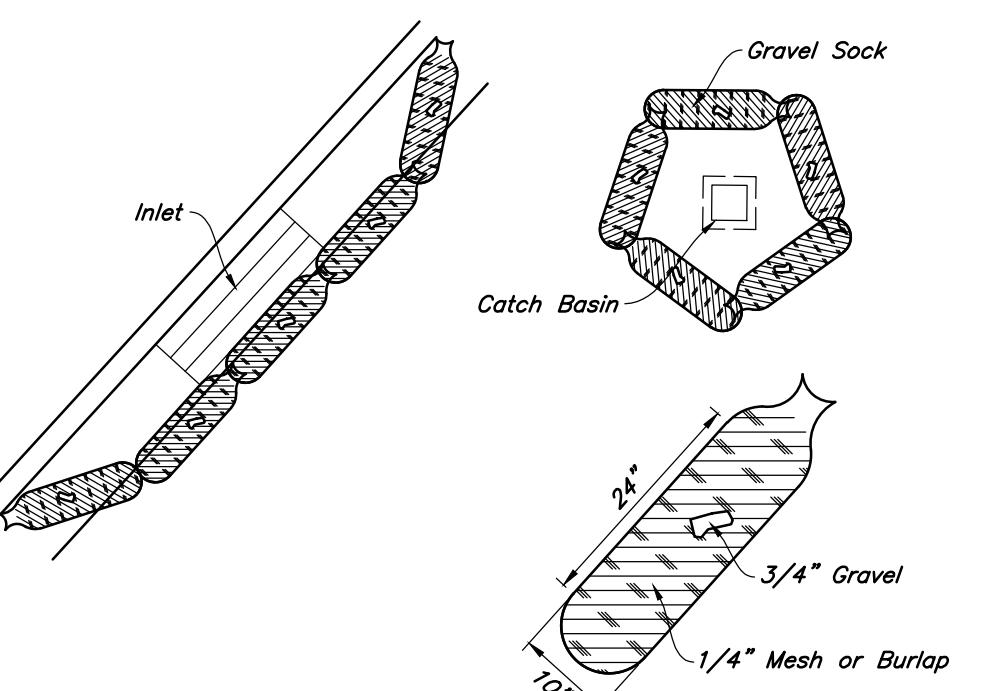




- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
  2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
  3. Collected material shall be removed when "bulges" develop in the silt fence.

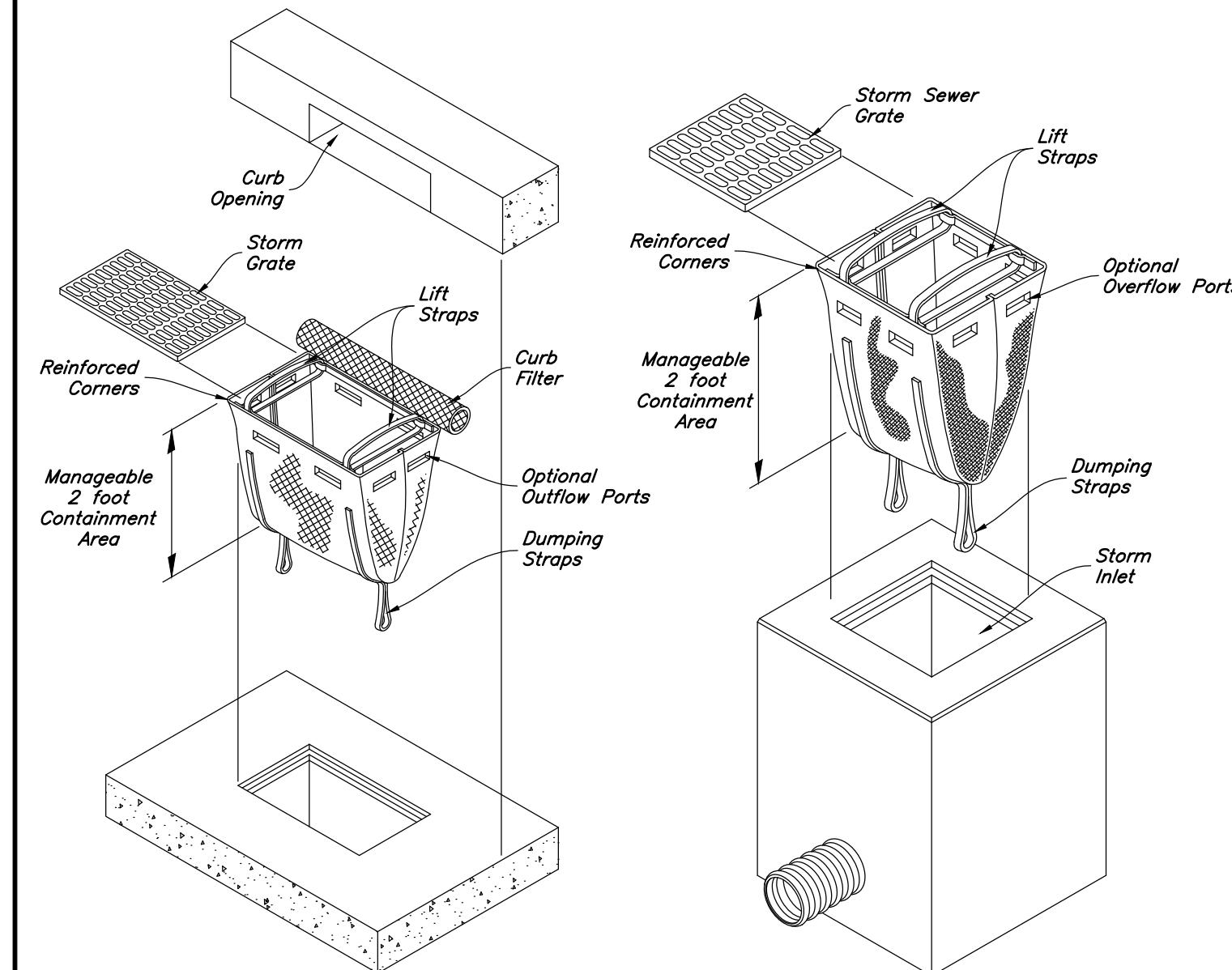
**Silt Fence Section**

Not to Scale



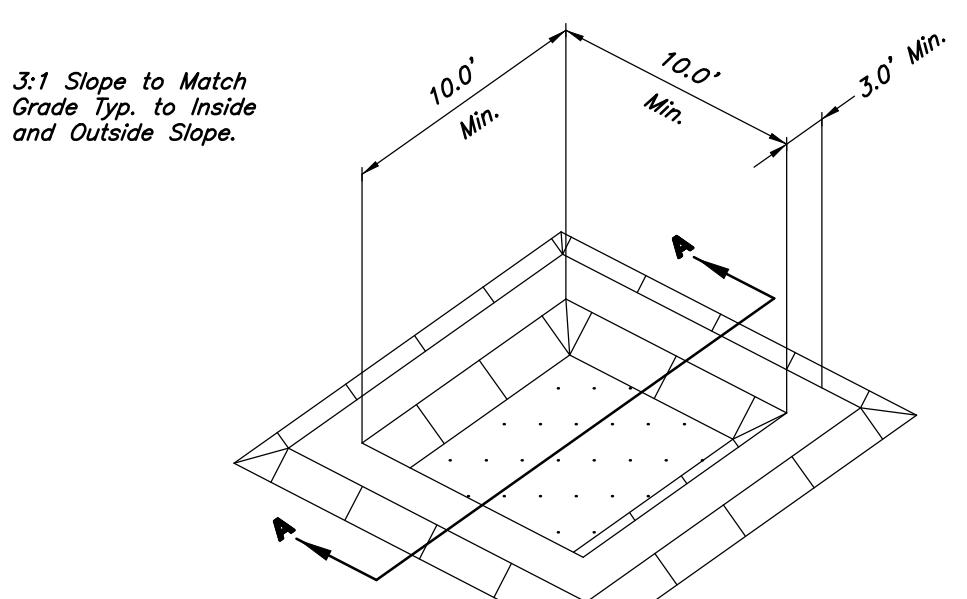
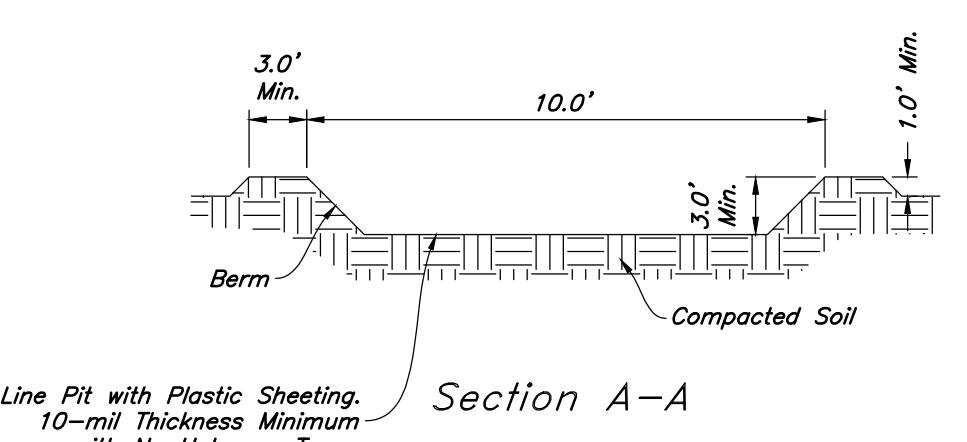
**5 Gravel Sock Sediment Barrier**

Not to Scale



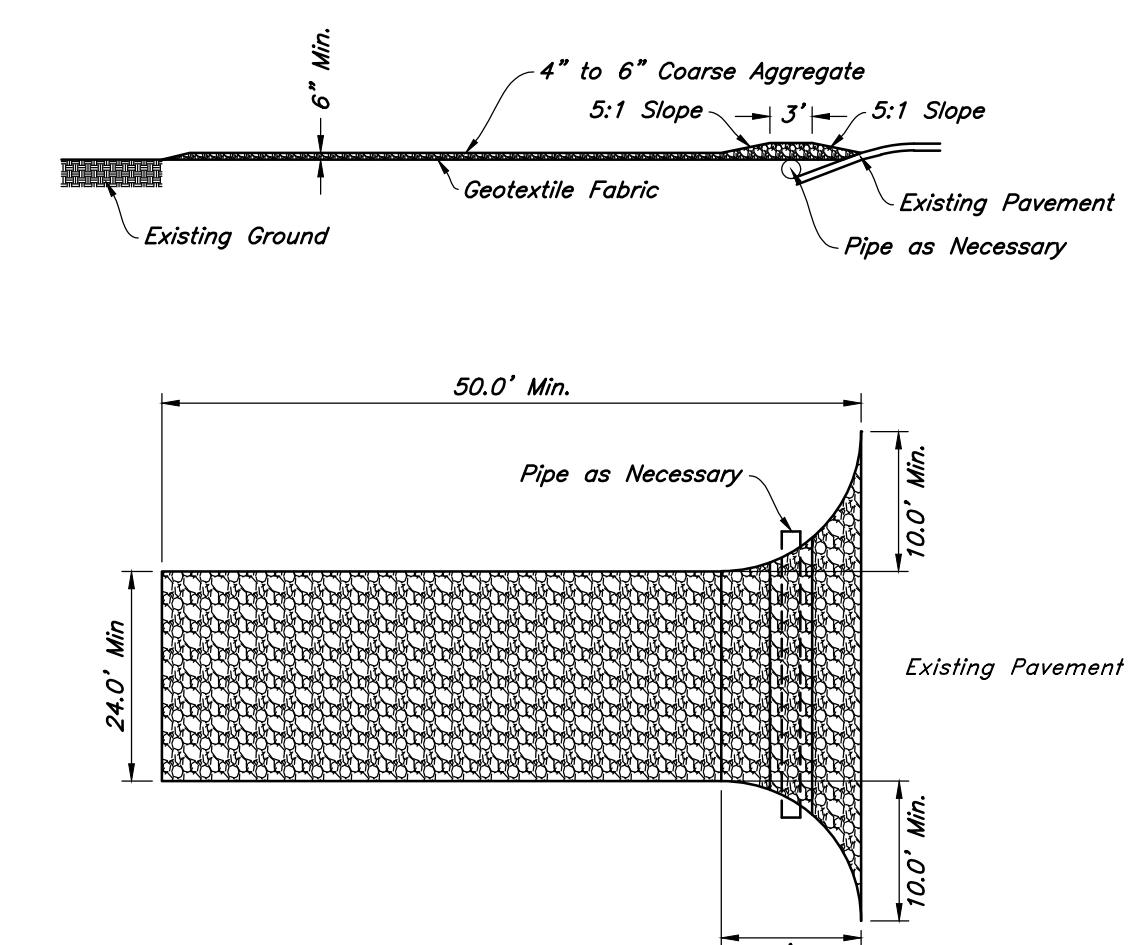
**2 Dandy Sack Inlet Protection**

Not to Scale



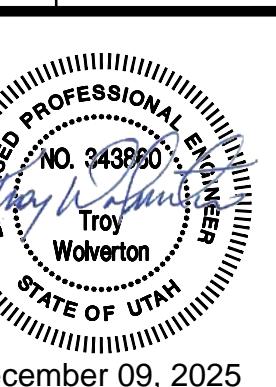
**4 Concrete Washout**

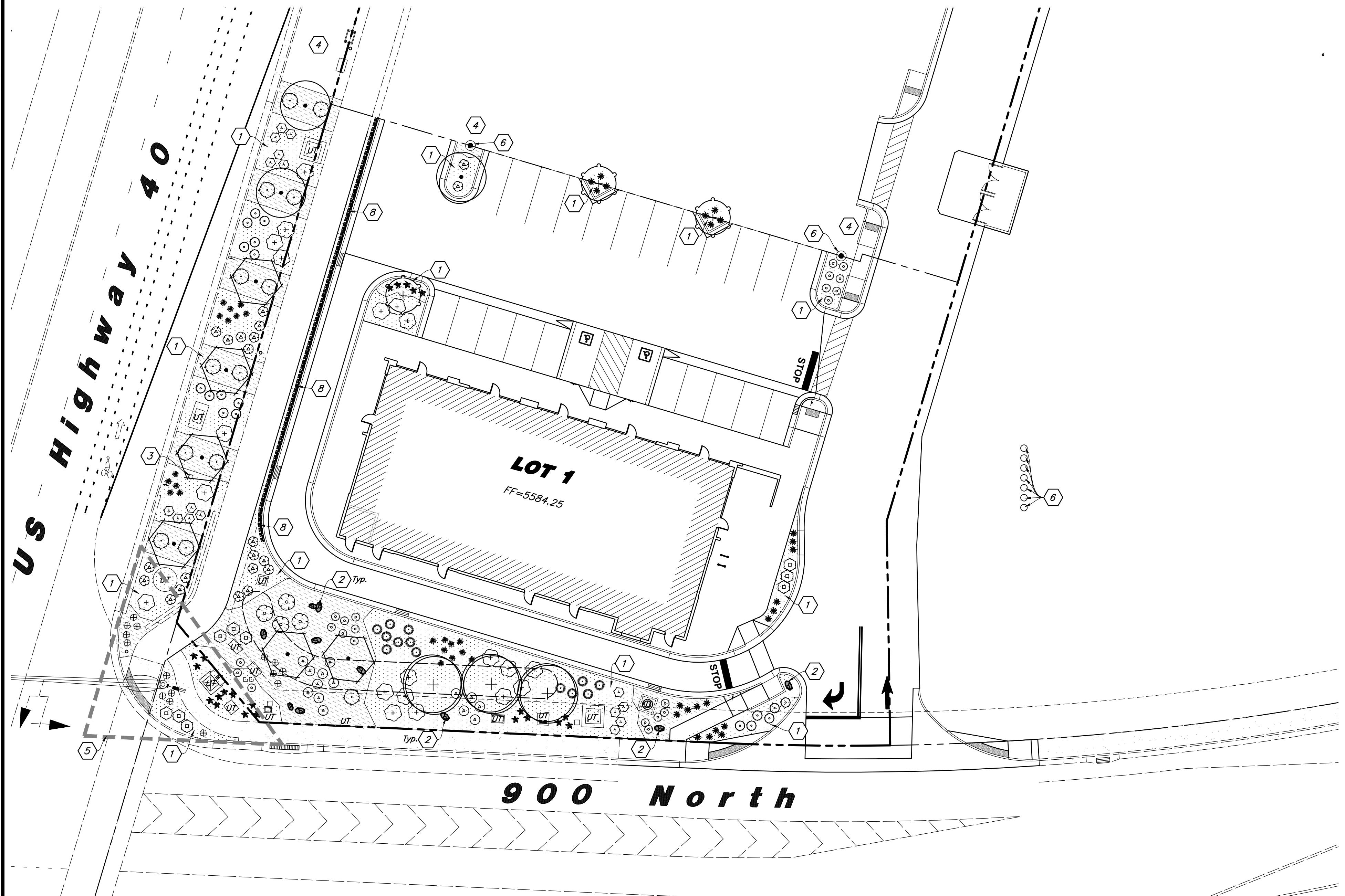
Not to Scale



**1 Stabilized Construction Entrance**

Not to Scale





#### General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fit the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.

- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant Ischedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing and/or imported topsoil shall be used for all landscape areas. Verify if existing topsoil is available and acceptable for shrub areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on existing and/or imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scuffing the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide an 8 inch depth of existing and/or imported topsoil in shrub areas and 12 inch depth in parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pept, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Deltitt Pro5 Weed Barrier. Weed barrier shall be overlapped six (6) inches at seams and staked down using triangular spacing at five (5) feet spacing, install fussy side down. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone shall be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking detail. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous trees to be V.I.T. Cinch Tie #C132.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.

#### PLANT SCHEDULE

| SYMBOL                    | QTY | BOTANICAL / COMMON NAME  | SIZE       |
|---------------------------|-----|--|------------|
| <b>TREES</b>              |     |  |            |
| +                         | 3   | Quercus robur 'Skyrocket' / Skyrocket English Oak                | 2" Caliper |
| <b>STREET TREE</b>        |     |  |            |
| •                         | 3   | Acer grandidentatum / Bigtooth Maple                             | 2" Caliper |
| ○                         | 6   | Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam      | 2" Caliper |
| +                         | 3   | Tilia cordata 'Corzam' / Corinthian Littleleaf Linden            | 2" Caliper |
| <b>SHRUBS</b>             |     |  |            |
| △                         | 20  | Caragana frutex 'Globosa' / Globe Russian Peashrub               | 5 gal      |
| ○                         | 4   | Cornus sericea / Red Twig Dogwood                                | 5 gal      |
| ○                         | 9   | Juniperus communis 'Alpine Carpet' / Juniper                     | 5 gal      |
| ○                         | 12  | Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper           | 5 gal      |
| ○                         | 13  | Pinus mugo 'Pumilio' / Dwarf Mugo Pine                           | 5 gal      |
| ○                         | 16  | Potentilla fruticosa 'Pink Beauty' / Pink Beauty Bush Cinquefoil | 5 gal      |
| ○                         | 14  | Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla        | 5 gal      |
| ○                         | 20  | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac                | 5 gal      |
| ○                         | 18  | Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea                 | 5 gal      |
| <b>ORNAMENTAL GRASSES</b> |     |  |            |
| ○                         | 22  | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass  | 1 gal      |
| ○                         | 15  | Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass          | 1 gal      |
| <b>PERENNIALS</b>         |     |  |            |
| ○                         | 21  | Hemerocallis x 'Red Hot Returns' / Red Hot Returns Daylily       | 1 gal      |
| ○                         | 24  | Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily           | 1 gal      |
| ○                         | 21  | Nepeta x faassenii 'Dropmore' / Catmint                          | 1 gal      |

Scale: 1" = 20'

20' 0' 20' 40'

**Landscape Data**  
Pad A Site Area = 44,186 s.f. (1.01 ac)  
Pad A Landscape Area Required = 6,628 s.f. (15%)  
Pad A Landscape Area = 8,231 s.f. (18%)  
Offsite Landscape Area = 3,028 s.f.  
900 North Street Trees Required = 5 Trees  
900 North Street Trees Provided = 5 Trees \*  
Highway 40 Street Trees Required = 6 Trees  
Highway 40 Street Trees Provided = 6 Trees \*  
Plant Material Shall Provide 40% Coverage at Maturity  
\* Street Tree Spacing Shall be Every 30' with Medium Size Trees; Trees Have Been Selected From the Heber City Tree List

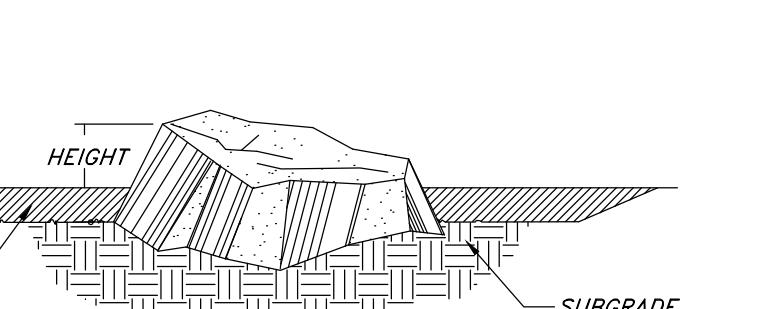
Designed by: TW  
Drafted by: GM  
Client Name: NuLo, LLC  
21-263-03-LS

#### Landscape Notes:

- All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip Shall be Used for Shrub Areas. See Sheet L2.1-L2.2 for Irrigation Layout, Irrigation Components, and Details.
- Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
- All Areas Disturbed by Construction Shall be Landscaped and not Left Undone. Contact Landscape Architect with Areas in Question.
- No Edging Shall be Used Between Different Types and Sizes of Stone. Provide a Clean Define Line Between Stone as Shown on Plan.

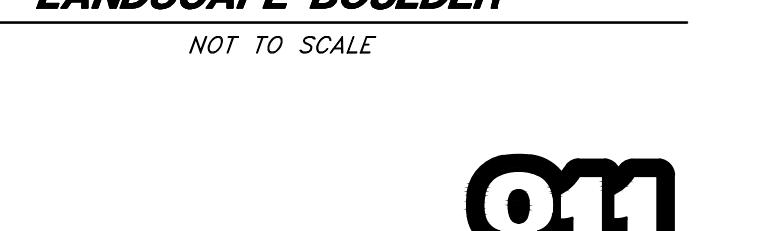
#### Landscape Installation Keynotes

- Install Shrub Planter with Decorative Stone and Weed Barrier; See Material Schedule for Stone Type
- Install Landscape Boulder
- Existing Fire Hydrant - Keep Area Clear of Plant Material
- Landscape Shall be Installed with Adjacent Lot; Provide Nice Clean Edge Between New and Undeveloped Landscape Area; See Irrigation Plan for Sleevng to be Added Under Hardscape
- Sight Triangle - Landscape Material Over 3' Shall not be Installed Sight Triangles
- New Light Pole - See Site Elect. Plans; Evenly Space Plant Material Around Light Poles
- Secondary Water Meters for Adjacent Retail Pads - See Utility Plans for More Detail and Exact Location; Adjust Plant Material as Needed to Allow Access for Future Plant Growth; See Irrigation Plan for Meter to be Used for Pad A
- Elect. Transformer - See Site Elect. Plans
- Keystone Retaining Wall - See Civil Plans for More Detail; Install Weed Barrier Around Wall with Decorative Stone to Prevent Weed Growth; Verify that Wall is Free of Soil and Washed Off
- UT - Existing/New Utility Manhole or Box; Adjust Plant Material as Needed to Allow Access to Utilities

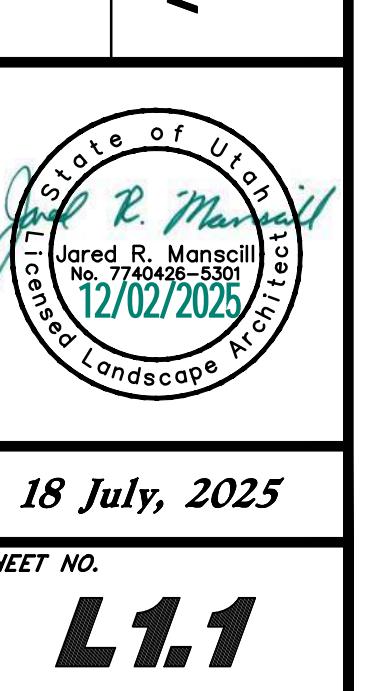
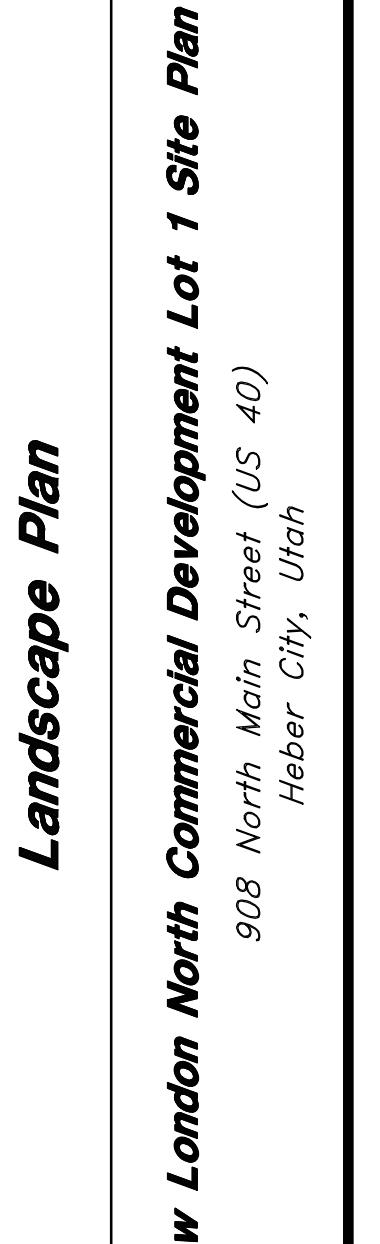
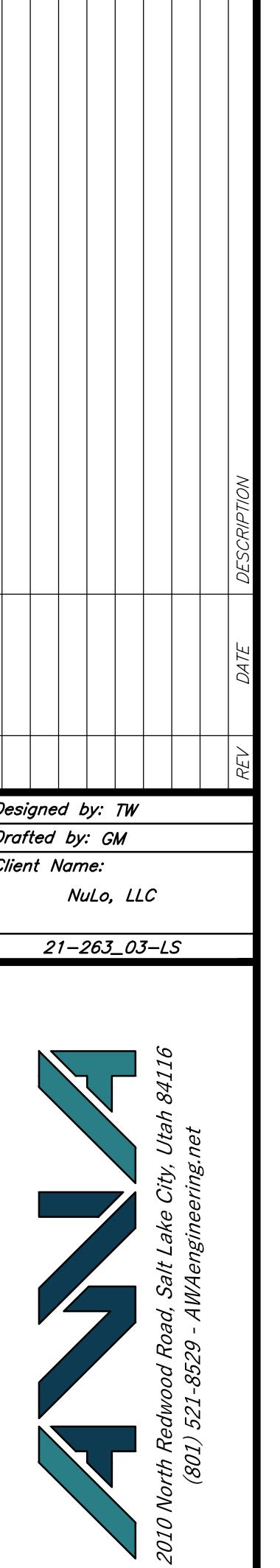


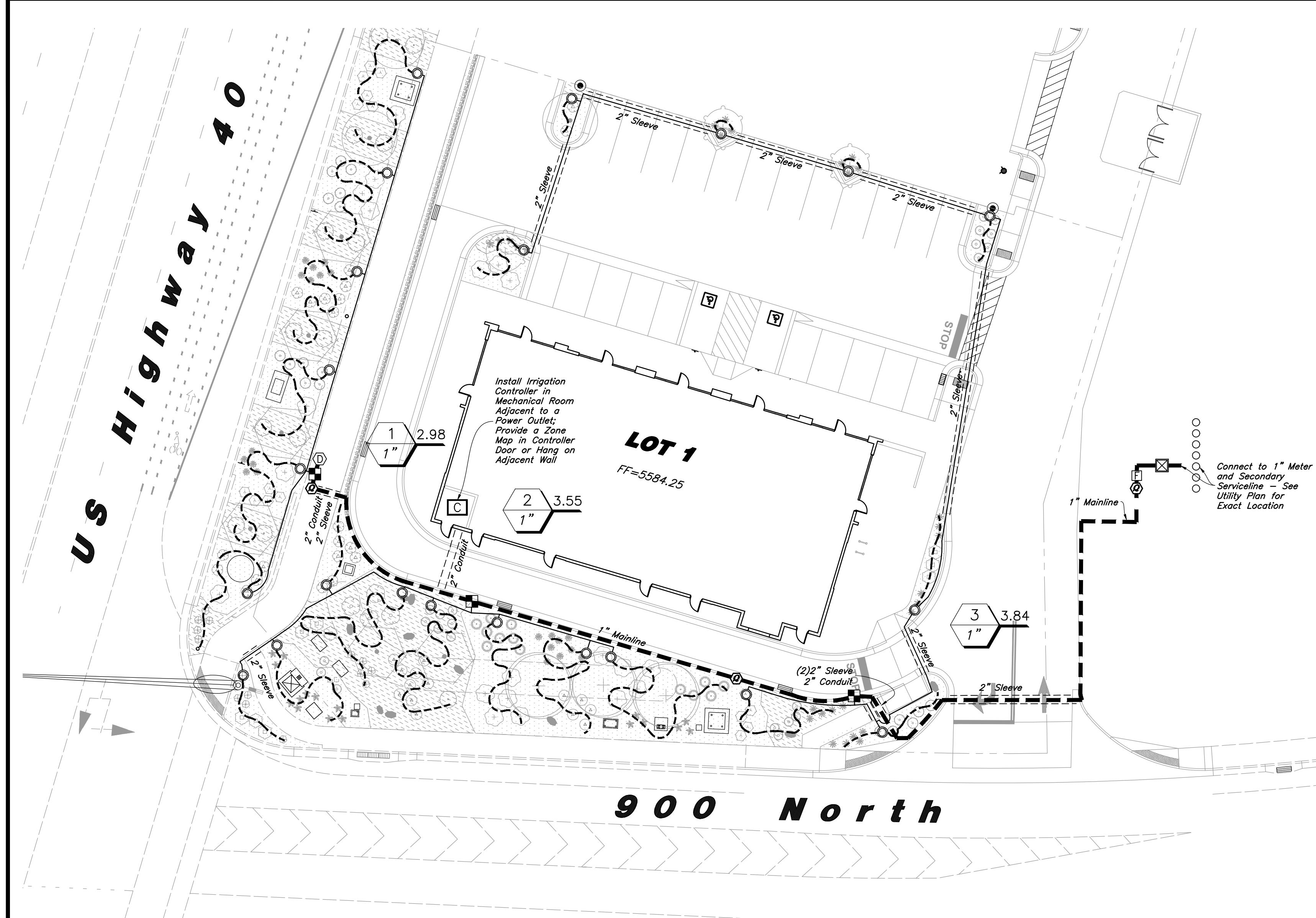
- USE CARE TO MINIMIZE MARRING & SCRATCHING
- BURY TWO INCHES OF BOULDER HEIGHT INTO SOIL, KEEPING BEST VISUAL SIDE ABOVE GROUND.

#### LANDSCAPE BOULDER

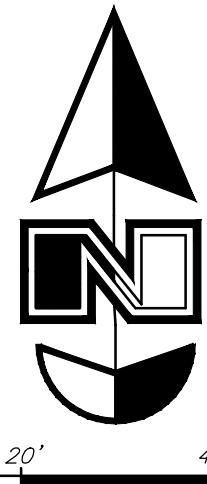


18 July, 2025  
SHEET NO. L1.1  
Know what's below.  
Call before you dig.





Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscaped Areas For Display Purposes ONLY. Install All Irrigation Components within Landscaped Areas.



Scale: 1" = 20'

#### Irrigation Notes:

1. See Sheet L1.1 for Landscape Layout and Planting Details.
2. See Sheet L2.1-L2.2 for Irrigation Layout, Schedule, Notes, and Details.
3. The Irrigation Shall Utilize a Secondary Water Irrigation Connection. See Utility Plan for Exact Location.
4. Sleeving Shall be Added to Various Parking Islands Under New Driveway Access Roads.
5. The Irrigation System Requires a Minimum of 39 psi to Function. Verify Static Pressure.

Designed by: TW  
Drafted by: GM  
Client Name: NuLo, LLC  
21-263\_03-IR

2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWEngineering.net

Irrigation Plan  
New London North Commercial Development Lot 1 Site Plan  
908 North Main Street (US 40)  
Heber City, Utah



18 July, 2025

SHEET NO.

L2.1

Know what's below.  
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#### Irrigation Schedule

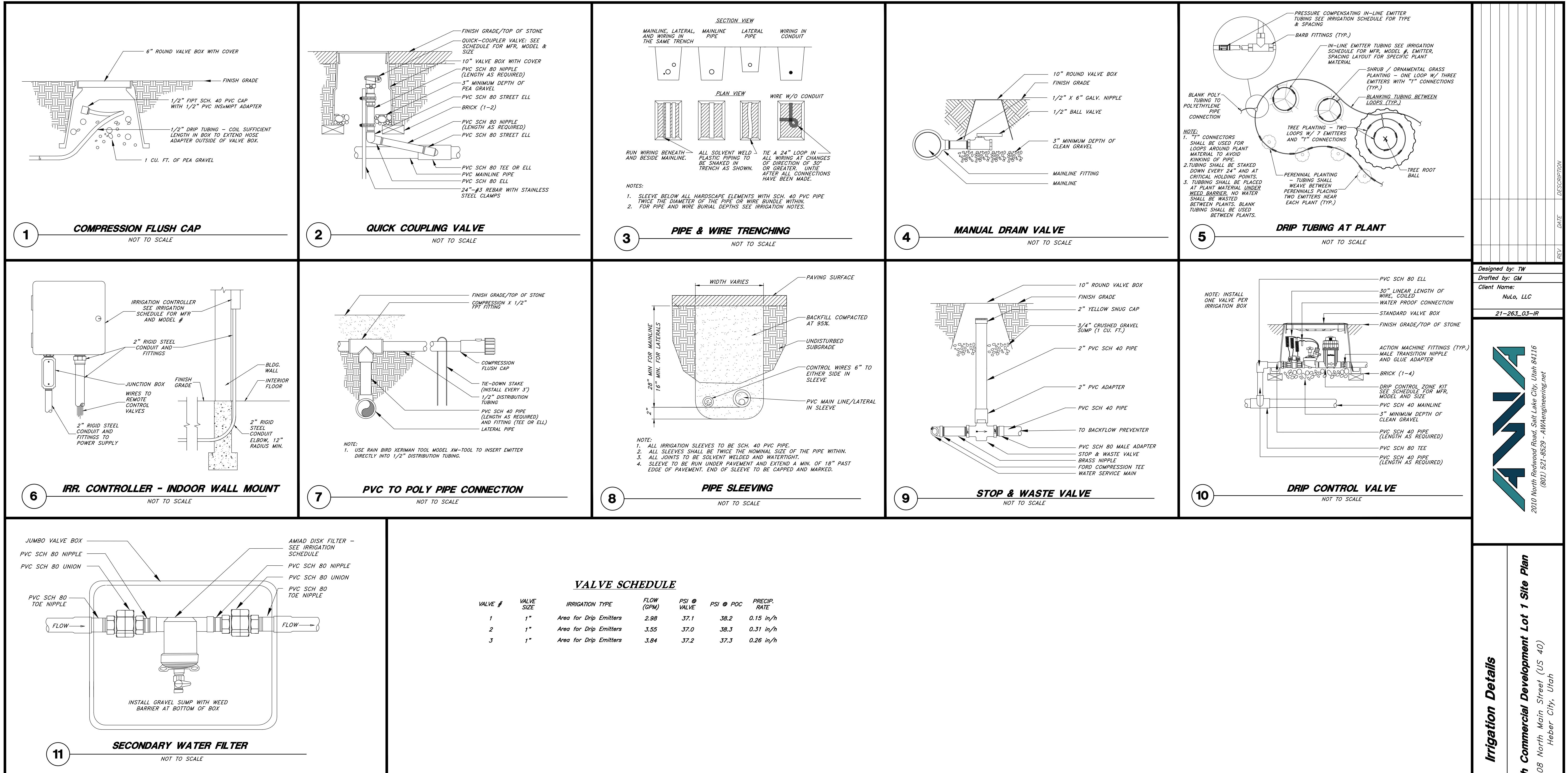
| Symbol                   | Manufacturer/Model #      | Description   | Notes   | Detail  |
|--------------------------|---------------------------|---|---|---------|
| <b>Valves</b>            |                           |   |   |         |
| ■                        | Rain Bird XCZ-100-PRB-COM | Drip Remote Control Valve   | 1 inch Size; Drip Control Zone Kit; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors   | 10/L2.2 |
| ○                        | Rain Bird 44NP            | Non-potable (Purple Cap) Quick Coupler Valve with a Swing Joint Assembly  | 1 inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier   | 2/L2.2  |
| □                        | Matco-Norca 759           | Manual Drain Valve  | 1/2" inch Size; Install at End of Mainline and After Filter in a 10" Round Valve Box with 6" Depth Sump of Gravel over Weed Barrier   | 4/L2.2  |
| <b>Drip</b>              |                           |   |   |         |
| ○                        | PVC Pipe To Drip Tubing   | Provide Connection Fittings   | Install 1" Feeder Line To All Drip Areas  | 7/L2.2  |
| —                        | Netafim TLCV9-12XX        | Tecline CV Dripeline with 0.9 gph Emitters @ 12" Spacing; Dripeline Shall be Used to Water all Perennials, Shrubs, Ornamental Grasses and Trees; See Drip Irrigation Detail for Upline Configuration and Layout. Blank Tubing Shall be Used for Upline Irrigation in Irrigation Islands. Manufacturer shall install Secure Tubing with Staples No Less Than Every 24 Inches & at Critical Holding Points; Tubing with Emitters Shall be Installed Under Weed Barrier so That the Water Drips on the Soil and not on Top of Weed Barrier | 5/L2.2  |         |
| <b>P.O.C. Components</b> |                           |   |   |         |
| ■                        | Nibco T-FP-600A           | Shutoff Valve Brass Ball Valve  | 1 inch Size; Installed in a Standard Valve Box with 3" Depth Gravel over Weed Barrier; Valve Shall be Turned Sideways for Easy Maneuvering  | 1/L2.0  |
| □                        | Arriad Tagline Filter     | Secondary Water Filter  | 1 inch Size; Plastic Filter with 300 Micron Stainless Steel Weave-Wire Screen Filter Element; Filter Shall be Installed Underground in Jumbo Size Box with Clean Gravel over Weed Barrier         | 11/L2.2 |
| <b>Pipes</b>             |                           |   |   |         |
| —                        | Schedule 40 PVC           | Mainline Pipe   | 1 inch Size; Controller Wire Shall be Tucked Under Mainline; Sch 80 Fittings Shall be Used for Mainline Connections   | 3/L2.2  |
| —                        | Schedule 40 PVC           | Lateral Line Pipe   | See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch; Minimum Pipe Size Shall be 1 inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections                               | 3/L2.2  |
| <b>Controller</b>        |                           |   |   |         |
| □                        | Rain Bird ESPAME          | 4 Station Base Model Controller   | See Plan for Location of Controller; Coordinate Power Supply with Building Electrical Contractor; Provide Zone Map with Controller  | 6/L2.2  |
| <b>Sleeving</b>          |                           |   |   |         |
| —                        | Schedule 40 PVC           | Provide for Irr. Mainlines, Laterals and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths  | Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted. | 8/L2.2  |
|                          |                           |   |   |         |

#### General Irrigation Notes:

1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscapes, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personal injury and property damage insurance. Clean-up must be performed daily, and all hardscaped areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair and adjust system.
9. Irrigation installer agrees to repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems.
11. Irrigation laterals must be schedule 40 PVC with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufacturers specifications for measured static p.s.i. Teflon tape on all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufacturers specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
13. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards.
14. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
15. Control valve wire shall be #14 single conductor; white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that run the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
16. Control valve size, type, quantity, and location to be approved by landscape architect. Install in manhole dub placed in individual product box. Size boxes according to valve type and size for ease of maintenance. Report to landscape one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Corson Brooks.
17. Quick couplers shall be a Rain Bird 44NP with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
18. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
19. All irrigation pipe running through walls, under sidewalks, asphalt, or other hard surfaces shall be sleeved. Contractor shall coordinate with concrete and asphalt contractors to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 PVC. The depth for mainline sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
20. Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the shrub areas. No tees, ells, or changes in direction shall occur under hardscapes.
21. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
22. Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each shrub area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
23. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
24. The irrigation system design is based on the operating pressure specified on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.
25. Provide and install all manufacturer's recommended surge and lightning protection equipment on all controllers.
26. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
27. Upon completion and approval of irrigation system, irrigation contractor to provide the owner with one set of drawings indicating actual location of piping, valves, wiring, and zones.
28. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

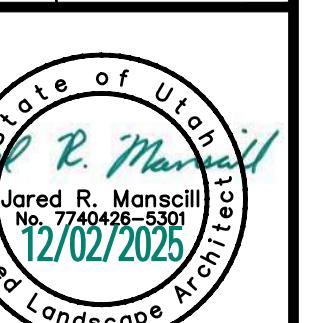


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**Irrigation Details**

New London North Commercial Development Lot 1 Site Plan  
908 North Main Street (US 40)  
Heber City, Utah



18 July, 2025

SHEET NO.

**L2.2**

**811**

Know what's below.  
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## SHEET KEYNOTES



Babcock Design

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Salt Lake City, UT 84111  
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**Boise**  
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Boise, ID 83702  
208.424.7675

[babcockdesign.com](http://babcockdesign.com)

**Consultant**

**WPI ENTERPRISES**

**WPI HEBER RETAIL  
BLDG A**

project address



**Revisions**

| Num. | Description | Date     |
|------|-------------|----------|
| 1    | ASI 01      | 04/19/24 |
| 2    | ASI 02      | 12/05/25 |

Project Number 22050  
Original Issue 03-06-2025  
Project Status PERMIT SET

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**Stamp**

**Sheet Title**

**PHOTOMETRICS -  
AREA A&B**

**Sheet Number**

**E103A**



| Luminaire Schedule |     |                         |             |                  |                 |
|--------------------|-----|-------------------------|-------------|------------------|-----------------|
| Symbol             | Qty | Label                   | Description | Luminaire Lumens | Luminaire Watts |
| 4                  | 02  | PRV-P-C20-D-UNV-T3-7030 | 9383        | 72.8             | 291.2           |
| 8                  | 01  | PRV-P-C25-D-UNV-T5-7030 | 12004       | 94.1             | 752.8           |
| 6                  | 0D  | NLOS-R72L30WW           | 1183        | 14.5             | 87              |
| 12                 | 0WE | LPW-16-30-MM-G3-3-2021  | 3687        | 34.3             | 411.6           |
| 49                 | 0SE | NYUD-3L1345W 3000K      | 1356        | 16.9             | 828.1           |

OSE 33 fixtures at 1356 lumens = 44,748 lumens  
OD 4 fixtures at 1183 lumens = 4,732 lumens  
01 2 fixtures at 12004 lumens = 24,008 lumens  
Grand total 72,488 lumens for 1.44 acres



**SITE PHOTOMETRIC - BLDG A&B**

SCALE = 1" = 40'-0"



## MEMORANDUM

**DATE:** 12/04/25

**TO:** David Plastow

**FROM:** Robert Kaldahl

**PROJECT NO.** 24030

**PROJECT:** Heber Retail BLDG A

**RE:** ASI - 02

---

**Sheet E103A**

- Added Luminaire Schedule to sheet to accommodate city comments.
- Please note all fixtures specified in project are black and poles specified are fluted.

## SHEET KEYNOTES



Babcock Design

**Salt Lake City**  
52 Exchange Place  
Salt Lake City, UT 84111  
801.531.1144

**Boise**  
800 W Main Street, Suite 940  
Boise, ID 83702  
208.424.7675

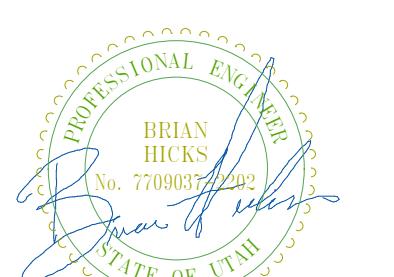
[babcockdesign.com](http://babcockdesign.com)

**Consultant**

**WPI ENTERPRISES**

**WPI HEBER RETAIL  
BLDG A**

project address



**Revisions**

| Num. | Description | Date     |
|------|-------------|----------|
| 1    | ASI 01      | 04/19/24 |
| 2    | ASI 02      | 12/05/25 |

Project Number 22050  
Original Issue 03-06-2025  
Project Status PERMIT SET

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**Stamp**



| Luminaire Schedule |     |       |                         |   |
|--------------------|-----|-------|-------------------------|---|
| Symbol             | Qty | Label | Description             |   |
| □                  | 4   | 02    | PRV-P-C20-D-UNV-T3-7030 | 9383 Lumens 72.8 291.2 16 9383*4 = 37,532   |
| □                  | 8   | 01    | PRV-P-C25-D-UNV-T5-7030 | 12004 Lumens 94.1 752.8 16 12004*8 = 96,032 |
| □                  | 6   | -2    | OD NLOS-R72L30WW        | 1183 Lumens 14.5 87 9.99 1183*6 = 732       |
| □                  | 12  | OWE   | LPW-16-30-WW-G3-3-2021  | 3687 Lumens 34.3 411.6 8 3687*12 = 44,244   |
| □                  | 49  | -15   | OSE NYUD-3L1345W 3000K  | 1356 Lumens 16.9 828.1 10.5 1356*49 = 66444 |

TOTAL LUMENS(HIGHLIGHTED FIXTURES ONLY)= 228,644

TOTAL LUMENS FOR ENTIRE PACKAGE ABOVE

9383\*4 = 37532  
12004\*8 = 96032  
1183\*6 = 7098  
3687\*12 = 44244  
1356\*49 = 66444

TOTAL LUMENS: 251,350



**SITE PHOTOMETRIC - BLDG A&B**

SCALE = 1" = 40'-0"

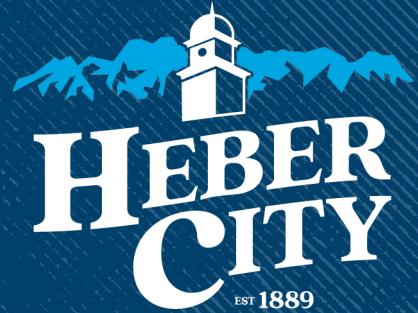
AUBREY - LANDMARK DESIGN -  
Aubrey@ldi-ut.com Landmark Design 801-474-3300

**Sheet Title**

**PHOTOMETRICS -  
AREA A&B**

**Sheet Number**

**E103A**



PLANNING

PLANNING COMMISSION

# New London Commercial North Development Lot 1, Pad A

Site Plan and Conditional Use Permit

# Project Details

**Location:** 908 North US-40

**Description:** New London Commercial Development Lot 1, Pad A is a Commercial Site Plan and Conditional Use Permit application for an approximate 6,000 square-foot commercial multi-tenant building. Included with this Site Plan is off-site utility and parking lot drive aisle improvements that will be utilized by future phases to ensure good circulation.

The application is before the Planning Commission because a **Commercial Complex** (*defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application*) requires Planning Commission review. Lot 1, Pad A is a multi-tenant building.

**General Plan Designation:** SB Scenic Buffer

**Zoning:** Mixed-Use Residential Commercial

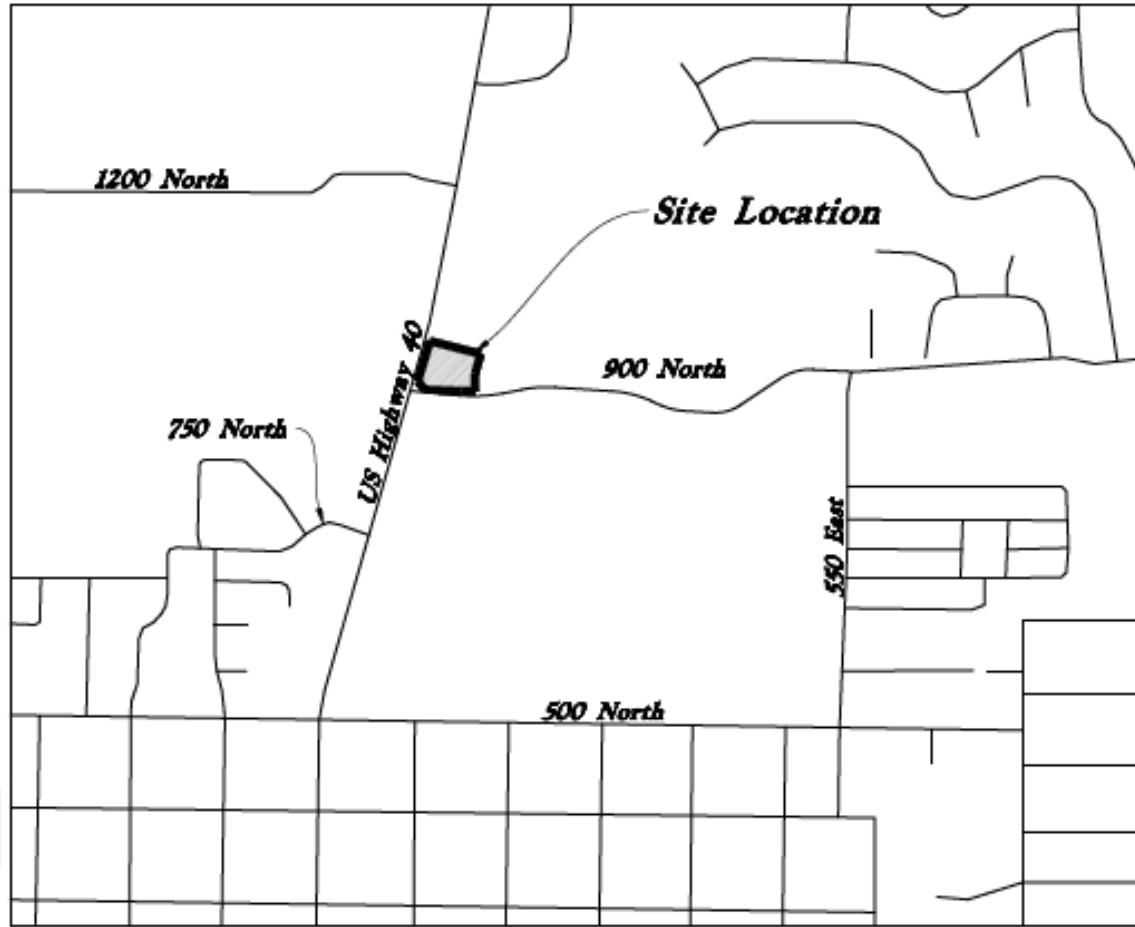
**Acres:** 1.01 acres

**Lots:** 1

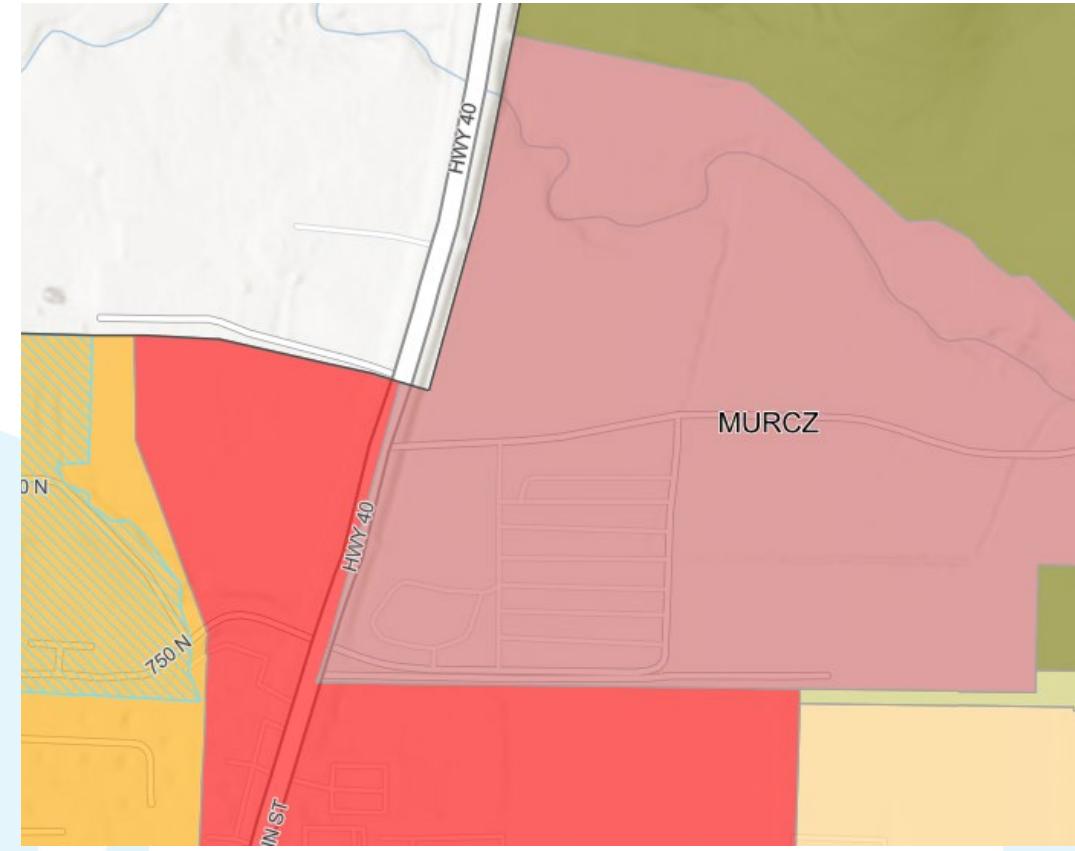
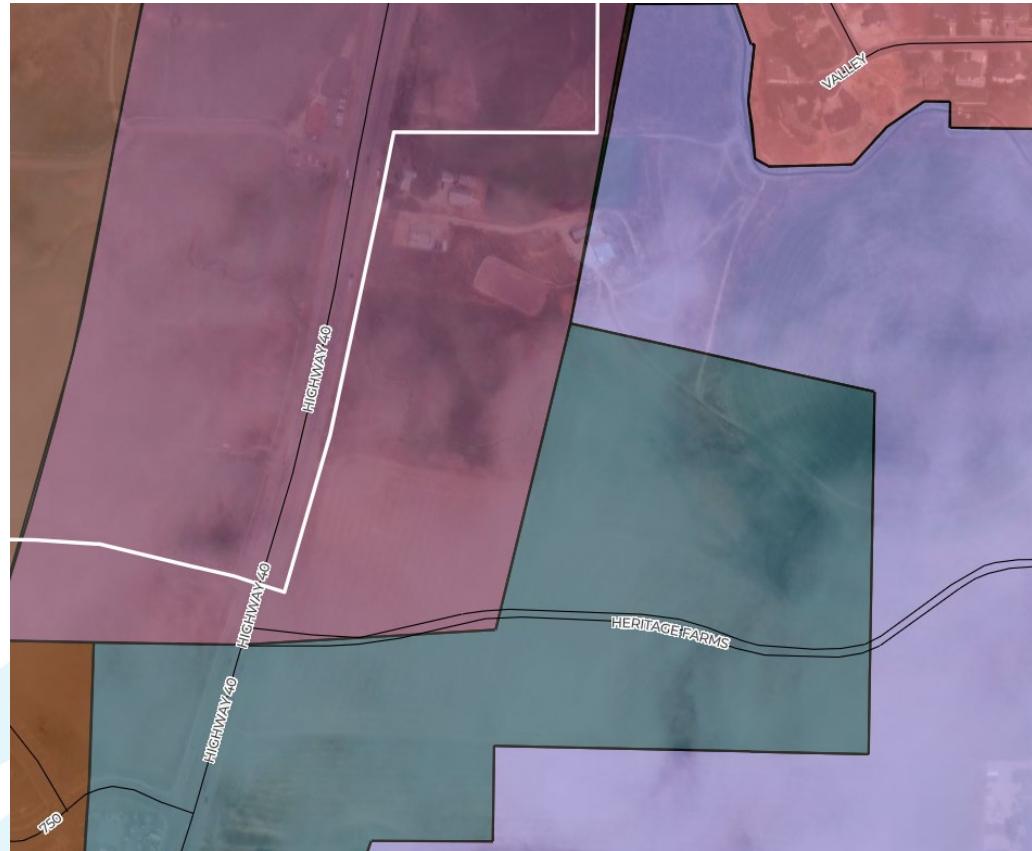
**Adjacent Uses:**

- North: Vacant/Developing
- South: Commercial/Smiths
- East: Vacant/Developing
- West: Hwy 40

# Vicinity Map/Context



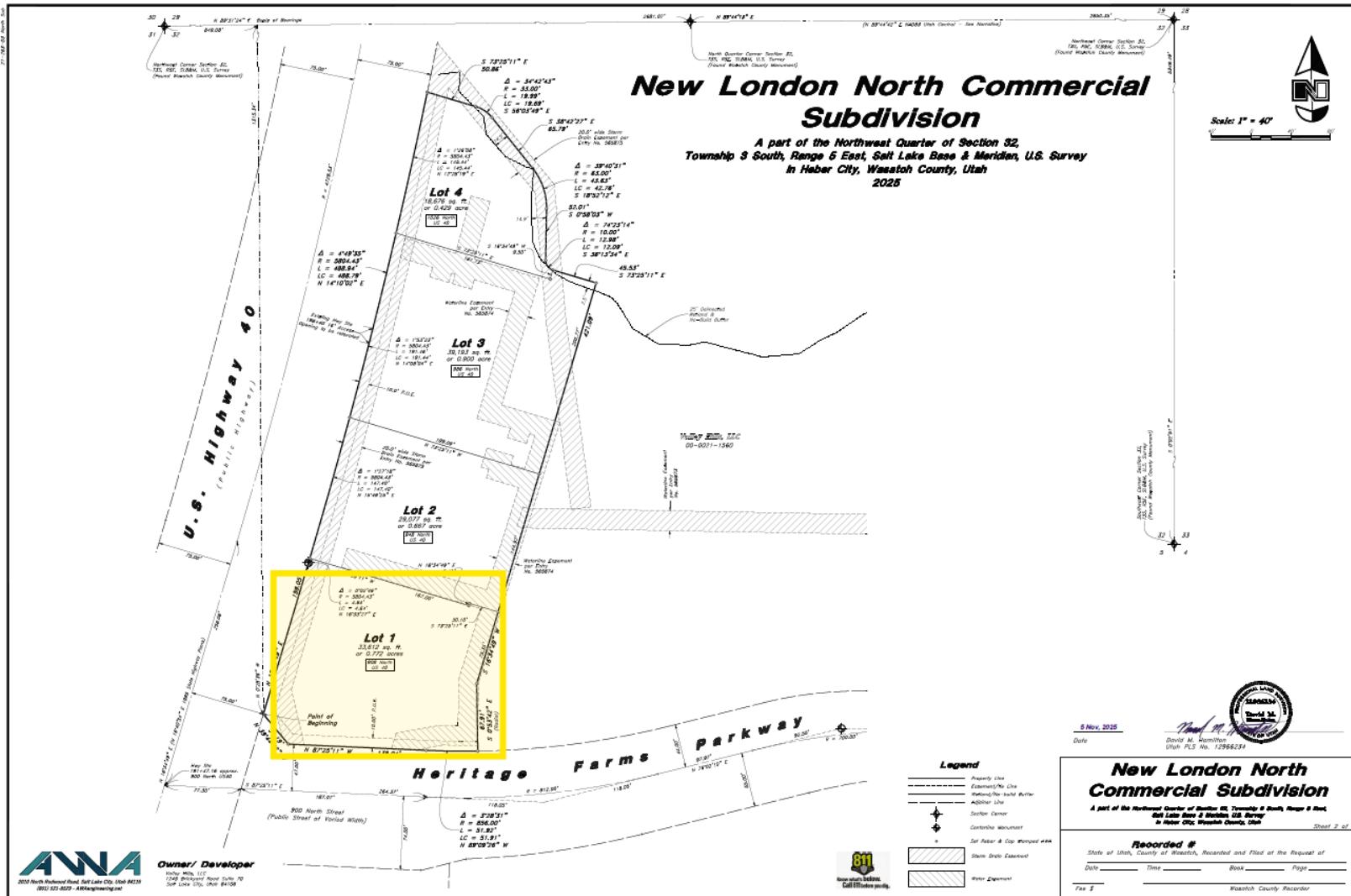
# General Plan & Zoning Map



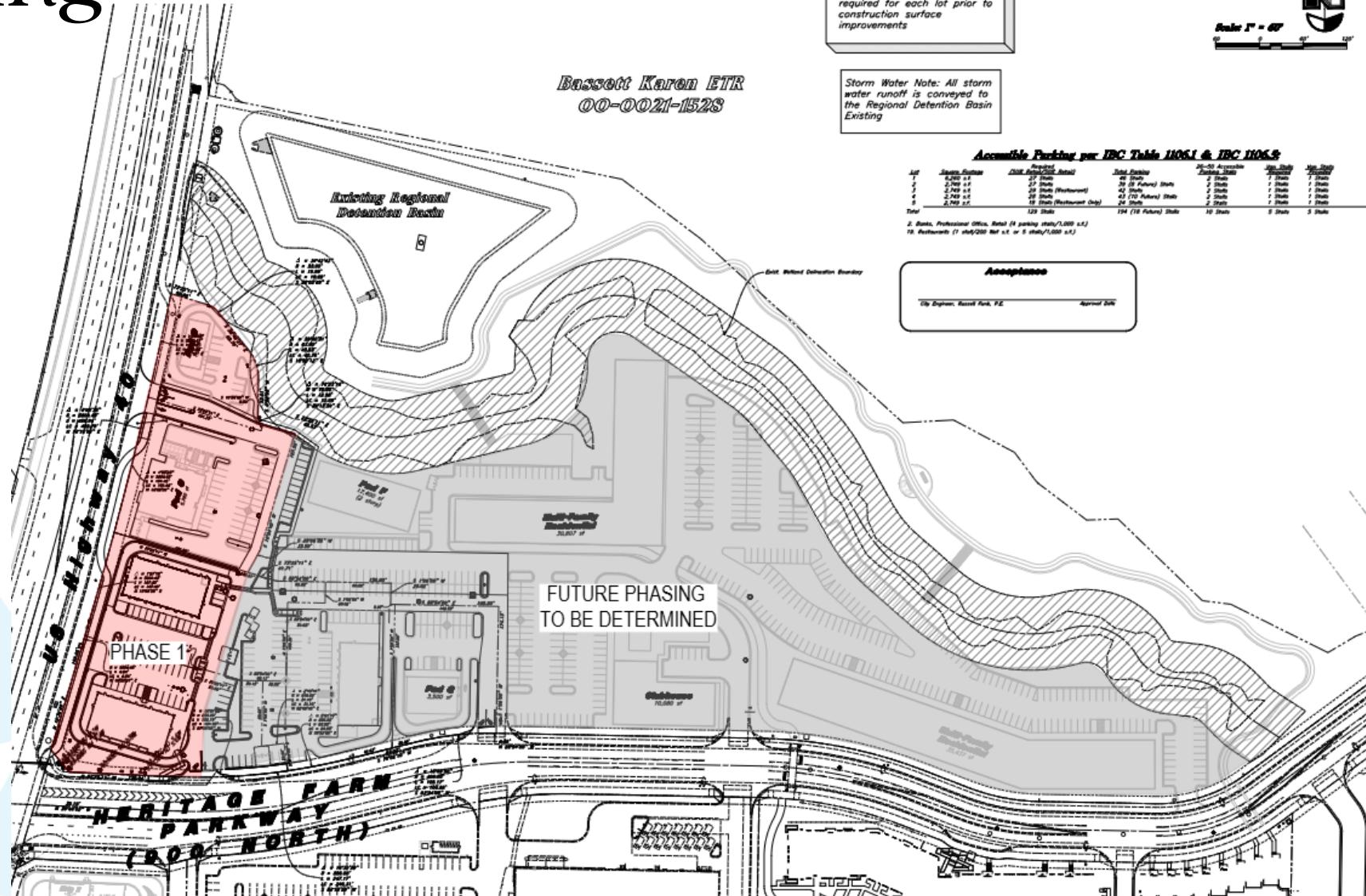
# Background:

- Lot 1, Pad A is part of the New London North Commercial Subdivision - a four-lot mixed-use development in the Mixed-Use Residential Commercial Zone (MURCZ).
- The lot is a corner site includes a proposed 5,584-square-foot multi-tenant building with shared parking and circulation between Lots 1 and 2.
- Engineering review required clarifications and revisions on:
  - Site boundaries and legal descriptions
  - Easements and utility connections
  - Circulation and drainage concerns
  - Consistency of plan details across all sheets
- Wasatch Fire review required adjustments to hydrant placement and a secondary access connection.
- Planning review focused on landscaping, site furnishings, trash enclosure details, and lighting, including the photometric plan, fixture schedule, and use of black fluted poles per city standards.
- After multiple rounds of revision, the site plan generally meets requirements for approval, subject to findings and conditions.

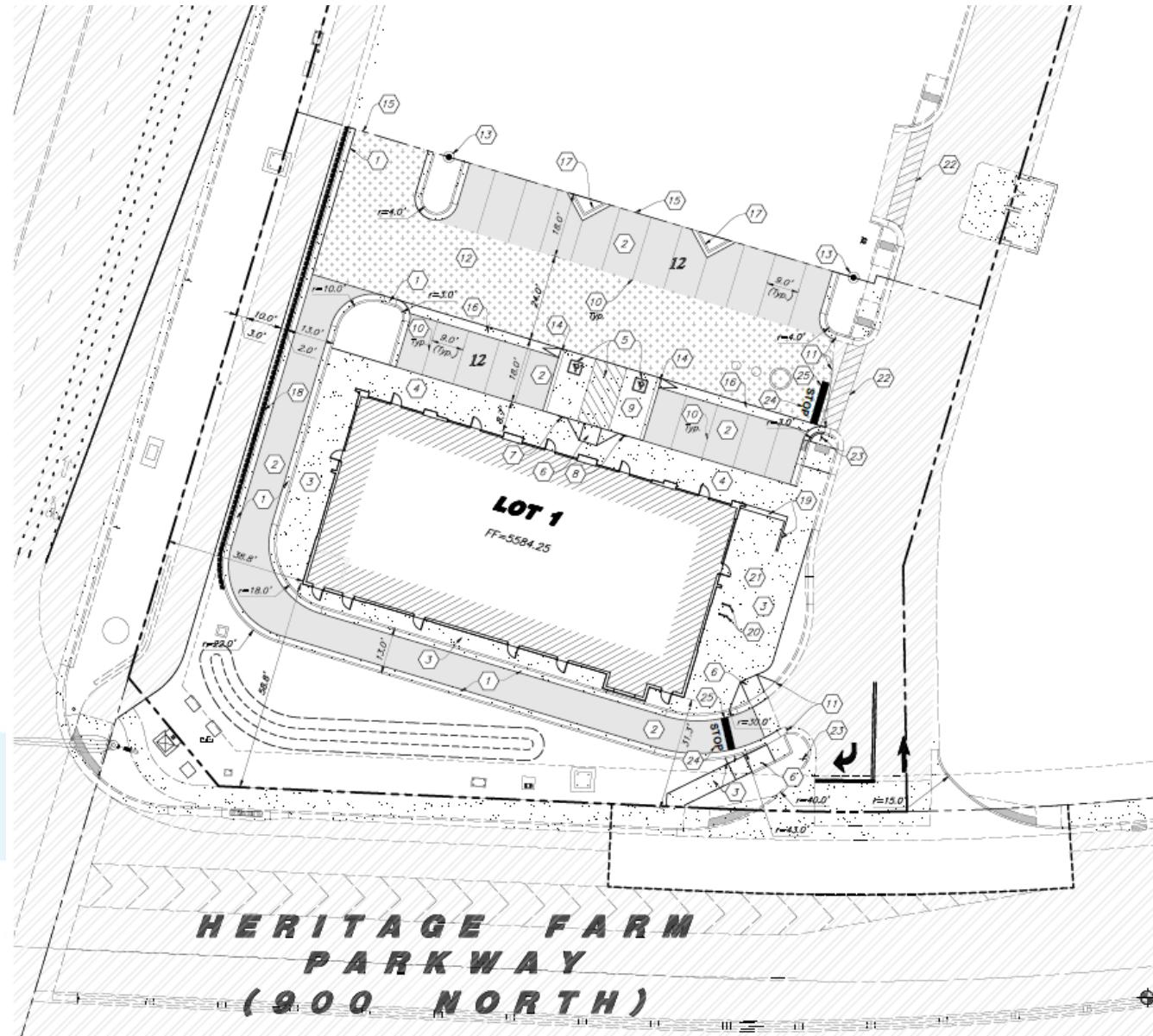
# New London North Commercial Subdivision



# Phasing



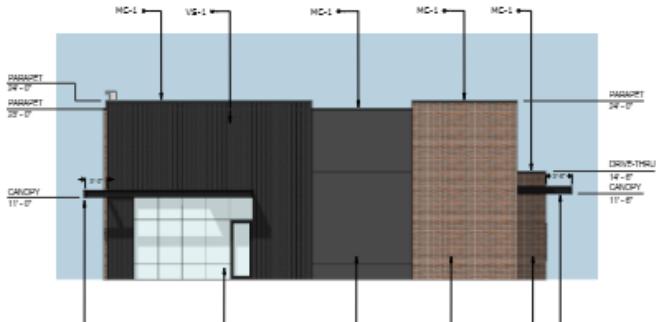
# Site Plan



# Landscaping & Irrigation



# Elevations



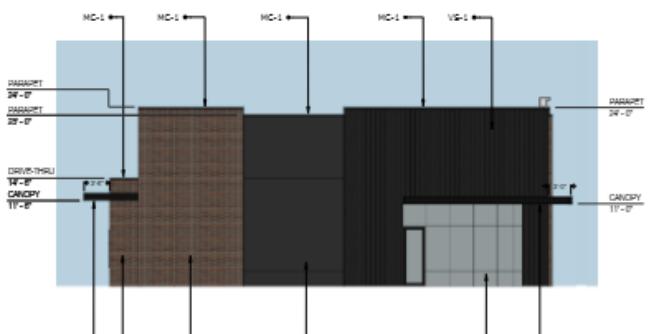
RIGHT ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"      WALL TOTAL: 1,214 SF  
SG-1: 29 SF  
GLAZING: 125 SF



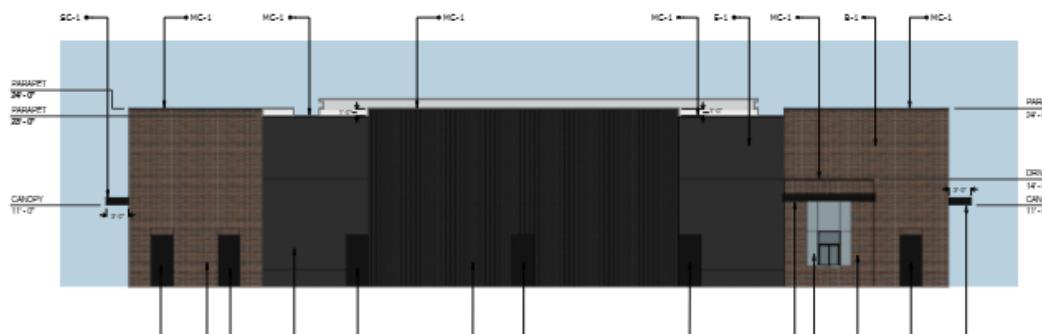
FRONT ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"

|                       |               |
|-----------------------|---------------|
| E-1:                  | 397 S         |
| H-1:                  | 595 S         |
| VS-1:                 | 656 S         |
| MIC-1:                | 106 S         |
| SC-1:                 | 76 S          |
| <b>WALL TOTAL:</b>    | <b>1830 S</b> |
| <b>CEILING TOTAL:</b> | <b>860 SF</b> |



LEFT ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

1-1 SC-1  
 E-1: 307 SF (25%)  
 B-1: 398 SF (33%)  
 VS-1: 458 SF  
 MK-1: 22 SF  
 SC-1: 29 SF  
 WALL TOTAL: 1,214 SF  
 GLAZING: 178 SF



BACK ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"

ST-1: 665 S  
 ST-1: 826 S  
 PS-1: 971 S  
 MK-1: 30 S  
 SC-1: 18 S  
 WALL TOTAL: 2,450 S  
 GLAZING 52 S  
 TOTAL 2,502 S

#### **FINISH SCHEDULE**

**FINISH SCHEDULE**

|       |   |
|-------|---|
| E-1:  | EIFS - DRYVIT, 152 ANTHRACITE COAL  |
| B-1:  | THIN BRICK VENEER - SUMMIT BRICK, LODO, (MORTAR: DAVIS COLORS 860 DARK GRAY)                |
| VS-1: | PAINTED FIBER CEMENT SIDING - JAMES HARDIE, ARTISAN SIDING, SHIPLAP, SW 6993 BLACK OF NIGHT |
| MC-1: | PREFINISHED METAL CAP FLASHING - CMG METALS, EXTRA DARK BRONZE                              |
| SC-1: | PAINTED STEEL CANOPY - SW 6993 BLACK OF NIGHT   |
| D-1:  | PAINTED HOLLOW METAL DOOR & FRAME - SW 6993 BLACK OF NIGHT                                  |
| W-1   | ALUMINUM STOREFRONT SYSTEM - EXTRA DARK BRONZE  |

\*\*OR SIMILAR EXTERIOR FINISH PRODUCT

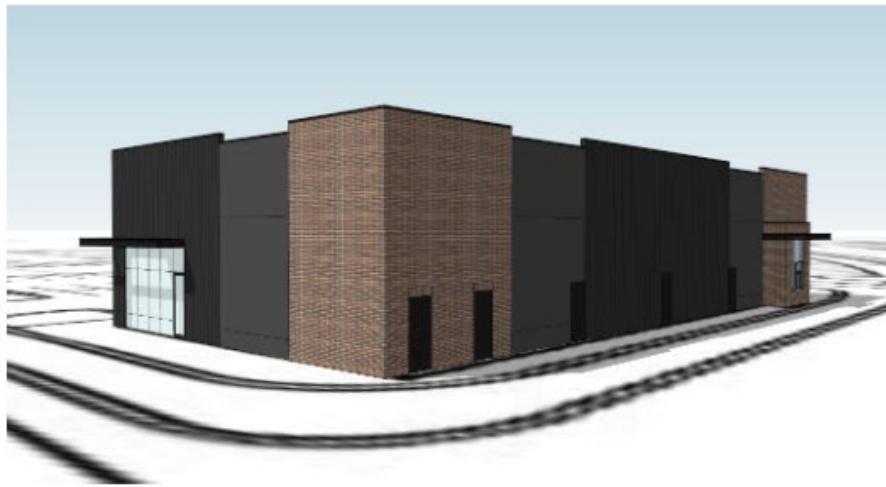
# Elevations



SOUTHEAST ELEVATION



NORTHEAST ELEVATION



SOUTHWEST ELEVATION

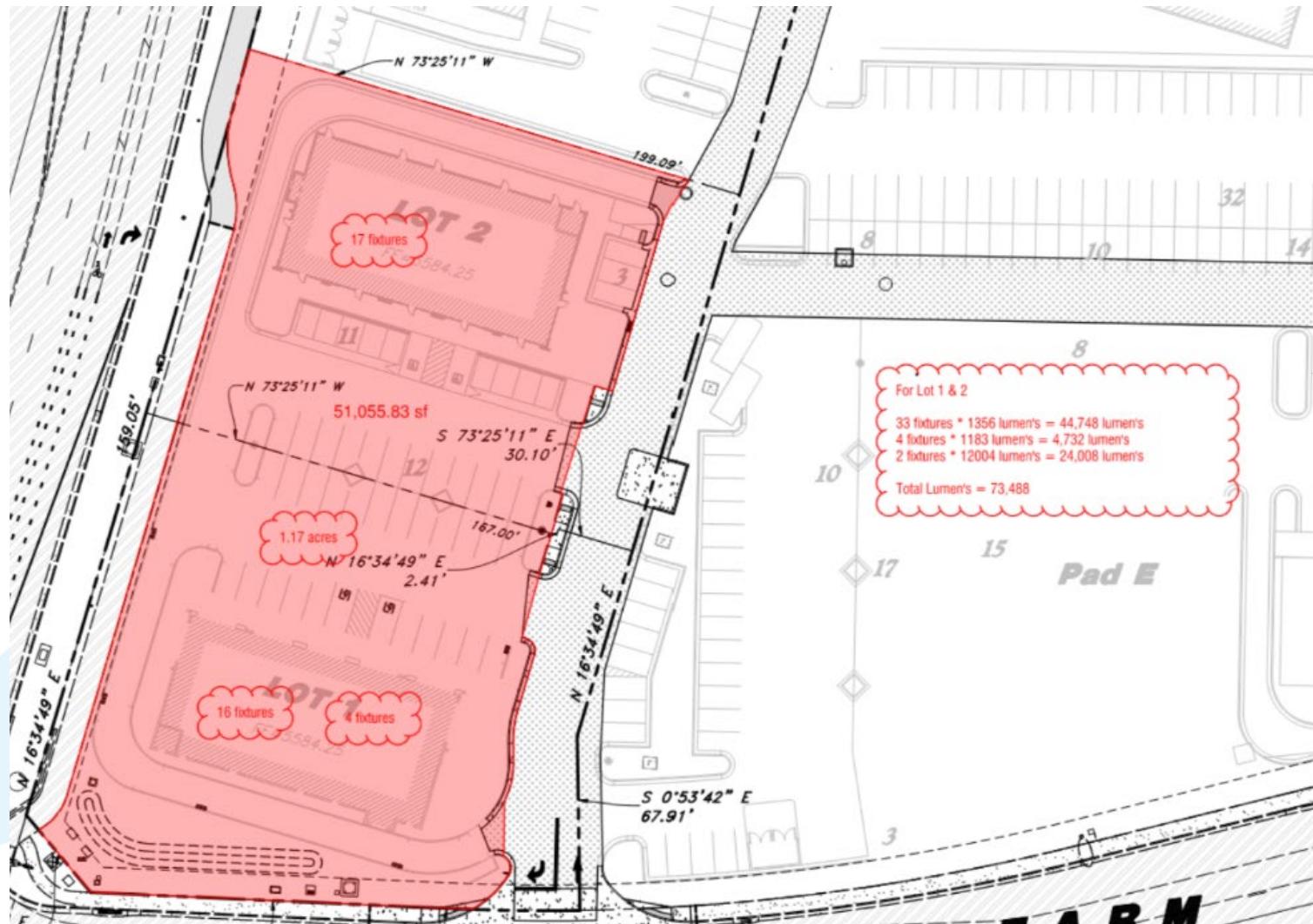


NORTHWEST ELEVATION

# Photometric



# Site Lumens



# Staff Recommendation

Staff recommends that the **New London North Commercial Development Lot 1 Pad A Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

## **Findings**

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

## **Conditions**

1. All requirements of the City Engineer shall be met including:
  - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
  - Water Rights will be required for landscaping and indoor use as part of the building permit process.
  - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

# Discussion



# Planning Commission Staff Report

**MEETING DATE:**

2/10/2026

**SUBJECT:**

Site Plan and Conditional Use Permit approval for New London North Commercial Development Pad B, located at 948 North US-40 (planner Aubrey Larsen/Engineer Ross Hansen)

**RESPONSIBLE:**

Aubrey Larsen

**DEPARTMENT:**

Planning

**STRATEGIC RELEVANCE:**

Community Development

## SUMMARY

The City has received a request for Site Plan and Conditional Use Permit approval for New London North Commercial Development Pad B. The application is before the Planning Commission because a Commercial Complex (defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application) requires Planning Commission review. Lot 2, Pad B includes an approximate 6,000 square-foot multi-tenant building.

## RECOMMENDATION

Staff recommends that the Planning Commission approve the New London North Commercial Development Pad B Site Plan and Conditional Use Permit subject to findings and conditions.

## BACKGROUND

Pad B, located at 948 North US-40, is part of the larger New London North Commercial Subdivision - a proposed four-lot mixed-use development within the Mixed-Use Residential Commercial Zone (MURCZ). Lot 2, Pad B is directly north of Lot 1, sharing parking and circulation, and includes a 5,820-square-foot multi-tenant commercial building. Several engineering-related issues required clarification and revision, including correcting the site plan title and legal description, coordinating the plans with the approved subdivision plat, clarifying the Lot 2 pad labeling and square footage, and ensuring utilities are shown in compliance with Heber City Standard Drawings. Wasatch Fire review addressed hydrant placement and access between Lots 1 and 2, and planning review focused on landscaping, site furnishings, trash enclosure details, and lighting - including the photometric plan, fixture schedule, and use of black fluted poles to meet City standards. After several rounds of revisions, the New London North Commercial Development Pad B meets Site Plan approval requirements, subject to the findings and conditions.

## DISCUSSION

As a conditional use, the Planning Commission may consider the required mitigation of impacts such as parking, traffic circulation, pedestrian access, site amenities, utilities, emergency access, and overall site design. These items have largely been evaluated throughout the review process to ensure the development meets City standards and minimizes adverse effects. Based on this review, staff recommends approval subject to the findings and conditions outlined in this report.

## FISCAL IMPACT

## CONCLUSION

Staff recommends that the **New London North Commercial Development Pad B Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

### Findings:

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

### Conditions:

1. All requirements of the City Engineer shall be met including:
  - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
  - Water Rights will be required for landscaping and indoor use as part of the building permit process.
  - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

## ALTERNATIVES

### Staff Recommended Option - Approval

I move to **approve** the item as presented, with the findings and conditions as presented in the conclusion above.

### Alternative 2 - Continuance

I move to **continue** the item to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

### Alternative 3 - DENIAL

I move to **deny** the item with the following findings.

---

## POTENTIAL MOTIONS

---

## ACCOUNTABILITY

**Department:** Planning  
**Staff member:** Aubrey Larsen , Planning Consultant

---

## EXHIBITS

1. New London Lot 2 Combined Civil
2. WPI Heber Pad B - Elev Calcs v4
3. New London Lot 2 Pad B - PC 02102026

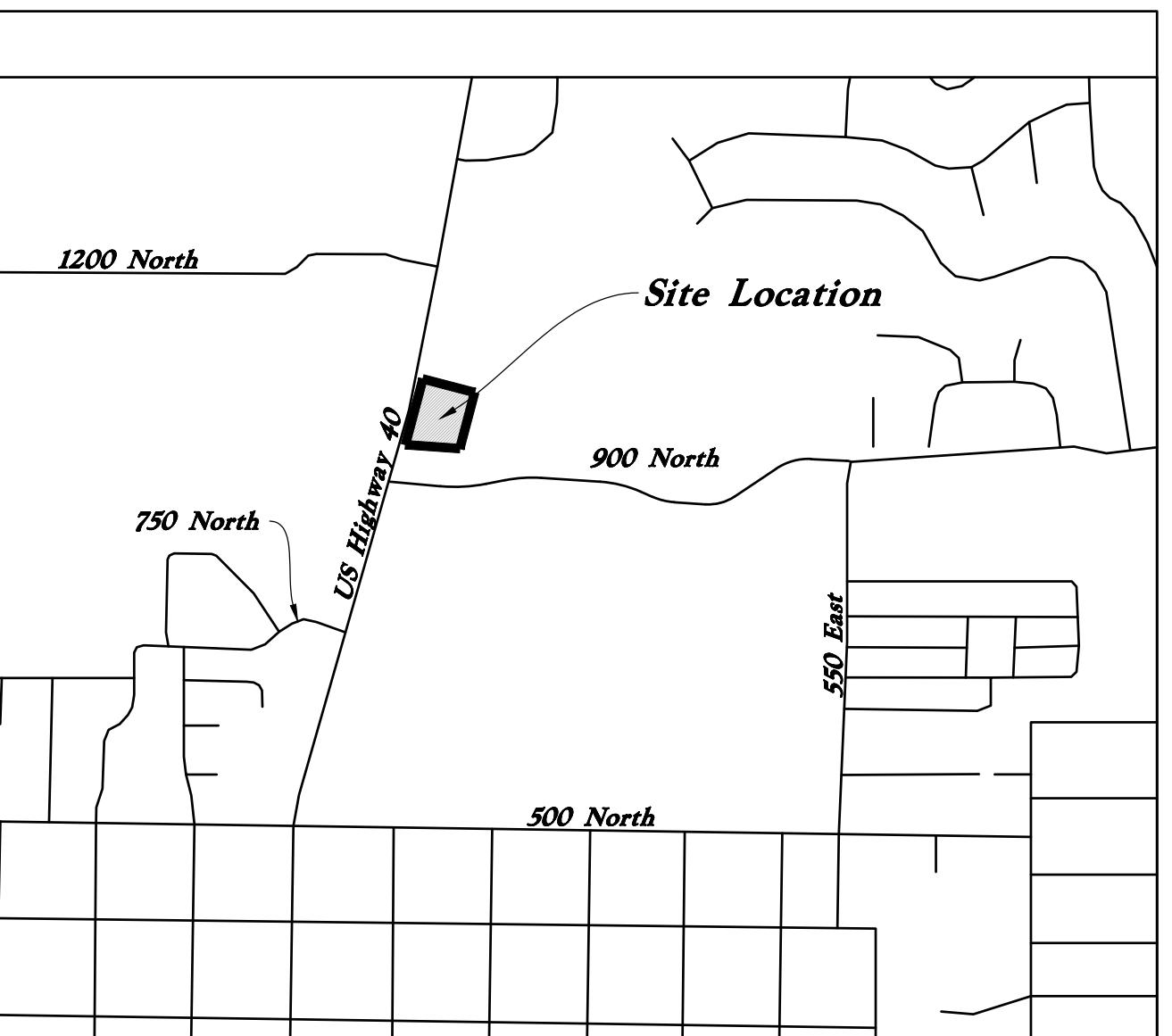
# New London North Commercial Development Lot 2 Site Plan

## 948 North Main Street (US 40) Heber City, Utah

Reference Most Current City Standards  
<https://www.heberut.gov/159/Standard-Specifications>  
Contractor to Download

### Abbreviations

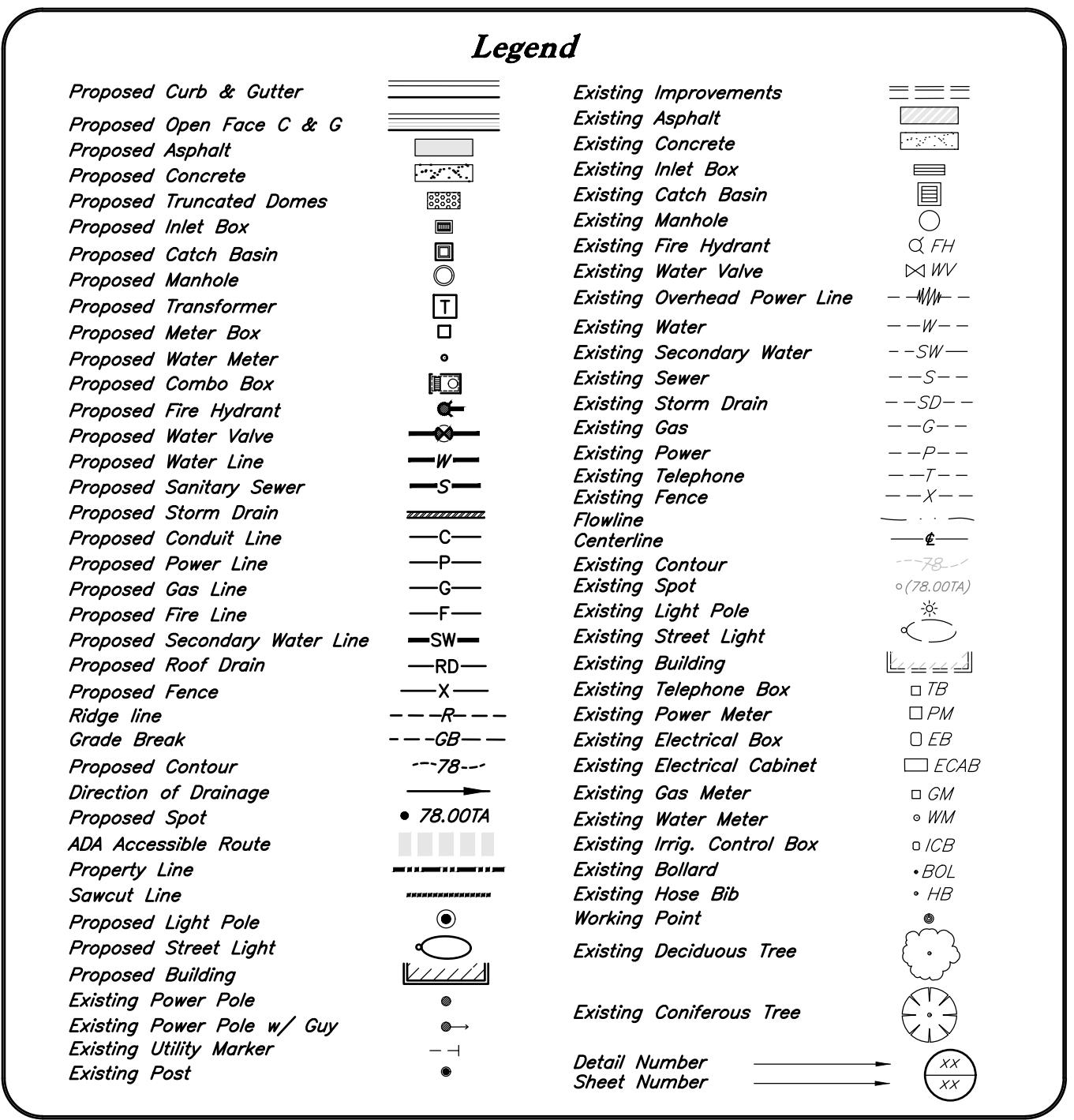
|      |   |
|------|---|
| BCR  | Begin Curb Return                       |
| BOL  | Bollard                                 |
| BRW  | Finish Grade - Bottom of Retaining Wall |
| CATV | Cable Television Box                    |
| CB   | Catch Basin                             |
| CMP  | Corrugated Metal Pipe                   |
| COB  | Cleanout Box                            |
| COTG | Cleanout to Grade                       |
| EA   | Edge of Asphalt                         |
| EB   | Electrical Box                          |
| EC   | End of Curve                            |
| ECR  | End Curb Return                         |
| FF   | Finished Floor                          |
| 9    | Ground                                  |
| GB   | Grade Break                             |
| GM   | Gas Meter                               |
| HB   | Hose Bib                                |
| HP   | High Point                              |
| I    | Irrigation Line                         |
| ICB  | Irrigation Control Box                  |
| Lip  | Lip of Gutter                           |
| LP   | Light Pole                              |
| MH   | Manhole                                 |
| Mon  | Monument                                |
| PC   | Point of Curvature                      |
| PCC  | Point of Compound Curvature             |
| PI   | Point of Intersection                   |
| PM   | Power Meter                             |
| PP   | Power Pole                              |
| PT   | Point of Tangency                       |
| PVC  | Polyvinyl Chloride                      |
| PVI  | Point of Vertical Intersection          |
| RCP  | Reinforced Concrete Pipe                |
| RD   | Roof Drain                              |
| SB   | Signal Box                              |
| SD   | Storm Drain                             |
| SDMH | Storm Drain Manhole                     |
| SMH  | Sewer Manhole                           |
| SP   | Signal Pole                             |
| SS   | Sanitary Sewer                          |
| SVZ  | Sight Visibility Zone                   |
| SW   | Secondary Water                         |
| TA   | Top of Asphalt                          |
| TB   | Telephone Box                           |
| TBC  | Top Back of Curb                        |
| TC   | Top of Grate                            |
| TMH  | Telephone Manhole                       |
| TP   | Top of Concrete                         |
| TRW  | Finish Grade - Top of Retaining Wall    |
| TW   | Top of Walk                             |
| VC   | Vertical Curve                          |
| VPC  | Vertical Point of Curve                 |
| VPT  | Vertical Point of Tangency              |
| WL   | Waterline                               |
| WP   | Working Point                           |
| WV   | Water Valve                             |



Vicinity Map  
Not to Scale

## Civil Sheet Index

C0.0  
1  
2  
C0.1  
C1.1  
C2.1  
C2.2  
C3.1  
C4.1  
C4.2  
C4.3  
C5.1  
C5.2  
C5.3  
L1.1  
L2.1  
L2.2



Accessible Grading Details and Notes  
Utility Plan  
Details  
Details  
Details  
Erosion Control Plan - Phase 1  
Erosion Control Plan - Phase 2  
Erosion Control Details  
Landscape Plan  
Irrigation Plan  
Irrigation Details

### Civil Note to Contractor

The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

### Heber City Standard Construction Notes

#### A. TYPICAL

- Contractor assumes all responsibility for job site conditions during construction of this project, including the safety and well-being of all persons and property. This responsibility shall apply continuously and not be limited to normal working hours.
- Contractor shall obtain all applicable permits and/or written agreements necessary to complete the work.
- City owned water valves may be operated only by City staff. Opening, closing or tampering with a City water valve without permission of the City public works department is a Class B misdemeanor punishable by up to six months in jail and a \$1,000 fine.
- Contractor shall schedule a pre-construction meeting with the City's Engineering Department at least 5 business days prior to the start of construction. Contractor must attend and bring one set of the Acknowledged construction drawings and a copy of the HCSS 00700-5 September 2023 current Heber City Standard Specifications and Drawings Manual (available at [heberut.gov](http://heberut.gov)).
- Contractor shall have possession and on-site at all times one copy of the current acknowledged construction plans and drawings, signed and dated by the Engineer of Record, the Applicant, and the City.
- Developer's Engineers (Civil and Geotechnical) shall perform sufficient inspections and surveys during grading and construction to render an opinion in writing as to adherence to the accepted plans and compliance with Heber City Standard Specifications and Drawings.
- Any work done in the absence of an inspector's approval shall be subject to rejection. All underground GPS data must be collected by a City representative prior to backfill. Inspectors may request the contractor to expose work that has been backfilled without prior inspection or collection of GPS data. All such work shall be completed by the Developer or Owner's expense.
- Survey markers must be reset in accordance with the current Heber City and Wasatch County Surveyor's Office requirements.
- All disturbed property survey markers shall be reset in their original locations upon completion of all construction activities.
- Contractor shall provide all traffic control which must conform to the current MUTCD, Practice Guide for Traffic Control Plans, prepared by an American Traffic Safety Services Association (ATSSA), AGC-Certified Individual, prior to installation of any traffic control device. Traffic Control Plans must be Accepted by the City prior to implementation and before any shoulder, lane, or street closure.

#### B. TRENCHES AND UTILITIES

- Trenches shall be completed and restored per City Standard Drawing UTIL-1.
- Pothole existing utilities in accordance with City Standard Drawing UTIL-5.
- Contractor is responsible to locate, avoid, protect, and repair all utilities encountered during construction, whether or not they are shown on the plans. Locations of underground utilities shown on plans are approximate and require field verification by contractor.
- All trenches within public right-of-way must be backfilled or securely plated during non-working hours. Trenches outside these areas shall be back-filled or protected by approved temporary fencing and/or barricades during non-working hours. Trenches in the roadway must be backfilled, compacted, and paved within 48 hours of road-cut. Paint striping shall be replaced in accordance to City Standards within 48-hours of restoration of pavement.

#### C. ROADWAY CONSTRUCTION AND RESTORATION

- Subgrade must be approved prior to construction of untreated base course and paving. The subgrade shall be graded, leveled, and compacted and verified by a City Inspector and that all utilities be located, inspected with connections to main lines completed, and accepted by the City.
- Asphalt patching roads between October 15 and April 15 will be considered temporary only, and must be replaced according to City Standards and Specifications between April 15 and October 15.
- Material Submits are required for items placed within the City right-of-way. All submittals must be dated within 90 days of the Construction Start Date (unless specified otherwise) and be submitted prior to the start of construction activities.
- Moratorium Standard (New, Reconstructed, and Overlaid Streets): No cuts permitted for two (2) years from the time of construction/ reconstruction/overlay) HCSS 00700-6 September 2023.
- Special Restoration Standard: This standard applies to new, reconstructed, overlaid, and chip/patched streets.
- New, Reconstructed, and Overlaid Streets (for 5 years after end of moratorium): The asphalt surface shall be milled a minimum depth of two (2) inches, and fifteen (15) feet each way from the edge of the cut. Milling shall be done in widths equivalent to existing striped traffic lanes. The City Engineer reserves the right to require additional area and/or depth if deemed appropriate to restore roadway to original condition. Approved fabric is required when existing pavement included a fabric prior to the permitted cut.
- Chip/Slurry Sealed Streets (for one year after chip/slurry application): The asphalt surface shall be re-chipped/slurried a minimum of fifteen (15) feet each way from the edge of the cut in widths equivalent to existing striped traffic lanes.
- Roads shall be opened for traffic during peak hours. Lane closures may only be in effect from 9am-2pm and 7pm-7am when night work is approved.
- Contractors shall be required to open up the road to traffic as soon as possible and avoid cuts. Paint striping shall be replaced in accordance with City Standards within 48-hours of restoration of pavement.
- All road closures must be approved by the City Engineer. All requests for road closures shall be made in writing and include a site specific Traffic Control Plan for anticipated closure. When approved, closure of Collected Streets will require a 2-week advance notice to the public informing them of the upcoming closure. The notice shall be provided using on-site Variable Message Signs (VMS) boards indicating the anticipated start date and duration of the closure. VMS boards shall remain on site for the full two week advance-notice period. If the duration of the closure is extended beyond the approved period, the extension shall be coordinated with the City Engineer and shall require additional VMS board notification to the public.

### Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas. Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

### Basis of Bearings

Northwest Corner Section 32, T3S, R5E, SLB&M, U.S. Survey  
A Line with N89°31'24" E VRS Basis of Bearings

### Benchmark

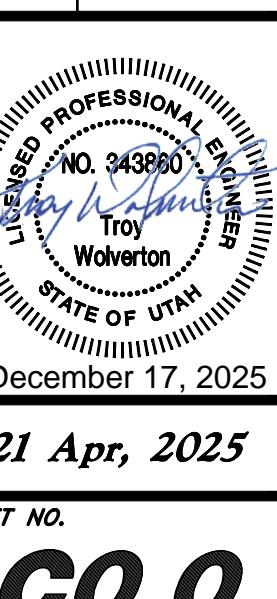
Brass Cap Monument for the Northwest Corner of Section 32, T3S, R5E, SLB&M  
Assigned elevation = 5565.64 feet  
Observed November 30, 2020

### Legal Description

All of Lot 2 of the New London North Commercial Subdivision as recorded in the office of the Wasatch County Recorder's Office.

ANVA  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 524-5529 - ANVAengineering.net

Cover Sheet  
New London North Commercial Development Lot 2 Site Plan  
948 North Main Street (US 40)  
Heber City, Utah



### Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200  
Highland, Utah 84003  
Thomas Lehnhardt  
801-467-7000 main / 104 ext.  
H@wpi.us.com

### Acceptance

City Engineer, Russell Funk, P.E. Approval Date



# New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32,  
Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey  
in Heber City, Wasatch County, Utah

2025

## Notes

- Final plats not recorded within one (1) year from the Date Receiving final approval shall be null and void unless physical construction has started or an extension has been requested and granted prior to the original plat expiration date. In cases where construction has not started, applicants may request and be granted a one (1) year extension. However, if an extension is granted, the requirement to incorporate updated city standards, or reevaluate bonds or other assurances may be enforced as a condition of approval for the extension.
- This plat may be subject to a development agreement that specifies the conditions of developing, building, and using the property within this plat. See city recorder for details.
- Plat is subject to installation of improvements and bond agreement which requires the construction and warranty of improvements in this subdivision. These obligations run with the land and are binding on successors, agents, and assigns of developer. There are no third-party rights or beneficiaries under this agreement.
- Building permits will not be issued until all required improvements have been installed per city standard and all fees including impact and connection fee are paid.
- References herein to developer or owner shall apply to both, and any such reference shall also apply to successors, agents, and assigns.
- A Geotechnical Report has been completed by GSH, (1) Report Geotechnical Study Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No 2093-015-21 dated September 23, 2021; (2) Addendum No 1 - Retaining Wall Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated March 24, 2022; (3) Addendum No 2 - Updated Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated November 28, 2022; (4) Addendum No 2 - Update No 2 Retention/Detention Basin Recommendations Proposed Heber Mixed-Use Development Approximately 894 North Highway 40 Heber, Utah Job No. 2093-015-21 dated December 20, 2022; which addresses soil and groundwater conditions, provides Engineering Design criteria, and recommends mitigation measures if problematic conditions are encountered. The city assumes no liability or responsibility for any reliance on the information or lack thereof in the report.
- Agricultural uses, operations and rights are adjacent to or near the plat and lots. The lots in this plat are subject to the sights, sounds, odors, nuisances and aspects associated with agricultural operations, uses, and rights. These uses and operations may occur at all times of the day and night including weekends and holidays. The city is not responsible or liable for these uses and impacts and will not restrict any grandfathered agricultural use from continuing to occur lawfully.
- Each Lot will be required to install a water, sanitary sewer and secondary water connection
- Any public fire hydrant installed will require an easement to be granted to Heber City.
- The Lots within this Subdivision will be subject to Covenants, Conditions and Restrictions contained in a Declaration which includes but is not limited to Cross Access, Public Utility, and Drainage Easements to be recorded by a separate document simultaneously with this Plat as Entry No. \_\_\_\_\_.
- This subdivision is subject to a culinary waterline easement in favor of Heber City Corporation as shown on plat recorded by a separate instrument. Heber City has the right to access through these easements to access, maintain, and repair city culinary water utilities. No changes to topography, structures, above or below ground are permitted within the easement without written authorization from the Heber City Engineer. Obstacles erected within the easement without written permission will be removed at the property owner's expense.
- Stormwater for each lot shall be managed in conjunction with the New London Long-Term Storm Water Maintenance Agreement, dated September 3, 2025, and the stormwater plans, specifications, and engineering drawings approved by Heber City. Individual lots may include surface or subsurface stormwater facilities for the conveyance of stormwater from adjacent lots, including lots within other plats, and public roads. The stormwater facilities shall be owned and operated by the owner or the property owners association, as designated in the project CC&Rs, and each lot owner grants an easement in favor of the owner and property owners association for installation, maintenance and repair of stormwater facilities. Notwithstanding the foregoing, each lot shall remain jointly responsible for maintenance of the stormwater facilities. Owner hereby conveys to Heber City and its agents a non-exclusive perpetual easement over, on and in the property for the purpose of access to the private stormwater management system(s) for the management, inspection, maintenance and repair thereof.
- A perpetual, non-exclusive easement for vehicular and pedestrian ingress, egress, and access is hereby established over all internal private drives, access lanes, and other designated shared access areas within the subdivision. Said easement shall benefit and burden all lots within this subdivision and may be used by lot owners, tenants, customers, agents, and the general public. This easement shall run with the land and be binding on all current and future owners, successors, and assigns.

## Owner/ Developer

Valley Hills, LLC  
1245 Brickyard Road Suite 70  
Salt Lake City, Utah 84106



**County Surveyor**  
Approved this \_\_\_\_\_ Day of \_\_\_\_\_ A.D., 20\_\_\_\_\_.  
Wasatch County Surveyor

**Wasatch Co. Fire District**  
Approved this \_\_\_\_\_ Day of \_\_\_\_\_ A.D., 20\_\_\_\_\_.  
Fire Chief

**Heber City Engineer**  
Approved this \_\_\_\_\_ Day of \_\_\_\_\_ A.D., 20\_\_\_\_\_.  
Heber City Engineer

**Planning Department**  
Approved this \_\_\_\_\_ Day of \_\_\_\_\_ 20\_\_\_\_\_.  
TITLE:  
Mayor Date

**Approval by Legislative Body**  
The City Council of Heber City, County of Wasatch, approves this Subdivision subject to the conditions and restrictions stated herein, and hereby accepts the dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

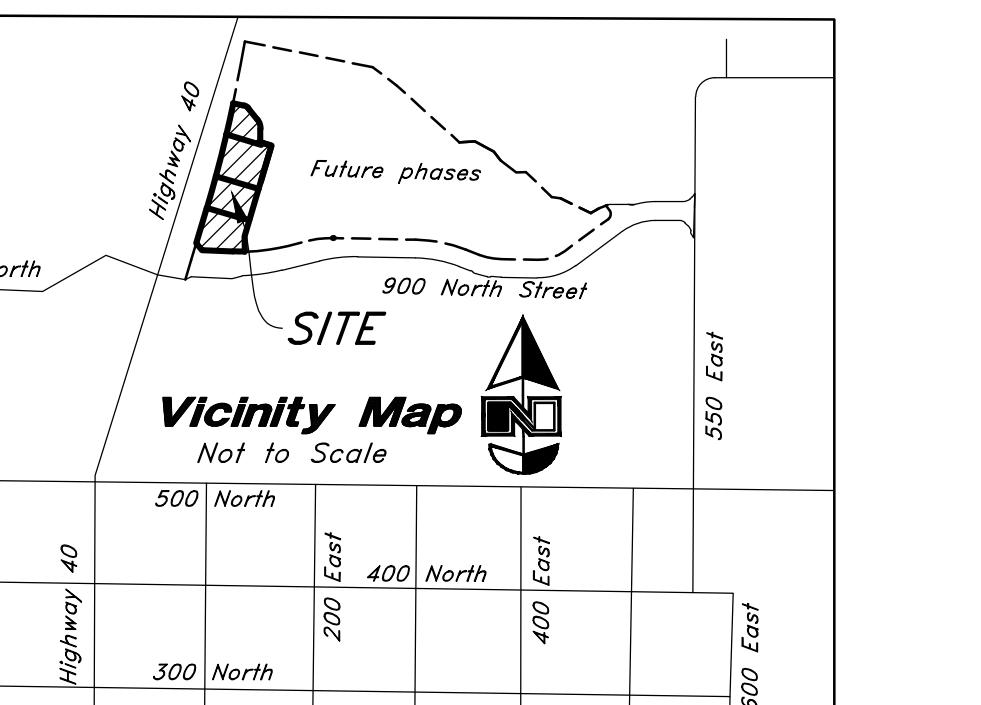
**Surveyor's Certificate**  
I, David M. Hamilton, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 12966234 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of AWA that by authority of the Owners I have retraced Wasatch County Record of Survey Filing No. 0003722, being the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as New London North Commercial Subdivision.

## Boundary Description

A Part of Parcel 6 of that certain Record of Survey filed as No. 3722 in the Office of the Wasatch County Surveyor, located within the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base and Meridian, U.S. Survey, in the City of Heber, Wasatch County, Utah:

Beginning at the point of intersection of the Northerly line of Heritage Farms Parkway as dedicated per that certain Heritage Farms Parkway Dedication Plat recorded as Entry No. 548347, in the Official Records of Wasatch County, and the Easterly line of U.S. Highway 40 as it is monumented on the ground of 75.00 foot half-width, located 849.08 feet North 89°31'24" East along the North line of said Section 36; and 1315.34 feet South 02°28'36" East from a Wasatch County Monument found marking the Northwest Corner of said Section 36; and running thence along said Easterly line the following two courses: North 16°34'49" East 159.05 feet to a point of curvature; and Northeast along the arc of a 5804.43 foot radius curve to the left a distance of 488.94 feet (Central Angle equals 4°49'35" and Long Chord bears North 14°10'02" East 488.79 feet); thence South 73°25'11" East 50.86 feet to a point of curvature; thence Southeasterly along the arc of a 33.00 foot radius curve to the right a distance of 19.99 feet (Central Angle equals 34°42'43" and Long Chord bears South 56°03'49" East 19.69 feet) to a point of tangency; thence South 38°42'27" East 65.79 feet to a point of curvature; thence Southeasterly along the arc of a 63.00 foot radius curve to the right a distance of 43.63 feet (Central Angle equals 39°40'31" and Long Chord bears South 18°52'12" East 42.76 feet) to a point of tangency; thence South 05°58'03" West 52.01 feet to a point of curvature; thence Southeast along the arc of a 10.00 radius curve to the left a distance of 12.98 feet (Central Angle equals 74°23'14" and Long Chord bears South 36°13'34" East 12.09 feet) to a point of tangency; thence South 73°25'11" East 45.53 feet; thence South 16°34'49" West 421.09 feet; thence South 05°34'22" East 67.91 feet along a radial line to said Northerly line of Heritage Farms Parkway; thence along said Northerly line the following three courses: Northwesterly along the arc of a 856.00 foot radius curve to the right a distance of 51.92 feet (Center Bears North 05°54'2" West, Central Angle equals 3°28'31" and Long Chord bears North 89°09'26" West 51.91 feet) to a point of tangency; North 87°25'11" West 139.04 feet; and North 39°44'02" West 39.19 feet to said Easterly line of U.S. Highway 40 and the point of beginning.

Contains 120,558 sq. ft. or 2.768 acres 4 Lots



## Narrative

This Subdivision was requested by Valley Hills, LLC to create 4 commercial Lots.

This Plat retraces the underlying 2021 Parcel Line Adjustment Survey by AWA recorded on October 19, 2021 as Filing No. 003722 in the Official Records of Wasatch County.

Four Wasatch County Section Corner Monuments were recovered and utilized for control. A line between monuments found for the Northwest Corner and the North Quarter Corner of Section 32 was assigned the bearing of North 89°31'24" East as the Basis of Bearings to match the 2021 Parcel Line Adjustment Survey referenced hereon. Independent measurements were taken of the North Quarter and Northeast Corners of Section 32 on a NAD83 Utah Central Zone State Plane mapping projection for the purpose of identifying a rotation to match said datum. Bearings shown hereon must be rotated 0°00'29" Clockwise in order to place the Survey on the NAD83 Utah Central Zone State Plane Datum.

The 1995 State Highway Plans were acquired and rotated 5°45" Counter Clockwise to match and honor the Highway Right-of-Way markers as recovered in place on the ground.

## Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Area of Minimal Flood Hazard."

5 Nov, 2025

Date

## Owner's Dedication

Know all men by these presents that we, the undersigned Owner of the above described tract of land, having caused the same to be subdivided into 4 Lots to be hereafter known as

New London North Commercial Subdivision

and do hereby dedicate for the perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness where by I/We, hereunto set my/our hand(s) \_\_\_\_\_ This Day \_\_\_\_\_ AD, 20\_\_\_\_\_.  
Valley Hills, LLC, a Utah limited liability company

by:  
its:

## Acknowledgment

State of \_\_\_\_\_ County of \_\_\_\_\_ ss  
On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, personally appeared before me, the undersigned Notary Public, \_\_\_\_\_, who being by me duly sworn did say that they are the \_\_\_\_\_ of \_\_\_\_\_, by authority of its members or its articles of organization, and they acknowledged to me that said limited liability company executed the same.

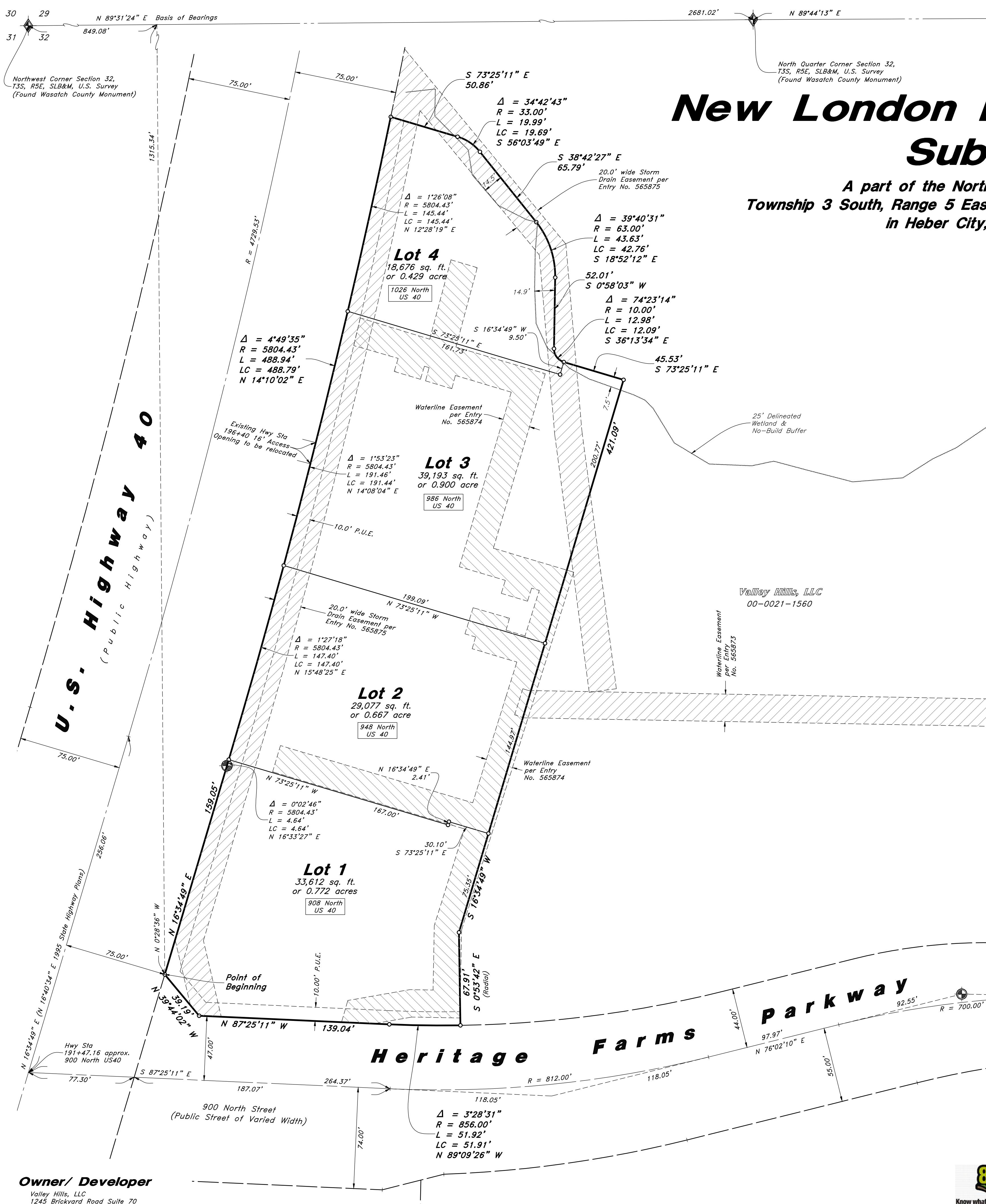
Residing at: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Print Name \_\_\_\_\_ A Notary Public \_\_\_\_\_

**New London North Commercial Subdivision**  
A part of the Northwest Quarter of Section 32, Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey  
In Heber City, Wasatch County, Utah

Sheet 1 of 2

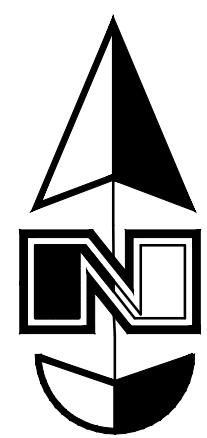
**Recorded #**  
State of Utah, County of Wasatch, Recorded and Filed at the Request of \_\_\_\_\_  
Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_  
Fee \$ \_\_\_\_\_ Wasatch County Recorder \_\_\_\_\_



# New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32,  
Township 3 South, Range 5 East, Salt Lake Base & Meridian, U.S. Survey  
in Heber City, Wasatch County, Utah  
2025

Scale: 1" = 40'  
40' 0" 40' 40' 80'

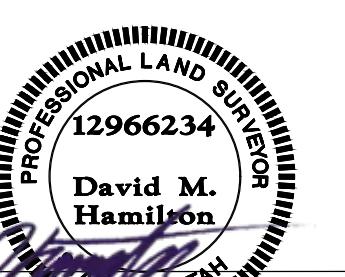


**Southeast Corner Section 32**  
T3S, R5E, SLB&M, U.S. Survey  
(Found Wasatch County Monument)

5 Nov. 2025

Date

David M. Hamilton  
Utah PLS No. 12966234



# New London North Commercial Subdivision

A part of the Northwest Quarter of Section 32, Township 3 South, Range 5 East,  
Salt Lake Base & Meridian, U.S. Survey  
in Heber City, Wasatch County, Utah

Sheet 2 of 2

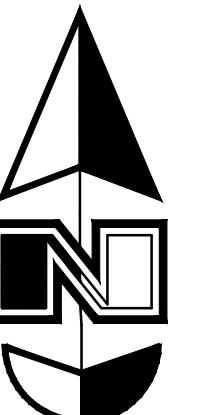
## Recorded #

State of Utah, County of Wasatch, Recorded and Filed at the Request of

Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_

Fee \$

Wasatch County Recorder



Scale: 1" = 20'

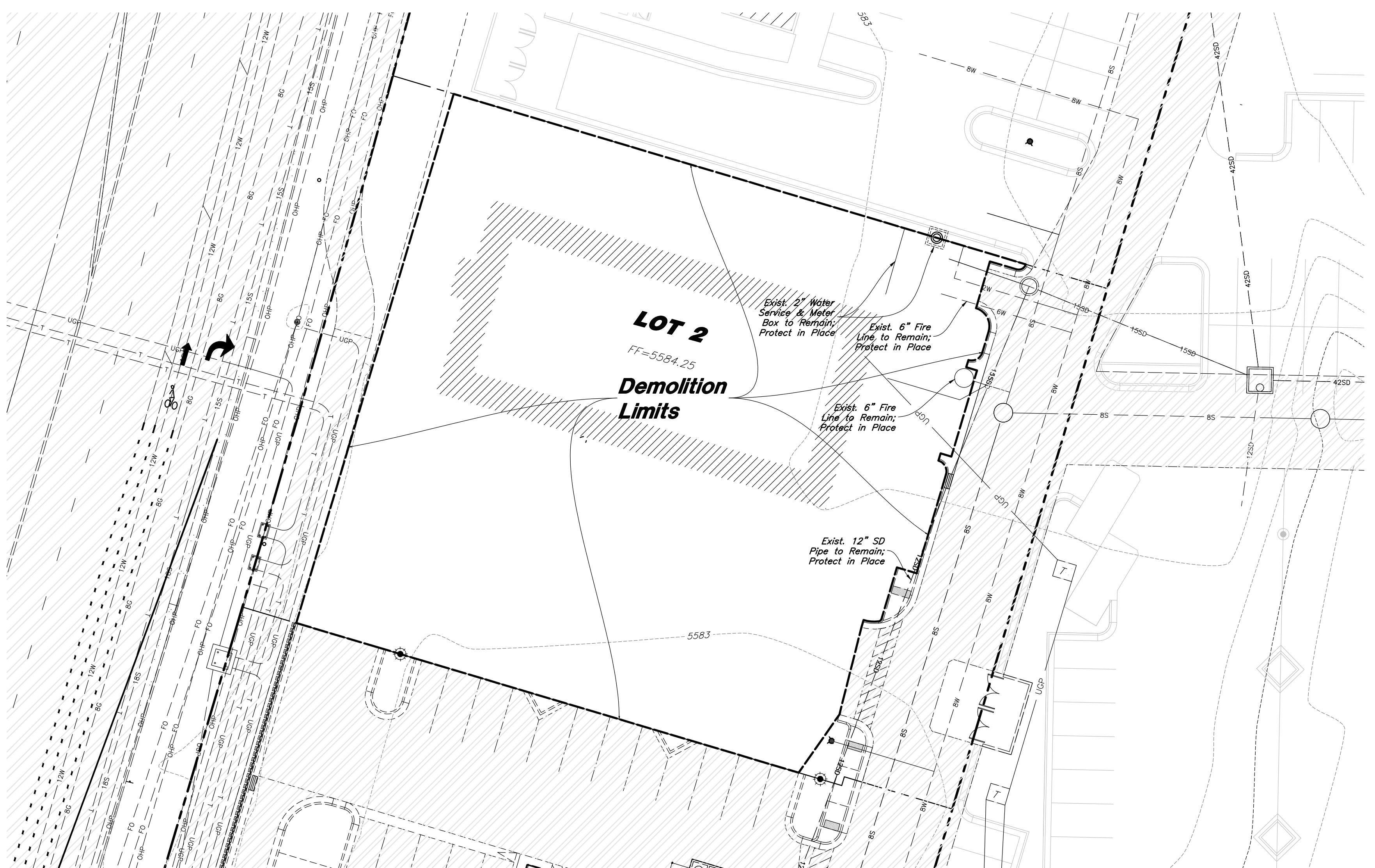
20' 0 20' 40'

**Legend**

|                               |                              |
|-------------------------------|------------------------------|
| Proposed Curb & Gutter        | Existing Improvements        |
| Proposed Open Face C & G      | Existing Asphalt             |
| Proposed Asphalt              | Existing Concrete            |
| Proposed Concrete             | Existing Inlet Box           |
| Proposed Truncated Domes      | Existing Catch Basin         |
| Proposed Inlet Box            | Existing Manhole             |
| Proposed Catch Basin          | Existing Fire Hydrant        |
| Proposed Transformer          | Existing Water Valve         |
| Proposed Meter Box            | Existing Overhead Power Line |
| Proposed Water Meter          | Existing Water               |
| Proposed Combo Box            | Existing Secondary Water     |
| Proposed Fire Hydrant         | Existing Sewer               |
| Proposed Water Valve          | Existing Storm Drain         |
| Proposed Water Line           | Existing Gas                 |
| Proposed Sanitary Sewer       | Existing Power               |
| Proposed Storm Drain          | Existing Telephone           |
| Proposed Conduit Line         | Existing Fence               |
| Proposed Power Line           | Flowline                     |
| Proposed Gas Line             | Existing Contour             |
| Proposed Fire Line            | Existing Spot                |
| Proposed Secondary Water Line | Existing Light Pole          |
| Proposed Roof Drain           | Existing Street Light        |
| Proposed Fence                | Existing Building            |
| Ridge line                    | Existing Telephone Box       |
| Grade Break                   | Existing Power Meter         |
| Proposed Contour              | Existing Electrical Box      |
| Direction of Drainage         | Existing Electrical Cabinet  |
| Proposed Spot                 | Existing Gas Meter           |
| ADA Accessible Route          | Existing Water Meter         |
| Property Line                 | Existing Irrig. Control Box  |
| Sawcut Line                   | Existing Bollard             |
| Proposed Light Pole           | Existing Hose Bib            |
| Proposed Street Light         | Working Point                |
| Proposed Building             | Existing Deciduous Tree      |
| Existing Power Pole           | Existing Coniferous Tree     |
| Existing Power Pole w/ Guy    | Detail Number                |
| Existing Utility Marker       | Sheet Number                 |
| Existing Post                 |                              |

**General Demolition Notes:**

- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, pavers and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
- All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-00. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means, methods, or how the work will be completed. The contractor shall determine the actual construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
- Contractor shall shore and protect neighboring properties per OSHA stds. during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.

**Abbreviations**

|      |   |      |                                      |
|------|---|------|--------------------------------------|
| BCR  | Begin Curb Return                       | PP   | Power Pole                           |
| BOL  | Bollard                                 | PT   | Point of Tangency                    |
| BRW  | Finish Grade - Bottom of Retaining Wall | PVC  | Polyvinyl Chloride                   |
| CATV | Cable Television Box                    | PVI  | Point of Vertical Intersection       |
| CB   | Catch Basin                             | RCP  | Reinforced Concrete Pipe             |
| CMP  | Corrugated Metal Pipe                   | RD   | Roof Drain                           |
| COB  | Cleanout Box                            | SB   | Signal Box                           |
| COTG | Cleanout to Grade                       | SD   | Storm Drain                          |
| EA   | Edge of Asphalt                         | SDMH | Storm Drain Manhole                  |
| EB   | Electrical Box                          | SMH  | Sewer Manhole                        |
| EC   | End of Curve                            | SP   | Signal Pole                          |
| ECR  | End Curb Return                         | SS   | Sanitary Sewer                       |
| FF   | Finished Floor                          | SVZ  | Sight Visibility Zone                |
| g    | Ground                                  | SW   | Secondary Water                      |
| GB   | Grade Break                             | TA   | Top of Asphalt                       |
| GM   | Gas Meter                               | TB   | Telephone Box                        |
| HB   | Hose Bib                                | TBC  | Top Back of Curb                     |
| HP   | High Point                              | TG   | Top of Grate                         |
| I    | Irrigation Line                         | TMH  | Telephone Manhole                    |
| ICB  | Irrigation Control Box                  | TP   | Top of Concrete                      |
| Lip  | Lip of Gutter                           | TRW  | Finish Grade - Top of Retaining Wall |
| LP   | Light Pole                              | TW   | Top of Walk                          |
| MH   | Manhole                                 | VC   | Vertical Curve                       |
| Mon  | Monument                                | VPC  | Vertical Point of Curve              |
| PC   | Point of Curvature                      | VPT  | Vertical Point of Tangency           |
| PCC  | Point of Compound Curvature             | WL   | Waterline                            |
| PI   | Point of Intersection                   | WP   | Working Point                        |
| PM   | Power Meter                             | WV   | Water Valve                          |

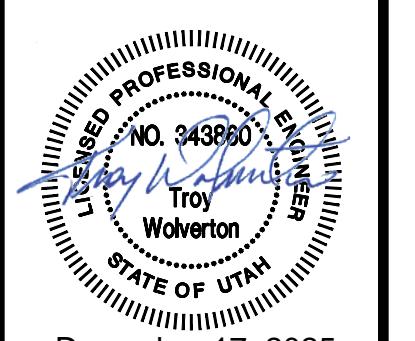
**CAUTION :**

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

**Developer:****NuLo, LLC**

5457 W. 11000 N., Suite No.200  
Highland, Utah 84003  
Thomas Lehhardt  
801-467-7000 main / 104 ext.  
tl@wpi.us.com

21 Apr, 2025

**CO.1****Demolition Plan****AWA****New London North Commercial Development Lot 2 Site Plan**

REVISION

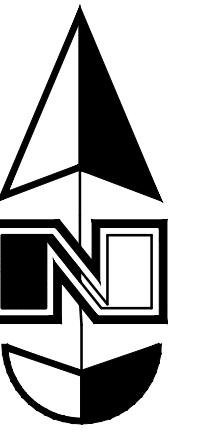
DATE

DESCRIPTION

REV

21-263\_03\_B-DM

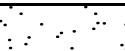
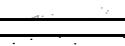
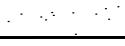
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWEngineering.net

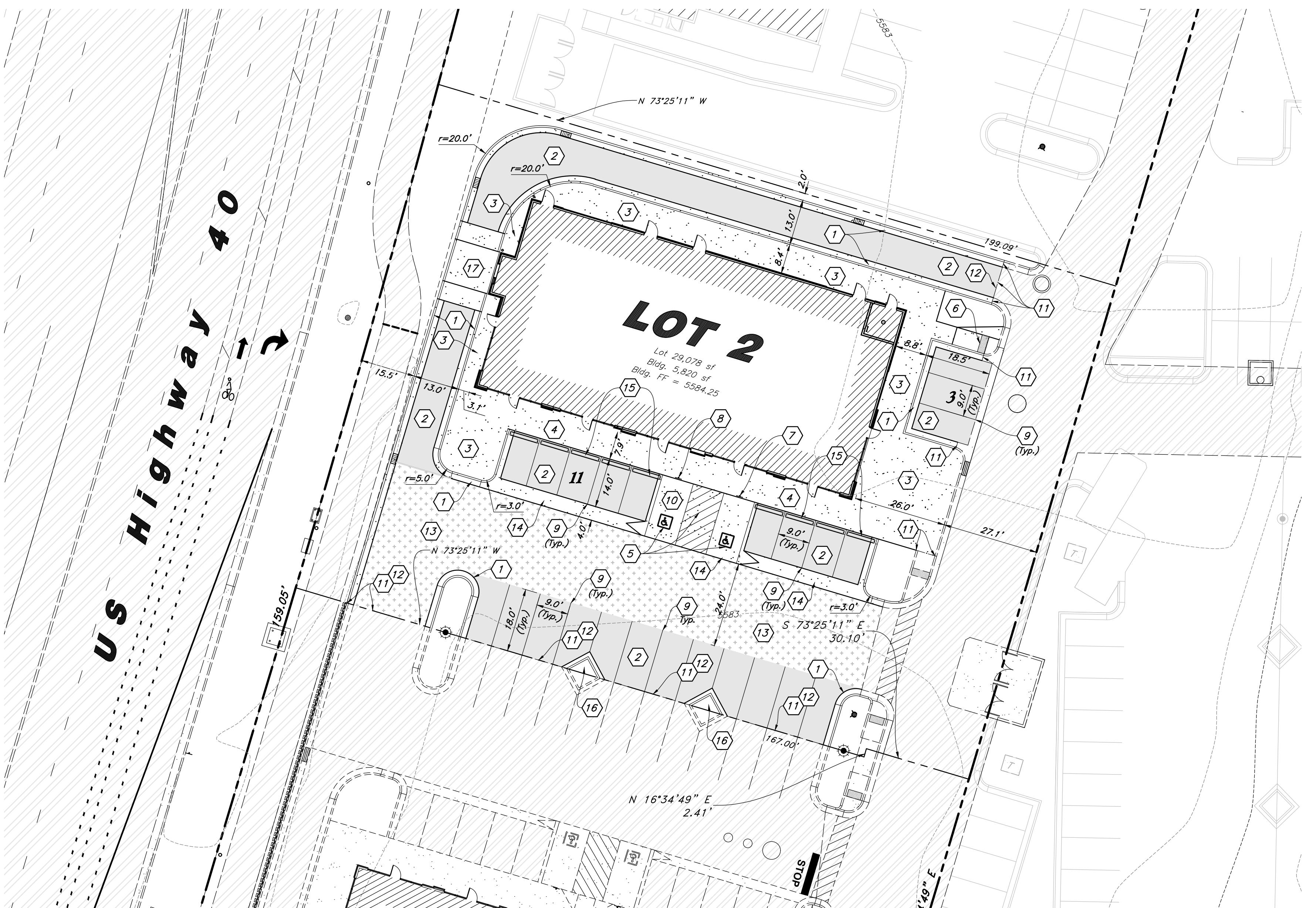


scale: 1" = 20'



### Hatch Legend

|   |                                   |
|---|-----------------------------------|
|  | <i>Standard Asphalt Paving</i>    |
|  | <i>Heavy Duty Asphalt Paving</i>  |
|  | <i>Existing Asphalt Paving</i>    |
|  | <i>Standard Concrete Paving</i>   |
|  | <i>Heavy Duty Concrete Paving</i> |
|  | <i>Existing Concrete Paving</i>   |
|  | <i>Building Interior</i>          |
|  | <i>Rip Rap/Gravel Areas</i>       |



### ***Construction Survey Note:***

*The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.*

#### CAUTION

*The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.*



*A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.*

## ***Acceptance***

City: 5 stars - Score: 4.5 / 5.0 - Date: 2023-09-14

## ***Developer:***

***NuLo, LLC***

A circular professional engineer license seal. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "STATE OF UTAH" at the bottom, both in a stylized font. The inner circle has "NO. 343860" in the center, surrounded by a dotted line. Handwritten in blue ink across the center is "Troy W. Wolverton". At the bottom of the inner circle, the date "December 17, 2025" is written.

*SHEET NO.*

*Commercial Development Lot 2 Site Plan  
North Main Street (US 40)  
Heber City, Utah*

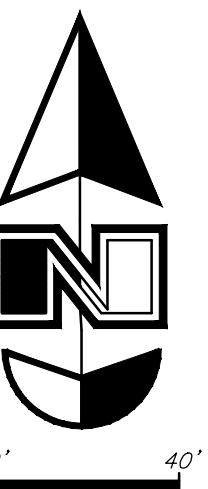
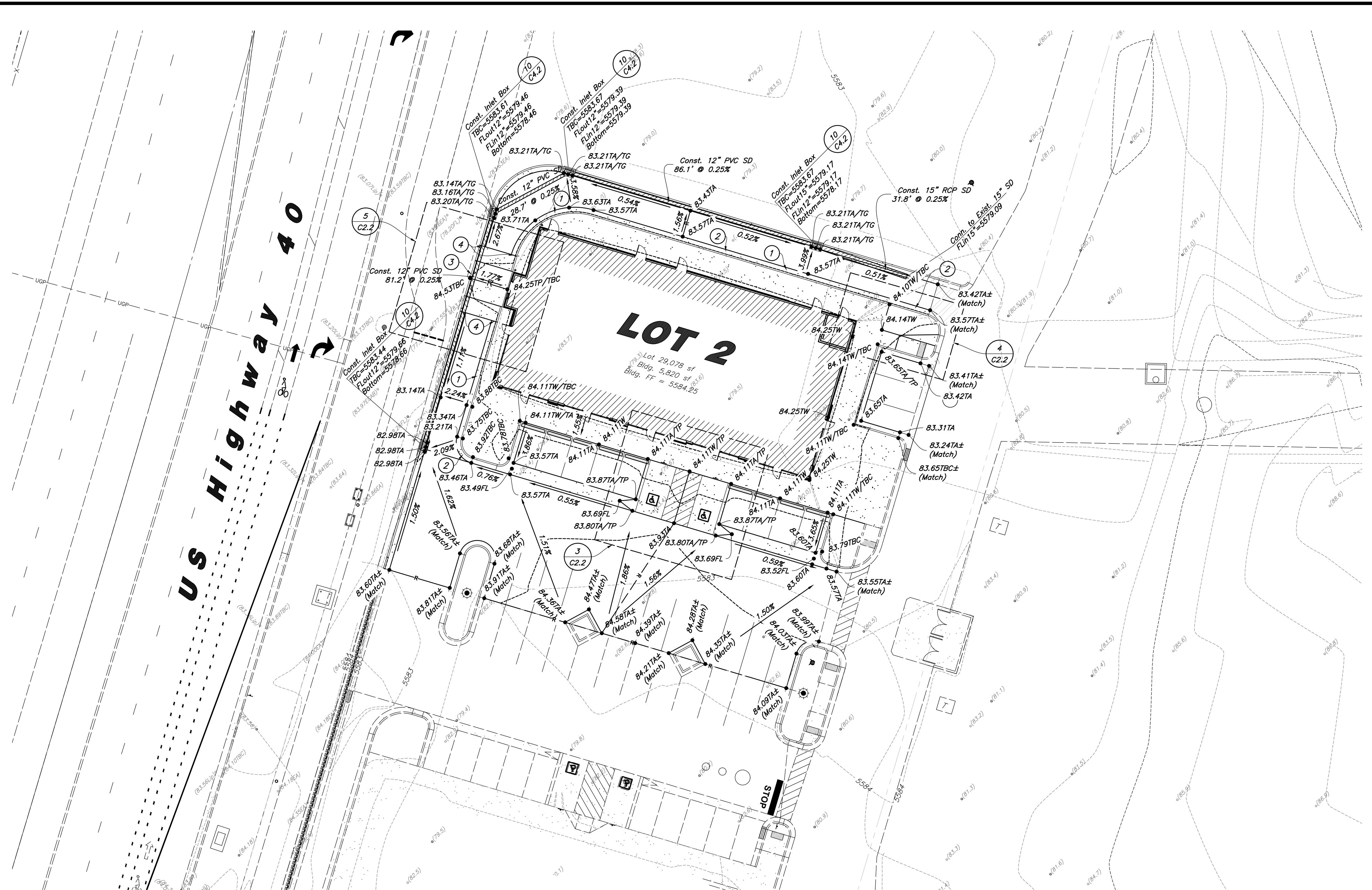
*DESCRIPTION*

### *legend*

|                               |  |                              |  |
|-------------------------------|--|------------------------------|--|
| Proposed Curb & Gutter        |  | Existing Improvements        |  |
| Proposed Open Face C & G      |  | Existing Asphalt             |  |
| Proposed Asphalt              |  | Existing Concrete            |  |
| Proposed Concrete             |  | Existing Inlet Box           |  |
| Proposed Truncated Domes      |  | Existing Catch Basin         |  |
| Proposed Inlet Box            |  | Existing Manhole             |  |
| Proposed Catch Basin          |  | Existing Fire Hydrant        |  |
| Proposed Manhole              |  | Existing Water Valve         |  |
| Proposed Transformer          |  | Existing Overhead Power Line |  |
| Proposed Meter Box            |  | Existing Water               |  |
| Proposed Water Meter          |  | Existing Secondary Water     |  |
| Proposed Combo Box            |  | Existing Sewer               |  |
| Proposed Fire Hydrant         |  | Existing Storm Drain         |  |
| Proposed Water Valve          |  | Existing Gas                 |  |
| Proposed Water Line           |  | Existing Power               |  |
| Proposed Sanitary Sewer       |  | Existing Telephone           |  |
| Proposed Storm Drain          |  | Existing Fence               |  |
| Proposed Conduit Line         |  | Flowline                     |  |
| Proposed Power Line           |  | Centerline                   |  |
| Proposed Gas Line             |  | Existing Contour             |  |
| Proposed Fire Line            |  | Existing Spot                |  |
| Proposed Secondary Water Line |  | Existing Light Pole          |  |
| Proposed Roof Drain           |  | Existing Street Light        |  |
| Proposed Fence                |  | Existing Building            |  |
| Ridge line                    |  | Existing Telephone Box       |  |
| Grade Break                   |  | Existing Power Meter         |  |
| Proposed Contour              |  | Existing Electrical Box      |  |
| Direction of Drainage         |  | Existing Electrical Cabinet  |  |
| Proposed Spot                 |  | Existing Gas Meter           |  |
| ADA Accessible Route          |  | Existing Water Meter         |  |
| Property Line                 |  | Existing Irrig. Control Box  |  |
| Sawcut Line                   |  | Existing Bollard             |  |
| Proposed Light Pole           |  | Existing Hose Bib            |  |
| Proposed Street Light         |  | Working Point                |  |
| Proposed Building             |  | Existing Deciduous Tree      |  |
| Existing Power Pole           |  | Existing Coniferous Tree     |  |
| Existing Power Pole w/ Guy    |  | Detail Number                |  |
| Existing Utility Marker       |  | Sheet Number                 |  |
| Existing Post                 |  |                              |  |

## Abbreviations

|   |      |   |      |                                      |
|---|------|---|------|--------------------------------------|
| ns are to back of curb unless otherwise           | BCR  | Begin Curb Return                       | PP   | Power Pole                           |
| arkings and signs to be installed as              | BOL  | Bollard                                 | PT   | Point of Tangency                    |
| the Fire Marshal.                                 | BRW  | Finish Grade - Bottom of Retaining Wall | PVC  | Polyvinyl Chloride                   |
| ngs, directional arrows and stop bars will        | CATV | Cable Television Box                    | PVI  | Point of Vertical Intersection       |
| at each driveway as shown on the plans.           | CB   | Catch Basin                             | RCP  | Reinforced Concrete Pipe             |
| transition at all points where curb abuts         | CMP  | Corrugated Metal Pipe                   | RD   | Roof Drain                           |
| ee detail.  | COB  | Cleanout Box                            | SB   | Signal Box                           |
| shall place asphalt paving in the direction       | COTG | Cleanout to Grade                       | SD   | Storm Drain                          |
| ravel where possible.                             | EA   | Edge of Asphalt                         | SDMH | Storm Drain Manhole                  |
| demolition/disturbed areas shown on the           | EB   | Electrical Box                          | SMH  | Sewer Manhole                        |
| not be an exact depiction. It is the              | EC   | End of Curve                            | SP   | Signal Pole                          |
| responsibility to determine the means and         | ECR  | End Curb Return                         | SS   | Sanitary Sewer                       |
| how the work will be completed. The               | FF   | Finished Floor                          | SVZ  | Sight Visibility Zone                |
| shall determine the area of construction          | g    | Ground                                  | SW   | Secondary Water                      |
| contractor is responsible to restore all          | GB   | Grade Break                             | TA   | Top of Asphalt                       |
| reas and all restoration shall be part of the     | GM   | Gas Meter                               | TB   | Telephone Box                        |
| d.  | HB   | Hose Bib                                | TBC  | Top Back of Curb                     |
| Note:   | HP   | High Point                              | TG   | Top of Grate                         |
| actor or surveyor shall be responsible for        | I    | Irrigation Line                         | TMH  | Telephone Manhole                    |
| ational Society of Professional Surveyors (NSPS)  | ICB  | Irrigation Control Box                  | TP   | Top of Concrete                      |
| ds for any surveying or construction layout to be | Lip  | Lip of Gutter                           | TRW  | Finish Grade - Top of Retaining Wall |
| g Anderson Wahlen and Associates ALTA Surveys     | LP   | Light Pole                              | TW   | Top of Walk                          |
| ahlen and Associates construction improvement     | MH   | Manhole                                 | VC   | Vertical Curve                       |
| proceeding with construction staking, the         | Mon  | Monument                                | VPC  | Vertical Point of Curve              |
| be responsible for verifying horizontal control   | PC   | Point of Curvature                      | VPT  | Vertical Point of Tangency           |
| monuments and for verifying any additional        | PCC  | Point of Compound Curvature             | WL   | Waterline                            |
| shown on an ALTA survey, improvement plan, or     | PI   | Point of Intersection                   | WP   | Working Point                        |
| data provided by Anderson Wahlen and              | PM   | Power Meter                             | WV   | Water Valve                          |
| e surveyor shall also use the benchmarks as       |      |   |      |                                      |
| plan, and verify them against no less than three  |      |   |      |                                      |
| improvement elevations included on these plans    |      |   |      |                                      |
| c data provided by Anderson Wahlen and            |      |   |      |                                      |
| any discrepancies are encountered, the surveyor   |      |   |      |                                      |



Scale: 1" = 20'

| Legend                        |                              |
|-------------------------------|------------------------------|
| Proposed Curb & Gutter        | Existing Improvements        |
| Proposed Open Face C & G      | Existing Asphalt             |
| Proposed Asphalt              | Existing Concrete            |
| Proposed Concrete             | Existing Inlet Box           |
| Proposed Truncated Domes      | Existing Catch Basin         |
| Proposed Inlet Box            | Existing Manhole             |
| Proposed Catch Basin          | Existing Fire Hydrant        |
| Proposed Manhole              | Existing Water Valve         |
| Proposed Transformer          | Existing Overhead Power Line |
| Proposed Meter Box            | Existing Water               |
| Proposed Water Meter          | Existing Secondary Water     |
| Proposed Combo Box            | Existing Sewer               |
| Proposed Fire Hydrant         | Existing Storm Drain         |
| Proposed Water Valve          | Existing Gas                 |
| Proposed Water Line           | Existing Power               |
| Proposed Sanitary Sewer       | Existing Telephone           |
| Proposed Storm Drain          | Existing Fence               |
| Proposed Conduit Line         | Flowline                     |
| Proposed Power Line           | Centerline                   |
| Proposed Gas Line             | Existing Contour             |
| Proposed Fire Line            | Existing Spot                |
| Proposed Secondary Water Line | Existing Light Pole          |
| Proposed Roof Drain           | Existing Street Light        |
| Proposed Fence                | Existing Building            |
| Ridge line                    | Existing Telephone Box       |
| Grade Break                   | Existing Power Meter         |
| Proposed Contour              | Existing Electrical Box      |
| Proposed Drainage             | Existing Electrical Cabinet  |
| Proposed Spot                 | Existing Gas Meter           |
| ADA Accessible Route          | Existing Irrig. Control Box  |
| Property Line                 | Existing Bollard             |
| Sawcut Line                   | Existing Hose Bib            |
| Proposed Light Pole           | Working Point                |
| Proposed Street Light         | Existing Deciduous Tree      |
| Existing Power Pole           | Existing Coniferous Tree     |
| Existing Utility Marker       | Detail Number                |
| Existing Post                 | Sheet Number                 |



#### General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be bencheted into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand or gravel, and the dry unit weight of the fill material. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.

#### Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for standard and open face curb and gutter dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
- Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.
- Construct 6" monolithic curb to slab.
- Transition gutter to concrete flatwork.

#### Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan. Where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
- Refer to the Site Plan for sidewalk dimensions.

#### Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200  
Highland, Utah 84003  
Thomas Lehhardt  
801-467-7000 main / 104 ext.  
t@wpi.us.com

#### Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Heber City, Utah and Incorporated Areas Map Number 49051C0118E dated March 15, 2012. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

#### Benchmark

Brass Cap Monument for the Northwest Corner of Section 32, T35, R5E, SLB&M  
Assigned elevation = 5565.64 feet  
Observed November 30, 2020

#### Engineer's Statement

I hereby acknowledge that this design for the management of storm water of this development was prepared by me, or under my direct supervision in accordance with the provisions of Heber City's Drainage Manual and Standard Specifications and Drawing, and was designed to comply with the provisions thereof. I understand that the City assumes no responsibility or liability for this report.

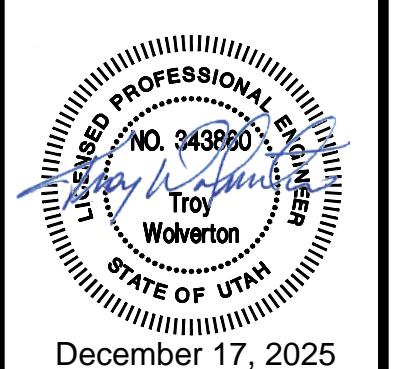
A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.

#### Abbreviations

|      |   |      |                                      |
|------|---|------|--------------------------------------|
| BCR  | Begin Curb Return                       | PP   | Power Pole                           |
| BOL  | Bollard                                 | PT   | Point of Tangency                    |
| BRW  | Finish Grade - Bottom of Retaining Wall | PVC  | Polyvinyl Chloride                   |
| CATV | Cable Television Box                    | PVI  | Point of Vertical Intersection       |
| CB   | Catch Basin                             | RCP  | Reinforced Concrete Pipe             |
| CMP  | Corrugated Metal Pipe                   | RD   | Roof Drain                           |
| COB  | Cleanout Box                            | SB   | Signal Box                           |
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| EA   | Edge of Asphalt                         | SDMH | Storm Drain Manhole                  |
| EB   | Electrical Box                          | SMH  | Sewer Manhole                        |
| EC   | End of Curve                            | SP   | Signal Pole                          |
| ECR  | End Curb Return                         | SS   | Sanitary Sewer                       |
| FF   | Finished Floor                          | SVZ  | Sight Visibility Zone                |
| G    | Ground                                  | SW   | Secondary Water                      |
| GB   | Grade Break                             | TA   | Top of Asphalt                       |
| GM   | Gas Meter                               | TB   | Telephone Box                        |
| HB   | Hose Bib                                | TBC  | Top Back of Curb                     |
| HP   | High Point                              | TG   | Top of Grate                         |
| I    | Irrigation Line                         | TMH  | Telephone Manhole                    |
| ICB  | Irrigation Control Box                  | TP   | Top of Concrete                      |
| Lip  | Lip of Gutter                           | TRW  | Finish Grade - Top of Retaining Wall |
| LP   | Light Pole                              | TW   | Top of Walk                          |
| MH   | Manhole                                 | VC   | Vertical Curve                       |
| Mon  | Monument                                | VPC  | Vertical Point of Curve              |
| PC   | Point of Curvature                      | VPT  | Vertical Point of Tangency           |
| PCC  | Point of Compound Curvature             | WL   | Waterline                            |
| PI   | Point of Intersection                   | WP   | Working Point                        |
| PM   | Point of Meter                          | WV   | Water Valve                          |

#### Acceptance

City Engineer, Russell Funk, P.E. Approval Date



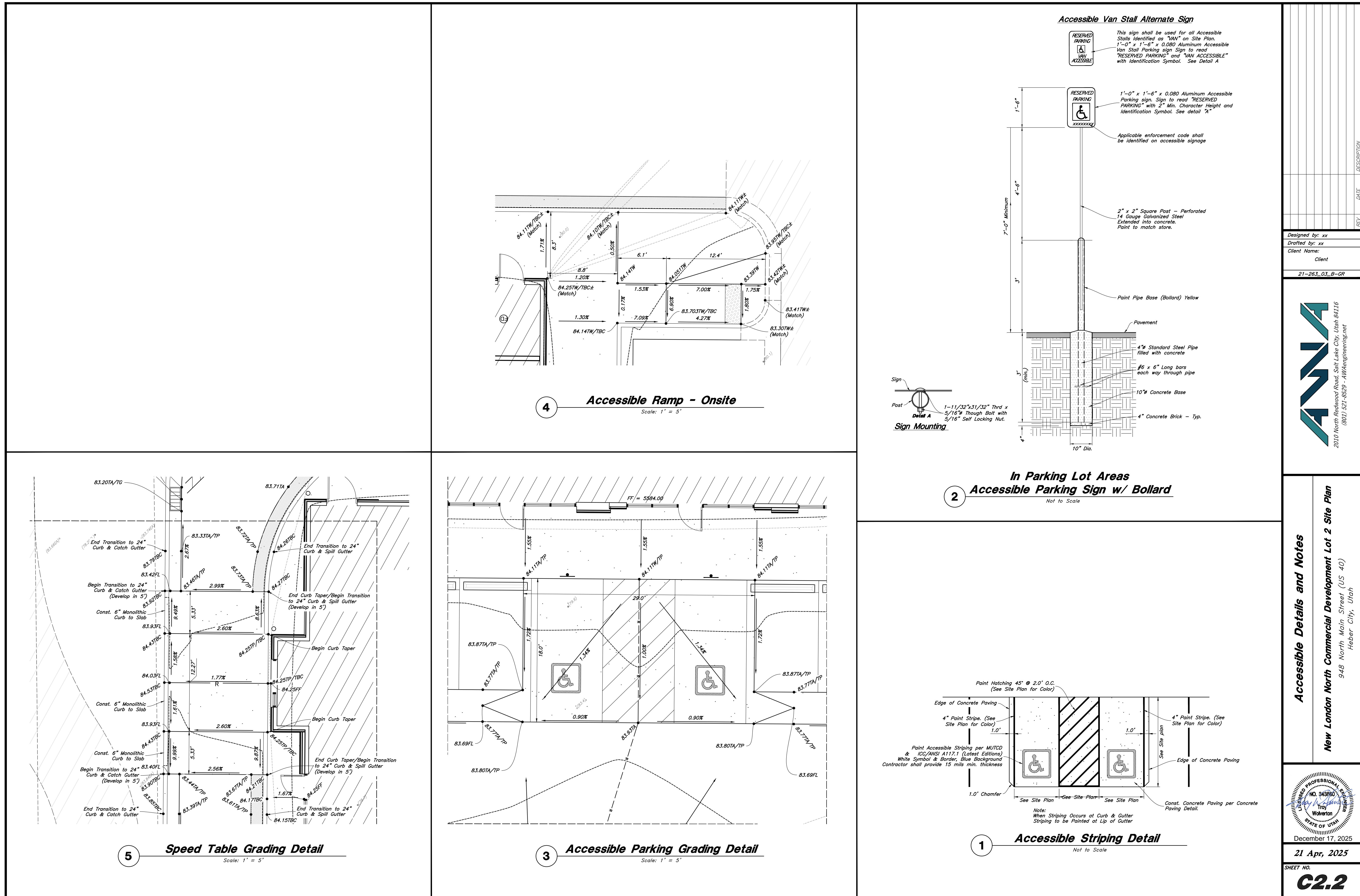
21 Apr, 2025

SHEET NO.

C2.1

**AWWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5629 - [AWAEngineering.net](http://AWAEngineering.net)

**Grading Plan**  
948 North Main Street (US 40)  
Heber City, Utah  
New London North Commercial Development Lot 2 Site Plan





1. REINFORCEMENT: ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.

A. Space rebar and dowels at 12 to 15 inches on center.

B. Grease dowels to provide movement in expansion joints.

C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.

2. SAWING: Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommended by sealant manufacturer and approved by ENGINEER.

3. JOINTS: Lay out joints to aid construction and control random cracking.

A. Joint Spacing shall be 12 feet maximum on center in both directions.

B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.

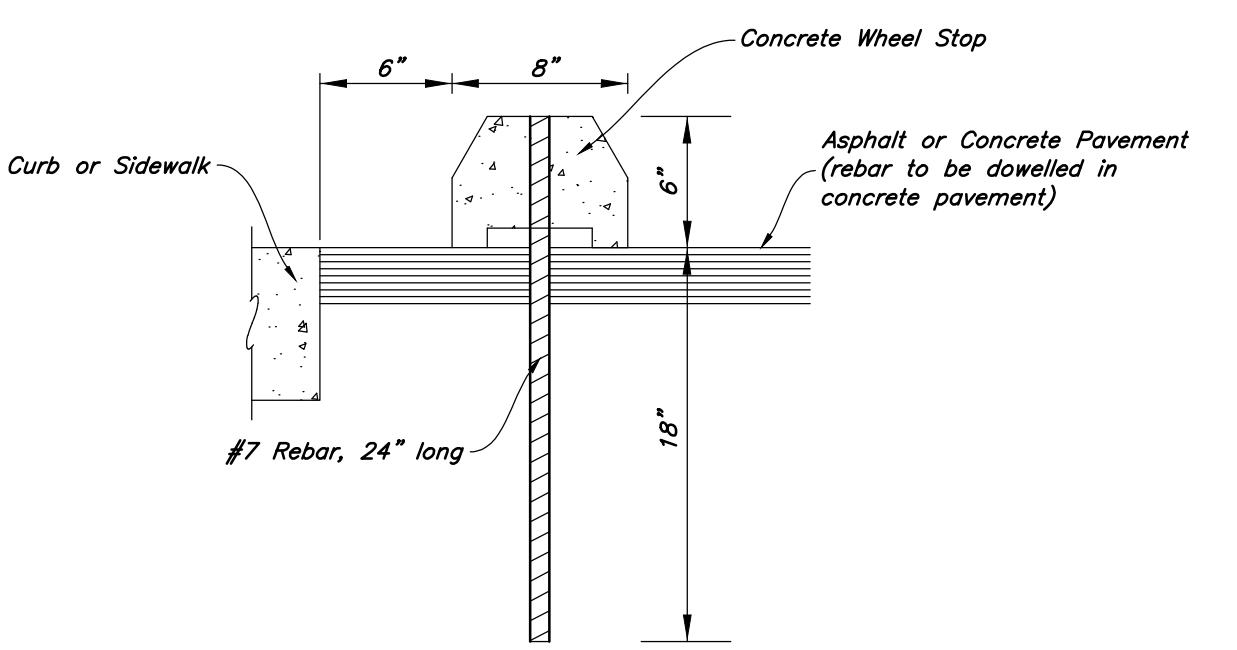
C. Make adjustments in joint locations to meet inlet or manhole locations.

D. Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.

4. JOINT FILLER: Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.

5. BACKER ROD: Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.

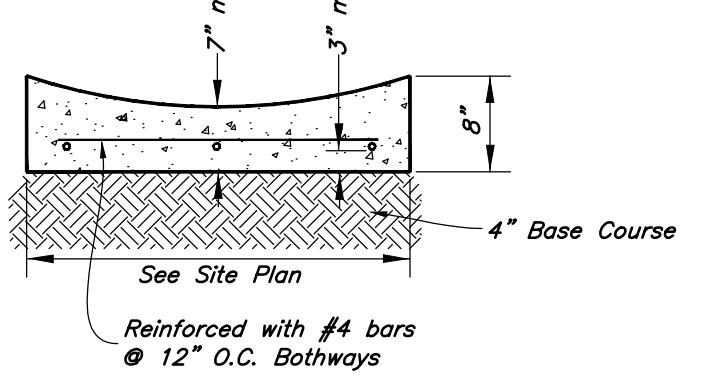
6. JOINT SEALANT: Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



7 Concrete Wheel Stop Detail  
Not to Scale

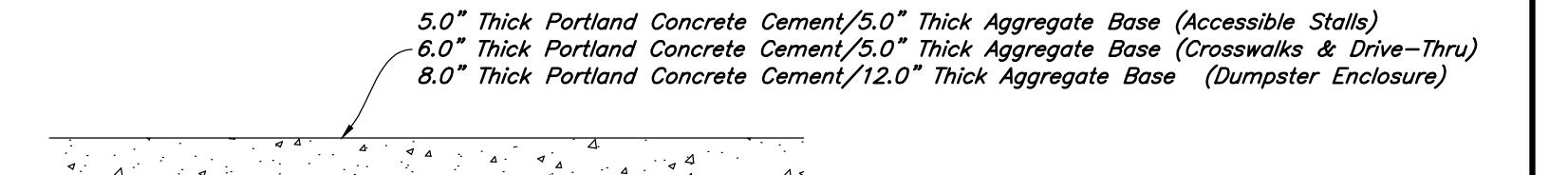
Contraction Joints  
A. Spacing = 10' O.C.  
B. 1/8" Wide by 2" Deep

1. See Concrete Joint Detail



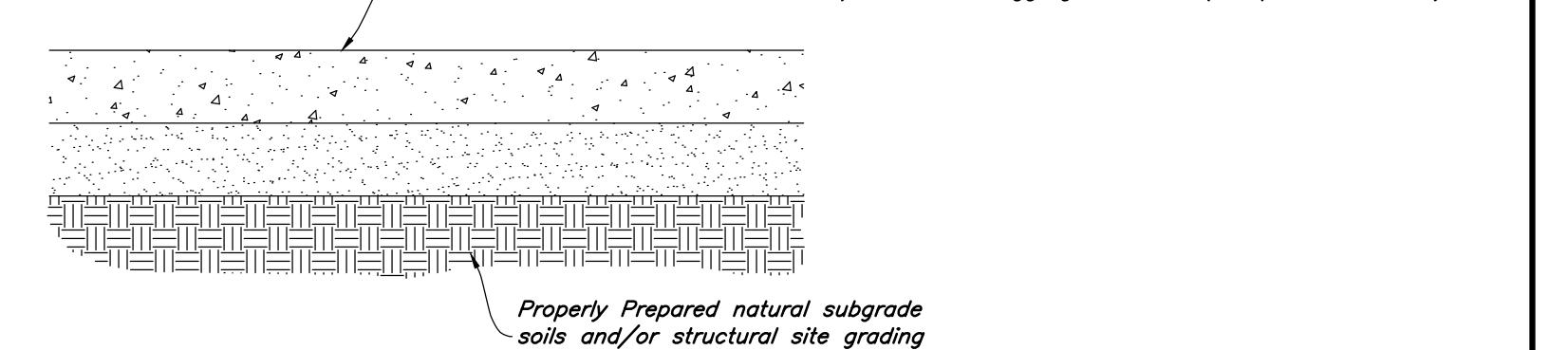
3 Typical Waterway Detail  
Not to Scale

1. See Geotechnical Report for Project for Future Details  
2. See Concrete Joint Detail

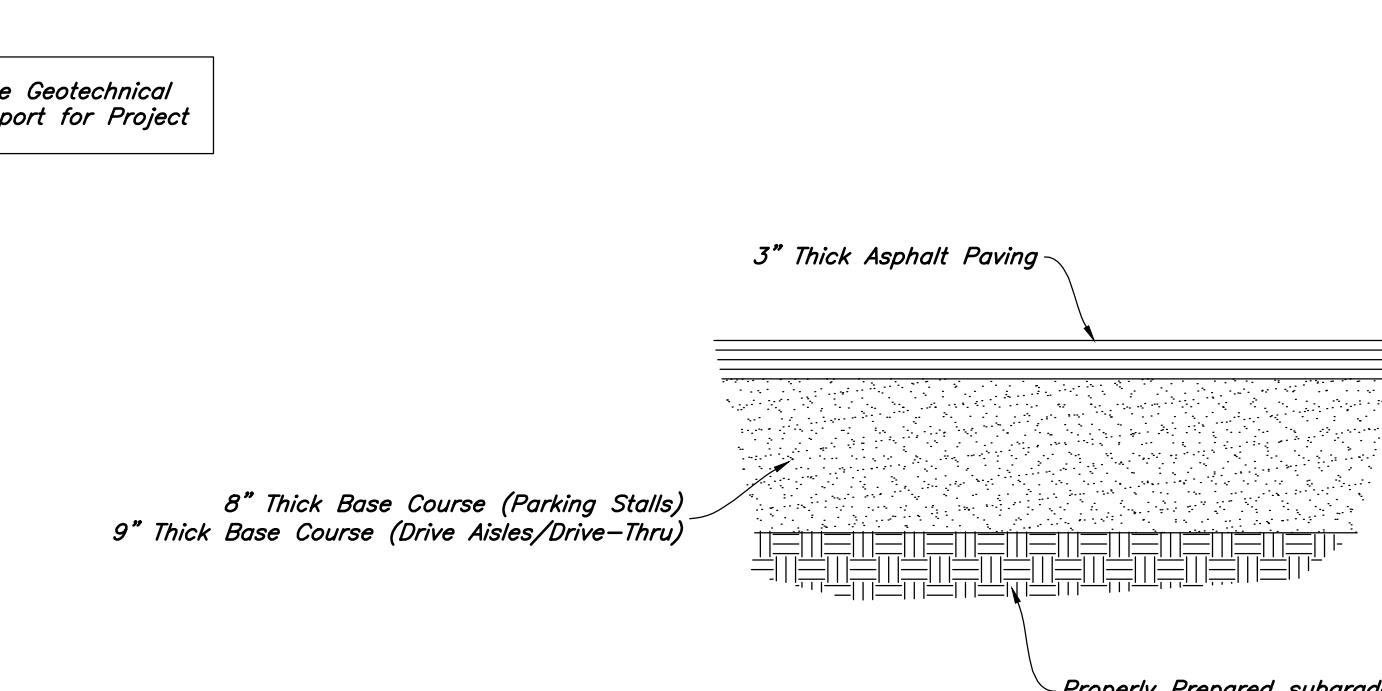


6 Concrete Pavement Sections  
Not to Scale

1. See Geotechnical Report for Project



Properly Prepared natural subgrade soils and/or structural site grading fill extending to suitable natural soils



2 Parking Area/Drive Lane Asphalt Sections  
Not to Scale

1. See Concrete Joint Detail

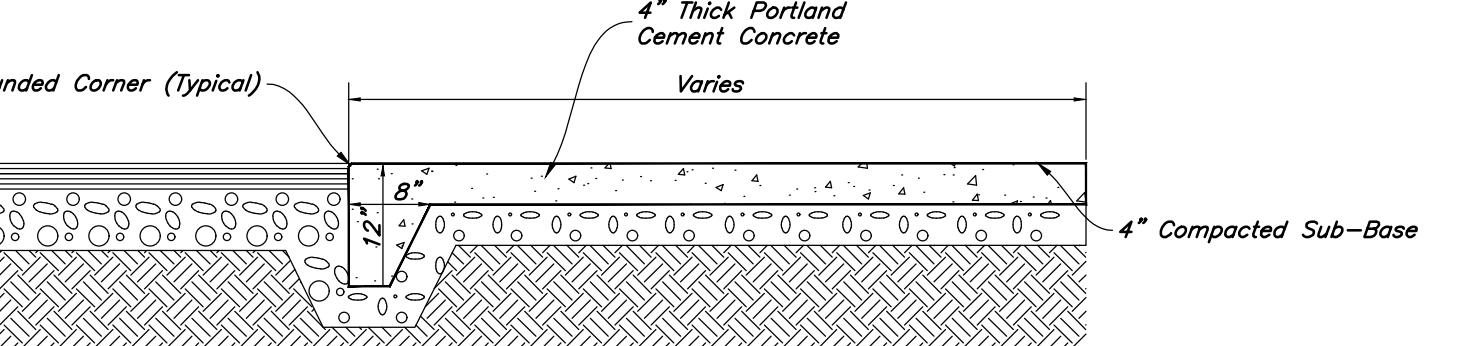
Contraction Joints  
A. Spacing = 10' O.C.

Expansion Joints

A. Make expansion joints full depth, see joint detail

B. Place expansion joint at all cold joints

C. Expansion joints are required at the start of end of curb radius.



5 Thickened Edge Walk  
Not to Scale

1. See Concrete Joint Detail

Contraction Joints

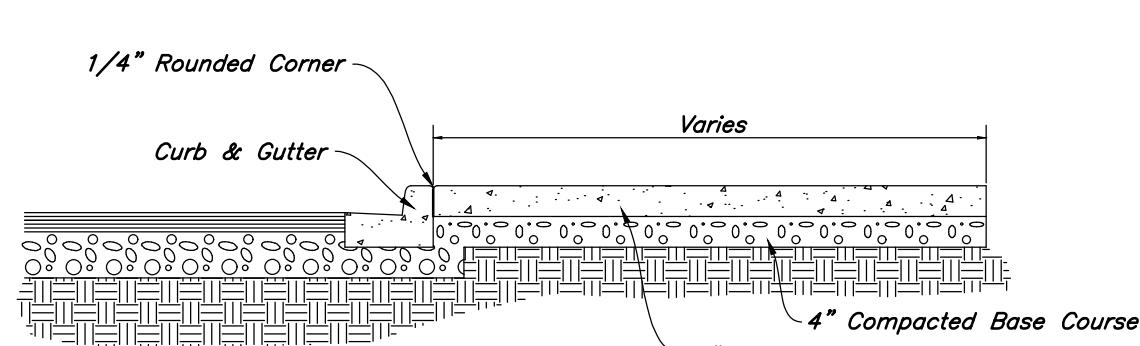
A. Spacing = 10' O.C.

Expansion Joints

A. Make expansion joints full depth, see joint detail

B. Place expansion joint at all cold joints

C. Expansion joints are required at the start of end of curb radius.



4 Typical Sidewalk Detail  
Not to Scale

1. Contraction Joints  
A. Spacing = 10' o.c., see joint detail  
B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals

2. Expansion Joints

A. Make expansion joints full depth, see joint detail

B. Place expansion joint at all cold joints

C. Expansion joints are required at the start of end of curb radius.

D. Required 5'-0" on each side of drainage structures

E. Required at 90'-0" maximum intervals in straight curb and gutter

F. Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3" thick bituminous filler material)

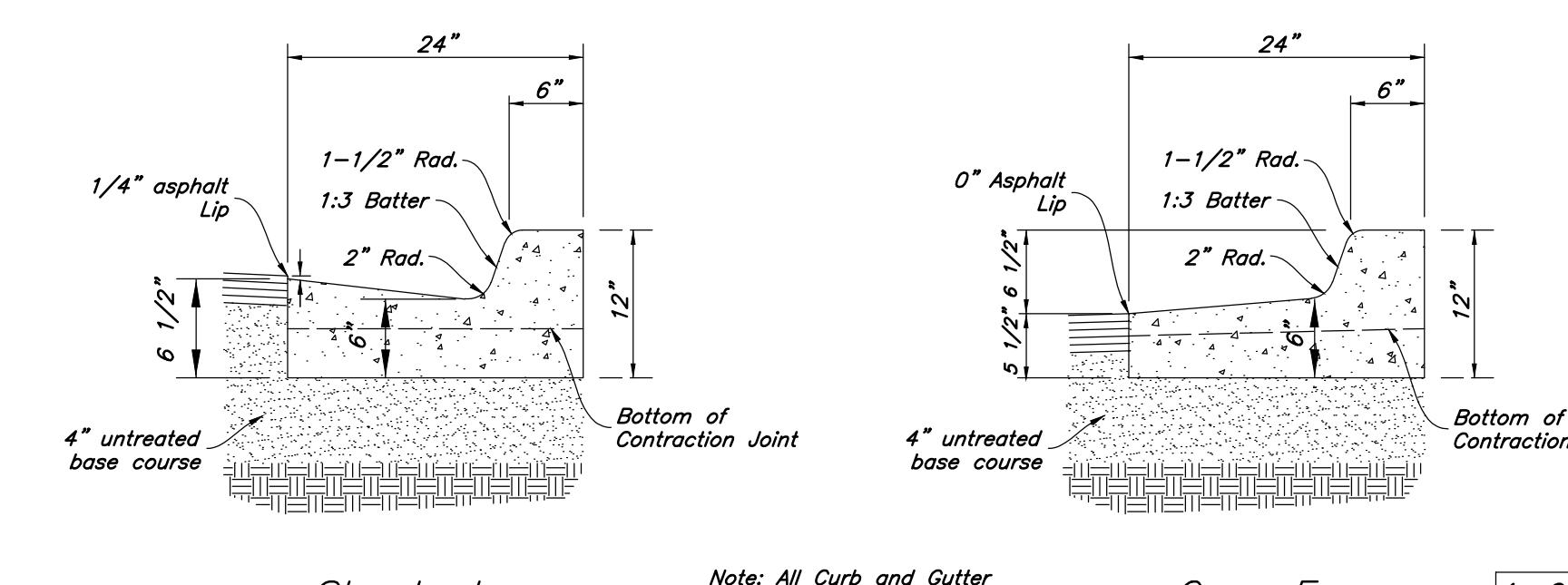
3. 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement

4. Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter

5. Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.

6. All radii shall be true arcs

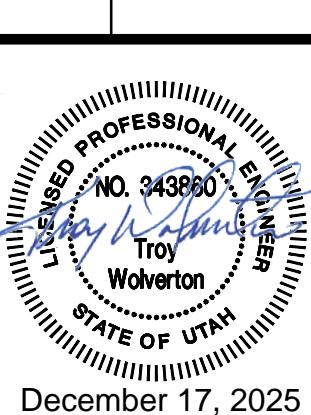
7. Medium to light broom finish on all exterior concrete



1 24" Curb And Gutter  
Not to Scale

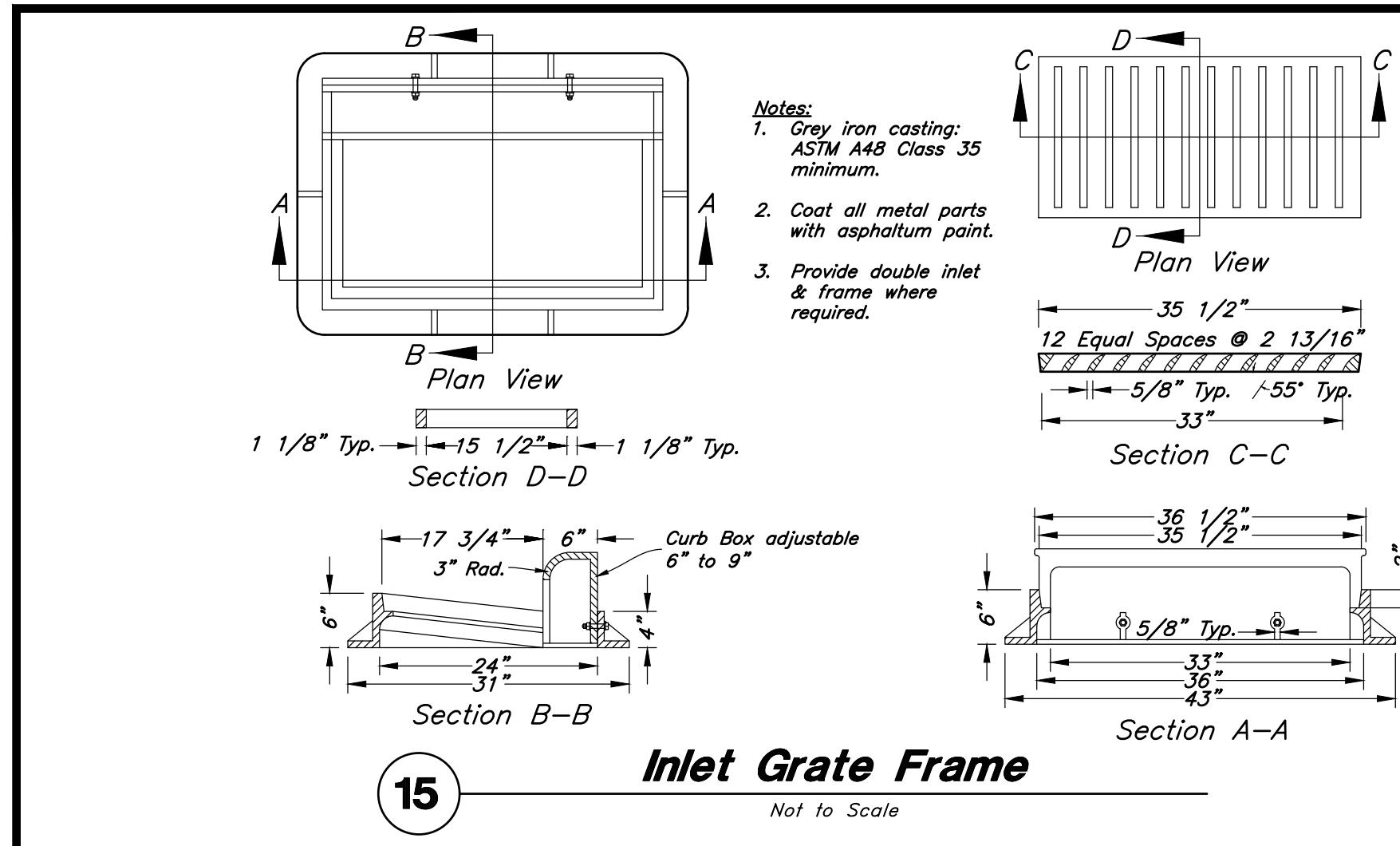
ANVA  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - ANVAengineering.net

Details  
New London North Commercial Development Lot 2 Site Plan  
948 North Main Street (US 40)  
Heber City, Utah  
9/2025



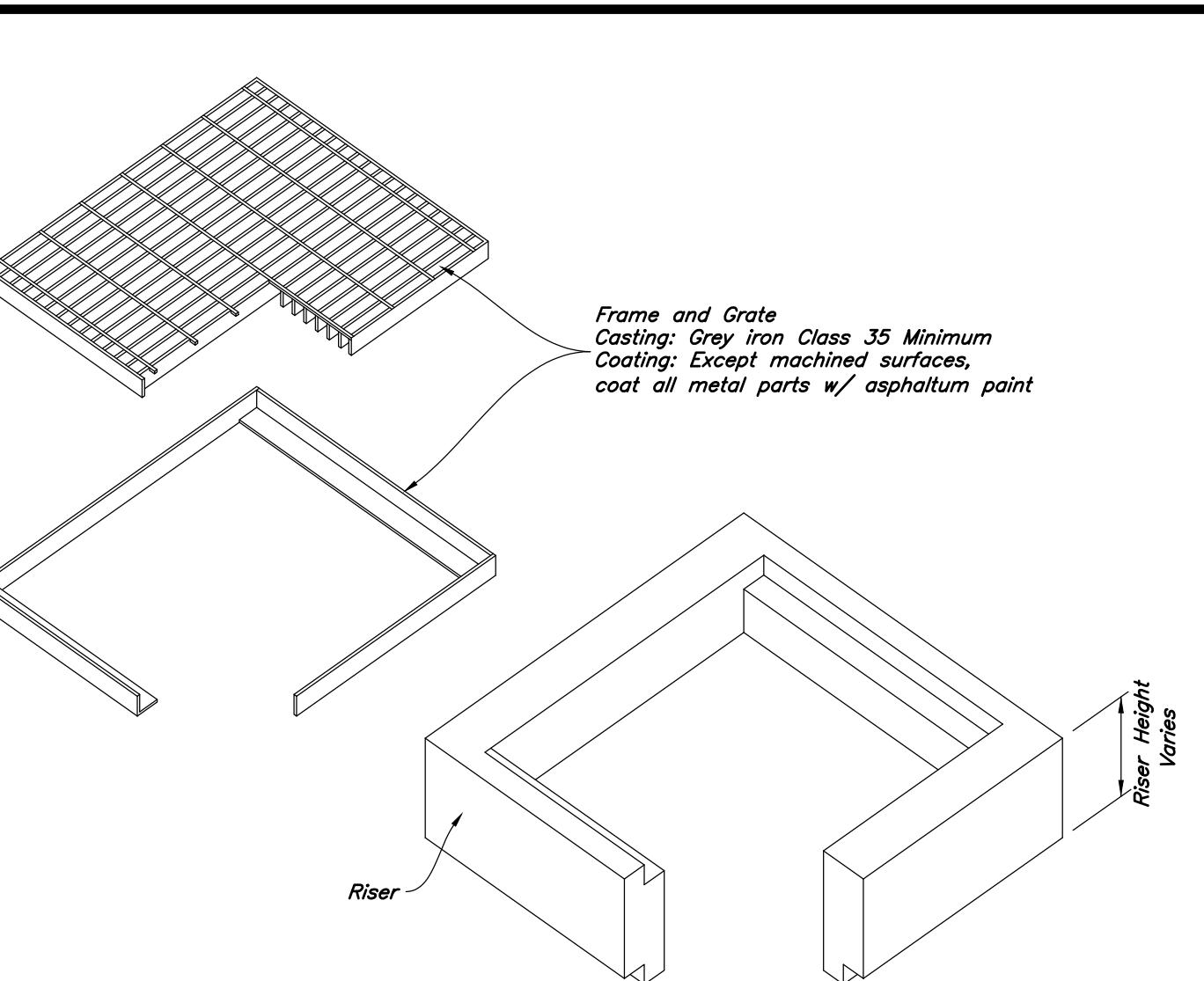
21 Apr, 2025

SHEET NO. C4.1



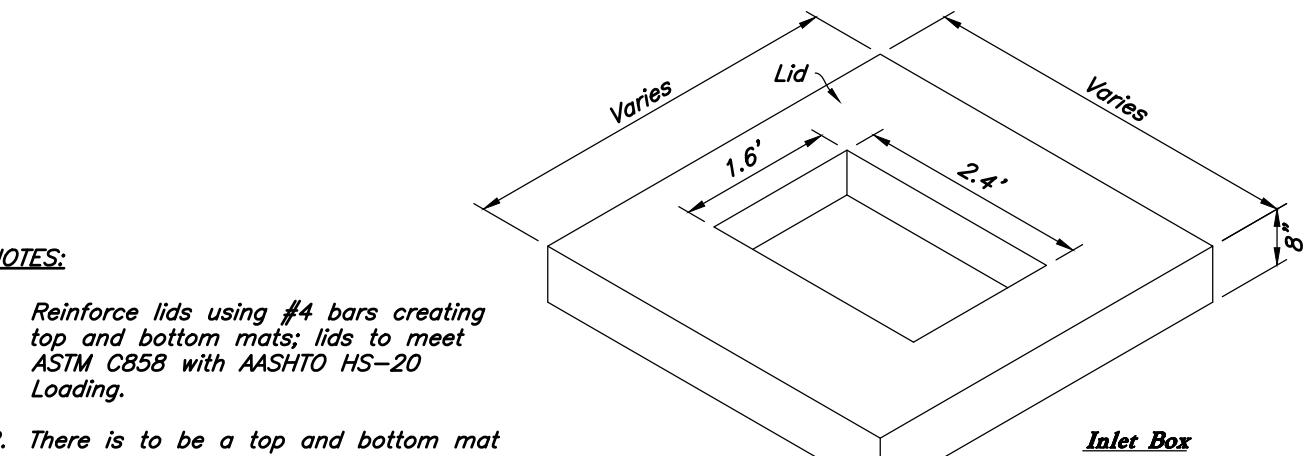
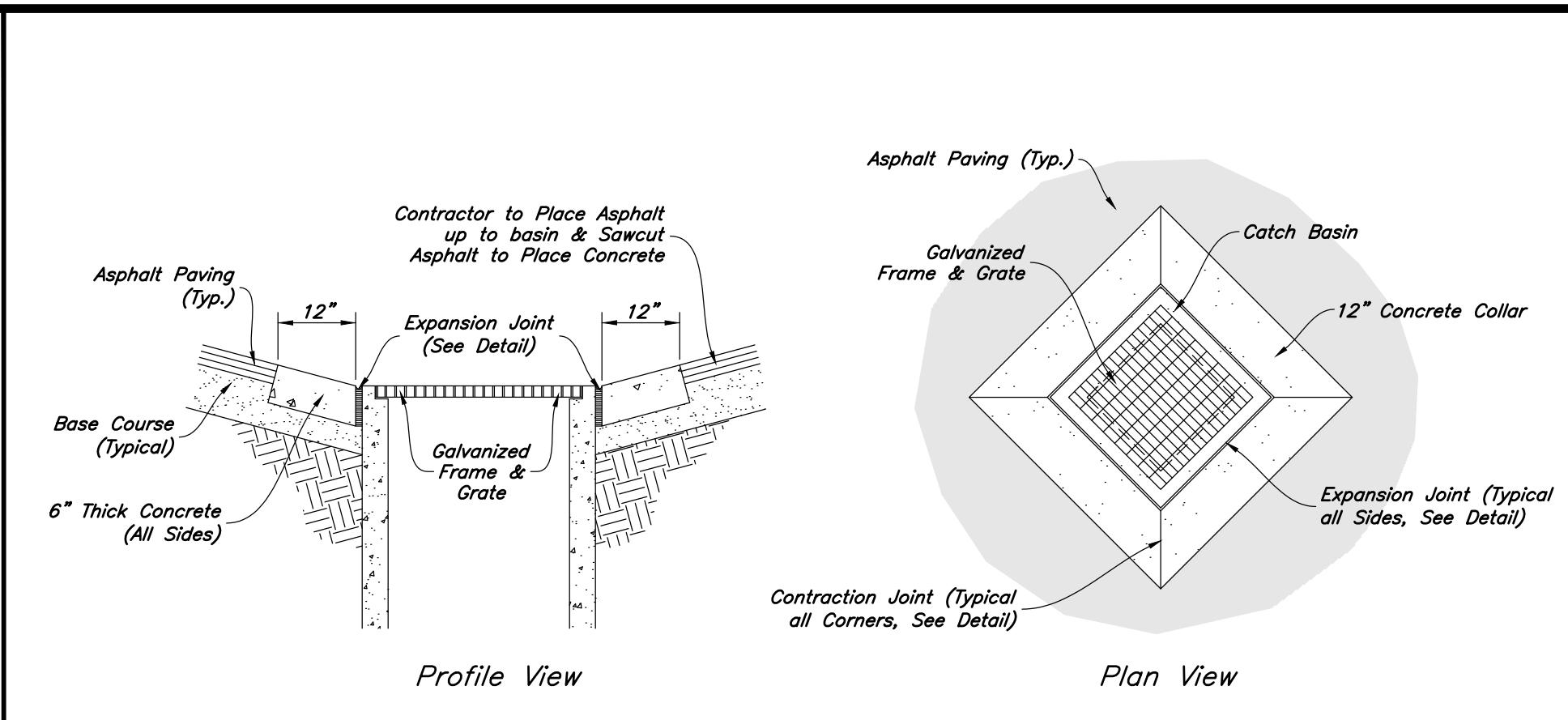
**Inlet Grate Frame**

Not to Scale



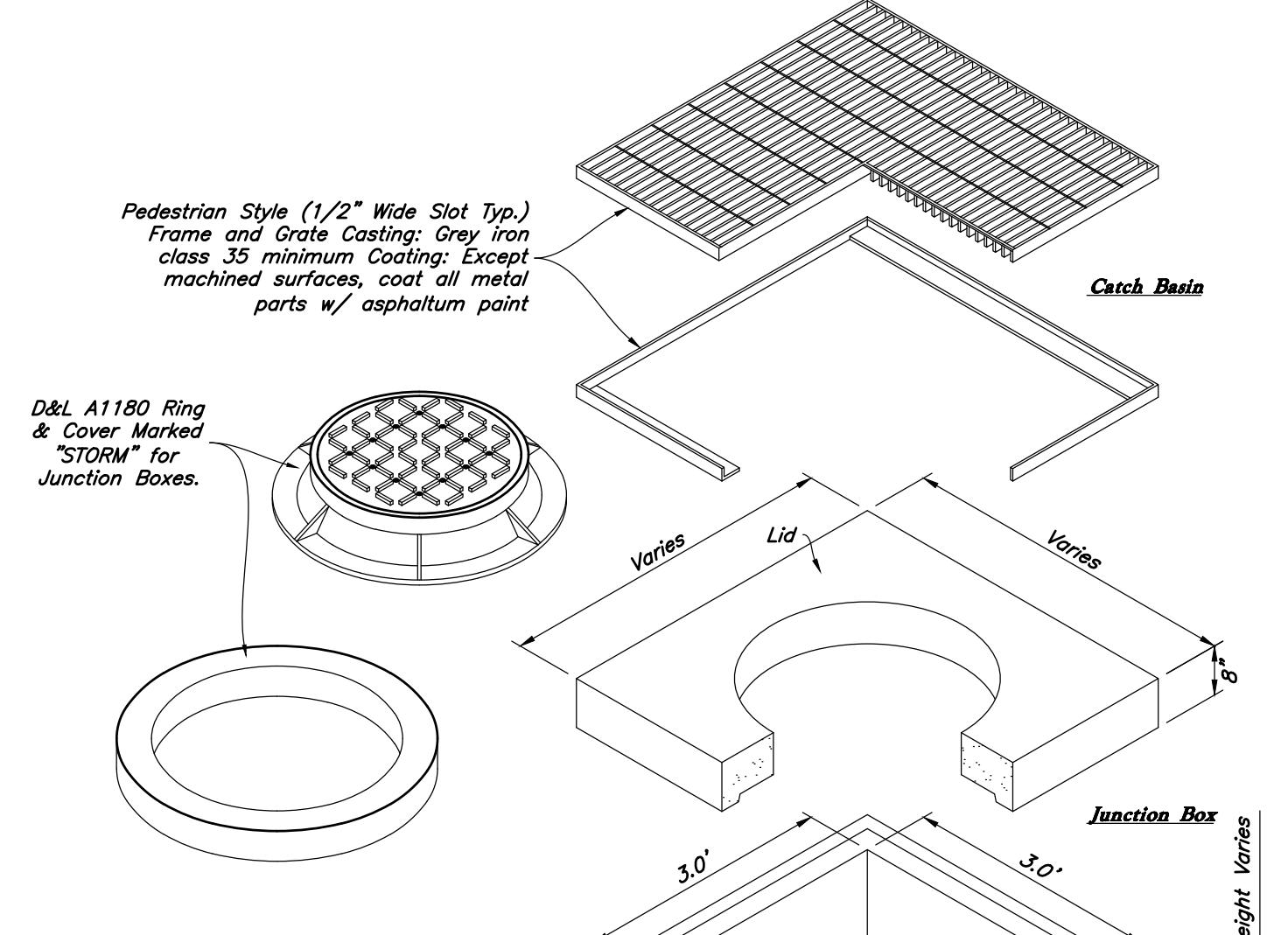
**Concrete Collar Detail**

Not to Scale



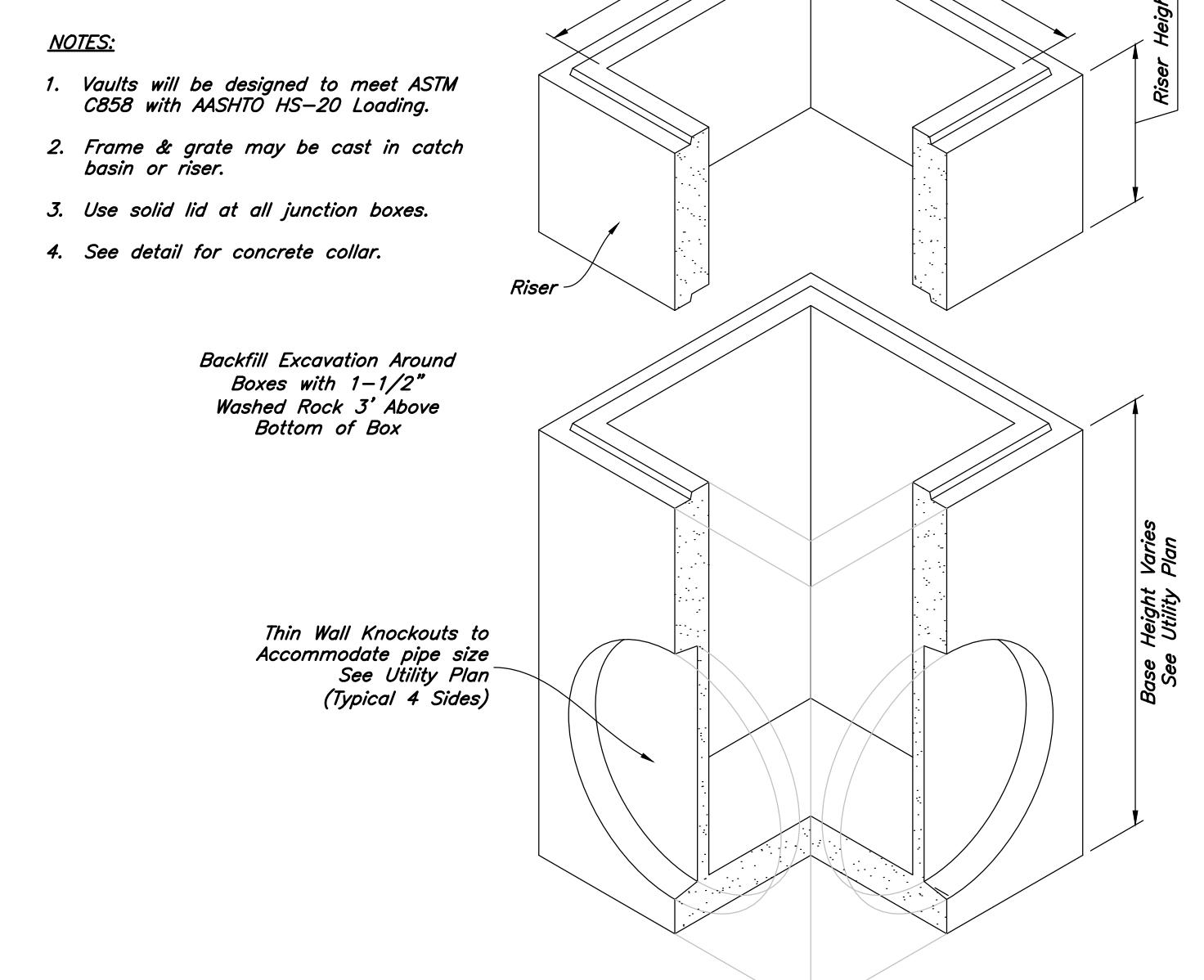
**Precast Catch Basin**

Not to Scale



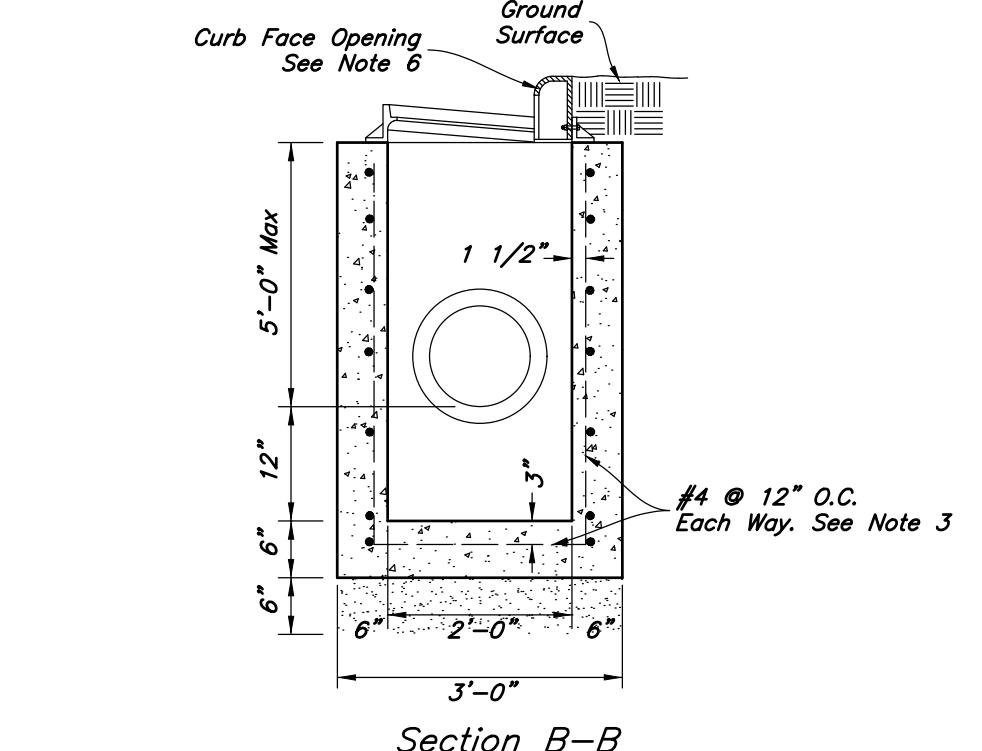
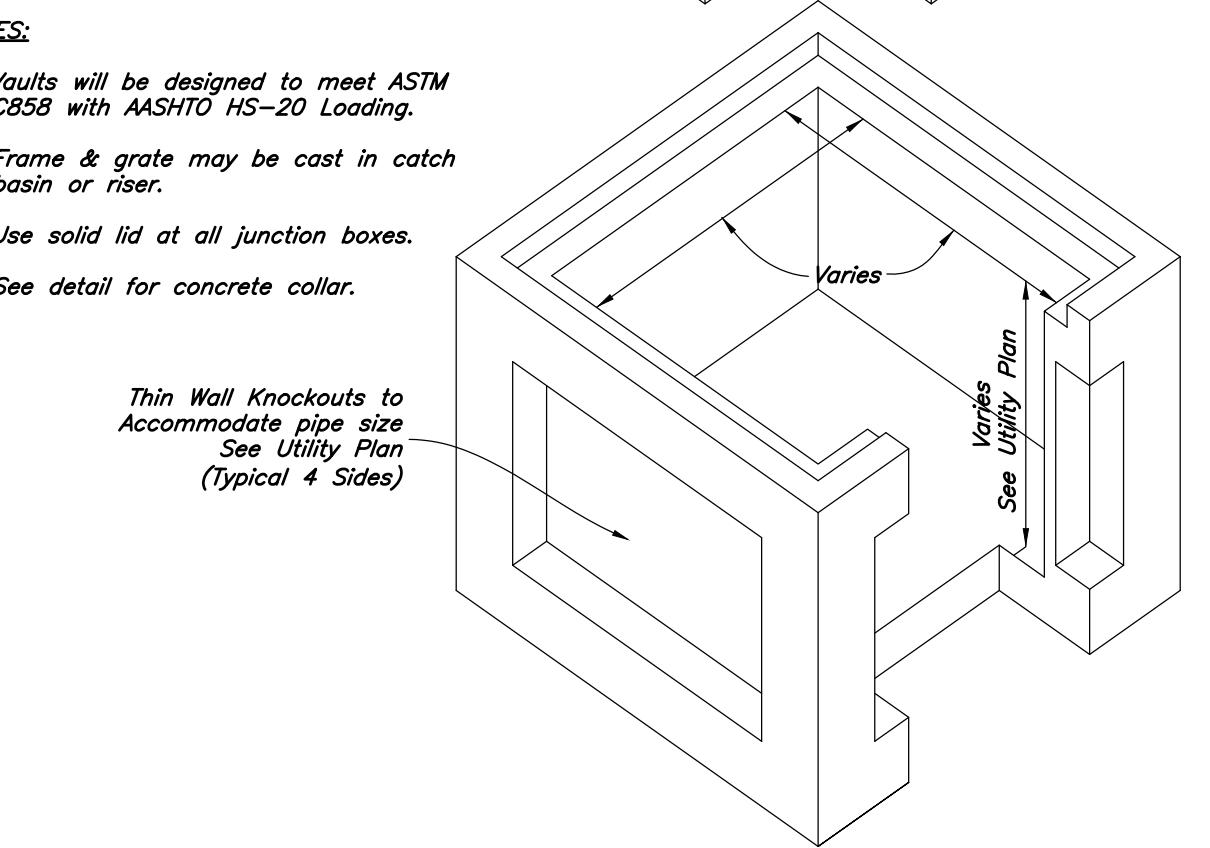
**Precast Catch Basin**

Not to Scale



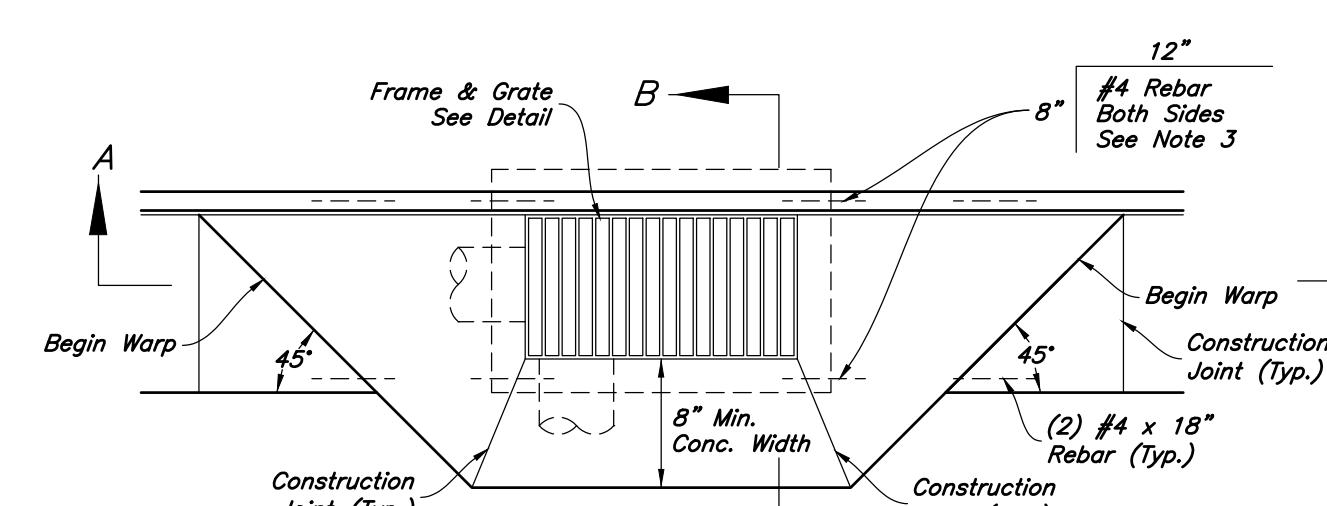
**Precast 3' x 3' Catch Basin Junction Box/inlet**

Not to Scale



**Catch Basin Notes:**

1. Select Fill: Use untreated base course grade 1 or grade 3/4 per APWA Section 02060. Use of sewer rock or recycled aggregate requires Engineers written approval.
2. Backfill: Install and compact all backfill material or APWA Section 02321.
3. Reinforcement: Use ASTM A 615, grade 60 deformed steel rebar. See APWA Section 03200.
4. Concrete: Class 4,000 per APWA Section 03304. Place per APWA Section 03310. Apply a sealing / curing compound per APWA Section 03390 or use an acceptable alternate curing method.
5. Pipe Laterals: The drawing shows alternate connections to the curb outlet. Refer to construction drawings for connection locations.
6. Curb Face Opening: Make opening 4 inches high. Provide at least a 2 inch drop from the gutter flowline to the invert of the curb face opening.
7. Conc. Apron in front of Inlet Grate to be 8" min. & 12" max.



**Curb Inlet with Single Grate**

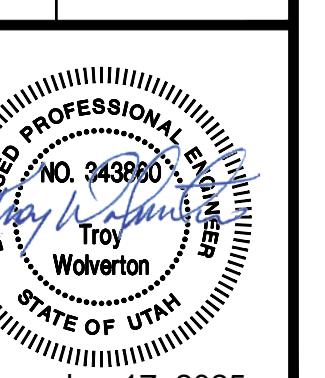
Not to Scale

Designed by: xx  
Drafted by: xx  
Client Name: xx  
Client  
21-263-03-B-DT

**AWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWEngineering.net

**Details**

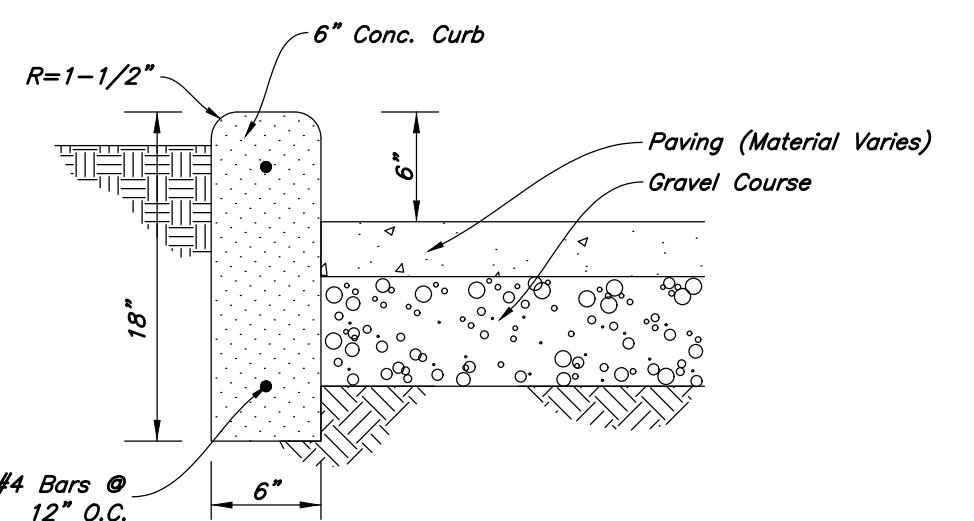
New London North Commercial Development Lot 2 Site Plan  
948 North Main Street (US 40)  
Heber City, Utah



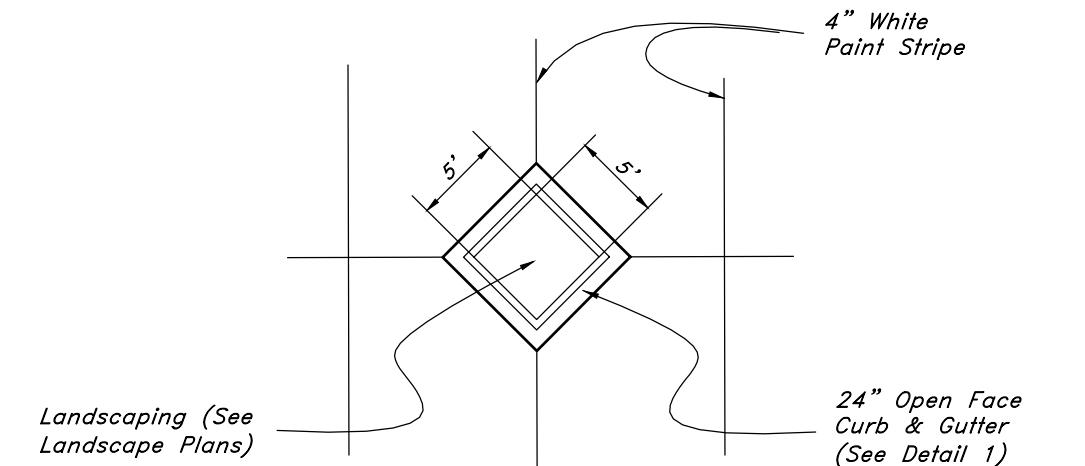
21 Apr, 2025

SHEET NO.

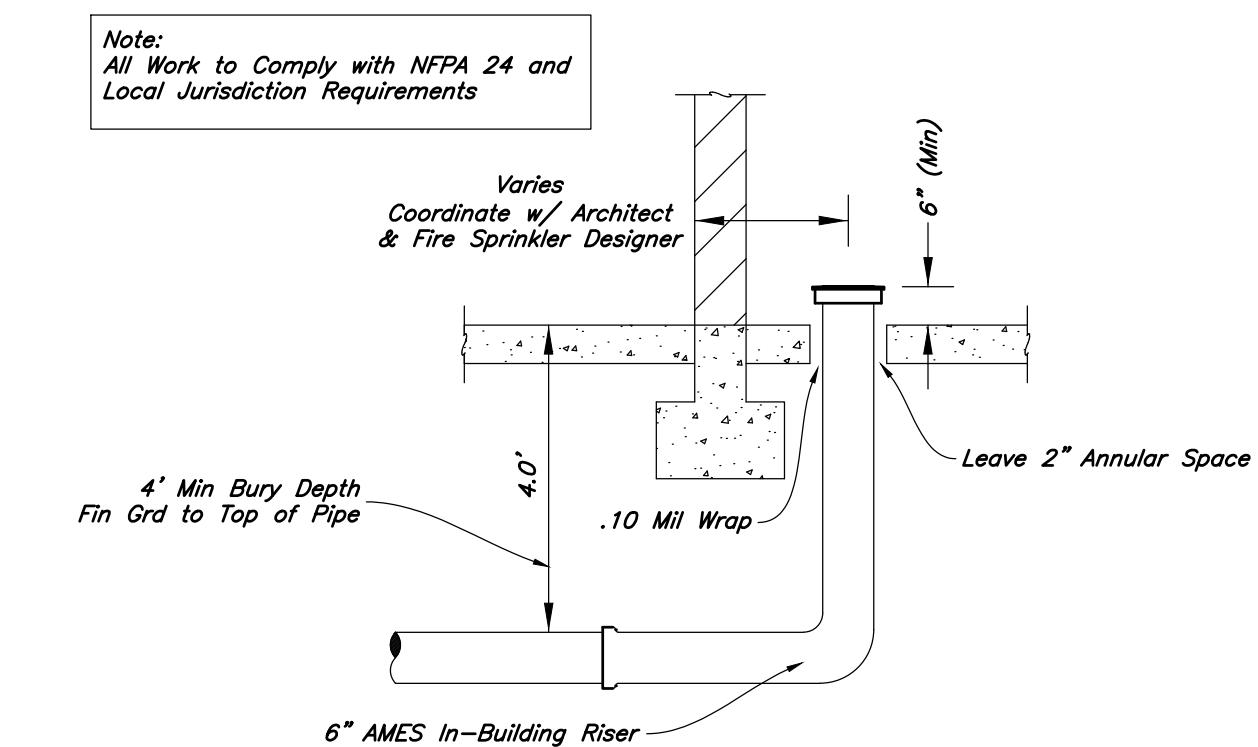
**C4.2**



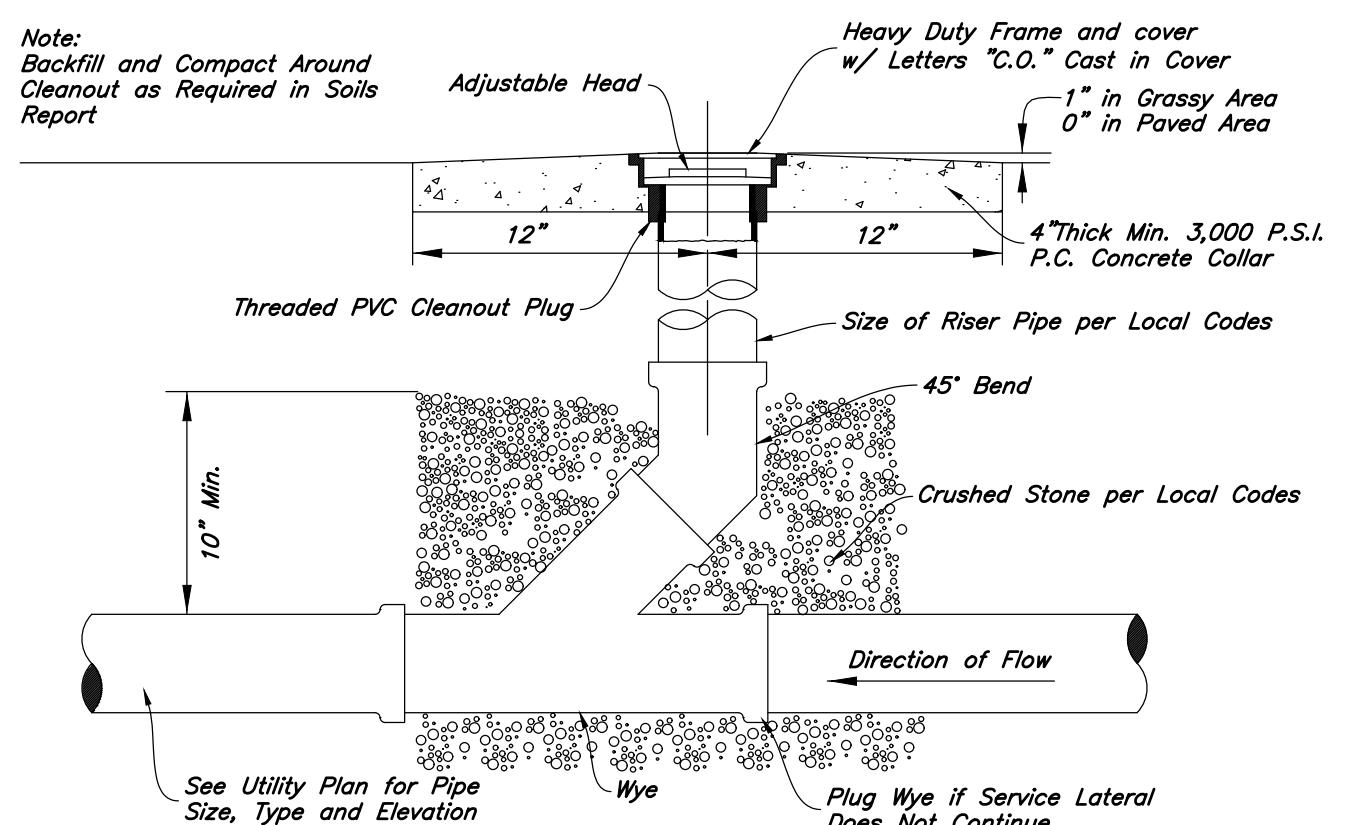
**24 Curb Wall Detail**  
Not to Scale



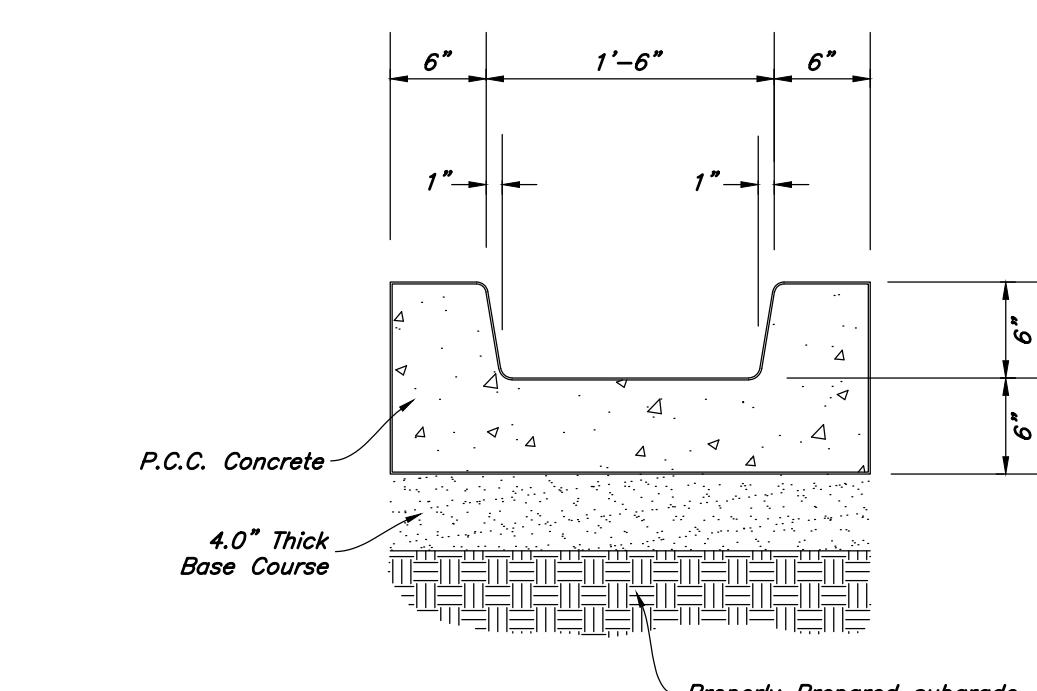
**19 Diamond Planter Detail**  
Not to Scale



**18 Fire Riser Stub-In Detail**  
Not to Scale



**17 Typical Cleanout Detail**  
Not to Scale



**16 Thru Planter Drainage Channel Detail**  
Not to Scale

Designed by: xx  
Drafted by: xx  
Client Name: Client  
21-263-03\_B-DT

**AWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 524-5529 - AWEngineering.net

**Details**  
New London North Commercial Development Lot 2 Site Plan  
948 North Main Street (US 40)  
Heber City, Utah

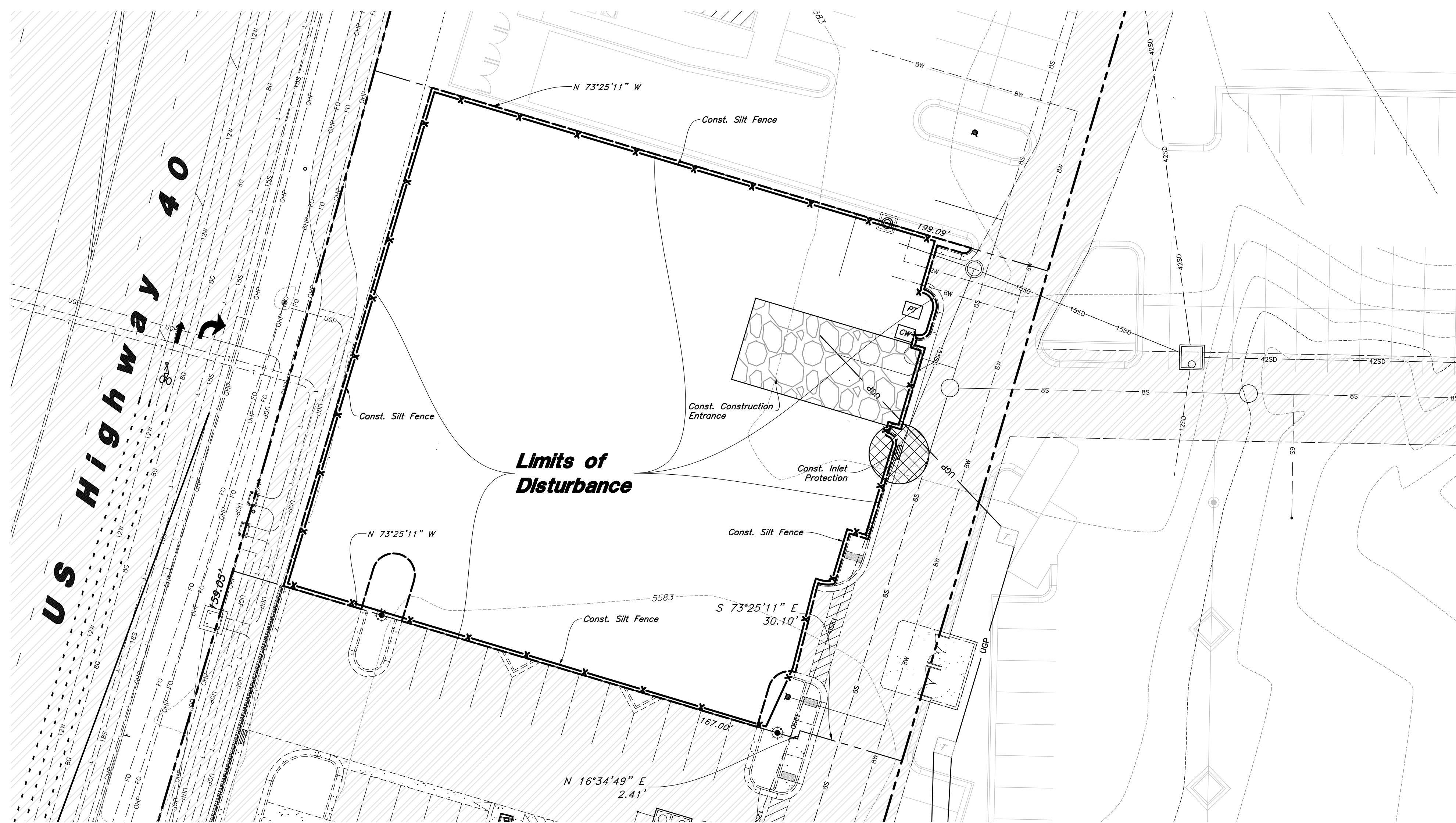
LIBRARY  
PROFESSIONAL  
LIBRARY  
Troy  
STATE OF UTAH  
December 17, 2025

21 Apr, 2025

SHEET NO.

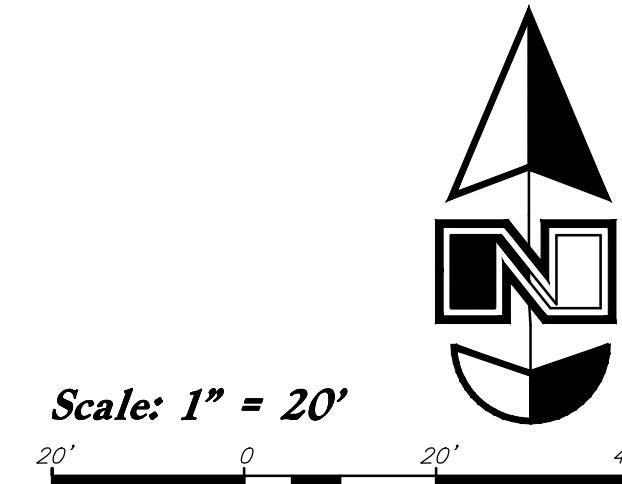
**C4.3**

**23 Not Used**  
Not to Scale



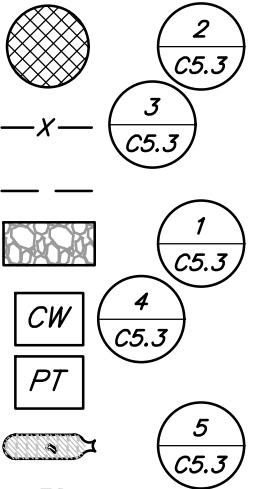
#### Erosion Control Notes

1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
3. All Construction equipment will enter thru Designated Construction Entrances.
4. Coordinate Entrance locations with the local jurisdiction.
5. Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
6. Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
7. The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
8. All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
10. Contractor shall use Vehicle Tracking Control of all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
11. Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Divert storm water runoff around disturbed soils with berms or dirt swales.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

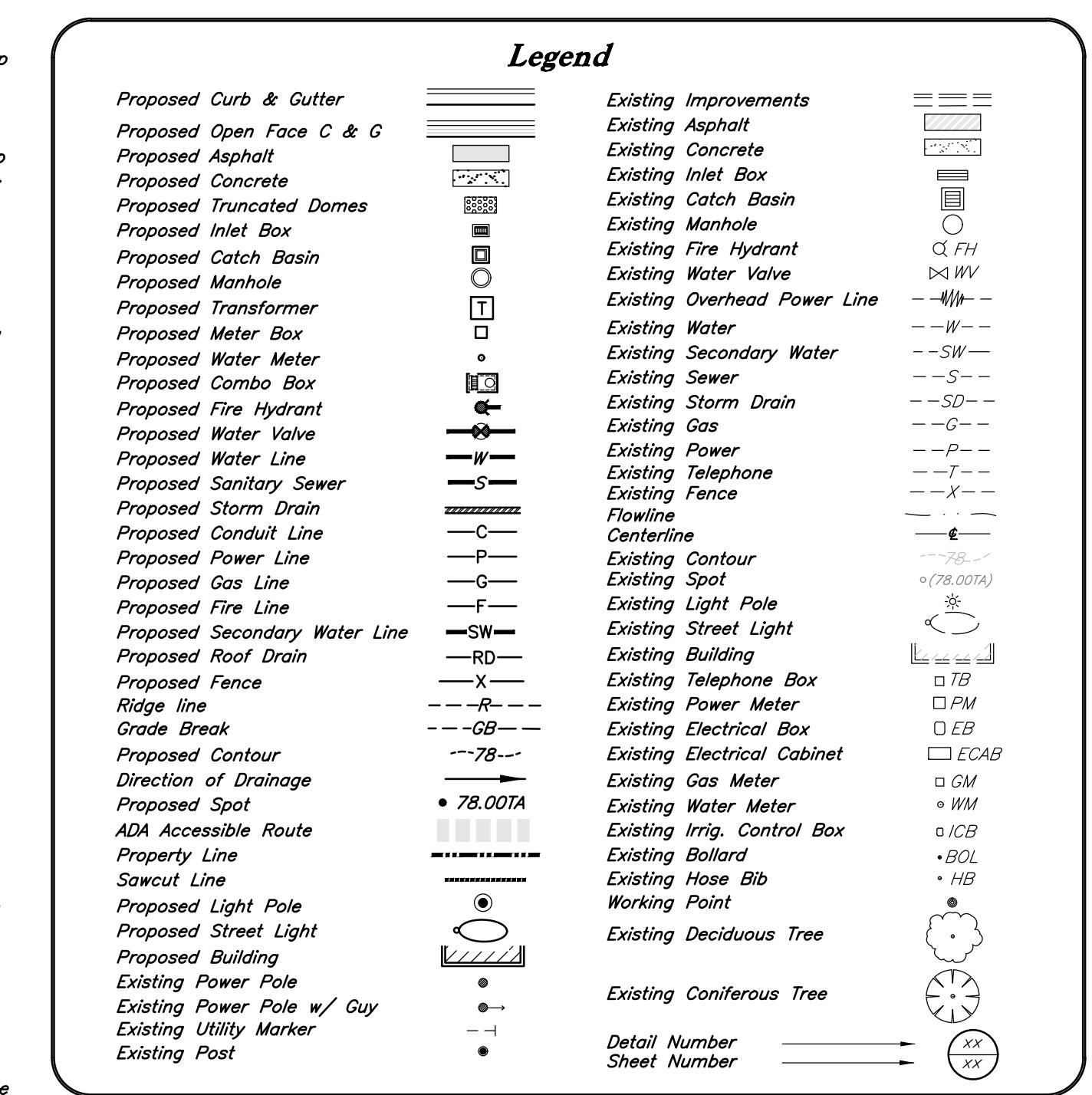


#### Legend

|  |
|--|
| Place Inlet Protection at all Inlet Locations to prevent boxes from silting. |
| Silt Fence   |
| Limit of Disturbance   |
| Construction Entrance / Truck Wash (50'x24' Min.)                            |
| Concrete Washout Area  |
| Portable Toilet  |
| Gravel Sack  |
| Existing Contour   |
| Existing Spot  |
| Proposed Contour   |



| Designed by: xx | Drafted by: xx | Client Name: Client |
|-----------------|----------------|---------------------|
| 21-263-03_B-EC  |                |                     |



**AWWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5629 - [AWAEngineering.net](http://AWAEngineering.net)

#### Erosion Control Plan - Phase 1

948 North Main Street (US 40)  
Heber City, Utah

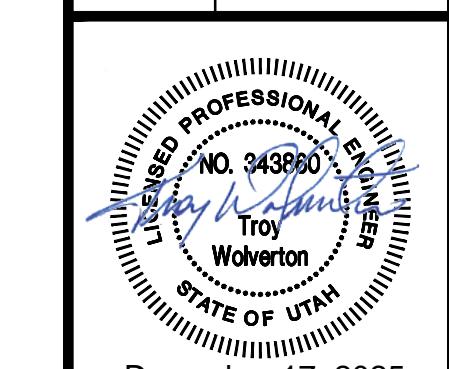
CAUTION :  
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



#### Developer:

NuLo, LLC

5457 W. 11000 N., Suite No.200  
Highland, Utah 84003  
Thomas Lehhardt  
801-467-7000 main / 104 ext.  
[t@wpi.us.com](mailto:t@wpi.us.com)



21 Apr, 2025

SHEET NO.

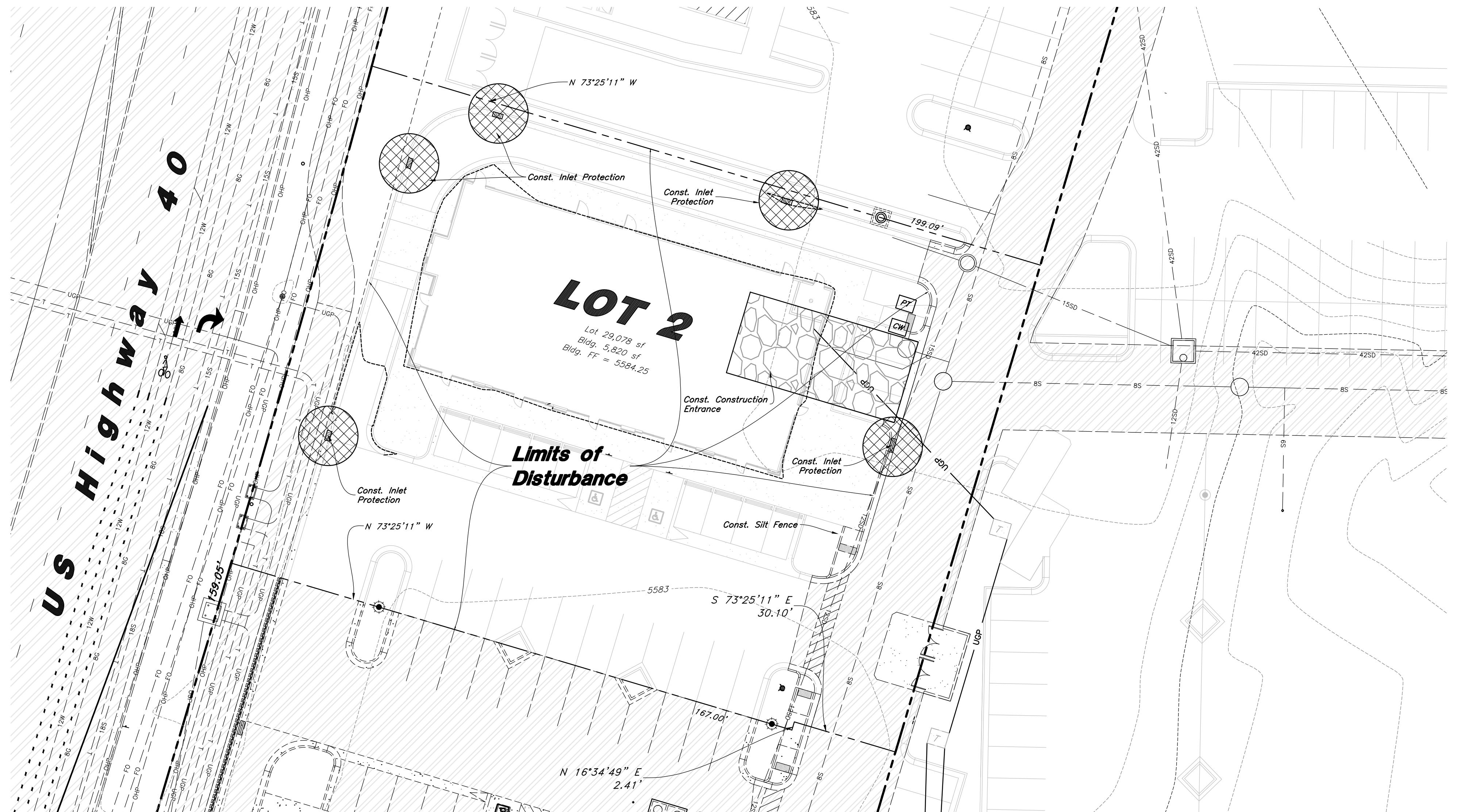
**C5.1**

#### Acceptance

City Engineer, Russell Funk, P.E. Approval Date

#### Abbreviations

|      |   |      |                                      |
|------|---|------|--------------------------------------|
| BCR  | Begin Curb Return                       | PP   | Power Pole                           |
| BOL  | Bollard                                 | PT   | Point of Tangency                    |
| BRW  | Finish Grade - Bottom of Retaining Wall | PVC  | Polyvinyl Chloride                   |
| CATV | Cable Television Box                    | PVI  | Point of Vertical Intersection       |
| CB   | Catch Basin                             | RCP  | Reinforced Concrete Pipe             |
| CMP  | Corrugated Metal Pipe                   | RD   | Roof Drain                           |
| COB  | Cleanout Box                            | SB   | Signal Box                           |
| CGTG | Cleanout to Grade                       | SD   | Storm Drain                          |
| EA   | Edge of Asphalt                         | SDMH | Storm Drain Manhole                  |
| EB   | Electrical Box                          | SMH  | Sewer Manhole                        |
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| ECR  | End Curb Return                         | SS   | Sanitary Sewer                       |
| FF   | Finished Floor                          | SVZ  | Sight Visibility Zone                |
| g    | Ground                                  | SW   | Secondary Water                      |
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| GM   | Gas Meter                               | TB   | Telephone Box                        |
| HB   | Hose Bib                                | TBC  | Top Back of Curb                     |
| HP   | High Point                              | TG   | Top of Grate                         |
| I    | Irrigation Line                         | TMH  | Telephone Manhole                    |
| ICB  | Irrigation Control Box                  | TP   | Top of Concrete                      |
| Lip  | Lip of Gutter                           | TRW  | Finish Grade - Top of Retaining Wall |
| LP   | Light Pole                              | TW   | Top of Walk                          |
| MH   | Manhole                                 | VC   | Vertical Curve                       |
| Mon  | Monument                                | VPC  | Vertical Point of Curve              |
| PC   | Point of Curvature                      | VPT  | Vertical Point of Tangency           |
| PCC  | Point of Compound Curvature             | WL   | Waterline                            |
| PI   | Point of Intersection                   | WP   | Working Point                        |
| PM   | Power Meter                             | WV   | Water Valve                          |



## Erosion Control Notes

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$$\text{e: } 1'' = 20'$$

Scale: 1" = 20'

### Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
  - Silt Fence
  - Limit of Disturbance
  - Construction Entrance / Truck Wash (50'x24' Min)
  - Concrete Washout Area
  - Portable Toilet
  - Gravel Sock
  - Existing Contour
  - Existing Spot
  - Proposed Contour

C5.3

### *Legend*

- |                                      |  |                                     |  |
|--------------------------------------|--|-------------------------------------|--|
| <i>Proposed Curb &amp; Gutter</i>    |  | <i>Existing Improvements</i>        |  |
| <i>Proposed Open Face C &amp; G</i>  |  | <i>Existing Asphalt</i>             |  |
| <i>Proposed Asphalt</i>              |  | <i>Existing Concrete</i>            |  |
| <i>Proposed Concrete</i>             |  | <i>Existing Inlet Box</i>           |  |
| <i>Proposed Truncated Domes</i>      |  | <i>Existing Catch Basin</i>         |  |
| <i>Proposed Inlet Box</i>            |  | <i>Existing Manhole</i>             |  |
| <i>Proposed Catch Basin</i>          |  | <i>Existing Fire Hydrant</i>        |  |
| <i>Proposed Manhole</i>              |  | <i>Existing Water Valve</i>         |  |
| <i>Proposed Transformer</i>          |  | <i>Existing Overhead Power Line</i> |  |
| <i>Proposed Meter Box</i>            |  | <i>Existing Water</i>               |  |
| <i>Proposed Water Meter</i>          |  | <i>Existing Secondary Water</i>     |  |
| <i>Proposed Combo Box</i>            |  | <i>Existing Sewer</i>               |  |
| <i>Proposed Fire Hydrant</i>         |  | <i>Existing Storm Drain</i>         |  |
| <i>Proposed Water Valve</i>          |  | <i>Existing Gas</i>                 |  |
| <i>Proposed Water Line</i>           |  | <i>Existing Power</i>               |  |
| <i>Proposed Sanitary Sewer</i>       |  | <i>Existing Telephone</i>           |  |
| <i>Proposed Storm Drain</i>          |  | <i>Existing Fence</i>               |  |
| <i>Proposed Conduit Line</i>         |  | <i>Flowline</i>                     |  |
| <i>Proposed Power Line</i>           |  | <i>Centerline</i>                   |  |
| <i>Proposed Gas Line</i>             |  | <i>Existing Contour</i>             |  |
| <i>Proposed Fire Line</i>            |  | <i>Existing Spot</i>                |  |
| <i>Proposed Secondary Water Line</i> |  | <i>Existing Light Pole</i>          |  |
| <i>Proposed Roof Drain</i>           |  | <i>Existing Street Light</i>        |  |
| <i>Proposed Fence</i>                |  | <i>Existing Building</i>            |  |
| <i>Ridge line</i>                    |  | <i>Existing Telephone Box</i>       |  |
| <i>Grade Break</i>                   |  | <i>Existing Power Meter</i>         |  |
| <i>Proposed Contour</i>              |  | <i>Existing Electrical Box</i>      |  |
| <i>Direction of Drainage</i>         |  | <i>Existing Electrical Cabinet</i>  |  |
| <i>Proposed Spot</i>                 |  | <i>Existing Gas Meter</i>           |  |
| <i>ADA Accessible Route</i>          |  | <i>Existing Water Meter</i>         |  |
| <i>Property Line</i>                 |  | <i>Existing Irrig. Control Box</i>  |  |
| <i>Sawcut Line</i>                   |  | <i>Existing Bollard</i>             |  |
| <i>Proposed Light Pole</i>           |  | <i>Existing Hose Bib</i>            |  |
| <i>Proposed Street Light</i>         |  | <i>Working Point</i>                |  |
| <i>Proposed Building</i>             |  | <i>Existing Deciduous Tree</i>      |  |
| <i>Existing Power Pole</i>           |  | <i>Existing Coniferous Tree</i>     |  |
| <i>Existing Power Pole w/ Guy</i>    |  | <i>Detail Number</i>                |  |
| <i>Existing Utility Marker</i>       |  | <i>Sheet Number</i>                 |  |
| <i>Existing Post</i>                 |  |                                     |  |

### SECTION :

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s as shown on these plans is based on  
s of the various utility companies and,  
possible, measurements taken in the  
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ing exact or complete.

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*A Notice to Proceed Must be Obtained from the City Engineer Prior to Doing Any Work on the Project.*

## Acceptance

---

*City Engineer Russell Funk P.E.* *Approval Date*

***NuLo, LLC***

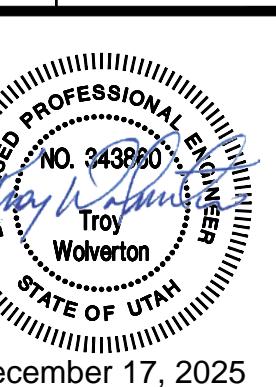
A circular professional engineer license seal. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "STATE OF UTAH" at the bottom, both in a stylized font. The inner circle features "NO. 343860" at the top, "Troy" in the center, and "Wolverton" below it. A large, handwritten signature "Troy Wolverton" is written across the center of the seal. The date "December 17, 2025" is printed at the bottom of the seal.

**SHEET NO.**

REVISIONS  
DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_

**AWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 525-5529 - [AWAengineering.net](http://AWAengineering.net)

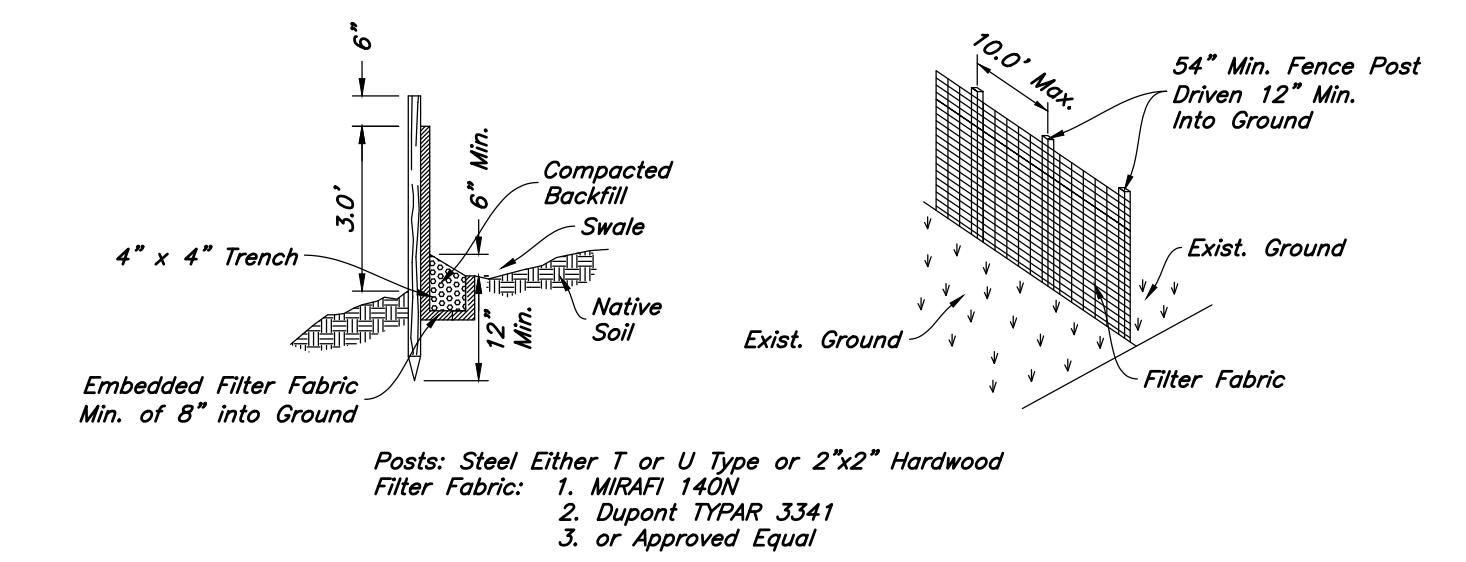
**Erosion Control Details**  
New London North Commercial Development Lot 2 Site Plan  
948 North Main Street (US 40)  
Heber City, Utah



21 Apr, 2025

SHEET NO. \_\_\_\_\_

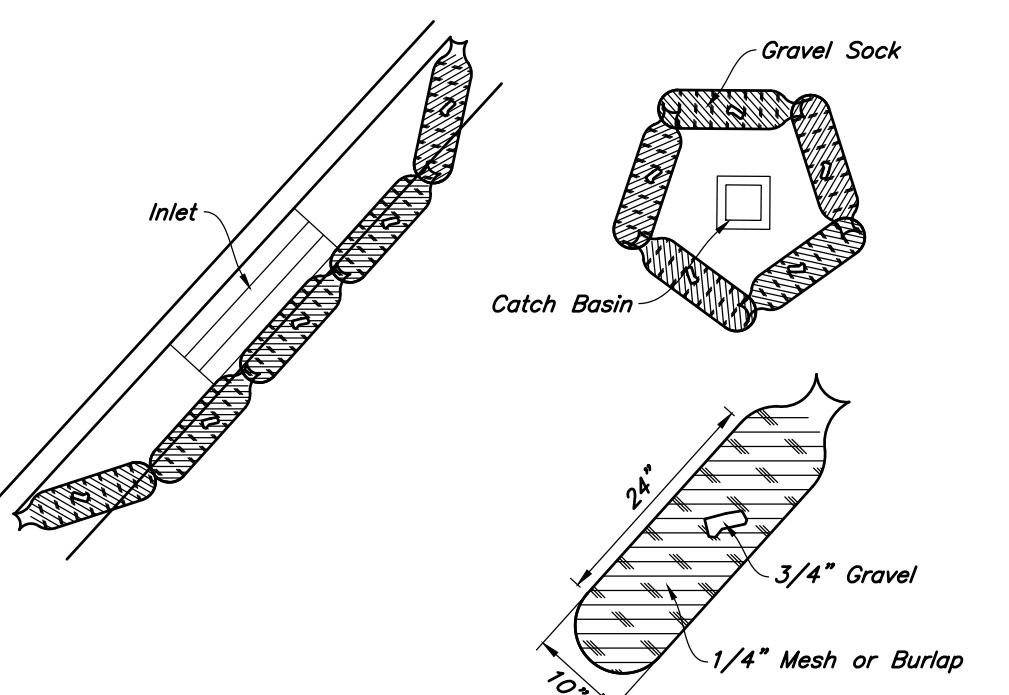
**C5.3**



- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
  2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
  3. Collected material shall be removed when "bulges" develop in the silt fence.

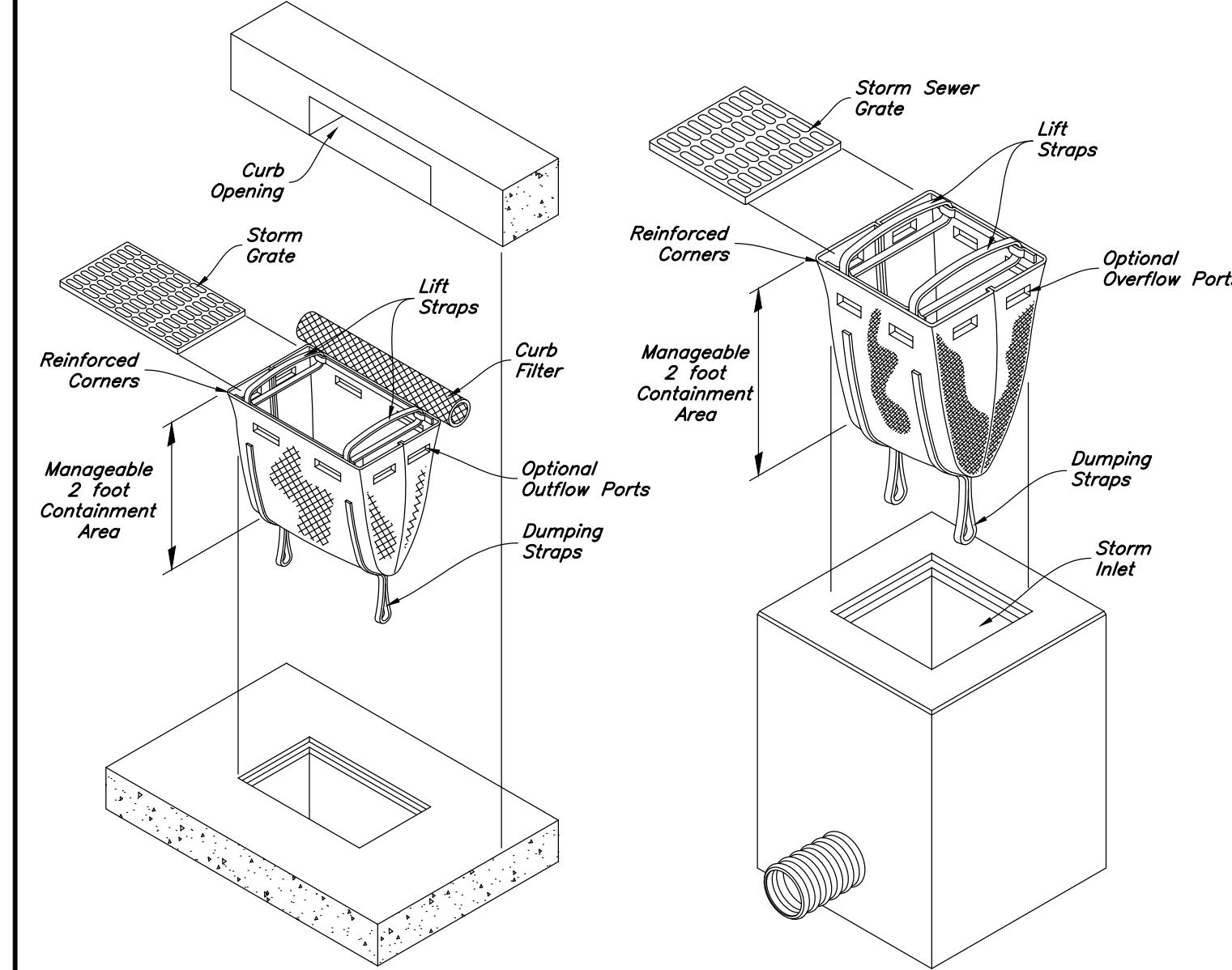
**Silt Fence Section**

Not to Scale



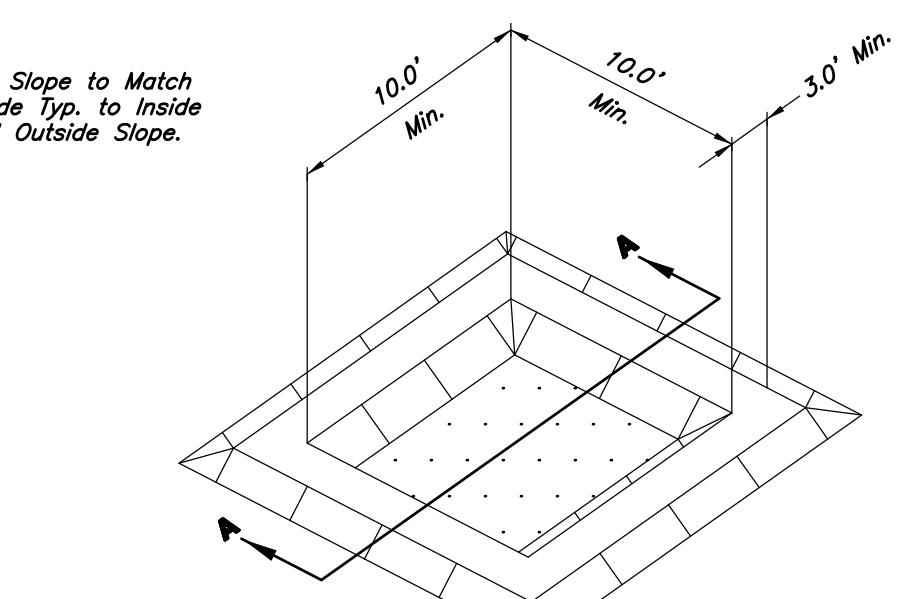
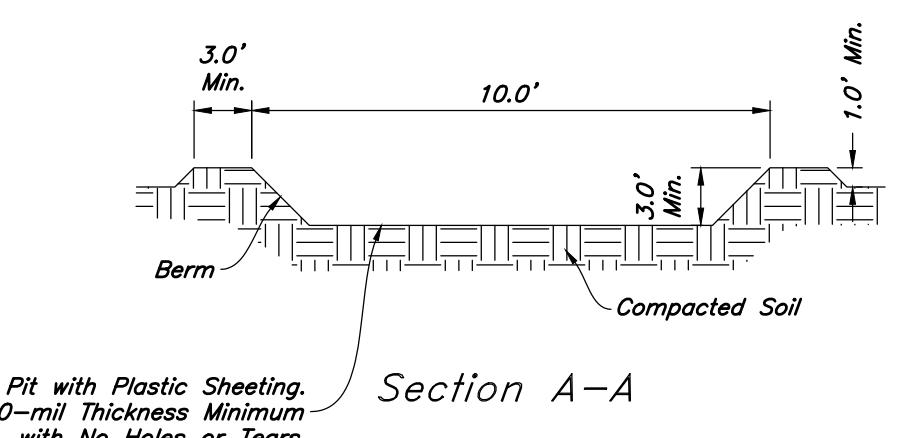
**5 Gravel Sock Sediment Barrier**

Not to Scale



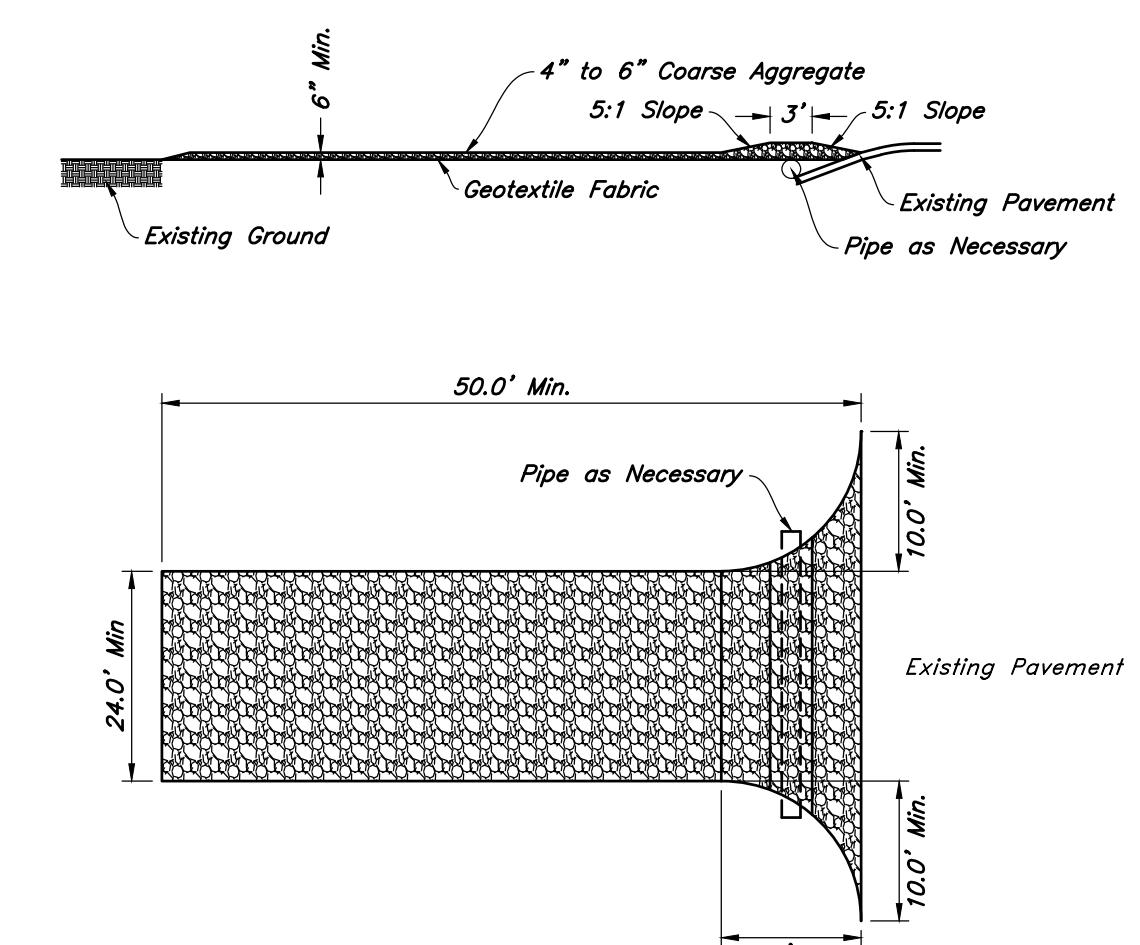
**2 Dandy Sack Inlet Protection**

Not to Scale



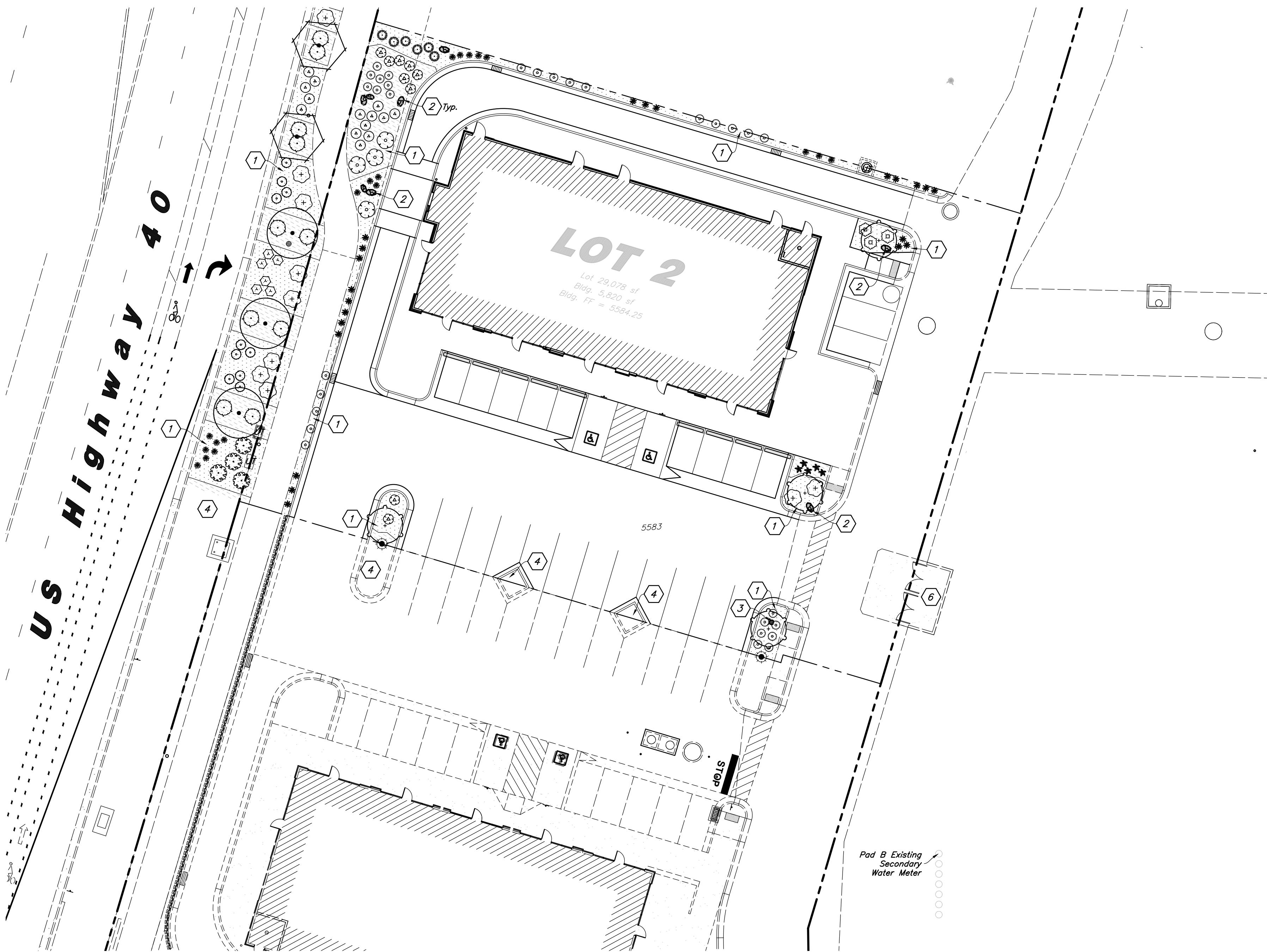
**4 Concrete Washout**

Not to Scale



**1 Stabilized Construction Entrance**

Not to Scale



#### General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plan against the availability of all plant materials and their specific sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all landscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants

#### PLANT SCHEDULE

| SYMBOL                    | QTY | BOTANICAL / COMMON NAME  | SIZE       |
|---------------------------|-----|--|------------|
| <b>SITE TREES</b>         |     |  |            |
| +                         | 4   | Quercus robur 'Skyrocket' / Skyrocket English Oak                | 2" Caliper |
| <b>STREET TREES</b>       |     |  |            |
| •                         | 3   | Acer grandidentatum / Bigtooth Maple                             | 2" Caliper |
| ○                         | 2   | Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam      | 2" Caliper |
| <b>SHRUBS</b>             |     |  |            |
| △                         | 8   | Caragana frutex 'Globosa' / Globe Russian Peashrub               | 5 gal      |
| ○                         | 4   | Cornus sericea / Red Twig Dogwood                                | 5 gal      |
| ○                         | 4   | Hydrangea paniculata 'Limelight' / Limelight Panicle Hydrangea   | 5 gal      |
| ○                         | 3   | Juniperus communis 'Alpine Carpet' / Juniper                     | 5 gal      |
| ○                         | 10  | Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper           | 5 gal      |
| ○                         | 6   | Pinus mugo 'Pumilio' / Dwarf Mugo Pine                           | 5 gal      |
| ○                         | 6   | Potentilla fruticosa 'Pink Beauty' / Pink Beauty Bush Cinquefoil | 5 gal      |
| ○                         | 14  | Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla        | 5 gal      |
| ○                         | 10  | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac                | 5 gal      |
| ○                         | 10  | Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea                 | 5 gal      |
| <b>ORNAMENTAL GRASSES</b> |     |  |            |
| ○                         | 30  | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass  | 1 gal      |
| <b>PERENNIALS</b>         |     |  |            |
| ✿                         | 5   | Hemerocallis x 'Red Hot Returns' / Red Hot Returns Daylily       | 1 gal      |
| ✿                         | 22  | Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily           | 1 gal      |
| ✿                         | 19  | Nepeta x faassenii 'Dropmore' / Catmint                          | 1 gal      |

Scale: 1" = 20'  
20' 0' 20' 40'

**Landscape Data**  
Pad B Site Area = 39,184 s.f. (0.90 ac.)  
Pad B Landscape Area = 3,780 s.f. (10%)  
Highway 40 Street Trees Required = 5 Trees  
Highway 40 Street Trees Provided = 5 Trees \*  
Plant Material Shall Provide 40% Coverage at Maturity  
\* Street Tree Spacing Shall be Every 30' with  
Medium Size Trees; Trees Have Been Selected From  
the Heber City Tree List

| Designed by: xx | Drafted by: xx | Client Name: xx | Client: xx |
|-----------------|----------------|-----------------|------------|
| 21-263.03_B-LS  |                |                 |            |

**AWWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5629 - AWAEengineering.net

**Landscape Plan**  
948 North Main Street (US 40)  
Heber City, Utah

#### MATERIAL SCHEDULE

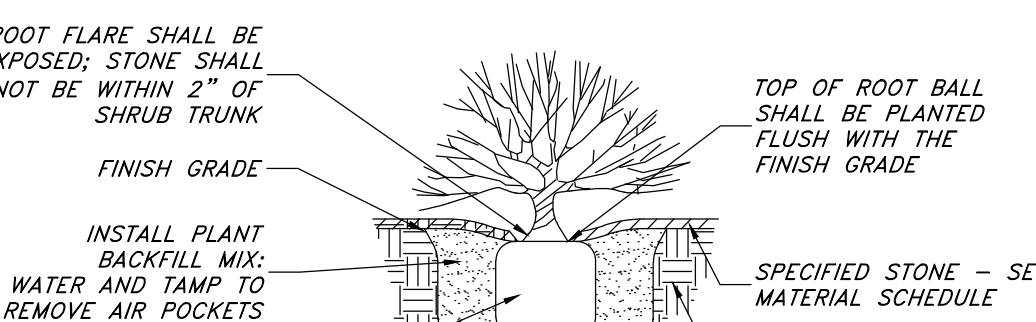
| Symbol | Comments   | Details |
|--------|--|---------|
|        | Decorative Stone #1 - Install over Dewitt Pro5 Weed Barrier at a Depth of 3 (3) Inch Depth to Cover Weed Barrier; Stone Shall be Used in all Specified Shrub Areas Where Shown on Plan and Washed Prior to Installation; Stone Shall be 1 1/2" Diameter Crushed, Tan Colored Stone From Brown's Canyon Quarry; Match Smith's Stone Across the Street to the South; Submit Sample for Approval                      | 2/L1.1  |
|        | Decorative Stone #2 - Install over Dewitt Pro5 Weed Barrier at a Depth to Cover Weed Barrier; Stone Shall be Used in all Specified Shrub Planters and Washed Prior to Installation; Stone Shall be 1-5" Diameter, Crushed, Grayish-White Colored Stone From Geneva Rock Quarry Located in Morgan; Match Smith's Stone to the South; Match Smith's Stone Across the Street to the South; Submit Sample for Approval | 2/L1.1  |
|        | Landscape Boulder - Boulders Shall be 3-4' in Diameter, Angular, and Match Decorative Stone Color From Brown's Canyon Quarry (Tan Color); Boulders Shall be Recessed into Ground and Washed Prior to Installation; Match Smith's Boulders to the South; Submit Photo for Approval  | 4/L1.1  |

UT - Existing/New Utility Manhole or Box; Adjust Plant Material as Needed to Allow Access to Utilities

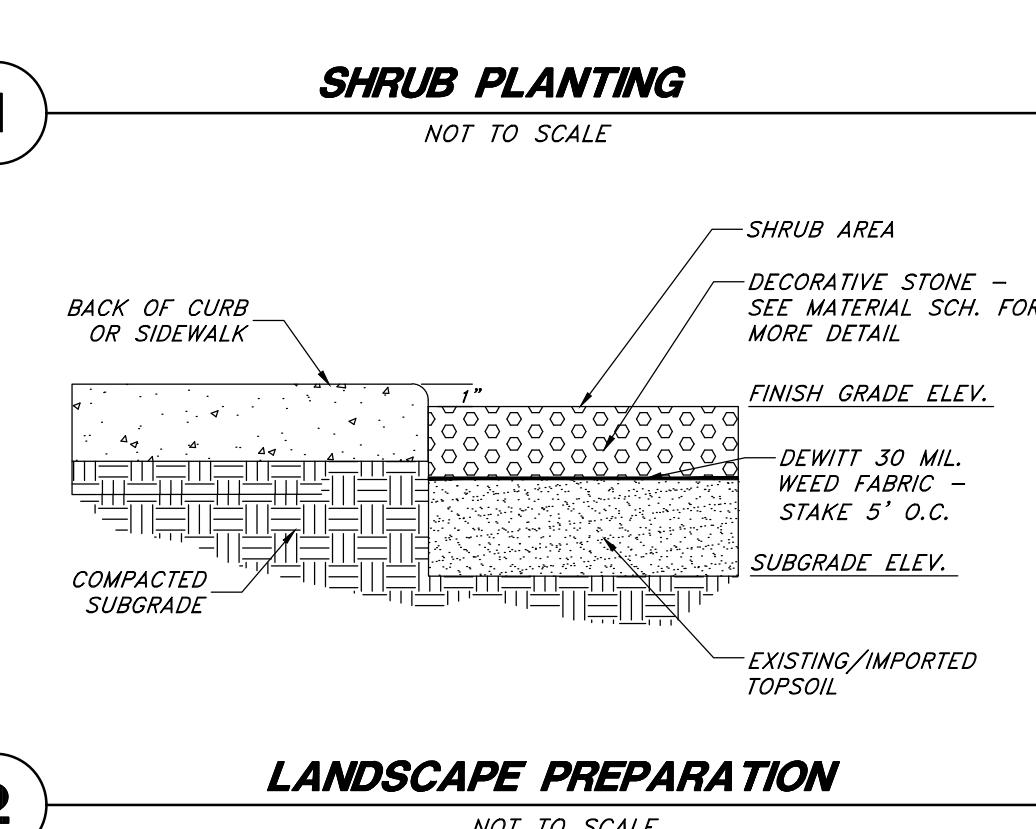
- Landscape Notes:**
- All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip Shall be Used for Shrub Areas. See Sheet L2.1 for Irrigation Layout and Irrigation Notes. See Sheet L2.2 for Irrigation Details.
  - Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
  - All Areas Disturbed by Construction Shall be Landscaped and not Left Undone. Contact Landscape Architect with Areas in Question.
  - No Edging Shall be Used Between Different Types and Sizes of Stone. Provide a Clean Define Line Between Stone as Shown on Plan.

#### Landscape Installation Keynotes

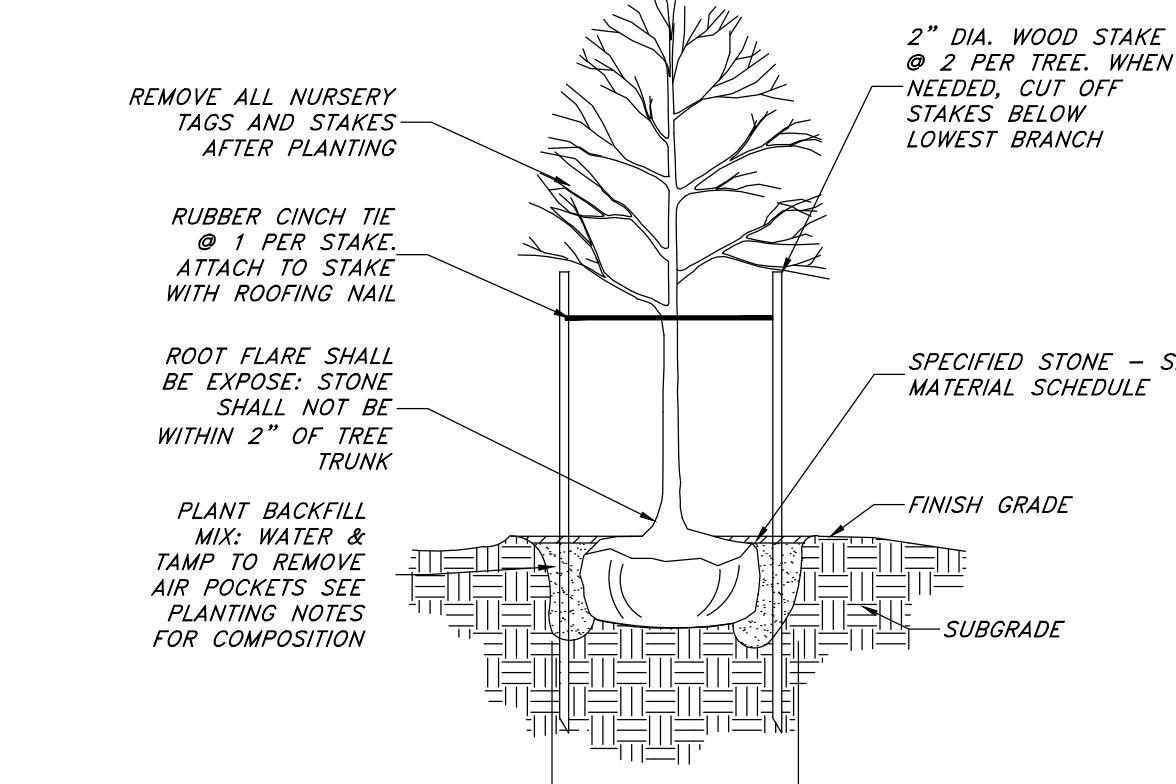
- Install Shrub Planter with Decorative Stone and Weed Barrier; See Material Schedule for Stone Type
- Install Landscape Boulder
- Existing Fire Hydrant - Keep Area Clear of Plant Material
- Landscape Shall be Installed with Adjacent Lot; Provide Nice Clean Edge Between New and Undeveloped Landscape Area
- New Light Pole - See Site Elect. Plans; Evenly Space Plant Material Around Light Poles
- Existing Trash Enclosure



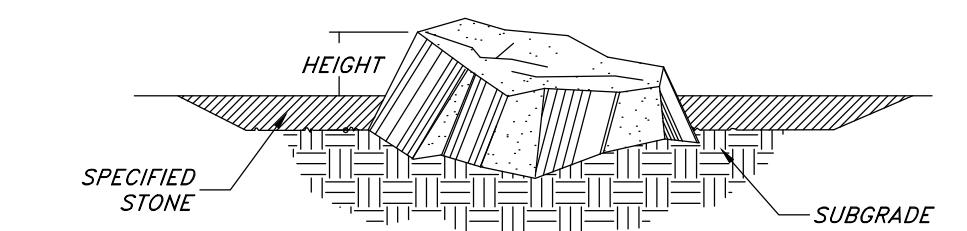
#### SHRUB PLANTING



#### LANDSCAPE PREPARATION



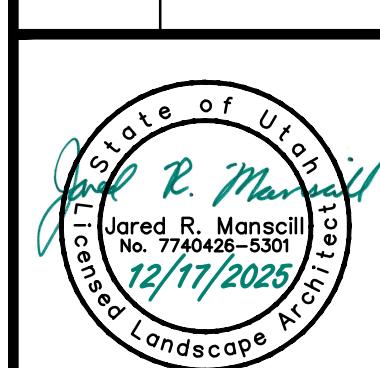
#### DECIDUOUS TREE PLANTING



#### LANDSCAPE BOULDER



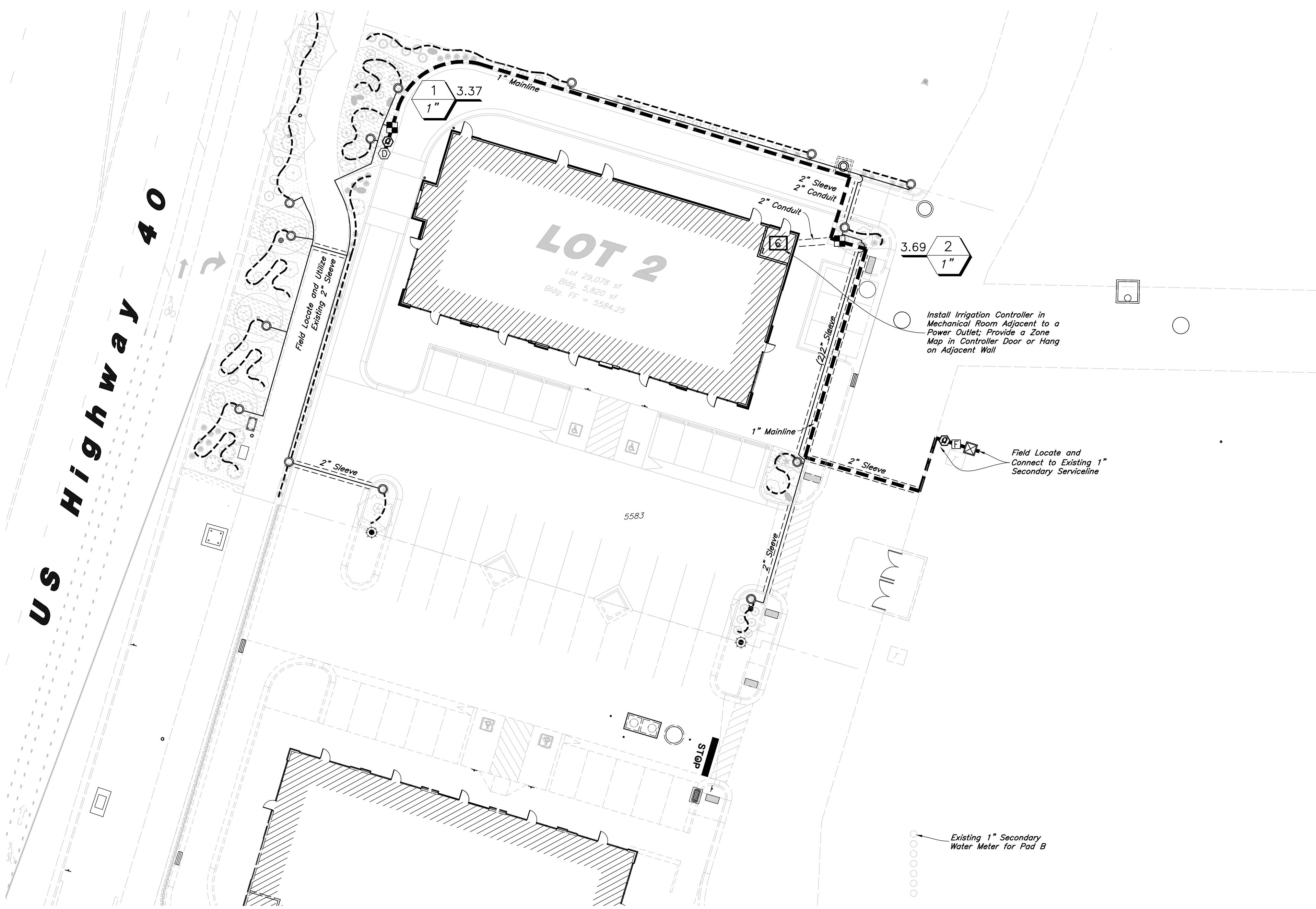
Know what's below.  
Call before you dig.



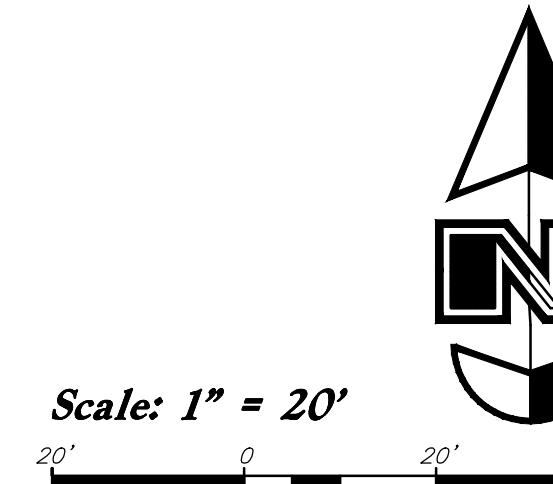
21 Apr, 2025

SHEET NO.

L1.1



Main Service Line & Other Irrigation Components Are Shown In Paved Or Landscape Surfaced For Clarity Purposes ONLY. Install All Irrigation Components within Landscaped Areas.



#### Irrigation Notes:

- See Sheet L1.1 for Landscape Layout and Planting Details.
- See Sheet L2.1 for Irrigation Layout, Schedule, and Notes. See Sheet L2.2 for Irrigation Details.
- The Irrigation Shall Utilize an Existing 1" Secondary Water Irrigation Connection.
- The Irrigation System Requires a Minimum of 39 psi to Function. Verify Static Pressure.

#### Irrigation Schedule

| Symbol | Manufacturer/Model #      | Description  | Notes   | Detail  |
|--------|---------------------------|--|---|---------|
|        | Rain Bird XCZ-100-PRB-COM | Drip Remote Control Valve  | 1 Inch Size; Drip Control Zone Kit; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors | 10/L2.2 |
|        | Rain Bird 44NP            | Non-potable (Purple Cap) Quick Coupler Valve with a Swing Joint Assembly   | 1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier   | 3/L2.2  |
|        | Matco-Norca 759           | Manual Drain Valve   | 1/2" Inch Size; Install at End of Mainline and After Filler in a 10" Round Valve Box with 6" Depth Sump of Gravel over Weed Barrier                   | 6/L2.2  |
|        | PVC Pipe To Drip Tubing   | Provide Connection Fittings  | Install 1" Feeder Line To All Drip Areas  | 8/L2.2  |
|        | Netafim TLCV9-12XX        | Techline CV DripLine with 0.9 gph Emitters @ 12" Spacing; DripLine Shall be Used to Water all Perennials, Shrubs, Ornamental Grasses and Trees; See Drip Irrigation Detail for DripLine Configuration and Layout; Blank Tubing Shall be Used in Areas Where There is No Plant Material; Install per Manufacturer's Specifications; Drip Shall be Installed After Plant Installation; Separating Drip Line Spacing No Less Than Every 24 inches at Critical Holding Points; Tubing with Emitters Shall be Installed Under Weed Barrier so That the Water Drips on the Soil and not on Top of Weed Barrier | 2/L2.2<br>5/L2.2  |         |

#### P.O.C. Components

|  |                      |                                |  |         |
|--|----------------------|--------------------------------|--|---------|
|  | Nibco T-FP-600A      | Shutoff Valve Brass Ball Valve | 1 Inch Size; Installed in a Standard Valve Box with 3" Depth Gravel over Weed Barrier; Valve Shall be Turned Sideways for Easy Maneuvering   | 1/L2.2  |
|  | Amiad Tagline Filter | Secondary Water Filter         | 1 Inch Size; Plastic Filter with 300 Micron Stainless Steel Wave-Wire Screen Filter Element; Filter Shall be Installed Underground in Jumbo Size Box with Clean Gravel over Weed Barrier | 11/L2.2 |

#### Pipes

|  |                 |                   |   |        |
|--|-----------------|-------------------|---|--------|
|  | Schedule 40 PVC | Mainline Pipe     | 1 Inch Size; Controller Wire Shall be Tucked Under Mortar; Sch 80 Fittings Shall be Used for Mainline Connections   | 4/L2.2 |
|  | Schedule 40 PVC | Lateral Line Pipe | See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch; Minimum Pipe Size Shall be 1 inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections | 4/L2.2 |

#### Controller

|  |                   |                                  |  |        |
|--|-------------------|----------------------------------|--|--------|
|  | Rain Bird ESP4MEI | 4 Station Base Indoor Controller | See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Provide Zone Map with Controller | 9/L2.2 |
|--|-------------------|----------------------------------|--|--------|

#### Sleeving

|  |                 |   |   |        |
|--|-----------------|---|---|--------|
|  | Schedule 40 PVC | Provide for Irr. Mainlines, Lateral and Controller Wire Located Under Concrete and Asphalt Paving | Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted. | 7/L2.2 |
|  |                 | Valve Callout   | Valve Number<br>#<br>Valve Flow<br>#<br>Valve Size<br>#   |        |

#### General Irrigation Notes:

- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the work. It shall be the responsibility of the contractor to protect all utilities during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to manufacturer's requirements and specifications. The contractor is responsible for checking notes and drawings for required materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check,冬季ize, repair, and adjust system.
- Irrigation installer agrees to repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the completed system has no documented problems.
- Irrigation laterals must be schedule 40 PVC, with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufacturers specifications for measured static p.s.i. Teflon tape on all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufacturers specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
- Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (1) one spare wire that run the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
- Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic, vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks.
- Quick couplers shall be a Rain Bird 44NP with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean sand, pipe, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 PVC, with a depth for concrete sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
- Plans are diagrammatic and approximate due to scale; where possible, all piping is to be installed within the planting areas. No tees, elbs, or changes in direction shall occur under hardscape.
- It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each shrub area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- The irrigation system design is based on the operating pressure specified on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owners authorized representative immediately.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards.

#### VALVE SCHEDULE

| VALVE # | VALVE SIZE | IRRIGATION TYPE        | FLOW (GPM) | PSI @ VALVE | PSI @ POC | PRECIP. RATE |
|---------|------------|------------------------|------------|-------------|-----------|--------------|
| 1       | 1"         | Area for Drip Emitters | 3.37       | 37.1        | 38.2      | 0.3 in/h     |
| 2       | 1"         | Area for Drip Emitters | 3.69       | 37.1        | 37.5      | 0.32 in/h    |



21 Apr, 2025

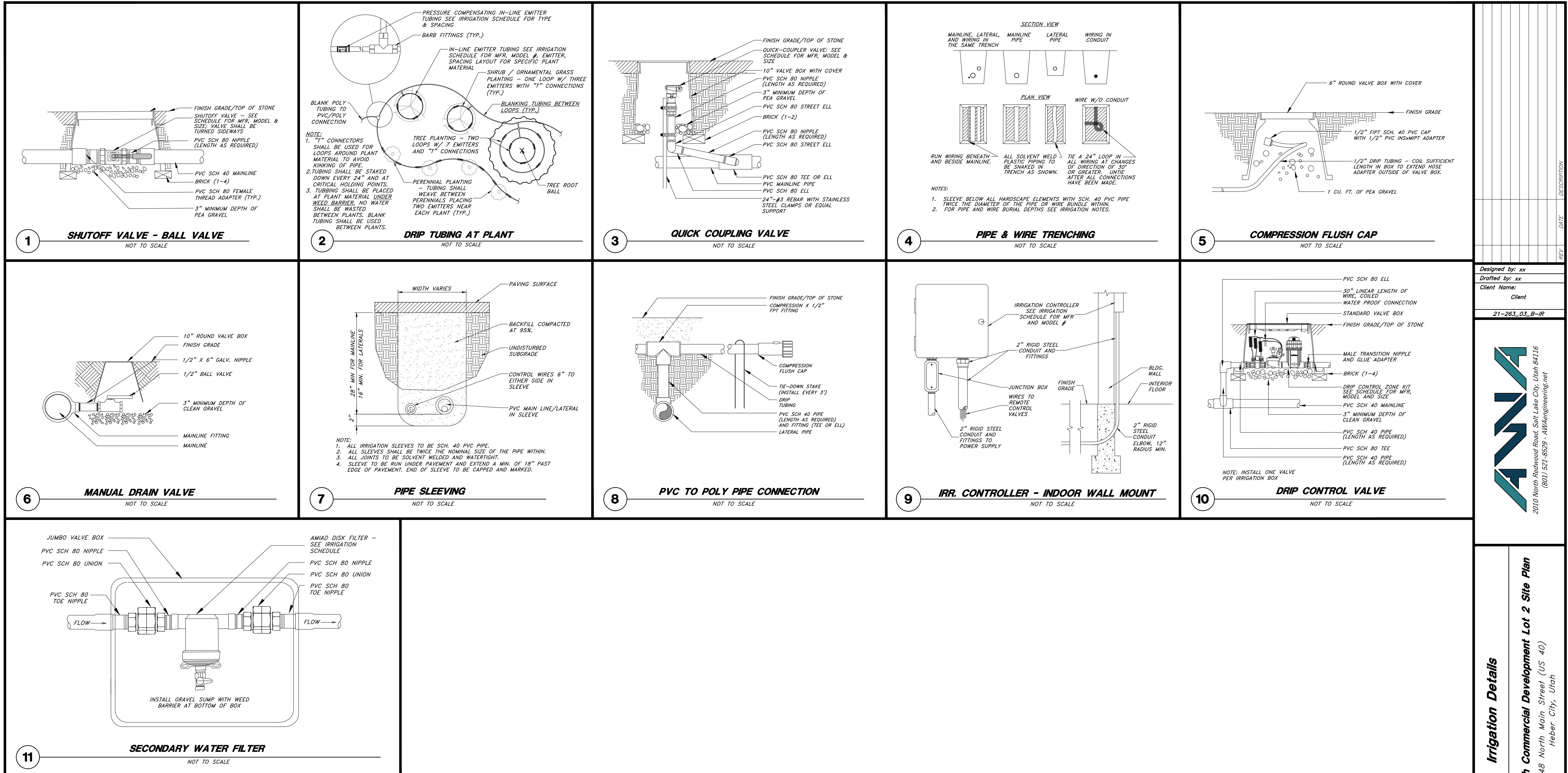
SHEET NO.

L2.1

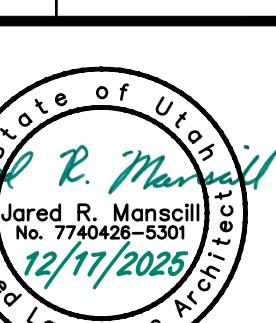
811  
Know what's below.  
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AWA  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5629 - AWEngineering.net

Irrigation Plan  
948 North Main Street (US 40)  
Heber City, Utah  
New London North Commercial Development Lot 2 Site Plan



**Irrigation Details**  
New London North Commercial Development Lot 2 Site Plan  
948 North Main Street (US 40)  
Heber City, Utah



21 Apr, 2025

SHEET NO.

**L2.2**

**811**  
Know what's below.  
Call before you dig.

Designed by: xx  
Drafted by: xx  
Client Name: xx  
Client  
21-263-03\_B-IR

2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5529 - AWengineering.net

REV: DATE:

## SHEET KEYNOTES



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208.424.7675

[babcockdesign.com](http://babcockdesign.com)

**Consultant**

**WPI ENTERPRISES**

**WPI HEBER RETAIL  
BLDG A**

project address



**Revisions**

| Num. | Description | Date     |
|------|-------------|----------|
| 1    | ASI 01      | 04/19/24 |
| 2    | ASI 02      | 12/05/25 |

Project Number 22050  
Original Issue 03-06-2025  
Project Status PERMIT SET

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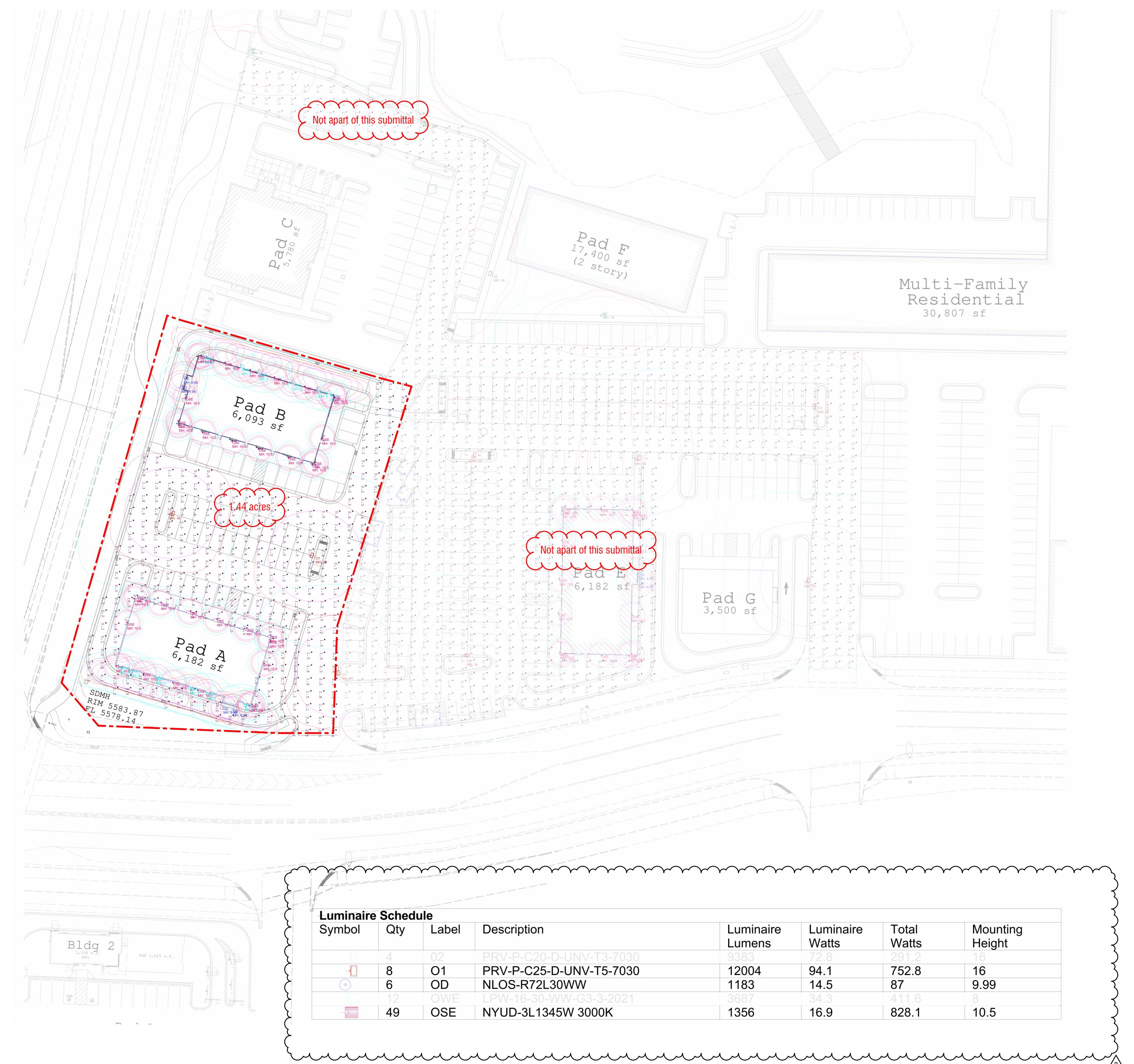
**Stamp**

**Sheet Title**

**PHOTOMETRICS -  
AREA A&B**

**Sheet Number**

**E103A**



**SITE PHOTOMETRIC - BLDG A&B**

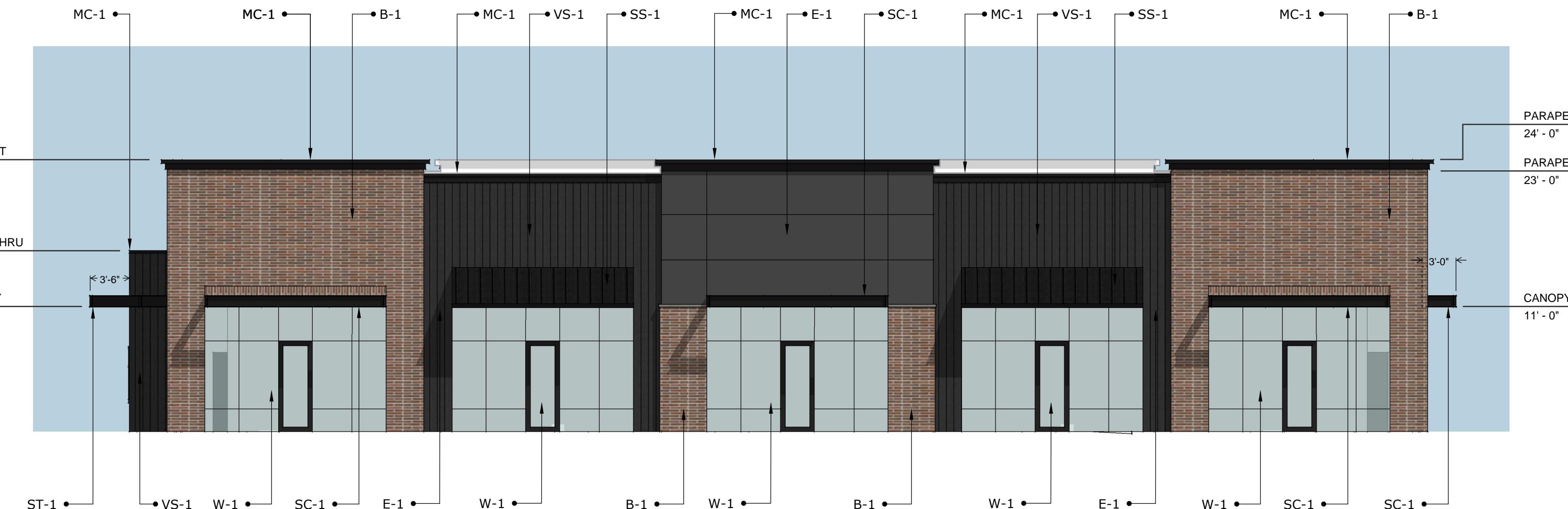
SCALE = 1" = 40'-0"

OSE 33 fixtures at 1356 lumens = 44,748 lumens  
OD 4 fixtures at 1183 lumens = 4,732 lumens  
01 2 fixtures at 12004 lumens = 24,008 lumens  
Grand total 72,488 lumens for 1.44 acres



**RIGHT ELEVATION (EAST)**  
SCALE: 1/8" = 1'-0"

E-1: 250 SF (22%)  
B-1: 428 SF (37%)  
VS-1: 429 SF  
MC-1: 27 SF  
SC-1: 18 SF  
WALL TOTAL: 1,152 SF  
GLAZING 176 SF



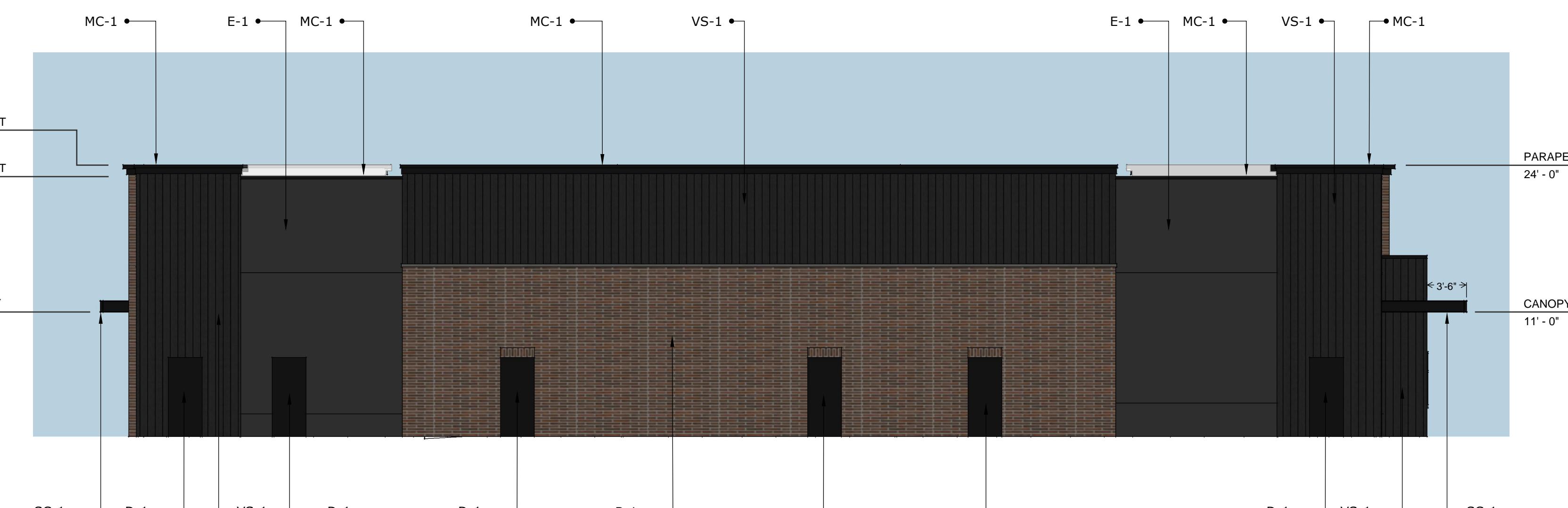
**FRONT ELEVATION (SOUTH)**  
SCALE: 1/8" = 1'-0"

E-1: 270 SF (15%)  
B-1: 724 SF (41%)  
VS-1: 508 SF  
MC-1: 42 SF  
SC-1: 60 SF  
SS-1: 114 SF  
WALL TOTAL: 1,718 SF  
GLAZING 880 SF



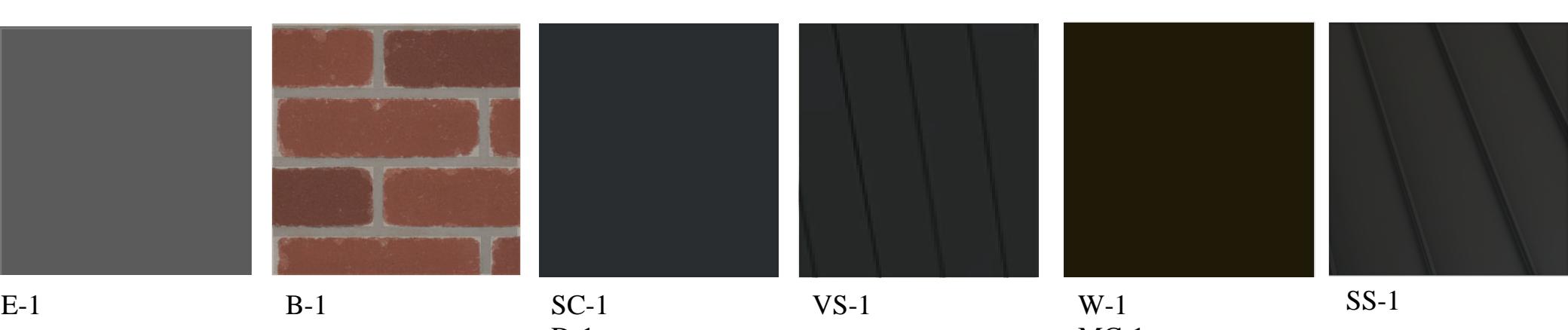
**LEFT ELEVATION (WEST)**  
SCALE: 1/8" = 1'-0"

E-1: 170 SF (15%)  
B-1: 426 SF (39%)  
VS-1: 435 SF  
MC-1: 35 SF  
SC-1: 29 SF  
WALL TOTAL: 1,095 SF  
GLAZING 225 SF



**BACK ELEVATION (NORTH)**  
SCALE: 1/8" = 1'-0"

E-1: 628 SF (24%)  
B-1: 923 SF (36%)  
VS-1: 968 SF  
MC-1: 50 SF  
SC-1: 10 SF  
WALL TOTAL: 2,579 SF  
D-1 126 SF



#### FINISH SCHEDULE

E-1: EIFS - DRYVIT, 152 ANTHRACITE COAL  
B-1: THIN BRICK VENEER - SUMMIT BRICK, LODO, (MORTAR: DAVIS COLORS 860 DARK GRAY)  
VS-1: PAINTED FIBER CEMENT SIDING - JAMES HARDIE, ARTISAN SIDING, SHIPLAP, SW 6993 BLACK OF NIGHT  
MC-1: PREFINISHED METAL CAP FLASHING - CMG METALS, EXTRA DARK BRONZE  
SC-1: PAINTED STEEL CANOPY - SW 6993 BLACK OF NIGHT  
SS-1: STANDING SEAM METAL ROOF - MBCI, TRUE BLACK  
D-1: PAINTED HOLLOW METAL DOOR & FRAME - SW 6993 BLACK OF NIGHT  
W-1: ALUMINUM STOREFRONT SYSTEM - EXTRA DARK BRONZE

\*\*OR SIMILAR EXTERIOR FINISH PRODUCT\*\*



## WPI HEBER RETAIL - BUILDING B

500 North Highway 40 | Heber City, Utah

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11 FEBRUARY 2025

TF-01



**NORTHWEST ELEVATION**



**SOUTHWEST ELEVATION**



**NORTHEAST ELEVATION**



**SOUTHEAST ELEVATION**

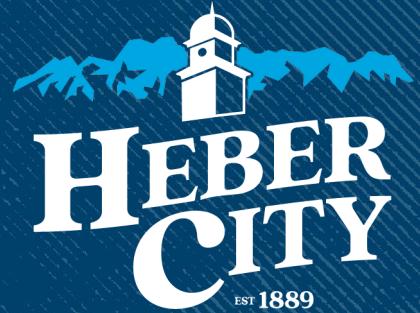


## WPI HEBER RETAIL - BUILDING B

500 North Highway 40 | Heber City, Utah

BabcockDesign

Salt Lake City 52 Exchange Place SLC, UT 84111 801.531.1144 | Boise 800 W. Main Street Suite 940 Boise, ID 83702 208.424.7675 | babcockdesign.com



PLANNING

PLANNING COMMISSION

# New London North Commercial Development Lot 2, Pad B

Site Plan and Conditional Use Permit

# Project Details

**Location:** 948 North US-40

**Description:** New London Commercial Development Pad B is a Commercial Site Plan and Conditional Use Permit application for an approximate 6,000 square-foot commercial, multi-tenant retail building.

The application is before the Planning Commission because a **Commercial Complex** (*defined as two or more commercial uses on a single lot or adjacent lots that share parking, circulation, landscaping, or are approved together under a conditional use or subdivision application*) requires Planning Commission review. Pad B is a multi-tenant building.

**General Plan Designation:** SB Scenic Buffer

**Zoning:** Mixed-Use Residential Commercial

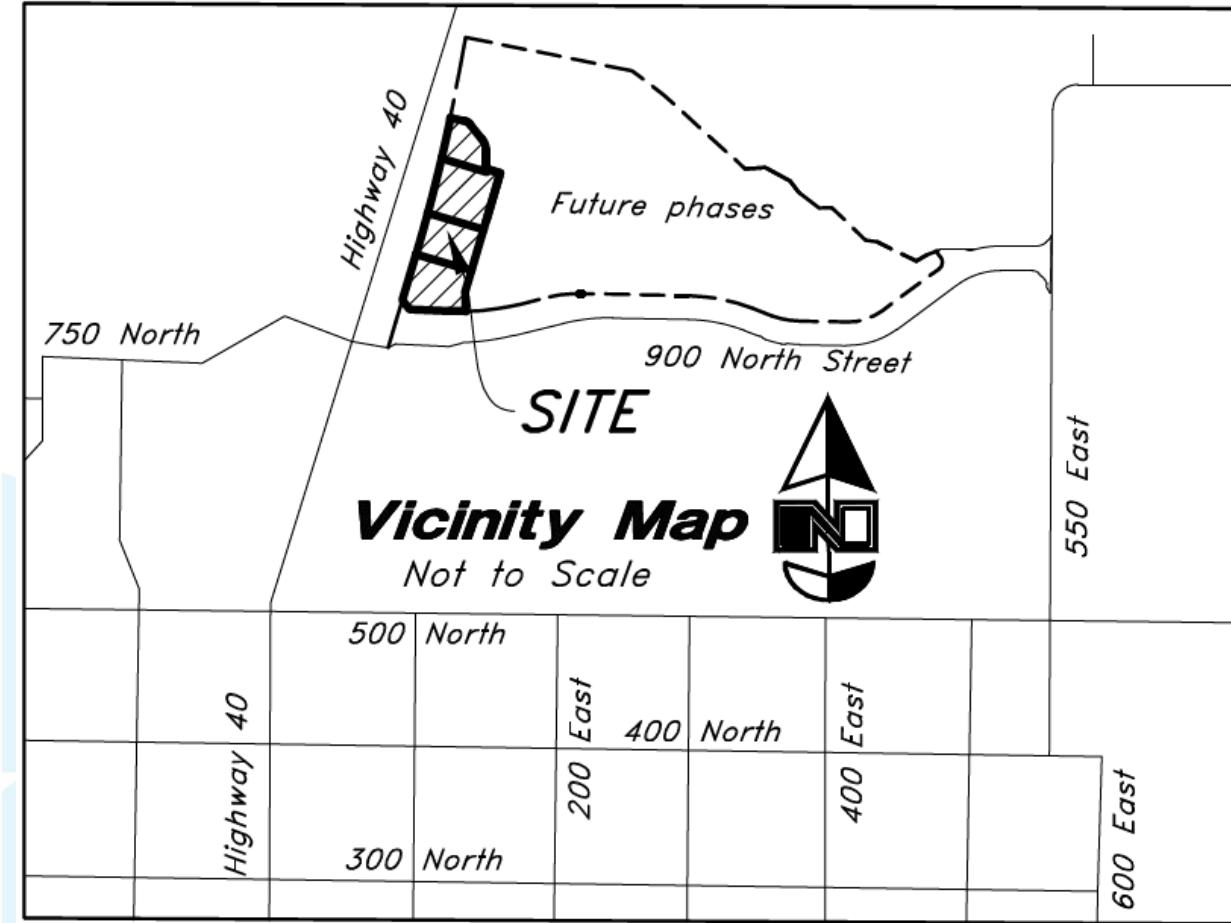
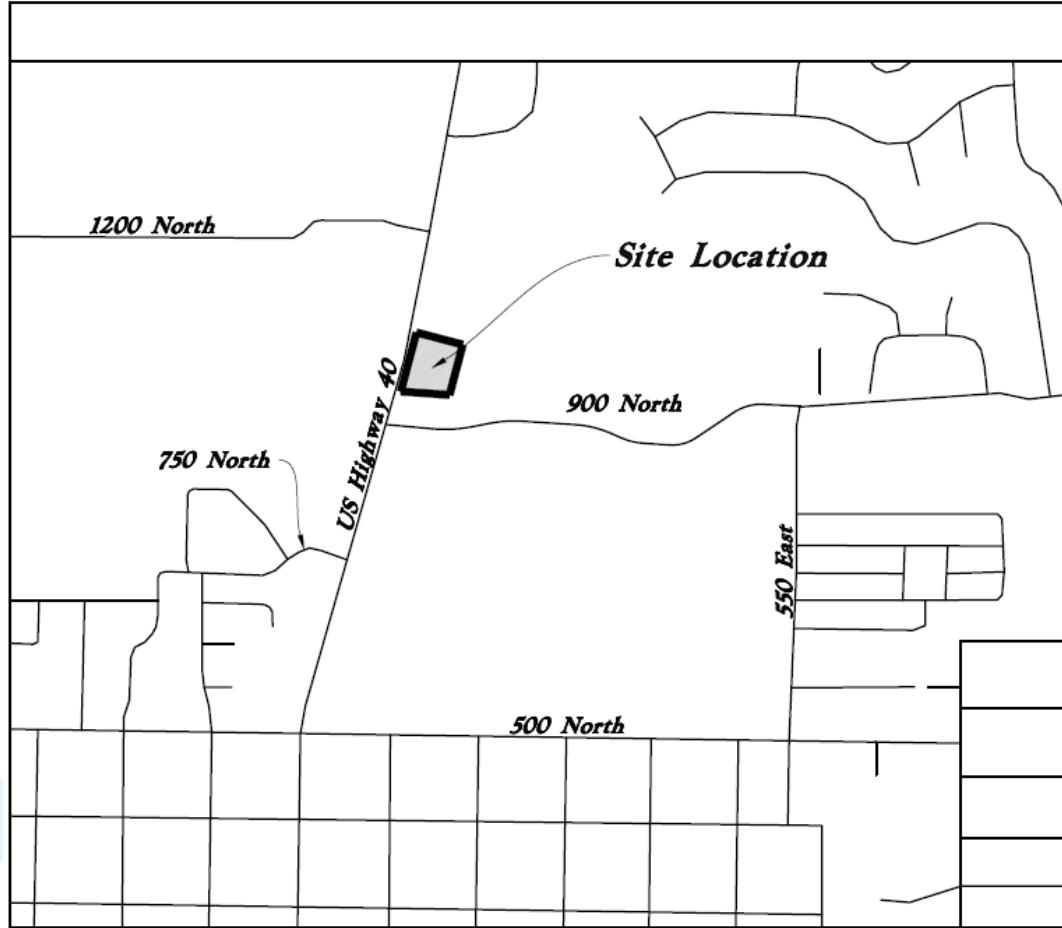
**Acres:** 0.92 acres

**Lots:** 1

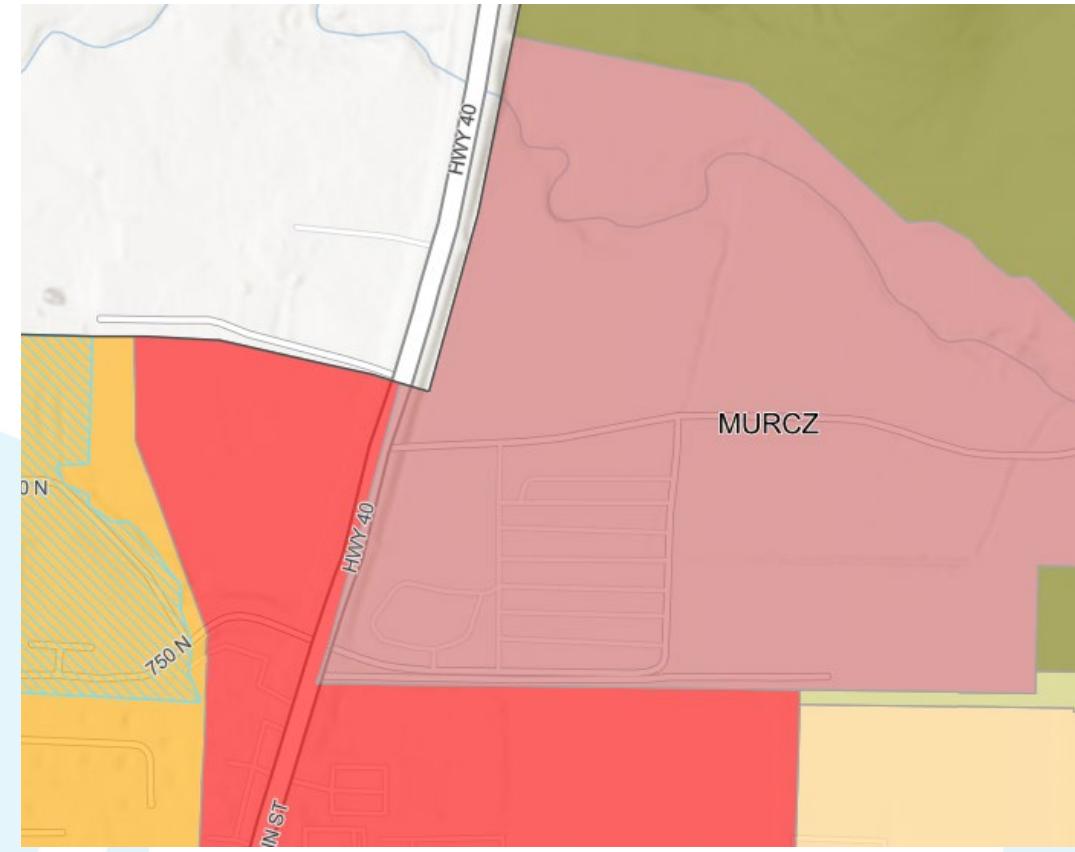
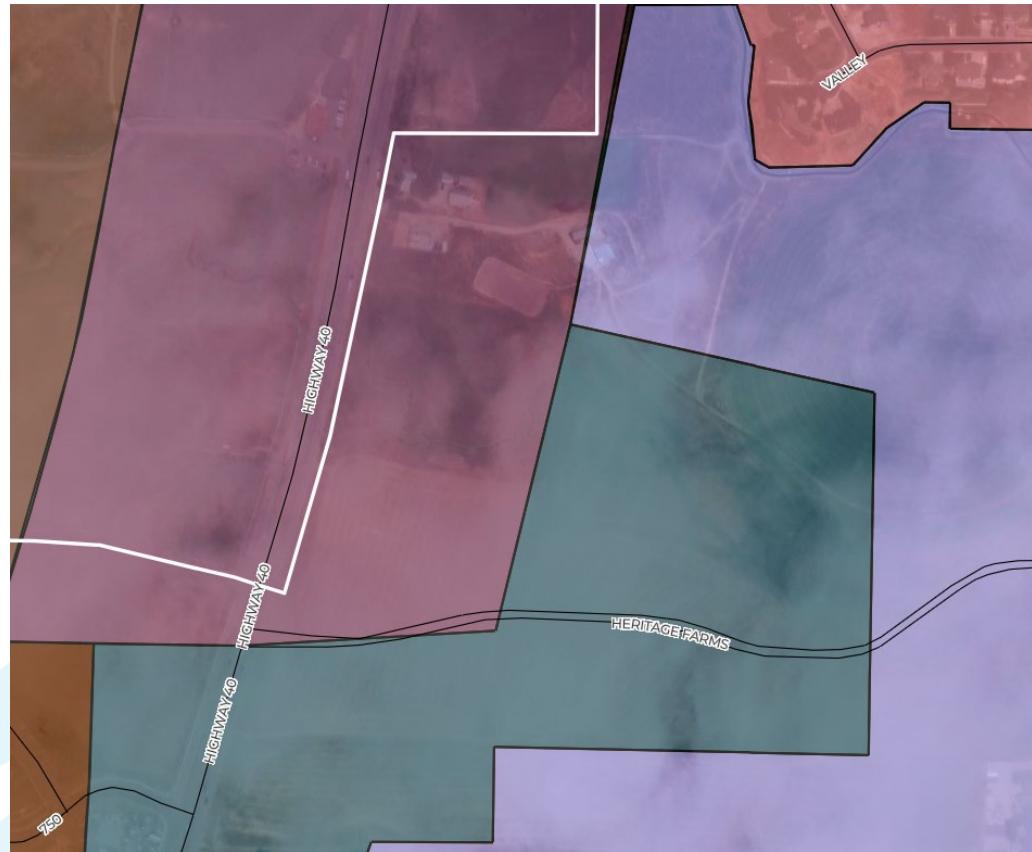
**Adjacent Uses:**

- North: Vacant/Developing
- South: Commercial (Lot 1 Pad A) /Smiths
- East: Vacant/Developing
- West: Hwy 40

# Vicinity Map/Context



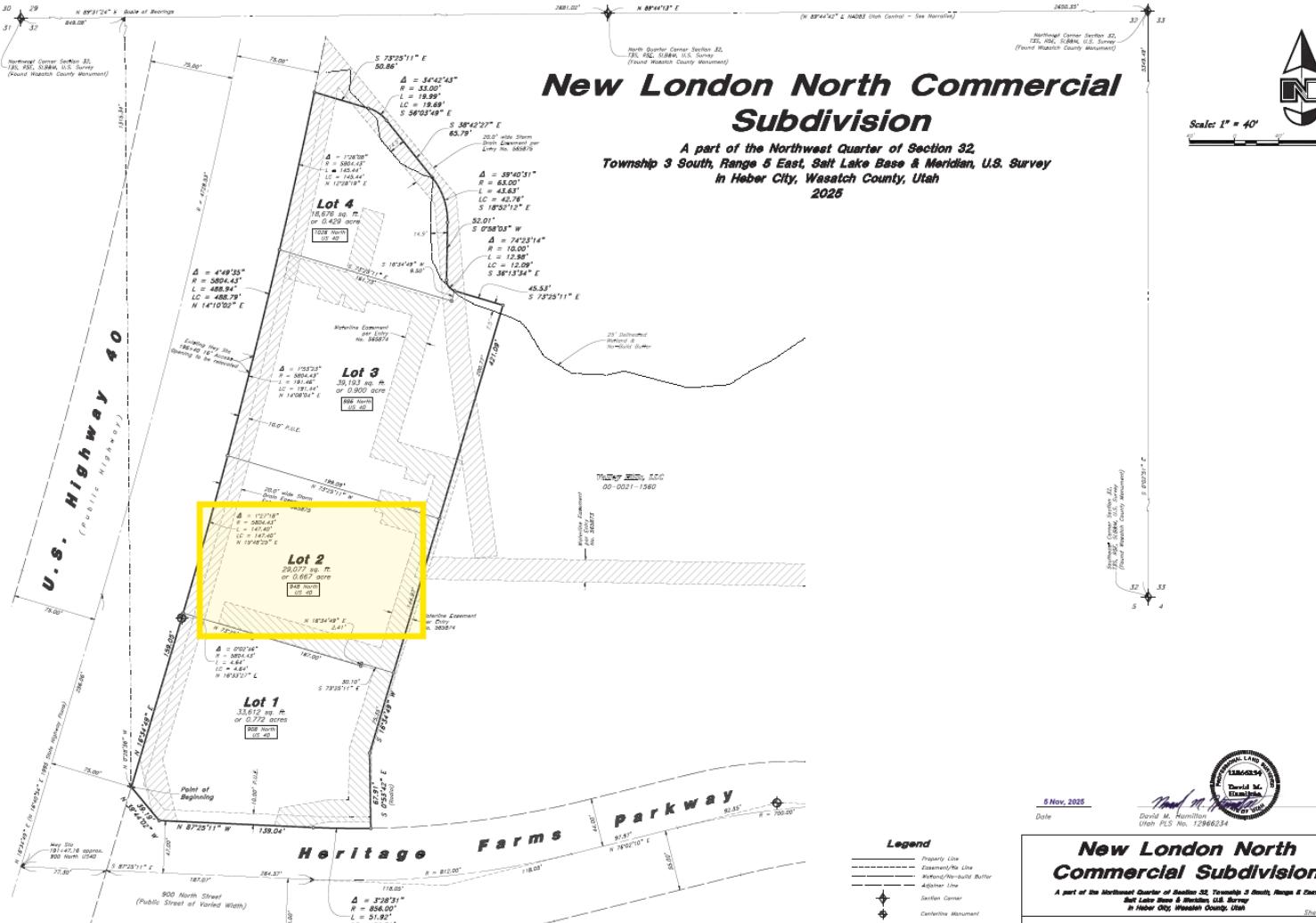
# General Plan & Zoning Map



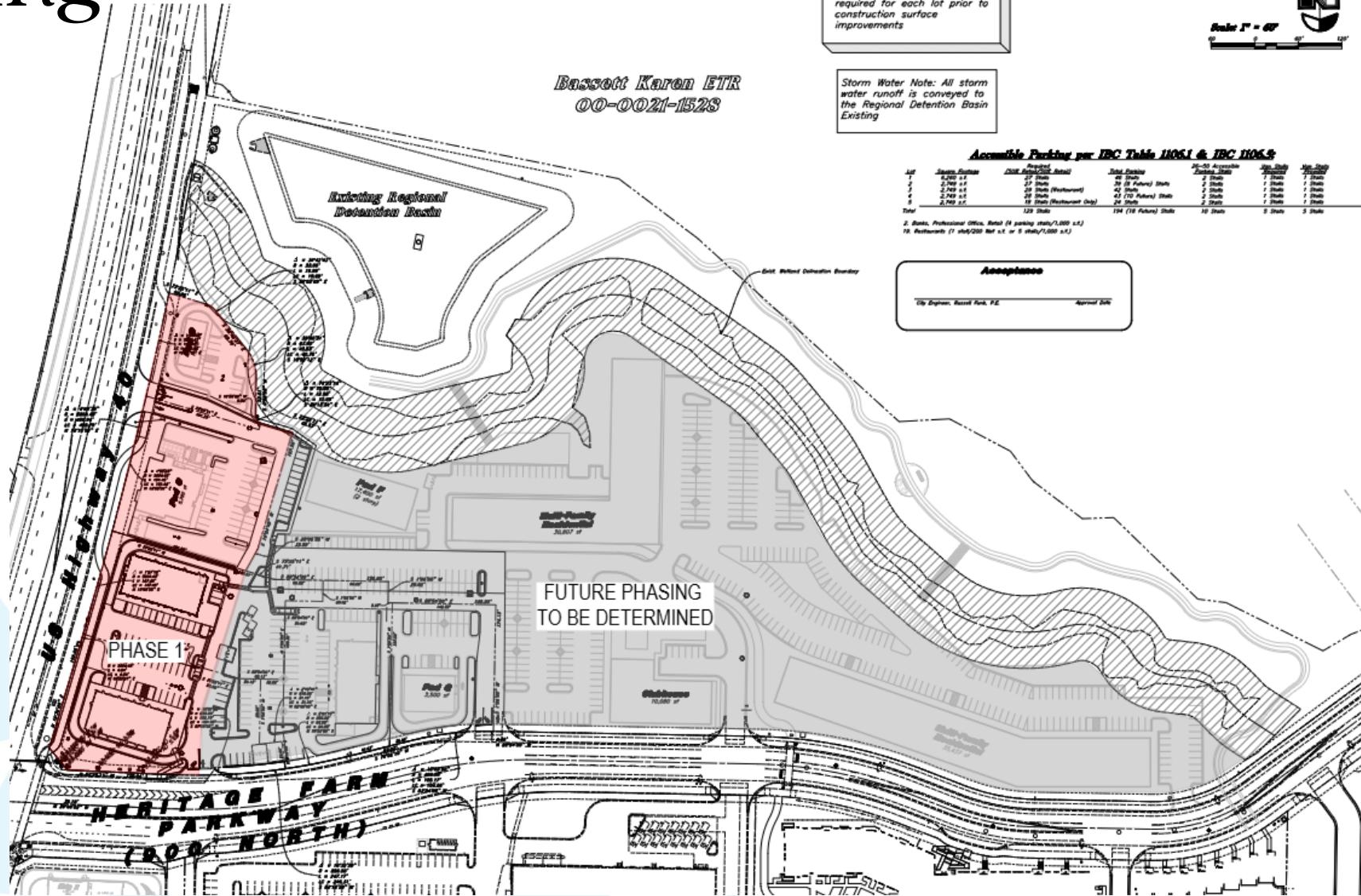
# Background:

- Lot 2, Pad B is part of the New London North Commercial Subdivision - a four-lot mixed-use development in the Mixed-Use Residential Commercial Zone (MURCZ).
- Lot 2, Pad B is directly north of Lot 1 and includes a proposed 5,584-square-foot multi-tenant building that shares parking and circulation with Lot 1.
- Engineering review required clarifications and revisions on:
  - Site plat title and legal description
  - Coordination with the approved subdivision plat
  - Pad labeling and square footage
  - Utility details shown in accordance with Heber City Standard Drawings
- Wasatch Fire review addressed hydrant placement between Lots 1 and 2 and confirmed fire access through the shared circulation.
- Planning review focused on landscaping, site furnishings, trash enclosure details, and lighting, including the photometric plan, fixture schedule, and use of black fluted poles per city standards.
- After multiple rounds of revision, the site plan generally meets requirements for approval, subject to findings and conditions.

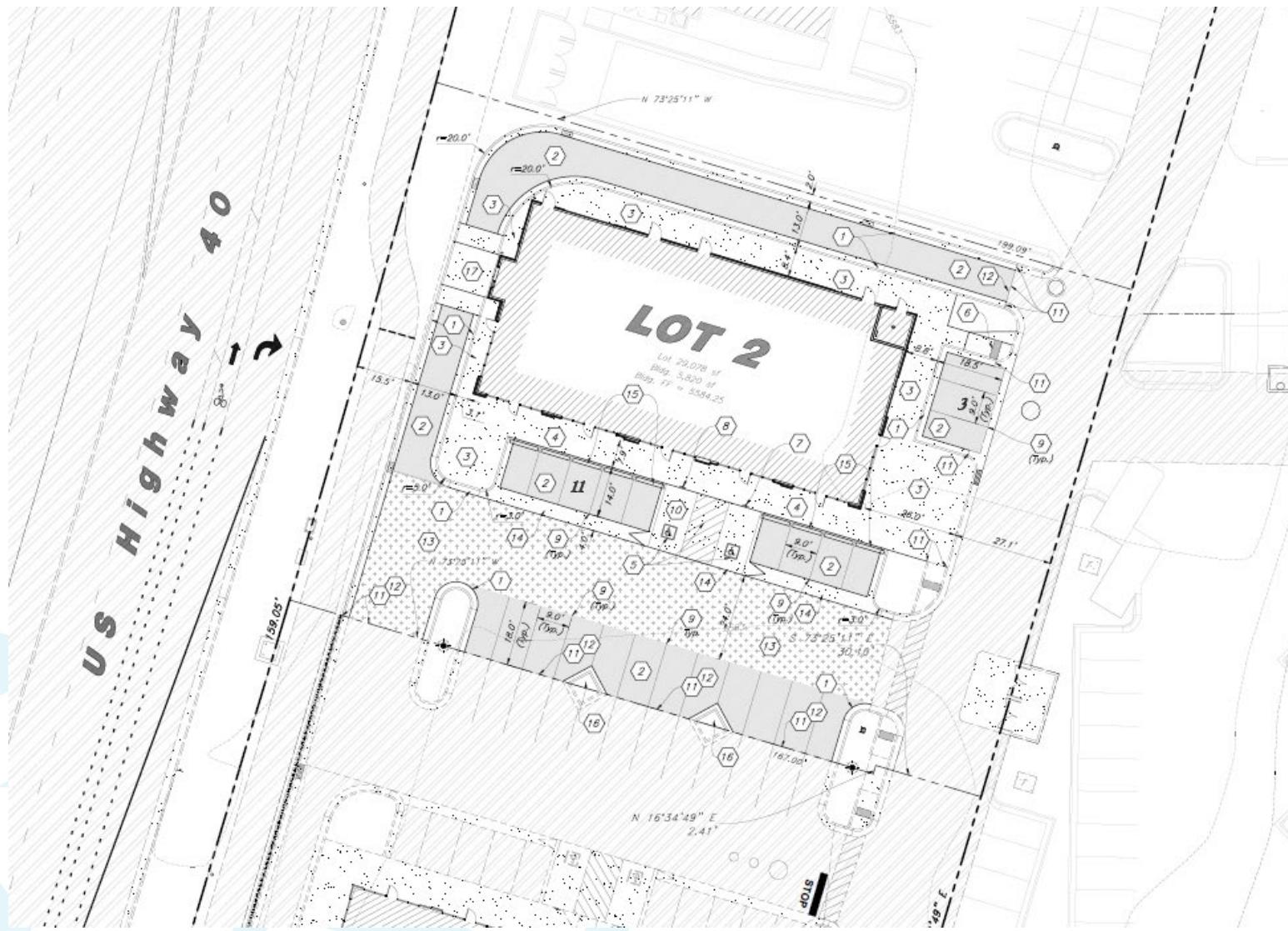
# New London North Commercial Subdivision



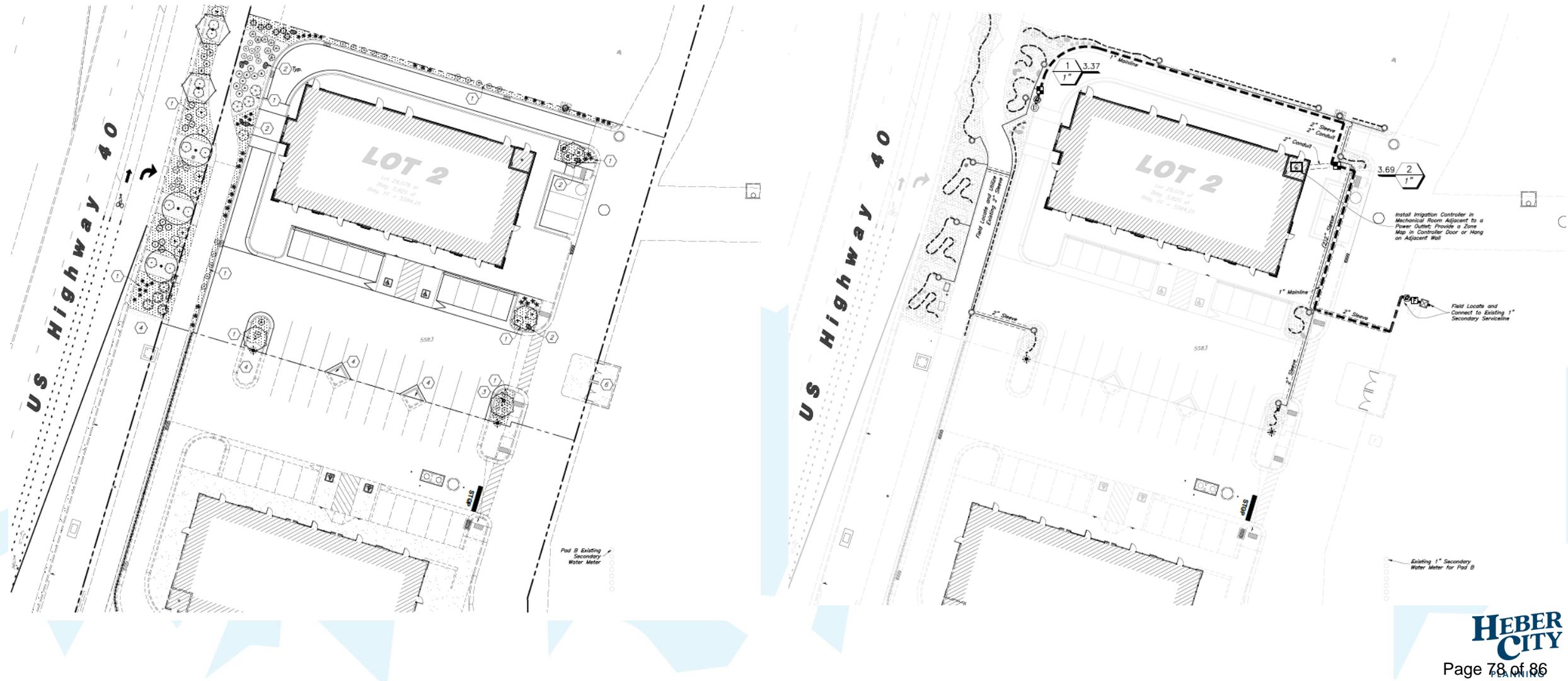
# Phasing



# Site Plan



# Landscaping & Irrigation

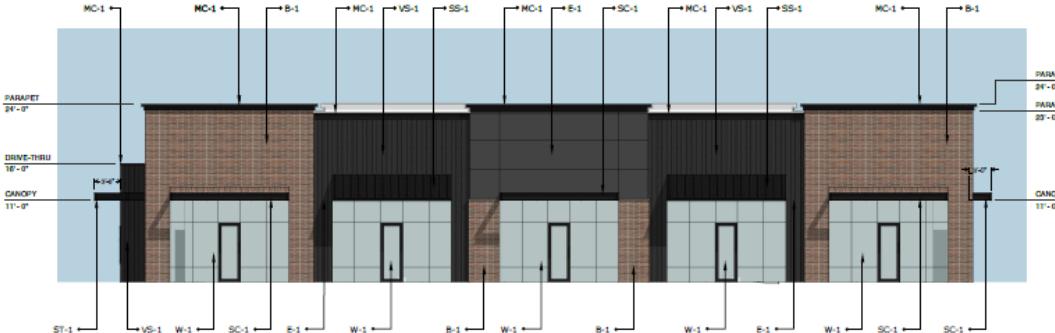


# Elevations



RIGHT ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

E-1: 250 SF (22%)  
B-1: 428 SF (37%)  
VS-1: 429 SF  
MC-1: 27 SF  
SC-1: 18 SF  
WALL TOTAL: 1,152 SF  
GLAZING: 176 SF



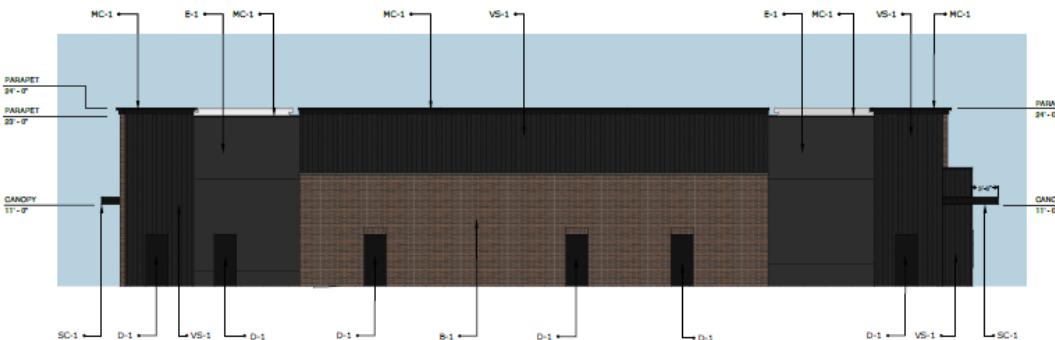
FRONT ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"

E-1: 270 SF (15%)  
B-1: 724 SF (41%)  
VS-1: 504 SF  
MC-1: 42 SF  
SC-1: 60 SF  
SS-1: 114 SF  
WALL TOTAL: 1,718 SF  
GLAZING: 880 SF



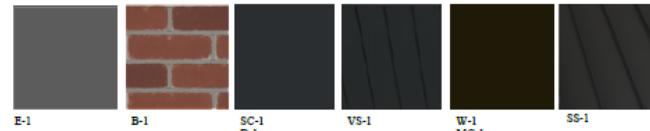
LEFT ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"

E-1: 179 SF (15%)  
B-1: 426 SF (39%)  
VS-1: 435 SF  
MC-1: 35 SF  
SC-1: 29 SF  
WALL TOTAL: 1,095 SF  
GLAZING: 223 SF



BACK ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"

E-1: 628 SF (24%)  
B-1: 923 SF (36%)  
VS-1: 968 SF  
MC-1: 50 SF  
SC-1: 10 SF  
WALL TOTAL: 2,579 SF  
D-1: 126 SF



## FINISH SCHEDULE

E-1: EIFS - DRYVIT, 152 ANTHRACITE COAL  
B-1: THIN BRICK VENEER - SUMMIT BRICK, LODO, (MORTAR: DAVIS COLORS 860 DARK GRAY)  
VS-1: PAINTED FIBER CEMENT SIDING - JAMES HARDIE, ARTISAN SIDING, SHIPLAP, SW 6993 BLACK OF NIGHT  
MC-1: PREFINISHED METAL CAP FLASHING - CMG METALS, EXTRA DARK BRONZE  
SC-1: PAINTED STEEL CANOPY - SW 6993 BLACK OF NIGHT  
SS-1: STANDING SEAM METAL ROOF - MBCI, TRUE BLACK  
D-1: PAINTED HOLLOW METAL DOOR & FRAME - SW 6993 BLACK OF NIGHT  
W-1: ALUMINUM STOREFRONT SYSTEM - EXTRA DARK BRONZE

\*\*OR SIMILAR EXTERIOR FINISH PRODUCT\*\*

# Elevations



NORTHWEST ELEVATION



SOUTHWEST ELEVATION



NORTHEAST ELEVATION

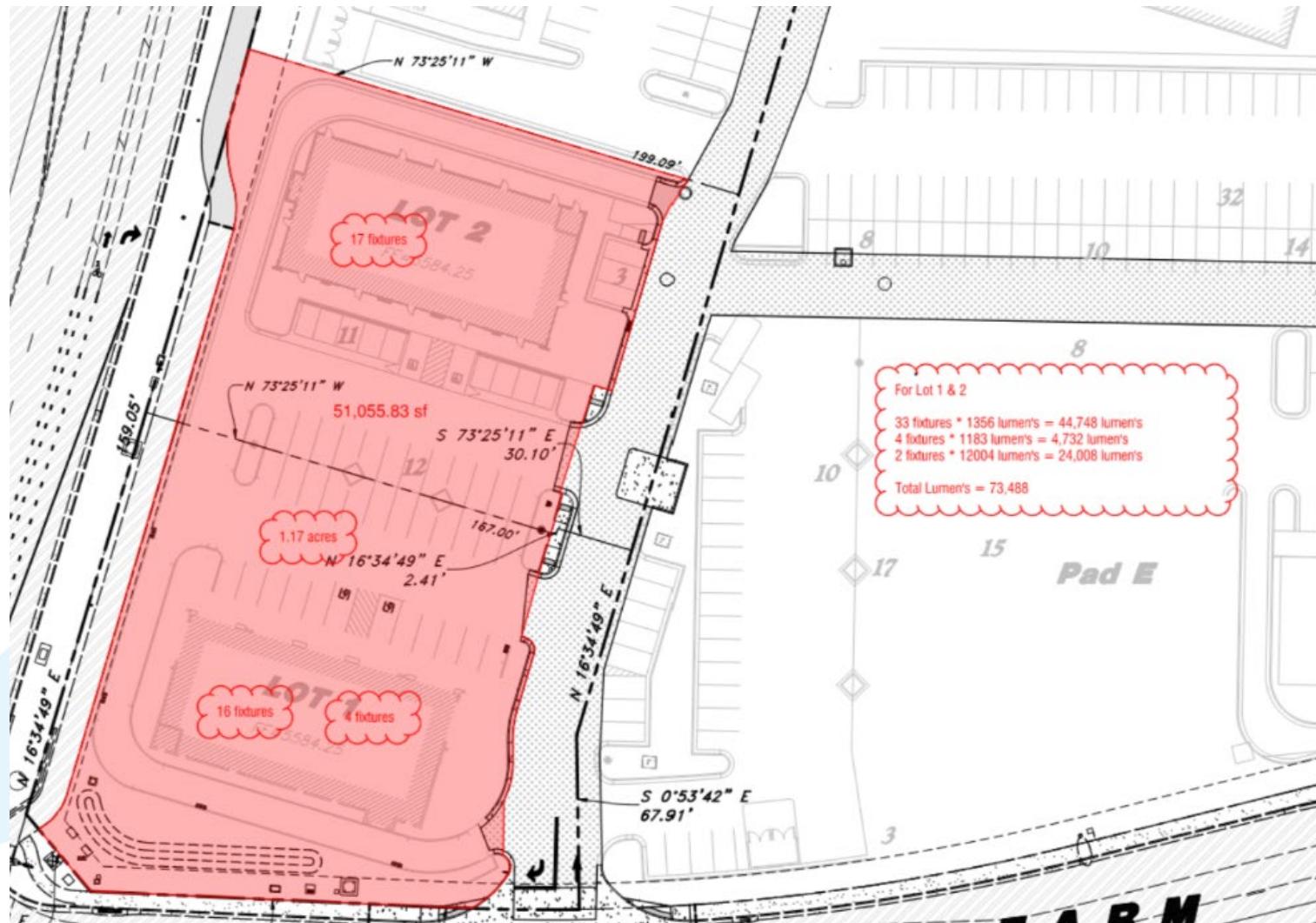


SOUTHEAST ELEVATION

# Photometric



# Site Lumens



# Staff Recommendation

Staff recommends that the **New London North Commercial Development Pad B Site Plan** be approved by the Planning Commission subject to the following findings and conditions:

## **Findings**

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

## **Conditions**

1. All requirements of the City Engineer shall be met.
  - Applicant and any successors of this project shall comply with all City policies, processes, ordinances, standards, and specifications.
  - Water Rights will be required for landscaping and indoor use as part of the building permit process.
  - Subdivision plat needs to be recorded with appropriate bonding in place or fully constructed prior to any building permits being issued on this site.
2. All other Code Requirements shall be met.
3. Any other conditions or changes as articulated by the Planning Commission.

# Discussion



# Planning Commission Staff Report

**MEETING DATE:**

2/10/2026

**SUBJECT:**

Trailhead Plaza Discussion (Development Director Tony Kohler)

**RESPONSIBLE:**

**DEPARTMENT:** Planning

**STRATEGIC RELEVANCE:**

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## SUMMARY

## RECOMMENDATION

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## BACKGROUND

## DISCUSSION

## FISCAL IMPACT

## CONCLUSION

## ALTERNATIVES

### Staff Recommended Option - Approval

I move to **approve** the item as presented, with the findings and conditions as presented in the conclusion above.

### Alternative 2 - Continuance

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I move to **continue the item** to another meeting on **[DATE]**, with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

### **Alternative 3 - DENIAL**

I move to **deny the item** with the following findings.

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## **POTENTIAL MOTIONS**

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## **ACCOUNTABILITY**

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**Department:** Planning  
**Staff member:**

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## **EXHIBITS**

None