



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
December 17, 2025

*This meeting may be held electronically
to allow a Commission member to participate.*

[IGNORE_INDENT]

4:30 PM WORK SESSION – AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56
NORTH STATE STREET, OREM, UT

1 Ethics Training

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. CONSENT AGENDA ITEMS
 - 3.1 Approve Minutes for the 11-03-2025 Planning Commission Meeting**
4. PUBLIC HEARING AND ACTION ITEMS
 - 4.1 Plat Amendment — Cove Estates Plat J — Located at approximately 1030 N 1510 East — Combining 2 lots into 1 lot**
 - 4.2 Preliminary Plat — Rolling Sand Plat A — Located at approximately 1765 S Sandhill Road — Creation of a flaglot**
 - 4.3 ASH Site Plan — Orchard Grove — Located at approximately at 575 W 1700 North — Affordable senior housing fourplex**
5. ADJOURN

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)

This agenda is also available on the City's webpage at orem.org

[IGNORE_INDENT]

DRAFT MINUTES FOR DECEMBER 3, 2025

CITY OF OREM PLANNING COMMISSION MEETING MINUTES December 3 2025

The following items are discussed in these minutes:

CONSENT AGENDA ITEMS:

- Approval of Minutes for the 11-19-2025 Planning Commission Meeting

ACTION ITEMS:

- Preliminary Plat - Pearson Subdivision - Located generally at 233 South 400 West

A recording of the meeting can be viewed online at <https://www.youtube.com/watch?v=1ni2HmJSEJ8>

PLANNING COMMISSION WORK SESSION

Place: Orem City Council Conference Room, 56 North State Street

At **4:39 p.m.** Chair Komen called the Planning Commission meeting to order at approximately 4:39 PM - Adjustment

Those present: Madeline Komen, Haysam Sakar, Mike Carpenter, Rod Erickson, Jerry Crismon, Planning Commissioners; Jared Hall, Grant Allen, Grace Bjarnsen, Rebecca Gourley, Planning and Zoning Staff; Dave Spencer, City Council Liaison; Crystal Muhlestein, City Councilmember Elect.

Those excused: Britton Runolfson, Jim Hawkes, Planning Commission members.

1. OPMA VIDEO

Commissioners and Staff reviewed the State's required training video on Open Public Meetings.

2. CONCERNS ABOUT NEIGHBORHOOD MEETINGS

Commissioners and Staff discussed issues regarding the timeliness of neighborhood meeting notices and their associated cancellations.

3. GENERAL PLAN DISCUSSION: ARTS AND RECREATION OPPORTUNITIES

Commissioners and Staff discussed opportunities to include arts and recreation opportunities in the general plan and discussed including elements of the heART of Orem plans.

DRAFT MINUTES FOR DECEMBER 3, 2025

PLANNING COMMISSION MEETING

Place: Orem City Council Chambers, 56 North State Street

At **5:34 p.m.** Chair Komen called the Planning Commission meeting to order. An invocation was offered by Rod Erickson.

Those present: Madeline Komen, Haysam Sakar, Mike Carpenter, Rod Erickson, Jerry Crismon, Planning Commission Members; Dave Spencer and Crystal Muhlestein, City Council Liaison and Councilmember Elect; Jared Hall, Grant Allen, Grace Bjarnsen, Rebecca Gourley, Planning and Zoning Staff Members.

Those excused: Britton Runolfson, Jim Hawkes, Planning Commission member; Matt Taylor, Senior Planner.

Agenda Item 3, Consent Agenda Items

- 3.1 Approval of Minutes for the 11-19-2025 Planning Commission Meeting
- 3.2 Approval of the 2026 Planning Commission Meeting Calendar

Planning Commission Action: Chair Komen introduced the Consent Agenda. Rod Erickson motioned to approve the agenda. Haysam Sakar seconded the motion.

Yes: Madeline Komen, Haysam Sakar, Mike Carpenter, Rod Erickson, Jerry Crismon

No: None

Agenda Item 4.1 “HOME DEPOT REZONE” - A request to rezone the property located generally at 575 East 1000 South from R8 to PD-34 by amending article 22-5-3(A) and the zoning map of the City of Orem

Before the item was introduced, the Planning Commission paused for a legal review regarding a potential conflict of interest. Commissioner Haysam Sakar advised that his business recently began renting property and coordinating events with Woodbury Corp., the applicant of the Home Depot rezone, in American Fork. City Attorney Aaron McKnight advised that, because there was no shared financial interest in the Home Depot rezone project and the business venture was happening in a different city, there was no conflict of interest. The Planning Commission resumed.

Staff member Jared Hall introduced the Home Depot Rezone project, located at approximately 575 East 1000 South. This location is currently zoned R8 and the applicant seeks to rezone the property to PD-34 so that it may be included in a future home depot site plan. Per the concept site plan, the rezoned lot is primarily intended to serve as overflow parking for Home Depot, and would be subject to the following PD-34 requirements:

1. Structures in the PD-34 zone must be set back 20 feet from a property line that abuts a residential zone
2. An 8 foot tall masonry wall must be constructed along property lines abutting residential zones
3. An 8 foot wide landscaping buffer is required along the property line

DRAFT MINUTES FOR DECEMBER 3, 2025

4. Must adhere to the 35 foot height requirement in the “Limited Zone” areas, as designated by Appendix BB

Chair Komen reminded Commissioners and attendees the item up for discussion was for the rezone, and that the site plan would be reviewed at a later date. Chair Komen opened the item for Commission discussion.

Commissioner Jerry Crismon requested to view the land use code for the PD-34 zone. Mr. Crismon advised that he would prefer a zone that has more limited land uses, as the PD-34 has a large list of greatly varied uses, which makes it difficult to ensure a developer builds a specific site.

Commissioner Haysam Sakar commented that it was possible for Home Depot to modify the site plan so that the building and parking flow would fit without the property at 575 East 1000 South. Staff agreed this may be possible.

Chair Komen invited the applicant, Dan Olsen, to come forward. Mr. Olsen did not have any questions or additional comments, and neither did the Commission. Chair Komen then opened the meeting for public comment at 5:49 PM.

Public Comment:

Annette Olson, Neighbor: Ms. Olson addressed concerns on her and her neighbors' behalf. She asked about the 20 foot minimum setback along the property line, and expressed concern regarding the proximity of Home Depot's loading dock to her home. Ms. Olson commented that an 8 foot wall would not be sufficient and requested a 12 foot wall along the property line.

Comment closed at 5:53 PM. A recording of the meeting can be viewed online at <https://www.youtube.com/watch?v=rAl6sSbXFf8>

Commissioner Rod Erickson asked Staff if it is possible to implement a 12 foot wall. Mr. Hall advised the request could be incorporated into the recommendation for City Council, but would otherwise be determined during site plan review.

Annette Olson again came to the stand to ask about on which side of the property line the wall would be located, and again emphasized the closeness of the development to her home. Chair Komen offered to talk about the concerns after the meeting, as the Public Comment section of the meeting had been closed.

Dan Olsen came up for final comments on the project's setbacks and future site plan design. Kathy Olsen, a co-applicant from Woodbury Corp., arrived late and was invited to make a statement.

Kathy Olsen advised that Woodbury Corp. wanted to purchase and rezone the property to straighten out property lines between the neighborhood and the University Place projects. She and Dan Olsen discussed plans to heavily vegetate the property lines to mitigate sound and light impact.

The Commission discussed final comments before initiating a vote. Commissioner Crismon expressed concern for the rezone, noting that there was not a reason to change the zoning until the Commission was certain of what was to be built. Vice Chair Mike Carpenter commented that the PD-34 zone is more restrictive than the C2 zone.

There were no further comments. Chair Komen asked for a motion.

Planning Commission Action: Rod Erickson motioned to forward a recommendation of approval for the Home Depot Rezone project. Haysam seconded the motion.

DRAFT MINUTES FOR DECEMBER 3, 2025

YES: Haysam Sakar, Madeline Komen, Rod Erickson

NO: Mike Carpenter, Jerry Crismon

ABSTAIN: None

Due to a lack of four positive or negative votes, the Home Depot Rezone project was forwarded to the City Council with no recommendation.

Final Meeting Comments: No further comments were made.

Adjournment: Chair Komen asked for a motion to adjourn. Vice Chair Mike Carpenter motioned to adjourn, Haysam Sakar seconded. All Commissioners voted in favor.

The Planning Commission Meeting adjourned at **6:10p.m.**

Reviewed and Approved: DRAFT

 OREM Administrative	PLANNING COMMISSION December 17 th , 2025	Item 4.1
	Cove Estates Plat J 1030 North 1510 East Plat Amendment Combining 2 Single Family Lots and Altering PUEs, R12 (.64 Acres)	Prepared By: Rebecca Gourley Applicant: Anthony Archibald

Notices:

Posted in 2 public places.

Posted on City Webpage
and City hotline.

Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:

Low Density Residential

Zoning: **R12, Single Family**

Total Acreage: **.64 acres
combined**

Action:

The Planning Commission
is the Land Use Authority
and the approving body for
this item.

REQUEST: The applicant requests approval to alter a Public Utility Easement (PUE) and combine 2 lots, resulting in one double frontage lot, at approximately 1030 North 1510 East.

BACKGROUND: The applicant, Anthony Archibald, applied for a plat amendment on July 7th, 2025. Mr. Archibald lives at 1030 North 1510 East and has purchased the home behind his property, located at 1006 North 1520 East. Mr. Archibald intends to demolish the home at 1006 North and use the property as an extension of his backyard.

As part of the amendment, Mr. Archibald requested to alter the PUE along the current backyard property line. The details of the PUE adjustment are listed below.

If the request is approved, 1030 North 1510 East will become a double frontage lot. Per section 17-7-10(E), additional regulations will apply. These regulations are described below.

REVIEW:

Zoning: The subject properties are in the R12, Single Family Residential Zones, and are both located along separate cul-de-sacs. The surrounding properties are also zoned R12.



If the plat amendment is approved, the newly combined lot will result in a double frontage lot. Per section 17-7-10(E), a double frontage may be allowed if, *“In the opinion of the City, it is necessary to reduce traffic hazards, allow for unusual site conditions, or if a proposed subdivision and any area adjacent thereto will be aesthetically enhanced thereby.”*

The rear portion of an approved double frontage lot adjacent to a street must be enclosed by a site-obscuring fence no greater than six feet (6'). Fences must maintain the Clear Vision area.

Due to the shape of the rear property and the location of neighboring driveways, the required site-obscuring fence may not be built within the 25 foot (25') rear setback. Staff recommends a condition of landscaping and maintenance of the resulting unenclosed property, should the Planning Commission approve the plat amendment. A motion including a draft condition is attached at the end of this report.

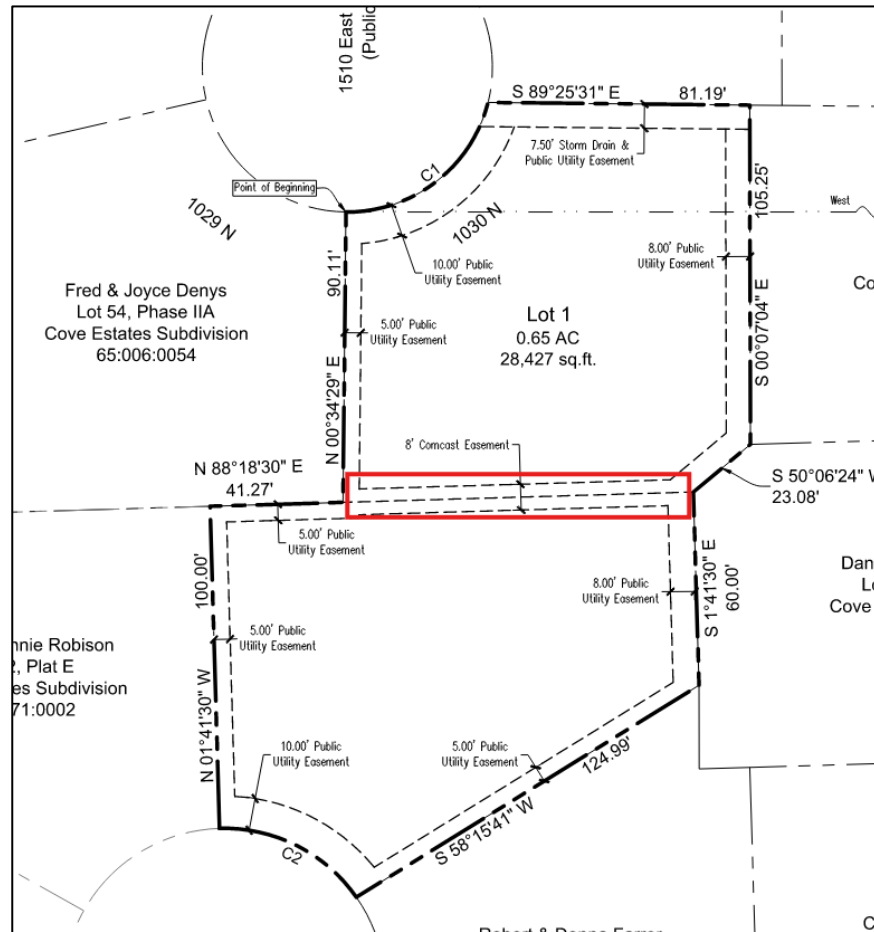
Bonds and Demolition of Existing Structures:

If the plat amendment is approved, a bond ensuring the demolition of the home at 1006 North 1520 East and the construction of a site-obscuring fence will be required.

Public Utility Easements (PUE):

One PUE will be impacted as a result of the plat amendment. Century Link, Questar (DBA Enbridge, Dominion Energy), PacifiCorp (DBA Rocky Mountain Power) and

Utopia have agreed to vacate the PUE located at the former backyard property line. The PUE will only be in the favor of Comcast, who has buried cables there.



The purpose of the vacation is to reduce the amount of space used by utilities to allow Mr. Archibald to build accessory structures in the backyard.

The letters of vacation and letters of encroachment for future building are attached to the Planning Commission Packet.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the plat amendment application on Monday, December 8th, 2025. The DRC determined that a double frontage lot would reduce traffic impacts on the cul-de-sac at 1520 East. The DRC unanimously recommended approval to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for plat amendments. The Commission may approve or deny the request for a plat amendment or may choose to continue their consideration of the request and ask for additional information or analysis. If the plat amendment is approved, city staff will coordinate with the applicants to prepare bonds, fees, and a mylar for recording. Staff has noted conditions that should be included if the Planning Commission chooses to approve the plat amendment subdivision.

DRAFT CONDITION:

Motion to Approve or Deny:

“I move that the Planning Commission [choose: **APPROVE** or **DENY**] the Cove States Plat J, Plat Amendment, subject to the following conditions:

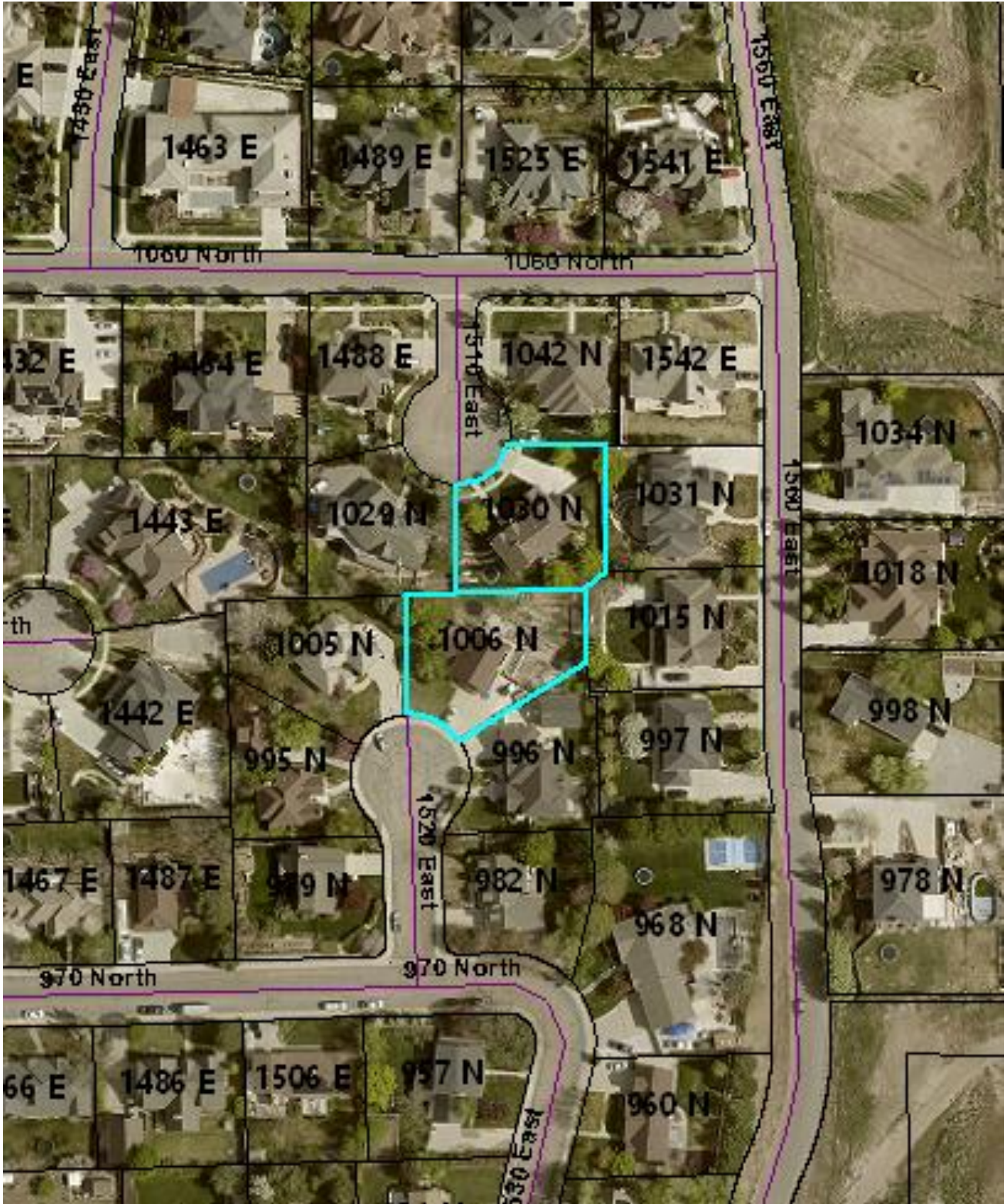
1. The applicant shall provide bonding for the demolition of the existing home on the property at 1006 North 1520 East, and for the installation of a site-obscuring six-foot fence in the appropriate areas as required by section 17-7-10(E).
2. The applicant shall install low-maintenance landscaping in the area along the frontage of 1006 North 1520 East and shall maintain it in good condition to meet the requirements of sections 22-14-13(B) and (D).

ALTERNATIVE MOTIONS:

Motion to Continue:

“I move that the Planning Commission continue this request to [choose appropriate date or condition].”

Cove Estates Plat J – 1030 N 1510 East



Vicinity Map

Zone: R12

Acres: Approx .64 Acres



Cove Estates Plat J – 1030 N 1510 East



Zoning Map

Zone: R12

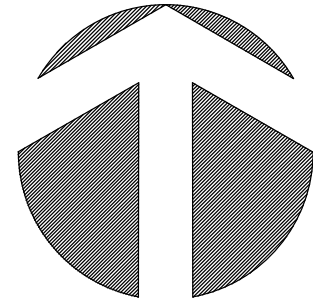
Acres: Approx .64 Acres



Cove Estates Plat J – 1030 N 1510 East

Current Street View





1" = 30'

DEPARTMENT REVIEW

SEWER  / DATE 12/04/2025

WATER  / DATE 12/02/2025

STORM DRAIN  / DATE 12/02/2025

TRAFFIC _____/DATE _____

STREET LIGHTS  /DATE 12/03/2025

FIRE MARSHAL A /DATE 12/4/25

STREETS  /DATE 12/02/2025

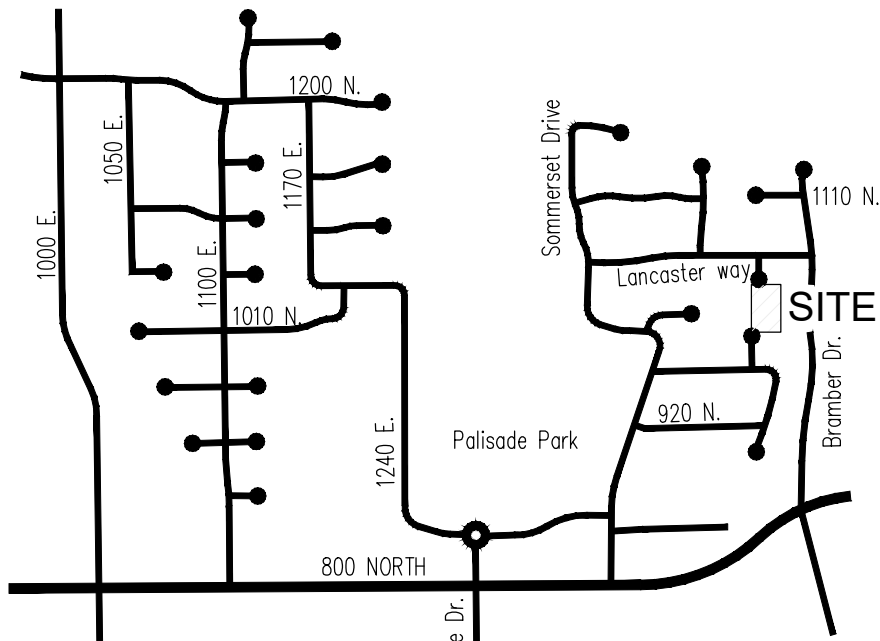
PLANNING GB /DATE 12/04/2025

CITY SURVEYOR  /DATE 2025-12-05

Cove Estates Plat J

Including a Vacation of Lot 55, Phase IIA Cove Estates
and Lot 1, Plat "K", Canyon Hills Subdivision

Located in the Northeast quarter of Section 12,
Township 6 South, Range 2 East, S.L.B. & M.



VICINITY MAP

Curve Data Table					
Curve	Radius	Length	Chord	Bearing	Delta
C1	45.00'	60.00'	55.66'	N 52°22'29" E	76°24'00"
C2	50.00'	49.52'	47.52'	N 63°18'51" W	56°44'25"

Note:

No driveway or drive access may be located within
twenty-five (25') of an existing fence which is greater than
three feet (3') in height.

Surveyor's Certificate

I, ROGER D. DUDLEY, do hereby certify that I am a Professional Land Surveyor and that I hold a license, Certificate No. 147089, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge.

Boundary Description

Commencing at the Northeast corner of Lot 54, Phase IIA, Cove Estates Subdivision, as found on file in the office of the Utah County Recorder, said point being located South 01°41'30" East along the Section line 1118.31 feet and West 462.51 feet from the Northeast corner of Section 12, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence along the arc of a 45.00 foot radius curve to the left 60.00 feet (chord bears North 52°22'29" East 55.66 feet) to the Southwest corner of Lot 56, Phase IIA, Cove Estates Subdivision; thence South 89°25'31" East along said Lot 56, 81.19 feet to the Northwest corner of Lot 58, Phase IIA, Cove Estates Subdivision; thence South 00°07'04" East along said Lot 58, 105.25 feet; thence South 50°06'24" West 23.08 feet to the Northwest corner of Lot 59, Phase IIA, Cove Estates Subdivision; thence South 01°41'30" East along said Lot 59, 60.00 feet to the northeast corner of Lot 66, Phase IIA, Cove Estates Subdivision; thence South 58°15'41" West 124.99 feet to 1520 East Street; thence along 1520 East Street along the arc of a 50.00 foot radius curve to the left 49.52 feet (chord bears North 63°18'51" West 47.52 feet) to the southeast corner of Lot 2, Plat E, Canyon Hills Subdivision; thence North 01°41'30" West along said Lot 2, 100.00 feet to the Northeast corner of said Lot 2; thence North 88°18'30" East along said Lot 54, Phase IIA, Cove Estates Subdivision 41.27 feet to the southeast corner of said Lot 54; thence North 00°34'29" East along said Lot 54, 90.11 feet to the point of beginning.

Area = 28,426 sq.ft. or 0.65 Acre

Plat Consist of One (1) Lot.

Basis of Bearing is South 01°41'30" East along the Section line from the Northeast corner to the East quarter corner of said Section 12.

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this _____ day of _____, A.D. 20____.

By: Anthony Archibald

By: Kristin Archibald

Acknowledgement

STATE OF UTAH }
COUNTY OF UTAH } S.S.

On this _____ day of _____, in the year 20____, before me, Roger Dudley, a Notary Public, personally appeared Anthony and Kristin Archibald, proved on the basis of satisfactory evidence to be the person(s), whose names are subscribed to this instrument, and acknowledged that they executed the same.

My Commission Number _____

Signed (a Notary Public Commissioned in Utah)

My Commission Expires _____

Print name of Notary

Acceptance by the City of Orem

The City of Orem, County of Utah, approves this subdivision and hereby accepts the dedication of all Streets, Easements, and other parcels of land intended for public purposes for the perpetual use of the public. Signed this _____ day of _____, A.D. 20____.

Approved: _____
Community Development Director

Approved: _____
City Engineer

Attest: _____
City Recorder

Planning Commission Approval

Approved this _____ day of _____, 20____, by the Orem City Planning Commission.

Director--Secretary

Chairperson, Planning Commission

Resolution No.

Occupancy Restriction Notice

The City of Orem has an Ordinance which restricts the occupancy of buildings within this subdivision. Accordingly, it is unlawful to occupy any building located within this subdivision without first having obtained a Certificate of Occupancy issued by the City.

County Recorder

Plat "J"

Cove Estates

Including a Vacation of Lot 55, Phase IIA Cove Estates
and Lot 1, Plat "K", Canyon Hills Subdivision

Subdivision

Orem City,

Utah County, Utah

Scale: 1" = 30 Feet

Approved as to Form

City Attorney

Date

Plat Vacation Notice

The City of Orem is satisfied that neither the public nor any person will be materially injured by the Vacation of Lot 55, Phase IIA Cove Estates Subdivision and Lot 1, Plat "K", Canyon Hills Subdivision. Lot 55, Phase IIA Cove Estates Subdivision and Lot 1, Plat "K", Canyon Hills Subdivision

SURVEYOR'S SEAL

NOTARY PUBLIC SEAL

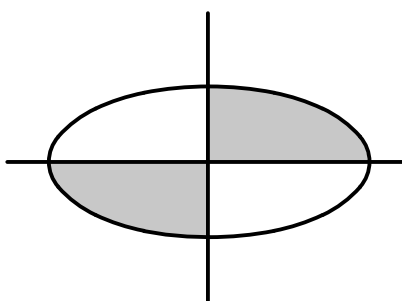
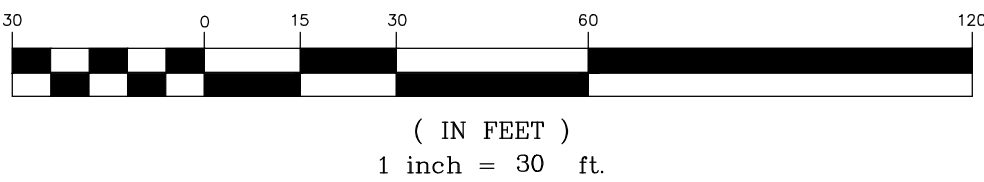
CITY-COUNTY ENGINEER SEAL

CLERK-RECORDER SEAL

Prepared by:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264

GRAPHIC SCALE





8/11/25

Anthony Archibald
P867041

No Reservations/No Objection

SUBJECT: Vacation request for portion of the platted easements within the areas shown on the attached exhibit.

To Whom It May Concern:

LUMEN d/b/a CENTURYLINK ("CenturyLink") has reviewed the request for the subject vacation and has determined that it has no objections with respect to the areas proposed for vacation as shown and/or described on Exhibit "A", said Exhibit "A" attached hereto and incorporated by this reference.

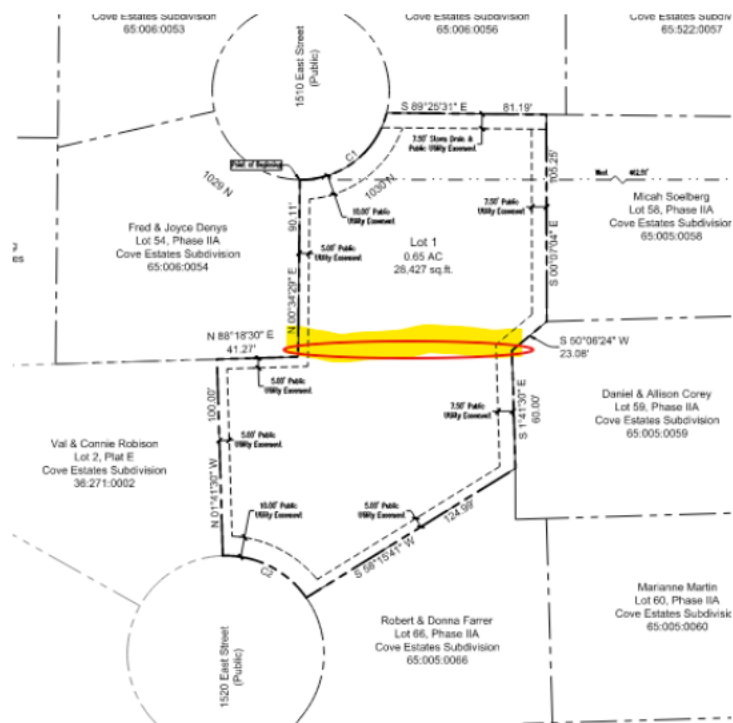
It is the intent and understanding of CenturyLink that this Vacation shall not reduce our rights to any other existing easement or rights we have on this site or in the area.

This vacation response is submitted WITH THE STIPULATION that if CenturyLink facilities are found and/or damaged within the vacated area as described, the Applicant will bear the cost of relocation and repair of said facilities. If you have any questions, please contact Tyler Bays at tyler.bays@lumen.com or nre.easement@lumen.com.

Sincerely yours,

Tyler Bays
Network Infrastructure Services
Lumen

Exhibit A





Anthony Archibald <

Request #7448127 Encroachment letter

Cook, Cody (PacifiCorp) <Cody.Cook@pacificorp.com>

Thu, Sep 11, 2025 at 7:21 AM

To: Anthony Archibald <

Hi Anthony,

I don't have a form that I can send but our right-of-way department has signed off on the vacation of the easement on the south lot line. Hopefully, this email will suffice. I do need to make sure we do not vacate the easement on the front of the lot as we do have secondary cable buried there.

Let me know if you need anything.

Thanks,

Cody Cook

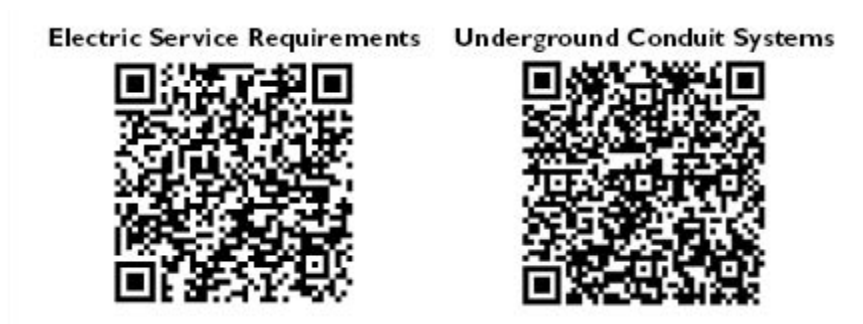
Estimating Department

(385) 505-7119



[Underground Conduit Systems](#) [Electric Service Requirements](#)

[Residential Load Sheet](#) [Commercial Load Sheet](#)



From: Anthony Archibald <a>
Sent: Wednesday, September 10, 2025 9:58 AM
To: Cook, Cody (PacifiCorp) <Cody.Cook@pacificorp.com>
Subject: [INTERNET] Re: Request #7448127 Encroachment letter

You don't often get email from . [Learn why this is important](#)

THIS MESSAGE IS FROM AN EXTERNAL SENDER.

Look closely at the **SENDER** address. Do not open **ATTACHMENTS** unless expected. Check for **INDICATORS** of phishing. Hover over **LINKS** before clicking. [Learn to spot a phishing message](#)

[Quoted text hidden]



Comcast Cable Communications, Inc.
1350 E. Miller Ave.
Salt Lake City, Utah 84106
801-401-3041 Tel
801-255-2711 Fax

November 20, 2025

Anthony Archibald
1030 North 1510 East
Orem, UT 84097

To whom it may concern,

Comcast of Utah II grants permission to encroach upon the existing utility easements, which exist along the following:

- 4-foot PUE on South property line of 1030 North 1510 East, Orem, UT,
- 4-foot PUE on North property line of 1006 North 1520 East, Orem, UT,

as long as it does not interfere with or deny access to our existing facilities (poles, cable, conduits, pedestal, electronics). Three feet of clearance must be maintained around all pedestals.

If you need our facilities to be moved, it can be done at your expense. If any damage is incurred to our facilities due to your encroachment, repairs will be done at your expense. Be sure to contact Blue Stakes to locate all utility services at least 48 hours before digging.

Sincerely,

Annette Harm

Annette Harm
Authorized Representative

October 15, 2025

To: Anthony Archibald

Dear Anthony,

As you requested, Rocky Mountain Power hereby consents to a vacation of easement along the North property line of the property located at 1006 N 1520 E, Orem, Utah and a vacation of easement along the South property line of the property located at 1030 N 1510 E, Orem, Utah for the purpose of a new pool house and retaining wall.

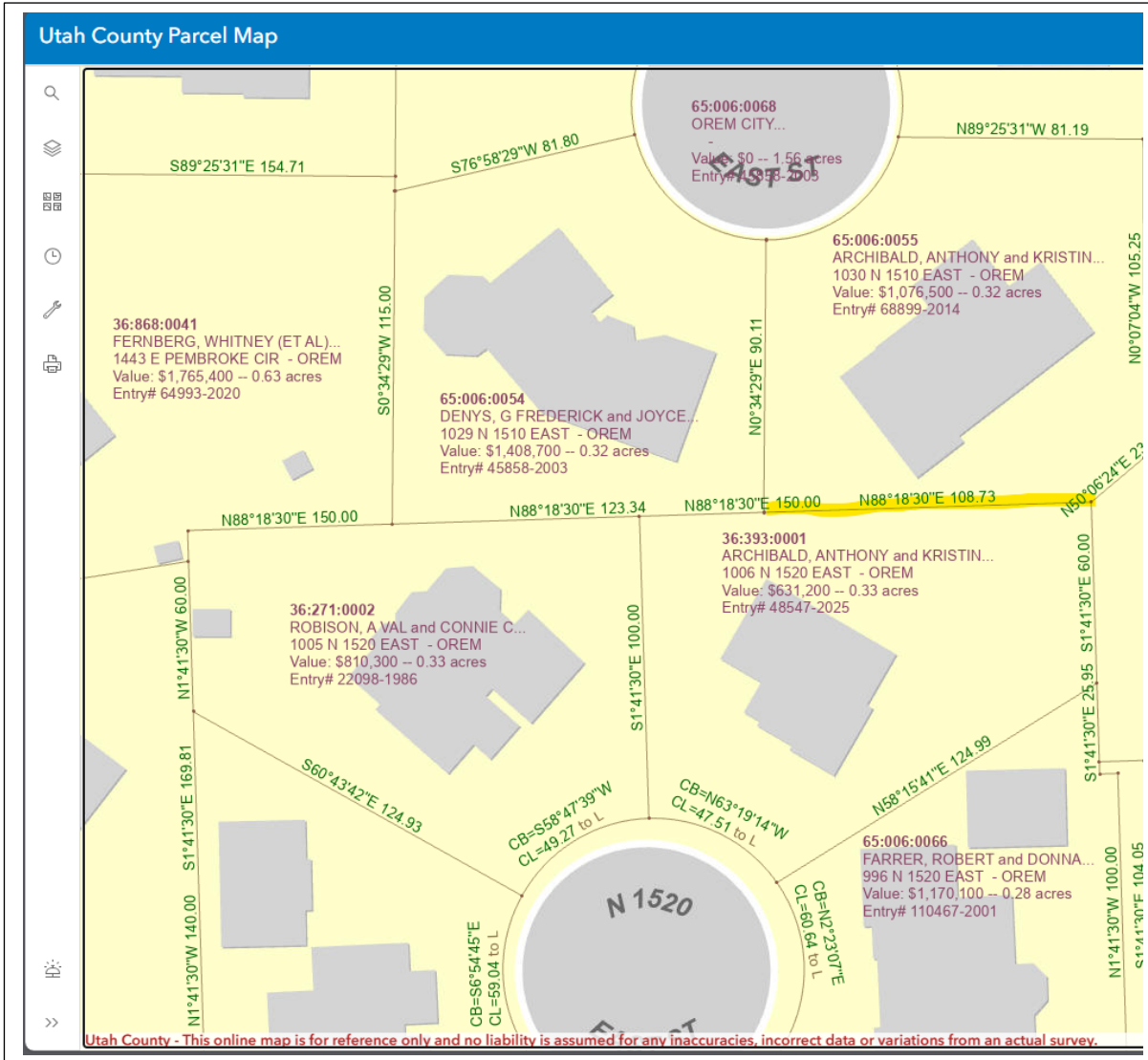
Sincerely,

Cody Cook

Estimator

Property Description

Quarter: NE Quarter: NE Section: 12 Township 6S, Range 2E,
Salt Lake City Meridian
County: Utah State: Utah
Parcel Number: 36:393:0001 & 65:006:0055



CC#: 11421 WO#: N/A

Landowner Name: ARCHIBALD, ANTHONY & KRISTIN

Drawn by: P60420

This drawing should be used only as a representation of the location of the easement being conveyed. The exact location of all structures, lines and appurtenances is subject to change within the boundaries of the described easement area.

EXHIBIT A



SCALE: NTS

Space above for County Recorder's use
PARCEL I.D.# 65:006:0055

DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY dba Enbridge Gas Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Utah County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 55, Cove Estates Phase IIA Subdivision, located in the Northeast quarter of Section 12, Township 6 South, Range 2 East, Salt Lake Base and Meridian, Utah County, Utah; said Subdivision recorded in the Office of the County Recorder for Utah County, Utah.

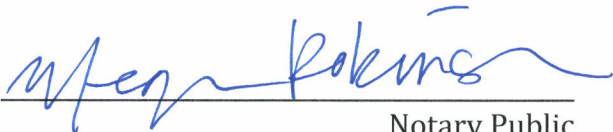
IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on July 22, 2025.

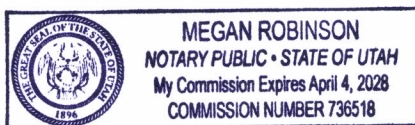
QUESTAR GAS COMPANY
Db a Enbridge Gas Utah

By: 
Authorized Representative

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On July 22, 2025, personally appeared before me Caroline King, who, being duly sworn, did say that (s)he is an Authorized Representative for QUESTAR GAS COMPANY dba Enbridge Gas Utah, and that the foregoing instrument was signed on behalf of said corporation pursuant to a Delegation of Authority.


Notary Public



Space above for County Recorder's use
PARCEL I.D.# 36:393:0001

DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY dba Enbridge Gas Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Utah County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 1, Canyon Hills Subdivision, located in the Northeast quarter of Section 12, Township 6 South, Range 2 East, Salt Lake Base and Meridian, Utah County, Utah; said Subdivision recorded in the Office of the County Recorder for Utah County, Utah.

IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on July 22, 2025.

QUESTAR GAS COMPANY
Dba Enbridge Gas Utah

By: 
Authorized Representative

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On July 22, 2025, personally appeared before me Caroline King, who, being duly sworn, did say that (s)he is an Authorized Representative for QUESTAR GAS COMPANY dba Enbridge Gas Utah, and that the foregoing instrument was signed on behalf of said corporation pursuant to a Delegation of Authority.


Notary Public





PLANNING COMMISSION

July 2, 2025

Rolling Sand Plat A
1765 South Sandhill Road

Preliminary Approval, single-family deep lot
subdivision in the R8 Zone.

Item 4.2

Prepared By:
Jared Hall

Applicant:
Skyline Homes

Notices:

Posted in 2 public places.
Posted on City Webpage
and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Low Density Residential

Neighborhood:
Lakeview

Zoning: **R8**

Total Acreage: **.90 acres**

Action:

The Planning Commission
is the Land Use Authority
for this item.

REQUEST: Sklyeline Homes requests preliminary subdivision approval to allow the creation of a new lot directly to the rear of the existing home on 1765 South Sandhill Road and make minor adjustments to the property line between 1765 South and 1785 South Sandhill Road. The proposed subdivision will result in one additional building lot.

BACKGROUND: In this proposed subdivision, a deep/flag lot will be created from the rear area of the existing lot at 1765 South Sandhill Road. The existing house on the property will remain, and a new building lot will be created. Also involved in the subdivision is the adjacent, developed lot at 1785 South Sandhill Road. The property lines between 1765 and 1785 will be modified slightly to create a wide enough access for the new deep lot. Both of the existing homes at 1765 South and 1785 South will remain.



Figure 1: 1765 & 1785 South Sandhill Road, aerial

REVIEW & ANALYSIS:

Zoning – The subject property is zoned R8, Single Family Residential. The proposed preliminary subdivision includes a deep lot (sometimes referred to as a “flag lot”) which is permissible under Article 17-8-1 if approved by the Planning Commission. Deep lots can be created to allow the development of land where there is limited access for frontage on the public right-of-way (ROW). The proposed lots will meet the requirements of the R8 Zone and of Article 17-8-1 for deep lot subdivision.

Public Improvements – The subject property is accessed from Sandhill Road, where improvements to the right-of-way such as curb, gutter, and sidewalk already exist. The other lot involved (1785 South Sandhill) has frontage on both Sandhill Road and 1800 South where improvements already exist. No new ROW improvements are necessary as part of this subdivision.

Lots – The preliminary subdivision has been reviewed for compliance with the R8 Zone development standards as well as for all requirements specific to deep lot subdivision. Required setbacks are shown on the preliminary plat illustrating that they are being met by existing structures and that they could easily be met with new construction on proposed Lot 2.

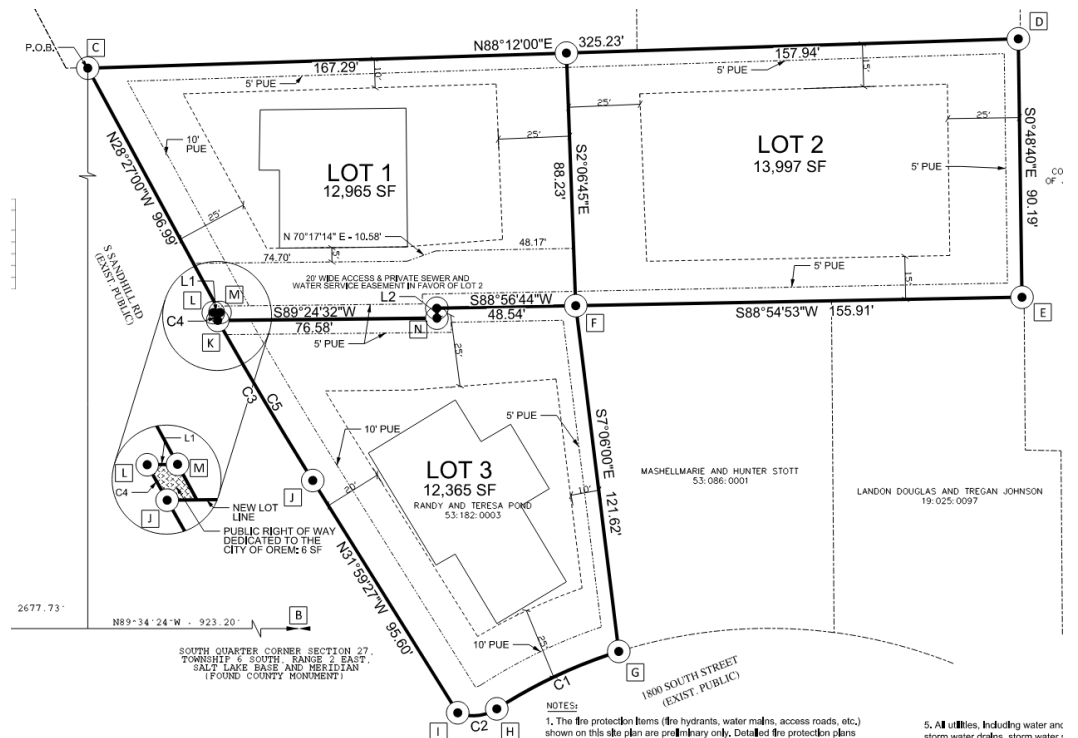


Figure 2: from the Preliminary Plat, Rolling Sand

Under the requirements of Article 17-8-1, a deep lot must be a minimum of 125% of the required lot size of the zone (R8), or 10,000 ft² in this case. Lot 2 will comply with the deep lot and R8 requirements. Lot 1 and Lot 3 must be a minimum of 8,000 ft², and both exceed that requirement.

Lot 1 – 12,965 ft²

Lot 2 – 13,997 ft²

Lot 3 – 12,365 ft²

Other Deep Lot Restrictions – Article 17-8 carries includes some other requirements for deep lots that should be noted.

- **Curbing:** The private drive access – whether owned as part of the deep lot or provided as an easement over the original lot – must include concrete curbs on both sides. 17-8-C(5)
- **Height:** Houses constructed on deep lots in the R8 Zone are not allowed to exceed one story above grade (unless the net areas is greater than 15,000 ft²). 17-8-C(7)(a)

Compliance with these sections of the subdivision code should be conditions of approval if the preliminary approval is granted.

Access – Lot 1 has direct access from Sandhill Road. Lot 2 will include a twenty-foot (20') wide easement for access to Sandhill Road running over the existing driveway for Lot 1. Lot 3 has primary access to 1800 South, and a small access on Sandhill Road. No new access onto Sandhill Road will be created by this subdivision.

Parking – No parking is allowed in the 20' access easement (the stem portion of Lot 3) or within the turnaround that is provided between Lots 1 and 2. Each lot will have space for private driveways, garages, or other parking areas to provide the required off-street parking.

Other – There are no elevations or home plans for the proposed lots: the subdivision will be recorded and the new building lot (Lot 2) will be made available for purchase by individuals to build on. The only allowable uses are single family detached homes.

DEVELOPMENT REVIEW COMMITTEE: The Preliminary Subdivision has passed the technical reviewing body, and the Development Review Committee (DRC) will review the application at their public meeting on Monday, December 8th, 2025.

ACTIONS: The Planning Commission is the designated Land Use Authority for preliminary subdivisions. The Commission may approve or deny the request for preliminary subdivision or may choose to continue their

consideration of the request and ask for additional information or analysis. If the preliminary subdivision is approved, a final subdivision application will be reviewed for compliance by city staff and then prepared for recording. Staff has noted conditions that should be included if the Planning Commission chooses to approve the preliminary subdivision.

Alternative Motions –

“I move that the Planning Commission [choose: **APPROVE** or **DENY**] the Rolling Sand Plat-A, Preliminary Subdivision, subject to the following conditions:

1. The applicant shall file a Final Subdivision application meeting all requirements of the Orem City Zoning and Subdivision Ordinances.
2. The Final Subdivision Plat shall comply with deep lot requirements as contained in Article 17-8 of the Orem City Code.

“I move that the Planning Commission continue this request to [choose appropriate date or condition].”

Rolling Sand Plat A – 1765 S Sandhill Road



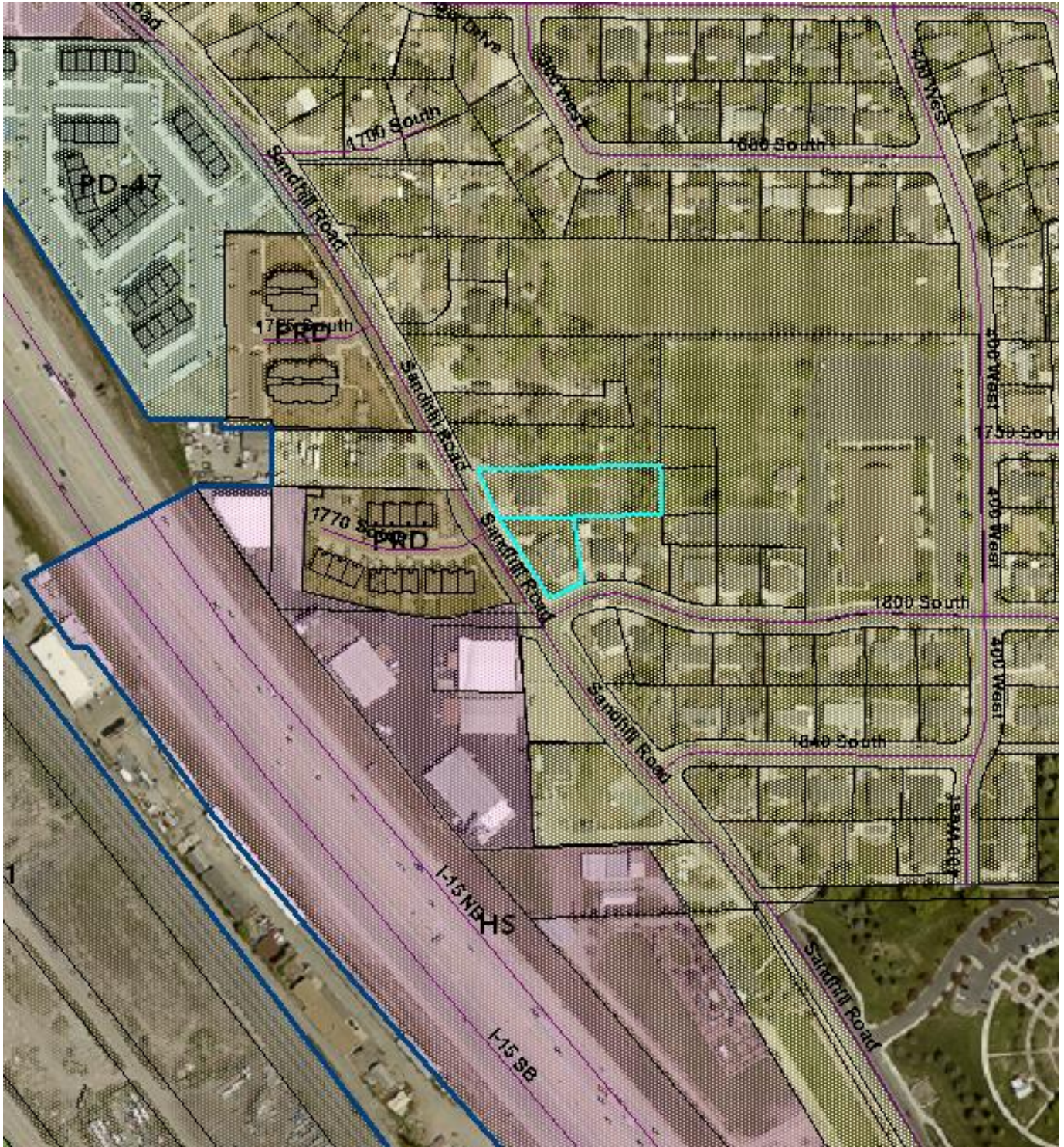
Vicinity Map

Zone: R8

Subdivision Acres: Approx .92 Acres



Rolling Sand Plat A – 1765 S Sandhill Road



Zoning Map

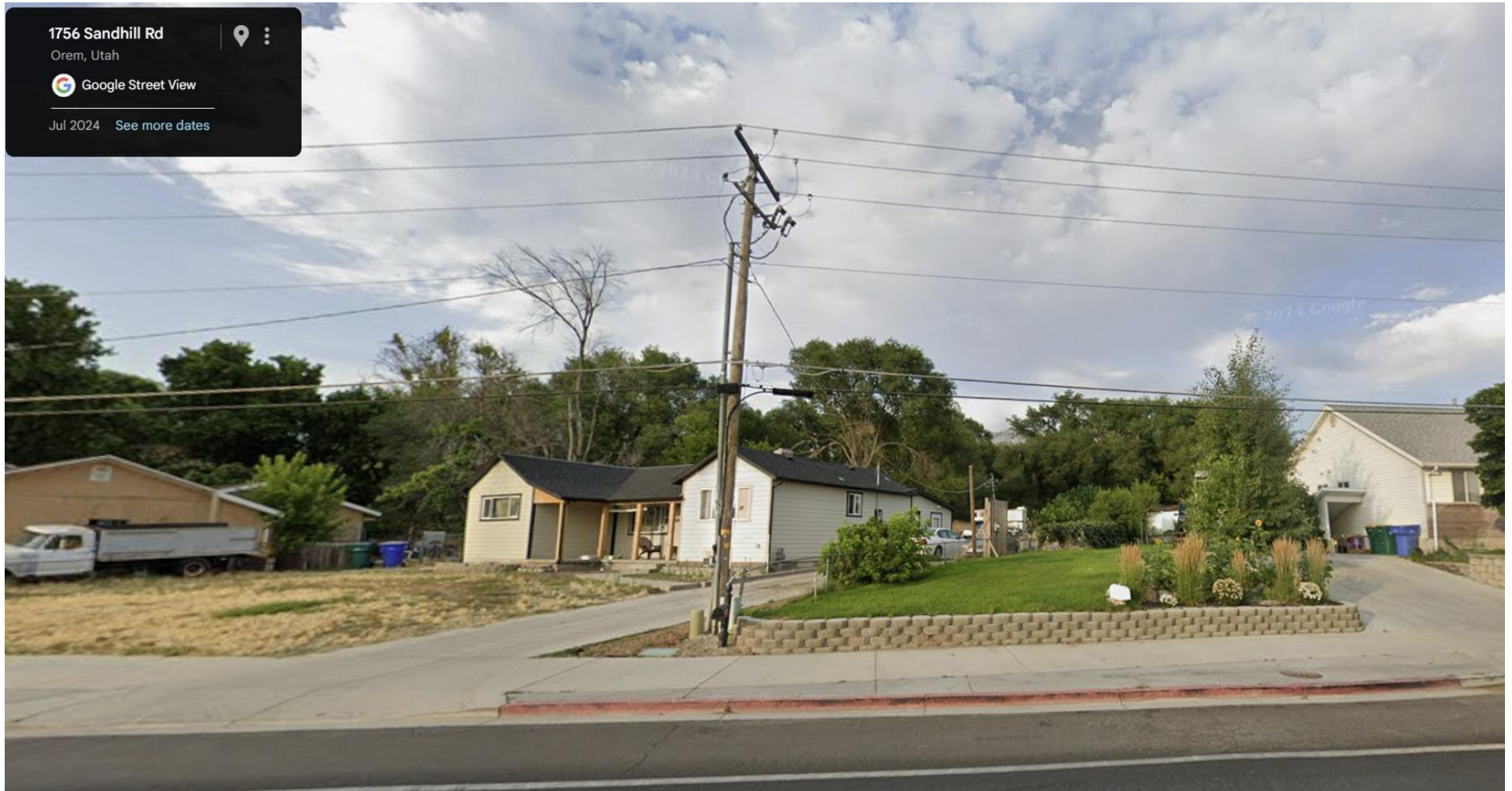
Zone: R8

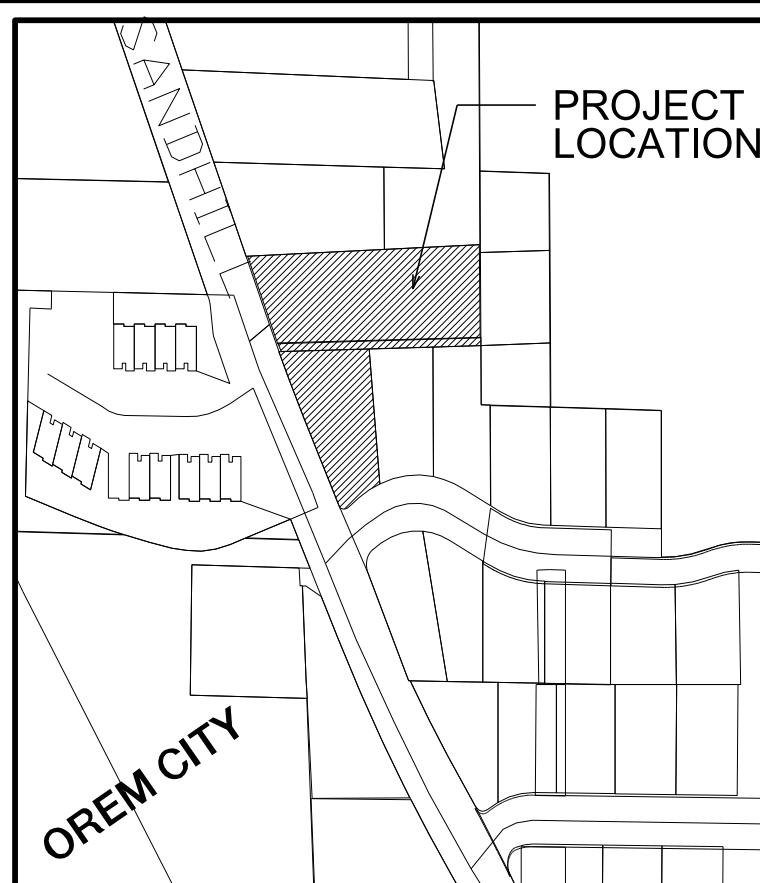
Subdivision Acres: Approx .92 Acres



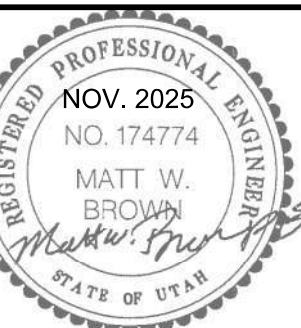
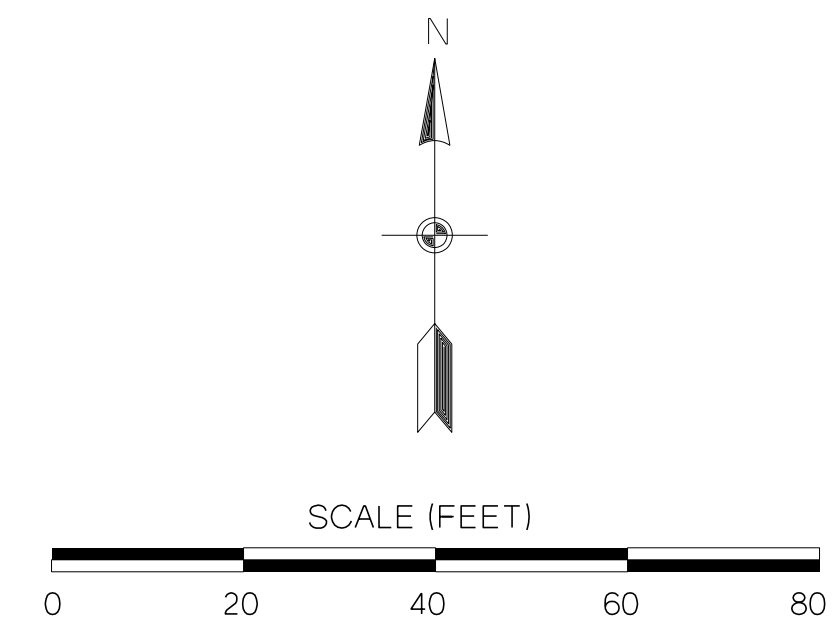
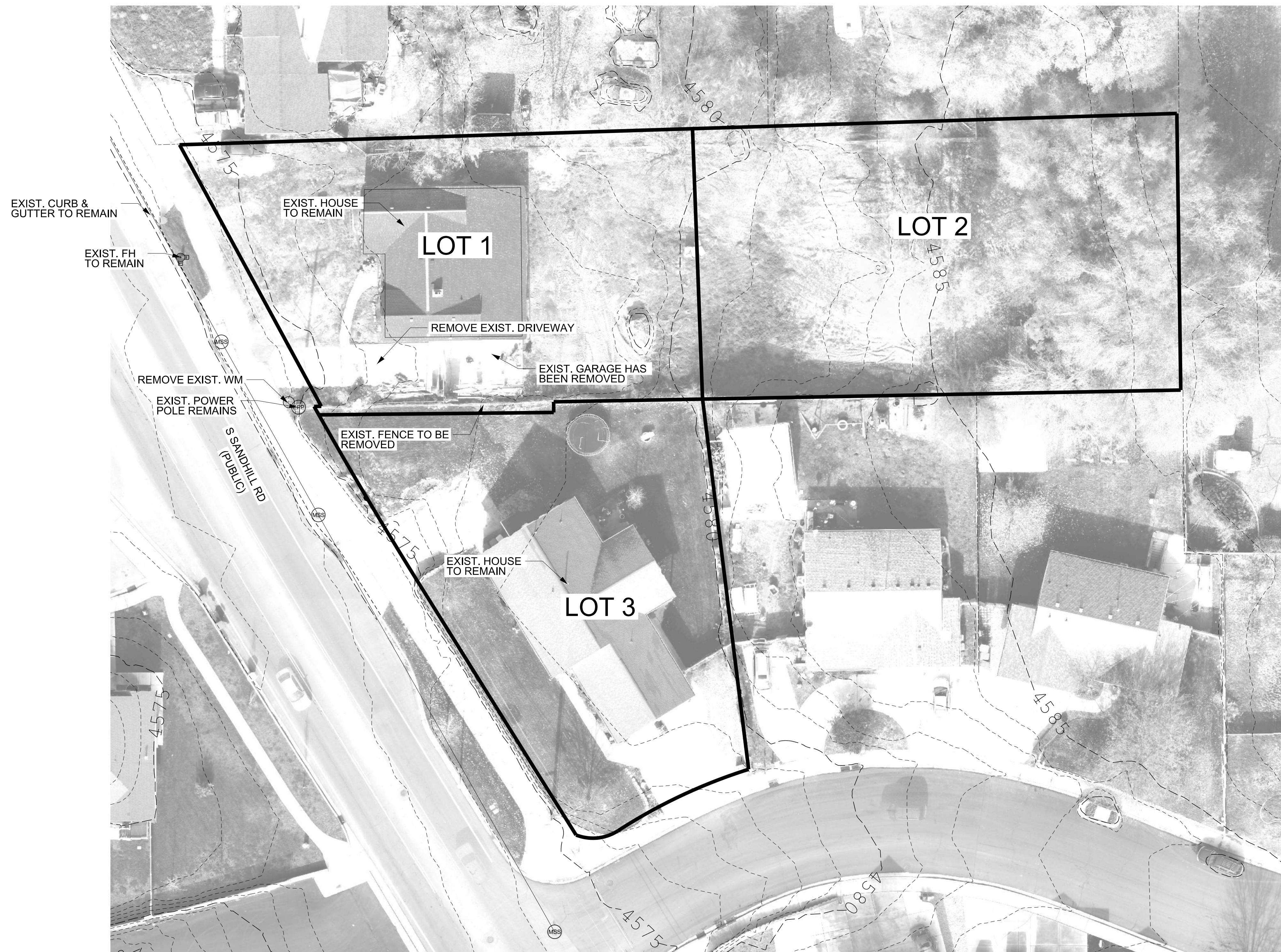
Rolling Sand Plat A – 1765 S Sandhill Road

Current Street View





VICINITY MAP

[illegible]

Designed _____ MMB
Drawn _____ JTB
Checked _____ MWB
Date FEB 2022

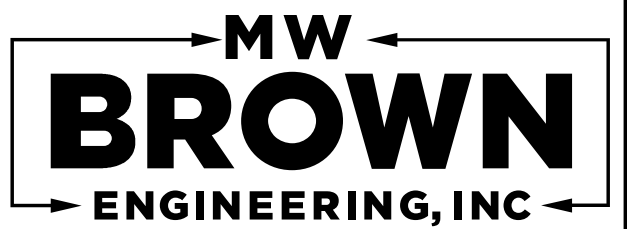
ROLLING SAND PLAT A

OREM, UT

PRELIMINARY REMOVAL PLAN

DEVELOPER :
HOWARD NELSON
SUPERIOR REAL ESTATE
AND CONSTRUCTION
801-318-5233
1949 West, 1600 North,
Provo, Utah, 84604

ENGINEER / SURVEYOR:

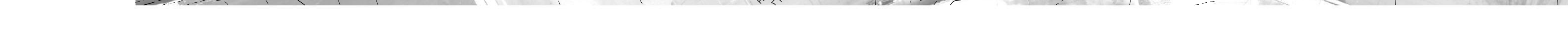


Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

PROJECT NO.
2021.053

SHEET NO.
1.01





ENGINEER / SURVEYOR

→ **MW** ←

Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

1

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PROJECT NO.		
2021-053		

Pa

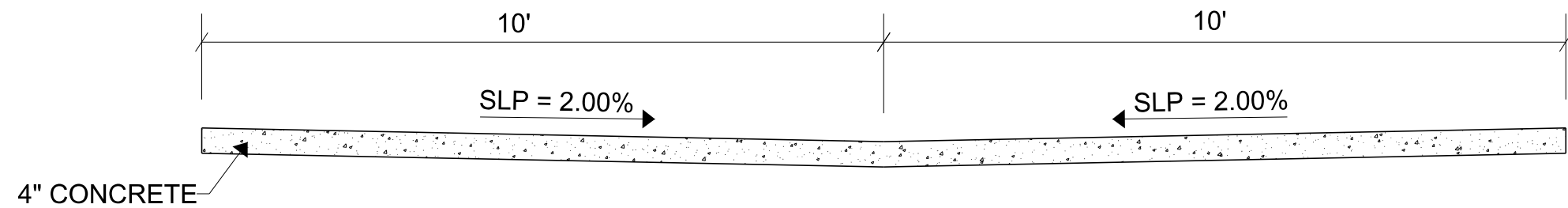


Designed MMB
JTB

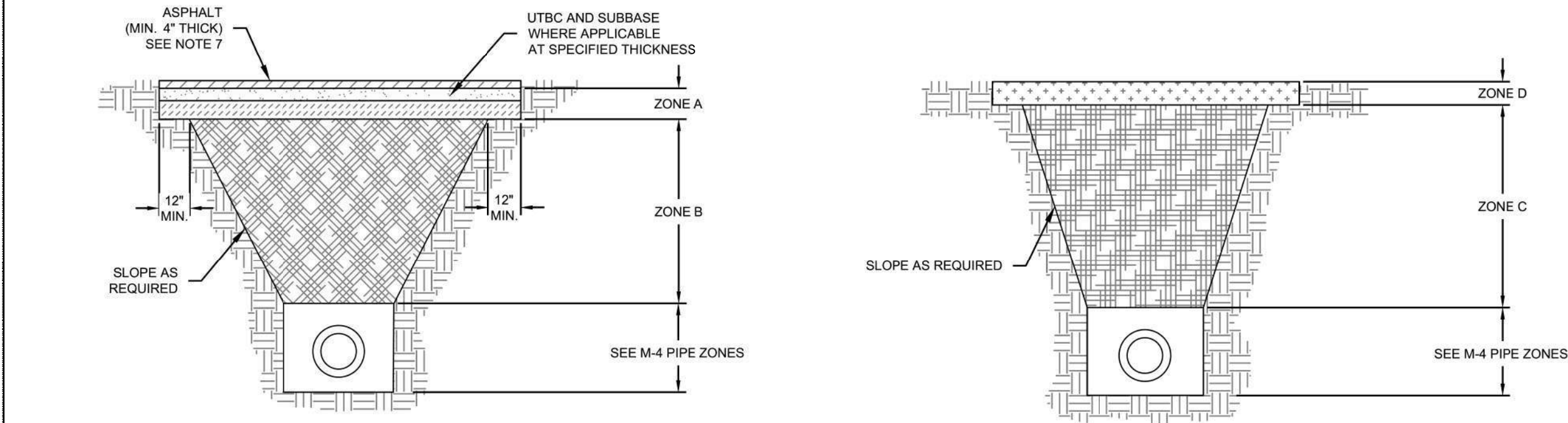
Date _____		

811.

PRINT DATE: 11/2



DRIVEWAY DETAIL



BACKFILL IN ROADWAYS OR PARKING AREAS

BACKFILL FOR OUTSIDE OF ROADWAYS OR PARKING AREAS

ZONE		BACK FILL MATERIAL				
		TYPE	GRADATION	COMPACTION	LIFT THICKNESS	TEST
A	ROADWAY	UTBC/ SUBBASE	-3/4"(UTBC) -3" (SUBBASE)	95%	MAX 12"	AASHTO T-180
B	LOAD	BACKFILL	-6"	95%	MAX 12"	AASHTO T-180
C	NON-LOAD	REUSE SPOILS	-6"	90%	NOT SPECIFIED	
D	NON-LOAD	TOP SOIL	-6"	90%	NOT SPECIFIED	

NOTES:

- CUT ASPHALT T-PATCH TO WIDTH OF TRENCH. CONSTRUCT PIPELINE & RESTORE SUB-SURFACE. THEN CUT ASPHALT 12" WIDER THAN THE TRENCH ON EACH SIDE. REMOVE ASPHALT & FINISH RESTORATION. IF TRENCH WALLS COLLAPSE OR WIDEN CUT 12" FROM THAT NEW FINAL WIDTH.
- LONGITUDINAL EDGE OF A ROADWAY PATCH SHALL BE CUT TO THE NEAREST SEAM OR ROAD STRIPING (AND/OR OUT OF THE WHEEL-PATH OF VEHICLES.
- NEW TRENCHES WITHIN 10 FT OF ONE ANOTHER SHALL BE COMBINED INTO A SINGLE PATCH.
- PATCHES EXTENDING MORE THAN 1/2 OF A ROADWAYS WIDTH SHALL BE EXTENDED TO THE FULL WIDTH OF THE ROAD (GUTTER TO GUTTER). WHEN TRENCHING IS WITHIN 24" OF A CURB AND GUTTER THE REMOVAL OF THE SURFACE LAYERS MUST BE EXTENDED ALL THE WAY TO THE LIP OF GUTTER.
- PLACE ASPHALT CONCRETE IN LIFTS NO GREATER THAN 3", OR LESS THAN 2".
- T-PATCH REQUIRED FOR ALL FINAL ASPHALT PAVEMENT RESTORATION.
- ASPHALT THICKNESS WILL MATCH THE EXISTING ASPHALT THICKNESS PLUS 1", WITH A MINIMUM OF 4". IF EXISTING ASPHALT THICKNESS IS 6" OR GREATER, THEN THE ASPHALT PATCH WILL MATCH THE EXISTING THICKNESS.
- LIMIT LENGTH OF OPEN TRENCHES TO 200 LINEAL FEET DAY OR NIGHT.

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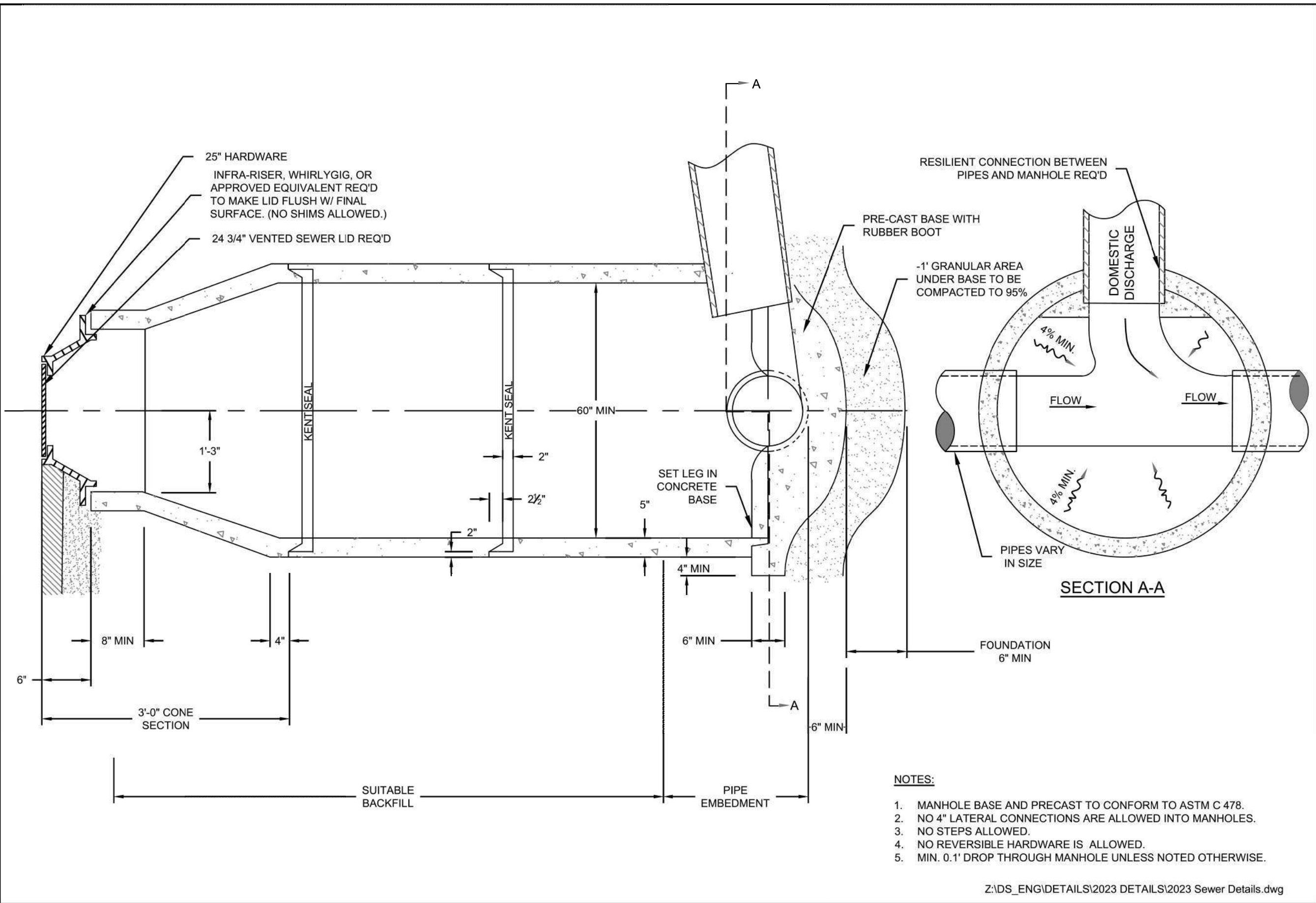
CONSTRUCTION STANDARD
DRAWINGS

CITY OF OREM

TRENCH DETAILS

REV. 4/2024

M-3



NOTES:

- MANHOLE BASE AND PRECAST TO CONFORM TO ASTM C 478.
- NO 4" LATERAL CONNECTIONS ARE ALLOWED INTO MANHOLES.
- NO STEPS ALLOWED.
- NO REVERSIBLE HARDWARE IS ALLOWED.
- MIN. 0.1' DROP THROUGH MANHOLE UNLESS NOTED OTHERWISE.

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CONSTRUCTION STANDARD
DRAWINGS

CITY OF OREM

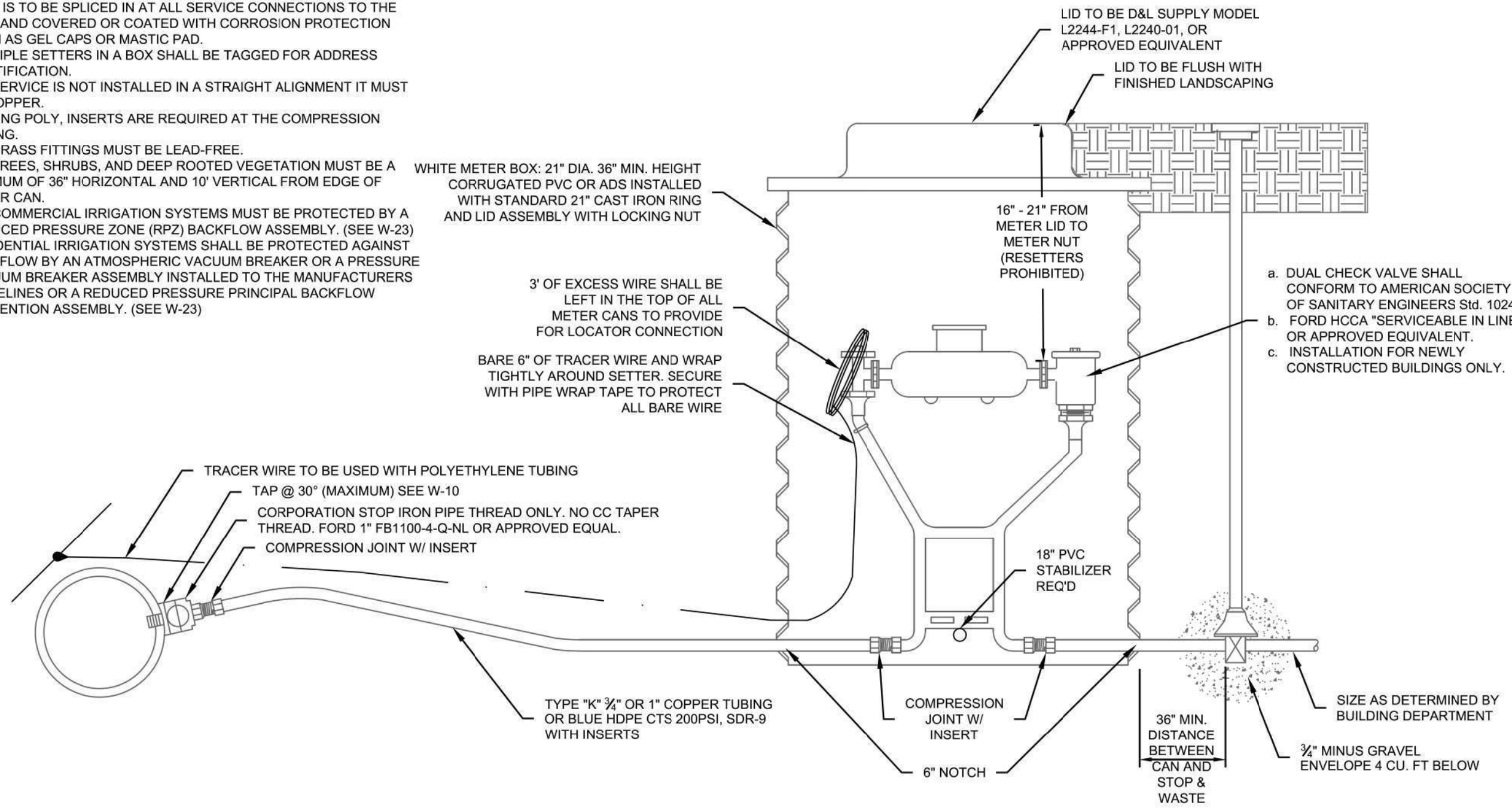
PRECAST SEWER MANHOLE

REV. 4/2024

SS-1

NOTES:

- MIN. COVER ON SERVICE LINE IS 42".
- FOR INSTALLATIONS WITH CONTINUOUS TRAFFIC FLOW ON METER LID, A STANDARD MANHOLE SECTION CONE WITH 36" MIN. HEIGHT REINFORCED CONCRETE WITH STANDARD 30" MANHOLE RING AND COVER SHALL BE USED AS APPROVED BY WATER SECTION PERSONNEL.
- TRACER WIRE SHALL BE 14 GAUGE SOLID INSULATED COPPER WIRE INSTALLED WITHIN 6" ABOVE TOP OF PIPE.
- WIRE IS TO BE SPLICED IN AT ALL SERVICE CONNECTIONS TO THE MAIN AND COVERED OR COATED WITH CORROSION PROTECTION SUCH AS GEL CAPS OR MASTIC PAD.
- MULTIPLE SETTERS IN A BOX SHALL BE TAGGED FOR ADDRESS IDENTIFICATION.
- IF A SERVICE IS NOT INSTALLED IN A STRAIGHT ALIGNMENT IT MUST BE COPPER.
- IF USING POLY, INSERTS ARE REQUIRED AT THE COMPRESSION FITTING.
- ALL BRASS FITTINGS MUST BE LEAD-FREE.
- ALL TREES, SHRUBS, AND DEEP ROOTED VEGETATION MUST BE A MINIMUM OF 36" HORIZONTAL AND 10' VERTICAL FROM EDGE OF METER CAN.
- ALL COMMERCIAL IRRIGATION SYSTEMS MUST BE PROTECTED BY A REDUCED PRESSURE ZONE (RPZ) BACKFLOW ASSEMBLY. (SEE W-23)
- RESIDENTIAL IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW BY AN ATMOSPHERIC VACUUM BREAKER OR A PRESSURE VACUUM BREAKER ASSEMBLY INSTALLED TO THE MANUFACTURERS GUIDELINES OR A REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY. (SEE W-23)



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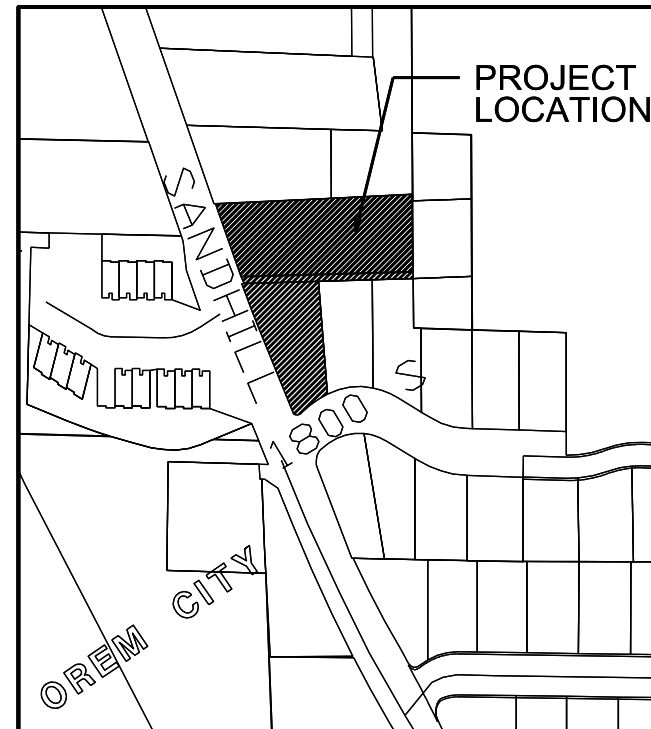
CONSTRUCTION STANDARD
DRAWINGS

CITY OF OREM

3/4" & 1" SERVICE LINE INSTALLATION

REV. 4/2024

W-13

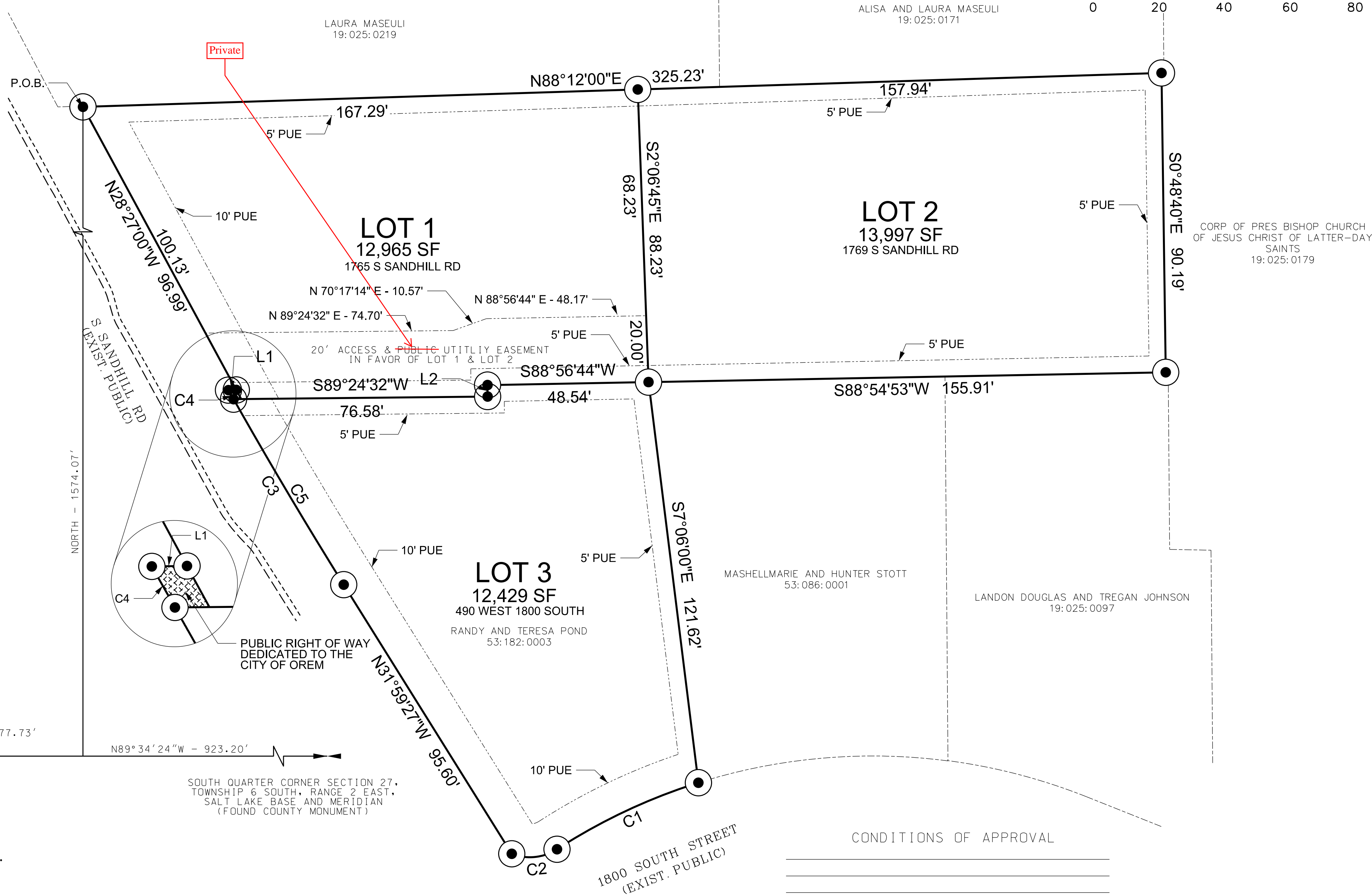


VICINITY MAP

ROLLING SAND PLAT "A"
INCLUDING A VACATION OF LOT 1, TUCKER PLAT "B" SUBDIVISION
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 27,
TOWNSHIP 6 SOUTH, RANGE 2 EAST,
SALT LAKE BASE & MERIDIAN,
OREM, UTAH COUNTY,
UTAH

LINE TABLE		
NAME	LENGTH	DIRECTION
L1	2.36	N 89°15'42" E
L2	3.46	N 00°37'10" W

CURVE TABLE					
NAME	RADIUS	ARC LENGTH	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	175.00	47.23	15°27'52"	S 64°48'30" W	47.09
C2	15.00	14.24	54°22'39"	S 84°16'18" W	13.71
C3	1462.00	68.16	2°40'16"	N 30°39'19" W	68.15
C4	1462.00	3.16	0°07'25"	N 29°22'54" W	3.16
C5	1462.00	65.00	0°32'51"	N 30°43'02" W	65.00



BASIS OF BEARING: N89°34'24"W - 2677.73' (ALONG SECTION LINE)

SOUTHWEST CORNER SECTION 27, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN (FOUND COUNTY MONUMENT)

SOUTH QUARTER CORNER SECTION 27, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN (FOUND COUNTY MONUMENT)

DEDICATION TO THE CITY OF OREM: 6 SF.

PLAT VACATION NOTICE

THE CITY OF OREM IS SATISFIED THAT NEITHER THE PUBLIC NOR ANY PERSON WILL BE MATERIALLY INJURED BY THE VACATION OF LOT 1, TUCKER PLAT "B" SUBDIVISION. LOT 1 TUCKER PLAT "B" IS HEREBY VACATED.

CORPORATE ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 2022 BY _____, WHO REPRESENTED THAT HE/SHE IS THE MANAGER OF _____, LLC, AND HAS AUTHORITY TO EXECUTE THIS INSTRUMENT.

MY COMMISSION NUMBER _____ MY COMMISSION EXPIRES _____

SIGNED _____ PRINTED FULL NAME OF NOTARY (TO NOTARY PUBLIC COMMISSIONED IN UTAH)

CORPORATE ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 2022 BY _____, WHO REPRESENTED THAT HE/SHE IS THE MANAGER OF _____, LLC, AND HAS AUTHORITY TO EXECUTE THIS INSTRUMENT.

MY COMMISSION NUMBER _____ MY COMMISSION EXPIRES _____

SIGNED _____ PRINTED FULL NAME OF NOTARY (TO NOTARY PUBLIC COMMISSIONED IN UTAH)

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 2022 BY _____ OF THE _____, WHO HAS AUTHORITY TO EXECUTE THIS INSTRUMENT.

MY COMMISSION NUMBER _____ MY COMMISSION EXPIRES _____

SIGNED _____ PRINTED FULL NAME OF NOTARY (TO NOTARY PUBLIC COMMISSIONED IN UTAH)

CONDITIONS OF APPROVAL

APPROVED AS TO FORM

CITY ATTORNEY DATE

ENGINEER & SURVEYOR

MW BROWN

ENGINEERING, INC

Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

SURVEYOR'S CERTIFICATE

I, JAXON T. BROWN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 13513878 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A PARCEL OF LAND SITUATE IN THE EAST HALF OF THE SOUTH WEST QUARTER OF SECTION 27, TOWNSHIP 6 SOUTH, RANGE 2 EAST, OREM, UTAH COUNTY, UTAH, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED 923.20 FEET NORTH 89°34'24" WEST ALONG THE SECTION LINE AND 1574.07 FEET NORTH FROM THE SOUTH QUARTER CORNER OF SAID SECTION 27; AND RUNNING THENCE NORTH 88°12'00" EAST A DISTANCE OF 325.23 FEET, THENCE SOUTH 0°48'40" EAST A DISTANCE OF 90.19 FEET, THENCE SOUTH 88°54'53" WEST A DISTANCE OF 155.91 FEET TO THE NORTHEAST CORNER OF LOT 1 TUCKER SUBDIVISION PLAT "B" AS RECORDED IN THE UTAH COUNTY RECORDERS OFFICE FILING NUMBER 6819-81, THENCE ALONG SAID LOT 1 FOR THE FOLLOWING 3 COURSES: 1) SOUTH 7°06'00" EAST A DISTANCE OF 121.62 FEET TO A POINT ON A NON-TANGENT CURVE, 2) ALONG AN ARC 47.23 FEET OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 175.00 FEET, THE CHORD OF WHICH IS SOUTH 64°48'30" WEST FOR A DISTANCE OF 47.09 FEET 3) ALONG AN ARC 14.24 FEET TO THE RIGHT, HAVING A RADIUS OF 15.00 FEET, THE CHORD OF WHICH IS SOUTH 84°16'18" WEST FOR A DISTANCE OF 13.71 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF SANDHILL ROAD AS RECORDED IN ENTRY NUMBER 877112006; THENCE FOLLOWING SAID RIGHT OF WAY FOR THE FOLLOWING 2 COURSES: 1) NORTH 31°59'27" WEST A DISTANCE OF 95.60 FEET, 2) ALONG AN ARC 68.16 FEET TO THE RIGHT, HAVING A RADIUS OF 1462.00 FEET, THE CHORD OF WHICH IS NORTH 30°39'19" WEST FOR A DISTANCE OF 68.15 FEET, THENCE NORTH 89°15'42" EAST A DISTANCE OF 2.36 FEET, THENCE NORTH 28°27'00" WEST A DISTANCE OF 96.99 FEET TO THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINS 0.90 ACRES (39,398 SF) AND 3 LOTS.

NOTE: BASIS OF BEARING IS NAD 83 HORIZONTAL DATUM, NORTH 89°34'24" WEST IN BETWEEN THE SOUTH QUARTER CORNER AND SOUTHWEST CORNER OF SAID SECTION 27.

DATE _____ JAXON T. BROWN (SEE SEAL BELOW)

OWNER'S DEDICATION

KNOW ALL BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, 20____.

CORPORATION

SIGNATURE _____ PRINT NAME _____

TITLE _____ WESTLAND PROPERTIES, LLC

SIGNATURE _____ PRINT NAME _____

TITLE _____ SUPERIOR REAL ESTATE AND RENOVATORS

PRIVATE

SIGNATURE (RANDY POND) _____ PRINT NAME _____

SIGNATURE (TERESA POND) _____ PRINT NAME _____

ACCEPTANCE BY CITY OF OREM

THE CITY OF OREM, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND, INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC

THIS _____ DAY OF _____, A.D. 20____

APPROVED BY COMMUNITY DEVELOPMENT DIRECTOR _____

APPROVED BY ENGINEER (SEE SEAL BELOW) _____ ATTEST CLERK-RECORDER (SEE SEAL BELOW) _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE OREM CITY PLANNING COMMISSION

DIRECTOR-SECRETARY _____ CHAIRPERSON, PLANNING COMMISSION _____ RESOLUTION NO. _____

COUNTY RECORDER

PLAT A
ROLLING SAND SUBDIVISION

A RESIDENTIAL SUBDIVISION
INCLUDING A VACATION OF LOT 1, TUCKER PLAT "B" SUBDIVISION
OREM CITY, UTAH COUNTY, UTAH

SCALE: 1" = 20 FEET

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CLERK-RECORDER SEAL

	PLANNING COMMISSION December 17th, 2025		Item 4.3
	Orchard Grove – ASH Site Plan 575 W 1700 North		Prepared By: Grace Bjarnson
	Demolition of current residence and site plan approval of ASH 4-plex development		Applicant: Housing Authority of Utah County

Notices:

Posted in 2 public places.
Posted on City Webpage
and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Residential

Zoning: **R8**

Total Acreage: **.21 acres**

Action:

The Planning Commission
is the Land Use Authority
and the approving body for
this item.

REQUEST: The applicant requests site plan approval for the construction of an affordable senior housing 4-plex under the requirements of Article 22-12-7 of the Orem City Code.

BACKGROUND: The subject property is located at 575 W 1700 North, just off State Street, where there is currently a single-family residence. The proposed site plan is for an Affordable Senior Housing (ASH) 4-plex project. The ASH Overlay zone (22-12-7) was enacted in 2012 to address the growing demand for affordable senior housing. The ASH Overlay zone allows for higher density housing (2-4 units per lot) to be spread intermittently throughout Orem city residential zones. The ASH overlay code also ensures that quality safety and design standards are met.

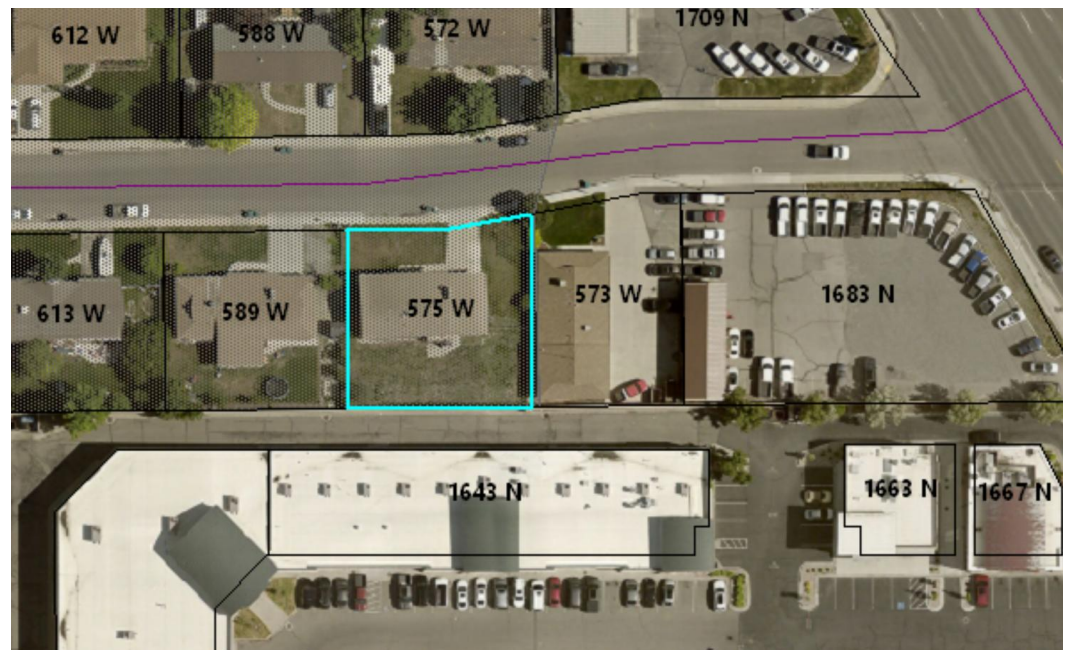


Figure 1: Subject Property 575 W 1700 North, aerial view

REVIEW:

Zoning: The subject property is zoned R-8. The ASH overlay is permitted in any residentially zoned (R-) parcel or lot in the city that is .5 acres or less. The ASH overlay zone standards supersede the underlying zone standards.

Development Standards: The project meets all requirements for density (2-4 units), the attached multifamily designation, the square-footage requirements (500-900

ft²), number of bedrooms (1-2), number of floors above grade (1), and setback requirements (20 ft in front and back, 10 ft sides). As required by code, it is new construction and each unit's entrance is on a different elevation of the building.

Landscaping: As required by ordinance, this project provides a landscape plan which includes a permanent underground sprinkler system. All land not covered by buildings, sidewalks, and parking areas is permanently landscaped. The landscaping plan is attached for review along with the site plan.

Required Vegetation:

4 Deciduous Trees: shows 4

4 evergreen Trees: shows 3

64 Evergreen Shrubs: shows 33

The landscape plan also includes 34 other types of shrubs and grass that are not required.

Lighting Plan: The lighting plan includes lighting in the parking area, along the sidewalks leading to entrances, and at the entrances of each unit.

Parking: Six (6) parking stalls are required for this site with 4 of them being covered parking. This site plan provides six covered parking stalls, one which is an ADA van accessible parking space.

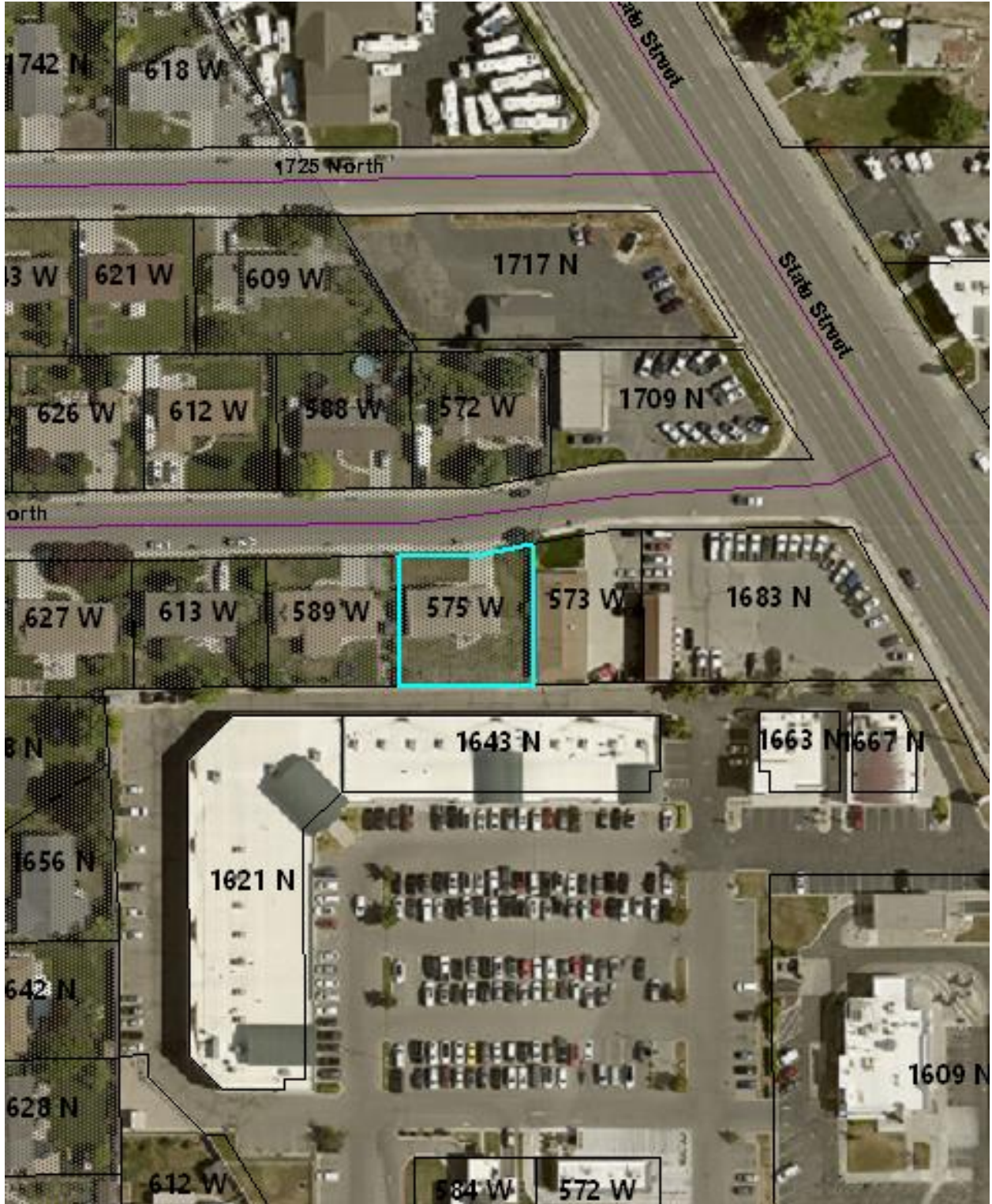
Elevations: The proposed building elevations meet the requirement for finish materials including a large amount of brick and vertical fiber cement siding. There is only one entry for a unit on each side of the building. The elevations are attached to this report for review. The required elements have been met by the proposed elevations.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the site plan application on Monday, December 8th, 2025. The DRC voted to recommend approval and did not forward any specific conditions to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for the site plan. The Commission may approve or deny the request for site plan approval or may choose to continue their consideration of the request and ask for additional information or analysis.

Orchard Grove ASH Site Plan

575 W 1700 North



Vicinity Map

Zone: R8

Acres: .21 Acres



Orchard Grove ASH Site Plan

575 W 1700 North



Zoning Map

Zone: R8

Acres: .21 Acres



Orchard Grove ASH Site Plan – 575 W 1700 N

Current Street View





HOUSING AUTHORITY OF UTAH COUNTY

ORCHARD GROVE SENIOR HOUSING FOUR-PLEX

575 WEST 1700 NORTH
OREM, UTAH 84058

client info

not for construction

design professional stamp

revision information

no. date description

milestone issue date

NOVEMBER 3, 2025

milestone issue description

SITE PLAN REVIEW

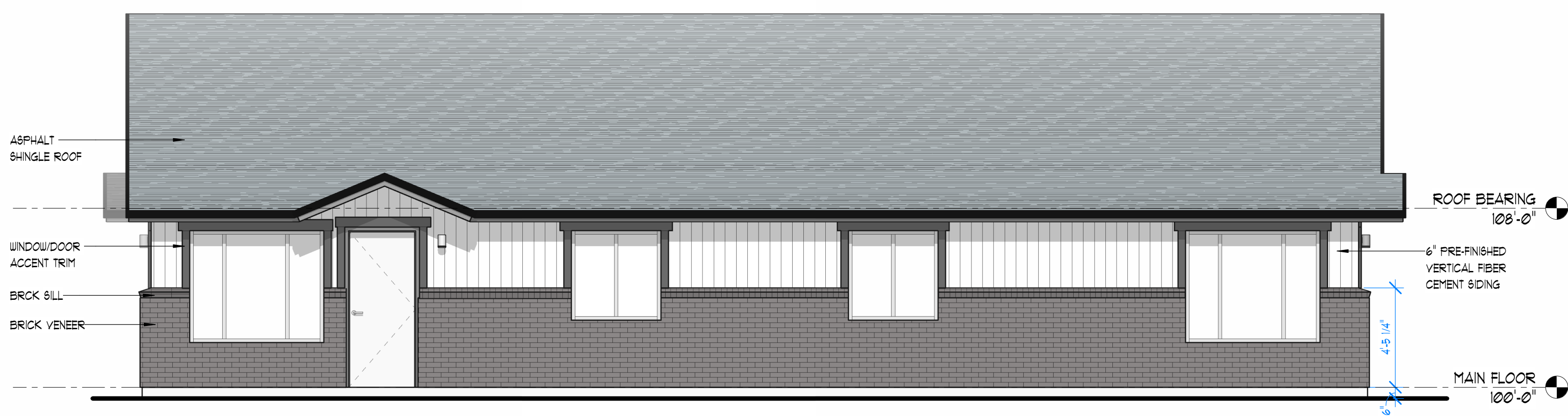
latest revision date

latest revision description

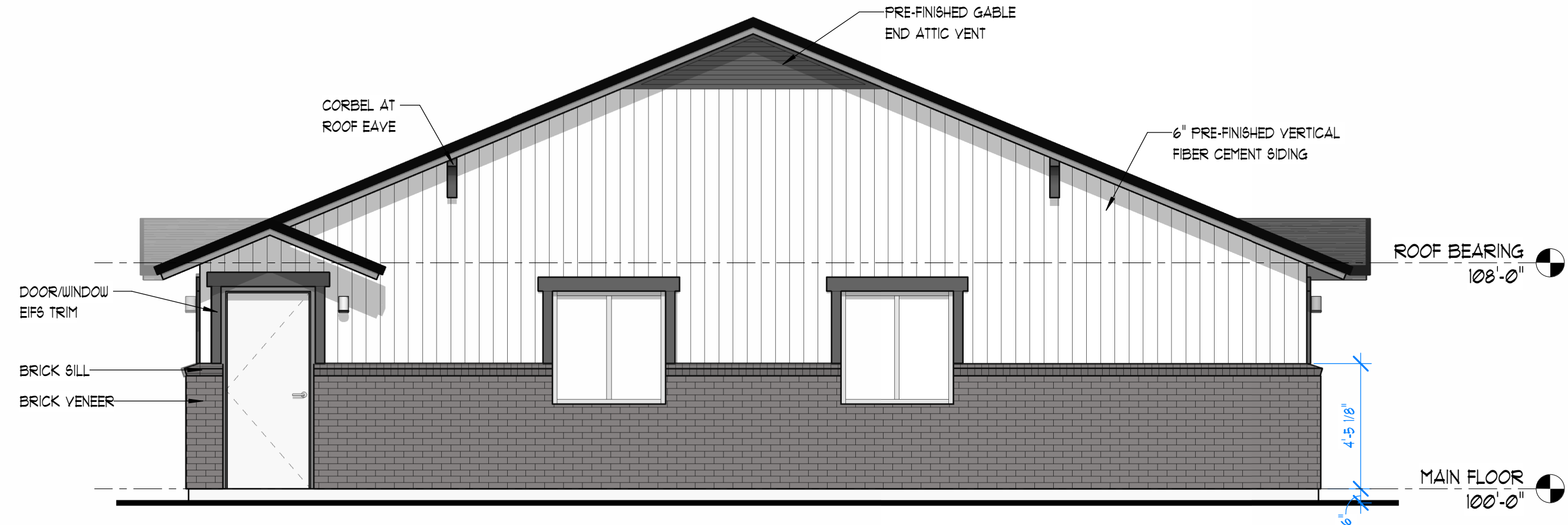
EXTERIOR ELEVATIONS

A4.2

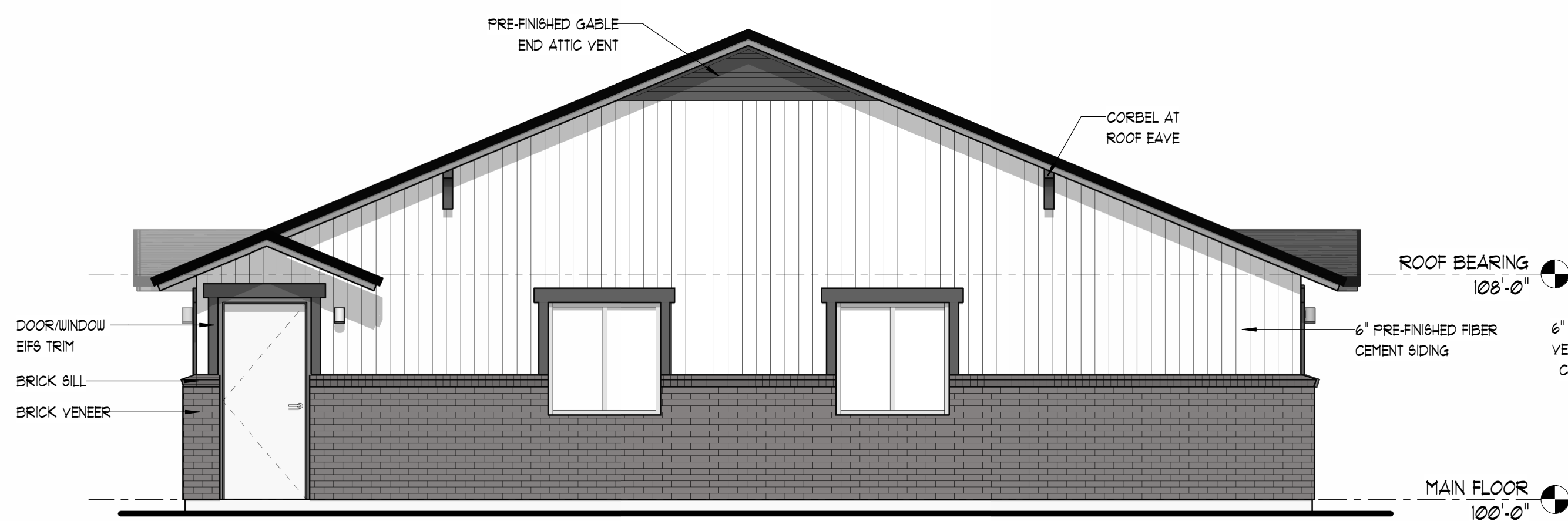
sheet number



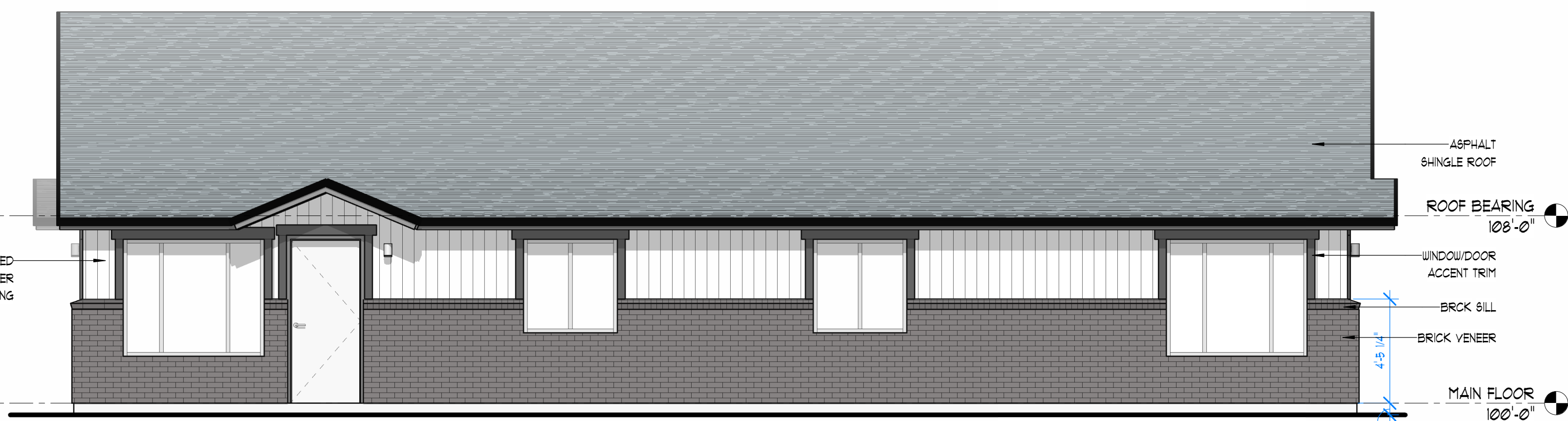
① EAST ELEVATION
1/4" = 1'-0"



② NORTH ELEVATION
1/4" = 1'-0"



③ SOUTH ELEVATION
1/4" = 1'-0"



④ WEST ELEVATION
1/4" = 1'-0"



**HOUSING
AUTHORITY
OF UTAH
COUNTY**

**ORCHARD
GROVE
SENIOR
HOUSING
FOUR-PLEX**

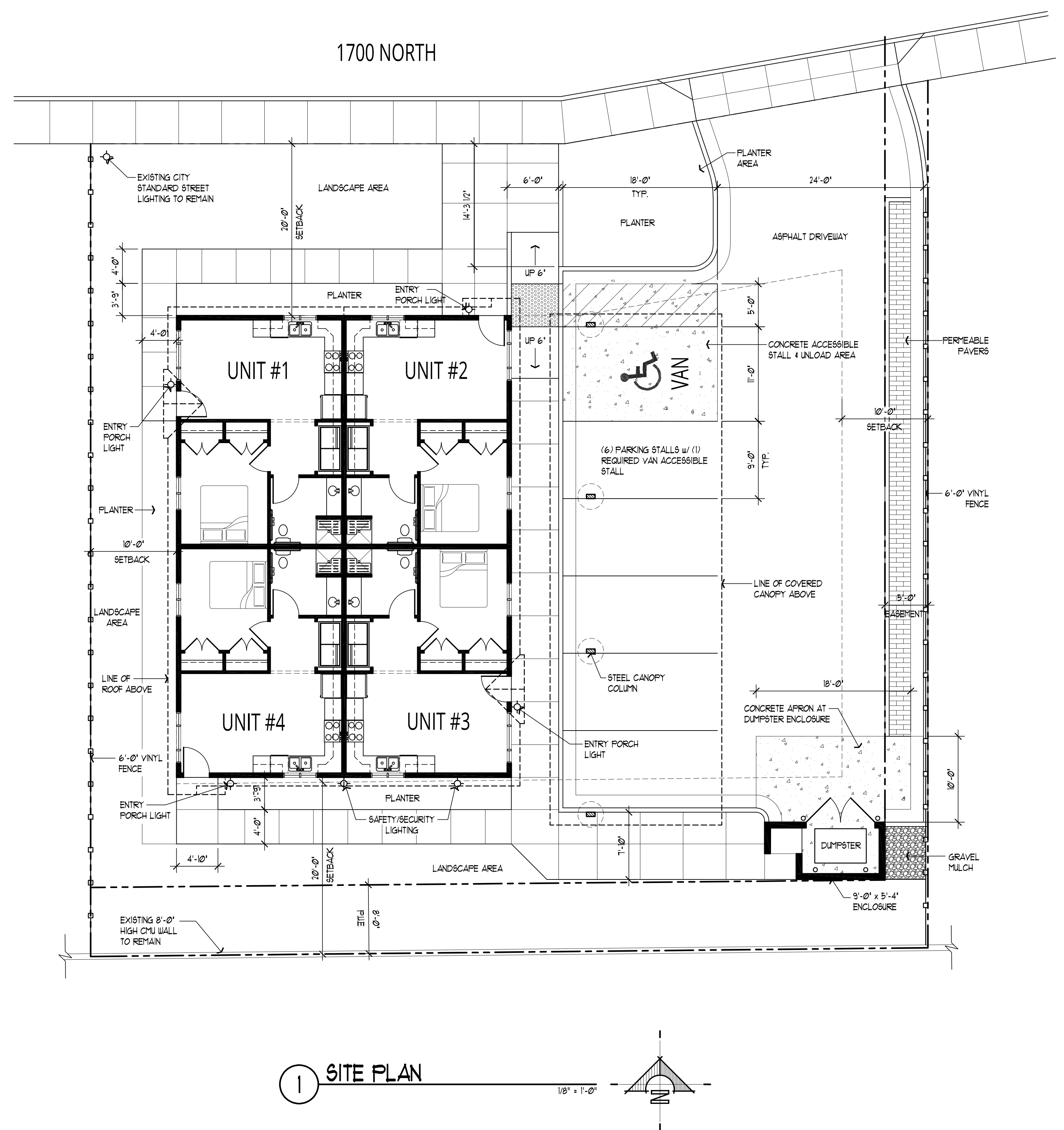
575 WEST 1700 NORTH
OREM, UTAH 84058

revision information		
no.	date	description

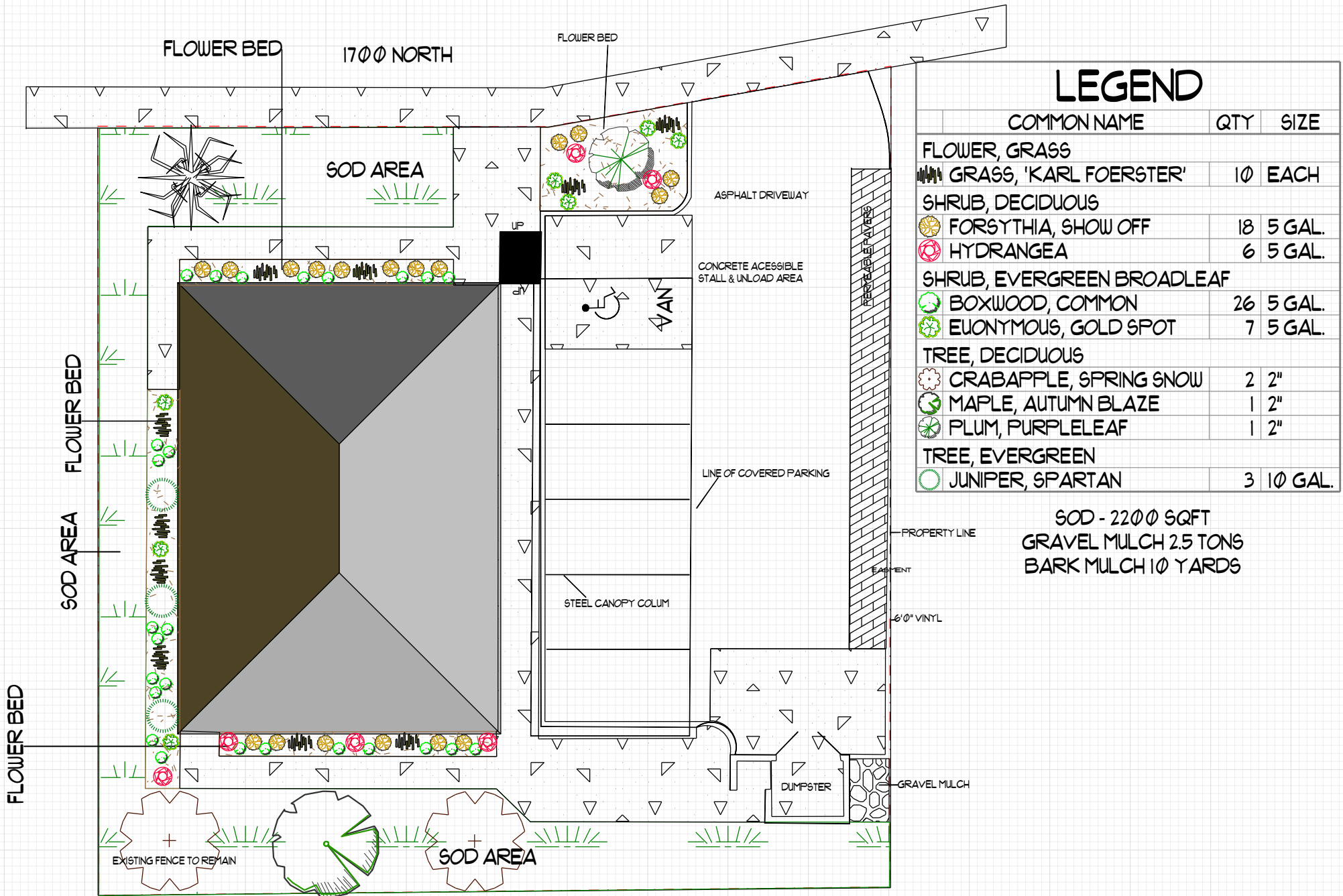
milestone issue date	NOVEMBER 21, 2025
milestone issue description	SITE PLAN REVIEW
latest revision date	Current Revision Date
latest revision description	Current Revision Description

drawing title
SITE PLAN

A1.1



1 SITE PLAN



Revision #:

Scale:

Landscape Plan:

Landscape Design by: Katie Allen

Date: 11/20/2025

1/16" = 1'

Orchard Grove

All About Landscaping

