

AMERICAN FORK CITY COUNCIL
JANUARY 27, 2015
NOTICE OF REGULAR SESSION & AGENDA

REGULAR SESSION

The American Fork City Council will meet in regular session on **Tuesday, January 27, 2015 in the American Fork City Hall, 31 North Church Street, commencing at 7:30 p.m.** The agenda shall be as follows:

1. Pledge of Allegiance; prayer by Councilman Jeff Shorter; roll call.
2. Twenty-minute public comment period – limited to two minutes per person.
3. City Administrator’s Report.
4. Council Reports concerning Committee Assignments.
5. Mayor’s Report

COMMON CONSENT AGENDA (*Common Consent* is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda by the Mayor or a Councilmember and placed in the action items.)

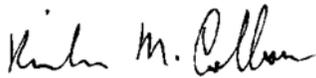
1. Approval of the January 8, 2015 City Council work session minutes.
2. Approval of the January 13, 2015 City Council minutes.
3. Approval of the City bills for payment, manually prepared checks, and purchase requests over \$25,000. – *Cathy Jensen*

ACTION ITEMS

1. Presentation and acceptance of the Fiscal Year Ended June 30, 2014 financial audit, presented by Gilbert and Stewart, CPAs. – *Ron Stewart*
2. Review and action on the approval of the award of a contract for the 2015 Culinary Waterline Replacement Project Phase III - CDBG to Hardline Excavation. – *Dale Goodman*
3. Review and action on an Ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels. – *Staff*
4. Review and action on subdivisions, commercial projects, condominiums, and PUD’s including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded.
 - a. Review and action on final plat of the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone. – *Ensign Engineering*
 - b. Review and action on the final plat of IFA American Fork Commercial Subdivision Amended A, consisting of 5 lots, located in the vicinity of 600 North 900 West in the GC-2 General Commercial zone. – *Benchmark Civil Engineering*

- c. Review and action on an Ordinance approving a commercial site plan for Autobahn Carwash located at 504 North 900 West in the GC-2 General Commercial zone. - *Benchmark Civil Engineering*
 - d. Review and action on the final plat of Ken Garff Subdivision, consisting of three lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone. – *Ken Garff Chevrolet*
 - e. Review and action on an Ordinance approving a commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone. – *Ken Garff Chevrolet*
 - f. Review and action on an Ordinance approving an amended commercial site plan for placement of a roof mounted cellular antenna located at 737 East 1180 South (Morinda) in the GC-2 General Commercial zone. – *T-Mobile*
5. Adjournment

Dated this 20 day of January, 2015



Richard M. Colborn
City Recorder



American Fork City

American Fork City, Utah
Comprehensive Annual Financial Report
Fiscal period ended June 30, 2014



American Fork City
 Comprehensive Annual Financial Report
 For the Fiscal Year Ended June 30, 2014
TABLE OF CONTENTS

INTRODUCTORY SECTION	2
ORGANIZATIONAL CHART	10
LIST OF ELECTED AND APPOINTED OFFICIALS	11
FINANCIAL SECTION	12
INDEPENDENT AUDITOR'S REPORT	13
MANAGEMENT'S DISCUSSION AND ANALYSIS	16
BASIC FINANCIAL STATEMENTS	28
<i>Statement of Net Position</i>	29
<i>Statement of Activities</i>	30
GOVERNMENTAL FUNDS	31
<i>Balance Sheet</i>	31
<i>Balance Sheet Reconciliation to Statement of Net Assets</i>	32
PROPRIETARY FUNDS	35
<i>Statement of Net Position</i>	35
<i>Statement of Revenues, Expenditures and Changes in Fund Net Position</i>	36
<i>Statement of Cash Flows</i>	37
NOTES TO THE FINANCIAL STATEMENTS	39
REQUIRED SUPPLEMENTARY INFORMATION	64
GENERAL FUND	67
<i>Schedule of Revenues, Expenditures and Changes in Fund Balance Budget to Actual</i>	67
FITNESS CENTER FUND	68
<i>Schedule of Revenues, Expenditures and Changes in Fund Balance Budget to Actual</i>	68
OTHER SUPPLEMENTARY INFORMATION	69
<i>Combining Financial Statements</i>	70
NON-MAJOR GOVERNMENTAL FUNDS	71
<i>Combining Balance Sheet</i>	71
<i>Combining Statement of Revenues, Expenditures and Changes in Fund Balance</i>	72
GENERAL FUND	73
<i>Balance sheet</i>	74
<i>Schedule of Revenues, Expenditures and Changes in Fund Balance, Budget and Actual</i>	75
GENERAL FUND ANALYSIS	79
GENERAL FUND	80
<i>Analysis of Expenditures</i>	80
<i>For the Year Ended June 30, 2014</i>	80
<i>Comparative Five Year Statement of Revenues, Expenditures and Changes in Fund Balances</i>	81
SPECIAL REVENUE FUNDS	82
SPECIAL REVENUE FUNDS	83
<i>Combining Balance Sheet</i>	83
<i>Combining Statement of Revenues, Expenditures, and Changes Fund Balances</i>	84
ARTS	85
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances</i>	85
DOWNTOWN REDEVELOPMENT	86
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances</i>	86

American Fork City
 Comprehensive Annual Financial Report
 For the Fiscal Year Ended June 30, 2014
TABLE OF CONTENTS

CELEBRATION COMMITTEE	87
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances</i>	87
BUILDING AUTHORITY	88
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances Budget to Actual</i>	88
REDEVELOPMENT AGENCY FUND	89
<i>Schedule of Revenues, Expenditures and Changes in Fund Balance Budget to Actual</i>	89
DEBT SERVICE FUND	90
<i>Balance Sheet</i>	91
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances, Budget to Actual</i>	92
CAPITAL PROJECTS FUND	93
<i>Combining Statement of Net Assets</i>	94
<i>Schedule of Revenues, Expenditures, and Changes in Fund Balances, Budget to Actual</i>	95
PERPETUAL CARE FUND	96
<i>Combining Balance Sheet</i>	97
<i>Schedule of Revenues, Expenditures, and Changes in Fund Balances, Budget to Actual</i>	98
PROPRIETARY FUNDS.....	99
<i>Combining Statement of Net Position</i>	100
<i>Combining Schedule of Revenues, Expenditures, and Changes Net Assets</i>	102
<i>Combining Statement of Cash Flows</i>	103
WATER AND SEWER FUND	105
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances, Budget to Actual</i>	105
BROADBAND FUND	106
<i>Schedule of Revenues, Expenditures, and Changes Fund Balances, Budget to Actual</i>	106
ADDITIONAL AUDITORS' REPORTS	107
STATISTICAL SECTION	113
<i>Schedule of Expenditures of State Grants, Contracts and Loan Funds</i>	114
<i>General Property Tax Levies and Collections</i>	115
<i>Net Assets by Component</i>	116
<i>Changes in Net Position</i>	117
<i>Fund Balances, Governmental Funds</i>	119
<i>Changes in Fund Balance, Governmental Funds</i>	120
<i>Assessed Value of Taxable Property</i>	122
<i>Overlapping Property Tax Rates</i>	123
<i>Principal Property Tax Payers</i>	124
<i>Property Taxes Levied and Collections</i>	125
<i>Taxable Sales by Category</i>	126
<i>Direct and Overlapping Sales Tax Rates</i>	127
<i>Sales Tax Payers by Industry</i>	128
<i>Charges for Water Fees</i>	129
<i>Charges for Sewer and Storm Drain</i>	129
<i>Ratios of Outstanding Debt by Type</i>	130
<i>Ratios of Outstanding Debt as a Percentage of Personal Income and Property Value</i>	131
<i>Direct and Overlapping Governmental Activities Debt</i>	132
<i>Legal Debt Margin Information</i>	133
<i>Demographic and Economic Statistics</i>	135
<i>Full-Time Equivilant City Employees by Function/Program</i>	136

American Fork City
Comprehensive Annual Financial Report
For the Fiscal Year Ended June 30, 2014
TABLE OF CONTENTS

<i>Principal Employers</i>	137
<i>Operating Indicators by Function/Program</i>	138
<i>Capital Assets by Function/Program</i>	139
<i>Schedule of Insurance</i>	140



51 EAST MAIN, AMERICAN FORK, UT 84003 (801)763-3000 FAX 801-763-3004

Introductory Section



December 18, 2014

To the Honorable Mayor, Members of the Governing Council, and the Citizens of American Fork: State law requires that all general-purpose local governments publish within six months of the close of each fiscal year a complete set of financial statements presented in conformity with generally accepted accounting principles (GAAP), and audited in accordance with generally accepted auditing standards by a firm of licensed certified public accountants. Pursuant to that requirement, we hereby issue the Comprehensive Annual Financial Report of American Fork City for the fiscal year ended June 30, 2014.

This report consists of the management's representations concerning the finances of American Fork City. Consequently, management assumes full responsibility for the completeness and reliability of all of the information presented in this report. To provide a reasonable basis for making these representations, management of American Fork City has established a comprehensive internal control framework that is designed both to protect the government's assets from loss, theft, or misuse and to compile sufficient reliable information for the preparation of American Fork City's financial statements in conformity with GAAP (Generally Accepted Accounting Principles.) Because the cost of internal controls should not outweigh their benefits, American Fork City's comprehensive framework of internal controls has been designed to provide reasonable rather than absolute assurance that the financial statements will be free from material misstatement. As management, we assert that, to the best of our knowledge and belief, this financial report is complete and reliable in all material aspects.

American Fork's financial statements have been audited by Gilbert & Stewart, Certified Public Accountants, a firm of licensed certified public accountants. The goal of the independent audit was to provide reasonable assurance that the financial statements of American Fork City for the fiscal year ended June 30, 2014, are free of material misstatement. The independent audit involved examining, on a test basis, evidence supporting the amounts and disclosures in the financial statements; assessing the accounting principles used, and significant estimates made by management; and evaluating the overall financial statement presentation. The independent auditor concluded, based upon the audit, that there was a reasonable basis for rendering an unqualified opinion that American Fork City's financial statements for the fiscal year ended June 30, 2014, are fairly presented in conformity with GAAP. The independent auditor's report is presented as the first component of the financial section of this report.

GAAP requires that management provide a narrative introduction, overview, and analysis to accompany the basic financial statements in the form of Management's Discussion and Analysis (MD&A). This letter of transmittal is designed to complement the MD&A and should be read in conjunction with it. American Fork City's MD&A can be found immediately following the report of the independent auditors.

Profile of the Government

American Fork City, incorporated in 1853, is located in the Northern region of Utah County, Utah. The City is situated approximately 28 miles from Salt Lake City, the capital of Utah. The City covers an area of approximately 9.43 miles.



The 2010 census indicated that American Fork City has a population of approximately 26,600 residents. American Fork City is empowered to levy a property tax on both real and personal properties located within its boundaries. It is also empowered by state statute to extend its corporate limits by annexation, which occurs periodically when deemed appropriate by the governing council.

American Fork City has operated under the Mayor, Council form of government since incorporation. Policy-making and legislative authority are vested in a governing council consisting of a mayor and five councilpersons. The governing council is responsible, among other things, for passing ordinances, adopting the budget, appointing committees and providing “advice and consent” for the Mayor appointments.

The government’s administrator is responsible for carrying out the policies and ordinances of the governing council, for overseeing the day-to-day operations of the government. The Council is elected on a non-partisan basis. All Council members serve four-year terms. The Mayor is elected to a four-year term.

Once known as the “Hub of Utah County,” American Fork now views its mission as a “destination city.” American Fork City provides a full range of services, including police and fire protection; the construction and maintenance of city streets, water, sewer, storm drain, secondary irrigation and other services. Sanitation services are provided through a contractual arrangement with Allied Waste Services.

American Fork City Redevelopment Agencies and American Fork City Building Authority both act as legally separate agencies but functions, in essence, as departments of American Fork City and therefore have been included as an integral part of American Fork City’s financial statements. The American Fork Redevelopment Agency (RDA) plays a pivotal role in revitalizing many areas throughout the City. The City’s building authority is the conduit whereby the City can finance major building projects. Additional information on these legally separate entities can be found in the notes to the financial statements.

The annual budget serves as the foundation for American Fork City’s financial planning and control. All agencies of American Fork City are required to submit requests for appropriation to the government’s budget officer annually. The Budget Officer and City Administrator review these requests; the requests serve as the starting point for developing a proposed budget. The government’s administrator then presents the proposed budget to the council for review prior to the first regularly scheduled meeting in May. The council is required to hold public hearings on the proposed budget and to adopt a final budget by no later than June 22nd of the fiscal year. The appropriated budget is prepared by fund, function (i.e. public works), and department (i.e. engineering.)

Department heads may request transfers of appropriations within a department. Transfers of appropriations between departments and increases in departmental budget require the approval of the governing council. Budget-to-actual comparisons are provided in this report for each individual governmental fund for which an appropriated annual budget has been adopted. For the general fund, this comparison is presented on page 67 as part of the basic financial statements for



the governmental funds. For governmental funds, other than the general fund, with appropriated annual budgets, this comparison is presented in the governmental fund subsection of this report, which starts on page 85.

Factors Affecting Financial Condition

The information presented in the financial statements is perhaps best understood when it is considered from the broader perspective of the specific environment within which American Fork City operates.

Local economy. American Fork City currently has a mix of retail and light manufacturing. The City is climbing out of the recessionary period which proved to be hard on the City; significantly decreasing revenues and slowing the housing market. The City is currently seeing increases in sales tax revenues and increased interest in construction within the City.

Sales tax of the City is collected through the State. The State collects direct point of sale sales tax; the tax goes through an equation whereby the City receives directly one half of 1% of the direct point of sale, sales tax. The other half goes into a pool of sales tax and is re-distributed to all entities of the State based on population. The actual sales tax received by the City, because of the distribution formula, is less than 1%.

Major industries with headquarters or divisions located within the government's boundaries or in close proximity include software manufacturers, pharmaceuticals, food manufacturers, and automobile retail. The City also has a large health-based component with the American Fork Hospital located within the City's boundaries.

Utah County, which includes American Fork City, has an employed labor force of approximately 189,634, average wages were \$771 per week; according to the United States Bureau of Labor Statistics (<http://www.bls.gov/ro7/qcewut.htm#table1>.) American Fork has an employed labor force of approximately 11,618. The current unemployment rate for the State of Utah is 3.5% as of June 2014 (<http://jobs.utah.gov/wi/pubs/une/index.html>.)

Long-term financial planning. The governing council plans to develop an expanded regional park, near an existing regional park, "Art Dye Park." The City continues to look for funding options for the Art Dye Park development.

The City Council views the current lack of cemetery expansion as a primary issue to be addressed. Subsequent to the end of the fiscal year, the City Council approved a loan from the cemetery perpetual care fund to the capital improvement fund to expand and develop additional cemetery space.

Other projects for development include areas near the Utah Transit Authority, Front Runner train system. The developing area would be entitled "transit area development". Several studies and proposals have been submitted to the Council with an intended "mixed-use-development" flavor, utilizing retail and residential features.



Of major concern to the City is the maintenance and upkeep of the City road system. The City currently has approximately 112 lane-miles of road in the City. The current funding options for the upkeep and expansion of the road system are: B&C road funds, derived from a State-collected and distributed gas tax; impact fees, reserved for growth-related projects; and the road accrual fund, from property tax revenue, set aside for road improvements.

The City took forward a road bond proposition for inclusion on the November 2013 election ballot. The bond would have improved about 20% of the road system, with the infrastructure (water lines, sewer lines and storm drain system) below the roads. The proposition was not successful. The City is looking at other possible funding options.

The options the City has explored include: do nothing, increase property taxes, assess a road-utility fee, encourage the State to allow increased B&C gasoline tax assessments.

The City has conducted a water rate study on behalf of the water and sewer fund, which recommended rate adjustments to better meet operational and debt service financing for the secondary irrigation bonds. The first phase of the adopted rate adjustments took effect July 2012; scheduled rate adjustments were scheduled over five years.

The City is currently looking at the results of a sewer and storm rate study, to determine if/when utility rates from sewer and storm drain should be adjusted.

Other financial highlights, not otherwise discussed. Debt retirement continues to be a priority for the City. In April 2014, the City refunded the Police and Courts general obligation bonds.

The City continues to monitor opportunities for debt re-structuring and retirement. The City is currently looking at further refunding through the 2005 RDA sales tax revenue bonds.

As mentioned above, the City has concentrated efforts in establishing accrual accounts to accumulate funds for major projects. Some of the accrual accounts set-up by the City include: vehicle replacement accrual, streets accrual, and the downtown development accrual.

The effects of a strong sales tax base in the City continues to be a contributing factor to the City's ability to maintain its financial equilibrium. Although past recessionary changes in the economy have had a distinct effect on the City, the City has been able to maintain a somewhat stable budget, without the drastic fluctuations we've seen in some of our sister-communities. The City is showing an increasing sales tax base and building-related fees are increasing. The City continues to seek opportunities for further expansion of the sales tax base through private/public projects such as economic development areas.

Cash management policies and practices. Cash not used in current operations is invested in the Public Treasurer's Investment pool (PTIF). Short-term deposits are held at local banking institutions. Some of the City's short-term bank accounts include: the general operating account, the payroll account, the ambulance revenue account and other small, special purpose accounts.



As mentioned above, the City receives funding for road improvements through the State's class C road fund program. The funds are allotted funds from gasoline fee collections. The allocation is based on road-miles and population of the City. It is the City's policy to use class C road funds for road improvements prior to the use of City allocations.

American Fork City's unemployment insurance participation is self-funded and the City pays into the program based on assessments and billings through State Unemployment system, and employee applications for unemployment.

Risk Management. American Fork City has initiated a limited risk management program in conjunction with the workers compensation program and insurance program. Training opportunities have been offered to City employees in areas of health maintenance and safe work environment training. Department-specific training is provided to employees to prevent risks associated as per industry standards.

The City has invested significant funds in two sewer cleaning and videoing machines which have significantly decreased the occurrence of sewer back-ups, and reduced City liability in this area. The City also seeks to repair sewer lines to remedy infiltration issues that are prevalent in the aging infrastructure. We've experienced significant decreases in payments to the Timpanogos Special Service District which processes sewer for the City.

The City has recently begun a proactive approach to tree trimming in City parks and City-owned properties to decrease the potential risk associated with tree-accidents. The City has also put specific focus on safety inspections of playground equipment.

Pension and other postemployment benefits. American Fork City participates in the Utah State Retirement Program for the City's employees. The Retirement System is an agent plan for the benefit of American Fork City employees, being managed by the Utah State Retirement program. American Fork City has no obligation in connection with employee benefits offered through this plan beyond regular contractual payments to the Utah State Retirement System.

Awards and Acknowledgements

The Government Finance Officers Association of the United States and Canada (GFOA) awarded a Certificate of Achievement for Excellence in Financial Reporting to American Fork City for its comprehensive annual financial report for the fiscal year ended June 30, 2013. In order to be awarded a Certificate of Achievement, a government must publish an easily readable and efficiently organized comprehensive annual financial report. This report must satisfy both generally accepted accounting principles and applicable legal requirements.

A Certificate of Achievement is valid for a period of one year only. We believe that our current comprehensive annual financial report continues to meet the Certificate of Achievement Program's requirements and we are submitting it to the GFOA to determine its eligibility for another certificate.



51 EAST MAIN, AMERICAN FORK, UT 84003 (801)763-3000 FAX 801-763-3004

The preparation of this report would not have been possible without the efficient and dedicated services of the staff of the finance and administration departments. We would like to express our appreciation to all members of the departments who assisted and contributed to the preparation of this report, as well as the help and support of our auditors, Gilbert and Stewart, Certified Public Accountants.

Credit must also be given to the Mayor and the governing body for their unfailing support for maintaining the highest standards of professionalism in the management of the American Fork City finances.

Respectfully submitted,

Cathy Jensen
Finance/Budget Officer

Craig Whitehead,
City Administrator



Government Finance Officers Association

**Certificate of
Achievement
for Excellence
in Financial
Reporting**

Presented to

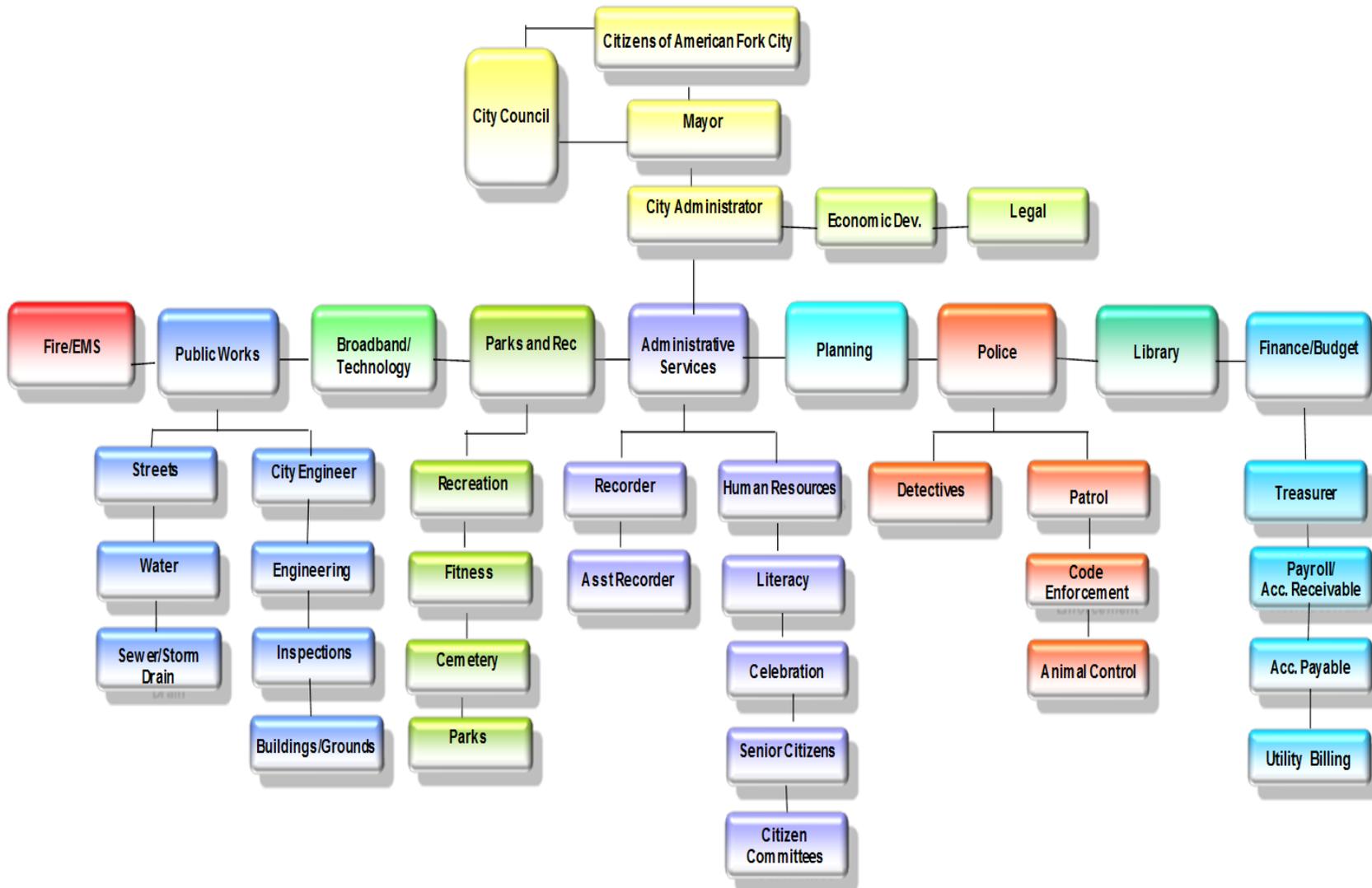
**American Fork City
Utah**

For its Comprehensive Annual
Financial Report
for the Fiscal Year Ended

June 30, 2013

Executive Director/CEO

AMERICAN FORK CITY Organizational Chart





American Fork City
List of Elected and Appointed Officials
June 30, 2014

Elected Officials

Mayor	James H. Hadfield
Council Member	Clark Taylor
Council Member	Brad Frost
Council Member	Rob Shelton
Council Member	Jeffrey Shorter
Council Member	Carlton Bowen

Appointed Officials

City Administrator	Craig Whitehead
City Recorder	Richard Colborn
Deputy Recorder	Terilyn Lurker
City Treasurer	Amanda Durrant
Fire Chief	Kriss Garcia
Police Chief	Lance Call



Financial Section



INDEPENDENT AUDITOR'S REPORT

Honorable Mayor and City Council
American Fork City
American Fork, Utah

Report on the Financial Statements

We have audited the accompanying financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of American Fork City, as of and for the year ended June 30, 2014, and the related notes to the financial statements, which collectively comprise the City's basic financial statements as listed in the table of contents.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

Auditor's Responsibility

Our responsibility is to express opinions on these financial statements based on our audit. We conducted our audit in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Those standards require that we plan and perform the audit to obtain reasonable assurance about whether the financial statements are free from material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the financial statements. The procedures selected depend on the auditor's judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the entity's preparation and fair presentation of the financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the entity's internal control. Accordingly, we express no such opinion. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

Opinions

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of American Fork City, as of June 30, 2014, and the respective changes in financial position and, where applicable, cash flows thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Other Matters

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis and budgetary comparison information as listed in the table of contents be presented to supplement the basic financial statements. Such information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information

and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Other Information

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise American Fork City's basic financial statements. The introductory section, combining and individual nonmajor fund financial statements, budgetary comparison schedules, and statistical section are presented for purposes of additional analysis and are not a required part of the basic financial statements.

The combining and individual nonmajor fund financial statements, and budgetary comparison schedules are the responsibility of management and were derived from and relate directly to the underlying accounting and other records used to prepare the basic financial statements. Such information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the combining and individual nonmajor fund financial statements and budgetary comparison schedules are fairly stated, in all material respects, in relation to the basic financial statements as a whole. The introductory and statistical sections have not been subjected to the auditing procedures applied in the audit of the basic financial statements and, accordingly, we do not express an opinion or provide any assurance on it.

Other Reporting Required by Government Auditing Standards

In accordance with Government Auditing Standards, we have also issued our report dated December 18, 2014 on our consideration of American Fork City's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements and other matters. The purpose of that report is to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with Government Auditing Standards in considering American Fork City's internal control over financial reporting and compliance.

Gilbert & Stewart

GILBERT & STEWART, CPA, PC
Certified Public Accountants
Provo, UT 84601
December 18, 2014

Page Intentionally Left Blank



MANAGEMENT'S DISCUSSION AND ANALYSIS

As management of American Fork City, we offer readers of American Fork City's financial statements this narrative, discussion, overview and analysis of the financial activities of American Fork City for the fiscal year ended June 30, 2014.

FINANCIAL HIGHLIGHTS

- The assets of American Fork City governmental activities exceeded the liabilities as of the close of the most recent year by \$86,215,384 (net position). Of this amount \$9,904,569 (unrestricted net assets) may be used to meet the government's ongoing obligations to citizens and creditors.
- In the general fund, revenues exceeded expenditures by \$4,662,119, before inter-fund transfers.
- At the close of the fiscal year, the unassigned fund balance of the general fund totaled \$5,085,473 or 25% of total general fund revenues as per the Utah State directed calculation. State statutes allow a maximum unassigned fund balance of 25% of total general fund revenues.
- Property Tax Revenue from a property tax increase in 2007 helped finance an accrual account for road projects; the City continues to fund this accrual account at a rate of \$500,000 per year.
- The City is in the process of researching alternative revenue sources for funding road maintenance and reconstruction. Possible alternatives include: Do nothing, increased B&C road fund rates through the State, a road utility fee, increased property taxes.
- Sales tax revenue received by the City, on a cash-basis for the period of July 2013 through June 2014 showed an increase of 5% over the same period in the previous year. This percentage is showing a slight slowing-trend when compared to the previous period (July 2012 through June 2013) which had a 9% increase from the previous period.

An analysis of sales tax over time, shows not only an increase in the amount of sales tax received, but also a significant increase in the number of sales tax filers. Please see the "sales tax revenue payers by industry" schedule on page 127 to view the detail.

- Sales tax revenue, a major operating revenue of the City, continues to be a prime concern. Economic events continue to be monitored, and conservative revenue projections continue to be employed to help prepare for possible further economic downturns of the economy.
- In March 2013, the City was able to defease the outstanding balance of debt service on the 2003 broadband bond. This had the effect of decreasing the fund balance in the broadband fund. However, it is hoped that now the largest liability in the broadband fund has been retired, operating revenue and further gains from the sale of fiber lines will help reduce/eliminate the negative fund balance in the broadband fund.
- The City issued a refunding GO Police and Courts bond in April 2014 and was able to retire the 2004 GO Police and Courts in an effort to continue to reduce the outstanding bond liabilities of the City.

OVERVIEW OF THE FINANCIAL STATEMENTS

This discussion and analysis are intended to serve as an introduction to the City's basic financial statements. The City's basic financial statements are comprised of three components: 1) government-wide financial statements, 2) fund financial statements, and 3) notes to the financial statements. This report also contains other supplementary information in addition to the basic financial statements themselves.



GOVERNMENT-WIDE FINANCIAL STATEMENTS. The government-wide financial statements are designed to provide readers with a broad overview of the City’s finances, in a manner similar to a private-sector business.

The *statement of net position* presents information on all of the assets and liabilities of the City, with the difference between the two reported as *net position*. Over time, increases or decreases in net assets may serve as a useful indicator of whether the financial position of the City is improving or deteriorating.

The *statement of activities* presents information showing how the net assets of the City changed during the most recent fiscal year. All changes in net assets are reported as soon as the underlying event giving rise to the change occurs, *regardless of the timing of related cash flows*. Thus, revenues and expenses are reported in this statement for some items that will only result in cash flows in future periods (e.g., uncollected taxes and earned but unused vacation leave.)

Both of the government-wide financial statements distinguish functions of the City that are principally supported by taxes and intergovernmental revenues (*governmental activities*) from functions that are intended to recover all or a significant portion of their costs through user fees and charges (*business-type activities*.) The governmental activities of the City include general government and administration, public safety, public works, library and cemetery. The business-type activities of the City include Water and Sewer, and the Broadband.

Please refer to the table of contents for the location of the government-wide financial statements.

FUND FINANCIAL STATEMENTS. A *fund* is a grouping of related accounts that is used to maintain control over resources that have been segregated for specific activities or objectives. The City, like other state and local governments, uses fund accounting to ensure and demonstrate compliance with finance-related legal requirements. All of the funds of the City can be divided into three categories: *governmental funds*, *proprietary funds* and *fiduciary funds*.

GOVERNMENTAL FUNDS. *Governmental funds* are used to account for essentially the same functions reported as governmental activities in the government-wide financial statements. However, unlike the government-wide financial statements, governmental fund financial statements focus on current sources and uses of spendable resources, as well as on balances of spendable resources available at the end of the fiscal year. Such information may be useful in evaluating a government’s near-term financial requirements.

Because the focus of government funds is narrower than that of the government-wide financial statements, it is useful to compare the information presented for governmental funds with similar information presented for governmental activities in the government-wide financial statements. By doing so, readers may better understand the long-term impact of the government’s near-term financing decisions. Both the governmental funds balance sheet and the governmental fund statements of revenues, expenditures, and changes in fund balances provides a reconciliation to facilitate this comparison between government funds and government activities.

The City maintains 11 governmental funds. Information is presented separately in the governmental fund balance sheet and in the governmental fund statement of revenues, expenditures, and changes in fund balances for the general, debt service, capital projects, redevelopment agency and fitness center, all of which are considered to be major funds. Data from the other 7 funds are combined into a single, aggregated presentation. Individual fund data for each of these non-major governmental funds is provided in the form of *combining statements* elsewhere in this report.

The City’s governmental funds are:

General Fund	Alpine Special Improvement Fund (Capital Projects Fund)
Debt Service Fund	Meadows Special Improvement Fund (Capital Projects Fund)
Redevelopment Agency	Fitness Center
Building Authority	Arts
Capital Improvements Fund (Capital Projects Fund)	Broadband
Perpetual Care (Permeant Fund)	Downtown Redevelopment Fund



The City adopts an annual appropriated budget for all of its governmental funds. Budgetary comparison statements have been provided for the general fund and major special revenue funds to demonstrate compliance with those budgets.

A *Permanent fund* is used to report resources that are legally restricted to the extent that only earnings, and not principal, may be used for purposes that support the reporting government's programs; for the benefit of the government or its citizenry. The City's only permanent fund is the perpetual care fund, for the cemetery. These funds are restricted by legislative action (American Fork City Code 8.04.270). This code states that the corpus of the trust funds will stay in-tact in the trust; the interest portion of the cemetery revenue will be transferred to the general fund.

Please refer to the table of contents for the location of the basic governmental fund financial statements.

PROPRIETARY FUNDS. The City maintains one *proprietary fund* type. Enterprise funds are used to report the same functions presented as business-type activities in the government-wide financial statements. The City uses enterprise funds to account for its water, sewer and broadband funds.

Proprietary funds provide the same type of information as the government-wide financial statements, only in more detail. The proprietary fund financial statements provide separate information for the water, sewer and broadband funds which are all considered to be major funds of the City.

FIDUCIARY FUNDS. *Fiduciary funds* are used to account for resources held for the benefit of parties outside the governmental entity. Fiduciary funds are not reflected in the government-wide financial statements because the resources of those funds are not available to support the City's own programs. The accounting used for fiduciary funds is much like that used for *proprietary funds*. The City does not hold any fiduciary funds.

NOTES TO THE FINANCIAL STATEMENTS. The *notes* provide additional information that is essential to a full understanding of the data provided in the government-wide and fund financial statements. The notes are part of the basic financial statements.

OTHER INFORMATION. In addition to the basic financial statements and accompanying notes, this report also presents certain *required supplementary information* concerning the City.

The combining statements referred to earlier in connection with non-major governmental funds and the enterprise fund is presented immediately following the required supplementary information.

GOVERNMENT-WIDE FINANCIAL ANALYSIS

As noted earlier, net position may serve over time as a useful indicator of a government's financial position. In the case of American Fork City, assets exceed liabilities by \$141,078,844 (net position) at the close of fiscal year 2014.

An additional portion of the City's net position (approximately 4%) represents resources that are subject to external restriction on how they may be used. The remaining balance of unrestricted net position \$17,398,248 may be used to meet the government's ongoing obligations to citizens and creditors.

As of June 30, 2014, the City is able to report positive balances in both categories of net position, both for the government as a whole, as well as for its separate governmental and business-type activities.



**AMERICAN FORK CITY
NET POSITION**

	Governmental Activities		Business-Type Activities		Total	
	2014	2013	2014	2013	2014	2013
Curr and other assets	\$20,675,716	\$21,551,587	\$11,485,809	\$11,340,393	\$32,161,525	\$32,891,980
Capital Assets (net)	83,091,253	81,830,646	90,788,142	90,254,061	173,879,395	172,084,707
Total assets	<u>103,766,969</u>	<u>103,382,233</u>	<u>102,273,951</u>	<u>101,594,454</u>	<u>206,040,920</u>	<u>\$204,976,687</u>
Current liabilities outstanding	1,774,062	1,700,489	3,573,286	4,724,036	5,347,348	\$6,424,525
Long term liabilities	12,328,847	14,319,641	43,837,203	45,051,546	56,166,050	59,371,187
Total liabilities	<u>14,102,909</u>	<u>16,020,130</u>	<u>47,410,489</u>	<u>49,775,582</u>	<u>61,513,398</u>	<u>65,795,712</u>
Net assets:						
Net investment in capital assets	71,127,403	68,037,854	47,049,142	45,995,991	118,176,545	114,033,845
Restricted	5,183,412	5,506,968	320,639	450,740	5,504,051	5,957,708
Unrestricted	9,898,103	8,920,179	7,493,681	5,372,141	17,391,784	14,292,320
Total net position	<u>\$86,208,918</u>	<u>\$82,465,001</u>	<u>\$54,863,462</u>	<u>\$51,818,872</u>	<u>\$141,072,380</u>	<u>\$134,283,873</u>

GOVERNMENTAL ACTIVITIES. Governmental activities increased the City's net position by \$3,743,917. The major contributor to this increase is the investment in capital assets. Some of those assets financed through governmental activities include: the purchase and improvements of the City's street-light system (\$415,600) and improvements to the City road and sidewalk system (\$1,469,000.)

The City exercised prudent management in the capital outlay expenses. Funding for capital assets was geared to assets, such as the fire truck capital lease and the purchase of police vehicles. The City recognizes that continued restraint in the funding of capital assets will not be possible. We believe it is in the best interest of the City to maintain a fleet of well-performing assets. Primary concern exists for the future funding of improvements to infrastructure in areas such as streets and water/sewer lines.

As described in the introduction, the City continues to search for resources to fund cemetery property, sidewalk, road improvements, and sewer and water infrastructure. In the 2015 adopted operating budget, the City Council approved a loan from the perpetual care fund to the capital improvement fund to allow for significant expansion and improvements to the City cemetery. This was approved subsequent to the end of the fiscal year.

Current sources of funds for road improvements include B&C road funds and the road accrual fund. The road accrual fund is made up of an annual allocation of property tax revenue. Impact fees are available for those road projects attributable to growth.

The City has contracted for and is currently in the process of conducting an impact fee study, to explore the option of assessing storm drain impact fees.

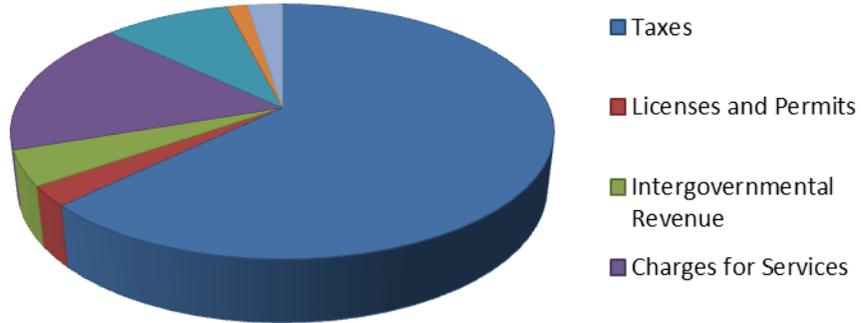
The City has conducted a water rate study to review water rates charged to citizens; the rate study was concluded in May 2012. The rate study suggested a scheduled increase of approximately 15% for residential water base rates the first year with smaller increases over the successive 5 years. Rate increases for commercial and secondary rates were also adopted. The City is currently undergoing a rate study for sewer and storm rates.

The rate studies are necessary to meet the challenges of decreasing impacts fees and increasing expenditures related to bond debt service and capital infrastructure needs. The City currently is dealing with aging infrastructure and is looking for creative funding methods to alleviate that problem.

A visual representation of the revenues by source:



REVENUES BY SOURCE General Fund For Period Ending June 2014

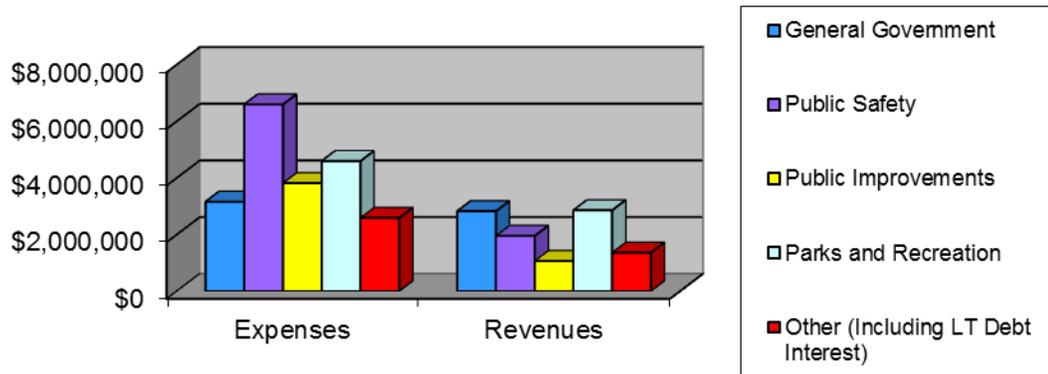


Remainder of page intentionally left blank



Expenses and Revenues for some program categories in governmental activities include the following:

**PROGRAM EXPENSES AND REVENUES
Governmental Activities
For Period Ending June 2014**



**AMERICAN FORK CITY
Changes in Net Position**

	Governmental Activities		Business-Type Activities		Total	
	2014	2013	2014	2013	2014	2013
Revenues:						
Program Revenues:						
Charges for Services	\$ 8,418,241	\$ 8,778,719	\$ 13,623,621	\$ 10,730,226	\$ 22,041,862	\$ 19,508,947
Grants and contributions	1,629,794	4,748,980	563,106	1,536,480	2,192,900	6,285,460
General Revenues:						
Property taxes	5,606,622	5,497,187	-	-	5,606,622	5,497,187
Other taxes	8,411,281	8,003,722	-	-	8,411,281	8,003,722
Other	117,710	93,645	879,232	644,666	996,942	738,311
Total Revenues	<u>24,183,648</u>	<u>27,122,253</u>	<u>15,065,959</u>	<u>12,911,372</u>	<u>39,249,607</u>	<u>40,033,627</u>
Expenses:						
General government	20,756,122	19,754,808	-	-	20,756,122	19,754,808
Water and Sewer	-	-	11,385,465	11,136,987	11,385,465	11,136,987
Broadband	-	-	313,049	456,574	313,049	456,574
Total expenses	<u>20,756,122</u>	<u>19,754,808</u>	<u>11,698,514</u>	<u>11,593,561</u>	<u>32,454,636</u>	<u>31,348,369</u>
Increase in net position before transfers	3,427,526	7,367,445	3,367,445	1,317,811	6,794,971	8,685,258
Transfers	322,858	124,900	(322,858)	(124,900)	-	-
Increase in net position	<u>\$ 3,750,384</u>	<u>\$ 7,492,345</u>	<u>\$ 3,044,587</u>	<u>\$ 1,192,911</u>	<u>\$ 6,794,971</u>	<u>\$ 8,685,258</u>
Net Position-beginning	<u>\$ 82,465,000</u>	<u>\$ 74,972,656</u>	<u>\$ 51,818,875</u>	<u>\$ 50,625,961</u>	<u>\$134,283,875</u>	<u>\$125,598,617</u>
Net Position-ending	<u>\$ 86,215,384</u>	<u>\$ 82,465,001</u>	<u>\$ 54,863,462</u>	<u>\$ 51,818,872</u>	<u>\$141,078,846</u>	<u>\$134,283,875</u>

BUSINESS-TYPE ACTIVITIES. As shown above, the net position of Business-Type Activities totals \$54,863,462, which is approximately 40% of the City's net assets.



FINANCIAL ANALYSIS OF THE GOVERNMENT'S FUNDS

As noted earlier, the City uses fund accounting to ensure and demonstrate compliance with finance-related legal requirements.

GOVERNMENTAL FUNDS. The focus of the City's governmental funds is to provide information on near-term inflows, outflows, and balances of spendable resources. Such information is useful in assessing the City's financing requirements. In particular, unassigned fund balance may serve as a useful measure of a government's net resources available for spending at the end of the fiscal year.

At the end of the year, the American Fork City's governmental funds reported combined ending fund balances of \$15,020,326. This is the total of all governmental funds (General Fund, Capital Projects Funds, Debt Service, Fitness Center and all other non-major governmental funds.)

Approximately 34 percent of the governmental fund balance amount (\$5,091,894) constitutes unassigned fund balance, which is available for spending at the government's discretion. The remainder of fund balance is reserved to indicate that it is not available for new spending because it has already been committed 1) to pay for encumbrances 2) to pay for debt service 3) to pay for capital projects 4) has already been expended for capital assets or the funds have been assigned for other purposes.

The general fund is the chief operating fund of the City. At the end of the current year, unassigned fund balance of the general fund was \$5,085,473.

The year-to-year increase in the general fund balance (\$5,439) is due to decreased spending through budgetary cuts and increased sales tax revenues.

As a measure of the general fund's liquidity, it may be useful to compare both unassigned fund balance and total fund balance to total fund expenditures. In the case of the general fund, all of the fund balance is unassigned. The total fund balance as a ratio of expenditures represents approximately 32% of the total general fund expenditures before transfers out. After transfers from the general fund, the unassigned fund balance represents 25% of expenditures.

Governmental Funds



Changes to other governmental funds, fund balance include: A decrease in RDA fund balance of \$116,552 to process the debt service payments on the RDA bonds, a \$57,182 increase in the fitness center from increased user fees, and a \$6,500 decrease in the Arts Fund, that represents the closing of that fund.

The 2013 fiscal year was the last year the City operated the Arts Council. Current and future budgets will contain a grant program whereby the components of the arts council (symphony, youth theater etc.) can apply to receive a grant. The Arts Council board will oversee the grant funds and the operations of the Arts Council.

The celebration fund balance increased \$14,950. A large portion of this increase is due to the conservative expenditures related to the "Big Show" City celebration. This year the celebration committee decided to hire local performers instead of a "big name" entertainment during the City's celebration, Steel Days.

The RDA fund is comprised of three redevelopment areas and one EDA (economic development area.)

Both the RDAs and EDAs generate revenue from property tax increment from both the City's portion of property tax and local taxing entities. The local taxing entities from the RDAs and EDAs are comprised of American Fork City, Nebo



School District, Utah State School District, Utah County, Central Utah Water District and North Utah County Water District.

In the EDA, the City is governed by two main documents; an agreement to develop land with the developer of the EDA, who was incentivized to install infrastructure to bring economic development to the area; and by the EDA documents, which allows the City to draw other local taxing entities' property tax increment to be applied to EDA and targeted housing areas.

The original EDA document contained a budget limiting the amount of tax increment the City could draw from the EDA areas, the balance of increment was returned to the taxing entities.

The developer of the EDA petitioned the City to increase the "budget" or limit of taxing revenue received from the EDA area, thereby increasing his portion of reimbursement for the infrastructure and adding an interest component to the equation. The City and the taxing entities agreed to amend both the EDA documents and the ADL. This will have the effect of bringing additional funds into the RDA fund and allowing the City to do additional capital projects to develop the EDA area. This will have a significant impact on future fund balances of the RDA fund.

PROPRIETARY FUNDS. The City's proprietary fund statements provide the same type of information found in the government-wide financial statements, but in more detail.

Unrestricted net position, formally called "net assets," of the respective proprietary funds are Water and Sewer \$9,884,080, and Broadband (\$2,390,399).

Broadband. The Broadband continues to carry negative net assets. The City is aware of this and has implemented a plan to gradually improve this situation.

The City retired the Broadband sales tax revenue bonds in April of 2013. The City has progressively sold off fiber lines, including the inner-City network, in an effort to divest itself from the operations of the broadband system. The City maintains several fiber strands that run from Salt Lake, to Spanish Fork; a distance of approximately 46 miles.

The City, in addition to fiber "leases" to schools and private entities, has entered into several "IRUs" (Irrevocable rights of use). The IRUs are essentially "sale of assets" because the life of the IRUs exceeds the useful life of the fiber.

Funds received from the IRUs have been reserve-funded to accumulate enough funds to retire the broadband bonds.

The net effect of the use of reserved funds and the sale of the asset has been to reduce the net position of the broadband. The City is anticipating that the accumulation of lease revenues and continued contracts for IRUs will have the combined effect of bringing the net position in the broadband to a positive balance, over time. The position of the City in this has gained positive results. The total net position of the broadband system last year was (\$2,316,262) and this year it is (\$1,578,968) which the City views as significant positive strides in this issue.

Water and Sewer. In 2012 the City contracted for a rate study for City provided utility rates (culinary and secondary irrigation water.) Since that time, on an annual basis, the City has raised water rates in accordance with that study. The two primary purposes of the rate increases was to generate significant revenue to meet debt service obligations for the 2007 and 2008 secondary irrigation bonds and make improvements to the City's aging utility infrastructure.

BUDGETARY HIGHLIGHTS. The difference between the original budget and the final amended budget was a net increase of \$2,225,200 City-wide.

In making budgetary adjustments where possible, individual departmental budgets were examined to look for excess budget. The City continues to re-evaluate revenue streams and adjust expenditures throughout the fiscal year. Departments continue to be innovative in looking at ways to adjust their budgetary expenditures, to save money.



The majority of the adjustments made in the general fund were related to operational expenses, with an off-setting increase to some revenues such as sales tax revenue. Some changes in the budget may be summarized as follows:

\$1,076,000 increase in the general fund was due mainly to re-allocation of budget and adjustments for increased tax revenues, re-allocation of wages and a variety of operational expenses throughout the departments in the general fund. Some of these include:

- Tax revenue exceeded original budget in several areas. Among these areas, significant increases include: property taxes \$181,638, franchise taxes \$283,200, and sales tax \$35,000. Combined, these adjustments were able to off-set many of the general fund adjustments. Total adjustments in the original budget, to arrive at the final budget total. An increase of \$275,000 in the tax revenue area.
- Revenues associated mainly with building-related and other assessed fees increased \$143,000 over originally adopted budget.
- The major expenditure for the general fund came from transfers from the general fund to allow for the transfer or excess fund balance and to the capital improvement system to cover capital improvements and the purchase of the City's light system.
- Other areas of expenditures that exceeded original budget include: Streets and highways, through street and sidewalk projects; recreation which had increased expenditures and some off-setting increased revenues; and increased sanitation costs associated with increased contract pricing.
- The Fitness Center budget was increased to recognized additional operational expenses; this budgetary adjustment was covered with additional revenues.
- Budget adjustments were not made in the downtown special revenue fund, the celebration fund, the debt service fund, the water and sewer fund, the broadband fund, the perpetual care fund, the building authority or the redevelopment fund.

CAPITAL ASSET AND DEBT ADMINISTRATION

CAPITAL ASSETS. The capital projects fund is used to account for the costs incurred in acquiring and improving sites, constructing and remodeling facilities and procuring equipment necessary for providing programs for the citizens of the City.

Major capital asset expenditures include the fire truck capital lease, the purchase of police vehicles, and expenditures on City infrastructure (roads, water, sewer, secondary irrigation).

The City has elected to use the modified approach to account for its infrastructure assets such as roads and bridges.

As allowed by GASB Statement No. 34, Basic Financial Statements, - and management's Discussion and Analysis – for State and Local Governments, the City has adopted the "modified approach" for reporting costs associated with certain infrastructure assets. The City capitalizes costs related to new construction, major replacements, and improvements that increase the capacity and/or efficiency of infrastructure assets reported under the modified approach.

The average remaining service life (RSL) for American Fork City roads, as assessed through the annual road inventory system is of the road is 7.85 years. The desired RSL for roads in American fork City is 12 years or greater. In order to raise the current RSL for the road system, the City is going investigating alternative funding sources for funding the road improvements.

Some of the alternatives for funding the road system include: do nothing, increased B&C road funds, a road system fee utility, increases in property taxes, grants and inter-local agreements.

During the proposed bond presentations, it was estimated that it would cost over \$22 million to bring a small portion of the road system to a maintainable level.



A primary concern of the City is the maintenance and upkeep of the City road system. Utah has dramatic seasonal changes with significant freezing/thawing and high temperatures. These climate conditions shorten the lives of roads.

The goal of the City is to find future funding of at least \$2 million dollars per year to contribute to the road system. This will not be possible however, without alternative financing method other than general fund revenues (impact fees, B&C road funds, property taxes and sales taxes.)

Further information about the City's modified approach can be found in the Required Supplementary Information section of the financial statements.

Remainder of page intentionally left blank



An analysis of the City's capital assets is as follows:

American Fork City Capital Assets

	Governmental Activities		Business-type Activities		Total	
	<u>2014</u>	<u>2013</u>	<u>2014</u>	<u>2013</u>	<u>2014</u>	<u>2013</u>
Land	\$25,653,257	\$25,058,725	\$765,003	\$765,003	\$26,418,260	\$25,823,728
Infrastructure	32,615,351	36,898,402	-	-	32,615,351	36,898,402
Buildings & Improvements	37,501,520	37,079,402	99,729,918	98,377,644	137,231,438	135,457,046
Equipment	9,095,252	9,071,655	1,909,840	1,637,418	11,005,092	10,709,073
Construction in progress	-	-	-	-	-	-
Accumulated Depreciation	(21,774,127)	(20,508,169)	(30,297,373)	(28,050,078)	(52,071,500)	(48,558,247)
Water Stock	-	-	18,680,754	17,524,074	18,680,754	17,524,074
Total	<u>\$83,091,253</u>	<u>\$87,600,015</u>	<u>\$90,788,142</u>	<u>\$90,254,061</u>	<u>\$173,879,395</u>	<u>\$177,854,076</u>

Additional information on American Fork City's capital assets can be found in the notes to the financial statements.

LONG-TERM DEBT

At the end of the current year, the City had total bonded debt outstanding of \$55,246,780. The debt represents both general obligation bonds and revenue bonds secured solely by specified revenue sources (i.e. revenue bonds.)

American Fork City Outstanding Debt

	Governmental Activities		Business-type Activities		Total	
	<u>2013</u>	<u>2014</u>	<u>2013</u>	<u>2014</u>	<u>2013</u>	<u>2014</u>
G.O. Bonds	\$9,757,000	\$8,398,000	\$44,185,000	\$42,970,000	\$53,942,000	\$51,368,000
Revenue Bonds	3,612,000	3,109,780	800,000	769,000	4,412,000	3,878,780
Capital Lease	423,792	326,320	-	-	423,792	326,320
Other	526,849	456,070	66,546	98,202	593,395	554,272
Total	<u>\$14,319,641</u>	<u>\$12,290,170</u>	<u>\$45,051,546</u>	<u>\$43,837,202</u>	<u>\$59,371,187</u>	<u>\$56,127,372</u>

State statutes (Utah State Constitution, Article XIV, Section 4) limit the amount of general obligation debt a governmental entity may issue to 12 percent of its total fair market value of taxable property in the City; 4 percent for general obligation debt, and an additional 8 percent for water, light or sewer.

The current fair market value of the taxable property in the City is \$ 2,177,429,000. The current debt limitation for the City is \$210,001,000. American Fork City has general obligation debt of \$51,368,000.

Additional information on the long-term debt obligations of the City can be found in note 8, on pages 54-57.



Legal Debt Margin Calculation
Fiscal Year Ending June 2014

(dollars in thousands)

Assessed value	\$ 2,177,429
Debt limit (12% of assessed value)	261,291
Debt applicable to limit:	
General obligation bonds	<u>51,368</u>
Total net debt applicable to limit	<u>\$ 51,368</u>
Legal debt margin	<u>\$ 209,923</u>

Additional information on the City's long-term debt can be found in the notes to the financial statements.

ECONOMIC FACTORS AND NEXT YEAR'S BUDGETS AND RATES

- American Fork City is located in Utah County. The unemployment rate for Utah County as of June 2014 was 3.5%. This rate is less than the reported US unemployment rate at that time of 6.1%, as provided by the Utah Department of Workforce Services. (<https://jobs.utah.gov/wi>.)
- There are approximately 150 acres of commercial property that continues to be developed in American Fork City. This development provides new sales and property tax to the City. The City actively encourages new development. The City also has implemented a "shop local" campaign to encourage residents to retain their tax dollars in the City.
- The City continues to exercise conservatism with regards to expenditures, employee compensation, capital improvements and capital assets. City administration continues to exercise creative ways to preserve as well as step up maintenance for assets and infrastructure. Some of the techniques the City uses for repairs and improvements of infrastructure include: street re-surfacing, in-house repairs of culinary water and sewer line repairs and alternative funding sources such as grants and Federal funding.
- One of the major budget issues on the horizon for the City is the implementation of the Affordable Care Act. Subsequent to 2012-13 fiscal year, the City hired 7 full-time firemen, one full-time swim coach, and has to restrict part-time hours to 30 hours per week. This has increased wage and benefit costs. The City continues to weigh the effects of the new legislation and find ways to adhere to its strictures.

REQUESTS FOR INFORMATION. The financial report is designed to provide a general overview of American Fork City's finances for all those with an interest in the government's finances. Questions concerning any of the information provided in this report or requests for additional financial information should be addressed to American Fork City, Finance Officer, 51 East Main Street, American Fork City, Utah 84003.



Basic Financial Statements

AMERICAN FORK CITY
Statement of Net Position

June 30, 2014

	Primary Government		Total
	Governmental Activities	Business-type Activities	
ASSETS			
Cash and cash equivalents	\$ 11,690,296	\$ 9,214,747	\$ 20,905,043
Receivables (net of allowance)			
Accounts	820,950	903,872	1,724,822
Intergovernmental	204,454	-	204,454
Assessments	30,930	-	30,930
Taxes	5,005,095	-	5,005,095
Other	-	958,550	958,550
Internal balances	(88,000)	88,000	-
Inventory	38,495	-	38,495
Restricted cash and cash equivalents	2,973,494	320,639	3,294,133
Capital assets (net of accumulated depreciation):			
Land	24,926,328	765,003	25,691,331
Land Right of Way	726,929	-	726,929
Water stock	-	18,680,754	18,680,754
Buildings and improvements	37,501,520	99,729,918	137,231,438
Equipment	9,095,252	1,909,840	11,005,092
Infrastructure	32,615,351	-	32,615,351
Accumulated depreciation	(21,774,127)	(30,297,373)	(52,071,500)
Total assets	103,766,967	102,273,950	206,040,917
DEFERRED OUTFLOW OF RESOURCES			
Bonding refunding cost	51,218	-	51,218
LIABILITIES			
Outstanding checks in excess of deposits	-	2,872,549	2,872,549
Accounts payable and accrued liabilities	426,505	318,910	745,415
Accrued salaries, wages and benefits	193,433	3,919	197,352
Deposits	1,077,187	159,775	1,236,962
Due to other entities	-	36,821	36,821
Bond interest payable	76,937	181,312	258,249
Long term liabilities			
Due within one year	2,302,680	1,291,821	3,594,501
Due in more than one year	10,026,167	42,545,381	52,571,548
Total liabilities	14,102,909	47,410,488	61,513,397
DEFERRD INFLOW OF RESOURCES			
NET POSITION			
Unearned property taxes levied for future years	3,499,892	-	3,499,892
Net investment in capital assets	71,127,403	47,049,142	118,176,545
Restricted			
Impact fees	2,469,863	320,639	2,790,502
Non-Expendable	541,967	-	541,967
Redevelopment	2,171,582	-	2,171,582
Unrestricted	9,904,569	7,493,681	17,398,250
Total net position	\$ 86,215,384	\$ 54,863,462	\$ 141,078,846

See accompanying notes to the financial statements.

AMERICAN FORK CITY
Statement of Activities
For the Year Ended June 30, 2014

Function/Programs	Expenses	Program Revenues			Net (Expense) Revenue & Changes in Net Position		
		Charges for Services	Operating Grants and Contributions	Capital Grants and Contributions	Governmental Activities	Business-type Activities	Total
Primary government:							
Governmental activities:							
General government	\$ 3,159,806	\$ 2,826,086	\$ -	\$ -	\$ (333,720)	\$ -	\$ (333,720)
Public safety	6,595,672	1,657,404	87,137	209,916	(4,641,215)		(4,641,215)
Public improvements	3,815,687	-	808,773	257,800	(2,749,114)		(2,749,114)
Parks and recreation	4,595,149	2,580,805	-	258,590	(1,755,754)		(1,755,754)
Other	2,126,310	1,353,946	7,578	-	(764,786)		(764,786)
Interest on long-term debt	463,498	-	-	-	(463,498)		(463,498)
Total governmental activities	<u>20,756,122</u>	<u>8,418,241</u>	<u>903,488</u>	<u>726,306</u>	<u>(10,708,087)</u>		<u>(10,708,087)</u>
Business-type activities:							
Sewer and water	11,385,465	13,406,241	-	563,106	-	2,583,882	2,583,882
Broadband	313,049	217,380	-	-	-	(95,669)	(95,669)
Total business-type activities	<u>11,698,514</u>	<u>13,623,621</u>	<u>-</u>	<u>563,106</u>	<u>-</u>	<u>2,488,213</u>	<u>2,488,213</u>
	<u>\$ 32,454,636</u>	<u>\$ 22,041,862</u>	<u>\$ 903,488</u>	<u>\$ 1,289,412</u>	<u>(10,708,087)</u>	<u>2,488,213</u>	<u>(8,219,874)</u>
General revenues:							
Property taxes					\$ 5,606,622	\$ -	\$ 5,606,622
General sales and use tax					6,235,351	-	6,235,351
Energy taxes					1,660,027		1,660,027
Franchise taxes					515,903	-	515,903
Gain (loss) on sale/retirement of assets					34,178	831,983	866,161
Interest earnings					83,532	47,249	130,781
Transfers					322,858	(322,858)	-
Total general revenues					<u>14,458,471</u>	<u>556,374</u>	<u>15,014,845</u>
Change in net position					<u>3,750,384</u>	<u>3,044,587</u>	<u>6,794,971</u>
Net position - beginning					<u>82,465,000</u>	<u>51,818,875</u>	<u>134,283,875</u>
Net position - ending					<u>\$ 86,215,384</u>	<u>\$ 54,863,462</u>	<u>\$ 141,078,846</u>

See accompanying notes to the financial statements.

AMERICAN FORK CITY
Governmental Funds
Balance Sheet
June 30, 2014

	General Fund	Capital Projects	Debt Service	Special Revenue Fitness Center	Nonmajor Governmental Funds	Total Governmental Funds
ASSETS						
Cash and cash equivalents	\$ 4,585,659	\$ 3,709,059	\$ 850,862	\$ 300,744	\$ 2,243,972	\$ 11,690,296
Receivables (net):						
Accounts	800,848	-	20,102	-	30,930	851,880
Taxes	5,005,095	-	-	-	-	5,005,095
Intergovernmental	204,454	-	-	-	-	204,454
Due from other funds	-	-	-	-	41,757	41,757
Inventory	22,724	-	-	12,192	3,579	38,495
Restricted cash		2,469,863	-	-	503,631	2,973,494
Total assets	<u>\$ 10,618,780</u>	<u>\$ 6,178,922</u>	<u>\$ 870,964</u>	<u>\$ 312,936</u>	<u>\$ 2,823,869</u>	<u>\$ 20,805,471</u>
LIABILITIES, DEFERRED INFLOWS AND FUND BALANCES						
Liabilities:						
Outstanding checks in excess of deposits	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Accounts payable and accrued liabilities	273,701	60,187	-	51,948	40,058	425,894
Accrued salaries, wages and benefits	181,788	-	-	4,915	-	186,703
Accrued compensated absences	317,216	-	-	6,730	-	323,946
Due to other funds	41,757	88,000	-	-	-	129,757
Due to other entities	613	-	-	-	-	613
Deposits	1,077,187	-	-	-	-	1,077,187
Total liabilities	<u>1,892,262</u>	<u>148,187</u>	<u>-</u>	<u>63,593</u>	<u>40,058</u>	<u>2,144,100</u>
Deferred inflow of resources						
Unearned Property Tax-levied for future years	3,499,892	-	-	-	-	3,499,892
Unavailable property taxes-delinquent	141,153	-	-	-	-	141,153
Total liabilities	<u>3,641,045</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>3,641,045</u>
Fund Balances:						
Permanently Restricted For:						
Perpetual care	-	-	-	-	541,967	541,967
Redevelopment	-	-	-	-	2,171,582	2,171,582
Impact fees	-	2,469,863	-	-	-	2,469,863
Assigned for:						
Capital projects	-	3,560,872	-	-	-	3,560,872
Debt service fund	-	-	870,964	-	-	870,964
Municipal Building	-	-	-	-	624	624
Special revenue funds	-	-	-	249,343	63,217	312,560
Unassigned	5,085,473	-	-	-	6,421	5,091,894
Total fund balances	<u>5,085,473</u>	<u>6,030,735</u>	<u>870,964</u>	<u>249,343</u>	<u>2,783,811</u>	<u>15,020,326</u>
Total liabilities, deferred inflow of resource	<u>\$ 10,618,780</u>	<u>\$ 6,178,922</u>	<u>\$ 870,964</u>	<u>\$ 312,936</u>	<u>\$ 2,823,869</u>	<u>\$ 20,805,471</u>

See accompanying notes to the financial statements.

AMERICAN FORK CITY
Balance Sheet Reconciliation to Statement of Net Assets
June 30, 2014

Total fund balances - governmental fund types: \$ 15,020,328

Amounts reported for governmental activities in the statement of net assets are different because

Capital assets used in governmental activities are not financial resources and, therefore, are not reported in the funds.

Capital assets cost	\$ 104,865,380	
Net of accumulated depreciation	<u>(21,774,127)</u>	83,091,253

Long term assets are not available to pay for current period expenditures and, therefore are deferred in the governmental fund statements.

Delinquent property taxes		141,153
---------------------------	--	---------

Interest payable, but not yet due, on long-term debt does not require current financial resources. Therefore, interest payable is not reported as a liability in the governmental fund statements.

Interest payable		(76,937)
------------------	--	----------

Long-term liabilities, including bonds payable, are not due and payable in the current period and are not included in the governmental fund statements.

Deferred Bond Costs (net of amortization)	51,218	
Due in one year	(2,266,180)	
Due in more than one year	<u>(9,745,451)</u>	<u>(11,960,413)</u>

Net assets of government activities		<u>\$ 86,215,384</u>
-------------------------------------	--	----------------------

AMERICAN FORK CITY
Statement of Revenues, Expenditures and Changes in Fund Balance
Governmental Funds
For the Year Ended June 30, 2014

	General Fund	Capital Projects	Debt Service	Special Revenue Fitness Center	Nonmajor Governmental Funds	Total Governmental Funds
REVENUES						
Taxes	\$ 12,779,577	\$ -	\$ -	\$ -	\$ 1,310,175	\$ 14,089,752
Licenses and permits	514,042	-	-	-	-	514,042
Intergovernmental	903,488	-	-	-	-	903,488
Charges for services	3,505,709	-	-	-	79,459	3,585,168
Other fees and services	1,840,971	-	-	1,740,904	-	3,581,875
Fines and forfeitures	296,228	-	-	-	-	296,228
Impact fees	-	686,594	-	-	-	686,594
Miscellaneous	475,105	15,612	-	-	-	490,717
Interest income	30,473	26,193	2,462	548	23,857	83,533
Total revenues	<u>20,345,593</u>	<u>728,399</u>	<u>2,462</u>	<u>1,741,452</u>	<u>1,413,491</u>	<u>24,231,397</u>
EXPENDITURES						
Current:						
General government	3,193,087	-	-	-	-	3,193,087
Public safety	6,234,622	-	-	-	-	6,234,622
Public improvements	2,229,438	-	-	-	957,449	3,186,887
Parks and recreation	2,006,020	-	-	2,086,837	118,589	4,211,446
Other	2,020,307	-	3,451	-	-	2,023,758
Debt service:						
Principal retirement	-	184,077	1,939,220	-	-	2,123,297
Interest and fiscal charges	-	6,847	461,450	-	-	468,297
Cost of Issuance	-	-	41,103	-	-	41,103
Capital Outlay						
General government	-	372,133	-	-	-	372,133
Public safety	-	367,915	-	-	-	367,915
Public improvements	-	1,415,798	-	-	-	1,415,798
Parks and recreation	-	468,725	-	-	-	468,725
Other	-	163,111	-	-	-	163,111
Total expenditures	<u>15,683,474</u>	<u>2,978,606</u>	<u>2,445,224</u>	<u>2,086,837</u>	<u>1,076,038</u>	<u>24,270,179</u>
Excess revenues over (under) expenditures	<u>4,662,119</u>	<u>(2,250,207)</u>	<u>(2,442,762)</u>	<u>(345,385)</u>	<u>337,453</u>	<u>(38,782)</u>
Other Financing Sources (Uses)						
Issuance of capital lease	-	199,684	-	-	-	199,684
Issuance of Refunding Bond	-	-	3,393,000	-	-	3,393,000
Payment to Refunded Escrow Agent	-	-	(3,346,100)	-	-	(3,346,100)
Transfers in	271,323	2,812,338	2,473,000	402,567	196,964	6,156,192
Transfers out	(4,928,003)	(268,200)	-	-	(637,133)	(5,833,336)
Total other financing sources and uses	<u>(4,656,680)</u>	<u>2,743,822</u>	<u>2,519,900</u>	<u>402,567</u>	<u>(440,169)</u>	<u>569,440</u>
Net change in fund balance	5,439	493,615	77,138	57,182	(102,716)	530,658
Fund balances - beginning of year	5,080,034	5,537,119	793,826	192,161	2,886,527	14,489,667
Fund balances - end of year	<u>\$ 5,085,473</u>	<u>\$ 6,030,734</u>	<u>\$ 870,964</u>	<u>\$ 249,343</u>	<u>\$ 2,783,811</u>	<u>\$ 15,020,326</u>

AMERICAN FORK CITY
Statement of Revenues, Expenditures and Changes in Fund Balances
Reconciliation to Statement of Activities

June 30, 2014

Amounts reported for governmental activities in the statement of activities are different because:

Net changes in fund balances - total governmental funds		\$ 530,658
---	--	------------

Governmental funds report capital outlays as expenditures. However, in the statement of activities the cost of those assets are allocated over their estimated useful lives and reported as depreciation expense. This is the amount by which capital outlays exceeded depreciation in the current period.

Capital asset acquisitions	\$ 2,851,467	
Current year depreciation	<u>(1,614,959)</u>	1,236,508

The net effect of various miscellaneous transactions involving capital assets (i.e., sales, trade-ins, and donations) is to increase (decrease) net position.

Capital contributions	(24,099)	
Cost of assets sold	<u>-</u>	24,099

Revenues in the statement of activities that do not provide current financial resources are not reported as revenues in the funds.

Delinquent Property Taxes		(71,849)
---------------------------	--	----------

The issuance of long-term debt (e.g. bonds, leases,) provides current financial resources to governmental funds, while the repayment of the principal of long-term debt consumes the current financial resources of governmental funds. Neither transaction, however, has any effect on net assets. Also, governmental funds report the effect of issuance costs, premiums, discounts, and similar items when debt is first issued, whereas these amounts are deferred and amortized in the statement of activities. This amount is the net effect of these differences in the treatment of long-term debt and related items.

Bond and lease principal payments	5,421,626	
Refunding bond proceeds	(3,393,000)	
Lease Proceeds	(199,684)	
Deferred charge on refunding	<u>26,070</u>	1,855,012

Some expenses reported in the statement of activities do not require the use of current financial resources and, therefore, are not reported as expenditures in governmental funds.

Accrued compensated absences	166,128	
Accrued interest payable	<u>9,828</u>	<u>175,956</u>

Change in net assets of governmental activities		<u>\$ 3,750,384</u>
---	--	---------------------

AMERICAN FORK CITY
Proprietary Funds
Statement of Net Position
June 30, 2014

	Business-Type Activities - Enterprise		
	Sewer and Water Fund	Broadband Fund	Total
ASSETS			
Current assets:			
Cash and cash equivalents	\$ 9,214,747	\$ -	\$ 9,214,747
Accounts receivable - net of allowance	894,390	9,482	903,872
Note receivable - current portion	5,447	500,000	505,447
Due from other funds	88,000	-	88,000
Total current assets	<u>10,202,584</u>	<u>509,482</u>	<u>10,712,066</u>
Noncurrent assets:			
Note receivable - long-term	453,103	-	453,103
Capital assets			
Land	765,003	-	765,003
Water stock	18,680,754	-	18,680,754
Buildings and improvements	98,530,769	1,199,149	99,729,918
Machinery and equipment	1,742,187	167,653	1,909,840
Less: accumulated depreciation	(29,742,002)	(555,371)	(30,297,373)
Total capital assets	<u>89,976,711</u>	<u>811,431</u>	<u>90,788,142</u>
Restricted cash and cash equivalents	<u>320,639</u>	<u>-</u>	<u>320,639</u>
Total noncurrent assets	<u>90,750,453</u>	<u>811,431</u>	<u>91,561,884</u>
Total assets	<u>100,953,037</u>	<u>1,320,913</u>	<u>102,273,950</u>
LIABILITIES			
Current liabilities:			
Outstanding checks in excess of deposits	-	2,872,549	2,872,549
Accounts payable and accrued expenses	305,443	13,467	318,910
Accrued salaries and benefits payable	3,430	489	3,919
Due to other entities	36,821	-	36,821
Bond interest payable	181,312	-	181,312
Long-term debt, current portion	1,282,000	-	1,282,000
Compensated absences	8,483	1,338	9,821
Total current liabilities	<u>1,817,489</u>	<u>2,887,843</u>	<u>4,705,332</u>
Noncurrent liabilities:			
Customer deposits	159,775	-	159,775
Long-term debt	42,457,000	-	42,457,000
Compensated absences	76,343	12,038	88,381
Total noncurrent liabilities	<u>42,693,118</u>	<u>12,038</u>	<u>42,705,156</u>
Total liabilities	<u>44,510,607</u>	<u>2,899,881</u>	<u>47,410,488</u>
NET POSITION			
Net investment in capital assets	46,237,711	811,431	47,049,142
Restricted - capital projects	320,639	-	320,639
Unrestricted	9,884,080	(2,390,399)	7,493,681
Total net position	<u>\$ 56,442,430</u>	<u>\$ (1,578,968)</u>	<u>\$ 54,863,462</u>

AMERICAN FORK CITY
Proprietary Funds
Statement of Revenues, Expenditures and Changes in Fund Net Position
For the Year Ended June 30, 2014

	<u>Business-Type Activities - Enterprise Funds</u>		
	<u>Sewer and Water Fund</u>	<u>Broadband Fund</u>	<u>Total</u>
Operating revenues:			
Charges for services	\$10,869,061	\$ 217,380	\$ 11,086,441
Pledged as security on revenue bonds	769,360	-	769,360
Other operating income	1,767,820	-	1,767,820
Total operating revenues	<u>13,406,241</u>	<u>217,380</u>	<u>13,623,621</u>
Operating expenses:			
Salaries, wages and employee benefits	1,350,030	197,401	1,547,431
Supplies and materials	466,403	35,137	501,540
Professional and technical	325,854	26,692	352,546
Depreciation and amortization	2,574,685	51,818	2,626,503
Other	4,738,041	2,001	4,740,042
Total operating expenses	<u>9,455,013</u>	<u>313,049</u>	<u>9,768,062</u>
Operating income	<u>3,951,228</u>	<u>(95,669)</u>	<u>3,855,559</u>
Nonoperating revenues (expenses):			
Interest revenue	46,270	979	47,249
Interest expense and fiscal charges	(1,930,452)	-	(1,930,452)
Gain on sale of assets	-	831,983	831,983
Total nonoperating revenues (expenses)	<u>(1,884,182)</u>	<u>832,962</u>	<u>(1,051,220)</u>
Net income (loss) before contributions and transfers	<u>2,067,046</u>	<u>737,293</u>	<u>2,804,339</u>
Capital contributions	24,296	-	24,296
Impact Fees	538,810	-	538,810
Transfers out	(322,858)	-	(322,858)
Total contributions and transfers	<u>240,248</u>	<u>-</u>	<u>240,248</u>
Change in net positions	2,307,294	737,293	3,044,587
Total net positions - beginning	<u>\$54,135,136</u>	<u>\$ (2,316,261)</u>	<u>\$ 51,818,875</u>
Total net positions - ending	<u>\$56,442,430</u>	<u>\$ (1,578,968)</u>	<u>\$ 54,863,462</u>

AMERICAN FORK CITY
Proprietary Funds
Statement of Cash Flows
For the Year Ended June 30, 2014

Business-Type Activities - Enterprise Funds

	<u>Sewer and Water</u>	<u>Broadband</u>	<u>Total BTAs</u>
Cash Flows From Operating Activities			
Receipts from customers	\$ 13,335,171	\$ 241,292	\$ 13,576,463
Payments to suppliers	(5,861,824)	(50,823)	(5,912,647)
Payments to employees	(1,372,762)	(202,589)	(1,575,351)
Net cash provided (used) by operating activities	<u>6,100,585</u>	<u>(12,120)</u>	<u>6,088,465</u>
Cash Flows From Noncapital Financing Activities			
Change in outstanding checks in excess of deposits		(968,584)	(968,584)
Cash paid for deposits	-	-	-
Cash paid to other funds	(322,858)	-	(322,858)
Cash received from other funds	-	-	-
Net cash provided (used) by noncapital financing activities	<u>(322,858)</u>	<u>(968,584)</u>	<u>(1,291,442)</u>
Cash Flows From Capital and Related Financing Activities			
Cash received for impact fees	538,810	-	538,810
Acquisition of capital assets	(3,284,029)	(10,275)	(3,294,304)
Sale of Capital assets	-	990,000	990,000
Principal paid on capital debt	(1,246,000)	-	(1,246,000)
Interest paid on capital debt	(1,749,140)	-	(1,749,140)
Net cash provided (used) by capital and related financing activities	<u>(5,740,359)</u>	<u>979,725</u>	<u>(4,760,634)</u>
Cash Flows From Investing Activities			
Interest and dividends received	46,270	979	47,249
Cash collected on note receivable	-	-	-
Net cash provided (used) by investing activities	<u>46,270</u>	<u>979</u>	<u>47,249</u>
Net increase (decrease) in cash and cash equivalents	<u>83,638</u>	<u>-</u>	<u>83,638</u>
Cash and cash equivalents - beginning	9,451,748	-	9,451,748
Cash and cash equivalents - ending	<u>\$ 9,535,386</u>	<u>\$ -</u>	<u>\$ 9,535,386</u>

AMERICAN FORK CITY
Proprietary Funds
Statement of Cash Flows (*Continued*)
For the Year Ended June 30, 2014

	Business-Type Activities - Enterprise Funds		
<i>(Continued)</i>	Sewer and Water	Broadband	Total BTAs
Reconciliation of operating income to net cash provided (used) by operating activities:			
Operating income (loss)	\$ 3,951,228	\$ (95,669)	\$ 3,855,559
Adjustments to reconcile operating income to net cash provided (used) by operating activities:			
Depreciation expense	2,574,685	51,818	2,626,503
(Increase) decrease in accounts receivable	(71,070)	23,912	(47,158)
Increase (decrease) in accounts payable	(366,844)	13,007	(353,837)
Increase (decrease) in accrued salaries and benefits	(51,507)	(8,070)	(59,577)
Increase (decrease) in due to other entities	(20,332)	-	(20,332)
Increase (decrease) in compensated absences	28,775	2,882	31,657
Increase (decrease) in deposits	55,650	-	55,650
Total adjustments	2,149,357	83,549	2,232,906
Net cash provided (used) by operating activities	\$ 6,100,585	\$ (12,120)	\$ 6,088,465
 Noncash investing, capital, and financing activities			
Contributions from contractors for:			
Water and Sewer Improvements	\$ (24,296)	\$ -	\$ (24,296)
Total Contributions from Contractor	\$ (24,296)	\$ -	\$ (24,296)
 Reconciliation of total cash and cash investments			
Cash and cash equivalents	\$ 9,214,747	\$ -	\$ 9,214,747
Restricted cash and cash equivalents	320,639	-	320,639
Total cash and cash investments	\$ 9,535,386	\$ -	\$ 9,535,386



Notes to the Financial Statements

The notes to the financial statements are included to provide information that is essential to the user's understanding of the basic financial statements.

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

American Fork City, Utah (City) was incorporated under the laws of the Territory of Utah in 1853. The City operates under a council-mayor form of government and provides the following broad range of services to its citizens: general administrative services, public safety (police and fire), highways and streets, sanitation, recreation and parks, public improvements, planning and zoning. It also operates the water and sewer utilities.

A. Accounting and Reporting Policies

The accounting and reporting policies of the City relating to the funds included in the accompanying basic financial statements conform to accounting principles generally accepted in the United States of America applicable to state and local governments. Generally accepted accounting principles for local governments include those principles prescribed by the Governmental Accounting Standards Board (GASB). Proprietary funds apply Financial Accounting Standards Board (FASB) pronouncements and Accounting Principles Board (APB) opinions issued on or before November 30, 1989, unless those pronouncements conflict with or contradict GASB pronouncements, in which case, GASB prevails.

B. Component Units

The City, for financial purposes, includes all of the funds and accounts relevant to the operations of American Fork City. The financial statements of the City include those of separately administered organizations that are controlled by or dependent on the City. Control or dependence is determined on the basis that the board is essentially the same as the City Council and the services are provided to the City. The City also facilitates the budget adoption, taxing authority, funding and appointment of the respective governing board. Based on the foregoing criteria, the financial statements of the American Fork Arts Council and the Redevelopment Agency and the Building Authority are included in the accompanying financial statements and reported in the American Fork Arts Council, Building Authority and Redevelopment Agency special revenue funds. These funds are considered to be blended component units.

Complete financial statements for each of the individual blended component units may be obtained at the American Fork City offices.

The accounts of Fox Hollow Golf Course and Timpanogos Special Service District are excluded from the accompanying financial statements because the entities are autonomous and have a self-elected board of directors responsible for their operations and the hiring of their management personnel. The City pays Timpanogos Special Service District for its share of services received. Timpanogos Special Service District receives payments from other nearby cities receiving these same services. Fox Hollow Golf Course was established in 1973 by American Fork City, Pleasant Grove City, and Lehi City. The Golf Course has its own board, with one member of the city council serving on that board. The City has guaranteed one third of the \$4,880,000 bond.

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (*Continued*)

C. Basis of Presentation

The government-wide financial statements (the Statement of Net Assets and the Statement of Activities) report information on all of the activities of the City. The effect of interfund activity, within the governmental and business-type activities columns, has been removed from those statements.

Governmental activities, which normally are supported by taxes and intergovernmental revenues, are reported separately from business-type activities, which rely to a significant extent on fees and charges for support. The Statement of Activities demonstrates the degree to which the direct expenses of the given program are offset by program revenues. Direct expenses are those that are clearly identifiable with a specific program. Program revenues include 1) charges to customers or applicants who purchase, use, or directly benefit from goods, services, or privileges provided by a given program and 2) operating or capital grants and contributions that are restricted to meeting the operational or capital requirements of a particular program. Taxes and other items not properly included among program revenues are reported instead as general revenues.

The City segregates transactions related to certain functions or activities in separate funds in order to aid financial management and to demonstrate legal compliance. Separate statements are presented for governmental and proprietary activities. These statements present each major fund as a separate column on the fund financial statements; all non-major funds are aggregated and presented in a single column.

Governmental funds are those funds through which most of the governmental functions typically are financed. The measurement focus of governmental funds is on the sources, uses and balance of current financial resources. The City has presented the following major governmental funds:

General Fund

The general fund is the main operating fund of the City. This fund is used to account for all financial resources not accounted for in other funds. All general tax revenues and other receipts that are not restricted by law or contractual agreement to some other fund are accounted for in this fund. General operating expenditures, fixed charges and capital improvement costs that are not paid through other funds are paid from the general fund.

Debt Service Fund

The debt service fund is used to account for the accumulation of financial resources for the payment of principal, interest and related costs on general long-term debt.

Capital Projects Fund

The capital projects fund is used to account for funds received and expended for the acquisition or construction of capital facilities, improvements, and equipment (other than those financed by proprietary funds.)

Fitness Center Fund

This fund accounts for the amounts received and expended for the operation of the fitness center.

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

Proprietary funds are accounted for using the economic resources measurement focus and the accrual basis of accounting. The accounting objectives are determinations of net income, financial position and cash flow. All assets and liabilities are included on the Statement of Net Assets. The City has presented the following major proprietary funds:

Sewer and Water Fund

The sewer and water fund is used to account for the provision of sewer and water services to the residents of the City. Activities of the fund include administration, operations and maintenance of the sewer and water system, and billing and collection activities. The fund also accounts for the accumulation of resources for, and the payment of, long-term debt and capital improvements. All costs are financed through charges to utility customers.

Broadband Fund

The broadband fund is used to account for the provision of digital services to businesses and internet service providers within the network. Activities of the fund include administration, operations, and maintenance of the network system, and billing and collection activities. The fund also accounts for the accumulation of resources for, and the payment of long-term debt, and capital improvements. All costs will be financed through charges to internet service providers, business connections, and general fund transfers. A significant portion of the broadband system was sold in June 2008 to UTOPIA and a private company. See Note 19. The City continues to issue IRUs (Irrevocable rights of use) that are treated as “sale” of assets, because the term of the IRUs extend beyond the expected life of the asset.

Proprietary funds distinguish operating revenues and expenses from non-operating items. Operating revenues and expenses generally result from providing services and producing and delivering goods or services in connection with a proprietary fund’s principal ongoing operations. Operating expenses for the proprietary funds include the cost of personal and contractual services, materials and supplies, and depreciation of capital assets. All revenue and expenses not meeting the definition are reported as non-operating revenues and expenses.

E. Measurement Focus/Basis of Accounting

Measurement focus refers to what is being measured; basis of accounting refers to when revenues and expenditures are recognized in the accounts and reported in the financial statements. Basis of accounting relates to the timing of the measurement made, regardless of the measurement focus applied.

The government-wide statements and fund financial statements for proprietary funds are reported using the economic resources measurement focus and the accrual basis of accounting. The economic resources measurement focus means all assets and liabilities (whether current or non-current) are included on the statement of net assets; and the operating statements present increases (revenues) and decreases (expenses) in net total assets. Under the accrual basis of accounting revenues are recognized when earned. Expenses are recognized at the time the liability is incurred.

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

Governmental fund financial statements are reported using the current financial resources measurement focus and are accounted for using the modified accrual basis of accounting. Under the modified accrual basis of accounting revenues are recognized when susceptible to accrual; i.e., when they become both measurable and available. “Measurable” means the amount of the transaction can be determined and “available” means collectible within the current period or soon enough thereafter to be used to pay liabilities of the current period. The City considers amounts collected within 60 days after year-end to be available. Expenditures are recorded when the related fund liability is incurred. However, debt service expenditures are recorded only when payment is due.

Property taxes, sales taxes, franchise taxes, ambulance fees, safety contracts, and earned but unreimbursed state and federal grants associated with the current fiscal period are all considered to be susceptible to accrual and so have been recognized as revenue of the current fiscal period. All other revenue items are considered to be measurable and available only when cash is received by the government.

F. Assets, Liabilities, and Net Assets or Equity

1. Deposits and investments

The City considers all highly liquid investments with an original maturity of three months or less when purchased to be cash equivalents for reporting purposes in the Statement of Cash Flows for the Proprietary Funds.

2. Receivables and payables and transfers

Activity between funds that are representative of lending/borrowing arrangements outstanding at the end of the fiscal year are referred to as either “due to/due from other funds.”

Legally authorized transfers are treated as interfund transfers and are included in the results of operations in both governmental and proprietary funds.

3. Inventory

All inventories are valued at cost using the first-in/first-out (FIFO) method. Inventories of governmental funds are recorded as expenditures when consumed rather than when purchased.

4. Restricted, Committed, Assigned, and Unassigned Assets

Restricted assets are comprised of cash restricted for future payments of principal and interest on debt services. It is the policy of the City to use assets in the following order: Restricted, committed, assigned, then unassigned assets.

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

5. Capital Assets

Capital assets, which include property, plant, equipment, and infrastructure assets, are reported in the applicable governmental or business-type activities columns in the government-wide financial statements and in the fund financial statements for the proprietary funds. All capital assets are valued at historical cost or estimated historical cost if actual historical cost is not available. Donated assets are valued at their fair market value on the date donated. Repairs and maintenance are recorded as expenses. Renewals and betterments are capitalized. Interest of \$2,655,909 has been capitalized during the construction period on property, plant and equipment in the governmental funds.

Assets having an original cost of \$5,000 or more are capitalized. Depreciation has been calculated on each class of depreciable property using the straight-line method. Estimated useful lives are as follows:

Buildings and improvements	10-50 years
Improvements other than buildings	20-50 years
Machinery and equipment	5-20 years
Infrastructure	40-60 years

The City has adopted an allowable alternative to reporting depreciation for its road and bridge networks. Under this alternative method, referred to as the “modified approach,” the City must maintain an asset management system and demonstrate that its roads and bridges are being preserved at or above condition levels established by City policy. Infrastructure assets accounted for under the modified approach are not depreciated, and maintenance and preservation costs are expensed.

6. Compensated Absences

Compensated absences consist of vacation pay. The City accrues vacation pay when earned. Accrued vacation pay over 240 hours is forfeited on an annual basis.

The City has a policy which allows employees to buy back sick leave in excess of the maximum accumulation limit. Sick buy-back is limited to earned sick time over 480 hours.

Because of the management of compensated absences, the majority of vacation and sick pay earned is considered long-term see “Changes in long-term debt” schedule for more information on compensated absences.

Compensated absences liabilities are liquidated in the fund in which they are earned.

7. Taxes

Property taxes attach an enforceable lien on property as of January 1. Taxes are levied and tax notices are sent on November 1. All unpaid taxes are due and become delinquent on November 30. Property tax revenues are recognized by the City when they are collected. Property taxes and fees on licensed motor vehicles are collected on a monthly basis in the month in which the individual motor

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

vehicle license is renewed. Property taxes are billed and collected by Utah County on behalf of the City and remitted to the City monthly. At June 30, 2014, only delinquent taxes are uncollected.

In accordance with government accounting standards, a receivable and deferred revenue has been recorded for property taxes assessed at January 1, 2014 that will not be collected in the current fiscal year. These amounts are considered to be unavailable to pay for current resources.

8. Deferred Outflows/Inflows of Resources

Beginning with 2013, the City implemented GASB Statement No. 63, *Financial Reporting of Deferred Outflows of Resources, Deferred Inflows of Resources, and Net Position*, and Statement No. 65, *Items Previously Reported as Assets and Liabilities*. These Statements provide financial reporting guidance to standardize the presentation of deferred outflows of resources and deferred inflows of resources and their effects on a government's net position. They also establish accounting standards and financial reporting standards that reclassify, as deferred outflows of resources or deferred inflows of resources, certain items that were previously reported as assets and liabilities, and recognizes, as outflows of resources or inflows of resources, certain items that were previously reported as assets and liabilities

In addition to assets, the financial statements will sometimes report a separate section for deferred outflows of resources. This separate financial statement element, *deferred outflows of resources*, represents a consumption of net position that applies to a future period(s) and so will not be recognized as an outflow of resources (expense/expenditure) until then. The City has one Deferred Outflow, refunding bond costs.

In addition to liabilities, the financial statements will sometimes report a separate section for deferred inflows of resources. This separate financial statement element, *deferred inflows of resources*, represents an acquisition of net position that applies to a future period(s) and so will not be recognized as an inflow of resources (revenue) until that time. The City has two items, one of which arises only under a modified accrual basis of accounting that qualifies for reporting in this category. Accordingly, the item, *unavailable revenue*, is reported in the governmental funds balance sheet. The governmental funds report unavailable revenues from property taxes. These amounts are deferred and recognized as an inflow of resources in the period that the amounts become available. The item, *revenue for future year*, is reported in both the statement of net position and the governmental funds balance sheet. These amounts account for property taxes levied on January 1, 2013 for the 2013-2014 Fiscal year.

9. Net Assets

Beginning with fiscal year 2011, the City implemented GASB Statement 54, *Fund Balance Reporting in Governmental Fund Types Definitions*. The governmental fund financial statements present fund balances based on a hierarchy that shows, from highest to lowest, the level or form of constraints on fund balance resources and the extent to which the City is bound to honor them. The City first determines and reports nonspendable balances, then restricted, then committed, and so forth. The City's governmental funds beginning balances have been restated to reflect the below classifications. Fund balance classifications are summarized as follows:

NOTE 1 – SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

Nonspendable. This category includes fund balance amounts that cannot be spent because they are either a) not in spendable form or b) legally or contractually required to be maintained intact. Fund balance amounts related to inventories, prepaid expenditures, and endowments are classified as nonspendable.

Restricted. This category includes net fund resources that are subject to external constraints that have been placed on the use of the resources either a) imposed by creditors (such as through a debt covenant), grantors, contributors, or laws or regulations of other governments or b) imposed by law through constitutional provisions or enabling legislation. Restricted fund balance amounts include the following:

- a) Debt service
- b) Perpetual care
- c) Redevelopment
- d) Impact fees.

As a general rule, the City applies restricted resources to projects before applying unrestricted resources. A good example is in the application of B&C road funds which are restricted to specific projects related to B&C road maintenance; another example is the use of impact fees which are restricted to identified growth-related projects. These are used prior to using unrestricted funds.

Committed. This category includes amounts that can only be used for specific purposes established by formal action of the City Council. Fund balance commitments can only be removed or changed by the same type of action (for example, resolution) of the City Council. This classification also includes contractual obligations to the extent that existing resources have been specifically committed for use in satisfying those contractual requirements. The City Council has not committed any fund balance amounts.

Assigned. This category includes General Fund balance amounts that the City intends to be used for a specific purpose but are neither restricted nor committed. The policy to assign fund balance generally comes from the City Council as a formal action, during a noticed Council meeting or budget approval. This category also includes the remaining positive fund balance for other governmental funds. The City has assigned debt service requirement, Municipal building, special revenues, and capital projects.

Unassigned. Residual balances in the General Fund are classified as unassigned.

10. Estimates

The preparation of financial statements in conformity with generally accepted accounting principles requires management to make estimates and assumptions that affect certain reported amounts of assets and liabilities at June 30, 2014 and revenues and expenses during the year then ended. The actual results could differ from those estimates.

NOTE 2 – BUDGET AND BUDGETARY ACCOUNTING

Budgets are adopted on a basis consistent with generally accepted accounting principles. All funds of the City have legally adopted budgets.

The City Council approves by resolution the total budget appropriation by fund. The City Budget Officer is authorized to transfer budget amounts within departments of a fund. Any revisions that alter the total appropriations of any fund must be approved by the City Council. A public hearing is held anytime an increase in total appropriations is made. The budget was amended in fiscal year 2014. Unused appropriations for all of the annually budgeted funds lapse at the end of the year.

NOTE 3 – DEPOSITS AND INVESTMENTS

The City follows the requirements of the Utah Money Management Act (*Utah Code* Annotated 1953, Section 51, Chapter 7) and the rules of the Utah Money Management Council (the Council). Following are discussions of the City’s exposure to various risks related to its cash management activities.

While the City’s carrying amount of deposits was \$21,326,626 the balance in the City’s bank accounts and cash on hand was \$21,928,368 with the difference being due to outstanding checks and deposits in transit.

Custodial Credit risk

Deposits. Custodial credit risk for deposits is the risk that in the event of a bank failure the City’s deposits may not be recovered. The City’s policy for managing custodial credit risk is to adhere to the Money Management Act. The Act requires all deposits of the City to be in a *qualified depository*, defined as any financial institution whose deposits are insured up to a mandatory limit by an agency of the federal government and which has been certified by the Commissioner of Financial Institutions as meeting the requirements of the Act and adhering to the rules of the Utah Money Management Council. As of June 30, 2014 the deposits were as follows:

<u>Depository Account</u>	<u>Custodial Credit Risk Risk</u>	<u>Balance June 30, 2013</u>
Checking Account	Insured	\$ 812,340
Savings Accounts	Insured	275,418
Checking Accounts	Uninsured	<u>1,686,367</u>
Total Deposits		<u><u>\$ 2,774,126</u></u>

Investments. Custodial credit risk for investments is the risk that in the event of failure of the counterparty, the City will not be able to recover the value of its investments that are in the possession of an outside party. As with Deposits, the City’s policy for managing custodial credit risk of investments is to adhere to the Money Management Act.

NOTE 3 – DEPOSITS AND INVESTMENTS (Continued)

Credit Risk

Credit risk is the risk that the counterparty to an investment will not fulfill its obligations. The City’s policy for limiting the credit risk of investments is to comply with the Money Management Act. The Act requires investment transactions to be conducted only through qualified depositories, certified dealers, or directly with issuers of the investments securities. Permitted investments include deposits of qualified depositories; repurchase agreements; commercial paper that is classified as “first-tier” by two nationally recognized statistical rating organizations, one of which must be Moody’s Investor Services or Standard & Poor’s; bankers’ acceptances; obligations of the U.S. treasury and U.S government-sponsored enterprises; bonds and notes of political subdivisions of the State of Utah; fixed rate corporate obligations and variable rate securities rated “A” or higher by two nationally recognized statistical rating organizations defined in the Act.

The City is authorized to invest in the Utah Public Treasurer’s Investment Fund (PTIF), an external pooled investment fund managed by the Utah State Treasurer and subject to the Act and Council requirements. The PTIF is not registered with the SEC as an investment company, and deposits in the PTIF are not insured or otherwise guaranteed by the State of Utah. The PTIF operates and reports to participants on an amortized cost basis. The income, gains, and losses, net of administration fees, of the PTIF are allocated based upon the participants’ average daily balances.

The fair value of the PTIF balance approximates the cost; the difference is \$105,442, which is considered immaterial. The fair value of the City’s position in the PTIF is the same as the value of the pool shares.

The following are the City’s investments as of June 30, 2014:

<u>Investments</u>	<u>Fair Value</u>	<u>Quality Ratings</u>			
		<u>AAA</u>	<u>AA</u>	<u>A</u>	<u>Unrated</u>
Utah Public Treasurer's Invstmnt Fund	\$ 19,149,695	\$ -	\$ -	\$ -	\$19,149,695
Total Investments	\$ 19,149,695	\$ -	\$ -	\$ -	\$19,149,695

Interest Rate Risk

Interest rate risk is the risk that changes in interest rates of debt investments will adversely affect the fair value of an investment. The City manages its exposure to declines in fair value by investing mainly in the PTIF and by adhering to the Money Management Act. The Act requires that the remaining term to maturity of investments may not exceed the period of availability of the funds to be invested. The Act further limits the remaining term to maturity of commercial paper to 270 days or less and fixed-rate negotiable deposits and corporate obligations to 365 days or less. Maturities of the City’s investments are noted above. The City’s cash and cash equivalents include \$2,973,494 of restricted cash for debt services, capital projects, and cemetery care (see governmental funds balance sheet, pg. 31).

NOTE 4 –RECEIVABLES

Receivables as of year-end for the government’s individual funds, including the applicable allowances for uncollectible accounts, are as follows:

	General	Debt Service	Downtown Redevelopment	Perpetual Care	Sewer and Water	Broadband	Total
Receivables:							
Accounts	\$ 811,793	\$ 20,103	\$ -	\$ 3,000	\$ 983,786	\$ 10,537	\$ 1,829,219
Taxes	5,005,095	-	-	-	-	-	5,005,095
Intergovernmental	204,454	-	-	-	-	-	204,454
Other	-	-	27,930	-	458,550	500,000	986,480
Less allowance	(10,945)	-	-	-	-	-	(10,945)
for uncollectible Accounts	-	-	-	-	(89,396)	(1,054)	(90,450)
	<u>\$ 6,010,397</u>	<u>\$ 20,103</u>	<u>\$ 27,930</u>	<u>\$ 3,000</u>	<u>\$ 1,352,940</u>	<u>\$ 509,483</u>	<u>\$ 7,923,853</u>

The “other receivable” in the sewer and water fund consists of a \$458,550 note receivable from Heritage Care Center (See Note 17). The other receivable in the broadband fund consists of a \$500,000 note receivable from American Fiber for the sale of the broadband system (See Note 18).

During the year, accounts determined to be worthless and uncollectible are charged against the allowance.

The interfund balances at June 30, 2014 consisted of the following:

	Due to	Due from
General fund	\$ 41,757	\$ -
Capital Projects fund	88,000	-
Perpetual Care fund	-	41,757
Sewer and Water fund	-	88,000
Total	<u>\$ 129,757</u>	<u>\$ 129,757</u>

The balance due to the sewer and water fund is for loans for capital projects that will be repaid from debt proceeds. The balance due from the sewer and water is for a project in the RDA area that was contributed from the RDA. The balance due to the other government funds is because of the timing of the interest income transferred from the general fund and other miscellaneous transactions that will be paid during the next fiscal year.

Remainder of page intentionally left blank

NOTE 5 – INTERFUND RECEIVABLES, PAYABLES AND TRANSFERS

Interfund transfers for the year ended June 30, 2014 consisted of the following:

	Transfers Out				Total
	General	Capital Projects	Nonmajor Governmental	Sewer and Water	
Transfer In:					
General	\$ -	\$ -	\$ 59,132	\$ 212,191	\$ 271,323
Capital Projects	2,812,338	-	-	-	2,812,338
Debt Service	1,535,200	268,200	578,000	91,600	2,473,000
Fitness Center	383,500	-	-	19,067	402,567
Nonmajor Govtl.	196,964	-	-	-	196,964
Sewer and Water	-	-	-	-	-
Broadband	-	-	-	-	-
Total Transfers:	<u>\$ 4,928,002</u>	<u>\$ 268,200</u>	<u>\$ 637,132</u>	<u>\$ 322,858</u>	<u>\$ 6,156,192</u>

Transfers are used to 1) move revenues from the fund that statute or budget requires to collect them to the fund that statute or budget requires to expend them, 2) move receipts restricted to debt service from the funds collecting the receipts to the debt service fund or the fund remitting the debt service payments as they become due, and 3) use unrestricted revenues collected in the general fund to finance various programs accounted for in other funds in accordance with budgetary authorizations.

Governmental funds report *deferred inflows (formerly referred to as deferred revenue)* in connection with receivables for revenues that are not considered to be available to liquidate liabilities of the current period. Governmental funds also defer revenue recognition in connection with resources that have been received, but not yet earned. At the end of the current fiscal year, the various components of *deferred inflows and unearned revenue* reported in the governmental funds were as follows:

	Unavailable	Unearned
Property taxes receivable (general fund)	\$ -	\$ 3,499,892
Delinquent Property Taxes (general fund)	141,153	-
Total deferred/undeared revenue for govnm'tl funds	<u>\$ 141,153</u>	<u>\$ 3,499,892</u>

Remainder of page intentionally left blank

NOTE 6 – CAPITAL ASSETS

Capital asset activity for the year ended June 30, 2014 was as follows:

Primary Government	Beginning				Ending
Governmental activities:	Balance	Increases	Transfers	Decreases	Balance
Capital assets not being depreciated:					
Land	\$ 24,331,796	\$ 594,532	\$ -	\$ -	\$ 24,926,328
Land Right of Way	726,929	-	-	-	726,929
Road network	19,664,118	1,191,328	-	-	20,855,446
Bridge network	1,353,714	-	-	-	1,353,714
Construction in progress	-	-	-	-	-
Total capital assets not being depreciated	<u>46,076,557</u>	<u>1,785,860</u>	<u>-</u>	<u>-</u>	<u>47,862,417</u>
Capital assets being depreciated:					
Buildings and improvements	36,910,037	591,483	-	-	37,501,520
Equipment	9,060,021	384,231	-	(349,000)	9,095,252
Curb and gutter	10,292,199	113,992	-	-	10,406,191
Total capital assets being depreciated	<u>56,262,257</u>	<u>1,089,706</u>	<u>-</u>	<u>(349,000)</u>	<u>57,002,963</u>
Less accumulated depreciation for:					
Building and improvements	10,157,295	864,206	-	-	11,021,501
Equipment	6,079,023	490,858	-	(349,000)	6,220,881
Curb and gutter	4,271,850	259,895	-	-	4,531,745
Total accumulated depreciation	<u>20,508,168</u>	<u>1,614,959</u>	<u>-</u>	<u>(349,000)</u>	<u>21,774,127</u>
Total capital assets, being depreciated, net	<u>35,754,089</u>	<u>(525,253)</u>	<u>-</u>	<u>-</u>	<u>35,228,836</u>
Governmental activities capital assets, net	<u>\$ 81,830,646</u>	<u>\$ 1,260,607</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 83,091,253</u>

Remainder of page intentionally left blank

NOTE 6 – CAPITAL ASSETS (Continued)

	Beginning Balance	Increases	Transfers	Decreases	Ending Balance
Business-type activities:					
Capital assets not being depreciated:					
Land and improvements	\$ 765,003	\$ -	\$ -	\$ -	\$ 765,003
Water Stock	17,524,074	1,156,680	-	-	18,680,754
Total capital assets not being depreciated	<u>18,289,077</u>	<u>1,156,680</u>	<u>-</u>	<u>-</u>	<u>19,445,757</u>
Capital assets being depreciated:					
Buildings and improvements	98,377,644	1,889,497	-	(537,223)	99,729,918
Equipment	1,637,417	272,423	-	-	1,909,840
Total capital assets being depreciated	<u>100,015,061</u>	<u>2,161,920</u>	<u>-</u>	<u>(537,223)</u>	<u>101,639,758</u>
Less accumulated depreciation for:					
Buildings and improvements	26,630,494	2,510,710	-	(379,206)	28,761,998
Machinery and equipment	1,419,582	115,793	-	-	1,535,375
Total accumulated depreciation	<u>28,050,076</u>	<u>2,626,503</u>	<u>-</u>	<u>(379,206)</u>	<u>30,297,373</u>
Total capital assets, being depreciated, net	<u>71,964,985</u>	<u>(464,583)</u>	<u>-</u>	<u>(158,017)</u>	<u>71,342,385</u>
Business-type activities capital assets, net	<u>\$ 90,254,062</u>	<u>\$ 692,097</u>	<u>\$ -</u>	<u>\$ (158,017)</u>	<u>\$ 90,788,142</u>

A decrease in the "buildings and Improvements" section of the capital assets schedule reflects a sell of broadband fiber.

Depreciation expense was charged to functions/programs of the primary government as follows:

Governmental activities:

General government	\$ 20,130
Public safety	384,933
Public Improvements	684,797
Parks and recreation	412,836
Other	112,263
Total depreciation expense - Governmental Activities	<u>\$ 1,614,959</u>

Business-type activities:

Sewer and water	\$ 2,574,685
Broadband	51,818
Total depreciation expense - Business-Type Activities	<u>\$ 2,626,503</u>
Total depreciation expense	<u>\$ 4,241,462</u>

Remainder of page intentionally left blank

NOTE 7 – LEASE COMMITMENTS

The City entered into a capital lease agreement with SunTrust in June 2011 to purchase two Ambulances for the public safety department. The City financed the purchase over 48 months at a stated rate of 2.92% with annual payments of \$116,376 through July 15, 2014. The lease is secured by the ambulances. The vehicles are recorded at \$433,460 with \$108,543 accumulated amortization.

The City entered into a capital lease agreement in November 2014 to purchase several police vehicles for the public safety department. The City financed the purchase over 36 months at a stated interest rate of 1.22% with a down payment of \$39,000 and annual payments of \$53,811 through February 2016. The lease is secured by the vehicles. The Vehicles are recorded at \$144,680 with \$6,798 accumulated amortization.

The City entered into a capital lease agreement December 2011 to purchase a new fire truck for the public safety department. The City financed the purchase over 48 months with a stated interest rate of 2.085%. with annual payments of \$107,919 through December 2015. The lease is secured by the vehicle. The vehicle is recorded at \$565,081 with \$33,286 accumulated amortization.

The City entered into a capital lease agreement April 2014 to purchase a first responder vehicle for the public safety department. The City financed the purchase over 48 months with a stated interest rate of 1.090%. with \$27,000 down and annual payments of \$9,549 through April 2017. The lease is secured by the vehicle. The vehicle was not available at the end of the fiscal year (June 30, 2014) to take possession; the vehicle will be recorded as an asset on the City's books when it is received.

Amortization of capital assets purchased under capital leases is included in depreciation.

Capital leases future debt service requirements:

Lease Arrangements	Governmental	Business
<u>Year</u>	<u></u>	<u></u>
2015	\$ 287,655	\$ -
2016	171,279	-
2017	9,549.45	-
2018	-	-
Total minimum lease payments	\$ 468,484	\$ -
Amount representing interest	(12,414)	-
Present value of minimum lease payments	456,070	-
Amount due within one year	(278,402)	-
Long term capital lease payable	<u>\$ 177,668</u>	<u>\$ -</u>

Remainder of page intentionally left blank

NOTE 8 – LONG TERM DEBT

Bonds and notes payable at June 30, 2014 are comprised of the following:

	<u>Governmental</u>	<u>Business-type</u>
General Obligation Bonds		
\$3,393,000 General Obligation Bond, due in annual installments on June 1 of \$540,000 to \$590,000 from 2014 to 2020. Interest at 1.530% due in semi-annual payments on December 1 and June 1.	\$ 3,393,000	\$ -
\$5,545,000 General Obligation Bond, due in annual installments on June 1 of \$445,000 to \$690,000 from 2005 to 2017. Interest at 4.0% to 5% due in semi-annual payments on December 1 and June 1.	2,555,000	
\$1,650,000 General Obligation Refunding Bond, due in annual principal payments and semi-annual interest payments beginning December 2011 through June 2021. The bond carries a variable interest rate ranging from .067-3.00%.	1,175,000	
\$8,250,000 General Obligation Bond, due in annual installments on May 1 of \$290,000 to \$545,000 from 2011 to 2035. Interest at 4% to 4.75% due in semi-annual payments on November 1 and May 1.		7,445,000
\$1,517,000 General Obligation Refunding Bond, due in annual installments on September 1 of \$242,000 to \$265,000 from 2013 to 2019. Interest at 1.550% due in semi-annual payments on September 1 and March 1.	1,275,000	
\$38,700,000 General Obligation Bond, due in annual installments on May 1 of \$300,000 to \$2,605,000 from 2011 to 2035. Interest at 3.5% to 5% due in semi-annual payments on November 1 and May 1.	_____	<u>35,525,000</u>
Total General Obligation Bonds	<u>\$ 8,398,000</u>	<u>\$ 42,970,000</u>

Remainder of page intentionally left blank

NOTE 8 – LONG TERM DEBT (Continued)

General Obligation Bonds future debt service requirements:

Year Ending June 30,	Governmental Activities		Business-Type	
	Principal	Interest	Principal	Interest
2015	\$ 1,530,000	\$ 212,688	\$ 1,250,000	\$ 2,051,628
2016	1,588,000	164,842	1,280,000	2,005,471
2017	1,635,000	118,455	1,345,000	1,941,471
2018	1,690,000	69,507	1,405,000	1,174,221
2019	1,015,000	36,121	1,470,000	1,818,031
2020-2024	940,000	31,540	8,510,000	7,952,281
2025-2029	-	-	10,810,000	5,663,281
2030-2034	-	-	13,750,000	2,732,263
2035-2039	-	-	3,150,000	146,369
Total	<u>\$ 8,398,000</u>	<u>\$ 633,153</u>	<u>\$ 42,970,000</u>	<u>\$ 25,485,016</u>

The general obligation bonds are direct obligations issued on a pledge of the general taxing power for the payment of the debt obligations of the City. The general revenues of the City are contingently liable for the general obligation bonds that are currently outstanding and recorded as obligations of the business-type activities. The full faith and credit of the City is pledged to redeem these bonds if revenues from the proprietary funds are insufficient to meet the obligations. There are a number of covenants and restrictions contained in the revenue bonds. The City was in compliance with all significant covenants and restrictions related to the bonds at June 30, 2014.

Advanced Refunding. The City issued \$3,393,000 in general obligation bonds with an interest rate of 1.530%. The proceeds were used to advance refund \$3,379,998 of outstanding 2004 general bonds with interest rates ranging from 3.875% to 4.1%. The net proceeds of \$3,379,997.50 (after payment of \$41,102.50 in issuance costs) were deposited in an irrevocable trust with an escrow agent to provide funds for the future debt service payment on the refunded bonds. As a result, the 2004 general obligation bonds are considered defeased and the liability for those bonds has been removed from the statement of net position.

The reacquisition price exceeded the net carrying amount of the old debt by \$31,100. This amount is being netted against the new debt and amortized over the remaining life of the refunding debt.

The government advance refunded the 2004 general obligation bonds to reduce its total debt service payments over six years by \$244,434.22 and to obtain an economic gain (difference between the present values of the debt service payments on the old and new debt) of \$234,158.27

NOTE 8 – LONG TERM DEBT (Continued)

	<u>Governmental</u>	<u>Business-type</u>
Revenue Bonds		
\$800,000 2013 Water Revenue Bond, due in annual installments on January 1 of \$51,825 to \$52,720 from 2013 to 2033. Interest at 2.69% to 5.6% due in annual payments on January 1.	\$ -	\$ 769,000
\$1,092,000 Sales Tax Revenue Bonds, due in annual Installments from April 2013 through October 2019. Interest due in semiannual installments April and October.	1,054,780	
\$5,810,000 2005 Sales Tax Revenue Bonds, due in annual installments on March 1 of \$300,000 to \$465,000 from 2005 to 2019. Interest at 3.5% to 5% due in semi-annual payments on March 1 and September 1	<u>2,055,000</u>	<u> </u>
Total Revenue Bonds	<u>\$ 3,109,780</u>	<u>\$ 769,000</u>

Revenue bonds future debt service requirements:

Year Ending June 30,	Governmental Activities		Business-Type	
	Principal	Interest	Principal	Interest
2015	\$ 457,778	\$ 122,489	\$ 32,000	\$ 20,686
2016	468,345	138,692	32,000	19,825
2017	438,920	81,451	33,000	18,965
2018	454,504	63,275	34,000	18,077
2019	430,097	44,443	35,000	17,162
2020-2024	860,136	12,902	190,000	71,151
2025-2029	-	-	217,000	35,224
2030-2034	-	-	196,000	13,369
2035-2039	-	-	-	-
Total	<u>\$ 3,109,780</u>	<u>\$ 463,252</u>	<u>\$ 769,000</u>	<u>\$ 214,458</u>

Remainder of page intentionally left blank

NOTE 8 – LONG TERM DEBT (Continued)

The future debt service requirements for all outstanding bond and note obligations as of June 30, 2014 are as follows:

Year Ending June 30,	Governmental Activities		Business-Type	
	Principal	Interest	Principal	Interest
2015	\$ 1,987,778	\$ 335,177	\$ 1,282,000	\$ 2,072,314
2016	2,056,345	303,534	1,312,000	2,025,297
2017	2,073,920	199,906	1,378,000	1,960,436
2018	2,144,504	132,781	1,439,000	1,192,298
2019	1,445,097	80,564	1,505,000	1,835,193
2020-2024	1,975,136	44,442	8,700,000	8,023,432
2025-2029	-	-	11,027,000	5,698,505
2030-2034	-	-	13,946,000	2,745,632
2035-2039	-	-	3,150,000	146,369
Total	<u>\$ 11,682,780</u>	<u>\$ 1,096,405</u>	<u>\$ 43,739,000</u>	<u>\$ 25,699,475</u>

Changes in long-term debt are as follows:

	July 1, 2013	Additions	Reductions	June 30, 2014	Due in One Year
Governmental Activities:					
General obligation bonds	\$ 9,757,000	\$ 3,393,000	\$ 4,752,000	\$ 8,398,000	\$ 1,530,000
Revenue bonds	3,612,000	-	502,220	3,109,780	457,778
Capital leases	423,792	199,684	167,406	456,070	278,402
Compensated absences	526,849	-	161,853	364,996	36,500
Gov't Activities long-term	<u>\$ 14,319,641</u>	<u>\$ 3,592,684</u>	<u>\$ 5,583,479</u>	<u>\$ 12,328,846</u>	<u>\$ 2,302,680</u>
Business-Type Activities:					
General obligation bonds	\$ 44,185,000	\$ -	\$ 1,215,000	\$ 42,970,000	\$ 1,250,000
Revenue bonds	800,000	-	31,000	769,000	32,000
Compensated absences	66,546	-	31,656	98,202	9,821
Business-type long-term	<u>\$ 45,051,546</u>	<u>\$ -</u>	<u>\$ 1,277,656</u>	<u>\$ 43,837,202</u>	<u>\$ 1,291,821</u>

Remainder of page intentionally left blank

NOTE 9 - RETIREMENT PLANS

State Retirement

American Fork City contributes to the Local Governmental Noncontributory Retirement System and the Public Safety Retirement System for employers with social security coverage. These retirement systems are cost-sharing multiple-employer defined benefit pension plans administered by the Utah Retirement Systems (Systems). The Systems provide retirement benefits, annual cost of living allowances, death benefits, and refunds to plan members and beneficiaries in accordance with retirement statutes established and amended by the State Legislature.

The Systems are established and governed by the respective sections of Chapter 49 of the *Utah Code* Annotated 153 (Chapter 49) as amended, which also establishes the Utah State Retirement Office (Office) for the administration of the Utah Retirement Systems and Plans. Chapter 49 places the Systems, the Office and related plans and programs under the direction of the Utah State Retirement Board (Board) whose members are appointed by the Governor. The Systems issue a publicly available financial report that includes financial statements and required supplementary information for the Systems and Plans. A copy of the report may be obtained by writing to the Utah Retirement Systems, 540 East 200 South, Salt Lake City, Utah 84102, or by calling 1-800-365-8772.

In the Public Employees Contributory Retirement System Tier 2, American Fork City is required to contribute 15.58% of annual covered salary on behalf of participants. In the Local Governmental Noncontributory Retirement System Tier 1, the City is required to contribute 17.29% of annual covered salary on behalf of participants. In the Public Safety Noncontributory Retirement System Tier 1 American Fork City is required to contribute 32.14% of annual covered salary on behalf of participants in the Public Safety Retirement System. In the Public Safety Contributory Retirement System Tier 2 American Fork City is required to contribute 21.94% of annual covered salary on behalf of participants in the Public Safety Retirement System. In the Firefighters Retirement System Tier 1, members are required to contribute 18.08% of their covered annual salary all of which is paid for the employee by the employer. In the Firefighters Retirement System tier 2, the City is required to pay 12.11% of the employees annual covered salary. The contribution rates are the actuarially determined rates and are approved by the Board as authorized by Chapter 49.

American Fork City's contributions have been as follows:

	Governmental Activities		
	2014	2013	2012
Local Government-Contributory (Tier 2)	\$ 25,116	\$ 19,193	\$ 6,339
Local Government-Noncontributory (Tier 1)	703,238	602,542	543,277
Public Safety-Contributory (Tier 2)	17,661	13,795	2,877
Public Safety-noncontributory (Tier 1)	462,318	402,629	374,528
Firefighters-Division A (Tier 1)	10,422	8,141	48,170
Firefighters-Division B (Tier 2)	34,986	5,175	1,117
Defined Contribution System (401(k))	10,205	6,329	2,605
	\$ 1,263,945	\$ 1,057,803	\$ 978,913

The contributions were equal to the required contributions for each year.

NOTE 9 - RETIREMENT PLANS *(Continued)*

Cafeteria/Deferred Compensation Plans

The City offers a cafeteria plan to all full-time employees to fund a variety of employee benefit programs including a 401K plan, life insurance, disability insurance, health insurance, and other benefits.

Also, the City has established a voluntary deferred compensation program pursuant to Section 457 of the Internal Revenue Code. In accordance with Governmental Accounting Standards Board Statement 32 (GASB No. 32), the assets and income of the 457 Plan are held in trust for the exclusive benefit of the participants or their beneficiaries.

Remainder of page intentionally left blank

NOTE 10– DEFICIT NET ASSETS

For the year ended June 30, 2014, the City had negative net assets in the broadband fund. During fiscal year 2003, an existing high-speed broadband system was purchased from a private company. The City began providing wholesale services to internet providers during fiscal year 2003. A significant portion of the broadband assets were sold to UTOPIA and a private company in June 2008. The City has since issued more IRUs (Irrevocable rights of use) that extend beyond the useful life of the asset, so are treated in the financial statements as a “sale” of assets. The City is currently reviewing their options to address the negative net assets.

NOTE 11 – RISK MANAGEMENT

The City is exposed to various risks of loss related to torts; theft of, damage to, and destruction of assets; errors and omissions; injuries to employees; and natural disasters. It is the policy of the City to purchase commercial insurance for these risks. Various policies are purchased through an insurance agency to cover liability, theft, damage, and other losses. A minimal deductible applies to these policies which the City pays in the event of any loss. There have been no significant reductions in the coverage from the prior year. Settled claims have not exceeded this commercial coverage in any of the three preceding years. The City also has purchased a workers’ compensation policy.

NOTE 12 – REDEVELOPMENT AGENCY DISCLOSURES

In accordance with Section 17A-2-1217(3), the following information is provided for the Redevelopment Agency Fund:

A) The tax increment collected by the Redevelopment Agency Fund was as follows:

West Side	\$88,576
East Side	74,718
Business Park	710,297
Egg Farm	436,583

B) There were no tax increments paid to any taxing agency pursuant to section 17A-2-1258 during the year ended June 30, 2014.

C) The outstanding principal amount of bonds issued or other loans incurred to finance the costs associated with the project areas are as follows:

Sales Tax Revenue Bond	\$2,055,000
------------------------	-------------

NOTE 12 – REDEVELOPMENT AGENCY DISCLOSURES (Continued)

D) The following amounts were expended during the year ended June 30, 2014:

Property acquisition	\$393,011
Site improvements	535,140
Administrative costs	26,657

NOTE 13 – LEASE ARRANGEMENTS

The City entered into an agreement with the State of Utah to lease office and court space to the Fourth Judicial District and Juvenile Courts. The lease agreement is through September 30, 2022, with five year renewal options. The annual lease payment is \$349,300. The operating and maintenance portion is currently being adjusted to reflect the City’s actual costs.

The future lease payments are as follows:

Year	Amount
2015	\$ 349,300
2016	349,300
2017	349,300
2018	349,300
2019-2022	1,397,200
	\$ 2,794,400

Remainder of page intentionally left blank

NOTE 14 – SALE OF HOSPITAL – NOTE RECEIVABLE

The City sold the old hospital building to the tenant Heritage Care Center for \$2,686,964 in July 2003.

The City is financing \$492,000 of the sales price. The City’s loan is secured by a second position interest in the building. The City’s security is subordinate to the U.S. Department of Housing and Urban Development (HUD), which holds the first position interest.

Repayment of the note is subject to Heritage Care Center being in a surplus cash position as defined by their regulatory agreement with HUD. The City collected \$4,636 toward the principal on the note as well as interest in fiscal year 2014. The note receivable is recorded in the sewer and water fund.

Scheduled principal and interest payments are as follows:

Year Ending June 30,	Principal	Interest	Total
2015	\$ 5,447	\$ 36,487	\$ 41,934
2016	5,899	36,035	41,934
2017	6,388	35,546	41,934
2018	6,918	35,015	41,934
2019	7,493	34,441	41,934
2019-2023	36,728	131,007	167,735
2023-2027	50,525	117,210	167,735
2027-2031	69,505	98,230	167,735
2031-2035	95,616	72,119	167,735
2035-2039	131,536	36,199	167,735
2039-2041	42,495	1,972	44,467
Total	\$ 458,550	\$ 634,261	\$ 1,092,811

NOTE 15 – SALE OF BROADBAND ASSETS

On June 6, 2008, the City entered into an agreement with American Fiber, Inc. to sell the in-city fiber network, equipment, and receivables for \$500,000. The City financed the note with American Fiber, Inc. The terms are monthly interest-only payments at 12% beginning July 1, 2008, with the principal due on December 31, 2012. The note is secured by the system assets that were sold. On September 24, 2014, the note was extended with an interest rate of 12% accruing monthly.

The City still owns the governmental portion of the network, which is approximately one-third of the original system.

NOTE 16 – SUBSEQUENT EVENTS

In preparing these financial statements, the City has evaluated events and transactions for potential recognition or disclosure through December 18, 2014, the date the financial statements were available to be issued.

NOTE 17 – LITIGATION

The City is a defendant in certain legal actions, pending actions, or in the process for miscellaneous claims. The ultimate liability which might result from the final resolution of the above matters is not presently determinable. City management is of the opinion the final outcome of the cases will not have an adverse effect on the City's financial statements.

Remainder of page intentionally left blank



Required Supplementary Information

Required supplementary information includes financial information and disclosures that are required by GASB, but are not considered part of the basic financial statements. Such information includes:

Modified Approach

- Asset Management System Reporting
- Road Network
- Bridge Network

Budgetary Comparison Schedules

- General Fund
- Fitness Center

AMERICAN FORK CITY
Required Supplementary Information
Modified Approach – Asset Management System

As allowed by GASB Statement No. 34, *Basic Financial Statements – and Management’s Discussion and Analysis – for State and Local Governments*, the City has adopted an alternative method for reporting costs associated with certain infrastructure assets. Under this alternative method, referred to as the “modified approach,” infrastructure assets are not depreciated, and maintenance and preservation costs are expensed. The City capitalizes costs related to new construction, major replacements, and improvements that increase the capacity and/or efficiency of infrastructure assets reported under the modified approach.

For budgetary comparison, the schedules are presented in a basis that is consistent with GAAP.

In order to utilize the modified approach, the City is required to:

Maintain an asset management system that includes an up-to-date inventory of eligible infrastructure assets.

Perform and document replicable condition assessments of the eligible infrastructure assets and summarize the results using a measurement scale.

Estimate each year the annual amount to maintain and preserve the eligible infrastructure assets at the condition level established and disclosed by the City.

Document whether the infrastructure assets are being preserved approximately at or above the condition level established by the City.

Road System

The condition of the City’s 111.6 miles of road pavement is measured using the Distress Identification Manual for Long-Term Pavement Performance Projects published by the Strategic Highway Research Program (SHRP), which is based on a weighted average of seven distress factors found in pavement surfaces. The pavement management system uses a measurement scale that is based on a condition index ranging from 0 to 20 years remaining service life for pavement. The condition index is used to classify roads in the following remaining service life categories: 19 to 20 years, 13 to 18 years, 9 to 12 years, 7 to 8 years, and 0 to 6 years. It is the City’s policy to maintain the roads with an average remaining service life of 12 years or greater. The initial condition assessment was performed in fiscal year 2001 and yielded an average remaining service life (RSL) of 8.5 years. The 2004 assessment indicated an average RSL of 9.23 years. The 2007 assessment indicated an average RSL of 7.03 years. The 2010 assessment indicated an average RSL of 7.0 years. Condition assessments are performed every three years.

Accounting principles generally accepted in the United States of America require reporting the last three complete condition assessments and needed-to-actual information for five years. The schedule below showing the percentage of roads in each service life category only presents information as of the most recent condition assessment period.

Remainder of page intentionally left blank

Bridge Network

The condition of the City’s bridges is determined using the Structures Inventory System to monitor the condition of the nine City-owned bridges. A number ranging from 1 – 100 is calculated based on condition, geometry, functional use, safety, and other factors. Three categories of condition are established, 80 to 100, 50 to 79, and 1 to 49. It is City policy to maintain bridges with an average score of 70 or better. The City’s average score based on the initial condition assessment was 89. A condition assessment performed in fiscal years 2012 yielded an average score of 94. Condition assessments are performed every two years.

Accounting principles generally accepted in the United States of America require reporting the last three complete condition assessments and needed-to-actual information for five years. The schedule below showing the percentage of bridges in each condition assessment category only presents information as of the most recent condition assessment period.

Subjective Condition Rating of Street Network Percentage of Network		Subjective Condition Rating of Bridge Network Percentage of Network	
0 to 6	48.38%	80 to 100	92.92%
7 to 8	24.98%	50 to 79	7.08%
9 to 12	15.54%	0 to 49	0.00%
13 to 18	1.43%	Total	100.00%
19 to 20	9.67%		
Total	100.00%		

Average remaining service life is 7.85

Average score is 94

Comparison of Needed-to Actual Costs
Road Maintenance/Preservation

	2007	2008	2009	2010	2011	2012	2013	2014
Needed	\$ 388,595	\$ 388,595	\$ 343,710	\$ 487,260	\$ 675,000	\$ 792,000	\$ 2,000,000	\$ 2,600,000
Actual	\$ 603,989	\$ 251,575	\$ 312,412	\$ 532,747	\$ 475,643	\$ 527,753	\$ 813,618	\$ 480,847

Comparison of Needed-to Actual Costs
Bridge Maintenance/Preservation

	2007	2008	2009	2010	2011	2012	2013	2014
Needed	\$ 43,177	\$ 43,177	\$ 381,900	\$ 54,140	\$ 75,000	\$ 8,000	\$ 200,000	\$ 260,000
Actual	\$ 67,110	\$ 27,952	\$ 347,124	\$ 59,194	\$ 52,849	\$ 58,639	\$ 81,362	\$ 53,427

***Bridge maintenance costs represent 10% of the road maintenance costs

**AMERICAN FORK CITY
General Fund**

Schedule of Revenues, Expenditures and Changes in Fund Balance Budget to Actual
For Year Ended June 30, 2014

	Budgeted Amounts		Actual	Variance with Final Budget
	Original	Final		Favorable (Unfavorable)
Revenues (inflows)				
Taxes	\$ 12,125,000	\$ 12,400,000	\$ 12,779,577	\$ 379,577
License and permits	479,100	479,100	514,042	34,942
Intergovernmental	932,200	932,200	903,488	(28,712)
Charges for services	3,545,600	3,595,600	3,505,709	(89,891)
Other fees and services	1,594,200	1,594,200	1,737,262	143,062
Cemetery fees	108,000	108,000	103,713	(4,287)
Fines and forfeitures	362,800	362,800	296,228	(66,572)
Miscellaneous	119,000	170,000	475,105	305,105
Interest income	38,000	38,000	30,473	(7,527)
Total revenues	19,303,900	19,679,900	20,345,597	665,697
Expenditures (outflows)				
General government	3,365,100	3,442,100	3,193,087	249,013
Public safety	7,083,600	6,921,900	6,234,622	687,278
Public improvements	2,572,200	2,572,200	2,229,438	342,762
Parks and recreation	1,560,300	2,205,400	2,006,020	199,380
Other	2,858,900	2,302,300	2,020,307	281,993
Total expenditures	17,440,100	17,443,900	15,683,474	1,760,426
Other Financing Sources and Uses				
Transfers in	1,804,500	2,504,500	271,323	(2,233,177)
Transfers out	(3,668,300)	(4,740,500)	(4,928,003)	(187,503)
Total Other Financing Sources/Uses	(1,863,800)	(2,236,000)	(4,656,680)	(2,420,680)
Excess (deficiency) of revenues over expenditures	-	-	5,441	(5,441)
Fund balance at beginning of year	5,080,034	5,080,034	5,080,034	
Fund balance at end of year	\$ 5,420,338	\$ 5,420,338	\$ 5,085,475	

**AMERICAN FORK CITY
Fitness Center Fund**

Schedule of Revenues, Expenditures and Changes in Fund Balance Budget to Actual
For Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
Revenues			
General admissions	\$ 822,000	\$ 868,017	\$ 46,017
Other income	849,900	872,887	22,987
Interest income	700	548	(152)
Total revenues	1,672,600	1,741,452	68,852
Expenditures			
Salaries, wages, and employee benefits	1,286,700	1,299,623	(12,923)
Supplies	186,900	181,363	5,537
Utilities	195,000	216,391	(21,391)
Other	387,500	389,460	(1,960)
Total expenditures	2,056,100	2,086,837	(30,737)
Excess (deficiency) of revenues over (under) expenditures	(383,500)	(345,385)	38,115
Other financing sources (uses)			
Transfers in	383,500	402,567	19,067
Excess (deficiency) of revenues and other financing sources over (under) expenditures and other financing uses	-	57,182	57,182
Fund balances - beginning of year	192,161	192,161	-
Fund balances - ending of year	\$ 192,161	\$ 249,343	\$ 57,182



Other Supplementary Information

Other supplementary information includes financial statements and schedules not required by accounting principles generally accepted in the United States of America, not a part of the financial statements, but are presented for additional analysis.

Such statements and schedules include:

Combining Financial Statements- Non-Major Governmental Funds

Individual Fund Financial Statements and Schedules

- General Fund
- Special Revenue Funds
- Debt Service Fund
- Capital Projects Fund
- Permanent Fund
- Proprietary Funds

Additional Schedules

- Schedule of Insurance in Force

Additional Auditor's Reports

- Report on Internal Control over Financial Reporting and on Compliance and other Matters based on an Audit of Financial Statements Performed in Accordance with Government Auditing Standards.

- Utah State Compliance Report based on the requirements, special tests, and provisions required by the State of Utah's Legal Compliance Guide.



Combining Financial Statements Non-Major Governmental Funds

Special Revenue Funds

American Fork Arts Council Fund – to account for the arts and cultural activities of the City. During the fiscal year 2014, the City chose to close this fund.

Downtown Redevelopment Fund – to account for small business revolving loans.

Celebration Fund- to account for the activities of Steel Days, the City’s annual celebration.

Building Authority- to account for the construction of capital facilities within the City.

Redevelopment Agency- to account for revenues and expenditures related to transactions generated in the City’s redevelopment agencies.

Permanent Fund

Perpetual Care Fund- to account for the funds received for the perpetual care of the cemetery.

AMERICAN FORK CITY
Non-major Governmental Funds
Combining Balance Sheet
For the Year Ended June 30, 2014

	Special Revenue					Permanent Cemetery Care	Total Nonmajor Governmental Funds
	Arts Council	Redevelopment Agency	Downtown Redevelopment	Celebration Committee	Building Authority		
ASSETS							
Cash and cash equivalents	\$ -	\$ 2,109,465	\$ 71,688	\$ 62,195	\$ 624	\$ -	\$ 2,243,972
Accounts receivable	-	-	-	-	-	3,000	3,000
Note receivable	-	-	27,930	-	-	-	27,930
Inventory	-	-	-	3,579	-	-	3,579
Due from other funds	-	-	-	-	-	41,757	41,757
Restricted cash	-	-	-	-	-	503,631	503,631
Total assets	<u>\$ -</u>	<u>\$ 2,109,465</u>	<u>\$ 99,618</u>	<u>\$ 65,774</u>	<u>\$ 624</u>	<u>\$ 548,388</u>	<u>\$ 2,823,869</u>
LIABILITIES, DEFERRED INFLOWS AND FUND BALANCES							
Liabilities:							
Checks outstanding in excess of deposits	-	-	-	-	-	-	-
Accounts payable and accrued liabilities	-	37,501	-	2,557	-	-	40,058
Total liabilities	<u>-</u>	<u>37,501</u>	<u>-</u>	<u>2,557</u>	<u>-</u>	<u>-</u>	<u>40,058</u>
Fund Balances:							
Restricted for:							
Perpetual care	-	-	-	-	-	541,967	541,967
Redevelopment	-	2,071,964	99,618	-	-	-	2,171,582
Assigned for:							
Municipal building	-	-	-	-	624	-	624
Special revenues	-	-	-	63,217	-	-	63,217
Unassigned	-	-	-	-	-	6,421	6,421
Total fund balances	<u>-</u>	<u>2,071,964</u>	<u>99,618</u>	<u>63,217</u>	<u>624</u>	<u>548,388</u>	<u>2,783,811</u>
Total liabilities, deferred inflow of resources	<u>\$ -</u>	<u>\$ 2,109,465</u>	<u>\$ 99,618</u>	<u>\$ 65,774</u>	<u>\$ 624</u>	<u>\$ 548,388</u>	<u>\$ 2,823,869</u>

AMERICAN FORK CITY
Non-Major Governmental Funds
Combining Statement of Revenues, Expenditures and Changes in Fund Balance
For the Year Ended June 30, 2014

	Special Revenue					Permanent Cemetery Care	Total Nonmajor Governmental Funds
	Art Council	Redevelopment Agency	Downtown Redevelopment	Celebration Committee	Building Authority		
REVENUES							
Property taxes	\$ -	\$ 1,310,175	\$ -	\$ -	\$ -	\$ -	\$ 1,310,175
Charges for services	-	-	-	73,039	-	6,420	79,459
Other fees and services	-	-	-	-	-	-	-
Interest income	-	19,817	1,373	-	-	2,667	23,857
Total revenues	-	1,329,992	1,373	73,039	-	9,087	1,413,491
EXPENDITURES							
Current:							
Public improvements	-	954,808	2,631	-	10	-	957,449
Parks and recreation	-	-	-	118,589	-	-	118,589
Total expenditures	-	954,808	2,631	118,589	10	-	1,076,038
Excess revenues over (under) expenditures	-	375,184	(1,258)	(45,550)	(10)	9,087	337,453
Other financing sources (uses)							
Transfers in	-	136,264	-	60,500	200	-	196,964
Transfers out	(6,466)	(628,000)	-	-	-	(2,667)	(637,133)
Total other financing sources and uses	(6,466)	(491,736)	-	60,500	200	(2,667)	(440,169)
Excess of revenues and other sources over (under) expenditures and other uses	(6,466)	(116,552)	(1,258)	14,950	190	6,420	(102,716)
Fund balances - beginning of year	6,466	2,188,516	100,876	48,267	434	541,968	2,886,527
Fund balances - end of year	\$ -	\$ 2,071,964	\$ 99,618	\$ 63,217	\$ 624	\$ 548,388	2,783,811



General Fund

The general fund is the main operating fund of the City. This fund is used to account for all financial resources not accounted for in other funds.

AMERICAN FORK CITY
General Fund
Balance sheet
June 30, 2014

	<u>General Fund</u>
ASSETS	
Petty cash	\$ 400
Cash and cash equivalents	4,585,259
Property taxes receivable	3,751,850
Sales taxes receivable	1,253,245
Receivables, net of allowance	
Intergovernmental	204,454
Garbage billing	103,649
Ambulance	526,344
Assessments	146,685
Other	24,170
Other Financing source (use)	-
Inventory	22,724
Total assets	<u>\$ 10,618,780</u>
LIABILITIES	
Accounts payable and accrued liabilities	\$ 273,701
Accrued salaries, wages, and benefits	181,788
Accrued compensated absences	317,216
Due to other funds	41,757
Performance bonds payable	1,077,187
Due to other entities	613
Total liabilities	<u>1,892,262</u>
DEFERRED INFLOW OF RESOURCES	
Unearned Property Taxes-levied for future years	3,499,892
Unavailable property taxes-delinquent	141,153
	<u>3,641,045</u>
Fund Balances	
Fund balances reserved for:	-
Unassigned	5,085,473
Total fund balances	<u>5,085,473</u>
Total liabilities, deferred inflow of resources and fund balances	<u>\$ 10,618,780</u>

AMERICAN FORK CITY
General Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance, Budget and Actual
For the Year Ended June 30, 2014

	Budgeted Amounts		Variance
	Budget	Actual	Favorable (Unfavorable)
Revenues			
Taxes			
Property taxes	\$ 3,600,000	\$ 3,781,638	\$ 181,638
Delinquent taxes	200,000	262,448	62,448
Sales taxes	6,200,000	6,235,351	35,351
Energy taxes	1,525,000	1,660,027	135,027
Franchise taxes	98,000	96,649	(1,351)
Motor vehicle fees	314,000	311,098	(2,902)
Telephone tax	450,000	419,254	(30,746)
Penalties and interest	13,000	13,112	112
Total	12,400,000	12,779,577	379,577
Licenses and permits			
Business licenses	110,000	138,694	28,694
Building permits	350,000	328,674	(21,326)
Other permits	19,100	46,674	27,574
Total	479,100	514,042	34,942
Intergovernmental revenue			
State and other grants	59,200	65,681	6,481
Road fund allotments	840,000	808,773	(31,227)
Liquor fund allotments	33,000	29,034	(3,966)
Total	932,200	903,488	(28,712)
Charges for services			
Fire protection	6,300	4,605	(1,695)
Ambulance fees	1,349,300	1,241,917	(107,383)
Sewer and Water allocation	1,068,000	1,068,000	-
Refuse collection/recycling	1,172,000	1,191,187	19,187
Total	3,595,600	3,505,709	(89,891)

**AMERICAN FORK CITY
General Fund**

Schedule of Revenues, Expenditures and Changes in Fund Balance, Budget and Actual
For the Year Ended June 30, 2014 (continued)

	Budgeted Amounts		Variance
	Budget	Actual	Favorable (Unfavorable)
Revenues (continued)			
Lease payments and other fees			
Safety contracts	\$ 403,500	\$ 412,847	\$ 9,347
Recreation fees	373,400	373,350	(50)
Library fees	40,000	43,796	3,796
Library development	6,500	8,830	2,330
Development Fees	179,100	225,369	46,269
Senior citizens fees	-	84,048	84,048
Boat harbor fees	85,000	84,095	(905)
Utility late fees	31,000	29,826	(1,174)
State reimbursement and rent	447,700	446,634	(1,066)
Other Fees	28,000	28,463	463
Total	1,594,200	1,737,258	143,058
Cemetery fees			
Sale of lots	34,000	28,717	(5,283)
Other Cemetery	70,000	70,600	600
Grave opening fees	4,000	4,396	396
Total	108,000	103,713	(4,287)
Fines and forfeitures			
Fines	245,000	226,193	(18,807)
Police reimbursement	20,000	(1,965)	(21,965)
Traffic school	97,800	72,000	(25,800)
Total	362,800	296,228	(66,572)
Miscellaneous revenues			
Interest earnings	41,400	30,473	(10,927)
Sale of surplus property and equipme	20,000	34,178	14,178
Other revenue	146,600	447,393	300,793
Total	208,000	512,044	304,044
Total revenues	19,679,900	20,352,059	672,159

**AMERICAN FORK CITY
General Fund**

Schedule of Revenues, Expenditures and Changes in Fund Balance, Budget and Actual
For the Year Ended June 30, 2014 (continued)

	Budgeted Amounts		Variance
	Budget	Actual	Favorable (Unfavorable)
Expenditures			
General Government			
Administration	\$ 1,450,400	\$ 1,285,545	\$ 164,855
Legislative	150,300	121,064	29,236
Legal	466,500	363,481	103,019
Executive	121,300	101,438	19,862
Data processing	194,500	159,466	35,034
Public works	234,300	212,696	21,604
Building and grounds	824,800	949,397	(124,597)
Total	3,442,100	3,193,087	249,013
Public safety			
Police department	4,412,900	3,928,205	484,695
Fire department	630,000	602,862	27,138
Ambulance department	1,879,000	1,703,555	175,445
Total	6,921,900	6,234,622	687,278
Public improvements			
Engineering	519,500	446,253	73,247
Inspection department	425,100	333,903	91,197
Streets	1,627,600	1,449,282	178,318
Total	2,572,200	2,229,438	342,762
Parks and recreation			
Parks department	861,900	781,201	80,699
Senior citizens	22,000	61,213	(39,213)
Boat harbor	52,300	44,941	7,359
Recreation department	631,000	550,231	80,769
Cemetery	581,600	528,723	52,877
Citizen Committee	56,600	39,711	16,889
Total	2,205,400	2,006,020	199,380

AMERICAN FORK CITY
General Fund

Schedule of Revenues, Expenditures and Changes in Fund Balance, Budget and Actual
For the Year Ended June 30, 2014 (continued)

	Budgeted Amounts		Variance
	Budget	Actual	Favorable (Unfavorable)
Other			
Sanitation	1,192,000	1,108,714	83,286
Library	777,400	641,819	135,581
Learning Center	33,800	15,381	18,419
Planning	253,900	224,491	29,409
Miscellaneous	45,200	29,903	15,297
Total	<u>2,302,300</u>	<u>2,020,308</u>	<u>281,992</u>
Total expenditures	<u>17,443,900</u>	<u>15,683,475</u>	<u>1,760,425</u>
Excess of revenues over expenditur	<u>2,236,000</u>	<u>4,662,339</u>	<u>2,426,339</u>
Other financing sources (uses)			
Transfers in	2,504,500	271,103	(2,233,397)
Transfers out	<u>(4,740,500)</u>	<u>(4,928,003)</u>	<u>(187,503)</u>
Total other financing sources (uses)	<u>(2,236,000)</u>	<u>(4,656,900)</u>	<u>(2,420,900)</u>
Deficiency of revenues and other financing sources over expenditures and other financing uses	<u>-</u>	<u>5,439</u>	<u>\$ 5,439</u>
Fund balance at beginning of year	<u>5,080,034</u>	<u>5,080,034</u>	
Fund balance at end of year	<u>\$ 5,080,034</u>	<u>\$ 5,085,473</u>	



General Fund Analysis

AMERICAN FORK CITY
General Fund
Analysis of Expenditures
For the Year Ended June 30, 2014

	2014				
	Salaries, Wages and Benefits	Materials, Supplies, and Core Services	Other Charges	Capital Outlay	Total
General Government					
Administration	\$ 908,284	\$ 113,119	\$ 262,333	\$ 1,809	\$ 1,285,545
Council	70,610	34,710	15,743	-	121,064
Legal	-	363,481	-	-	363,481
Executive	29,411	62,339	9,688	-	101,438
Data processing	-	111,705	-	47,761	159,466
Public works	182,255	11,899	16,163	2,379	212,696
Building and grounds	262,215	683,149	4,032	-	949,397
Total	<u>1,452,775</u>	<u>1,380,402</u>	<u>307,960</u>	<u>51,949</u>	<u>3,193,086</u>
Public Safety					
Police department	3,231,028	551,033	117,624	28,519	3,928,205
Fire department	418,844	109,081	52,128	22,808	602,862
Ambulance department	1,404,815	250,145	38,471	10,125	1,703,555
Total	<u>5,054,687</u>	<u>910,259</u>	<u>208,223</u>	<u>61,453</u>	<u>6,234,622</u>
Public Improvement					
Engineering	381,182	42,374	18,251	4,446	446,253
Inspection department	293,881	29,962	8,799	1,261	333,903
Streets	487,098	450,772	8,810	502,603	1,449,283
Total	<u>1,162,161</u>	<u>523,109</u>	<u>35,860</u>	<u>508,311</u>	<u>2,229,440</u>
Parks and Recreation					
Parks department	578,970	186,972	14,236	1,024	781,201
Senior citizens	9,872	48,667	2,673	-	61,213
Boat harbor	33,895	3,405	7,641	-	44,941
Recreation department	404,938	133,682	10,657	955	550,231
Cemetery department	430,438	65,215	30,870	2,200	528,723
Citizen Committees	-	39,711	-	-	39,711
Total	<u>1,458,113</u>	<u>477,651</u>	<u>66,076</u>	<u>4,179</u>	<u>2,006,020</u>
Other					
Sanitation	-	1,108,714	-	-	1,108,714
Library department	494,334	135,238	5,136	7,111	641,819
Literacy center	9,317	2,107	2,425	1,533	15,381
Planning commission	191,054	27,368	6,069	-	224,491
Miscellaneous	-	20,657	9,246	-	29,903
Total	<u>694,705</u>	<u>1,294,084</u>	<u>22,875</u>	<u>8,644</u>	<u>2,020,307</u>
Total Expenditures	<u>\$ 9,822,441</u>	<u>\$ 4,585,506</u>	<u>\$ 640,994</u>	<u>\$ 634,535</u>	<u>\$ 15,683,475</u>

AMERICAN FORK CITY
General Fund

Comparative Five Year Statement of Revenues, Expenditures and Changes in Fund Balances
For the Year Ended June 30, 2014

	2014	2013	2012	2011	2010
Revenues					
Taxes	\$ 12,779,577	\$ 12,204,571	\$ 11,853,351	\$ 11,073,218	\$ 10,796,806
Licenses and permits	514,042	725,491	426,757	395,073	246,687
Intergovernmental revenue	903,488	956,816	1,016,569	1,025,270	867,489
Charges for services	3,505,709	3,666,265	3,133,347	3,153,089	2,702,774
Lease payments and other fees	1,737,258	1,723,900	862,240	933,524	1,074,433
Cemetery fees	103,713	114,503	110,080	92,029	91,785
Fines and forfeitures	296,228	337,822	844,292	940,839	935,238
Other revenues	512,044	374,837	414,690	375,560	283,435
Total revenues	<u>20,352,059</u>	<u>20,104,205</u>	<u>18,661,326</u>	<u>17,988,602</u>	<u>16,998,647</u>
Expenditures					
General government	3,193,085	2,804,078	3,077,211	2,783,295	2,548,763
Public safety	6,234,622	6,096,035	5,807,469	5,309,135	4,752,452
Public improvements	2,229,440	2,455,295	2,211,984	2,167,217	2,231,475
Sanitation	1,108,714	1,063,681	1,030,518	1,081,284	935,934
Parks and recreation	2,006,020	1,986,064	1,893,618	1,732,385	1,737,662
Library department	641,819	665,758	695,592	677,430	614,044
Planning commission	224,491	293,267	399,593	386,555	379,801
Learning Center	15,381	6,650	69,381	63,043	59,433
Miscellaneous	29,903	23,118	60,011	21,282	33,501
Total expenditures	<u>15,683,474</u>	<u>15,393,946</u>	<u>15,245,377</u>	<u>14,221,626</u>	<u>13,293,065</u>
Excess of revenues over expenditures	<u>4,668,585</u>	<u>4,710,259</u>	<u>3,415,949</u>	<u>3,766,976</u>	<u>3,705,582</u>
Other financing sources (uses)					
Net operating transfers in (out)	<u>(4,663,146)</u>	<u>(2,731,625)</u>	<u>(3,456,405)</u>	<u>(4,513,497)</u>	<u>(3,641,547)</u>
Total other financing sources (uses)	<u>(4,663,146)</u>	<u>(2,731,625)</u>	<u>(3,456,405)</u>	<u>(4,513,497)</u>	<u>(3,641,547)</u>
Excess (deficiencies) of revenues and other financing sources over (under) expenditures and other financing uses	5,439	1,978,634	(40,456)	(746,521)	64,035
Fund balances - beginning of year	<u>5,080,034</u>	<u>3,101,400</u>	<u>3,140,856</u>	<u>3,887,377</u>	<u>3,823,342</u>
Fund balances - end of year	<u>\$ 5,085,473</u>	<u>\$ 5,080,034</u>	<u>\$ 3,100,400</u>	<u>\$ 3,140,856</u>	<u>\$ 3,887,377</u>



Special Revenue Funds

The special revenue funds are used to account for the proceeds of specific revenue sources that are set aside for expenditure for specified purposes.

AMERICAN FORK CITY
Special Revenue Funds
Combining Balance Sheet
For the Year Ended June 30, 2014

	Arts Council	Redevelopment Agency	Downtown Redevelopment	Celebration Committee	Building Authority	Fitness Center	Total Nonmajor Governmental Funds
ASSETS							
Cash and cash equivalents	\$ -	\$ 2,109,465	\$ 71,688	\$ 62,195	\$ 624	\$ 300,744	\$ 2,544,716
Property tax receivable	-	-	-	-	-	-	-
Note receivable	-	-	27,930	-	-	-	27,930
Accounts receivable	-	-	-	-	-	-	-
Due from other funds	-	-	-	-	-	-	-
Prepaid expenses	-	-	-	-	-	-	-
Inventory	-	-	-	3,579	-	12,192	15,771
Special Assessments	-	-	-	-	-	-	-
Total assets	<u>\$ -</u>	<u>\$ 2,109,465</u>	<u>\$ 99,618</u>	<u>\$ 65,774</u>	<u>\$ 624</u>	<u>\$ 312,936</u>	<u>\$ 2,588,417</u>
LIABILITIES							
Liabilities							
Accounts payable and accrued liabilities	-	\$ 37,501	\$ -	\$ 2,557	\$ -	\$ 51,948	\$ 92,006
Accrued salaries and benefits payable	-	-	-	-	-	11,645	11,645
Total liabilities	<u>-</u>	<u>37,501</u>	<u>-</u>	<u>2,557</u>	<u>-</u>	<u>63,593</u>	<u>103,651</u>
Fund Balances							
Restricted for:							
Redevelopment	-	2,071,964	99,618	-	-	-	2,171,582
Assigned for:							
Municipal Building	-	-	-	-	624	-	624
Special Revenues	-	-	-	63,217	-	249,343	312,560
Unassigned	-	-	-	-	-	-	-
Total fund balances	<u>-</u>	<u>2,071,964</u>	<u>99,618</u>	<u>63,217</u>	<u>624</u>	<u>249,343</u>	<u>2,484,766</u>
Total liabilities, deferred inflow of resources and fund balances	<u>\$ -</u>	<u>\$ 2,109,465</u>	<u>\$ 99,618</u>	<u>\$ 65,774</u>	<u>\$ 624</u>	<u>\$ 312,936</u>	<u>\$ 2,588,417</u>

AMERICAN FORK CITY
Special Revenue Funds
Combining Statement of Revenues, Expenditures, and Changes Fund Balances
For the Year Ended June 30, 2014

	American Fork Arts Council	Redevelopment Agency	Downtown Redevelopment	Celebration Committee	Building Authority	Fitness Center	Total Nonmajor Governmental Funds
REVENUES							
Property taxes	\$ -	\$ 1,310,175	\$ -	\$ -	\$ -	\$ -	\$ 1,310,175
Ticket sales and concessions	-	-	-	73,039	-	-	73,039
General admissions	-	-	-	-	-	868,017	868,017
Other income	6,466	-	-	-	-	872,887	879,353
Interest income	-	19,817	1,373	-	-	548	21,738
Total revenues	<u>6,466</u>	<u>1,329,992</u>	<u>1,373</u>	<u>73,039</u>	<u>-</u>	<u>1,741,452</u>	<u>3,152,322</u>
EXPENDITURES							
Supplies	-	-	-	-	-	181,363	181,363
Production costs	-	-	-	118,589	-	-	118,589
Salaries and wages	-	-	-	-	-	1,299,623	1,299,623
Utilities	-	-	-	-	-	216,391	216,391
Other	-	954,808	2,631	-	10	389,460	1,346,909
Total expenditures	<u>-</u>	<u>954,808</u>	<u>2,631</u>	<u>118,589</u>	<u>10</u>	<u>2,086,837</u>	<u>3,162,875</u>
Excess revenues over (under) expenditures	<u>6,466</u>	<u>375,184</u>	<u>(1,258)</u>	<u>(45,550)</u>	<u>(10)</u>	<u>(345,385)</u>	<u>(10,553)</u>
Other financing sources (uses)							
Transfers in	-	136,264	-	60,500	200	402,567	599,531
Transfers out	(6,466)	(628,000)	-	-	-	-	(634,466)
Total other financing sources and uses	<u>(6,466)</u>	<u>(491,736)</u>	<u>-</u>	<u>60,500</u>	<u>200</u>	<u>402,567</u>	<u>(34,935)</u>
Excess of revenues and other sources over (under) expenditures and other uses	-	(116,552)	(1,258)	14,950	190	57,182	(45,488)
Fund balances - beginning of year	<u>-</u>	<u>2,188,516</u>	<u>100,876</u>	<u>48,267</u>	<u>434</u>	<u>192,161</u>	<u>2,530,254</u>
Fund balances - end of year	<u>\$ -</u>	<u>\$ 2,071,964</u>	<u>\$ 99,618</u>	<u>\$ 63,217</u>	<u>\$ 624</u>	<u>\$ 249,343</u>	<u>\$ 2,484,766</u>

AMERICAN FORK CITY

Arts

Schedule of Revenues, Expenditures, and Changes Fund Balances

Budget to Actual

For the Year Ended June 30, 2014

	Budget	Actual	Favorable (Unfavorable)
Revenue			
Ticket sales and concessions	\$ -	\$ -	\$ -
Interest income	-	-	-
Other	-	6,466	6,466
Total revenue	<u>-</u>	<u>6,466</u>	<u>6,466</u>
Expenditures			
Production costs	-	-	-
Salaries, wages and employee benefits	-	-	-
Other	-	-	-
Total expenditures	<u>-</u>	<u>-</u>	<u>-</u>
Excess (deficiency) of revenues over (under) expenditures	<u>-</u>	<u>6,466</u>	<u>6,466</u>
Other financing sources (uses)			
Transfers in (out)	-	(6,466)	(6,466)
Total other financing sources	<u>-</u>	<u>(6,466)</u>	<u>(6,466)</u>
Excess (deficiency) of revenues and other financing sources over expenditures and other financing uses	-	-	-
Fund balances - beginning of year	<u>-</u>	<u>-</u>	<u>-</u>
Fund balances - ending of year	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>

AMERICAN FORK CITY
Downtown Redevelopment
Schedule of Revenues, Expenditures, and Changes Fund Balances
Budget to Actual
For the Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
Revenues			
Other income	\$ 10,300	\$ -	\$ (10,300)
Interest income	400	1,373	973
Total Revenues	10,700	1,373	(9,327)
Expenditures			
Other expenses	10,700	2,631	8,069
Excess (deficiency) of revenues over (under) expenditures	-	(1,258)	(1,258)
OTHER FINANCING SOURCES (USES)			
Transfers out	-	-	-
Excess (deficiency) of revenues and other financing sources over (under) expenditures and other financing uses	-	(1,258)	(1,258)
Fund balances - beginning of year	100,876	100,876	-
Fund balances - ending of year	\$ 100,876	\$ 99,618	\$ (1,258)

**AMERICAN FORK CITY
Celebration Committee**

Schedule of Revenues, Expenditures, and Changes Fund Balances
Budget to Actual
For the Year Ended June 30, 2014

	<u>Budget</u>	<u>Actual</u>	Variance Favorable (Unfavorable)
Revenues			
Ticket sales and concessions	\$ 90,100	\$ 73,039	\$ (17,061)
Expenditures			
Production costs	150,600	118,589	32,011
Excess (deficiency) of revenues over (under) expenditures	<u>(60,500)</u>	<u>(45,550)</u>	<u>14,950</u>
Other financing sources			
Transfers in	60,500	60,500	-
	60,500	60,500	-
Excess (deficiency) of revenues and other financing sources over (under) expenditures and other financing uses	-	14,950	(14,950)
Fund balances - beginning of year	48,267	48,267	-
Fund balances - ending of year	<u>\$ 48,267</u>	<u>\$ 63,217</u>	<u>\$ (14,950)</u>

AMERICAN FORK CITY
Building Authority

Schedule of Revenues, Expenditures, and Changes Fund Balances Budget to Actual
For the Year Ended June 30, 2014

	<u>Budgeted Amounts</u>		Variance
	<u>Budget</u>	<u>Actual</u>	Favorable <u>(Unfavorable)</u>
Revenue			
Total revenue	\$ -	\$ -	\$ -
Expenditures			
Operating Expenditures	200	10	190
Total expenditures	200	10	190
Excess (deficiency) of revenues over (under) expenditures	(200)	(10)	190
Other financing sources			
Transfers in	200	200	-
Total other financing sources	200	200	-
Excess (deficiency) of revenues and other financing sources over expenditures and other financing uses	-	190	190
Fund balances - beginning of year	434	434	-
Fund balances - ending of year	\$ 434	\$ 624	\$ 190

**AMERICAN FORK CITY
Redevelopment Agency Fund**

Schedule of Revenues, Expenditures and Changes in Fund Balance Budget to Actual
For Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
Revenues			
Property taxes	\$ 1,299,700	\$ 1,310,175	\$ 10,475
Interest income	12,000	19,817	7,817
Other	287,200	-	(287,200)
Total revenues	1,598,900	1,329,992	(268,908)
Expenditures			
Public improvements	962,900	954,808	8,092
Total expenditures	962,900	954,808	8,092
Excess (deficiency) of revenues over (under) expenditures	636,000	375,184	(260,816)
Other financing sources (uses)			
Transfers in	-	136,264	136,264
Transfers out	(636,000)	(628,000)	8,000
Total other financing sources (uses)	(636,000)	(491,736)	144,264
Excess (deficiency) of revenues and other financing sources over (under) expenditures and other financing uses	-	(116,552)	(116,552)
Fund balances - beginning of year	2,188,516	2,188,516	-
Fund balances - ending of year	\$ 2,188,516	\$ 2,071,964	\$ (116,552)



Debt Service Fund

The debt service fund is used to account for the accumulation of resources for, and the payment of, general long-term debt principal and interest.

AMERICAN FORK CITY
Debt Service Fund
Balance Sheet
Period Ended June 30, 2014

ASSETS

Cash - checking	\$	658,726
Cash - state treasurer's pool		192,136
Other Receivable		20,102
Total assets	\$	<u>870,964</u>

LIABILITIES AND FUND BALANCE

Liabilities		
Fund balance		
Restricted for debt service		-
Unassigned		870,964
Total fund balance		<u>870,964</u>
Total liabilities and fund balance	\$	<u>870,964</u>

Remainder of page intentionally left blank

AMERICAN FORK CITY
Debt Service Fund
Schedule of Revenues, Expenditures, and Changes Fund Balances, Budget to Actual
For the Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
Revenues			
Interest income	\$ 1,400	\$ 2,462	\$ 1,062
Expenditures			
Bond principal	1,939,300	1,939,220	80
Bond interest and fees	500,100	461,450	38,650
Bond issuance Costs	-	41,103	(41,103)
Other Costs	35,000	3,451	31,549
Total expenditures	2,474,400	2,445,224	29,176
Excess (deficiency) of revenues over (under) expenditures	(2,473,000)	(2,442,762)	30,238
Other financing sources (uses)			
Bond Proceeds	-	3,393,000	3,393,000
Payment to Refunded Escrow Agent		(3,346,100)	(3,346,100)
Transfers in	2,429,100	2,473,000	43,900
Total other financing sources (uses)	2,429,100	2,519,900	90,800
Excess (deficiency) of revenues and other financing sources over (under) expenditures and other financing uses	(43,900)	77,138	121,038
Fund balances - beginning of year	793,826	793,826	-
Fund balances - ending of year	\$ 749,926	\$ 870,964	\$ 121,038



Capital Projects Fund

AMERICAN FORK CITY
Capital Projects Fund
Combining Statement of Net Assets
June 30, 2014

ASSETS

Current assets:

Cash - operating	\$ 1,040,602
Cash - state treasurer's pool	2,668,457
Impact fees	<u>2,469,863</u>
Total assets	<u>\$ 6,178,922</u>

LIABILITIES AND FUND BALANCE

Outstanding checks in excess of deposits	-
Accounts payable and accrued expenses	11,138
Developer reimbursement payable	49,049
Due to other entities	-
Due to other funds	<u>88,000</u>
Total liabilities	<u>148,187</u>

Fund balance restricted for:

Impact fees	2,469,863
Assigned for:	-
Capital projects	<u>3,560,872</u>
Total fund balance	<u>6,030,735</u>

Total liabilities and fund balance	<u>\$ 6,178,922</u>
------------------------------------	---------------------

Remainder of page intentionally left blank

AMERICAN FORK CITY
Capital Projects Fund
Schedule of Revenues, Expenditures, and Changes in Fund Balances, Budget to Actual
For the Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
REVENUES			
Intergovernmental	\$ 340,000	\$ -	\$ (340,000)
Interest	25,000	26,193	1,193
Other income	-	15,612	15,612
Impact fees	763,000	686,594	(76,406)
Total revenues	<u>1,128,000</u>	<u>728,399</u>	<u>(399,601)</u>
EXPENDITURES			
Public safety	259,900	367,915	(108,015)
Buildings and Property	386,300	372,133	14,167
Public works	6,797,900	1,415,798	5,382,102
Parks and Recreation	284,100	468,725	(184,625)
Other projects and equipment acquisitions	1,607,300	163,111	1,444,189
Principal	211,400	184,077	27,323
Interest	13,000	6,847	6,153
Total expenditures	<u>9,559,900</u>	<u>2,978,606</u>	<u>6,581,294</u>
Excess (deficit) of revenues over (under) expenditures	<u>(8,431,900)</u>	<u>(2,250,207)</u>	<u>6,181,693</u>
OTHER FINANCING SOURCES (USES)			
Issuance Lease	5,047,400	199,684	(4,847,716)
Transfers in	2,421,100	2,812,338	391,238
Transfers out	(268,200)	(268,200)	-
Total other financing sources (uses)	<u>7,200,300</u>	<u>2,743,822</u>	<u>(4,456,478)</u>
Net change in fund balance	-	493,615	493,615
Fund balances	<u>5,537,119</u>	<u>5,537,119</u>	<u>-</u>
Fund balances - ending	<u>\$ 5,537,119</u>	<u>\$ 6,030,734</u>	<u>\$ 493,615</u>



Perpetual Care Fund

The perpetual care fund is used to account for the resources that are restricted for cemetery care. The principal can only be used for cemetery care, but the earnings of the fund can be used to support other government programs.

AMERICAN FORK CITY
Perpetual Care Fund
Combining Balance Sheet
Period Ended June 30, 2014

ASSETS

Current assets:

Accounts receivable - net	\$ 3,000
Due from other funds	41,757
Restricted cash	<u>503,631</u>
Total assets	<u>\$ 548,388</u>

Fund Balance

Total Restricted Fund Balance	<u>\$ 548,388</u>
-------------------------------	-------------------

Remainder of page intentionally left blank

**AMERICAN FORK CITY
Perpetual Care Fund**

Schedule of Revenues, Expenditures, and Changes in Fund Balances, Budget to Actual
For the Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
Revenue			
Cemetery care	\$ 11,300	\$ 6,420	\$ (4,880)
Interest income	3,400	2,667	(733)
Total revenues	14,700	9,087	(5,613)
Expenditures			
Cemetery care	-	-	\$ -
Total Expenditures	-	-	-
Excess (deficiency) of revenues over (under) expenditures	14,700	9,087	(15,009)
Other financing sources			
Transfers out	(3,400)	(2,667)	733
Total other financing sources	(3,400)	(2,667)	733
Excess (deficiency) of revenues and other financing sources over (under) expenditures and other financing uses	11,300	6,420	(4,880)
Fund balances - beginning of year	541,968	541,968	-
Fund balances - ending of year	\$ 553,268	\$ 548,388	\$ (4,880)



Proprietary Funds

The proprietary funds are used to account for the business-like activities of the City.

AMERICAN FORK CITY
Proprietary Funds
Combining Statement of Net Position
June 30, 2014

	Business-Type Activities - Enterprise Funds		
	Sewer and Water Fund	Broadband Fund	Total
ASSETS			
Current assets			
Cash - checking	\$ 7,919,835	\$ -	\$ 7,919,835
Cash -state treasurer's pool	1,294,912	-	1,294,912
Accounts receivable - net of allowance	894,390	9,482	903,872
Note receivable, current portion	5,447	500,000	505,447
Due from other funds	88,000	-	88,000
Total current assets	10,202,584	509,482	10,712,066
Capital assets, at cost			
Land	765,003	-	765,003
Water Stock	18,680,754	-	18,680,754
Buildings and improvements	1,438,791	-	1,438,791
Improvements other than buildings	97,091,978	1,199,149	98,291,127
Machinery and equipment	1,742,187	167,653	1,909,840
Less: accumulated depreciation	(29,742,002)	(555,371)	(30,297,373)
Total Capital Assets	89,976,711	811,431	90,788,142
Noncurrent assets			
Note receivable, long-term portion	453,103	-	453,103
Restricted cash			
Impact fees	320,639	-	320,639
Bond issuance costs - net of amortization	-	-	-
Total noncurrent assets	773,742	-	773,742
Total assets	\$ 100,953,037	\$ 1,320,913	\$ 102,273,950

AMERICAN FORK CITY
Proprietary Funds
Combining Statement of Net Assets (*Continued*)
Period Ended June 30, 2014

	Business-Type Activities - Enterprise Funds		
	Sewer and Water Fund	Broadband Fund	Total
LIABILITIES			
Current liabilities			
Outstanding checks in excess of deposits	\$ -	\$ 2,872,549	\$ 2,872,549
Accounts payable and accrued expenses	305,443	13,467	318,910
Accrued salaries and benefits payable	3,430	489	3,919
Due to other entities	36,821	-	36,821
Bond Interest Payable	181,312	-	181,312
Compensated absences	8,483	1,338	9,821
Current portion of bonds payable	1,282,000	-	1,282,000
Total current liabilities	<u>1,817,489</u>	<u>2,887,843</u>	<u>4,705,332</u>
Noncurrent liabilities			
Deposits	159,775	-	159,775
Compensated absences	76,343	12,038	88,381
Bonds payable			
2007 General obligation bonds	7,220,000	-	7,220,000
2008 General obligation bonds	34,500,000	-	34,500,000
2012 State Water Bond	737,000	-	737,000
Total noncurrent liabilities	<u>42,693,118</u>	<u>12,038</u>	<u>42,705,156</u>
Total liabilities	<u>44,510,607</u>	<u>2,899,881</u>	<u>47,410,488</u>
NET POSITION			
Net Investment in Capital Assets	46,237,711	811,431	47,049,142
Restricted	-	-	-
Capital projects	320,639	-	320,639
Unrestricted	9,884,080	(2,390,399)	7,493,681
Total net position	<u>\$ 56,442,430</u>	<u>\$ (1,578,968)</u>	<u>\$ 54,863,462</u>

AMERICAN FORK CITY
Proprietary Funds
Combining Schedule of Revenues, Expenditures, and Changes Net Assets
For the Year Ended June 30, 2014

	Business-Type Activities - Enterprise Funds		
	Sewer and Water Fund	Broadband Fund	Total
Operating revenues			
Water charges and fees	\$ 5,367,408	\$ -	\$ 5,367,408
Pledged as security on revenue bonds	769,360	-	769,360
Sewer charges and fees	5,501,653	-	5,501,653
Internet and connection fees	-	217,380	217,380
Other income	1,767,820	-	1,767,820
Total operating revenues	<u>13,406,241</u>	<u>217,380</u>	<u>13,623,621</u>
Operating expenses			
Salaries, wages and employee benefits	1,350,030	197,401	1,547,431
Materials and supplies	466,403	35,137	501,540
Utilities and telephone	366,682	2,001	368,683
Professional and technical	325,854	26,692	352,546
Timpanogos Special Service District	2,350,824	-	2,350,824
Water assessment fees	574,769	-	574,769
Other	1,445,766	-	1,445,766
Depreciation	2,574,685	51,818	2,626,503
Total operating expenses	<u>9,455,013</u>	<u>313,049</u>	<u>9,768,062</u>
Operating income	<u>3,951,228</u>	<u>(95,669)</u>	<u>3,855,559</u>
Nonoperating revenues (expenses)			
Interest income	46,270	979	47,249
Bond interest expense	(1,930,452)	-	(1,930,452)
Gain on sale of assets	-	831,983	831,983
Total nonoperating revenues (expenses)	<u>(1,884,182)</u>	<u>832,962</u>	<u>(1,051,220)</u>
Net income (loss) before contributions and transfers	<u>2,067,046</u>	<u>737,293</u>	<u>2,804,339</u>
Contributions and transfers			
Capital contributions	24,296	-	24,296
Impact Fees	538,810	-	538,810
Transfers out	(322,858)	-	(322,858)
Total contributions and transfers	<u>240,248</u>	<u>-</u>	<u>240,248</u>
Change in net position	2,307,294	737,293	3,044,587
Total net position - beginning	54,135,136	(2,316,261)	51,818,875
Total net position - ending	<u>\$ 56,442,430</u>	<u>\$ (1,578,968)</u>	<u>\$ 54,863,462</u>

AMERICAN FORK CITY
Proprietary Funds
Combining Statement of Cash Flows
For the Year Ended June 30, 2014

	Business-Type Activities - Enterprise Funds		
	Sewer and Water	Broadband	Total BTAs
Cash Flows From Operating Activities			
Receipts from customers	\$ 13,335,171	\$ 241,292	\$ 13,576,463
Payments to suppliers	(5,861,824)	(76,837)	(5,938,661)
Payments to employees	(1,372,762)	(202,589)	(1,575,351)
Net cash provided (used) by operating activities	<u>6,100,585</u>	<u>(38,134)</u>	<u>6,062,451</u>
Cash Flows From Noncapital Financing Activities			
Change in outstanding checks in excess of deposits		(968,584)	(968,584)
Cash paid to other funds	(322,858)	-	(322,858)
Net cash provided (used) by noncapital financing activities	<u>-</u>	<u>-</u>	<u>-</u>
	<u>(322,858)</u>	<u>(968,584)</u>	<u>(1,291,442)</u>
Cash Flows From Capital and Related Financing Activities			
Cash received for impact fees	538,810	-	538,810
Acquisition of capital assets	(3,284,029)	(10,275)	(3,294,304)
Sale of Capital assets	-	990,000	990,000
Principal paid on capital debt	(1,246,000)	-	(1,246,000)
Interest paid on capital debt	(1,749,140)	-	(1,749,140)
Net cash provided (used) by capital and related financing activities	<u>(5,740,359)</u>	<u>979,725</u>	<u>(4,760,634)</u>
Cash Flows From Investing Activities			
Interest and dividends received	46,270	979	47,249
Net cash provided (used) by investing activities	<u>46,270</u>	<u>979</u>	<u>47,249</u>
Net increase (decrease) in cash and cash equivalents	83,638	-	83,638
Cash and cash equivalents - beginning	9,451,748	-	9,451,748
Cash and cash equivalents - ending	<u>\$ 9,535,386</u>	<u>\$ -</u>	<u>\$ 9,535,386</u>

AMERICAN FORK CITY
Proprietary Funds
Combining Statement of Cash Flows *(Continued)*
For the Year Ended June 30, 2014

<i>(Continued)</i>	Business-Type Activities - Enterprise Funds		
	Sewer and Water	Broadband	Total BTAs
Reconciliation of operating income to net cash provided (used) by operating activities:			
Operating income (loss)	\$ 3,951,228	(95,669)	\$ 3,855,559
Adjustments to reconcile operating income to net cash provided (used) by operating activities:			
Depreciation expense	2,574,685	51,818	2,626,503
(Increase) decrease in accounts receivable	(71,070)	-	(71,070)
(Increase) decrease in due from other funds	-	23,912	23,912
Increase (decrease) in accounts payable	(366,844)	13,007	(353,837)
Increase (decrease) in accrued salaries and benefits	(51,507)	(8,070)	(59,577)
Increase (decrease) in due to other entities	(20,332)	-	(20,332)
Increase (decrease) in compensated absences	28,775	2,882	31,657
Increase (decrease) in deposits	55,650	-	55,650
	2,149,357	83,549	2,232,906
Net cash provided (used) by operating activities	\$ 6,100,585	\$ (12,120)	\$ 6,088,465
Noncash investing, capital, and financing activities			
Contributions from contractors for:			
Water and Sewer Improvements	\$ (24,296)	\$ -	\$ (24,296)
Total Contributions from Contractor	\$ (24,296)	\$ -	\$ (24,296)
Assets acquired through long-term debt	\$ -	\$ -	\$ -
Reconciliation of total cash and cash investments			
Cash and cash equivalents	\$ 9,214,747	\$ -	\$ 9,214,747
Restricted cash and cash equivalents	320,639	-	320,639
Total cash and cash investments	\$ 9,535,386	\$ -	\$ 9,535,386

**AMERICAN FORK CITY
Water and Sewer Fund**

Schedule of Revenues, Expenditures, and Changes Fund Balances, Budget to Actual
For the Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
Operating Revenues			
Water charges	\$ 4,688,242	\$ 5,367,408	\$ 679,166
Pledged as security on Revenue Bonds	-	769,360	769,360
Sewer charges	5,320,000	5,501,653	181,653
Other income	4,867,300	1,767,820	(3,099,480)
Total revenues	<u>14,875,542</u>	<u>13,406,241</u>	<u>(1,469,301)</u>
Operating Expenses			
Salaries, wages and employee benefits	1,438,500	1,350,030	88,470
Materials and supplies	399,900	466,403	(66,503)
Utilities and telephone	5,700	366,682	(360,982)
Professional and technical	443,500	325,854	117,646
Timpanogos Special Service District	2,600,000	2,350,824	249,176
Water assessment fees	628,500	574,769	53,731
Other	2,539,100	1,445,766	1,093,334
Depreciation	2,500,000	2,574,685	(74,685)
Total operating expenses	<u>10,555,200</u>	<u>9,455,013</u>	<u>1,100,187</u>
Operating income (Loss)	<u>4,320,342</u>	<u>3,951,228</u>	<u>(369,114)</u>
Non-operating income (expense)			
Interest income	13,300	46,270	32,970
Intergovernmental Grant	-	-	-
Bond interest expense	(2,116,900)	(1,930,452)	186,448
Bond principal payments	(1,246,000)	-	1,246,000
Total non-operating income (expense)	<u>(3,349,600)</u>	<u>(1,884,182)</u>	<u>1,465,418</u>
Income before contributions and transfers	<u>970,742</u>	<u>2,067,046</u>	<u>1,096,304</u>
Contributions and transfers			
Capital contributions	-	24,296	24,296
Impact fees	525,000	538,810	13,810
Transfers out	(91,600)	(322,858)	(231,258)
Total contributions and transfers	<u>433,400</u>	<u>240,248</u>	<u>(193,152)</u>
Change in net positions	<u>1,404,142</u>	<u>2,307,294</u>	<u>903,152</u>
Net positions - beginning	<u>54,135,136</u>	<u>54,135,136</u>	<u>-</u>
Net positions - ending	<u>\$ 55,539,278</u>	<u>\$ 56,442,430</u>	<u>\$ 903,152</u>

**AMERICAN FORK CITY
Broadband Fund**

Schedule of Revenues, Expenditures, and Changes Fund Balances, Budget to Actual
For the Year Ended June 30, 2014

	Budget	Actual	Variance Favorable (Unfavorable)
	<u>Budget</u>	<u>Actual</u>	<u>(Unfavorable)</u>
Operating Revenues			
Internet fees	\$ 106,600	\$ 217,380	\$ 110,780
Connection fees	-	-	-
Other income	880,000	-	(880,000)
Total revenues	<u>986,600</u>	<u>217,380</u>	<u>(769,220)</u>
 Operating Expenses			
Salaries, wages and employee benefits	202,400	197,401	4,999
Materials and supplies	5,900	7,086	(1,186)
Utilities	2,500	2,001	499
Other	26,700	28,051	(1,351)
Professional and technical	15,000	26,692	(11,692)
Depreciation	70,200	51,818	18,382
Total operating expenses	<u>322,700</u>	<u>313,049</u>	<u>9,651</u>
Operating income (loss)	<u>663,900</u>	<u>(95,669)</u>	<u>(759,569)</u>
 Non-operating income (expense)			
Interest income	-	979	979
Gain on sale of capital assets	-	831,983	831,983
Total non-operating income (expense)	<u>-</u>	<u>832,962</u>	<u>832,962</u>
Change in net position	663,900	737,293	73,393
 Net position - beginning	<u>(2,316,261)</u>	<u>(2,316,261)</u>	<u>-</u>
Net position - ending	<u>\$ (1,652,361)</u>	<u>\$ (1,578,968)</u>	<u>\$ 73,393</u>



Additional Auditors' Reports

These additional reports are required by *Governmental Auditing Standards* and the Utah State Auditor's Office, respectively.



GILBERT & STEWART
CERTIFIED PUBLIC ACCOUNTANTS
A PROFESSIONAL CORPORATION
ESTABLISHED 1974

RANDEL A HEATON, CPA
LYNN A. GILBERT, CPA
JAMES A. GILBERT, CPA
BEN H PROBST, CPA
RONALD J. STEWART, CPA

SIDNEY S. GILBERT, CPA
JAMES E. STEWART, CPA

**INDEPENDENT AUDITOR'S REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING
AND ON COMPLIANCE AND OTHER MATTERS BASED ON AN
AUDIT OF FINANCIAL STATEMENTS PERFORMED IN ACCORDANCE WITH
GOVERNMENT AUDITING STANDARDS**

Honorable Mayor and City Council
American Fork City
American Fork, Utah

We have audited, in accordance with the auditing standards generally accepted in the United States of American and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of the governmental activities, business-type activities, each major fund, and the aggregate remaining fund information of American Fork City, as of and for the year ended June 30, 2013, and the related notes to the financial statements, which collectively comprise the American Fork City's basic financial statements, and have issued our report thereon dated December 18, 2014.

Internal Control over Financial Reporting

In planning and performing our audit of the financial statements, we considered American Fork City's internal control over financial reporting (internal control) to determine the audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of American Fork City's internal control. Accordingly, we do not express an opinion on the effectiveness of American Fork City's internal control.

A deficiency in internal control exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. *A material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected on a timely basis. *A significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies and therefore, material weaknesses or significant deficiencies may exist that were not identified. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified.

Compliance and Other Matters

As part of obtaining reasonable assurance about whether American Fork City's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance

with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances on noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

Purpose of this Report

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion of the effectiveness of the entity's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the entity's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

Gilbert & Stewart

GILBERT & STEWART
Certified Public Accountants
December 18, 2014



GILBERT & STEWART
CERTIFIED PUBLIC ACCOUNTANTS
A PROFESSIONAL CORPORATION
ESTABLISHED 1974

RANDELA HEATON, CPA
LYNN A. GILBERT, CPA
JAMES A. GILBERT, CPA
BEN H. PROBST, CPA
RONALD J. STEWART, CPA

SIDNEY S. GILBERT, CPA
JAMES E. STEWART, CPA

**INDEPENDENT AUDITOR'S REPORT IN ACCORDANCE WITH THE
STATE COMPLIANCE AUDIT GUIDE ON:
COMPLIANCE WITH GENERAL STATE COMPLIANCE REQUIREMENTS
COMPLIANCE FOR EACH MAJOR STATE PROGRAM
INTERNAL CONTROL OVER COMPLIANCE AND
SCHEDULE OF EXPENDITURES OF STATE AWARDS**

Honorable Mayor and City Council
American Fork City
American Fork, Utah

***REPORT ON COMPLIANCE WITH GENERAL STATE COMPLIANCE REQUIREMENTS AND FOR
EACH MAJOR STATE PROGRAM***

We have audited American Fork City's compliance with applicable general state and major state program compliance requirements described in the *State Compliance Audit Guide*, issued by the Office of the Utah State Auditor, that could have a direct and material effect on American Fork City or each of its major state programs for the year ended June 30, 2014.

The general compliance requirements applicable to the City are identified as follows:

- Budgetary Compliance
- Fund Balance
- Utah Retirement System Compliance
- Transfers from Utility Enterprise Funds
- Cash Management
- Impact Fees
- Nepotism
- Utah Public Finance Website
- Open & Public Meetings Act

The City received state funding from the following programs classified as major programs for the year ended June 30, 2014:

- B&C Road funds

Management's Responsibility

Management is responsible for compliance with the general state requirements referred to above and the requirements of laws, regulations, contracts, and grants applicable to its state programs.

Auditor's Responsibility

Our responsibility is to express an opinion on American Fork City's compliance based on our audit of the compliance requirements referred to above. We conducted our audit of compliance in accordance with auditing standards generally accepted in the United States of America; the standards applicable to financial

audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States; and the *State Compliance Audit Guide*. Those standards and the *State Compliance Audit Guide* require that we plan and perform the audit to obtain reasonable assurance about whether noncompliance with the compliance requirements referred to above that could have a direct and material effect on the City or its major state programs occurred. An audit includes examining, on a test basis, evidence about the City's compliance with those requirements and performing such other procedures as we considered necessary in the circumstances.

We believe that our audit provides a reasonable basis for our opinion on compliance with general state compliance requirements and for each major state program. However, our audit does not provide a legal determination of the City's compliance.

Opinion on General State Compliance Requirements and Each Major State Program

In our opinion, American Fork City complied, in all material respects, with the compliance requirements identified above that could have a direct and material effect on the City or on its major state programs for the year ended June 30, 2014.

Other Matters

The results of our auditing procedures disclosed instances of noncompliance, which are required to be reported in accordance with the *State of Utah Legal Compliance Audit Guide* and which are described in a separate letter to management dated December 20, 2014. Our opinion on compliance is not modified with respect to these matters.

The City's response to the noncompliance findings identified in our audit is described in the accompanying letter to management. The City's response was not subjected to the auditing procedures applied in the audit of compliance and, accordingly, we express no opinion on the response.

REPORT OF INTERNAL CONTROL OVER COMPLIANCE

Management of the City is responsible for establishing and maintaining effective internal control over compliance with the compliance requirements referred to above. In planning and performing our audit of compliance, we considered the City's internal control over compliance with the compliance requirements that could have a direct and material effect on the City or on each major state program to determine the auditing procedures that are appropriate in the circumstances for the purpose of expressing an opinion on compliance with general state compliance requirements and for each major state program and to test and report on internal control over compliance in accordance with the *State Compliance Audit Guide*, but not for the purpose of expressing an opinion on the effectiveness of internal control over compliance. Accordingly, we do not express an opinion on the effectiveness of the City's internal control over compliance.

A deficiency in internal control over compliance exists when the design or operation of a control over compliance does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, noncompliance with a general state or major state program compliance requirement on a timely basis. *A material weakness in internal control over compliance* is a deficiency, or combination of deficiencies, in internal control over compliance, such that there is a reasonable possibility that material noncompliance with a general state or major state program compliance requirement will not be prevented, or detected and corrected, on a timely basis. *A significant deficiency in internal control over compliance* is a deficiency, or a combination of deficiencies, in internal control over compliance with a general state or major state program compliance requirement that is less severe than a material weakness in internal control over compliance, yet important enough to merit attention by those charged with governance.

Our consideration of internal control over compliance was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control over compliance that might be material weaknesses or significant deficiencies. We did not identify any deficiencies in internal control over compliance that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified.

The purpose of this report on internal control over compliance is solely to describe the scope of our testing of internal control and compliance and the results of that testing based on the requirements of the *State Compliance Audit Guide*. Accordingly, this report is not suitable for any other purpose.

REPORT ON SCHEDULE OF EXPENDITURES OF STATE AWARDS AS REQUIRED BY THE STATE COMPLIANCE AUDIT GUIDE

We have audited the financial statements of the governmental activities, *the business-type activities*, each major fund, and the aggregate remaining fund information of the City as of and for the year ended June 30, 2014, and the related notes to the financial statements, which collectively comprise the City's basic financial statements. We issued our report thereon dated December 20, 2014, which contained unmodified opinions on those financial statements. Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the basic financial statements. The accompanying schedule of expenditures of state awards is presented for purposes of additional analysis as required by the *State Compliance Audit Guide* and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the financial statements. The information has been subjected to the auditing procedures applied in the audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the schedule of expenditures of state awards is fairly stated in all material respects in relation to the financial statements as a whole.

Gilbert & Stewart
GILBERT & STEWART
Certified Public Accountants
December 18, 2014



Statistical Section

AMERICAN FORK CITY
Schedule of Expenditures of State Grants, Contracts and Loan Funds
For the Year Ended June 30, 2014

Grant Name	Award/Contract # (if applicable)	Expenditures
<u>State of Ut. Bureau of Emergency Med Services</u>		
Per Capita Grant		\$ 5,112
Utah Emergency Med Services Grant		5,261
Safety Items		1,000
Subtotal – State of UT Bureau of Emergency Med Services		\$ 11,373
<u>State of Utah Division of Natural Resources</u>		
Utah Fire Department Assistance Grant, Mainstreet Program		\$ 14,571
Subtotal – State of Utah Division of Natural Resources		\$ 14,571
<u>Utah State Library Division</u>		
Community Library Enhancement Fund	USL-13-0174	\$ 7,578
Subtotal – Utah State Library Division		\$ 7,578
DUI Enforcement		\$ 806
DUI Enforcement		994
DUI Enforcement		1,517
DUI Enforcement		415
Highway Safety Grant		481
Tobacco Compliance		645
Search and Rescue Grant		925
Subtotal –Department of Public Safety		\$ 5,783
<u>Utah County Restaurant Tax Grant</u>		
Utah County		\$ 15,612
Subtotal – Utah County		\$ 15,612
<u>VOCA</u>		
Victims of Crime Act	94-638-4336	\$ 36,869
Subtotal – VOCA		\$ 36,869
<u>Economic Development</u>		
Match Grant Cycle 33		\$ 1,000
Subtotal – Economic Development		\$ 1,000
TOTAL GRANT, CONTRACT, AND LOAN FUND EXPENDITURES		\$ 92,786

AMERICAN FORK CITY
General Property Tax Levies and Collections

Year End 12/31	Total Taxes Assessed	Current Collections	Delinquent Collections	Total Collected	Percentage of Current Collection To Total Taxes Assessed	Percentage of Total Collections to Total Taxes Assessed
2013	\$ 3,896,608	\$ 3,663,381	\$ 372,668	\$ 4,036,049	94.0%	100.0%
2012	3,851,323	3,557,369	288,341	3,845,710	90.8%	99.9%
2011	3,834,742	3,611,168	356,267	3,967,435	90.8%	100.0%
2010	3,744,381	3,398,338	203,333	3,601,671	90.8%	96.2%
2009	3,671,706	3,313,576	178,726	3,492,302	90.3%	95.1%
2008	3,576,173	3,286,524	183,639	3,470,163	91.9%	97.0%
2007	3,086,682	2,846,771	175,515	3,022,286	92.2%	97.9%
2006	2,937,118	2,744,307	178,422	2,922,729	93.4%	99.5%
2005	2,136,675	1,981,991	121,459	2,103,450	92.8%	98.4%
2004	2,044,935	1,899,077	123,663	2,022,740	92.9%	98.9%
2003	1,980,106	1,838,706	167,435	2,066,141	92.9%	100.0%
2002	1,875,014	1,645,261	168,903	1,814,164	87.7%	96.8%
2001	1,579,871	1,421,326	133,070	1,554,396	90.0%	98.4%
2000	1,532,992	1,386,417	118,486	1,504,903	90.4%	98.2%
1999	1,406,330	1,280,964	76,587	1,357,551	91.1%	96.5%
1998	1,314,776	1,216,895	53,855	1,270,750	92.6%	96.7%
1997	1,220,141	1,127,891	39,714	1,167,605	92.4%	95.7%
1996	1,114,771	1,064,158	41,840	1,105,998	95.5%	99.2%
1995	1,027,826	996,756	35,611	1,032,367	97.0%	100.0%
1994	1,003,865	952,345	31,294	983,639	94.9%	98.0%
1993	897,267	838,620	28,591	867,211	96.1%	96.7%
1992	847,042	806,533	29,688	836,221	95.2%	98.7%
1991	769,240	730,086	28,230	758,319	94.9%	98.6%
1990	729,987	683,291	41,832	725,123	93.6%	99.3%
1989	729,944	681,276	46,172	727,448	93.3%	99.7%
1988	728,819	650,374	37,328	687,702	89.2%	94.4%
1987	738,066	657,797	49,324	707,121	89.1%	95.8%
1986	711,782	633,373	42,597	675,970	89.0%	95.0%
1985	689,701	614,114	53,239	667,353	89.0%	96.8%
1984	586,759	524,010	32,159	556,169	89.3%	94.8%

Source: Utah County Treasurer's Office

Note: If total collections for year (including collections in subsequent years) are over 100% of levy,
" percentage of levy" has been rounded to 100%

AMERICAN FORK CITY
Net Assets by Component
Ten Fiscal Years
(Accrual basis of accounting)

	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>Fiscal Year</u> <u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
Governmental activities										
Invested in capital assets, net of related debt	\$ 38,296,273	\$ 44,714,801	\$ 49,121,818	\$ 56,355,612	\$ 54,937,813	\$ 56,223,597	\$ 57,444,244	\$ 63,582,936	\$ 68,037,854	\$ 71,127,403
Restricted	1,236,888	957,335	1,306,143	1,466,818	1,927,465	1,507,322	1,104,029	750,241	5,506,968	5,183,412
Unrestricted	3,581,857	2,750,596	7,753,316	5,082,933	9,823,894	11,037,290	11,397,457	10,709,268	8,920,178	9,904,569
Total government activities net assets	<u>43,115,018</u>	<u>48,422,732</u>	<u>58,181,277</u>	<u>62,905,363</u>	<u>66,689,172</u>	<u>68,768,209</u>	<u>69,945,730</u>	<u>75,042,445</u>	<u>82,465,000</u>	<u>86,215,384</u>
Business-type activities										
Invested in capital assets, net of related debt	27,144,412	28,236,523	29,045,387	29,413,419	30,371,865	24,982,222	41,068,585	41,371,052	45,269,062	47,049,142
Restricted	1,814,605	342,458	509,729	44,676,742	19,792,271	780,940	688,409	366,150	450,740	320,639
Unrestricted	11,903,414	16,402,993	18,985,297	(23,165,904)	118,029	24,844,906	9,026,278	8,888,759	6,099,071	7,493,681
Total business-type activities net assets	<u>40,862,431</u>	<u>44,981,974</u>	<u>48,540,413</u>	<u>50,924,257</u>	<u>50,282,165</u>	<u>50,608,068</u>	<u>50,783,272</u>	<u>50,625,961</u>	<u>51,818,873</u>	<u>54,863,462</u>
Primary government										
Invested in capital assets, net of related debt	65,440,685	72,951,324	78,167,205	85,769,031	85,309,678	81,205,819	98,512,829	104,953,988	113,306,916	118,176,545
Restricted	3,051,493	1,299,793	1,815,872	46,143,560	21,719,736	2,288,262	1,792,438	1,116,391	5,957,708	5,504,051
Unrestricted	15,485,271	19,153,589	26,738,613	(18,082,971)	9,941,923	35,882,196	20,423,735	19,598,027	15,019,249	17,398,250
Total primary government net assets	<u>\$ 83,977,449</u>	<u>\$ 93,404,706</u>	<u>\$ 106,721,690</u>	<u>\$ 113,829,620</u>	<u>\$ 116,971,337</u>	<u>\$ 119,376,277</u>	<u>\$ 120,729,002</u>	<u>\$ 125,668,406</u>	<u>\$ 134,283,873</u>	<u>\$ 141,078,846</u>

Note: The City began reporting accrual information when it implemented GASB Statement in fiscal year 2003

AMERICAN FORK CITY
Changes in Net Position
Ten Fiscal Years
(Accrual basis of accounting)

	Fiscal Year									
	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014
Expenses										
Governmental activities:										
General government	\$ 2,411,173	\$ 2,528,811	\$ 1,219,973	\$ 2,879,228	\$ 3,076,279	\$ 2,788,774	\$ 3,055,046	\$ 3,295,300	\$ 2,890,554	\$ 3,159,806
Public safety	3,858,693	3,870,707	4,854,730	5,006,464	5,458,011	5,086,498	5,557,713	5,941,973	6,253,368	6,595,672
Public improvements	2,543,259	837,327	2,173,921	2,387,601	3,141,512	3,644,624	4,498,409	2,675,512	2,942,688	3,815,687
Parks and recreation	2,242,693	2,561,160	2,732,048	3,634,641	2,933,637	3,773,652	3,779,536	3,844,036	3,658,139	4,595,149
Other	2,397,979	3,138,093	3,319,258	2,972,697	3,399,805	2,673,129	2,856,238	3,012,007	3,439,593	2,126,310
Interest on long-term debt	1,463,550	1,319,465	1,404,864	1,097,556	1,058,356	1,023,842	843,567	707,453	570,466	463,498
Total governmental activities expense	14,917,347	14,255,563	15,704,794	17,978,187	19,067,600	18,990,519	20,590,509	19,476,281	19,754,808	20,756,122
Business-type activities										
Water and sewer	3,816,664	4,206,632	4,157,446	5,345,574	6,750,678	8,493,299	10,771,893	10,409,632	11,136,987	11,385,465
Broadband	1,082,808	1,043,739	1,226,210	1,128,852	822,148	697,509	627,666	526,548	456,574	313,049
Total business-type activities expense	4,899,472	5,250,371	5,383,656	6,474,426	7,572,826	9,190,808	11,399,559	10,936,180	11,593,561	11,698,514
Total primary government expenses	19,816,819	19,505,934	21,088,450	45,231,202	26,640,426	28,181,327	31,990,068	30,412,461	31,348,369	32,454,636
Program Revenues										
Governmental activities:										
Fees, Fines and Charges for Services										
General government	1,245,570	1,619,267	1,561,041	1,518,367	2,120,754	2,113,141	2,359,828	2,391,351	2,930,625	2,826,086
Public safety	1,464,463	1,508,108	1,691,651	1,838,491	1,157,813	1,145,352	1,553,995	1,466,218	1,829,863	1,657,404
Public improvements	141,667	228,462	198,758	139,503	358,266	-	-	-	-	-
Parks and recreation	1,263,858	1,318,843	1,653,039	1,905,539	2,342,928	2,229,031	2,146,883	2,224,513	2,676,950	2,580,805
Other	331,403	263,349	266,686	271,956	1,121,370	1,388,158	1,418,492	1,444,883	1,341,281	1,353,946
Operating grants and contributions	852,465	784,526	926,961	930,616	825,598	867,489	1,025,270	1,016,569	956,816	903,488
Capital grants and contributions	1,556,363	1,375,695	4,489,786	1,532,680	790,347	1,119,793	720,047	2,603,074	3,792,164	726,306
Total governmental activities program revenues	6,855,789	7,098,250	10,787,922	8,137,152	8,717,076	8,862,964	9,224,515	11,146,608	13,527,699	10,048,035
Business-type activities:										
Charges for services:										
Water and Sewer	5,031,291	5,779,771	6,207,995	6,865,816	6,392,850	8,287,361	9,875,728	10,186,324	10,496,252	13,406,241
Broadband	376,604	805,661	438,431	558,783	193,840	195,572	258,309	187,345	233,974	217,380
Capital grants and contributions	1,352,630	3,860,878	3,309,045	2,111,484	47,170	325,838	1,500,194	465,969	1,536,480	563,106
Total business-type activities program revenues	6,760,525	10,446,310	9,955,471	9,536,083	6,633,500	8,808,771	11,634,231	10,839,638	12,266,706	14,186,727
Total primary governmental program revenues	\$ 13,616,314	\$ 17,544,560	\$ 20,743,393	\$ 17,673,235	\$ 15,350,576	\$ 17,671,735	\$ 20,858,746	\$ 21,986,246	\$ 25,794,405	\$ 24,234,762

AMERICAN FORK CITY
Changes in Net Position (Continued)
Ten Fiscal Years
(Accrual basis of accounting)

	Fiscal Year									
	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014
Net (Expense) Revenue										
Governmental activities	\$ (8,061,558)	\$ (7,157,314)	\$ (4,916,872)	\$ (9,841,036)	\$ (10,350,524)	\$ (10,127,555)	\$ (11,365,994)	\$ (8,329,674)	\$ (6,227,109)	\$ (10,701,622)
Business-type activities	1,861,053	5,195,939	4,571,816	3,061,657	(939,326)	(382,037)	234,672	(96,542)	673,145	2,488,213
Total primary government net expense	(6,200,505)	(1,961,375)	(345,056)	(6,779,379)	(11,289,850)	(10,509,592)	(11,131,322)	(8,426,216)	(5,553,964)	(8,213,409)
General Revenues and Other Changes in Net Assets										
Governmental activities:										
Taxes										
Advalorem	3,136,952	3,252,007	4,234,198	4,247,794	5,164,096	5,269,656	5,290,281	5,673,259	5,497,187	5,606,622
Sales	4,225,068	4,810,204	5,755,237	6,041,850	5,406,026	4,935,413	5,095,374	5,534,281	5,910,616	6,235,351
Energy sales and use tax	1,060,076	1,257,056	1,153,990	1,314,569	1,354,933	1,421,454	1,390,990	1,443,249	1,564,161	1,660,027
Franchise	416,704	518,352	590,746	587,619	617,639	615,502	539,928	552,085	528,945	515,903
Interest income	240,687	611,079	706,141	648,178	335,917	106,389	89,923	111,844	93,645	34,178
Gain (loss) on sale/retirement of capital assets	9,875	(152)	83,058	12,000	(17,597)	77,678	38,919	(9,430)	-	83,532
Miscellaneous	376,020	826,216	991,045	552,111	-	-	-	-	-	-
Transfers	(2,649,787)	1,190,267	1,161,000	1,161,000	(308,200)	(219,400)	98,000	121,100	124,900	322,858
Total governmental activities	6,815,595	12,465,029	14,675,415	14,565,121	12,552,814	12,206,692	12,543,415	13,426,388	13,719,454	14,458,471
Business-type activities:										
Interest income	-	113,871	147,622	483,187	109,035	120,607	38,530	60,331	62,392	47,249
Gain (loss) on disposal of capital assets	117,280	-	-	-	-	367,933	-	-	582,274	831,983
Transfers	2,649,787	(1,190,267)	(1,161,000)	(1,161,000)	308,200	219,400	(98,000)	(121,100)	(124,900)	(322,858)
Total business-type activities	2,767,067	(1,076,396)	(1,013,378)	(677,813)	417,235	707,940	(59,470)	(60,769)	519,766	556,374
Total primary government	9,582,662	11,388,633	13,662,037	13,887,308	12,970,049	12,914,632	12,483,945	13,365,619	14,239,220	15,014,845
Change in Net Assets										
Governmental activities	(1,245,963)	5,307,715	9,758,543	4,724,085	2,202,290	2,079,137	1,177,421	5,096,714	7,492,345	3,756,849
Business-type activities	4,628,120	4,119,543	3,558,438	2,383,844	(522,091)	325,903	175,202	(157,311)	1,192,911	3,044,587
Total primary government	\$ 3,382,157	\$ 9,427,258	\$ 13,316,981	\$ 7,107,929	\$ 1,680,199	\$ 2,405,040	\$ 1,352,623	\$ 4,939,403	\$ 8,685,256	\$ 6,801,436

AMERICAN FORK CITY
Fund Balances, Governmental Funds
Ten Fiscal Years
(Modified accrual basis of accounting)

	Fiscal Year									
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
General Fund										
Restricted	\$ -	\$ -	\$ -	\$ -	\$ 169,420	\$ -	\$ -	\$ -	\$ -	\$ -
Unassigned	1,574,127	2,220,613	2,350,589	2,474,680	3,653,921	3,887,377	3,140,856	3,101,400	5,080,031	5,085,473
Total general fund	<u>\$ 1,574,127</u>	<u>\$ 2,220,613</u>	<u>\$ 2,350,589</u>	<u>\$ 2,474,680</u>	<u>\$ 3,823,341</u>	<u>\$ 3,887,377</u>	<u>\$ 3,140,856</u>	<u>\$ 3,101,400</u>	<u>\$ 5,080,031</u>	<u>\$ 5,085,473</u>
All Other Governmental Funds										
Restricted	\$ 7,356,098	\$ 4,111,206	\$ 4,597,509	\$ 5,453,366	\$ 5,065,281	\$ 5,501,891	\$ 3,598,813	\$ 4,246,766	\$ -	\$ 5,183,412
Assigned	-	-	-	-	-	-	-	-	-	-
Special Revenue Funds	-	-	-	-	-	-	117,122	209,416	192,162	312,560
Capital Projects Funds	-	-	-	-	-	-	5,227,300	3,305,204	5,537,119	3,560,872
Debt Service Funds	-	-	-	-	-	-	700,281	770,000	793,825	870,964
Non-Major Funds	-	-	-	-	-	-	114,466	89,373	2,886,525	624
Unassigned reported in:										
Special Revenue Funds	1,508,890	1,759,503	1,831,379	1,917,834	2,268,119	2,269,405	-	-	-	-
Capital Projects Funds	-	-	-	-	-	-	-	-	-	-
Debt Service Funds	586,154	660,744	658,504	690,420	669,170	670,268	-	-	-	-
Non-Major Funds	425,695	446,662	463,019	483,410	504,145	517,479	-	-	-	6,421
Total all other governmental funds	<u>\$ 9,876,837</u>	<u>\$ 6,978,115</u>	<u>\$ 7,550,411</u>	<u>\$ 8,545,030</u>	<u>\$ 8,506,715</u>	<u>\$ 8,959,043</u>	<u>\$ 9,757,982</u>	<u>\$ 8,620,759</u>	<u>\$ 9,409,631</u>	<u>\$ 9,934,853</u>

AMERICAN FORK CITY
Changes in Fund Balance, Governmental Funds
Ten Fiscal Years
(Modified accrual basis of accounting)

	Fiscal Year									
	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014
Revenues										
Taxes	\$ 8,838,800	\$ 9,837,618	\$ 11,734,171	\$ 12,191,832	\$ 12,347,622	\$ 12,103,638	\$ 12,462,621	\$ 13,149,836	\$ 13,532,623	\$ 14,089,752
Licenses, fees, and permits	432,302	670,562	556,086	462,946	241,239	246,687	395,073	426,757	725,491	514,042
Intergovernmental	861,015	789,076	927,211	940,116	811,147	867,489	1,025,270	2,701,902	2,793,857	903,488
Charges for services	1,086,322	1,478,382	1,577,596	1,771,468	2,782,303	2,878,105	3,349,109	3,336,093	3,862,975	3,585,168
Other fees and services	1,675,957	1,462,198	1,762,935	1,912,291	2,651,013	2,651,729	2,534,847	2,563,588	3,533,816	3,581,875
Fines and forfeitures	790,189	716,101	850,084	891,844	882,910	935,238	940,839	844,292	337,822	296,228
Interest income	240,687	611,079	706,141	648,178	335,917	285,892	89,923	111,844	93,645	83,533
Miscellaneous	851,816	1,450,711	1,698,327	1,189,918	569,260	807,076	1,054,168	1,274,031	2,250,978	1,177,311
Total Revenues	\$ 14,777,088	\$ 17,015,727	\$ 19,812,551	\$ 20,008,593	\$ 20,621,411	\$ 20,775,854	\$ 21,851,850	\$ 24,408,343	\$ 27,131,207	\$ 24,231,397
Expenditures										
General government	2,171,525	2,196,983	2,401,722	2,761,585	2,680,292	2,548,763	2,783,295	3,077,211	2,804,075	3,193,087
Public safety	3,440,339	3,442,318	3,913,139	4,209,233	4,643,140	4,752,452	5,309,135	5,807,469	6,096,035	6,234,622
Public improvements	1,546,782	1,661,359	2,153,445	2,113,378	2,290,561	2,914,270	3,263,774	2,389,844	3,059,266	3,186,887
Parks and Recreation	2,135,682	2,286,158	2,683,034	3,257,309	3,434,719	3,295,999	3,308,963	3,494,917	4,341,405	4,211,446
Other	1,899,098	1,968,734	2,156,931	2,604,969	2,510,765	2,509,787	2,733,750	2,846,528	2,052,477	2,023,758
Debt service										
Principal	5,443,708	2,401,000	2,324,000	2,407,572	2,118,000	2,143,000	2,222,000	5,896,613	2,264,709	2,123,297
Interest	1,481,042	1,309,229	1,223,904	1,124,990	1,026,699	1,099,881	858,174	809,761	582,523	468,297
Other									30,322	41,103
Capital outlay	4,136,223	6,038,139	3,411,560	1,508,761	1,850,207	805,940	1,851,798	3,810,830	4,351,615	2,787,682
Total expenditures	\$ 22,254,399	\$ 21,303,920	\$ 20,267,735	\$ 19,987,797	\$ 20,554,383	\$ 20,070,092	\$ 22,330,889	\$ 28,133,173	\$ 25,582,427	\$ 24,270,179
Excess of revenues over (under) expenditures	\$ (7,477,311)	\$ (4,288,193)	\$ (455,184)	\$ 20,796	\$ 67,028	\$ 705,762	\$ (479,039)	\$ (3,724,830)	\$ 1,548,780	\$ (38,782)

AMERICAN FORK CITY
Changes in Fund Balance, Governmental Funds (Continued)
Ten Fiscal Years
(Modified accrual basis of accounting)

	Fiscal Year									
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
Other Financing Sources (Uses)										
Proceeds from debt	\$ 11,609,024	\$ 903,095	\$ 63,478	\$ -	\$ -	\$ -	\$ 433,460	\$ 777,051	\$ 1,092,000	\$ 199,684
Proceeds of refunding bonds	11,435,723.00	-	-	-	-	-	6,302,017	1,650,000	1,517,000	3,393,000
Payment to bond refunding escrow	(11,435,723)	-	-	-	-	-	(6,204,017)	-	(1,515,178)	(3,346,100)
Transfers in	3,404,501	3,931,323	8,496,146	7,650,997	5,691,260	5,878,699	-	6,865,814	3,835,875	61,561,192
Transfers out	(2,348,376)	(2,798,462)	(7,402,168)	(6,553,083)	(5,999,460)	(6,098,099)	-	(6,744,714)	(3,710,975)	(5,833,336)
Total other financing sources (uses)	12,665,149	2,035,956	1,157,456	1,097,914	(308,200)	(219,400)	531,460	2,548,151	1,218,722	55,974,440
Net change in fund balances	<u>\$ 5,187,838</u>	<u>\$ (2,252,237)</u>	<u>\$ 702,272</u>	<u>\$ 1,118,710</u>	<u>\$ (241,172)</u>	<u>\$ 486,362</u>	<u>\$ 52,421</u>	<u>\$ (1,176,679)</u>	<u>\$ 2,767,502</u>	<u>\$ 55,935,658</u>
Debt service as a percentage of noncapital expenditures	38.2%	24.3%	21.0%	19.1%	16.8%	16.8%	15.0%	27.6%	13.4%	12.1%

AMERICAN FORK CITY
Assessed Value of Taxable Property
Ten Fiscal Years

Fiscal Year	Residential Property	Commerical and Industrial Property	Agricultural Property	Total Taxable Assessed Value	Total Direct Tax Rate	Estimated Actual Taxable Value	Taxable Assessed Value as a Percentage of Actual Taxable Value
2005	\$ 552,268,103	\$ 394,861,439	\$ 16,127,181	\$ 963,256,723	0.00230	\$ 714,736,077	0.742
2006	574,692,439	423,463,368	14,613,139	1,012,768,946	0.00276	754,157,348	0.745
2007	701,447,907	443,687,345	14,712,287	1,159,847,539	0.00273	844,195,981	0.728
2008	928,832,268	527,547,481	13,605,654	1,469,985,403	0.00221	1,052,010,882	0.716
2009	932,537,823	639,468,432	14,358,487	1,586,364,742	0.00243	1,166,722,722	0.735
2010	835,300,357	812,736,169	5,040,067	1,653,076,593	0.00242	1,277,191,432	0.773
2011	800,214,557	755,695,968	2,849,791	1,558,760,316	0.00263	1,198,663,765	0.769
2012	777,929,770	712,426,278	3,486,865	1,493,842,913	0.00279	1,143,774,517	0.766
2013	740,688,571	668,162,214	80,519,369	1,489,370,154	0.00281	1,156,060,297	0.776
2014	769,590,106	682,494,650	77,760,174	1,529,844,930	0.00275	1,183,529,382	0.774

Source: Utah State Tax Commission - Property Tax Division, Utah County Assessor's Office

AMERICAN FORK CITY
Overlapping Property Tax Rates
Ten Fiscal Years
(Rate per \$1,000 of assessed value)

Fiscal Year	City Direct Rates		Overlapping Rates					
	City Rates	Total Direct Rate	Utah County	Central Ut. Water Con. District	Alpine School District	State Assessing and Collecting	County Assessing and Collecting	North Utah Co. Water Conserv. District
2004	2.298	2.298	1.065	0.353	8.119	0.180	0.180	0.035
2005	2.276	2.276	1.040	0.000	8.082	0.173	0.178	0.033
2006	2.731	2.731	1.079	0.357	6.883	0.139	0.044	0.028
2007	2.213	2.213	0.843	0.302	6.937	0.121	0.036	0.022
2008	2.426	2.426	0.809	0.286	7.057	0.121	0.175	0.022
2009	2.423	2.423	0.878	0.400	7.541	0.142	0.183	0.024
2010	2.630	2.630	1.108	0.421	8.220	0.162	0.024	0.026
2011	2.794	2.794	1.143	0.436	8.812	0.172	0.114	0.027
2012	2.812	2.812	1.127	0.455	8.828	0.168	0.029	0.029
2013	2.750	2.750	1.259	0.446	8.699	0.158	0.095	0.028
2014	2.540	2.540	0.220	0.422	8.096	0.013	0.916	0.025

Source: Utah County

AMERICAN FORK CITY
Principal Property Tax Payers
Current Year and Ten Years Ago

Taxpayer	2013			2003		
	Taxable Assessed Value	Rank	Percentage of Total City Taxable Assessed Value	Taxable Assessed Value	Rank	Percentage of Total City Taxable Assessed Value
Wal-Mart Real Estate Business Trust	\$ 16,327,500	1	0.43%			
Pacificorp	15,177,115	2	0.40%			
American Fork Medical Investment AFCC II	10,474,900	3	0.27%			
C&R North Pointe Building "D" LLC	10,285,300	4	0.27%			
AFCC Limited	9,542,900	5	0.25%			
Questar Gas	9,275,900	6	0.24%			
Target Corporation	8,360,998	7	0.22%			
HD Development of Maryland	8,021,100	8	0.21%			
Tropical Development LLC	8,012,000	9	0.21%			
Tropical Development LLC	7,844,000	10	0.20%			
Qwest Corp FKA U S West Comm				\$ 16,415,819	1	2.05%
Twin Laboratories Inc				8,411,647	2	1.05%
Pacificorp				8,105,350	3	1.01%
AFCC Limited				5,758,632	4	0.72%
Northwood Properties LC				5,688,665	5	0.71%
Wal Mart Realty Company				5,209,138	6	0.65%
Tropical Development LLC				5,200,000	7	0.65%
DJ Smith Investments				4,468,146	8	0.56%
K & GHayashi				4,281,873	9	0.53%
Smith Management Co				4,136,869	10	0.52%
Total	\$ 103,321,713		2.69%	\$ 67,676,139		8.45%

Source: Utah County Assessors Office

AMERICAN FORK CITY
Property Taxes Levied and Collections
Ten Fiscal Years

Fiscal Year Ended June 30,	Tax Levied for the Fiscal Year	Collected within the Fiscal Year of the Levy		Collections in Subsequent Years	Total Collections to Date	
		Amount	Percentage of Levy		Amount	Percentage of Levy
2005	\$2,044,935	\$1,899,077	92.87%	\$116,119	\$2,015,196	98.55%
2006	2,136,675	1,981,991	92.76%	115,718	2,097,709	98.18%
2007	2,937,118	2,744,307	93.44%	178,422	2,922,729	99.51%
2008	3,057,731	2,846,771	93.10%	175,515	3,022,286	98.84%
2009	3,590,073	3,286,524	91.54%	183,639	3,470,163	96.66%
2010	3,671,498	3,313,576	90.25%	178,726	3,492,302	95.12%
2011	3,757,932	3,398,338	90.43%	203,333	3,601,671	95.84%
2012	3,846,022	3,611,168	93.89%	356,267	3,967,435	100.00%
2013	3,851,323	3,557,369	92.37%	288,341	3,845,710	99.85%
2014	3,896,614	3,663,388	94.01%	360,390	4,023,778	100.00%

Source: Utah County Treasurer's Office

Note: If total collections for year (including collections in subsequent years) are over 100% of levy, "percentage of levy" has been rounded to 100%

AMERICAN FORK CITY
Taxable Sales by Category
Ten Fiscal Years

	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
Retail/Grocery	\$228,284	\$207,241	\$208,602	\$288,505	\$273,233	\$175,917	\$169,921	\$192,332	\$339,464	\$233,266
Retail/Other	1,366,280	1,564,204	1,762,691	2,068,539	2,020,660	1,573,762	1,611,769	1,715,005	1,839,847	1,907,845
Utility/Communication	273,045	285,333	314,499	368,927	495,380	392,457	393,650	262,981	433,668	482,345
Auto dealers, recreational retail & supplies	1,382,605	1,552,186	1,882,886	1,760,534	1,326,918	1,223,586	1,416,855	1,639,664	1,863,039	2,086,079
Auto repair and maintenance	42,331	70,599	56,246	67,439	65,560	56,595	56,982	86,397	97,746	92,595
Clothing retail	143,299	248,421	328,086	374,753	364,189	544,528	380,169	404,451	408,030	458,329
Eating & drinking establishments	311,857	431,051	509,587	550,787	575,565	595,826	623,452	692,444	702,486	766,549
Home furnishings and appliances	8,041	13,506	21,127	13,598	13,998	9,631	10,729	58,028	19,742	30,204
Health services and supplies	21,974	22,266	25,227	26,673	109,131	30,261	46,748	46,689	58,983	78,292
Service stations & car washes	79,010	81,379	97,482	93,598	74,787	69,936	79,408	210,933	166,773	139,848
Hair care & dry cleaning	15,860	21,948	24,543	30,945	30,145	34,474	24,128	25,503	37,133	38,024
Photography, floral art, cultural and hobby	59,424	69,366	77,471	103,865	44,423	81,777	74,093	117,962	151,142	148,684
Fitness and entertainment	69,185	31,751	173,111	203,193	134,557	190,522	155,612	203,236	203,407	227,060
Construction and home improvement	418,919	468,192	676,348	582,134	521,052	429,347	408,920	391,072	647,420	671,902
All other outlets	173,948	230,448	282,590	362,866	395,570	495,018	692,875	726,939	463,799	472,475
Utah State Tax- Motor Vehicle	61,286	58,127	77,566	64,000	65,945	60,156	50,631	62,204	63,060	65,528
Totals	\$4,655,348	\$5,356,018	\$6,518,062	\$6,960,356	\$6,511,113	\$5,963,793	\$6,195,942	\$6,835,840	\$7,495,739	\$7,899,025
City direct sales tax rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%

Source: Utah State Tax Commission

Notes: Sales tax generated in American Fork City

All sales tax amounts reported here are shown on a cash-basis.

Sales tax shown here is reported on a POS (point of sale) basis; actual cash distributions will differ due to the distribution formula utilized by the State.

AMERICAN FORK CITY
Direct and Overlapping Sales Tax Rates
Ten Fiscal Years

<u>Fiscal Year</u>	<u>American Fork City Direct Rate</u>	<u>Utah County</u>	<u>State of Utah</u>	<u>Mass Transit Tax</u>
2005	1.00%	0.25%	4.75%	0.25%
2006	1.00%	0.25%	4.75%	0.25%
2007	1.00%	0.25%	4.75%	0.50%
2008	1.00%	0.25%	4.65%	0.55%
2009	1.00%	0.25%	4.70%	0.80%
2010	1.00%	0.25%	4.70%	0.80%
2011	1.00%	0.25%	4.70%	0.80%
2012	1.00%	0.25%	4.70%	0.80%
2013	1.00%	0.25%	4.70%	0.80%
2014	1.00%	0.25%	4.70%	0.80%

Sources: Utah State Tax Commission <http://www.tax.utah.gov/sales/rates.html>

AMERICAN FORK CITY
Sales Tax Payers by Industry
Fiscal Years 2004 and 2014

	Fiscal Year 2004				Fiscal Year 2014			
	Number of Filers	Percentage of Total	Tax Revenue	Percentage of Total	Number of Filers	Percentage of Total	Tax Revenue	Percentage of Total
Retail/Grocery	8	1.16%	\$265,998	6.96%	61	1.82%	\$233,266	2.95%
Retail/Other	66	9.55%	960,158	25.13%	244	7.28%	1,907,845	24.15%
Utility/Communication	62	8.97%	142,299	3.72%	147	4.39%	482,345	6.11%
Auto dealers, recreational retail & supplies	48	6.95%	1,393,976	36.49%	98	2.92%	2,086,079	26.41%
Auto repair and maintenance	27	3.91%	41,864	1.10%	42	1.25%	92,595	1.17%
Clothing retail	10	1.45%	17,685	0.46%	160	4.77%	458,329	5.80%
Eating & drinking establishments	54	7.81%	223,199	5.84%	106	3.16%	766,549	9.70%
Home furnishings and appliances	11	1.59%	5,927	0.16%	46	1.37%	30,204	0.38%
Medical	38	5.50%	35,344	0.93%	270	8.06%	78,292	0.99%
Service stations & car washes	17	2.46%	64,045	1.68%	21	0.63%	139,848	1.77%
Hair care & dry cleaning	30	4.34%	12,285	0.32%	90	2.69%	38,024	0.48%
Photo, floral art, cultural and hobby	48	6.95%	61,059	1.60%	90	2.69%	148,684	1.88%
Fitness and entertainment	57	8.25%	84,106	2.20%	129	3.85%	227,060	2.87%
All other outlets	197	28.51%	158,573	4.15%	1759	52.49%	472,475	5.98%
Construction, home improvement	17	2.46%	297,581	7.79%	87	2.60%	671,902	8.51%
Utah State Tax - Motor Vehicle	1	0.14%	56,513	1.48%	1	0.03%	65,528	0.83%
Total	691	100.00%	\$3,820,612	100.00%	3351	100.00%	\$7,899,025	100.00%

Source: Utah State Tax Commission

Note: Due to confidentiality issues, the names of the ten largest revenue payers are not available. The categories presented are intended to provide alternative information regarding the sources of American Fork City's revenue.

All sales tax amounts reported here are shown on a cash-basis, POS (point of sale).
Actual cash distributions will differ due to the distribution formula utilized by the State.

AMERICAN FORK CITY
Charges for Water Fees
Ten Fiscal Years

	Fiscal Year									
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
Water Sales	\$ 2,049,924	\$ 1,905,391	\$ 2,260,759	\$ 2,372,378	\$ 2,550,846	\$ 2,974,057	\$ 2,504,513	\$ 3,253,086	\$ 4,445,394	\$ 3,758,305
Secondary Water	-	-	-	46,689	188,141	958,048	1,505,077	-	1,673,190	2,147,205
Other	100,479	75,359	142,276	390,295	57,385	120,567	97,845	1,618,384	610,819	1,344,831
Totals	\$ 2,150,403	\$ 1,980,750	\$ 2,403,035	\$ 2,809,364	\$ 2,796,372	\$ 4,052,672	\$ 4,107,435	\$ 4,871,470	\$ 6,729,403	\$ 7,250,341

Source: American Fork City

Note: Other includes: Other fees, Hook-up fees, Late fees

AMERICAN FORK CITY
Charges for Sewer and Storm Drain
Ten Fiscal Years

	Fiscal Year									
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
Sewer Sales	\$ 1,965,361	\$ 2,253,234	\$ 2,324,741	\$ 2,391,085	\$ 2,426,065	\$ 2,846,165	\$ 4,319,004	\$ 4,374,784	\$ 4,468,923	\$ 4,524,695
Storm Drain Fees	276,819	340,612	422,614	481,005	546,283	546,647	725,766	832,290	868,732	976,958
Other	60,114	159,821	143,862	129,587	51,278	76,234	78,172	74,563	102,384	139,968
Totals	\$ 2,302,294	\$ 2,753,667	\$ 2,891,217	\$ 3,001,679	\$ 3,023,626	\$ 3,469,046	\$ 5,122,942	\$ 5,281,637	\$ 5,440,039	\$ 5,641,621

Source: American Fork City

Note: Other includes: Other fees, Hook-up fees

AMERICAN FORK CITY
Ratios of Outstanding Debt by Type
Ten Years
(Dollars in thousands)

Fiscal Year	Governmental Activities				Business-type Activities			Total Primary Gov. Debt
	General Obligation Bonds	Revenue Bonds	Special Assessment Bonds	Leases	General Obligation Bonds	Special Assessment Bonds	Leases	
2005	\$ 20,010	\$ 6,037	\$ 5,478	\$ 33	\$ 464	\$ -	\$ 6	\$ 37,393
2006	18,685	5,510	4,929	779	254	-	4	35,211
2007	17,315	5,105	4,380	623	209	-	3	32,360
2008	15,935	4,680	3,831	403	45	-	1	25,245
2009	14,790	4,255	3,283	250	47,069	-	-	73,682
2010	13,595	3,855	2,735	90	47,024	-	-	70,969
2011	12,355	3,420	2,188	330	46,460	-	-	68,038
2012	11,090	2,980	-	807	45,355	-	-	63,117
2013	9,757	3,612	-	209	44,185	-	-	58,563
2014	8,398	3,110	-	326	42,970	-	-	55,573

Notes: Details regarding the city's outstanding debt can be found in the notes to the financial statements.

AMERICAN FORK CITY
Ratios of Outstanding Debt as a Percentage of Personal Income and Property Value
Ten Years
(Dollars in thousands)

	2014	2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003
Ratio of total debt outstanding as a percentage of personal income:												
Total Debt	\$55,573	\$58,563	\$63,117	\$68,038	\$70,969	\$73,682	\$25,245	\$32,360	\$35,211	\$37,393	\$32,326	\$33,049
Personal Income (based on Previous Year's Average Federal AGI)	\$540,082	\$540,082	\$522,828	\$506,221	\$471,354	\$461,848	\$481,848	\$502,510	\$477,883	\$408,580	\$365,730	\$344,449
Ratio of total debt outstanding as a percentage of personal income:	10.29%	10.84%	12.07%	13.44%	15.06%	15.95%	5.24%	6.44%	7.37%	9.15%	8.84%	9.59%
Ratio of general bonded debt to estimated actual value of property:												
General bonded debt to be repaid from property taxes	\$51,368	\$53,942	\$56,445	\$58,815	\$60,619	\$61,859	\$15,980	\$17,524	\$18,939	\$20,474	\$21,564	\$22,759
Taxable assessed value	\$1,529,845	\$1,489,370	\$1,493,843	\$1,558,760	\$1,653,077	\$1,586,365	\$1,469,985	\$1,159,847	\$1,012,769	\$963,257	\$14,726,155	\$1,470,132
Ratio of general bonded debt to assessed value of property	3.36%	3.62%	3.78%	3.77%	3.67%	3.90%	1.09%	1.51%	1.87%	2.13%	0.15%	1.55%
Population (Per Census)	27,813	27,147	26,814	26,401	26,263	27,019	26,590	24,546	25,131	24,810	24,404	23,674
Total Debt per Capita (in thousands)	\$2.00	\$2.16	\$2.35	\$2.58	\$2.70	\$2.73	\$0.95	\$1.32	\$1.40	\$1.51	\$1.32	\$1.40

Notes: Details regarding the city's outstanding debt can be found in the notes to the financial statements.
 Personal income - www.tax.utah.gov/esu/income
 Value of property: Utah State Tax Commission - Property Tax Division, Utah County Assessor's Office
 Population Data: <http://www.tax.utah.gov/econstats>,
<http://www.census.gov/popest/data/cities/totals>

AMERICAN FORK CITY
Direct and Overlapping Governmental Activities Debt
As of June 30, 2014

<u>Government Unit</u>	<u>Debt Outstanding</u>	<u>Estimated Percentage Applicable</u>	<u>Estimated Share of Direct and Overlapping Debt</u>
Debt repaid with property taxes			
CUWCD ^{3,4}	\$ 277,522,075	1.35%	\$ 3,746,548
Alpine School District	412,085,000	9.42%	38,818,407
Subtotal, overlapping debt			42,564,955
City direct debt (6)			12,776,114
Total direct and overlapping debt			<u>\$ 55,341,069</u>

- Note:
- (1) Overlapping governments are those that coincide, at least in part, with the geographic boundaries of American Fork City. This schedule estimates the portion of the outstanding debt of those overlapping governments that is borne by the residents and businesses. This process recognizes that, when considering the City's ability to issue and repay long-term debt, the entire debt burden borne by the residents and business should be taken into account. However, this does not imply that every taxpayer is a resident-and therefore responsible for repaying the debt-of each overlapping government.
 - (2) Central Utah Water Conservancy District's (CUWCD) outstanding general obligation bonds are limited ad valorem tax bonds. By law CUWCD may levy a tax rate of up to .000400 to pay for operation and maintenance expenses and any outstanding ad valorem tax bonds.
 - (3) CUWCD is located in multiple counties. Overlapping debt is based solely on the portion of value within City boundaries.
 - (4) All portions of this American Fork City's outstanding general obligation debt related to secondary irrigation bonds are supported by user fee revenues from water or sewer.
 - (5) The State's general obligation debt is not included in overlapping debt because the State currently levies no property tax for payment of general obligation bonds.
 - (6) Direct debt includes: general obligation bonds payable, revenue bonds and special assessment bonds payables.
 - (7) Source; Utah State Tax Commission TC-233b reports. Taxable value used in this table excludes the taxable value used to determine uniform fees on tangible personal property.

AMERICAN FORK CITY
Legal Debt Margin Information
Ten Fiscal Years
(Dollars in thousands)

Legal Debt Margin Calculation
Fiscal Year Ending June 2014
(dollars in thousands)

Assessed value	\$ 2,177,429
Debt limit (12% of assessed value)	261,291
Debt applicable to limit:	
General obligation bonds	<u>51,368</u>
Total net debt applicable to limit	<u>\$ 51,368</u>
Legal debt margin	<u><u>\$ 209,923</u></u>

	Fiscal Year									
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
Debt limit	\$ 118,253	\$ 135,831	\$ 172,956	\$ 186,565	\$ 194,373	\$ 182,945	\$ 176,182	\$ 179,261	\$ 253,652	\$ 261,291
Total net debt applicable to limit	<u>26,357</u>	<u>23,222</u>	<u>22,175</u>	<u>68,029</u>	<u>66,889</u>	<u>65,698</u>	<u>59,062</u>	<u>68,782</u>	<u>54,356</u>	<u>51,368</u>
Legal debt margin	<u>\$ 91,896</u>	<u>\$ 112,609</u>	<u>\$ 150,781</u>	<u>\$ 118,536</u>	<u>\$ 127,484</u>	<u>\$ 117,247</u>	<u>\$ 117,120</u>	<u>\$ 110,479</u>	<u>\$ 199,296</u>	<u>\$ 209,923</u>
Total net debt applicable to the limit as a percentage of debt limit	22.29%	17.10%	12.82%	36.46%	34.41%	35.91%	33.52%	38.37%	21.43%	19.66%

Source: Utah State Property Tax Division

Notes: Under state finance law, the city's outstanding general obligation debt should not exceed 12% of total assessed property value. Of this percent, a maximum of 4% may be used for general purpose. The remaining 8% and any unused portion of the 4% available for general purpose up to a maximum of 12% may be used for water, sewer, and electrical projects.

AMERICAN FORK CITY
Pledged Revenue Coverage
Ten Fiscal Years
(Dollars in thousands)

Fiscal Year	Water Bonds			Debt Service			Special Assessment Bonds				Sales Tax Increment Bonds			
	Utility Service Charge	Less: Operating Expenses	Net Available Revenue	Principal	Interest	Coverage	Alpine/ Meadows Special Assessment Bonds	Principal	Interest	Coverage	Sales & Use Tax	Principal	Interest	Coverage
2003	\$ 4,766	\$ 4,130	\$ 636	\$ 185	\$ 25	3.03	\$ -	\$ -	\$ -	-	\$ 3,354	\$ -	\$ -	0.00
2004	4,342	4,489	(147)	190	18	(0.71)	-	-	-	-	3,660	325	251	6.35
2005	5,244	5,730	(486)	200	11	(2.30)	416	-	-	-	4,225	310	269	7.30
2006	5,195	5,591	(396)	210	4	(1.85)	1,317	549	226	1.6994	4,810	615	488	4.36
2007	6,208	5,018	1,190	45	-	26.44	1,381	549	203	1.8364	5,755	730	474	4.78
2008	6,866	6,050	816	45	157	4.04	1,927	549	181	2.6397	6,042	765	451	4.97
2009	6,309	6,749	(440)	45	2,059	(0.21)	1,354	548	158	1.9178	5,406	775	416	4.54
2010	8,015	7,524	491	45	2,196	0.22	745	547	135	1.0924	4,935	765	389	4.28
2011	9,875	8,578	1,297	564	2,196	0.47	215	547	112	0.3263	4,552	820	362	3.85
2012	10,186	8,238	1,948	1,125	2177	0.59	-	-	-	-	5,390	840	325	4.63
2013	10,496	8,988	1,508	1,150	2296	0.44	-	-	-	-	5,911	460	127	10.07
2014	12,637	9,455	3,182	1,215	2095	0.96	-	-	-	-	6,235	533	164	8.95

Source: American Fork City

Notes: Details regarding the city's outstanding debt can be found in the notes to the financial statements. Operating expenses do not include interest, depreciation, or amortization expenses.

AMERICAN FORK CITY
Demographic and Economic Statistics
Ten Calendar Years

Calendar Year	Population	Personal Income (Federal AGI)	Per Capita Personal Income	Unemployment Rate
2003	23,042	\$ 344,448,888	\$ 14,949	6.3%
2004	23,421	365,730,392	15,615	5.7%
2005	23,806	408,579,652	17,163	4.7%
2006	24,198	477,883,707	19,749	3.4%
2007	24,596	502,510,106	20,431	3.0%
2008	25,001	481,847,897	19,273	4.4%
2009	25,412	461,425,096	18,158	8.0%
2010	26,263	471,354,923	17,947	9.1%
2011	26,695	506,221,345	18,963	9.3%
2012	27,134	522,828,276	19,268	6.3%
2013	27,581	540,081,609	19,582	4.6%

Sources: Unemployment rate - www.bls.gov/data/home.htm
 Personal income - www.tax.utah.gov/esu/income
 Population Projection-<http://gomb.utah.gov/budget-policy/demographic-economic-analysis/>
 * 2014 personal income amounts are not available
 amounts shown here are based on average increase/decreases from previous years

AMERICAN FORK CITY
Full-Time Equivilant City Employees by Function/Program
Ten Fiscal Years

Function/Program	Fiscal Year									
	<u>2005</u>	<u>2006</u>	<u>2007</u>	<u>2008</u>	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>
General government										
Administration	8.10	7.45	8.06	8.75	8.73	6.73	9.25	9.52	8.61	9.69
Legal ¹	1.00	1.00	1.00	1.00	-	-	-	-	-	-
Data Processing	1.00	1.00	-	-	-	-	-	-	-	-
Economic Development	-	-	0.50	0.50	0.50	0.50	0.21	0.18	0.11	0.20
Police										
Officers	33.00	32.00	33.00	34.00	32.00	32.00	33.00	32.80	36.00	36.00
Civilians	9.47	9.63	9.73	9.26	10.25	8.52	8.53	7.64	7.90	8.74
Fire										
Firefighters and officers	4.78	5.17	7.10	6.91	7.37	7.11	10.08	8.56	0.16	0.29
Ambulance	6.47	5.88	17.64	21.42	24.27	28.67	27.30	27.94	34.80	34.68
Public Works										
Building and Grounds	4.69	4.43	4.43	3.43	3.43	3.43	3.43	3.43	3.26	3.43
Building Inspections	6.61	6.43	6.43	6.43	6.00	5.00	4.00	4.00	3.00	3.01
Engineering	2.00	3.00	2.00	3.00	3.00	3.00	3.00	3.00	4.00	4.68
Fleet	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	-	-
Public Works Admin.	1.00	1.00	1.00	2.68	2.67	2.69	2.77	2.00	2.00	2.00
Secondary Irrigation ¹	-	-	-	1.53	1.66	2.59	2.00	3.25	2.00	2.00
Sewer	3.00	3.00	3.00	3.00	3.00	3.00	5.00	8.42	5.00	5.00
Storm Drain	1.00	1.00	2.00	1.00	1.00	1.00	0.14	1.50	1.00	1.00
Streets	6.00	6.00	6.00	6.00	7.00	7.00	6.00	8.36	6.00	7.00
Water	5.15	5.00	6.00	7.00	7.00	8.00	6.00	8.06	6.00	6.00
Planning	3.00	3.00	3.00	4.00	4.00	4.00	4.00	4.00	2.00	2.00
Parks and recreation ¹										
Cemetery	5.07	4.80	5.51	7.58	6.00	7.50	7.43	7.87	6.23	7.24
Recreation	5.07	4.30	4.53	6.06	5.73	5.50	5.01	-	7.10	9.06
Fitness	26.61	26.67	31.34	40.99	42.35	39.81	38.80	38.87	26.71	44.26
Parks	8.25	9.36	9.66	9.48	10.00	9.10	9.73	11.84	9.10	11.03
Boat Harbor	1.22	1.05	1.21	1.24	1.12	1.25	0.91	1.41	0.63	1.34
Library	12.34	12.60	12.37	13.10	12.91	12.22	11.93	12.56	10.10	12.41
Literacy	1.33	0.01	-	1.00	1.00	1.00	1.00	1.00	-	-
Broadband	8.84	7.06	6.00	4.49	4.00	3.50	2.00	2.00	2.00	2.00
Arts	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.02	0.01	-
Total	<u>167.00</u>	<u>162.84</u>	<u>183.51</u>	<u>205.85</u>	<u>206.99</u>	<u>205.12</u>	<u>203.52</u>	<u>210.23</u>	<u>183.72</u>	<u>213.06</u>

Source: American Fork City

¹ New function breakout

Some changes in FT reflects re-allocation of departmental workforce

AMERICAN FORK CITY
Principal Employers
Current Year and Ten Years Ago

<u>Employer</u>	<u>2014</u>		<u>2004</u>	
	<u>Employees</u>	<u>Rank</u>	<u>Employees</u>	<u>Rank</u>
Alpine Bd of Education	500-999	1		
American Fork Hospital	500-999	1		
State of Utah, Ut. State Development	500-999	1		
Universal Contracting	500-999	2		
Boostability	250-499	2		
Wal-Mart Supercenter	250-499	2		
Dentrix Dental Systems	250-499	2		
Myler Disability, LLC	250-499	2		
Doug Smith	100-249	3		
The Home Depot	100-249	3		
Target	100-249	3		
Alpine School District			1000-1999	1
Utah State Development Center			700-999	2
American Fork Hospital			500-699	3
Walmart			500-699	3
Sento Technical Innovations			250-499	4
Dentrix Dental Systems			250-499	4
American Fork City			250-499	4
Twinlab Corp			250-499	4
Symantec Corp			100-249	5
Target Corp			100-249	5
Total	<u>2800-5740</u>		<u>3900-6890</u>	

Source:

<http://jobs.utah.gov/jsp/firmfind/Largefirms.do?firmarea=Utah>

<http://jobs.utah.gov/jsp/firmfind/welcome.do>

***Specific employee numbers are no longer available. A range of the number of employees are presented instead.

AMERICAN FORK CITY
Operating Indicators by Function/Program
Ten Fiscal Years

Function/Program	Fiscal Year									
	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014
General government										
Building permits issued	626	452	463	466	354	263	299	337	398	392
Business licenses issued	-	-	-	-	-	-	-	-	-	199
Paychecks issued	-	-	-	-	-	-	-	-	-	10,938
Vendor checks issued	-	-	-	-	-	-	-	-	-	6,052
Police										
Physical arrests										
Adults	1,395	774	1,450	1,244	1,516	1,287	1,112	1,007	-	-
Juveniles	335	309	442	446	510	512	363	344	-	-
Homicide	-	1	-	1	-	-	1	-	-	1
Rape	7	10	7	5	10	8	7	11	5	3
Robbery	3	1	6	5	8	10	15	4	6	6
Aggravated Assault	17	17	16	23	17	16	18	8	23	16
Burglary	175	144	246	145	222	162	186	175	117	106
Larceny	858	755	744	840	1,041	969	795	731	672	674
Motor Vehicle Theft	52	71	60	44	39	43	27	34	30	37
Arson	1	1	-	5	2	4	1	2	2	1
Crime Rate/1000	49.72	46.79	31.73	30.14	36.57	31.77	29.14	38	23	22
Violent Crime										
Calls for Service	-	-	-	-	-	-	-	-	23,125	-
Police Reports	-	-	-	-	-	-	-	-	10,298	-
Citations	-	-	-	-	-	-	-	-	8,434	-
Traffic Accident Investigations	-	-	-	-	-	-	-	-	1,019	-
Ambulance										
911 calls	-	-	-	-	-	-	-	-	1,003	1,170
Basic Life support transports	-	-	-	-	-	-	-	-	468	465
Advanced life support transports	-	-	-	-	-	-	-	-	374	379
Critical Care ICU Transports	-	-	-	-	-	-	-	-	40	72
Other	-	-	-	-	-	-	-	-	521	-
Fire										
Alarms	-	-	-	-	-	-	-	-	175	164
Public Education Events	-	-	-	-	-	-	-	-	8,306	5,728
Hydrant Inspections	-	-	-	-	-	-	-	-	2,464	776
Business Fire Inspections	-	-	-	-	-	-	-	-	305	1,132
Structural fires	14	17	18	18	9	19	13	167	14	16
Vehicle fires	10	10	13	16	8	7	7	-	170	18
Extractions	-	-	-	-	-	-	-	-	17	17
Outside fires	13	21	31	64	14	10	19	48	20	12
All other fires	3	-	3	3	-	26	5	-	373	117
Inspections	-	-	-	-	-	-	-	-	-	-
Street resurfacing (miles)	-	-	-	-	-	-	-	-	4	3
Potholes repaired*	-	-	-	-	-	-	23	35	450	35
Parks and recreation										
Cemetery Burials	157	151	143	174	159	136	161	174	184	147
Fitness center admissions	-	-	185,197	204,727	245,552	277,339	282,991	251,632	272,533	258,406
Water										
New Residential connections										
Residential	117	196	214	134	55	48	63	77	118	186
Commercial	37	20	14	15	12	4	7	10	12	19
Water main breaks	-	-	-	-	-	-	-	-	90	72
Average daily consumption* (thousands of gallons)	-	-	-	-	-	1669.47	4626.46	3138.88	3110.00	2806.32
Sewer										
Average daily sewer treatment (thousands of gallons)	79.00	85.38	99.84	104.76	96.72	96.49	113.41	111.09	85.123	64.7781
Library										
Volumes in collection	98,354	102,608	101,645	102,787	105,877	107,472	113,851	108,366	112,645	122,922
Total volumes borrowed	254,546	272,402	260,219	300,633	330,458	341,545	311,310	364,343	295,212	299,550

Sources: American Fork City
<http://publicsafety.utah.gov/bci/crimestatistics.html>
<http://publicsafety.utah.gov/firemarshal>
 Utah State Fire Marshal Office
http://www.fbi.gov/about-us/cjis/ucr/crime-in-the-u.s./2013/crime-in-the-u.s.-2013/tables/table-8/table-8-state-cuts/table_8_offenses_known_to_law_enforcement_utah_by_city_2013.xls
<http://publicsafety.utah.gov/firemarshal/documents/2013FireReportbyFDID.pdf>
 *Data prior to information for years listed, is not available.

AMERICAN FORK CITY
Capital Assets by Function/Program
Ten Fiscal Years

Function/Program	Fiscal Year									
	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014
Police										
Stations	1	1	1	1	1	1	1	1	1	1
Patrol units	32	32	32	32	32	32	32	43	43	43
Fire Stations	1	1	1	1	1	1	1	1	1	1
Public Works										
Streets (miles)	99.05	100.75	102.23	103.54	104.01	104.04	104.26	105.30	105.76	111.56
Streetlights	-	-	-	-	-	-	-	-	-	1121
Parks and recreation										
Acreage	163	163	163	168	174	174	174	174	174	183
Playgrounds	8	31	31	31	31	31	31	31	32	32
Baseball/softball diamonds	11	11	11	11	11	11	11	11	11	11
Soccer/football fields	7	10	10	10	10	10	10	10	10	10
Flag football fields	6	6	8	8	8	8	8	8	8	8
Tackle football fields	1	1	1	1	1	1	1	1	1	3
Basketball/tennis courts	1	1	1	1	1	1	1	1	1	1
Community centers	1	1	1	1	1	1	1	1	1	1
Water										
Culinary Water Lines (miles)	127.66	129.99	133.50	134.30	136.68	136.68	136.77	136.84	137.29	150.64
Irrigation Water Lines (miles)*	-	-	-	-	-	-	-	-	120.58	103.7
Irrigation line breaks*	-	-	-	-	-	-	-	-	9	55
Storm Drain (miles)	16.84	17.65	18.54	18.62	19.53	19.53	19.53	19.59	19.7	56.66
Sanitary sewers (miles)	103.36	105.26	108.08	108.81	110.58	110.58	110.65	110.67	111.08	123.1
Average monthly sewer treatment (millions of gallons; contract)	79.00	85.38	99.84	104.76	96.72	96.49	113.41	111.09	85.123	64.7781
Fire Hydrants*	-	-	-	-	-	-	-	1,111	1,111	1068
Upper pond storage capacity(million of g;	-	-	-	-	-	-	-	5	5	5
Lower pond storage capacity (millions of	-	-	-	-	-	-	-	10	10	10

Sources: American Fork City

*Data prior to information for years listed, is not available.

AMERICAN FORK CITY
Schedule of Insurance
July 2014 through June 2015

Description	Company	Liability Limit	Effective Date
Property	Affiliated FM	\$37,924,130	7/1/2014
Contents	Affiliated FM	\$11,413,910	7/1/2014
Contractors equipment	Affiliated FM	\$1,289,647	7/1/2014
EDP equipment	Affiliated FM	\$4,136,360	7/1/2014
Earthquake	Affiliated FM	\$50,000,000	7/1/2014
Flood	Affiliated FM	\$50,000,000	7/1/2014
Crime	Travelers	\$500,000.00	7/1/2014
General liability	One Beacon	\$1,000,000/\$3,000,000	7/1/2014
Automobile liability	One Beacon	\$1,000,000	7/1/2014
Employment practices	One Beacon	\$1,000,000/\$3,000,000	7/1/2014
Employee benefit	One Beacon	\$1,000,000/\$3,000,000	7/1/2014
Public officials E & O	One Beacon	\$1,000,000/\$3,000,000	7/1/2014
Law enforcement	One Beacon	\$1,000,000/\$3,000,000	7/1/2014
Umbrella	One Beacon / Torus	\$15,000,000	7/1/2014
Auto damage	One Beacon	Actual cash value	7/1/2014
Public official treasurer bond	The Hartford	\$1,500,000	4/4/2014

Thank you, from the Administration and Staff of American Fork City, for your interest in our City.



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department Public Works

Director Approval 

AGENDA ITEM Approve the award of a contract for the 2015 Culinary Waterline Replacement Project Phase III - CDBG to Hardline Excavation.

SUMMARY RECOMMENDATION Recommend approval of the contract award to Hardline Excavation based on their base bid of \$294,988.95, submitted in accordance with a request for bids advertised on December 7, 2014.

BACKGROUND Through the continual efforts of Howard Denney, additional Community Development Block Grant (CDBG) monies in the amount of \$300,000 have been secured for the replacement and enhancement of the culinary water system during 2015. Specifically these CDBG funds will be used to replace an aged existing four inch service line with a new eight inch ductile iron pipe including all appurtenant structures in the location of 120 North to 400 North on 200 West. Also, new fire hydrants will be added for better fire protection for the residents living in the project area.

Engineering staff, in conjunction with Franson Civil Engineers, prepared bid documents and advertised for bid on December 7, 2014. Thirteen interested contractors submitted bids on January 13, 2015. The apparent low bidder was Hardline Excavation, with a base bid of \$294,988.95.

BUDGET IMPACT Funding for this project has been allocated in the Water Line Replacement Account (50-5110-720) as per the FY 2015 Capital Program. Total project Budget:

Item	Amount	Funding Sources	Amount
Construction Base Bid	\$294,988.95	Base bid	\$294,988.95
Contingency (10%)	<u>\$ 29,500.00</u>	Contingency	<u>29,500.00</u>
		Total project costs	\$324,488.95
Total Project Budget	\$324,488.95	CDBG Contribution	(\$300,000.00)
		Water User Fees Acct. 50-5110-720	\$ 24,488.95

SUGGESTED MOTION I move to accept the Base Bid and Alternate Bid submitted by Hardline Excavation for the construction of the 2015 Culinary Water Line Replacement Project Phase III – CDBG, in the amount of \$294,988.95, with a ten percent (10%) contingency allowance of \$29,500, for a total project budget of \$324,488.95, and authorize staff to proceed with the preparation of contract documents.

SUPPORTING DOCUMENTS

1. Bid Schedule
2. Engineers letter of recommendation
3. Bid tabulation
4. CDBG funding award letter

PART 9 BID SCHEDULE

UNIT PRICE BASE BID SCHEDULE

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Mobilization	1	LS		
2	Traffic Control	1	LS		
3	Furnish and Install 8-inch Ductile Iron Pipe Class 350	2205	LF		
4	Furnish and Install 8-inch Gate Valve	11	EA		
5	Furnish and Install 16-inch Gate Valve	1	EA		
6	Furnish and Install 8-inch 45-degree elbow	14	EA		
7	Furnish and Install 4-inch 45-degree elbow	8	EA		
8	Furnish and Install 8 x 4-inch reducer	2	EA		
9	Furnish and Install 8-inch Tee	1	EA		
10	Furnish and Install 8 x 4 inch Tee	2	EA		
11	Furnish and Install 8-inch Cross	2	EA		
12	Furnish and Install 1-inch Service Connection and installation of owner supplier meter	31	EA		
13	Furnish and Install Fire Hydrant	4	EA		
Total of All Bid Price Items					\$

PART 10 MEASUREMENT AND PAYMENT

10.1 Mobilization - Bid Item 1

- A. Payment covers cost of mobilization, demobilization, installation of temporary facilities, and bringing all necessary construction equipment to the site. Payment will be made on a percentage of the LUMP SUM BASIS as follows:

Percent of Original Contract Amount Earned	Percent of Amount Bid for Mobilization to be Paid
5	40
35	20
50	30
70	10

- B. Payment also includes the cost of scheduling processes required per project Specifications.

- C. Payment will include conforming to all applicable local, state and federal requirements, including following American Fork standards for work.

10.2 Traffic Control and Traffic Control Specialist - Bid Item 2

- A. Payment covers the cost of maintaining traffic control and a traffic control specialist. Payment shall be made on a LUMP SUM BASIS.
- B. Payment will cover the cost of maintaining traffic control to American Fork traffic standards. Payment shall also cover the cost of a traffic control specialist who will submit traffic control plans to the City of American Fork. Traffic control specialist shall be on call 24 hours a day and on weekends for any problems related to traffic control, signage and barricades.
- C. CONTRACTOR shall be responsible for all traffic control, signage, barricades, flagging and other related items resulting from construction and other work operations.

10.3 Furnish and Install Ductile Iron Pipe - Bid Item 3

- A. Measurement shall be along the pipe on a LINEAR FOOT BASIS with no reduction in length of structures or fittings.
- B. Payment covers the cost of the size and type of pipe indicated, with installation per Plans and Specifications. Payment will also cover tying into existing pipe at locations specified on the Drawings.
- C. Item 3 will include the cost of and installation costs for import fill material. All items will include the cost of importing and installing the concrete sand, pipe bedding material as specified in Section 03 30 04 Concrete labeled as fine aggregate and as shown in the drawings.
- D. CONTRACTOR shall export and dispose of 100% of the in situ soil and import 100% of the trench backfill and pipe bedding material. In situ soil will **not** be used for trench backfill or pipe bedding material.
- E. The roads included on for resurfacing are residential roads. Therefore the minimum asphalt required to be replaced is 4”.
- F. Payment will cover all the costs relating to surveying, construction staking, pipe placement, disinfecting, flushing, testing and commissioning of line. Cost shall also cover the cost relating to potholing, saw cutting, excavation, removal and proper disposal of excavated materials, backfill and compaction of fill and roadbase material as a temporary material, temporary maintenance of backfilled material, trench work, tracer wire, tape, furnish and installing bedding, sand fill, Sunday work (where required), backfill, roadbase, all asphalt, including asphalt tee patches above installed waterlines, miscellaneous asphalt and concrete drive approaches or waterways or cross drains or paved and capped areas.
- G. Payment shall cover cost of removing of any identified existing waterlines, portions of waterlines, bends and disposing of the removed waterlines or abandoning and filling with grout, sand, or ENGINEER approved material.

2015 Culinary Waterline Replacement Project Phase 3 – CDBG

- H. Cost shall cover all work, materials, labor, equipment and tools related to the placement of ductile iron pipe.
- I. There will be no payment for over excavation or excessive widths unless approved in writing by the ENGINEER prior to the excavation.
- J. Depths may vary in some locations in order to avoid existing utilities; CONTRACTOR shall anticipate depths will increase in some areas, particularly intersections.
- K. CONTRACTOR shall be responsible for replacement, restoration or costs related to damaged utilities resulting from operations.
- L. In locations where placement of new pipeline is adjacent to existing curb and gutter, CONTRACTOR shall ensure no damage is done to existing concrete and will be responsible for any damage and/or settlement.

10.4 Furnish and Install Valves - Bid Item 4, 5

- A. Payment shall be on a PER EACH BASIS for furnishing and installing the specified size and type of valve shown on the Plans.
- B. Payment covers the cost of all incidental work such as traffic control, installing all thrust blocks, nuts, bolts, gaskets, fittings, connection to pipes, adjustment of valve lid to final grade, backfill, roadbase, asphalt, valve box, concrete collar, and all related items. Payment will cover the cost of all materials required for a complete job to include labor, materials, equipment and tools related to the placement of valves.

10.5 Furnish and Install Pipe Fittings - Bid Items 6, 7, 8, 9, 11 and 10

- A. Payment shall be made on a PER EACH BASIS for furnishing and installing the specified size and type of required fittings. Approved substitute or multiple bends, fittings or reducers shall be paid for under the single Bid item as designated on the Plans.
- B. Payment covers the cost of the size and type of bend, tee, cross, reducer, end cap, sleeve or blind flange indicated, with accompanying thrust blocks, rebar if required, excavation and proper disposal of materials, furnish and installing backfill, saw cutting, bedding, roadbase and asphalt as per Plans and Specifications.
- C. In locations where flange tees, crosses, reducers or bends are noted, price shall include FLG x MJ adapters when required.
- D. Payment will cover all the costs relating to placement of fittings as shown on the Plans and described in the Specifications.

10.6 Furnish and Install Service Connections - Bid Item 12

- A. Measurement shall be made on a PER EACH BASIS for the stated size of service and all related work and materials.

- B. Payment covers the cost of the size and type of service pipe indicated up to a length of 50 feet, the tee or tapping of mainline pipe complete with installation as shown in the Plans and stated in the Specifications.
 - C. Payment will cover all costs relating to surveying, construction staking, coordinating with property owners on pipe placement, pipe placement, temporary cap, disinfecting, flushing, testing and commissioning of new lines.
 - D. Cost shall also cover the cost relating to saw cutting, asphalt, asphalt patching, miscellaneous asphalt, excavation, removal and proper disposal of excavated materials, trench work, tracer wire, tape, furnish and installing bedding, flowable fill, Sunday work (where required), backfill, roadbase, speed bumps, concrete drive approaches or waterways or cross drains or paved and capped areas, and all asphalt.
 - E. Cost shall also cover all costs relating to boring or moling under existing curb, gutter and sidewalk, excavation, asphalt, removal and proper disposal of excavated materials, backfill, compaction, trench work, restoring yards and sod. Replace landscaping surface if necessary.
 - F. Cost shall cover all costs related to furnishing and installing the compression assemblies, pipe, tracer wire, corp stop, setter, meter can, meter lid, and all other parts pertaining to the completion of a working service connection as per the Plans and Specifications. Cost shall cover all work, labor, materials, equipment, and tools related to the placement of service connection.
 - G. Some of the connections will require the replacement of concrete. Cost shall include the concrete in those locations.
 - H. Cost shall include installing OWNER supplied meters.
 - I. There will be no payment for over excavation unless approved in writing by the ENGINEER prior to the excavation.
 - J. CONTRACTOR shall ensure that existing curb, gutter and sidewalks are not disturbed. Any damaged concrete shall be replaced by the CONTRACTOR, at the CONTRACTOR's expense.
 - K. CONTRACTOR to relocate meters in park strip if there is a sidewalk, curb and gutter.
 - L. CONTRACTOR to relocate meter if there is a sidewalk but no curb and gutter; the meter must be relocated behind the sidewalk.
- 10.7 Furnish and Install New Fire Hydrant Connection - Bid Item 13
- A. Measurement shall be made on a PER EACH BASIS for the stated size of service and all related work and materials.
 - B. Payment covers the cost of the size and type of service pipe indicated up to a length of 50 feet, the tee or tapping of mainline pipe complete with installation as shown in the Plans and stated in the Specifications. Payment covers the cost of the tee off the main, the foot

valve, and all other materials to complete the hydrant work according to the Drawings and Specifications.

- C. Payment will cover all costs relating to surveying, construction staking, coordinating with property owners on pipe placement, temporary cap, disinfecting, flushing, testing and commissioning of new lines.
- D. Cost shall also cover all costs relating to boring or moling under existing curb, open cutting, gutter and sidewalk, excavation, concrete, asphalt, asphalt patching, miscellaneous asphalt, removal and proper disposal of excavated materials, backfill, compaction, trench work, restoring yards and sod.
- E. Cost shall cover the pipe, bend, fittings, sewer rock geotextile wrap, drain, hydrant, thrust blocks, concrete collar, and all other parts pertaining to the completion of a working hydrant connection as per the Plans and Specifications. Cost shall cover all work, labor, materials, equipment, and tools related to the placement of service connections.
- F. Some of the connections will require the replacement of concrete. Cost shall include the concrete in those locations.
- G. There will be no payment for over excavation unless approved in writing by the ENGINEER prior to the excavation.
- H. CONTRACTOR shall ensure that existing curb, gutter and sidewalks are not disturbed. Any damaged concrete shall be replaced by the CONTRACTOR, at the CONTRACTOR's expense.

END OF DOCUMENT

American Fork 2015 Culinary Water Line Replacement Project Phase 3 - CDBG

NO.	ITEM	QUANTITY	UNIT	Engineer's Estimate		Hardline Excavation, LLC		Braker Construction		E.K. Bailey Construction		KK&L Construction	
				UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST
1	Mobilization	1	LS	\$ 20,000.00	\$ 20,000.00	\$ 21,663.00	\$ 21,663.00	\$ 13,500.00	\$ 13,500.00	\$ 15,047.15	\$ 15,047.15	\$ 5,965.00	\$ 5,965.00
2	Traffic Control	1	LS	\$ 12,000.00	\$ 12,000.00	\$ 8,840.00	\$ 8,840.00	\$ 6,200.00	\$ 6,200.00	\$ 26,005.41	\$ 26,005.41	\$ 13,920.00	\$ 13,920.00
3	Furnish and Install 8 - inch Ductile Iron Pipe Class 350	2205	LF	\$ 71.00	\$ 156,555.00	\$ 70.59	\$ 155,650.95	\$ 66.00	\$ 145,530.00	\$ 61.45	\$ 135,497.25	\$ 76.90	\$ 169,564.50
4	Furnish and Install 8-inch Gate Valve	11	EA	\$ 1,500.00	\$ 16,500.00	\$ 1,695.00	\$ 18,645.00	\$ 1,400.00	\$ 15,400.00	\$ 1,945.65	\$ 21,402.15	\$ 1,415.00	\$ 15,565.00
5	Furnish and Install 16-inch Gate Valve	1	EA	\$ 600.00	\$ 600.00	\$ 8,495.00	\$ 8,495.00	\$ 3,200.00	\$ 3,200.00	\$ 7,172.47	\$ 7,172.47	\$ 8,105.00	\$ 8,105.00
6	Furnish and Install 8- inch 45-degree elbow	14	EA	\$ 700.00	\$ 9,800.00	\$ 410.00	\$ 5,740.00	\$ 850.00	\$ 11,900.00	\$ 878.07	\$ 12,292.98	\$ 775.00	\$ 10,850.00
7	Furnish and Install 4-inch 45-degree elbow	8	EA	\$ 400.00	\$ 3,200.00	\$ 375.00	\$ 3,000.00	\$ 350.00	\$ 2,800.00	\$ 752.92	\$ 6,023.36	\$ 605.00	\$ 4,840.00
8	Furnish and Install 8-inch x 4-inch Reducer	2	EA	\$ 500.00	\$ 1,000.00	\$ 400.00	\$ 800.00	\$ 1,000.00	\$ 2,000.00	\$ 789.73	\$ 1,579.46	\$ 450.00	\$ 900.00
9	Furnish and Install 8-inch Tee	1	EA	\$ 2,000.00	\$ 2,000.00	\$ 1,680.00	\$ 1,680.00	\$ 1,900.00	\$ 1,900.00	\$ 1,458.10	\$ 1,458.10	\$ 1,420.00	\$ 1,420.00
10	Furnish and Install 8x4 inch Tee	2	EA	\$ 1,500.00	\$ 3,000.00	\$ 1,340.00	\$ 2,680.00	\$ 1,850.00	\$ 3,700.00	\$ 816.40	\$ 1,632.80	\$ 1,120.00	\$ 2,240.00
11	Furnish and Install 8-inch Cross	2				\$ 1,180.00	\$ 2,360.00	\$ 3,100.00	\$ 6,200.00	\$ 1,405.15	\$ 2,810.30	\$ 1,410.00	\$ 2,820.00
12	Furnish and Install 1-inch Service Connection and installation of owner supplier meter	31	EA	\$ 2,000.00	\$ 62,000.00	\$ 1,495.00	\$ 46,345.00	\$ 2,500.00	\$ 77,500.00	\$ 1,958.04	\$ 60,699.24	\$ 2,085.00	\$ 64,635.00
13	Furnish and Install Fire Hydrant	4	EA	\$ 5,000.00	\$ 20,000.00	\$ 4,780.00	\$ 19,120.00	\$ 5,100.00	\$ 20,400.00	\$ 6,092.39	\$ 24,369.56	\$ 5,310.00	\$ 21,240.00
				Project Total	\$ 306,655.00	*Project Total	\$ 295,018.95	Project Total	\$ 310,230.00	Project Total	\$ 315,990.23	Project Total	\$ 322,064.50

American Fork 2015 Culinary Water Line Replacement Project Phase 3 - CDBG

NO.	ITEM	QUANTITY	UNIT	Goran LLC		B.D. Bush Excavation		Silver Spur Construction		Landmark Excavating		Spade Excavating	
				UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST
1	Mobilization	1	LS	\$ 12,696.80	\$ 12,696.80	\$ 19,998.00	\$ 19,998.00	\$ 29,500.00	\$ 29,500.00	\$ 12,500.00	\$ 12,500.00	\$ 22,305.00	\$ 22,305.00
2	Traffic Control	1	LS	\$ 6,407.40	\$ 6,407.40	\$ 9,600.00	\$ 9,600.00	\$ 6,500.00	\$ 6,500.00	\$ 13,700.00	\$ 13,700.00	\$ 17,879.00	\$ 17,879.00
3	Furnish and Install 8-inch Ductile Iron Pipe Class 350	2205	LF	\$ 99.92	\$ 220,323.60	\$ 92.00	\$ 202,860.00	\$ 87.00	\$ 191,835.00	\$ 92.00	\$ 202,860.00	\$ 90.81	\$ 200,236.05
4	Furnish and Install 8-inch Gate Valve	11	EA	\$ 1,436.88	\$ 15,805.68	\$ 1,650.00	\$ 18,150.00	\$ 1,650.00	\$ 18,150.00	\$ 2,020.00	\$ 22,220.00	\$ 1,835.00	\$ 20,185.00
5	Furnish and Install 16-inch Gate Valve	1	EA	\$ 3,070.44	\$ 3,070.44	\$ 7,400.00	\$ 7,400.00	\$ 8,900.00	\$ 8,900.00	\$ 4,425.00	\$ 4,425.00	\$ 9,340.00	\$ 9,340.00
6	Furnish and Install 8-inch 45-degree elbow	14	EA	\$ 406.77	\$ 5,694.78	\$ 480.00	\$ 6,720.00	\$ 700.00	\$ 9,800.00	\$ 895.00	\$ 12,530.00	\$ 782.00	\$ 10,948.00
7	Furnish and Install 4-inch 45 degree elbow	8	EA	\$ 283.21	\$ 2,265.68	\$ 415.00	\$ 3,320.00	\$ 450.00	\$ 3,600.00	\$ 808.00	\$ 6,464.00	\$ 797.00	\$ 6,376.00
8	Furnish and Install 8-inch x 4-inch Reducer	2	EA	\$ 574.79	\$ 1,149.58	\$ 500.00	\$ 1,000.00	\$ 575.00	\$ 1,150.00	\$ 985.00	\$ 1,970.00	\$ 757.00	\$ 1,514.00
9	Furnish and Install 8-inch Tee	1	EA	\$ 730.31	\$ 730.31	\$ 1,700.00	\$ 1,700.00	\$ 1,400.00	\$ 1,400.00	\$ 1,200.00	\$ 1,200.00	\$ 1,290.00	\$ 1,290.00
10	Furnish and Install 8 x4 inch Tee	2	EA	\$ 790.64	\$ 1,581.28	\$ 1,130.00	\$ 2,260.00	\$ 825.00	\$ 1,650.00	\$ 1,355.00	\$ 2,710.00	\$ 858.00	\$ 1,716.00
11	Furnish and Install 8-inch Cross	2	EA	\$ 1,521.05	\$ 3,042.10	\$ 1,660.00	\$ 3,320.00	\$ 1,550.00	\$ 3,100.00	\$ 3,340.00	\$ 6,680.00	\$ 1,400.00	\$ 2,800.00
12	Furnish and Install 1-inch Service Connection and installation of owner supplier meter	31		\$ 1,234.62	\$ 38,273.22	\$ 1,100.00	\$ 34,100.00	\$ 1,450.00	\$ 44,950.00	\$ 2,200.00	\$ 68,200.00	\$ 2,330.00	\$ 72,230.00
13	Furnish and Install Fire Hydrant	4	EA	\$ 4,260.68	\$ 17,042.72	\$ 4,475.00	\$ 17,900.00	\$ 5,400.00	\$ 21,600.00	\$ 4,000.00	\$ 16,000.00	\$ 5,570.00	\$ 22,280.00
				Project Total	\$ 328,083.59	Project Total	\$ 328,328.00	Project Total	\$ 342,135.00	Project Total	\$ 371,459.00	Project Total	\$ 389,099.05

American Fork 2015 Culinary Water Line Replacement Project Phase 3 - CDBG

NO.	ITEM	QUANTITY	UNIT	Cody Ekker Construction Inc		Webster Construction, LLC		Terry R. Brotherson Excavating		Geneva Rock			
				UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST	UNIT COST	ITEM COST		
1	Mobilization	1	LS	\$ 30,000.00	\$ 30,000.00	\$ 18,200.00	\$ 18,200.00	\$ 35,466.00	\$ 35,466.00	\$ 60,000.00	\$ 60,000.00		
2	Traffic Control	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 15,145.00	\$ 15,145.00	\$ 16,000.00	\$ 16,000.00	\$ 30,000.00	\$ 30,000.00		
3	Furnish and Install 8-inch Ductile Iron Pipe Class 350	2205	LF	\$ 115.00	\$ 253,575.00	\$ 95.25	\$ 210,026.25	\$ 83.38	\$ 183,852.90	\$ 110.00	\$ 242,550.00		
4	Furnish and Install 8-inch Gate Valve	11	EA	\$ 1,450.00	\$ 15,950.00	\$ 1,660.05	\$ 18,260.55	\$ 1,887.60	\$ 20,763.60	\$ 2,100.00	\$ 23,100.00		
5	Furnish and Install 16-inch Gate Valve	1	EA	\$ 7,000.00	\$ 7,000.00	\$ 11,855.00	\$ 11,855.00	\$ 8,740.94	\$ 8,740.94	\$ 8,500.00	\$ 8,500.00		
6	Furnish and Install 8-inch 45-degree elbow	14	EA	\$ 500.00	\$ 7,000.00	\$ 1,640.00	\$ 22,960.00	\$ 1,117.75	\$ 15,648.50	\$ 700.00	\$ 9,800.00		
7	Furnish and Install 4-inch 45 degree elbow	8	EA	\$ 350.00	\$ 2,800.00	\$ 615.00	\$ 4,920.00	\$ 713.27	\$ 5,706.16	\$ 600.00	\$ 4,800.00		
8	Furnish and Install 8-inch x 4-inch Reducer	2	EA	\$ 400.00	\$ 800.00	\$ 400.00	\$ 800.00	\$ 638.56	\$ 1,277.12	\$ 600.00	\$ 1,200.00		
9	Furnish and Install 8-inch Tee	1	EA	\$ 700.00	\$ 700.00	\$ 1,200.00	\$ 1,200.00	\$ 1,154.08	\$ 1,154.08	\$ 1,100.00	\$ 1,100.00		
10	Furnish and Install 8 x4 inch Tee	2	EA	\$ 500.00	\$ 1,000.00	\$ 1,035.00	\$ 2,070.00	\$ 979.70	\$ 1,959.40	\$ 710.00	\$ 1,420.00		
11	Furnish and Install 8-inch Cross	2	EA	\$ 1,500.00	\$ 3,000.00	\$ 1,685.00	\$ 3,370.00	\$ 1,255.93	\$ 2,511.86	\$ 1,500.00	\$ 3,000.00		
12	Furnish and Install 1-inch Service Connection and installation of owner supplier meter	31		\$ 1,700.00	\$ 52,700.00	\$ 2,595.00	\$ 80,445.00	\$ 2,917.51	\$ 90,442.81	\$ 2,750.00	\$ 85,250.00		
13	Furnish and Install Fire Hydrant	4	EA	\$ 4,750.00	\$ 19,000.00	\$ 4,785.00	\$ 19,140.00	\$ 6,413.93	\$ 25,655.72	\$ 5,100.00	\$ 20,400.00		
				Project Total	\$ 403,525.00	Project Total	\$ 408,391.80	Project Total	\$ 409,179.09	Project Total	\$ 491,120.00		

*Hand written bid differs from calculated Project Total

January 15, 2015

Mr. Howard Denney
American Fork City
275 E 200 N
American Fork, UT 84003

Re: CDBG 2015 Culinary Water Line Replacement Project Phase 3 - CDBG

Dear Mr. Denney:

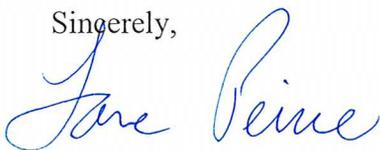
Franson Civil Engineers has completed the bid review for the CDBG 2015 Culinary Water Line Replacement Project. We have verified that Hardline Excavation LLC (Hardline) is the low bidder. Hardline did have a minor mistake in their bid price, an error of 30 dollars from the price indicated in their submitted bid schedule. Hardline is still the low bidder including this error. Hardline has also provided the proper bid security in the form of a bid bond, properly acknowledged the addenda, provided a signed non-collusion document and a signed E-Verify Certification.

I have called references regarding previous work completed by Hardline. High praise was given from Dave Friess Development and CSM Construction. Also the main foreman Rick from Hardline did much of the work on the CDBG 2014 Phase 2 project. In my opinion he did his work professionally.

Taking the references and personal knowledge into account Franson Civil Engineers recommends Hardline be awarded the contract for the price listed on the bid schedule \$294,988.95.

Please feel free to call if you have any questions.

Sincerely,



Lane D. Peirce, P.E.

cc: Mr. Andy Spencer

UTAH COUNTY **Community
Development** BLOCK GRANT

April 7, 2014

Howard R. Denney
American Fork City
275 East 200 North
American Fork, UT 84003

Dear Howard:

On behalf of the Utah County Community Development Block Grant Program, it is my pleasure to inform you that American Fork City will receive up to **\$300,000.00** for the 200 West Fire protection and Water Line Replacement project in the 2014 funding cycle. These funds are provided by the U.S. Department of Housing and Urban Development's (HUD) Community Development Block Grant (CDBG) program to Utah County, which has contracted with Mountainland Association of Governments to administer the local grant program. The funds do not have to be repaid, except in the event that a future HUD monitoring visit finds non-compliance in any part of the grant process and subsequently requires a portion or all of the grant funds be returned.

This letter is in no way intended to authorize an initiation of spending on the project including bidding, acquisition, demolition, site clearance, or any other action that could be construed as "choice limiting." Although the Utah County CDBG program intends to grant the aforementioned funds to your organization, initiating the project in any way including incurring expenses related to the project is strictly prohibited until an Environmental Review, Release of Funds and a signed agreement between Utah County and your organization are completed. Any CDBG funds invested in the project holds the ENTIRE project to HUD regulations - not just the "parts" that are being paid for with CDBG funds. Therefore absolutely no activity on the project can begin until the above mentioned requirements are completed.

A **mandatory** Grantee Workshop will be held on **Tuesday, May 13, 2014 from 10:00 a.m. to 12:00 p.m. in the down stairs conference room at Mountainland Association of Governments, 586 East 800 North, Orem.** Please send the project manager for your project. The project manager is the staff person who will be conducting ALL oversight of the CDBG grant including but not limited to monitoring, reporting, reimbursement draw downs, Davis Bacon, etc. If you fail to attend the mandatory workshop, your award will be reallocated to another project.

We are happy to be able to assist your organization in the important work you do in our community. Please don't hesitate to contact us if you have any questions or need assistance.

Sincerely,



Michelle Carroll

Community and Economic Development Program Manager
Mountainland Association of Governments
586 East 800 North, Orem, UT 84097
Office: (801) 229-3833
mcarroll@mountainland.org





REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department Planning

Director Approval *Adrian Oh*

AGENDA ITEM Ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels.

SUMMARY RECOMMENDATION The planning commission recommended approval of the ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels as stated in the attached minutes of the December 17, 2014 planning commission meeting.

BACKGROUND This development code text amendment proposes to broaden the definition of derelict parcels, i.e. parcels that do not qualify as legal zoning lots. As a result of this development code text amendment derelict parcels will be resolved over time as development occurs. For further analysis please refer to the attached development code text amendment, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to approve the ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels.

SUPPORTING DOCUMENTS

1. Ordinance
2. Staff report
3. Planning commission meeting minutes, December 17, 2014

ORDINANCE NO _____

AN ORDINANCE AMENDING SECTION 17.8.113 RELATING TO DERELICT PARCELS AND PROVIDING FOR THE ADOPTION AND ENFORCEMENT OF THE AMENDMENTS.

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH, AS FOLLOWS:

PART I

TEXT OF ORDINANCE

SECTION 1. Section 17.8.113 of the Development Code of American Fork, Utah, is hereby amended to read as follows:

No subdivision plan/~~plat~~ shall have the effect of creating a derelict parcel. Any such parcel must be attached to adjacent lots rather than allowed to remain as an independent parcel. Privately owned protection or retainer strips shall not be permitted. For purposes of this section, a derelict parcel shall be construed to mean:

- a residual parcel of land created or proposed to be created as part of a proposed subdivision ~~design~~ of a larger tract, which parcel has insufficient area or dimension or possesses other condition(s) which prohibit its qualification as a zoning lot within the zone.

- any parcel directly adjacent to the proposed subdivision, under the same ownership, which parcel having insufficient area or dimension or possesses other condition which prohibit its qualification as a zoning lot within zone. Any such parcel shall either be incorporated into the design of the proposed subdivision or disposed of so that a derelict parcel no longer exists.

PART II

PENALTY AND ADOPTION

SECTION 1 – Conflicting Provisions. Whenever the provisions of this Ordinance conflict with the provisions of any other ordinance, resolution or part thereof, the more stringent shall prevail.

SECTION 2 – Provisions Severable. This Ordinance and the various sections, clauses and paragraphs are hereby declared to be severable. If any part, sentence, clause or phrase is adjudged to be unconstitutional or invalid it is hereby declared that the remainder of the ordinance shall not be affected thereby.

SECTION 3 – Amendment to be Added to Development Code. The City Council hereby authorizes and directs that insert pages reflecting the provisions enacted hereby shall be

made and placed in the Official copies of the American Fork Development Code in the office of the City Recorder.

SECTION 4 – Penalty. Hereafter these amendments shall be construed as part of the Development Code of American Fork City, Utah, to the same effect as if originally a part thereof, and all provisions of said Code shall be applicable thereto, including, but not limited to, the enforcement, violation and penalty provisions.

SECTION 5 – Effective Date. This Ordinance shall take effect upon its passage and publication as required by law.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH, THIS ____ DAY OF _____ 2015.

Mayor

ATTEST:

City Recorder

Hearing, review and action on an ordinance amending Section 17.8.113 of the American Fork City Development Code relating to derelict parcels.

The Development Code currently defines a “derelict parcel” as “a residual parcel of land created by or proposed to be created as part of a proposed subdivision design of a larger tract, which parcel has insufficient area or dimension or possesses other conditions which prohibit its qualification as a zoning lot within the zone”. Derelict parcels, in other words, are parcels of land which do not meet the underlying zone requirements for an individual lot. The Development Code is clear that when a property is subdivided, there may be no “left over” or derelict parcels.

This proposed revision expands the definition to include any parcel directly adjacent to a proposed subdivision, under the same ownership, which does not qualify as a legal zoning lot; meaning, the lot width, area, or depth are insufficient to constitute a legal zoning lot. The revision proposes to require that the derelict parcel either be incorporated into the proposed subdivision, or disposed of by other means so that the derelict parcel does not exist.

Potential Motion

Mr. Chairman, I move that we recommend approval of the proposed code text amendment to Section 17.8.113 of the American Fork City Development Code, relating to derelict parcels.

Rebecca Staten
John Woffinden

Motion passes.

8. Review and action on the commercial site plan for the Autobahn Carwash located at 504 North 900 West in the GC-2 General Commercial zone (7:34 p.m.)

Staff Presentation:

Adam Olsen reported this is on the new lot on the amended IFA subdivision. There are two structures totaling nearly 12,000 square feet, i.e. the wash tunnel/detail area and an office/small café area. Access to the site is provided through the interior IFA travel ways. The access point is to the south as a right-in right-out. As 900 West is further developed, the center median will be extended north. They provided parking and landscaping to meet the requirements of the Code. The trail is now located on 900 West. The small technical issues on the plan will need to be corrected. Planning recommends approval.

Howard Denney stated the Engineering Division recommends approval.

MOTION: Christine Anderson - To recommend approval of the commercial site plan for Autobahn Car Wash, located at 504 North 900 West, in the GC-2 Planned Commercial Zone, with the finding and condition as outlined in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The proposed site plan meets the criteria as found in Section 17.7.601 of the Development Code.**

Conditions:

- **Water rights, if required, shall be satisfied prior to recordation of the amended subdivision plat.**
- **All Standard Conditions of Approval and items denoted as “Plan Modification(s) Required” in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Harold Dudley.

Yes - Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

9. Hearing, review and action on an ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels (7:44 p.m.)

Staff Presentation:

Adam Olsen stated this clarifies and expands the definition of a derelict parcel. The Code prohibits a derelict parcel when a subdivision is created. This definition now includes any parcels that are under the same ownership as the parent subdivision to be included in the subdivision or disposed of so they are no longer left over. The City tried to enforce this with Bybee Court about a year ago, but the legal advice at the time was the Code was not strong enough to enforce. Bybee Court left a long skinny piece that was owned by the developer that wasn't disposed of because it was a separate parcel. This change won't allow this to happen.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

MOTION: Rebecca Staten - To recommend approval of the proposed code text amendment to Section 17.8.113 of the American Fork City Development Code, relating to derelict parcels. Seconded by Christine Anderson.

Yes -

Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

10. Other Business (7:49 p.m.)

The next Planning Commission meeting is January 21, 2015. The City Council meets on January 13, 2015.

The first meeting in February is the election of officers.

Ken Garff was on the agenda because it was specifically tabled to this date. Today, there was no motion so that will not be the case. Mayor Hadfield has said that items should not be on the agenda unless submittals are on time.

11. Site Plan Committee Report (7:53 p.m.)

A Maverik is proposed at 1050 East State Road on the southwest corner.

The Rivulet Apartments at 860 East 400 South is by the Richie Group, which is the north eastern section of Vintaro.

The Copper Ridge commercial site plan at 750 South Auto Mall Drive was originally approved as an office building. Blue Ribbon Creameries will occupy the building. They will need to remove the remaining roundabout.



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department Planning

Director Approval *Adrian Ok*

AGENDA ITEM Final plat of the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the Andersen Property Subdivision as stated in the attached minutes of the December 17, 2014 planning commission meeting.

BACKGROUND The applicant proposes to subdivide the Andersen property by creating 9 lots, three of which will front on 300 North Street and the remainder on Evergreen Drive. The surrounding neighborhood took interest in the proposal and attended public hearings before the planning commission. For further analysis please refer to the attached final plat, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as part of this final plat approval.

SUGGESTED MOTION I move to approve the final plat of Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat subject to:

- Posting of a performance guarantee to ensure the timely construction of required public improvements.
- All conditions identified in the public record associated with the December 17, 2014 planning commission meeting.

SUPPORTING DOCUMENTS

1. Plat
2. Staff report
3. Planning commission meeting minutes, December 17, 2014

ANDERSEN PROPERTY SUBDIVISION

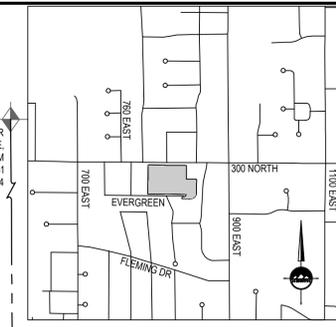
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH

SURVEYOR'S CERTIFICATE
I, _____ DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 88, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED. CERTIFICATE NUMBER _____
I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 11-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.
I FURTHER CERTIFY THAT PER TITLE REPORT SUPPLIED BY METRO NATIONAL TITLE COMPANY, UNDER COMMITMENT NO. 36658A, DATED EFFECTIVE JULY 2, 2013 AT 7:45 A.M., EVERY EXISTING RIGHT OF WAY EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND FOR THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

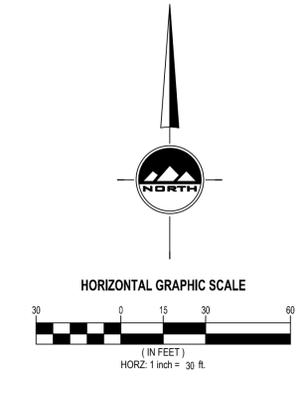
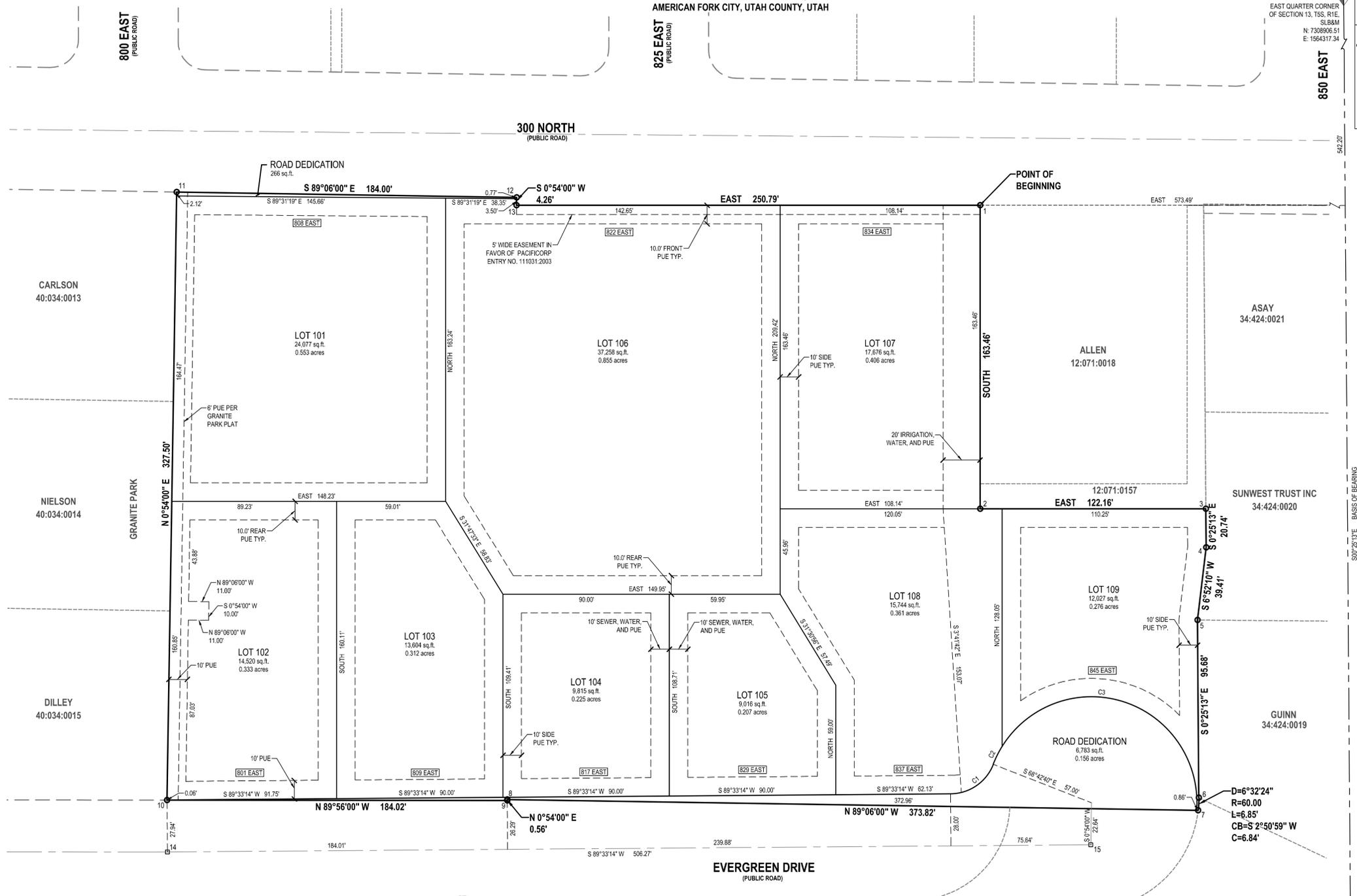
Beginning at a point located South 0°25'13" East along section line 542.20 feet and West 573.49 feet from the East Quarter Corner of Section 13, Township 5 South, Range 1 East, Salt Lake Base and Meridian; and running
thence South 163.46 feet;
thence East 122.16 feet to the Westerly Boundary Line of Andersen Acres PUD Plat "A";
thence South 0°25'13" East 20.74 feet along the Westerly Boundary Line of said Andersen Acres PUD Plat "A";
thence South 6°52'10" West 39.41 feet along the Westerly Boundary Line of said Andersen Acres PUD Plat "A";
thence South 0°25'13" East 95.68 feet along the Westerly Boundary Line of said Andersen Acres PUD Plat "A";
thence Southwesterly 112.32 feet along the arc of a 60.00 foot radius curve to the right (chord bears South 02°50'59" West 6.84 feet with a central angle of 06°32'24") along the Westerly Boundary Line of said Andersen Acres PUD Plat "A";
thence North 89°06'00" West 37.25 feet;
thence South 00°54'00" West 0.56 feet;
thence North 89°56'00" West 184.02 feet to the Southeast Corner of Lot 15 of Granite Park Subdivision;
Corner of Lot 13 of said Granite Park Subdivision;
thence South 89°06'00" East 184.00 feet;
thence South 00°54'00" West 4.26 feet;
thence East 250.79 feet to the point of beginning.

Contains 160,785 Square Feet or 3.812 Acres and 9 Lots



NAD 83 STATE PLANE COORDINATES

POINT #	NORTHING	EASTING
1	7308364.32	1563747.83
2	7308200.86	1563747.83
3	7308200.86	1563869.99
4	7308180.12	1563870.14
5	7308141.00	1563865.43
6	7308045.33	1563866.13
7	7308038.49	1563865.79
8	7308044.36	1563492.02
9	7308043.80	1563492.01
10	7308044.02	1563307.99
11	7308371.47	1563313.13
12	7308388.58	1563497.04
13	7308364.32	1563497.04
14	7308016.08	1563308.21
15	7308019.97	1563807.72

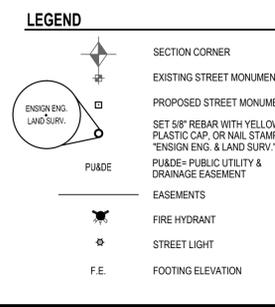


SENSITIVE LAND OVERLAY ZONE NOTES:

- THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE AMERICAN FORK CITY SENSITIVE LAND OVERLAY ZONE ORDINANCE AND ITS LATEST AMENDMENT.
- ALL GROUNDWATER DRAINS WITHIN THIS PROJECT ARE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER ASSOCIATION OR THE PROPERTY OWNER IT SERVES.
- EACH LOT REQUIRES A SITE SPECIFIC SPECIAL INSPECTION BY THE CITY ENGINEER AND THE PROJECT'S GEOTECHNICAL ENGINEER TO EVALUATE ANY POTENTIAL NEGATIVE IMPACTS OF THE GROUNDWATER TABLE AT THE TIME OF ISSUING A BUILDING PERMIT.
- EACH LOT TO CONFORM TO THE PRECISE GRADING SHEET AS APPROVED BY THE ENGINEERING DIVISION AND FILED WITH THE BUILDING DIVISION.
- NO FOOTING, EAVES, WINDOW WELLS OR OTHER IMPROVEMENTS CONNECTED TO STRUCTURES ARE ALLOWED TO BE PLACED WITHIN THE PUBLIC UTILITY EASEMENT.
- THE CONSTRUCTION OF THIS PROJECT SHALL CONFORM TO THE RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT SUBMITTED FOR REVIEW AND APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF COLLAPSIBLE SOILS WITHIN THE BUILDABLE AREA, ROAD IMPROVEMENTS AND UNDERGROUND UTILITIES.
- MINIMUM FOOTING ELEVATIONS OR BASEMENT RESTRICTIONS AS APPROPRIATE.

NOTES:

- HISTORICAL DEPTH OF HIGH WATER TABLE AND ELEVATION OF LOWEST FLOOR SLAB (MINIMUM 3 FEET ABOVE WATER LEVEL MEASURED DURING SPRING SEASON).
- OFF-SET PINS TO BE PLACED ON THE BACK OF THE CURBS AND 8"x18" REBAR WITH THE SURVEYOR'S LICENSE NUMBER CAP TO BE PLACED AT ALL REAR CORNERS PRIOR TO ANY OCCUPANCY.
- BUILDING PERMITS WILL NOT BE ISSUED FOR ANY HOME UNTIL:
 - ASPHALT PAVING IS INSTALLED
 - FIRE HYDRANTS ARE INSTALLED, APPROVED AND CHARGED
 - PARK-STRIP ALONG PUBLIC RIGHT OF WAY TO BE MAINTAINED BY HOME OWNER OR H.O.A.



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	25.00'	29.79'	68°15'54"	N55°25'17"E	28.06'
C2	57.00'	10.66'	10°42'49"	S26°38'44"W	10.64'
C3	57.00'	151.34'	152°07'29"	N71°56'07"W	110.64'

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH

ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC
(SEE SEAL BELOW)

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH

ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC
(SEE SEAL BELOW)

BASIS OF BEARING

THE BASIS OF BEARING IS BETWEEN THE EAST QUARTER CORNER AND THE SOUTHEAST CORNER OF SECTION 12, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, WITH A BEARING OF NORTH 00°25'13" WEST.

FLOOD ZONE DESIGNATION

SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE _____ AS DELINEATED BY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP _____, EFFECTIVE _____.

WATER AND SEWER AUTHORITY APPROVAL

APPROVED THIS _____ DAY OF _____, 20____ BY THE WATER AND SEWER AUTHORITY.

PUBLIC WORKS DEPARTMENT DIRECTOR

ANDERSEN PROPERTY SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,
TOWNSHIP 5 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH

DEVELOPER
G.A.R. PROPERTIES
8966 NORTH 6800 WEST
AMERICAN FORK, UTAH 84003
DAN RICHARDS

PLANNER
BRIEM 34:020:0001

PLANNING COMMISSION CHAIRMAN
ANDERSEN SUBDIVISION

PLANNING COMMISSION MEMBER
NORDSTROM 34:020:0004

PLANNING COMMISSION MEMBER
JORGENSEN 34:424:0018

PLANNING COMMISSION MEMBER
GUINN 34:424:0019

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 34:424:0020

PLANNING COMMISSION MEMBERALLEN 12:071:0018

PLANNING COMMISSION MEMBERASAY 34:424:0021

PLANNING COMMISSION MEMBERCARLSON 40:034:0013

PLANNING COMMISSION MEMBERNIELSON 40:034:0014

PLANNING COMMISSION MEMBERDILLEY 40:034:0015

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0016

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0017

PLANNING COMMISSION MEMBERANDERSEN 40:034:0018

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0019

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0020

PLANNING COMMISSION MEMBERGUINN 40:034:0021

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0022

PLANNING COMMISSION MEMBERALLEN 40:034:0023

PLANNING COMMISSION MEMBERASAY 40:034:0024

PLANNING COMMISSION MEMBERCARLSON 40:034:0025

PLANNING COMMISSION MEMBERNIELSON 40:034:0026

PLANNING COMMISSION MEMBERDILLEY 40:034:0027

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0028

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0029

PLANNING COMMISSION MEMBERANDERSEN 40:034:0030

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0031

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0032

PLANNING COMMISSION MEMBERGUINN 40:034:0033

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0034

PLANNING COMMISSION MEMBERALLEN 40:034:0035

PLANNING COMMISSION MEMBERASAY 40:034:0036

PLANNING COMMISSION MEMBERCARLSON 40:034:0037

PLANNING COMMISSION MEMBERNIELSON 40:034:0038

PLANNING COMMISSION MEMBERDILLEY 40:034:0039

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0040

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0041

PLANNING COMMISSION MEMBERANDERSEN 40:034:0042

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0043

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0044

PLANNING COMMISSION MEMBERGUINN 40:034:0045

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0046

PLANNING COMMISSION MEMBERALLEN 40:034:0047

PLANNING COMMISSION MEMBERASAY 40:034:0048

PLANNING COMMISSION MEMBERCARLSON 40:034:0049

PLANNING COMMISSION MEMBERNIELSON 40:034:0050

PLANNING COMMISSION MEMBERDILLEY 40:034:0051

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0052

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0053

PLANNING COMMISSION MEMBERANDERSEN 40:034:0054

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0055

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0056

PLANNING COMMISSION MEMBERGUINN 40:034:0057

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0058

PLANNING COMMISSION MEMBERALLEN 40:034:0059

PLANNING COMMISSION MEMBERASAY 40:034:0060

PLANNING COMMISSION MEMBERCARLSON 40:034:0061

PLANNING COMMISSION MEMBERNIELSON 40:034:0062

PLANNING COMMISSION MEMBERDILLEY 40:034:0063

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0064

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0065

PLANNING COMMISSION MEMBERANDERSEN 40:034:0066

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0067

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0068

PLANNING COMMISSION MEMBERGUINN 40:034:0069

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0070

PLANNING COMMISSION MEMBERALLEN 40:034:0071

PLANNING COMMISSION MEMBERASAY 40:034:0072

PLANNING COMMISSION MEMBERCARLSON 40:034:0073

PLANNING COMMISSION MEMBERNIELSON 40:034:0074

PLANNING COMMISSION MEMBERDILLEY 40:034:0075

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0076

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0077

PLANNING COMMISSION MEMBERANDERSEN 40:034:0078

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0079

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0080

PLANNING COMMISSION MEMBERGUINN 40:034:0081

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0082

PLANNING COMMISSION MEMBERALLEN 40:034:0083

PLANNING COMMISSION MEMBERASAY 40:034:0084

PLANNING COMMISSION MEMBERCARLSON 40:034:0085

PLANNING COMMISSION MEMBERNIELSON 40:034:0086

PLANNING COMMISSION MEMBERDILLEY 40:034:0087

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0088

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0089

PLANNING COMMISSION MEMBERANDERSEN 40:034:0090

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0091

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0092

PLANNING COMMISSION MEMBERGUINN 40:034:0093

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0094

PLANNING COMMISSION MEMBERALLEN 40:034:0095

PLANNING COMMISSION MEMBERASAY 40:034:0096

PLANNING COMMISSION MEMBERCARLSON 40:034:0097

PLANNING COMMISSION MEMBERNIELSON 40:034:0098

PLANNING COMMISSION MEMBERDILLEY 40:034:0099

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0100

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0101

PLANNING COMMISSION MEMBERANDERSEN 40:034:0102

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0103

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0104

PLANNING COMMISSION MEMBERGUINN 40:034:0105

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0106

PLANNING COMMISSION MEMBERALLEN 40:034:0107

PLANNING COMMISSION MEMBERASAY 40:034:0108

PLANNING COMMISSION MEMBERCARLSON 40:034:0109

PLANNING COMMISSION MEMBERNIELSON 40:034:0110

PLANNING COMMISSION MEMBERDILLEY 40:034:0111

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0112

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0113

PLANNING COMMISSION MEMBERANDERSEN 40:034:0114

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0115

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0116

PLANNING COMMISSION MEMBERGUINN 40:034:0117

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0118

PLANNING COMMISSION MEMBERALLEN 40:034:0119

PLANNING COMMISSION MEMBERASAY 40:034:0120

PLANNING COMMISSION MEMBERCARLSON 40:034:0121

PLANNING COMMISSION MEMBERNIELSON 40:034:0122

PLANNING COMMISSION MEMBERDILLEY 40:034:0123

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0124

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0125

PLANNING COMMISSION MEMBERANDERSEN 40:034:0126

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0127

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0128

PLANNING COMMISSION MEMBERGUINN 40:034:0129

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0130

PLANNING COMMISSION MEMBERALLEN 40:034:0131

PLANNING COMMISSION MEMBERASAY 40:034:0132

PLANNING COMMISSION MEMBERCARLSON 40:034:0133

PLANNING COMMISSION MEMBERNIELSON 40:034:0134

PLANNING COMMISSION MEMBERDILLEY 40:034:0135

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0136

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0137

PLANNING COMMISSION MEMBERANDERSEN 40:034:0138

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0139

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0140

PLANNING COMMISSION MEMBERGUINN 40:034:0141

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0142

PLANNING COMMISSION MEMBERALLEN 40:034:0143

PLANNING COMMISSION MEMBERASAY 40:034:0144

PLANNING COMMISSION MEMBERCARLSON 40:034:0145

PLANNING COMMISSION MEMBERNIELSON 40:034:0146

PLANNING COMMISSION MEMBERDILLEY 40:034:0147

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0148

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0149

PLANNING COMMISSION MEMBERANDERSEN 40:034:0150

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0151

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0152

PLANNING COMMISSION MEMBERGUINN 40:034:0153

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0154

PLANNING COMMISSION MEMBERALLEN 40:034:0155

PLANNING COMMISSION MEMBERASAY 40:034:0156

PLANNING COMMISSION MEMBERCARLSON 40:034:0157

PLANNING COMMISSION MEMBERNIELSON 40:034:0158

PLANNING COMMISSION MEMBERDILLEY 40:034:0159

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0160

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0161

PLANNING COMMISSION MEMBERANDERSEN 40:034:0162

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0163

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0164

PLANNING COMMISSION MEMBERGUINN 40:034:0165

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0166

PLANNING COMMISSION MEMBERALLEN 40:034:0167

PLANNING COMMISSION MEMBERASAY 40:034:0168

PLANNING COMMISSION MEMBERCARLSON 40:034:0169

PLANNING COMMISSION MEMBERNIELSON 40:034:0170

PLANNING COMMISSION MEMBERDILLEY 40:034:0171

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0172

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0173

PLANNING COMMISSION MEMBERANDERSEN 40:034:0174

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0175

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0176

PLANNING COMMISSION MEMBERGUINN 40:034:0177

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0178

PLANNING COMMISSION MEMBERALLEN 40:034:0179

PLANNING COMMISSION MEMBERASAY 40:034:0180

PLANNING COMMISSION MEMBERCARLSON 40:034:0181

PLANNING COMMISSION MEMBERNIELSON 40:034:0182

PLANNING COMMISSION MEMBERDILLEY 40:034:0183

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0184

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0185

PLANNING COMMISSION MEMBERANDERSEN 40:034:0186

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0187

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0188

PLANNING COMMISSION MEMBERGUINN 40:034:0189

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0190

PLANNING COMMISSION MEMBERALLEN 40:034:0191

PLANNING COMMISSION MEMBERASAY 40:034:0192

PLANNING COMMISSION MEMBERCARLSON 40:034:0193

PLANNING COMMISSION MEMBERNIELSON 40:034:0194

PLANNING COMMISSION MEMBERDILLEY 40:034:0195

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0196

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0197

PLANNING COMMISSION MEMBERANDERSEN 40:034:0198

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0199

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0200

PLANNING COMMISSION MEMBERGUINN 40:034:0201

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0202

PLANNING COMMISSION MEMBERALLEN 40:034:0203

PLANNING COMMISSION MEMBERASAY 40:034:0204

PLANNING COMMISSION MEMBERCARLSON 40:034:0205

PLANNING COMMISSION MEMBERNIELSON 40:034:0206

PLANNING COMMISSION MEMBERDILLEY 40:034:0207

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0208

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0209

PLANNING COMMISSION MEMBERANDERSEN 40:034:0210

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0211

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0212

PLANNING COMMISSION MEMBERGUINN 40:034:0213

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0214

PLANNING COMMISSION MEMBERALLEN 40:034:0215

PLANNING COMMISSION MEMBERASAY 40:034:0216

PLANNING COMMISSION MEMBERCARLSON 40:034:0217

PLANNING COMMISSION MEMBERNIELSON 40:034:0218

PLANNING COMMISSION MEMBERDILLEY 40:034:0219

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0220

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0221

PLANNING COMMISSION MEMBERANDERSEN 40:034:0222

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0223

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0224

PLANNING COMMISSION MEMBERGUINN 40:034:0225

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0226

PLANNING COMMISSION MEMBERALLEN 40:034:0227

PLANNING COMMISSION MEMBERASAY 40:034:0228

PLANNING COMMISSION MEMBERCARLSON 40:034:0229

PLANNING COMMISSION MEMBERNIELSON 40:034:0230

PLANNING COMMISSION MEMBERDILLEY 40:034:0231

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0232

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0233

PLANNING COMMISSION MEMBERANDERSEN 40:034:0234

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0235

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0236

PLANNING COMMISSION MEMBERGUINN 40:034:0237

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0238

PLANNING COMMISSION MEMBERALLEN 40:034:0239

PLANNING COMMISSION MEMBERASAY 40:034:0240

PLANNING COMMISSION MEMBERCARLSON 40:034:0241

PLANNING COMMISSION MEMBERNIELSON 40:034:0242

PLANNING COMMISSION MEMBERDILLEY 40:034:0243

PLANNING COMMISSION MEMBERGRANITE PARK 40:034:0244

PLANNING COMMISSION MEMBEREVERGREEN 40:034:0245

PLANNING COMMISSION MEMBERANDERSEN 40:034:0246

PLANNING COMMISSION MEMBERNORDSTROM 40:034:0247

PLANNING COMMISSION MEMBERJORGENSEN 40:034:0248

PLANNING COMMISSION MEMBERGUINN 40:034:0249

PLANNING COMMISSION MEMBERSUNWEST TRUST INC 40:034:0250

PLANNING COMMISSION MEMBERALLEN 40:034:0251

AGENDA TOPICS:

Hearing, review and action on the preliminary plan for the Andersen Subdivision, consisting of nine lots located at approximately 820 East Evergreen Drive, in the R1-9,000 Zone.

Review and action on the final plat of the Andersen Subdivision, consisting of nine lots located at approximately 820 East Evergreen Drive, in the R1-9,000 Zone.

ACTIONS REQUESTED: Approval of the preliminary plan and a recommendation of approval of the final plat.

BACKGROUND INFORMATION			
Location:		820 E. Evergreen Drive	
Applicants:		Ensign Engineering	
Existing Land Use:		Residential	
Proposed Land Use:		Residential	
Surrounding Land Use:	North	Residential	
	South	Residential	
	East	Residential	
	West	Residential	
Existing Zoning:		R1-9,000	
Proposed Zoning:		N/A	
Surrounding Zoning:	North	R1-9,000	
	South	R1-9,000	
	East	R1-9,000	
	West	R1-9,000	
Growth Plan Designation:		Low Density Residential (3 du/ac)	
Zoning within density range?		x	Yes
			No

PROJECT DESCRIPTION: Preliminary plan and final plat of Andersen Subdivision, consisting of nine lots.

Background

Andersen Subdivision was presented to the Planning Commission on October 22, 2014. The Planning Commission tabled the application in order for the developer to revise the

plans to meet City standards regarding lot configuration and subdivision improvements. The developer has redesigned the subdivision to come into substantial compliance with City standards. Andersen Subdivision is a nine (9) lot subdivision, proposed at approximately 820 East Evergreen Drive. The Land Use Plan designates this area as “low density residential”; equating to 3 units per acre. With 9 lots on 3.8 acres, the density of the Andersen Subdivision is 2.4 units per acre; falling within the Land Use Plan designation of “low density residential”.

Three of the lots are proposed to face, and access off of, 300 North. The remainder will have access off of Evergreen Drive. The former flag lot has been eliminated, and road dedication along Evergreen Drive will extend to the limits of the current right-of-way, with a cul de sac on the north side of the Evergreen right-of-way.

In addition, curb, gutter and sidewalk will be installed along the north side of Evergreen Drive and along the south side of 300 North.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Low Density Residential” (3 du/ac). The proposed subdivision is consistent with the Land Use Plan.

Section 17.8.211 of the Development Code

The Planning Commission may act to recommend approval of a final plat upon a finding that:

- a. The final plat conforms with the terms of the preliminary plan approval.

The final plat and preliminary plan are being processed concurrently. The final plat conforms to the preliminary plan and will conform to any terms of the preliminary plan approval.

- b. The final plat complies with all City requirements and standards relating to Subdivisions.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address concerns, if any, at the time of the Planning Commission Meeting.

- d. The estimates of cost of constructing the required improvements are realistic.

Engineering will determine whether the cost estimates of constructing the required improvements are realistic.

- e. The water rights conveyance documents have been provided.

The water rights conveyance, if needed, shall be satisfied prior to plat recordation.

FINDINGS OF FACT/CONDITION OF APPROVAL

After reviewing the application for preliminary and final plat approval, the following findings of fact are offered:

1. The preliminary plan is consistent with the Land Use Plan designation of “Low Density Residential”.
2. The final plat is consistent with the Land Use Plan designation of “Low Density Residential”.
3. The final plat meets Section 17.8.101 (Intent) of Chapter 17.8 (Subdivisions).
4. The final plat meets the criteria as found in Section 17.8.211 of the Development Code.
5. Water rights conveyance, if needed, shall be satisfied prior to final plat recordation.

POTENTIAL MOTIONS

Mr. Chairman, I move that we approve the Andersen Subdivision preliminary plan, with the finding (#1) listed above and subject to any conditions listed in the engineering report.

Mr. Chairman, I move that we recommend approval of the final plat for the Andersen Subdivision, with the findings (#2 through #4) and condition (#5) as outlined above and subject to any conditions listed in the engineering report.

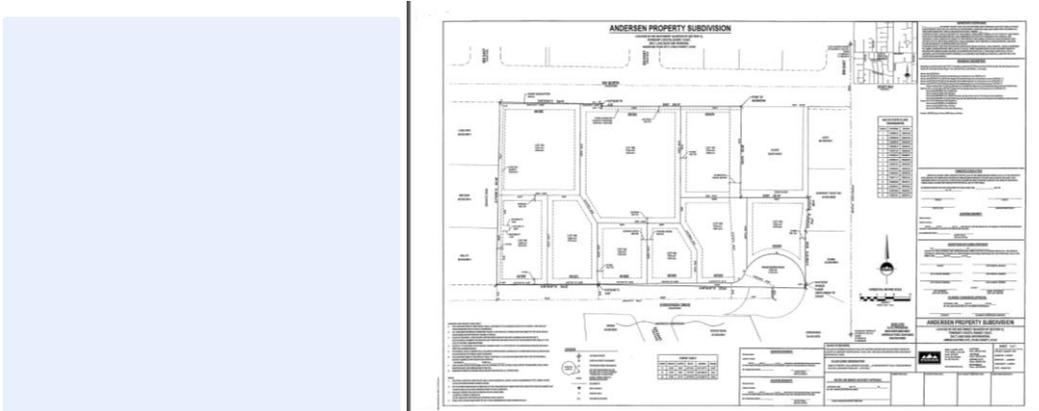
AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 12/17/2014

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: Andersen Property Subdivision
2. Type of Application:
 Subdivision Final Plat Subdivision Preliminary Plan Annexation
 Code Text Amendment General Plan Amendment Zone Change
 Commercial Site Plan Residential Accessory Structure Site Plan
3. Project Address: 820 East Evergreen Drive
4. Developer / Applicant's Name: G.A.R. Properties
5. **Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:
 - A. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. A waiver to the requirement that the existing overhead power lines on 300 North be placed under ground.
 - B. A waiver to the requirements to place landscape planter strips along all proposed improvement frontages. The applicant proposes to use combination curb, gutter and sidewalk with no planter strip.
 - C. A waiver of the standard street widths for both 300 North and Evergreen Drive.
 - D. A waiver of the standard curb and gutter cross section for existing concrete curbs.

7. **Plan Submittal:**



STANDARD CONDITIONS OF APPROVAL

8. **Standard Conditions of Approval:**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

- A. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- B. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
- C. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
- D. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
- E. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
- F. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
- G. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
- H. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
- I. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
- J. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
- K. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
- L. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.

M. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

9. **Plan Modifications Required:**

Subdivision Plat

- A. Boundary Line agreements shall be entered into with properties on the west boundary of the proposed Andersen Property Subdivision to clear title conflicts.
- B. Additions must be made to the Irrigation Diversion Box Detail to include such items as curb and gutter, inlet grates, sidewalk, water gate location and attachment, existing piping and box outlets.

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
DECEMBER 17, 2014

The American Fork Planning Commission met in a regular session on December 17, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Rebecca Staten, Harold Dudley, Eric Franson
Alternate Member: Christine Anderson
Absent Commission Members: Marie Adams, Leonard Hight, Nathan Schellenberg
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: John Abbott, Adam Naylor, Dan Richards, Blake Hanson – T-Mobile, Tyler Stinson, Tony Johns, Sam Penrod

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:02 p.m.)

John Woffinden stated this item and Item #3 will not be addressed. The applicant did not provide any documentation.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

4. Hearing, review and action on the preliminary plan for the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone (7:03 p.m.)

Staff Presentation:

Adam Olsen stated this item was addressed in October. The developer made changes to fully comply with city ordinances. It is a nine-lot subdivision. The Land Use Plan for the area is low density residential and it falls within this category. Three lots access from 300 North and the remainder from Evergreen Drive. Last time there was an issue with the cul-de-sac, which has

now been extended to the City right-of-way and made a full cul-de-sac. The flag lot has been removed. He recommends approval.

Howard Denney stated this is an infill subdivision. The existing subdivision on the west is from the 1950's. Then shortly after that came the subdivision on the south and a subdivision a few years ago on the east. The roads exist today. The applicant has requested some variances to try and meet the previous standards such as widths of roads. The northwest corner on 300 North is the transition to the old subdivision with sidewalk, curb, gutter, and road width. The Engineering Division is supportive of the plan; but to make it work, there are several variances. One is to the requirements to put the existing overhead power lines on 300 North ground. The current Code requires those to be underground. Second is a waiver of the requirement for landscape planter strips. Evergreen Drive currently has combination curb, gutter, and sidewalk with no planter strip. Third is a waiver of the standard street widths on Evergreen Drive and 300 North. The fourth waiver is to the standard curb and gutter cross section for existing concrete curbs on Evergreen Drive, which currently has the low-back, ramped curb. There are some title issues on the west where the developer will do a boundary line agreement with the neighbors. The irrigation box details will need to be worked out to match the existing pipes.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

MOTION: Rebecca Staten - To approve the Andersen Subdivision preliminary plan, with the finding (#1) listed in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The preliminary plan is consistent with the Land Use plan designation of "Low Density Residential".**

Conditions:

- **All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Harold Dudley.

Dan Richards stated there will be an 8-inch water line coming up from 200 North along Evergreen Drive connecting to all the homes on Evergreen Drive. This is for fire protection. The four-inch line will be abandoned. He will ask the City Council for participation on costs.

Yes - Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

5. Review and action on the final plat of the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone

MOTION: Rebecca Staten - To recommend approval of the final plat for the Andersen Subdivision, with the findings (#2 through #4) and condition (#5) as outlined in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The final plat is consistent with the Land Use Plan designation of “Low Density Residential”.**
- **The final Plat meets Section 17.8.101 (Intent) of Chapter 17.8 (Subdivisions).**
- **The final plat meets the criteria as found in Section 17.8.211 of the Development Code.**

Conditions:

- **Water rights conveyance, if needed, shall be satisfied prior to final plat recordation.**
- **All Standard Conditions of Approval and items denoted as “Plan Modification(s) Required” in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Harold Dudley.

Yes -
Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

6. Hearing, review and action on an amended commercial site plan for placement of a roof mounted cellular antenna located at 737 East 1180 South (Morinda) in the GC-2 General Commercial zone (7:16 p.m.)

Staff Presentation:

Adam Olsen reported that T-Mobile proposes an antenna on the Morinda building. Code allows it to be ten feet above the parapet wall and will be colored to match the building. They are proposing to locate an antenna in the building also. This will just be an antenna and not screened. Planning recommends approval.

Howard Denney stated the Engineering Division recommends approval.

PUBLIC HEARING

No comments were made, and the public hearing was closed.



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department Planning

Director Approval *Adrian Oh*

AGENDA ITEM Final plat of IFA American Fork Commercial Subdivision Amended A, consisting of 5 lots, located in the vicinity of 600 North 900 West in the GC-2 General Commercial zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the final plat of IFA American Fork Commercial Subdivision Amended A as stated in the attached minutes of the December 17, 2014 planning commission meeting.

BACKGROUND The city council approved the original 4 lot final plat of IFA American Fork Commercial Center Subdivision on May 13, 2014. The developer has come back since then with a new proposal for a 5 lot subdivision. The new layout enables Autobahn Carwash to occupy the newly reconfigured lot 1. For further analysis please refer to the attached final plat, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as part of this final plat approval.

SUGGESTED MOTION I move to approve the final plat of IFA American Fork Commercial Subdivision Amended A, consisting of 5 lots, located in the vicinity of 600 North 900 West in the GC-2 General Commercial zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat subject to:

- Posting of a performance guarantee to ensure the timely construction of required public improvements.
- All conditions identified in the public record associated with the December 17, 2014 planning commission meeting.

SUPPORTING DOCUMENTS

1. Plat
2. Staff report
3. Planning commission meeting minutes, December 17, 2014
- 4.

AGENDA TOPIC: Review and action of the final plat for IFA American Fork Commercial Subdivision Amended A, consisting of five (5) lots, located in the vicinity of 600 North 900 West.

ACTIONS REQUESTED: A recommendation of approval of the final plat.

BACKGROUND INFORMATION					
Location:		600 North 900 West			
Applicants:		Benchmark Civil			
Existing Land Use:		Agriculture			
Proposed Land Use:		Commercial			
Surrounding Land Use:	North	Residential			
	South	Commercial			
	East	Residential			
	West	Commercial			
Existing Zoning:		GC-2 (Planned Commercial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	R1-9,000 & RA-1			
	South	GC-2 (Planned Commercial)			
	East	R1-9,000			
	West	C-1 (Lehi City Zoning)			
Growth Plan Designation:		Design Commercial			
Zoning within density range?		x	Yes		No

PROJECT DESCRIPTION: Amended final plat of IFA American Fork Commercial Subdivision Amended A, consisting of five (5) lots.

Background

IFA American Fork Commercial Subdivision was originally approved by the City Council on May 13, 2014. The original subdivision was a four (4) lot subdivision, proposed at approximately 600 North 900 West. IFA, in partnership with Benchmark Civil, proposes to amend the plat by adding an additional lot (Lot 5). The newly configured Lot 1 will house the Autobahn Car Wash (see next agenda item). Access will remain off of 900 West, with a shared access for the adjacent commercial development directly to the south. The proposed lots range in size from .678 acres to 3.87 acres. All easements remain in place from the original subdivision. One additional change to the plat relates

to the inclusion of a detention pond for drainage purposes. IFA has been able to obtain the property for the pond area and it is now included as part of Lot 2 (future IFA site).

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Design Commercial”. The proposed subdivision is consistent with the Land Use Plan designation.

FINDING OF FACT/CONDITION OF APPROVAL

After reviewing the application for final plat approval, the following finding is offered for consideration:

1. The final plat is consistent with the Land Use Plan of Low Density Residential.
2. The water rights conveyance, if needed, shall be satisfied prior to plat recordation.

POTENTIAL MOTIONS

Mr. Chairman, I move that we recommend approval of the IFA American Fork Commercial Subdivision Amended A with the finding and condition outlined above and subject to any conditions listed in the engineering report.

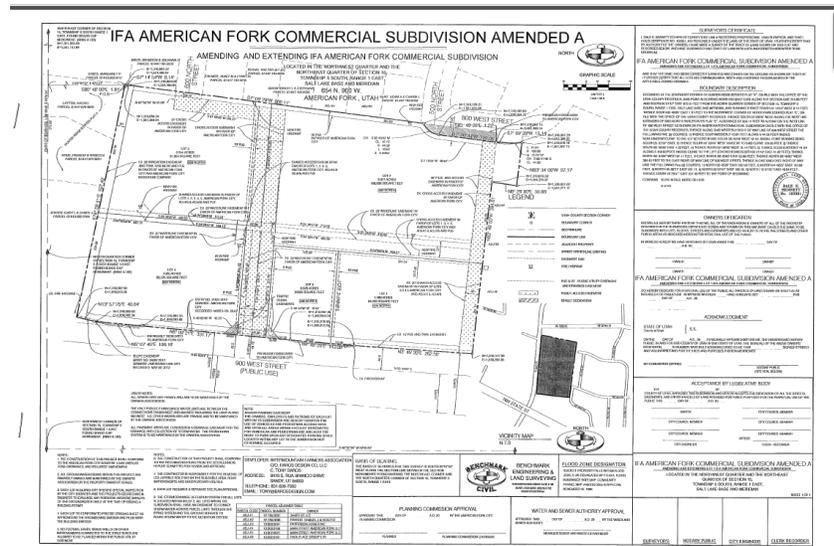
AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 12/17/2014

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: IFA American Fork Commercial Subdivision Amended "A"
2. Type of Application:

<input checked="" type="checkbox"/> Subdivision Final Plat	<input type="checkbox"/> Subdivision Preliminary Plan	<input type="checkbox"/> Annexation
<input type="checkbox"/> Code Text Amendment	<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Commercial Site Plan	<input type="checkbox"/> Residential Accessory Structure Site Plan	
3. Project Address: 600 North 900 West
4. Developer / Applicant's Name: IFA
5. **Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:
 - A. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. N/A
7. **Plan Submittal:**



STANDARD CONDITIONS OF APPROVAL

8. **Standard Conditions of Approval:**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

- A. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- B. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
- C. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
- D. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
- E. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
- F. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
- G. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
- H. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
- I. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
- J. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
- K. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
- L. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
- M. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

9. **Plan Modifications Required:**

Subdivision Plat

- A. Show and label Storm Drain Easement over Storm Drain Pond.
- B. Add two Subdivision Monuments and show their NAD 83 State Plane Coordinates.

Applicant Presentation:

Blake Hanson stated Morinda is a sales account for T-Mobile. Morinda and other buildings in the area are requesting better coverage. The antenna will serve the business park and up the I-15 corridor. It is a big cost to screen the antenna, and there isn't a lot of good looking options. Screening makes it stick out more; they don't do many with screens.

MOTION: Harold Dudley - To recommend approval of the site plan for the placement of a roof mounted cellular antenna located at 737 East 1180 South with the finding listed in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The proposed addition conforms to the criteria as found in Section 17.6.112.C.3 (Roof Mounted Antenna) of the Development Code.**

Conditions:

- **All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/3/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Christine Anderson.

Yes - Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

7. **Review and action on the final plat of IFA American Fork Commercial Subdivision Amended A, consisting of 5 lots, located in the vicinity of 600 North 900 West in the GC-2 General Commercial zone (7:23 p.m.)**

Staff Presentation:

Adam Olsen stated originally the IFA plat was approved in May by the City Council with four lots. This adds a fifth lot by splitting lot 1. A minor change is adding a detention pond on the south side with additional property. The lot line between lots 2 (IFA) and 3 is shifting to the south into the shared access easement. There is a user for the new lot 1, but it needed to be subdivided.

Howard Denney reported that on the final plat a storm drain easement is needed on the new property for the detention pond and two subdivision monuments with their state plane coordinates.

John Woffinden stated the right-in on 900 West by the plasma center was to be removed.

PUBLIC HEARING

John Abbot stated he lives on State Street, and his property backs up to the detention property. He understands that the 8-foot wall will be extended along the back of his property and storage sheds. He would like to request that IFA do an offset of about 15 inches on the wall so he can do maintenance and allow snow to come off his shed. He talked to IFA, and they didn't seem to have a problem with it. The second issue is the storm drain system for the 10 acres is set up so the water off the parking lot goes into the southeast corner of the development into a series of four sumps. The only time it would go into the storm drain is if the sumps filled up and then it would be metered into the storm drain. His concern is he is on a water well. As the water percolates into the ground water, there may be a possibility of contamination. He would like to have reasonable precautions taken to prevent that possibility. His well is 250 feet deep and takes in water at 121 feet down. The critical thing is having clay layers in the sumps and an oil separator. The drilling cores didn't have any information below the 14-foot level. Benchmark Engineering didn't have that information. All of his household water is from this well.

Sam Penrod stated they are disturbing the land with heavy machinery. A stop work order has been imposed, and the fence should be installed Monday. While grading, it seemed very high. There is supposed to be a 14-foot buffer zone. He wants to make sure the fence height isn't 4 feet on the IFA side and 8 feet on the neighborhood side. He wants 8 feet on both sides of the fence.

Howard Denney stated he recollects the fence should be 8 feet on both sides.

Public Hearing closed.

MOTION: Christine Anderson - To recommend approval of the IFA American Fork Commercial Subdivision Amended A with the finding and conditions outlined in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The final plat is consistent with the Land Use Plan of Low Density Residential.**

Conditions:

- **The water rights conveyance, if needed, shall be satisfied prior to plat recordation.**
- **All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**
- **Showing respect for Mr. Abbot's property and well situation.**

Seconded by Rebecca Staten.

Yes - Christine Anderson
Harold Dudley

- 8. Review and action on the commercial site plan for the Autobahn Carwash located at 504 North 900 West in the GC-2 General Commercial zone (7:34 p.m.)

Staff Presentation:

Adam Olsen reported this is on the new lot on the amended IFA subdivision. There are two structures totaling nearly 12,000 square feet, i.e. the wash tunnel/detail area and an office/small café area. Access to the site is provided through the interior IFA travel ways. The access point is to the south as a right-in right-out. As 900 West is further developed, the center median will be extended north. They provided parking and landscaping to meet the requirements of the Code. The trail is now located on 900 West. The small technical issues on the plan will need to be corrected. Planning recommends approval.

Howard Denney stated the Engineering Division recommends approval.

MOTION: Christine Anderson - To recommend approval of the commercial site plan for Autobahn Car Wash, located at 504 North 900 West, in the GC-2 Planned Commercial Zone, with the finding and condition as outlined in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The proposed site plan meets the criteria as found in Section 17.7.601 of the Development Code.**

Conditions:

- **Water rights, if required, shall be satisfied prior to recordation of the amended subdivision plat.**
- **All Standard Conditions of Approval and items denoted as “Plan Modification(s) Required” in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Harold Dudley.

Yes - Christine Anderson
 Harold Dudley
 Rebecca Staten
 John Woffinden

Motion passes.

- 9. Hearing, review and action on an ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels (7:44 p.m.)

Staff Presentation:

ORDINANCE NO.

AN ORDINANCE APPROVING A COMMERCIAL SITE PLAN FOR AUTOBAHN CARWASH AT 504 NORTH 900 WEST, AMERICAN FORK, UTAH

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,

PART I

DEVELOPMENT APPROVED - ZONE MAP AMENDED

- A. The Commercial Site Plan for Autobahn Carwash at 504 North 900 West, American Fork, Utah, as set forth in Attachment A, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II

ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE

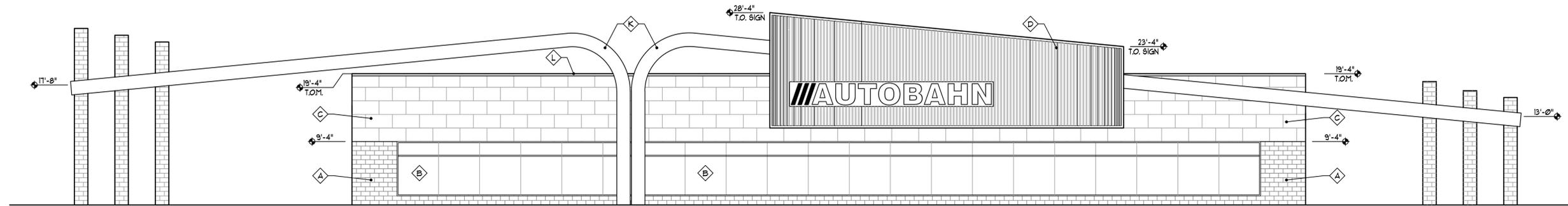
- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 27 DAY OF JANUARY, 2015.

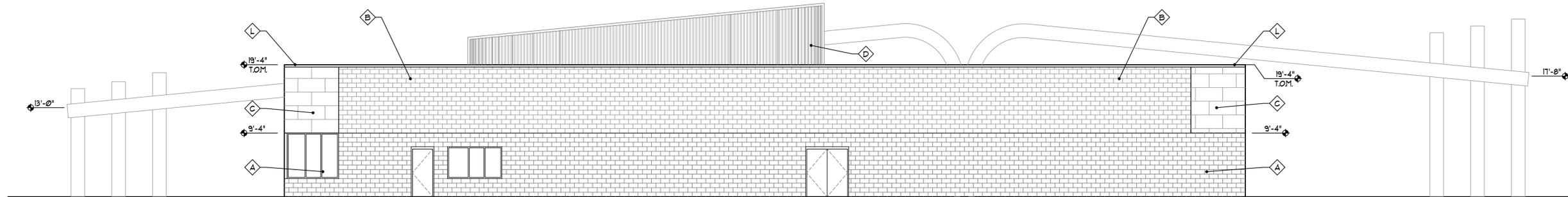
James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder

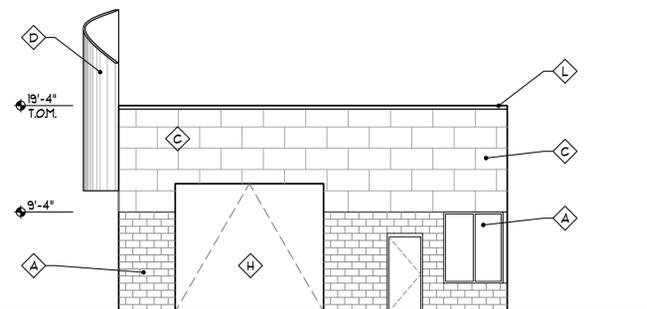


WEST
TUNNEL ELEVATION
SCALE: 1/8"=1'

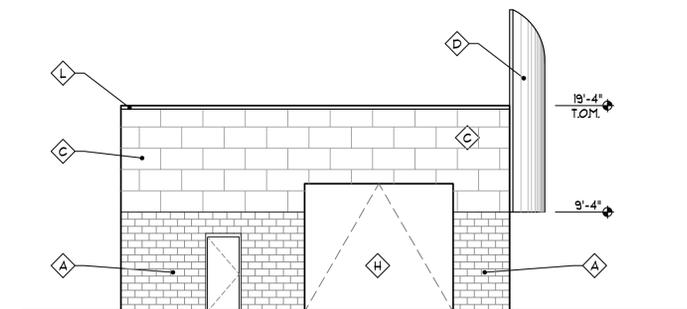


EAST
TUNNEL ELEVATION
SCALE: 1/8"=1'

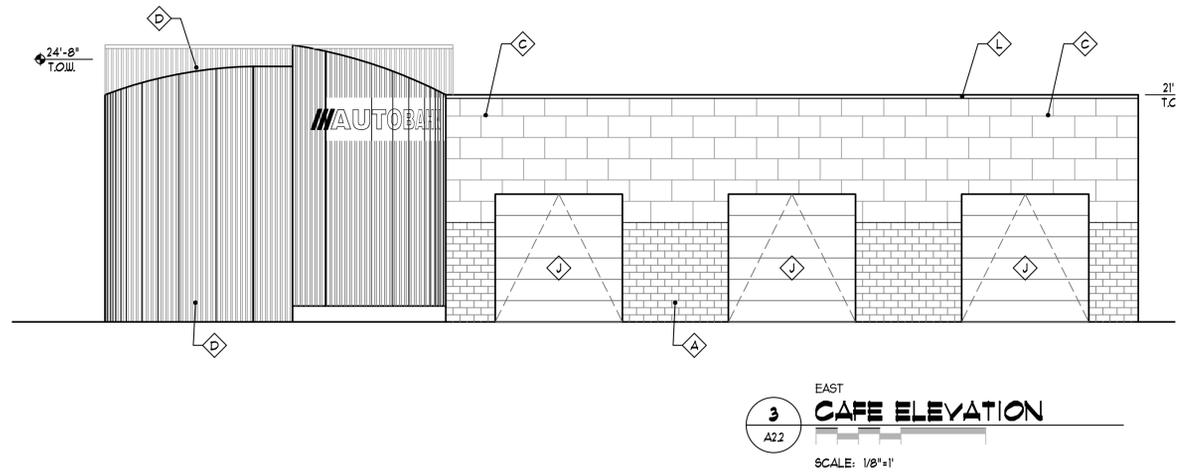
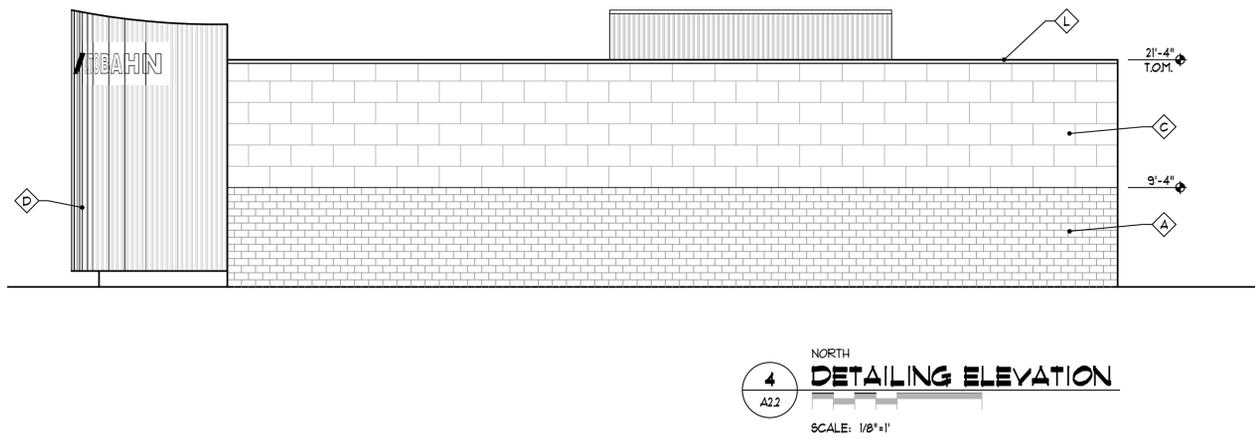
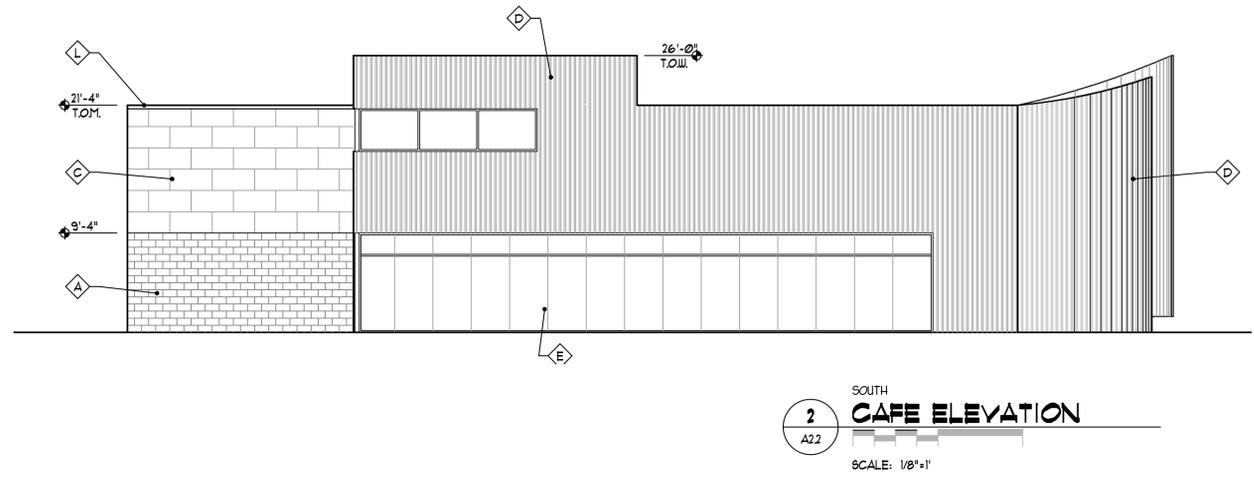
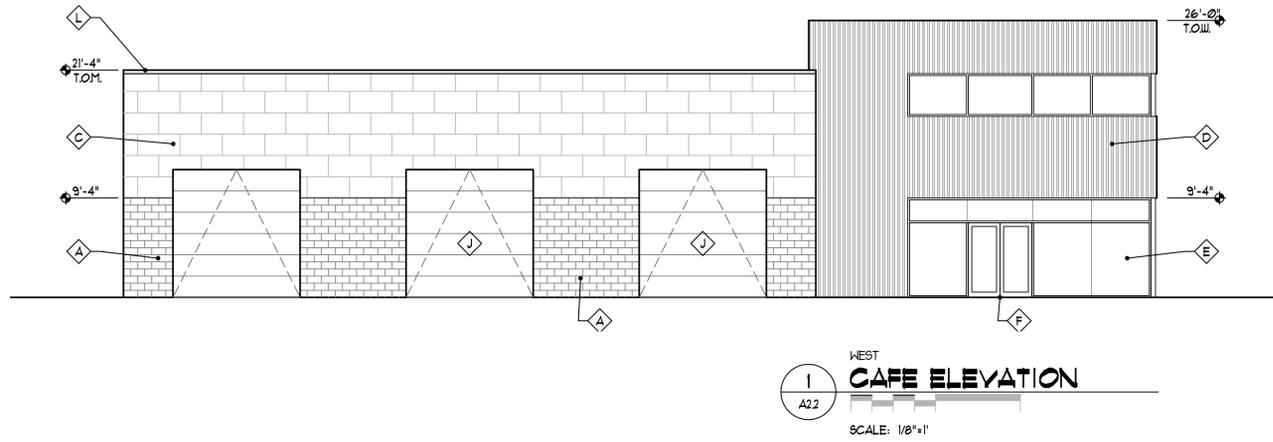
CALLOUT	NOTE
A	8"x8"x16" SPLIT FACE CONCRETE BLOCK - COLOR "A"
B	8"x8"x16" SPLIT FACE CONCRETE BLOCK - COLOR "B"
C	ALUMINUM COMPOSITE PANEL
D	CORRUGATED METAL SIDING COLOR "A" OVER LIGHT GA. STEEL FRAMING
E	1" INSULATED GLASS IN ALUMINUM STOREFRONT SYSTEM
F	MEDIUM STILE ALUMINUM DOOR
G	PAINTED HOLLOW METAL DOOR W/ HOLLOW METAL FRAME - PRIMED AND PAINTED
H	INSULATED STEEL OVERHEAD DOOR - SEE SCHEDULE
J	HIGH SPEED COILING DOOR - SEE SCHEDULE
K	DECORATIVE STEEL TRIM ATTACHED TO FACE OF BUILDING
L	PRE FINISHED METAL CAP
M	6" STEEL PIPE BOLLARD
N	LIGHT FIXTURE #1 - SEE ELECTRICAL SHEETS
P	LIGHT FIXTURE #2 CENTERED ON PANEL 34" AFF.- SEE ELECTRICAL SHEETS
Q	
R	
S	
T	PROVIDE ADDRESS ON BUILDING WITH ARABIC NUMBERS AT LEAST 6" TALL AND HAVING A STROKE OF 1/2" IN COLORS CONTRASTING TO BACKGROUND



SOUTH
TUNNEL ELEVATION
SCALE: 1/8"=1'



NORTH
TUNNEL ELEVATION
SCALE: 1/8"=1'



FINISH SCHEDULE	
CALLOUT	NOTE
A	8"x8"x16" SPLIT FACE CONCRETE BLOCK - COLOR "A"
B	8"x8"x16" SPLIT FACE CONCRETE BLOCK - COLOR "B"
C	ALUMINUM COMPOSITE PANEL
D	CORRUGATED METAL SIDING COLOR "A" OVER LIGHT GA. STEEL FRAMING
E	1" INSULATED GLASS IN ALUMINUM STOREFRONT SYSTEM
F	MEDIUM STYLE ALUMINUM DOOR
G	PAINTED HOLLOW METAL DOOR W/ HOLLOW METAL FRAME - PRIMED AND PAINTED
H	INSULATED STEEL OVERHEAD DOOR - SEE SCHEDULE
J	HIGH SPEED COILING DOOR - SEE SCHEDULE
K	DECORATIVE STEEL TRIM ATTACHED TO FACE OF BUILDING
L	PRE FINISHED METAL CAP
M	6" STEEL PIPE BOLLARD
N	LIGHT FIXTURE #1 - SEE ELECTRICAL SHEETS
P	LIGHT FIXTURE #2 CENTERED ON PANEL 34' AFF. - SEE ELECTRICAL SHEETS
Q	
R	
S	
T	PROVIDE ADDRESS ON BUILDING WITH ARABIC NUMBERS AT LEAST 6" TALL AND HAVING A STROKE OF 1/2" IN COLORS CONTRASTING TO BACKGROUND



1
CR
CONCEPTUAL
PERSPECTIVE
SCALE: 3/32"=1'



2
CR
CONCEPTUAL
PERSPECTIVE
SCALE: 3/32"=1'

PROJECT NUMBER

14-47

REVISIONS

SHEET TITLE

CONCEPT RENDERING

PROJECT/OWNER

AUTOBAHN CAR WASH
X X X

ARCHITECT

NICHOLS • NAYLOR
ARCHITECTS
1155 EAST WILMINGTON AVENUE SUITE 250
SALT LAKE CITY, UTAH 84106 (801) 487-3330

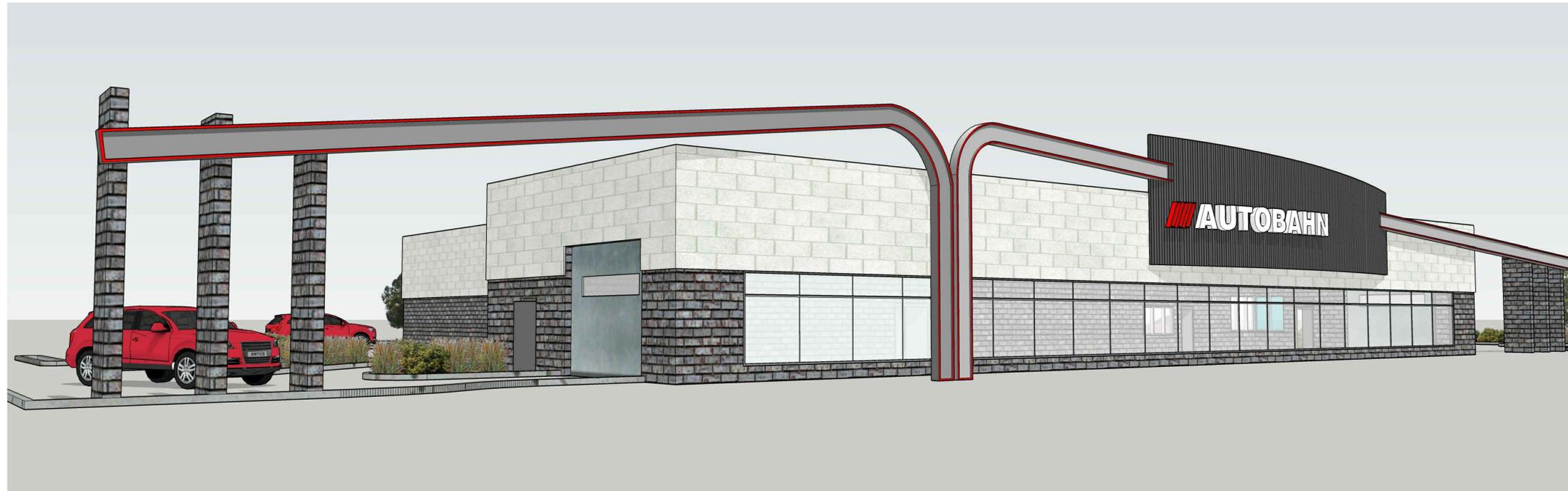


DATE

OCT 21, 2014

SHEET NUMBER

CR2



1
CR
CONCEPTUAL
PERSPECTIVE
SCALE: 3/32"=1'



2
CR
CONCEPTUAL
PERSPECTIVE
SCALE: 3/32"=1'

PROJECT NUMBER

14-47

REVISIONS

--	--

SHEET TITLE

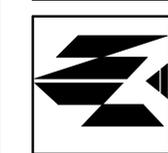
CONCEPT RENDERING

PROJECT/OWNER

AUTOBAHN CAR WASH
X X X

ARCHITECT

NICHOLS • NAYLOR
ARCHITECTS
1155 EAST WILMINGTON AVENUE SUITE 250
SALT LAKE CITY, UTAH 84106 (801) 487-3330



DATE

OCT 21, 2014

SHEET NUMBER

CR



CONCEPTUAL
PERSPECTIVE
 1
 CR
 SCALE: 3/32"=1'



CONCEPTUAL
PERSPECTIVE
 2
 CR
 SCALE: 3/32"=1'

PROJECT NUMBER
 14-47

REVISIONS

SHEET TITLE
 CONCEPT RENDERING

PROJECT/OWNER
 AUTOBAHN CAR WASH
 X X X

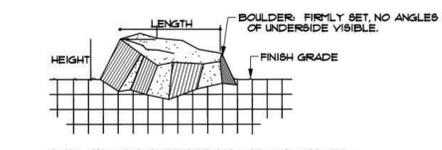
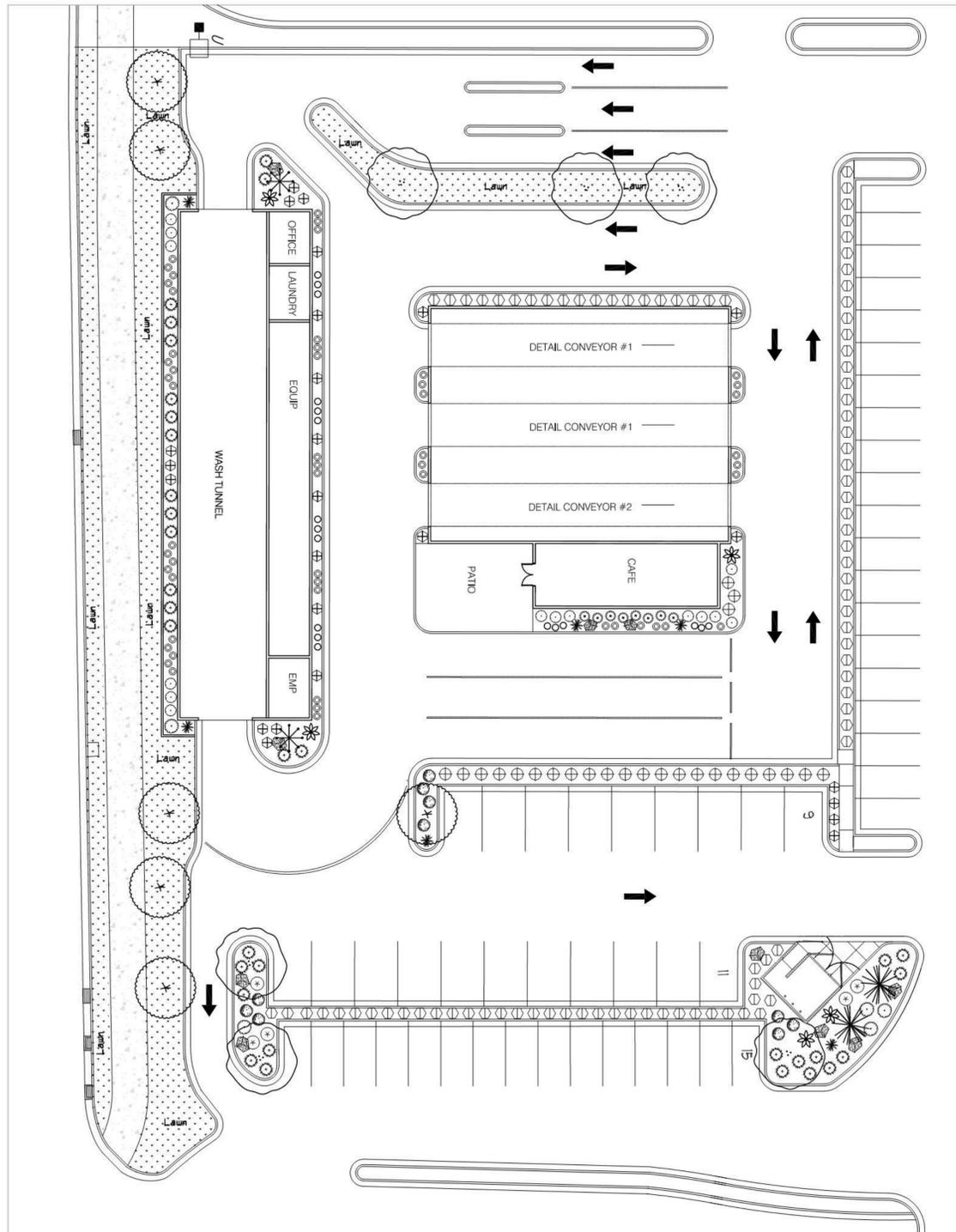
ARCHITECT

NICHOLS • NAYLOR
 ARCHITECTS
 1155 EAST WILMINGTON AVENUE SUITE 250
 SALT LAKE CITY, UTAH 84106 (801) 487-3330



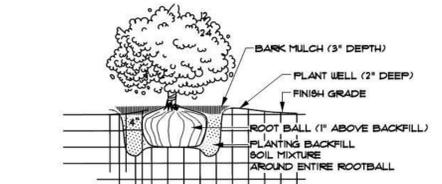
DATE
 OCT 21, 2014

SHEET NUMBER
CR3



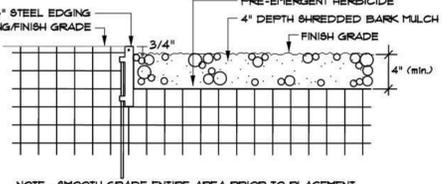
1 Decorative Boulder

L.I.I N.T.S.



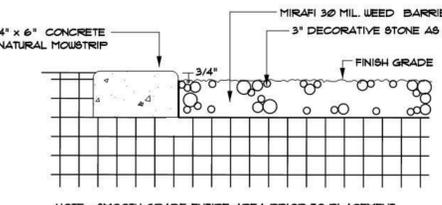
2 Shrub Planting

L.I.I N.T.S.



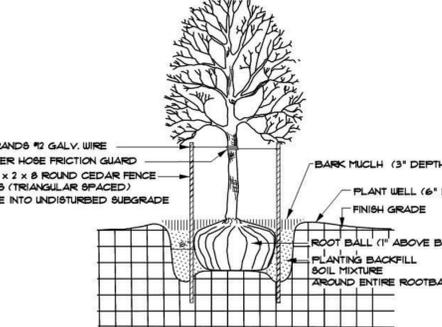
3 Steel Edging / Bark Mulch

L.I.I N.T.S.



4 Concrete Mowstrip

L.I.I N.T.S.



5 Tree Planting

L.I.I N.T.S.

Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
8	(Symbol)	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2" Calliper 10'-12" Height	Matched Heads Straight Trunks
2	(Symbol)	Picea abies 'Cupressina'	Columnar Norway Spruce	6' Min. Height B & B	Full Width Form Specimen
2	(Symbol)	Picea abies 'Green Knight'	Green Knight Spruce	6' Min. Height B & B	Full Width Form Specimen
6	(Symbol)	Fyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Calliper 10'-12" Height	Matched Heads Straight Trunks

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
8	(Symbol)	Buxus microphylla 'Julia Jane'	Julia Jane Boxwood	5 Gallon	15"-18" Height
5	(Symbol)	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	5 Gallon	18"-24" Height
10	(Symbol)	Euonymus alatus 'Compacta'	Dwarf Burning Bush	5 Gallon	18"-24" Height
4	(Symbol)	Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	5 Gallon	18"-24" Height
21	(Symbol)	Rhus aromatica 'Low Grow'	Grow Low Sumac	5 Gallon	18"-24" Spread
4	(Symbol)	Rosa sp. 'Red Knock Out'	Red Knock Out Rose	5 Gallon	18"-24" Height
13	(Symbol)	Spiraea Japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	15"-18" Height
6	(Symbol)	Yucca filamentosa 'Gold Sword'	Golden Sword Yucca	5 Gallon	15"-18" Height

Plant List (ORNAMENTAL GRASSES/PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
102	(Symbol)	Calamagrostis a. 'Foerster'	Foerster Feather Grass	5 Gallon	24"-30" Height
16	(Symbol)	Calamagrostis a. 'Foerster'	Foerster Feather Grass	5 Gallon	24"-30" Height
25	(Symbol)	Panicum virgatum 'Shenandoah'	Switch Grass	2 Gallon	15"-18" Height
22	(Symbol)	Lavandula 'Hidcote Blue'	Hidcote Blue Lavender	1 Gallon	12"-15" Height
53	(Symbol)	Fernisetum a. 'Hamel'	Dwarf Fountain Grass	2 Gallon	12"-15" Height

NOTE: Plant quantities are provided for convenience ONLY!! The contractor shall be responsible for the supply and installation of all plant materials either shown and/or noted on the plans.

Plant Material Quality Note:

All plant materials shall be of number one quality and size for the container specified. All materials of each variety shall be from the same supplier and come from the same stock or group. The Owner and Landscape Architect have the right to reject any and all plant materials not meeting specification or in a healthy condition for the project. The contractor shall secure all plant materials for the project a minimum of 60 days prior to the anticipated installation date. No plant material substitutions will be considered following this 60 day period. All plant materials shall be reviewed and approved prior to shipment to the site.

Planting Notes

- All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas shall receive an 8 inch depth of topsoil. In rock only areas (if used), no topsoil shall be installed. Topsoil material is not expected to be from on-site sources, and shall be imported from approved local sources. All topsoil material used for in for landscape purposes shall be of a sandy loam mix.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer.
- All lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of turf type Fescue, Ryegrass and/or Bluegrass. Prior to installation, all areas shall receive a starter fertilizer applied at the rate recommended by the manufacturer.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
- All trees located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter rod-free ring. All trees shall be staked for wind protection, unless indicated.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over 30 mil. weed barrier fabric. Provide sample for each type of stone specified. The different rock sizes shall be of various colors, but in the "earth tones" to match the building. All stone material shall be of a clean and/or a "washed" product.
- In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stone.
- Landscape maintenance shall be required for a period of 30 days, or two mowings of the lawn, and shall include mowing, weeding, pruning and a minimum of one fertilizations of the lawn.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if required, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

Planting General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below the top of all surrounding walks, curbs, etc.
- The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular spaced.
- The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner decision will be final.
- The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of root balls shall be planted flush with finish grade.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walks, etc.
- The contractor shall maintain all work until all work is complete and accepted by the Owner, but in no case less than 30 days following the date of substantial completion. Maintenance shall include mowing, weeding, pruning, fertilizing, cleaning, insecticides, herbicides, etc. and all other necessary for a complete service of project.
- It shall be the contractors responsibility to ensure that any damaged or disturbed landscaping from the construction of this project is to be returned to as good or better condition.
- It shall be the responsibility of the property owner to maintain all landscaping and irrigation facilities after construction at the end of the contractor warranty period.

Planting Submittal Requirements

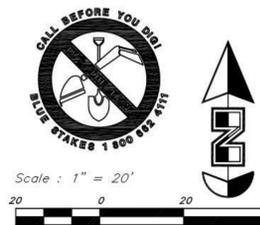
- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as rock/boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

Sub-Grade Requirements

- LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a 4 inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
- SHRUB AREAS : Twelve (12) inches below finish grade. This will allow for the installation of an 8 inch depth of topsoil along with a four inch depth of bark mulch or decorative stone mulch over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.
- ROCK (ONLY) AREAS : Five (5) inches below finish grade. This will allow for a four inch depth of decorative rock over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.

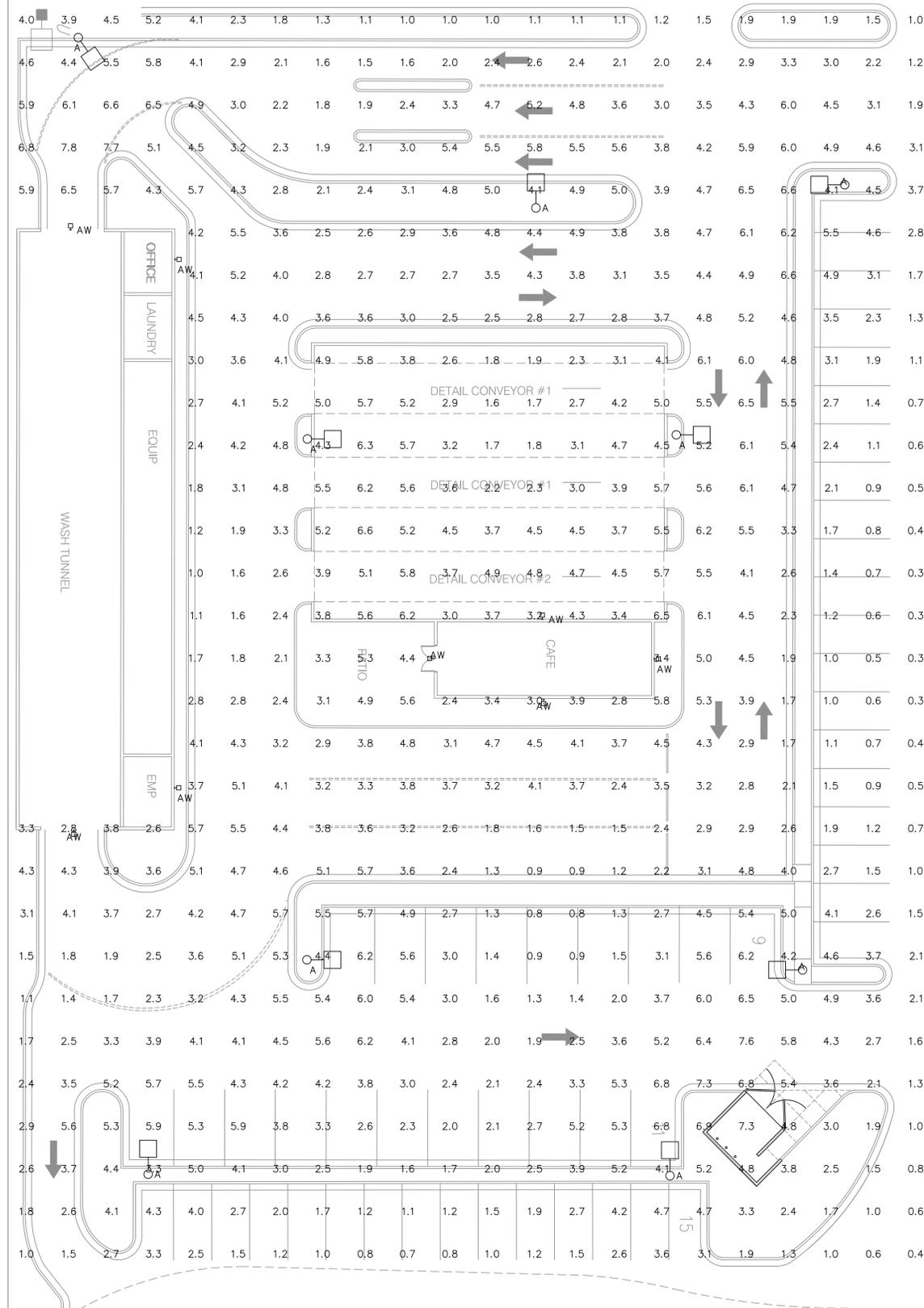
Landscape Architect

rdi Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-641-3114
Fax : 801-355-4544
Email : rddesign@comcast.net



Legend

Symbol	Description	Remarks
(Symbol)	4" x 6" Extruded Mowstrip Natural Concrete Color.	Install In True Lines, Flush To All Concrete Edges & Between All Lawn And Shrub Areas.
(Symbol)	Decorative Landscape Boulder - 3-4" Minimum Size	Provide Landscape Boulder Of Similar Color As Decorative Rock / Provide Sample For Approval.
(Symbol)	New Lawn Area - Use Water Conservative Mixture	Install Water Conservative/Drought Tolerant Mixture Over Specified Topsoil Depth.
(Symbol)	Decorative Stone - Rock 2" Minus Size / Crushed	Install To A Depth Of Four (4) Inches Over "DeWitt" Brand Weed Barrier Fabric.



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MODEL	INPUT WATTS	VOLTS	NOTE 1	NOTE 2	QUANTITY
A		(240) 232W LED	240 LED TYPE III MEDIUM 350mA 4300K EDGE AREA	ELECTRONIC	BETALED, A DIVISION OF RUUD LIGHTING, ARE-EDG-3M-**-24-D-UL-350-43K or BXAL1324D-UH7 (350mA)	263.3	MULTIPLE	TWO HUNDRED FORTY WHITE LIGHT EMITTING DIODES (LEDs), VERTICAL BASE-UP POSITION.	MED ON 20 FT MATCHING POLE	9
AW		(80) 232W LED	80 LED TYPE III MEDIUM 525mA 4000K EDGE SECURITY	ELECTRONIC	BETALED, A DIVISION OF RUUD LIGHTING, SEC-EDG-3M-**-08-D-UL-525-40K or BXSE*308D-UC7 (525mA)	128.9	MULTIPLE	EIGHTY WHITE LIGHT EMITTING DIODES (LEDs), VERTICAL BASE-UP POSITION.	WALL MOUNT ON BUILDING	8

GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOTCANDLES	3.44
MAXIMUM FOOTCANDLES	7.8
MINIMUM FOOTCANDLES	0.3
MINIMUM TO MAXIMUM FC RATIO	0.04
MAXIMUM TO MINIMUM FC RATIO	27.78
AVERAGE TO MINIMUM FC RATIO	12.21

AGENDA TOPIC: Hearing, review and action on a commercial site plan for the Autobahn Car Wash located at 504 North 900 West in the GC-2 (Planned Commercial) Zone.

ACTION REQUESTED: Recommendation of approval to City Council.

BACKGROUND INFORMATION					
Location:		504 North 900 West			
Applicants:		Benchmark Civil			
Existing Land Use:		Agriculture			
Proposed Land Use:		Commercial			
Surrounding Land Use:	North	Agriculture			
	South	Commercial			
	East	Residential			
	West	Commercial			
Existing Zoning:		GC-2 (Planned Commercial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	GC-2 (Planned Commercial)			
	South	GC-2 (Planned Commercial)			
	East	PR-3.0 (Planned Residential)			
	West	C-1 (Lehi City Zoning)			
Growth Plan Designation:		Design Commercial			
Zoning within density range?		x	Yes		No

Background

Autobahn Car Wash proposes to construct a facility on Lot 1 of the IFA Subdivision amended plat. Lot 1 is located at the southwest corner of the subdivision. The proposed facility (two structures) will consist of 11,717 square feet. Access to the site will be provided through an existing access directly south of this site as well as through the internal travel ways within the subdivision and overall commercial site plan.

Sufficient parking is provided, per the Development Code. Landscaping has also been provided per the requirements of the Development Code and the trail along 900 West is illustrated on the site plan. In addition, renderings of the proposed car wash are included in the packet materials.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as "Design Commercial". The site is consistent with the Land Use Plan Designation.

FINDING OF FACT/CONDITION OF APPROVAL

After reviewing the application for site plan approval, the following finding of fact and condition of approval are offered for consideration:

1. The proposed site plan meets the criteria as found in Section 17.7.601 of the Development Code.
2. Water rights, if required, shall be satisfied prior to recordation of the amended subdivision plat.

POTENTIAL MOTION

Mr. Chairman, I move that we recommend approval of the commercial site plan for Autobahn Car Wash, located at 504 North 900 West, in the GC-2 Planned Commercial Zone, with the finding and condition as outlined above and subject to any conditions listed in the engineering report.

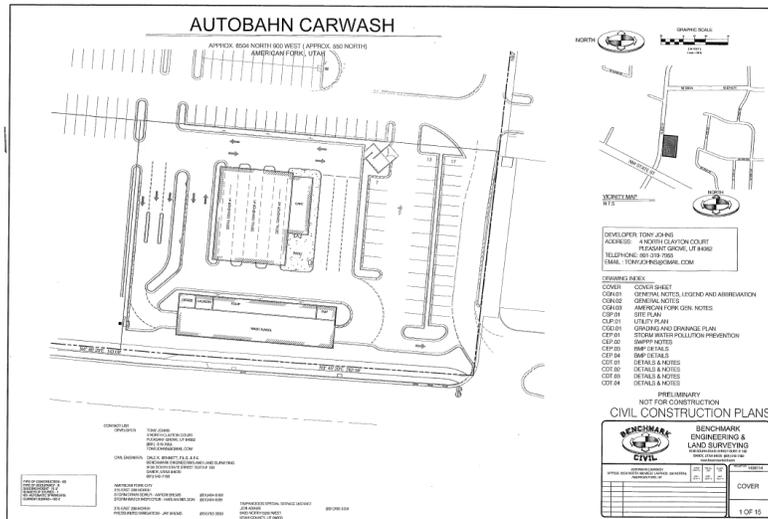
AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 12/17/2014

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: CVS Pharmacy
2. Type of Application:

<input type="checkbox"/> Subdivision Final Plat	<input type="checkbox"/> Subdivision Preliminary Plan	<input type="checkbox"/> Annexation
<input type="checkbox"/> Code Text Amendment	<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Zone Change
<input checked="" type="checkbox"/> Commercial Site Plan	<input type="checkbox"/> Residential Accessory Structure Site Plan	
3. Project Address: 504 North 900 West
4. Developer / Applicant's Name: Tony Jones
5. **Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:
 - A. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. N/A
7. **Plan Submittal:**



STANDARD CONDITIONS OF APPROVAL

8. **Standard Conditions of Approval:**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

- A. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- B. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
- C. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
- D. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
- E. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
- F. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
- G. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
- H. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
- I. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
- J. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
- K. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
- L. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
- M. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

9. **Plan Modifications Required:**

8. Review and action on the commercial site plan for the Autobahn Carwash located at 504 North 900 West in the GC-2 General Commercial zone (7:34 p.m.)

Staff Presentation:

Adam Olsen reported this is on the new lot on the amended IFA subdivision. There are two structures totaling nearly 12,000 square feet, i.e. the wash tunnel/detail area and an office/small café area. Access to the site is provided through the interior IFA travel ways. The access point is to the south as a right-in right-out. As 900 West is further developed, the center median will be extended north. They provided parking and landscaping to meet the requirements of the Code. The trail is now located on 900 West. The small technical issues on the plan will need to be corrected. Planning recommends approval.

Howard Denney stated the Engineering Division recommends approval.

MOTION: Christine Anderson - To recommend approval of the commercial site plan for Autobahn Car Wash, located at 504 North 900 West, in the GC-2 Planned Commercial Zone, with the finding and condition as outlined in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The proposed site plan meets the criteria as found in Section 17.7.601 of the Development Code.**

Conditions:

- **Water rights, if required, shall be satisfied prior to recordation of the amended subdivision plat.**
- **All Standard Conditions of Approval and items denoted as “Plan Modification(s) Required” in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Harold Dudley.

Yes	-	Christine Anderson
		Harold Dudley
		Rebecca Staten
		John Woffinden

Motion passes.

9. Hearing, review and action on an ordinance amending section 17.8.113 of the American Fork City Development Code relating to derelict parcels (7:44 p.m.)

Staff Presentation:



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department _____ Planning _____

Director Approval _____ *Adrian Oh*

AGENDA ITEM Final plat of Ken Garff Subdivision, consisting of three lots and located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone.

SUMMARY RECOMMENDATION At the time of this writing the planning commission has not made a recommendation on this project but it will address the subdivision again at its January 21, 2015 regular session. In previous meetings the project was tabled as stated in the attached planning commission meeting minutes from October, November and December 2014.

BACKGROUND The city administration placed the Ken Garff Subdivision on the January 27, 2015 city council agenda in anticipation of the January 21, 2015 planning commission action. This constrained timeline necessitates that a verbal report on the planning commission action will be delivered to the city council at the January 27, 2015 meeting in lieu of minutes. The applicant proposes a three lot subdivision that is located between 500 East, Auto Mall Drive and 1100 South and will be the site of a future Chevrolet dealership and other uses as shown on the corresponding site plan. For further analysis please refer to the attached final plat, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as part of this final plat approval.

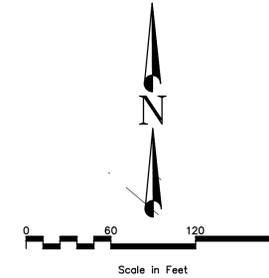
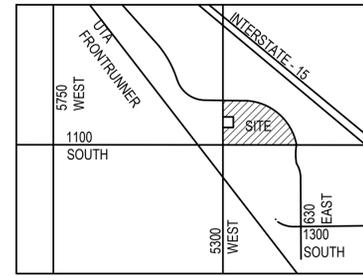
SUGGESTED MOTION I move to approve the final plat of Ken Garff Subdivision, consisting of three lots and located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat subject to:

- Posting of a performance guarantee to ensure the timely construction of required public improvements.
- All conditions identified in the public record associated with the January 21, 2015 planning commission meeting.

SUPPORTING DOCUMENTS

1. Plat
2. Staff report
3. Planning commission meeting minutes, October 8, 2014
4. Planning commission meeting minutes, October 22, 2014
5. Planning commission meeting minutes, November 5, 2014
6. Planning commission meeting minutes, November 19, 2014
7. Planning commission meeting minutes, December 3, 2014
8. Planning commission meeting minutes, December 17, 2014

KEN GARFF SUBDIVISION
(AMENDING SITE 4 OF THE
AMERICAN FORK AUTO MALL SUBDIVISION)
A SUBDIVISION IN AMERICAN FORK CITY
LOCATED IN THE NORTH HALF SECTION 25
TOWNSHIP 5 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, CORY B. NEERING DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED CERTIFICATE NUMBER 5183760.
I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAN IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAN.
I FURTHER CERTIFY THAT EVERY EXISTING RIGHT OF WAY EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAN, AND FOR THAT THIS PLAN IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

Beginning at a point located North 0°05'45" West along section line 622.64 feet and East 1819.23 feet from the West Quarter Corner of Section 25, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence along the arc of a 15.00 foot radius curve to the right 23.30 feet through a central angle of 89°00'36" (chord bears North 44°45'40" East 21.03 feet); thence North 89°15'39" East 474.56 feet; thence along the arc of a 250.00 foot radius curve to the right 178.48 feet through a central angle of 40°54'17" (chord bears South 70°17'13" East 174.71 feet); thence South 49°50'04" East 478.78 feet; thence along the arc of a 250.00 foot radius curve to the right 219.68 feet through a central angle of 50°20'50" (chord bears South 24°39'39" East 212.68 feet); thence South 0°30'46" West 105.66 feet; thence along the arc of a 15.00 foot radius curve to the right 23.34 feet through a central angle of 89°08'28" (chord bears South 45°04'40" West 21.05 feet); thence South 89°39'14" West 443.71 feet; thence North 0°49'58" East 22.16 feet; thence West 643.09 feet; thence North 207.17 feet; thence North 89°44'55" East 128.68 feet; thence North 2°02'10" East 112.97 feet; thence North 89°05'00" West 140.19 feet; thence North 0°15'03" East 318.15 feet to the point of beginning.
Contains: Three(3) Lots
13.915 Acres or
606,164 sq ft

SURVEYOR
(SEE SEAL BELOW)

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

OWNER

OWNER

OWNER

OWNER

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH
ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
(SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

MAYOR

CITY COUNCIL MEMBER

CITY COUNCIL MEMBER

CITY COUNCIL MEMBER

CITY COUNCIL MEMBER
ATTEST:

CLERK - RECORDER
(SEE SEAL BELOW)

APPROVED: _____ CITY ENGINEER (SEE SEAL BELOW)
_____ NOTARY PUBLIC (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE AMERICAN FORK CITY PLANNING COMMISSION.

PLANNER

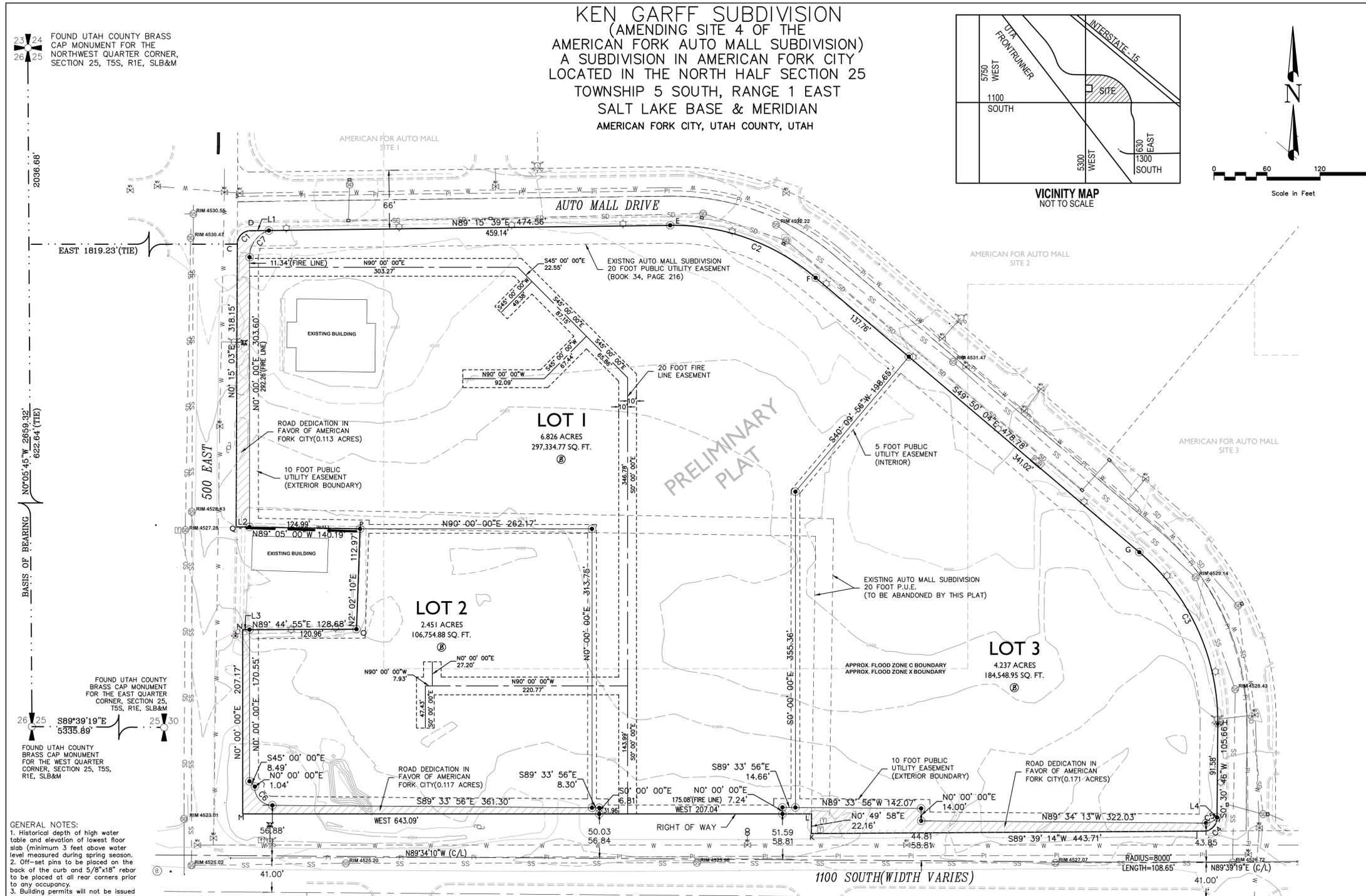
PLANNING COMMISSION CHAIRMAN

KEN GARFF SUBDIVISION
(AMENDING SITE 4 OF THE
AMERICAN FORK AUTO MALL SUBDIVISION)
A SUBDIVISION LOCATED IN THE NORTH HALF OF SECTION 25,
TOWNSHIP 5 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
AMERICAN FORK CITY, UTAH COUNTY, UTAH
SCALE 1" = 80 FEET

LEGEND ENGINEERING, LLC
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
TOLL FREE FAX: 1-866-310-9972
www.legendengineering.com

DEVELOPER CONTACT:
Garff Enterprises
Mick Mackintosh
531 South State Street
Salt Lake City, UT. 84111

SURVEYOR'S SEAL:
NOTARY PUBLIC'S SEAL: _____
CITY ENGINEER'S SEAL: _____
CLERK-RECORDER SEAL: _____



FOUND UTAH COUNTY BRASS CAP MONUMENT FOR THE NORTHWEST QUARTER CORNER, SECTION 25, T5S, R1E, SLB&M

BASIS OF BEARING
N0°05'45"W 2659.82'
622.64' (TIE)

FOUND UTAH COUNTY BRASS CAP MONUMENT FOR THE EAST QUARTER CORNER, SECTION 25, T5S, R1E, SLB&M

FOUND UTAH COUNTY BRASS CAP MONUMENT FOR THE WEST QUARTER CORNER, SECTION 25, T5S, R1E, SLB&M

GENERAL NOTES:
1. Historical depth of high water table and elevation of lowest floor slab (minimum 3 feet above water level measured during spring season.
2. Off-set pins to be placed on the back of the curb and 5/8"x18" rebar to be placed at all rear corners prior to any occupancy.
3. Building permits will not be issued for any home until:
• Asphalt paving is installed.
• Fire hydrants are installed, approved and charged.
Park-strip along public right of way to be maintained by home owner or H.O.A.
4. All lots within this subdivision will share access over and across all other lots and their entrances for ingress and egress.

UTILITY NOTES
1. Culinary water, secondary water, sewer, and storm water facilities within this site plan are considered private and the DEVELOPER is responsible to ensure proper construction, replacement, repair, operation, and maintenance according to American Fork City and State of Utah standards. Owner acknowledges the right of the City to inspect, and test these facilities and make necessary repairs and or other actions when the Owner fails to do so. The development ownership will be charged for any cost incurred by the City. Culinary water facilities are considered part of the City's public water system for the purposes of testing and reporting as required by the State of Utah as set forth in section R309 of the Utah Administrative Code and all other codes and laws of the State. Utility easements dedicated to American Fork City access in the event of failure to perform by the Owner. For more information see also separately recorded agreement where applicable.

SENSITIVE LANDS OVERLAY ZONE NOTES
1. The construction of this project shall conform to the American Fork City Sensitive Land Overlay Zone Ordinance and its latest amendment.
2. All groundwater drains within this project are privately owned and maintained by the Home Owner Association or the property owner it serves.
3. Each lot requires a site specific special inspection by the City Engineer and the project's geotechnical engineer to evaluate any potential negative impacts of the groundwater table at the time of issuing a Building Permit.
4. Each lot to conform to the Precise Grading Sheet as approved by the Engineering Division and filed with the Building Division.
5. No footing, eaves, window wells or other improvements connected to structures are allowed to be placed within the Public Utility Easement.
6. The construction of this project shall conform to the recommendations from the geotechnical report submitted for review and approval.
7. The contractor is responsible for the removal of collapsible soils within the buildable area, road improvements and underground utilities.

SOILS REPORT

Number	Northing	Easting
A	7298275.8800	1559049.2700
B	7300934.5000	1559044.7800
C	7298845.2712	1560866.9383
D	7298860.1958	1560881.7395
E	7298866.3236	1561356.1037
F	7298807.4174	1561520.5251
G	7298498.7360	1561886.2873
H	7298305.5319	1561975.0009
I	7298199.9182	1561974.0574
J	7298185.0554	1561959.1537
K	7298182.3686	1561515.5939
L	7298204.5008	1561515.9153
M	7298204.4898	1560873.0399
N	7298411.5766	1560873.0321
O	7298412.1431	1561001.6685
P	7298524.9952	1561005.6790
Q	7298527.2347	1560865.5486

WATER AND SEWER AUTHORITY APPROVAL

Curve #	Length	Radius	Delta	CHORD BEARING	CHORD LENGTH	Line #	Length	Direction
C1	23.30'	15.00'	89° 00' 36"	S44° 45' 40"W	21.03'	L1	20.86'	N89° 15' 14"E
C2	178.48'	250.00'	40° 54' 17"	S70° 17' 13"E	174.71'	L2	15.20'	S89° 08' 10"E
C3	219.68'	250.00'	50° 20' 50"	S24° 39' 39"E	212.68'	L3	7.72'	N89° 38' 44"E
C4	23.34'	15.00'	89° 09' 28"	S45° 04' 40"W	21.05'	L4	0.70'	N0° 35' 17"E
C5	14.60'	15.00'	55° 45' 14"	N62° 33' 11"E	14.03'			
C6	31.26'	20.00'	89° 33' 56"	S44° 46' 58"E	28.18'			
C7	39.69'	31.50'	72° 11' 01"	S36° 05' 31"W	37.11'			

LEGEND

- SET REBAR AND CAP MARKED "LEGEND ENGINEERING"
- TELEPHONE PEDESTAL
- WATER VALVE
- POWER POLE
- FIRE HYDRANT
- LIGHT POLE
- POWER JUNCTION BOX
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- COMMUNICATION MANHOLE
- NO BASEMENTS ALLOWED
- BOUNDARY LINE
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- EXISTING IRRIGATION
- SECTION LINE

FLOOD ZONE DESIGNATION

SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE C AND X AS DELINEATED BY F.E.M.A. FLOOD INSURANCE RATE MAPS NO. 4955170120-B, EFFECTIVE JULY 17, 2002 AND NO. 490152005-B EFFECTIVE NOVEMBER 24, 1980.

BASIS OF BEARING

THE BASIS OF BEARINGS WAS ESTABLISHED AS NORTH 00°05'45" WEST BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST CORNER OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN.

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE WATER AND SEWER AUTHORITY.

PUBLIC WORKS DEPARTMENT DIRECTOR

AGENDA TOPIC: Review and action on the final plat for the Ken Garff Subdivision consisting of three lots, located at 500 East Auto Mall Drive in the GC-2 (Planned Commercial) Zone.

ACTION REQUESTED: A recommendation on the final plat.

BACKGROUND INFORMATION					
Location:		500 East Auto Mall Drive			
Applicants:		Ken Garff Chevrolet			
Existing Land Use:		Vacant			
Proposed Land Use:		Commercial			
Surrounding Land Use:	North	Commercial			
	South	Commercial			
	East	Commercial			
	West	Commercial			
Existing Zoning:		GC-2 (Planned Commercial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	GC-2 (Planned Commercial)			
	South	PI-1 (Planned Industrial)			
	East	GC-2 (Planned Commercial)			
	West	Residential Agriculture 5 (Utah County)			
Land Use Plan Designation:		Design Commercial			
Zoning within Growth Plan?		x	Yes		No

Background

Ken Garff Subdivision proposes to subdivide the property east of 500 East, north of 1100 South and south and west of Auto Mall Drive into three (3) lots. The property is approximately 14 acres and the lots range in size from 2.4 acres to 6.8 acres. The site plan, previously discussed, will occupy Lots 1 and 2. Lot 3 will remain undeveloped at this time.

The Planning Commission, at their 10/22/14 meeting, expressed a desire to see this return as a three (3) lot subdivision, combining what was previously identified as “Lot 3” into “Lot 1”. As discussed in the site plan, this has been done. Former Lot 3, which was the parking area, is no longer a stand-alone lot, but has been absorbed into Lot 1.

Consistency with the Land Use Plan

The Land Use Plan designates this area as “Design Commercial”. The proposed subdivision is consistent with this designation.

Section 17.8.211 of the Development Code

The Planning Commission may act to recommend approval of a final plat upon a finding that:

- a. The final plat conforms with the terms of the preliminary plan approval.

The final plat is being processed concurrently with the preliminary plan.

- b. The final plat complies with all City requirements and standards relating to subdivisions.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address any concerns of the subdivision at the time of the Planning Commission Meeting.

- d. The estimates of cost of constructing the required improvements are realistic.

Engineering will determine whether the cost estimates of constructing the required improvements are realistic.

- e. The water rights conveyance documents have been provided.

The water rights conveyance shall be satisfied prior to plat recordation.

FINDING OF FACT/CONDITION OF APPROVAL

After reviewing the application for final plat approval, the following finding of fact and condition of approval are offered for consideration:

1. The final plat meets the findings as found in Section 17.8.211 of the Development Code.
2. Water rights conveyance shall be satisfied prior to final plat recordation.

POTENTIAL MOTION

Mr. Chairman, I move that we recommend approval of the final plat of the Ken Garff Subdivision with the finding and condition as outlined in the staff report and subject to any conditions listed in the engineering report.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

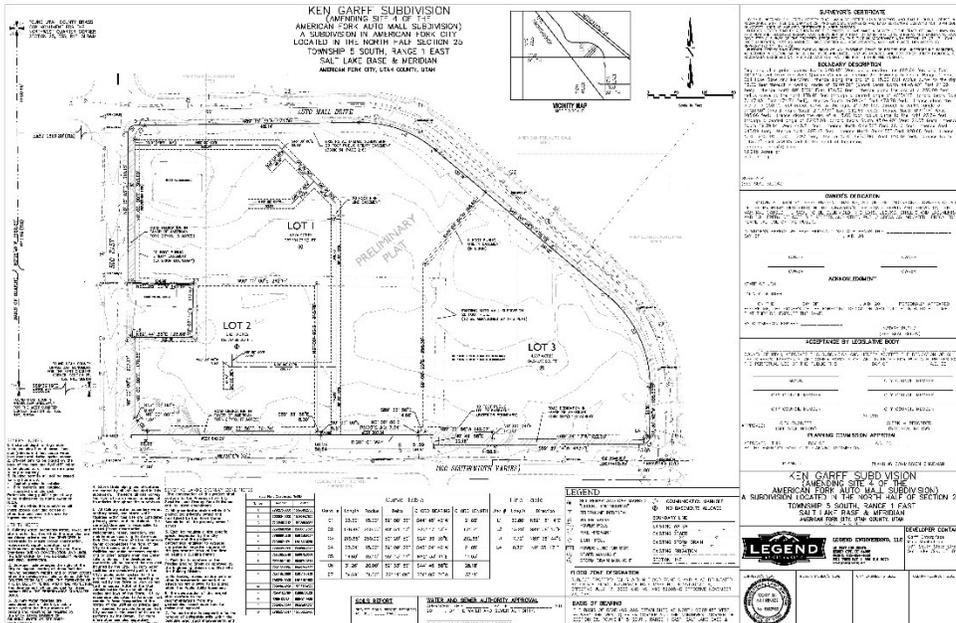
Planning Commission Meeting Date: 1/21/2015

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: Ken Garff Chevrolet
2. Type of Application:
 - Subdivision Final Plat Subdivision Preliminary Plan Annexation
 - Code Text Amendment General Plan Amendment Zone Change
 - Commercial Site Plan Residential Accessory Structure Site Plan
3. Project Address: 500 East Auto Mall Drive
4. Developer / Applicant's Name: Garrit Timmerman
5. **Engineering Division Recommendation:** The Engineering Division recommends DENIAL of the proposed development with the following findings:
 - A. All Standard Conditions and comments addressed in the several previous Technical Review Comments have not been addressed to conformance of several standards and elements of the City General Plans.
 - B. Nonconformance to the Access Management Standards and principles of the City.
 - C. Nonconformance to the Transportation Element of the City General Plan.
 - D. Nonconformance to the Walkways and Bikeways Element of the City General Plan.
 - E. Nonconformance to the Landscaping Element of the City General Plan.
 - F. Nonconformance to the City provided Traffic Study and Bike Plans.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. City Access Management Standards. The owner wishes a waiver to the spacing standards of driveways and spacing requirements of driveways from intersections, "based on current dealership and auto body operation requirements to make the vehicular circulation flows work for these projects." (Note: More driveways are requested than would be allowed if the Access Management Standards were followed.)
 - B. City Transportation Element of the General Plan, City Walkways and Bikeways Element of the General Plan and City Landscaping Element of the General Plan.

1. 500 East. The owner wishes a waiver of the required Right of Way widths for Arterial Streets with Bike Lanes
 2. 1100 South. The owner wishes a waiver of the required Right of Way widths for Major Collector Streets with Buffered Bike Lanes and Side Path.
 3. Auto Mall Drive. The owner wishes a waiver of the required Right of Way widths for Major Collector Streets with Bike Lanes.
- C. The City Provided Traffic Study. The owner wishes a waiver from the recommendations of the City Transportation Element of the General Plan and the City provided Traffic study. The owner wish a waiver of the requirement to widen the street right of way at major intersections. “Based on current dealership and Auto Body operations requirements to make the site and parking requirements work for these projects, the owner is seeking a variance (waiver) request so that the right hand turn lane pockets are not installed. The added real estate required for the right hand turn lane pockets creates an undue hardship for the developer to bear. In addition, the owner has engaged a 3rd party traffic consultant to review the City provided traffic study and bike lane study (which was issued to the developer on Sept 18, 2014) and provide further analysis on requirements needed for this project.” The Owner provide Traffic Study is provided as part of the packet information.

7. **Plan Submittal:**



STANDARD CONDITIONS OF APPROVAL

8. Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

- A. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- B. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
- C. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
- D. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
- E. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
- F. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
- G. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
- H. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
- I. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
- J. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
- K. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
- L. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
- M. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
OCTOBER 8, 2014

The American Fork Planning Commission met in a regular session on October 8, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Harold Dudley
Absent Commission Members: Eric Franson, Rebecca Staten
Alternate Member: Leonard Hight
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Andy Spencer, City Engineer
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: Dee Hansen, Gerrit Timmerman, Mick MacKintosh, Kordel Braley,
Lindzi Bell, Lonny Reed, Bruce Frandsen

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

John Woffinden reported that Geoff Dupaix has resigned for the Planning Commission because of school and work. Leonard Hight will become a full member of the Commission, which will be finalized at the City Council meeting next Tuesday. Another person will also be appointed by the Mayor. Leonard Hight was recognized as a voting member.

2. Hearing, review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

Staff Presentation:

Adam Olsen stated this area is currently vacant but has been cleared recently. The proposal is to locate an auto complex for Ken Garff. There is an accompanying subdivision to follow this item. The site plan will be built on three of the lots, and the east lot has no proposed use at this time. Landscaping plans are included, and the numbers are met per the Development Code. It is important for dealerships to have a visible frontage so staff has worked with them on the placement of trees. There has been some issues with engineering regarding adherence to the City's Access Management Manual. The points of access as proposed don't comport with that Manual. The 1100 South is also a corridor on the trails plan. The cross section illustrates the trail and a bike lane along 1100 South and a bike lane on 500 East. The trail on 1100 South is one of the prime trail sections and is an important link in the City. The applicants are asking the Commission to recommend approval of a variance request to the Access Management Manual along with other engineering items. The Commission has three options, recommend approval with the variances with some findings, recommend denial with findings, or table the application to return to the Commission. There are three potential motions presented for these three possibilities.

Howard Denney stated the engineering staff believes this is a very appropriate use for the location in the area. However, staff is tasked with following standards, specifications, general plans, etc. He will present the standards that are not in conformance. The Commission will need to weigh the requirements with the request. Three technical reviews have been completed beginning with a list of 46 engineering items. This is now down to a handful that are mainly associated with transportation or access. In summary the applicant requests to waive in the Access Management Standards the spacing between driveways and the spacing between intersections and driveways. They have asked for three variances associated with the three roads. A waiver on 500 East of the required right-of-way width for arterial streets with bike lanes. They are proposing a 98-foot cross section. The transportation element cross sections along with the bike lane would normally be between 127 feet and 131 feet. On 1100 South, they are asking for a waiver in the width of the major cross section for a collector road with buffered bike lanes and side path. They are proposing a 90-foot cross section where the requirement is 114 feet to 130 feet. One conflict here is the City approved the Roderick development about a year ago and set the substandard to what the cross sections. It does not have the 8-foot planter strip, and the sidewalk is only five feet. Staff analyzed the rough, half-street width on this development. The applicant is requesting 49 feet where typically it is the 56.5 feet on a half street. Auto Mall Drive exists today with curb, gutter, sidewalk, and a planter strip at a width of 66 feet. The Transportation Element cross section would require a 99-foot to 105-foot cross section. As this development proceeded, the City paid for and conducted a traffic study. The owner is desirous to waive elements of the Transportation Element of the General Plan and the City provide a traffic study that requires the widening of the road for right-turn pockets at intersections. They would like it to be straight. These are the principle items. If the Commission desires to recommend this plan, these waivers need to be acknowledged.

Andy Spencer stated this is really down to the roadway improvements, specifically the intersection treatments. In the future, there will be a connection with the Vineyard Connector from the south, which is arterial off a six-lane roadway to a freeway interchange. This will be very significant. This will be a very congested area along with the improvements. He reviewed the West Main Street Interchange. There is a diverging diamond interchange. Then to the east about two-thirds of a block, there is a right-turn entry into Target and then Kawakami Drive, which is signalized. Roughly another block to the east, there is a major signalized intersection that involves the confluence of the Pioneer Crossing traffic, the interchange traffic, and Main/State Street traffic. Remember the distances and the types of traffic coming into this location. Back to the Ken Garff location, vision turning Main Street sideways, the Auto Mall Drive intersection is a little farther than the Kawakami Drive intersection but very similar in distance off of the interchange. Additionally in roughly the same distance off the Auto Mall Drive intersection, there is a major confluence of an east/west collector and the future Vineyard Connector traffic very closely paralleling like the State/Main Street intersection. Further compounding matters are the railroad tracks, which are only a couple hundred feet off the 500 East interchange. Then on the east is an overpass creating limited site conditions. Staff informed the applicant of these similar parallels and heightened conditions. The City hired a traffic report to plan the intersections and cross sections appropriately. In addition, Mountainland Association of Governments paid for specific bike lane plans to be designed for the area. It has been quite a process to get here for the City and the applicant. All of these studies were done to support the Transportation Master Plan. Today we find ourselves at odds over the improvements that are in

the studies that the applicant is requesting to not build. It has not been suggested by staff that the applicant bear the entire cost of those improvements, but it has been suggested that those improvements be planned for the future. The proposed use is appropriate. The staff asks the Commission's consideration in either tabling or denying the site to allow the issues to be worked out. Staff feels if it just moves forward, the public then has to step in and spend substantial monies to remedy a very traffic congested area. It needs to be planned right and built for the future. All the items Mr. Denney reviewed that they are requesting are accurate.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Applicant Presentation:

Gerrit Timmerman stated they are excited to be here. The Garff's have owned this property for a long time and are now able to see the possibilities for the site. They have been working with City officials for many months. They are down to about 3 or 4 sticking points that he feels are minor in nature. In the automotive industry, they are dealing with three circles of influence. One is the manufacturing factories; this will be a Chevrolet dealership. Chevrolet has very specific criteria as it relates to their site planning, layouts, traffic flows, and how the adjacent building work. The site access points are in direct response to some of the factory requirements, traffic flows, how customers enter, and service. Another circle of influence is the Ken Garff business. They have been doing automotive for decades and know what works. The third influence is working hand in hand with the City to meet City standards or the general intent of those standards. One point mentioned is the City paid to have a traffic study conducted, which they appreciate. They solicited a traffic engineer to understand the study. Their traffic engineer reviewed, analyzed, and critiqued the study and came up with several observations. Based on the current site plan, their team finds that the plan does not create a safety issue. Based on traffic volumes both present and future, the variable were a four-year projection, the study does not substantiate or justify the turn lane pockets or access point the City is requiring. They hope the Commission will approve this project and recommend it fully to the City Council. They are hoping to work through the approval and get into construction by late summer early fall of 2015. They want to keep to the schedule that Ken Garff and the factories have negotiated to meet the business operation needs.

Kordel Braley with Hales Engineering stated he agrees with Andy Spencer on planning for future roads and safe access management. Hales Engineering is the consultant that helped prepare the access management guidelines. He understands that although planning for the ideal situations there are times when there is a need for variances. They would not request a variance if there were a safety or traffic concern. They have done some analysis and feel comfortable with these variances. They acknowledge that they have not had the opportunity to discuss and compare their results with the City. Their request to the Commission is in the interest of scheduling. They are very close to achieving solutions, and the best course of action is to keep it moving along with whatever appropriate conditions in the motion. In overview, 500 East won't be as busy as Main Street. Main Street is a large, busy road with 20 to 30 thousand trips. From the City's Transportation Master Plan, 500 East is projecting only 11 to 15 thousand trips per day near this site so this isn't a good comparison. The trip generation from the City's own study is really not very large at 150 trips per hours. The Target access in the area on Main Street is at 1,000 trips per hour. These are some of the high points. The accesses are good enough for this type of road and type of volume. They look forward to sitting down with Andy Spencer and the City's

consultant and looking at these items to achieve the spirit of the Access Management Manual. Lot 4 has 3-4 entrances and the use there is unknown. It may be possible to combine one or two of the entrances. Once the use is known, he could speak to it. Also variances are written in the manual and are part of the process.

Commission Discussion:

John Woffinden feels the accesses on 500 East need to be limited. The Gene Harvey dealership further up on 500 East only has one access and seems to function just fine. He would like to know if they can guarantee that traffic will not back up onto the interchange over the freeway because the queues for the right-hand turns have been removed. The Commission just had a controversy on 900 West close to 700 North where a right turn wasn't allowed. If the Commission allows them to do something against the Transportation Plan, the Commission is supposed to be equal to all. He feels this should be tabled to work with staff and get the fine details ironed out. It may be justified from their point of view but not from the City's point of view. The Commission is here for the safety and welfare of the City. It also seems like a conflict of interest that Mr. Braley wrote the manual and is now asking to go against what was written.

Harold Dudley questioned if there is a section on variances and who grants those variances.

Andy Spencer stated there is a section stating the applicant is to submit to the City Engineer in writing their reasons with their studies to consider why their request for a variance should be granted. At this point that has not been submitted. They have requested not to meet it, but with no reasons why. They have done some traffic studies that he hasn't seen, and he hasn't seen a formal variance application. It has also been represented by the applicant that their needs for variances are due to circumstances beyond their own control. In staff's view, short of one office building on the site, they are in control of the balance of the site. It is a clean slate; nothing has been constructed. To say they don't want to meet it because of circumstances that are already in place, is why we are at odds. There may be a need to consider an item or two, but short of that it is a clean slate. As of yet staff has not received the formal variance application with supporting data. The City has a standard for a reason, and this is what they should have to plan adequately for this corridor.

Nathan Schellenberg stated the developer has less constraints than almost anywhere else in the City for this type of development. If the standards are not required here, then where. The standards might as well be thrown out. The buffer distance on the bike lane and the planter strip need to be met here, or they won't be met anywhere. This is the easiest place to meet it, and the last place to grant a variance. He really likes this development in this area. It's a great fit. The City went through a whole public process on the Transportation Element of the General Plan. It might as well be thrown in the trash if variances like this are going to be granted. If some elements of the Transportation Plan don't make sense, then the Plan should be amended. If the Plan makes sense, it should be followed.

Gerrit Timmerman stated this site is an island and is surrounded by pre-existing conditions on all sides. The Auto Mall Drive side has existing curb, gutter, and sidewalk. If the full right-of-way is followed, they would impede the island considerably to the point they would impact the ability to successfully meet the factory requirements and business operations of the dealership. Similarly along 500 East, there are large transmission power lines on the west side of the street. Because of

that, the City is not going to allow a center line on 500 East to be granted to give equal and fair right-of-way requirements to the neighbors to the west. Originally it was presented that the Garff's would have to bear fully the right-of-way requirement, which is not fair and equal expectation. Similarly with the office building, they are meeting most of the right-of-way requirements. On 1100 South, the Roderick development is a substandard development where now the full right-of-way is left to bear on the Garff side. This is not as cut and dry as the picture is being painted. Given their schedule constraints, they would prefer a motion of denial, but not to table. He would prefer a recommendation of approval with conditions in that the applicant and staff work out a middle ground that can be successfully presented to the City Council.

Andy Spencer stated since the Roderick development the standard has changed. The buffered bike lanes, the Transportation Master Plan, and eight-foot park strips, have been adopted. While certain constraints have placed more of the right-of-way burden of 500 East on the Garff side, staff has always represented there would be appropriate compensation per the City's ordinances to them. They have also been to the City asking for incentives. The City Council controls the answers to those questions on participation, but their request has been made for participation. There is a lot of ability here, and staff is working to find a middle ground. Staff and the applicant aren't seeing eye to eye on the bicycle and pedestrian treatments at the intersections, the need to provide the turning movements and flaring at the intersections, and the access points. On 1100 South, it is a clean slate where they are in control of the lot lines and drive isles. The city has a manual that was prepared to give guidance on how to make good decisions in these cases. The study was done to give better answers and to plan correctly. Staff does not look at this plan and say we did the best we could. Staff feels this should be tabled to plan and meet the standards.

John Woffinden stated if the Commission denies the project, the Commission loses control. If it is tabled so staff can work out the details, it comes back to the Commission where the Commission has control.

Adam Olsen stated that a recommendation of approval with conditions that the staff work out becomes subjective as to what is appropriate. They can say this is appropriate for us so therefore we meet the intent of the Commission and can go to Council. It's a gray area. If the Commission recommends denial, the Commission can give its findings for denial. If the Commission tables it, then staff will work with the applicant and bring it back.

Nathan Schellenberg stated it is the Commission's job to review and make a recommendation to the City Council. He is not comfortable advocating this to the staff. If it is denied by the Commission and then by the Council, they have lost even more time. If it is tabled here, then they may only lose two weeks.

MOTION: Nathan Schellenberg - To table to the next meeting the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in order for the site plan to come into compliance with the Access Management Manual and the Transportation Element of the General Plan except for in instances where the applicant can show the need for a variance with more specifics. Seconded by Harold Dudley.

Yes - Marie Adams
Harold Dudley

Leonard Hight
Nathan Schellenberg
John Woffinden Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (8:07 p.m.)

MOTION: Marie Adams - To table the final plat of Ken Garff Subdivision with the finding that the commercial site plan was tabled in the previous motion. Seconded by Harold Dudley.

Yes - Marie Adams
Harold Dudley
Leonard Hight
Nathan Schellenberg
John Woffinden Motion passes.

Harold Dudley excused.

4. Hearing, review and action on an amendment to section 17.7.602.B.7 of the American Fork City Development Code related to residential dwelling units in the SC-1 Planned Shopping Center zone (8:09 p.m.)

Staff Presentation:

Adam Olsen stated this brings this section into compliance with other sections of the Development Code dealing with multi-family developments in other zones. It requires that residential uses comply with the City's parking standards and that one of the required parking spaces be covered and designated for a specific unit. This is basically a housekeeping item. He asked the Commission if they want to take this one step further and require the parking space to be secured. He would work on a definition of secured whether that meant enclosed or the parking lot is gated. If the Commission would like to make it secured, he would bring the other sections before the Commission to make those sections compliant. He has looked at similar cities. In Lehi, they have required not only covered but enclosed. Developments want to attract the class A tenants, which want the secured as well.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Commission Discussion:

Marie Adams would like to discuss adding secured to these sections in the Development Code.

MOTION: Marie Adams - To recommend approval of the proposed code text amendment to Section 17.7.602.B.7 of the American Fork City Development Code, related to residential dwelling units in the SC-1 Zone. Seconded by Leonard Hight.

Yes - Marie Adams
Leonard Hight

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
OCTOBER 22, 2014

The American Fork Planning Commission met in a regular session on October 22, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Harold Dudley, Eric Franson, Rebecca Staten
Absent Commission Members: Nathan Schellenberg
Alternate Member: Leonard Hight
Adam Olsen, Senior Planner (7:40 p.m.)
Wendelin Knobloch, Associate Planner
Andy Spencer, City Engineer
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Aaron Brems, Sewer/Storm Water Division Superintendent
Others: Sandra Newman, Dee Newman, Gerrit Timmerman, Ryan Hales, Peggy Dilley, Robin Tincher, Melissa Brooks, Juel Belmont, John Belmont, Sidney Boyle, Adam Boyle, William Farley, Teresa Farley, Isaac Stewart, Jonathan Johnson, Pearl Bown

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Leonard Hight was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

Staff Presentation:

Wendelin Knobloch stated at the last Planning Commission meeting this item was tabled. Since then several meetings have been held with the developer and representatives. There have been several resubmittals with the last resubmittal about 1.5 hours ago. There are two options, which can stand on their own.

John Woffinden stated he is not very happy with the plans being submitted at the last minute. The Commission has not had time to review the plans.

Applicant Presentation:

Gerrit Timmerman stated since the last Planning Commission meeting, they have met multiple times with staff. They have gone back and forth on different ideas and considerations. He would like to begin with Option 1 and review the items they have come to an agreement with a couple of differences and sticking points. At the top left at the intersection of 500 East and Auto Mall

Drive, all of the bike lane and bike lane transitions requested by the City have been incorporated. Across the street on Auto Mall Drive, the sidewalk will become wider to accommodate the bike lane transition. They also provided formal bike lanes within Auto Mall Drive through striping. As Auto Mall Drive intersects 1100 South, the bike lane transition is incorporated back onto the sidewalk. Coming across 1100 South, the access points have been adjusted in collaboration with the City. The second access point in has been deemed to be a right-in and right-out. Landscaping along 1100 South is eight feet with 10 feet of bike trail and five feet of landscape buffer. Proceeding to the west on 1100 South, there is a 12-foot turn pocket, which is the full 300 feet requested by the City as well as the bike lane transition on 1100 South. The first access on Lot 2 on 500 East is a full access, which has been widened. In their opinion, they feel they are meeting the expectation of the City as far as landscape, bike lane, and right-of-way. The only sticking point on this option is the right-in/right-out access on 1100 South. There are still some concerns on the City part that this could be eliminated completely. Based on traffic studies by third party consultants, the traffic engineering data and studies have shown that the access points on this option do not pose any life-safety issue or concern. Their hope is to really focus on this option. The second exhibit is Option 1 highlighting the landscape, shared access path, and bike lanes in a colored fashion. The landscape shown in green on Lots 1, 2 and 3 not only meet but exceed the landscape requirements. The ordinance requirement is 10%. In the Monday meeting with City staff, there was concern about the third access point on 1100 South. It was requested that the applicant eliminated this access point to maximize full access for the neighboring site. In coordination with the owners, they are comfortable eliminating this access if the City would reduce some of the landscape perimeter buffers on 1100 South, 500 East, and Auto Mall Drive. The key differences on Option 2 are highlighted in blue text. The fourth access on 1100 South has been eliminated. The five-foot landscape buffer has been reduced to three feet. The 14-foot landscape buffer on 500 East has been reduced to 8 feet. The 14-foot buffer on Auto Mall Drive has been reduced to 8 feet. Even with the reductions, the Landscape Ordinance is not only being met but exceeded on all lots. This is evidence of a lot of work over the last couple of weeks. The 500 East bike lane is 6-feet wide with a two-foot bike lane buffer on asphalt.

Staff Presentation:

Wendelin Knobloch stated the there are two landscaping standards, i.e. a standalone landscape ordinance and the zoning ordinances often have a separate standard. The zoning standard for this area is what they have met. The actual Landscape Ordinance has not been met. In earlier conversations, the City had already backed off a little bit because the Landscaping Ordinance requires 14-foot buffers around the project adjacent to a public street. The 10% standard according to the zoning requirements has been met but the Landscape Ordinance has not been met. This option cuts the landscaping down by 6 feet in many areas and in one area by two feet as compared to an earlier option.

Howard Denney stated what has been presented appears to be a concept plan with two options. There are still negotiations as to which option. On the agenda tonight is the approval of a final site plan and final subdivision plat. He's not sure if the Commission has the information to act affirmatively on the subdivision plat or site plan. For example, between the two plans there are either three lots or four lots. This affects the final subdivision plat. There is also a proposal different from the subdivision plat to put different dedications of the streets in. This also make a revision of the subdivision plat. The plan profiles don't reflect either option at this point in time.

Neither does the site plan, the final plat, or the plans and profiles. He is not sure what ability the Commission has to respond but could negotiate on Option 1 or 2. He doesn't believe the action to pass can be taken without the documents in front of the Commission.

John Woffinden agrees, this is no more than a concept plan. There is no utility plan, drainage plan, or grading plan for the Commission to make a decision. This is still a wish list. On Auto Mall Drive it shows a future access. Either built it or take it off. Future means it can change down the road. This is not a commercial site plan but just a concept plan. It has changed considerably in the last three days. The Commission can't even vote on it and bind the City. Also, he has not seen the letter for the Army Corp of Engineers on the wetlands.

Gerrit Timmerman stated two weeks ago the request was to go back and work with staff. They knew timing wise they wouldn't be able to update all the plans. Their hope today was to come to an agreement on one of these options, make the changes, and proceed to City Council on November 11. If the expectation was they would agree on a site plan and make all the revisions to the engineering drawings, this was not made clear to their team.

Andy Spencer clarified that the access point on the West meets the passing requirements in the Access Management Manual. All other access points as proposed are variances from the Manual. The request from the applicant is that those accesses be given a variance as shown.

Commission Discussion:

Eric Franson stated the Commission obviously doesn't have the information to act and make a final decision. The discussion is about which option is agreeable. The attempt to eliminate one of the access points in negotiating a reduction in the landscape buffer, in his opinion, is not enough. You're requesting variances not only on access points but now you're requesting variances on landscaping. The effort to negotiate and give up something to get something, doesn't cut it. If asking for variances, the Commission has to take it very seriously when deviating from code or manuals. In his opinion, this just doesn't work. He is opposed to both options.

Harold Dudley stated the Commission weighs heavily on staff's opinion and would like to know where staff sits on the variance.

Andy Spencer stated the instruction received from the Commission was to try to work something out. What has been represented to staff is that the middle access on 1100 South is to be used solely for stocking full of cars. This area is in support of the dealership and a minimally used access with a gate. Staff's response was if this access is in support of the dealership and minimally used, then make this lot part of the dealership as one lot. As a separate lot, it can be converted to another use in the future. As part of the dealership, this access will remain in the foreseeable future a lesser used access. Then the customers will use the front door, and the back door is to bring in the stock. The right-in/right-out for a lot that has no determined use at this point is very problematic. Staff doesn't see the purpose of an additional access on 1100 South for a uses that are unknown. Their traffic consultants have not modeled the two eastern accesses because the use is unknown. Their modeling of the center access is based on the back door access for the dealership. The two eastern accesses have not had any modeling yet. If Lot 3, Option 1, is going to have an access on 1100 South, the best place is the midpoint between 630

East and the full-movement access on the south approved with the Roderick project. This is the point of least conflict because it is the farthest away from both conflict points. As a compromise to provide some access, it seemed reasonable. Staff doesn't know what that demand will be right now. The other item asked that hasn't been represented is staff requested the southern access on 500 East have an island shadowed in the future for a right-in/right-out, if needed. The current modeling as completed by their consultants, which is a micro-simulation, says if the numbers stick it should operate okay. As Kordel Braley with Hales Engineering quoted at the last meeting, there is a lot of uncertainty in projection and we do the best we can. Staff recommends the island be shadowed in the event it be determined in the future that there be no claim by loss because all parties came in knowing that it may be a right-in/right-out if traffic conditions demand. The City would make the determination on when to install the median based on increase accidents or problematic congestion issues. Basically the access conditions worked out on Option 2 represent a middle ground for transportation elements. The proposal between the landscape and the access conditions was not covered in the meetings and was brought up last minute by the applicant. The Commission will need to determine if there is a link between those or not.

Eric Franson stated he can see the logic between the access points. He does not believe there should be a compromise on the access points and the landscaping. The compromise on the access points is already a variance and giving ground. The landscaping should be maintained in addition to the compromise to the access points.

Rebecca Staten agrees that the landscaping should not be tied to the accesses. It appears the landscaping has already been reduced from 14 to 8 feet, which is almost a 50 % reduction.

Gerrit Timmerman stated the use of the southwest corner is an auto body service. It is separate and distinct; it stands alone from the dealership. The west entrance on 1100 South is strictly for employee and tow truck access. No customers. It will be gated. The gates will be open during business hours. Main customer buying a vehicle access from Auto Mall Drive from the north. The secondary customer access for service is on 500 East to the west. They have all the engineering complete from what was submitted previously. Between these two options, they are interested in what the Commission feels is a common ground. Is there an agreeable option or do they continue working?

Eric Franson stated access points as outlined by the City Engineer with the landscaping that was agreed upon previously would be his recommendation. The details can be reworked. He does agree with the shadowed median.

Rebecca Staten stated she doesn't like to reduce landscape. She does like the combining of lots 2 and 3 to one lot in Option 2. It gives more assurance that Lot 3 in Option 1 will retain its use as indicated and the entrance will have minimal use.

Wendelin Knobloch stated Option 1 is actually close enough in landscaping that in past discussions with the developer the City felt it could give a little and still be okay. The City has given on the landscaping. Judging by the letter of the law, it doesn't quite comply.

MOTION: Eric Franson – To table in order for the applicant to have time to prepare all the information. Seconded by Rebecca Staten.

Rebecca Staten reviewed that the Commission is looking to retain the landscaping from Option 1, three lots as shown on Option 2, the shadowing on 500 East near the south access, and the right-in/right-out eliminated.

Yes	-	Marie Adams Eric Franson Leonard Hight Rebecca Staten John Woffinden	
No	-	Harold Dudley	Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:45 p.m.)

MOTION: Eric Franson – To table. Seconded by Rebecca Staten.

Yes	-	Marie Adams Eric Franson Leonard Hight Rebecca Staten John Woffinden	
No	-	Harold Dudley	Motion passes.

Harold Dudley states he doesn't want to send a message that the Commission accepts things that are not complete. He does feel much of the concern about the infrastructure can be done by engineering. He feels the Commission puts a lot of burden on staff by bringing things back to Planning Commission that could be moved to City Council. It would help expedite the best plan.

Gerrit Timmerman stated he knows with the motion made by the Commission, and he wants to be clear, this is not what the applicant or owner really intends to do based on operations. What has been described as emotion, doesn't meet the operation requirements. He recognizes this will be a difference, but the American Fork City Access Management Plan gives the applicant an opportunity to make a formal variance request, which they have done. He is just stating their intent is not to meet what the Commission has made a motion for the applicant to follow. Just knowing the temperament of the owner and standpoint of the owner, it is not the intent of the owner to meet the request of the Planning Commission. The access specifically. Option 1 will be the final site plan. They have solicited traffic engineering studies that show why those accesses are fine and should work fine based on the variance criteria given in access management. To combine those lots and loose an access point, puts undue hardship on the owner and the applicant. He doesn't know that it is a fair expectation of the Planning Commission to put that on the applicant and owner.

John Woffinden stated you had the traffic survey done by a firm. Now that same firm is coming back saying they don't want to abide by what they wrote in the first place. To him that is a conflict of interest. You had your point; this is his point.

4. Hearing, review and action on the preliminary plan for the Andersen Property Subdivision consisting of nine lots located in the area of 820 East Evergreen Drive (7:50 p.m.)

Staff Presentation:

Adam Olsen stated this is a proposed nine-lot subdivision with about 2.5 units per acre. The Land Use Plan shows this in the low density with three units per acre. Lots 101, 105, and 106 are proposed to access off 300 North. Lot 102 is a flag lot, which is not allowed per the Development Code. The Development Code states, *each lot within the subdivision shall conform to the lot dimension requirements and comply with the lot design standards applicable within the zone district*. The reason it doesn't comply is because the minimum lot width is 90 feet, which is measured at the front setback line from the street. The applicant could argue because of the plat recorded in 1950 as Granite Park Subdivision, he has three lots, which are Lots 101, 102, and 103. The difference is there was a street called Peter Street along the front of those lots. The City vacated Peter Street in 2007 at the request of the property owner. The Utah County Recorder's Office doesn't recognize those as three parcels any longer, just one parcel. The discrepancy on the title report calls it out as three lots, but the title report shows one parcel for a number of years. Staff is not opposed to three lots if they are the original lots that meet the Development Code with street access. Staff would be in support of rededicating Peter Street. Lot 109 is currently and largely made up of city right-of-way from Evergreen Drive. The applicant is requesting that a portion of Evergreen Drive be vacated. Staff recommends that this right-of-way remain in place because of utility issues.

Aaron Brems stated years ago the City purchased a couple of combo trucks to maintain the sewer and storm drain lines. To do this job, the City needs access to the lines. He prefers a paved road as close to the manhole to get the needed equipment in to maintain and televisive the lines. Wastewater comes from 20 to 30 homes from 900 East to 300 North and then west to this line and ties to Evergreen Drive. It is a problem and large liability if the City can't access these manholes or utilities. The trucks are a dump truck with a debris can using high velocity water to shoot upstream to the manhole and bring back debris. The City has a great maintenance program with five years without a sewer backup or claim. The truck is about 65 to 75 thousand pounds. Backhoes and other equipment may be needed also in the area for repairs.

Howard Denney stated in the engineering report, there are problems with Lot 102 being a flag lot and Lot 109 requires the vacation of right-of-way needed to maintain City infrastructure. Also an eight-inch water line is proposed to go through Lots 108, 107, and 106, which is a concern because utility lines should be in public streets. The plan proposed will realign the sewer line. The final plat has many deficiencies such as missing state plane coordinates, missing easements, problems with water lines/sewer lines, and no letter from the American Fork Irrigation Company. The applicant is requesting a waiver of items, i.e. flag lot, vacating a public right-of-way for an additional lot, not requiring roadway installation, allowing utilities in nonstandard locations, requirements to cul-de-sac standards, and final plat standards.

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
NOVEMBER 5, 2014

The American Fork Planning Commission met in a regular session on November 5, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Leonard Hight
Rebecca Staten
Absent Commission Members: Harold Dudley, Eric Franson, Christine Anderson
- Alternate
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Kim E. Holindrake, Public Works Administrative Assistant
Others: George Wilson, Karen Roberts, Kent Roberts, Taylor Billings, Spencer Quain, Kaytee Howell, Ryan Howell

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

2. Hearing, review and action on a zone map amendment from the RA-1 Residential Agricultural zone to the R1-9,000 Residential zone located in the area of 550 South 100 West (7:01 p.m.)

Staff Presentation:

Adam Olsen stated this is for the Roberts property. The property is currently zoned RA-1. The Roberts are proposing to take the area where the house sits and rezone it to the R1-9,000 zone. If it is ever divided, it does meet the minimum lot requirements for the R1-9,000 zone.

PUBLIC HEARING

George Wilson stated he surveyed the property. The property is currently three, one-acre parcels. The Roberts would like to downsize the property to two lots with one lot being rezoned to the R1-9,000 zone. With approval, there wouldn't be any violation of zoning ordinances and no new lots would be created.

Public Hearing closed.

MOTION: Nathan Schellenberg - To recommend approval of a zone map amendment for property located at 550 South 100 West from the RA-1 zone to the R1-9,000 zone. Seconded by Rebecca Staten.

Yes - Marie Adams
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

3. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:06 p.m.)

Staff Presentation:

Adam Olsen stated this item was pulled by applicant and will hopefully be back in two weeks. It was tabled at the two previous Planning Commission meetings.

MOTION: Rebecca Staten – To table the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone at the request of the applicant. Seconded by Marie Adams.

Yes - Marie Adams
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

4. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Rebecca Staten – To table the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone at the request of the applicant. Seconded by Marie Adams.

Yes - Marie Adams
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

5. Other Business (7:08 p.m.)

Planning Magazine Article

There was an article in the October Planning Magazine about streetscape and planning for pedestrians. It was very relevant to the Transit Oriented District (TOD) area, the trails, and linear parks along the Vineyard Connector. It was a very well written article on the principles of correct planning. It would be a good article to forward on to the City Council for a better understanding of planning. All the Commissioners should read the article for future discussion. The article discussed complete streets. When the TOD plan is brought forward, many of these elements in the article are incorporated into the streetscapes. Once the TOD is approved, the City Engineer would like to reopen the entire transportation master plan and have complete road cross sections for City streets.

Main Street Vision Plan

The Main Street Vision Plan is moving forward. An agreement with UDOT has been signed for a study to create a downtown streetscape. You can look at it as branding for downtown American Fork. Once the study is complete, a budget can be created for the improvements. The purpose is for enhancements and betterments on Main Street after UDOT comes through and does its work

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
NOVEMBER 19, 2014

The American Fork Planning Commission met in a regular session on November 19, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Leonard Hight
Rebecca Staten, Eric Franson, Harold Dudley (7:08 pm.)
Alternate Member: Christine Anderson
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: James Doolin, Gerrit Timmerman, Ryan Hales, Mick MacIntosh, Victor Hansen, Ed Waldvogel

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:02 p.m.)

Staff Presentation:

Adam Olsen reported this project initially came to the Planning Commission on October 8th and was tabled. It was tabled again on October 22nd. On November 5th, the applicant pulled it from the agenda because he didn't have enough time to get the level of detail requested by the Commission. Two options were presented at the October 22nd meeting. The first option is what is presented tonight with key elements added such as landscaping. The main issue with this option was the access points not quite meeting the access management standards. The applicant is requesting a variance to those standards, which is included. The City Engineer has included a memo stating his opinion on the variance request. At this point, the Commission has several scenarios in the decision process. The application could be recommended for approval with a recommendation of approval for the variance request. The application could be recommended for denial based on noncompliance with the Access Management Manual. It could be forwarded without a recommendation to the City Council. It could also be tabled, but this is the plan they want to move forward. He also discussed an option with the City Engineer earlier today that would recommend approval of the site plan with the findings listed in the City Engineer's memo. This means a recommendation of approval for the site plan, but a negative recommendation for the subdivision because of the access management issues.

Howard Denney reported that with the revisions on the final plat, the easements for the storm drain pond were lost. The applicant's request will require a variance from the access management standards. The use on lot 4 is still unknown. The applicant gave statements on how good auto dealerships functions but did not explain any hardships.

Applicant Presentation:

Gerrit Timmerman stated in talking with the Garff group, the intended use of lot 4 is for overflow parking for the Ford store for the present time and the foreseeable near future. At a future point, there may be a need to do a fleet maintenance facility on this site, which may not encompass the entire lot 4. This helps meet their operational needs. The justification on 1100 South is to maintain one access point for the new fleet facility and one for the Ford dealership. As far as hardships, the key is to maintain as much flexibility for vehicle flow in and around the site, which is described in the variance request. At this time, they are looking at a four-lot subdivision and have not explored a three-lot subdivision. The owner's group feels a four-lot subdivision would maximize their flexibility.

Rebecca Staten stated the Ken Garff Honda in Orem has one access point off a major road. There are three dealerships with two accesses off University Parkway and seems to be a larger area. This site plan has 10 access points and looks smaller in area. She has an issue with the access management.

Mick MacIntosh stated the Honda store in Orem is not a fair comparison because it is under three acres and only faces one major road. This site plan is 14 acres and a whole different situation. He imagines this dealership will sell 300 plus cars per month. There are dealerships that sell many cars with few accesses, and they are the worst situations as far as access for customers. They have people who refuse to go to these dealerships because of the access issues. They want a good situation for their customers.

Eric Franson stated UDOT has standards and those are not compromised. American Fork City has standards to adhere to. He is disappointed. There were hours of discussion on this and hours spent by staff. There have been numerous requests on not allowing the variances. Please come back with a plan that fits with the Code. And here we are two months later, without one change to the plan. He doesn't know if it's simple arrogance or whether it's complete disregard for the Commission's time and efforts in trying to make the City a better place. He doesn't know what it is, but he is frustrated that there has been no give or attempt to adhere to the City standards as listed in the Code.

Commission Discussion:

Nathan Schellenberg stated he feels the City staff has already bent over backwards in arranging some things and maybe have gone too far in working out some solutions dealing with the Access Management Plan but also the Transportation Element of the General Plan as far as buffered bike lanes and landscaping strips. These are the City's standards that need to be met. The Access Management Manual says, *one reason to grant the variance would be the applicant has considered all other feasible alternatives to provide reasonable access to the land use or development and can demonstrate that better alternatives are not feasible.* This is a clean slate and a big piece of land that can be developed many ways with a thousand ways for access.

Mick MacIntosh stated they don't have a clean slate. There is a building on the property. They are moving some of their dealerships with troubles and don't want to have problems here. They want a good situation for their customers. The manual was written to allow variances, and there are reasons to allow variances.

John Woffinden stated this is a good use for the ground and fits the zoning. The Access Management Plan has been on the books forever. He believes there is a conflict of interest that the person who wrote the document for the City is now on the other side stating the plan doesn't make sense any more. It is a very good plan, and he would like to see it adhered to. The need for variances have not been proven.

Ryan Hales stated the access management policies were written in 2009 and adopted in 2012. There is a variance process written in the policies. They are asking for the same variance any developer would ask.

Nathan Schellenberg stated that the point is a variance requires that the applicant show there is no other way it can be done. In his mind, there is not a requirement that this has to be divided into this number of lots. That is the developer's prerogative and own interest. If you began with the understanding that you had to comply with the Access Management Manual, then how would you lay out the property? These are the terms you should be thinking in; not in terms of divide it how you want and get a variance on whatever doesn't comply. It needs to show there is no other feasible way for this to be done before the Commission can grant a variance. The Commission has asked for this time and time again, and it hasn't been done or even attempted.

Ryan Hales stated he believes the accesses on Auto Mall Drive match the existing points. On 500 East, the accesses are in the locations because of the existing building. The owner would like as much flexibility as possible. The Commission's voice has been heard. The owner is trying to make the site work for everyone, and they want some concessions. On 1100 South there are a couple of accesses that are low volume. One is to be gated and is for vehicles to be serviced at lot #3. The other is for employees to move vehicles around. The developer would like to see multiple accesses for various reasons on the site.

Eric Franson stated that at this point we would have to agree to disagree with a need for a variance. The applicant says there is a need for a variance; and in Mr. Hale's expert opinion, traffic wise it is okay to allow the variance. He understands his opinion is valid. But from what he understands and what the staff has communicated, they will have to agree to disagree that a variance is needed or warranted in this case.

Nathan Schellenberg stated he doesn't agree with recommending the site plan because changing the access points on the subdivision will change the site plan. The Commission's desires have been communicated. This is the same plan as before and the same discussion as before. He would like to table the item until the basic requirements are met. It makes no sense to approve it subject to if the entire plan were to change.

Gerrit Timmerman stated the City Engineer lists four items of concern in his November 13, 2014, memorandum. At the bottom it states, *the other items the applicant has requested for variance relative to rights-of-way and roadway cross-sections, access location and permitted movements appear to be reasonable compromises.* They have spent hours of time working on this and feel they are very close. As a design team, they have given and have compromised. He would feel frustrated if this were tabled. In looking at the recommendations shared by Adam, he would definitely be in favor of an approval of the site plan and a denial of the subdivision. He asked if a big concern is lot 4.

John Woffinden stated not knowing the use of lot 4 is an issue, and it makes determining the accesses difficult. The Commission requested a three-lot subdivision a while back.

Eric Franson stated in looking at the City Engineer's memo and say if the plan can comply with staff and the City Engineer's description of the access management dealing with 500 East and the western access on lot 4, which is exactly where it was a month ago, then he agrees these items are the items that were under question last time and the same items under question this time. Last time the attempt was made to give up the western access point on lot 4 and take back additional landscaping, but the Commission felt that was not acceptable. So we are back to where we were.

MOTION: Eric Franson – To table this item until such time as we have resolution of these four items listed by Andy Spencer in the memo dated November 13, 2014. Seconded by Nathan Schellenberg.

Yes -

Marie Adams
Christine Anderson
Harold Dudley
Eric Franson
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Eric Franson – To table item 3 on the agenda. Seconded by Nathan Schellenberg.

Yes -

Marie Adams
Christine Anderson
Harold Dudley
Eric Franson
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

Further Discussion:

Adam Olsen stated he understands the motion but also understands that there will not be a new plan. They have made that clear several times.

Eric Franson questioned the applicant's plan. Is it a simple fact of circumventing the Planning Commission so they can go to City Council where they can appeal to some economic drivers to get a business into the City and look at more tax revenue and things like that as opposed to adhering to City standards? Is that the plan?

Nathan Schellenberg stated the Commission can't speculate.

John Woffinden stated their track record shows they haven't made any movement in the last month. The Commission will have to see what happens.

Marie Adams stated the Commission should not see this item on the agenda as it stands. It is a waste of the Commission's time.

Rebecca Staten stated it should not be on the agenda unless it has changed.

John Woffinden asked that the minutes reflect the Commission's concerns so that the City Council knows why the Commission took this action and what the Commission expects.

4. Hearing, review and action on a zone map amendment from the RA-1 Residential Agricultural zone to the R 1-9,000 residential zone located at 362 South Storrs Avenue (7:43 p.m.)

John Woffinden stated the applicant requested the item be tabled in order to make changes to the annexation agreement.

MOTION: Eric Franson – To table item #4 on the agenda. Seconded by Rebecca Staten.

Yes	-	Marie Adams	
		Christine Anderson	
		Harold Dudley	
		Eric Franson	
		Leonard Hight	
		Nathan Schellenberg	
		Rebecca Staten	
		John Woffinden	Motion passes.

5. Hearing, review and action on the final plat for the South Pointe Planned Community Development Project Phase 1, consisting of 35 lots, located in the vicinity of 740 East 400 South in the PC-Planned Community zone (7:44 p.m.)

Staff Presentation:

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
DECEMBER 3, 2014

The American Fork Planning Commission met in a regular session on December 3, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Rebecca Staten, Harold Dudley
Alternate Member: Christine Anderson
Absent Commission Members: Eric Franson, Leonard Hight
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: Brett Gelbert – Boos Development Group, Derek Seal – Realty Executives, Fred Clark, Leslie Morton – Psomas Engineers

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Rebecca Staten - To table the review and action on the commercial site plan for the Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone per the applicant's request. Seconded by Marie Adams.

Yes	-	Marie Adams
		Christine Anderson
		Harold Dudley
		Nathan Schellenberg
		Rebecca Staten
		John Woffinden

Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Rebecca Staten - To table item 3, the review and action on the final plat for the Ken Garff subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone per the applicant's request. Seconded by Marie Adams.

Yes - Marie Adams
Christine Anderson
Harold Dudley
Nathan Schellenberg
Rebecca Staten
John Woffinden Motion passes.

4. Hearing, review and action on a zone map amendment from the RA-1 Residential Agricultural zone to the R1-7,500 residential zone located at 362 South Storrs Avenue (7:04 p.m.)

Staff Presentation:

Adam Olsen reported this zone change contains two parcels with an existing home. Currently one of the parcel lines goes through the middle of the home so the lines will be redrawn. It is in compliance with the Land Use Plan, which is medium residential. They are asking for the R1-7,500 Zone, which will allow an additional lot or two in the future. There is R1-7,500 to the north and to the east there is R2-7,500. Staff recommends approval.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Applicant Presentation:

Derek Seal stated their intention is to clean up the survey lines and subdivide a portion.

MOTION: Marie Adams - To recommend approval of a zone map amendment for property located at 362 South Storrs Avenue from the RA-1 Zone to the R1-7,500 Zone.

Seconded by Christine Anderson.

Yes - Marie Adams
Christine Anderson
Harold Dudley
Nathan Schellenberg
Rebecca Staten
John Woffinden Motion passes.

5. Review and action on the commercial site plan for CVS Pharmacy located at 495 East State Road in the GC-1 General Commercial zone (7:06 p.m.)

Staff Presentation:

Adam Olsen stated there are three separate parcels to be combined into one lot. The two existing structures will be removed. The parking and landscaping have been provided according to the City Code. There are two points of access, one from State Street and one from 500 East. This actually removes one access from State Street. Staff recommends approval of the site plan.

Howard Denney recommended using City Standards in that some standards could be combined. On the subdivision plat, the American Fork Irrigation Company is requesting a change to the

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
DECEMBER 17, 2014

The American Fork Planning Commission met in a regular session on December 17, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Rebecca Staten, Harold Dudley, Eric Franson
Alternate Member: Christine Anderson
Absent Commission Members: Marie Adams, Leonard Hight, Nathan Schellenberg
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: John Abbott, Adam Naylor, Dan Richards, Blake Hanson – T-Mobile, Tyler Stinson, Tony Johns, Sam Penrod

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:02 p.m.)

John Woffinden stated this item and Item #3 will not be addressed. The applicant did not provide any documentation.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

4. Hearing, review and action on the preliminary plan for the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone (7:03 p.m.)

Staff Presentation:

Adam Olsen stated this item was addressed in October. The developer made changes to fully comply with city ordinances. It is a nine-lot subdivision. The Land Use Plan for the area is low density residential and it falls within this category. Three lots access from 300 North and the remainder from Evergreen Drive. Last time there was an issue with the cul-de-sac, which has



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department _____ Planning _____

Director Approval _____ *Adrian Oh*

AGENDA ITEM Ordinance approving a commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone.

SUMMARY RECOMMENDATION At the time of this writing the planning commission has not made a recommendation on this project but it will address the site plan for Ken Garff Chevrolet again at its January 21, 2015 regular session. In previous meetings the project was tabled as stated in the attached planning commission meeting minutes from October, November and December 2014.

BACKGROUND The city administration placed the site plan for Ken Garff Chevrolet on the January 27, 2015 city council agenda in anticipation of the January 21, 2015 planning commission action. This constrained timeline necessitates that a verbal report on the planning commission action will be delivered to the city council at the January 27, 2015 meeting in lieu of minutes. The applicant proposes a commercial site plan for a Chevrolet dealership, an auto body shop and an undeveloped area for Lot #3 of the Ken Garff Subdivision. For further analysis please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to adopt the ordinance approving a commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone with instructions to the city recorder to withhold publication of the ordinance subject to:

- Posting of a performance guarantee to ensure the timely construction of required public improvements.
- All conditions identified in the public record associated with the January 21, 2015 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ordinance
2. Site plan
3. Staff report
4. Planning commission meeting minutes, October 8, 2014
5. Planning commission meeting minutes, October 22, 2014
6. Planning commission meeting minutes, November 5, 2014
7. Planning commission meeting minutes, November 19, 2014
8. Planning commission meeting minutes, December 3, 2014
9. Planning commission meeting minutes, December 17, 2014

ORDINANCE NO.

AN ORDINANCE APPROVING A COMMERCIAL SITE PLAN FOR KEN GARFF CHEVROLET AT 500 EAST AUTO MALL DRIVE, AMERICAN FORK, UTAH

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,

PART I

DEVELOPMENT APPROVED - ZONE MAP AMENDED

- A. The Commercial Site Plan for Ken Garff Chevrolet at 500 East Auto Mall Drive, American Fork, Utah, as set forth in Attachment A, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II

ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 27 DAY OF JANUARY, 2015.

James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder



Company Headquarters
405 South Main Street Suite 1200
Salt Lake City, Utah 84111
ph. 801.257.3400
fax. 801.257.3460
www.kengarff.com

January 12, 2015

American Fork City
Attn: Adam Olsen, Senior Planner
275 East 200 North
American Fork, Utah 84003

Re: Ken Garff Chevrolet – Commercial Site Plan Application (Access to Lot 2)

Dear Adam:

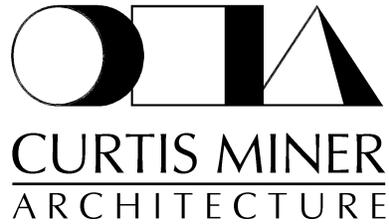
Please accept this letter as part of the Ken Garff Chevrolet Commercial Site Plan Application for the proposed development of the new Chevrolet dealership and Body Shop located at 500 East and Auto Mall Drive in American Fork, Utah (Project). The American Fork City administration has recommended that this letter, relating to the access to Lot 2 (Body Shop) along 500 East, be submitted by Ken Garff Automotive Group (Ken Garff) as part of our final submittal.

We understand that as part of our overall project, the access to Lot 2 (Body Shop) along 500 East will be designed and constructed to permit full access movement on day one. However, Ken Garff specifically acknowledges that the Utah Department of Transportation (UDOT) and/or other governing authority(ies) may desire in the future to restrict access to Lot 2 (Body Shop) along 500 East to be a “right in right out only” access. We agree to work with UDOT and/or the appropriate governing authority(ies) in good faith should that happen to address the access issue.

We look forward to a continued, long-term relationship with American Fork City.

Respectfully,

Matthew B. Garff
Executive Director / Asset Management



October 14, 2014

Updated January 12, 2015 – updates shown in Bold

Andy Spencer
American Fork City
51 East Main St.
American Fork, UT 84003

Re: Access Management Manual – Variance Request For the Ken Garff Site Plan Application located at 500 East Auto Mall Drive, American Fork, UT

Dear Mr. Spencer,

During the site plan application approval process, it has been noted in the technical review comments that the current site plan proposed access drives along 500 East and 1100 S exceeds the Access Management Manual. Based on current dealership and Auto Body operation requirements to make the vehicular circulation flows work for these projects, the owner is seeking a variance request for the access points to remain as currently illustrated on the site plan (**reference updated site plan submittal package dated January 12, 2015**). Therefore, this letter is in response to the requirements set forth in the American Fork City Access Management Manual (Chapter V. Appeal Process).

According to that manual, “the applicant is responsible for showing that the variance request meets minimum acceptable engineering, operation, and safety standards, the variance is not detrimental to the public health, welfare, and safety, and the variance is reasonably necessary for the convenience and welfare of the public (page 50).”

The following five points are to be considered for granting access (page 50):

- 1. The applicant has considered all other feasible alternatives to provide reasonable access to the land use or development and can demonstrate that better alternatives in terms of roadway operations are not feasible or does not exist.*
- 2. The applicant has considered access through a shared use or cross access driveway or access point with an adjacent land use and such a shared use access or cross access is not feasible. A letter from the adjacent land owner stating that cross access or shared access is not feasible shall be provided.*
- 3. The applicant is providing on-site or off-site traffic improvements that might offset the negative impacts of granting an access that does not meet standards.*
- 4. The applicant has considered and demonstrated trip reduction strategies that allow the access to properly function without creating a negative impact to the roadway.*
- 5. The applicant has provided traffic engineering or other studies to determine that the access will not degrade the efficient flow of traffic on the roadway in terms of safety, capacity, travel speed and other functional features of the roadway.*

Findings

1. *The applicant has considered all other feasible alternatives to provide reasonable access to the land use or development and can demonstrate that better alternatives in terms of roadway operations are not feasible or does not exist.*

The proposed development is located on an island surrounded by roads classified by American Fork City as collectors and arterials. Therefore, there are no lower class roads for access. Due to the nature of the business, convenient access to 500 East and 1100 South is necessary for the economic vitality of the business.

Updated January 12, 2015

Further negotiations have been conducted between American Fork City and the Garff Automotive Group during Dec 2014 and Jan 2015 to discuss reasonable access to the land use development and a reasonable compromise has been achieved to demonstrate better alternatives. The following items have been agreed upon between American Fork City and the Garff Automotive Group (reference updated site plan submittal package dated January 12, 2015):

- A. **Access to Lot #02 for the Auto Body Shop will remain as full access movement day one. The Ken Garff Automotive Group (Ken Garff), at the request of American Fork City has written a letter acknowledging that at some point in the future, the governing authority(ies) may desire to restrict access to be a 'Right In/Right Out only' access. (Reference letter from Matt Garff dated Jan 12, 2015 included in the updated site plan submittal package).**
- B. **At the request of American Fork City, Lot#01 and Lot#03 (as shown on the previous site plan) have been combined to become a single lot that is now identified as Lot#01. The future Lot to the East is now identified as Lot#03 (shown on previous site plan as Lot#04). The purpose of combining these lots is to justify having the stand alone access along 1100 South for the overflow parking lot. By combining this lot to the 'primary use lot' it lessens the risk to the City of a more intense use being assigned to this parcel that may have increased access requirements, potentially overloading the 1100 South access creating a safety concern. Should a more intense use be desired for this site; the development of that use will follow American Fork City's land use development approval process. Furthermore, the access along 1100 South is intended to be a secondary access with restricted access to lower the volumes and use for this access point.**
- C. **At the request of American Fork City, the western Lot #03 (Lot#04 in previous site plan) access has been eliminated. The eastern Lot#03 (Lot#04 in previous site plan) access has been enlarged from a 30' wide access to be a 40' wide access to maximize flexibility for this access. The location of this access, at the recommendation of the Transportation Engineer, has also been modified to be equal distance (approx. 240') between Auto Mall Drive and between the existing access on the South side of 1100 South to alleviate any concerns related to left turn queuing.**
- D. **At the request of American Fork City, the existing dry utilities along Auto Mall Drive will be relocated as required to adhere to sight triangle requirements.**

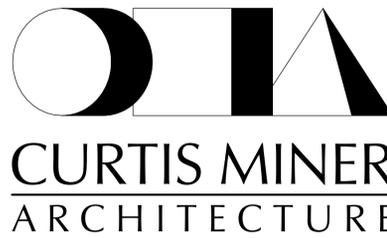
These site plan items were specifically modified to address American Fork City's remaining concerns as outlined in the memorandum from Andy Spencer, City Engineer, dated November 13, 2014.

DESIGN CRITERIA

BUILDING CODE:	2012 INTERNATIONAL BUILDING CODE. 2012 INTERNATIONAL FIRE CODE. 2012 INTERNATIONAL MECHANICAL CODE. 2012 INTERNATIONAL PLUMBING CODE. 2011 NATIONAL ELECTRICAL CODE. 2012 INTERNATIONAL ENERGY CONSERVATION CODE. ICC A117.1-2009. UTAH STATE CODE AMENDMENTS EFFECTIVE 1 JULY 2013.
A OCCUPANCY CLASSIFICATION:	B (OFFICE, INCLUDING THE STORAGE OF RECORDS AND ACCOUNTS). (CAR WASH). M (MERCANTILE, DISPLAY AND SALE OF MERCHANDISE.) S-1 (MOTOR VEHICULAR REPAIR AND PAINTING). (STORAGE, MODERATE HAZARD).
<u>KEN GARFF CHEVROLET AF:</u>	
TYPE OF CONSTRUCTION	II-B (IBC TABLE 503.)
TYPE OF OCCUPANCY	B,M,S-1 (NO SEPARATION REQUIRED)
ALLOWABLE AREA PER LEVEL	12,500 SF (M)
ACTUAL AREA (LEVEL 1)	45,698 SF
ACTUAL AREA (LEVEL 2)	10,497 SF
ALLOWABLE HEIGHT	55'-0"
BUILDING HEIGHT	29'-0"
SPRINKLERS	YES
SPRINKLER INCREASE FACTOR (Is)	2
FRONTAGE INCREASE FACTOR (If)	.75
B	$Aa = \{ At + [At \times If] + [At \times Is] \}$ $Aa = 12,500 + (12,500 \times 2) + (12,500 \times .75)$ ALLOWABLE AREA PER FLOOR WITH INCREASES (Aa) = 46,875 SF
TOTAL BUILDING SQUARE FOOTAGE	56,195 S.F.

<u>KEN GARFF AUTOBODY:</u>	
TYPE OF CONSTRUCTION	II-B (IBC TABLE 5030.)
TYPE OF OCCUPANCY	B,S-1 (NO SEPARATION REQUIRED)
ALLOWABLE AREA PER LEVEL	17,500 SF (S-1)
ACTUAL AREA (LEVEL 1)	24,903 SF
ACTUAL AREA (LEVEL 2)	1,860 SF
ALLOWABLE HEIGHT	55'-0"
BUILDING HEIGHT	29'-0"
SPRINKLERS	YES
SPRINKLER INCREASE FACTOR (Is)	2
C	$Aa = \{ At + [At \times If] \}$ $Aa = 17,500 + (17,500 \times 2)$ ALLOWABLE AREA PER FLOOR WITH INCREASES (Aa) = 52,500 SF
TOTAL BUILDING SQUARE FOOTAGE	26,763 S.F.

D	
----------	--



KEN GARFF CHEVROLET
500 EAST AUTO MALL DRIVE
AMERICAN FORK, UTAH 84003
 JANUARY 12, 2014

ENGINEERING CONSULTANTS

CIVIL
 LEGEND ENGINEERING
 52 WEST 100 NORTH
 HEBER CITY, UT 84032
 LINDZI BELL
 (435) 654-4828

LANDSCAPE
 PROJECT ENGINEERING CONSULTANTS
 986 WEST 9000 SOUTH
 WEST JORDAN, UT 84088
 LARS ANDERSON
 (801) 495-4240

ELECTRICAL
 SPECTRUM ENGINEERS
 175 SOUTH MAIN STREET SUITE 100
 SALT LAKE CITY, UTAH 84111
 DAVID HINCKLEY
 (801) 401-8435

ZONING INFORMATION

ZONE GC-2
 COUNTY SERIAL ID# 34:216.0005

MARK	REVISION	DATE

INDEX TO DRAWINGS

GENERAL

CVR SITE PLAN SUBMITTAL

SURVEYING

ALTA / ACSM LAND TITLE SURVEY

PLAT

KEN GARFF SUBDIVISION

CIVIL

- C0 GENERAL NOTES
- C1 CIVIL SITE PLAN
- C2 GRADING AND DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 STANDARD DETAILS
- C5 STANDARD DETAILS
- C6 SWPPP
- C7 SWPPP DETAILS
- C8 1100 SOUTH PLAN AND PROFILE
- C9 LOT #4 IMPROVEMENT PLAN
- C10 DETENTION BASIN DETAILS
- C11 SITE OUTLET STORM DRAIN PLAN AND PROFILE

LANDSCAPE

- LS1.1 PLANTING PLAN
- LS1.2 PLANTING PLAN
- LS1.3 PLANTING PLAN
- LS1.4 PLANTING DETAILS

ARCHITECTURAL

- AS101 OVERALL SITE PLAN
- A201 CHEVROLET EXTERIOR ELEVATIONS
- A202 AUTO BODY SHOP EXTERIOR ELEVATIONS

ELECTRICAL

- ES101 ELECTRICAL SITE PLAN
- ES101C SITE LIGHTING CALCULATIONS

PARKING SUMMARY

LOT #1 KG CHEVY DEALERSHIP
 TOTAL SQUARE FOOTAGE = 56,195 SF
 SALES, ETC. 18,806 SF AT 3/1000 = 57 STALLS
 PARTS, ETC. 10,043 SF AT 1.5/1000 = 16 STALLS
 37 BAYS AT 4 STALLS/ BAY = 148 STALLS
TOTAL STALLS REQUIRED = 221 STALLS
 TOTAL PROVIDED = 480 STALLS
 TOTAL HANDICAPPED PROVIDED = 4
 CUSTOMER/ EMPLOYEE USE = 100 STALLS

LOT #2 AUTOBODY
 TOTAL SQUARE FOOTAGE = 26,763 SF
 ADMINISTRATION 3,680 SF AT 3/1000 = 12 STALLS
 PARTS, ETC. 1,759 SF AT 1.5/1000 = 3 STALLS
 29 BAYS AT 4 STALLS/ BAY = 116 STALLS
TOTAL STALLS REQUIRED = 131 STALLS
 TOTAL PROVIDED = 145 STALLS
 TOTAL HANDICAPPED PROVIDED = 2
 CUSTOMER/ EMPLOYEE USE = 50 STALLS

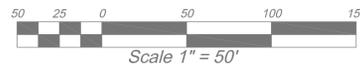
TOTAL PARKING PROVIDED ALL LOTS = 625 STALLS

<p>233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 FAX: (801) 769-3001 cma@cmautah.com</p>	DATE: 12 JANUARY 2015 PROJECT #: CMA 13-085 PROJ. MAN.: JSJ CHECKED BY: GWT
	<p>THE INFORMATION HEREIN IS THE PROPERTY OF CURTIS MINER ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. © 2015 CURTIS MINER ARCHITECTURE, LLC.</p>
PROJECT: KEN GARFF CHEVROLET AMERICAN FORK 500 EAST AUTO MALL DRIVE AMERICAN FORK, UT 84003	
SHEET DESCRIPTION: SITE PLAN SUBMITTAL	SHEET: CVR

PLAT LEGEND

--- BOUNDARIES
- - - NEIGHBOR TITLES
- - - EASEMENT LINE
- - - ASPHALT
- - - CONCRETE
- - - SANITARY SEWER
- - - STORM DRAIN
- - - WATER LINE
- - - IRRIGATION LINE
- - - CONTOUR LINE

VICINITY MAP



COMMITMENT FOR TITLE INSURANCE

A COMMITMENT OF TITLE INSURANCE # BT-12131, ISSUED BY BARTLETT TITLE INSURANCE AGENCY INC., DATED OCTOBER 10, 2013.

SCHEDULE A:
ITEMS 1 THROUGH 5 SURVEYOR MAKES NO COMMENT.
ITEM 6 SEE PLAT DESCRIPTIONS.

SCHEDULE B-I:
ALL ITEMS SURVEYOR MAKES NO COMMENT.

SCHEDULE B-II:
ITEM 1 SURVEYOR MAKES NO COMMENT.
ITEM 2 SEE PLAT.
ITEM 3 SEE PLAT AND FOLLOWING NOTE.
ITEM 4 SEE FOLLOWING NOTE.
ITEMS 5 THROUGH 9 SURVEYOR MAKES NO COMMENT.
ITEM 10 SEE PLAT.
ITEM 11 APPLIES TO PARCELS 1 AND 2.
ITEM 12 APPLIES TO PARCEL 3.
ITEM 13 SEE FOLLOWING NOTE.
ITEMS 14 AND 15 SURVEYOR MAKES NO COMMENT.

- * ITEM 3 - EXISTING SIGN AND LIGHT FOR PARCEL 13:061:0026 OVERLAPS THE COMMON BOUNDARY WITH PARCEL 13:061:0039.
- * ITEM 4 - PROPERTY OWNERS SOUTH OF 1100 SOUTH STREET GRANTED TO AMERICAN FORK CITY VIA QUIT CLAIM DEED 114735:2012 A DESCRIPTION IN 1100 SOUTH STREET WHICH OVERLAPS WITH PARCEL 1.
- * ITEM 13 - ALL UTILITIES FALL OUTSIDE PROPERTY BOUNDARY OR WITHIN RECORDED PUBLIC UTILITY EASEMENT.

ALTA / ASCM TABLE "A"

2. APPROXIMATE ADDRESSES	SEE PLAT
3. FLOOD ZONE CLASSIFICATIONS	ZONE C - AREAS OF MINIMAL FLOODING ZONE X - OUTSIDE 500 YEAR FLOOD PLAIN
4. GROSS LAND AREA	SEE DESCRIPTIONS
5. VERTICAL RELIEF	GROUND SURVEY, NW COR. SEC. 25 = 4543.67'
6a. CURRENT ZONING CLASSIFICATION	GC-2 - GENERAL COMMERCIAL
7a. EXTERIOR DIMENSIONS OF ALL BUILDINGS	SEE PLAT
7b. EXTERIOR BUILDING FOOTPRINT AREA	SEE PLAT
8. SUBSTANTIAL VISIBLE IMPROVEMENTS	SEE PLAT
9. PARKING AREAS	SEE FOLLOWING NOTE
11a. OBSERVED LOCATION OF UTILITIES	SEE PLAT
13. NAMES OF ADJOINING OWNERS	SEE PLAT
14. NEAREST STREET INTERSECTION	SITE IS AT MULTIPLE INTERSECTIONS
16. OBSERVED EVIDENCE OF RECENT CONSTRUCTION	NONE FOUND
17. STREET CONSTRUCTION/CHANGES IN ALIGNMENT	SEE PLAT AND FOLLOWING NOTE.
18. OBSERVED EVIDENCE OF LANDFILL	NONE FOUND.

* ITEM 9 - PARKING EXISTS ON ALL PARCELS OUTSIDE OF MARKED STALLS. EXISTING ASPHALT AREAS ON PARCEL 3 ARE IN POOR CONDITION AND OTHER PARCELS HAVE GRAVEL PARKING AREAS CURRENTLY USED FOR FLEET STORAGE.
* ITEM 17 - A SUBDIVISION ON THE SOUTHERLY SIDE OF 1100 SOUTH STREET IS CURRENTLY IN PLANNING STAGES AND HAS PROPOSED THE RIGHT-OF-WAY SHOWN.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	15.00	23.30	89°0'36"	21.03	N 44°45'21" E
C2	250.00	178.48	40°54'17"	174.71	S 70°17'13" E
C3	250.00	219.68	50°20'50"	212.68	S 24°39'39" E
C4	15.00	23.34	89°8'28"	21.05	S 45°5'0" W

DESCRIPTIONS

Parcels 1 & 3 (34:216:0004 & 34:216:0005)
Site 4, American Fork Auto Mall Subdivision, according to the official plat thereof on file and of record in the office of the Utah County Recorder.
Area = 416,124 sq ft or 9.55 Acres

Otherwise described as the following two parcels:
Parcel 1 (34:216:0004)
A portion of Site 4, American Fork Auto Mall, American Fork, Utah, according to the official plat thereof on file in the office of the recorder of Utah County, Utah more particularly described as follows: Commencing North 294.01 feet and East 2470.97 feet from the West Quarter Corner of Section 25, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence North 00°40'01" East 288.77 feet; thence South 49°50'04" East 475.71 feet; thence along the arc of a 250 foot radius curve to the right 219.65 feet (chord bears South 24°39'52" East 212.65 feet); thence South 00°30'46" West 105.66 feet; thence South 00°30'46" West 105.66 feet; thence along the arc of a 15 foot radius curve to the right 23.34 feet (chord bears South 45°05'20" West 21.06 feet); thence South 89°39'14" West 443.71 feet; thence North 00°49'58" East 334.58 feet; thence North 89°05'00" West 0.94 feet to the point of beginning.

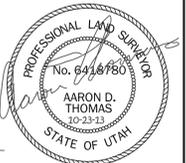
Parcel 3 (34:216:0005)
A portion of Site 4, American Fork Auto Mall, American Fork, Utah, according to the official plat thereof on file in the office of the recorder of Utah County, Utah more particularly described as follows: Commencing North 637.55 feet and East 1832.99 feet from the West Quarter Corner of Section 25, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence North 89°15'39" East 474.56 feet; thence along the arc of a 250 foot radius curve to the right 178.48 feet (chord of which bears South 70°17'13" East 174.71 feet); thence South 49°50'04" East 3.07 feet; thence South 00°40'01" West 288.77 feet; thence North 89°05'00" West 654.26 feet; thence North 00°15'03" East 318.15 feet; thence along the arc of a 15 foot radius curve to the right 23.30 feet (chord bears North 44°45'21" East 21.03 feet) to the point of beginning.

Parcel 2 (13:061:0039)
Commencing at a point of 18.4 feet South and 1824.28 feet East from the West Quarter Corner of Section 25, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence East 643.05 feet; thence North 00°40'01" East 310.10 feet; thence North 89°05'00" West 514.12 feet; thence South 02°02'10" West 110.64 feet; thence South 89°44'55" West 128.68 feet; thence South 207.17 feet to the point of beginning.
Area = 188,680 sq ft or 4.33 Acres

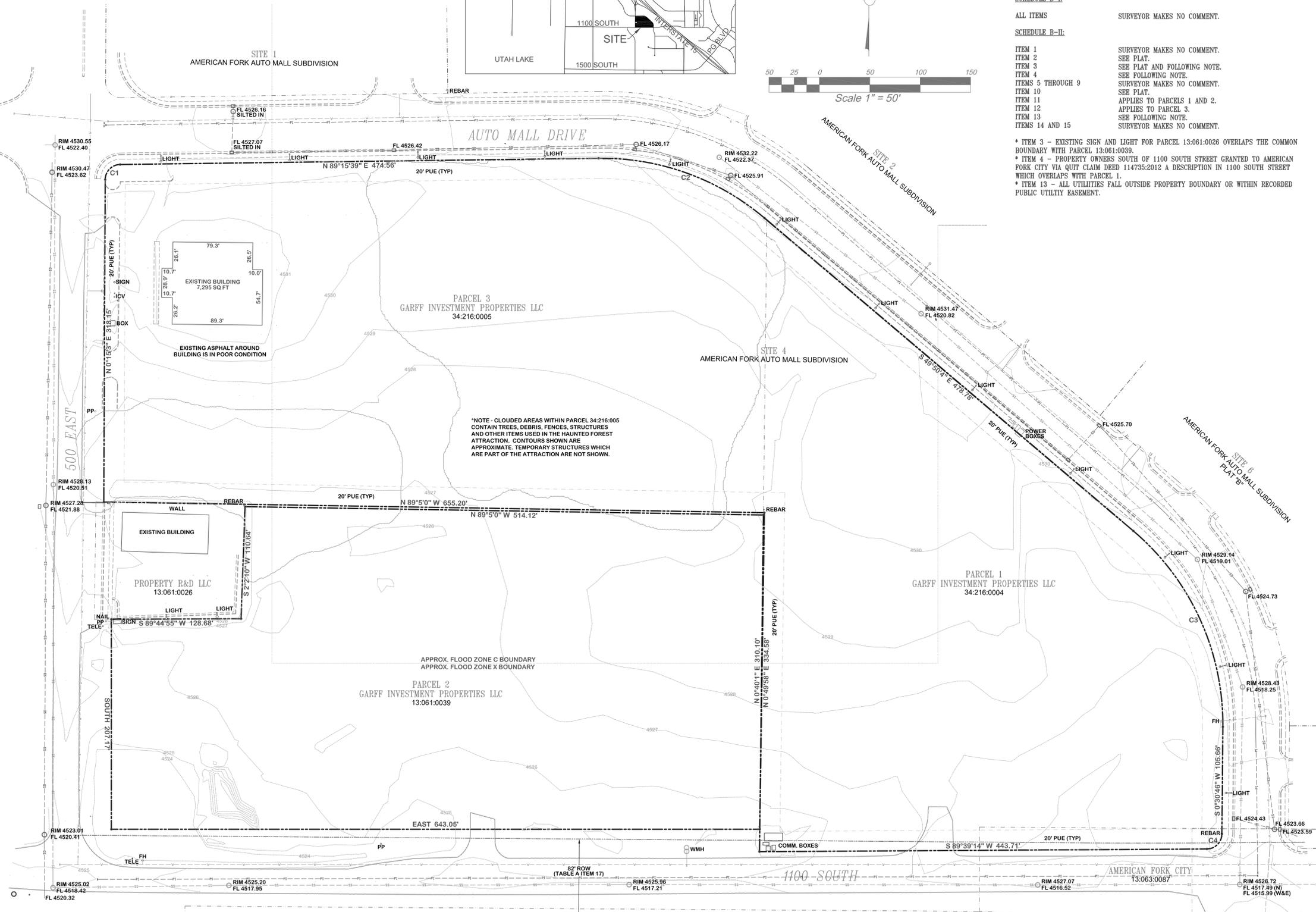
SURVEYOR'S CERTIFICATION

To Garff Investment Properties L.L.C., a Utah limited liability company; Bartlett Title Insurance Agency, Inc.; and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6a, 7a, 7b, 8, 9, 11a, 13, 14, 16, 17, and 18 of Table A thereof. The field work was completed on October 4, 2013.



10-23-13 DATE
AARON D. THOMAS - PLS NO. 6418780



PROJECT NAME	KEN GARFF PARCELS
ADDRESS +/-	AUTO MALL DRIVE & 500 EAST & 1100 SOUTH
CITY:	AMERICAN FORK
COUNTY:	UTAH
STATE:	UTAH

PREPARED BY:	AZTEC ENGINEERING, INC. 491 NORTH 450 WEST OREM, UTAH 84057 (801) 224-7308
--------------	---

PREPARED FOR:	GARFF INVESTMENT PROPERTIES LLC
---------------	---------------------------------

SHEET 1 OF 1

ALTA / ACSM LAND TITLE SURVEY

LOCATED NEAR THE CENTER OF SECTION 25,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SL8&M

AMERICAN FORK

DATE:	OCT. 23, 2013
SCALE:	1"=50'
DRAFTED BY:	A.D.T.
TRACING NO.:	A-1521

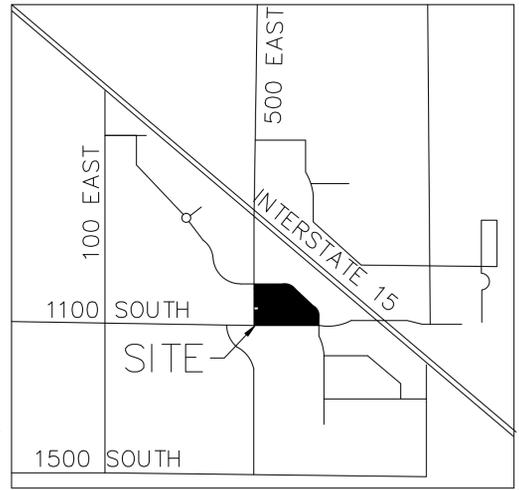
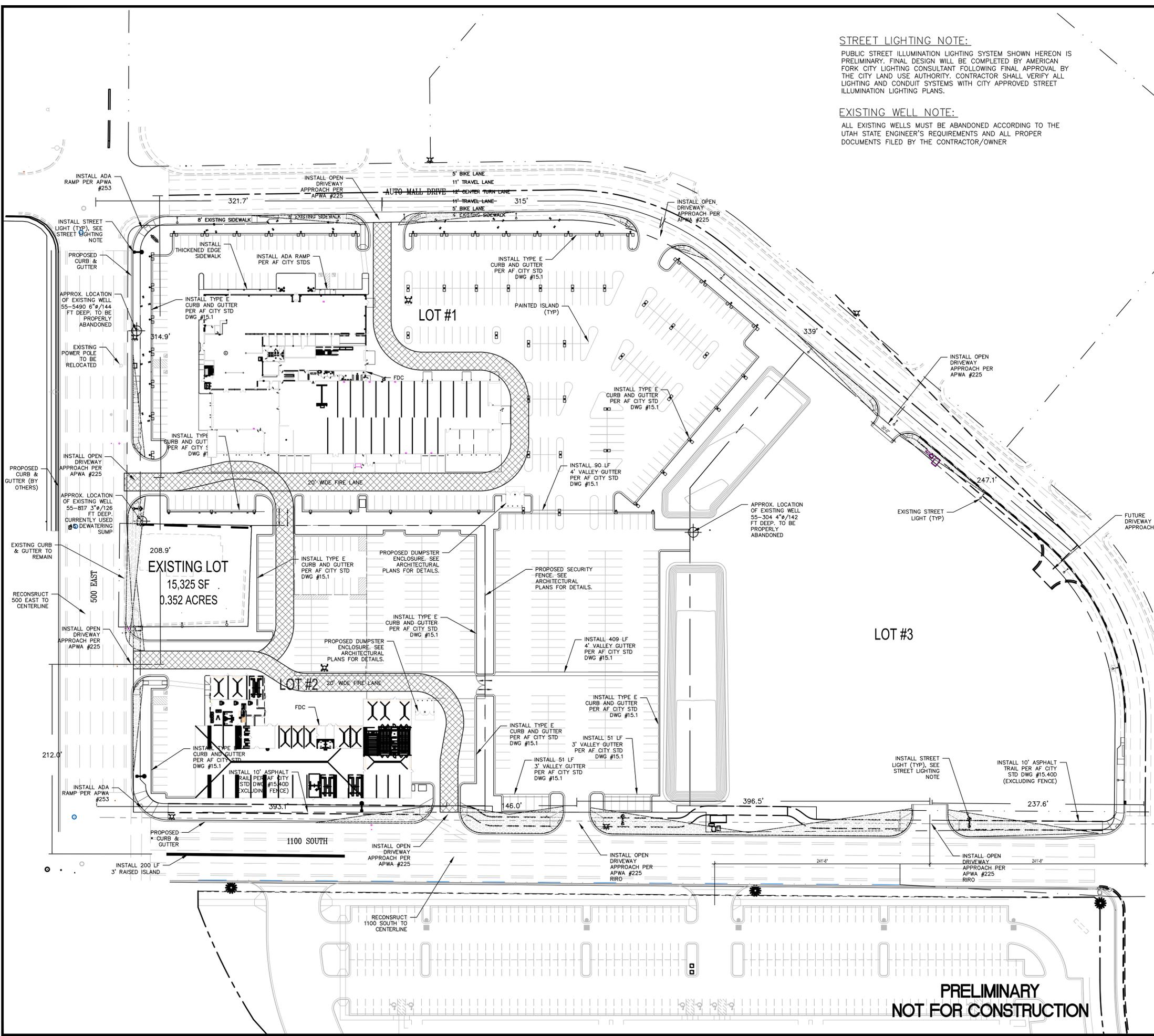


NO.	REVISIONS	BY	DATE
1	AF CITY TECHNICAL REVIEW	LSB	8/2/24
2	AF CITY TECHNICAL REVIEW	LSB	8/2/24
3	PLANNING COMMISSION REVIEW	LSB	7/20/24
4	PLANNING COMMISSION REVIEW	LSB	7/2/24

LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	=====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	---SD---
EXISTING STORM DRAIN LINE	---SD---
GRADE BREAK	---GRADE BREAK---
FINISH GRADE CONTOUR LINES	---(4960)---
EXISTING GRADE CONTOUR LINES	---(4960)---
FINISH GRADE SLOPE	---SLOPE---
STORM DRAIN CLEANOUT BOX	[Symbol]
CURB INLET CATCH BASIN	[Symbol]
INVERT ELEVATION	IE
TOP OF GRADE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
EXISTING	EX
FINISHED FLOOR ELEVATION	FFE
SIGHT VISIBILITY TRIANGLE AREA	[Symbol]

STREET LIGHTING NOTE:
PUBLIC STREET ILLUMINATION LIGHTING SYSTEM SHOWN HEREON IS PRELIMINARY. FINAL DESIGN WILL BE COMPLETED BY AMERICAN FORK CITY LIGHTING CONSULTANT FOLLOWING FINAL APPROVAL BY THE CITY LAND USE AUTHORITY. CONTRACTOR SHALL VERIFY ALL LIGHTING AND CONDUIT SYSTEMS WITH CITY APPROVED STREET ILLUMINATION LIGHTING PLANS.

EXISTING WELL NOTE:
ALL EXISTING WELLS MUST BE ABANDONED ACCORDING TO THE UTAH STATE ENGINEER'S REQUIREMENTS AND ALL PROPER DOCUMENTS FILED BY THE CONTRACTOR/OWNER



SITE DATA

LOT AREA:	593,750 SF (13.63 ACRES)
BUILDING AREA:	63,803 SF ± 10.7%
PAVEMENT AREA:	454,796 SF ± 76.6%
LANDSCAPE AREA:	75,151 SF ± 12.7%

ZONING: GC-2 (PLANNED COMMERCIAL)

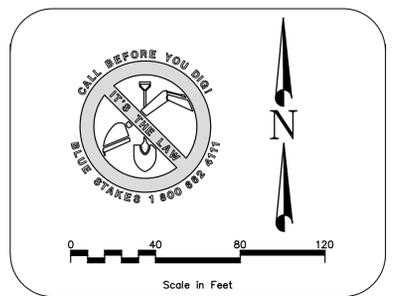
PARKING TABULATION

TOTAL STALLS REQUIRED BY SERVICE BAYS (1.5 PER BAY):
40 BAYS * 1.5 STALLS/BAY = 60 STALLS

TOTAL STALLS REQUIRED BY SF (3 PER 1000 SF):
3 STALLS * (25,000 SF/1000 SF) = 75 STALLS

STALLS REQUIRED: 135 STALLS (5 ADA STALLS)

TOTAL STALLS PROVIDED: 662 (5 ADA STALLS)



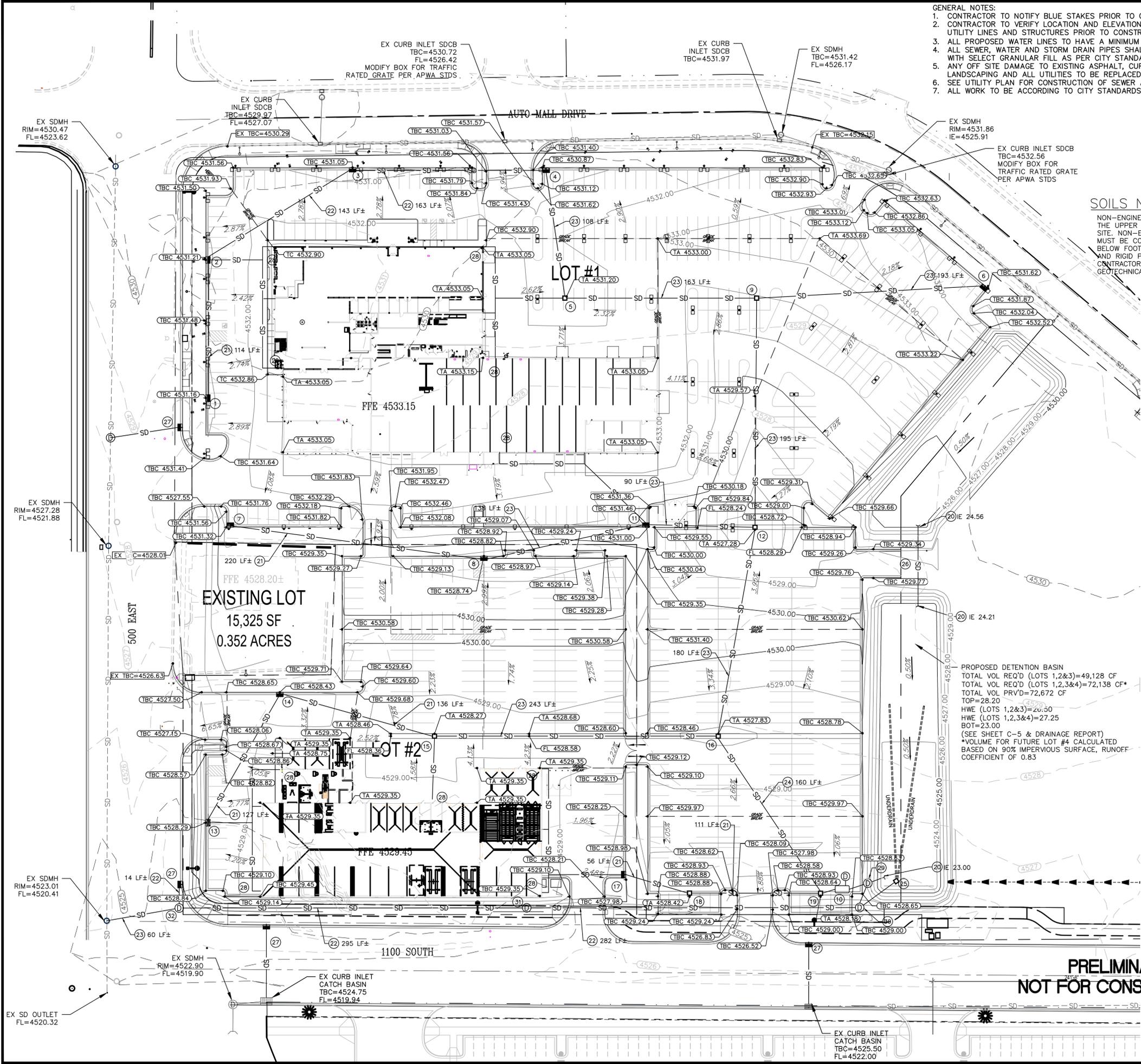
**PRELIMINARY
NOT FOR CONSTRUCTION**

LEGEND ENGINEERING, LLC
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-664-4828
TOLL FREE FAX: 1-866-310-9972
www.legendengineering.com



**KEN GARFF AMERICAN FORK
CIVIL SITE PLAN**
1100 SOUTH 600 EAST AMERICAN FORK, UT 84003

SHEET: **C-1**
DATE: 1.12.15 SCALE: 1"=40'



- GENERAL NOTES:
1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
 2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
 3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 4' OF COVER
 4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

LOT LINES (PROPERTY)

EXISTING CURB AND GUTTER

PROPOSED CURB AND GUTTER

PROPOSED STORM DRAIN LINE

EXISTING STORM DRAIN LINE

GRADE BREAK

FINISH GRADE CONTOUR LINES

EXISTING GRADE CONTOUR LINES

FINISH GRADE SLOPE

STORM DRAIN CLEANOUT BOX

CURB INLET CATCH BASIN

INVERT ELEVATION

TOP OF GRADE

TOP OF ASPHALT

TOP BACK OF CURB

TOP OF CONCRETE

EXISTING

FINISHED FLOOR ELEVATION

SOILS NOTE:

NON-ENGINEERED FILLS EXIST IN THE UPPER 1-4 FEET OF THE SITE. NON-ENGINEERED FILLS MUST BE COMPLETELY REMOVED BELOW FOOTING, FLOOR SLABS, AND RIGID PAVEMENT AREAS. CONTRACTOR TO VERIFY WITH GEOTECHNICAL REPORT.

- DESIGN NOTES:
1. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=30.66 IE=28.34
 2. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=30.71 IE=28.00
 3. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=30.55 IE=27.57
 4. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=30.37 IE=27.11
 5. 3'X3' AREA INLET CATCH BASIN PER DTL SHEET C-4 RIM=31.20 IE=26.78
 6. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=31.12 IE=26.88
 7. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=30.82 IE=25.69
 8. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=28.24 IE=25.03
 9. 3'X3' SD BOX W/ BOLTED LID RIM=32.88 IE=26.30
 10. BAYSAYER OIL/WATER SEPARATOR & OFFLINE TREATMENT FACILITY
 11. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=30.67 IE=24.61
 12. 3'X3' AREA INLET CATCH BASIN PER DTL SHEET C-5 RIM=27.18 IE=24.34
 13. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=27.79 IE=25.50
 14. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=27.93 IE=25.12
 15. 3'X3' AREA INLET CATCH BASIN PER DTL SHEET C-5 RIM=28.17 IE=24.71
 16. 3'X3' AREA INLET CATCH BASIN PER DTL SHEET C-5 RIM=31.12 IE=23.80
 17. CURB INLET CATCH BASIN PER AF CITY STD DWG #15.2 RIM=27.65 IE=23.66
 18. 3'X3' AREA INLET CATCH BASIN PER DTL SHEET C-5 RIM=28.32 IE=23.50
 19. 3'X3' AREA INLET CATCH BASIN PER DTL SHEET C-5 W/SNOUT RIM=28.09 IE=23.17
 20. INSTALL ADS END SECTION
 21. INSTALL 12" ADS STORM DRAIN PIPE @ 0.3% MIN SLOPE
 22. INSTALL 15" ADS STORM DRAIN PIPE @ 0.3% MIN SLOPE
 23. INSTALL 18" ADS STORM DRAIN PIPE @ 0.3% MIN SLOPE
 24. INSTALL 24" ADS STORM DRAIN PIPE @ 0.2% MIN SLOPE
 25. BUBBLE UP BOX IE=22.45
 26. INSTALL 70 LF 12" ADS PIPE W/ END SECTION
 27. CURB INLET CATCH BASIN SEE 1100 S & 500 E PLANS FOR DETAILS
 28. CONNECT ROOF DRAIN TO CATCH BASIN W/ 8" ADS PIPE. FINAL ROOF DRAIN LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS
 29. 48" INLET SDMH RIM=28.49 IE OUT (S)=23.10 IE OUT (E)=23.60
 30. 48" OUTLET SDMH RIM=28.50± (MATCH FINISHED GRADE) IE=22.38
 31. 48" SDMH RIM=28.00± (MATCH FINISHED GRADE) IE=21.53
 32. 48" SDMH RIM=25.00± (MATCH FINISHED GRADE) IE=20.65

PROPOSED DETENTION BASIN
 TOTAL VOL REQ'D (LOTS 1,2&3)=49,128 CF
 TOTAL VOL REQ'D (LOTS 1,2,3&4)=72,138 CF*
 TOTAL VOL PRVD=72,672 CF
 TOP=28.20
 HWE (LOTS 1,2&3)=26.50
 HWE (LOTS 1,2,3&4)=27.25
 BOT=23.00
 (SEE SHEET C-5 & DRAINAGE REPORT)
 *VOLUME FOR FUTURE LOT #4 CALCULATED BASED ON 90% IMPERVIOUS SURFACE, RUNOFF COEFFICIENT OF 0.83

NOTES:
 SEE SHEET C-5 FOR PAVEMENT SECTION DETAILS
 SEE DRAINAGE REPORT FOR DRAINAGE CALCULATIONS
 SEE SHEET C-5 FOR 1100 SOUTH AND 500 EAST ROAD SECTIONS

Scale in Feet

0 40 80 120

PRELIMINARY
 NOT FOR CONSTRUCTION

NO.	REVISIONS	BY	DATE
1	AF CITY TECHNICAL REVIEW	LBB	9/9/14
2	AF CITY TECHNICAL REVIEW	LBB	9/23/14
3	PLANNING COMMISSION REVIEW	LBB	11/10/14
4	PLANNING COMMISSION REVIEW	LBB	11/20/14

PROJECT ENGINEER: LRR

DESIGNER: LBB

LEGEND ENGINEERING, LLC

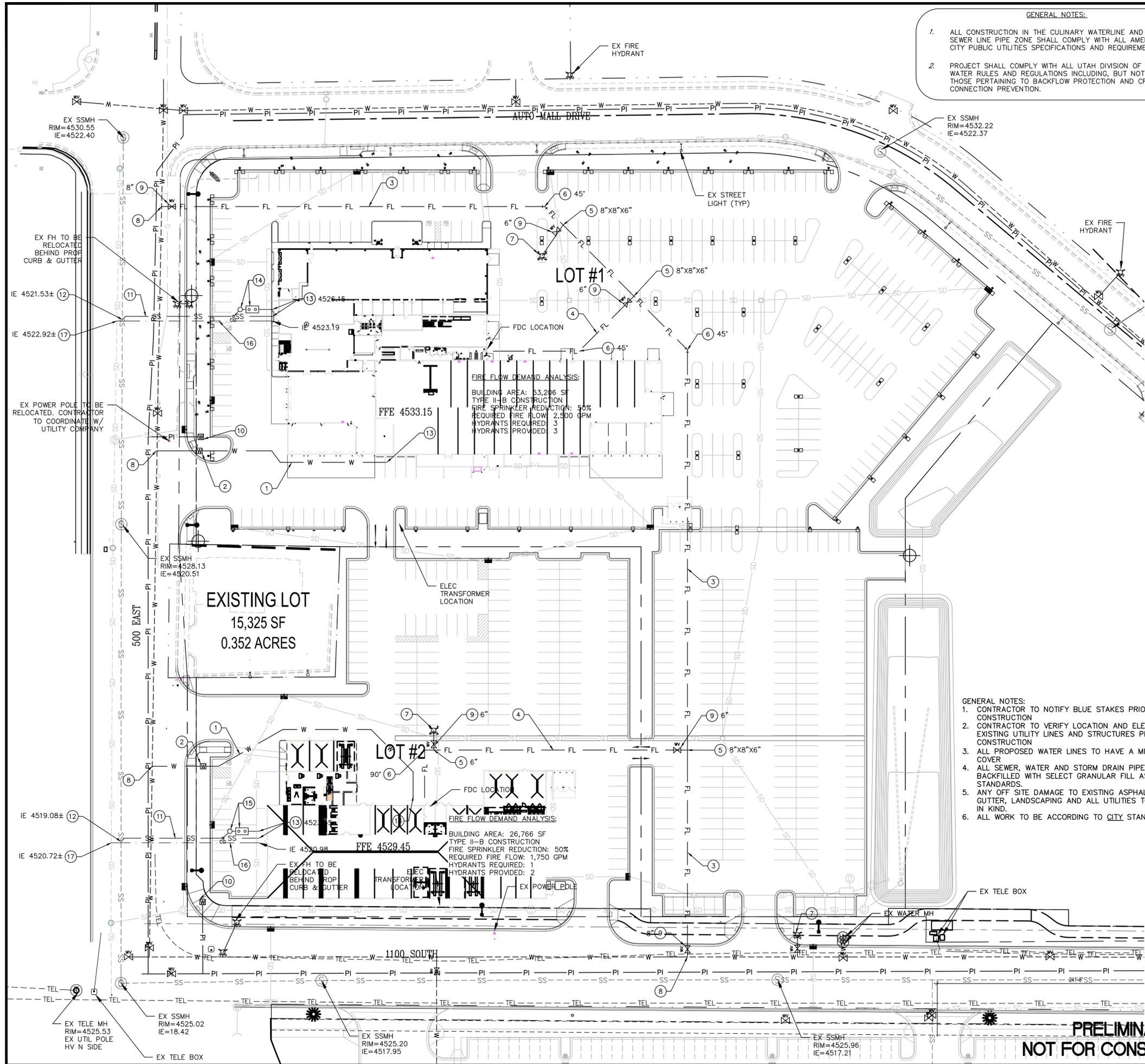
52 WEST 100 NORTH
 HERRER CITY, UT 84002
 PHONE: 435-664-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com



KEN GARFF AMERICAN FORK
 GRADING + DRAINAGE PLAN
 1100 SOUTH 600 EAST AMERICAN FORK, UT 84003

SHEET:
C-2

DATE: 1.12.15 SCALE: 1"=40'



GENERAL NOTES:

1. ALL CONSTRUCTION IN THE CULINARY WATERLINE AND SANITARY SEWER LINE PIPE ZONE SHALL COMPLY WITH ALL AMERICAN FORK CITY PUBLIC UTILITIES SPECIFICATIONS AND REQUIREMENTS.
2. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.



LOT LINES (PROPERTY)

EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	==
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
PROPOSED WATER LINE	W
EXISTING WATER LINE	W
PROPOSED SEWER LINE	SS
EXISTING SEWER LINE	SS
PROPOSED FIRE LINE	FL
EXISTING FIRE HYDRANT	⊗
PROPOSED FIRE HYDRANT	⊗
EXISTING WATER VALVE	⊗
PROPOSED WATER VALVE	⊗
CATCH BASIN	⊗
INVERT ELEVATION	IE
FINISHED FLOOR ELEVATION	FFE

UTILITY DESIGN NOTES:

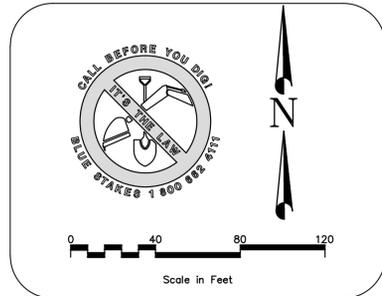
1. INSTALL 2" HDPE DR-9 POLY WATERLINE
2. INSTALL 2" WATER METER PER AMERICAN FORK CITY STANDARDS
3. INSTALL 8" DUCTILE IRON FIRELINE PER AWWA C151 AND ANSI A-21.51
4. INSTALL 6" DUCTILE IRON FIRELINE PER AWWA C151 AND ANSI A-21.51
5. INSTALL DUCTILE IRON TEE W/ THRUST BLOCKS PER AMERICAN FORK CITY STANDARDS SIZE PER PLANS, SEE DETAIL SHEET C-4
6. INSTALL 8" DUCTILE IRON BEND W/ THRUST BLOCKS, SIZE PER PLAN
7. INSTALL FIRE HYDRANT PER AMERICAN FORK CITY STANDARDS, SEE DETAIL SHEET C-4 W/ BOLLARD PROTECTION
8. HOT TAP CONNECTION TO EXISTING WATER LINE PER AMERICAN FORK CITY STANDARDS, CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION
9. INSTALL GATE VALVE PER AMERICAN FORK CITY STANDARDS, SEE DETAIL SHEET C-4 (SIZE PER PLAN)
10. INSTALL 1 1/2" PVC IRRIGATION STUB AND METER. SEE LANDSCAPING PLANS FOR CONTINUATION
11. INSTALL 6" PVC SDR-35 SEWER PIPE AT 1.0% MIN. SLOPE PER ASTM D3034 SDR35
12. CONNECT TO EXISTING SEWER MAIN, CONTRACTOR TO VERIFY LOCATION, ELEVATION, AND SIZE PRIOR TO CONSTRUCTION
13. END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
14. INSTALL SAND/OIL INTERCEPTOR, SEE PLUMBING PLANS RIM=4532.06 IE OUT=4525.36
INSTALL 48" SAMPLING MANHOLE PER AMERICAN FORK CITY & TSSD STANDARDS RIM=4531.79 IE=4525.16
15. INSTALL SAND/OIL INTERCEPTOR, SEE PLUMBING PLANS RIM=4528.85 IE OUT=4522.69
INSTALL 48" SAMPLING MANHOLE PER AMERICAN FORK CITY & TSSD STANDARDS RIM=4528.50 IE=4522.49
16. PROPOSED 8" PERFORATED ADS N-12 GROUNDWATER DRAIN WRAPPED IN FILTER FABRIC, S=0.2%. SEE DETAIL SHEET C-4
17. DISCHARGE GROUNDWATER DRAIN INTO STORM DRAIN SYSTEM. INSTALL TIDEFLEX CHECK VALVE AT CONNECTION

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
6. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

FIRE FLOW DEMAND ANALYSIS:
 BUILDING AREA: 53,206 SF
 TYPE II-B CONSTRUCTION
 FIRE SPRINKLER REDUCTION: 50%
 REQUIRED FIRE FLOW: 2,500 GPM
 HYDRANTS REQUIRED: 3
 HYDRANTS PROVIDED: 3

FIRE FLOW DEMAND ANALYSIS:
 BUILDING AREA: 26,766 SF
 TYPE II-B CONSTRUCTION
 FIRE SPRINKLER REDUCTION: 50%
 REQUIRED FIRE FLOW: 1,750 GPM
 HYDRANTS REQUIRED: 1
 HYDRANTS PROVIDED: 2



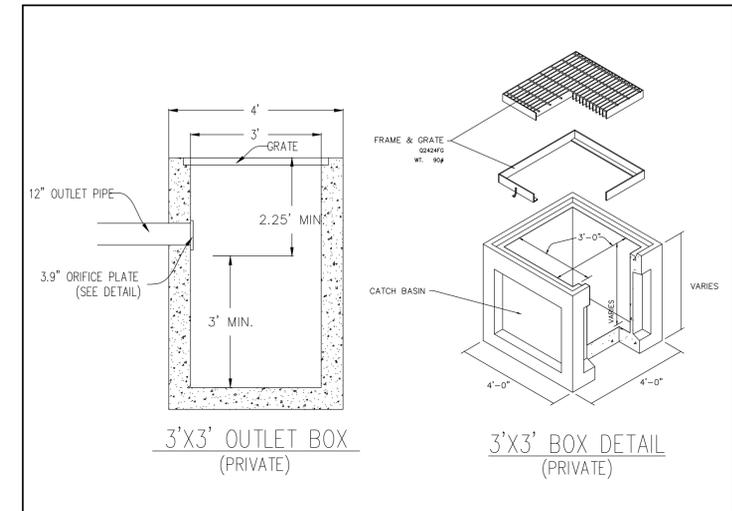
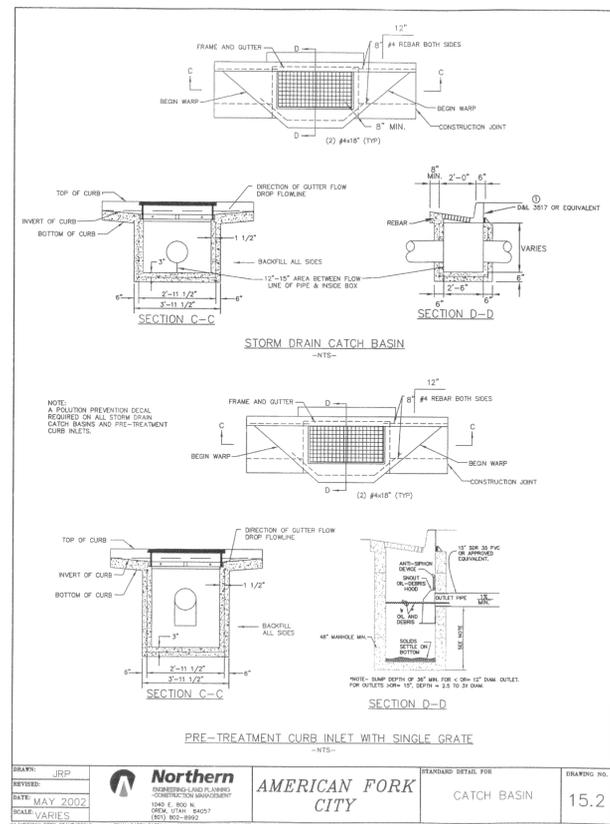
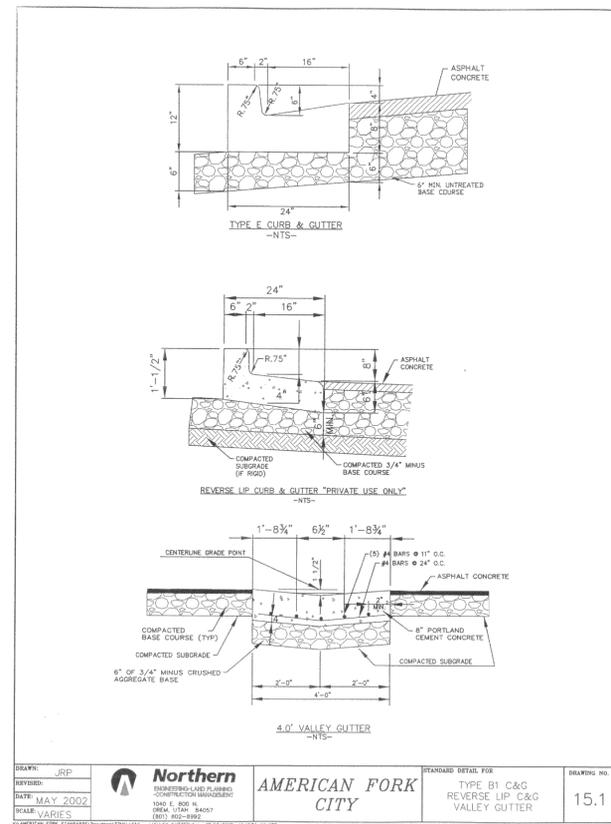
**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISIONS	BY	DATE
1	AF CITY TECHNICAL REVIEW	LSB	9/2/24
2	AF CITY TECHNICAL REVIEW	LSB	9/2/24
3	PLANNING COMMISSION REVIEW	LSB	10/2/24
4	PLANNING COMMISSION REVIEW	LSB	10/2/24

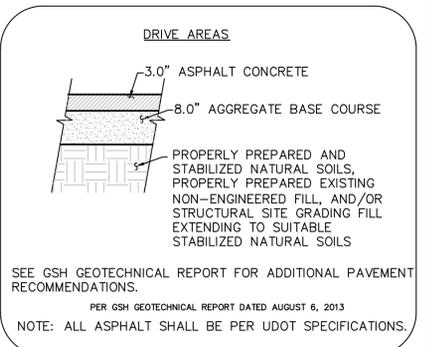
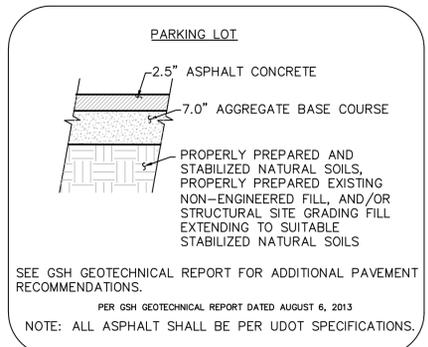
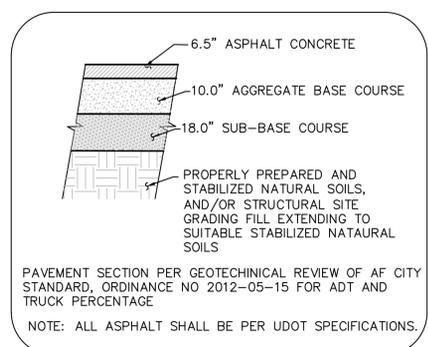
LEGEND ENGINEERING, LLC
 52 WEST 100 NORTH
 HERRON CITY, UT 84032
 PHONE: 435-664-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com



**KEN GARFF AMERICAN FORK
UTILITY PLAN**
 1100 SOUTH 600 EAST AMERICAN FORK, UT 84003

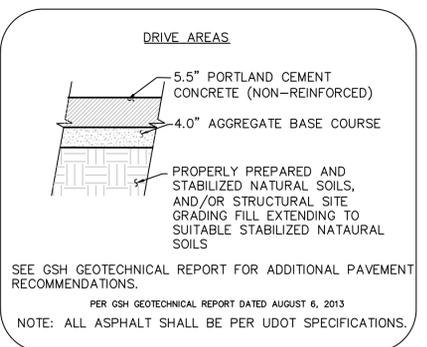
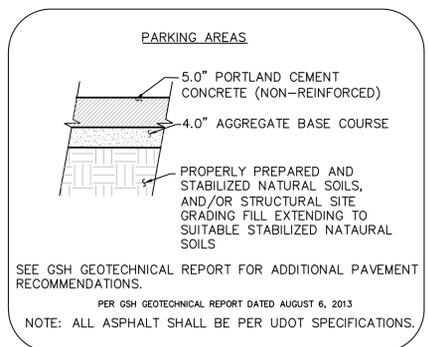
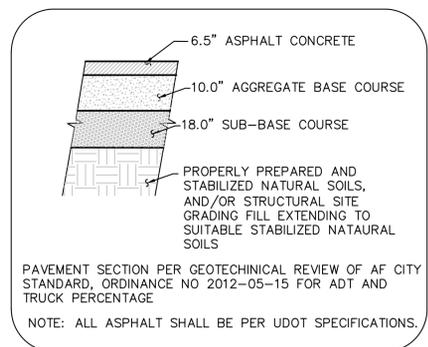


500 EAST

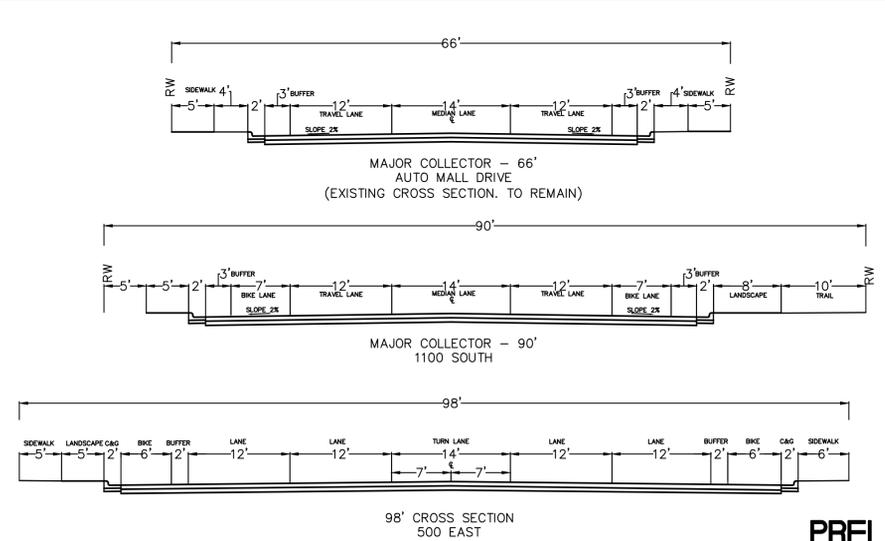
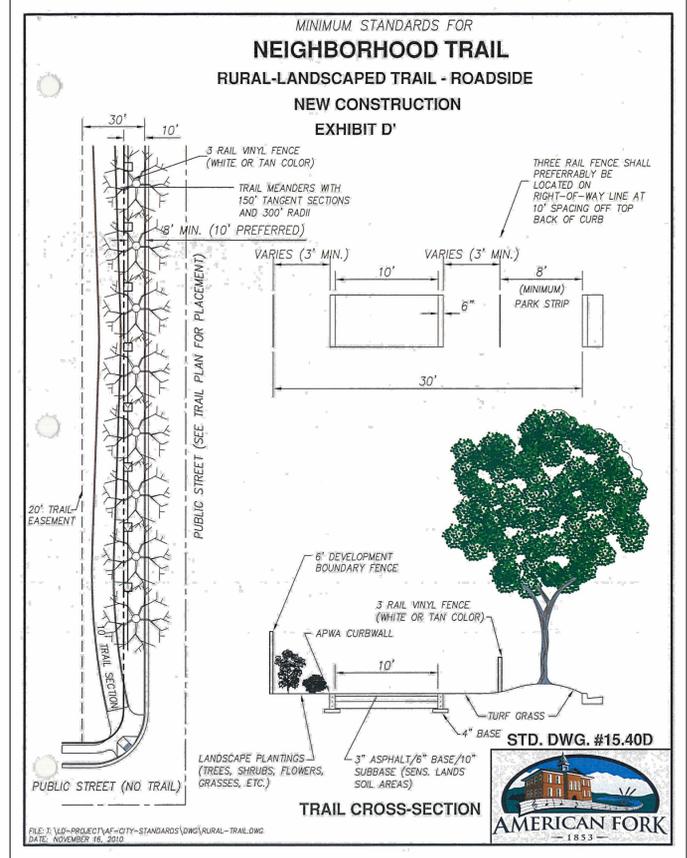


FLEXIBLE PAVEMENTS (ASPHALT CONCRETE)

1100 SOUTH



RIGID PAVEMENTS (NON-REINFORCED CONCRETE)



PRELIMINARY
NOT FOR CONSTRUCTION

NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING, LLC
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
TOLL FREE FAX: 1-866-310-9972
www.legendengineering.com



KEN GARFF AMERICAN FORK
STANDARD DETAILS
1100 SOUTH 600 EAST AMERICAN FORK, UT 84003

KEN GARFF AUTOMOTIVE GROUP
 CHEVROLET AMERICAN FORK
 STORMWATER POLLUTION PREVENTION PLAN
 1100 SOUTH 600 EAST

CERTIFICATION STATEMENT:
 I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

ENGINEER _____ DATE _____

LEGEND

LOT LINES (PROPERTY) ————

EXISTING CURB AND GUTTER ————

PROPOSED CURB AND GUTTER ————

PROPOSED STORM DRAIN LINE —SD—

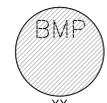
EXISTING STORM DRAIN LINE —SD—

FINISH GRADE CONTOUR LINES —4960—

EXISTING GRADE CONTOUR LINES —(4960)—

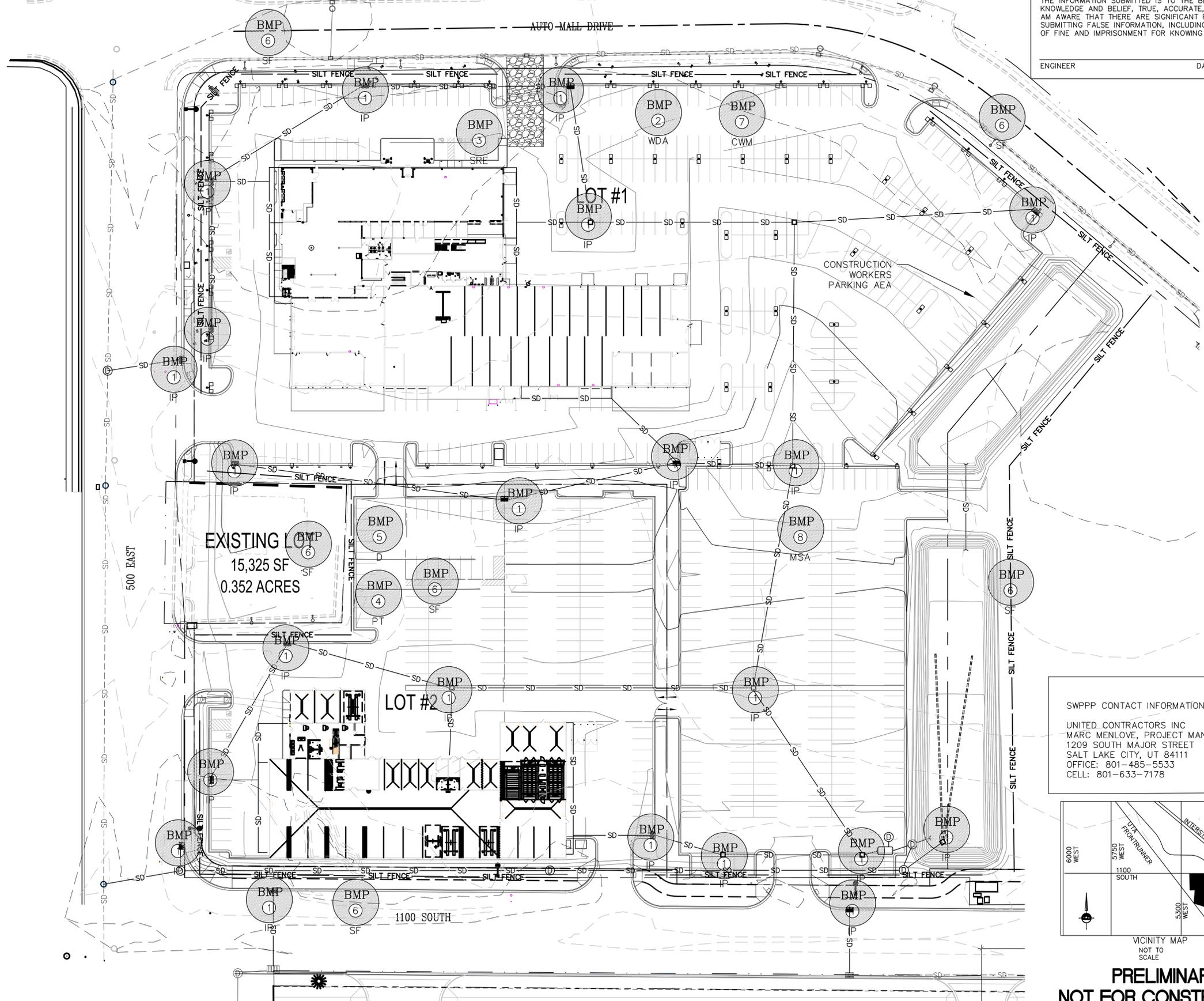
CATCH BASIN 

SILT FENCE —SILT FENCE—

 BEST MANAGEMENT PRACTICE
 SEE BEST MANAGEMENT PRACTICE INDEX AND SHEET C-7 FOR DETAILS

NO.	REVISIONS	BY	DATE
1	AF CITY TECHNICAL REVIEW LBB		8/27/24
2	AF CITY TECHNICAL REVIEW LBB		8/28/24
3	PLANNING COMMISSION REV LBB		10/20/24
4	PLANNING COMMISSION REV LBB		11/21/24

PROJECT ENGINEER: LRR DESIGNER: LRR



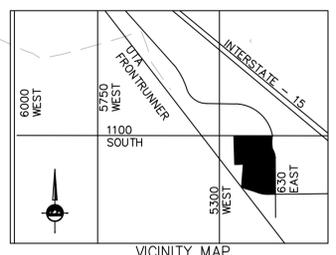
- DURING CONSTRUCTION**
- ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (ONCE A WEEK) AND AFTER EVERY STORM EVENT
 - LAND DISTURBANCE SHALL BE KEPT TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
 - LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
 - STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
 - AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
 - MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS
 - CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION
 - A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY
- POST CONSTRUCTION**
- EROSION CONTROL STRUCTURES MAY BE REMOVED ONCE FINAL LANDSCAPING IS IN PLACE
 - EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS BEEN ESTABLISHED
 - EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE
 - THE FOLLOWING PRECAUTIONS SHALL BE PERFORMED:
 A) PERIODIC INSPECTION OF CATCH BASIN SEDIMENT TRAPS AND CLEANING WHEN THE BASIN IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GREASE OR OIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS
 B) LITTER, DEBRIS AND CHEMICALS MUST BE PICKED UP AND KEPT IN A LOCATION TO PREVENT POLLUTION OF STORM WATER DISCHARGE
 C) PARKING AREAS SHALL BE KEPT FREE FROM AUTOMOBILE FLUIDS AS TO NOT WASH INTO THE STORM DRAIN SYSTEM

EXISTING LOT
 15,325 SF
 0.352 ACRES

SWPPP CONTACT INFORMATION:
 UNITED CONTRACTORS INC
 MARC MENLOVE, PROJECT MANAGER
 1209 SOUTH MAJOR STREET
 SALT LAKE CITY, UT 84111
 OFFICE: 801-485-5533
 CELL: 801-633-7178

C-VALUE BEFORE CONSTRUCTION = 0.35
 C-VALUE AFTER CONSTRUCTION = 0.73
 TOTAL DISTURBED AREA = 9.11 ACRES

- BEST MANAGEMENT PRACTICE INDEX**
- | | | |
|---|-----|--------------------------------------|
| 1 | IP | INLET PROTECTION |
| 2 | WDA | EQUIPMENT AND VEHICLE WASH DOWN AREA |
| 3 | SRE | STABILIZED ROADWAY ENTRANCE |
| 4 | PT | PORTABLE TOILET |
| 5 | D | DUMPSTER LOCATION |
| 6 | SF | SILT FENCE |
| 7 | CWA | CONCRETE WASHOUT AREA |
| 8 | MSA | MATERIAL STORAGE AREA |
| 9 | SB | SWPPP BOARD |
- SEE SHEET C-7 FOR BMP DETAILS



CALL BEFORE YOU DIG!
 BLUE STAKES 1 800 682 8378

Scale In Feet
 0 40 80 120

**PRELIMINARY
 NOT FOR CONSTRUCTION**

LEGEND ENGINEERING, LLC
 52 WEST 100 NORTH
 HERRER CITY, UT 84032
 PHONE: 435-664-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com



KEN GARFF AMERICAN FORK
 SWPPP
 1100 SOUTH 600 EAST AMERICAN FORK, UT 84003

Silt fence

- DESCRIPTION: A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.
- APPLICATION: To intercept sediment from disturbed areas of limited extent.
 - Perimeter Control: Place barrier at down gradient limits of disturbance.
 - Sediment Barrier: Place barrier at toe of slope or soil stockpile.
 - Protection of Existing Waterways: Place barrier at top of stream bank.
 - Inlet Protection.
- INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg. F. to 120 deg. F.
 - Burlap shall be 10 ounces per square yard of fabric.
 - Posts for silt fences shall be either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet. Steel posts shall have projections for fastening wire to them.
 - The fabric is cut on site to desired width, unrolled, and draped over the barrier. The fabric toe is secured with rocks or dirt. The fabric is secured to the mesh with twin, staples or similar devices.
 - When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap. Provide at least 6" overlap at post.
 - When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity.
- MAINTENANCE:
 - Inspected immediately after each rainfall and at least daily during prolonged rainfall.
 - Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
 - Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
 - Re-anchor fence as necessary to prevent shortcutting.
 - Inspect for runoff bypassing ends of barriers or undercutting barriers.

6

Equipment and vehicle wash down area

- DESCRIPTION: A temporary stabilized pad of gravel for general washing of equipment and construction vehicles.
- APPLICATION: At any site where regular washing of vehicles and equipment will occur. May also be used as a filling point for water trucks limiting erosion caused by overflow or spillage of water.
- INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - Compact subgrade.
 - Place filter fabric under wash down area if desired (recommended for wash area that remains more than 3 months).
 - Install silt fence down gradient (see Plan No. 122).
- MAINTENANCE:
 - Requires periodic top dressing with additional stones.
 - Solely used to control sediment in wash water. Cannot be utilized for washing equipment or vehicles that may cause contamination of runoff (such as fertilizer equipment or concrete equipment).
 - The wash area shall be maintained in a condition that will prevent tracking of mud onto public rights-of-way.
 - Periodic top dressing with 2 inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - Expand stabilized area as required to accommodate activities.
 - Maintain silt fence as outlined in Plan No. 122.

16

Stabilized roadway entrance

- DESCRIPTION: A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.
- APPLICATION: At any site where vehicles and equipment enter the public right of way.
- INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - Compact subgrade.
 - Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).
- MAINTENANCE:
 - Requires periodic top dressing with additional stones.
 - Prevent tracking or flow of mud into the public right-of-way.
 - Periodic top dressing with 2 inches stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent areas for sediment deposit and install additional controls as necessary.
 - Expand stabilized area as required to accommodate activities.

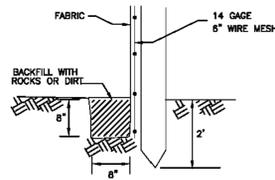
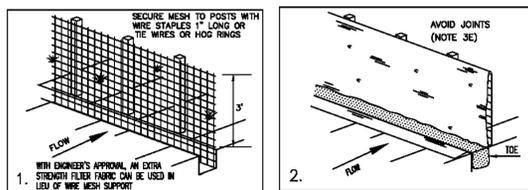
18

Inlet protection – gravel sock

- DESCRIPTION: Placement of gravel sock on grade upstream of, or in front of storm drain inlets to filter or pond water runoff.
- APPLICATION: At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.
- INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
 - On-grade inlet protection:
 - On-grade inlet protection should be used when completely blocking a storm drain inlet box would result in forcing water further downstream would cause flooding or other undesirable results.
 - Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 - Install filter media just upstream of the inlet box.
 - Filter media shall butt tightly against the face of the curb and angle at approximately a 45 degree angle away from the curb to trap runoff between the media and the curb.
 - Excessive flows will flow either over or around the filter media and into the inlet box.
 - Expect ponding behind the filter media.
 - Drop inlet protection:
 - Drop inlet protection should be used at low points in the curb and when diverting flows further downstream will not cause undesirable results.
 - Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
 - Install filter media around the entire perimeter of the inlet grate.
 - Filter media shall butt tightly against the face of the curb on both sides of the inlet grate.
 - Excessive flows will either flow around the media or over the top and into the inlet box.
 - Expect ponding around the inlet box.
- MAINTENANCE:
 - Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - Remove sediment accumulated when it reaches 2 inches in depth.
 - Replace filter medium when damage has occurred or when medium is no longer functioning as intended.

10

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (SWMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



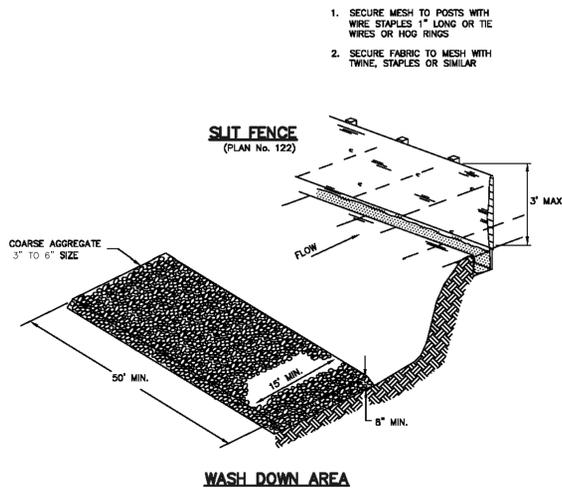
Silt fence

7

122

February 2006

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (SWMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



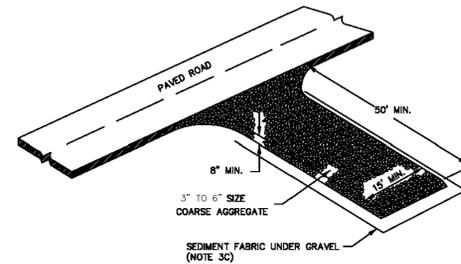
Equipment and vehicle wash down area

17

Plan No. **125**

February 2006

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (SWMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



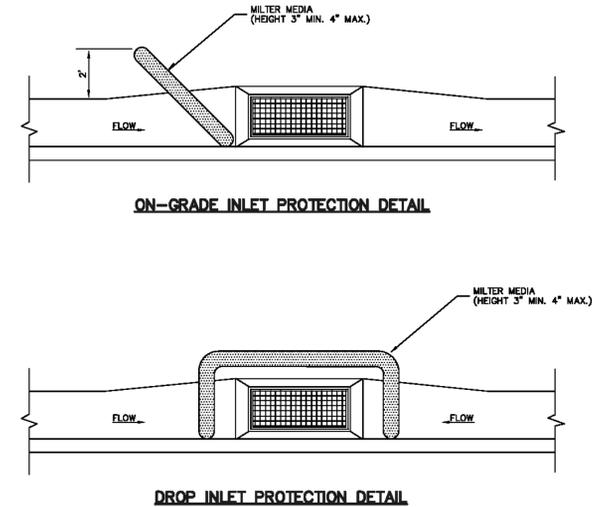
Stabilized roadway entrance

19

Plan No. **126**

February 2006

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (SWMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Inlet protection - gravel sock

11

Plan No. **124**

September 2006

Drawing 1 of 3

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISIONS	BY	DATE

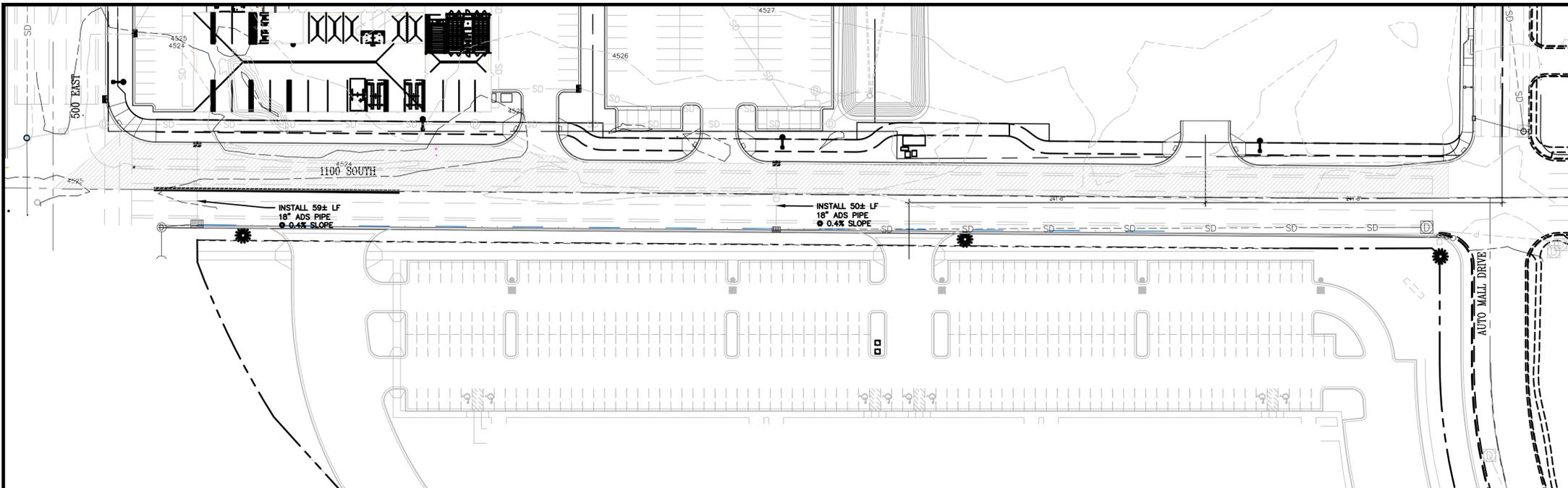
LEGEND ENGINEERING, LLC
 52 WEST 100 NORTH
 HERRON CITY, UT 84002
 PHONE: 435-664-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com



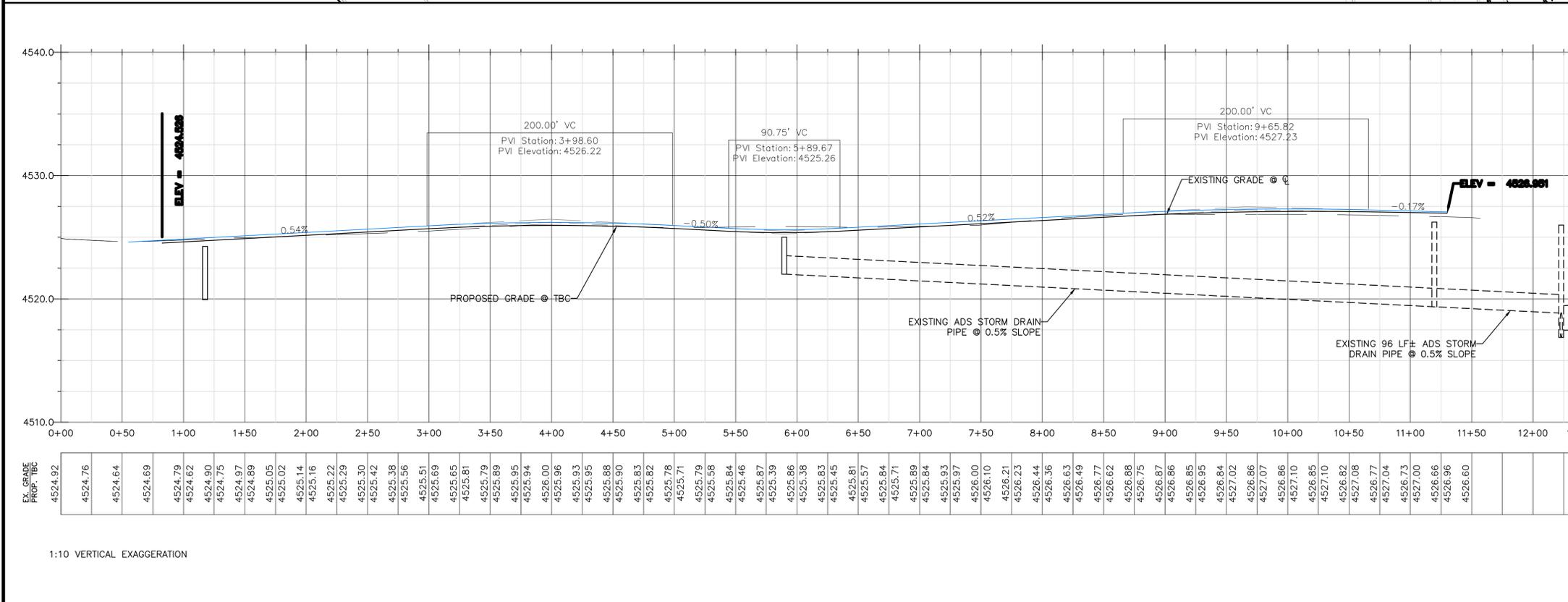
**KEN GARFF AMERICAN FORK
 SWPPP DETAILS
 1100 SOUTH 600 EAST AMERICAN FORK, UT 84003**

SHEET: **C-7**
 DATE: 1.12.15 SCALE: N/A

PROJECT ENGINEER: LRR
 DESIGNER: LRR



LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
GRADE BREAK	GRADE BREAK
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
STORM DRAIN CLEANOUT BOX	☐
CURB INLET CATCH BASIN	☐
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
EXISTING	EX
PROPOSED RECONSTRUCTION (TO CENTERLINE)	▨



EX. GRADE PROP. TBC
4524.92
4524.76
4524.64
4524.69
4524.79
4524.62
4524.90
4524.75
4524.97
4524.89
4525.05
4525.02
4525.14
4525.16
4525.22
4525.29
4525.30
4525.42
4525.38
4525.56
4525.51
4525.69
4525.65
4525.81
4525.79
4525.89
4525.95
4525.94
4526.00
4525.93
4525.95
4525.88
4525.90
4525.83
4525.82
4525.78
4525.71
4525.79
4525.58
4525.84
4525.46
4525.87
4525.39
4525.86
4525.38
4525.83
4525.45
4525.81
4525.57
4525.84
4525.71
4525.89
4525.84
4525.93
4525.97
4526.00
4526.10
4526.21
4526.23
4526.44
4526.36
4526.63
4526.49
4526.87
4526.86
4526.85
4526.95
4527.02
4526.86
4527.07
4526.85
4527.10
4527.10
4526.82
4527.08
4526.77
4527.04
4526.73
4527.00
4526.66
4526.96
4526.60

NOTE:
 SEE SHEET C-5 FOR PAVEMENT SECTION DETAILS
 SEE SHEET C-5 FOR 1100 SOUTH
 MIN 2" PATCH OVER EXISTING ASPHALT

- GENERAL NOTES:
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
 - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
 - ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 4' OF COVER
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK TO BE ACCORDING TO CITY STANDARDS.

**PRELIMINARY
NOT FOR CONSTRUCTION**

Scale in Feet

NO.	REVISIONS	BY	DATE
1	AF CITY TECHNICAL REVIEW LBB		8/9/14
2	AF CITY TECHNICAL REVIEW LBB		8/25/14
3	PLANNING COMMISSION REV LBB		11/10/14
4	PLANNING COMMISSION REV LBB		11/2/15

PROJECT ENGINEER: LRR DESIGNER: LSB

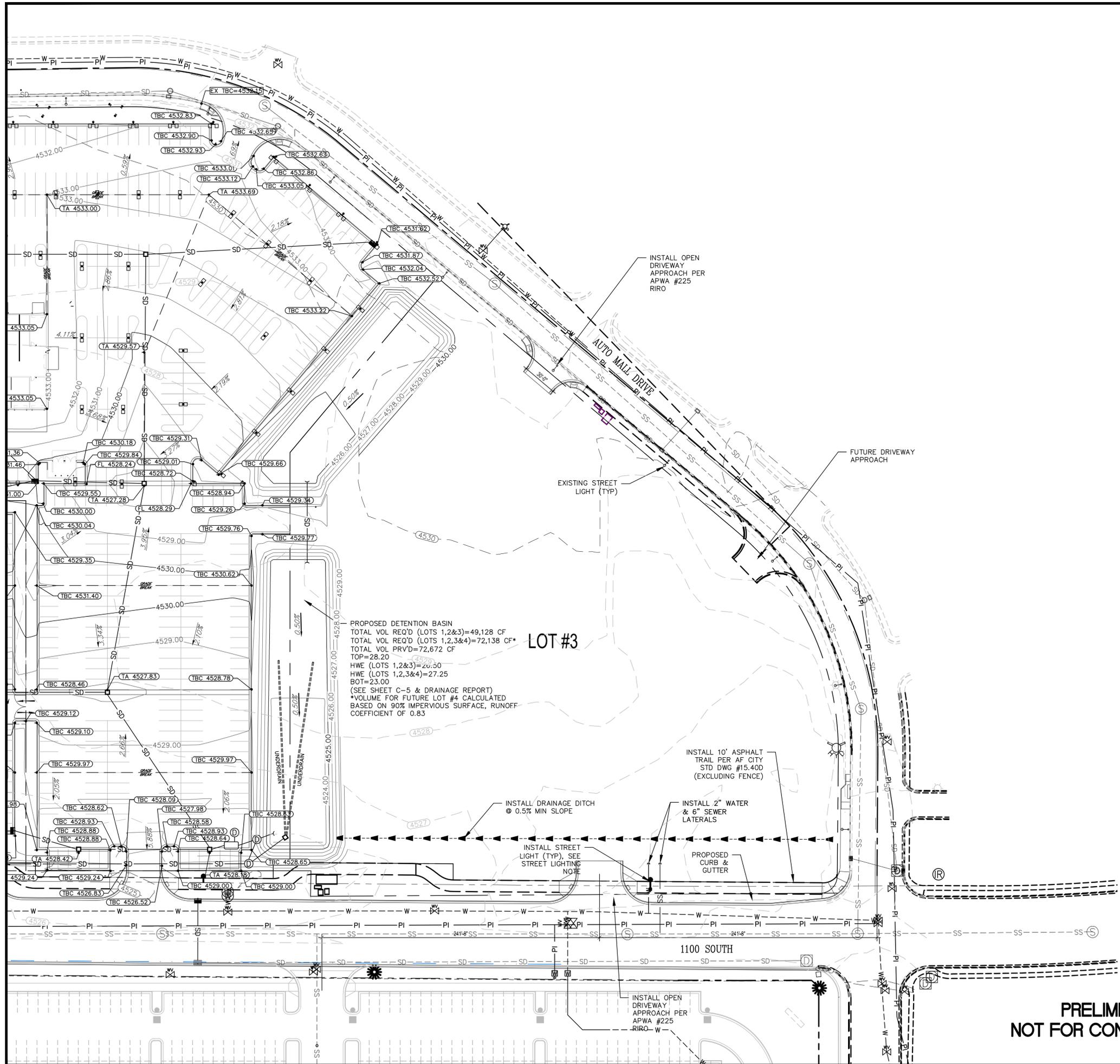
LEGEND ENGINEERING, LLC

52 WEST 100 NORTH
 HEBER CITY, UT 84032
 PHONE: 435-654-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com

**KEN GARFF AMERICAN FORK
1100 SOUTH PLAN AND PROFILE
1100 SOUTH 600 EAST AMERICAN FORK, UT 84003**

SHEET: **C-8**

DATE: 1.12.15 SCALE: 1"=50'



LOT #3

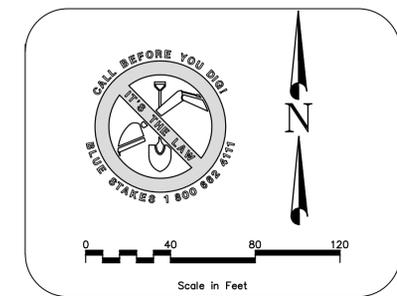
PROPOSED DETENTION BASIN
 TOTAL VOL REQ'D (LOTS 1,2&3)=49,128 CF
 TOTAL VOL REQ'D (LOTS 1,2,3&4)=72,138 CF*
 TOTAL VOL PRV'D=72,672 CF
 TOP=28.20
 HWE (LOTS 1,2&3)=26.50
 HWE (LOTS 1,2,3&4)=27.25
 BOT=23.00
 (SEE SHEET C-5 & DRAINAGE REPORT)
 *VOLUME FOR FUTURE LOT #4 CALCULATED
 BASED ON 90% IMPERVIOUS SURFACE, RUNOFF
 COEFFICIENT OF 0.83

LEGEND	
LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
GRADE BREAK	GRADE BREAK
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
STORM DRAIN CLEANOUT BOX	☐
CURB INLET CATCH BASIN	☐
INVERT ELEVATION	IE
TOP OF GRADE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
TOP OF CONCRETE	TC
EXISTING	EX
FINISHED FLOOR ELEVATION	FFE

NOTES:

SEE SHEET C-5 FOR PAVEMENT SECTION DETAILS
 SEE DRAINAGE REPORT FOR DRAINAGE CALCULATIONS
 SEE SHEET C-5 FOR 1100 SOUTH ROAD SECTIONS
 SEE SHEET C-7 FOR 1100 SOUTH DESIGN

- GENERAL NOTES:**
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
 - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
 - ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 4' OF COVER
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK TO BE ACCORDING TO CITY STANDARDS.



**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISIONS	BY	DATE
1	AF CITY TECHNICAL REVIEW	LBB	8/9/14
2	AF CITY TECHNICAL REVIEW	LBB	9/23/14
3	PLANNING COMMISSION REVIEW	LBB	11/10/14
4	PLANNING COMMISSION REVIEW	LBB	11/21/14

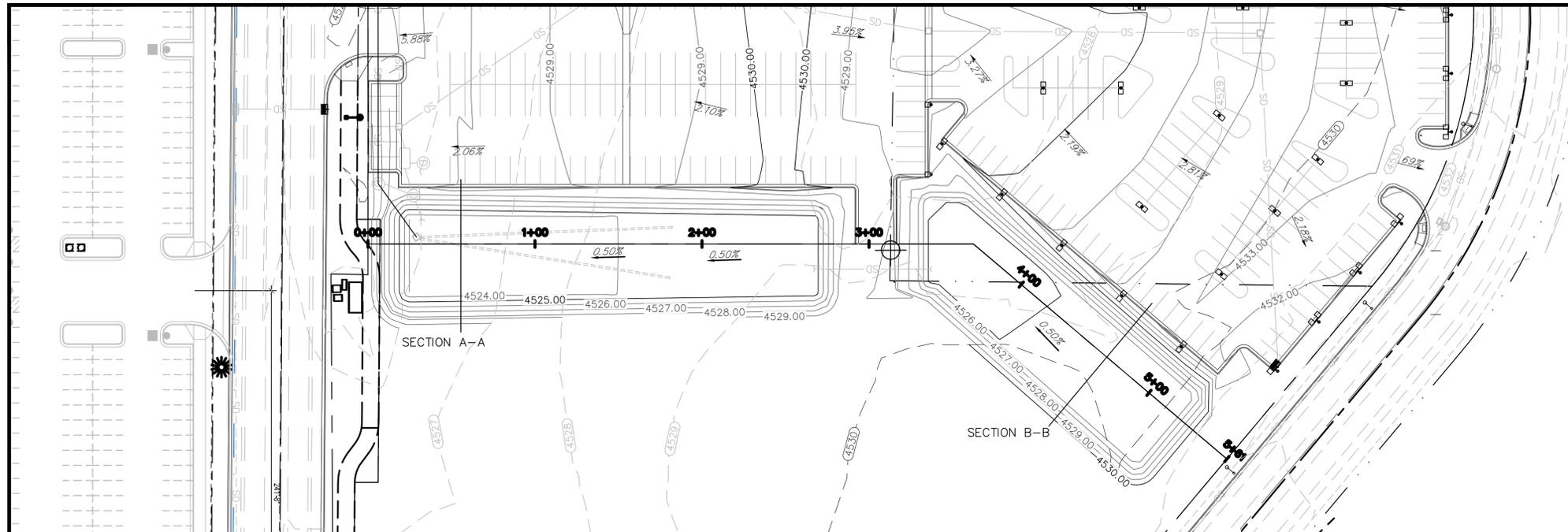
LEGEND ENGINEERING, LLC
 52 WEST 100 NORTH
 HERRER CITY, UT 84032
 PHONE: 435-664-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com



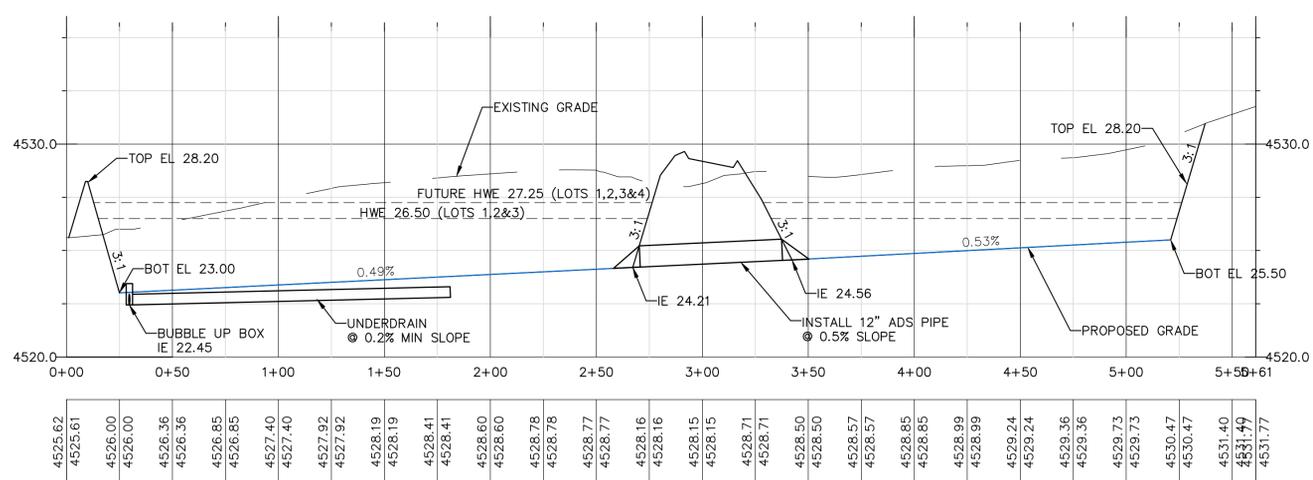
**KEN GARFF AMERICAN FORK
LOT #4 IMPROVEMENT PLAN
1100 SOUTH 600 EAST AMERICAN FORK, UT 84003**

SHEET:
C-9

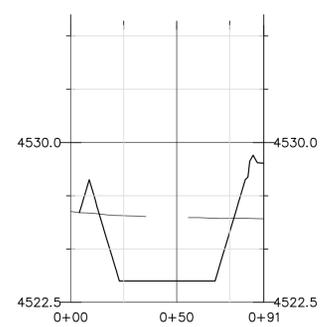
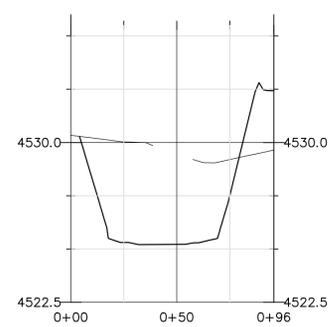
DATE: 1.12.15 SCALE: 1"=40'



LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	---SD---
EXISTING STORM DRAIN LINE	---SD---
GRADE BREAK	---GRADE BREAK---
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
STORM DRAIN CLEANOUT BOX	☐
CURB INLET CATCH BASIN	☐
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
EXISTING	EX



1:10 VERTICAL EXAGGERATION



- GENERAL NOTES:
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
 - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
 - ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 4' OF COVER
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
 - ALL WORK TO BE ACCORDING TO CITY STANDARDS.

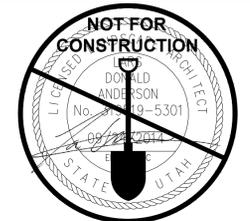
CALL BEFORE YOU DIG
BLUE STAKES 1 800 888 6111

N

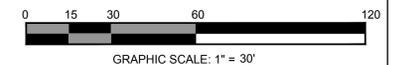
0 40 80 120
Scale in Feet

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISIONS	BY	DATE		
LEGEND ENGINEERING, LLC 52 WEST 100 NORTH HEBER CITY, UT 84032 PHONE: 435-664-4828 TOLL FREE FAX: 1-866-310-9972 www.legendengineering.com					
KEN GARFF AMERICAN FORK DETENTION BASIN DETAILS 1100 SOUTH 600 EAST AMERICAN FORK, UT 84003					
PROJECT ENGINEER: LRR DESIGNER: LSB					
SHEET: C-10					
DATE: 1.12.15		SCALE: 1"=40'			



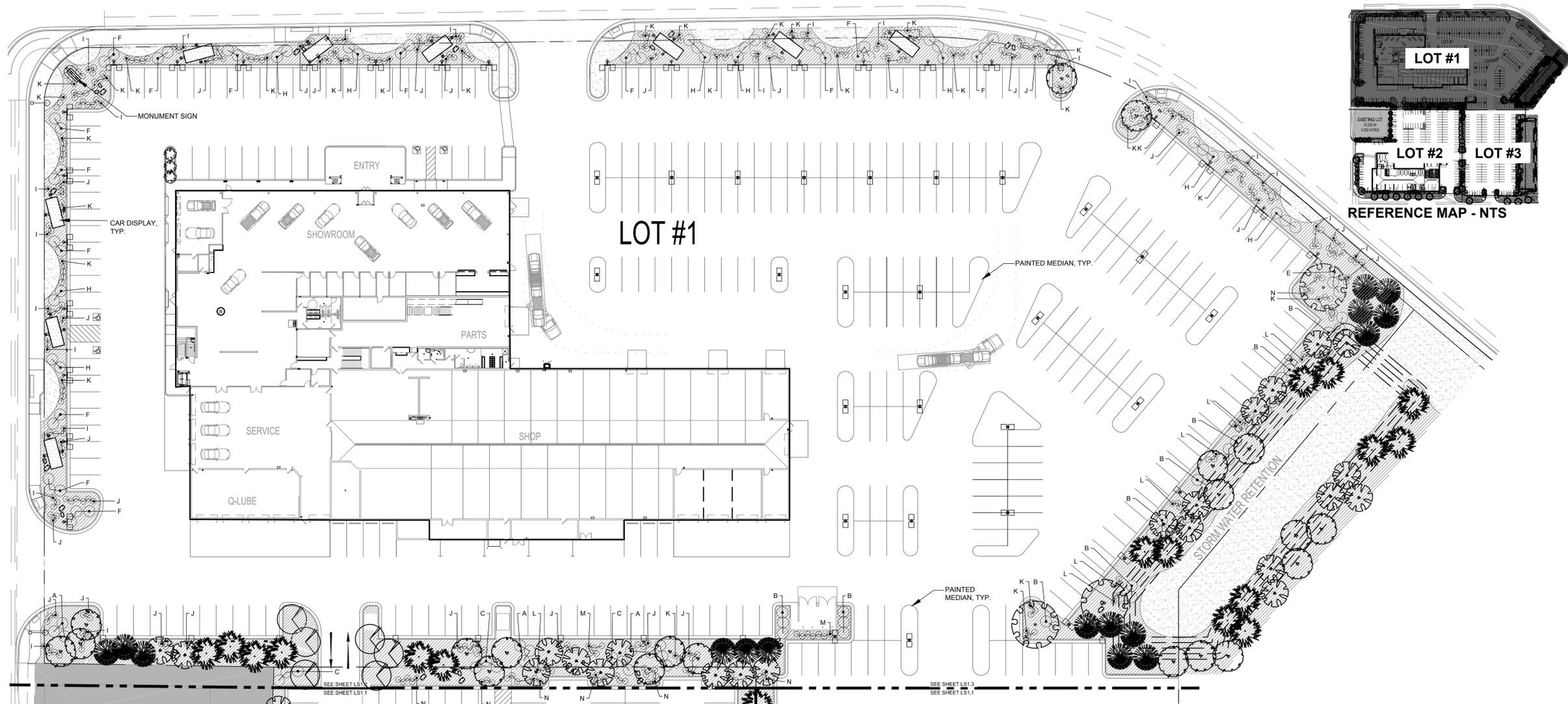
NO.	REVISION	DATE
1	xxx	xxx
2	xxx	xxx
3	xxx	xxx
4	xxx	xxx
5	xxx	xxx
6	xxx	xxx
7	xxx	xxx
8	xxx	xxx
9	xxx	xxx
10	xxx	xxx



**PRELIMINARY PLANS NOT
FOR CONSTRUCTION**

PLANTING PLAN

LS-1.1



TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ACER PLATANOIDES 'COLUMNAR' COLUMNAR NORWAY MAPLE	3	2" CALIPER
	QUERCUS ROBER x QUERCUS ALBA 'CRIMSCHMIDT' CRIMSON SPIRE OAK	20	2" CALIPER
	CERCIS CANADENSIS 'CLUMP FOREST PANSY' CLUMP FOREST PANSY REDBUD	22	2" CALIPER
	PICEA GLAUCA PENDULA WEeping WHITE SPRUCE	16	6-7"
	PINUS FLEXILIS 'VANDERWOLFE' VANDERWOLFE PINE	16	6-7"
	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR	6	2" CALIPER

TREE REQUIREMENT TABLE

	LINEAR FEET:	REQUIRED:	PROVIDED:
STREET FRONTAGE:	1,000	25	6
PROPERTY BOUNDARY:	832	20	67
INTERIOR PARKING:		32	5
		77	78

* STREET FRONTAGE AND PROPERTY BOUNDARY
1 TREE PER 40 LINEAR FEET

SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
A	BERBERIS T. A. 'BAGATELLE' BAGATELLE BARBERRY	11	5 GAL.
B	CORNUS ALBA ELEGANTISSIMA VARIEGATED RED TWIG DOGWOOD	33	5 GAL.
C	HIBISCUS SYRIACUS 'COLESTRIS' SINGLE BLUE ROSE OF SHARON	9	5 GAL.
E	ROSA 'RADTKO' DOUBLE KNOCKOUT ROSE	3	5 GAL.
F	SPIRAEA BUMALDA 'GOLDFLAME' GOLDFLAME SPIREA	34	5 GAL.
H	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' LITTLE SPIRE RUSSIAN SAGE	23	5 GAL.

PERENNIAL LEGEND

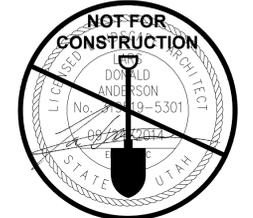
SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
I	ECHINACEA PURPUREA 'AMAZING DREAM' AMAZING DREAM CONEFLOWER	95	1 GAL.
J	HERMERCALIS SPP. PARDON ME DAYLILLY	111	1 GAL.
K	PENNISETUM APOLEUCURIODES 'HAMELN' DWARF FOUNTAIN GRASS	145	1 GAL.
L	MISCANTHUS SINENSIS 'ZBRINUS' ZEBRA GRASS	26	1 GAL.
M	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER GRASS	12	1 GAL.
N	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL BLUE SWITCH GRASS	38	1 GAL.

SITE MATERIALS LEGEND

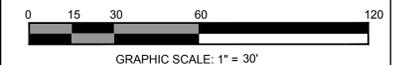
SYMBOL	NAME	QUANTITY	SIZE
	SOUTH TOWN MIX (NEPHI SANDSTONE)		4" DIAMETER
	SOUTH TOWN MIX (NEPHI SANDSTONE)		1" DIAMETER
	LAWN (SOD)		SOD
	BLUFFDALE BROWN GRANITE DECORATIVE BOULDERS		2'-3' DIAMETER

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW LAWN AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR ROCK MULCH TO REACH FINISHED GRADE.
- 4'X6" SQUARE EXTRUDED CONCRETE MOWCURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER PERENNIALS, ANNUALS AND/OR GROUNDCOVER AREAS.
- ROCK MULCH TO BE IMPLEMENTED PER PLANS AT THE FOLLOWING DEPTHS: 3" IN ALL TREE AND SHRUB PLANTER AREAS, 1" UNDER ALL PERENNIALS GROUNDCOVERS AND ANNUALS. PULL ROCK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- TREES LOCATED IN LAWN AREAS SHALL HAVE TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF BARK MULCH.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.



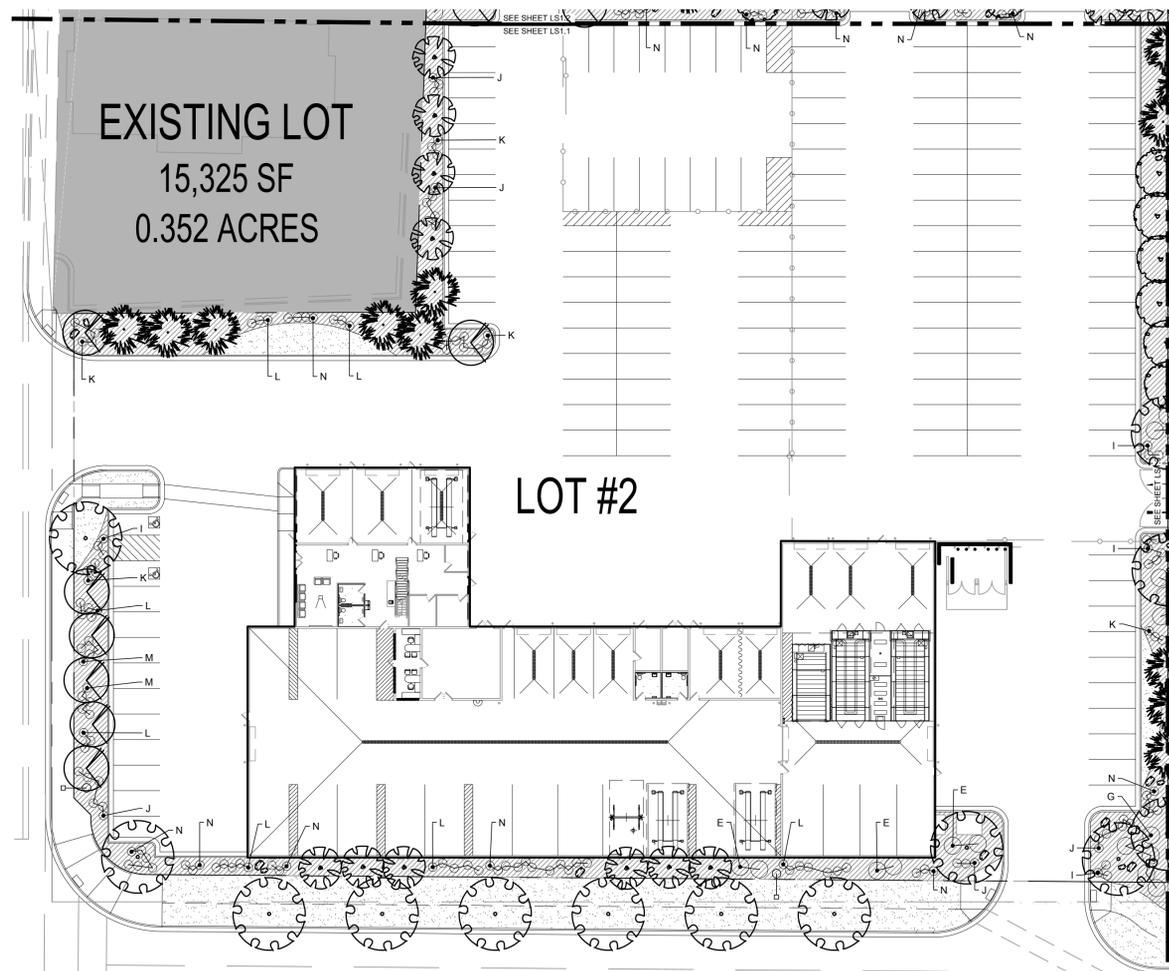
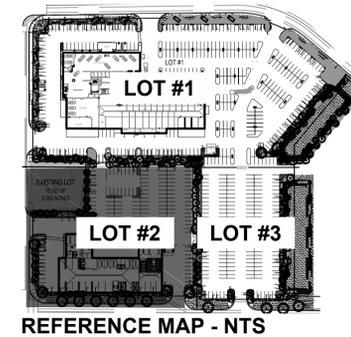
NO.	REVISION	DATE
1	xxx	xxx
2	xxx	xxx
3	xxx	xxx
4	xxx	xxx
5	xxx	xxx
6	xxx	xxx
7	xxx	xxx
8	xxx	xxx
9	xxx	xxx
10	xxx	xxx



PRELIMINARY PLANS NOT FOR CONSTRUCTION

PLANTING PLAN

LS-1.2



EXISTING LOT
 15,325 SF
 0.352 ACRES

LOT #2

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW LAWN AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR ROCK MULCH TO REACH FINISHED GRADE.
- 4"X6" SQUARE EXTRUDED CONCRETE MOWCURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN.
- DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER PERENNIALS, ANNUALS AND/OR GROUNDCOVER AREAS.
- ROCK MULCH TO BE IMPLEMENTED PER PLANS AT THE FOLLOWING DEPTHS: 3" IN ALL TREE AND SHRUB PLANTER AREAS, 1" UNDER ALL PERENNIALS GROUNDCOVERS AND ANNUALS. PULL ROCK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- TREES LOCATED IN LAWN AREAS SHALL HAVE TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF BARK MULCH.
- ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.

TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ACER PLATANOIDES 'COLUMNAR' COLUMNAR NORWAY MAPLE	10	2" CALIPER
	CERCIS CANADENSIS 'CLUMP FOREST PANSY' CLUMP FOREST PANSY REDBUD	10	2" CALIPER
	PINUS FLEXILIS 'VANDERWOLFE' VANDERWOLFE PINE	6	6-7"
	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR	7	2" CALIPER

SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ROSA 'RADTKO' DOUBLE KNOCKOUT ROSE	6	5 GAL.

PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ECHINACEA PURPUREA 'AMAZING DREAM' AMAZING DREAM CONEFLOWER	15	1 GAL.
	HERMEROCALIS SPP. PARDON ME DAYLILLY	23	1 GAL.
	PENNISSETUM APOLECURIODES 'HAMELN' DWARF FOUNTAIN GRASS	22	1 GAL.
	MISCANTHUS SINENSIS 'ZEBRINUS' ZEBRA GRASS	31	1 GAL.
	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER GRASS	10	1 GAL.
	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL BLUE SWITCH GRASS	35	1 GAL.

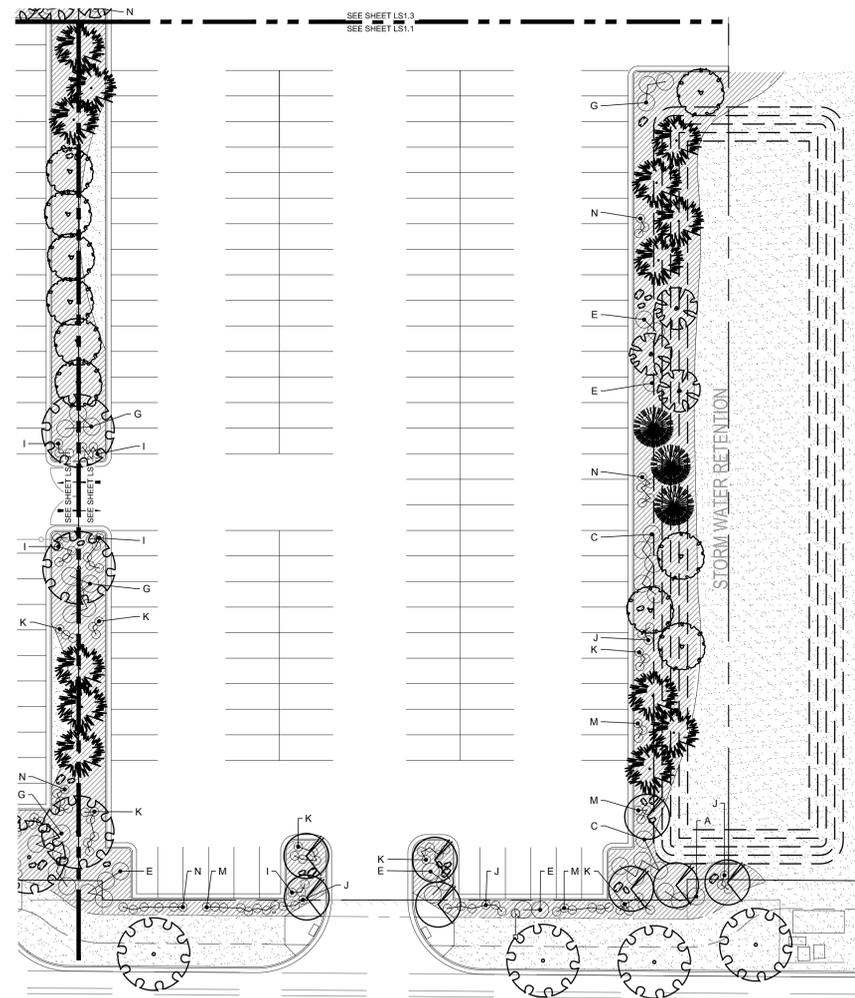
SITE MATERIALS LEGEND

SYMBOL	NAME	QUANTITY	SIZE
	SOUTH TOWN MIX (NEPHI SANDSTONE)		4" DIAMETER
	SOUTH TOWN MIX (NEPHI SANDSTONE)		1" DIAMETER
	LAWN (SOD)		SOD
	BLUFFDALE BROWN GRANITE DECORATIVE BOULDERS		2'-3' DIAMETER

TREE REQUIREMENT TABLE

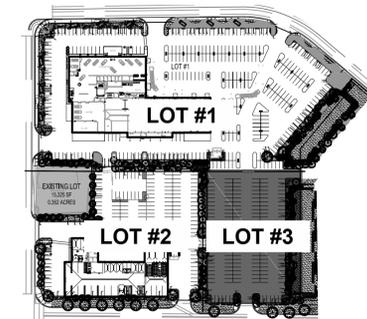
	LINEAR FEET:	REQUIRED:	PROVIDED:
STREET FRONTAGE:	620	15	15
INTERIOR PARKING:		11	12
		26	27

* STREET FRONTAGE AND PROPERTY BOUNDARY
 1 TREE PER 40 LINEAR FEET



LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
3. NEW LAWN AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
4. SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR ROCK MULCH TO REACH FINISHED GRADE.
5. 4"x6" SQUARE EXTRUDED CONCRETE MOWCURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER PERENNIALS, ANNUALS AND/OR GROUND COVER AREAS.
6. ROCK MULCH TO BE IMPLEMENTED PER PLANS AT THE FOLLOWING DEPTHS: 3" IN ALL TREE AND SHRUB PLANTER AREAS, 1" UNDER ALL PERENNIALS GROUNDCOVERS AND ANNUALS. PULL ROCK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
7. TREES LOCATED IN LAWN AREAS SHALL HAVE TREE WELL AROUND BASE OF TREE WITH 3" DEPTH OF BARK MULCH.
8. ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.



REFERENCE MAP - NTS

TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
	ACER PLATANOIDES 'COLUMNAR' COLUMNAR NORWAY MAPLE	7	2" CALIPER
	QUERCUS ROBER x QUERCUS ALBA 'CRIMSCHMIDT' CRIMSON SPIRE OAK	10	2" CALIPER
	CERCIS CANADENSIS 'CLUMP FOREST PANSY' CLUMP FOREST PANSY REDBUD	3	2" CALIPER
	PICEA GLAUCA PENDULA WEeping WHITE SPRUCE	3	6-7"
	PINUS FLEXILIS 'VANDERWOLFE' VANDERWOLFE PINE	13	6-7"
	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR	8	2" CALIPER

SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
A	BERBERIS T. A. 'BAGATELLE' BAGATELLE BARBERRY	3	5 GAL.
C	HIBISCUS SYRIACUS 'COLESTRIS' SINGLE BLUE ROSE OF SHARON	10	5 GAL.
E	ROSA 'RADTKO' DOUBLE KNOCKOUT ROSE	12	5 GAL.
G	WEIGELA FLORIDA 'WINE AND ROSES' WINE AND ROSES WEIGELA	16	5 GAL.

PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QUANTITY	SIZE
I	ECHINACEA PURPUREA 'AMAZING DREAM' AMAZING DREAM CONEFLOWER	13	1 GAL.
J	HERMEROCALIS SPP. PARDON ME DAYLILLY	15	1 GAL.
K	PENNISSETUM APOLEUCURIODES 'HAMELN' DWARF FOUNTAIN GRASS	28	1 GAL.
M	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER GRASS	20	1 GAL.
N	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL BLUE SWITCH GRASS	14	1 GAL.

SITE MATERIALS LEGEND

SYMBOL	NAME	QUANTITY	SIZE
	SOUTH TOWN MIX (NEPHI SANDSTONE)		4" DIAMETER
	SOUTH TOWN MIX (NEPHI SANDSTONE)		1" DIAMETER
	LAWN (SOD)		SOD
	BLUFFDALE BROWN GRANITE DECORATIVE BOULDERS		2-3' DIAMETER

TREE REQUIREMENT TABLE

	LINEAR FEET:	REQUIRED:	PROVIDED:
STREET FRONTAGE:	231	6	7
INTERIOR PARKING:		17	17
		23	24

* STREET FRONTAGE 1 TREE PER 40 LINEAR FEET

OWNER/CLIENT



233 SOUTH PLEASANT GROVE BLVD
PLEASANT GROVE, UT 84062
OFFICE: (801) 769-3000
WWW.CMA.COM

ENGINEER/ARCHITECT

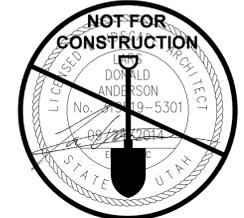


PROJECT ENGINEERING CONSULTANTS
986 WEST 9000 SOUTH
WEST JORDAN, UTAH, 84088
OFFICE: 801-495-4240
INFO@PEC.US.COM

PROJECT INFORMATION

KEN GARFF CHEVROLET OF
AMERICAN FORK
AMERICAN FORK, UTAH 84003

SEAL/STAMP OF APPROVAL

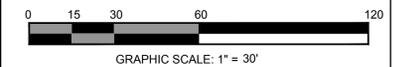


ISSUE DATE

01-12-2015 UT14-108

NO.	REVISION	DATE
1	xxx	xxx
2	xxx	xxx
3	xxx	xxx
4	xxx	xxx
5	xxx	xxx
6	xxx	xxx
7	xxx	xxx
8	xxx	xxx
9	xxx	xxx
10	xxx	xxx

PLAN INFORMATION



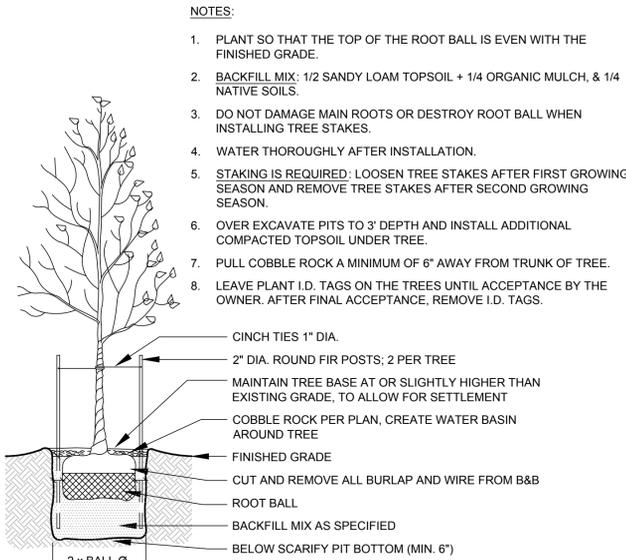
SHEET NAME

PRELIMINARY PLANS NOT
FOR CONSTRUCTION

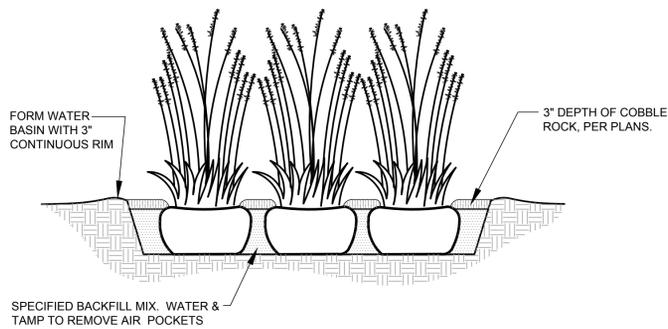
PLANTING PLAN

SHEET NUMBER

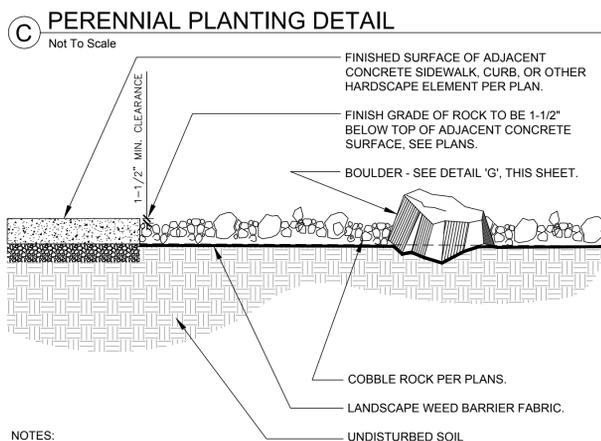
LS-1.3



A DECIDUOUS TREE PLANTING DETAIL
SCALE: NOT TO SCALE

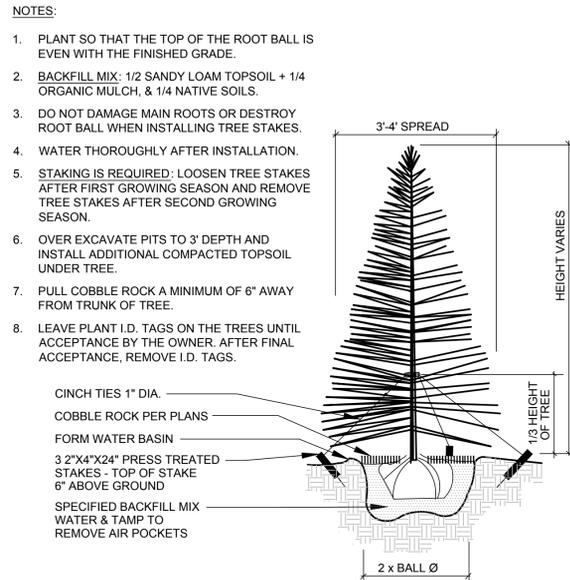


- NOTE:**
1. SCARIFY ROOT BALL PRIOR TO PLANTING.
- BACKFILL SPECIFICATIONS:**
1. BACKFILL MIX: 1/2 SANDY LOAM + 1/4 ORGANIC MULCH + 1/4 NATIVE SOILS.
 2. WATER THOROUGHLY AFTER INSTALLATION.

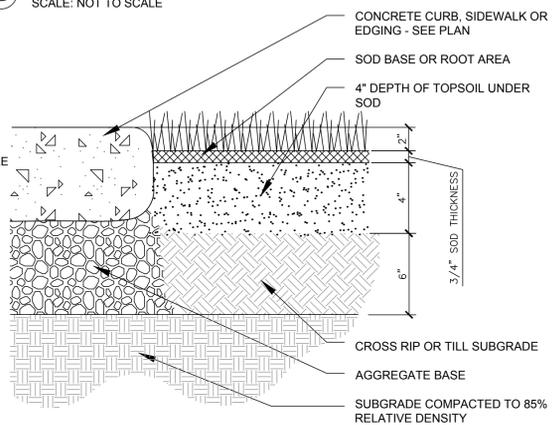


- NOTES:**
1. KEEP TOP OF COBBLE ROCK 1 1/2" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW COBBLE ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL COBBLE ROCK AFTER INSTALLATION OF WEED BARRIER FABRIC AND PLANT MATERIAL.
 2. CONTRACTOR TO ENSURE THAT TOP OF WEED BARRIER FABRIC IS FREE OF SOILS AND DEBRIS PRIOR TO PLACING COBBLE ROCK.
 3. SEE LANDSCAPE PLANS FOR ROCK TYPE AND DEPTH.
 4. COBBLE ROCK TO BE SCREENED AND WASHED PRIOR TO INSTALLATION.

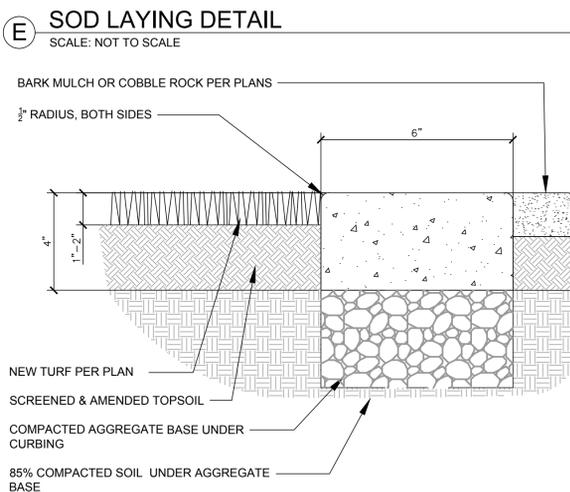
G COBBLE ROCK AND WEED BARRIER DETAIL
SCALE: NOT TO SCALE



B EVERGREEN TREE PLANTING DETAIL
SCALE: NOT TO SCALE

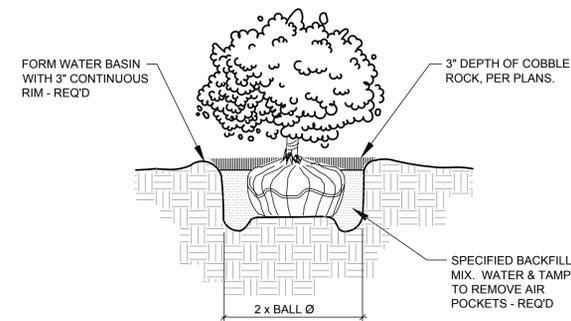


- NOTES:**
1. ENSURE FINISH GRADE IS 1"-2" BELOW TOP OF CURB, WALK, OR EDGING.
 2. TURF IS THE MOST HEALTHY AND WATER EFFICIENT WHEN MOWED AT A MIN. HEIGHT OF 2" - 2 1/2".



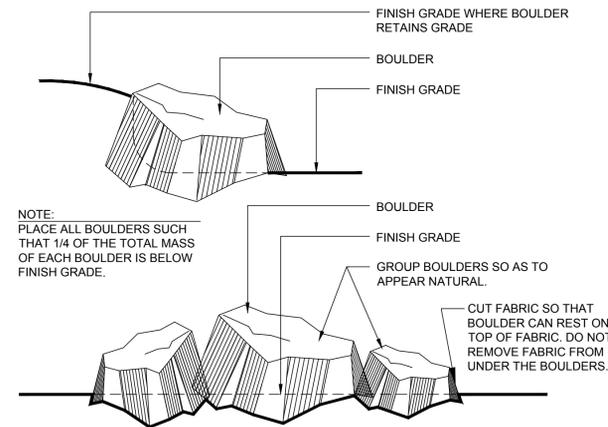
- NOTE:**
1. PROVIDE CONTROL JOINT IN CONCRETE EDGE AT 10' INTERVALS. PROVIDE EXPANSION JOINTS EVERY 30'.

H CONCRETE MOWCURB DETAIL
SCALE: NOT TO SCALE



- NOTES:**
1. IF PLANT IS BALL & BURLAP, CUT AND REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 2. IF PLANT IS CONTAINERIZED, SCARIFY ROOT BALL PRIOR TO PLANTING.
 3. BACKFILL MIX: 1/2 SANDY LOAM + 1/4 ORGANIC MULCH + 1/4 NATIVE SOILS.
 4. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 5. WATER THOROUGHLY AFTER INSTALLATION.
 6. LEAVE PLANT I.D. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE I.D. TAGS.

C SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



- NOTE:**
- PLACE ALL BOULDERS SUCH THAT 1/4 OF THE TOTAL MASS OF EACH BOULDER IS BELOW FINISH GRADE.

F BOULDER PLACEMENT DETAIL
SCALE: NOT TO SCALE

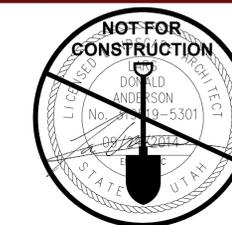


233 SOUTH PLEASANT GROVE BLVD
PLEASANT GROVE, UT 84062
OFFICE: (801) 769-3000
WWW.CMA.COM



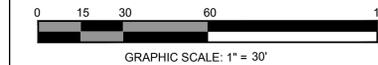
PROJECT ENGINEERING CONSULTANTS
986 WEST 9000 SOUTH
WEST JORDAN, UTAH, 84088
OFFICE: 801-495-4240
INFO@PEC.US.COM

KEN GARFF CHEVROLET OF
AMERICAN FORK
AMERICAN FORK, UTAH 84003



01-12-2015 UT14-108

NO.	REVISION	DATE
1	xxx	xxx
2	xxx	xxx
3	xxx	xxx
4	xxx	xxx
5	xxx	xxx
6	xxx	xxx
7	xxx	xxx
8	xxx	xxx
9	xxx	xxx
10	xxx	xxx



PRELIMINARY PLANS NOT
FOR CONSTRUCTION

PLANTING DETAILS

LS-1.4

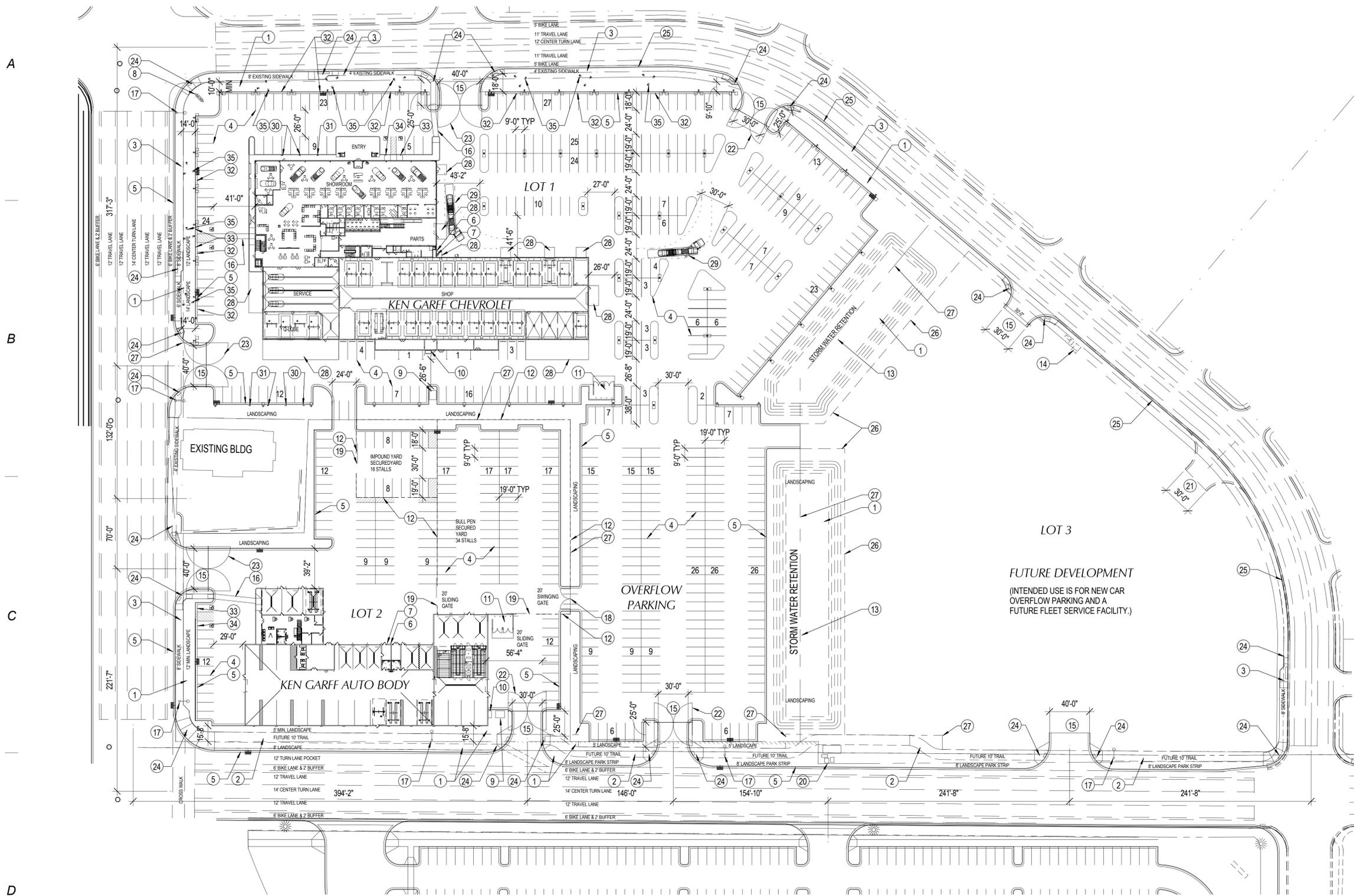
MARK	REVISION	DATE

SHEET NOTES

- LANDSCAPING, SEE LANDSCAPE.
- FUTURE PEDESTRIAN TRAIL.
- CONCRETE SIDE WALK.
- ASPHALT PARKING AREA, STRIPING AND MARKING AS SHOWN.
- CONCRETE CURB AND GUTTER.
- PROVIDE A KNOX BOX AS PER AMERICAN FORK FIRE DEPARTMENT STANDARDS.
- FIRE DEPARTMENT CONNECTION.
- PLYON SIGN - PROVIDED BY AGI SIGNS P137 (36' FEET-VERIFY). SIGN COMPANY TO COORDINATE ALL SIGN PERMIT DETAILS WITH THE CITY. SIGN COMPANY TO PROVIDE ALL FOOTING AND FOUNDATION DESIGN AND INSTALLATION. SIGN COMPANY TO VERIFY EXACT LOCATION AND ORIENTATION WITH OWNER/GM. CONTRACTOR TO PROVIDE POWER AS REQUIRED.
- ELECTRICAL TRANSFORMER LOCATION.
- ELECTRICAL METER LOCATION.
- DUMPSTER AND ENCLOSURE. WITH 6' TALL CMU WALLS (TO MATCH BUILDING) WITH PRECAST WALL CAP. PROVIDE (OPTIONAL) POWDER COATED STEEL GATES AND CONCRETE FILLED STEEL BOLLARDS. SEE D1/AS501, D3/AS501, E1/AS501, AND E3/AS501.
- 6'-0" SIGHT PROOF SECURITY PERIMETER FENCING.
- RETENTION BASIN.
- EXISTING UTILITIES TO BE RELOCATED OUTSIDE OF SIGHT TRIANGLES. VERIFY LOCATION WITH CITY PRIOR TO INSTALLATION.
- CURB CUT ACCESS.
- PAINTED HANDICAP ACCESS.
- STREET LIGHT. SEE GENERAL NOTE B BELOW. COORDINATE PLACEMENT WITH CITY.
- 20'-0" SWINGING GATE WITH LOCK AS REQUIRED.
- 20'-0" SLIDING GATE WITH LOCK AS REQUIRED.
- EXISTING UTILITIES TO REMAIN.
- FUTURE CURB CUT ACCESS.
- 38'-0" SWINGING PAINTED STEEL GATE. FIELD VERIFY DIMENSIONS AND MOUNTING CONDITIONS. BASIS OF DESIGN: GUARDIAN TRAFFIC SENTINEL 14020 MANUAL DOUBLE LEAF SWING BARRIER GATE CUSTOM SIZE (CONTRACTOR TO FIELD VERIFY) WITH GATE LOCKING TABS. HIGH REFLECTIVE TAPE (VERIFY WITH OWNER) AND RECEIVER POST 14030.100. COLOR: TO BE DETERMINED. PROVIDE CONCRETE POST FOUNDATIONS AS REQUIRED BY GATE MANUFACTURER. AT CONTRACTOR'S/ OWNERS OPTION, AN EQUAL/ SIMILAR GATE MAY BE CUSTOM FABRICATED.
- 44'-0" SWINGING PAINTED STEEL GATE. FIELD VERIFY DIMENSIONS AND MOUNTING CONDITIONS. BASIS OF DESIGN: GUARDIAN TRAFFIC SENTINEL 14020 MANUAL DOUBLE LEAF SWING BARRIER GATE CUSTOM SIZE (CONTRACTOR TO FIELD VERIFY) WITH GATE LOCKING TABS. HIGH REFLECTIVE TAPE (VERIFY WITH OWNER) AND RECEIVER POST 14030.100. COLOR: TO BE DETERMINED. PROVIDE CONCRETE POST FOUNDATIONS AS REQUIRED BY GATE MANUFACTURER. AT CONTRACTOR'S/ OWNERS OPTION, AN EQUAL/ SIMILAR GATE MAY BE CUSTOM FABRICATED.
- ADA COMPLIANT BIKE/RAMP AND SIDEWALK TRANSITION.
- EXISTING CURB AND GUTTER AND SIDEWALK TO REMAIN ON AUTO MALL DRIVE, UNLESS NOTED OTHERWISE.
- EDGE OF LANDSCAPING.
- PROPOSED NEW PROPERTY LINE.
- CONCRETE PAD.
- SAMPLE TRUCK TURNING DIAGRAM.
- VEHICLE AC CHARGING STATION. SEE ELECTRICAL. OWNER PROVIDED CONTRACTOR INSTALLED COORDINATE ALL INSTALLATION DETAILS.
- FUTURE VEHICLE AC CHARGING STATION. STUB IN ELECTRICAL AS REQUIRED FOR FUTURE INSTALLATION.
- MOUNTABLE CURB AS REQUIRED TO PROVIDE ACCESS TO DISPLAY AREA.
- ADA PARKING SIGN AS PER A1/AS501.
- ADA VAN PARKING SIGN AS PER A2/AS501.
- VEHICLE DISPLAY AREA- SEE LANDSCAPE AND ELECTRICAL FOR ADDITIONAL INFORMATION.

GENERAL NOTES

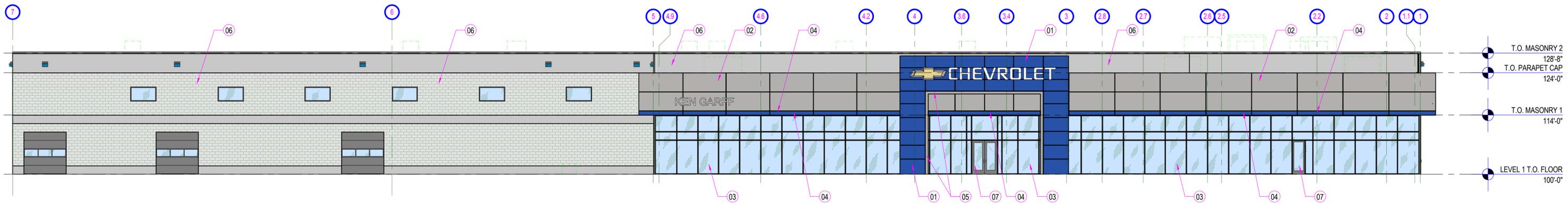
- COORDINATE SITE PLAN WITH LANDSCAPE, CIVIL, AND ELECTRICAL. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- PUBLIC STREET ILLUMINATION LIGHTING SYSTEM SHOWN HERE IN IS PRELIMINARY. FINAL DESIGN WILL BE COMPLETED BY AMERICAN FORK CITY LIGHTING CONSULTANT FOLLOWING FINAL APPROVAL BY THE CITY LAND USE AUTHORITY. CONTRACTOR SHALL VERIFY ALL LIGHTING AND CONDUIT SYSTEMS WITH CITY APPROVED STREET ILLUMINATION LIGHTING PLANS. IF FOUND THAT PARKING LOT LIGHTING SUFFICIENTLY ILLUMINATES THE STREETS TO AMERICAN FORK CITY STANDARDS, THE OWNER RESERVES THE RIGHT TO REQUEST CITY APPROVAL TO REMOVE THE STREET LIGHTS FROM THE PROJECT.
- PROVIDE ELECTRICAL CONDUIT RUNS TO ALL EXTERIOR SIGNAGE LOCATIONS. SEE ELECTRICAL.
- PROVIDE ELECTRICAL CONDUIT RUNS TO ALL VEHICLE CHARGING STATION LOCATIONS. SEE ELECTRICAL.
- PRIMARY ROOF DRAINS SHALL CONNECT THE SITE STORM DRAIN SYSTEM. COORDINATE ALL DETAILS. COORDINATE SCOPE OF WORK WITH CIVIL AND PLUMBING.
- SEE CIVIL SITE PLAN FOR ADDITIONAL DIMENSIONS.



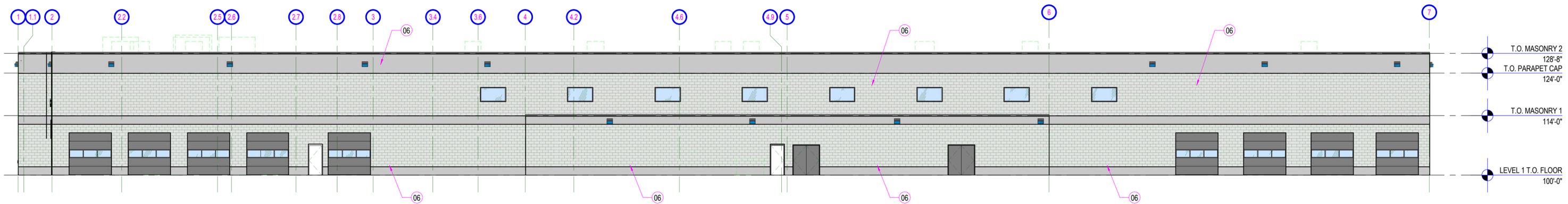
S:\CMA Jobs\2013\13-085 - Ken Garff Chevy A.F11 Revit\03 Local\Marco13-085 Ken Garff Chevy AF - Marco.rvt 1/12/2015 3:04:06 PM

D3 OVERALL ARCHITECTURAL SITE PLAN
 AS101 SCALE: 1" = 50'-0"

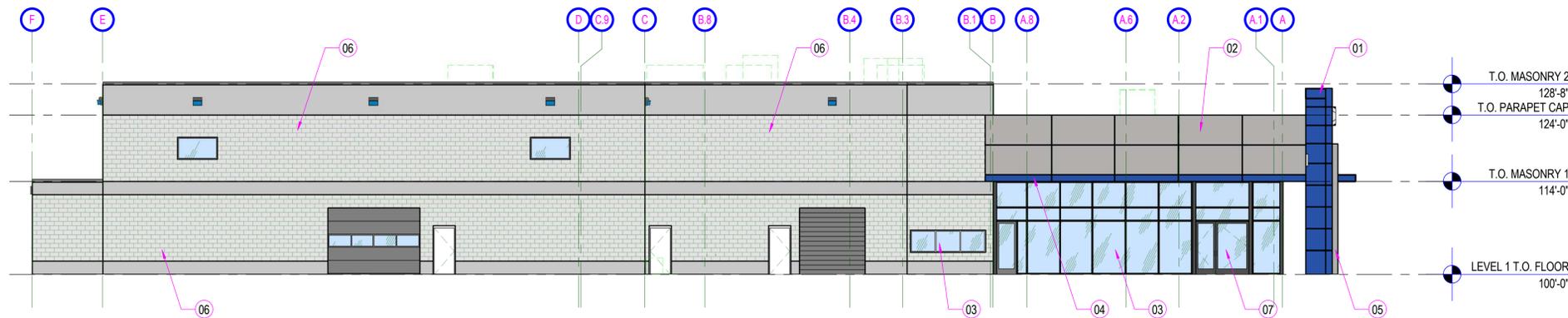
 CURTIS MINER ARCHITECTURE	233 SOUTH PLEASANT GROVE BLVD. SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 FAX: (801) 769-3001 cma@cminerah.com	DATE: 12 JANUARY 2015 PROJECT #: CMA 13-085 PROJ. MAN.: JSJ CHECKED BY: GWT
	THE INFORMATION HEREIN IS THE PROPERTY OF CURTIS MINER ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. © 2015 CURTIS MINER ARCHITECTURE, LLC.	
PROJECT: KEN GARFF CHEVROLET AMERICAN FORK 500 EAST AUTO MALL DRIVE AMERICAN FORK, UT 84003		SHEET: AS101
SHEET DESCRIPTION: OVERALL SITE PLAN		



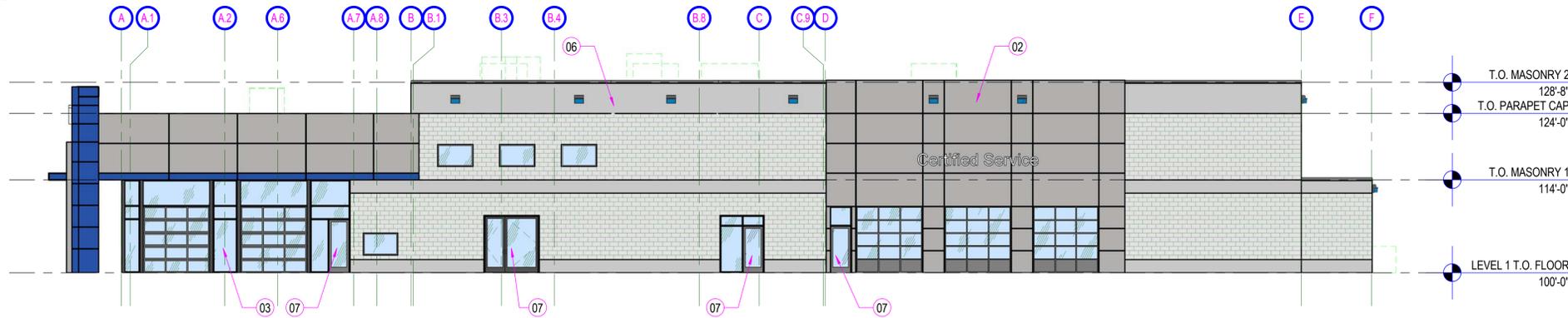
A1 NORTH ELEVATION OVERALL
A201 SCALE: 3/32" = 1'-0"



B1 SOUTH ELEVATION OVERALL
A201 SCALE: 3/32" = 1'-0"



C1 EAST ELEVATION OVERALL
A201 SCALE: 3/32" = 1'-0"



D1 WEST ELEVATION OVERALL
A201 SCALE: 3/32" = 1'-0"

SHEET NOTES

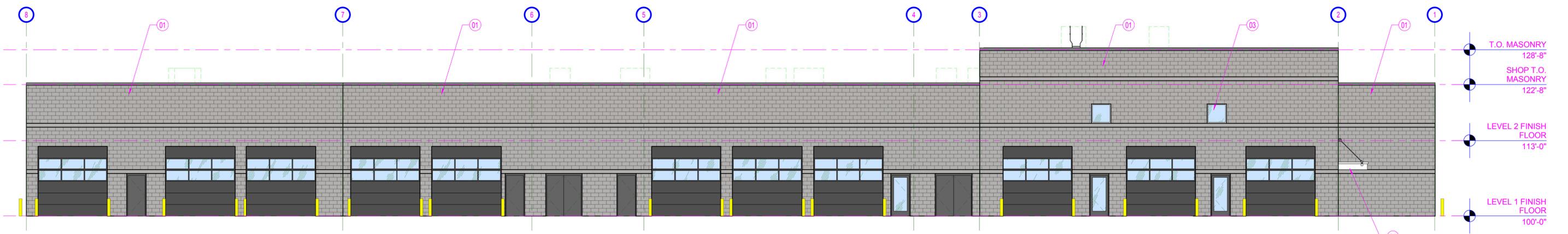
1. BLUE ALUMINUM COMPOSITE MATERIAL PANEL SYSTEM. (ALPOLIC CVB BLUE)
2. METALLIC ALUMINUM COMPOSITE MATERIAL PANEL SYSTEM. (ALPOLIC TBX BRIGHT ALUMINUM METALLIC)
3. CLEAR GLAZING WITH ALUMINUM STOREFRONT, CLEAR ANODIZED FINISH.
4. BLUE ALUMINUM COMPOSITE MATERIAL ACCENT BAND. (ALPOLIC CVB BLUE)
5. ENTRY ELEMENT ACCENT ALUMINUM COMPOSITE MATERIAL TRIM. (ALPOLIC DM HLZ ALUMINUM BRUSHED HAIRLINE ALUMINUM)
6. DECORATIVE CMU COLOR BLOCK. COLOR TO MATCH GRAND BLANC CAVERN LIMESTONE. MAIN TEXTURE - STANDARD SMOOTH, ACCENT TEXTURE - HONED FACE/BURNISHED. MORTOR COLOR TO MATCH BLOCK.
7. PRE-FINISHED ALUMINUM STOREFRONT DOOR SYSTEM.

KEN GARFF CHEVROLET

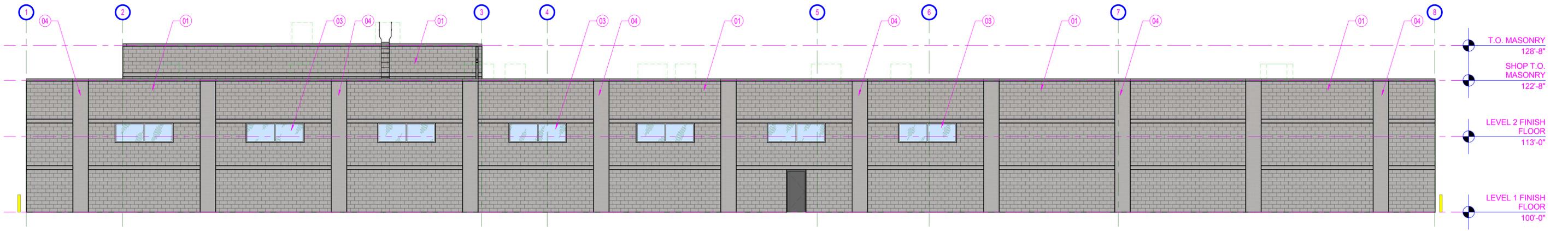
500 EAST AUTO MALL DRIVE
AMERICAN FORK, UT 84003
12 JANUARY 2015



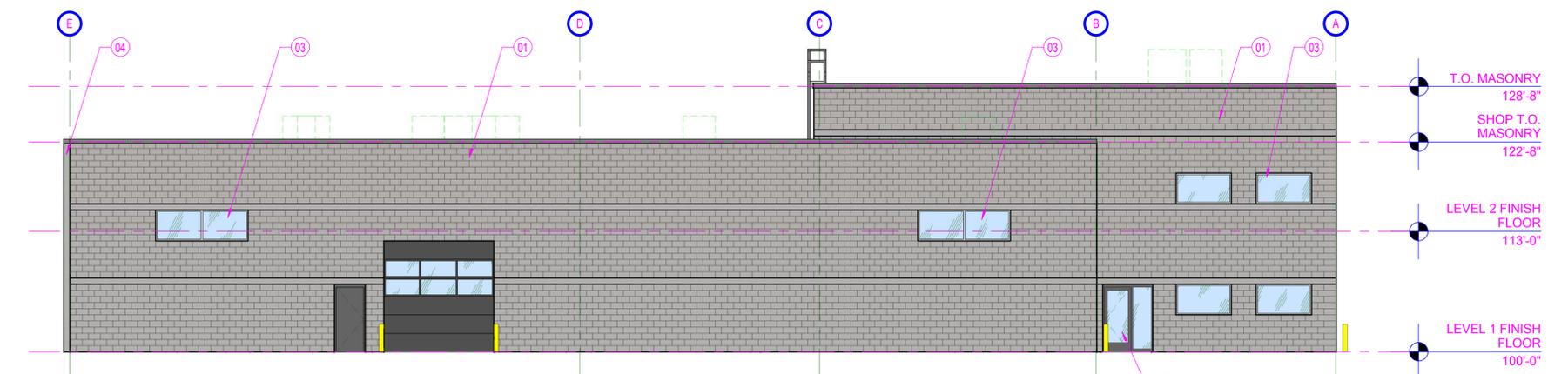
CURTIS MINER
ARCHITECTURE
233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
FAX: (801) 769-3001
cma@cmautah.com



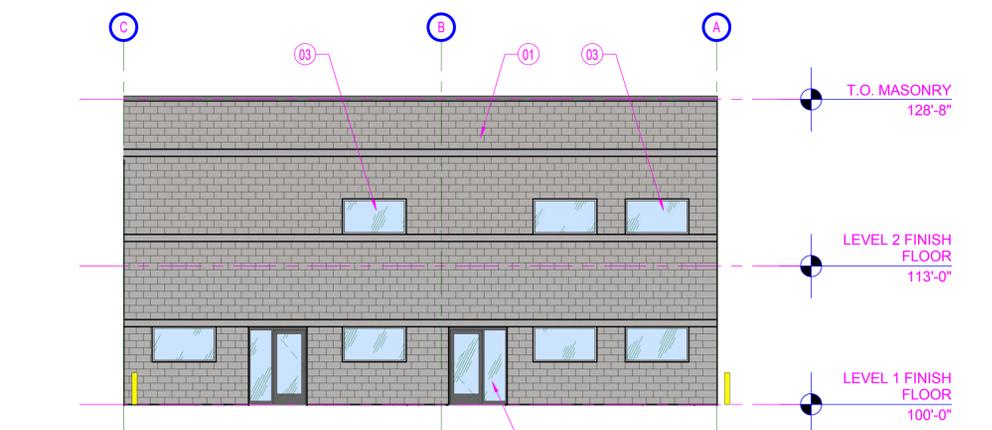
A1 NORTH ELEVATION OVERALL
A202 SCALE: 1/8" = 1'-0"



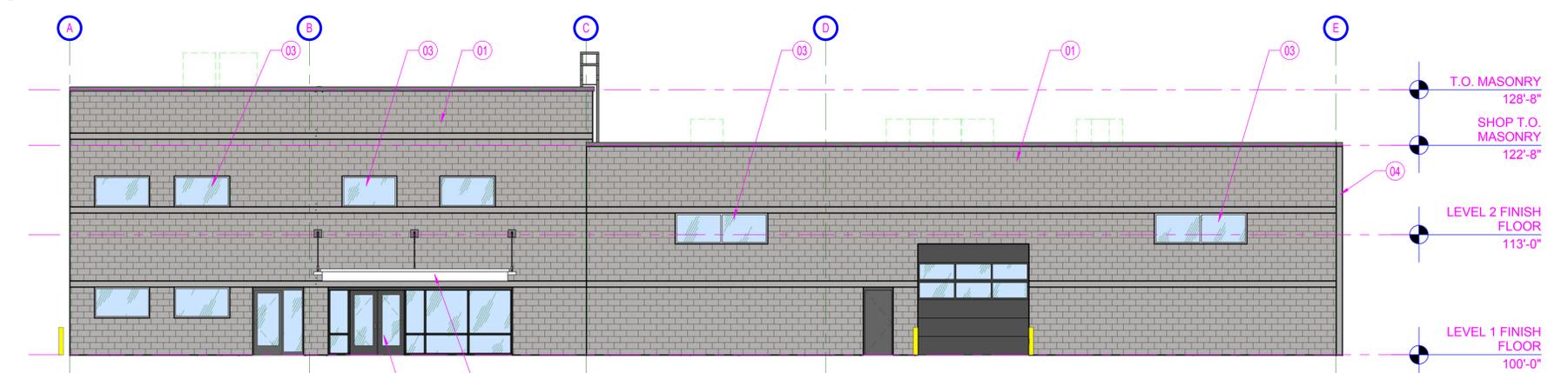
B1 SOUTH ELEVATION OVERALL
A202 SCALE: 1/8" = 1'-0"



C1 EAST ELEVATION OVERALL
A202 SCALE: 1/8" = 1'-0"



D5 EAST ELEVATION OF SECOND LEVEL
A202 SCALE: 1/8" = 1'-0"



D1 WEST ELEVATION OVERALL
A202 SCALE: 1/8" = 1'-0"

SHEET NOTES

1. DECORATIVE CMU. COLOR BLOCK OR PAINTED.
2. PRE-FINISHED ALUMINUM STOREFRONT SYSTEM.
3. HOLLOW METAL WINDOW FRAME.
4. CMU ARCHITECTURAL PILASTER.
5. STEEL DECORATIVE CANOPY, PAINTED.

KEN GARFF AUTO BODY SHOP

500 EAST 1100 SOUTH
AMERICAN FORK, UT 84003
12 JANUARY 2015



CURTIS MINER
ARCHITECTURE
233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
FAX: (801) 769-3001
cma@cmautah.com

1

2

3

4

5

6

A

B

C

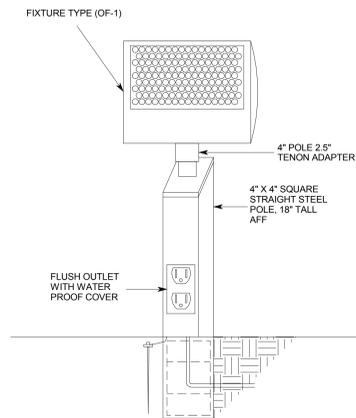
D

E

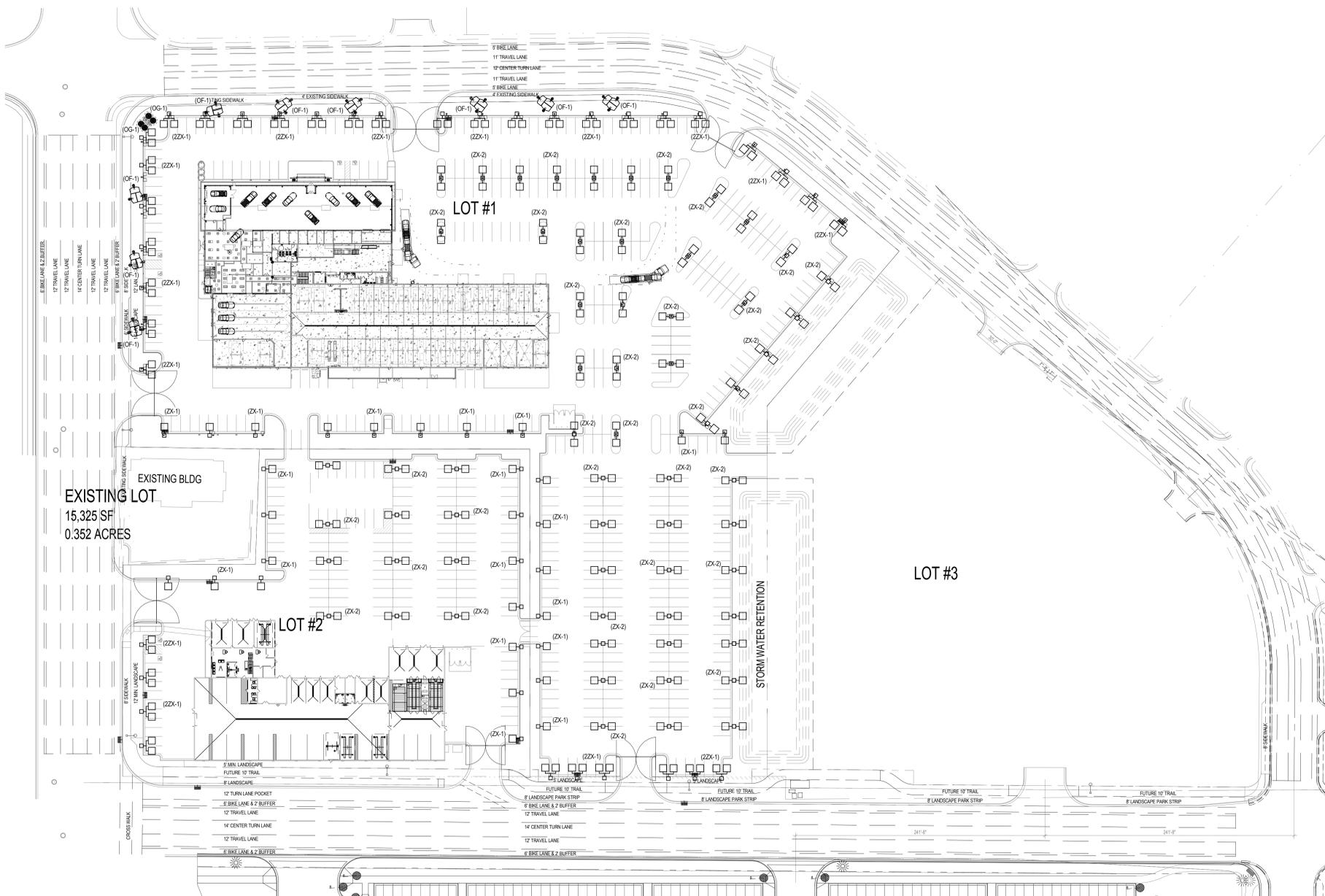
MARK	REVISION	DATE

GENERAL SHEET NOTES

SHEET KEYNOTES



A6 OF-1 MOUNTING DETAIL
SCALE: 1/8" = 1'-0"



324 S. State St., Suite 400
 Salt Lake City, UT 84111
 800-678-7077
 801-328-5151
 fax: 801-328-5155
 www.spectrum-engineers.com



233 SOUTH PLEASANT GROVE BLVD. SUITE #105
 PLEASANT GROVE, UTAH 84062
 PHONE: (801) 769-3000
 FAX: (801) 769-3001
 cma@cmnaiah.com

DATE: 2 JANUARY 2015
 PROJECT #: CMA 13-095
 PROJ. MAN.: JSJ
 CHECKED BY: GWT

PROJECT: **KEN GARFF CHEVROLET**

500 EAST AUTO MALL DRIVE
 AMERICAN FORK, UT 84003

SHEET DESCRIPTION: **ELECTRICAL SITE PLAN**

SHEET: **ES101**

E1 ELECTRICAL SITE PLAN
ES101 SCALE: 1" = 50'-0"

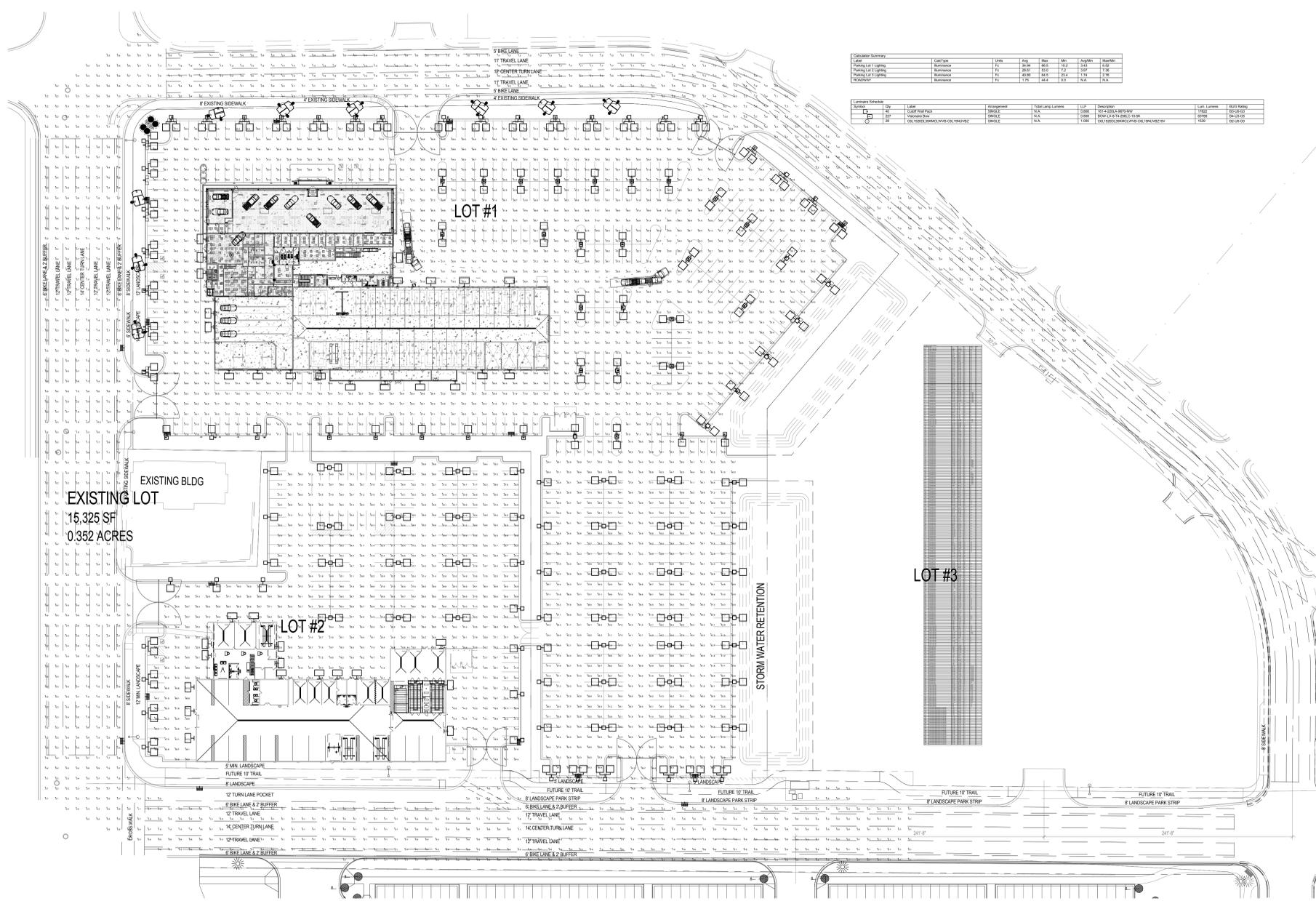


C:\Users\igh\Documents\Revit.2015\01\40428 Elec Central_gh.vrt
1/9/2015 3:01:27 PM

MARK	REVISION	DATE

GENERAL SHEET NOTES

SHEET KEYNOTES



Item	Qty	Unit Price	Unit	Ext	Rate	Ext	Rate	Ext	Rate	Ext
8' TRAVEL LANE	11	20.00	11	220.00	2.00	440.00	2.00	220.00	2.00	440.00
12' TRAVEL LANE	11	20.00	11	220.00	2.00	440.00	2.00	220.00	2.00	440.00
8' CENTER TURN LANE	11	20.00	11	220.00	2.00	440.00	2.00	220.00	2.00	440.00
8' TRAVEL LANE	11	20.00	11	220.00	2.00	440.00	2.00	220.00	2.00	440.00
8' BIKE LANE	11	1.75	11	19.25	0.01	19.25	0.01	19.25	0.01	19.25

Label	Quantity	Arrangement	Plant Name	LT	Shrub	Tree	Plant	Plant	Plant
8'	11	8' x 8'	BRUCEA	0.00	117.4	0.00	0.00	0.00	0.00
12'	11	12' x 12'	BRUCEA	0.00	117.4	0.00	0.00	0.00	0.00
8'	11	8' x 8'	BRUCEA	0.00	117.4	0.00	0.00	0.00	0.00

EXISTING BLDG
EXISTING LOT
15,325 SF
0.352 ACRES

LOT #3

LOT #2

STORM WATER RETENTION



324 S. State St., Suite 400
Salt Lake City, UT 84111
800-678-7077
801-328-5151
fax: 801-328-5155
www.spectrum-engineers.com

DATE: 2 JANUARY 2015	PROJECT #: CMA 13-095
PROJ. MAN.: JSJ	CHECKED BY: GWT

PROJECT: **KEN GARFF CHEVROLET**

500 EAST AUTO MALL DRIVE
AMERICAN FORK, UT 84003

SHEET DESCRIPTION: SITE LIGHTING CALCULATIONS	SHEET: ES101C
--	-------------------------

AGENDA TOPIC: Hearing, review and action on a commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive, in the GC-2 (Planned Commercial) Zone.

ACTION REQUESTED: Recommendation to City Council.

BACKGROUND INFORMATION					
Location:		500 East Auto Mall Drive			
Applicants:		Ken Garff Chevrolet			
Existing Land Use:		Vacant			
Proposed Land Use:		Commercial			
Surrounding Land Use:	North	Commercial			
	South	Commercial			
	East	Commercial			
	West	Commercial			
Existing Zoning:		GC-2 (Planned Commercial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	GC-2 (Planned Commercial)			
	South	PI-1 (Planned Industrial)			
	East	GC-2 (Planned Commercial)			
	West	Residential Agriculture 5 (Utah County)			
Growth Plan Designation:		Design Commercial			
Zoning within density range?		x	Yes		No

Background

The site plan for Ken Garff Chevrolet has been re-submitted with the four (4) main areas of concern, as discussed during previous Planning Commission meetings, brought to resolution. The four items dealt mainly with Engineering, and they will likely be discussed in depth in the engineering report and during the meeting. They are, however, listed below with a brief response regarding their proposed resolution. The site plan and subdivision plats have been changed, accordingly.

1. Access to the body shop (Lot 2) along 500 East. This is proposed, and illustrated, as a full movement access. However, the applicant has submitted a letter from the property owner acknowledging that there may be a time in the future when traffic volumes require this to be a right-in, right-out access.

Property owner agrees to work with the appropriate entity, whether State or City, to accommodate the change to the access if and when required.

2. Lot 1 and Lot 3, as illustrated on previous plat, have been combined into one lot now identified as Lot 1. Lot 3, which was the parking area, is no longer a stand-alone lot, but absorbed into Lot 1.
3. Access along 1100 South. One access point has been eliminated on what is now identified as Lot 3. The remaining access has been moved to a point equidistant from Auto Mall Drive and the existing access for the Roderick development (North Pointe Business Park) to alleviate conflicting movements.
4. Dry utilities along Auto Mall Drive will be relocated and sight triangles have been illustrated.

Landscaping, parking, architectural renderings, bicycle and pedestrian routes and other design elements are unchanged. These items were generally agreed upon in previous meetings.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as "Design Commercial". The site is consistent with the Land Use Plan Designation.

FINDINGS OF FACT

After reviewing the application for site plan approval, the following findings of fact are offered for consideration:

1. The proposed site plan meets the criteria as found in Section 17.7.601 of the Development Code.

POTENTIAL MOTION

Mr. Chairman, I move that we recommend approval of the commercial site plan for Ken Garff Chevrolet, located at 500 East Auto Mall Drive, with the finding listed in the staff report and subject to any conditions listed in the engineering report.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

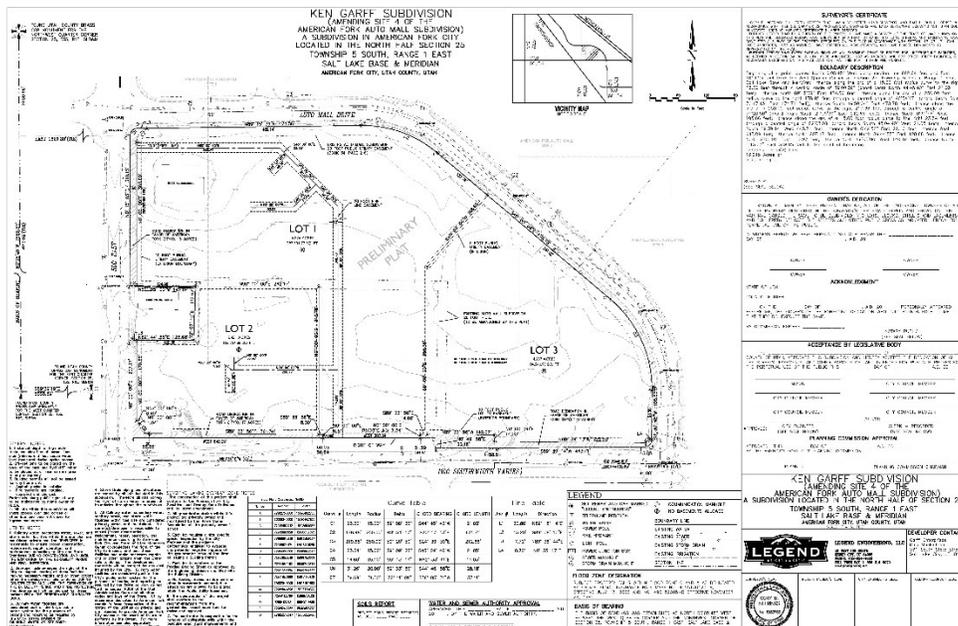
Planning Commission Meeting Date: 1/21/2015

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: Ken Garff Chevrolet
2. Type of Application:
 - Subdivision Final Plat Subdivision Preliminary Plan Annexation
 - Code Text Amendment General Plan Amendment Zone Change
 - Commercial Site Plan Residential Accessory Structure Site Plan
3. Project Address: 500 East Auto Mall Drive
4. Developer / Applicant's Name: Garrit Timmerman
5. **Engineering Division Recommendation:** The Engineering Division recommends DENIAL of the proposed development with the following findings:
 - A. All Standard Conditions and comments addressed in the several previous Technical Review Comments have not been addressed to conformance of several standards and elements of the City General Plans.
 - B. Nonconformance to the Access Management Standards and principles of the City.
 - C. Nonconformance to the Transportation Element of the City General Plan.
 - D. Nonconformance to the Walkways and Bikeways Element of the City General Plan.
 - E. Nonconformance to the Landscaping Element of the City General Plan.
 - F. Nonconformance to the City provided Traffic Study and Bike Plans.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. City Access Management Standards. The owner wishes a waiver to the spacing standards of driveways and spacing requirements of driveways from intersections, "based on current dealership and auto body operation requirements to make the vehicular circulation flows work for these projects." (Note: More driveways are requested than would be allowed if the Access Management Standards were followed.)
 - B. City Transportation Element of the General Plan, City Walkways and Bikeways Element of the General Plan and City Landscaping Element of the General Plan.

1. 500 East. The owner wishes a waiver of the required Right of Way widths for Arterial Streets with Bike Lanes
 2. 1100 South. The owner wishes a waiver of the required Right of Way widths for Major Collector Streets with Buffered Bike Lanes and Side Path.
 3. Auto Mall Drive. The owner wishes a waiver of the required Right of Way widths for Major Collector Streets with Bike Lanes.
- C. The City Provided Traffic Study. The owner wishes a waiver from the recommendations of the City Transportation Element of the General Plan and the City provided Traffic study. The owner wish a waiver of the requirement to widen the street right of way at major intersections. “Based on current dealership and Auto Body operations requirements to make the site and parking requirements work for these projects, the owner is seeking a variance (waiver) request so that the right hand turn lane pockets are not installed. The added real estate required for the right hand turn lane pockets creates an undue hardship for the developer to bear. In addition, the owner has engaged a 3rd party traffic consultant to review the City provided traffic study and bike lane study (which was issued to the developer on Sept 18, 2014) and provide further analysis on requirements needed for this project.” The Owner provide Traffic Study is provided as part of the packet information.

7. **Plan Submittal:**



STANDARD CONDITIONS OF APPROVAL

8. Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

- A. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
- B. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
- C. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
- D. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
- E. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
- F. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
- G. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
- H. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
- I. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
- J. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
- K. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
- L. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
- M. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
OCTOBER 8, 2014

The American Fork Planning Commission met in a regular session on October 8, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Harold Dudley
Absent Commission Members: Eric Franson, Rebecca Staten
Alternate Member: Leonard Hight
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Andy Spencer, City Engineer
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: Dee Hansen, Gerrit Timmerman, Mick MacKintosh, Kordel Braley,
Lindzi Bell, Lonny Reed, Bruce Frandsen

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

John Woffinden reported that Geoff Dupaix has resigned for the Planning Commission because of school and work. Leonard Hight will become a full member of the Commission, which will be finalized at the City Council meeting next Tuesday. Another person will also be appointed by the Mayor. Leonard Hight was recognized as a voting member.

2. Hearing, review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

Staff Presentation:

Adam Olsen stated this area is currently vacant but has been cleared recently. The proposal is to locate an auto complex for Ken Garff. There is an accompanying subdivision to follow this item. The site plan will be built on three of the lots, and the east lot has no proposed use at this time. Landscaping plans are included, and the numbers are met per the Development Code. It is important for dealerships to have a visible frontage so staff has worked with them on the placement of trees. There has been some issues with engineering regarding adherence to the City's Access Management Manual. The points of access as proposed don't comport with that Manual. The 1100 South is also a corridor on the trails plan. The cross section illustrates the trail and a bike lane along 1100 South and a bike lane on 500 East. The trail on 1100 South is one of the prime trail sections and is an important link in the City. The applicants are asking the Commission to recommend approval of a variance request to the Access Management Manual along with other engineering items. The Commission has three options, recommend approval with the variances with some findings, recommend denial with findings, or table the application to return to the Commission. There are three potential motions presented for these three possibilities.

Howard Denney stated the engineering staff believes this is a very appropriate use for the location in the area. However, staff is tasked with following standards, specifications, general plans, etc. He will present the standards that are not in conformance. The Commission will need to weigh the requirements with the request. Three technical reviews have been completed beginning with a list of 46 engineering items. This is now down to a handful that are mainly associated with transportation or access. In summary the applicant requests to waive in the Access Management Standards the spacing between driveways and the spacing between intersections and driveways. They have asked for three variances associated with the three roads. A waiver on 500 East of the required right-of-way width for arterial streets with bike lanes. They are proposing a 98-foot cross section. The transportation element cross sections along with the bike lane would normally be between 127 feet and 131 feet. On 1100 South, they are asking for a waiver in the width of the major cross section for a collector road with buffered bike lanes and side path. They are proposing a 90-foot cross section where the requirement is 114 feet to 130 feet. One conflict here is the City approved the Roderick development about a year ago and set the substandard to what the cross sections. It does not have the 8-foot planter strip, and the sidewalk is only five feet. Staff analyzed the rough, half-street width on this development. The applicant is requesting 49 feet where typically it is the 56.5 feet on a half street. Auto Mall Drive exists today with curb, gutter, sidewalk, and a planter strip at a width of 66 feet. The Transportation Element cross section would require a 99-foot to 105-foot cross section. As this development proceeded, the City paid for and conducted a traffic study. The owner is desirous to waive elements of the Transportation Element of the General Plan and the City provide a traffic study that requires the widening of the road for right-turn pockets at intersections. They would like it to be straight. These are the principle items. If the Commission desires to recommend this plan, these waivers need to be acknowledged.

Andy Spencer stated this is really down to the roadway improvements, specifically the intersection treatments. In the future, there will be a connection with the Vineyard Connector from the south, which is arterial off a six-lane roadway to a freeway interchange. This will be very significant. This will be a very congested area along with the improvements. He reviewed the West Main Street Interchange. There is a diverging diamond interchange. Then to the east about two-thirds of a block, there is a right-turn entry into Target and then Kawakami Drive, which is signalized. Roughly another block to the east, there is a major signalized intersection that involves the confluence of the Pioneer Crossing traffic, the interchange traffic, and Main/State Street traffic. Remember the distances and the types of traffic coming into this location. Back to the Ken Garff location, vision turning Main Street sideways, the Auto Mall Drive intersection is a little farther than the Kawakami Drive intersection but very similar in distance off of the interchange. Additionally in roughly the same distance off the Auto Mall Drive intersection, there is a major confluence of an east/west collector and the future Vineyard Connector traffic very closely paralleling like the State/Main Street intersection. Further compounding matters are the railroad tracks, which are only a couple hundred feet off the 500 East interchange. Then on the east is an overpass creating limited site conditions. Staff informed the applicant of these similar parallels and heightened conditions. The City hired a traffic report to plan the intersections and cross sections appropriately. In addition, Mountainland Association of Governments paid for specific bike lane plans to be designed for the area. It has been quite a process to get here for the City and the applicant. All of these studies were done to support the Transportation Master Plan. Today we find ourselves at odds over the improvements that are in

the studies that the applicant is requesting to not build. It has not been suggested by staff that the applicant bear the entire cost of those improvements, but it has been suggested that those improvements be planned for the future. The proposed use is appropriate. The staff asks the Commission's consideration in either tabling or denying the site to allow the issues to be worked out. Staff feels if it just moves forward, the public then has to step in and spend substantial monies to remedy a very traffic congested area. It needs to be planned right and built for the future. All the items Mr. Denney reviewed that they are requesting are accurate.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Applicant Presentation:

Gerrit Timmerman stated they are excited to be here. The Garff's have owned this property for a long time and are now able to see the possibilities for the site. They have been working with City officials for many months. They are down to about 3 or 4 sticking points that he feels are minor in nature. In the automotive industry, they are dealing with three circles of influence. One is the manufacturing factories; this will be a Chevrolet dealership. Chevrolet has very specific criteria as it relates to their site planning, layouts, traffic flows, and how the adjacent building work. The site access points are in direct response to some of the factory requirements, traffic flows, how customers enter, and service. Another circle of influence is the Ken Garff business. They have been doing automotive for decades and know what works. The third influence is working hand in hand with the City to meet City standards or the general intent of those standards. One point mentioned is the City paid to have a traffic study conducted, which they appreciate. They solicited a traffic engineer to understand the study. Their traffic engineer reviewed, analyzed, and critiqued the study and came up with several observations. Based on the current site plan, their team finds that the plan does not create a safety issue. Based on traffic volumes both present and future, the variable were a four-year projection, the study does not substantiate or justify the turn lane pockets or access point the City is requiring. They hope the Commission will approve this project and recommend it fully to the City Council. They are hoping to work through the approval and get into construction by late summer early fall of 2015. They want to keep to the schedule that Ken Garff and the factories have negotiated to meet the business operation needs.

Kordel Braley with Hales Engineering stated he agrees with Andy Spencer on planning for future roads and safe access management. Hales Engineering is the consultant that helped prepare the access management guidelines. He understands that although planning for the ideal situations there are times when there is a need for variances. They would not request a variance if there were a safety or traffic concern. They have done some analysis and feel comfortable with these variances. They acknowledge that they have not had the opportunity to discuss and compare their results with the City. Their request to the Commission is in the interest of scheduling. They are very close to achieving solutions, and the best course of action is to keep it moving along with whatever appropriate conditions in the motion. In overview, 500 East won't be as busy as Main Street. Main Street is a large, busy road with 20 to 30 thousand trips. From the City's Transportation Master Plan, 500 East is projecting only 11 to 15 thousand trips per day near this site so this isn't a good comparison. The trip generation from the City's own study is really not very large at 150 trips per hours. The Target access in the area on Main Street is at 1,000 trips per hour. These are some of the high points. The accesses are good enough for this type of road and type of volume. They look forward to sitting down with Andy Spencer and the City's

consultant and looking at these items to achieve the spirit of the Access Management Manual. Lot 4 has 3-4 entrances and the use there is unknown. It may be possible to combine one or two of the entrances. Once the use is known, he could speak to it. Also variances are written in the manual and are part of the process.

Commission Discussion:

John Woffinden feels the accesses on 500 East need to be limited. The Gene Harvey dealership further up on 500 East only has one access and seems to function just fine. He would like to know if they can guarantee that traffic will not back up onto the interchange over the freeway because the queues for the right-hand turns have been removed. The Commission just had a controversy on 900 West close to 700 North where a right turn wasn't allowed. If the Commission allows them to do something against the Transportation Plan, the Commission is supposed to be equal to all. He feels this should be tabled to work with staff and get the fine details ironed out. It may be justified from their point of view but not from the City's point of view. The Commission is here for the safety and welfare of the City. It also seems like a conflict of interest that Mr. Braley wrote the manual and is now asking to go against what was written.

Harold Dudley questioned if there is a section on variances and who grants those variances.

Andy Spencer stated there is a section stating the applicant is to submit to the City Engineer in writing their reasons with their studies to consider why their request for a variance should be granted. At this point that has not been submitted. They have requested not to meet it, but with no reasons why. They have done some traffic studies that he hasn't seen, and he hasn't seen a formal variance application. It has also been represented by the applicant that their needs for variances are due to circumstances beyond their own control. In staff's view, short of one office building on the site, they are in control of the balance of the site. It is a clean slate; nothing has been constructed. To say they don't want to meet it because of circumstances that are already in place, is why we are at odds. There may be a need to consider an item or two, but short of that it is a clean slate. As of yet staff has not received the formal variance application with supporting data. The City has a standard for a reason, and this is what they should have to plan adequately for this corridor.

Nathan Schellenberg stated the developer has less constraints than almost anywhere else in the City for this type of development. If the standards are not required here, then where. The standards might as well be thrown out. The buffer distance on the bike lane and the planter strip need to be met here, or they won't be met anywhere. This is the easiest place to meet it, and the last place to grant a variance. He really likes this development in this area. It's a great fit. The City went through a whole public process on the Transportation Element of the General Plan. It might as well be thrown in the trash if variances like this are going to be granted. If some elements of the Transportation Plan don't make sense, then the Plan should be amended. If the Plan makes sense, it should be followed.

Gerrit Timmerman stated this site is an island and is surrounded by pre-existing conditions on all sides. The Auto Mall Drive side has existing curb, gutter, and sidewalk. If the full right-of-way is followed, they would impede the island considerably to the point they would impact the ability to successfully meet the factory requirements and business operations of the dealership. Similarly along 500 East, there are large transmission power lines on the west side of the street. Because of

that, the City is not going to allow a center line on 500 East to be granted to give equal and fair right-of-way requirements to the neighbors to the west. Originally it was presented that the Garff's would have to bear fully the right-of-way requirement, which is not fair and equal expectation. Similarly with the office building, they are meeting most of the right-of-way requirements. On 1100 South, the Roderick development is a substandard development where now the full right-of-way is left to bear on the Garff side. This is not as cut and dry as the picture is being painted. Given their schedule constraints, they would prefer a motion of denial, but not to table. He would prefer a recommendation of approval with conditions in that the applicant and staff work out a middle ground that can be successfully presented to the City Council.

Andy Spencer stated since the Roderick development the standard has changed. The buffered bike lanes, the Transportation Master Plan, and eight-foot park strips, have been adopted. While certain constraints have placed more of the right-of-way burden of 500 East on the Garff side, staff has always represented there would be appropriate compensation per the City's ordinances to them. They have also been to the City asking for incentives. The City Council controls the answers to those questions on participation, but their request has been made for participation. There is a lot of ability here, and staff is working to find a middle ground. Staff and the applicant aren't seeing eye to eye on the bicycle and pedestrian treatments at the intersections, the need to provide the turning movements and flaring at the intersections, and the access points. On 1100 South, it is a clean slate where they are in control of the lot lines and drive isles. The city has a manual that was prepared to give guidance on how to make good decisions in these cases. The study was done to give better answers and to plan correctly. Staff does not look at this plan and say we did the best we could. Staff feels this should be tabled to plan and meet the standards.

John Woffinden stated if the Commission denies the project, the Commission loses control. If it is tabled so staff can work out the details, it comes back to the Commission where the Commission has control.

Adam Olsen stated that a recommendation of approval with conditions that the staff work out becomes subjective as to what is appropriate. They can say this is appropriate for us so therefore we meet the intent of the Commission and can go to Council. It's a gray area. If the Commission recommends denial, the Commission can give its findings for denial. If the Commission tables it, then staff will work with the applicant and bring it back.

Nathan Schellenberg stated it is the Commission's job to review and make a recommendation to the City Council. He is not comfortable advocating this to the staff. If it is denied by the Commission and then by the Council, they have lost even more time. If it is tabled here, then they may only lose two weeks.

MOTION: Nathan Schellenberg - To table to the next meeting the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in order for the site plan to come into compliance with the Access Management Manual and the Transportation Element of the General Plan except for in instances where the applicant can show the need for a variance with more specifics. Seconded by Harold Dudley.

Yes - Marie Adams
Harold Dudley

Leonard Hight
Nathan Schellenberg
John Woffinden Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (8:07 p.m.)

MOTION: Marie Adams - To table the final plat of Ken Garff Subdivision with the finding that the commercial site plan was tabled in the previous motion. Seconded by Harold Dudley.

Yes - Marie Adams
Harold Dudley
Leonard Hight
Nathan Schellenberg
John Woffinden Motion passes.

Harold Dudley excused.

4. Hearing, review and action on an amendment to section 17.7.602.B.7 of the American Fork City Development Code related to residential dwelling units in the SC-1 Planned Shopping Center zone (8:09 p.m.)

Staff Presentation:

Adam Olsen stated this brings this section into compliance with other sections of the Development Code dealing with multi-family developments in other zones. It requires that residential uses comply with the City's parking standards and that one of the required parking spaces be covered and designated for a specific unit. This is basically a housekeeping item. He asked the Commission if they want to take this one step further and require the parking space to be secured. He would work on a definition of secured whether that meant enclosed or the parking lot is gated. If the Commission would like to make it secured, he would bring the other sections before the Commission to make those sections compliant. He has looked at similar cities. In Lehi, they have required not only covered but enclosed. Developments want to attract the class A tenants, which want the secured as well.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Commission Discussion:

Marie Adams would like to discuss adding secured to these sections in the Development Code.

MOTION: Marie Adams - To recommend approval of the proposed code text amendment to Section 17.7.602.B.7 of the American Fork City Development Code, related to residential dwelling units in the SC-1 Zone. Seconded by Leonard Hight.

Yes - Marie Adams
Leonard Hight

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
OCTOBER 22, 2014

The American Fork Planning Commission met in a regular session on October 22, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Harold Dudley, Eric Franson, Rebecca Staten
Absent Commission Members: Nathan Schellenberg
Alternate Member: Leonard Hight
Adam Olsen, Senior Planner (7:40 p.m.)
Wendelin Knobloch, Associate Planner
Andy Spencer, City Engineer
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Aaron Brems, Sewer/Storm Water Division Superintendent
Others: Sandra Newman, Dee Newman, Gerrit Timmerman, Ryan Hales, Peggy Dilley, Robin Tincher, Melissa Brooks, Juel Belmont, John Belmont, Sidney Boyle, Adam Boyle, William Farley, Teresa Farley, Isaac Stewart, Jonathan Johnson, Pearl Bown

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Leonard Hight was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

Staff Presentation:

Wendelin Knobloch stated at the last Planning Commission meeting this item was tabled. Since then several meetings have been held with the developer and representatives. There have been several resubmittals with the last resubmittal about 1.5 hours ago. There are two options, which can stand on their own.

John Woffinden stated he is not very happy with the plans being submitted at the last minute. The Commission has not had time to review the plans.

Applicant Presentation:

Gerrit Timmerman stated since the last Planning Commission meeting, they have met multiple times with staff. They have gone back and forth on different ideas and considerations. He would like to begin with Option 1 and review the items they have come to an agreement with a couple of differences and sticking points. At the top left at the intersection of 500 East and Auto Mall

Drive, all of the bike lane and bike lane transitions requested by the City have been incorporated. Across the street on Auto Mall Drive, the sidewalk will become wider to accommodate the bike lane transition. They also provided formal bike lanes within Auto Mall Drive through striping. As Auto Mall Drive intersects 1100 South, the bike lane transition is incorporated back onto the sidewalk. Coming across 1100 South, the access points have been adjusted in collaboration with the City. The second access point in has been deemed to be a right-in and right-out. Landscaping along 1100 South is eight feet with 10 feet of bike trail and five feet of landscape buffer. Proceeding to the west on 1100 South, there is a 12-foot turn pocket, which is the full 300 feet requested by the City as well as the bike lane transition on 1100 South. The first access on Lot 2 on 500 East is a full access, which has been widened. In their opinion, they feel they are meeting the expectation of the City as far as landscape, bike lane, and right-of-way. The only sticking point on this option is the right-in/right-out access on 1100 South. There are still some concerns on the City part that this could be eliminated completely. Based on traffic studies by third party consultants, the traffic engineering data and studies have shown that the access points on this option do not pose any life-safety issue or concern. Their hope is to really focus on this option. The second exhibit is Option 1 highlighting the landscape, shared access path, and bike lanes in a colored fashion. The landscape shown in green on Lots 1, 2 and 3 not only meet but exceed the landscape requirements. The ordinance requirement is 10%. In the Monday meeting with City staff, there was concern about the third access point on 1100 South. It was requested that the applicant eliminated this access point to maximize full access for the neighboring site. In coordination with the owners, they are comfortable eliminating this access if the City would reduce some of the landscape perimeter buffers on 1100 South, 500 East, and Auto Mall Drive. The key differences on Option 2 are highlighted in blue text. The fourth access on 1100 South has been eliminated. The five-foot landscape buffer has been reduced to three feet. The 14-foot landscape buffer on 500 East has been reduced to 8 feet. The 14-foot buffer on Auto Mall Drive has been reduced to 8 feet. Even with the reductions, the Landscape Ordinance is not only being met but exceeded on all lots. This is evidence of a lot of work over the last couple of weeks. The 500 East bike lane is 6-feet wide with a two-foot bike lane buffer on asphalt.

Staff Presentation:

Wendelin Knobloch stated the there are two landscaping standards, i.e. a standalone landscape ordinance and the zoning ordinances often have a separate standard. The zoning standard for this area is what they have met. The actual Landscape Ordinance has not been met. In earlier conversations, the City had already backed off a little bit because the Landscaping Ordinance requires 14-foot buffers around the project adjacent to a public street. The 10% standard according to the zoning requirements has been met but the Landscape Ordinance has not been met. This option cuts the landscaping down by 6 feet in many areas and in one area by two feet as compared to an earlier option.

Howard Denney stated what has been presented appears to be a concept plan with two options. There are still negotiations as to which option. On the agenda tonight is the approval of a final site plan and final subdivision plat. He's not sure if the Commission has the information to act affirmatively on the subdivision plat or site plan. For example, between the two plans there are either three lots or four lots. This affects the final subdivision plat. There is also a proposal different from the subdivision plat to put different dedications of the streets in. This also make a revision of the subdivision plat. The plan profiles don't reflect either option at this point in time.

Neither does the site plan, the final plat, or the plans and profiles. He is not sure what ability the Commission has to respond but could negotiate on Option 1 or 2. He doesn't believe the action to pass can be taken without the documents in front of the Commission.

John Woffinden agrees, this is no more than a concept plan. There is no utility plan, drainage plan, or grading plan for the Commission to make a decision. This is still a wish list. On Auto Mall Drive it shows a future access. Either built it or take it off. Future means it can change down the road. This is not a commercial site plan but just a concept plan. It has changed considerably in the last three days. The Commission can't even vote on it and bind the City. Also, he has not seen the letter for the Army Corp of Engineers on the wetlands.

Gerrit Timmerman stated two weeks ago the request was to go back and work with staff. They knew timing wise they wouldn't be able to update all the plans. Their hope today was to come to an agreement on one of these options, make the changes, and proceed to City Council on November 11. If the expectation was they would agree on a site plan and make all the revisions to the engineering drawings, this was not made clear to their team.

Andy Spencer clarified that the access point on the West meets the passing requirements in the Access Management Manual. All other access points as proposed are variances from the Manual. The request from the applicant is that those accesses be given a variance as shown.

Commission Discussion:

Eric Franson stated the Commission obviously doesn't have the information to act and make a final decision. The discussion is about which option is agreeable. The attempt to eliminate one of the access points in negotiating a reduction in the landscape buffer, in his opinion, is not enough. You're requesting variances not only on access points but now you're requesting variances on landscaping. The effort to negotiate and give up something to get something, doesn't cut it. If asking for variances, the Commission has to take it very seriously when deviating from code or manuals. In his opinion, this just doesn't work. He is opposed to both options.

Harold Dudley stated the Commission weighs heavily on staff's opinion and would like to know where staff sits on the variance.

Andy Spencer stated the instruction received from the Commission was to try to work something out. What has been represented to staff is that the middle access on 1100 South is to be used solely for stocking full of cars. This area is in support of the dealership and a minimally used access with a gate. Staff's response was if this access is in support of the dealership and minimally used, then make this lot part of the dealership as one lot. As a separate lot, it can be converted to another use in the future. As part of the dealership, this access will remain in the foreseeable future a lesser used access. Then the customers will use the front door, and the back door is to bring in the stock. The right-in/right-out for a lot that has no determined use at this point is very problematic. Staff doesn't see the purpose of an additional access on 1100 South for a uses that are unknown. Their traffic consultants have not modeled the two eastern accesses because the use is unknown. Their modeling of the center access is based on the back door access for the dealership. The two eastern accesses have not had any modeling yet. If Lot 3, Option 1, is going to have an access on 1100 South, the best place is the midpoint between 630

East and the full-movement access on the south approved with the Roderick project. This is the point of least conflict because it is the farthest away from both conflict points. As a compromise to provide some access, it seemed reasonable. Staff doesn't know what that demand will be right now. The other item asked that hasn't been represented is staff requested the southern access on 500 East have an island shadowed in the future for a right-in/right-out, if needed. The current modeling as completed by their consultants, which is a micro-simulation, says if the numbers stick it should operate okay. As Kordel Braley with Hales Engineering quoted at the last meeting, there is a lot of uncertainty in projection and we do the best we can. Staff recommends the island be shadowed in the event it be determined in the future that there be no claim by loss because all parties came in knowing that it may be a right-in/right-out if traffic conditions demand. The City would make the determination on when to install the median based on increase accidents or problematic congestion issues. Basically the access conditions worked out on Option 2 represent a middle ground for transportation elements. The proposal between the landscape and the access conditions was not covered in the meetings and was brought up last minute by the applicant. The Commission will need to determine if there is a link between those or not.

Eric Franson stated he can see the logic between the access points. He does not believe there should be a compromise on the access points and the landscaping. The compromise on the access points is already a variance and giving ground. The landscaping should be maintained in addition to the compromise to the access points.

Rebecca Staten agrees that the landscaping should not be tied to the accesses. It appears the landscaping has already been reduced from 14 to 8 feet, which is almost a 50 % reduction.

Gerrit Timmerman stated the use of the southwest corner is an auto body service. It is separate and distinct; it stands alone from the dealership. The west entrance on 1100 South is strictly for employee and tow truck access. No customers. It will be gated. The gates will be open during business hours. Main customer buying a vehicle access from Auto Mall Drive from the north. The secondary customer access for service is on 500 East to the west. They have all the engineering complete from what was submitted previously. Between these two options, they are interested in what the Commission feels is a common ground. Is there an agreeable option or do they continue working?

Eric Franson stated access points as outlined by the City Engineer with the landscaping that was agreed upon previously would be his recommendation. The details can be reworked. He does agree with the shadowed median.

Rebecca Staten stated she doesn't like to reduce landscape. She does like the combining of lots 2 and 3 to one lot in Option 2. It gives more assurance that Lot 3 in Option 1 will retain its use as indicated and the entrance will have minimal use.

Wendelin Knobloch stated Option 1 is actually close enough in landscaping that in past discussions with the developer the City felt it could give a little and still be okay. The City has given on the landscaping. Judging by the letter of the law, it doesn't quite comply.

MOTION: Eric Franson – To table in order for the applicant to have time to prepare all the information. Seconded by Rebecca Staten.

Rebecca Staten reviewed that the Commission is looking to retain the landscaping from Option 1, three lots as shown on Option 2, the shadowing on 500 East near the south access, and the right-in/right-out eliminated.

Yes	-	Marie Adams Eric Franson Leonard Hight Rebecca Staten John Woffinden	
No	-	Harold Dudley	Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:45 p.m.)

MOTION: Eric Franson – To table. Seconded by Rebecca Staten.

Yes	-	Marie Adams Eric Franson Leonard Hight Rebecca Staten John Woffinden	
No	-	Harold Dudley	Motion passes.

Harold Dudley states he doesn't want to send a message that the Commission accepts things that are not complete. He does feel much of the concern about the infrastructure can be done by engineering. He feels the Commission puts a lot of burden on staff by bringing things back to Planning Commission that could be moved to City Council. It would help expedite the best plan.

Gerrit Timmerman stated he knows with the motion made by the Commission, and he wants to be clear, this is not what the applicant or owner really intends to do based on operations. What has been described as emotion, doesn't meet the operation requirements. He recognizes this will be a difference, but the American Fork City Access Management Plan gives the applicant an opportunity to make a formal variance request, which they have done. He is just stating their intent is not to meet what the Commission has made a motion for the applicant to follow. Just knowing the temperament of the owner and standpoint of the owner, it is not the intent of the owner to meet the request of the Planning Commission. The access specifically. Option 1 will be the final site plan. They have solicited traffic engineering studies that show why those accesses are fine and should work fine based on the variance criteria given in access management. To combine those lots and loose an access point, puts undue hardship on the owner and the applicant. He doesn't know that it is a fair expectation of the Planning Commission to put that on the applicant and owner.

John Woffinden stated you had the traffic survey done by a firm. Now that same firm is coming back saying they don't want to abide by what they wrote in the first place. To him that is a conflict of interest. You had your point; this is his point.

4. Hearing, review and action on the preliminary plan for the Andersen Property Subdivision consisting of nine lots located in the area of 820 East Evergreen Drive (7:50 p.m.)

Staff Presentation:

Adam Olsen stated this is a proposed nine-lot subdivision with about 2.5 units per acre. The Land Use Plan shows this in the low density with three units per acre. Lots 101, 105, and 106 are proposed to access off 300 North. Lot 102 is a flag lot, which is not allowed per the Development Code. The Development Code states, *each lot within the subdivision shall conform to the lot dimension requirements and comply with the lot design standards applicable within the zone district*. The reason it doesn't comply is because the minimum lot width is 90 feet, which is measured at the front setback line from the street. The applicant could argue because of the plat recorded in 1950 as Granite Park Subdivision, he has three lots, which are Lots 101, 102, and 103. The difference is there was a street called Peter Street along the front of those lots. The City vacated Peter Street in 2007 at the request of the property owner. The Utah County Recorder's Office doesn't recognize those as three parcels any longer, just one parcel. The discrepancy on the title report calls it out as three lots, but the title report shows one parcel for a number of years. Staff is not opposed to three lots if they are the original lots that meet the Development Code with street access. Staff would be in support of rededicating Peter Street. Lot 109 is currently and largely made up of city right-of-way from Evergreen Drive. The applicant is requesting that a portion of Evergreen Drive be vacated. Staff recommends that this right-of-way remain in place because of utility issues.

Aaron Brems stated years ago the City purchased a couple of combo trucks to maintain the sewer and storm drain lines. To do this job, the City needs access to the lines. He prefers a paved road as close to the manhole to get the needed equipment in to maintain and televisive the lines. Wastewater comes from 20 to 30 homes from 900 East to 300 North and then west to this line and ties to Evergreen Drive. It is a problem and large liability if the City can't access these manholes or utilities. The trucks are a dump truck with a debris can using high velocity water to shoot upstream to the manhole and bring back debris. The City has a great maintenance program with five years without a sewer backup or claim. The truck is about 65 to 75 thousand pounds. Backhoes and other equipment may be needed also in the area for repairs.

Howard Denney stated in the engineering report, there are problems with Lot 102 being a flag lot and Lot 109 requires the vacation of right-of-way needed to maintain City infrastructure. Also an eight-inch water line is proposed to go through Lots 108, 107, and 106, which is a concern because utility lines should be in public streets. The plan proposed will realign the sewer line. The final plat has many deficiencies such as missing state plane coordinates, missing easements, problems with water lines/sewer lines, and no letter from the American Fork Irrigation Company. The applicant is requesting a waiver of items, i.e. flag lot, vacating a public right-of-way for an additional lot, not requiring roadway installation, allowing utilities in nonstandard locations, requirements to cul-de-sac standards, and final plat standards.

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
NOVEMBER 5, 2014

The American Fork Planning Commission met in a regular session on November 5, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Leonard Hight
Rebecca Staten
Absent Commission Members: Harold Dudley, Eric Franson, Christine Anderson
- Alternate
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Kim E. Holindrake, Public Works Administrative Assistant
Others: George Wilson, Karen Roberts, Kent Roberts, Taylor Billings, Spencer Quain, Kaytee Howell, Ryan Howell

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

2. Hearing, review and action on a zone map amendment from the RA-1 Residential Agricultural zone to the R1-9,000 Residential zone located in the area of 550 South 100 West (7:01 p.m.)

Staff Presentation:

Adam Olsen stated this is for the Roberts property. The property is currently zoned RA-1. The Roberts are proposing to take the area where the house sits and rezone it to the R1-9,000 zone. If it is ever divided, it does meet the minimum lot requirements for the R1-9,000 zone.

PUBLIC HEARING

George Wilson stated he surveyed the property. The property is currently three, one-acre parcels. The Roberts would like to downsize the property to two lots with one lot being rezoned to the R1-9,000 zone. With approval, there wouldn't be any violation of zoning ordinances and no new lots would be created.

Public Hearing closed.

MOTION: Nathan Schellenberg - To recommend approval of a zone map amendment for property located at 550 South 100 West from the RA-1 zone to the R1-9,000 zone. Seconded by Rebecca Staten.

Yes - Marie Adams
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

3. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:06 p.m.)

Staff Presentation:

Adam Olsen stated this item was pulled by applicant and will hopefully be back in two weeks. It was tabled at the two previous Planning Commission meetings.

MOTION: Rebecca Staten – To table the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone at the request of the applicant. Seconded by Marie Adams.

Yes - Marie Adams
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

4. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Rebecca Staten – To table the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone at the request of the applicant. Seconded by Marie Adams.

Yes - Marie Adams
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

5. Other Business (7:08 p.m.)

Planning Magazine Article

There was an article in the October Planning Magazine about streetscape and planning for pedestrians. It was very relevant to the Transit Oriented District (TOD) area, the trails, and linear parks along the Vineyard Connector. It was a very well written article on the principles of correct planning. It would be a good article to forward on to the City Council for a better understanding of planning. All the Commissioners should read the article for future discussion. The article discussed complete streets. When the TOD plan is brought forward, many of these elements in the article are incorporated into the streetscapes. Once the TOD is approved, the City Engineer would like to reopen the entire transportation master plan and have complete road cross sections for City streets.

Main Street Vision Plan

The Main Street Vision Plan is moving forward. An agreement with UDOT has been signed for a study to create a downtown streetscape. You can look at it as branding for downtown American Fork. Once the study is complete, a budget can be created for the improvements. The purpose is for enhancements and betterments on Main Street after UDOT comes through and does its work

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
NOVEMBER 19, 2014

The American Fork Planning Commission met in a regular session on November 19, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Leonard Hight
Rebecca Staten, Eric Franson, Harold Dudley (7:08 pm.)
Alternate Member: Christine Anderson
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: James Doolin, Gerrit Timmerman, Ryan Hales, Mick MacIntosh, Victor Hansen, Ed Waldvogel

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:02 p.m.)

Staff Presentation:

Adam Olsen reported this project initially came to the Planning Commission on October 8th and was tabled. It was tabled again on October 22nd. On November 5th, the applicant pulled it from the agenda because he didn't have enough time to get the level of detail requested by the Commission. Two options were presented at the October 22nd meeting. The first option is what is presented tonight with key elements added such as landscaping. The main issue with this option was the access points not quite meeting the access management standards. The applicant is requesting a variance to those standards, which is included. The City Engineer has included a memo stating his opinion on the variance request. At this point, the Commission has several scenarios in the decision process. The application could be recommended for approval with a recommendation of approval for the variance request. The application could be recommended for denial based on noncompliance with the Access Management Manual. It could be forwarded without a recommendation to the City Council. It could also be tabled, but this is the plan they want to move forward. He also discussed an option with the City Engineer earlier today that would recommend approval of the site plan with the findings listed in the City Engineer's memo. This means a recommendation of approval for the site plan, but a negative recommendation for the subdivision because of the access management issues.

Howard Denney reported that with the revisions on the final plat, the easements for the storm drain pond were lost. The applicant's request will require a variance from the access management standards. The use on lot 4 is still unknown. The applicant gave statements on how good auto dealerships functions but did not explain any hardships.

Applicant Presentation:

Gerrit Timmerman stated in talking with the Garff group, the intended use of lot 4 is for overflow parking for the Ford store for the present time and the foreseeable near future. At a future point, there may be a need to do a fleet maintenance facility on this site, which may not encompass the entire lot 4. This helps meet their operational needs. The justification on 1100 South is to maintain one access point for the new fleet facility and one for the Ford dealership. As far as hardships, the key is to maintain as much flexibility for vehicle flow in and around the site, which is described in the variance request. At this time, they are looking at a four-lot subdivision and have not explored a three-lot subdivision. The owner's group feels a four-lot subdivision would maximize their flexibility.

Rebecca Staten stated the Ken Garff Honda in Orem has one access point off a major road. There are three dealerships with two accesses off University Parkway and seems to be a larger area. This site plan has 10 access points and looks smaller in area. She has an issue with the access management.

Mick MacIntosh stated the Honda store in Orem is not a fair comparison because it is under three acres and only faces one major road. This site plan is 14 acres and a whole different situation. He imagines this dealership will sell 300 plus cars per month. There are dealerships that sell many cars with few accesses, and they are the worst situations as far as access for customers. They have people who refuse to go to these dealerships because of the access issues. They want a good situation for their customers.

Eric Franson stated UDOT has standards and those are not compromised. American Fork City has standards to adhere to. He is disappointed. There were hours of discussion on this and hours spent by staff. There have been numerous requests on not allowing the variances. Please come back with a plan that fits with the Code. And here we are two months later, without one change to the plan. He doesn't know if it's simple arrogance or whether it's complete disregard for the Commission's time and efforts in trying to make the City a better place. He doesn't know what it is, but he is frustrated that there has been no give or attempt to adhere to the City standards as listed in the Code.

Commission Discussion:

Nathan Schellenberg stated he feels the City staff has already bent over backwards in arranging some things and maybe have gone too far in working out some solutions dealing with the Access Management Plan but also the Transportation Element of the General Plan as far as buffered bike lanes and landscaping strips. These are the City's standards that need to be met. The Access Management Manual says, *one reason to grant the variance would be the applicant has considered all other feasible alternatives to provide reasonable access to the land use or development and can demonstrate that better alternatives are not feasible.* This is a clean slate and a big piece of land that can be developed many ways with a thousand ways for access.

Mick MacIntosh stated they don't have a clean slate. There is a building on the property. They are moving some of their dealerships with troubles and don't want to have problems here. They want a good situation for their customers. The manual was written to allow variances, and there are reasons to allow variances.

John Woffinden stated this is a good use for the ground and fits the zoning. The Access Management Plan has been on the books forever. He believes there is a conflict of interest that the person who wrote the document for the City is now on the other side stating the plan doesn't make sense any more. It is a very good plan, and he would like to see it adhered to. The need for variances have not been proven.

Ryan Hales stated the access management policies were written in 2009 and adopted in 2012. There is a variance process written in the policies. They are asking for the same variance any developer would ask.

Nathan Schellenberg stated that the point is a variance requires that the applicant show there is no other way it can be done. In his mind, there is not a requirement that this has to be divided into this number of lots. That is the developer's prerogative and own interest. If you began with the understanding that you had to comply with the Access Management Manual, then how would you lay out the property? These are the terms you should be thinking in; not in terms of divide it how you want and get a variance on whatever doesn't comply. It needs to show there is no other feasible way for this to be done before the Commission can grant a variance. The Commission has asked for this time and time again, and it hasn't been done or even attempted.

Ryan Hales stated he believes the accesses on Auto Mall Drive match the existing points. On 500 East, the accesses are in the locations because of the existing building. The owner would like as much flexibility as possible. The Commission's voice has been heard. The owner is trying to make the site work for everyone, and they want some concessions. On 1100 South there are a couple of accesses that are low volume. One is to be gated and is for vehicles to be serviced at lot #3. The other is for employees to move vehicles around. The developer would like to see multiple accesses for various reasons on the site.

Eric Franson stated that at this point we would have to agree to disagree with a need for a variance. The applicant says there is a need for a variance; and in Mr. Hale's expert opinion, traffic wise it is okay to allow the variance. He understands his opinion is valid. But from what he understands and what the staff has communicated, they will have to agree to disagree that a variance is needed or warranted in this case.

Nathan Schellenberg stated he doesn't agree with recommending the site plan because changing the access points on the subdivision will change the site plan. The Commission's desires have been communicated. This is the same plan as before and the same discussion as before. He would like to table the item until the basic requirements are met. It makes no sense to approve it subject to if the entire plan were to change.

Gerrit Timmerman stated the City Engineer lists four items of concern in his November 13, 2014, memorandum. At the bottom it states, *the other items the applicant has requested for variance relative to rights-of-way and roadway cross-sections, access location and permitted movements appear to be reasonable compromises.* They have spent hours of time working on this and feel they are very close. As a design team, they have given and have compromised. He would feel frustrated if this were tabled. In looking at the recommendations shared by Adam, he would definitely be in favor of an approval of the site plan and a denial of the subdivision. He asked if a big concern is lot 4.

John Woffinden stated not knowing the use of lot 4 is an issue, and it makes determining the accesses difficult. The Commission requested a three-lot subdivision a while back.

Eric Franson stated in looking at the City Engineer's memo and say if the plan can comply with staff and the City Engineer's description of the access management dealing with 500 East and the western access on lot 4, which is exactly where it was a month ago, then he agrees these items are the items that were under question last time and the same items under question this time. Last time the attempt was made to give up the western access point on lot 4 and take back additional landscaping, but the Commission felt that was not acceptable. So we are back to where we were.

MOTION: Eric Franson – To table this item until such time as we have resolution of these four items listed by Andy Spencer in the memo dated November 13, 2014. Seconded by Nathan Schellenberg.

Yes -

Marie Adams
Christine Anderson
Harold Dudley
Eric Franson
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Eric Franson – To table item 3 on the agenda. Seconded by Nathan Schellenberg.

Yes -

Marie Adams
Christine Anderson
Harold Dudley
Eric Franson
Leonard Hight
Nathan Schellenberg
Rebecca Staten
John Woffinden

Motion passes.

Further Discussion:

Adam Olsen stated he understands the motion but also understands that there will not be a new plan. They have made that clear several times.

Eric Franson questioned the applicant's plan. Is it a simple fact of circumventing the Planning Commission so they can go to City Council where they can appeal to some economic drivers to get a business into the City and look at more tax revenue and things like that as opposed to adhering to City standards? Is that the plan?

Nathan Schellenberg stated the Commission can't speculate.

John Woffinden stated their track record shows they haven't made any movement in the last month. The Commission will have to see what happens.

Marie Adams stated the Commission should not see this item on the agenda as it stands. It is a waste of the Commission's time.

Rebecca Staten stated it should not be on the agenda unless it has changed.

John Woffinden asked that the minutes reflect the Commission's concerns so that the City Council knows why the Commission took this action and what the Commission expects.

4. Hearing, review and action on a zone map amendment from the RA-1 Residential Agricultural zone to the R 1-9,000 residential zone located at 362 South Storrs Avenue (7:43 p.m.)

John Woffinden stated the applicant requested the item be tabled in order to make changes to the annexation agreement.

MOTION: Eric Franson – To table item #4 on the agenda. Seconded by Rebecca Staten.

Yes	-	Marie Adams	
		Christine Anderson	
		Harold Dudley	
		Eric Franson	
		Leonard Hight	
		Nathan Schellenberg	
		Rebecca Staten	
		John Woffinden	Motion passes.

5. Hearing, review and action on the final plat for the South Pointe Planned Community Development Project Phase 1, consisting of 35 lots, located in the vicinity of 740 East 400 South in the PC-Planned Community zone (7:44 p.m.)

Staff Presentation:

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
DECEMBER 3, 2014

The American Fork Planning Commission met in a regular session on December 3, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Marie Adams, Nathan Schellenberg, Rebecca Staten, Harold Dudley
Alternate Member: Christine Anderson
Absent Commission Members: Eric Franson, Leonard Hight
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: Brett Gelbert – Boos Development Group, Derek Seal – Realty Executives, Fred Clark, Leslie Morton – Psomas Engineers

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Rebecca Staten - To table the review and action on the commercial site plan for the Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone per the applicant's request. Seconded by Marie Adams.

Yes	-	Marie Adams
		Christine Anderson
		Harold Dudley
		Nathan Schellenberg
		Rebecca Staten
		John Woffinden

Motion passes.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

MOTION: Rebecca Staten - To table item 3, the review and action on the final plat for the Ken Garff subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone per the applicant's request. Seconded by Marie Adams.

Yes - Marie Adams
Christine Anderson
Harold Dudley
Nathan Schellenberg
Rebecca Staten
John Woffinden Motion passes.

4. Hearing, review and action on a zone map amendment from the RA-1 Residential Agricultural zone to the R1-7,500 residential zone located at 362 South Storrs Avenue (7:04 p.m.)

Staff Presentation:

Adam Olsen reported this zone change contains two parcels with an existing home. Currently one of the parcel lines goes through the middle of the home so the lines will be redrawn. It is in compliance with the Land Use Plan, which is medium residential. They are asking for the R1-7,500 Zone, which will allow an additional lot or two in the future. There is R1-7,500 to the north and to the east there is R2-7,500. Staff recommends approval.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Applicant Presentation:

Derek Seal stated their intention is to clean up the survey lines and subdivide a portion.

MOTION: Marie Adams - To recommend approval of a zone map amendment for property located at 362 South Storrs Avenue from the RA-1 Zone to the R1-7,500 Zone.

Seconded by Christine Anderson.

Yes - Marie Adams
Christine Anderson
Harold Dudley
Nathan Schellenberg
Rebecca Staten
John Woffinden Motion passes.

5. Review and action on the commercial site plan for CVS Pharmacy located at 495 East State Road in the GC-1 General Commercial zone (7:06 p.m.)

Staff Presentation:

Adam Olsen stated there are three separate parcels to be combined into one lot. The two existing structures will be removed. The parking and landscaping have been provided according to the City Code. There are two points of access, one from State Street and one from 500 East. This actually removes one access from State Street. Staff recommends approval of the site plan.

Howard Denney recommended using City Standards in that some standards could be combined. On the subdivision plat, the American Fork Irrigation Company is requesting a change to the

AMERICAN FORK CITY
PLANNING COMMISSION MEETING MINUTES
DECEMBER 17, 2014

The American Fork Planning Commission met in a regular session on December 17, 2014, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman
Commission Members: Rebecca Staten, Harold Dudley, Eric Franson
Alternate Member: Christine Anderson
Absent Commission Members: Marie Adams, Leonard Hight, Nathan Schellenberg
Adam Olsen, Senior Planner
Wendelin Knobloch, Associate Planner
Howard Denney, Engineering Services Manager
Kim E. Holindrake, Public Works Administrative Assistant
Others: John Abbott, Adam Naylor, Dan Richards, Blake Hanson – T-Mobile, Tyler Stinson, Tony Johns, Sam Penrod

1. Pledge of Allegiance

Those in attendance stood and stated the Pledge of Allegiance.

Christine Andersen was recognized as a voting member.

2. Review and action on the commercial site plan for Ken Garff Chevrolet located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone (7:02 p.m.)

John Woffinden stated this item and Item #3 will not be addressed. The applicant did not provide any documentation.

3. Review and action on the final plat for Ken Garff Subdivision consisting of four lots located at 500 East Auto Mall Drive in the GC-2 Planned Commercial zone

4. Hearing, review and action on the preliminary plan for the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone (7:03 p.m.)

Staff Presentation:

Adam Olsen stated this item was addressed in October. The developer made changes to fully comply with city ordinances. It is a nine-lot subdivision. The Land Use Plan for the area is low density residential and it falls within this category. Three lots access from 300 North and the remainder from Evergreen Drive. Last time there was an issue with the cul-de-sac, which has



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
January 27, 2015

Department Planning

Director Approval *Adrian Ok*

AGENDA ITEM Ordinance approving an amended commercial site plan for placement of a roof mounted cellular antenna located at 737 East 1180 South (Morinda) in the GC-2 General Commercial zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the amended commercial site plan for placement of a roof mounted cellular antenna as stated in the attached minutes of the December 17, 2014 planning commission meeting.

BACKGROUND The applicant proposes to place a roof mounted cellular antenna on the Morinda building, which - in compliance with the ordinance - will extend 10 feet above the parapet wall as shown on the attached plans. For further analysis please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to adopt the ordinance approving an amended commercial site plan for placement of a roof mounted cellular antenna located at 737 East 1180 South (Morinda) in the GC-2 General Commercial zone with instructions to the city recorder to withhold publication of the ordinance subject to:

- Posting of a performance guarantee to ensure the timely construction of required public improvements.
- All conditions identified in the public record associated with the December 17, 2014 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ordinance
2. Site plan
3. Staff report
4. Planning commission meeting minutes, December 17, 2014

ORDINANCE NO.

AN ORDINANCE APPROVING A COMMERCIAL SITE PLAN FOR A ROOF MOUNTED CELLULAR ANTENNA AT MORINDA LOCATED AT 737 EAST 1180 SOUTH, AMERICAN FORK, UTAH

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,

PART I

DEVELOPMENT APPROVED - ZONE MAP AMENDED

- A. The Commercial Site Plan for a roof mounted cellular antenna at Morinda located at 737 East 1180 South, American Fork, Utah, as set forth in Attachment A, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II

ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 27 DAY OF JANUARY, 2015.

James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder

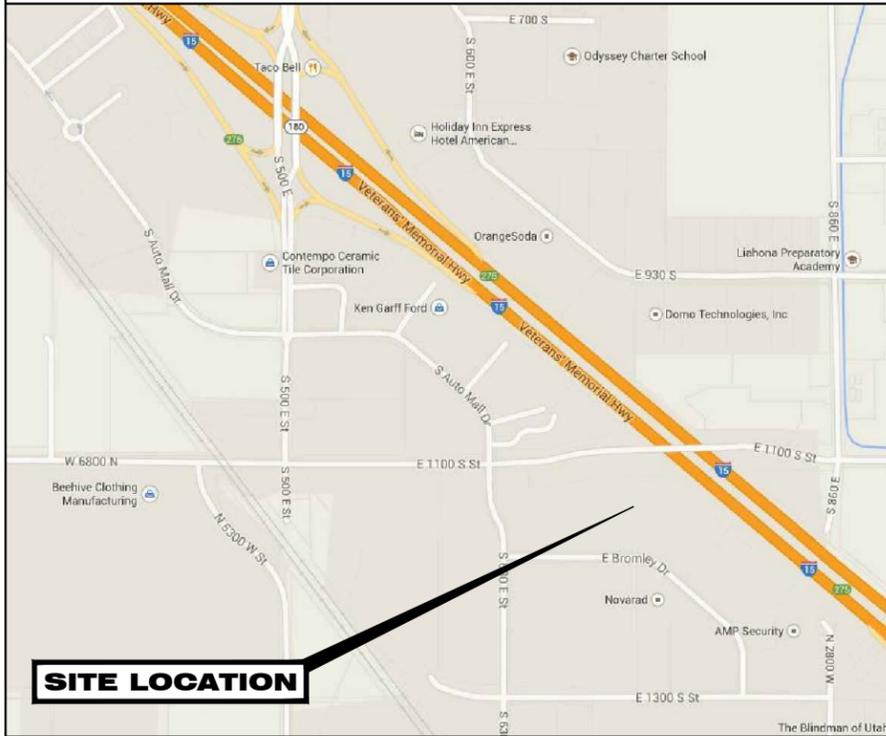
PROPRIETY INFORMATION:
THE INFORMATION CONTAINED IN THIS
SET OF DRAWINGS IS PROPRIETARY BY
NATURE. ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH RELATES TO
T-MOBILE SERVICES IS STRICTLY
PROHIBITED.



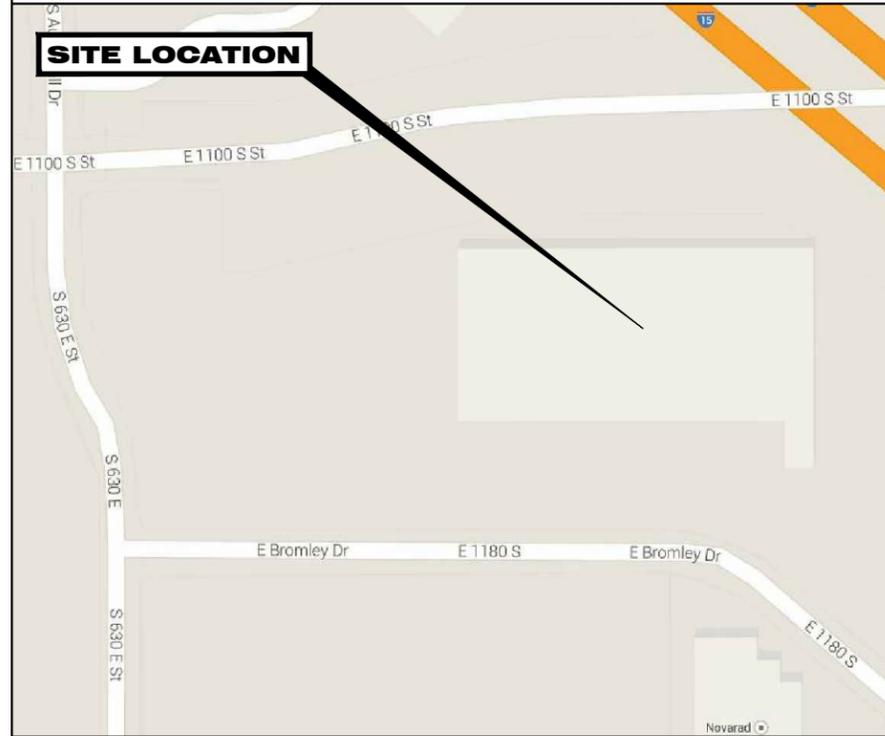
SL05233A MORINDA
737 E 1180 S
AMERICAN FORK, UTAH 84003



GENERAL LOCATION MAP



VICINITY MAP



DRAWING INDEX

T1	TITLE SHEET
N1	GENERAL NOTES
A1	SITE LOCATION PLAN
A2	EQUIPMENT SITE PLAN
A3	TOWER ELEVATION / ANTENNA DETAILS
A4	EQUIPMENT DETAILS
A5	ENCLOSURE DETAILS
E1	GROUNDING PLAN
E2	POWER, TELEPHONE, GROUNDING
E3	SITE NOTES
E4	ANTENNA DIAGRAM

PROJECT SUMMARY

PROPERTY INFORMATION:
PROPERTY OWNER: MORINDA
SITE ID: SL05233A
ZONING CLASSIFICATION: GC-2
CONSTRUCTION TYPE: U
OCCUPANCY: -
JURISDICTION: AMERICAN FORK
CURRENT USE: UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY
NEW USE: UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY

DATE: 8.25.14
DRAWN BY: NSW
CHECKED BY: ROCKY SCHUTJER

REVISIONS

DATE	DESCRIPTION	INT.

APPROVALS

APPROVED BY	PRINT NAME	INITIALS	DATE
PROJECT MANAGER			
RF ENGINEER			
OPS MANAGER			
CONSTRUCTION			
LANDLORD			

CONTACT INFORMATION

PROPERTY OWNER
TROPICAL DEVELOPMENT LLC
333 W RIVER PARK DR
PROVO, UT 84604

NETWORK SYSTEMS OWNER
T-MOBILE
121 WEST ELECTION RD. STE. 330
DRAPER, UT 84020

SITE ACQUISITION FIRM
RAGE DEVELOPMENT LLC
2181 HUGO AVENUE
SALT LAKE CITY, UT 84117

A/E FIRM
SMITH HYATT ARCHITECTS
845 SOUTH MAIN STREET
BOUNTIFUL, UTAH 84010

SL05233A
MORINDA
333 W RIVER PARK DR
PROVO, UT 84604

DRAWING TITLE:
TITLE SHEET

DRAWING NO.:
T-1

GENERAL CONSTRUCTION NOTES

1. DRAWINGS WERE PREPARED FROM STANDARDIZED DETAILS DEVELOPED AND PROVIDED BY T-MOBILE WEST, LLC ("T-MOBILE"). STANDARDIZED DETAILS ARE TO BE CONFIRMED AND CORRELATED AT THE SITE BY THE CONTRACTOR. STANDARDIZED DETAILS THAT REQUIRE MODIFICATIONS DUE TO ACTUAL FIELD CONDITIONS AND REQUIREMENTS MUST BE SUBMITTED TO, AND APPROVED BY, T-MOBILE PRIOR TO START OF WORK.
2. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE. THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAM PURPOSES ONLY. UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS.
3. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE INSTALLATION AS DESCRIBED IN THE DRAWINGS AND AS DISCUSSED ON THE SITE WALK.
4. PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF T-MOBILE VERBALLY AND IN WRITING.
5. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
9. GENERAL CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
10. THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
11. CONTRACTOR TO SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.

12. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
13. CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
14. CONTRACTOR TO VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO EXCAVATION.
15. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION, UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
16. CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION DAILY AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
17. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) T-MOBILE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
18. THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
19. THE CONTRACTOR SHALL PROVIDE T-MOBILE CORPORATION PROPER INSURANCE CERTIFICATES NAMING T-MOBILE WEST, LLC AS ADDITIONAL INSURED, AND T-MOBILE WEST, LLC PROOF OF LICENSE(S) AND PL & PD INSURANCE.

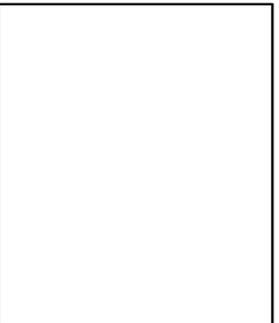
CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- A. UTAH UNIFORM BUILDING STANDARD ACT RULES
- B. 2011 NATIONAL ELECTRIC CODE (NEC)
- C. 2009 INTERNATIONAL BUILDING CODE (IBC)
- D. 2006 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101)
- E. 2009 INTERNATIONAL MECHANICAL CODE (IMC)
- F. LOCAL BUILDING CODE
- G. CITY OR COUNTY ORDINANCES

IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. STILLWATER MANAGEMENT CANNOT GUARANTEE THE CORRECTNESS NOR THE COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF THE PROJECT.



DATE: 8.25.14		
DRAWN BY: NSW		
CHECKED BY: ROCKY SCHUTJER		
REVISIONS		
DATE	DESCRIPTION	INT.

SL05233A
 MORINDA
 333 W RIVER PARK DR
 PROVO, UT 84604

DRAWING TITLE: GENERAL NOTES	DRAWING NO.: N-1
---------------------------------	----------------------------

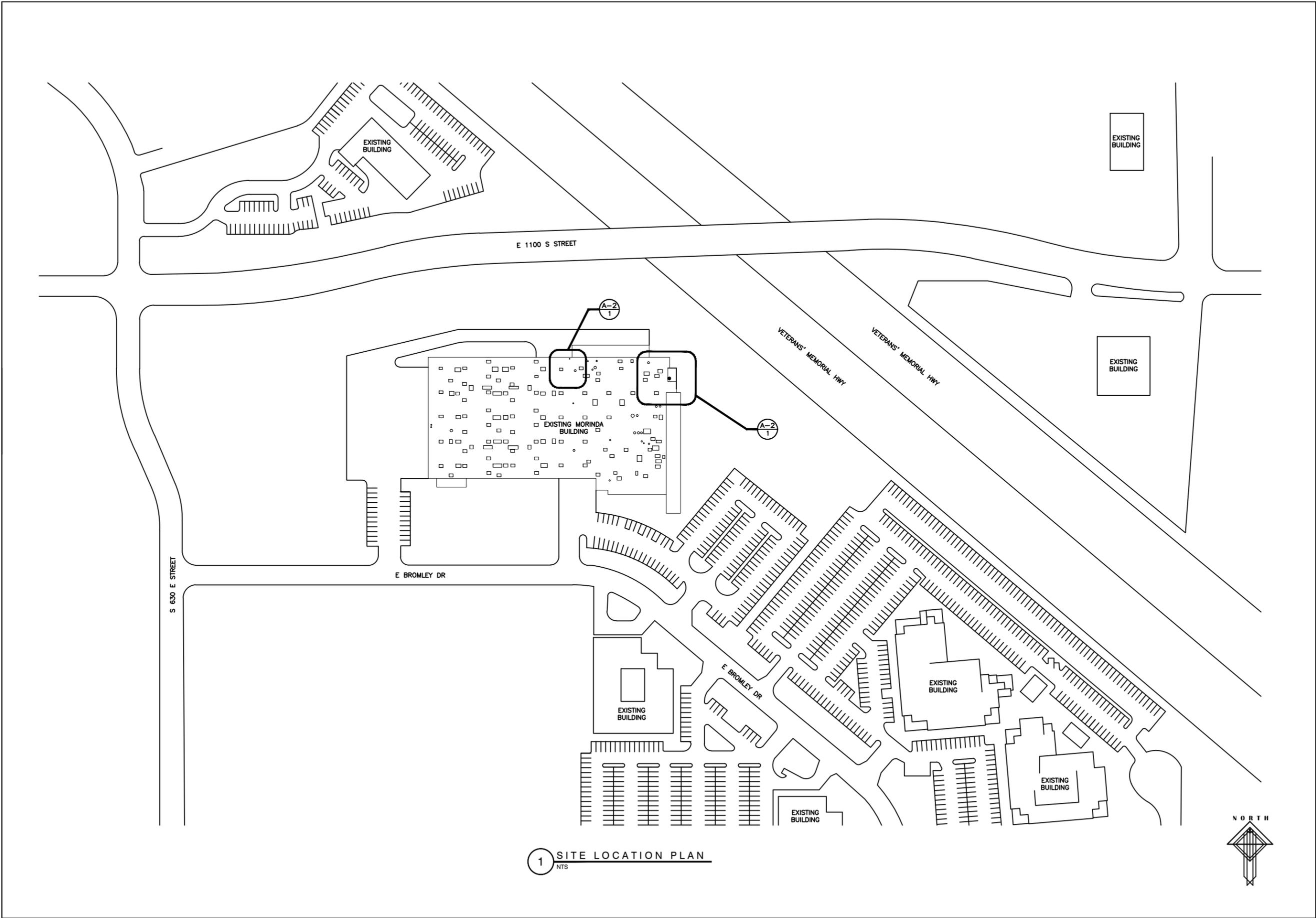
DATE: 8.25.14
DRAWN BY: NSW
CHECKED BY: ROCKY SCHUTJER

REVISIONS		
DATE	DESCRIPTION	INT.

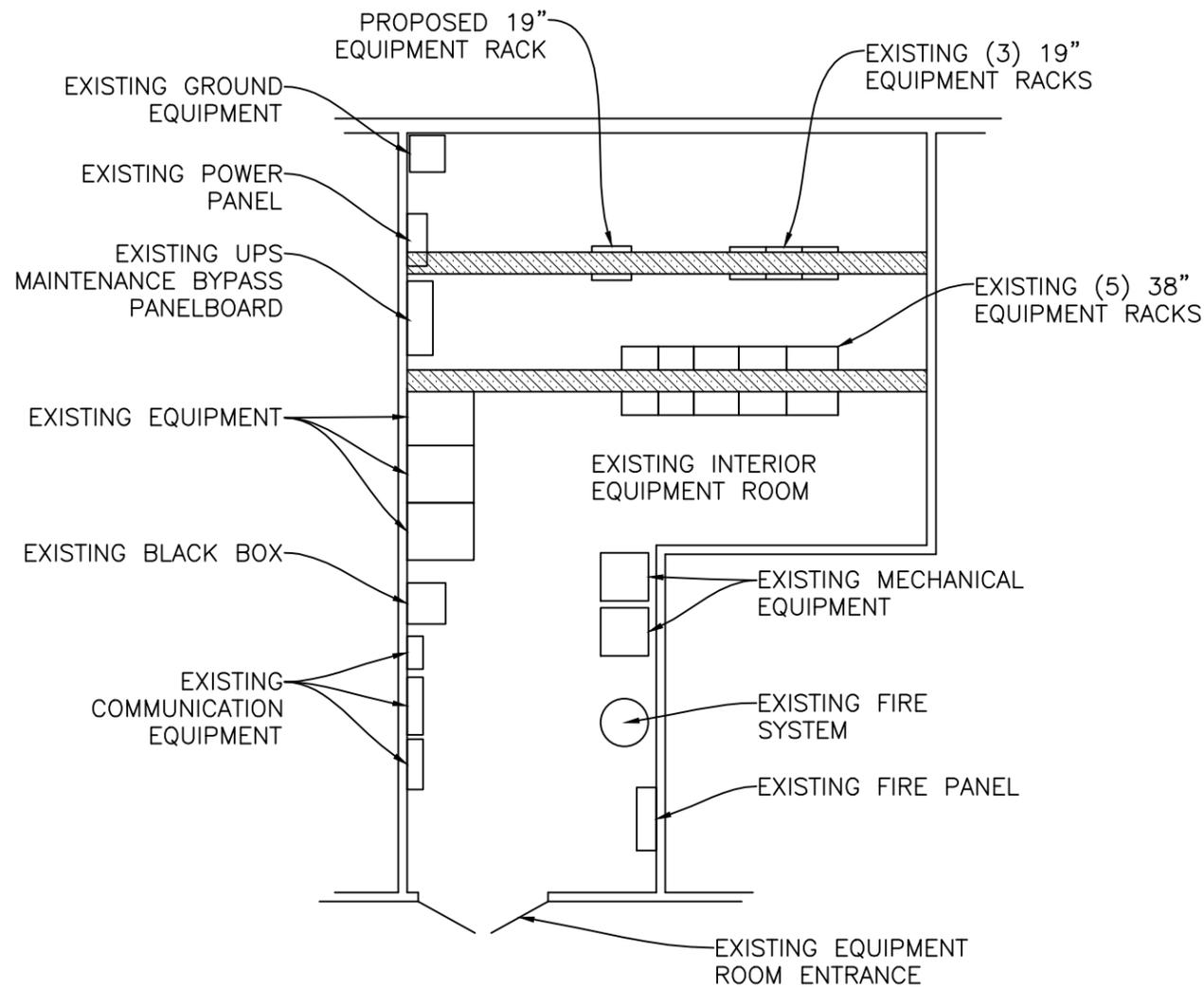
SL05233A
MORINDA
333 W RIVER PARK DR
PROVO, UT 84604

DRAWING TITLE:
SITE LOCATION PLAN

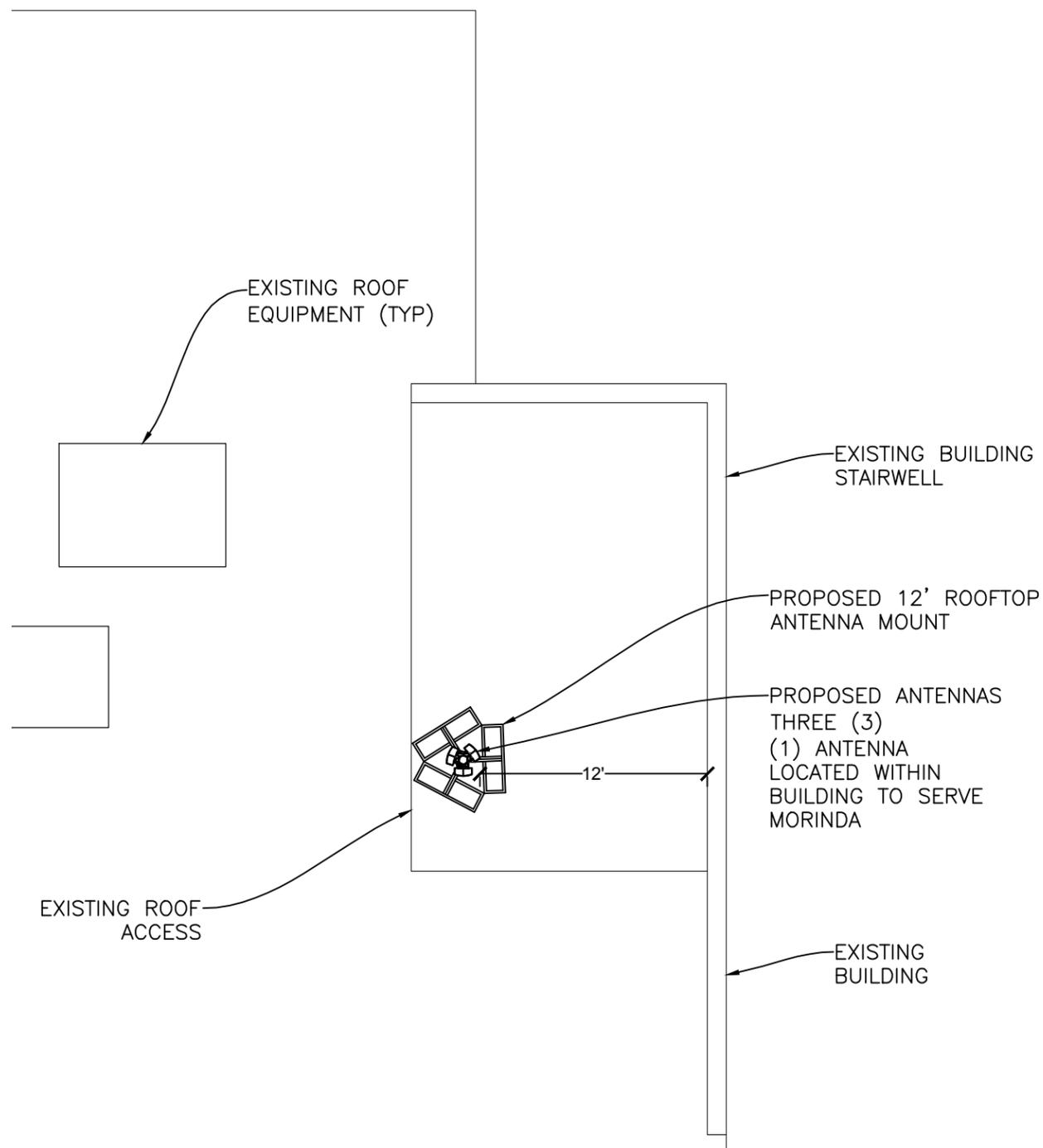
DRAWING NO.:
A-1



1 SITE LOCATION PLAN
NTS



2 ENLARGED EQUIPMENT PLAN
NTS



1 ENLARGED SITE PLAN
NTS



DATE: 8.25.14

DRAWN BY: NSW

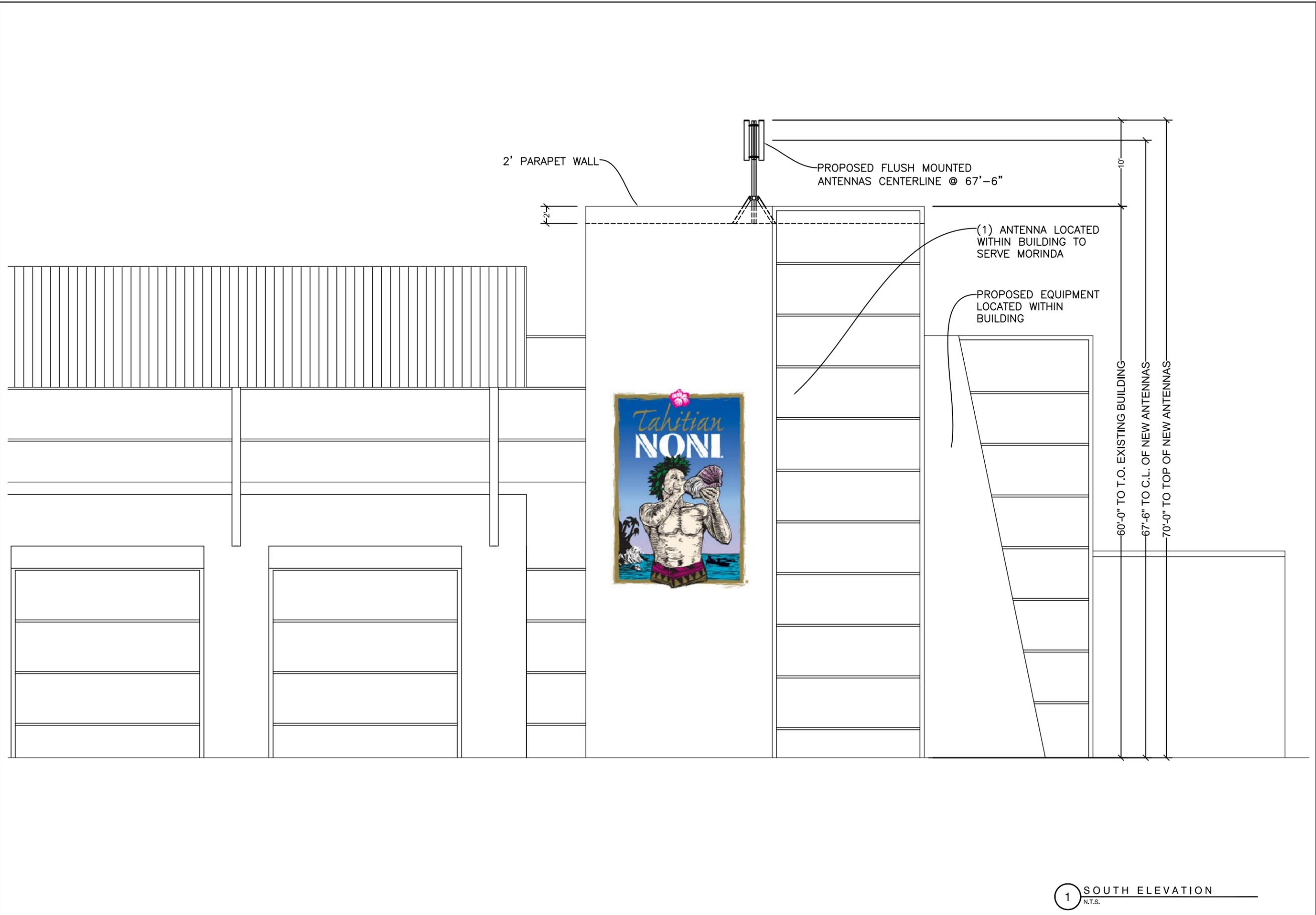
CHECKED BY: ROCKY SCHUTJER

REVISIONS		
DATE	DESCRIPTION	INT.

SL05233A
MORINDA
333 W RIVER PARK DR
PROVO, UT 84604

DRAWING TITLE:
ENLARGED SITE PLAN

DRAWING NO.:
A-2






845 SOUTH MAIN, BOUNTIFUL, UTAH 84010
801-298-5777 FAX 801-298-1677

DATE: 8.25.14
 DRAWN BY: NSW
 CHECKED BY: ROCKY SCHUTJER

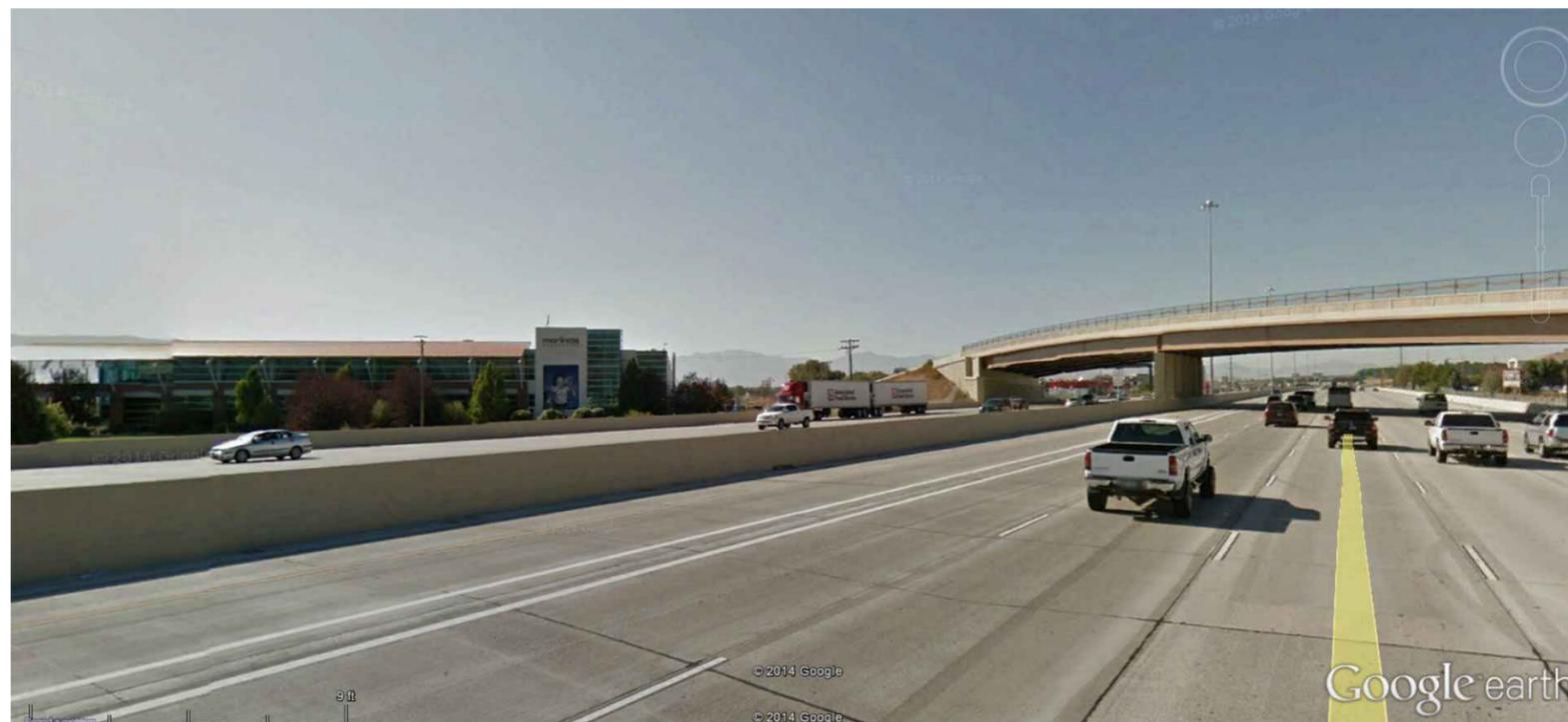
REVISIONS		
DATE	DESCRIPTION	INT.

SL05233A
 MORINDA
 333 W RIVER PARK DR
 PROVO, UT 84604

1 SOUTH ELEVATION
N.T.S.

DRAWING TITLE:
 TOWER ELEVATION/
 ANTENNA DETAILS
 DRAWING NO.:
A-3

PHOTO SIM



DATE: 8.25.14
 DRAWN BY: BBH
 CHECKED BY: ROCKY SCHUTJER

REVISIONS		
DATE	DESCRIPTION	INT.

SL05233A
 MORINDA
 333 W RIVER PARK DR
 PROVO, UT 84604

DRAWING
 TITLE:
 PHOTO
 SIM

DRAWING NO.:
S-1

AGENDA TOPIC: Hearing, review and action on an amended commercial site plan for placement of a roof mounted cellular antenna located at 737 East 1180 South (Morinda) in the GC-2 (Planned Commercial) Zone.

BACKGROUND INFORMATION					
Location:		737 East 1180 South			
Applicants:		T-Mobile			
Existing Land Use:		Commercial			
Proposed Land Use:		N/A			
Surrounding Land Use:	North	Commercial			
	South	Commercial			
	East	Commercial			
	West	Commercial			
Existing Zoning:		GC-2 (Planned Commercial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	GC-2 (Planned Commercial)			
	South	PI-1 (Planned Industrial)			
	East	GC-2 (Planned Commercial)			
	West	GC-2 (Planned Commercial)			
Land Use Plan Designation:		Design Industrial			
Zoning within density range?		x	Yes		No

PROJECT DESCRIPTION: Request for a recommendation of approval of a roof mounted cellular antenna at the Morinda site.

Background

T-Mobile proposes to construct a roof mounted antenna on the Morinda (Tahitian Noni) building. The antenna will extend ten feet (10') above the parapet wall, as allowed in Section 17.6.112 of the Development Code. The antenna will also be colored to match the main structure, as required per Section 17.6.112.C.3.c.

Service equipment plus one additional antenna will be located inside the Morinda building, but approval from the Planning Commission is requested solely for the roof mounted antenna.

Consistency with the Land Use Plan:

The Land Use Plan designation for this area is "Design Industrial". The proposed roof mounted antenna is consistent with the Land Use designation.

FINDING OF FACT

After reviewing the application for Site Plan approval, the following finding of fact for approval is offered:

1. The proposed addition conforms to the criteria as found in Section 17.6.112.C.3 (Roof Mounted Antenna) of the Development Code.

POTENTIAL MOTION

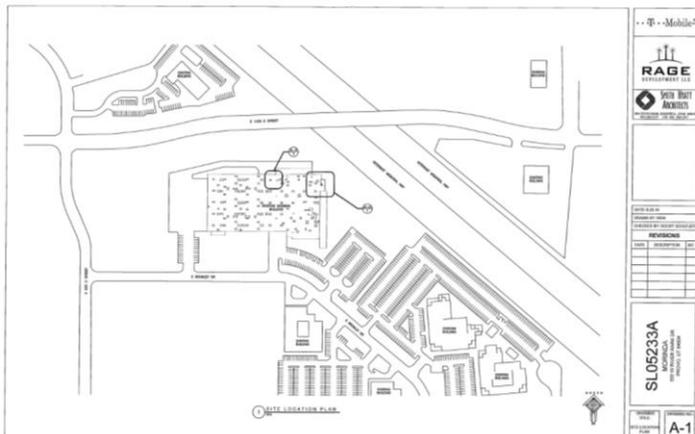
Mr. Chairman, I move that we recommend approval of the site plan for the placement of a roof mounted cellular antenna located at 737 East 1180 South with the finding listed above and subject to any conditions listed in the engineering report.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 12/17/2014

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

1. Project Name: T-Mobile modified Site Plan at Morinda
2. Type of Application:
 Subdivision Final Plat Subdivision Preliminary Plan Annexation
 Code Text Amendment General Plan Amendment Zone Change
 Commercial Site Plan Residential Accessory Structure Site Plan
3. Project Address: 737 East 1180 South
4. Developer / Applicant's Name: T-Mobile/Morinda
5. **Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:
 - A. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/3/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.
6. **Applicant is requesting that the Planning Commission waive the following requirement:**
 - A. N/A
7. **Plan Submittal:**



5. Review and action on the final plat of the Andersen Property Subdivision consisting of 9 lots located in the area of 820 East Evergreen Drive in the R1-9,000 Residential zone

MOTION: Rebecca Staten - To recommend approval of the final plat for the Andersen Subdivision, with the findings (#2 through #4) and condition (#5) as outlined in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The final plat is consistent with the Land Use Plan designation of “Low Density Residential”.**
- **The final Plat meets Section 17.8.101 (Intent) of Chapter 17.8 (Subdivisions).**
- **The final plat meets the criteria as found in Section 17.8.211 of the Development Code.**

Conditions:

- **Water rights conveyance, if needed, shall be satisfied prior to final plat recordation.**
- **All Standard Conditions of Approval and items denoted as “Plan Modification(s) Required” in the 12/17/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Harold Dudley.

Yes - Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

6. Hearing, review and action on an amended commercial site plan for placement of a roof mounted cellular antenna located at 737 East 1180 South (Morinda) in the GC-2 General Commercial zone (7:16 p.m.)

Staff Presentation:

Adam Olsen reported that T-Mobile proposes an antenna on the Morinda building. Code allows it to be ten feet above the parapet wall and will be colored to match the building. They are proposing to locate an antenna in the building also. This will just be an antenna and not screened. Planning recommends approval.

Howard Denney stated the Engineering Division recommends approval.

PUBLIC HEARING

No comments were made, and the public hearing was closed.

Applicant Presentation:

Blake Hanson stated Morinda is a sales account for T-Mobile. Morinda and other buildings in the area are requesting better coverage. The antenna will serve the business park and up the I-15 corridor. It is a big cost to screen the antenna, and there isn't a lot of good looking options. Screening makes it stick out more; they don't do many with screens.

MOTION: Harold Dudley - To recommend approval of the site plan for the placement of a roof mounted cellular antenna located at 737 East 1180 South with the finding listed in the staff report and subject to any conditions listed in the engineering report.

Findings:

- **The proposed addition conforms to the criteria as found in Section 17.6.112.C.3 (Roof Mounted Antenna) of the Development Code.**

Conditions:

- **All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 12/3/2014 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**

Seconded by Christine Anderson.

Yes - Christine Anderson
Harold Dudley
Rebecca Staten
John Woffinden

Motion passes.

7. Review and action on the final plat of IFA American Fork Commercial Subdivision Amended A, consisting of 5 lots, located in the vicinity of 600 North 900 West in the GC-2 General Commercial zone (7:23 p.m.)

Staff Presentation:

Adam Olsen stated originally the IFA plat was approved in May by the City Council with four lots. This adds a fifth lot by splitting lot 1. A minor change is adding a detention pond on the south side with additional property. The lot line between lots 2 (IFA) and 3 is shifting to the south into the shared access easement. There is a user for the new lot 1, but it needed to be subdivided.

Howard Denney reported that on the final plat a storm drain easement is needed on the new property for the detention pond and two subdivision monuments with their state plane coordinates.

John Woffinden stated the right-in on 900 West by the plasma center was to be removed.