Wednesday, January 21, 2026
Development Review Committee

DEVELOPMENT REVIEW COMMITTEE AGENDA
PUBLIC NOTICE is hereby given that the Development Review Committee of Spanish Fork, Utah, will hold a regular meeting at the City Council Chambers at Library Hall, 80 South Main Street, Second Floor, Spanish Fork, Utah, commencing at 10:00 a.m. This meeting is not available to attend virtually.

1. Approval of Minutes

A. January 14, 2026.

2. Site Plan

A. NORTH AIRPORT INDUSTRIAL LOT 17. This proposal involves approval of a Site Plan for an industrial lot located at 1427 West 3470 North.

3. Re-Final Plat

A. NORTH AIRPORT INDUSTRIAL PLAT C. This proposal involves the re-approval of a Final Plat for two industrial lots located at 3400 North 1750 West.

B. GOODWIN ACRES PLAT A. This proposal involves the re-approval of a Final Plat for 14 single-family lots located at 2976 East 100 South.

4. Final Plat

A. MAPLE MOUNTAIN PLAT N PHASE 2. This proposal involves approval of a Final Plat for 33 single-family residential lots located at 400 North Slant Road.

5. Title 15 Amendment

A. TITLE 15 TEMPORARY STORAGE YARD. This proposal would amend the city's outdoor storage requirements regarding fencing materials for a property located at 2261 North 700 West.

6. Discussion

A. MEAT PROCESSING FACILITES.

7. Adjourn

End

Draft Minutes

Spanish Fork City Development Review Committee

80 South Main Street

Spanish Fork, Utah

January 14, 2026

Staff Members Present: Cory Pierce, Public Works Director; Seth Perrins, City Manager; Dave Anderson, Community Development Director; Brandon Snyder, Senior Planner; David Mann, Senior Planner; Kasey Woodard, Community Development Secretary; Ian Bunker, Associate Planner; Vaughn Pickell, City Attorney; Joshua Nielsen, Assistant City Attorney; John Little, Chief Building Official; Byron Haslam, Assistant City Engineer; Josh Wagstaff, Assistant City Engineer; Marcie Clark, Engineering Department Secretary; Jered Johnson, Engineering Division Manager; Jared Bartel, Information Systems Director; Kevin Taylor, Senior Power Utility Planner; Jake Theurer, Power and Light Superintendent; Bart Morrill, Parks Maintenance Supervisor; Bryton Shepherd, Landscape Architect; Jason Turner, Fire Marshall; Dillon Muirbrook, Traffic Engineer, Matt Romero, Eddie Hales.

Citizens Present: Camilla Pace, Walter Garcia, Nate Carson, Clayton Rackham, Bruce Fallon.

Cory Pierce called the meeting to order at 10:00 a.m.

MINUTES

December 10, 2025.

December 17, 2025.

Seth Perrins moved to approve the minutes of December 10 & December 17, 2025.

Dave Anderson seconded and the motion **passed** all in favor.

SITE PLAN

Canyon Gate Lot 105

Ian Bunker presented an overview of the proposed development, including the property's location and zoning. He stated that current tenancy for the building is unknown; however, the proposal consists of an approximately 4,600-square-foot commercial building containing three individual tenant spaces intended as a for-lease product, anticipated to accommodate retail or restaurant uses. Mr. Bunker noted that the proposal complies with current parking and landscaping requirements. He also explained that a landscaped island was removed from the site plan to allow for a compliant drive aisle and additional parking along the south side of the property.

Mr. Bunker inquired whether a Pioneering Agreement exists for the property. Staff indicated that this was unknown at the time of the meeting but stated they would research the matter further. Staff noted there is a high likelihood that an existing Pioneering Agreement is in place and that the applicant would be required to fulfill its terms if confirmed. Mr. Bunker concluded by stating that staff is recommending approval of the proposal.

It was noted during the discussion that this is the final lot to be developed within the Canyon Gate subdivision.

Cory Pierce requested that Josh Wagstaff follow up on the status of the Pioneering Agreement.

Bruce Fallon, representing the applicant, addressed the body and stated that he was not aware of the specific requirements of a Pioneering Agreement.

Dave Anderson provided clarification on the typical purpose and contents of a Pioneering Agreement, explaining that such agreements generally outline required infrastructure improvements associated with development. Mr. Fallon indicated his understanding of such agreements.

The discussion concluded with staff reiterating details regarding the removal of the landscaped island to accommodate site circulation and parking needs.

Dave Anderson **moved** to approve the proposed Canyon Gate Lot 105 Site Plan based on the following finding and subject to the following conditions:

Finding:

1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

Conditions:

1. That the Applicant meets the City's development and construction standards, zoning requirements, and other applicable City ordinances.
2. That any remaining redlines are addressed.
3. That the applicant must obtain permission from neighboring property owners before encroaching on their property to do any work associated with the development.

John Little **seconded** and the motion **passed** all in favor.

City Attorney Vaughn Pickell expressed a concern regarding the applicant potentially making improvements on adjacent private property. He suggested that it would be necessary for the applicant to obtain prior written authorization before commencing any work that may encroach upon a neighbor's property.

Dave Anderson withdrew the previous motion. A subsequent motion was made and passed to amend the conditions of approval, specifically to include a third condition.

Vaughn Pickell **seconded** the amended motion and the motion **passed** all in favor.

ZONE CHANGE

Let Them Grow Montessori Preschool Enhancement Overlay

Ian Bunker explained that the subject property is located at approximately 75 West 300 North and is roughly one-half acre in size. The site was formerly occupied by UMPA and is currently zoned Residential Office. A proposal has been submitted to utilize the property as a Montessori school, which is a permitted use within the Residential Office zone.

He continues by stating that due to the change in use, the site presents several nonconforming conditions related to landscaping and setbacks, particularly along the west side of the property where it abuts residential uses. Specifically, he states, the site does not meet the required ten-foot landscape buffer or the ten-foot setback from the residential property line. The property does contain an existing masonry wall of approximately six feet in height along much of the perimeter, with some portions consisting of chain link fencing and decorative wall elements. While portions of the decorative wall provide limited screening, the masonry wall does offer some buffering between the proposed school and the adjacent residential uses.

He notes that the presence of the masonry wall supports the applicability of the Development Enhancement Overlay, as it provides partial mitigation for the missing

landscape buffer. Additional nonconformities include the absence of required parking lot landscape islands. He stated there has also been discussion of adding a playground to the front of the site, which would reduce existing lawn area and raise questions regarding compliance with the minimum landscaping percentage. These issues could be addressed through the Development Enhancement Overlay, which allows flexibility in evaluating site design constraints.

He concluded his presentation by stating that the proposal requires the addition of the Development Enhancement Overlay to address the existing and proposed nonconformities. Staff is supportive of applying the overlay in this case and has recommended approval to the City Council.

Dave Anderson felt that Mr. Bunker's description of the proposal was excellent. He noted the intent of the Development Enhancement Overlay and stated that the change in use is very minor and that this would be an appropriate use of the overlay. He states that, typically, the city would require the site to be brought into compliance to meet the current city standards.

John Little asked the applicant about the proposed playground at the front of the property and asked if it will be fenced and it was stated that yes, the front of the property will be fenced. It was noted that the playground would be small and staff discussed fencing options stating that fences on the front of the property can be solid if they are no taller than 3 feet. If the fence is taller than four feet, it must meet clear vision requirements.

Signage locations and the playground area were briefly discussed. Staff inquired as to the number of students and it was stated that there are 60 students, that is broken up into blocks of time with each class accommodating approximately 15 students.

Vaughn Pickell **moved** to recommend approval of the proposed Enhancement Overlay Zone Change to City Council based on the following findings and condition:

Findings:

1. That the proposed modifications will conform to the intent of the Development Enhancement Overlay Zone.
2. That the existing masonry wall on site alleviates the need for a 10-foot landscape buffer to the west.
3. That the school's current location is roughly 150 feet to the east of this proposed site, keeping it in the same neighborhood of the community.
4. That the proposed site allows for the expansion of the school's current operations.

Condition:

1. That the front yard of the site be enclosed for the children's property.

Seth Pickell **seconded** and the motion **passed** all in favor.

It was noted that the item will be on the February agendas for Planning Commission and City Council.

CONCEPT REVIEWS

Carson Townhomes Concept

Dave Anderson provided the location of the property and stated there have been previous discussions regarding the development of the property and some of the challenges that come with development. He noted that the lot is approximately two and a half acres in size and this has generated a lot of interest in what can be done with the property. He notes that there were a lot of comments provided by engineering and the planning department regarding the slope of the property.

Nate Carson approached the podium and noted that a revision to the concept was provided to him by Atlas Engineering later in the evening before this meeting that staff has not had a chance to review. He provided a new revised exhibit to staff to discuss during the meeting.

Staff and the applicant discussed a revised development concept prepared in coordination with the project architect and engineer, which more intentionally responds to the significant slope on the site. The updated concept utilizes the existing topography to increase developable area and improve feasibility compared to earlier concepts, including the removal of the existing home. It was noted that prior concepts raised concerns related to cost, constructability, and required improvements along Powerhouse Road, including guardrail relocation, which impacted financial feasibility.

Staff expressed that, from a conceptual standpoint, the revised layout is more functional and intentional than previous iterations. However, concerns remain regarding building orientation, particularly along River Bottoms Road, where the most visible frontage occurs. Staff indicated a preference for improved townhome orientation along this frontage, rather than rear-loaded units with garage-dominated façades. Additional concerns were raised about the usability of portions of the site, the overall density proposed, and whether such density would be consistent with what the City Council may be comfortable supporting.

Staff noted that the concept assumes a potential rezoning to R-3 with an overlay, under which the proposed density could be permitted. However, it was acknowledged that the plan remains conceptual and that advancing the project would require significant additional investment, including a full survey, slope analysis, and potentially a soils study. Staff emphasized that such analyses would be critical before the City could provide any level of endorsement, particularly given hillside development standards and the proximity of proposed buildings to Powerhouse Road.

Staff members discussed alternative approaches, including maintaining the property as-is or pursuing a lower-intensity development more consistent with single-family residential patterns in the area. Several staff members expressed concern with cul-de-sac design consuming excessive land area and noted a preference for more efficient access solutions if development were to occur. It was also noted that neighborhood context, potential public opposition, and General Plan guidance would be significant considerations in evaluating any future zoning request.

In conclusion, staff indicated that the next appropriate step, should the applicant wish to proceed, would be preparation of a detailed slope and contour analysis to determine developable areas and feasibility. Until there is clearer direction on land use, density, and compliance with hillside development standards, the project remains conceptual and in a preliminary discussion phase.

Mr. Carson thanked staff for their feedback.

Spanish Fork Station 61 Concept

Matt Romero presented updated site plans and design concepts for the proposed fire station and associated infrastructure to. It was noted that revisions had been made since earlier submittals, including adjustments to fencing, sidewalks, landscaping, and coordination with the adjacent substation. Staff discussed comments previously provided by Brandon Snyder and others, particularly regarding perimeter fencing. The current plan shows a six-foot concrete wall along the property boundary, which meets City standards. Staff discussed whether a wall is appropriate given the long-term future of the block and potential connectivity to adjacent properties.

Staff noted that updated drawings now reflect an eight-foot fence around the substation, revised sidewalk alignment to accommodate required buffering, and coordination with transformer pole placement. It was acknowledged that a text amendment to the City Code may be necessary to address setback or buffering requirements within the Public Facilities zone, and staff discussed initiating that process in coordination with the Community Development department.

Sidewalk alignment along the west side of the property was reviewed, with discussion focused on adjusting the sidewalk to widen planter areas while maintaining ADA compliance. Staff agreed that pulling the sidewalk back and increasing landscape width would be appropriate, provided ADA standards are met and details are shown on plans.

Discussion continued regarding fencing versus open connectivity between the fire station site and surrounding properties. Staff emphasized the need for security at a public safety facility, noting that controlled access is necessary to protect equipment, personnel vehicles, and operations. It was generally agreed that a permanent wall is appropriate and preferable to avoid future removal and additional costs.

Staff reviewed project timing and noted that the proposal is nearing site plan approval, with City Council discussion anticipated. Bidding is expected to begin in February, with construction anticipated to start in late February or early March, pending asbestos abatement and demolition of existing structures.

Additional discussion included building layout and functionality, including public and private entrances, administrative space, apparatus bays, and living quarters. Staff confirmed that the building complies with required setbacks from transmission lines and that adjustments were made to exceed minimum clearance requirements.

Fire access and circulation were also discussed, including fire lane designation, signage requirements, and the need to relocate a hydrant to meet minimum width standards. Landscaping plans were reviewed, with staff noting coordination of irrigation and maintenance with adjacent City properties, appropriate plant selection near utilities, and limitations on tree placement due to overhead and underground infrastructure.

The discussion concluded with staff agreeing that the project is moving in the right direction, with remaining action items including confirmation of setbacks, completion of landscaping and elevation details, and continued coordination related to code amendments and utility constraints.

1050 West Annexation & Master Plan Concept

City staff and the applicant, Clayton Rackham provided an overview of the proposed annexation area and set the stage for a conceptual discussion focused on development design options rather than final approvals. The annexation area, previously identified in presentation materials, remains under technical review, with storm drainage, traffic, and utility planning ongoing. The applicant reported that a traffic impact study is currently underway with a defined scope intended to evaluate site-specific impacts prior to the buildout of adjacent transit and interchange improvements. Updated storm drainage

analysis indicates that stormwater may be conveyed westward, rather than through multiple drainage routes as previously considered, with further engineering coordination planned with City Engineering and Public Works.

Mr. Rackham described the site as a potential gateway to the City's future station area west of I-15 and emphasized the importance of aligning the project with the Station Area Plan. An urban planning consultant, Design Workshop, was engaged to help ensure consistency with long-term transit-oriented development goals. While proposed densities are lower than those anticipated directly within the station area, Mr. Rackham stated that the project is intended to transition toward those densities over time. The annexation area encompasses approximately 99 acres, with the applicant controlling just over half of the property, primarily in the northeastern portion. Development is anticipated to occur in phases, with planned north–south connectivity and eventual integration with future transit facilities.

A significant portion of the discussion focused on parks and open space, which were identified as foundational elements shaping the overall development design. Several conceptual park configurations were presented, including linear parks, centralized community parks, edge parks, and distributed neighborhood parks. The applicant noted coordination with the Parks Department and expressed interest in a linear park concept due to its potential to promote walkability, consolidate maintenance, and align with station-area greenway principles. City staff and council members discussed the benefits and challenges of linear parks, including pedestrian safety, roadway crossings, emergency access, usability for families, and long-term maintenance considerations. No preferred open space configuration was selected, and the applicant requested early policy-level guidance from the City Council before advancing more detailed designs.

Transportation and street network concepts were also reviewed. The proposed layouts generally reflect a modified grid system consistent with the Station Area Plan. Discussion addressed limitations created by rail lines and major corridors, the feasibility of additional railroad crossings, emergency access, traffic calming, and whether a traditional grid is appropriate given the site's physical constraints. Staff emphasized the importance of identifying roadway hierarchy, collector routes, and potential roundabout locations early in the process to support safe and efficient circulation.

Mr. Rackham also presented a range of housing types envisioned for the site, including apartments, townhomes, duplexes, fourplexes, and small-lot single-family homes. The intent is to provide a mix of housing options that support affordability, walkability, and demographic diversity while buffering more intensive uses near the rail line and future transit facilities. Parking concepts generally place parking behind buildings or along alleys to enhance the pedestrian environment and streetscape.

Throughout the discussion, City staff emphasized the importance of City Council involvement at this early conceptual stage, particularly on overarching questions related to annexation, density, park configuration, street layout philosophy, and long-term integration with future transit investments. The applicant expressed appreciation for the City's continued feedback and reiterated a commitment to collaborative planning and alignment with City goals. Staff noted that Mr. Rackham's approach of presenting multiple high-level concepts, rather than a single fixed proposal, was appropriate for this stage of review and recommended that the concepts be presented to the City Council for policy-level direction, followed by additional coordination with the Parks Department and further refinement of the preferred development framework.

Seth Perrins moved to adjourn the meeting at 11:52 a.m.

Adopted:

Kasey Woodard
Community Development Division
Secretary

DEVELOPMENT REVIEW COMMITTEE

JANUARY 21, 2026

SPANISH FORK COMMUNITY DEVELOPMENT

North Airport Industrial Lot 17
Site Plan
1427 West 3470 North
1.02 acres
I-1 Zone
Industrial General Plan Designation

PROPOSAL

The Applicant applied for Site Plan approval to construct an industrial building on the subject property. Offices and warehousing are listed as permitted uses in the I-1 Zone. The site will have two driveways from 3470 North.

The proposed building is shown on the south end of the property with parking on the north side adjacent to 3470 North. A detention pond is shown in the center of the parking lot. The building is shown with four units and one storage area that is enclosed in the building. Landscaping is concentrated adjacent to the street and meets the required minimum coverage area.

STAFF RECOMMENDATION

That the proposed North Airport Industrial Lot 17 Site Plan be approved based on the following finding and subject to the following conditions:

Finding

1. That the proposal conforms to the City's General Plan Designation and Zoning Map.

Conditions

1. That the Applicant meets the City's development and construction standards and other applicable City ordinances.
2. That any remaining redlines are addressed prior to a building permit being issued.

EXHIBITS

1. Area Maps
2. Site Plan
3. Landscape Plan
4. Building Elevations

EXHIBIT 1

EXHIBIT 2

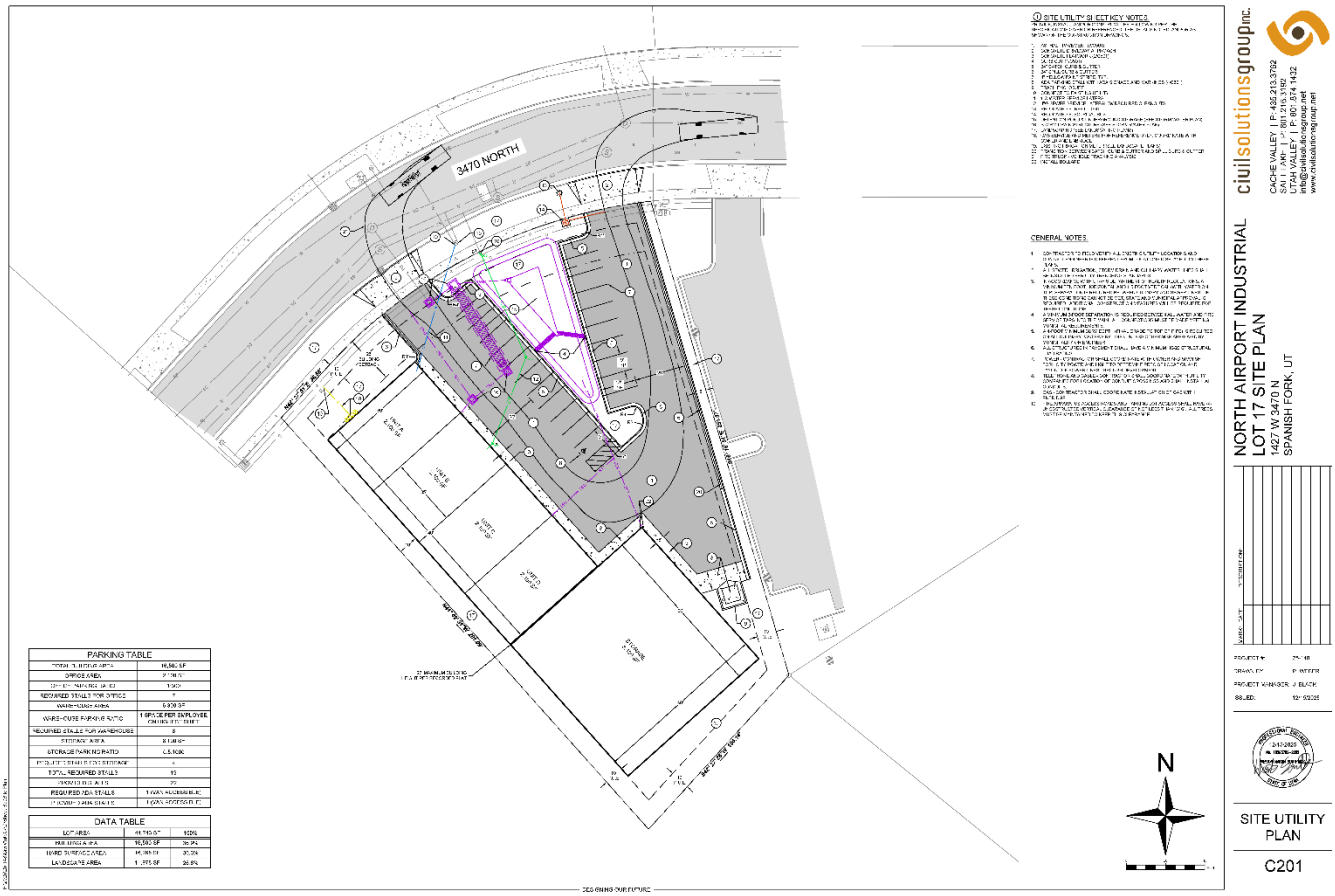

3470 NORTH
PARKING TABLE
DATA TABLE
SITE UTILITY KEY NOTES
GENERAL NOTES
N
civilsolutionsgroup inc.
CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3762
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net
NORTH AIRPORT INDUSTRIAL
LOT 17 SITE PLAN
1427 W 3470 N
SPANISH FORK, UT
SITE UTILITY PLAN
C201

EXHIBIT 3

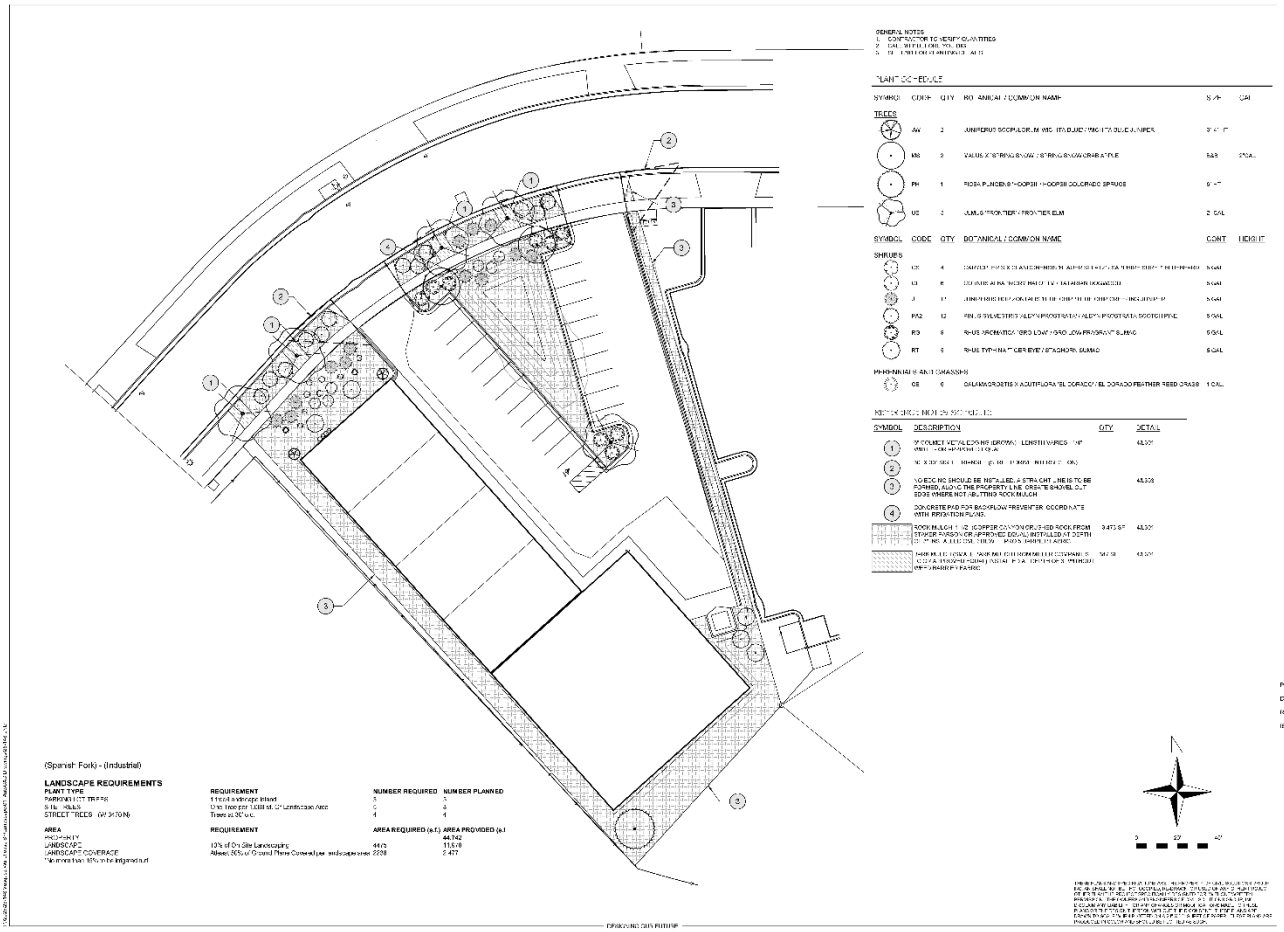
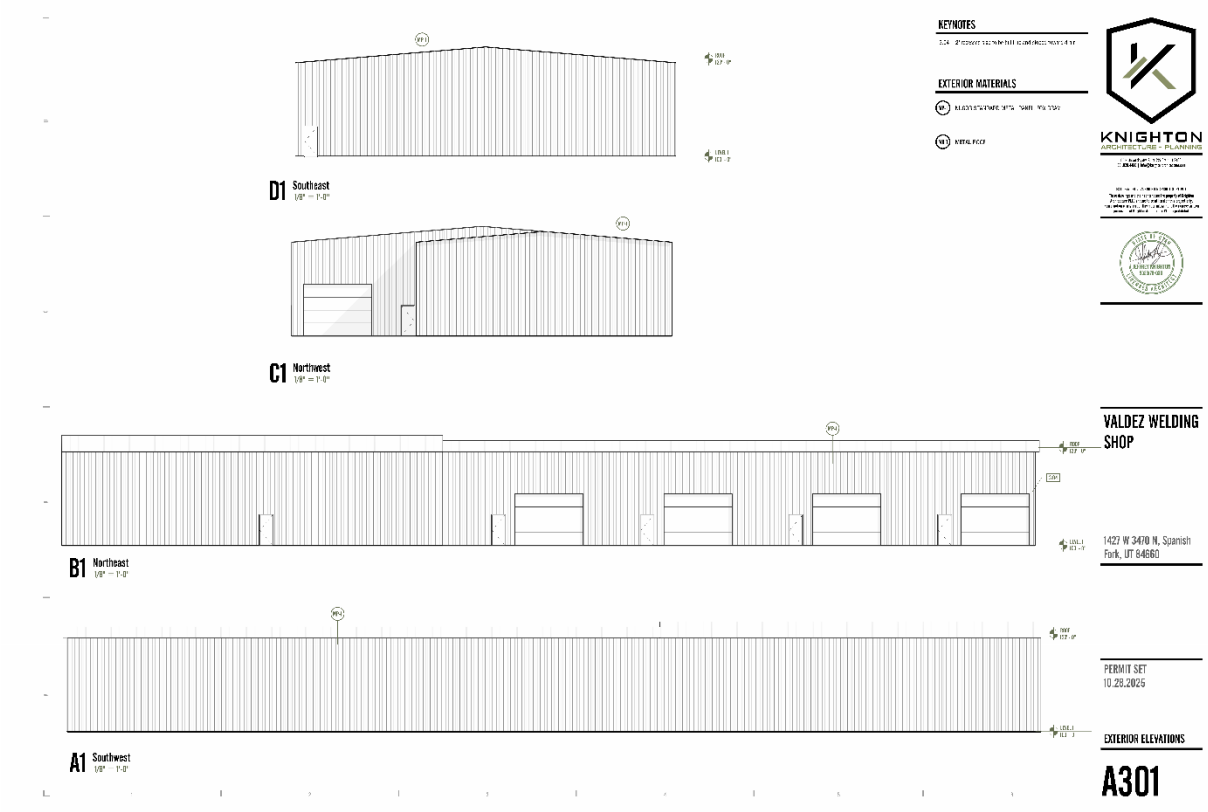

civilsolutionsgroup
NORTH AIRPORT INDUSTRIAL
LOT 17 SITE PLAN
1427 W 3470 N
SPANISH FORK, UT.
LANDSCAPE PLAN
L101

EXHIBIT 4


KEYNOTES
EXTERIOR MATERIALS
KNIGHTON
ARCHITECTURE + PLANNING
D1 Southeast
C1 Northwest
B1 Northeast
A1 Southwest
VALDEZ WELDING SHOP
1427 W 3470 N, Spanish Fork, UT 84660
PERMIT SET
10.28.2025
EXTERIOR ELEVATIONS
A301

North Airport Industrial Plat C
Final Plat
3400 North 1750 West
5.42 acres
I-1 Light Industrial
General Plan Designation
Industrial

PROPOSAL

This proposal involves the reapproval of a Final Plat for two industrial subdivision lots. The Development Review Committee (DRC) last approved Plat C on August 28, 2024.

The Applicant has proposed to modify the phasing plan to include a future fourth phase for Plat D.

Some of the key issues to consider are: power, phasing and improvements.

STAFF RECOMMENDATION

That the proposed Final Plat for the North Airport Industrial Plat C Subdivision be approved based on the following findings and subject to the following conditions:

Findings

1. That the proposal conforms to the City's General Plan Land Use Designation and Zoning Map.

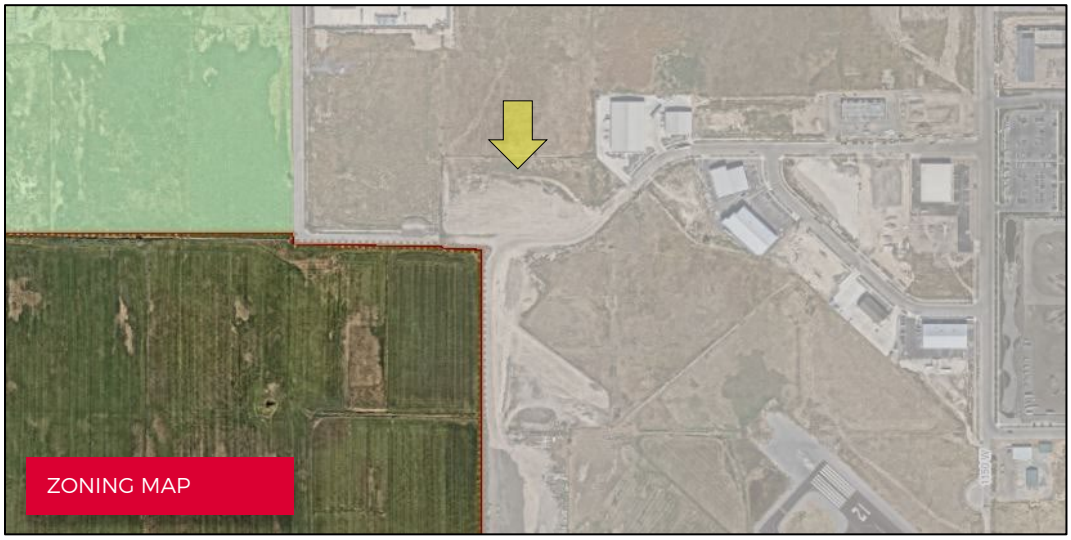
Conditions

1. That the Applicant meets the City's Development and Construction standards, Zoning requirements and other applicable City Ordinances.
2. That all remaining red-lines are addressed by the Applicant.

EXHIBITS

1. Area Maps
2. Subdivision Plat
3. Previous Phasing Plan

EXHIBIT 1



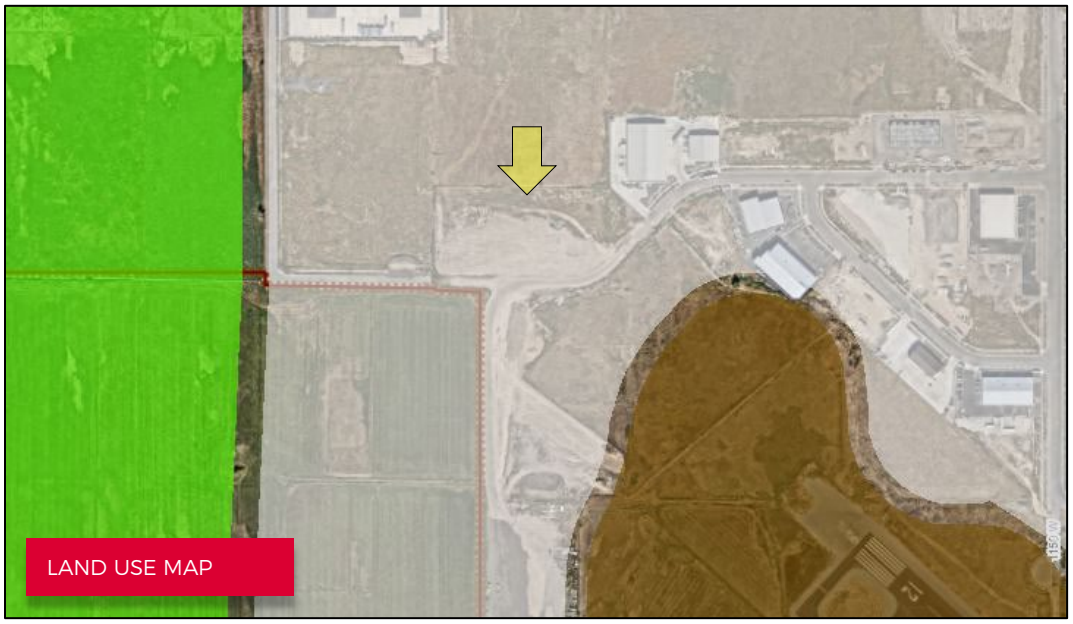


EXHIBIT 2

NORTH AIRPORT INDUSTRIAL PLAT "C"

AN INDUSTRIAL DEVELOPMENT
SPANISH FORK, UTAH
FINAL PLAN SET
JANUARY 2026

-SHEET INDEX-

CONTRACTOR NOTE:
THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

GENERAL NOTES:
1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.
4. ALL DRINKING WATER AND PRESSURIZED IRRIGATION LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRICAL METERS, AND ALL ELECTRIC AND SFCN COMMUNICATION SERVICE LINES UP TO THE MAST ON OVERHEAD INSTALLATIONS AND TO THE TOP OF THE METER BASE FOR UNDERGROUND INSTALLATIONS ARE DEDICATED TO SPANISH FORK CITY.
5. ALL CONSTRUCTION WILL CONFORM TO SPANISH FORK CITY CONSTRUCTION STANDARDS.

WEST FIELD IRRIGATION COMPANY NOTES:
1. CONTRACTOR MUST NOTIFY FRANSON CIVIL ENGINEERS AT LEAST 24 HOURS BEFORE CONSTRUCTION ON WEST FIELD IRRIGATION COMPANY FACILITIES. CALL KYLE DeVANEY WITH FRANSON CIVIL ENGINEERS AT 801-756-0309. FAILURE TO DO SO MAY RESULT IN A $5,000 FINE.
2. WEST FIELD IRRIGATION COMPANY CONTACT DURING CONSTRUCTION: BILL BECK, PRESIDENT, 801-623-8508.
3. ALL CONSTRUCTION MUST BE DONE TO WEST FIELD IRRIGATION COMPANY STANDARDS.
4. CONTRACTOR MUST DOCUMENT ALL NEW PIPES BY VIDEO CAMERA AFTER INSTALLATION AND BACKFILL. ANY PROBLEMS WITH JOINTS, LEVELS, SLOPES, ETC. DISCOVERED BY THE VIDEO TECHNICIANS MUST BE REPAIRED. A DIGITAL COPY OF THE VIDEO MUST BE SUBMITTED TO FRANSON CIVIL ENGINEERS.
5. PRIOR TO BACKFILLING OF PIPES, THE CONTRACTOR MUST NOTIFY KYLE DeVANEY OF FRANSON CIVIL ENGINEERS SO A GPS SURVEY OF THE LOCATION AND ELEVATION OF THE INSTALLED PIPELINES CAN BE PERFORMED.
6. FENCES DISTURBED DURING CONSTRUCTION ACTIVITIES MUST BE REPLACED AND RETURNED TO PRE-CONSTRUCTION CONDITIONS, OR BETTER.
7. METALLIC WARNING TAPE (LABELED, "CAUTION: BURIED IRRIGATION LINE BELOW") MUST BE INSTALLED A MINIMUM OF 1 FOOT ABOVE THE PIPE. IN SOME CIRCUMSTANCES, A LOCATING WIRE MAY BE REQUIRED.
8. ALL BACKFILL MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
9. PIPES OR OTHER UTILITIES RUNNING PARALLEL TO THE IRRIGATION PIPE IN A SHARED EASEMENT SHALL BE PLACED A MINIMUM OF 5 FEET HORIZONTALLY DISTANCED FROM THE IRRIGATION PIPE.
10. PIPES CROSSING PERPENDICULARLY OVER OR UNDER THE IRRIGATION PIPE(S) SHALL HAVE A MINIMUM ONE-FOOT VERTICAL CLEARANCE.
11. ALL CONCRETE USED IN CONSTRUCTION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI. THE CONCRETE MIX SHALL INCLUDE BETWEEN 5% AND 7% AIR ENTRAINMENT.

VICINITY MAP
-NTS-

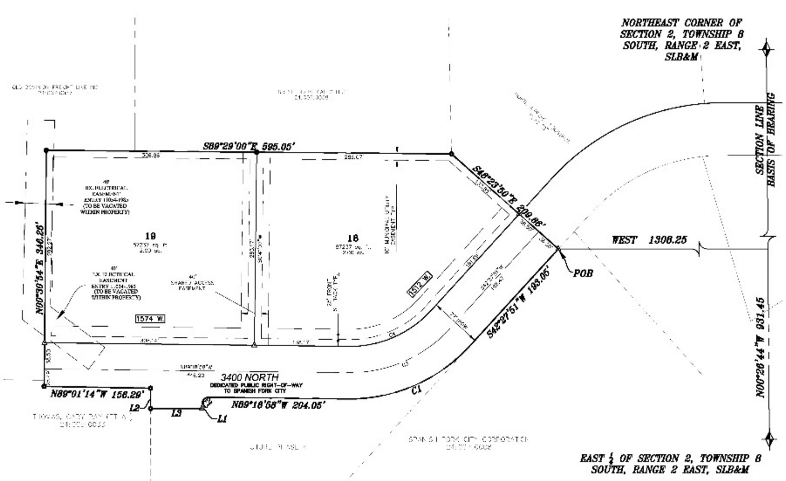
DATA TABLE
TOTAL ACREAGE=5.42
TOTAL # OF LOTS=2
TOTAL ACREAGE OF LOTS=4.00
ACREAGE IN ROADS=1.41
ACREAGE OF OPEN SPACE/PONDS=0.00 ACRES
LOTS/ACRE=0.37
ZONING=I-1

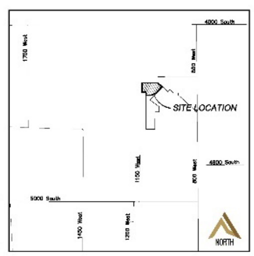
OWNER/DEVELOPER
UTAH AVIATION
STEVE WILSON
801-592-9107
steve@flyutahaviation.com

NORTH AIRPORT INDUSTRIAL PLAT "C"

ATLAS ENGINEERING L.L.C.
PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

ATLAS ENGINEERING\1.0 OPERATIONS\1.1 – CIVIL\2021\21-047 SF NORTH AIRPORT INDUSTRIAL\CADD\FINAL\PHASE 3\01-COVER.DWG





VICINITY MAP
-NTS-

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S0°03'25"E	6.55'
L2	N0°03'25"W	29.87'
L3	S89°56'35"W	75.50'

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	200.72'	238.50'	194.85'	S66°34'26"W	48°13'12"
C2	15.84'	10.00'	14.23'	S45°18'49"W	90°44'28"
C3	168.32'	200.00'	163.40'	S66°34'26"W	48°13'12"
C4	135.92'	161.50'	131.94'	N66°34'26"E	48°13'12"

NOTES
1. ZONE I-1.
2. VERTICAL DATA BASED ON NGVD 29.
3. COORDINATE SYSTEM – NAD83.
4. ALL MUNICIPAL UTILITY EASEMENTS PLATTED HEREON ARE IN PERPETUITY FOR INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF PUBLIC UTILITIES, PUBLIC WALLS, FENCES, SIDEWALKS, TRAILS, AND APPURTENANT PARTS THEREOF AND THE RIGHT TO REASONABLE ACCESS TO GRANTOR'S EASEMENT SHALL RUN WITH THE REAL PROPERTY AND SHALL BE BINDING UPON THE GRANTOR AND THE GRANTORS SUCCESSORS, HEIRS AND ASSIGNS.
5. SITE IS IN AREA WITH AIRPORT RELATED REQUIREMENTS AND HEIGHT RESTRICTIONS. SEE ATTACHED AIRSPACE SHEET.
6. PER THE AERONAUTICAL STUDY NUMBER 2021-ANM-625-NRA DATED MARCH 22, 2021 FROM THE FEDERAL AVIATION ADMINISTRATION, THERE IS NO OBJECTION TO BUILDING CONSTRUCTION WITH A HEIGHT OF 27 FEET.
7. ALL DRINKING WATER AND PRESSURIZED IRRIGATION LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRIC METERS, AND ALL ELECTRIC AND SFCN COMMUNICATION SERVICE LINES UP TO THE MAST ON OVERHEAD INSTALLATIONS AND TO THE TOP OF THE METER BASE FOR UNDERGROUND INSTALLATIONS ARE DEDICATED TO SPANISH FORK CITY.
8. NO TELEPHONE BOXES, OR POWER BOXES IN IRRIGATION COMPANY EASEMENTS.
9. NO TREES OR SHRUBS IN IRRIGATION COMPANY EASEMENTS.
10. FENCES DISTURBED DURING CONSTRUCTION ACTIVITIES MUST BE REPLACED AND RETURNED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
11. IRRIGATION BOXES MAY NOT BE FENCED IN YARDS. DIRECT ACCESS (NOT THROUGH FENCES) MUST BE PROVIDED TO WEST FIELD IRRIGATION COMPANY.

DATA TABLE
TOTAL ACREAGE=5.42
TOTAL # OF LOTS=2
TOTAL ACREAGE OF LOTS=4.00
ACREAGE IN ROADS=1.41
ACREAGE OF OPEN SPACE/PONDS=0.00 ACRES
LOTS/ACRE=0.37
ZONING=I-1

OWNER/DEVELOPER
UTAH AVIATION
STEVE WILSON
801-592-9107
steve@flyutahaviation.com

ENGINEER/SURVEYOR
ATLAS ENGINEERING
801-655-0566
946 E 800 N, SUITE A
SPANISH FORK, UT 84660

LEGEND
- UTAH COUNTY MONUMENT
- FOUND MONUMENT
- SET 5/8" REBAR AND CAP
- SET CURB PLUG
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- SETBACK
- EASEMENT
- CENTERLINE
- XXX X. ADDRESSES
- 1 PROPOSED LOT NUMBERS

NORTH

(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'

SURVEYOR'S CERTIFICATE
I, MATTHEW E. JUDD DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 167268 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE

BOUNDARY DESCRIPTION
BEGINNING AT A POINT LOCATED N00°26'44"W 931.45 FEET AND WEST 1308.25 FEET FROM THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; THENCE S42°27'51"W 183.05 FEET; THENCE 200.72 FEET CURVE ALONG THE ARC OF A 238.50 FOOT RADIUS, THE CHORD BEARS S66°34'26"W 194.85 FEET; THENCE N89°18'58"W 204.05 FEET; THENCE 15.84 FEET CURVE ALONG THE ARC OF A 10.00 FOOT RADIUS, THE CHORD BEARS S45°18'49"W 14.23 FEET; THENCE S00°03'25"E 6.55 FEET; THENCE S89°56'35"W 75.50 FEET; THENCE N00°03'25"W 29.87 FEET; THENCE N89°01'14"W 156.29 FEET; THENCE N00°30'54"E 346.28 FEET; THENCE S89°29'09"E 595.05 FEET; THENCE S48°23'50"E 209.86 FEET TO THE POINT OF BEGINNING.

CONTAINING 5.42 ACRES (235,959 SQUARE FEET)

OWNER'S DEDICATION
(I)WE, ________________, ________________ BEING THE UNDERSIGNED OWNER(S) OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS(S) THIS ____ DAY OF ________________, A.D. 2026.

____
WAT DEVELOPMENT GROUP LLC STEVE WILSON, MANAGER

CORPORATE / LLC ACKNOWLEDGMENT
STATE OF UTAH
COUNTY OF UTAH } S.S.

ON THE ____ DAY OF __________, A.D. 2026 PERSONALLY APPEARED BEFORE ME ________________ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT THEY ARE THE ________ OF ________________ AND THAT SAID DOCUMENT WAS SIGNED BY THEM IN BEHALF OF SAID ________________ BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID ________ ACKNOWLEDGED TO ME THAT SAID ________ EXECUTED THE SAME.

____
A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

________________ ________________
COMMISSION NUMBER / EXPIRES PRINTED FULL NAME OF NOTARY

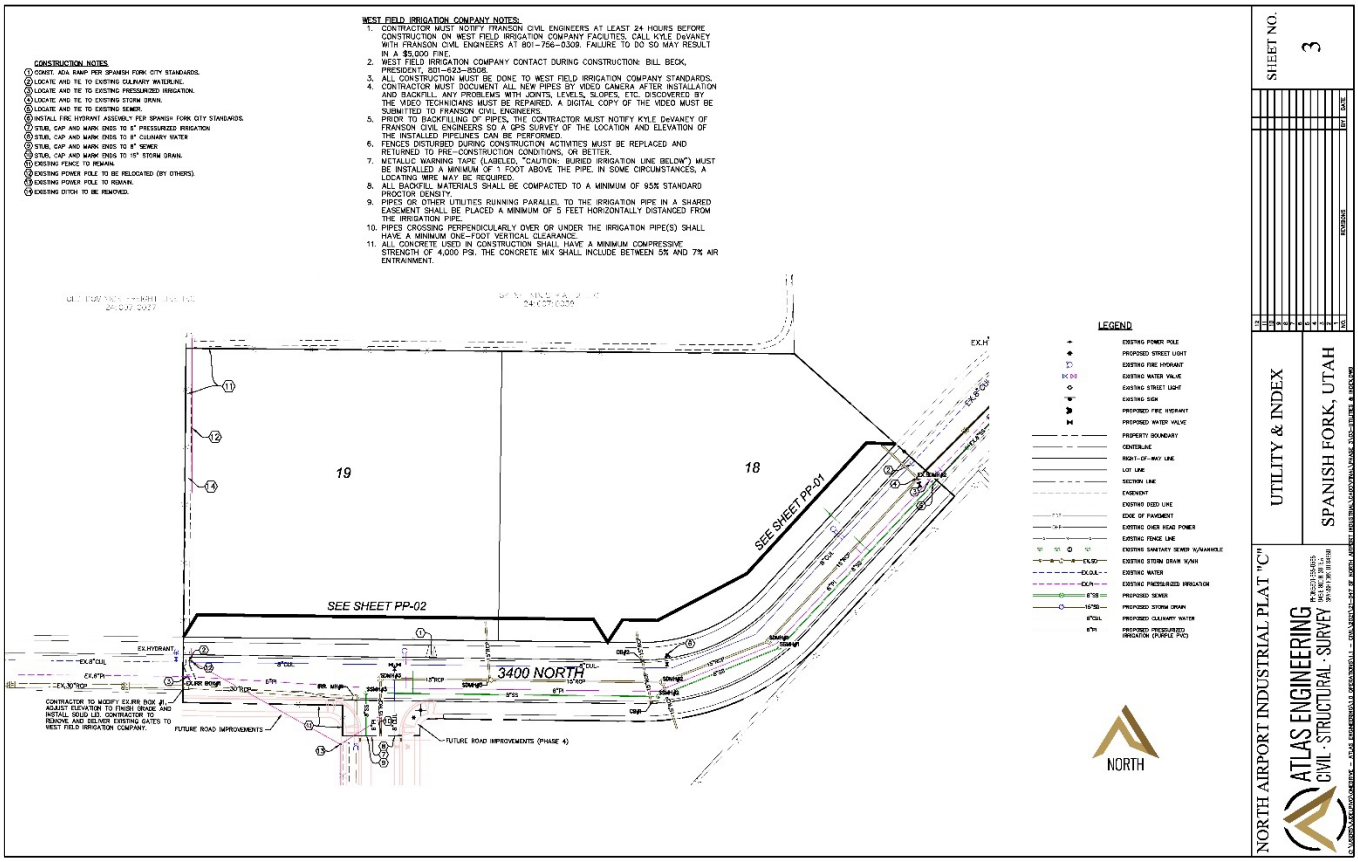
ACCEPTANCE BY LEGISLATIVE BODY
THE ________ OF ________ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ______ DAY OF _________ A.D. 2026

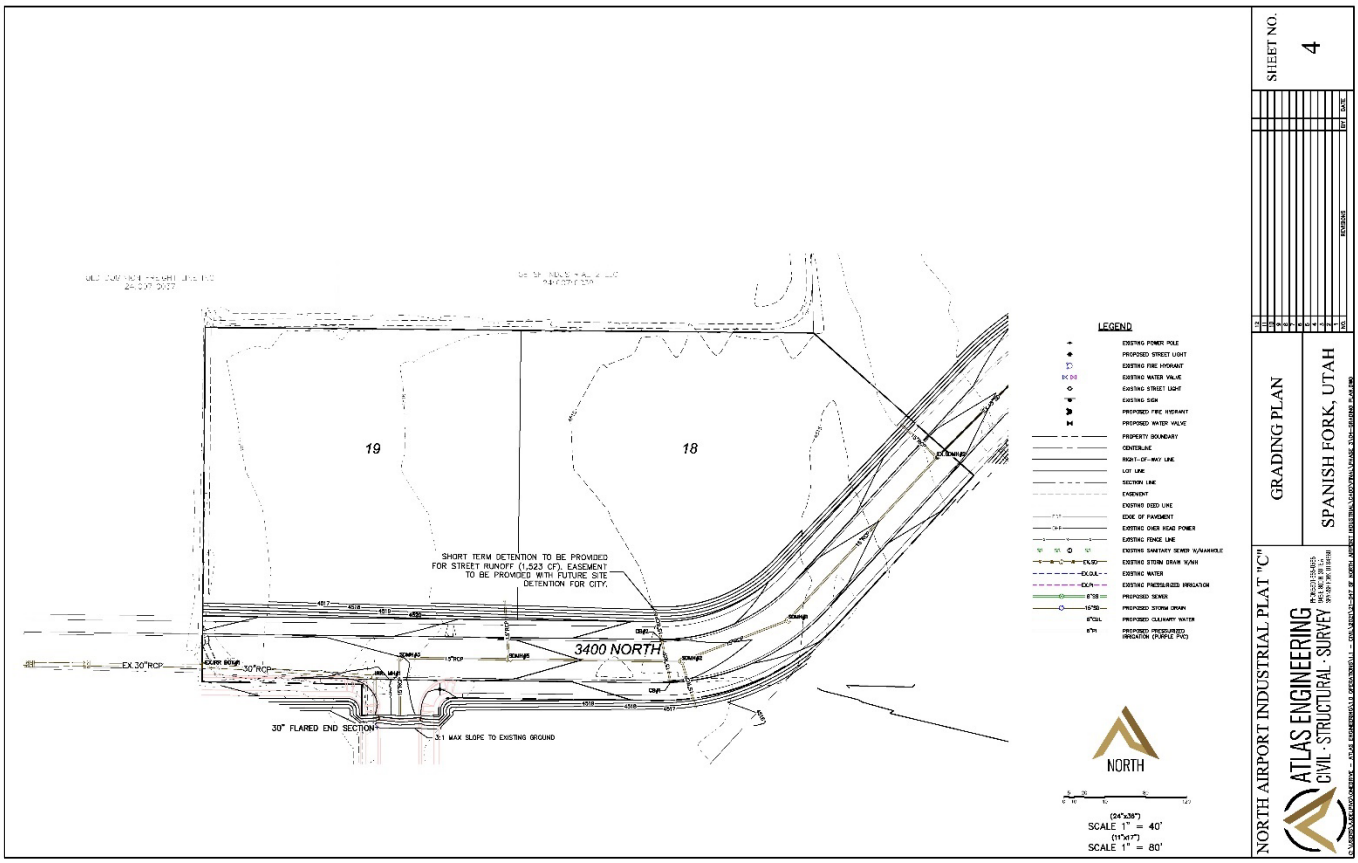
APPROVED ________________ CITY MANAGER
APPROVED ________________ CITY ATTORNEY
APPROVED ________________ ENGINEER (SEE SEAL)
ATTEST ________________ CLERK-RECORDER
APPROVED ________________ COMMUNITY DEVELOPMENT DIRECTOR

NORTH AIRPORT INDUSTRIAL PLAT "C"
AN INDUSTRIAL DEVELOPMENT
SPANISH FORK, UTAH
CONTAINING 3 LOTS AND 5.42 ACRES.
LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, OF TOWNSHIP 8 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

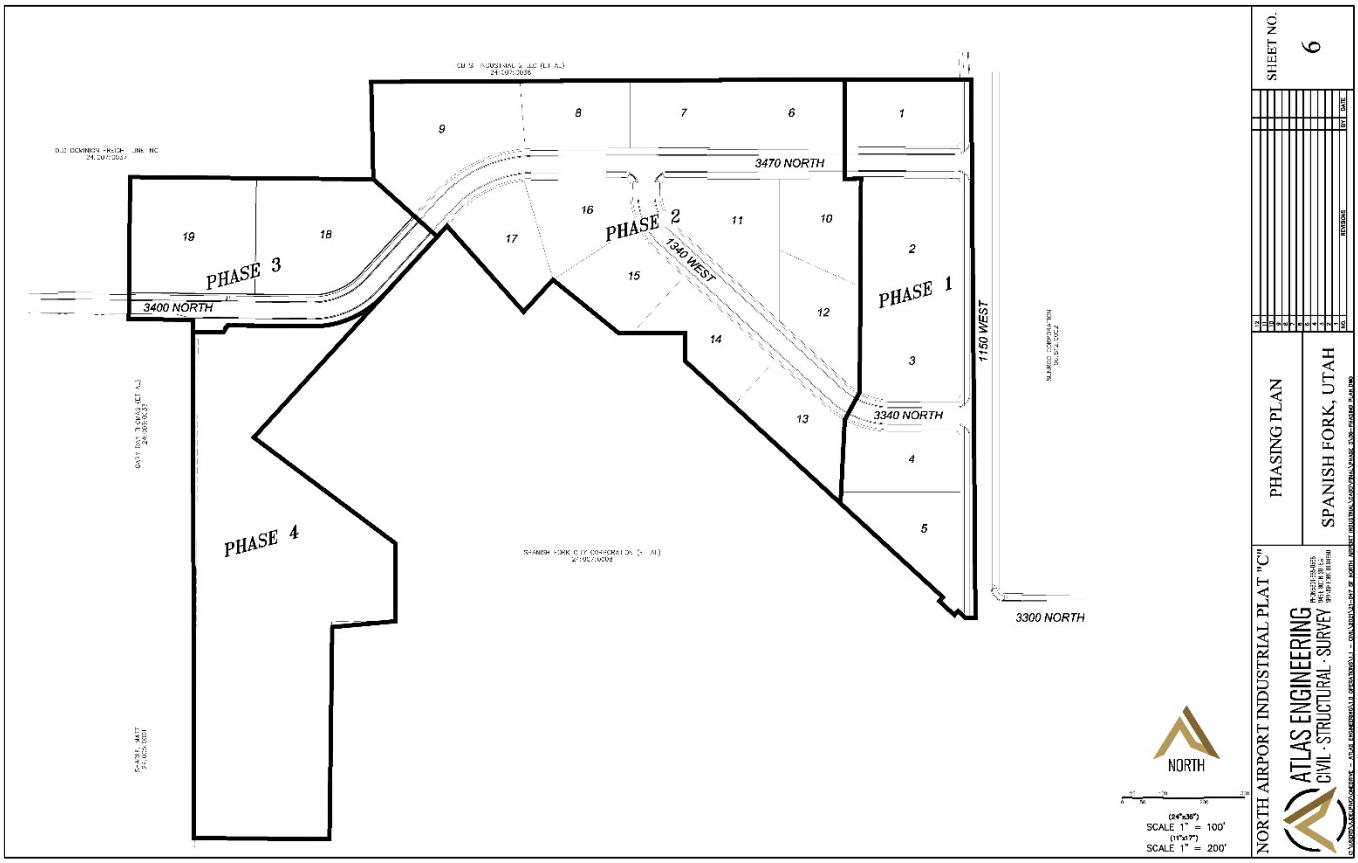
CLERK-RECORDER SEAL	SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	COUNTY RECORDER SEAL

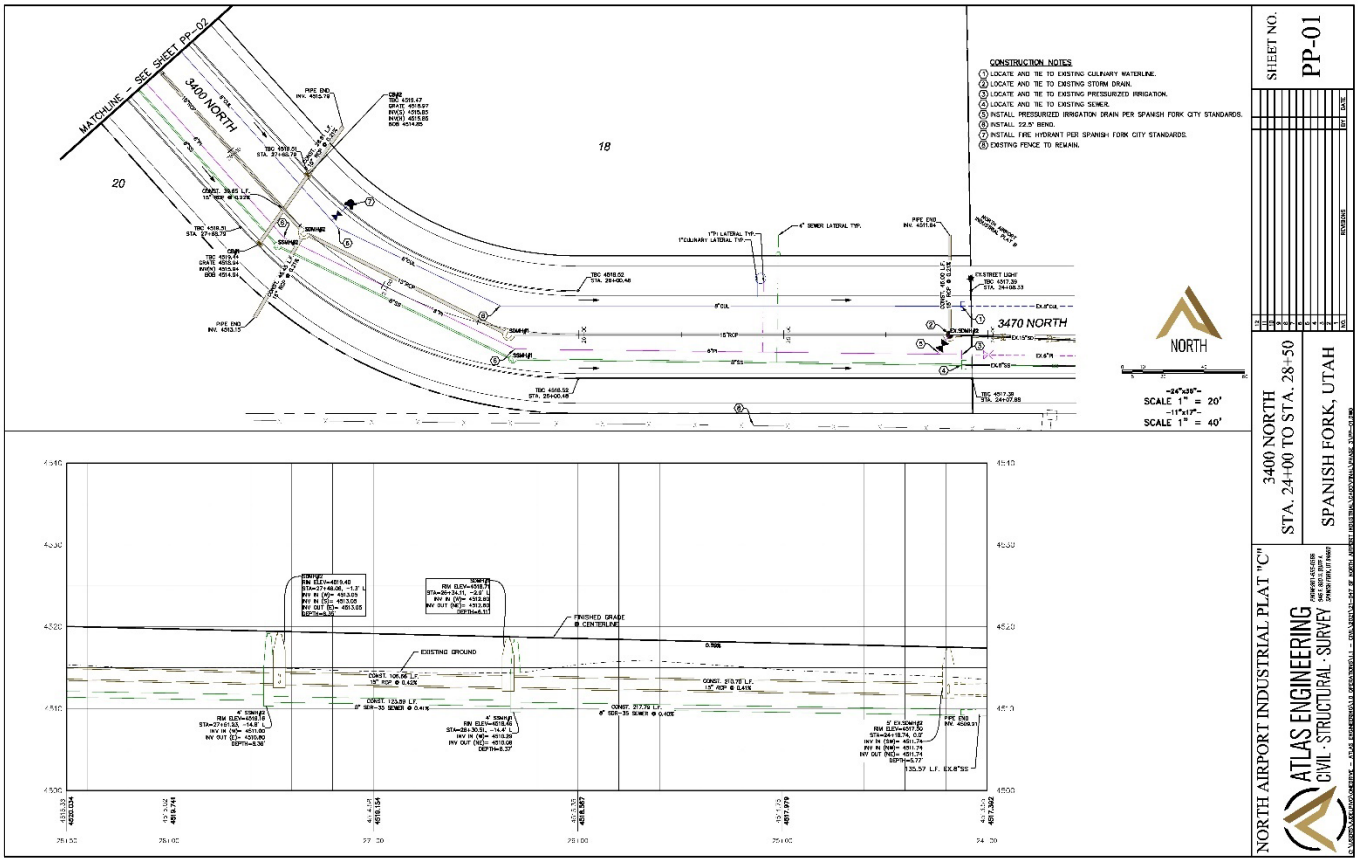
C:\USERS\AJDELPIVO\ONEDRIVE – ATLAS ENGINEERING\1.0 OPERATIONS\1.1 – CIVIL\2021\21-047 SF NORTH AIRPORT INDUSTRIAL\CADD\FINAL\PHASE 3\02-FINAL PLAT.DWG

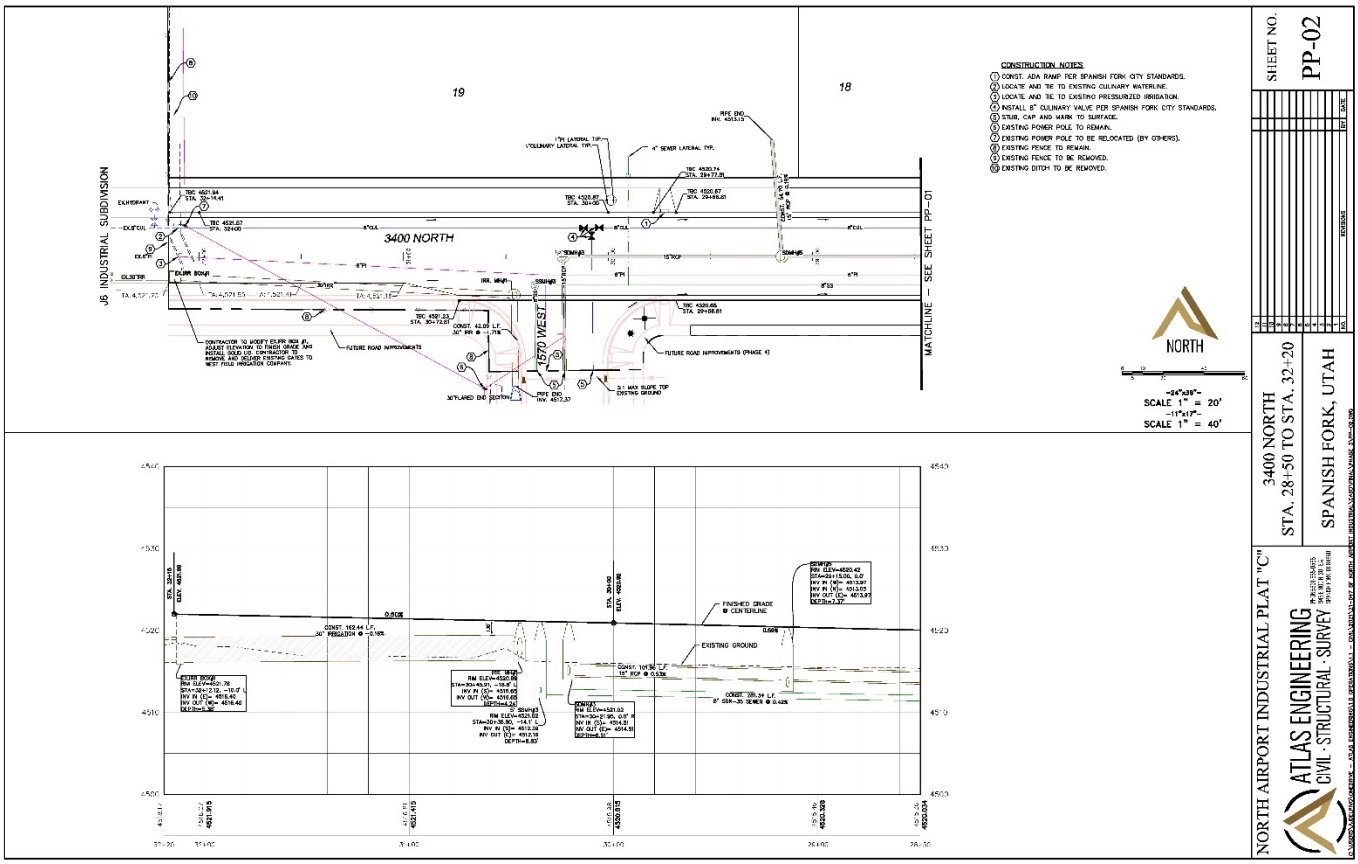

CONSTRUCTION NOTES
1 CONST. ADA RAMP PER SPANISH FORK CITY STANDARDS.
2 LOCATE AND TIE TO EXISTING CULINARY WATERLINE.
3 LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
4 LOCATE AND TIE TO EXISTING STORM DRAIN.
5 LOCATE AND TIE TO EXISTING SEWER.
6 INSTALL FIRE HYDRANT ASSEMBLY PER SPANISH FORK CITY STANDARDS.
7 STUB, CAP AND MARK ENDS TO 8" PRESSURIZED IRRIGATION
8 STUB, CAP AND MARK ENDS TO 8" CULINARY WATER
9 STUB, CAP AND MARK ENDS TO 8" SEWER
10 STUB, CAP AND MARK ENDS TO 15" STORM DRAIN.
11 EXISTING FENCE TO REMAIN.
12 EXISTING POWER POLE TO BE RELOCATED (BY OTHERS).
13 EXISTING POWER POLE TO REMAIN.
14 EXISTING DITCH TO BE REMOVED.
WEST FIELD IRRIGATION COMPANY NOTES:
1. CONTRACTOR MUST NOTIFY FRANSON CIVIL ENGINEERS AT LEAST 24 HOURS BEFORE CONSTRUCTION ON WEST FIELD IRRIGATION COMPANY FACILITIES. CALL KYLE DeVANEY WITH FRANSON CIVIL ENGINEERS AT 801-756-0309. FAILURE TO DO SO MAY RESULT IN A $5,000 FINE.
2. WEST FIELD IRRIGATION COMPANY CONTACT DURING CONSTRUCTION: BILL BECK, PRESIDENT, 801-623-3508.
3. ALL CONSTRUCTION MUST BE DONE TO WEST FIELD IRRIGATION COMPANY STANDARDS.
4. CONTRACTOR MUST DOCUMENT ALL NEW PIPES BY VIDEO CAMERA AFTER INSTALLATION AND BACKFILL. ANY PROBLEMS WITH JOINTS, LEVELS, SLOPES, ETC. DISCOVERED BY THE VIDEO TECHNICIANS MUST BE REPAIRED. A DIGITAL COPY OF THE VIDEO MUST BE SUBMITTED TO FRANSON CIVIL ENGINEERS.
5. PRIOR TO BACKFILLING OF PIPES, THE CONTRACTOR MUST NOTIFY KYLE DeVANEY OF FRANSON CIVIL ENGINEERS SO A GPS SURVEY OF THE LOCATION AND ELEVATION OF THE INSTALLED PIPELINES CAN BE PERFORMED.
6. FENCES DISTURBED DURING CONSTRUCTION ACTIVITIES MUST BE REPLACED AND RETURNED TO PRE-CONSTRUCTION CONDITIONS, OR BETTER.
7. METALLIC WARNING TAPE (LABELED, "CAUTION: BURIED IRRIGATION LINE BELOW") MUST BE INSTALLED A MINIMUM OF 1 FOOT ABOVE THE PIPE. IN SOME CIRCUMSTANCES, A LOCATING WIRE MAY BE REQUIRED.
8. ALL BACKFILL MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
9. PIPES OR OTHER UTILITIES RUNNING PARALLEL TO THE IRRIGATION PIPE IN A SHARED EASEMENT SHALL BE PLACED A MINIMUM OF 5 FEET HORIZONTALLY DISTANCED FROM THE IRRIGATION PIPE.
10. PIPES CROSSING PERPENDICULARLY OVER OR UNDER THE IRRIGATION PIPE(S) SHALL HAVE A MINIMUM ONE-FOOT VERTICAL CLEARANCE.
11. ALL CONCRETE USED IN CONSTRUCTION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI. THE CONCRETE MIX SHALL INCLUDE BETWEEN 5% AND 7% AIR ENTRAINMENT.
19
18
SEE SHEET PP-01
SEE SHEET PP-02
3400 NORTH
EX.HYDRANT
EX.8"CUL
EX.8"P
EX.30"RCP
CONTRACTOR TO MODIFY EXJRB BOX #1 - ADJUST ELEVATION TO FINISH GRADE AND INSTALL SOLID LID. CONTRACTOR TO REMOVE AND RELINSH EXISTING GATES TO WEST FIELD IRRIGATION COMPANY.
FUTURE ROAD IMPROVEMENTS
FUTURE ROAD IMPROVEMENTS (PHASE 4)
LEGEND
EXISTING POWER POLE
PROPOSED STREET LIGHT
EXISTING FIRE HYDRANT
EXISTING WATER VALVE
EXISTING STREET LIGHT
EXISTING SIGN
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPERTY BOUNDARY
CENTERLINE
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE
EASEMENT
EXISTING DEED LINE
EDGE OF PAVEMENT
EXISTING OHP
EXISTING FENCE LINE
EXISTING SANITARY SEWER W/MANHOLE
EXISTING STORM DRAIN W/MH
EXISTING WATER
EXISTING PRESSURIZED IRRIGATION
PROPOSED SEWER
PROPOSED STORM DRAIN
PROPOSED CULINARY WATER
PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
NORTH
SHEET NO. 3
UTILITY & INDEX
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

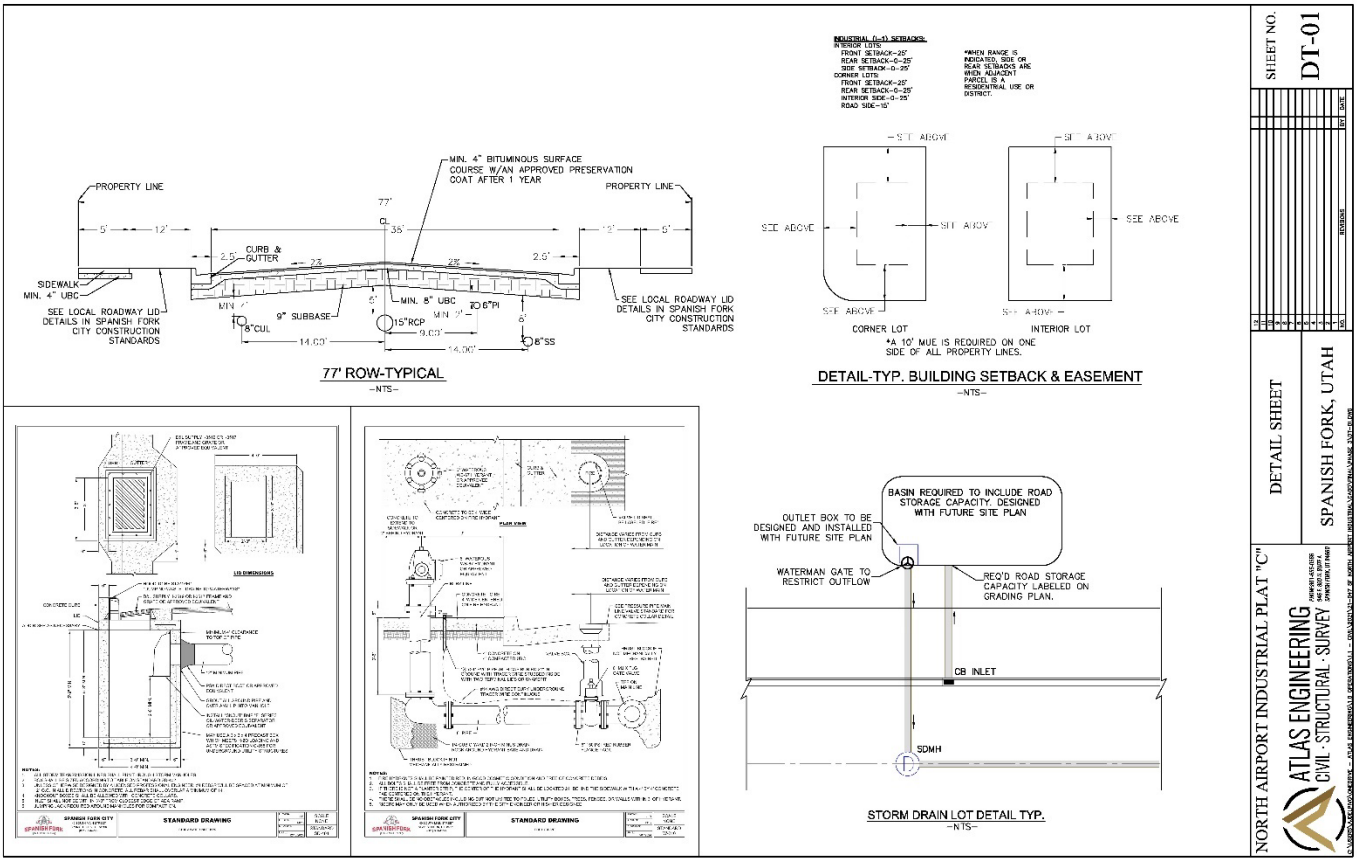

19
18
SHORT TERM DETENTION TO BE PROVIDED FOR STREET RUNOFF (1,523 CF). EASEMENT TO BE PROVIDED WITH FUTURE SITE DETENTION FOR CITY.
3400 NORTH
EX.30"RCP
30" FLARED END SECTION
3:1 MAX SLOPE TO EXISTING GROUND
LEGEND
EXISTING POWER POLE
PROPOSED STREET LIGHT
EXISTING FIRE HYDRANT
EXISTING WATER VALVE
EXISTING STREET LIGHT
EXISTING SIGN
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPERTY BOUNDARY
CENTERLINE
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE
EASEMENT
EXISTING DEED LINE
EDGE OF PAVEMENT
EXISTING OHP
EXISTING FENCE LINE
EXISTING SANITARY SEWER W/MANHOLE
EXISTING STORM DRAIN W/MH
EXISTING WATER
EXISTING PRESSURIZED IRRIGATION
PROPOSED SEWER
PROPOSED STORM DRAIN
PROPOSED CULINARY WATER
PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
NORTH
(24"x36") SCALE 1" = 40'
(11"x17") SCALE 1" = 80'
SHEET NO. 4
GRADING PLAN
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

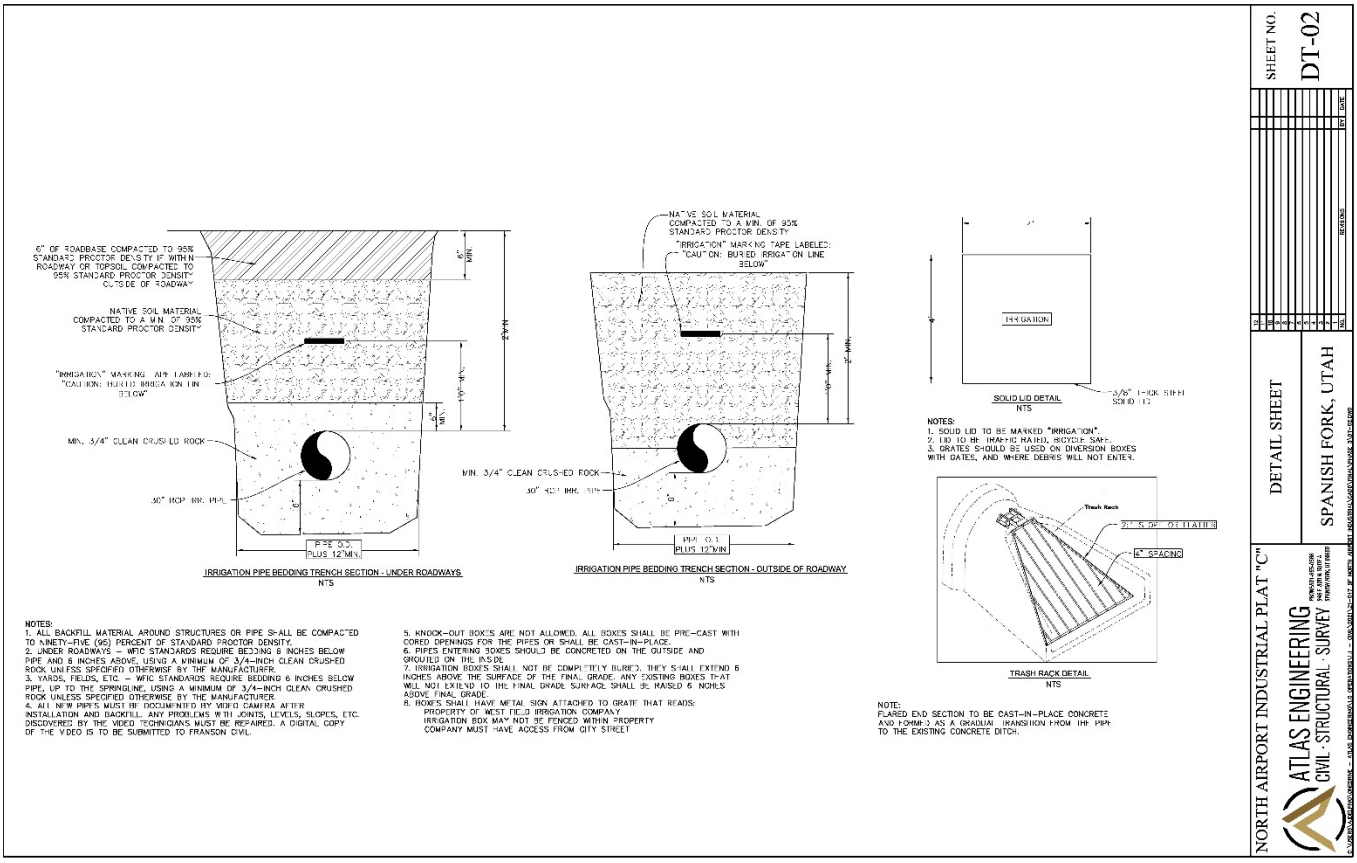

CONSTRUCTION NOTES
1 EXISTING DITCH TO BE REMOVED.
2 EXISTING FENCE TO REMAIN.
3 EXISTING POWER POLE TO REMAIN.
4 EXISTING POWER POLE TO BE RELOCATED.
5 EXISTING DITCH TO BE PIPED.
EX.HYDRANT
EX.8"CUL
EX.6"PI
EX.30"IRR
EX.IRR.BOX
EX.SDMH
NORTH
LEGEND
EXISTING POWER POLE
PROPOSED STREET LIGHT
EXISTING FIRE HYDRANT
EXISTING WATER VALVE
EXISTING STREET LIGHT
EXISTING SIGN
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPERTY BOUNDARY
CENTERLINE
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE
EASEMENT
EXISTING DEED LINE
EDGE OF PAVEMENT
EXISTING OVER HEAD POWER
EXISTING FENCE LINE
EXISTING SANITARY SEWER W/MANHOLE
EXISTING STORM DRAIN W/MH
EXISTING WATER
EXISTING PRESSURIZED IRRIGATION
PROPOSED SEWER
PROPOSED STORM DRAIN
PROPOSED CULINARY WATER
PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)
SHEET NO. 5
EXISTING TOPOGRAPHY
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY


PHASE 1
PHASE 2
PHASE 3
PHASE 4
3470 NORTH
3400 NORTH
3340 NORTH
3300 NORTH
1340 WEST
1150 WEST
NORTH
(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'
SHEET NO. 6
PHASING PLAN
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY


MATCHLINE – SEE SHEET PP-02
3400 NORTH
20
18
3470 NORTH
CONSTRUCTION NOTES
1 LOCATE AND TIE TO EXISTING CULINARY WATERLINE.
2 LOCATE AND TIE TO EXISTING STORM DRAIN.
3 LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
4 LOCATE AND TIE TO EXISTING SEWER.
5 INSTALL PRESSURIZED IRRIGATION DRAIN PER SPANISH FORK CITY STANDARDS.
6 INSTALL 22.5° BEND.
7 INSTALL FIRE HYDRANT PER SPANISH FORK CITY STANDARDS.
8 EXISTING FENCE TO REMAIN.
NORTH
SCALE 1" = 20'
SCALE 1" = 40'
FINISHED GRADE
EXISTING GROUND
SHEET NO.
PP-01
3400 NORTH
STA. 24+00 TO STA. 28+50
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY


J6 INDUSTRIAL SUBDIVISION
19
18
3400 NORTH
1570 WEST
MATCHLINE – SEE SHEET PP-01
CONSTRUCTION NOTES
1 CONST. ADA RAMP PER SPANISH FORK CITY STANDARDS.
2 LOCATE AND TIE TO EXISTING CULINARY WATERLINE.
3 LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
4 INSTALL 8" CULINARY VALVE PER SPANISH FORK CITY STANDARDS.
5 STUB, CAP AND MARK TO SURFACE.
6 EXISTING POWER POLE TO REMAIN.
7 EXISTING POWER POLE TO BE RELOCATED (BY OTHERS).
8 EXISTING FENCE TO REMAIN.
9 EXISTING FENCE TO BE REMOVED.
10 EXISTING DITCH TO BE REMOVED.
NORTH
SCALE 1" = 20'
SCALE 1" = 40'
FINISHED GRADE
EXISTING GROUND
SHEET NO.
PP-02
3400 NORTH
STA. 28+50 TO STA. 32+20
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY


PROPERTY LINE
MIN. 4" BITUMINOUS SURFACE COURSE W/AN APPROVED PRESERVATION COAT AFTER 1 YEAR
PROPERTY LINE
CURB & GUTTER
SIDEWALK
MIN. 4" UBC
SEE LOCAL ROADWAY LID DETAILS IN SPANISH FORK CITY CONSTRUCTION STANDARDS
9" SUBBASE
8"CUL
15"RCP
MIN. 8" UBC
8"SS
SEE LOCAL ROADWAY LID DETAILS IN SPANISH FORK CITY CONSTRUCTION STANDARDS
77' ROW-TYPICAL
-NTS-
INDUSTRIAL (I-1) SETBACKS:
INTERIOR LOTS
FRONT SETBACK-25'
REAR SETBACK-0-25'
SIDE SETBACK-0-25'
CORNER LOTS
FRONT SETBACK-25'
REAR SETBACK-0-25'
INTERIOR SIDE-0-25'
ROAD SIDE-15'
*WHEN RANGE IS INDICATED, SIDE OR REAR SETBACKS ARE WHEN ADJACENT PARCEL IS A RESIDENTIAL USE OR DISTRICT.
SEE ABOVE
CORNER LOT
INTERIOR LOT
*A 10' MUE IS REQUIRED ON ONE SIDE OF ALL PROPERTY LINES.
DETAIL-TYP. BUILDING SETBACK & EASEMENT
-NTS-
BASIN REQUIRED TO INCLUDE ROAD STORAGE CAPACITY DESIGNED WITH FUTURE SITE PLAN
OUTLET BOX TO BE DESIGNED AND INSTALLED WITH FUTURE SITE PLAN
WATERMAN GATE TO RESTRICT OUTFLOW
REQ'D ROAD STORAGE CAPACITY LABELED ON GRADING PLAN.
CB INLET
SDMH
STORM DRAIN LOT DETAIL TYP.
-NTS-
SHEET NO.
DT-01
DETAIL SHEET
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY


6" OF ROADBASE COMPACTED TO 95% STANDARD PROCTOR DENSITY IF WITHIN ROADWAY OR TOPSOIL COMPACTED TO 95% STANDARD PROCTOR DENSITY OUTSIDE OF ROADWAY
NATIVE SOIL MATERIAL COMPACTED TO A MIN. OF 95% STANDARD PROCTOR DENSITY
"IRRIGATION" MARKING TAPE LABELED: "CAUTION: BURIED IRRIGATION LINE BELOW"
MIN. 3/4" CLEAN CRUSHED ROCK
90° RCP INR. PIPE
PIPE O.D. PLUS 12" MIN.
IRRIGATION PIPE BEDDING TRENCH SECTION - UNDER ROADWAYS
NTS
NATIVE SOIL MATERIAL COMPACTED TO A MIN. OF 95% STANDARD PROCTOR DENSITY
"IRRIGATION" MARKING TAPE LABELED: "CAUTION: BURIED IRRIGATION LINE BELOW"
MIN. 3/4" CLEAN CRUSHED ROCK
90° RCP INR. PIPE
PIPE O.D. PLUS 12" MIN
IRRIGATION PIPE BEDDING TRENCH SECTION - OUTSIDE OF ROADWAY
NTS
IRRIGATION
SOLID LID DETAIL
NTS
NOTES:
1. SOLID LID TO BE MARKED "IRRIGATION".
2. LID TO BE TRAFFIC RATED, BRYCE SAFE.
3. GRATES SHOULD BE USED ON DIVERSION BOXES WITH GATES, AND WHERE DEBRIS WILL NOT ENTER.
Trash Rack
2" SPACING
TRASH RACK DETAIL
NTS
NOTES:
1. ALL BACKFILL MATERIAL AROUND STRUCTURES OR PIPE SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF STANDARD PROCTOR DENSITY.
2. UNDER ROADWAYS – WHERE STANDARDS REQUIRE BEDDING 6 INCHES BELOW PIPE AND 6 INCHES ABOVE, USING A MINIMUM OF 3/4-INCH CLEAN CRUSHED ROCK UNLESS SPECIFIED OTHERWISE BY THE MANUFACTURER.
3. YARDS, FIELDS, ETC. – WHERE STANDARDS REQUIRE BEDDING 6 INCHES BELOW PIPE, UP TO THE SPRINGLINE, USING A MINIMUM OF 3/4-INCH CLEAN CRUSHED ROCK UNLESS SPECIFIED OTHERWISE BY THE MANUFACTURER.
4. ALL NEW PIPES MUST BE DOCUMENTED BY VIDEO CAMERA AFTER INSTALLATION AND BACKFILL. ANY PROBLEMS WITH JOINTS, LEVELS, SLOPES, ETC. DISCOVERED BY THE VIDEO TECHNICIANS MUST BE REPAIRED. A DIGITAL COPY OF THE VIDEO IS TO BE SUBMITTED TO FRANSON CIVIL.
5. KNOCK-OUT BOXES ARE NOT ALLOWED. ALL BOXES SHALL BE PRE-CAST WITH CORED OPENINGS FOR THE PIPES OR SHALL BE CAST-IN-PLACE.
6. PIPES ENTERING BOXES SHOULD BE CONCRETED ON THE OUTSIDE AND GROUTED ON THE INSIDE.
7. IRRIGATION BOXES SHALL NOT BE COMPLETELY BURIED. THEY SHALL EXTEND 6 INCHES ABOVE THE SURFACE OF THE FINAL GRADE. ANY EXISTING BOXES THAT WILL NOT EXTEND TO THE FINAL GRADE SURFACE SHALL BE RAISED 6 INCHES ABOVE FINAL GRADE.
8. BOXES SHALL HAVE METAL SIGN ATTACHED TO GRATE THAT READS: PROPERTY OF WEST FIELD IRRIGATION COMPANY IRRIGATION BOX MAY NOT BE FENCED WITHIN PROPERTY COMPANY MUST HAVE ACCESS FROM CITY STREET
NOTE:
FLARED END SECTION TO BE CAST-IN-PLACE CONCRETE AND FORMED AS A GRADUAL TRANSITION FROM THE PIPE TO THE EXISTING CONCRETE DITCH.
SHEET NO.
DT-02
DETAIL SHEET
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL PLAT "C"
ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

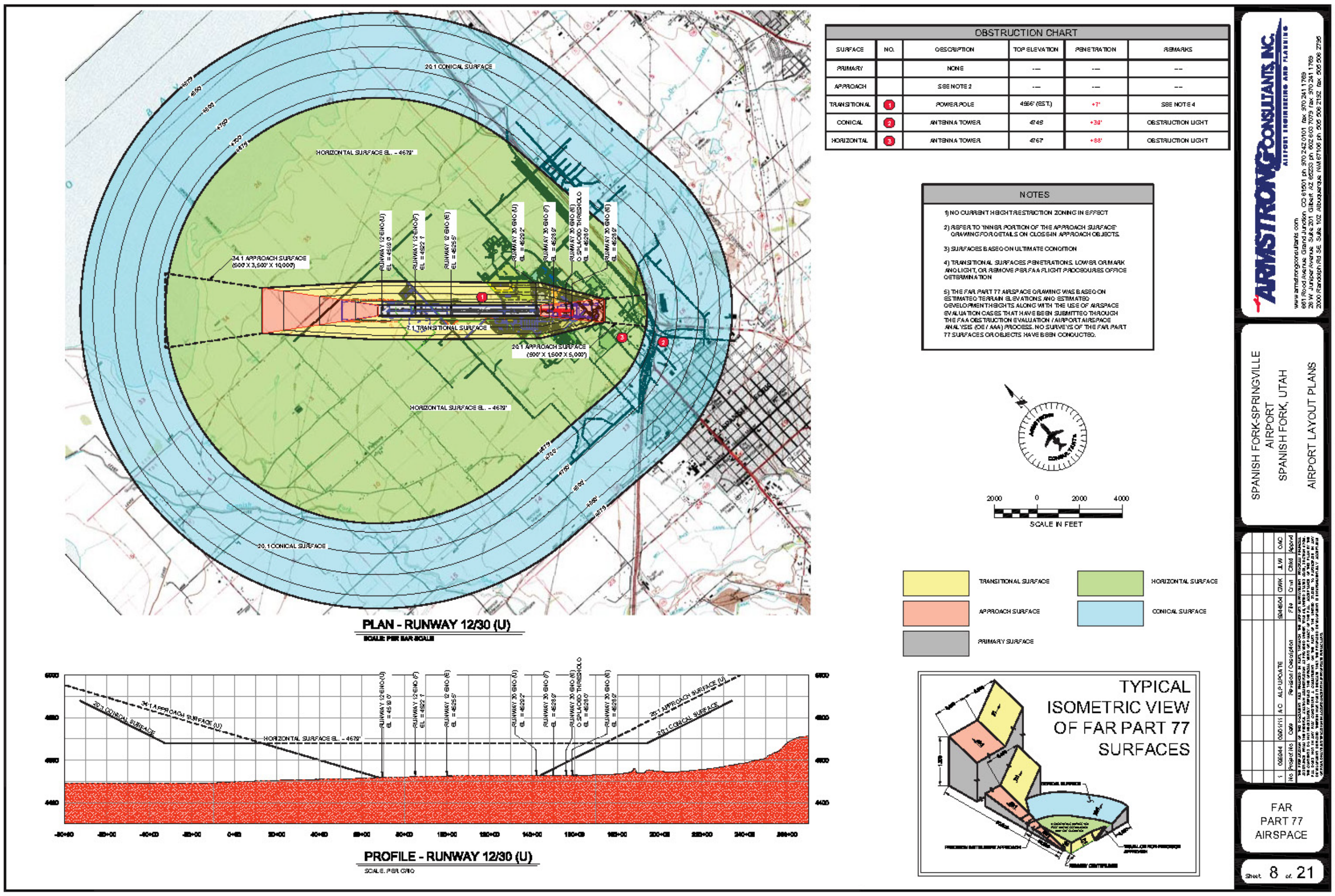
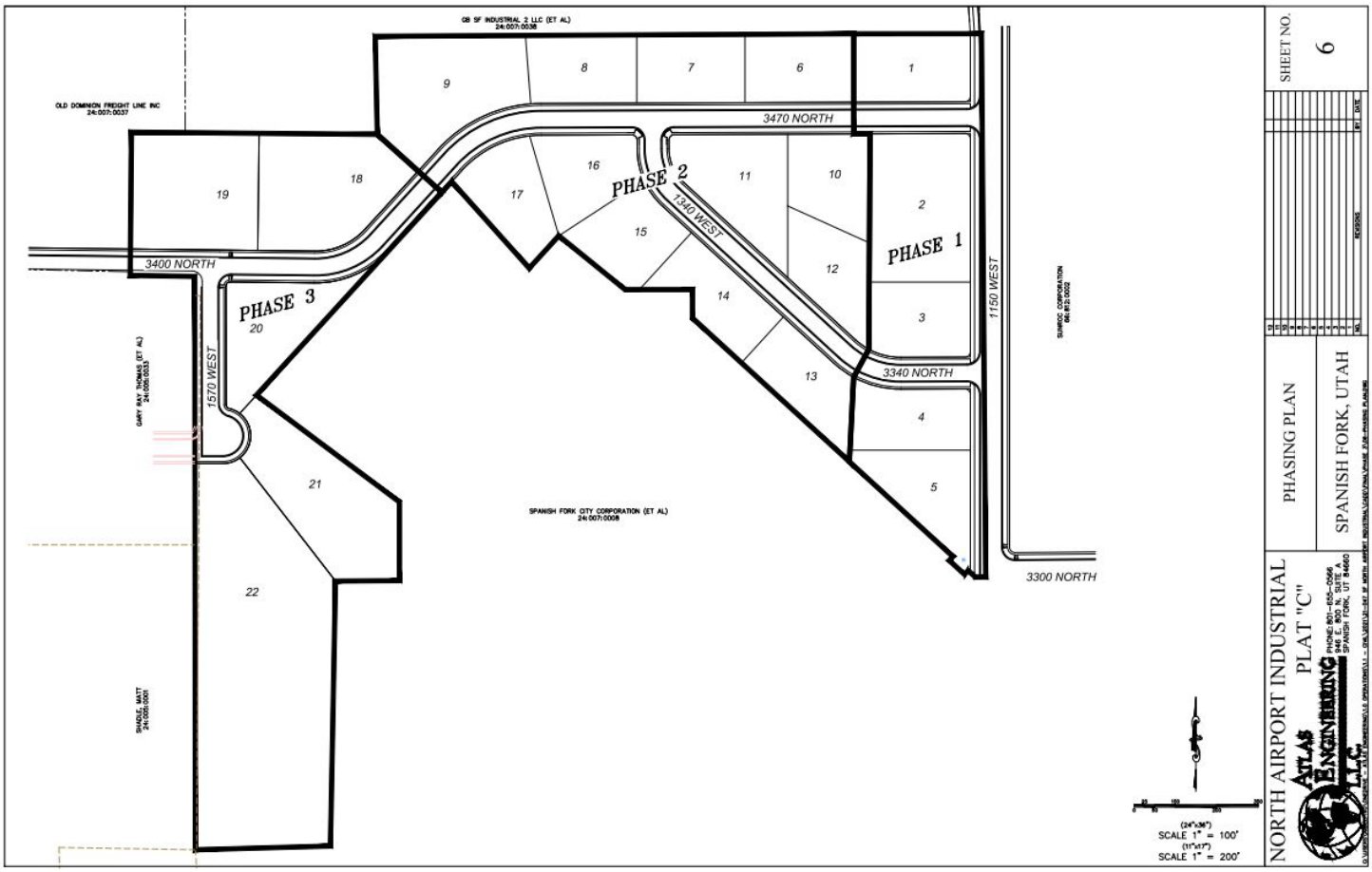
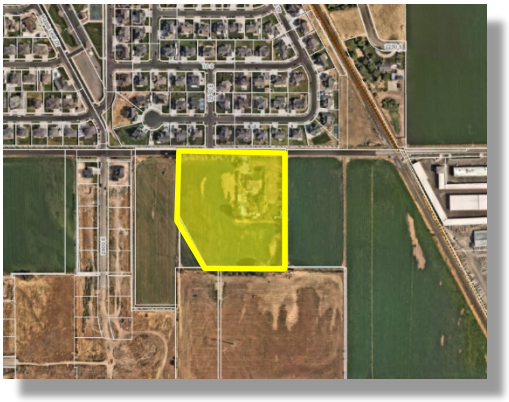

OBSTRUCTION CHART
SURFACE | NO. | DESCRIPTION | TOP ELEVATION | PENETRATION | REMARKS
PRIMARY | | NONE | --- | --- | ---
APPROACH | | SEE NOTE 2 | --- | --- | ---
TRANSITIONAL | 1 | POWER POLE | 4596' (EST.) | +7' | SEE NOTE 4
CONICAL | 2 | ANTENNA TOWER | 4749 | +39' | OBSTRUCTION LIGHT
HORIZONTAL | 3 | ANTENNA TOWER | 4767 | +88' | OBSTRUCTION LIGHT
NOTES
1) NO CURRENT HEIGHT RESTRICTION ZONING IN EFFECT
2) REFER TO 'INNER PORTION OF THE APPROACH SURFACE' DRAWING FOR DETAILS ON CLOSE-IN APPROACH OBJECTS.
3) SURFACES BASED ON ULTIMATE CONDITION
4) TRANSITIONAL SURFACES PENETRATIONS. LOWER OR MARK AND LIGHT, OR REMOVE PER FAA FLIGHT PROCEDURES OFFICE DETERMINATION
5) THE FAR PART 77 AIRSPACE DRAWING WAS BASED ON ESTIMATED TERRAIN ELEVATIONS AND ESTIMATED DEVELOPMENT HEIGHTS ALONG WITH THE USE OF AIRSPACE EVALUATION CASES THAT HAVE BEEN SUBMITTED THROUGH THE FAA OBSTRUCTION EVALUATION / AIRPORT AIRSPACE ANALYSIS (OE / AAA) PROCESS. NO SURVEYS OF THE FAR PART 77 SURFACES OR OBJECTS HAVE BEEN CONDUCTED.
20:1 CONICAL SURFACE
HORIZONTAL SURFACE EL. - 4679'
34:1 APPROACH SURFACE (500' X 3,500' X 10,000')
7:1 TRANSITIONAL SURFACE
20:1 APPROACH SURFACE (500' X 1,500' X 5,000')
PLAN - RUNWAY 12/30 (U)
SCALE: PER BAR SCALE
2000 0 2000 4000
SCALE IN FEET
TRANSITIONAL SURFACE
HORIZONTAL SURFACE
APPROACH SURFACE
CONICAL SURFACE
PRIMARY SURFACE
PROFILE - RUNWAY 12/30 (U)
SCALE: PER GRID
TYPICAL ISOMETRIC VIEW OF FAR PART 77 SURFACES
ARMSTRONG CONSULTANTS, INC.
AIRPORT ENGINEERING AND PLANNING
SPANISH FORK-SPRINGVILLE AIRPORT
SPANISH FORK, UTAH
AIRPORT LAYOUT PLANS
FAR PART 77 AIRSPACE
Sheet 8 of 21

EXHIBIT 3


GB SF INDUSTRIAL 2 LLC (ET AL)
24:007:0038
OLD DOMINION FREIGHT LINE INC
24:007:0037
3470 NORTH
PHASE 2
1340 WEST
PHASE 1
1150 WEST
3400 NORTH
PHASE 3
1570 WEST
3340 NORTH
3300 NORTH
SPANISH FORK CITY CORPORATION (ET AL)
24:007:0008
SCALE 1" = 100'
SCALE 1" = 200'
SHEET NO. 6
PHASING PLAN
SPANISH FORK, UTAH
NORTH AIRPORT INDUSTRIAL
PLAT "C"
ATLAS ENGINEERING

SPANISH FORK COMMUNITY DEVELOPMENT

Goodwin Acres Plat A
Final Plat (Reapproval)
2976 East 100 South
8.6 acres
R-1-15 Zone with MPD Overlay
Estate Density Residential General Plan Designation



PROPOSAL

The Applicant submitted an application for Final Plat Reapproval for a 14-lot single-family residential subdivision. The DRC approved a Final Plat for this subdivision on February 12, 2025. The Applicant provided Staff with landscape plans with the original application that shows trees and plants that will be installed along 100 South.

STAFF RECOMMENDATION

That the proposed Goodwin Acres Plat A Final Plat Reapproval be approved based on the following findings and subject to the following conditions:

Findings

1. That the proposal conforms to the City's General Plan Designation, Zoning Map, and Master Planned Development Overlay.
2. That the submitted plans are consistent with the approved preliminary plat.

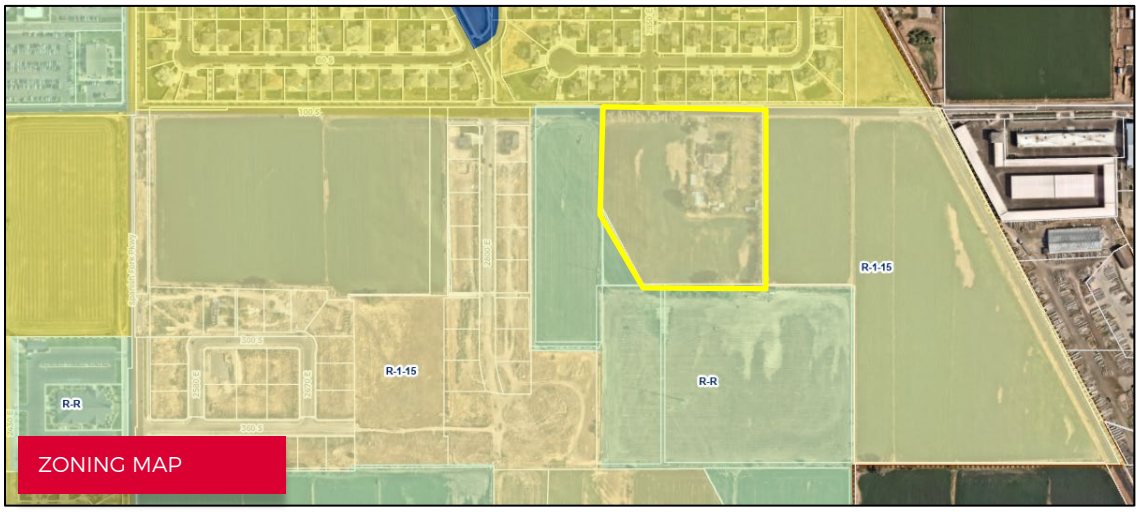
Conditions

1. That the Applicant meets the City's development and construction standards and other applicable City ordinances.
2. That the Applicant follows the submitted street tree and landscape plans submitted with the original Final Plat application.
3. That all remaining redlines are addressed by the Applicant.
4. That the remaining fees are paid prior to recording the plat.

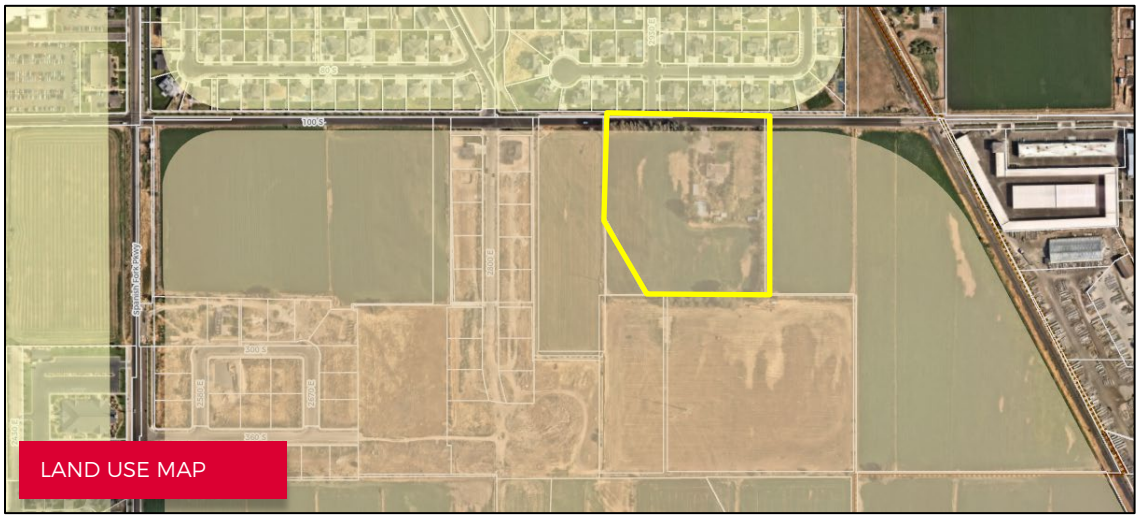
EXHIBITS

1. Area Maps
2. Subdivision Plat
3. Landscape Plan
4. Street Tree Plan

EXHIBIT 1



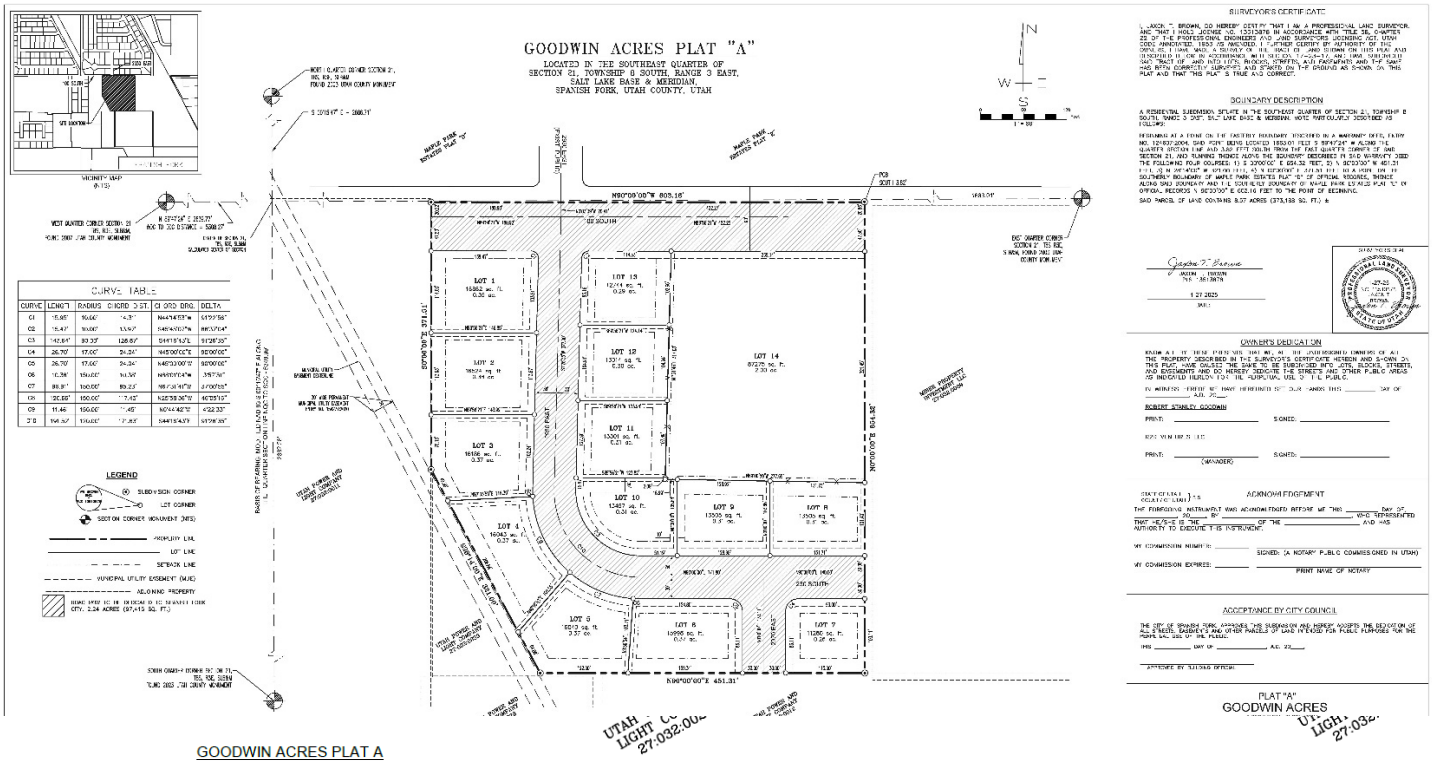
ZONING MAP



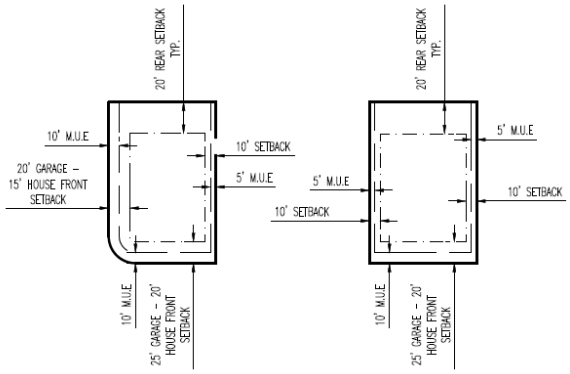
LAND USE MAP

AERIAL MAP

EXHIBIT 2



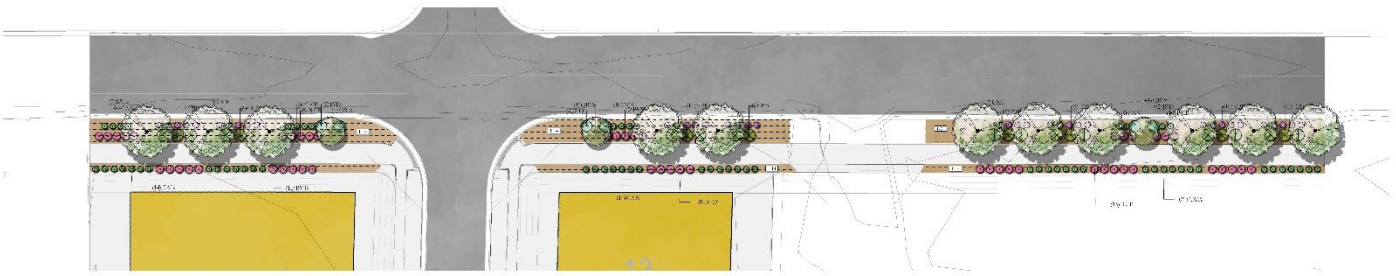
GOODWIN ACRES PLAT A
TYPICAL BUILDING SETBACK &
MUNICIPAL UTILITY EASEMENTS
SINGLE FAMILY LOTS



NOTES:

1. PROJECT BENCHMARK IS THE SOUTH QUARTER CORNER OF SECTION 21, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SLB&M. GEOID 18 NAVD88 ELEV=4747.99'
2. PROJECT WILL BE CONSTRUCTED IN ONE PHASE.
3. ZONE = R-1-15 MASTER DEVELOPMENT PLAN
4. 2.13 UNITS PER ACRE.
5. AVERAGE LOT SIZE = 15,325 SQ. FT.
6. ALL DRINKING WATER AND PRESSURIZED IRRIGATION LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRIC METERS, AND ALL ELECTRIC AND SFCN COMMUNICATION SERVICE LINES UP TO THE MAST ON OVERHEAD INSTALLATIONS AND TO THE TOP OF THE METER BASE FOR UNDERGROUND INSTALLATIONS ARE DEDICATED TO SPANISH FORK CITY
7. THIS SUBDIVISION IS A MASTER PLANNED DEVELOPMENT PER SPANISH FORK MUNICIPAL CODE 15.3.20.080. HOME ELEVATIONS AND MASTER PLANNED DEVELOPMENT STANDARDS TO BE REVIEWED AT TIME OF BUILDING PERMITS. PLEASE REFER TO REQUIREMENTS IN MUNICIPAL CODE 15.3.20.080-B-3 ARCHITECTURE.
8. THIS SUBDIVISION IS TO FOLLOW THE APPROVED STREET TREE PLANTING PLAN SUBMITTED WITH THE PLAT AND ALL ASSOCIATED TREE PLANTING REQUIREMENTS. STREET TREES IN MASTER PLANNED DEVELOPMENTS SHALL BE INSTALLED PRIOR TO A CERTIFICATE OF OCCUPANCY BEING GRANTED FOR THE ADJACENT LOT UNLESS PROVISIONS ARE MADE FOR THE DEVELOPER TO PROVIDE FINANCIAL ASSURANCE TO THE CITY THAT THE TREES WILL BE INSTALLED AT A LATER TIME.
9. ALL MUNICIPAL UTILITY EASEMENTS PLATTED HEREON ARE IN PERPETUITY FOR INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF PUBLIC UTILITIES, PUBLIC WALLS, FENCES, SIDEWALKS, TRAILS, AND APPURTENANT PARTS THEREOF AND THE RIGHT TO REASONABLE ACCESS TO GRANTOR'S EASEMENT SHALL RUN WITH THE REAL PROPERTY AND SHALL BE BINDING UPON THE GRANTOR AND THE GRANTOR'S SUCCESSORS, HEIRS AND ASSIGNS.

EXHIBIT 3



PLANT LEGEND

(NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
DECIDUOUS TREES					
	QR'A	3	Quercus robur x alba `JFS-KW1QX` TM Street Spire Oak Td4; 45x14; AV 176; sun; z4	B & B	2"Cal
	UX'F	14	Ulmus x `Frontier` Frontier Elm Td3; 35x25; AV 490; sun; z4; Utah Lake water tolerant	B & B	2"Cal

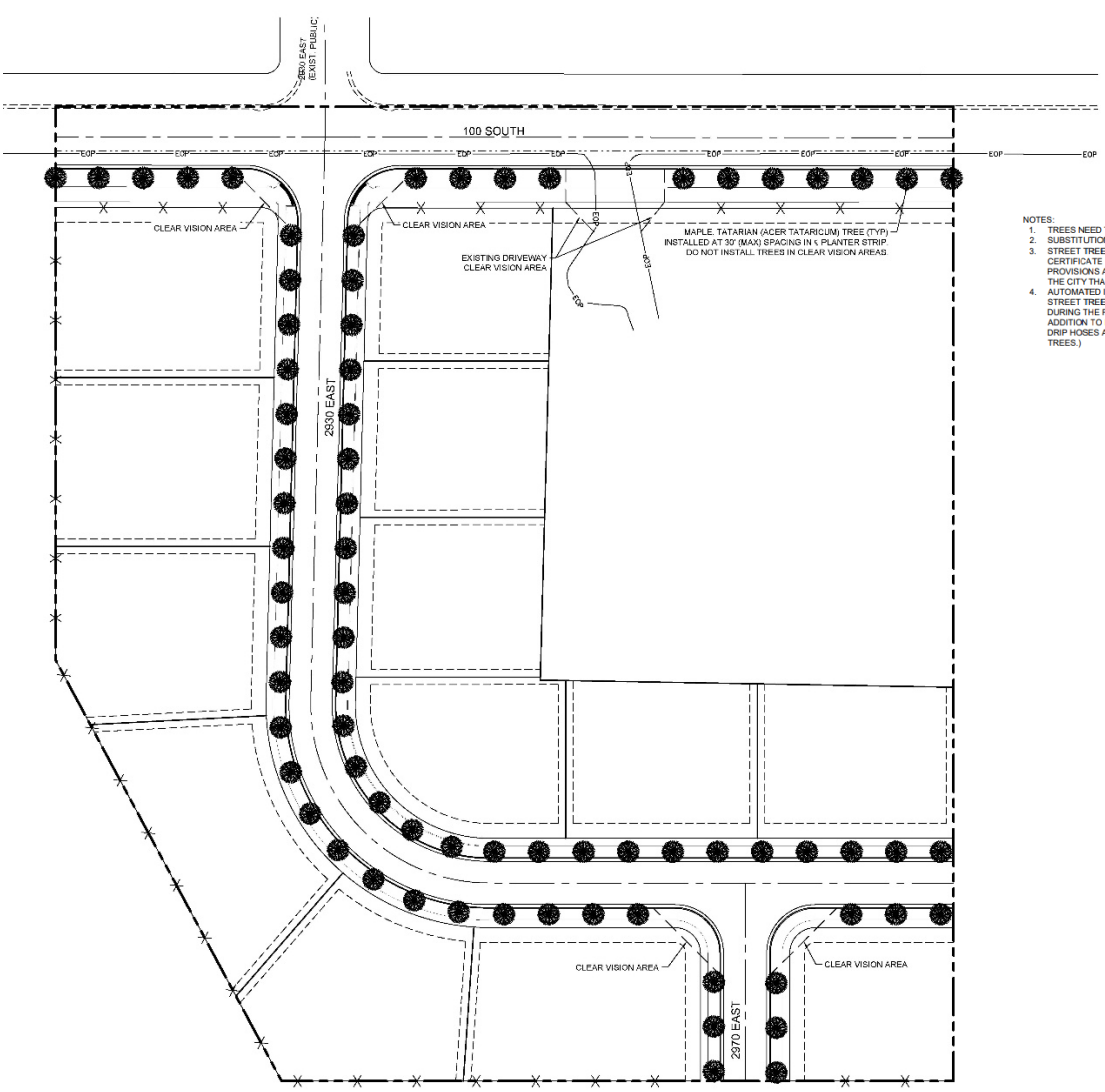
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
DECIDUOUS SHRUBS				
	B'CB	51	Berberis thunbergii 'Monomb' TM Cherry Bomb Japanese Barberry Sd3' 3-4x3-4; AV 28; full to part sun; z4; Utah Lake water tolerant	5 gal
	S'BP	38	Syringa x `SMNJRPU` TM Bloomerang Dwarf Purple Lilac moderate; 4-5 x 4-5; sun; z3; Utah Lake water tolerant	5 gal
EVERGREEN SHRUBS				
	CP'S	23	Cytisus purgans `Spanish Gold` Spanish Gold Broom Sd2; 3-4 x 4-6; AV 28; sun to part sun; z4;	5 gal
	JS'D	6	Juniperus sabina `Monard` TM Moor-dense Juniper low; 1x6; sun; z3; Utah Lake water tolerant	5 gal
GRASSES				
	CA'K	65	Calamagrostis x acutiflora `Karl Foerster` Feather Reed Grass Tw2; 4x3; AV 7; sun; z4; Utah Lake water tolerant	1 gal

SITE MATERIALS LEGEND

(NOTE: SITE MATERIALS QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	CODE	DESCRIPTION	QTY
1 LANDSCAPE			
	1-14	1.5" TAN CRUSHED ROCK SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101. USE WEED BARRIER BENEATH ROCK. SHEET LP-101.	7,348 sf

EXHIBIT 4



NOTES:

1. TREES NEED TO BE MINIMUM TWO-INCH CALIPER.
2. SUBSTITUTIONS ONLY AS APPROVED BY COMMUNITY DEVELOPMENT DEPARTMENT.
3. STREET TREES IN MASTER PLANNED DEVELOPMENTS SHALL BE INSTALLED PRIOR TO A CERTIFICATE OF OCCUPANCY BEING GRANTED FOR THE ADJACENT LOT UNLESS PROVISIONS ARE MADE FOR THE DEVELOPER TO PROVIDE FINANCIAL ASSURANCE TO THE CITY THAT THE TREES WILL BE INSTALLED AT A LATER TIME.
4. AUTOMATED IRRIGATION SYSTEMS ARE REQUIRED FOR LANDSCAPE PLANTINGS AND STREET TREES IN THE PARK STRIPS. (NEWLY PLANTED TREES NEED ADDITIONAL WATER DURING THE FIRST YEARS OF PLANTING IN ORDER TO BECOME ESTABLISHED. IN ADDITION TO PROPERLY DESIGNED IRRIGATION SYSTEMS, OTHER METHODS SUCH AS DRIP HOSES AND "GATOR BAGS" SHOULD BE USED TO PROVIDE MORE WATER FOR NEW TREES.)

DEVELOPMENT REVIEW COMMITTEE

January 21, 2026

Maple Mountain Plat N Phase 2
Final Plat
400 North Slant Road
13.54 acres
R-1-12 with MPD Overlay
Low Density Residential
General Plan Designation

PROPOSAL

This proposal involves the approval of a Final Plat for a Master Planned Development with 33 single-family residential lots to be located at approximately 400 North Slant Road.

Some of the key issues to consider are: improvements, landscaping, street tree plan and utilities.

STAFF RECOMMENDATION

That the proposed Maple Mountain at Spanish Fork Subdivision Plat N Phase 2 Final Plat be approved based on the following findings and subject to the following conditions:

Findings

1. That the proposal conforms to the City's General Plan Land Use Designation and Zoning Map.
2. That the proposal is consistent with the Preliminary Plat.

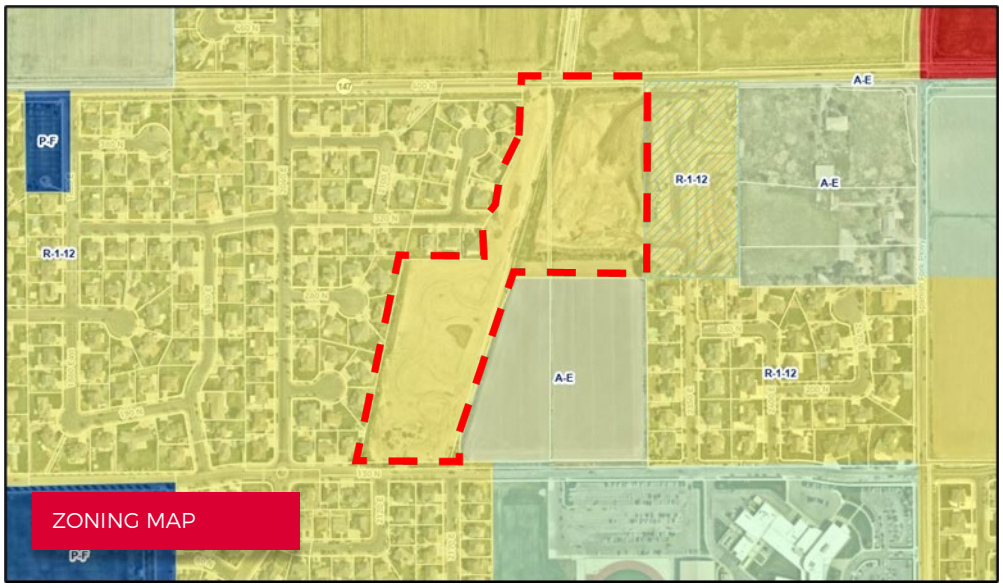
Conditions

1. That the Applicant meets the City's development and construction standards, zoning requirements and other applicable City ordinances.
2. That the Applicant addresses all red-line review comments.

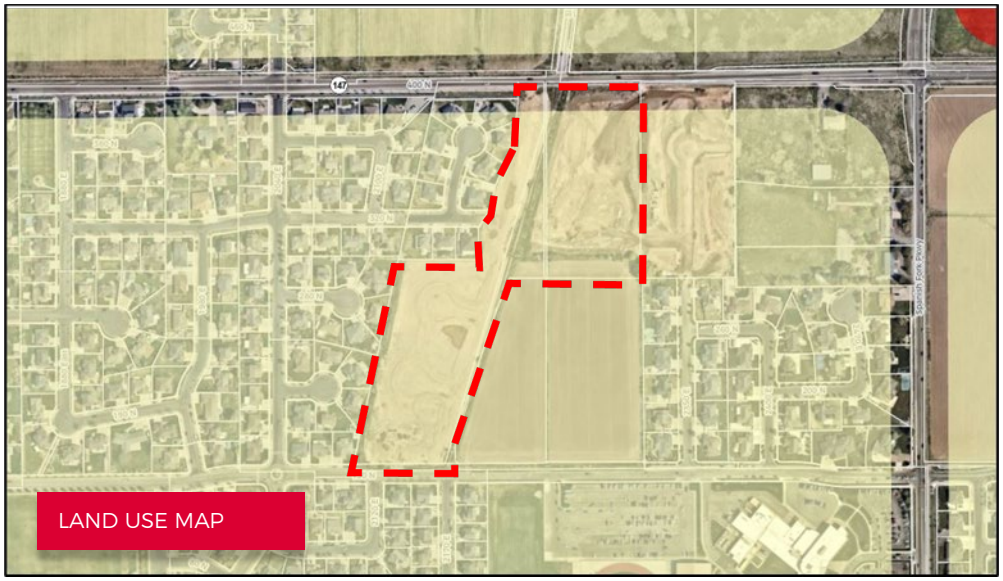
EXHIBITS

1. Area Maps
2. Civil Plans
3. Landscaping Plans

EXHIBIT 1



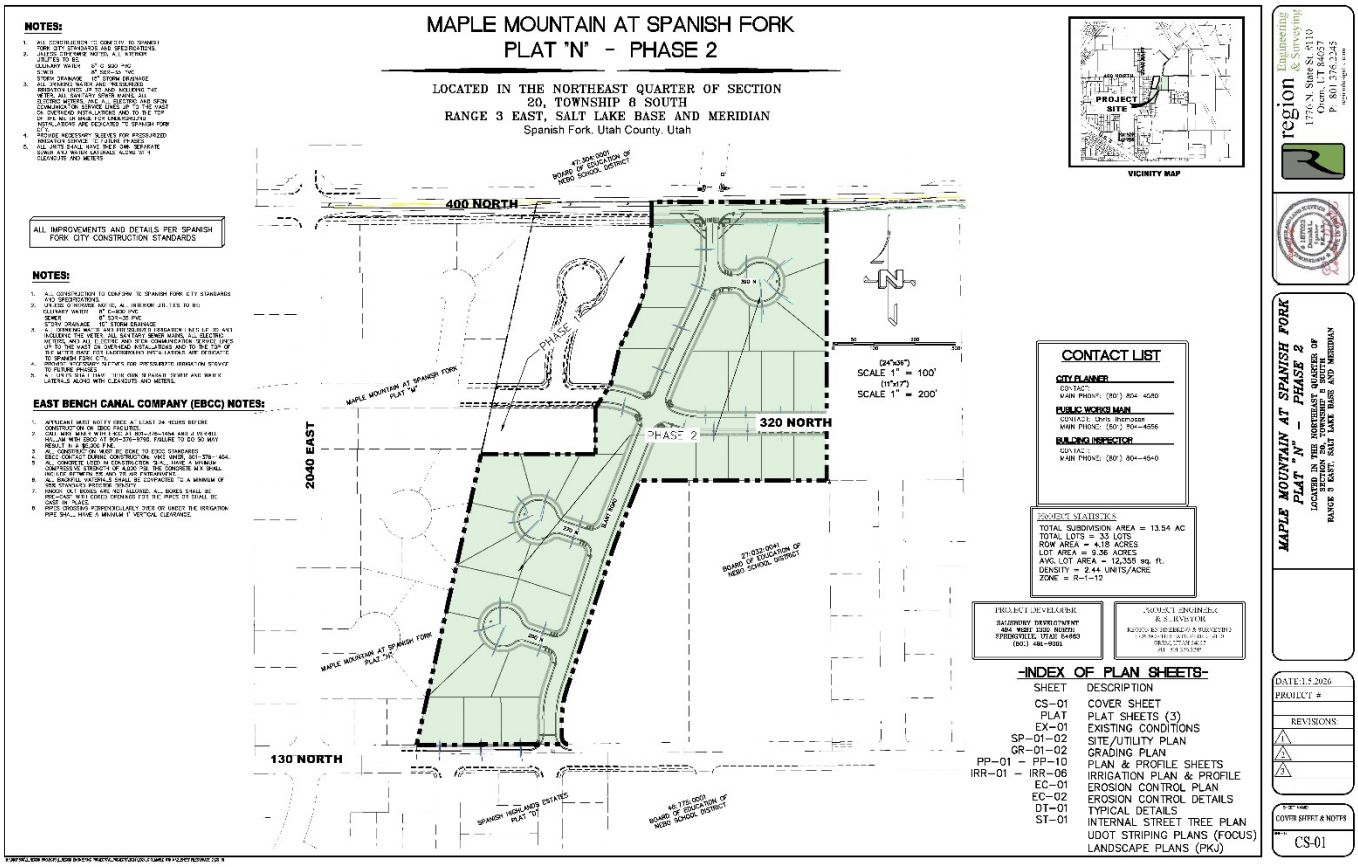
ZONING MAP

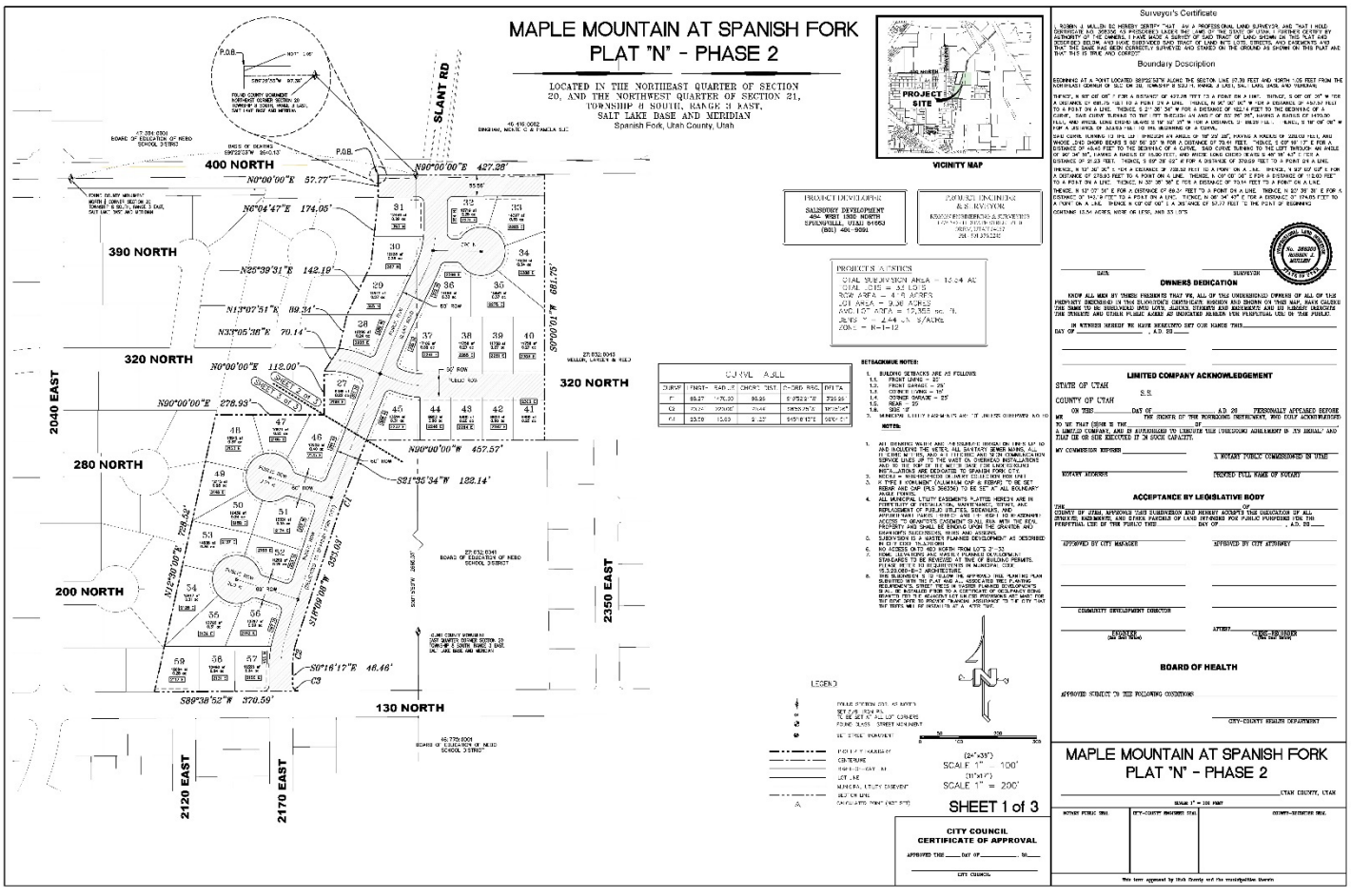


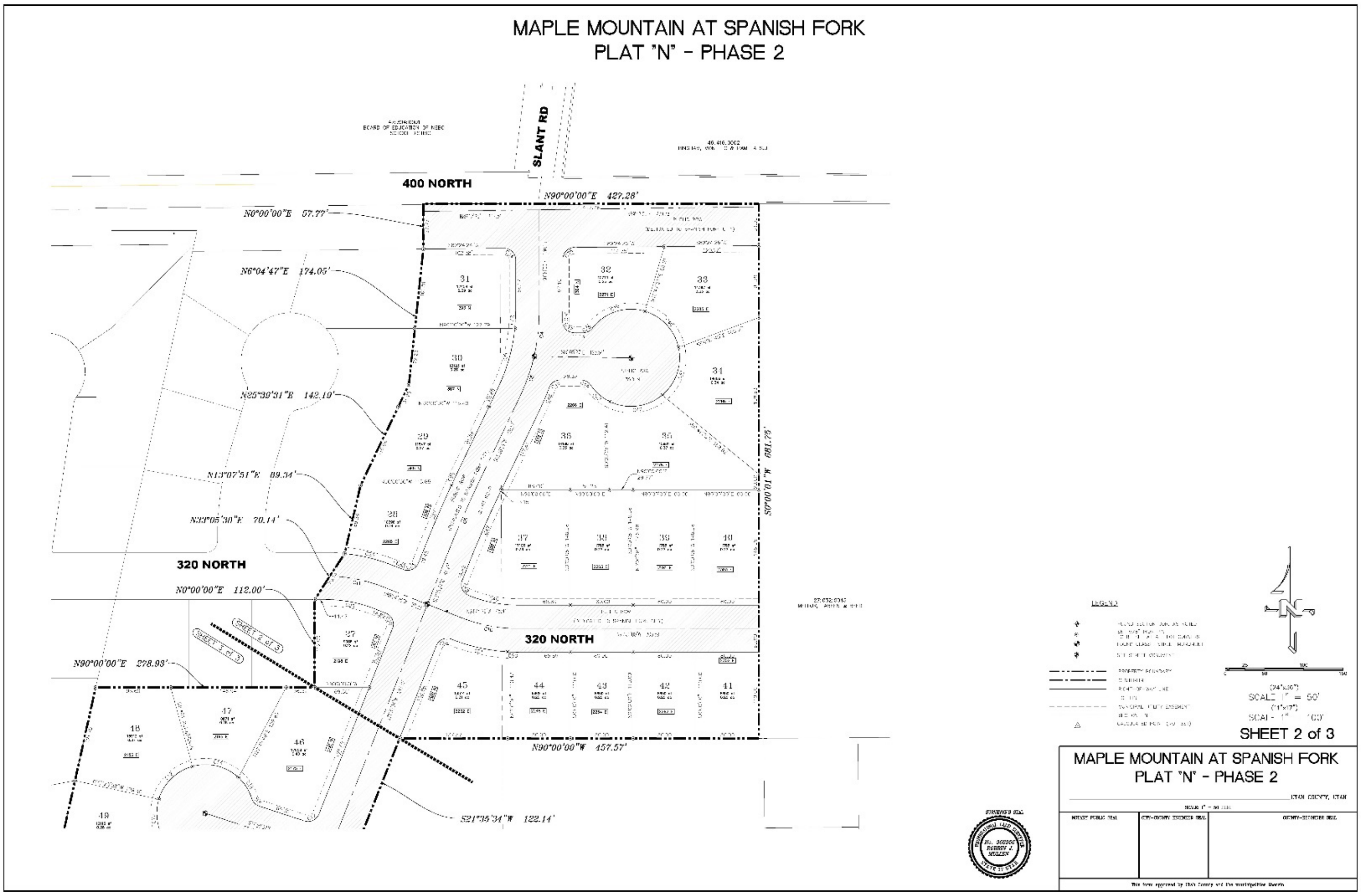
LAND USE MAP

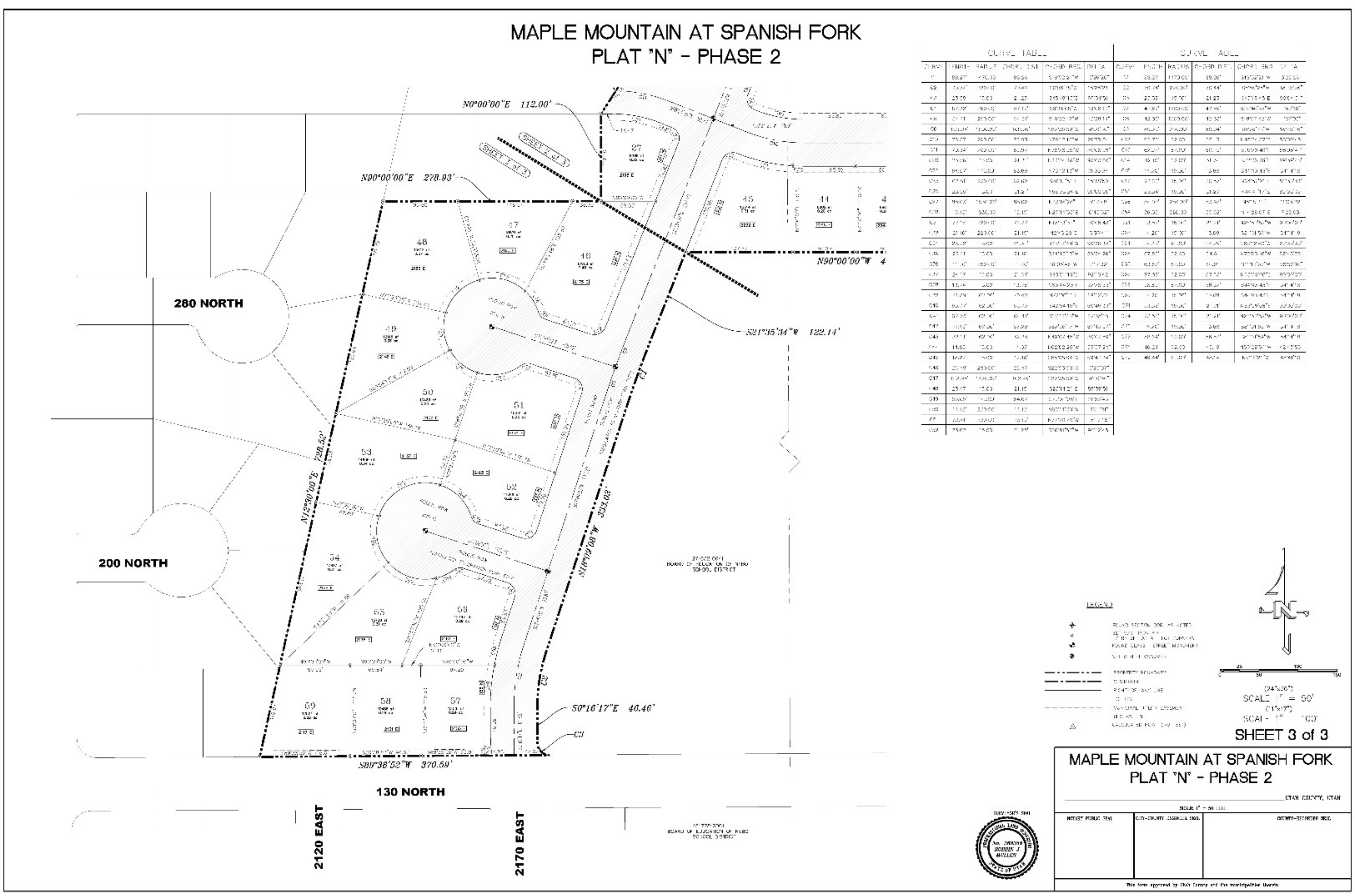
AERIAL MAP

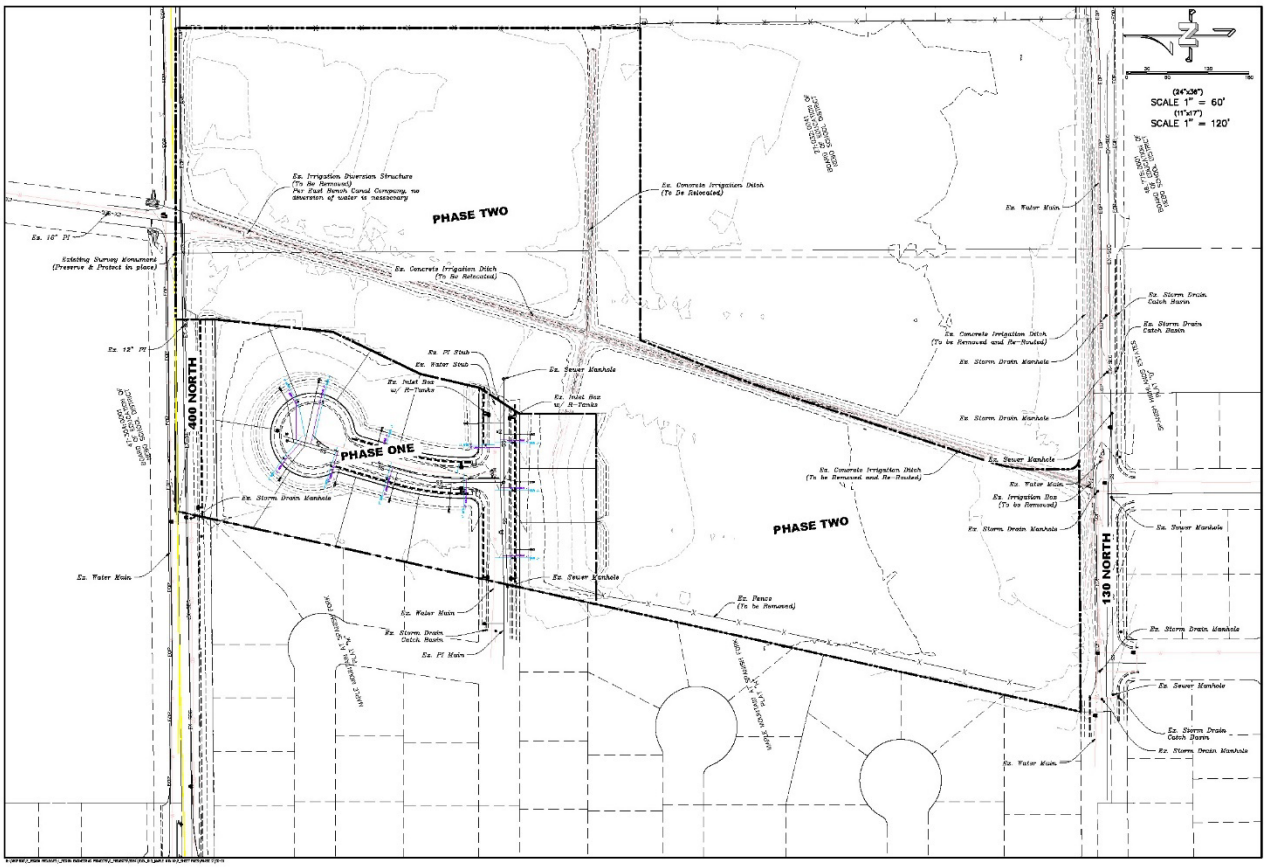
EXHIBIT 2


MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
Spanish Fork, Utah County, Utah
NOTES:
ALL IMPROVEMENTS AND DETAILS PER SPANISH FORK CITY CONSTRUCTION STANDARDS
EAST BENCH CANAL COMPANY (EBCC) NOTES:
400 NORTH
320 NORTH
130 NORTH
2040 EAST
PHASE 2
VICINITY MAP
PROJECT SITE
CONTACT LIST
CITY PLANNER
PUBLIC WORKS MAIN
BUILDING INSPECTOR
PROJECT STATISTICS
TOTAL SUBDIVISION AREA = 13.54 AC
TOTAL LOTS = 33 LOTS
ROW AREA = 4.18 ACRES
LOT AREA = 9.36 ACRES
AVG LOT AREA = 12,355 sq. ft.
DENSITY = 2.44 UNITS/ACRE
ZONE = R-1-12
PROJECT DEVELOPER
SALISBURY DEVELOPMENT
484 WEST 1000 NORTH
SPRINGVILLE, UTAH 84663
(801) 491-9091
PROJECT ENGINEER & SURVEYOR
-INDEX OF PLAN SHEETS-
SHEET DESCRIPTION
CS-01 COVER SHEET
PLAT PLAT SHEETS (3)
EX-01 EXISTING CONDITIONS
SP-01-02 SITE/UTILITY PLAN
GR-01-02 GRADING PLAN
PP-01 - PP-10 PLAN & PROFILE SHEETS
IRR-01 - IRR-06 IRRIGATION PLAN & PROFILE
EC-01 EROSION CONTROL PLAN
EC-02 EROSION CONTROL DETAILS
DT-01 TYPICAL DETAILS
ST-01 INTERNAL STREET TREE PLAN
UDOT STRIPING PLANS (FOCUS)
LANDSCAPE PLANS (PKJ)
region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2345
MAPLE MOUNTAIN AT SPANISH FORK PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
DATE: 1.5.2026
PROJECT #
REVISIONS
COVER SHEET & NOTES
CS-01


MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, AND THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN
Spanish Fork, Utah County, Utah
SLANT RD
400 NORTH
390 NORTH
320 NORTH
280 NORTH
200 NORTH
130 NORTH
2040 EAST
2350 EAST
2120 EAST
2170 EAST
VICINITY MAP
PROJECT SITE
PROJECT DEVELOPER
SALISBURY DEVELOPMENT
484 WEST 1000 NORTH
SPRINGVILLE, UTAH 84663
(801) 491-9091
PROJECT STATISTICS
TOTAL SUBDIVISION AREA = 13.54 AC
TOTAL LOTS = 33 LOTS
ROW AREA = 4.18 ACRES
LOT AREA = 9.36 ACRES
AVG LOT AREA = 12,355 sq. ft.
DENSITY = 2.44 UNITS/ACRE
ZONE = R-1-12
SETBACK/ZONE NOTES:
LEGEND
SCALE 1" = 100'
SCALE 1" = 200'
SHEET 1 of 3
CITY COUNCIL CERTIFICATE OF APPROVAL
Surveyor's Certificate
Boundary Description
OWNERS DEDICATION
LIMITED COMPANY ACKNOWLEDGEMENT
ACCEPTANCE BY LEGISLATIVE BODY
BOARD OF HEALTH
MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2


MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
SLANT RD
400 NORTH
N90°00'00"E 427.28'
N0°00'00"E 57.77'
N6°04'47"E 174.05'
N25°39'31"E 142.19'
N13°07'51"E 89.34'
N33°05'30"E 70.14'
320 NORTH
N0°00'00"E 112.00'
N90°00'00"E 278.93'
N90°00'00"W 457.57'
S21°35'34"W 122.14'
S0°00'01"W 681.75
SHEET 2 of 3
MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2


MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
CURVE TABLE
N0°00'00"E 112.00'
N90°00'00"E 278.93'
N90°00'00"W
S21°35'34"W 122.14'
280 NORTH
200 NORTH
S0°16'17"E 40.46'
S89°38'52"W 370.59'
130 NORTH
2120 EAST
2170 EAST
SHEET 3 of 3
MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2

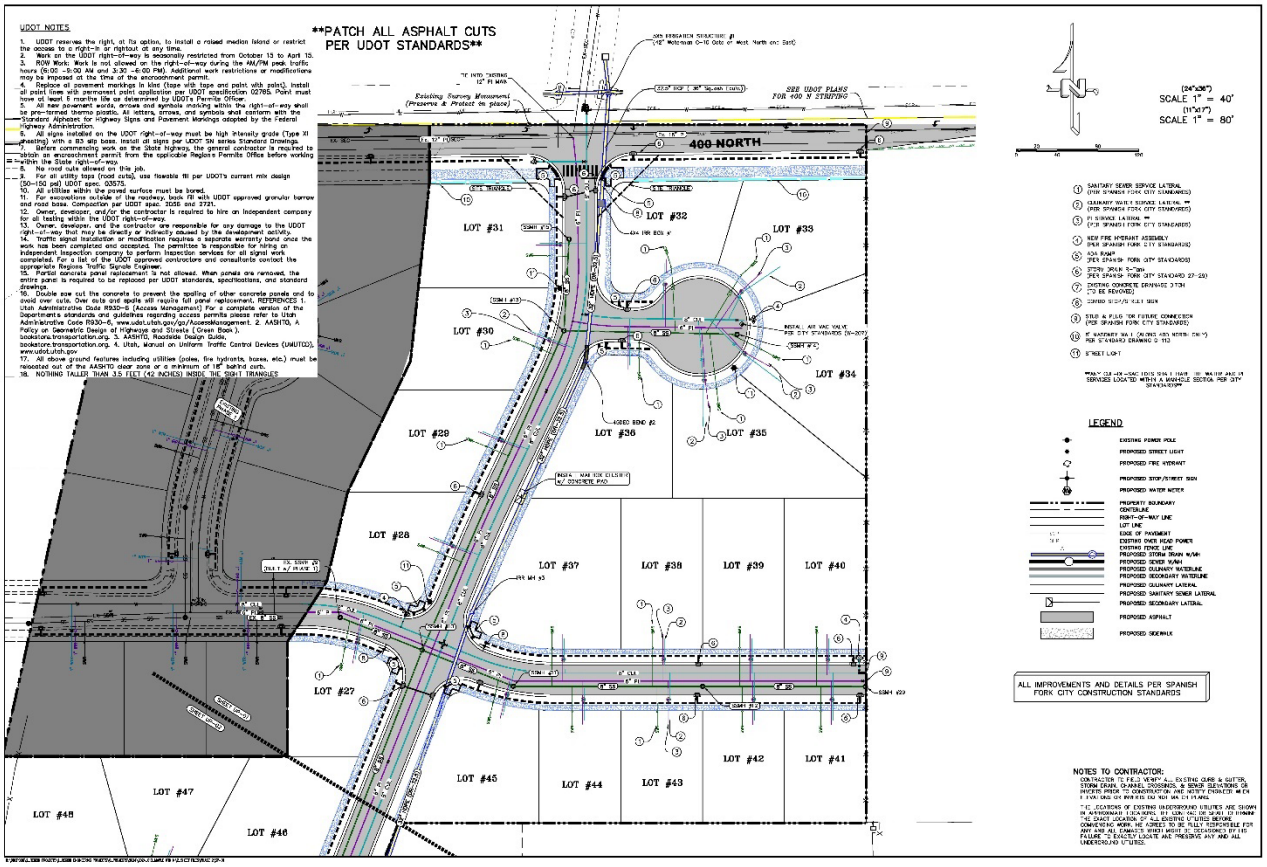


region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.375.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHEET NAME: EXISTING CONDITIONS
SHEET: EX-01

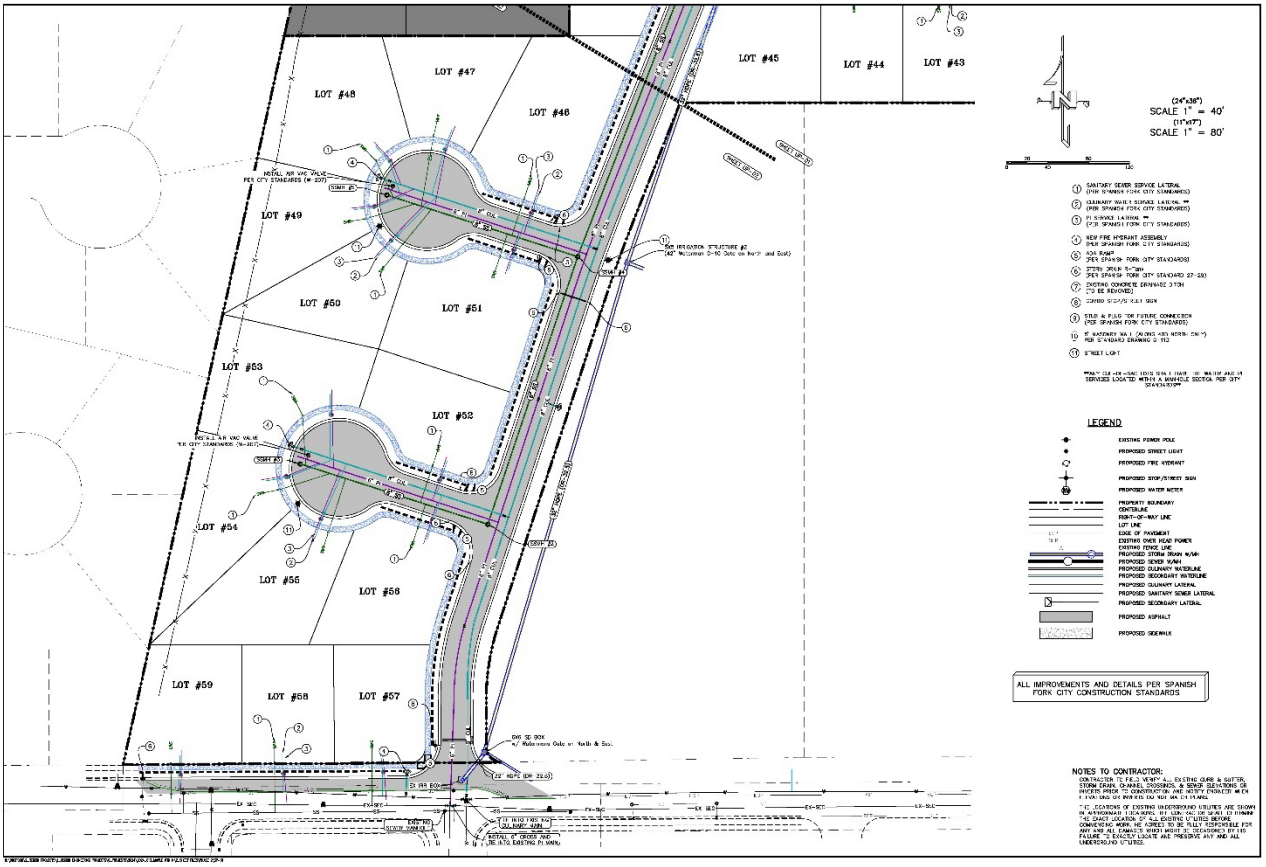


region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.375.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHEET NAME: SIDEWALK PLAN
SHEET: SP-01



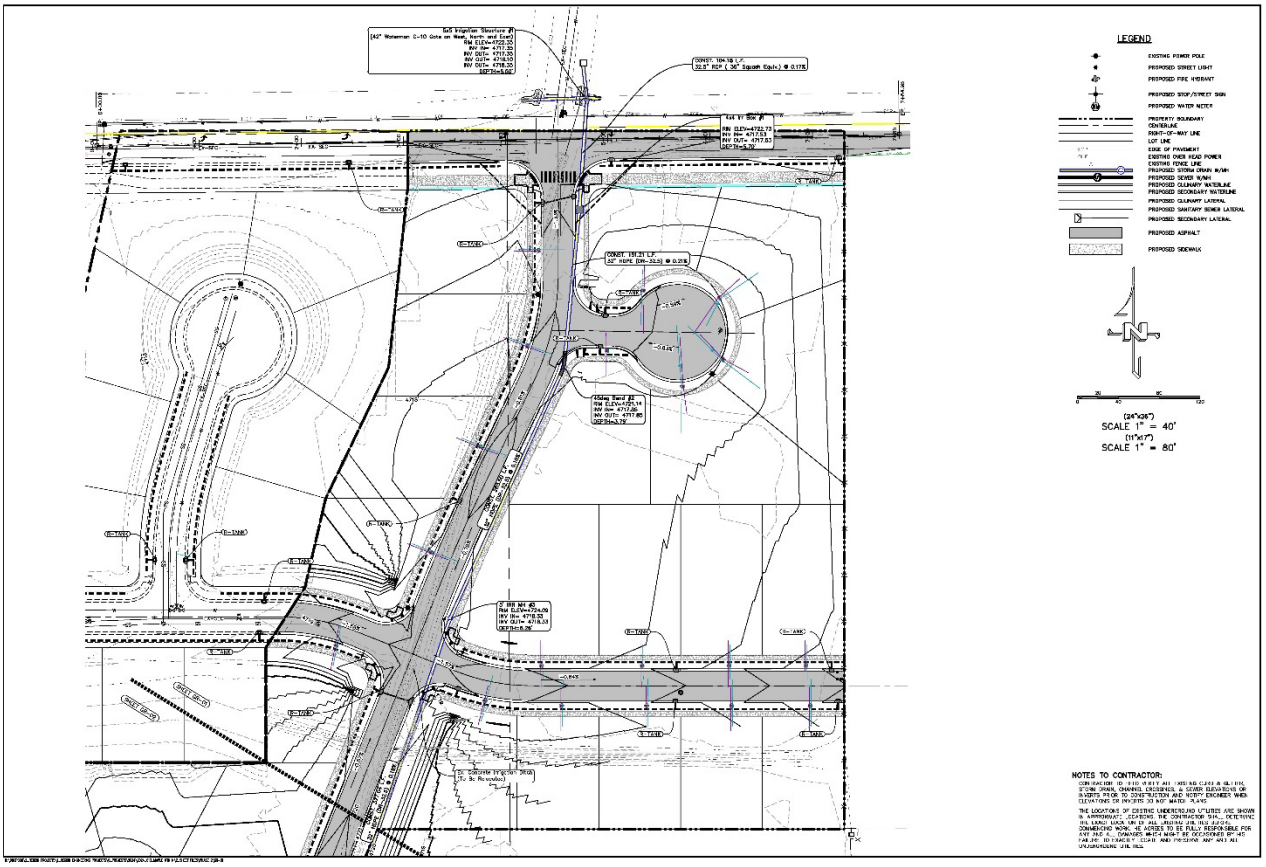
region Engineering & Surveying
1776 N. State St #110
Orem, UT 84057
P: 801.376.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #

REVISIONS

SHEET NAME: SITE/UTILITY PLAN
SHEET: SP-02



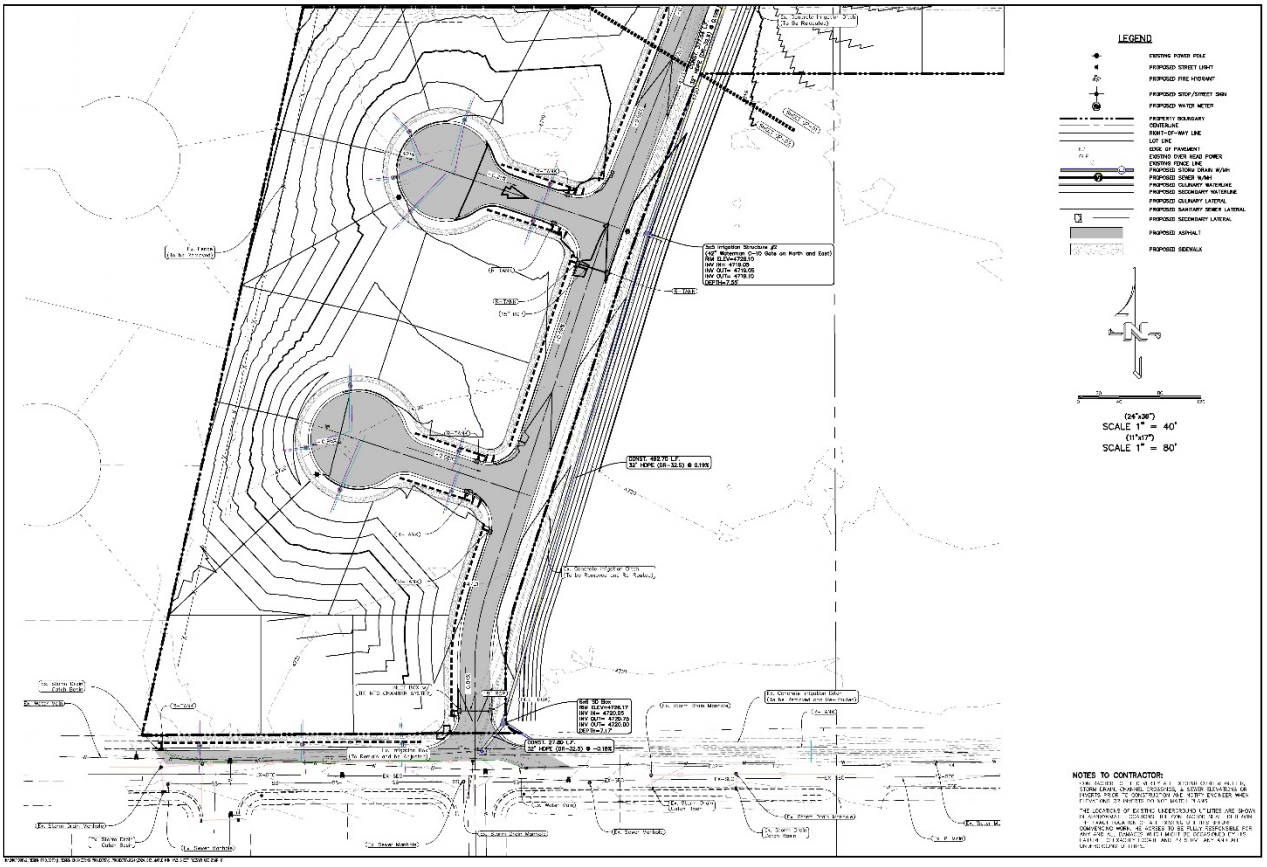
region Engineering & Surveying
1776 N. State St #110
Orem, UT 84057
P: 801.376.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #

REVISIONS

SHEET NAME: GRADING PLAN
SHEET: GR-01

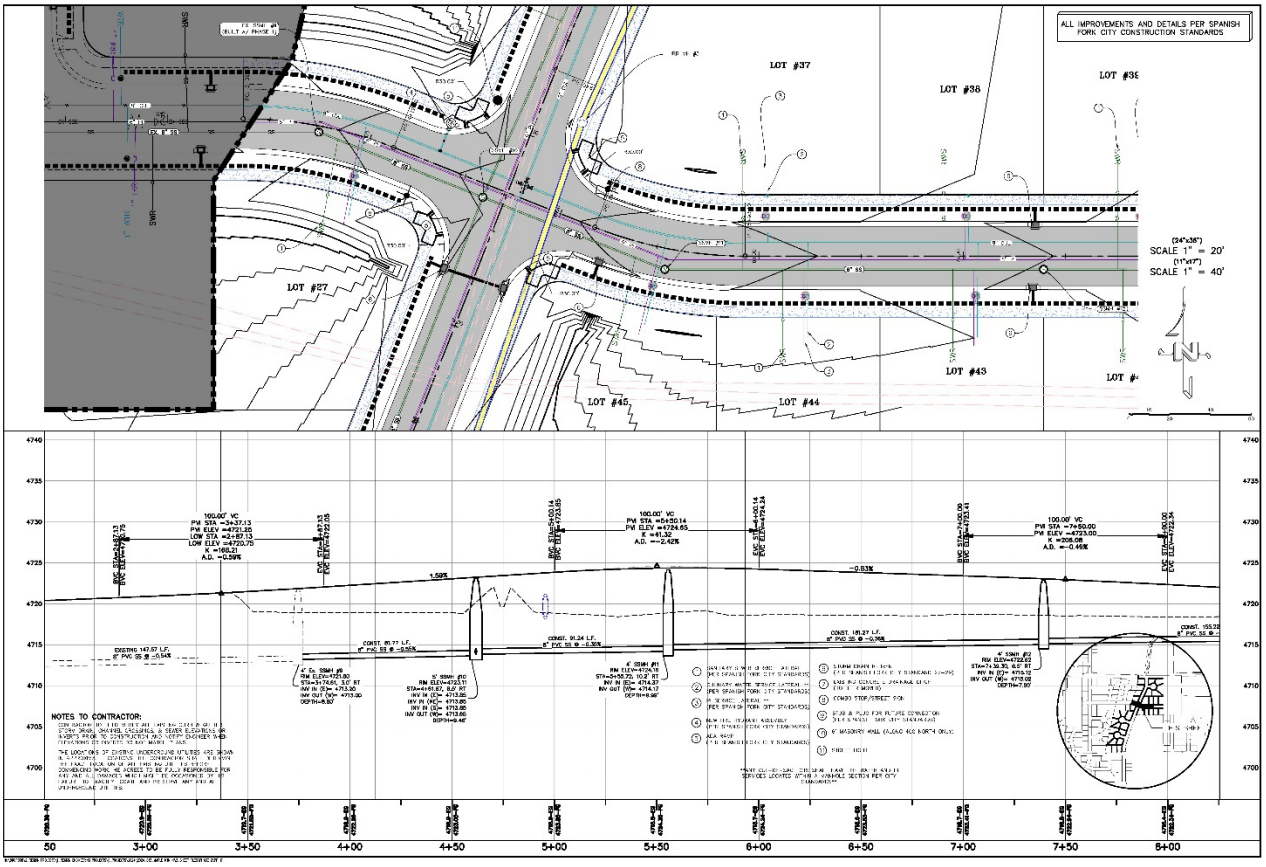


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.226.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

GRADING PLAN
GR-01

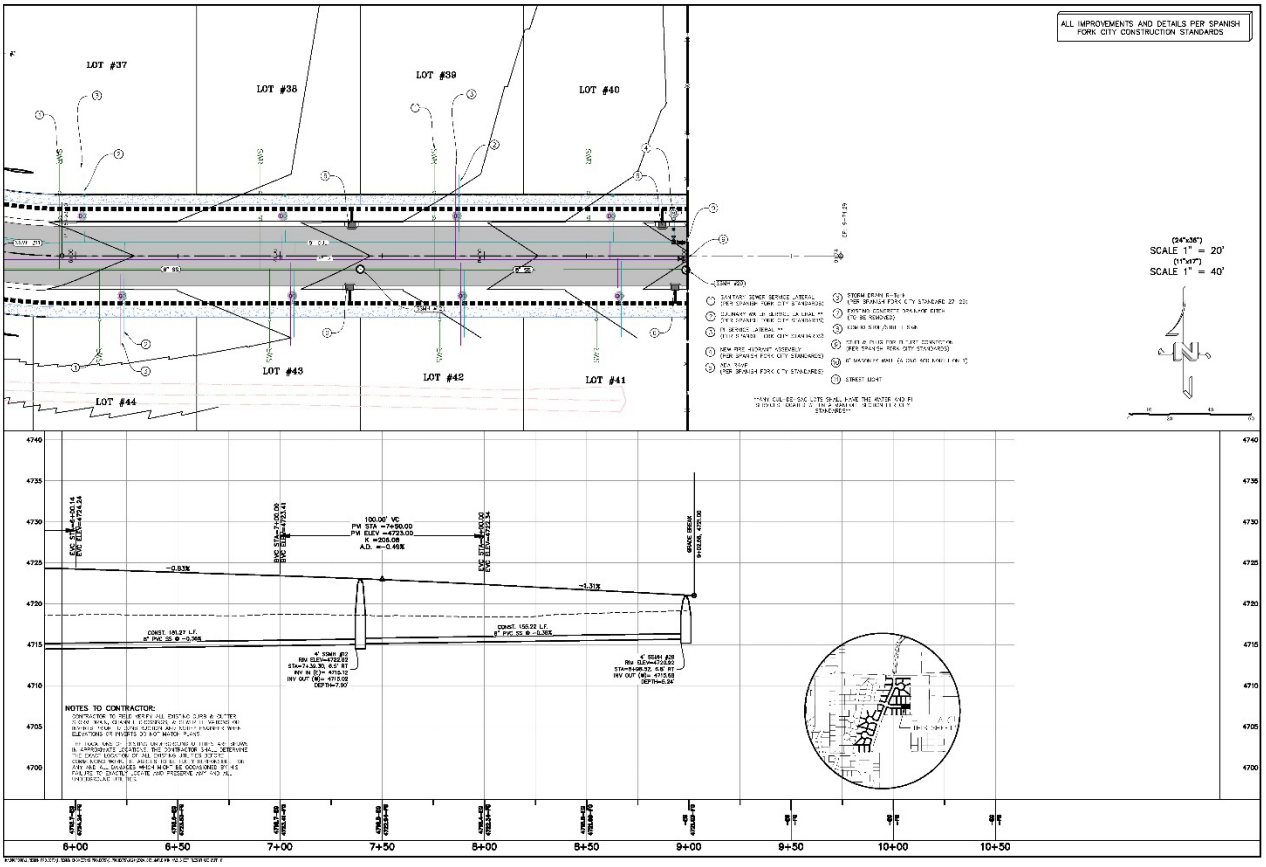


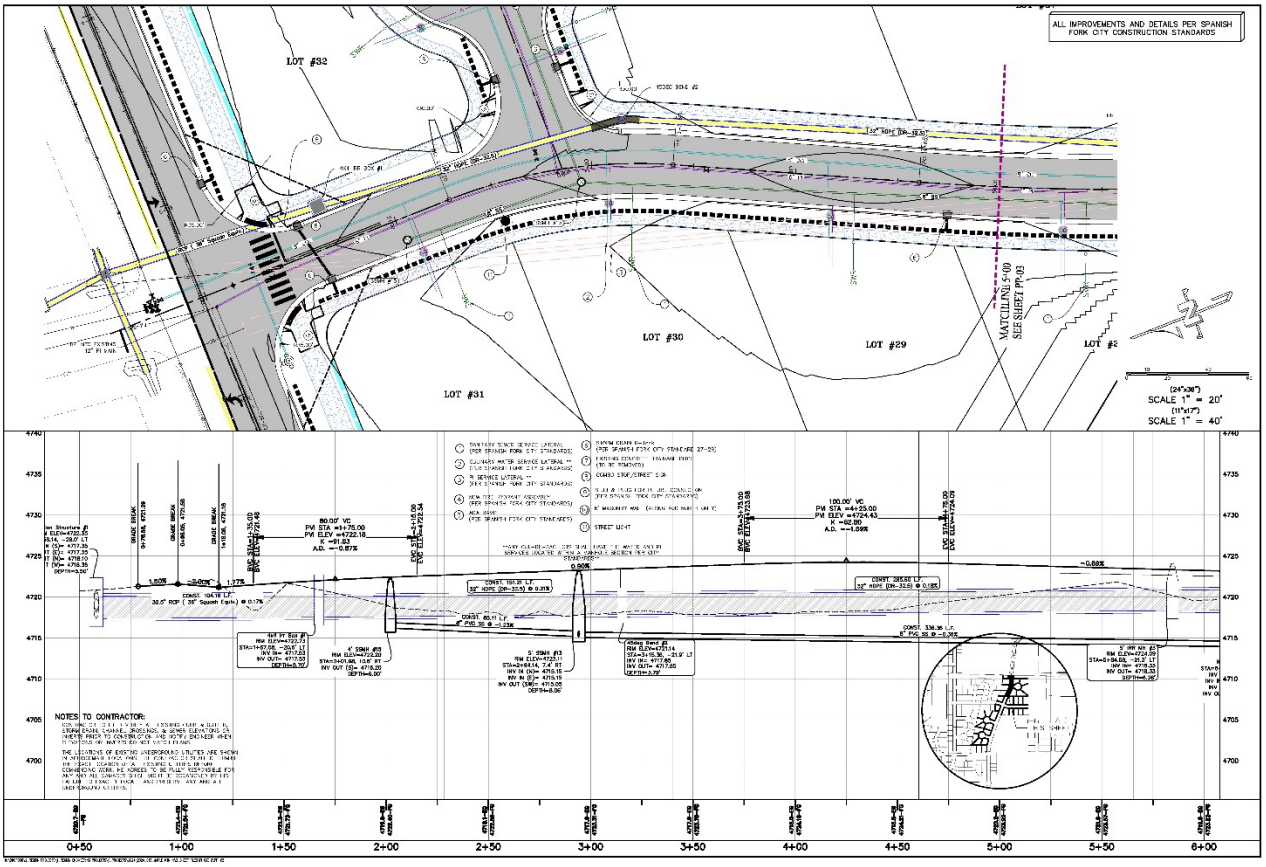
region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.226.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

PLAN & PROFILE
PP-01





Engineering & Surveying
region
1776 N State St #110
Orem, UT 84057
P: 801.375.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

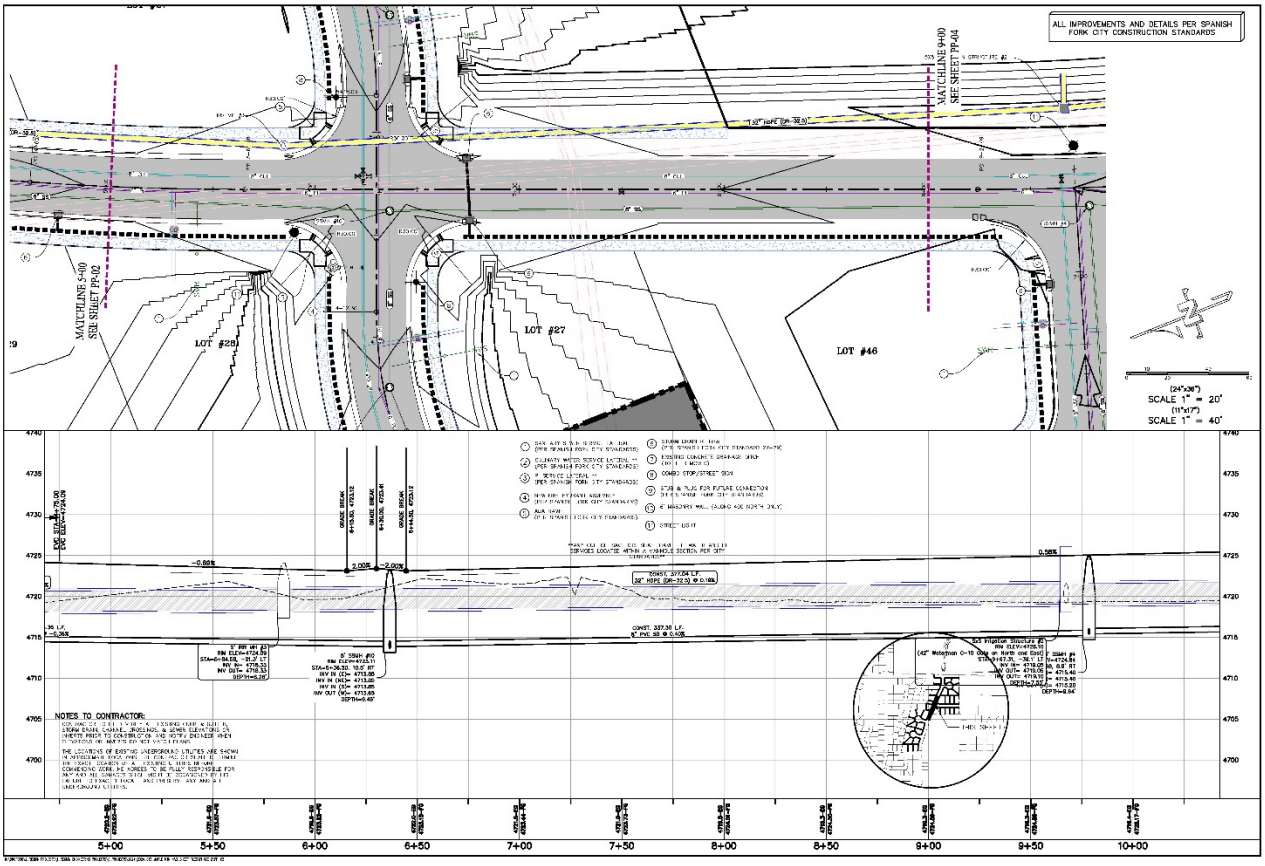
DATE: 1.5.2026
PROJECT #

REVISIONS

PLAN & PROFILE

PP-01A

PP-02

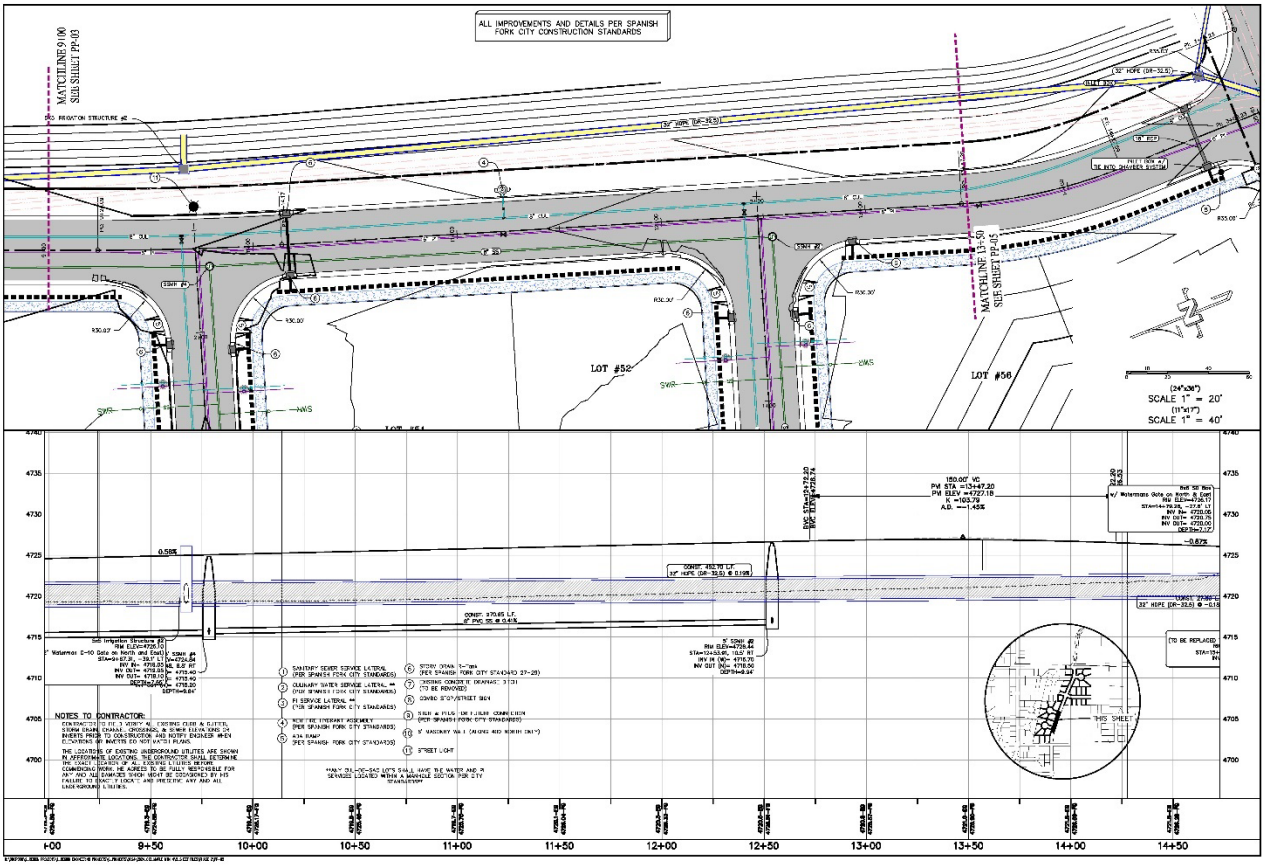


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.376.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE 1.5.2026
PROJECT #
REVISIONS
1
2
3

PLAN & PROFILE
PP-03

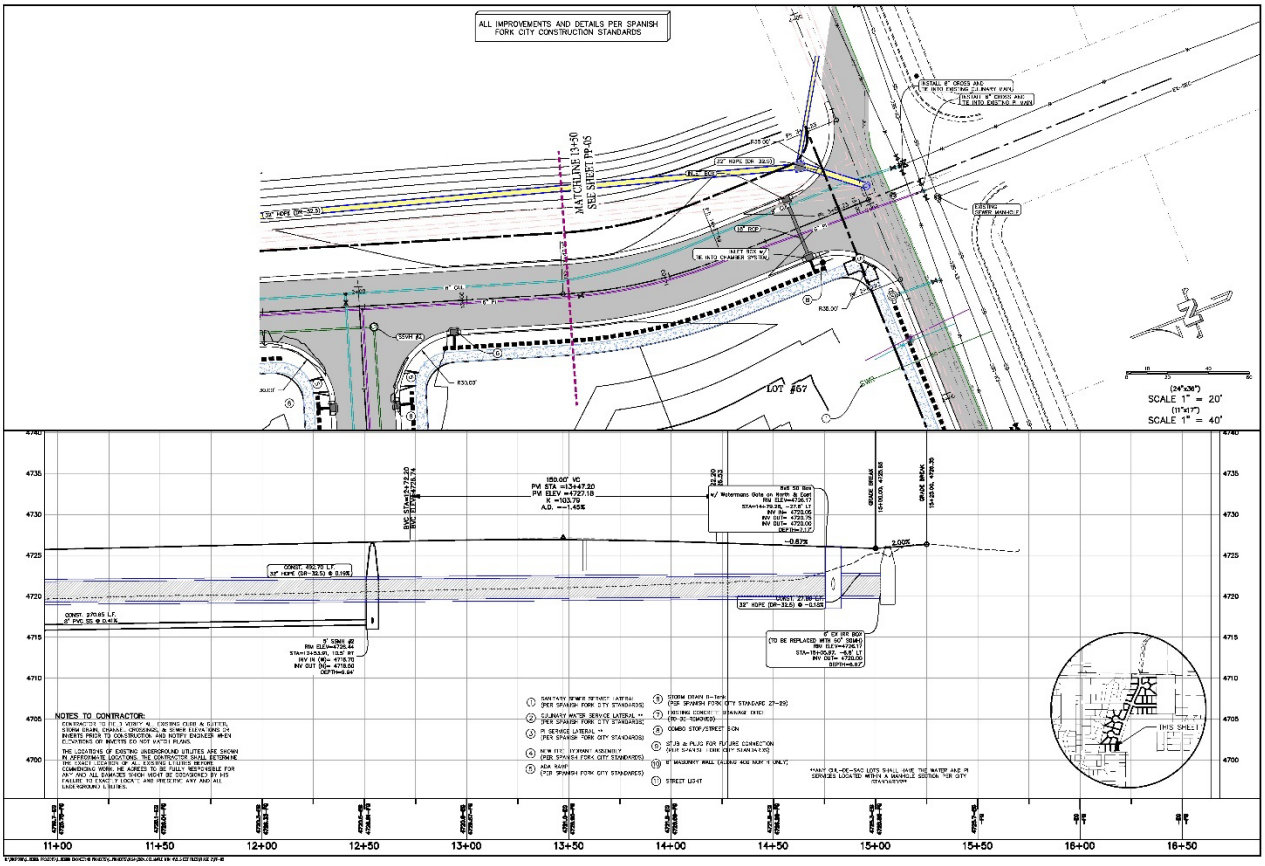


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.376.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE 1.5.2026
PROJECT #
REVISIONS
1
2
3

PLAN & PROFILE
PP-04

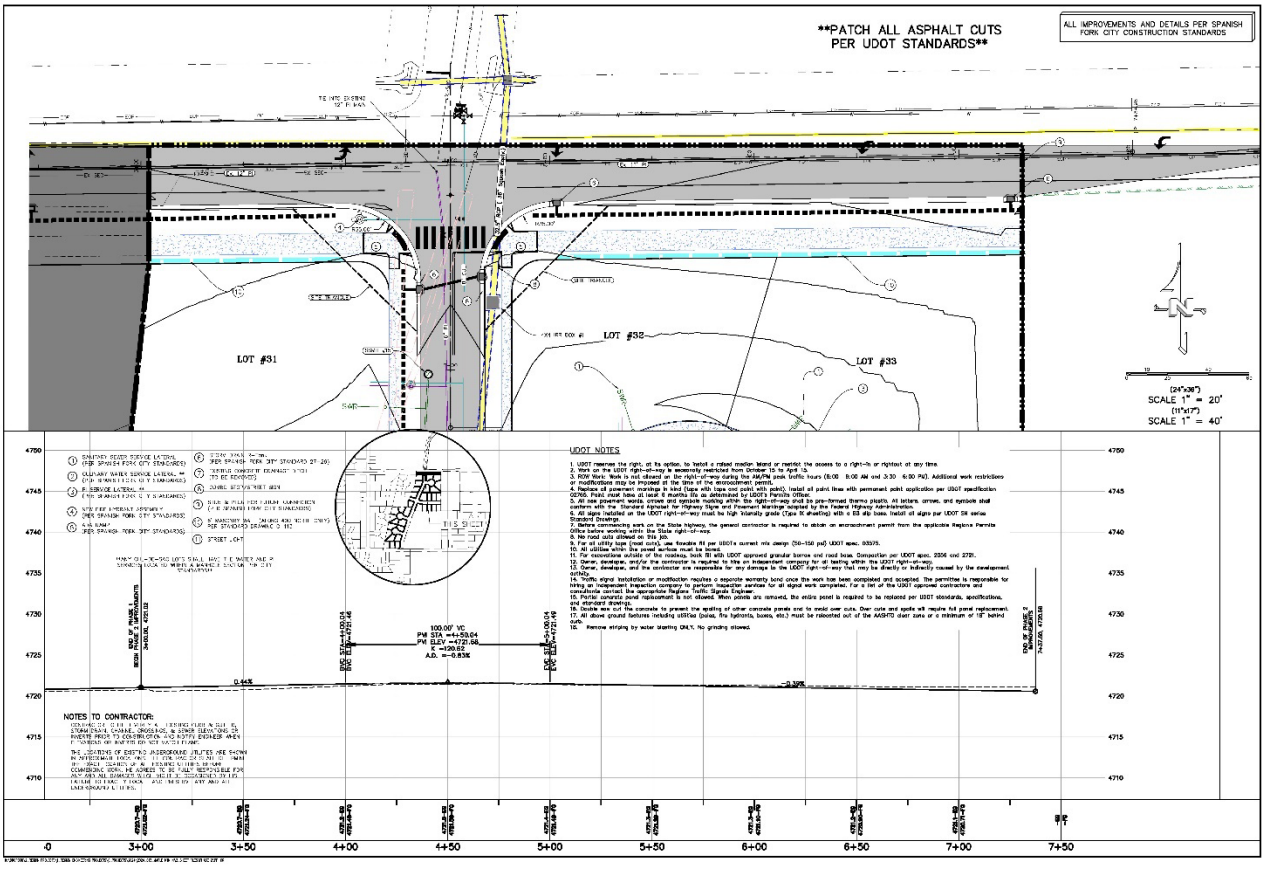


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.376.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SEC. TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHT. NAME PLAN & PROFILE
SHT# PP-05

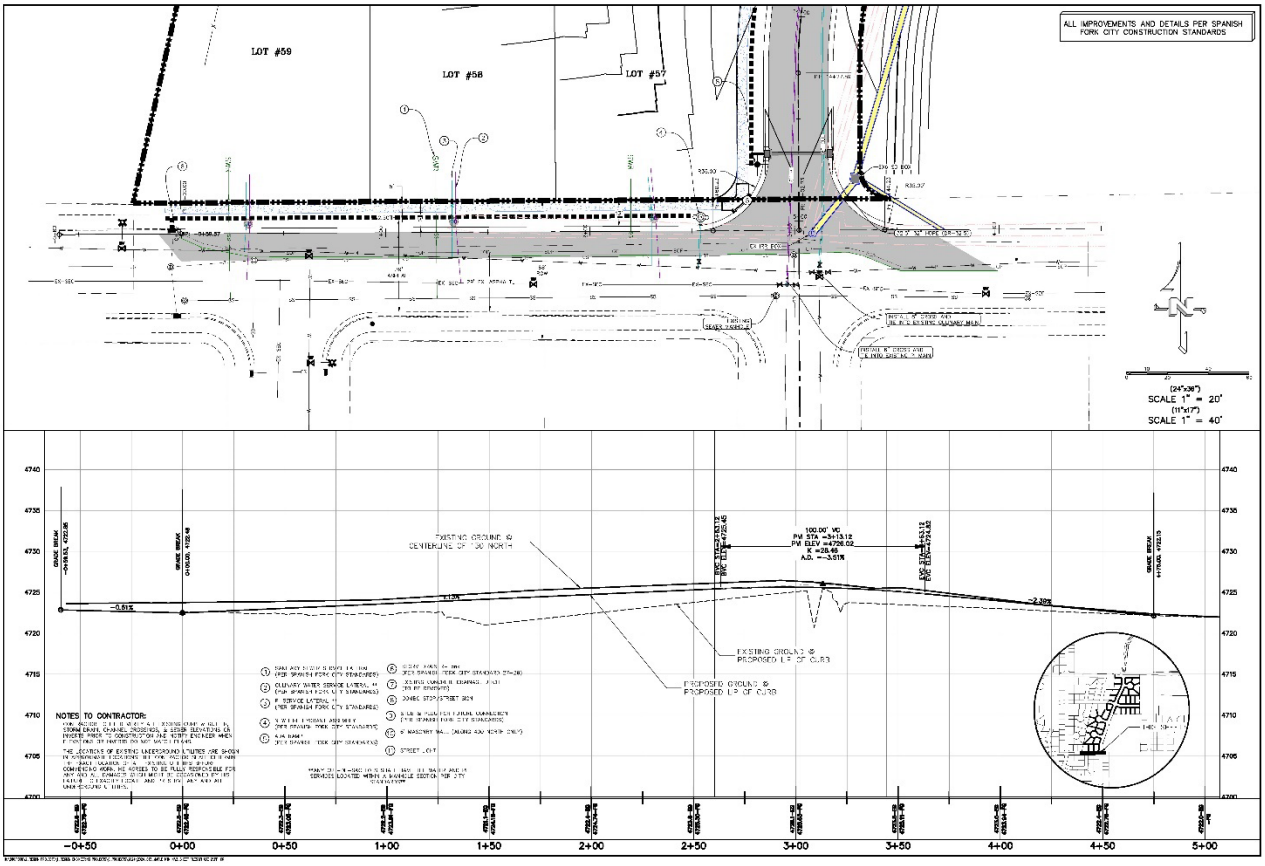


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.376.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SEC. TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHT. NAME PLAN & PROFILE
SHT# PP-06

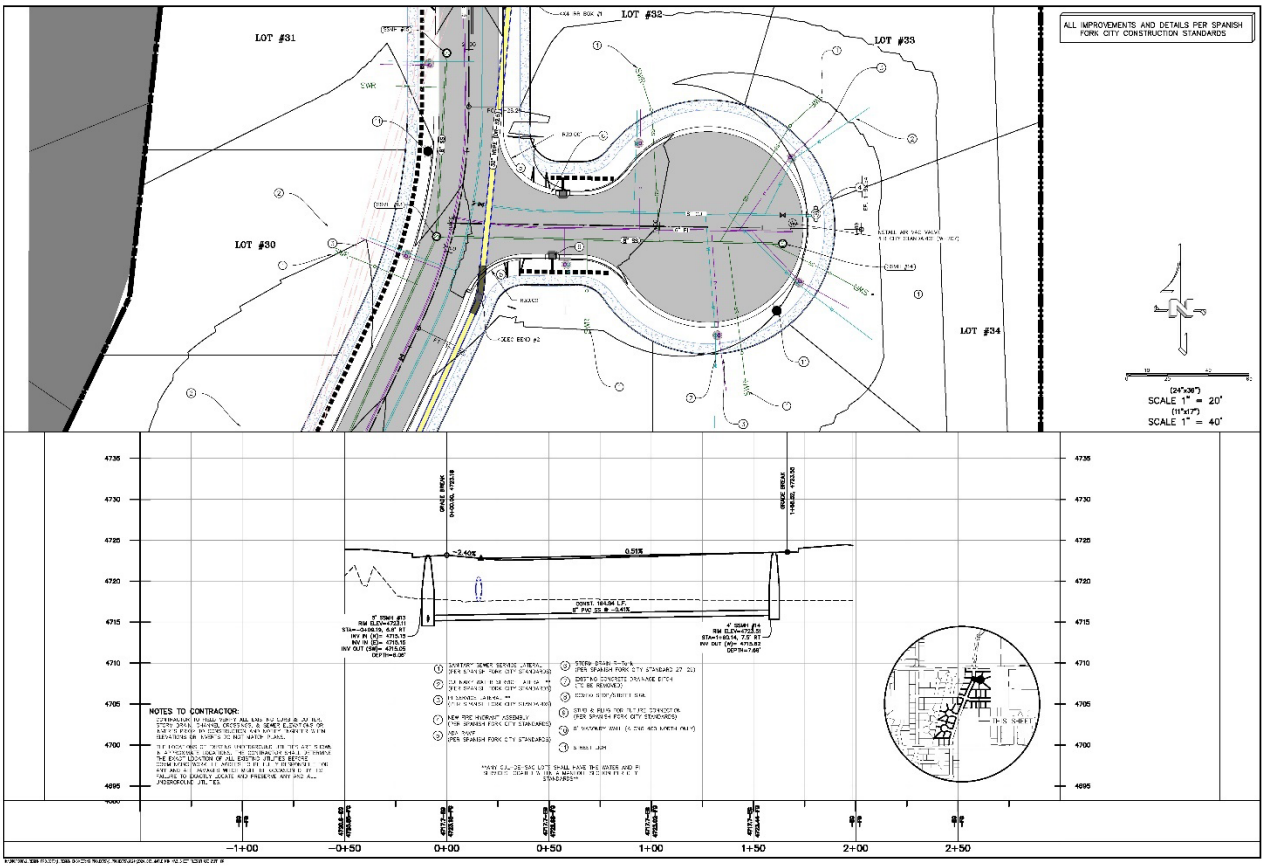


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.375.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS

PLAN & PROFILE
PP-07

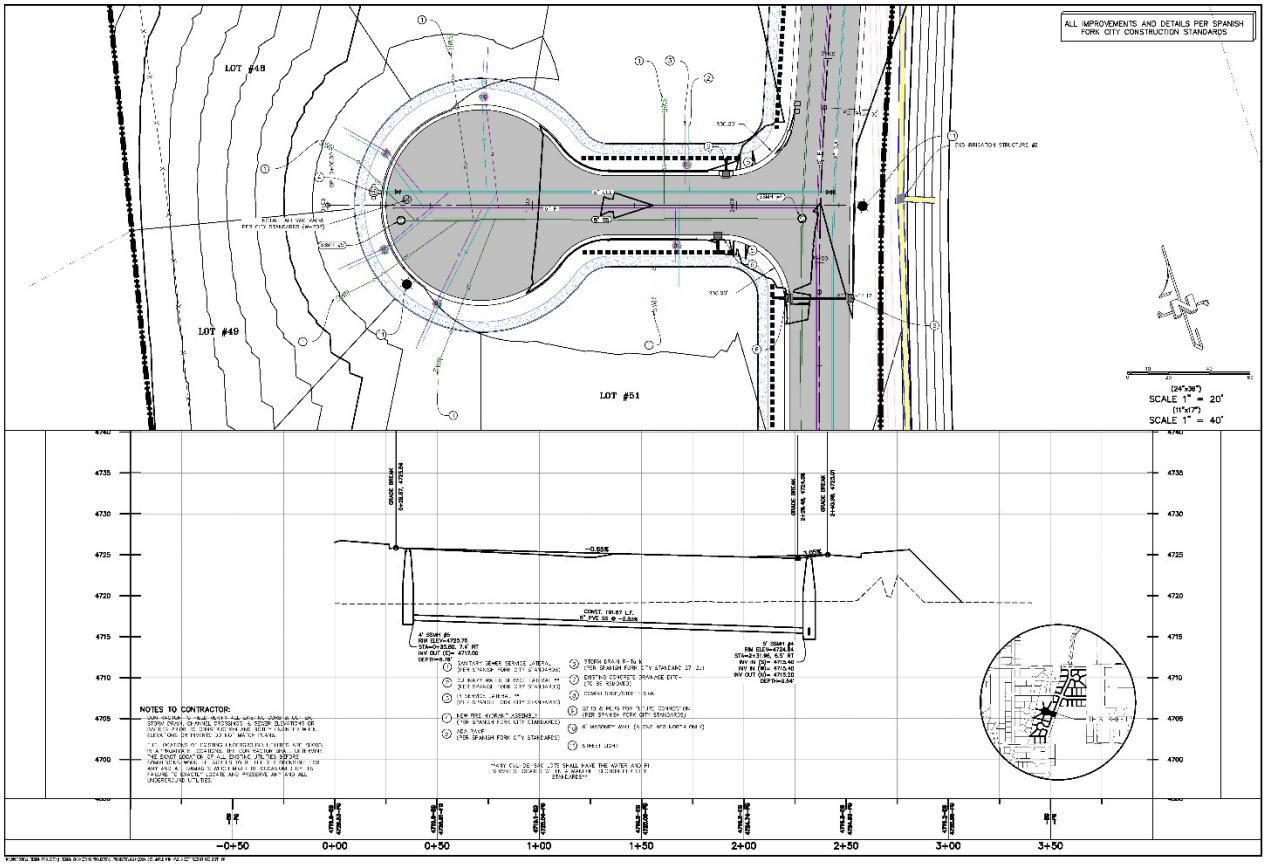


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.375.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS

PLAN & PROFILE
PP-08

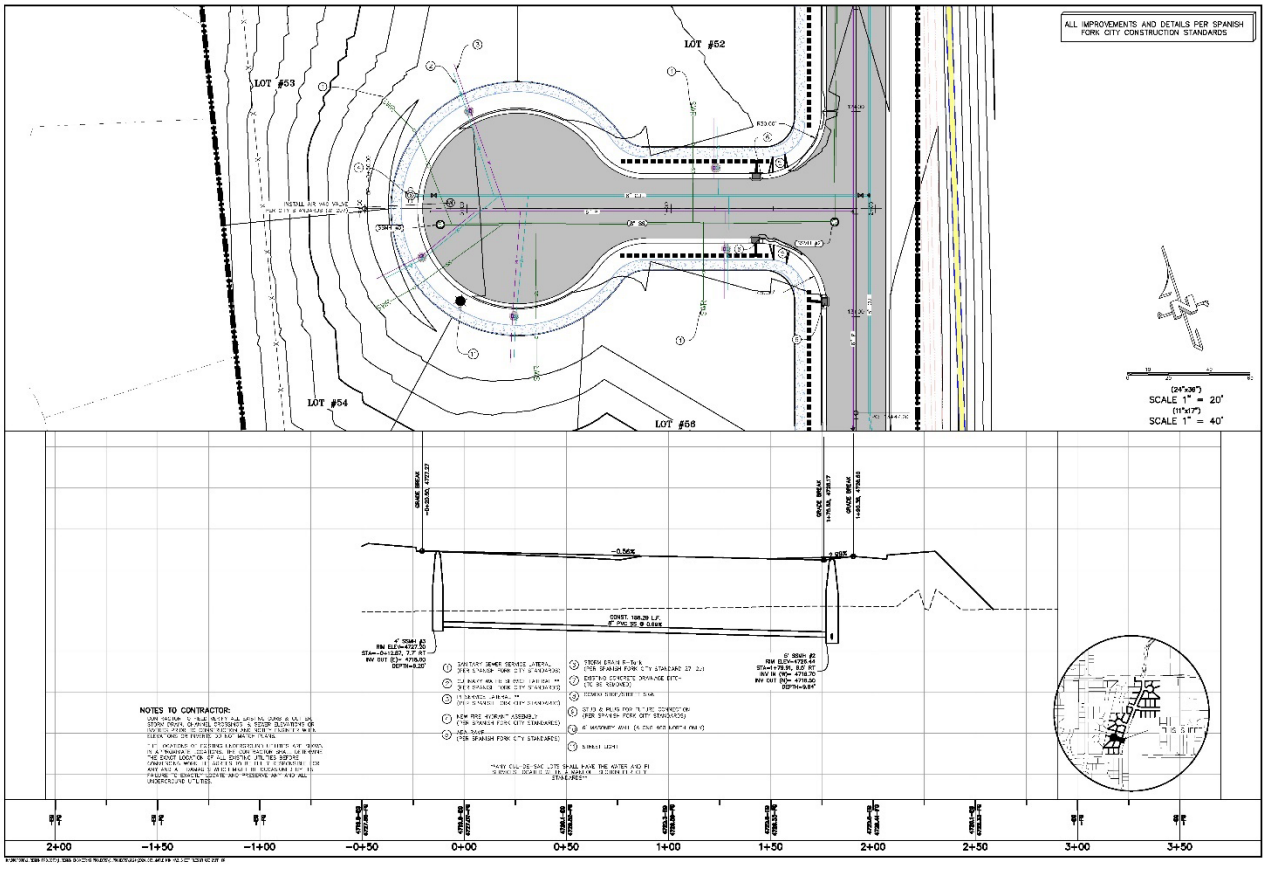


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.356.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

PLAN & PROFILE
PP-09

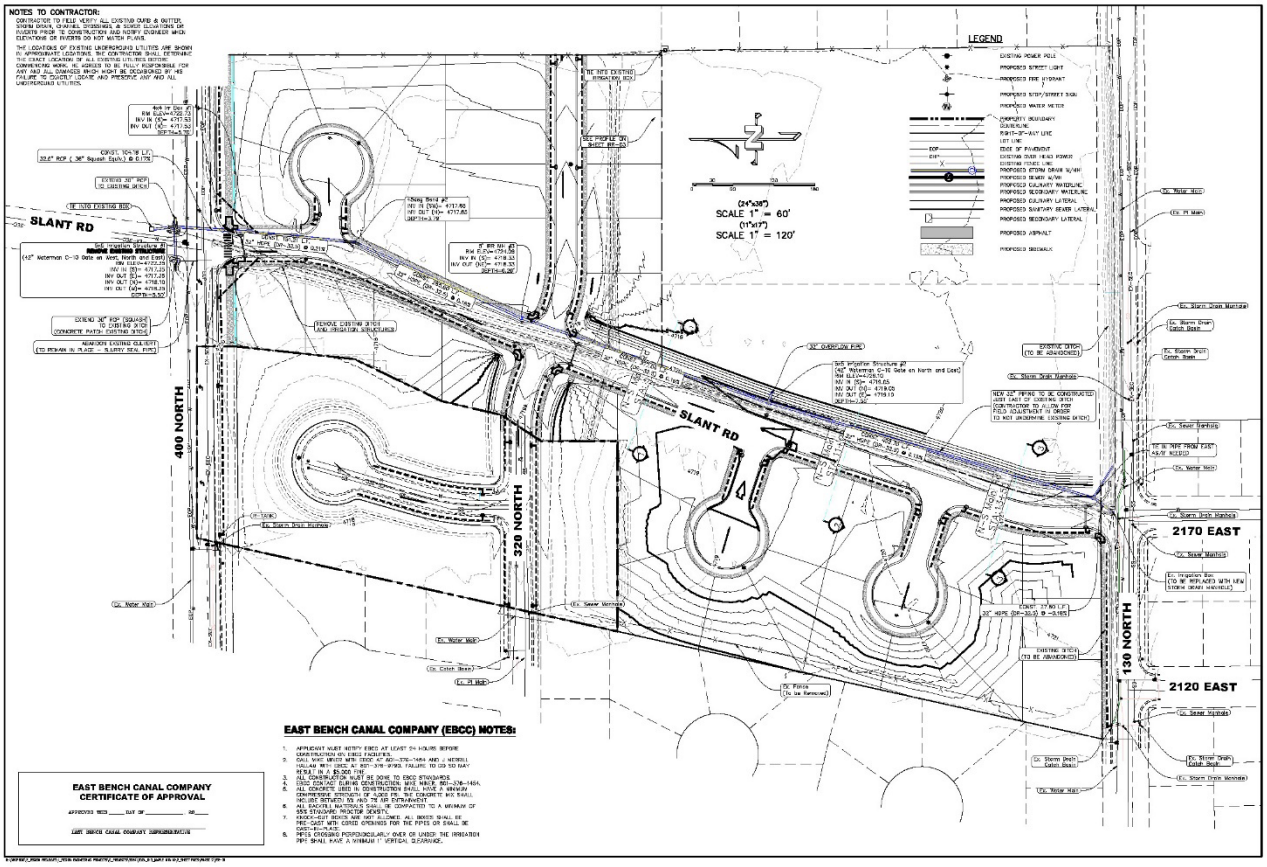


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.356.2345

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

PLAN & PROFILE
PP-10

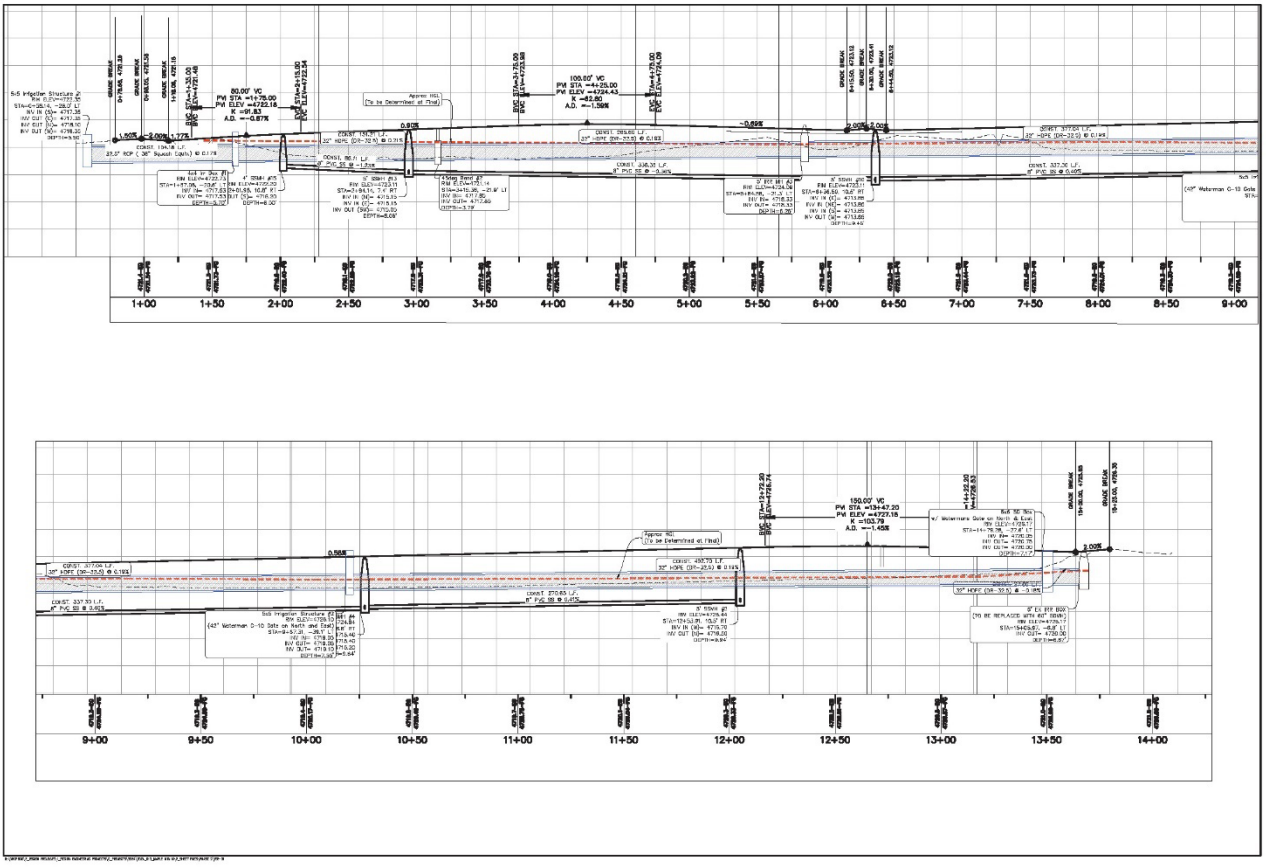


region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.375.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHEET NAME: IRRIGATION PLAN
SHEET #: IRR-01

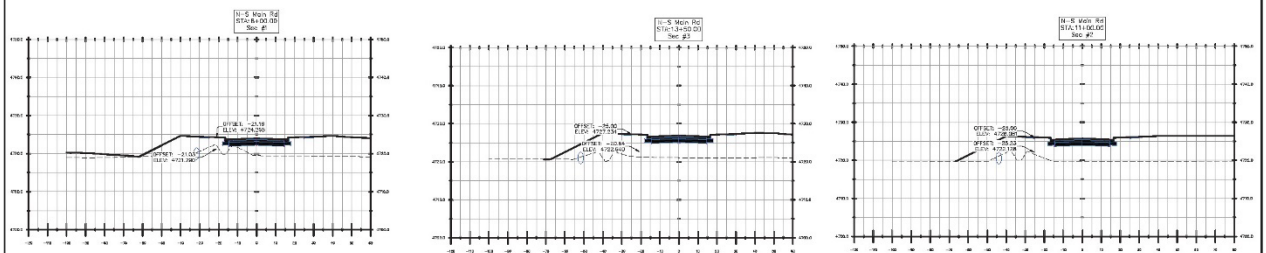


region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.375.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHEET NAME: PROFILE
SHEET #: IRR-02

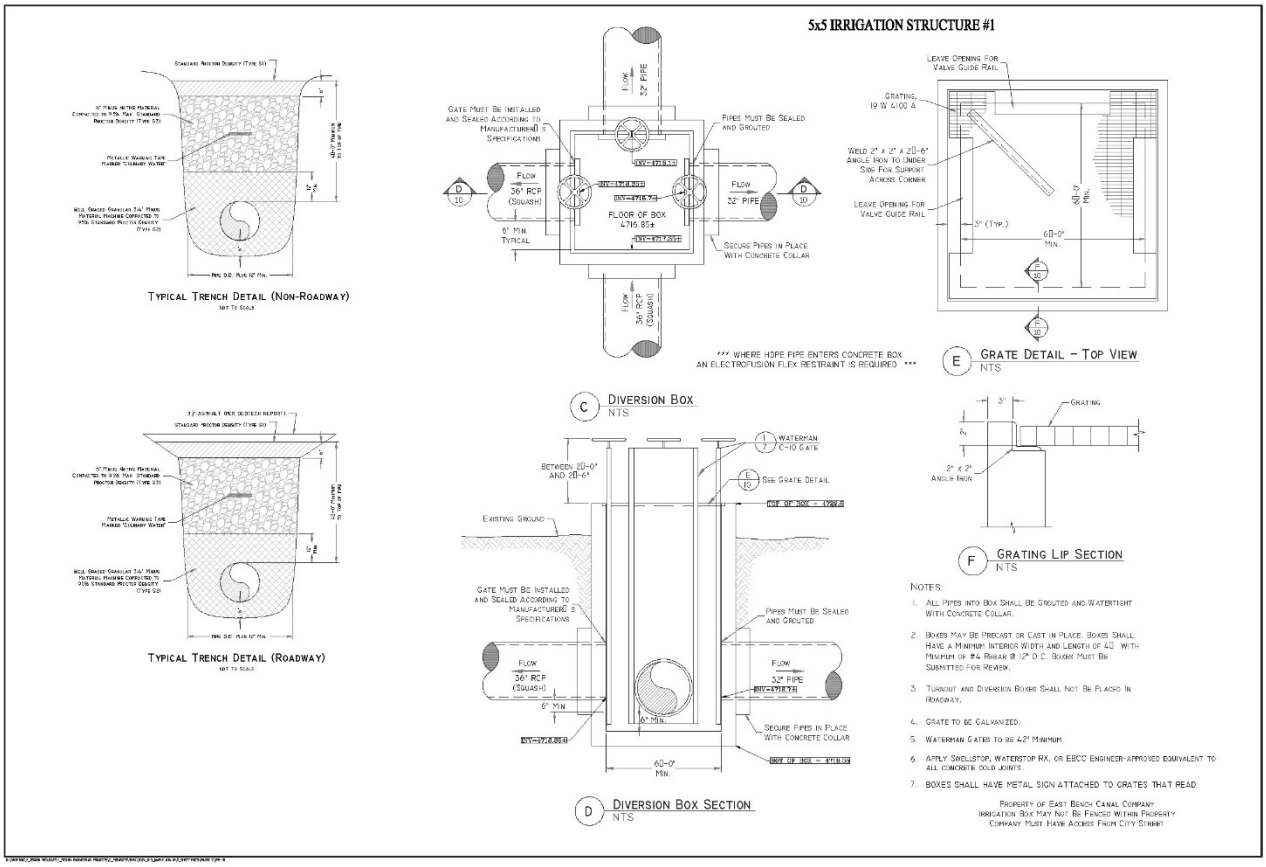


region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.375.2243
region-eng.com

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE FOURTHEAST QUARTER OF SECTION 32, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS:
1
2
3

SHEET NAME: SECTIONS
SHEET #: IRR-03



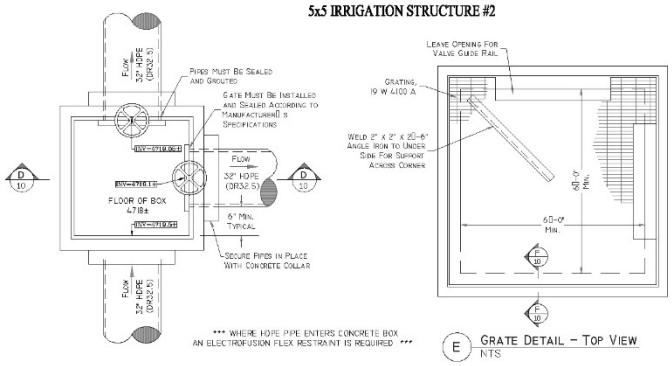
region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.375.2243
region-eng.com

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE FOURTHEAST QUARTER OF SECTION 32, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS:
1
2
3

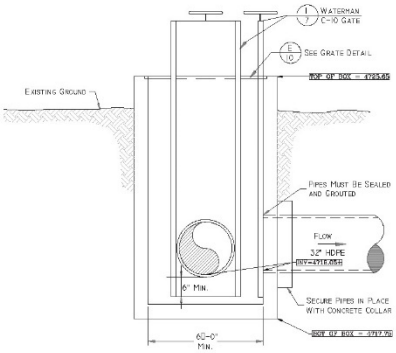
SHEET NAME: MISC. DETAILS
SHEET #: IRR-04

5x5 IRRIGATION STRUCTURE #2

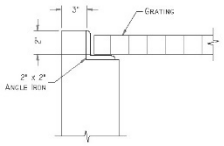


E GRATE DETAIL – TOP VIEW
NTS

C DIVERSION BOX
NTS



D DIVERSION BOX SECTION
NTS



F GRATING LIP SECTION
NTS

NOTES:

1. ALL PIPES INTO BOX SHALL BE GROUTED AND WATERTIGHT WITH CONCRETE COLLAR.
2. BOXES MAY BE PRECAST OR CAST IN PLACE. BOXES SHALL HAVE A MINIMUM INTERIOR WIDTH AND LENGTH OF 4.0' WITH MINIMUM OF #4 REBAR @ 12" O.C. BOXES MUST BE SUBMITTED FOR REVIEW.
3. TURNOUT AND DIVERSION BOXES SHALL NOT BE PLACED IN ROADWAY.
4. GRATE TO BE GALVANIZED.
5. WATERMAN GATES TO BE 42" MINIMUM
6. APPLY SWELLSTOP, WATERSTOP RX, OR EBCC ENGINEER-APPROVED EQUIVALENT TO ALL CONCRETE COLD JOINTS.
7. BOXES SHALL HAVE METAL SIGN ATTACHED TO GRATES THAT READ:

PROPERTY OF EAST BENCH CANAL COMPANY
IRRIGATION BOX MAY NOT BE FENCED WITHIN PROPERTY
COMPANY MUST HAVE ACCESS FROM CITY STREET

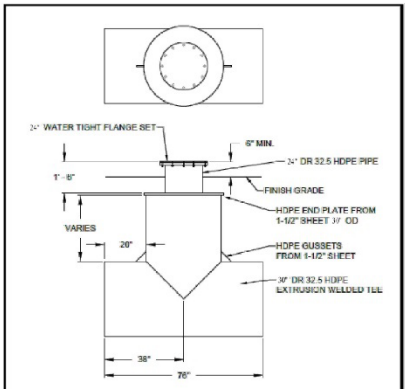
region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.356.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

IRR. DETAILS
IRR-05

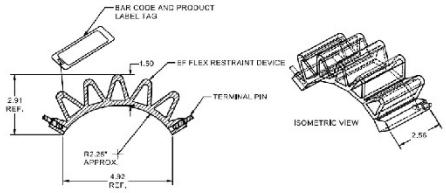
TEE Fitting & Access Hatch



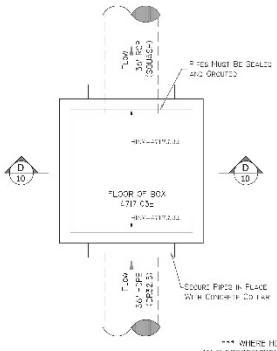
NOTES

1. CONTRACTOR TO CONTACT SUPPLIER (ISCO) TO VERIFY DIMENSIONS FOR AN EQUIVALENT HDPE TEE.
CONTACT: RYDELL JOHNSON
ISCO INDUSTRIES INC.
801-884-9085

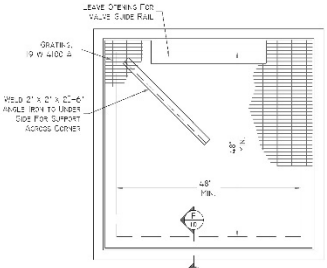
ELECTROFUSION FLEX RESTRAINT



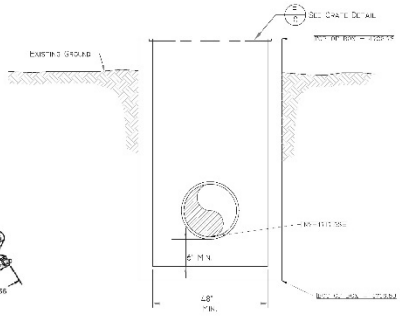
4x4 IRRIGATION STRUCTURE #1



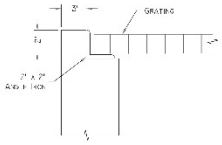
C DIVERSION BOX
NTS



E GRATE DETAIL – TOP VIEW
NTS



D DIVERSION BOX SECTION
NTS



F GRATING LIP SECTION
NTS

NOTES:

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2. BOXES MAY BE PRECAST OR CAST IN PLACE. BOXES SHALL HAVE A MINIMUM INTERIOR WIDTH AND LENGTH OF 4.0' WITH MINIMUM OF #4 REBAR @ 12" O.C. BOXES MUST BE SUBMITTED FOR REVIEW.
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6. APPLY SWELLSTOP, WATERSTOP RX, OR EBCC ENGINEER-APPROVED EQUIVALENT TO ALL CONCRETE COLD JOINTS
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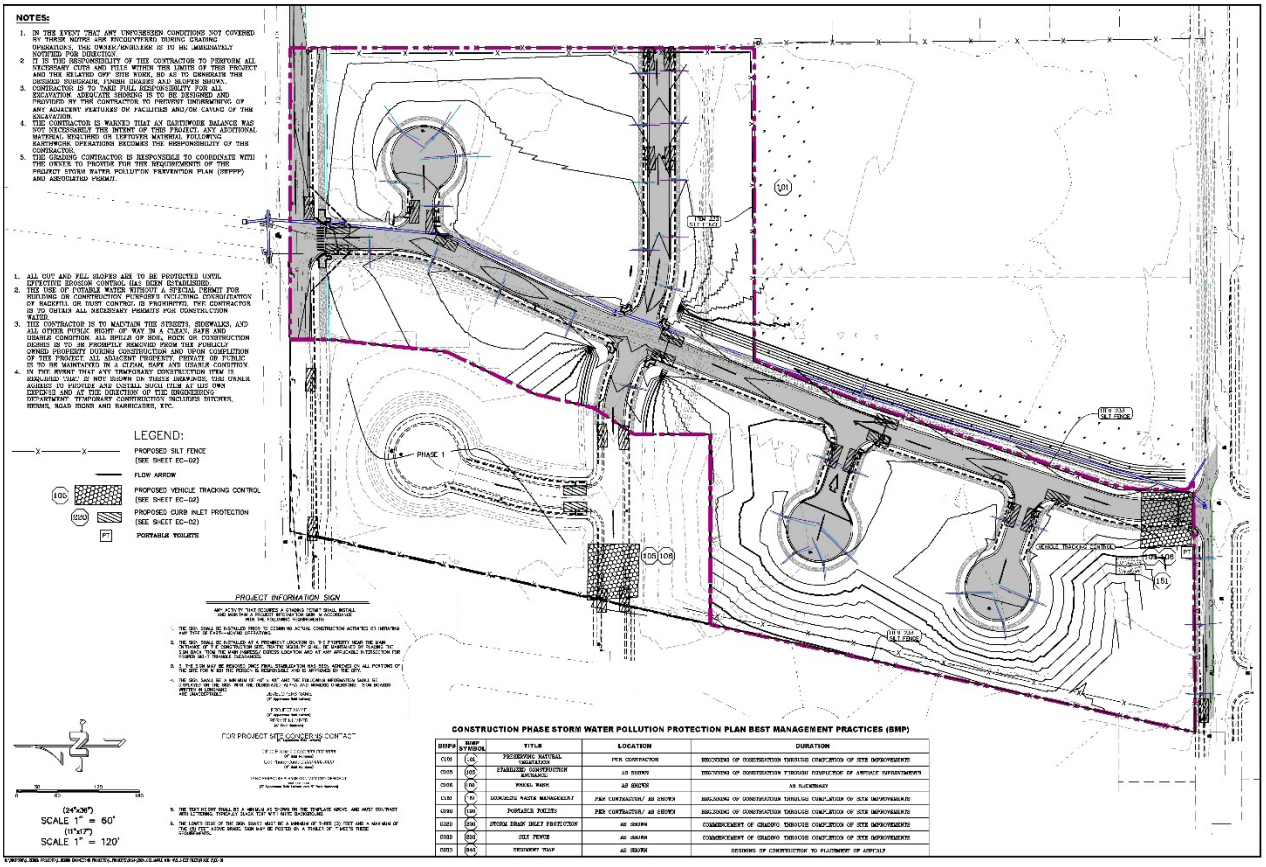
PROPERTY OF EAST BENCH CANAL COMPANY
IRRIGATION BOX MAY NOT BE FENCED WITHIN PROPERTY
COMPANY MUST HAVE ACCESS FROM CITY STREET

region Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.356.2245

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" – PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 8 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

IRR. DETAILS
IRR-06

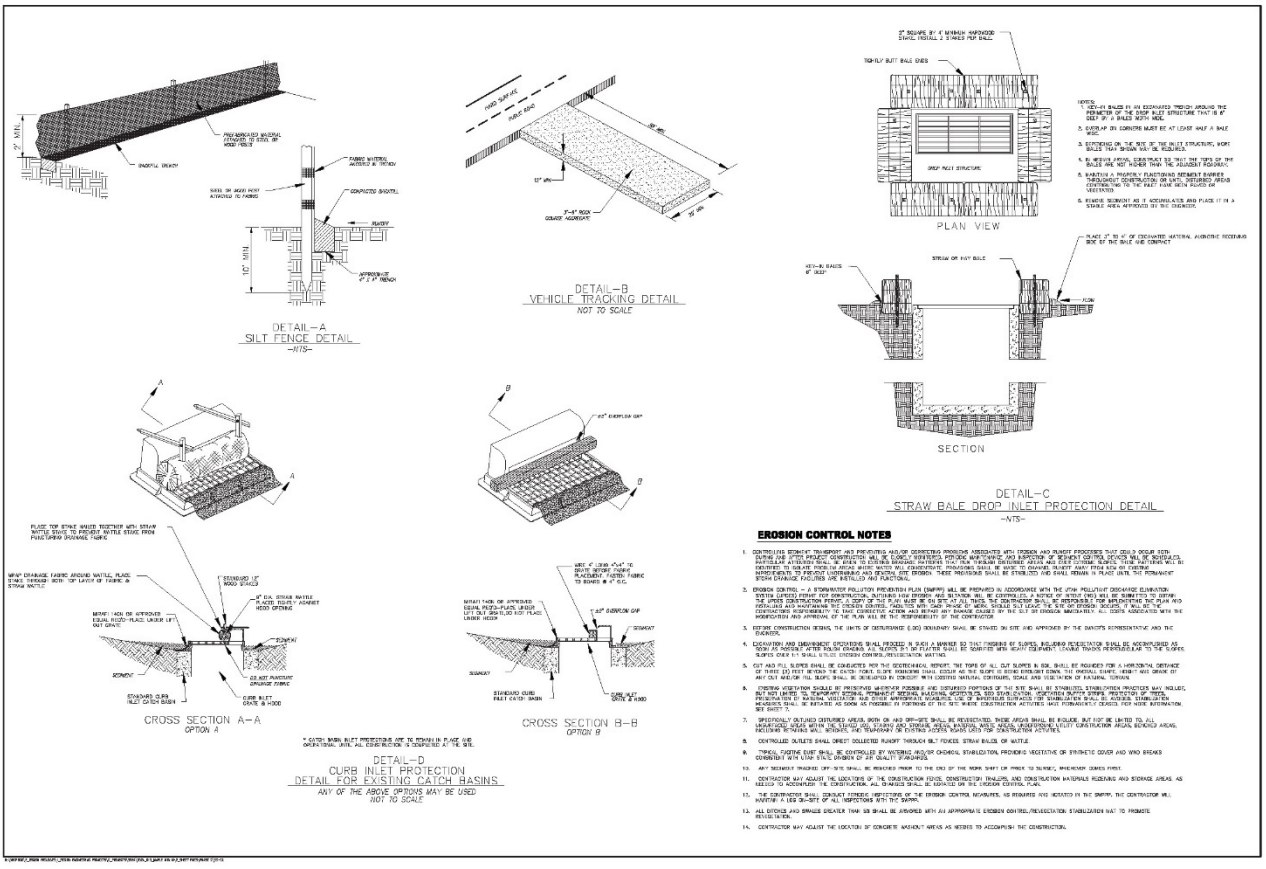


region Engineering & Surveying
1776 N State St #110
Orem, UT 84057
P: 801.375.2345
www.regionutah.com

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHEET NAME: EROSION CONTROL PLAN
SHEET: EC-01



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Orem, UT 84057
P: 801.375.2345
www.regionutah.com

MAPLE MOUNTAIN AT SPANISH FORK
PLAT "N" - PHASE 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 8 SOUTH RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 1.5.2026
PROJECT #
REVISIONS
1
2
3

SHEET NAME: EROSION CONTROL DETAILS
SHEET: EC-02

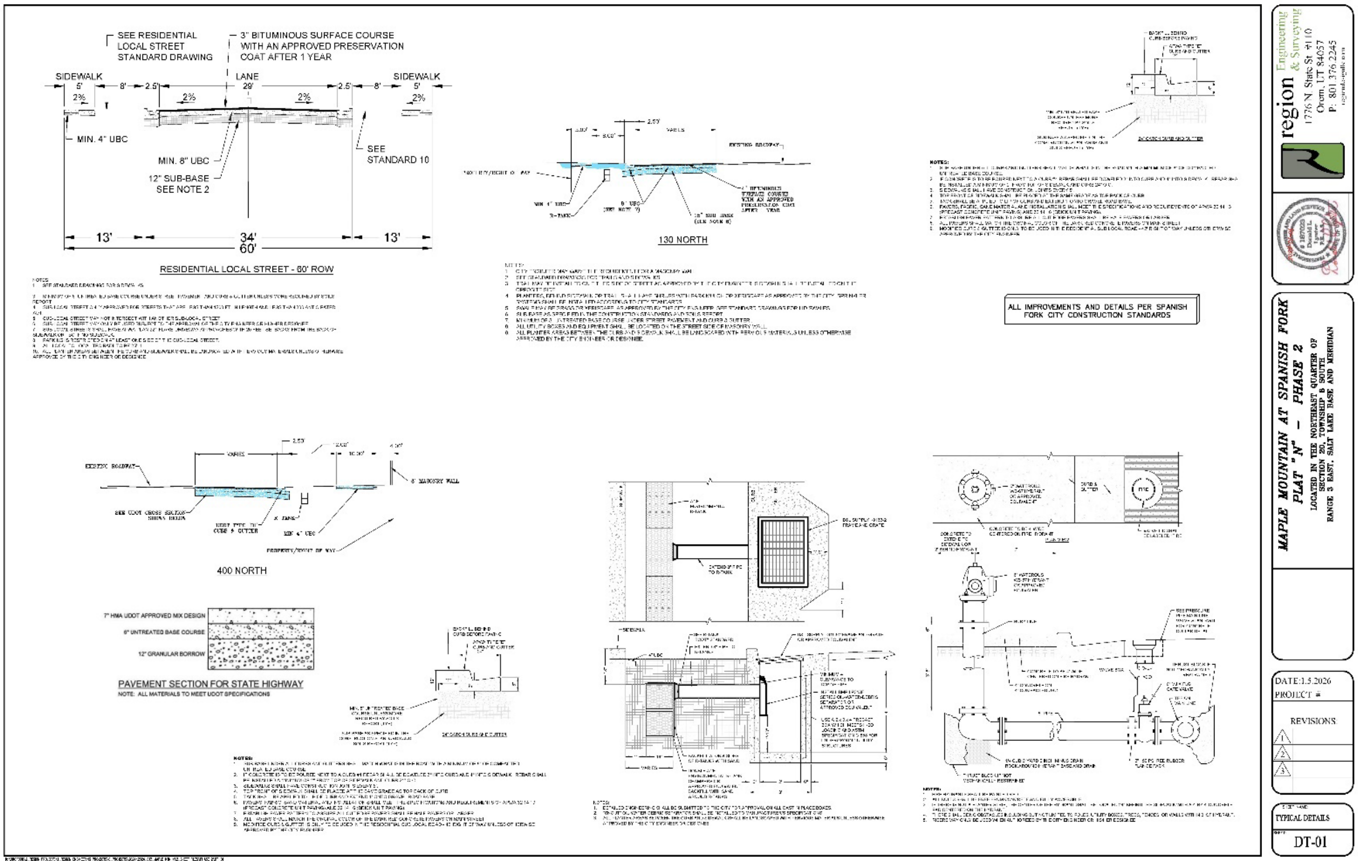
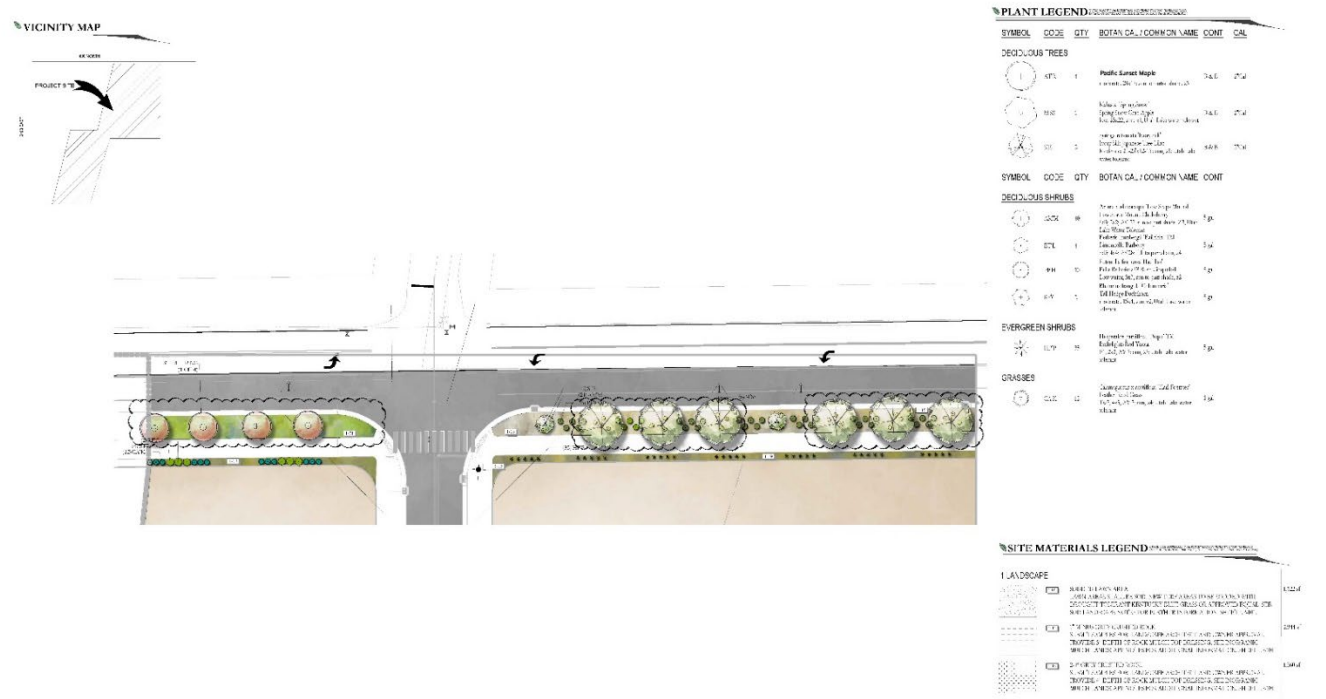
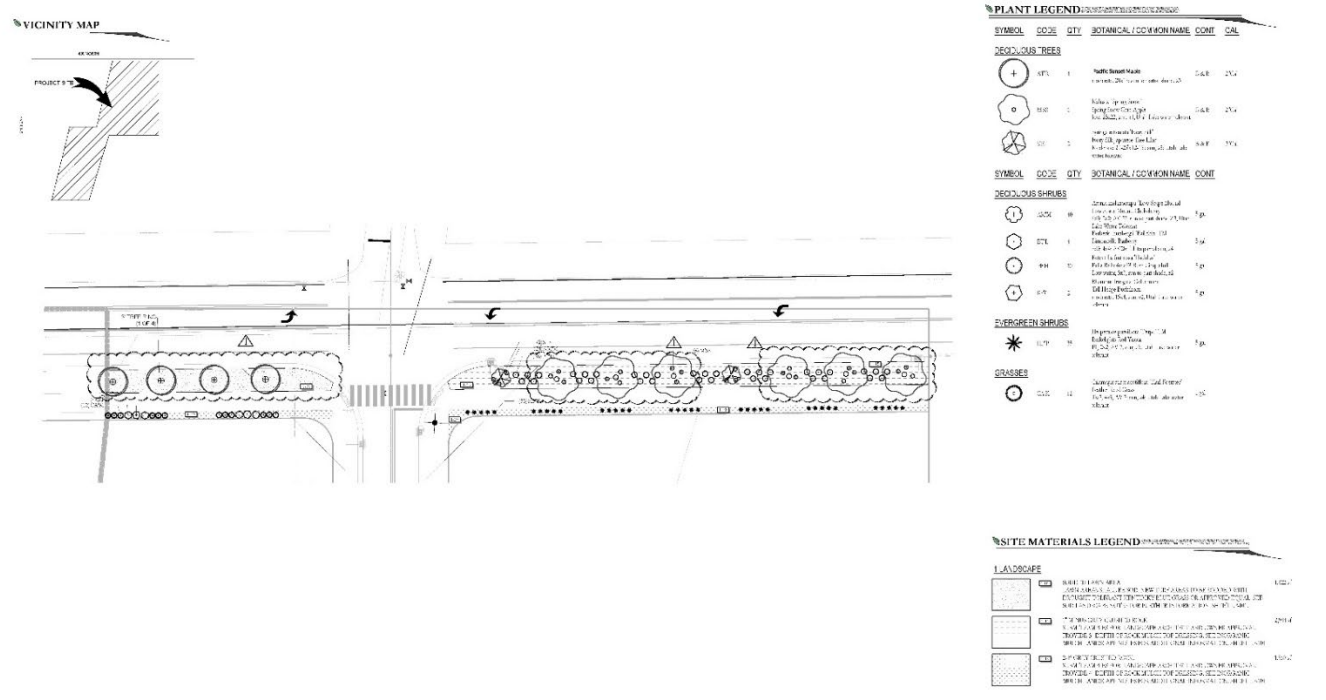

SEE RESIDENTIAL LOCAL STREET STANDARD DRAWING
3" BITUMINOUS SURFACE COURSE WITH AN APPROVED PRESERVATION COAT AFTER 1 YEAR
SIDEWALK
LANE
MIN. 4" UBC
MIN. 8" UBC
12" SUB-BASE SEE NOTE 2
SEE STANDARD 10
RESIDENTIAL LOCAL STREET - 60' ROW
130 NORTH
400 NORTH
PAVEMENT SECTION FOR STATE HIGHWAY
NOTE: ALL MATERIALS TO MEET UDOT SPECIFICATIONS
ALL IMPROVEMENTS AND DETAILS PER SPANISH FORK CITY CONSTRUCTION STANDARDS
region Engineering & Surveying
1776 N. State St #110
Orem, UT 84057
P: 801 376 2245
MAPLE MOUNTAIN AT SPANISH FORK PLAT "N" — PHASE 2
DATE:1.5.2026
PROJECT #
REVISIONS
TYPICAL DETAILS
DT-01

EXHIBIT 3


VICINITY MAP
PLANT LEGEND
SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT CAL
DECIDUOUS TREES
SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT
DECIDUOUS SHRUBS
EVERGREEN SHRUBS
GRASSES
SITE MATERIALS LEGEND
1. LANDSCAPE
11/25/2025
UT25014
811 BLUE STAKES OF UTAH 1-800-662-4111
MAPLE MOUNTAIN PH. 2
400 N. 2400 E.
SPANISH FORK, UTAH
REGION ENGINEERING
ATT: SHAWN HERRING
SHERRING@REGIONDESIGN.LLC.COM
PKJ DESIGN GROUP
3490 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 595-2217
COLOR ILLUSTRATION
CITY PERMIT SET
LP-COLOR


VICINITY MAP
PLANT LEGEND
SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT CAL
DECIDUOUS TREES
SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT
DECIDUOUS SHRUBS
EVERGREEN SHRUBS
GRASSES
SITE MATERIALS LEGEND
1. LANDSCAPE
11/25/2025
UT25014
811 BLUE STAKES OF UTAH 1-800-662-4111
MAPLE MOUNTAIN PH. 2
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ATT: SHAWN HERRING
SHERRING@REGIONDESIGN.LLC.COM
PKJ DESIGN GROUP
3490 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 595-2217
LANDSCAPE OVERALL PLAN
CITY PERMIT SET
LP-100

LANDSCAPE PLAN SPECIFICATIONS

GENERAL LANDSCAPE NOTES

PLANT LEGEND

SYMBO.	CODE	QTY	BOTANICAL / COMMON NAME	COAT	CAL
DECIDUOUS TREES					
SYMBO.	CODE	QTY	BOTANICAL / COMMON NAME	COAT	
DECIDUOUS SHRUBS					
EVERGREEN S - RUBS					
GRASSES					

SITE MATERIALS LEGEND

LANDSCAPE

SITE REQUIREMENT CALCULATIONS

STREET FRONTAGE	REQUIRED	PROVIDED
PERIMETER PLANTINGS ALONG COLLECTOR/ARTERIAL	REQUIRED	PROVIDED

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
11/25/2025	UT25014		MAPLE MOUNTAIN PH. 2 400 N. 2400 E. SPANISH FORK, UTAH	REGION ENGINEERING ATT: SHAWN HERRING 801-376-2245 SHERRING@REGIONDESIGNLLC.COM	PKJ DESIGN GROUP 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 995-2217 www.pkjdesigngroup.com		JTA ACP JMA LANDSCAPE COVER CITY PERMIT SET LP-101

811 BLUE STAKES OF UTAH 1-800-662-4111

A DECIDUOUS TREE PLANTING

B TREE ON SLOPE 3% (2:1) TO 50% (2:1)

C TREE W/ BERM (EXISTING SOIL MODIFIED)

D EVERGREEN TREE PLANTING

E SHRUB - MODIFIED SOIL

I PERENNIAL PLANTING

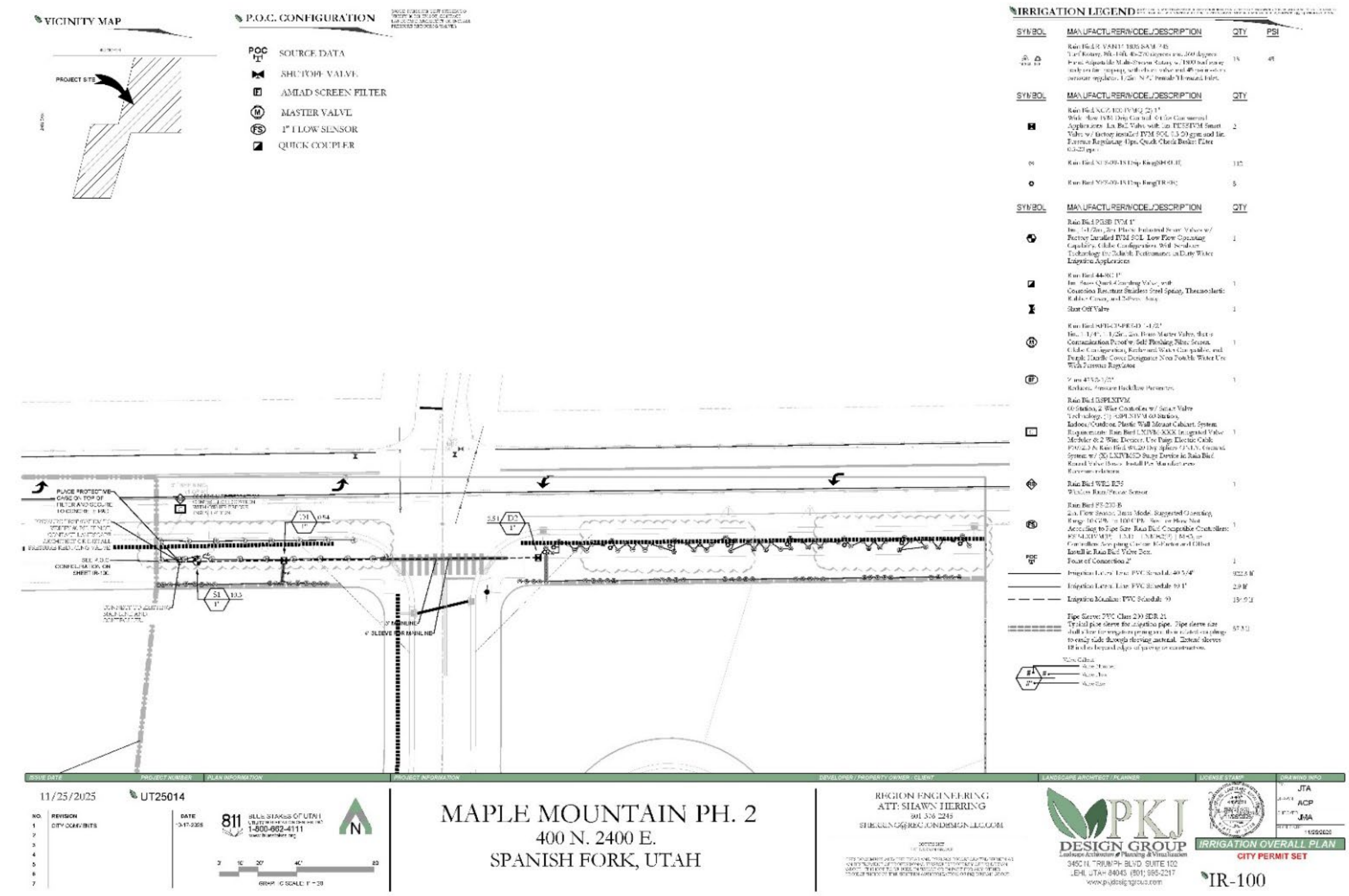
I SOD LAYING/MULCH DETAIL

H PERENNIAL/GROUNDCOVER PLANTING

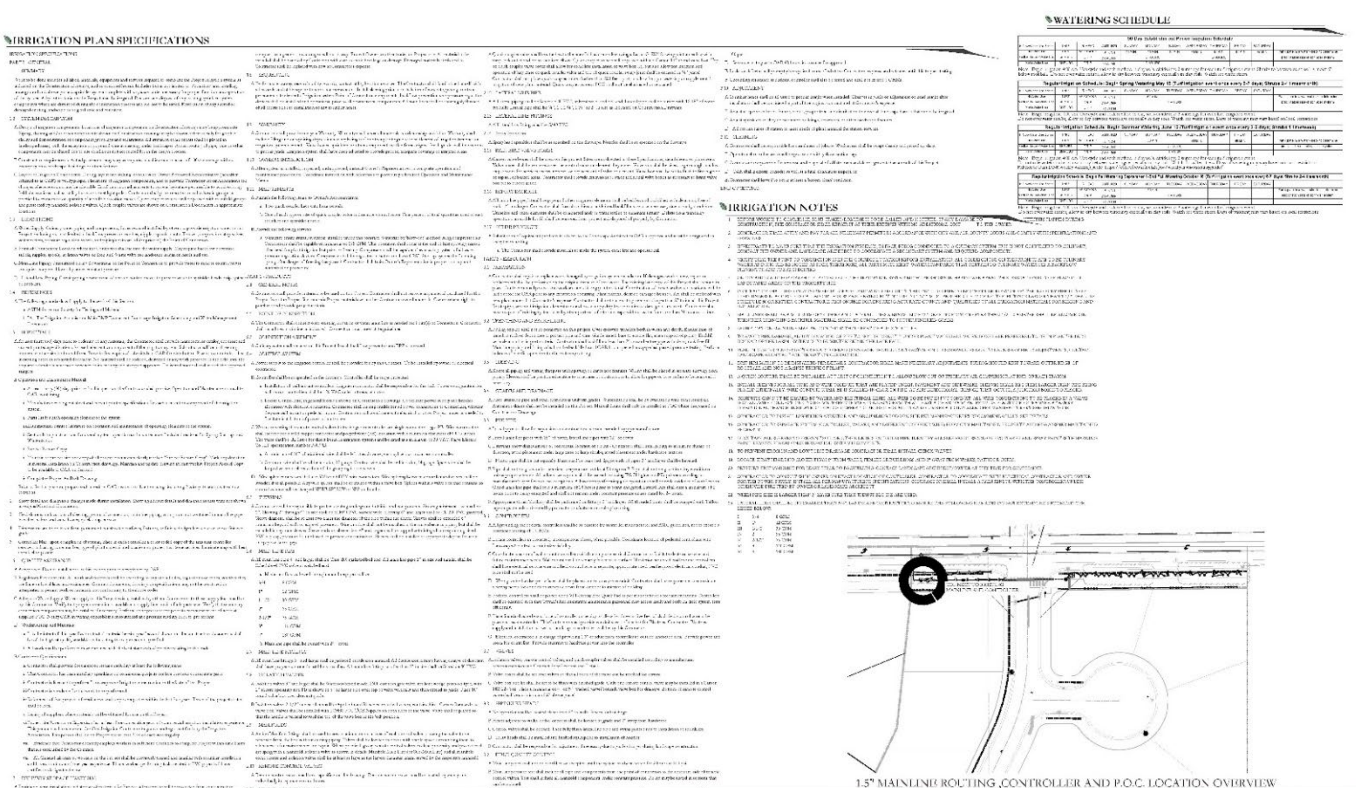
J BOULDER AND DRY STREAM BED DETAIL

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
11/25/2025	UT25014		MAPLE MOUNTAIN PH. 2 400 N. 2400 E. SPANISH FORK, UTAH	REGION ENGINEERING ATT: SHAWN HERRING 801-376-2245 SHERRING@REGIONDESIGNLLC.COM	PKJ DESIGN GROUP 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 995-2217 www.pkjdesigngroup.com		JTA ACP JMA LANDSCAPE DETAILS CITY PERMIT SET LP-501

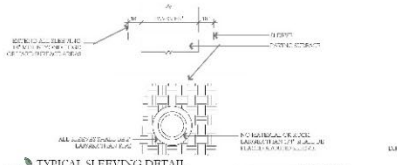
811 BLUE STAKES OF UTAH 1-800-662-4111



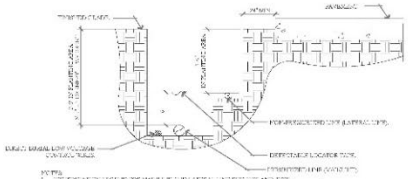
VICINITY MAP
P.O.C. CONFIGURATION
SOURCE DATA
SHUTOFF VALVE
AMIAD SCREEN FILTER
MASTER VALVE
1" FLOW SENSOR
QUICK COUPLER
IRRIGATION LEGEND
SYMBOL
MANUFACTURER/MODEL/DESCRIPTION
QTY
PSI
11/25/2025
UT25014
MAPLE MOUNTAIN PH. 2
400 N. 2400 E.
SPANISH FORK, UTAH
REGION ENGINEERING
ATT: SHAWN HERRING
PKJ
DESIGN GROUP
IRRIGATION OVERALL PLAN
CITY PERMIT SET
IR-100



IRRIGATION PLAN SPECIFICATIONS
WATERING SCHEDULE
IRRIGATION NOTES
1.5" MAINLINE ROUTING ,CONTROLLER AND P.O.C. LOCATION OVERVIEW
11/25/2025
UT25014
MAPLE MOUNTAIN PH. 2
400 N. 2400 E.
SPANISH FORK, UTAH
REGION ENGINEERING
ATT: SHAWN HERRING
PKJ
DESIGN GROUP
IRRIGATION COVER
CITY PERMIT SET
IR-101



D TYPICAL SLEEVING DETAIL



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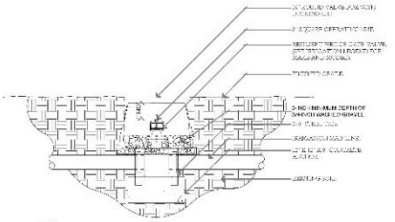
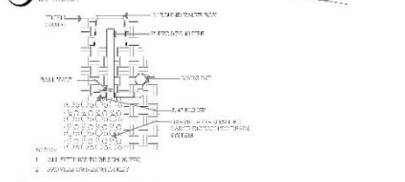
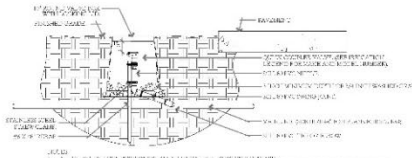


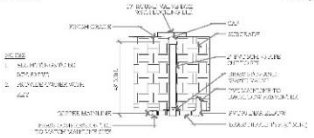
C GATE VALVE AND ANCHOR DETAIL



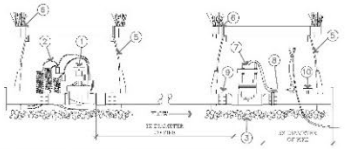
I MANUAL DRAIN DETAIL



G QUICK COUPLER DETAIL



H STOP AND WASTE VALVE ASSEMBLY DETAIL

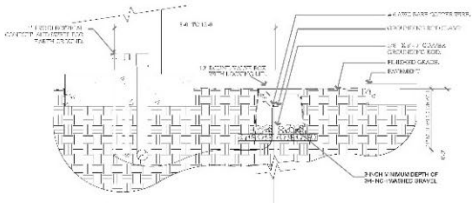


J MASTER VALVE AND FLOW SENSOR DETAIL

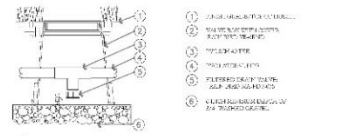
ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
11/25/2025	UT25014		MAPLE MOUNTAIN PH. 2 400 N. 2400 E. SPANISH FORK, UTAH	REGION ENGINEERING ATT: SHAWN HERRING 801.376.2245 SHERRING@REGIONDESIGN.COM	PKJ DESIGN GROUP Landscape Architecture // Planning & Visualization 3460 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 985-2217 www.pkjdesigngroup.com		JTA ACP JMA IRRIGATION DETAILS CITY PERMIT SET IR-501

NO.	REVISION	DATE
1	CITY COMMENTS	10/7/2025

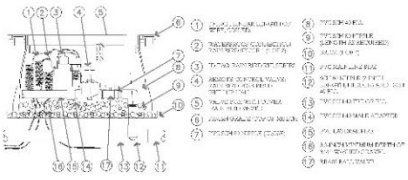
811 BLUE STAKES OF UTAH 1 1-800-662-4111



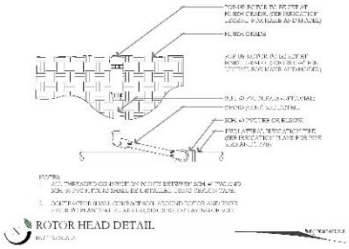
K GROUNDING ROD DETAIL



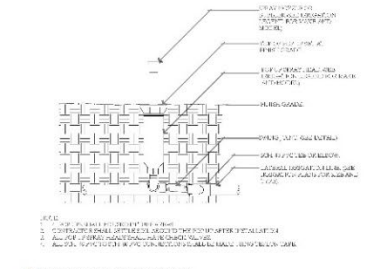
L MANUAL LINE DRAIN VALVE DETAIL



M ELECTRIC REMOTE-CONTROL VALVE DETAIL



N ROTOR HEAD DETAIL

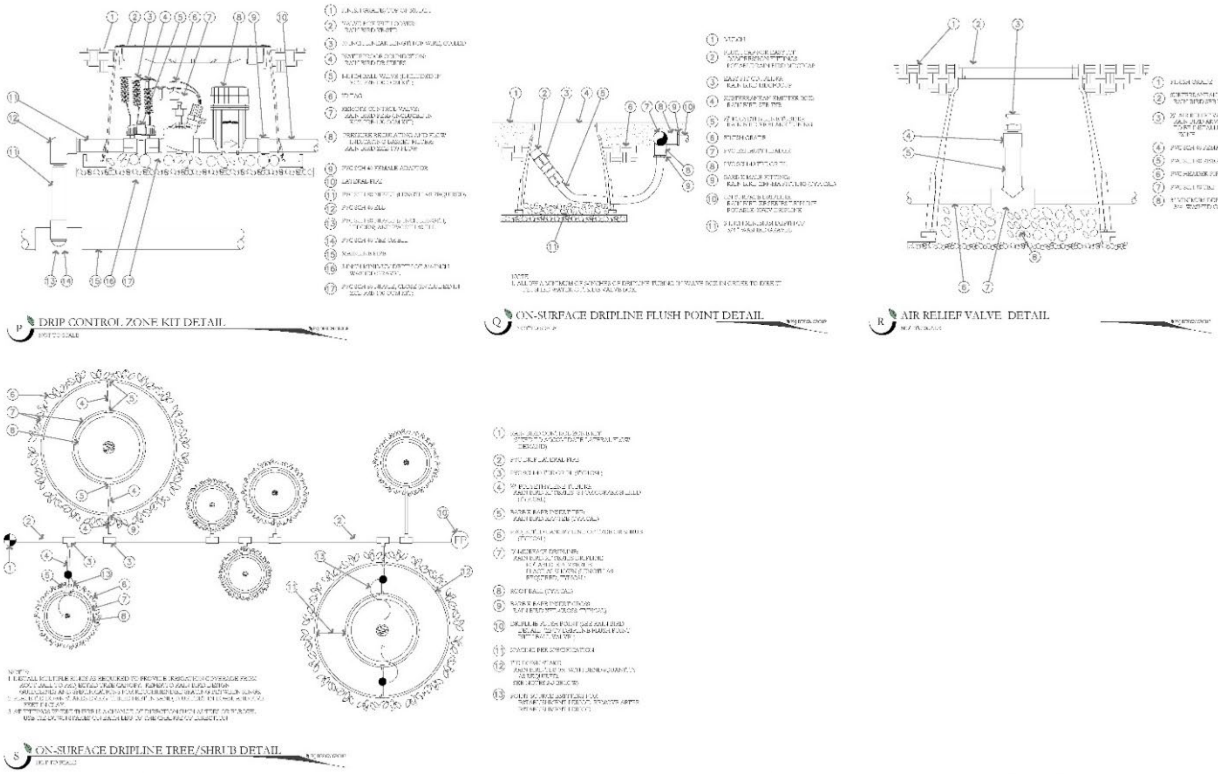


O POP-UP-SPRAY HEAD DETAIL

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
11/25/2025	UT25014		MAPLE MOUNTAIN PH. 2 400 N. 2400 E. SPANISH FORK, UTAH	REGION ENGINEERING ATT: SHAWN HERRING 801.376.2245 SHERRING@REGIONDESIGN.COM	PKJ DESIGN GROUP Landscape Architecture // Planning & Visualization 3460 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 985-2217 www.pkjdesigngroup.com		JTA ACP JMA IRRIGATION DETAILS CITY PERMIT SET IR-502

NO.	REVISION	DATE
1	CITY COMMENTS	10/7/2025

811 BLUE STAKES OF UTAH 1 1-800-662-4111



11/25/2025 UT25014

NO.	REVISION	DATE
1	CITY COMMENTS	10.7.2025
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4		
5		
6		
7		

811 BLUE STAKES OF UTAH 1-800-662-4111

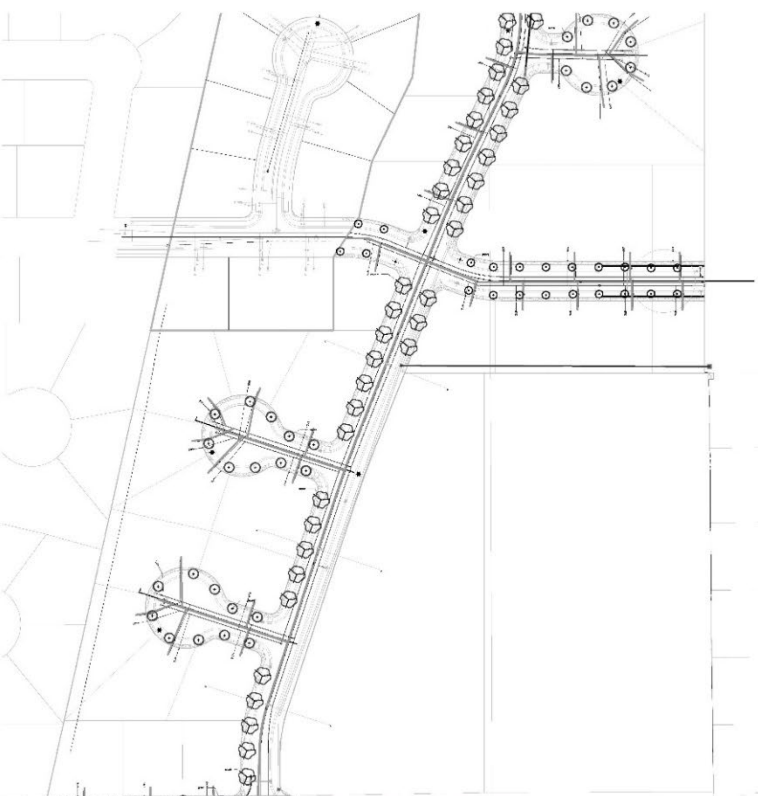
MAPLE MOUNTAIN PH. 2
400 N. 2400 E.
SPANISH FORK, UTAH

REGION ENGINEERING
ATT: SHAWN HERRING
801-376-2245
SHERRING@REGIONDESIGNLLC.COM

PKJ DESIGN GROUP
Landscape Architecture & Planning & Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 995-2217
www.pkjdesigngroup.com

JTA
ACP
JMA

IRRIGATION DETAILS
CITY PERMIT SET
IR-503



PLANT LEGEND

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
DECIDUOUS TREES					
	ATR	28	Acer truncatum 'JFS-KW2' TM Rugged Charm Tatarian Maple moderate; 28x18; sun to partial shade; z5	B & B	2"Cal
	PCJ	22	Pyrus calleryana 'Jaczam' TM Jack Callery Pear moderate; 20x12; sun z5; Utah Lake water tolerant	B & B	2"Cal
	UXF	39	Ulmus x 'Frontier' Frontier Elm Tall; 35x25; AV 490; sun; z4; Utah Lake water tolerant	B & B	2"Cal
	ZSC	6	Zelkova serrata 'JFS-KW1' TM City Sprite Zelkova Yilk; 24x18; AV 490; sun; z5; Utah lake water tolerant	B & B	2"Cal

STREET TREE REQUIREMENTS
1. No tree may be planted within thirty (30) feet of intersecting sidewalk corners.
2. No tree may be planted within ten feet of any water meter, electric meter, junction box, transformer, other electrical facility, or utility pole.
3. Street trees in Master Planned Developments shall be spaced 30 feet apart (15.3.20.080 Master Planned Development Overlay District.).
4. Trees need to be minimum two-inch caliper. (15.4.16.130 Landscaping, Buffering Walls, and Fences.)
5. Street trees in Master Planned Developments shall be installed prior to a Certificate of Occupancy being granted for the adjacent lot unless provisions are made for the developer to provide financial assurance to the City that the trees will be installed at a later time.
6. Automated irrigation systems are required for landscape plantings and street trees in the park strips. (Newly planted trees need additional water during the first years of planting in order to become established. In addition to properly designed irrigation systems, other methods such as drip hoses and " gator bags" should be used to provide more water for new trees.)

4/23/2025 UT25014

NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		
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7		

811 BLUE STAKES OF UTAH 1-800-662-4111

GRAPHIC SCALE: 1" = 80'

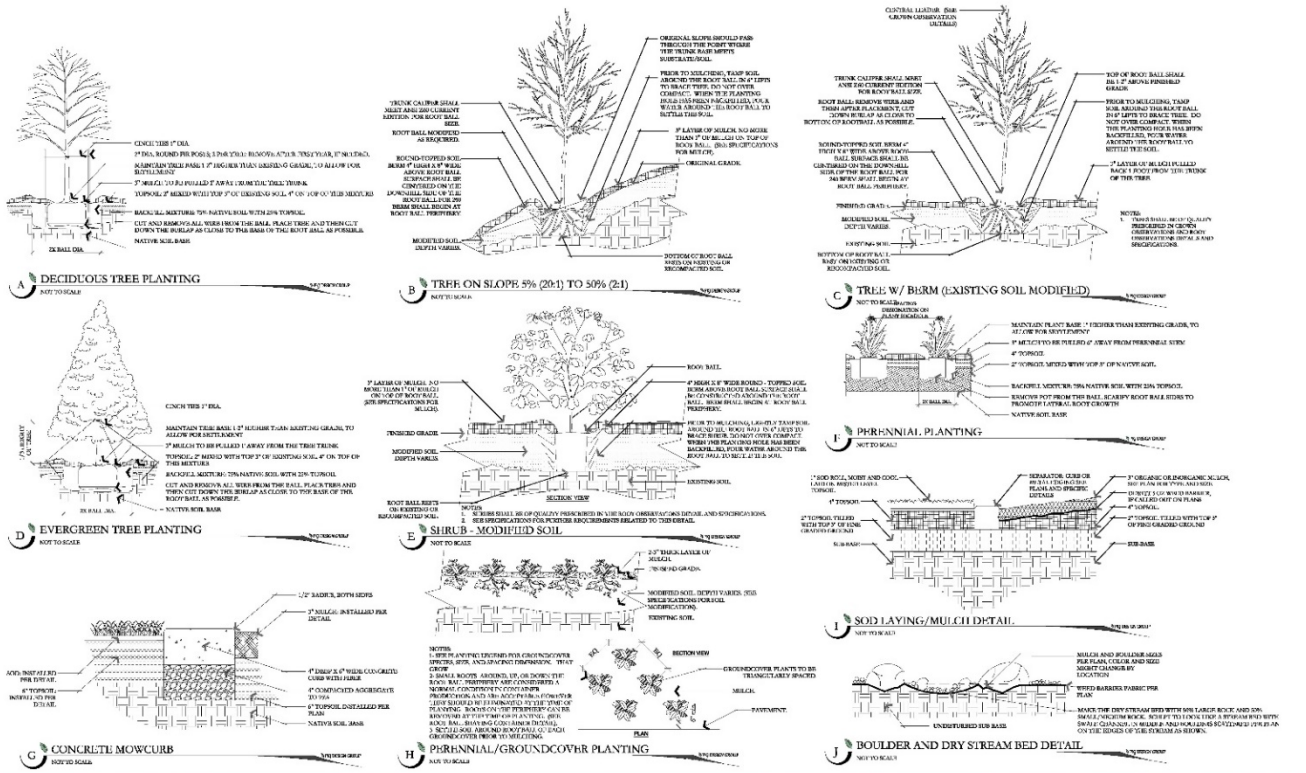
MAPLE MOUNTAIN PH. 2
400 N. 2400 E.
SPANISH FORK, UTAH

REGION ENGINEERING
ATT: SHAWN HERRING
801-376-2245
SHERRING@REGIONDESIGNLLC.COM

PKJ DESIGN GROUP
Landscape Architecture & Planning & Visualization
3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

JTA
ACP
JMA

STREET TREE PLAN
CITY PERMIT SET
LP-102



4/23/2025 UT25014

NO.	REVISION	DATE
1	XXXX	XX.XX.XX
2		
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5		
6		
7		

811 BLUE STAKES OF UTAH 1-800-662-4111

MAPLE MOUNTAIN PH. 2
400 N. 2400 E.
SPANISH FORK, UTAH

REGION ENGINEERING
ATT: SHAWN HERRING
801-376-2245
SHERRING@REGIONDESIGNLLC.COM

PKJ DESIGN GROUP
Landscape Architecture & Planning & Visual Solutions
3450 N. TRIUMPH BLVD, SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

JTA
ACP
JMA

LANDSCAPE DETAILS
CITY PERMIT SET

LP-501

GLH Industrial Park

GLH Industrial Park

Subject: Request for Approval of Temporary Yard Screening Solution – GLH Industrial Park

Dear City Council Members,

Thank you for your time and collaboration as the new industrial park comes online. We appreciate the City's commitment to maintaining high standards while supporting efficient development.

As outlined in the attached proposal, we respectfully request approval to utilize a temporary screening solution—a 7-foot black chain-link fence with full privacy slats—in lieu of the masonry wall currently required by ordinance for outdoor storage areas.

This request is based on the following key considerations:

• The yard is intended for temporary use only, with an anticipated maximum duration of approximately three years.

• Operations are highly controlled, continuously staffed, and limited to short-term staging and reload of new equipment for data centers.

• The proposed fence meets the City's visual objectives while avoiding a disproportionate permanent improvement (CMU wall) that would later be removed.

• The cost of a CMU wall is estimated at $784,400, which is not practical for a temporary use.

Facility Address:

2261 NORTH 700 WEST

SPANISH FORK, UTAH 84660

The attached package includes:

- Cover letter summarizing the request

- Detailed proposal with photos of similar installations and organized yard operations

- Cost comparison

- Civil plan excerpts

- Ordinance reference

- Contractor quote for CMU wall

January 12, 2026

City Council

Spanish Fork City

Subject: Request for Approval of Temporary Yard Screening Solution

We appreciate the opportunity to collaborate with the City as the new industrial park comes online. As outlined in the attached proposal, we respectfully request approval to utilize a temporary screening solution—a 7-foot black chain-link fence with full privacy slats—in lieu of the masonry wall currently required by ordinance for outdoor storage areas.

This request is based on the following key considerations:
• The yard is intended for temporary use only, with an anticipated maximum duration of approximately three years.
• Operations are highly controlled, continuously staffed, and limited to short-term staging and reload of new equipment for data centers.
• The proposed fence meets the City’s visual objectives while avoiding a disproportionate permanent improvement (CMU wall) that would later be removed.
• The cost of a CMU wall is estimated at $784,400, which is not practical for a temporary use.

Facility Address:
2261 NORTH 700 WEST
SPANISH FORK, UTAH 84660

We believe this solution achieves the City’s intent and allows the project to proceed efficiently. Please find the detailed proposal attached for your review.

Thank you for your consideration. We are available to provide any additional information or clarification you may require.

Sincerely,

_____

Name/Title

Request for Approval of Temporary Yard Screening Solution

7-foot Black Chain-Link Fence with Privacy Slats (Temporary Use)

Facility Address:
2261 NORTH 700 WEST
SPANISH FORK, UTAH 84660

Presented to: City Council

Date: January 12, 2026

Executive Summary

We respectfully request approval to utilize a temporary screening solution—a 7-foot black chain-link fence with full privacy slats—in lieu of the masonry wall currently required by ordinance for outdoor storage areas. This solution meets the City's visual objectives while avoiding a disproportionate permanent improvement for a temporary use.

Example of black chain-link fence with privacy slats at similar facility.

Visual example of organized yard operations.

Visual example of organized yard operations.

Cost Comparison

Option	Type	Estimated Cost	Notes
A	7' Black Chain-Link Fence w/ Privacy Slats (Temporary)	$246,365	Meets screening intent; removable at end of temporary use.
B	6' Masonry Wall (Permanent)	$784,400	Permanent improvement for a temporary use; would need removal upon redevelopment.

Conclusion & Formal Request

Given the limited duration, controlled operations, lack of public visibility, continuous on-site staffing, and planned future development that will fully enclose this area, a permanent CMU wall does not provide proportional benefit for this specific use case. We respectfully request approval to utilize a 7-foot black chain-link fence with privacy slats as a temporary screening solution for the yard connected to the warehouse facility.

City Approval:

_____ Date: _____

Name/Title: _____

Appendix A — Civil Plan Excerpts (Updated)

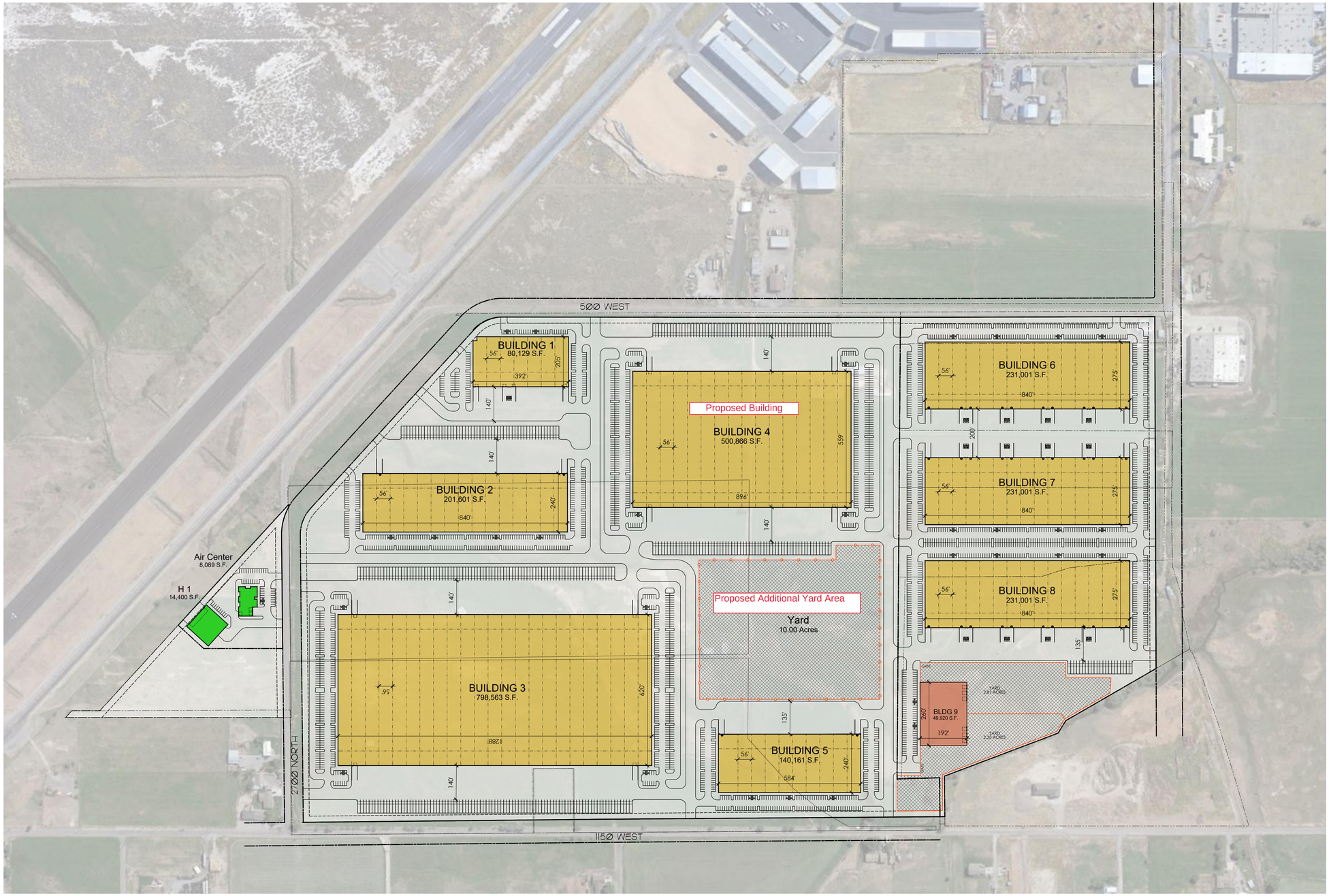
Civil Plan Set - GLH Lot 1 TI Yard (Updated 12/16/2025): Proposed 7' black chain-link fence indicated around yard perimeter; updated plan excludes guard shack; warehouse footprint 502,866 sq. ft.; outdoor yard area 435,657 sq. ft.

Appendix B — Ordinance Excerpt

Spanish Fork Municipal Code §15.3.24.090(1): "Outdoor Storage Areas... The outdoor storage area must be screened from surrounding properties with a six-foot tall masonry wall..." Additional requirements include surfacing, lighting plan, and a 10-foot landscaped planter when abutting a public street. (Source: Ordinance No. 02-15, adopted January 20, 2015).

Appendix C — Contractor Quote (CMU Wall)

AK Masonry Bid Proposal (12/16/2025): Natural Grey CMU site wall, 7'0" above grade with solid CMU cap; includes footing excavation and rebar. Base Bid Amount: $784,400. Contact: Travis Kimball. Bid valid for 30 days.



PARKING/BUILDING DATA

		PHASE I		PHASE II			
Air Center - Hannger	22,489 SF	BUILDING 1,2,3,4,5	1,721,320 SF	BUILDING 6,7,8	693,004 SF	BUILDING 9	49,920 SF
TOTAL PARKING	45 SPACES	TOTAL PARKING	1,490 SPACES	TOTAL PARKING	912 SPACES	TOTAL PARKING	76 SPACES
RATIO	2.00/1,000 S.F.	RATIO	0.87/1,000 S.F.	RATIO	1.32/1,000 S.F.	RATIO	1.52/1,000 S.F.

BUILDING TOTAL 2,464,244 SF

CONCEPTUAL SITE PLAN

THIS SITE PLAN IS FOR CONCEPTUAL PLANNING. THE SITE WILL NEED TO BE SURVEYED TO ACCURATELY DEFINE ALL BOUNDARIES, EASEMENTS, UTILITY EASEMENTS, RIGHT-OF-WAYS. CONFIRM ACCESS LOCATIONS, AND WETLANDS.

NORTH

0 200 400 600 800

Scale 1:200

aeurbia architects and engineers

RITCHIE GROUP - Industrial Master Plan

SPANISH FORK, UTAH

AE2021.435 – SP-19

October 31, 2025

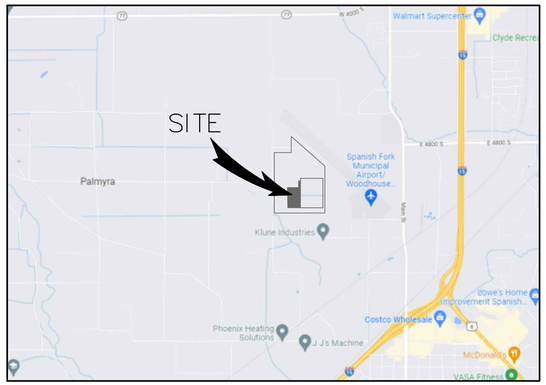
GLH INDUSTRIAL PARK LOT 1 - TI YARD

2261 NORTH 700 WEST
SPANISH FORK, UTAH 84660

DECEMBER 16, 2025

LEGEND

PROPERTY LINE	EXISTING FIRE HYDRANT
EASEMENT LINE	PROPOSED FIRE HYDRANT
4240.0 PROPOSED GRADE CONTOURS	EXISTING STREET LIGHT
4240.0 EXISTING GRADE CONTOURS	PROPOSED STREET LIGHT
EXISTING CURB	PROPOSED PARKING LOT LIGHT
PROPOSED CURB AND GUTTER	EXISTING WATER METER
PROPOSED CURB WALL	EXISTING WATER VALVE
REVERSE PAN CURB & GUTTER	EXISTING GATE VALVE
SS EXISTING SEWER	EXISTING OVERHEAD POWER POLE
SS PROPOSED SEWER	TBC TOP BACK CONCRETE
W EXISTING WATER	FF FINISHED FLOOR
W PROPOSED WATER	HW HIGH WATER
F EXISTING FIRE LINE	TOG TOP OF GRATE
F PROPOSED FIRE LINE	TOL TOP OF LID
SD EXSITING STORM DRAIN	IE INVERT ELEVATION
SD PROPOSED STORM DRAIN	EX EXISTING
RD PROPOSED ROOF DRAIN	NG NATURAL GROUND
G EXISTING GAS	TA TOP OF ASPHALT
G PROPOSED GAS	TC TOP OF CONCRETE
OHP EXISTING OVERHEAD POWER	EC EDGE OF CONCRETE
UGP EXISTING UNDERGROUND POWER	EA EDGE OF ASPHALT
UGP PROPOSED UNDERGROUND POWER	TOW TOP OF WALL
T EXISTING TELEPHONE LINE	TG TOP OF GRAVEL
T PROPOSED TELEPHONE LINE	TL TOP OF LANDSCAPING
FO EXISTING FIBER OPTIC LINE	TS TOP OF SIDEWALK
FO PROPOSED FIBER OPTIC LINE	PROP PROPOSED
PROPOSED GRAVEL	390 TBC CALLOUT UNLESS OTHERWISE DESIGNATED



VICINITY MAP
NOT TO SCALE

PROJECT CONSTRUCTION NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIRMENTS.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
5. CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
6. INSTALL ALL SIDEWALKS PER CITY STANDARD PLAN ST-13.
7. INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS AND SPECIFICATIONS.
8. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER CITY STANDARDS AND SPECIFICATIONS.
9. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
10. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
11. FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS
12. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
13. ANY DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.

SHEET INDEX

CIVIL ENGINEER:
CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - PH: 801-949-6296

OWNER:
THE RITCHIE GROUP
1245 BRICKYARD ROAD, SUITE 70
SALT LAKE CITY, UTAH 84106
CONTACT PERSON: DAVE HENNEFER
PH: (925) 699-0264

ARCHITECT:
AE URBIA
909 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
CONTACT PERSON: SHAWN EATON
PH: (801) 746-0456

CONTRACTOR:
TOM STUART CONSTRUCTION
259 RIVERBEND WAY #100
NORTH SALT LAKE, UTAH 84054
CONTACT PERSON: SPENCER WARD
PH: (801) 936-3446

CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

NO	REVISIONS	BY	DATE

DESIGNER: SDT PROJECT ENGINEER: SDT

GLH INDUSTRIAL PARK LOT 1 - TI YARD
2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660
COVER SHEET

LICENSED PROFESSIONAL ENGINEER
SCOTT D. THORSEN
No. 354291
STATE OF UTAH

SHEET NO.
CV

PROJECT ID	DATE:
E23-013	12/16/25
FILE NAME: PRJ-GLH1	SCALE: 1"=60'

CALL BEFORE YOU DIG! BLUE STAKES 1-800-662-4111

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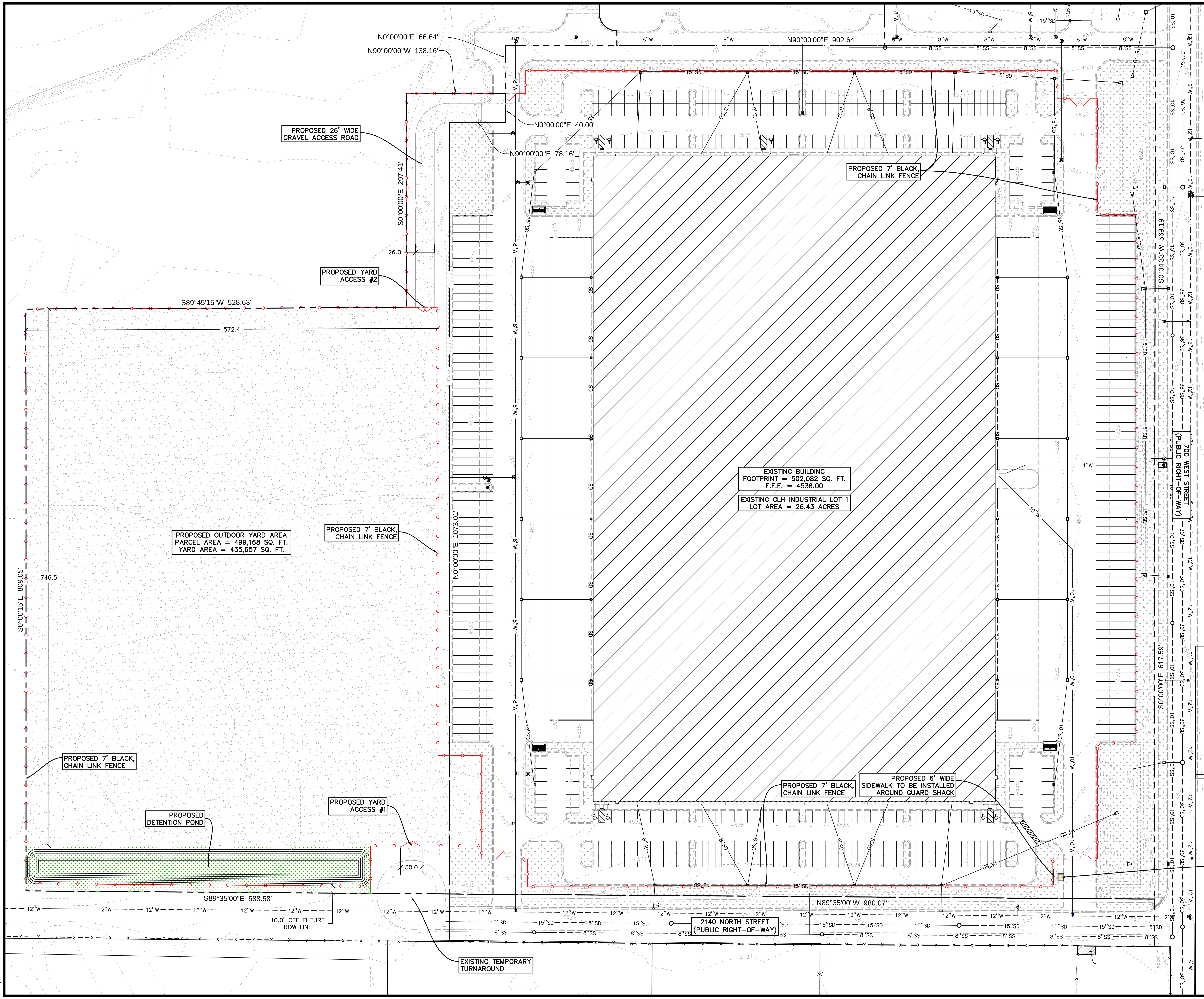


SEE COVER SHEET FOR PROJECT LEGEND.

SHEET LEGEND

- EXISTING BUILDING
- EXISTING LANDSCAPE
- PROPOSED OUTDOOR YARD AREA
- PROPOSED LANDSCAPE (ROCK MULCH)
- PROPOSED GUARD SHACK
- PROPOSED CONCRETE
- PROPOSED 7' BLACK, CHAINLINK FENCE

CALL BEFORE YOU DIG! IT'S THE LAW BLUE STAKES 1 800 662 4111

NO.	REVISIONS	BY	DATE

DESIGNER: SDT PROJECT ENGINEER: SDT

CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

GLH INDUSTRIAL PARK LOT 1 – TI YARD

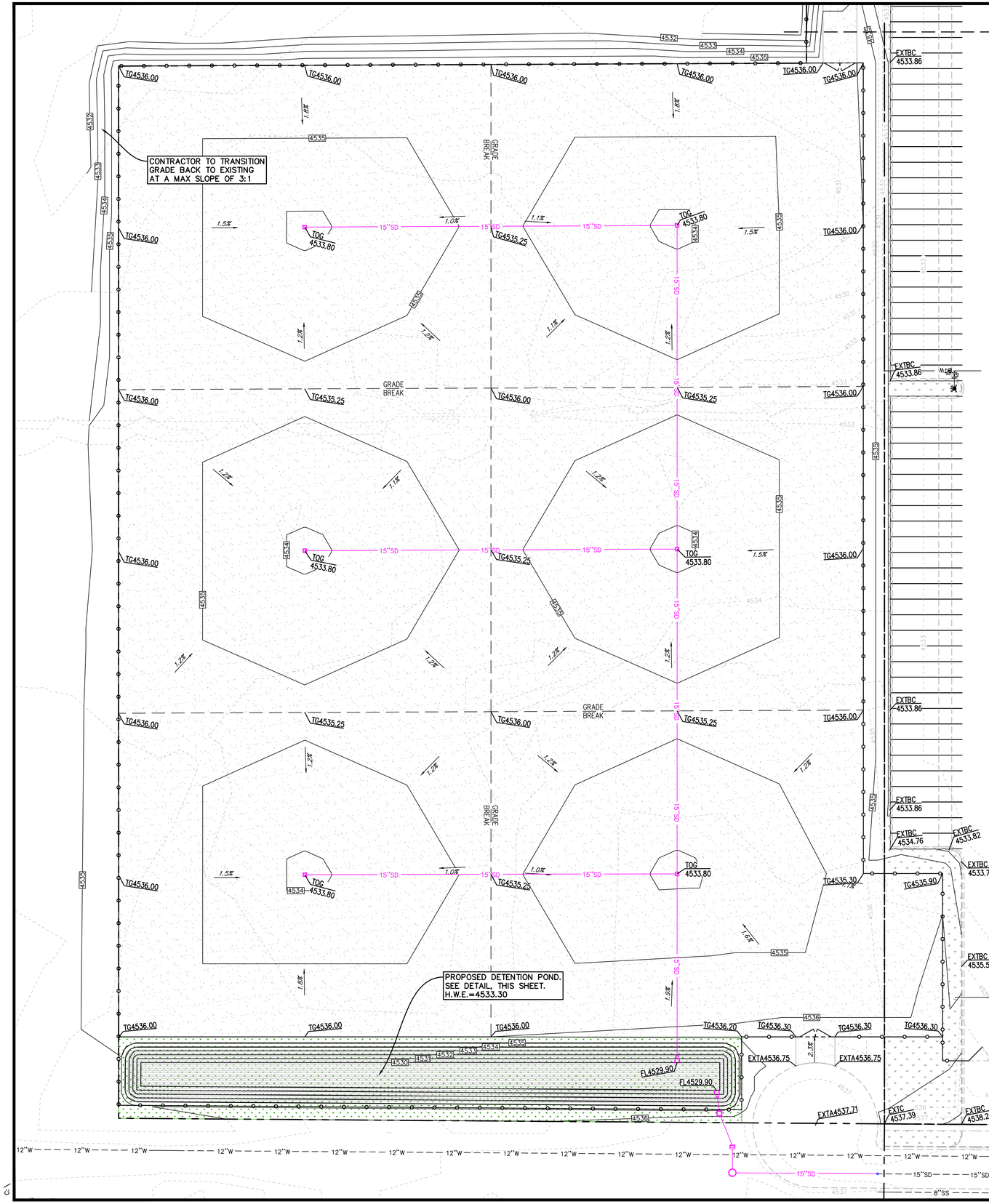
2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660

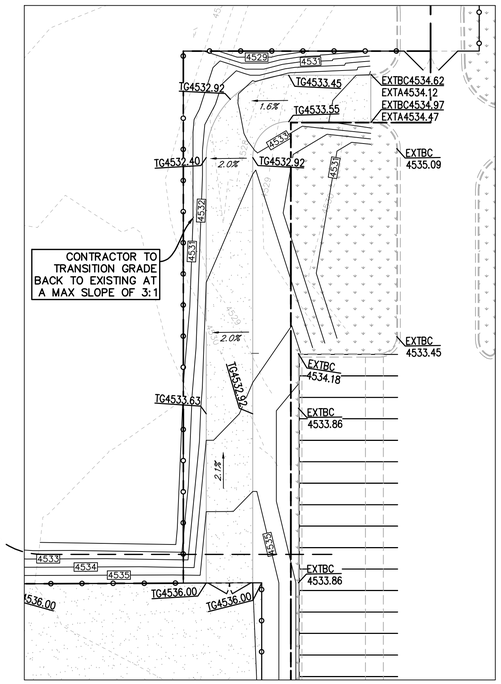
OVERALL SITE PLAN

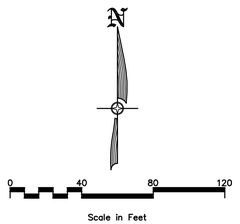
LICENSED PROFESSIONAL ENGINEER SCOTT D. THORSEN No. 354291 STATE OF UTAH

SHEET NO. C1.0

PROJECT ID	DATE:
E23-013	12/16/25
FILE NAME: PRJ-GLH1	SCALE: 1"=60'



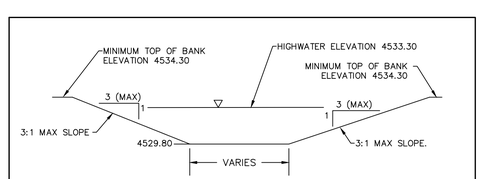




SEE COVER SHEET FOR PROJECT LEGEND.

SHEET LEGEND

DETENTION AREA



DETENTION POND CROSS-SECTION (TYP) N.T.S.

VOLUME=45,720 CUBIC FEET AT HIGHWATER ELEVATION 4533.30

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CIR CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

NO	REVISIONS	BY	DATE

DESIGNER: SDT PROJECT ENGINEER: SDT

GLH INDUSTRIAL PARK LOT 1 – TI YARD

2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660

GRADING PLAN

LICENSED PROFESSIONAL ENGINEER SCOTT D. THORSEN No. 354291 STATE OF UTAH

SHEET NO. C2.0

PROJECT ID	DATE:
E23-013	12/16/25
FILE NAME: PRJ-GLH1	SCALE: 1"=40'

Structure – (142)
INSTALL 2'x2' SD INLET BOX
TOG=4533.80
INV OUT ELEV (E)= 4531.30

INSTALL 15" ADS STORM DRAIN
L=286.2'± S=0.15%

Structure – (139)
INSTALL 2'x2' SD INLET BOX
TOG=4533.80
INV IN ELEV (W)= 4530.87
INV OUT ELEV (S)= 4530.87

H.W.E.=4534.50

INSTALL 15" ADS STORM DRAIN
L=248.8'± S=0.15%

PROPOSED OUTDOOR YARD AREA
PARCEL AREA = 499,168 SQ. FT.
YARD AREA = 435,657 SQ. FT.

INSTALL 15" ADS STORM DRAIN
L=286.2'± S=0.28%

Structure – (137)
INSTALL 2'x2' SD INLET BOX
TOG=4533.80
INV IN ELEV (N)= 4530.50
INV IN ELEV (W)= 4530.50
INV OUT ELEV (S)= 4530.50

Structure – (138)
INSTALL 2'x2' SD INLET BOX
TOG=4533.80
INV OUT ELEV (E)= 4531.30

INSTALL 15" ADS STORM DRAIN
L=249.7'± S=0.15%

GRADE BREAK

Structure – (133)
INSTALL 2'x2' SD INLET BOX
TOG=4533.80
INV IN ELEV (N)= 4530.12
INV IN ELEV (W)= 4530.12
INV OUT ELEV (S)= 4530.12

H.W.E.=4534.50

Structure – (135)
INSTALL 2'x2' SD INLET BOX
TOG=4533.80
INV OUT ELEV (E)= 4531.30

INSTALL 15" ADS STORM DRAIN
L=286.2'± S=0.41%

INSTALL 15" ADS STORM DRAIN
L=145.3'± S=0.15%

INSTALL 15" SD FLARED
END SECTION
INV OUT ELEV = 4529.90

INSTALL 15" ADS STORM DRAIN
L=18.1'± S=0.61%

Structure – (132)
INSTALL 3'x3' SD JUNCTION BOX W/
WATERMAN GATE PER STD. DETAIL SD-411.
GATE TO BE OPENED 1.4" ABOVE FLOWLINE.
TOG=4535.53
SUMP=4526.79
INV IN ELEV (N)= 4529.79
INV OUT ELEV (S)= 4529.79

INSTALL 15" SD FLARED
END SECTION
INV IN ELEV = 4529.90

INSTALL 15" RCP STORM DRAIN
L=26.6'± S=0.21%

Structure – (131)
INSTALL 2'x3' SD CURB INLET BOX
TOG=4535.97
INV IN ELEV (N)= 4529.73
INV OUT ELEV (S)= 4529.73

PROPOSED DETENTION POND.
SEE DETAIL, SHEET C2.0.
H.W.E.=4533.30

INSTALL 15" RCP STORM DRAIN
L=20.9'± S=0.53%

Structure – (129)
INSTALL 5' DIA
SD MANHOLE
RIM=4536.56
SUMP EL=4529.52
INV IN ELEV (N)= 4529.62
INV OUT ELEV (E)= 4529.52

CONNECT TO EXISTING 15"
RCP PIPE STUB
INV IN ELEV (W)= 4529.29

INSTALL 15" RCP STORM DRAIN
L=111.5'± S=0.21%

EXISTING BUILDING
FOOTPRINT = 502,082 SQ. FT.
F.F.E. = 4536.00

EXISTING GLH INDUSTRIAL LOT 1
LOT AREA = 26.43 ACRES

2140 NORTH STREET
(PUBLIC RIGHT-OF-WAY)

700 WEST STREET
(PUBLIC RIGHT-OF-WAY)

EXISTING 15" RCP STORM
DRAIN MAIN. CONVEYS RUNOFF
700 WEST STREET

EXISTING 36" RCP STORM
DRAIN MAIN. CONVEYS RUNOFF
UNDERNEATH AIRPORT RUNWAY

N

0 60 120 180
Scale in Feet

SEE COVER SHEET FOR PROJECT LEGEND.

SHEET LEGEND

DETENTION AREA

SD STRUCTURE NOTE:
SD STRUCTURES (129) AND (131) TOP OF LID/GRATES ARE TO BE SET AT FUTURE GRADE ELEVATIONS. THE LID/GRATE TO STILL BE INSTALLED IN A FASHION THAT CAN BE EASILY ADJUSTED TO MATCH FUTURE GRADES, IF CHANGES OCCUR.

NO	REVISIONS	BY	DATE

DESIGNER: SDT PROJECT ENGINEER: SDT

CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 – 801-949-6296

GLH INDUSTRIAL PARK LOT 1 – TI YARD

2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660

DRAINAGE PLAN

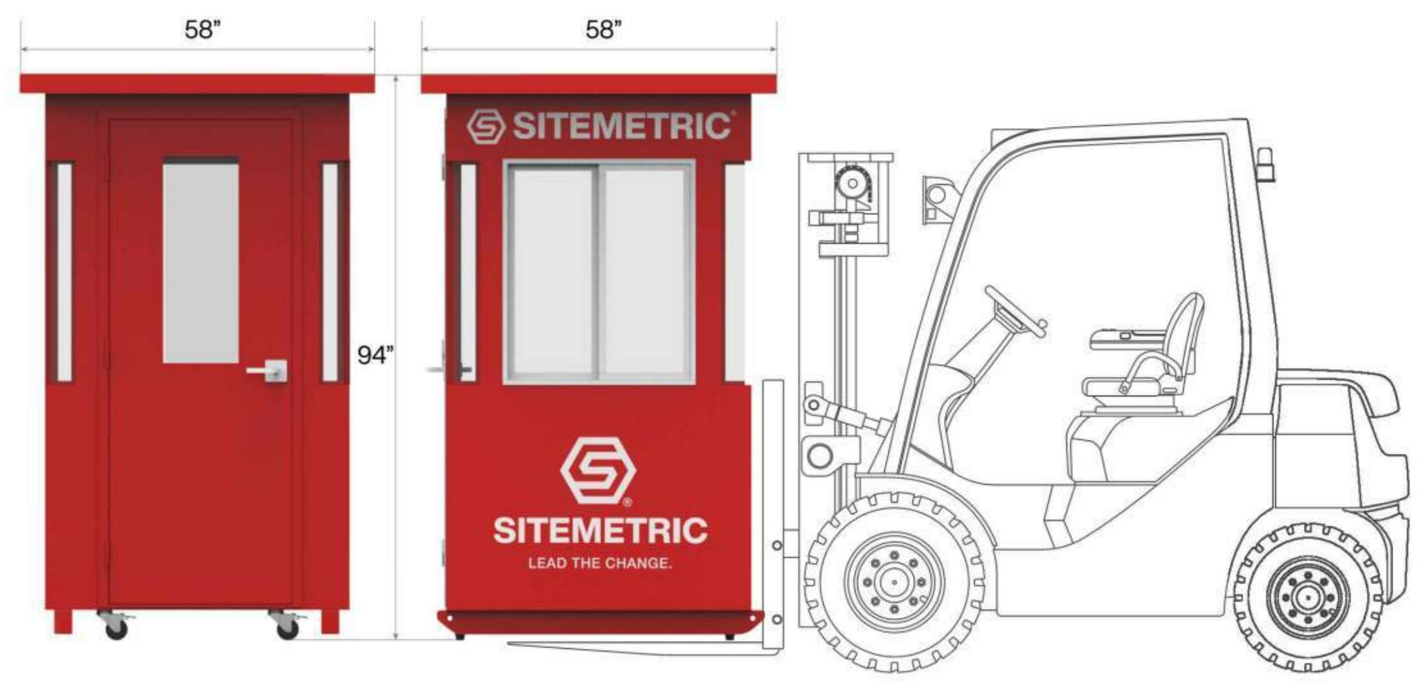
LICENSED PROFESSIONAL ENGINEER
SCOTT D. THORSEN
No. 354291
STATE OF UTAH

CALL BEFORE YOU DIG! 811 BLUE STAKES 1-800-662-4111

SHEET NO.
C2.1

PROJECT ID	DATE:
E23-013	12/16/25
FILE NAME: PRJ-GLH1	SCALE: 1"=60'

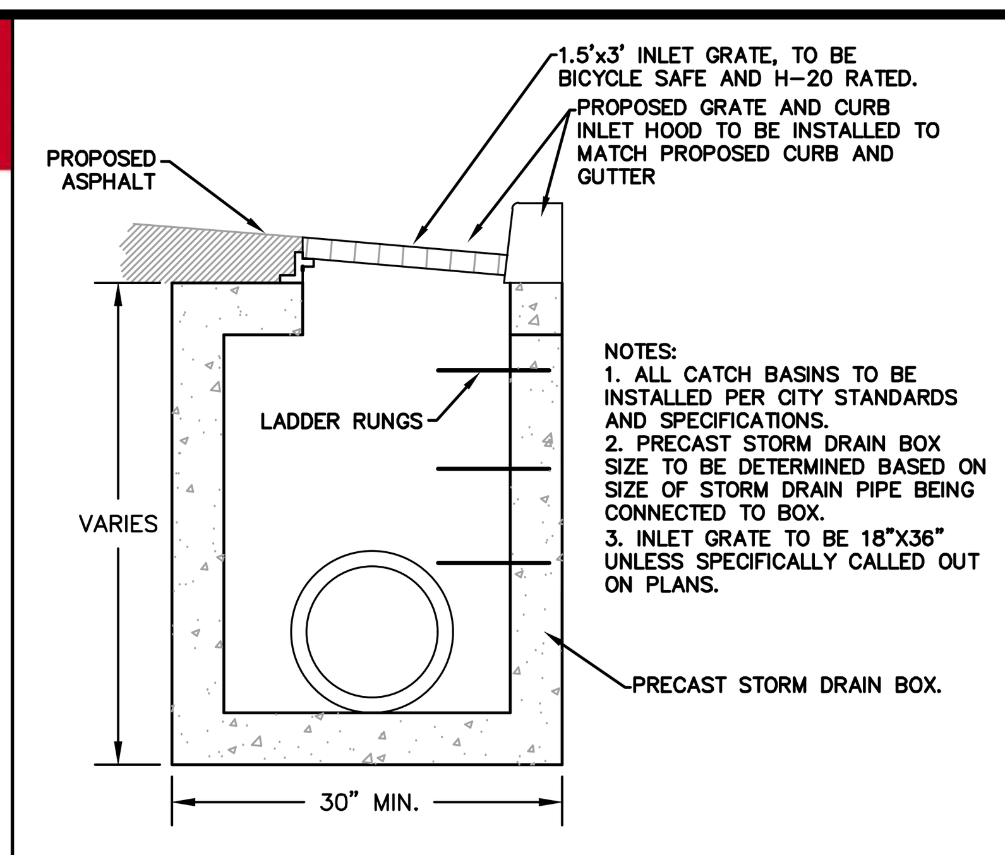
SITEMETRIC LEAD THE CHANGE.



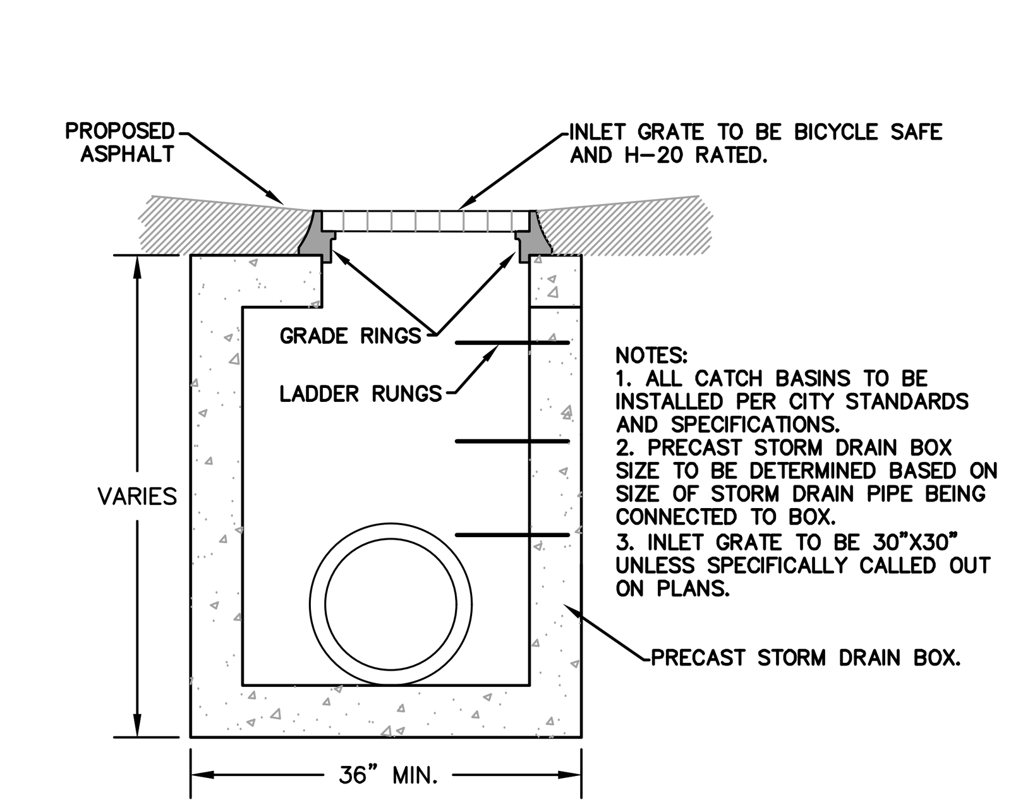
Single Booth Dimensions

Double Booth Dimensions

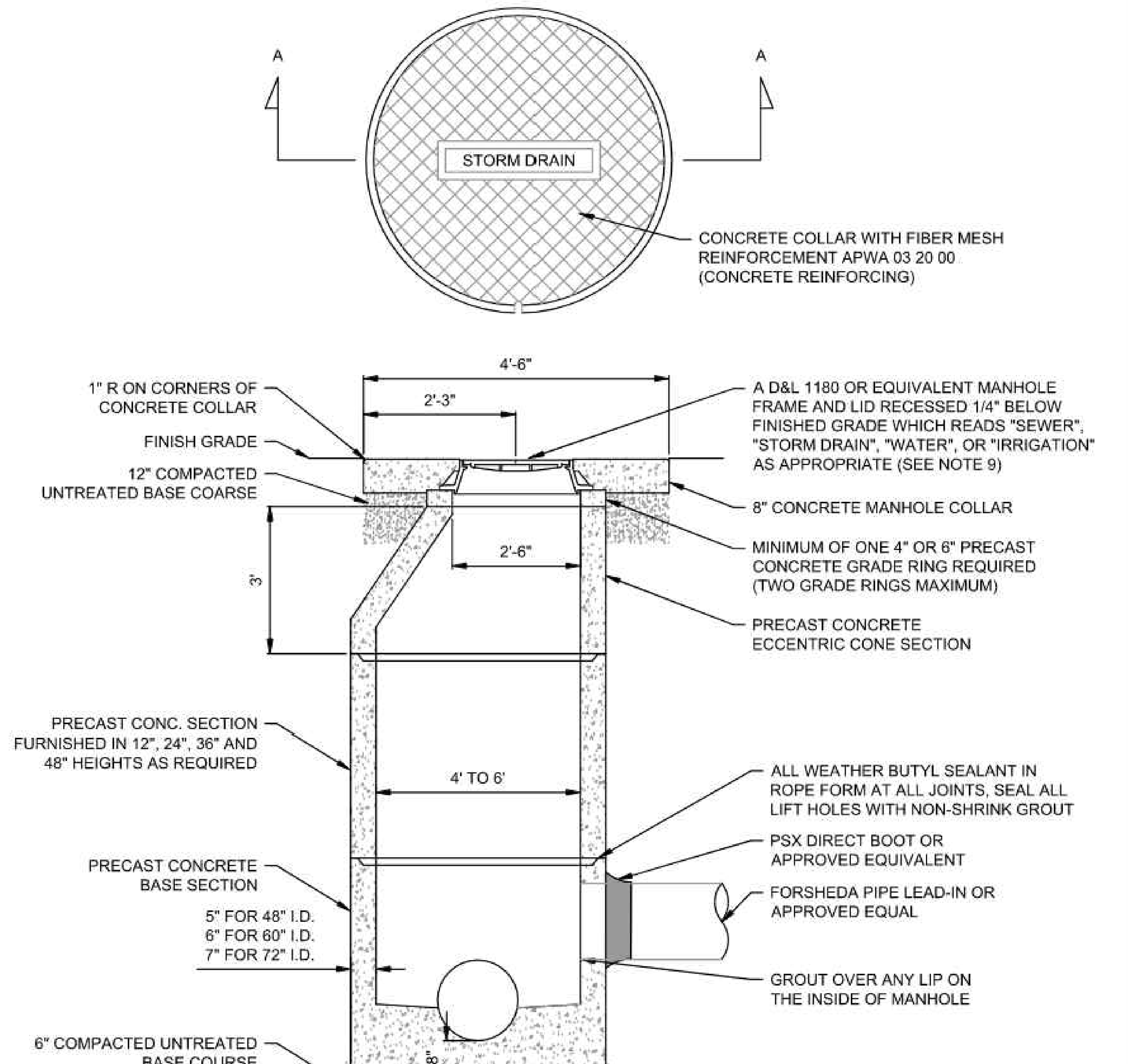
Sitemetric, LLC sitemetric.com



1 STANDARD STORM DRAIN CURB INLET BOX
N.T.S.



2 STANDARD STORM DRAIN INLET BOX
N.T.S.

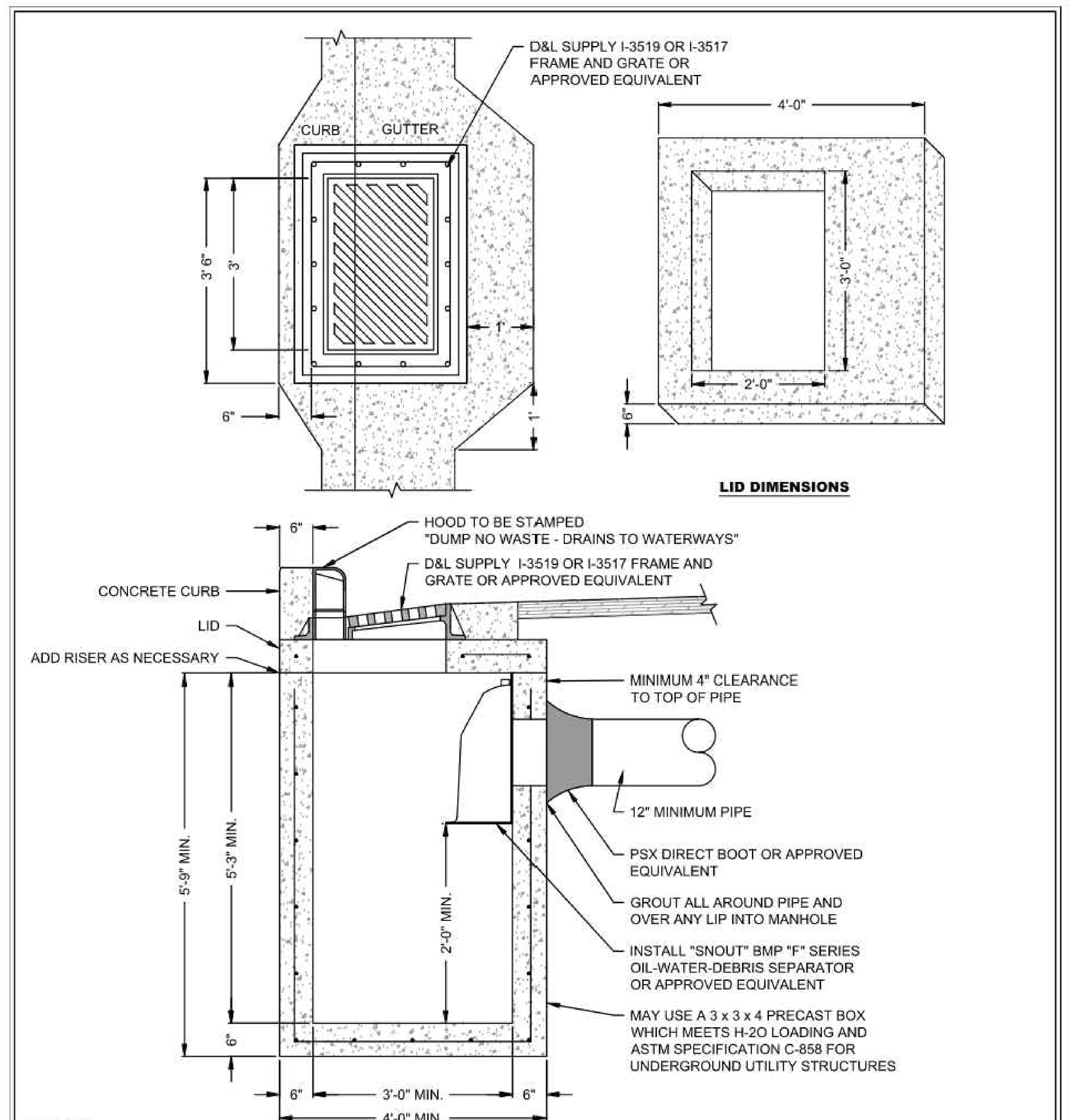


NOTES:
1. USE 4' I.D. MANHOLES FOR MAIN LINES LESS THEN 18" IN DIAMETER; 5' I.D. MANHOLES FOR MAIN LINES 18" TO 30" IN DIAMETER, AND 6' I.D. FOR MAIN LINES GREATER THAN 30" IN DIAMETER.
2. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC CONES WHERE NECESSARY. FLAT LIDS SHALL BE OF ECCENTRIC DESIGN AND MEET H20 LIVE LOADING. NO FLAT RING AND COVERS WILL BE ALLOWED UNLESS APPROVED BY CITY ENGINEER OR HIS/HER DESIGNEE.
3. MANHOLE RIMS PLACED IN FIELDS SHALL HAVE SOLID LIDS AND BE BURIED 2 FEET DEEP.
4. MANHOLE RIMS OUT OF STREETS SHALL BE PLACED 4 INCHES ABOVE GRADE.
5. CONCRETE COLLAR AND RIM SHALL BE INSTALLED 1/4" BELOW PAVEMENT SURFACE AFTER THE 1 YEAR PRESERVATION COAT.
6. MANHOLE COLLARS AND RINGS SHALL BE PROTECTED BY A COVERING DURING A SEAL COAT.
7. STORM MANHOLES MAY HAVE FLAT BOTTOMS IN THE BASES.
8. CONCRETE COLLAR SHALL BE PLACED AFTER THE 1 YEAR PRESERVATION COAT WHEN APPLICABLE.
9. IN PAVED AREAS WITH A SLOPE GREATER THAN 5% USE AN EJIW 3624 TWIST BASE OR APPROVED EQUIVALENT.
10. ALL STORM DRAIN MANHOLES CONNECTED TO STORM DRAIN INLETS SHALL HAVE A FLAT BOTTOM WITH 18" MIN. FROM FLOW LINE TO BOTTOM OF BOX.
11. ALL STORM DRAIN MANHOLES NOT CONNECTED TO AN INLET BOX SHALL HAVE A TROUGH.
12. JUMPING JACK REQUIRED AROUND MANHOLES FOR COMPACTION.

SPANISH FORK CITY
40 SOUTH MAIN STREET
SPANISH FORK, UT 84660
(801) 804-4550

STANDARD DRAWING
STORM DRAIN MANHOLE

DRAWN: JLR | DESIGN: MHC | REVISION: . | DATE: 12/10/2024
SCALE NONE
STANDARD SD-401



NOTES:
1. ALL STORM TRANSMISSION LINES SHALL RUN THROUGH STORM MANHOLES.
2. BOX SHALL BE SIZED ACCORDING TO TABLE ON STANDARD SD-402.
3. UNLESS OTHERWISE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER, #4 REBAR WILL BE SPACED AT MINIMUM OF 12" O.C. IN ALL DIRECTIONS IN CONCRETE, ALL REBAR SHALL OVERLAP A MINIMUM OF 14".
4. KNOCKOUT BOXES SHALL BE ALLOWED WITH CONCRETE COLLARS.
5. INLET SHALL NOT BE WITHIN 3'-0" FROM CLOSEST EDGE OF ADA RAMP.
6. JUMPING JACK REQUIRED AROUND MANHOLES FOR COMPACTION.

SPANISH FORK CITY
40 SOUTH MAIN STREET
SPANISH FORK, UT 84660
(801) 804-4550

STANDARD DRAWING
STORM WATER INLET BOX

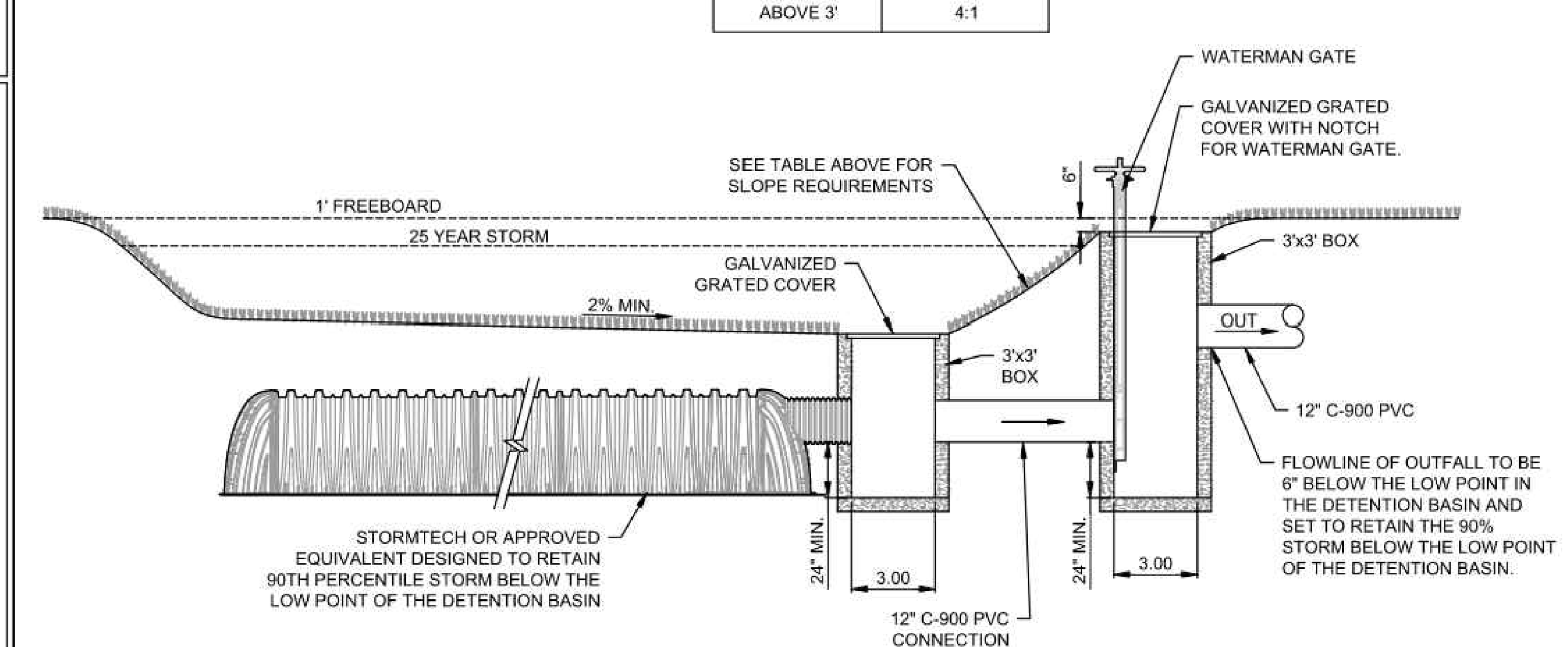
DRAWN: JLR | DESIGN: MHC | REVISION: . | DATE: 12/10/2024
SCALE NONE
STANDARD SD-404

SPANISH FORK CITY

STANDARD DRAWING
LOW IMPACT DEVELOPMENT (LID) DETENTION BASIN OVERFLOW

SCALE NONE
STANDARD SD-411

DEPTH	SLOPE
18"	2:1
3'	3:1
ABOVE 3'	4:1



NO. | REVISIONS | BY | DATE
DESIGNER: SDT | PROJECT ENGINEER: SDT

CIR CIVIL ENGINEERING + SURVEYING
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SOUTH JORDAN, UT 84095 - 801-949-6296

GLH INDUSTRIAL PARK LOT 1 - TI YARD
2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660

DETAIL SHEET

LICENSED PROFESSIONAL ENGINEER SCOTT D. THORSEN No. 354291 STATE OF UTAH

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SHEET NO. C3.0
PROJECT ID: E23-013 | DATE: 12/16/25
FILE NAME: PRJ-GLH1 | SCALE:

EXISTING BUILDING
FOOTPRINT = 502,082 SQ. FT.
F.F.E. = 4536.00

EXISTING GLH INDUSTRIAL LOT 1
LOT AREA = 26.43 ACRES

PROPOSED OUTDOOR YARD AREA
PARCEL AREA = 499,168 SQ. FT.
YARD AREA = 435,657 SQ. FT.

2140 NORTH STREET
(PUBLIC RIGHT-OF-WAY)

700 WEST STREET
(PUBLIC RIGHT-OF-WAY)

LUCAS FAMILY REVOCABLE

LUCAS FAMILY REVOCABLE

LUCAS FAMILY REVOCABLE

FRED LAWRENCE,

0 60 120 180
Scale in Feet

SEE COVER SHEET FOR PROJECT LEGEND.

LEGEND

SILT FENCE

WHEEL WASH AREA

BMP AREA

CONCRETE WASHOUT

BMP CALLOUTS

1. PLACE A SILT FENCE AROUND THE PERIMETER OF THE INLET, ONCE PAVEMENT AND/OR CURB HAS BEEN INSTALLED PLACE GRAVEL BAGS AROUND THE INLET. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNIMPROVED SURFACES. ***NOTE: IN HIGH TRAFFIC AREAS CONTRACTOR TO USE INSERT FILTER FABRIC. IF INLET HAS CURB OPENING, THE FILTER FABRIC IS TO BE EXTENDED UP TO COVER THE CURB OPENING AND GRAVEL BAGS PLACED IN GUTTER AT EACH SIDE OF OPENING TO KEEP FILTER FABRIC SNUG AGAINST CURB WALL.***
2. PLACE GRAVEL BAGS AS NECESSARY TO PREVENT SEDIMENT FROM DRAINING INTO EXISTING CATCH BASINS. ***SEE NOTE IN CALLOUT 1.***
3. INSTALL TYPICAL SILT FENCE, SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW. INSTALLATION TO BE DONE SO AS TO PREVENT SEDIMENT FROM LEAVING THE SITE. ***NOTE: CONTRACTOR TO USE VEGETATIVE BUFFER AND OR CUT BACK INSTEAD OF SILT FENCE WHERE POSSIBLE.***
4. CONTRACTOR TO INSTALL A MIMIMUM OF 6" DEEP GRAVEL (3" TO 6"") OF SUFFICIENT SIZE (MINIMUM OF 50' IN LENGTH AND 20' WIDE) AS TO PROVIDE A WHEEL WASH AREA TO PREVENT THE TRACKING OF MUD OFFISTE. THE LOCATION OF WHEEL WASH MAY VARY FROM LOCATION SHOWN ON PLANS SO AS TO PROVIDE THE BEST PROTECTION AGAINST TRACKING MUD OFFSITE. CONTRACTOR TO MAINTAIN AND CLEAN WHEEL WASH AREA AS NEEDED TO PREVENT THE TRACKING OF MUD OFFSITE.
5. CONTRACTOR TO INSTALL CONCRETE WASHOUT AREA. THE LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.

NO	REVISIONS	BY	DATE
	DESIGNER: SDT	PROJECT ENGINEER: SDT	

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GLH INDUSTRIAL PARK LOT 1 – TI YARD
2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660

EROSION CONTROL PLAN (SWPPP)

LICENSED PROFESSIONAL ENGINEER
SCOTT D. THORSEN
No. 354291
STATE OF UTAH

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SHEET NO.
C4.0

PROJECT ID	DATE:
E23-013	12/16/25
FILE NAME: PRJ-GLH1	SCALE: 1"=40'

Silt fence

1. **GENERAL**
   - A. Description. A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.
   - B. Application. To intercept sediment from disturbed areas of limited extent.
   - C. Perimeter Control: Place barrier at down gradient limits of disturbance.
   - D. Sediment Barrier: Place barrier at toe of slope or soil stockpile.
   - E. Protection of Existing Waterways: Place barrier at top of stream bank.
   - F. Inlet Protection.

2. **PRODUCTS**
   - A. Fabric. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg F to 120 deg F.
   - B. Burlap. 10 ounces per square yard of fabric.
   - C. Posts. Either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet, or steel posts with projections for fastening wire to them.

3. **EXECUTION**
   - A. Cut the fabric on site to desired width, unroll, and drape over the barrier. Secure the fabric toe with rocks or dirt and secure the fabric to the mesh with twin, staples or similar devices.
   - B. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
   - C. When used to control sediments from a steep slope, place silt fences away from the toe of the slope for increased holding capacity.
   - D. Maintenance.
     1) Inspect immediately after each rainfall and at least daily during prolonged rainfall.
     2) Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, replace the fabric promptly.
     3) Remove sediment deposits after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
     4) Re-anchor fence as necessary to prevent shortcutting.
     5) Inspect for runoff bypassing ends of barriers or undercutting barriers.

Inlet protection – gravel sock

1. **GENERAL**
   - A. Description. Placement of gravel sock on grade.
     1) Upstream of, or in front of storm drain inlets to filter or pond water runoff.
     2) At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.

2. **PRODUCTS** (Not used)

3. **EXECUTION**
   - A. On-grade inlet protection:
     1) Provide on-grade inlet protection when completely blocking a storm drain inlet box would result in forcing water further downstream would cause flooding or other undesirable results.
     2) Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
     3) Install filter media just upstream of the inlet box.
     4) Filter media shall butt tightly against the face of the curb and angle at approximately a 45-degree angle away from the curb to trap runoff between the media and the curb.
     5) Excessive flows will flow either over or around the filter media and into the inlet box.
     6) Expect ponding behind the filter media.
   - B. Drop inlet protection:
     1) Use drop inlet protection at low points in the curb and when diverting flows further downstream will not cause undesirable results.
     2) Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
     3) Install filter media around the entire perimeter of the inlet grate.
     4) Filter media shall butt tightly against the face of the curb on both sides of the inlet grate.
     5) Excessive flows will either flow around the media or over the top and into the inlet box.
     6) Expect ponding around the inlet box.
   - C. Maintenance
     1) Inspect inlet protection after every large storm event and at a minimum of once monthly.
     2) Remove sediment accumulated when it reaches 2-inches in depth.
     3) Replace filter medium when damage has occurred or when medium is no longer functioning as intended.

Inlet protection - gravel

1. **GENERAL**
   - A. Description.. Placement of gravel filter over storm drain inlet to filter water runoff.
   - B. Application. Used at inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.

2. **PRODUCT** (Not used)

3. **EXECUTION**
   - A. Place 1/2-inch opening wire mesh over the inlet grate extending one foot past the grate in all directions.
   - B. Place filter fabric over the mesh. Select filter fabric based on soil type.
   - C. Place graded gravel (2-inch to 4-inch in size), to a minimum depth of 12-inches, forming a wall around the grate on all sides. Slope side slopes so that gravel does not spill over the grate.
   - D. The filter fabric immediately over the grate needs to remain exposed so that the grate can be visually inspected.
   - E. Place a delineator at the inlet grate so that the gravel surrounding it will not inadvertently be graded or moved and to protect the inlet from damage.
   - F. Maintenance.
     1) Inspect inlet protection after every large storm event and at a minimum of once monthly.
     2) Remove sediment accumulated when it reaches 4-inches in depth.
     3) Replace filter fabric and clean or replace gravel if clogging is apparent.

Inlet protection – fence or straw bale

1. **GENERAL**
   - A. Description. A temporary sediment barrier around storm drain inlet.
   - B. Application.' At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.

2. **PRODUCT** (Not used)

3. **EXECUTION**
   - A. Installation and application criteria.
     1) Provide up gradient sediment controls, such as silt fence during construction of inlet.
     2) When construction of inlet is complete erect straw bale barrier, silt fence or other approved sediment barrier surrounding perimeter of inlet.
     3) Install filter fabric completely around grate.
   - B. Maintenance.
     1) Inspect inlet protection after every large storm event and at a minimum of once monthly.
     2) Remove sediment accumulated when it reaches 4-inches in depth.
     3) Repair or re-align barrier or fence as needed.
     4) Look for bypassing or undercutting and re-compact soil around barrier or fence as required.

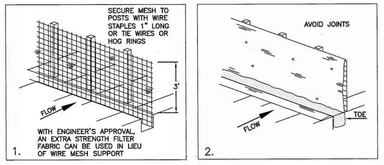
Stabilized roadway entrance

1. **GENERAL**
   - A. Description. A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.
   - B. Application. At any site where vehicles and equipment enter the public right of way.

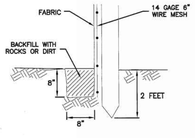
2. **PRODUCT** (Not used)

3 **EXECUTION**
   - A. Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
   - B. Compact subgrade.
   - C. Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).
   - D. Maintenance.
     1) Prevent tracking or flow of mud into the public right-of-way.
     2) Periodic top dressing with 2-inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
     3) Inspect daily for loss of gravel or sediment buildup.
     4) Inspect adjacent area for sediment deposit and install additional controls as necessary.
     5) Expand stabilized area as required to accommodate activities.

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



INSTALLATION SEQUENCE



TOE DETAIL

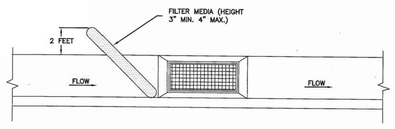
Silt fence

February 2006

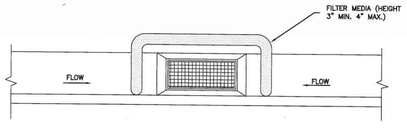
7

Plan **122**

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



ON–GRADE INLET PROTECTION DETAIL



SUMP INLET PROTECTION DETAIL

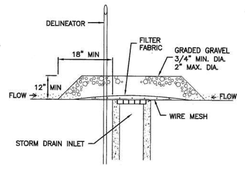
Inlet protection - gravel sock

September 2006

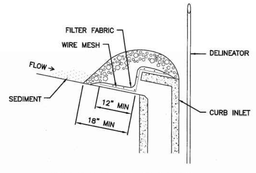
11

Plan **124** Sheet 1 of 3

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



DROP INLET PROTECTION



CURB INLET PROTECTION

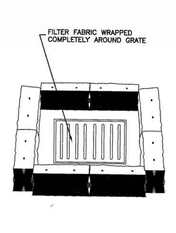
Inlet protection - gravel

February 2006

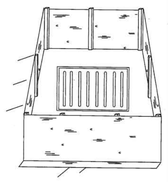
13

Plan **124** Sheet 2 of 3

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



STRAW BALE BARRIER
(PLAN No. 121)



SILT FENCE
(PLAN No. 122)

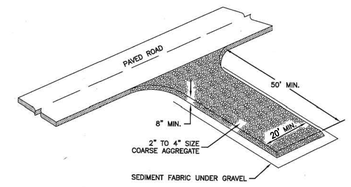
Inlet protection - fence or straw bale

February 2006

15

Plan **124** Sheet 3 of 3

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Stabilized roadway entrance

February 2006

19

Plan **126**

CIR CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 – 801-949-6296

NO	REVISIONS	BY	DATE

DESIGNER: SDT PROJECT ENGINEER: SDT

GLH INDUSTRIAL PARK LOT 1 – TI YARD
2261 NORTH 700 WEST, SPANISH FORK, UTAH 84660

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C4.1

PROJECT ID	DATE:
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