

NOTICE OF MEETING  
PLANNING COMMISSION  
CITY OF ST. GEORGE  
WASHINGTON COUNTY, UTAH

Public Notice

Notice is hereby given that the Planning Commission of the City of St. George, Washington County, Utah, will hold a Planning Commission meeting in the City Council Chambers, 175 East 200 North, St George, Utah, on Tuesday, December 9, 2025, commencing at 5:00 p.m.

The agenda for the meeting is as follows:

Call to Order

Flag Salute

Call for Disclosures

**1. CONDITIONAL USE PERMIT Amthemnet/VZW White Dome**

Consider a request for a conditional use permit to build a 100 ft cell tower at approximately 1001 E White Dome Drive. The applicant is Powder River, and the representative is Jared White. Case No. 2025-CUP-002 (Staff Dan Boles)

**2. ZONE CHANGE- Rusty Cliffs South – PUBLIC HEARING**

Consider a request for a zone change from RE-12.5 (Residential Estates, 12,500 ft<sup>2</sup> minimum lot size) and G&G (Gravel and Grazing) to PD-TNZ (Planned Development Traditional Neighborhood Zone) on approximately 49.3 acres. If approved, the zone would allow 380 residential units and approximately 40,000 ft<sup>2</sup> of commercial development. The property is generally located on the east side of Highway 18 between 4100 North and 4400 North. The applicant is DSG Engineering and the representative is Logan Blake. Case No. 2025-ZC-009 (Staff – Dan Boles)

**3. ZONE CHANGE- Desert Mesa – PUBLIC HEARING**

Consider a request to change the zoning map on property currently zoned AVI (Airport Vicinity Industrial), ASBP (Airport Supporting Business Park), and OS (Open Space). The applicant is proposing to change the zoning designation on the property to C-2 (Highway Commercial). The property is approximately 27 acres and is generally located directly north of Southern Parkway at approximately 2600 East. The applicant is Desert Canyons Development, Inc. and the representative is Curt Gordon. Case No. 2025-ZC-021 (Staff – Dan Boles)

**4. PLANNED DEVELOPMENT AMENDMENT The Hidden Jewel – PUBLIC HEARING**

Consider a request for a Planned Development Amendment to the Green Valley Mall and Professional Plaza PD-C (Planned Development Commercial) zone. The applicant is seeking approval to add the following to the permitted use list:

-Antique Store

-Furniture Sales (used)

-Thrift Shop/secondhand store/consignment store (no outside storage and no drop-off of items during the hours the business is closed)

The site is generally located at the corner of Valley View Drive and Dixie Drive. The applicant is Old Gold Enterprises LLC, and the representative is Keena McArthur. Case No. 2025-PDA-032 (Staff – Brian Dean)

**5. DEVELOPMENT AGREEMENT Kachina Springs Lot 24 Amended –PUBLIC HEARING**

Consider a request to amend the original development agreement for Kachina Cliffs Phase 1 and Phase 2 final plat amendment for the purpose of allowing additional disturbance of “Hillside Slope Area – No Disturbance” on Lot 24 of Kachina Cliffs Phase 1. This will allow for the exchange of disturbed land on lot 24 for land on Kachina Cliffs Phase 2 Lot 38 that is undisturbed and designated as developable. This project is located at 2912 N. Chinle Circle. The applicant is Pridepoint Construction LC, and the representative is Ben Shakespeare. Case No. 2025-DAA-004 (Staff – Wes Jenkins)

## **6. MINUTES**

Consider a request to approve the meeting minutes from the November 18, 2025, meeting.

## **7. CITY COUNCIL ACTIONS**

*Report on items heard at the December 4, 2025, City Council meeting.*

1. 2025-GPA-016 Adoption of the Water Element of the General Plan
2. 2025-PDA-031 Utah First Credit Union Sun River -BD
3. 2025-HS-011 Banded Hills Hillside Revision – DB
4. 2025-ZC-016 1037 W 1050 N Rezone – DB
5. 2025-ZC-018 St George Downtown Hyatt – BH
6. 2025-ZC-019 First West – BH
7. 2025-PDA-030 311 West St George Blvd. -BH
8. 2025-ZRA-012 Title 10-19-3B6 Parking Ordinance – BH

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Angie Jessop – Community Development Office Supervisor

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**December 5, 2025**

Date

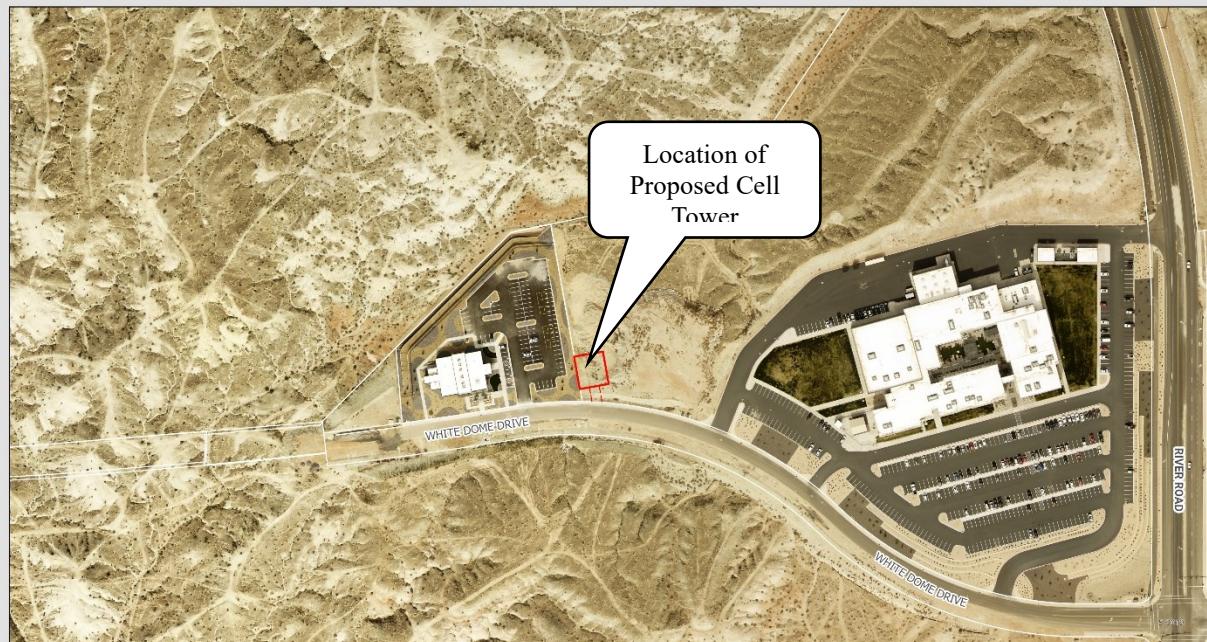
Reasonable Accommodation: The City of St. George will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs. Please contact the City Human Resources Office at (435) 627-4674 at least 24 hours in advance if you have special needs.



PLANNING COMMISSION AGENDA REPORT: 12/09/2025

**Anthemnet/VZW White Dome Cell Tower**  
Conditional Use Permit (Case No. 2025-CUP-002)

<b>Request:</b>	Consider a conditional use permit to build a 100 ft cell tower
<b>Applicant:</b>	Powder River
<b>Representative:</b>	Jared White
<b>Location:</b>	Approximately 1001 East White Dome Drive
<b>General Plan:</b>	PD (Planned Development)
<b>Zoning:</b>	R-1-10 (Residential, Single-Family, 10,000 ft <sup>2</sup> minimum lot size)
<b>Land Area:</b>	Approximately 4,000 ft <sup>2</sup>



ANTHEMNET/VZW WHITE DOME CELL TOWER

0 105 210 420 630 840 Feet



**BACKGROUND:**

This application is for a new cell tower to be located at approximately 1001 East White Dome Drive. The property is being leased by the applicant by the Washington County School District as it is on the Career Tech High School property. According to Title 10-17B-1, a “*communication transmission facilities, including wireless, primary, height over 50 feet*” requires a Conditional Use Permit approval. The proposed structure is proposed to be 100 ft tall and the site on which the tower would be constructed is approximately 4,000 ft<sup>2</sup>.

A conditional Use Permit requires the following standards (10-17B-3 and 10-17B-4) be met:

Review Criteria		
Regulation	Proposal	Staff Comments
<b>Maximum Intensity and use</b>	The proposed tower is in an area that is only occupied by a high school and a Church of Jesus Christ of Latter-Day Saint seminary building. The tower will not be occupied except on rare occasions for maintenance and will be relatively innocuous.	This intensity and uses are compatible with the surrounding area.
<b>Complies with all Provisions of Code</b>	See attached plans	Staff will ensure the project complies with any applicable codes at the site plan review process.
<b>Compared to Permitted Uses, Mitigates Adverse impacts through:</b>		
<b>Size and Location</b>	The proposed site will be just over 4,000 ft <sup>2</sup> . The tower will stand 100' tall.	The proposed use is a cell tower and will be very visible but to the extent it can blend it, it will.
<b>Traffic Generation</b>	No additional traffic is expected with this cell tower.	The roads are sufficient.
<b>Utility / Public Infrastructure Demand</b>	This project is expected to use the existing electrical and fiber needed to run the tower.	City infrastructure is sufficient to handle this increased demand.

Review Criteria		
Regulation	Proposal	Staff Comments
<b>Emergency Vehicle Access</b>	Emergency vehicle access will be via a 20' access point from White Dome Drive.	The proposal is compliant
<b>Off-Street Parking</b>	Off street parking is not required.	There will be space for a couple of vehicles to park off street if needed.
<b>Vehicle and Pedestrian Circulation</b>	Please see site plan	This is not required.
<b>Fencing, Screening, Landscaping</b>	The applicant is proposing a 6' tall white PVC fence. No landscaping is shown.	In order for fencing to remain in good repair and be more durable, long term, staff recommends a block wall. Staff also recommends that they landscape the area directly adjacent to the site lease area in order to be consistent with other cell sites.
<b>Usable Open Space</b>	N/A	N/A
<b>Signs and Lighting</b>	Lighting is not shown on the concept site plan. No signs are proposed at this time.	It is not anticipated that either of these will be necessary.
<b>Compatibility with Surrounding Structures</b>	The proposed tower is in an area that is only occupied by a high school and a Church of Jesus Christ of Latter-Day Saint seminary building. The tower will not be occupied except on rare occasions for maintenance and will be relatively innocuous.	This use is as compatible with the surrounding area as a cell tower can be.
<b>Noise, Odors, and Other Factors</b>	No new vibrations, odors, or other factors of significance will be introduced.	The proposal is compliant with these factors.

Review Criteria		
Regulation	Proposal	Staff Comments
<b>Delivery, loading and unloading operations</b>	This new structure is expected to have normal delivery operations for a live theater.	These operations are appropriate for this location.
<b>Trash Generation, Screening, &amp; Recycling</b>	There will be no need for trash facilities.	N/A
<b>Potential Impacts of Patrons/Employees</b>	No impacts are anticipated by patrons or employees.	There is not expected to be any negative impact in this way.
<b>Impacts of the Use on Public Property Adjoining the Site</b>	There is open space to the north of this property. The tower will be over 300 feet away from the closest point of that open space parcel.	There are expected to be no negative impacts to open space.
<b>Hours of Operation and Delivery</b>	The facility is proposed to be always operational.	There will be no adverse impacts due to the tower running.
<b>Special Hazards Arising from the Use</b>	No anticipated special hazards.	Staff has no concerns
<b>Demand for public infrastructure or services</b>	The site will use public streets and will utilize other utilities such as power and fiber.	No concerns

The City Council may approve the conditional use permit if it meets the following standards found in Chapter 17 of the adopted zoning regulations (10-17B-4):

*Upon review and consideration of the criteria identified in Title 10-17B-1 and 10-17B-3, compared to the impacts of allowed uses in the zone, the proposal shall:*

- A. Be compatible in use, scale, and design with allowed uses in the zone; and*
- B. Not compromise the health, safety, or welfare of:*

- a. Persons employed within or using the proposed development.*
- b. Those residing or working in the vicinity of the proposed use or development.*
- c. Property or improvements in the vicinity of the proposed use or development; or*
- d. Not imposed disproportionate burdens on the citizens of the city.*

- C. The land use authority shall issue a conditional use permit, if the applicant has proposed, or if the land use authority can propose, conditions of approval to*

*substantially mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with the standards and criteria herein. The conditional use permit shall describe the scope of the permit, and the conditions of approval.*

*D. If the land use authority determines that the applicant has not proposed, and the land use authority cannot impose additional, reasonable conditions of approval to comply with the standards and criteria herein, the land use authority may deny the conditional use permit application.*

**RECOMMENDATION:**

Staff recommends approval of this Conditional Use Permit with the following conditions:

1. That the 6 foot perimeter fence is constructed of masonry and not PVC as proposed. The fence and the facility shall not be located in the front yard setback, within any required landscape or buffer area, or within required parking area.
2. All power lines on the lot leading to an antenna structure and accessory structures shall be underground.
3. That the area between the fencing and the right of way that are not taken up by driveway is landscaped per section 10-23.
4. That all other facility structures are located within the fenced area.
5. That the maximum height of the tower is 100 feet not including the lightning rod.
6. That it is constructed as depicted in this staff report.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with additional conditions.
3. Recommend denial.
4. Continue the proposed conditional use permit to a later date.

**POSSIBLE MOTION:**

“I move that we forward a positive recommendation to the City Council for Anthemnet/VZW White Dome Cell Tower Conditional Use Permit request, application number 2025-CUP-002, based on the findings and subject to the conditions noted in the staff report.”

**FINDINGS FOR APPROVAL:**

1. The proposed conditional use permit is compatible in use, scale, and design with allowed uses in the zone.
2. The proposed conditional use permit does not compromise the health, safety, or welfare of those residing or working in the vicinity of this proposed use.

**EXHIBIT A**  
**Applicant's Narrative**

## **CUP Narrative Anthemnet/VZW cell tower**

- Anthemnet is proposing to construct a 100' monopole cell tower within a 50x50 compound to improve wireless service in the area. The anchor tenant on the tower will be Verizon but the site will be constructed to accommodate up to 4 wireless carriers.
- Due to the nature of wireless facilities there will always be visual impact but the tower will be constructed of non-galvanized steel and will be a monopole design which is generally considered to be the least intrusive design for a co-locatable wireless facility
- The site is unmanned and will have no effect on traffic
- The only utilities need for this project would be power and fiber optics both of which are readily available. There is no need for water connections
- The site is located immediately off of White Dome road and will have easy access for emergency services
- The site will create minimal noise generated from HVAC unit used to cool the equipment but should have no adverse effects from vibrations odors, steam etc.
- As the site is unmanned there will be no adverse effects from patrons' quest etc. During construction there is plenty of space for staging without effecting adjacent properties and once built employees visit the site minimally and it would have no effect on people near the site.
- The site is on school property and the school district has signed a lease giving access to the space. As part of the development process a full NEPA (National Environmental Protection Act) will be conducted ensuring no adverse effects on environmentally sensitive land.
- As the site is an unmanned wireless facility there is no impact from delivery or hours of use.
- Site is secured with a chain link fence similar in design to multiple cell towers within the city and should have no secondary effects or potential to attract criminal behavior
- Other then power the site would have minimal impact on public infrastructure.

**EXHIBIT B**  
**Power Point Presentation**

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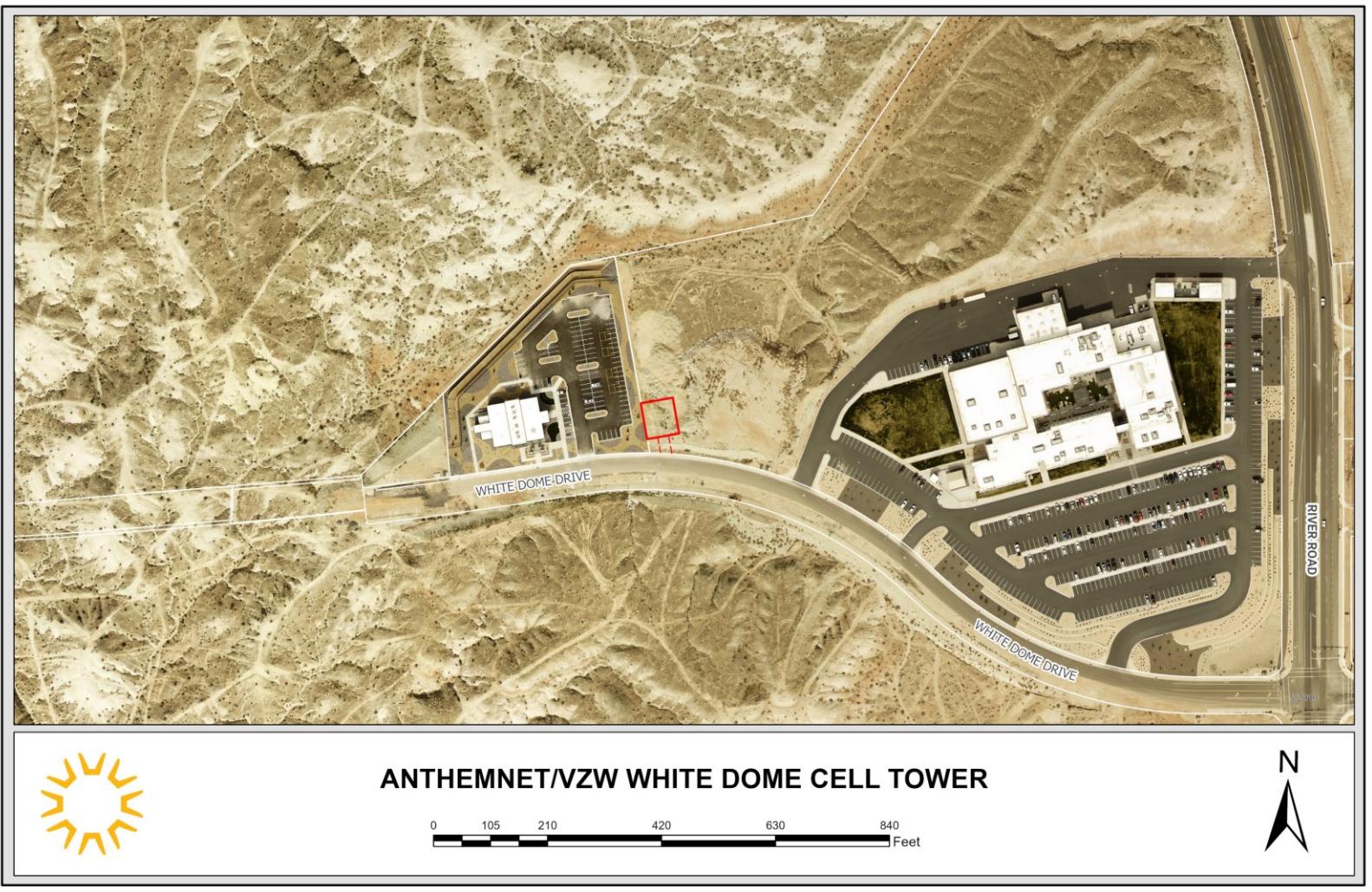
# ANTHEMNET/VZW WHITE DOME CELL TOWER CUP

2025-CUP-002

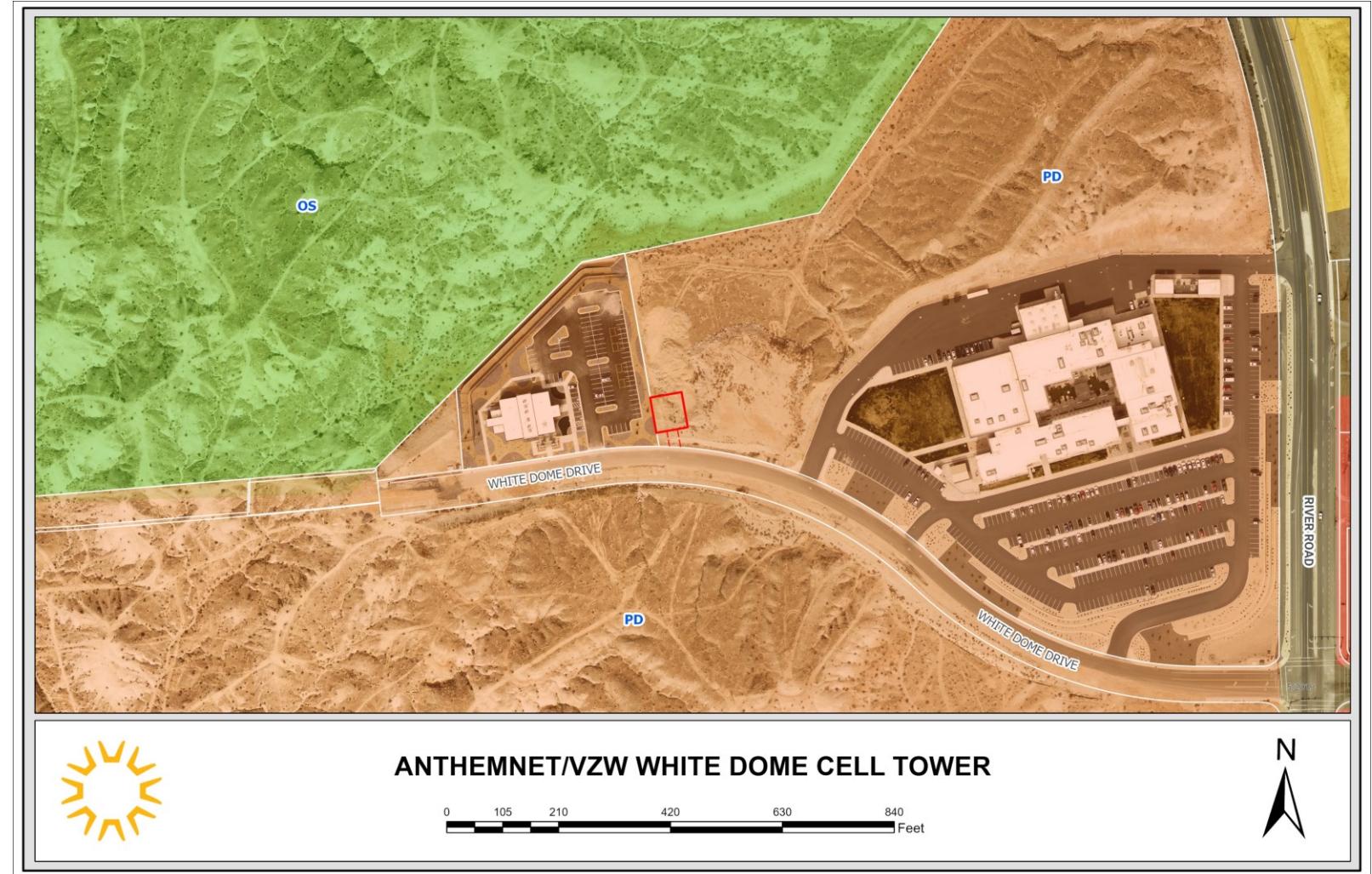
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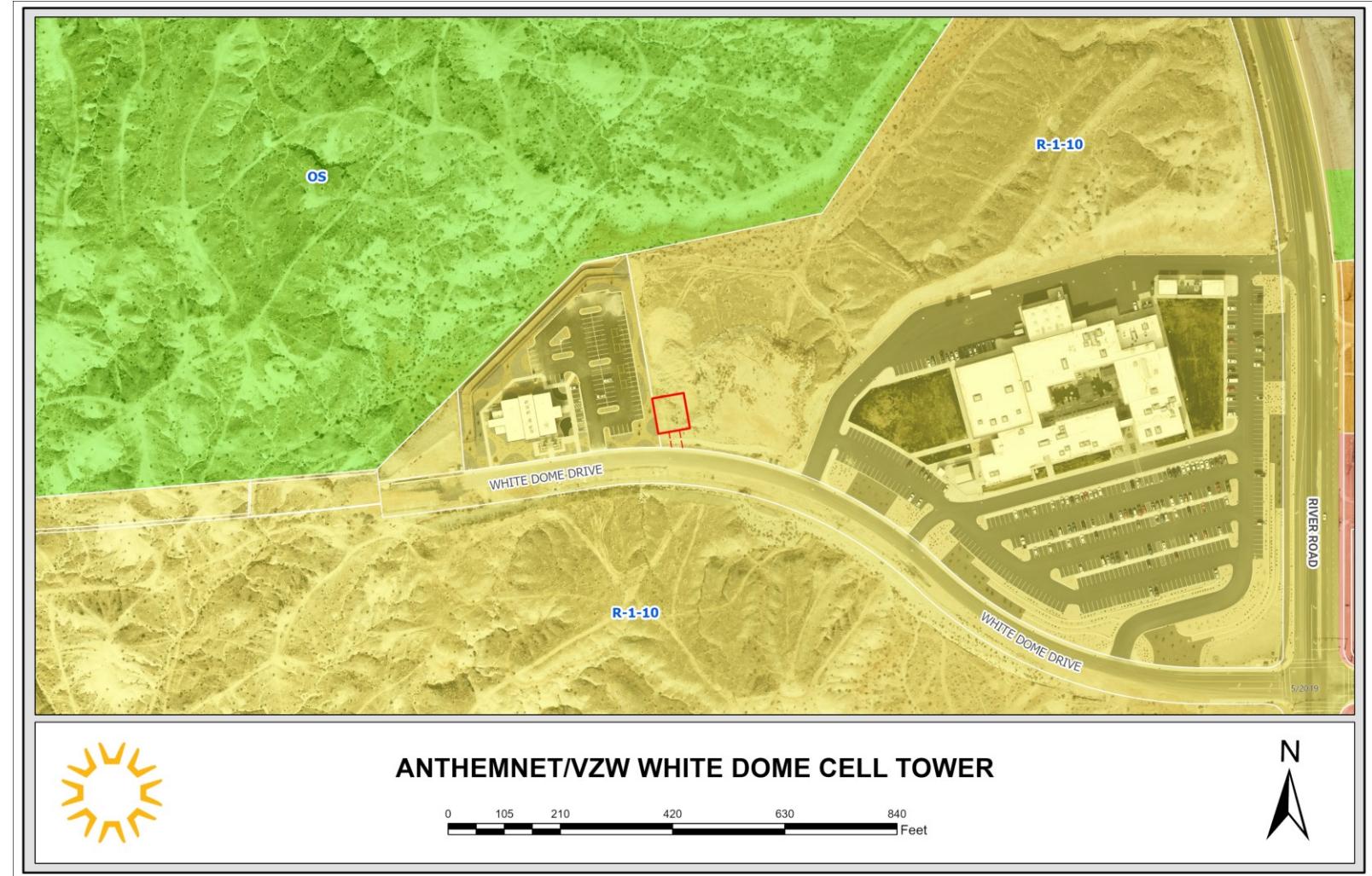
# AERIAL MAP



# LAND USE MAP

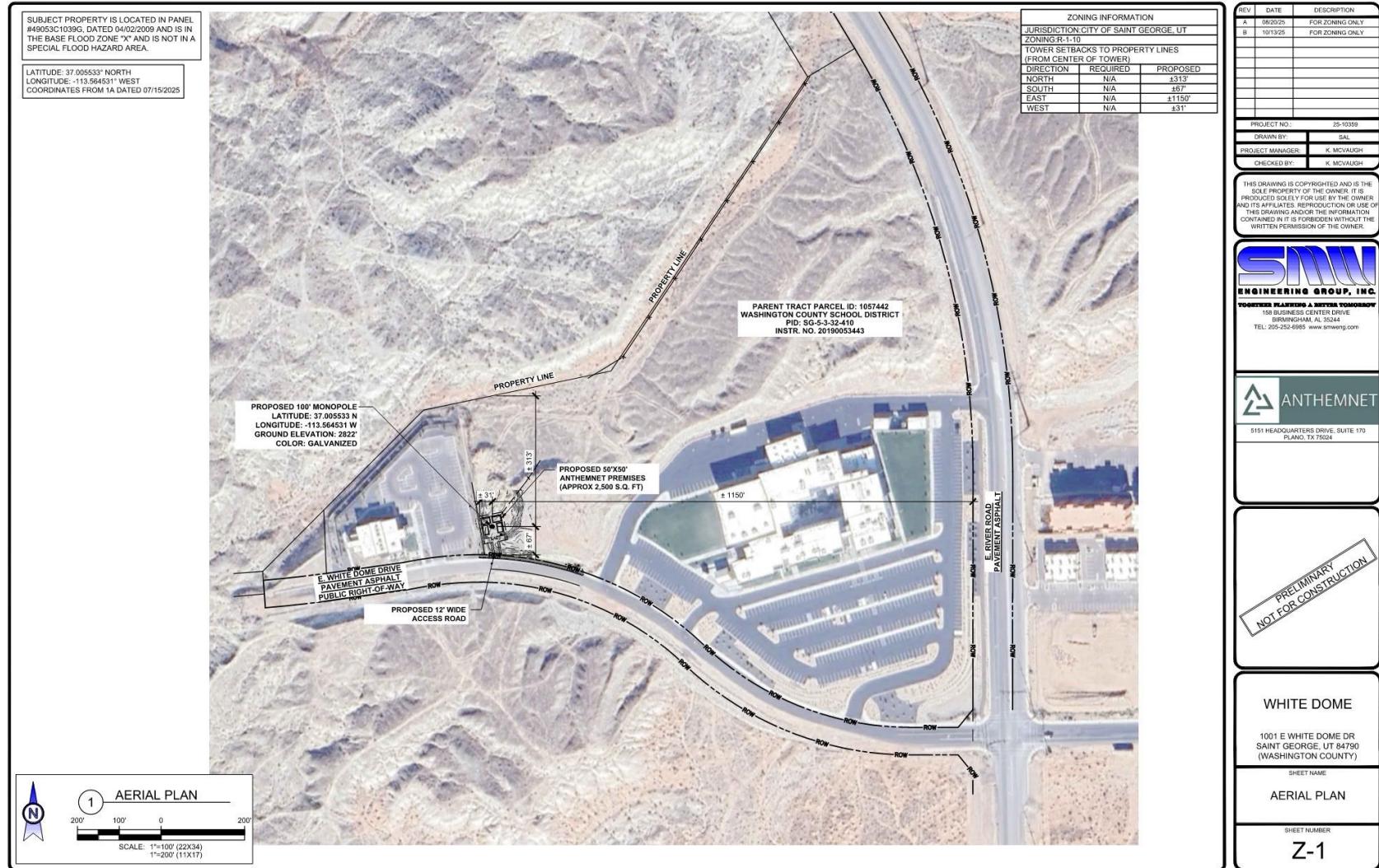


# ZONING MAP

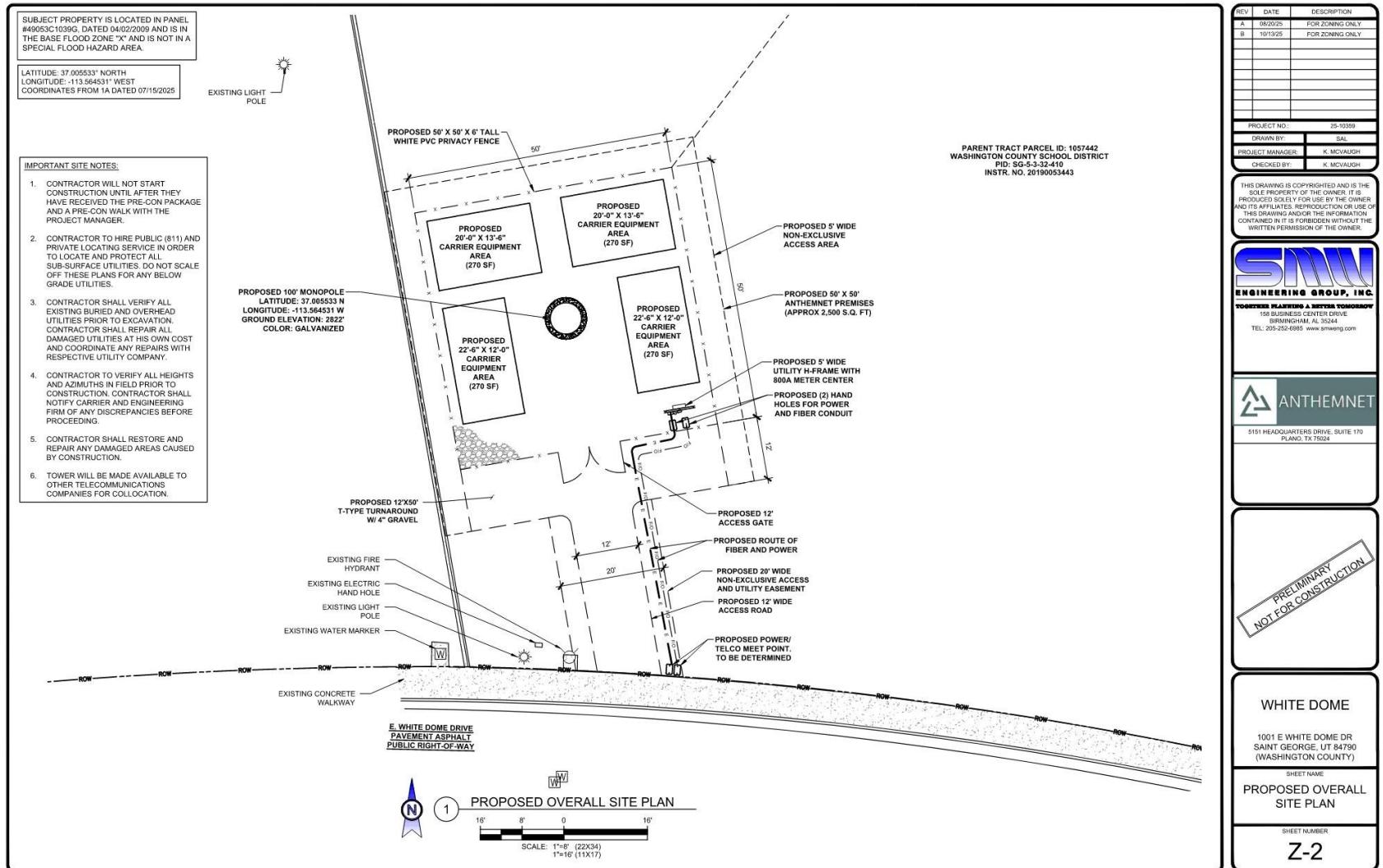


# **TITLE 10-7B-1 - ALLOWED USES**

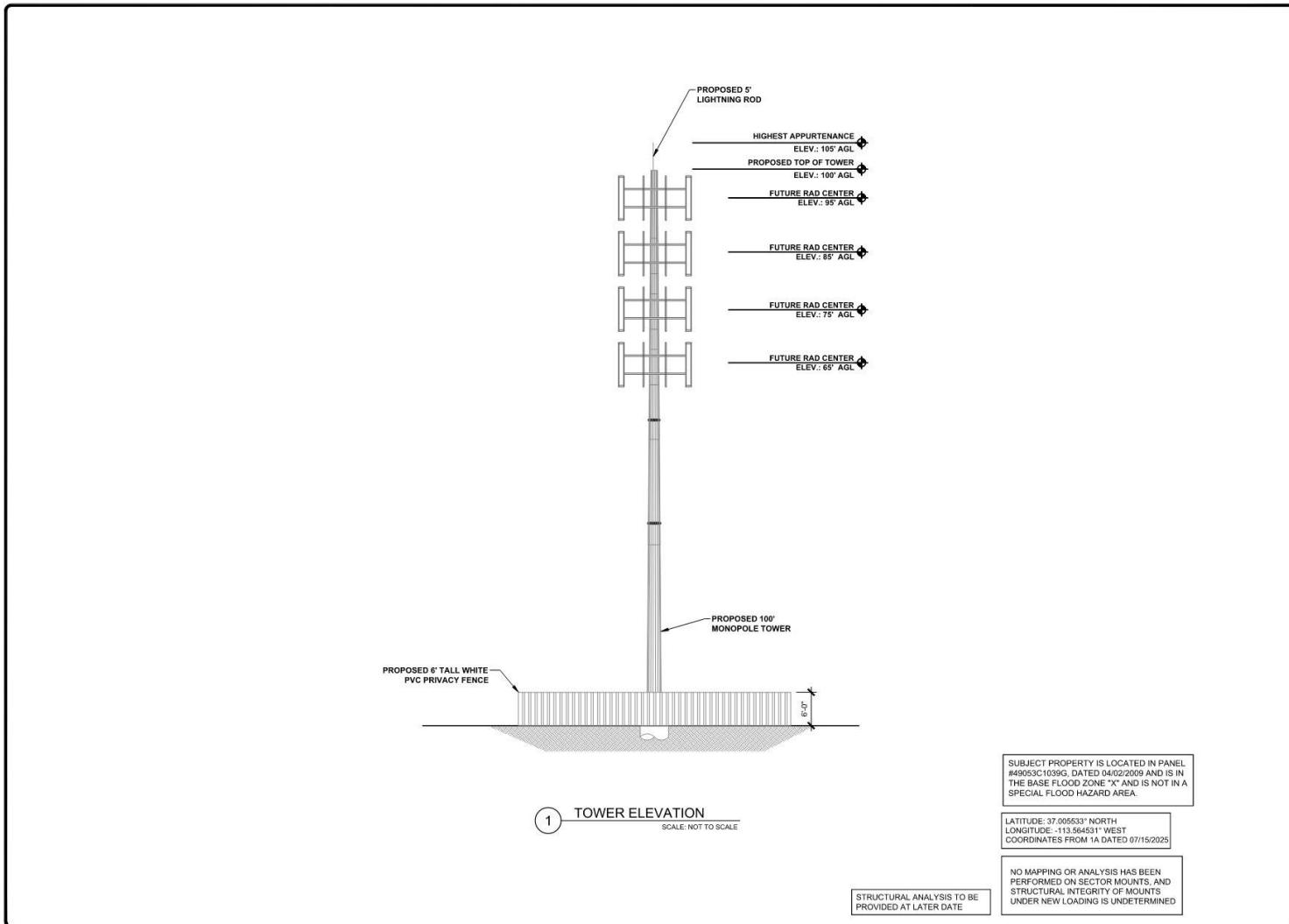
# SITE PLAN



# SITE PLAN



# TOWER ELEVATIONS



REV	DATE	DESCRIPTION
A	08/20/25	FOR ZONING ONLY
B	10/13/25	FOR ZONING ONLY

THIS DRAWING IS COPYRIGHTED AND IS THE PROPERTY OF THE OWNER. IT IS TO BE PRODUCED SOLELY FOR USE BY THE OWNER AND ITS AFFILIATES. REPRODUCTION OR USE OF THIS DRAWING IN WHOLE OR IN PART, WITHOUT THE CONTAINED IN IT IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE OWNER.

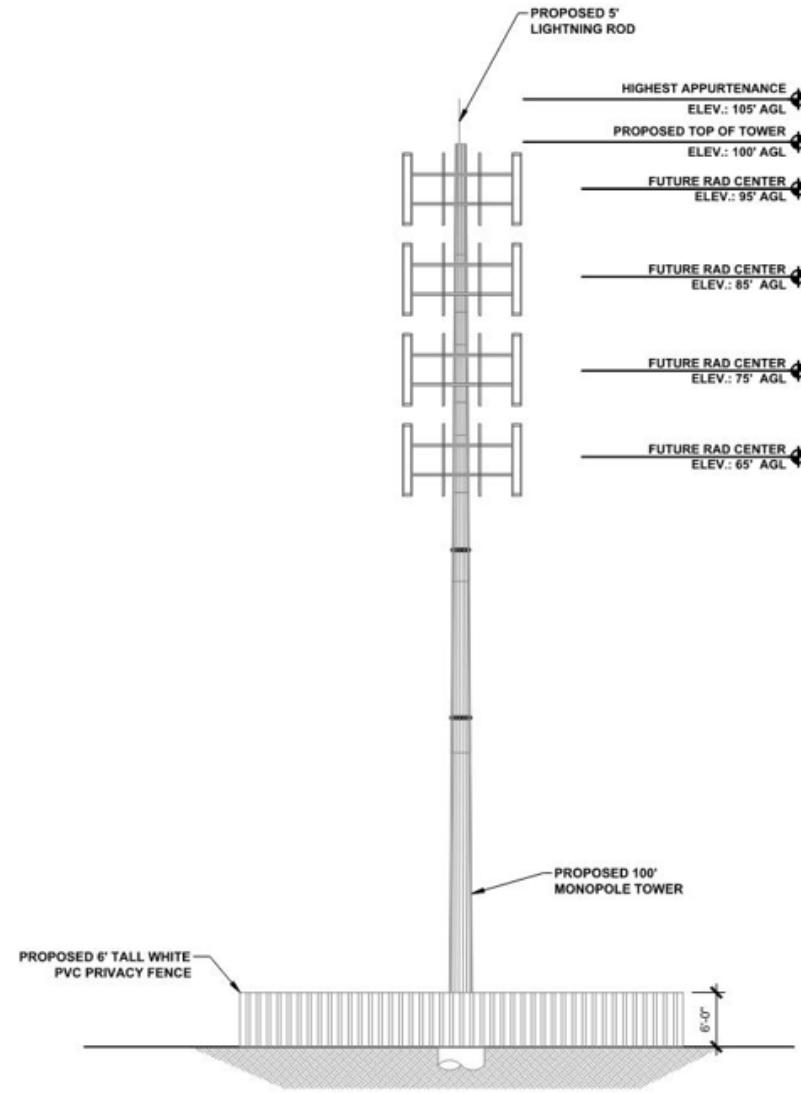


PRELIMINARY  
NOT FOR CONSTRUCTION

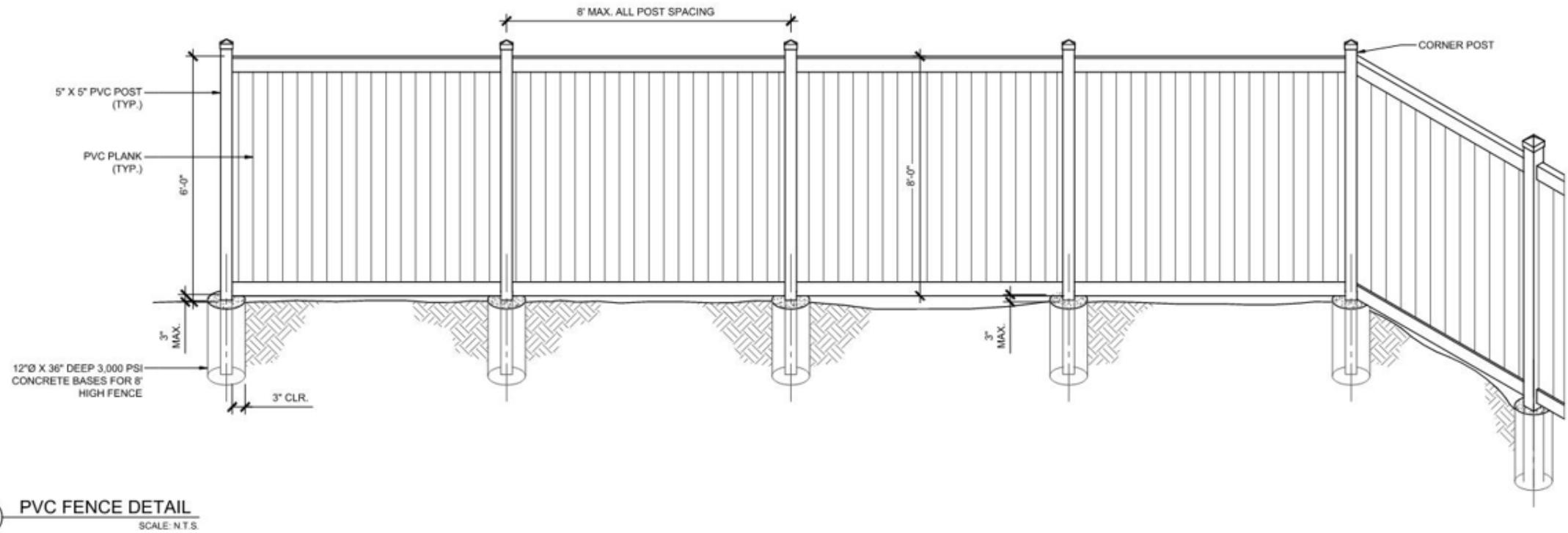


SHEET NAME  
TOWER ELEVATION  
SHEET NUMBER  
Z-4

# TOWER ELEVATIONS



# FENCING



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# CONDITIONS

Staff recommends approval of this Conditional Use Permit with the following conditions:

1. That the 6-foot perimeter fence is constructed of masonry and not PVC as proposed. The fence and the facility shall not be located in the front yard setback, within any required landscape or buffer area, or within required parking area.
2. All power lines on the lot leading to an antenna structure and accessory structures shall be underground.
3. That the area between the fencing and the right of way that are not taken up by driveway is landscaped per section 10-23.
4. That all other facility structures are located within the fenced area.
5. That the maximum height of the tower is 100 feet not including the lightning rod.
6. That it is constructed as depicted in this staff report.

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# POSSIBLE MOTION

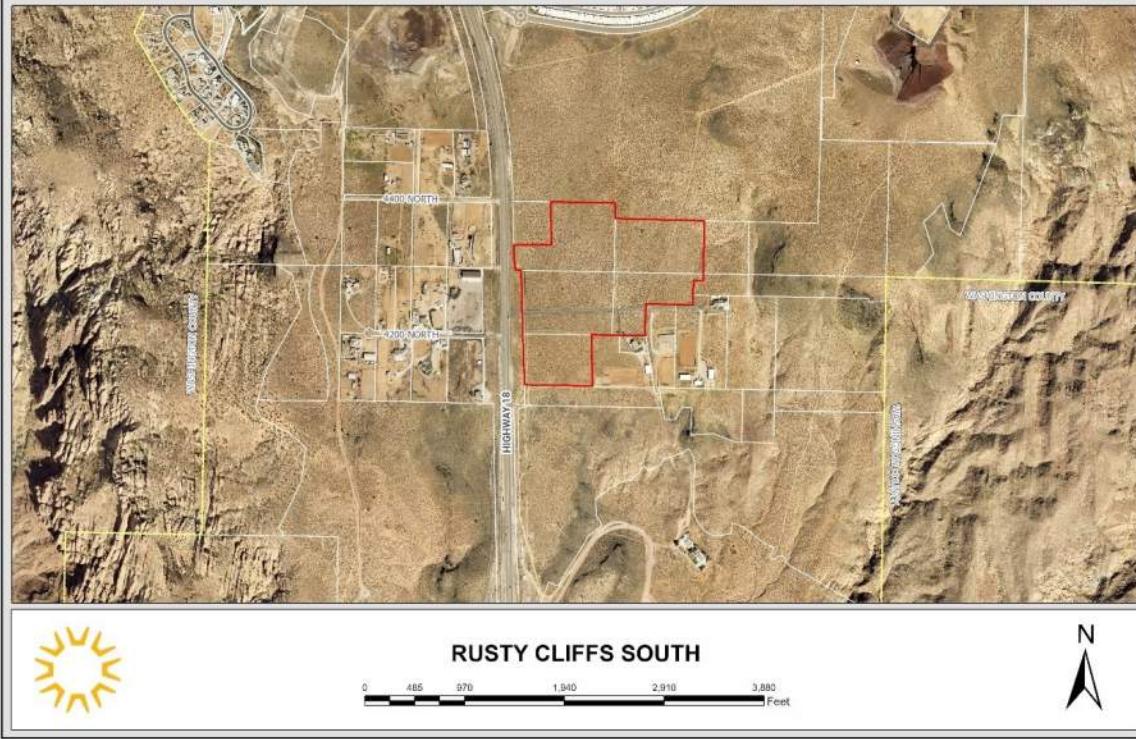
- “I move that we forward a positive recommendation to the City Council for Anthemnet/VZW White Dome Cell Tower Conditional Use Permit request, application number 2025-CUP-002, based on the findings and subject to the conditions noted in the staff report.”

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### PLANNING COMMISSION AGENDA REPORT: 12/09/2025

<b>Rusty Cliffs Zone Change</b> Zone Change (Case No. 2025-ZC-009)		
<b>Request:</b>	Consider changing the zone from RE-12.5 (Residential Estates, 12,500 ft <sup>2</sup> minimum lot size) and G&G (Gravel and Grazing) to PD-TNZ (Planned Development Traditional Neighborhood Zone) on approximately 49.3 acres.	
<b>Applicant:</b>	Logan Blake, DSG Engineering	
<b>Location:</b>	The property is generally located on the east side of Highway 18 between 4100 North and 4400 North.	
<b>General Plan:</b>	LDR (Low Density Residential)	
<b>Existing Zoning:</b>	PD-C (Planned Development Commercial)	
<b>Surrounding Zoning:</b>	North	PD-R (Planned Development Residential)
	South	G&G (Gravel & Grazing)
	East	G&G (Gravel & Grazing) & RE-12.5 (Residential Estates 12,500 ft <sup>2</sup> minimum lot size)
	West	Hwy 18 & A-5 (Agricultural 5 Acre Minimum lot size)
<b>Land Area:</b>	Approximately 49.3 acres	



## **BACKGROUND:**

The subject property is approximately 49.30 acres in size and is located on the east side of Highway 18 between approximately 4200 – 4400 North and the majority is zoned RE-12.5 (Residential Estates, 12,500 ft<sup>2</sup> minimum lot size), though there is a small portion zoned G&G (Gravel & Grazing). The applicant is proposing to rezone the property to PD-TNZ (Planned Development Traditional Neighborhood Zone). As there is only one other PD-TNZ zoned property in the city, this staff report will go into some detail on what this particular zone is attempting to achieve.

The PD-TNZ zone can be found in two parts. Part one is section 10-7H of the St. George municipal code. This section deals with the standards for rezoning a property to the TNZ zone and some of the goals and objectives of the zone. It also deals with the administrative aspects of the zone. The second portion of the zone can be found in the “Planned Development – Traditional Neighborhood Zone Design Manual & Form Based Code”. This manual is not found in Title 10 but as section 10-7H-2(A) states, “*The design manual and form-based code are hereby incorporated into this chapter and shall have the same regulatory force and effect hereof, and hereinafter it is referred to as the “design manual.”*

The PD-TNZ zone attempts to create a method by which a more traditional development pattern may flourish. A typical traditional neighborhood can be categorized by such things as reduced setbacks, alleyways, smaller and more compact development, a more walkable pattern, more detail to architectural styles, commercial, higher density and medium density residential integrated together, etc. In order to accomplish these goals, The PD-TNZ zone can be divided into two sub-categories or neighborhood types, NE (Neighborhood Edge) and NG (Neighborhood General). In general, the NE is “*the less dense form of traditional neighborhood development consisting principally of detached single-family homes. NE may also include a limited number of duplexes and courtyard bungalows. Buildings are situated on larger lots with setbacks on all sides. The permitted building frontage includes porches and front yards.*”<sup>1</sup> In contrast, the NG neighborhood is “*a primarily residential development pattern; however, it is denser than neighborhood edge and may consist of both attached and detached residence types. Multiple-family residential and nonresidential uses are permitted but shall blend into the neighborhood by occupying buildings that are of a scale and appearance compatible with single-family detached residences. Single-family homes are situated on smaller, narrower lots with shallow setbacks. The narrow lots generally require that off-street parking be accessed from the rear by alleys.*”<sup>2</sup> A NG designation may have limited commercial uses as well as outlined in Chapter 10-7H.

Though a single PD-TNZ zone may include areas of both NE and NG areas (think Desert Color), the applicant is proposing that the entirety of Rusty Cliffs be designated Neighborhood General (NG) giving the entirety of the project a more compact and walkable feel.

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<sup>1</sup> St. George City Code section 10-7H-1(A)(1) – Neighborhood Edge (NE)

<sup>2</sup> St. George City Code section 10-7H-1(A)(2) – Neighborhood General (NG)

One other aspect of the PD-TNZ zone that is different than any other zone is that it is compatible with all General Plan land use designations. St. George code states that, “*The NE and NG shall be deemed consistent with the city’s general plan if located in an area designated for low, medium, medium high, or high density residential use; no general plan amendment shall be required in such circumstances.*”<sup>3</sup> The property is found entirely within the LDR (Low Density Residential) general plan land use category making the proposed PD-TNZ zone compliant with the general plan.

Please see the zoning requirements below for site details:

Zoning Requirements			
Regulation	Section Number	Proposal	Staff Comments
<b>Land Area</b>	10-7H-2(D)(1)	49.3 Acres	This complies with the 10 contiguous acre minimum size requirement.
<b>Mix of Forms</b>	10-7H-2(D)(2)	They are proposing: 1. Single-Family 2. Townhomes 3. Duplex 4. Small Multi-family 5. Mixed Use 6. Paseo	The proposal meets the requirements for a minimum of three forms. 54% of homes will be single-family meeting the requirement of 50% single-family units.
<b>NE Civic Space</b>	10-7H-2(D)(4)	No Neighborhood Edge is proposed with the development.	N/A
<b>NG Civic Space</b>	10-7H-2(D)(5)	Between a village green and square, paseo space and a pocket park, approximately 4.17 acres (8.4%) is proposed as civic space.	5% of the project shall be usable civic space and be within 350' of the geographic center of the project. The central civic space is approximately 280' from the center of the project.
<b>TNZ Integration</b>	10-7H-2(D)(6)	Where a proposed TNZ development is adjacent to an existing single-family subdivision, the TNZ must locate single-family detached homes adjacent to existing single-family units.	This is not proposed next to an existing single-family subdivision.

<sup>3</sup> St. George City Code section 10-7H-2(B) – General Plan

The applicant has produced a narrative which will serve as the guiding document for development of the project (see attached). This document gives a full narrative of the project, details items such as lot sizes, allowed uses, setbacks, mix of architectural types, layout of the project, etc. It should be noted that while this booklet lays out the future development and shows examples of architecture, etc., it should not be misunderstood to be an exact design of what will be constructed. These give a flavor of future development, not an exact diagram of the exact details of development. The site will be expected to develop as shown here (layout, number of units, and so forth), but the architecture may vary according to demand, timing, and as design moves forward. Anything that is not a single-family home will be required to come back to the Planning Commission and City Council for a Planned Development Amendment (PDA) approval.

Some of the “Planned Development – Traditional Neighborhood Zone Design Manual & Form Based Code” (hereinafter referred to as “Design Manual”) has been integrated into the proposed booklet by way of cut and paste. This was done to ensure that there was continuity between the two documents. These include diagrams of traditional frontage types, street cross sections and yard dispositions. They also address all of the guidelines outlined in the design manual. See the following table for details:

Design Manual Requirements			
Guideline	Letter	Proposal	Staff Comments
<b>Architectural Coherence</b>	Guideline A	Buildings over one story will show distinct floors and use high-quality exterior materials.	This is consistent with Guideline A which requires high quality architecture.
<b>Compatibility of Scale</b>	Guideline B	Commercial or mixed-use buildings must match neighborhood scale and place form transitions at rear edges.	This is consistent with Guideline B which requires buildings to be compatible with each other in the immediate vicinity.
<b>Architectural Variety</b>	Guideline C	Homes may not be the same design as an adjacent neighbor or across the street.	This is a self-imposed and not included in the design manual but a good practice to avoid monotony and repetition.
<b>Human Scale</b>	Guideline D	Entrances must face public spaces, feature pedestrian-scaled detailing, provide street visibility, and avoid long blank walls.	Guideline C requires specific architectural requirements which will be reviewed at the time the applicant is ready for a PD Amendment. Staff recommends that Guideline C in the Manual is followed as written.

<b>Streetscape</b>	Guideline E	Signs and lighting must follow city standards; allow small, well-designed signs and require regularly spaced street trees.	This is consistent with Guideline D. The code will be followed for signage and street trees.
<b>Walls/Fencing</b>	Guideline F	Rear/side privacy walls allowed with limits; front fences must be low, decorative, and non-solid unless retaining.	This guideline is consistent with the Design manual.
<b>Accessory Structures</b>	Guideline G	Accessory structures follow setback, size, height, and design limits, matching the home and protecting utilities.	Much of this proposed guideline follows the allowance under current St. George code. It also details guidelines for carriage houses as outlined in the Design Manual.
<b>Zero Lot SF Homes</b>	Guideline H	Zero-lot homes allow one side setback at the property line with required easements, limits, and drainage rules.	This is another self-imposed standard which would allow a zero setback on one side of the lot.
<b>Landscaping</b>	Guideline I	Landscaping standards must comply with Chapter 25 of the St. George City Code.	This is consistent with the Design Manual.

The Design Manual has requirements for parking and access. The development is designed to be a compact neighborhood where all homes are within a 5-minute walk of the civic and commercial center, with mid-block pedestrian shortcuts provided. The neighborhood is bounded by natural features and public land, limiting external traffic and visitation from outside the immediate area. The applicant has designed the development with off-street parking accessed via rear alleys, eliminating front-yard driveway curb cuts and providing approximately 475 on-street parallel parking spaces. On street parking in the PD-TNZ zone is encouraged, which is not typical of standard development throughout the city. Diagonal parking is provided along the Movie Rock Drive frontage to serve the multifamily units and commercial promenade.

Parking Requirements			
Guideline	Letter	Proposal	Staff Comments
<b>Parking Placement</b>	Guideline A	On-street parking (including diagonal) permitted; parking lots generally not allowed on frontages except corner lots with screening.	This is generally consistent with the Design manual and with City Code which states, <i>“On-street parking is encouraged in all traditional neighborhood forms in order to create a buffer between car traffic and pedestrians, and to introduce traffic calming friction to thoroughfares.”</i> <sup>4</sup>
<b>Access</b>	Guideline B	Off-street parking accessed via lane/alley (preferred) or driveway; tandem parking allowed in garages per unit.	This is consistent with city code and the design manual.
<b>Garages</b>	Guideline C	Alley garages: 5' setback from alley. Uncovered spaces: min 9'x18' to count as parking.	This is allowed per code and the design manual.
<b>Alleyways</b>	Guideline D	No front or side-loaded garages are being proposed.	N/A
<b>Spaces Required</b>	Guideline E	1 bedroom – 1 space 2 bedroom – 1.5 spaces 3+ bedroom – 2 spaces SF – 2 spaces/home Commercial – 1 per 325 ft <sup>2</sup> gross floor area.	Under the Design Manual, commercial requires two spaces per 1,000 ft <sup>2</sup> floor area. All else is consistent.

Miscellaneous Information – There are other aspects of the development that haven't been covered.

1. The number of proposed units are 380 total units (7.7 units per acre)
2. Single Family is proposed to be 204 units or 54% of the total number of units
3. Triplex – 24 units, Duplex – 32 units, Paseo – 16 units
4. Commercial will comprise 40,000 ft<sup>2</sup> of the site

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<sup>4</sup> St. George City Code Section 10-7H-1(B)(1) – Access Design

5. The development has been designed in a grid pattern as prescribed by the design manual and city code.
6. Setbacks, lot widths, lot sizes are all shown in the proposed booklet provided by the applicant.

**RECOMMENDATION:**

Staff recommends approval of the application for Rusty Cliffs zone change from RE-12.5 (Residential Estates, 12,500 ft<sup>2</sup> minimum lot size) and G&G (Gravel and Grazing) to PD-TNZ with the following conditions:

1. That the number of units associated with the project is limited to 380 as shown on the land use plan.
2. That a preliminary plat is submitted for review and approval by the Planning Commission.
3. That any units or group of units that are not single-family will be required to seek approval of a Planned Development Amendment (PD amendment)
4. That a site plan that meets the requirements of city code and development standards is applied for and approved prior to construction.
5. That architectural guideline C as found in the Design Manual is followed as written.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with additional conditions.
3. Recommend denial of the request.
4. Continue the proposed PD amendment to a later date.

**POSSIBLE MOTION:**

"I move that we forward a positive recommendation to the City Council for the Rusty Cliffs zone change as presented, Case No. 2025-ZC-009, based on the findings and subject to the conditions listed in the staff report (and as modified by the following...)."

**FINDINGS FOR APPROVAL:**

1. The proposed uses are permitted uses found in the PD-TNZ zone and Design manual.
2. The proposed project meets the PD-TNZ general requirements found in Section 10-7H of the St. George City Code.
3. The property will be served by approved sources and facilities: culinary and secondary irrigation water, power, sewer, and access to a dedicated public street.

**Exhibit A**  
**Applicant's Narrative (Booklet)**

**Ledges at Snow Canyon LLC**  
1472 E 3950 S  
St George, UT 84790  
Attention: Stacy Young  
e. stacy@utahlanduse.com  
c. (435) 313-3914

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## Rusty Cliffs South Traditional Neighborhood

Master Zoning & Development Plan

November 2025



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  - 2.5. Private Frontages
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4. Summary Maps & Exhibits
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  - 4.9. Zone Change Boundary Map
  - 4.10. Sample of Lot Dimensions

## 1. DEVELOPMENT OVERVIEW

### 1.1 Vision

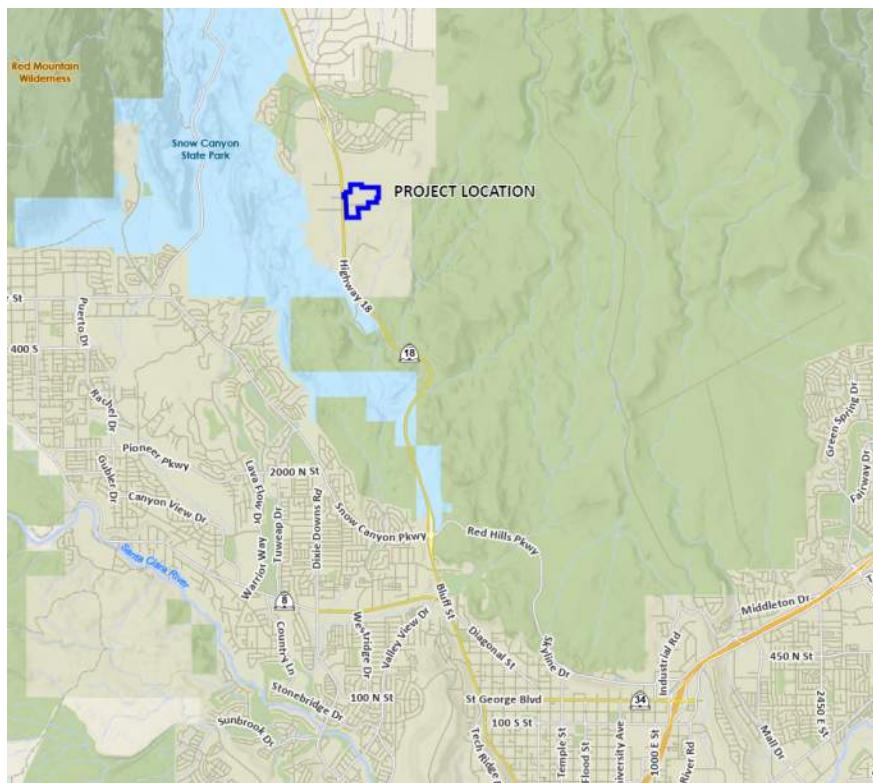
*Rusty Cliffs South* is a 49-acre traditional neighborhood that will enable an outstanding quality of life on the beautiful benchlands above Snow Canyon State Park. In addition to the scenic setting, residents will enjoy a variety of homes and easy walking access to a mixed-use neighborhood center.

### 1.2 Strategies

- We will utilize St. George's Planned Development Traditional Neighborhood Zone (PD-TNZ) to deliver a variety of homes and complementary land uses that meet the diverse needs and preferences of households of different incomes and life stages.
- A commercial promenade will complement and elevate the residential programming of the neighborhood while reducing the number of necessary car trips to other parts of the city. All homes in the neighborhood will be within a 5-minute walk of the commercial center.
- The *Rusty Cliffs South* neighborhood center is programmed to be adjacent to other future commercial uses and public facilities (including a park and power and public safety substations). This expanded multipurpose node will serve many of the civic and commercial needs of the residents of the greater Ledges-Trails-Winchester Hills vicinity.
- A well-connected street grid will enhance the pedestrian experience, improve vehicular circulation, and provide for the reliable, cost-effective delivery of utilities and other public services.
- Residents will enjoy abundant outdoor recreation and leisure opportunities, both within neighborhood boundaries and by way of points of connection to regional trails and public lands.



### 1.3 Project Location & Physical Characteristics



**Location:** Utah Highway SR-18 at milepost 7

**Total Area:** ~49 acres

**Physical Description:** The site of the neighborhood is along the east side of Utah Highway 18 (SR-18) just north of milepost 7. Other adjacent property includes the *Red Cliffs Desert Reserve*, the *Trails* planned community, and the *Ledges* planned community. The terrain is a gently sloping sagebrush field adjacent to the highway. Access to the property will be by way of Movie Rock Dr., a frontage collector road linking the Ledges and (under construction) Trails interchanges. The elevation is about 1,000' higher than downtown St. George.

## **1.4 Land Use Designations**



*General Plan.*

Low Density Residential (LDR, <4 Dwelling Units per Acre)

*Zoning.*

Existing.

- Residential Estate (RE-12.5): ~41 acres
- Mining & Grazing (M&G): ~8 acres

Proposed.

- Planned Development Traditional Neighborhood (PD-TNZ)
- Neighborhood General (NG) Form-Based Standards

Development Parameters.

- 380 homes (7.7 Dwelling Units/Acre)
- Neighborhood-Scale Mixed Use Center
  - Four or more commercial buildings of up to 10,000 square feet each (40,000 sq ft total) configured for pedestrian-oriented patronage
  - Storefronts along Movie Rock Dr. with internal pedestrian promenade
    - No drive-thrus, no parking lots in building frontages
    - Opposite side of the commercial promenade to be lined with small-scale mixed use buildings (live-work configuration)

## 2. TRADITIONAL NEIGHBORHOOD PLAN

### 2.1 Overview.

*Overview of Uses.* This Traditional Neighborhood Plan includes a wide range of residence types: bungalow-style single-family homes; single-family attached homes (duplexes, rowhouses); paseo cottages; and small-scale multifamily homes. Accessory commercial building forms (live-work micro-commercial arrangements) will also be permitted. Larger buildings, more intense uses, and a carefully designed street cross-section will activate the Movie Rock Drive frontage.



*Essential Characteristics.* A mixed-use neighborhood center; diverse residence types including modest multifamily and small-scale mixed-use buildings; a balance between public and private spaces; an elevated pedestrian experience by way of a compact street grid, thoughtfully curated landscaping, and welcoming private frontages.

*Yard Dispositions.* Edge Yards; Side Yards; Rear Yards. Generally shallow front and side setbacks or zero-lot line configurations. *See Yard Dispositions section for detail.*

*Frontage Types.* Common Yard; Porch Yard; Terrace or Lightwell; Forecourt; Stoop; Shopfront. *See Private Frontages section for detail.*

*Building Height.* 1-3 stories, excluding attics or raised basements. Up to four stories permitted along Movie Rock Drive. Stories may not exceed 10 feet in height from finished floor to finished ceiling, except where the first floor is a commercial function.

*Civic Spaces & Other Define Open Spaces.* To be owned and maintained by a private home owners association unless accepted as public facilities by the City. City ordinance requires 5% of the project to be qualifying Civic Space. Rusty Cliffs South will provide 5.5% Civic Space (2.7 acres), as follows: Square at 1.2 acres; Green at 1.1 acres; Pocket Park (w/ Playground) at 0.4 acres.

## 2.2 BUILDING FORMS AND STANDARDS SUMMARY TABLE

<b>1</b>	<b>BUILDING FORMS</b>					
	Single Family House					
	Accessory Dwelling Unit (Internal, Attached, or Detached)					
	Duplex or Triplex (Side-by-Side or Stacked)					
	Town/Row House					
	Paseo (Attached or Detached)					
	Small-Scale Mixed-Use <sup>^1</sup>					
	Small-Scale Multifamily	Up to 12 DU/12,000 sq ft				
	Neighborhood Commercial	No drive-thrus, no buildings >10,000 sq ft				
		Limited to designated site and 40,000 total sq ft				
<b>2</b>	<b>PERMITTED USES <sup>^2</sup></b>					
	See: St. George Code 10-7H-6 (as amended) Neighborhood General (NG) Allowed Use Table.					
	<i>Short Term Rental is an explicitly prohibited use in the Rusty Cliffs South Neighborhood.</i>					
<b>3</b>	<b>MAX. BUILDING HEIGHT <sup>^3</sup></b>					
	Main Building	3 stories/40'				
	Accessory Structures	2 stories/25'				
	Buildings Fronting Movie Rock Dr.	4 stories/45'				
<b>4</b>	<b>SETBACKS ETC.</b>					
	See table below					
<b>5</b>	<b>YARD DISPOSITIONS</b>					
	Edge Yard, Side Yard, Rear Yard					
<b>6</b>	<b>PRIVATE FRONTAGES</b>					
	Common Yard, Porch Yard, Dooryard, Forecourt, Stoop, Shopfront					
<b>7</b>	<b>CIVIC SPACES</b>					
	Square, Green, & Playground					

<sup>^1</sup> Includes Accessory Commercial Units (<1,000 sq ft) such as Micro-Commercial or Live-Work uses.

<sup>^2</sup> Where they differ, the modifications to standard City use regulations made by this master plan document control.

<sup>^3</sup> Stories may not exceed 10' from finished floor to finished ceiling, except where the first floor is a commercial function.

### Setbacks, Widths and Typical Size for "Rusty Cliffs South" Residential Lots

	12-Plex Flat	3-Story Townhome	2-Story Townhome	2-Story Duplex	Detached-Narrow	Detached-Wide	Live-Work
Front Setbacks	10' Minimum	10' Minimum	10' Minimum	10' Minimum	10' Min / 15' Max	10' Min / 15' Max	0' Minimum <sup>^</sup>
Alley Setbacks	5' Minimum	5' Minimum	5' Minimum	5' Minimum	5' Minimum	5' Minimum	5' Minimum
Side Setbacks	15' Minimum	15' Minimum	10' Minimum	5' Minimum	5' Minimum*	5' Minimum*	15' Minimum
Minimum Pad/Lot Width	N/A	18'	22.5'	23.5'	32.5'	40'	25'
Typical Pad/Lot Size	4,000 sq ft	1,170 sq ft	1,350 sq ft	2,233 sq ft	3,413 sq ft	4,200 sq ft	1,500 sq ft

\*10-Foot Building Separation for Zero-lot Homes

<sup>^</sup> All Live-Work units front pedestrian promenade

## 2.3 Architecture.

### 2.3.1 Precedent Images.



*Single Family Detached House.*



*Single Family Detached House.*



*Single Family Attached House.*



*Small-Scale Multifamily.*



*Neighborhood-Scale Commercial Corner.*



*Neighborhood Center, Mixed-Use Promenade.*



*Frontage Cross-Section, Movie Rock Dr.*

### *2.3.2 Architectural Guidelines.*

*Review Process.* Architecture shall consist of southwestern vernacular colors and styles. All construction shall comply with the Architectural Guidelines enumerated below and shall be subject to the review of an Architectural Review Committee established by the developer. The design of the commercial storefronts along Movie Rock Dr. and buildings programmed to be taller than two stories shall require approval by the City and amendment of the PD prior to their construction (see *Exhibit 4.6*).

*Guideline A: Architectural Coherence.* A building greater than one story should clearly express each floor of the structure through belt courses, cornice lines, or similar architectural detailing. All building materials shall be high quality, such as brick, stone, stucco, cement clapboard siding, or comparable materials.

*Guideline B: Compatibility of Scale.* A commercial or mixed-use building must be integrated into its residential setting through scale and appearance. Generally, similar building forms should face across streets with transitions to dissimilar building forms made at rear lot lines or across alleys.

*Guideline C: Architectural Variety.* To promote visual interest, the design guidelines adopted by the community's Architectural Review Committee shall require that no two identical single family homes be constructed side by side or directly across the street from one another. More generally, builders shall be encouraged to deliver a cohesive variety of styles, roof forms, materials, and color palettes.

*Guideline D: Human-Oriented Scale & Design.* A building's main entrance shall face a public street or common green or plaza and be clearly identifiable through the use of architectural detailing. Windows and doors on the front façade of a building should create lines of sight between the building and the street. Doorways, windows, and other openings in the façade should be proportioned to reflect pedestrian scale and movement, and to encourage interest at the street level. Buildings should incorporate the façade indicated by their Private Frontage type. Long, uninterrupted walls or roof planes are prohibited.

*Guideline E: Streetscape Elements.* Street lighting and permanent signage shall comply with St. George City Code and Standards, unless otherwise approved. Wall, awning and hanging signs are encouraged in commercial contexts. A small-scale mixed-use or live-work dwelling may have one permanent wall or hanging sign. Such a sign may not exceed six square feet (6 sq ft) and must be consistent with the design of the main structure. Illuminated signs are permitted only for buildings fronting Movie Rock Drive. Street trees are required, and shall generally be placed in planter strips at intervals of no more than thirty feet (30') unless utility placement or other

conditions dictate alternative spacing.

*Guideline F: Walls and Fencing.* Block privacy walls no taller than six feet four inches (6'4") are permitted in the rear and side yard areas of buildings. Side yard privacy walls should terminate at least twenty feet (20') behind the main building façade. A low decorative fence or retaining wall/planter may be placed at or within the frontage line to set a spatial boundary with the street and/or create an elevated porch (see *Figure 1 below*). Such a fence or wall shall not exceed thirty-six inches (36") in height and masonry blocks or other solid material are permitted in this context only where serving as a retaining wall.



*Figure 1. A low retaining wall in the frontage may be used to create an elevated entry and a spatial boundary with the public right-of-way.*

*Guideline G: Accessory Structures, including Detached Garages and Carriage Houses (accessory dwelling unit atop garage).*

1. Accessory structures fully contained within the rear yard may have zero (0') setbacks from the side and rear property line. No roof shall project beyond the property line and stormwater runoff from the building shall not run onto an adjacent property.
2. Main dwelling and accessory buildings must be separated a minimum of six feet (6').
3. Accessory structures larger than 200 square feet must be of the same design, material, color, and quality as the main dwelling.
4. Accessory structures other than Carriage Houses and detached garages are limited to twenty-five percent (25%) rear yard coverage. Carriage Houses are limited to the square footage of the garage over which they are built.
5. Accessory structures, including Detached Accessory Dwelling Units other than Carriage Houses, are limited to one (1) story and an overall height of fifteen feet (15'). Carriage Houses are limited to one (1) story above the garage (two stories total) and an overall height of twenty five feet (25').

Any accessory building placed over a utility easement shall require written approval from the

joint utility committee.

*Guideline H: Zero Lot Single-Family Detached Homes (this section is not applicable to duplexes sharing a party wall at the zero lot line).*

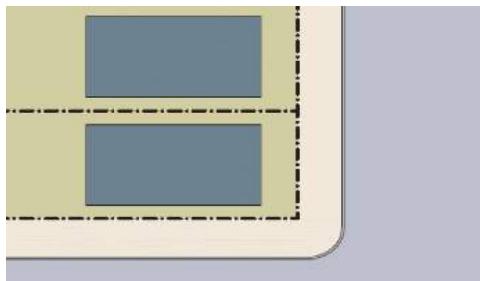
1. Subject to all applicable building code regulations, a single-family home may be placed on one (1) interior side property line (a zero setback). The minimum setback from the other side property line shall be ten feet (10').
2. The plat shall clearly depict and describe the zero lot lines and related easements.

A perpetual maintenance, eave overhang, and drainage easement at least eight feet (8') wide shall be provided on the lot adjacent to the zero lot-line property line. The easement shall be shown on the plat and recorded on the properties. The residential wall abutting the zero lot-line shall be maintained in its original color and treatment unless the adjacent property owner expressly consents otherwise. Eaves, but no other part of any structure, may protrude across a zero lot-line, and such eave protrusion shall not exceed eighteen inches (18"). Notwithstanding the required drainage easement, rain gutters must direct runoff from the dwelling away from the adjacent lot.

*Guideline I: Landscape Standards.* All landscaping must comply with St. George City Code Title 10 Chapter 25, and commercial forms must comply with Section 10-25-4, as amended, unless otherwise approved.

## 2.4 Yard Dispositions.

### *Edge Yard.*



Specific housing types: single-family house, cottage.

Description: building occupies the interior of its lot with setbacks on all sides. This is the least urban yard type as the front yard sets it back from the frontage, while the side yards weaken the spatial definition of the public thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by walls/fences and/or a garage/outbuilding.

### *Side Yard.*



Specific housing types: cottage, zero-lot-line house (including Charleston-style single-house), duplex, twin.

Description: Building occupies one side of the lot with the setback to the other side. A zero or shallow front setback defines a more urban condition. If the adjacent building is similarly placed, with a blank side wall, the side yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. A side yard house may abut a neighboring side yard house to create a duplex or twin house. Energy costs, and sometimes noise, are reduced by sharing a party wall in this disposition.

### *Rear Yard.*



Specific building types: townhouse, rowhouse, live-work unit, flats (apartment or condo), mixed use block, perimeter block.

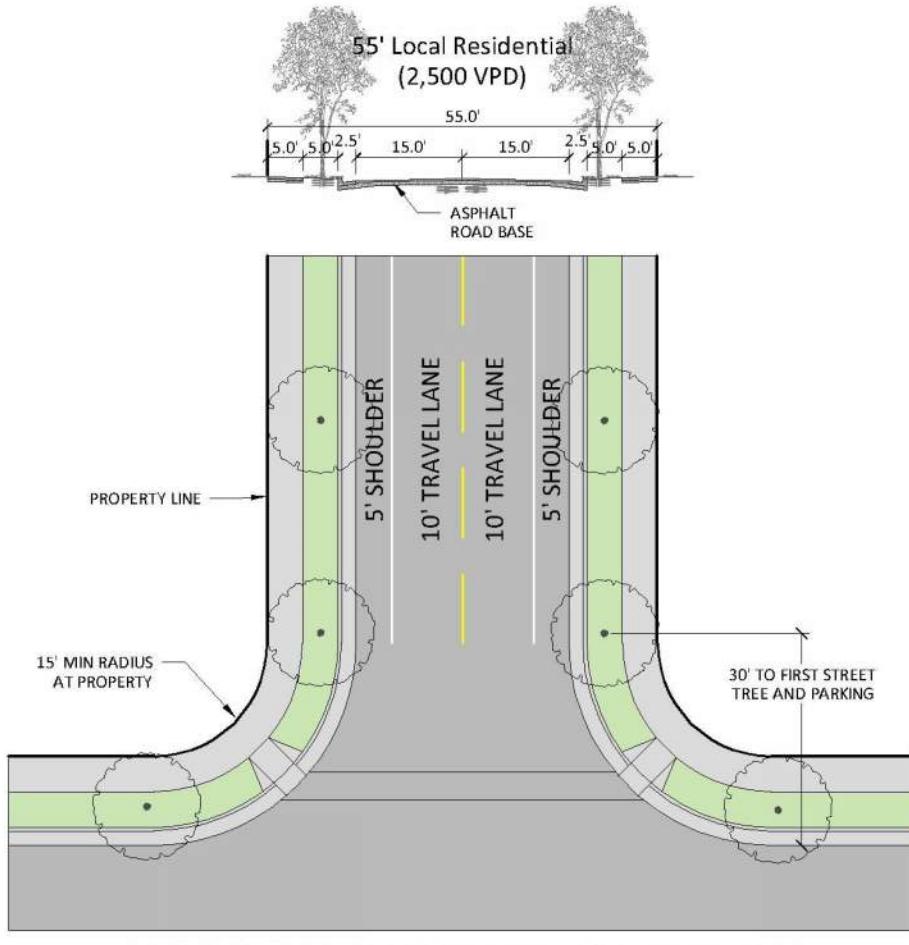
Description: Building occupies the full frontage, leaving the rear of the lot as the sole yard. This is a more urban type as the continuous façade steadily defines the public thoroughfare. Rear building elevations may be articulated for functional purposes. In its residential form, this type is the rowhouse. In a commercial context, the rear yard can accommodate substantial parking.

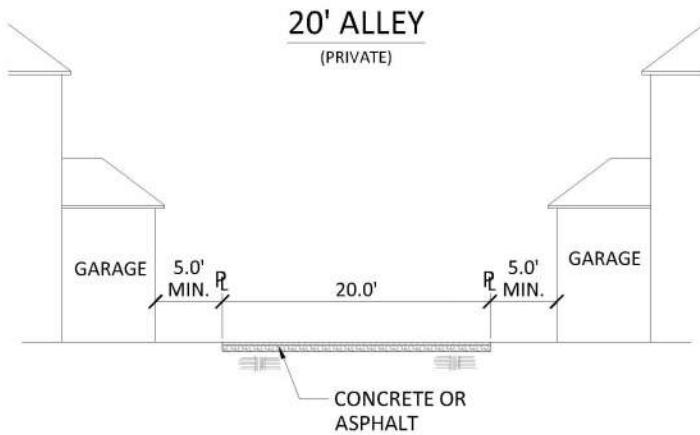
## 2.5 Private Frontages.

	SECTION		PLAN	
	LOT ►	◀ R.O.W.	LOT ►	◀ R.O.W.
	PRIVATE ►	◀ PUBLIC	PRIVATE ►	◀ PUBLIC
	FRONTAGE	FRONTAGE	FRONTAGE	FRONTAGE
A. <b>Common Yard.</b> A planted frontage wherein the façade is set back from the frontage line. The setback will be shallower in a traditional neighborhood than in typical suburban contexts.				
B. <b>Porch Yard.</b> A planted frontage wherein the façade is set back from the frontage line with an elevated porch permitted. A low fence may be placed at the frontage line for public-private spatial definition.				
C. <b>Terrace or Lightwell.</b> A frontage wherein the façade is set back back from the frontage line by an elevated terrace or sunken lightwell. This frontage type provides privacy from the public sidewalk despite negligible setback. Terraces are also suitable for outdoor cafe use.				
D. <b>Forecourt.</b> A frontage wherein part of the façade is close to the frontage line and the central portion is set back.				
E. <b>Stoop.</b> A frontage wherein the façade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to ensure privacy for residents. The entrance is usually an exterior stair and landing.				
F. <b>Shopfront.</b> A frontage wherein the façade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use with substantial glazing at sidewalk level. An awning may overhang the sidewalk.				

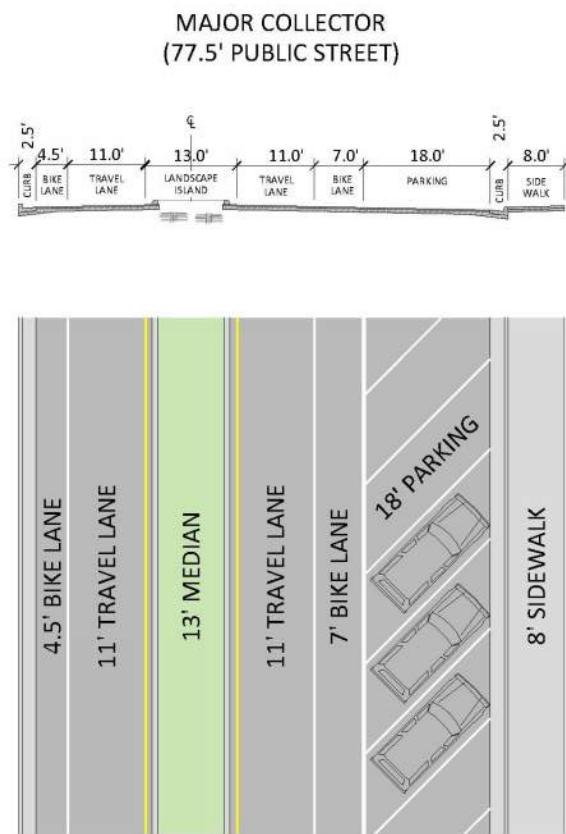
## 2.6 Street Designs

*Typical Residential Cross-Sections.*





*Collector Street Cross-Section (Movie Rock Drive).*



**77.5' COLLECTOR STREET**

## 2.7 Parking Standards.

*Discussion.* The *Rusty Cliffs South* traditional neighborhood has several unique characteristics worth noting for their effects on car use in general and parking in particular.

1. The compact, highly walkable nature of the neighborhood means that almost no local trips to the neighborhood's civic and commercial center will be made by car. All neighborhood homes will be within a pleasant 5-minute walk of the neighborhood center. In addition to excellent walkability at the street, midblock pedestrian shortcuts may also be provided (see *Exhibit 4.2*).
2. This part of St. George is relatively disconnected from the rest of the city by significant natural features and public land ownership, which will reduce the volume of visitation to the neighborhood from beyond the Ledges-Trails vicinity.
3. Access to substantially all off-street parking will be via alley, which eliminates driveway cuts in front of homes. This improves the pedestrian experience and opens up much more space for curbside parking (there will be around 475 on-street parallel parking spaces within the neighborhood). These on-street spaces will provide a plentiful, convenient buffer for any parking overflow from off-street spaces. Indeed, though we have programmed ample off-street parking, cars parked curbside will be welcomed as a traffic calming element and barrier between sidewalk and street.
4. The diagonal parking programmed along the Movie Rock Dr. frontage will provide particularly convenient parking for guests and patrons visiting the multifamily flats and commercial promenade.



*Standard A: Placement.* On-street parking is expressly permitted, including diagonal parking on Movie Rock Drive (see *77.5' Collector Street Cross-Section above*). Parking lots are not a permitted frontage, except that commercial, multifamily or mixed use buildings occupying a corner lot may have a parking lot fronting one side of the lot with a berm or screen wall and 10' sidewalk setback. Parking standards found in Title 10 Chapter 19 apply unless modified herein.

*Standard B: Access.* Off-street parking shall be accessed by lane, alley, or driveway. Lane or alley access to off-street parking will predominate. If covered parking is provided within a garage, tandem parking is permitted so long as the garage and tandem parking spaces are associated with the same unit.



*Standard C: Alley garages and uncovered parking spaces.*

Garages accessed from an alley must be set back a minimum of five feet (5') from the edge of the alley. Uncovered parking spaces in parking lots or driveways must be a minimum of nine by eighteen feet (9'X18') in order to count toward the satisfaction of off-street parking requirements.

*Standard D: Front- or side-loading garages.* No front- or side-loading garages are programmed.

*Standard E: Minimum required spaces.*

1. Single Family Residential. 2 spaces per home, at least one of which must be covered.
2. Multifamily Residential.
  - a. Studio or 1 bedroom: 1 space. 2 bedrooms: 1.5 spaces. 3+ bedrooms: 2 spaces.
  - b. Guest Parking. Parking for the multifamily flats along Movie Rock Dr. shall incorporate at least one guest parking space per five (5) dwelling units.
  - c. Short Term Rental (STR). STRs are not a permitted use in the *Rusty Cliffs South* neighborhood.
3. Commercial: 1.0 space per 325 sq ft. The diagonal on-street parking located along the Movie Rock Drive frontage may be counted toward the satisfaction of this requirement.

### 3. PROJECT-WIDE SIGNAGE, LIGHTING, & LANDSCAPING

Specific plans shall be provided for any signage, lighting or landscaping elements that deviate from typical City specifications. (See code sections for [signage](#), [lighting](#), and [landscaping](#).)

Project lighting will balance safety with the preservation of the night sky. Outdoor lighting associated with individual homes will comply with City standards and may be further regulated by the homeowners' association.



Landscaping will be sensitive to native desert ecology through plant choice and irrigation design. We anticipate that *Rusty Cliffs South* will be one of the first St. George neighborhoods to implement the Ultra Water Efficient standards of the Washington County Water Conservancy District. See Exhibit 4.7 for the proposed landscaping and street tree plan.

## 4.1 LAND USE PLAN



### NG - MINIMUM MIX FORMS

#### SINGLE FAMILY DATA

TOTAL UNITS: 380 UNITS  
SINGLE FAMILY UNITS: 204 UNITS (54%)

#### ATTACHED DATA

TOTAL ATTACHED UNITS: 176 UNITS  
TRIPLEX UNITS: 24 UNITS (14%)  
DUPLEX UNITS: 32 UNITS (18%)  
PASEO UNITS: 16 UNITS (9%)

#### LEGEND:

12-PLEX FLATS 3 STORY	72 UNITS	19%
18' x 65' 3-STORY TRIPLEX	24 UNITS	6%
22.5' x 60' 2-STORY ATTACHED	32 UNITS	8%
23.5' x 95' 2-STORY DUPLEX	32 UNITS	8%
32.5' x 105' DETACHED LOT	140 LOTS	37%
+40' LOT WIDTH	64 LOTS	17%
25' x 60' LIVE WORK	16 UNITS	4%
<b>TOTAL</b>	<b>380</b>	
'TOWN CENTER' COM.	40,000 SQ. FT.	
OFF STREET PARKING	294 STALLS	
ON STREET PARKING	101 STALLS	
PROJECT BOUNDARY	49.3 ACRES	

PROJECT NAME: **RUSTY CLIFFS SOUTH**

LOCATED IN ST. GEORGE, UTAH

LAND USE PLAN

DATE: SEPTEMBER 2025

PM: LB

DRAWN BY: LB

DESIGNED BY: LB

CHECKED BY: JRT

PROJECT NO.:

SCALE: 1" = 100'

SHEET NUMBER:

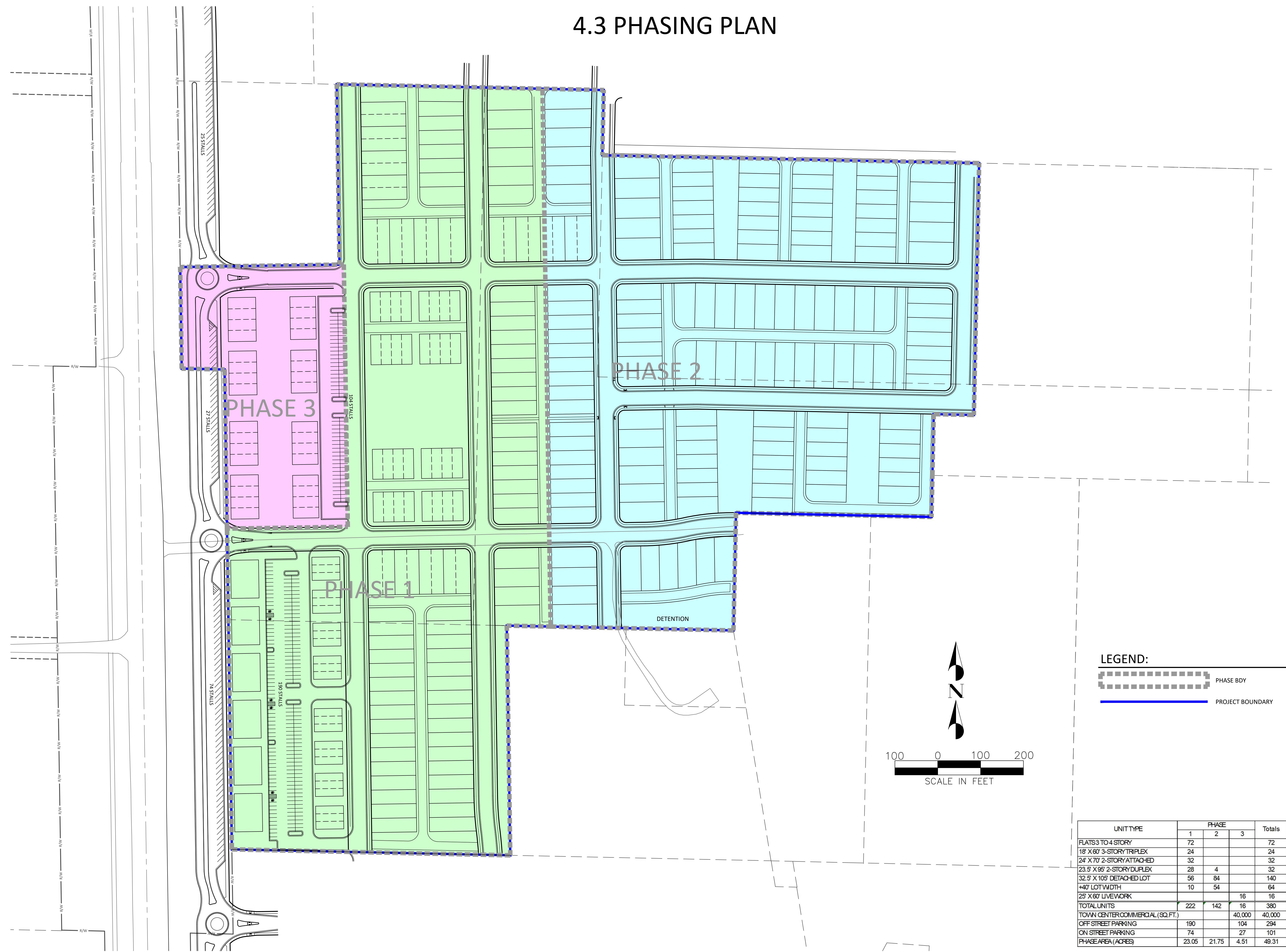
**DG**  
LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS  
113 EAST 200 NORTH SUITE 2  
St. George, UT 84770  
Office (435) 628-2121

DATE: SEPTEMBER 2025  
PM: LB  
DRAWN BY: LB  
DESIGNED BY: LB  
CHECKED BY: JRT  
PROJECT NO.:  
SCALE: 1" = 100'  
SHEET NUMBER:

**LUP-1**  
1 OF 1 TOTAL



### 4.3 PHASING PLAN



PROJECT NAME: **RUSTY CLIFFS SOUTH**

LOCATED IN ST. GEORGE, UTAH

DATE: SEPTEMBER 2025

DATE: **APRD**

DSG ENGINEERING, INC.

LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS

113 EAST 200 NORTH SUITE 2  
St. George, UT 84770  
Office (435) 628-2121

SHEET NAME: **PHASING PLAN**

**DG**

DATE: SEPTEMBER 2025

PM: LB

DRAWN BY: LB

DESIGNED BY: LB

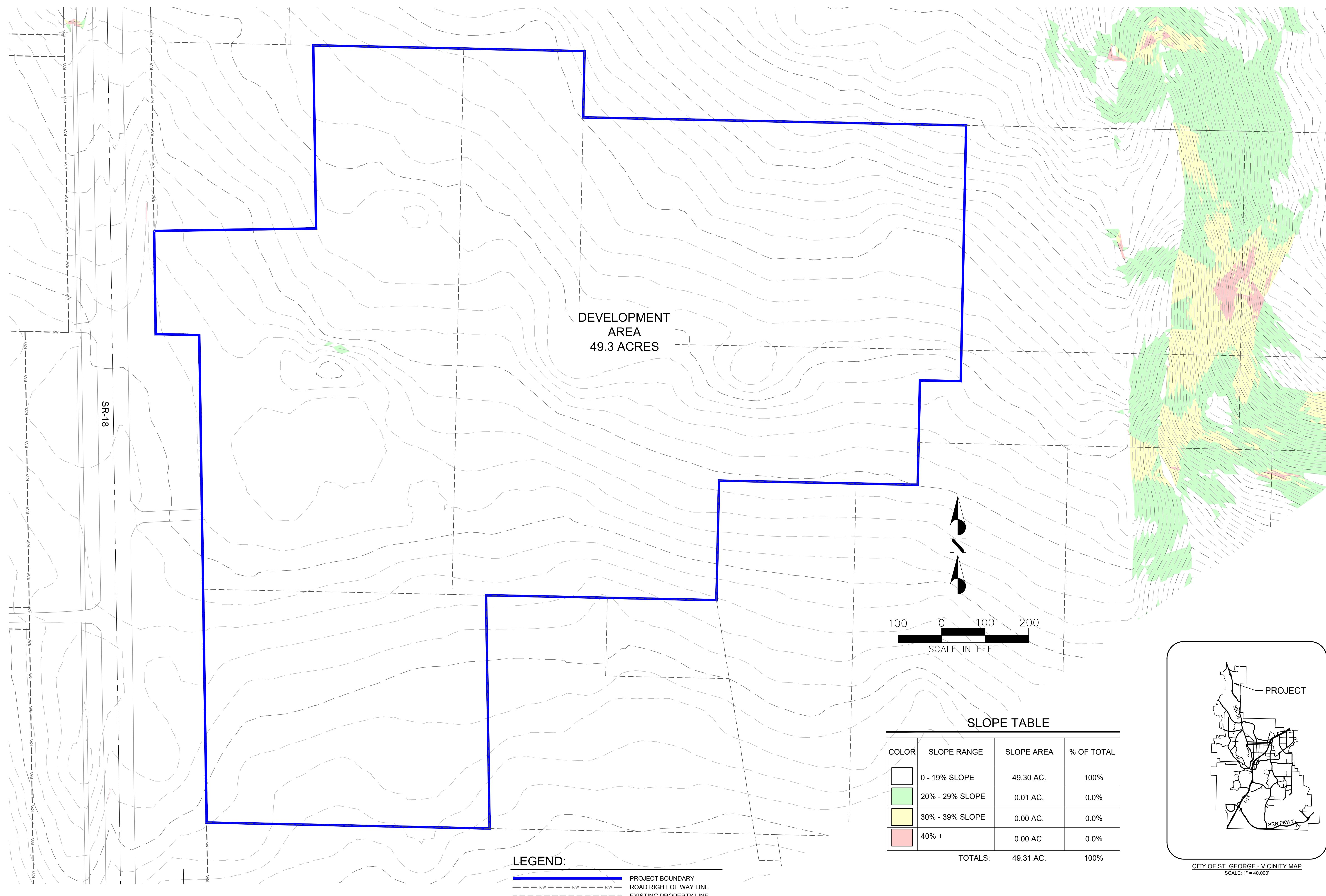
CHECKED BY: JRT

PROJECT NO.: 1" = 100'

1 OF 1 TOTAL

**PHP-1**

## 4.4 SLOPE TABLE & MAP



PROJECT NAME: **RUSTY CLIFFS SOUTH**

ST. GEORGE, UT

SHEET NAME: **SLOPE MAP**

DATE: **SEPTEMBER 2025**

PM: **SY**

DRAWN BY: **LB**

DESIGNED BY: **LB**

CHECKED BY:

PROJECT NO.:

SCALE: **1" = 100'**

SHEET NUMBER:

**DG**

DATE: **SEPTEMBER 2025**

PM: **SY**

DRAWN BY: **LB**

DESIGNED BY: **LB**

CHECKED BY:

PROJECT NO.:

SCALE: **1" = 100'**

SHEET NUMBER:

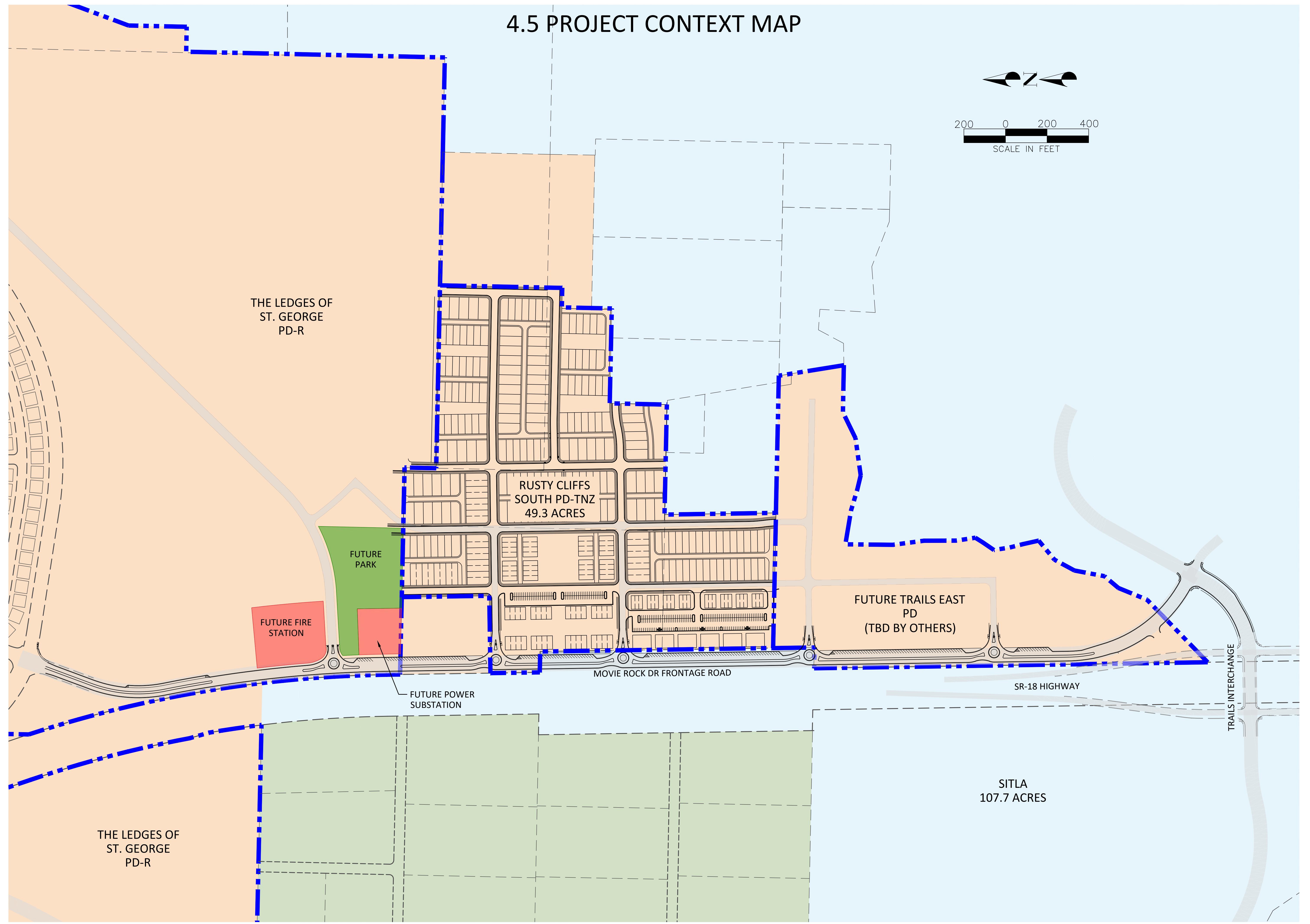
1 OF 1 TOTAL

**SM-1**

CITY OF ST. GEORGE - VICINITY MAP

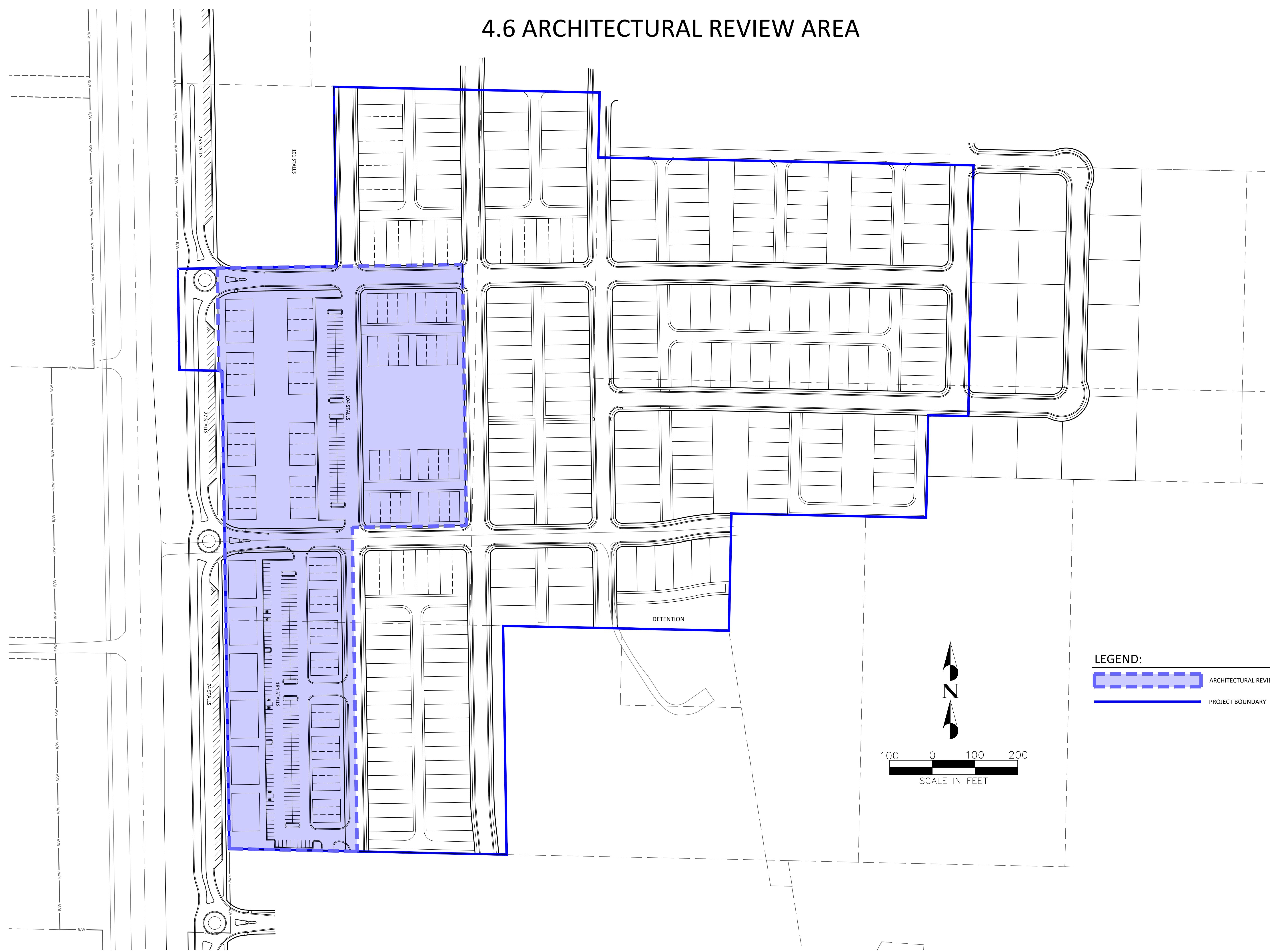
SCALE: 1" = 40,000'

## 4.5 PROJECT CONTEXT MAP



PROJECT NAME: <b>RUSTY CLIFFS SOUTH</b>		NO.	DESCRIPTION	DATE	APRO
LOCATED IN ST GEORGE, UTAH					
<b>CONTEXT MAP</b>					
DSG ENGINEERING, INC. LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS 113 East 200 North Suite #2 St. George, UT 84770 Office (435) 628-2121		<p>PROJECT NO.: 25-005</p> <p>DATE: JULY 2025</p> <p>PM: SY</p> <p>DRAWN BY: LB</p> <p>DESIGNED BY:</p> <p>CHECKED BY:</p> <p>SCALE: 1" = 200'</p> <p> SHEET NUMBER: EX-1</p> <p>1 OF 1 TOTAL</p>			

## 4.6 ARCHITECTURAL REVIEW AREA



### LEGEND:

	ARCHITECTURAL REVIEW AREA
	PROJECT BOUNDARY

PROJECT NAME: **RUSTY CLIFFS SOUTH**

LOCATED IN ST. GEORGE, UTAH

SHEET NAME: **ARCHITECTURAL REVIEW AREA**

DSG ENGINEERING, INC.  
LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS  
113 EAST 200 NORTH SUITE 2  
St. George, UT 84770  
Office (435) 628-2121



DATE : NOVEMBER 2025  
PM : LB  
DRAWN BY : LB  
DESIGNED BY : LB  
CHECKED BY : JRT  
PROJECT NO. :  
SCALE : 1" = 100'  
SHEET NUMBER :

**ARA-1**

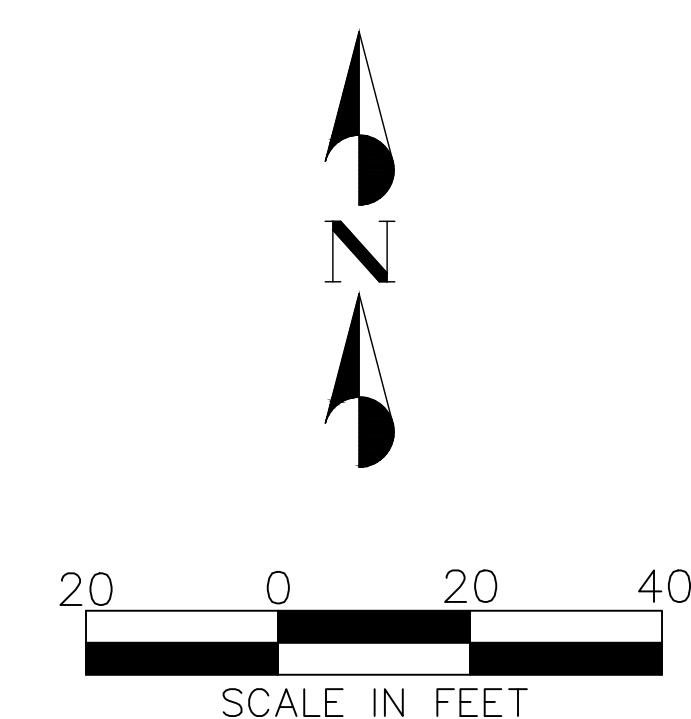
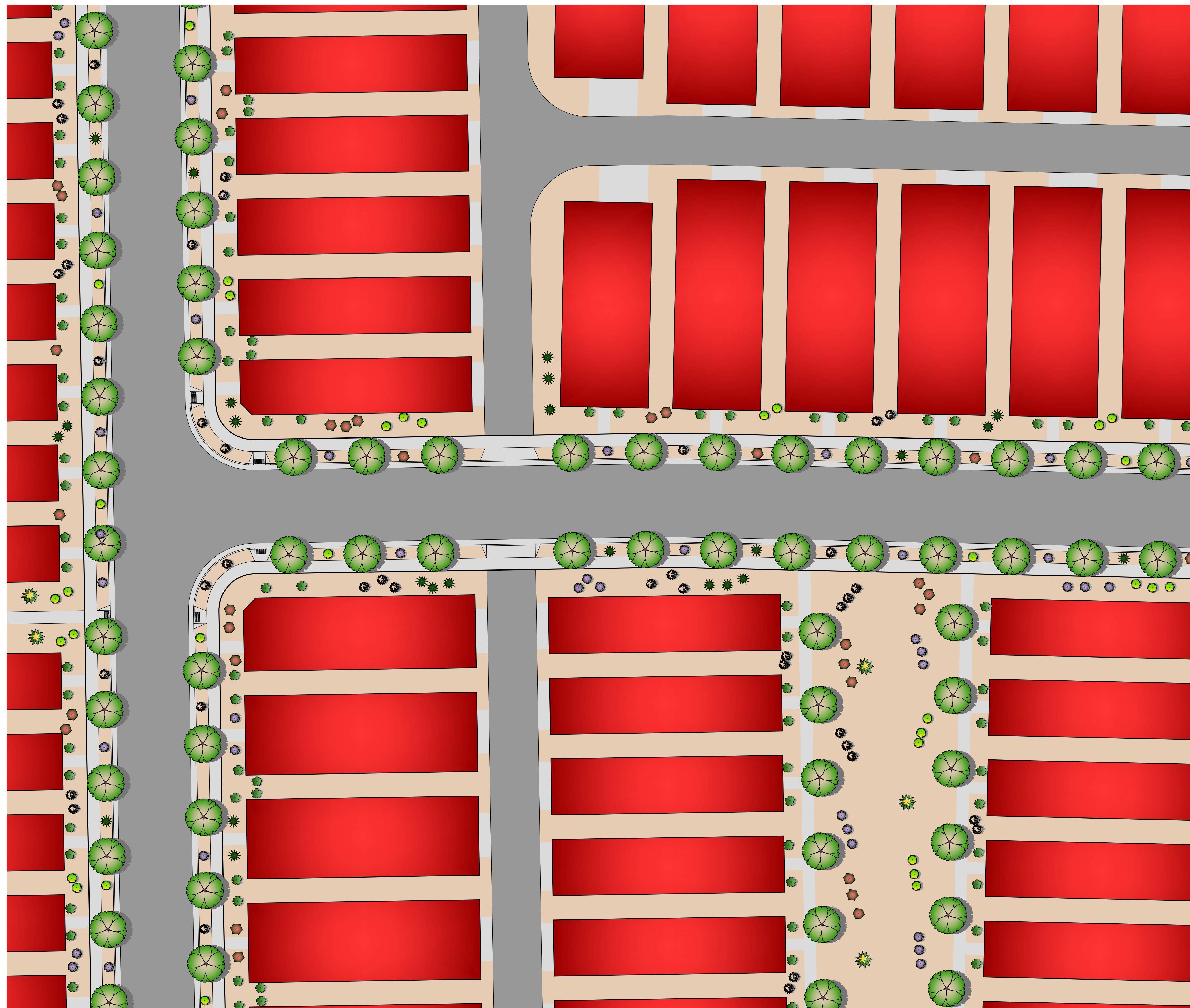
1 OF 1 TOTAL

## 4.7 LANDSCAPE TREE PLANTING PLAN



DATE :	JULY 2025
PM :	SY
DRAWN BY :	LB
DESIGNED BY :	LB
CHECKED BY :	
PROJECT NO.:	
SCALE :	1" = 100'
SHEET NUMBER :	LTP-1
1 OF 1 TOTAL	

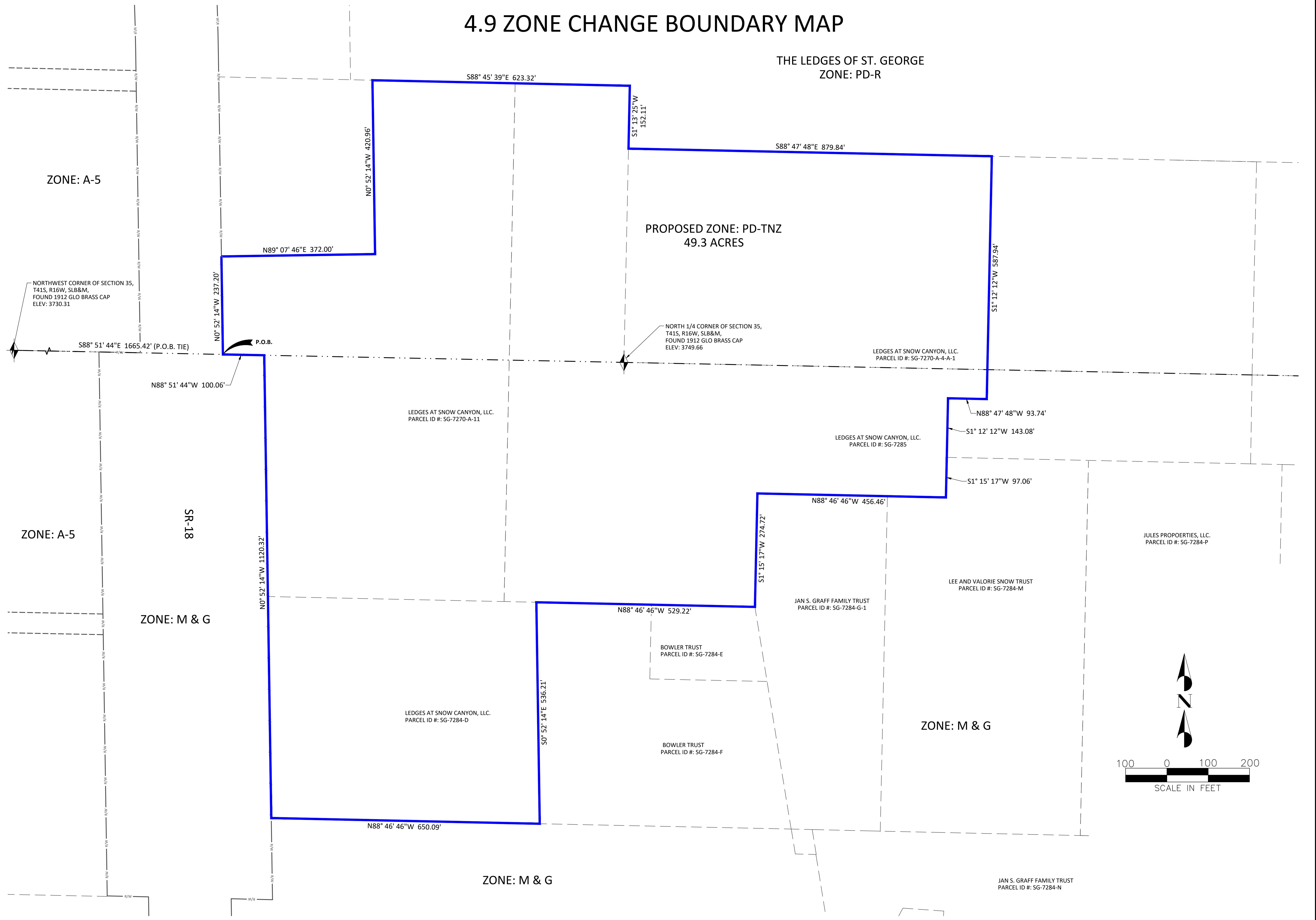
## 4.8 TYPICAL LANDSCAPE PLANTING PLAN



PROJECT NAME:	RUSTY CLIFFS SOUTH		
LOCATION:	LOCATED IN ST. GEORGE, UTAH		
DATE:	JULY 2025	APPROVED:	
PM:	SY	DATE:	
DRAWN BY:	LB	DESIGNED BY:	
DESIGNED BY:	LB	CHECKED BY:	
PROJECT NO.:		SCALE IN FEET:	
SCALE :	1" = 20'	SHEET NUMBER :	
<b>DG</b>			
LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS	113 East 200 North Suite 2 St. George, UT 84770 Office (435) 628-2121	1 OF 1 TOTAL	

# 4.9 ZONE CHANGE BOUNDARY MAP

THE LEDGES OF ST. GEORGE  
ZONE: PD-R

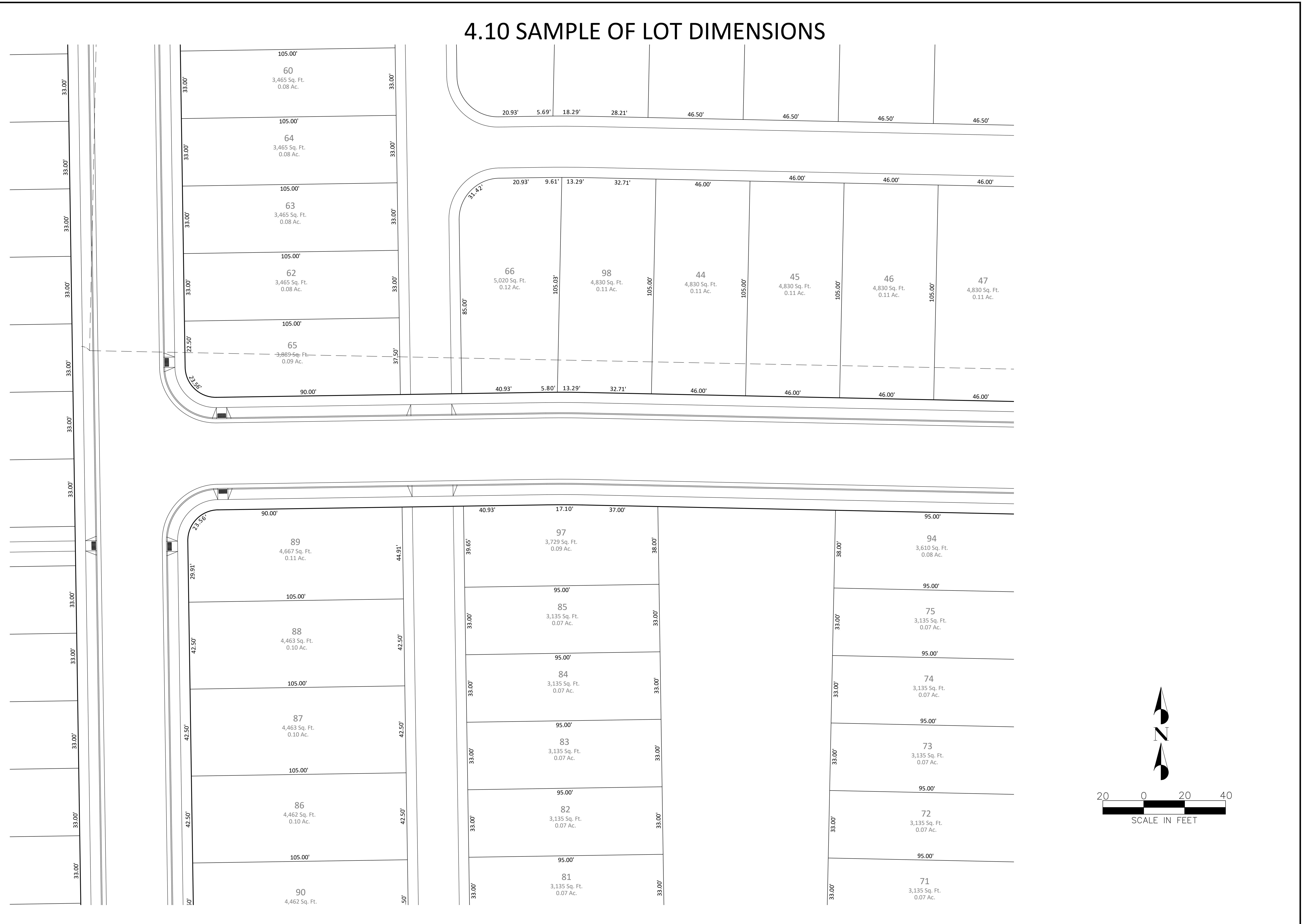


PROJECT NAME:	RUSTY CLIFFS SOUTH	NO.	DESCRIPTION	DATE	APPROD
DSG ENGINEERING, INC.					
LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS					
113 EAST 200 NORTH SUITE 2 St. George, UT 84770 Office (435) 626-2121					

**DG**

DATE : NOVEMBER 2025  
PM : LB  
DRAWN BY : LB  
DESIGNED BY : LB  
CHECKED BY : JRT  
PROJECT NO. :  
SCALE : 1" = 100'  
SHEET NUMBER :  
**ZC-1**  
1 OF 1 TOTAL

## 4.10 SAMPLE OF LOT DIMENSIONS



PROJECT NAME: <b>RUSTY CLIFFS SOUTH</b>	
DATE: NOVEMBER 2025	APPROVED:
PM: LB	DATE:
DRAWN BY: LB	DESIGNED BY: LB
DESIGNED BY: LB	CHECKED BY: JRT
PROJECT NO.:	SCALE: 1" = 20'
SHEET NUMBER: SLD-1	1 OF 1 TOTAL
113 EAST 200 NORTH SUITE 2 St. George, UT 84770 Office (435) 628-2121	

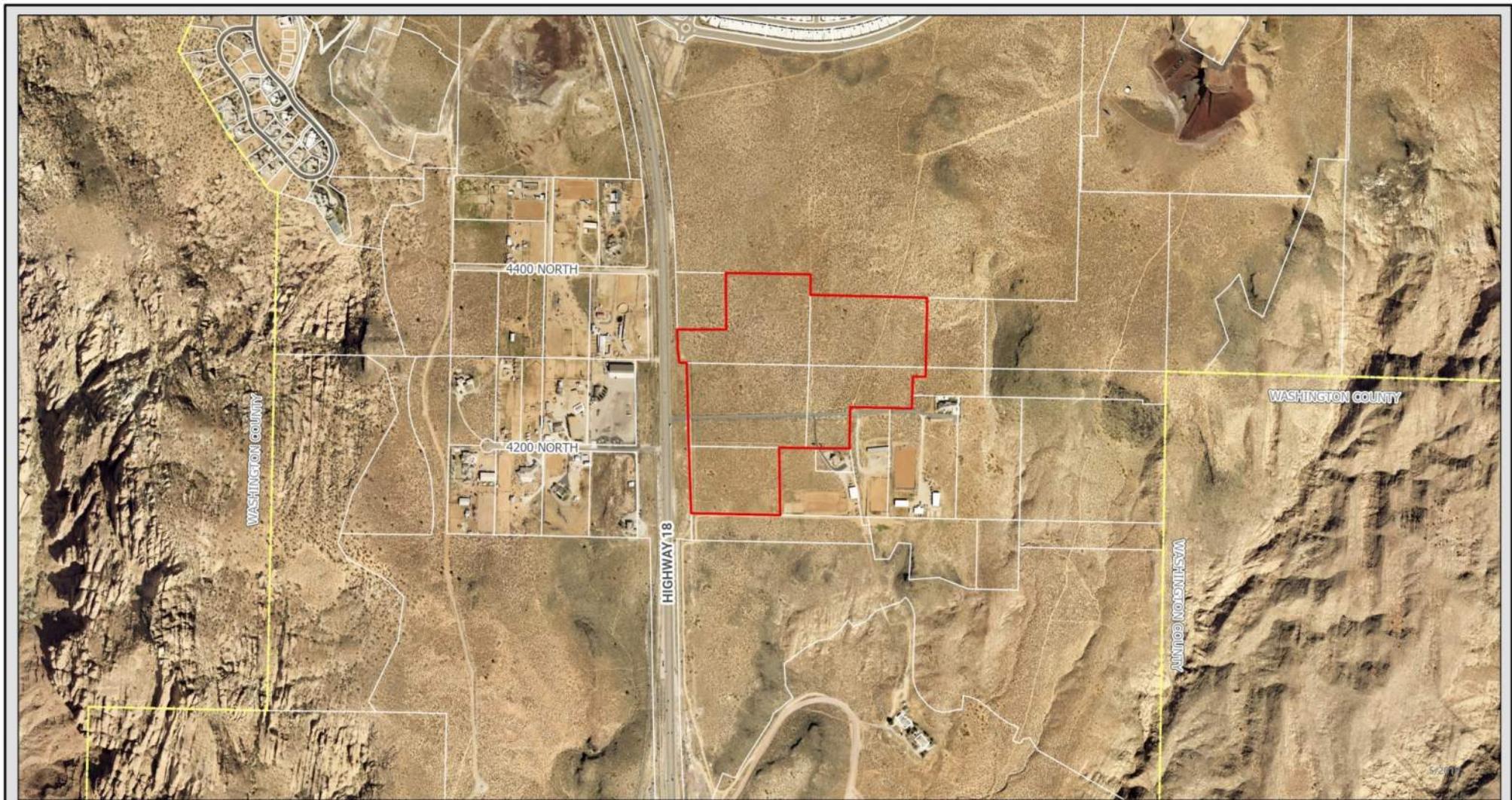
**Exhibit B**  
**PowerPoint Presentation**

# Rusty Cliffs Zoning Map Amendment

2025-ZC-009



# AERIAL MAP

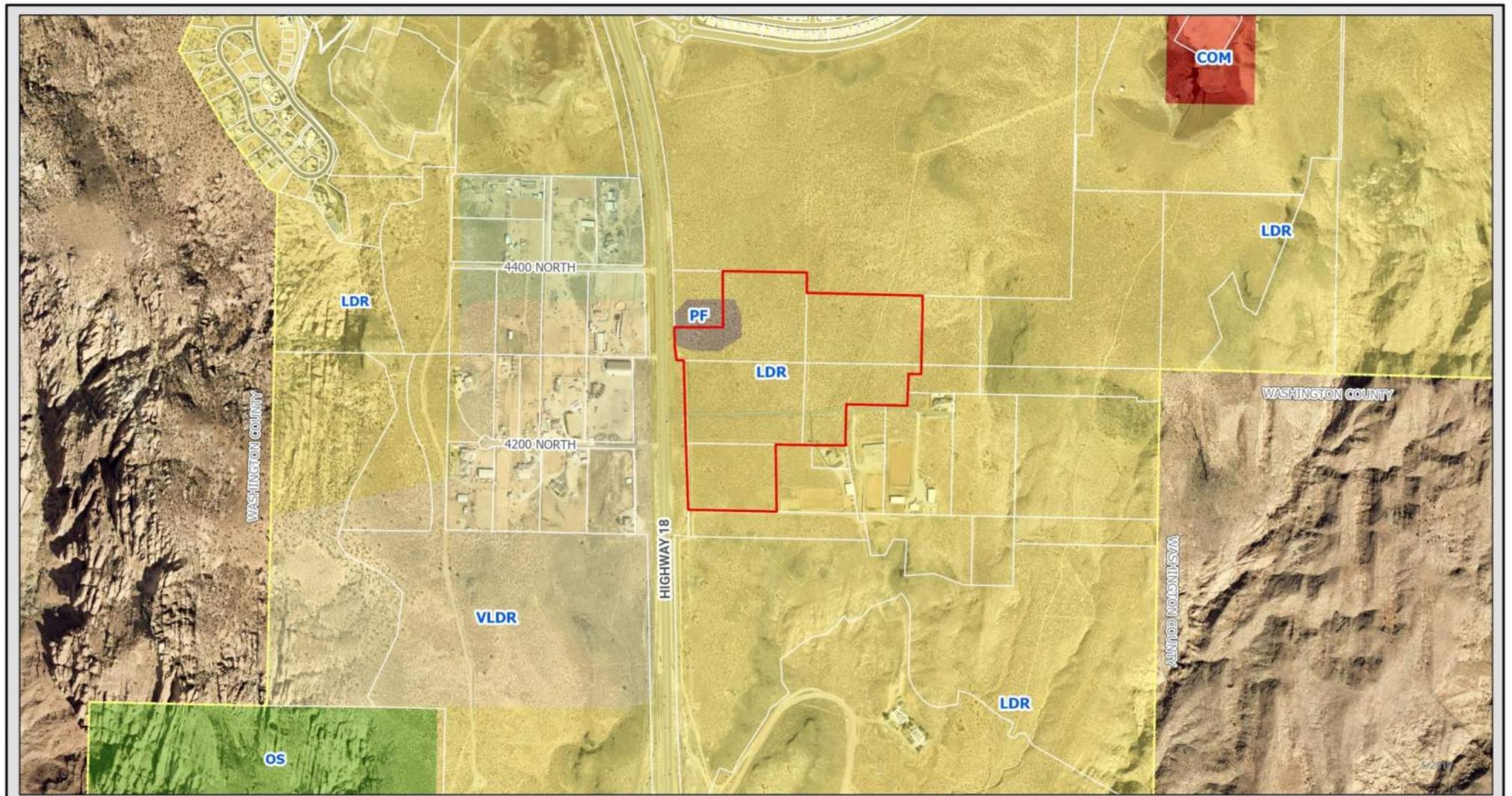


**RUSTY CLIFFS SOUTH**

0 485 970 1,940 2,910 3,880  
Feet



# LAND USE MAP

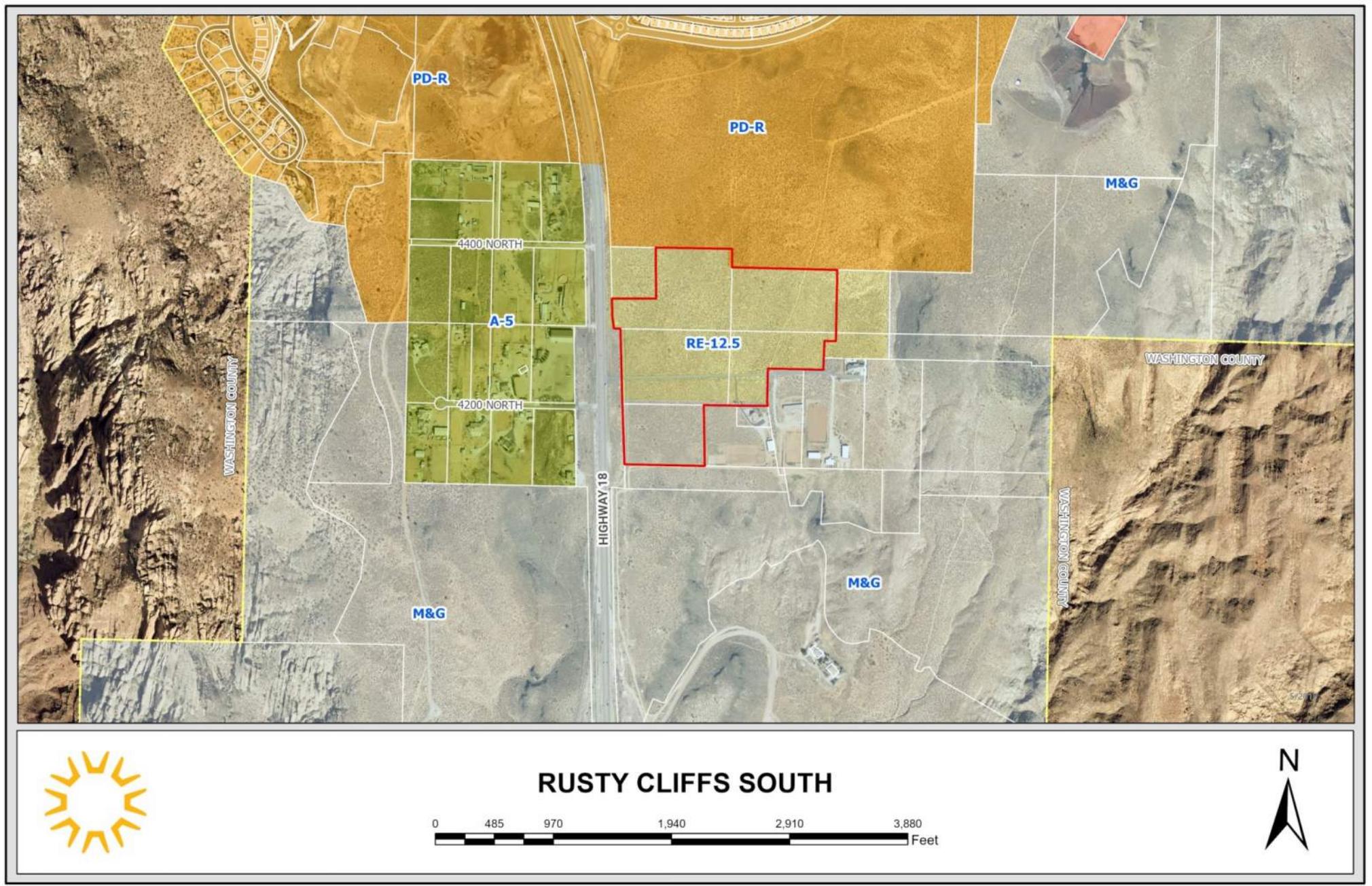


RUSTY CLIFFS SOUTH

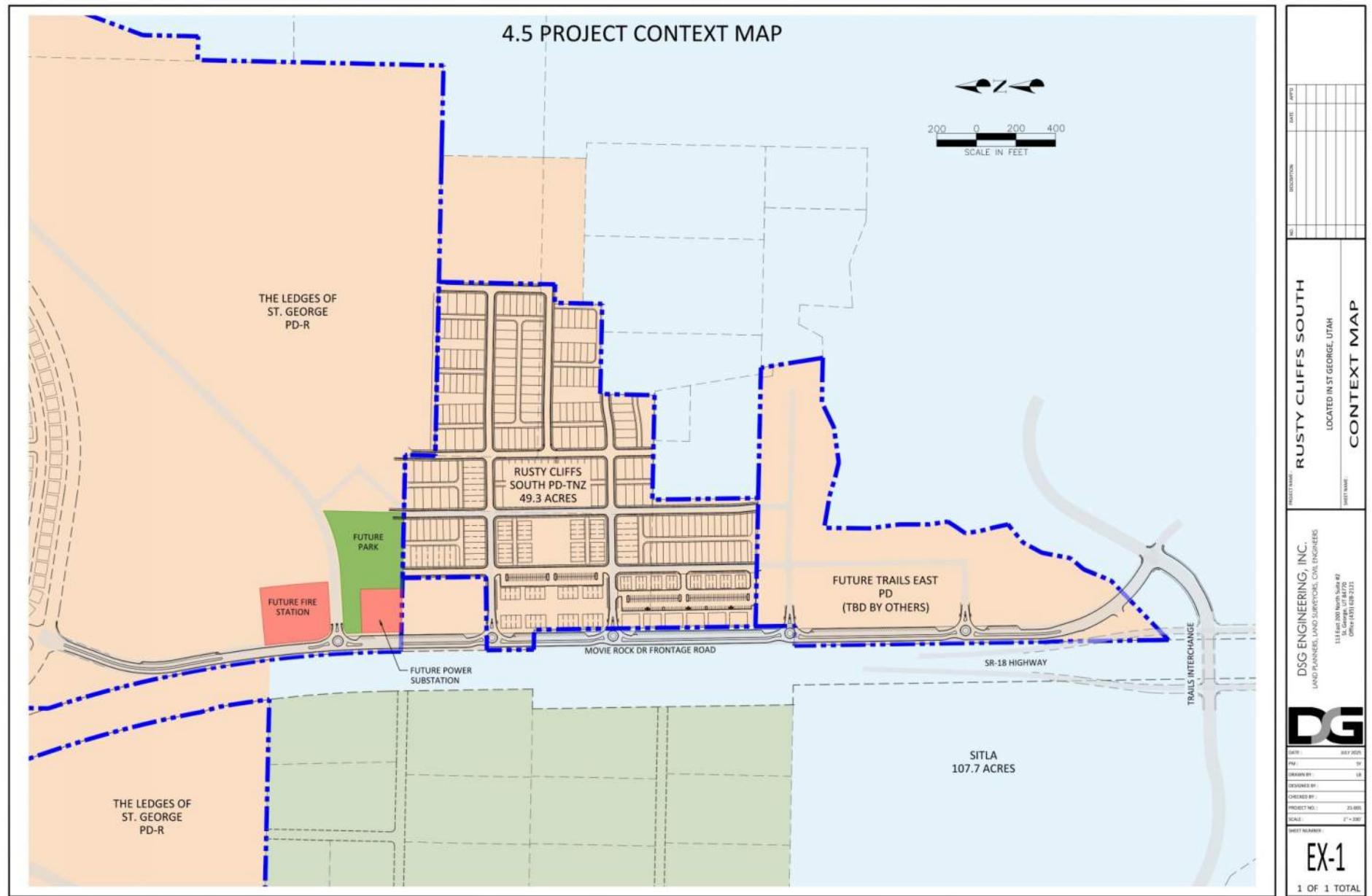
0 485 970 1,940 2,910 3,880  
Feet



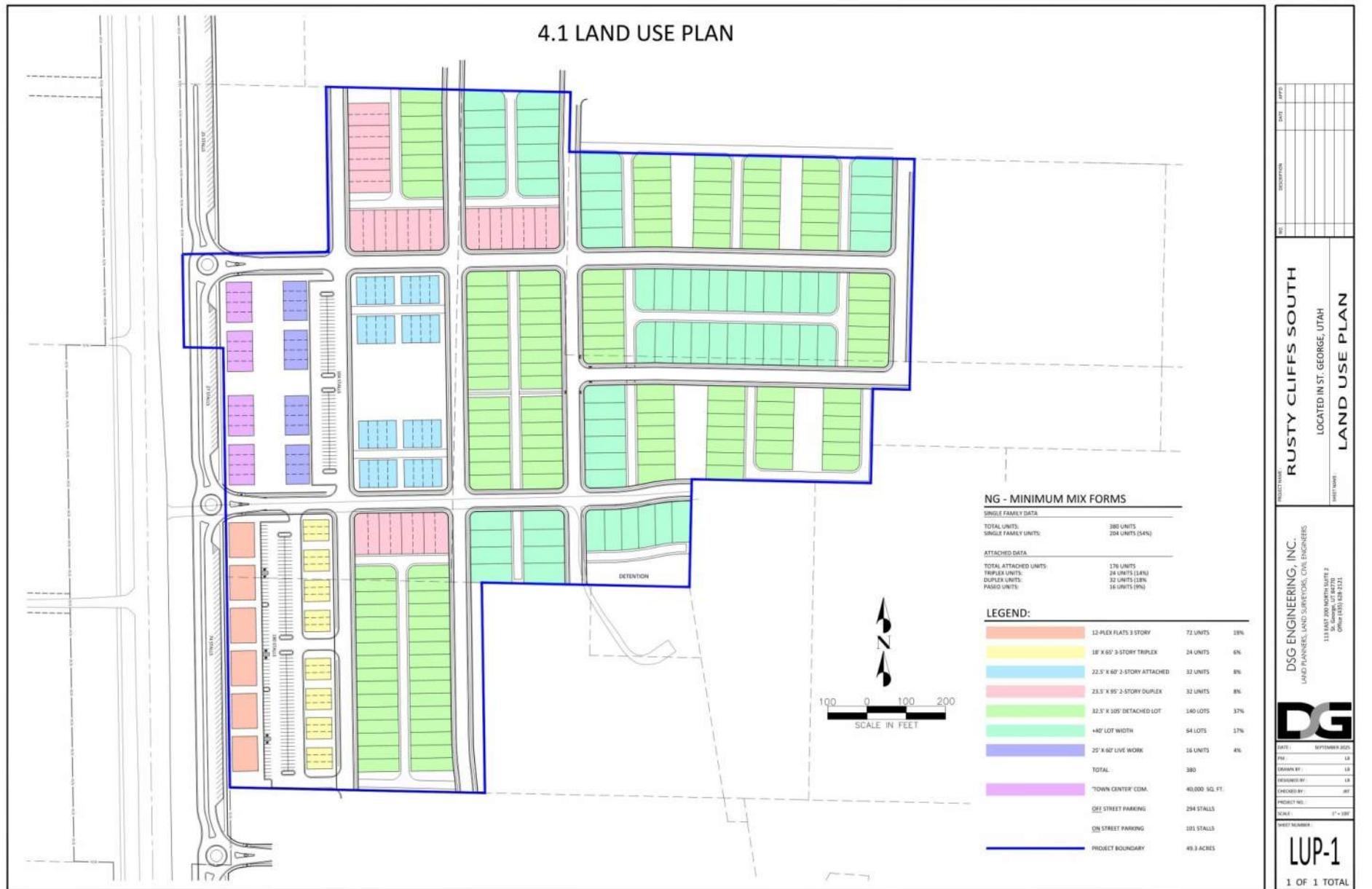
# ZONING MAP



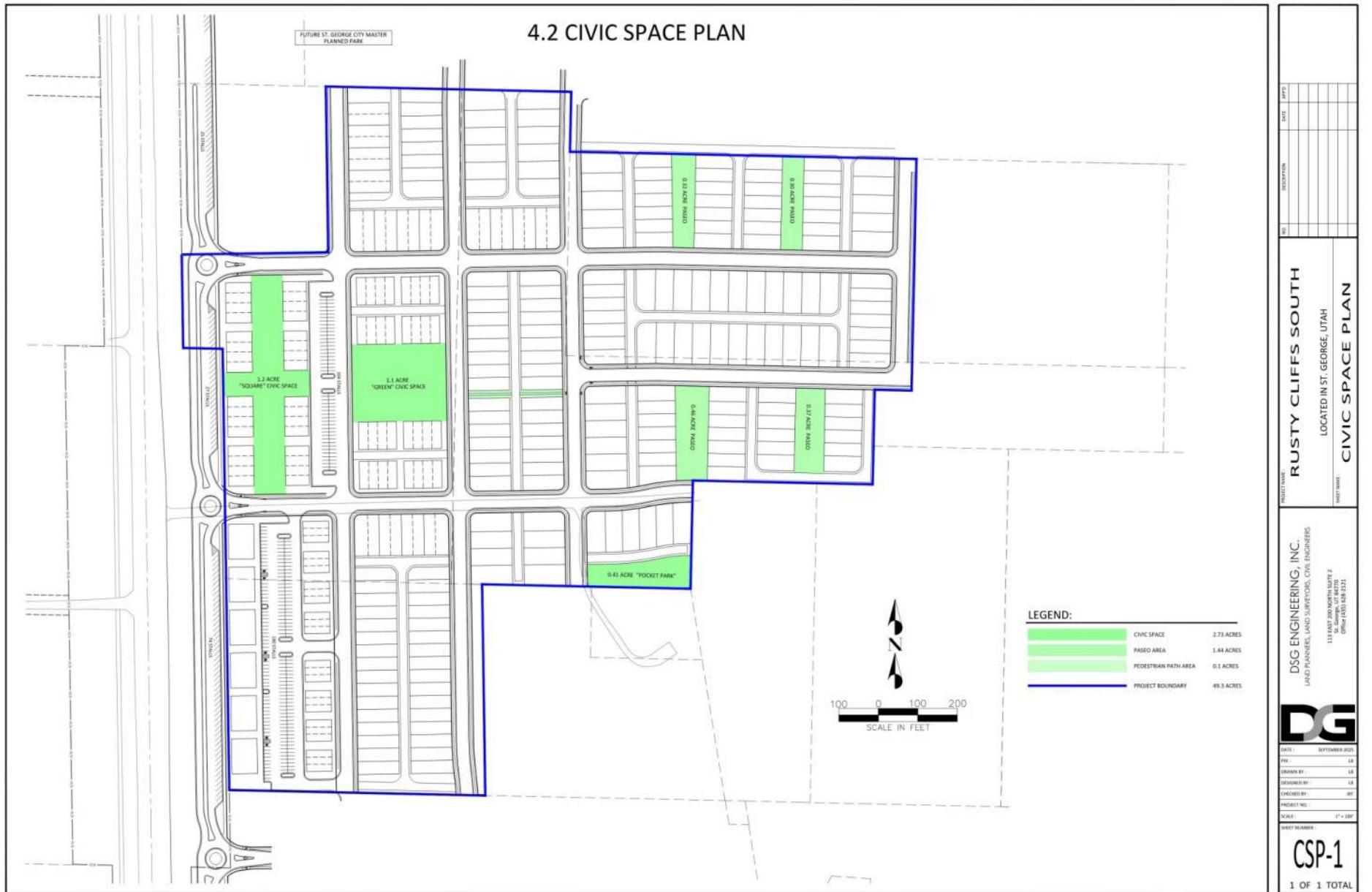
# CONTEXT MAP



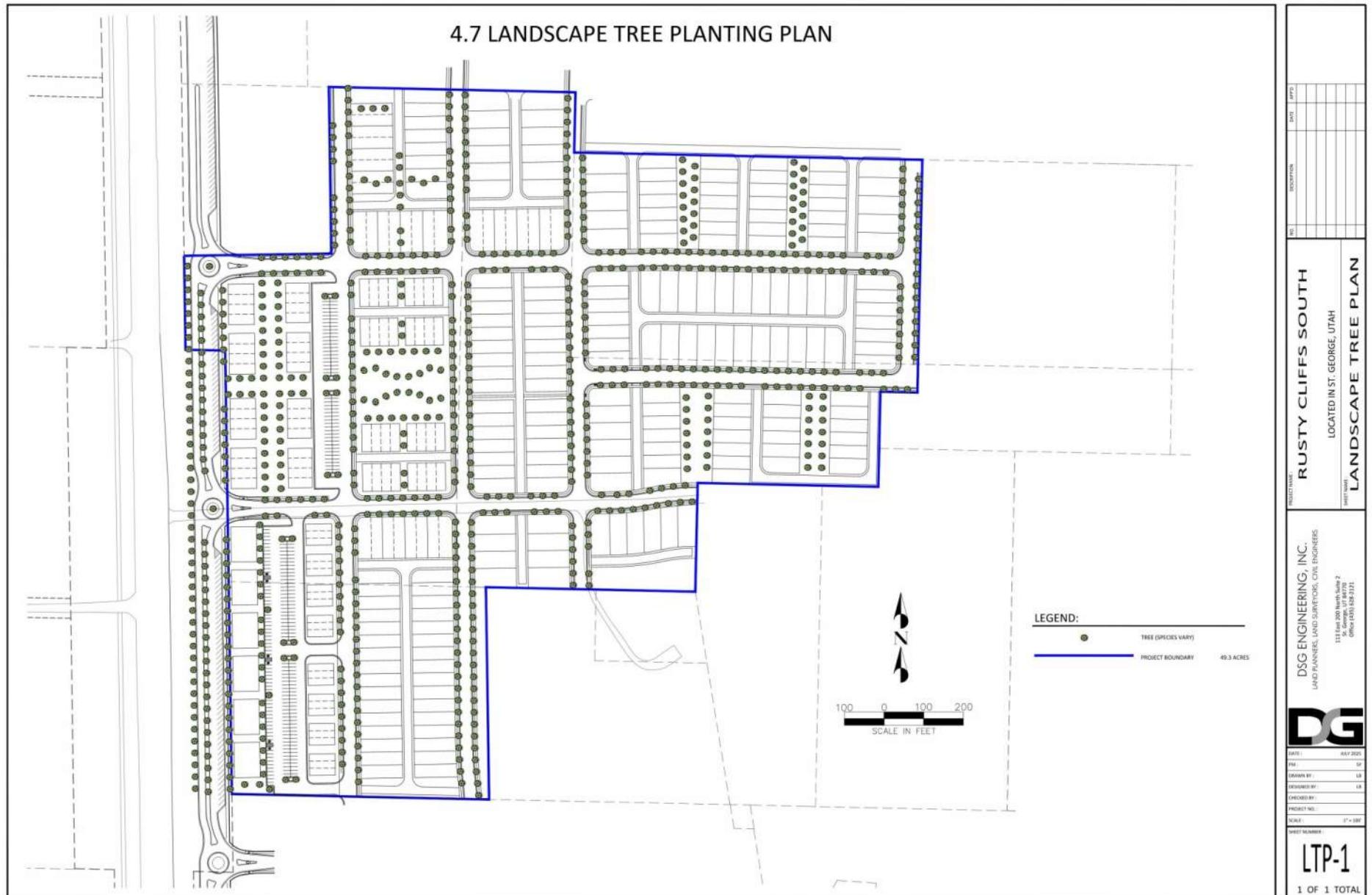
# LAND USE PLAN



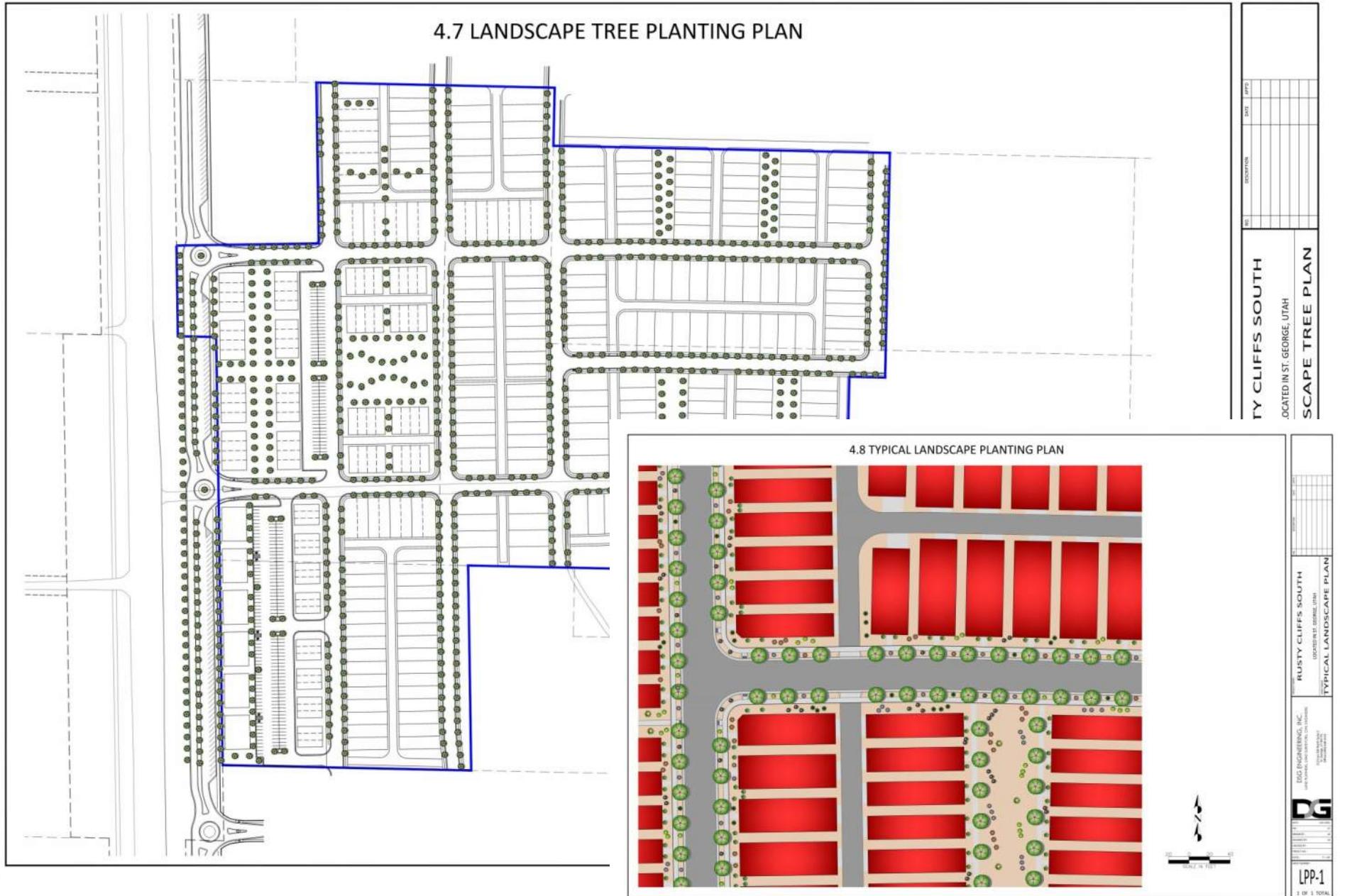
# CIVIC SPACE



# TREE PLANTING



# TREE PLANTING



# SETBACKS

## Setbacks, Widths and Typical Size for "Rusty Cliffs South" Residential Lots

	12-Plex Flat	3-Story Townhome	2-Story Townhome	2-Story Duplex	Detached-Narrow	Detached-Wide	Live-Work
<b>Front Setbacks</b>	10' Minimum	10' Minimum	10' Minimum	10' Minimum	10' Min / 15' Max	10' Min / 15' Max	0' Minimum^
<b>Alley Setbacks</b>	5' Minimum	5' Minimum	5' Minimum	5' Minimum	5' Minimum	5' Minimum	5' Minimum
<b>Side Setbacks</b>	15' Minimum	15' Minimum	10' Minimum	5' Minimum	5' Minimum*	5' Minimum*	15' Minimum
<b>Minimum Pad/Lot Width</b>	N/A	18'	22.5'	23.5'	32.5'	40'	25'
<b>Typical Pad/Lot Size</b>	4,000 sq ft	1,170 sq ft	1,350 sq ft	2,233 sq ft	3,413 sq ft	4,200 sq ft	1,500 sq ft

\*10-Foot Building Separation for Zero-lot Homes

^ All Live-Work units front pedestrian promenade

# ZONING CODE REQUIREMENTS



Zoning Requirements			
Regulation	Section Number	Proposal	Staff Comments
<b>Land Area</b>	10-7H-2(D)(1)	49.3 Acres	This complies with the 10 contiguous acre minimum size requirement.
<b>Mix of Forms</b>	10-7H-2(D)(2)	<p>They are proposing:</p> <ol style="list-style-type: none"> <li>1. Single-Family</li> <li>2. Townhomes</li> <li>3. Duplex</li> <li>4. Small <u>Multi-family</u></li> <li>5. Mixed Use</li> <li>6. Paseo</li> </ol>	The proposal meets the requirements for a minimum of three forms. 54% of homes will be single-family meeting the requirement of 50% single-family units.
<b>NE Civic Space</b>	10-7H-2(D)(4)	No Neighborhood Edge is proposed with the development.	N/A
<b>NG Civic Space</b>	10-7H-2(D)(5)	Between a village green and square, paseo space and a pocket park, approximately 4.17 acres (8.4%) is proposed as civic space.	5% of the project shall be usable civic space and be within 350' of the geographic center of the project. The central civic space is approximately 280' from the center of the project.
<b>TNZ Integration</b>	10-7H-2(D)(6)	Where a proposed TNZ development is adjacent to an existing single-family subdivision, the TNZ must locate single-family detached homes adjacent to existing single-family units.	This is not proposed next to an existing single-family subdivision.

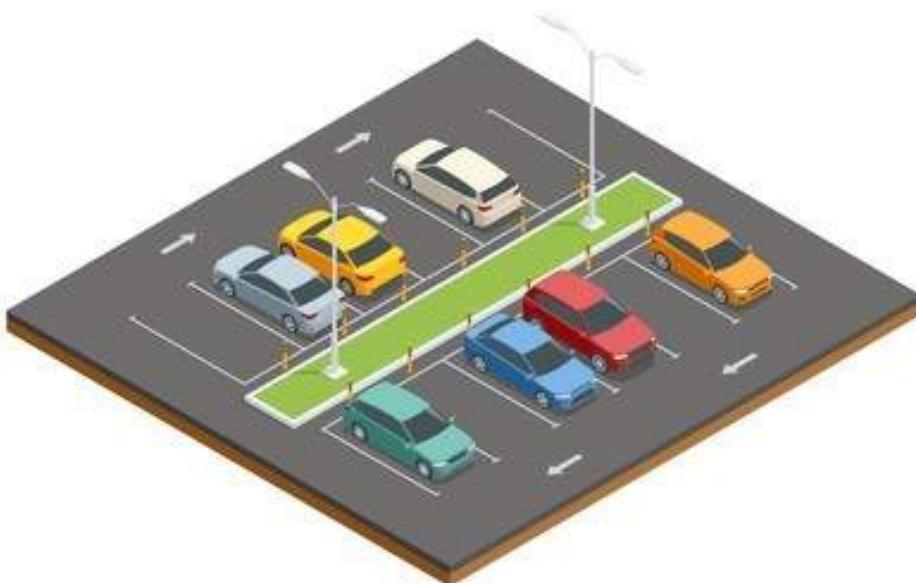
# ARCHITECTURAL GUIDELINES



Design Manual Requirements			
Guideline	Letter	Proposal	Staff Comments
Architectural Coherence	Guideline A	Buildings over one story will show distinct floors and use high-quality exterior materials.	This is consistent with Guideline <a href="#">A</a> which requires high quality architecture.
Compatibility of Scale	Guideline B	Commercial or mixed-use buildings must match neighborhood scale and place form transitions at rear edges.	This is consistent with Guideline B which requires buildings to be compatible with each other in the immediate vicinity.
Architectural Variety	Guideline C	Homes may <u>not</u> be the same design as an adjacent neighbor or across the street.	This is a <u>self-imposed</u> and not included in the design manual but a good practice to avoid monotony and repetition.
Human Scale	Guideline D	Entrances must face public spaces, feature <u>pedestrian-scaled</u> detailing, provide street visibility, and avoid long blank walls.	Guideline C requires specific architectural requirements which will be reviewed at the time the applicant is ready for a PD Amendment. Staff recommends that Guideline C in the Manual is followed as written.

Design Manual Requirements			
Guideline	Letter	Proposal	Staff Comments
Streetscape	Guideline E	Signs and lighting must follow city standards; allow small, well-designed signs and require regularly spaced street trees.	This is consistent with Guideline D. The code will be followed for signage and street trees.
Walls/Fencing	Guideline F	Rear/side privacy walls allowed with limits; front fences must be low, decorative, and non-solid unless retaining.	This guideline is consistent with the Design manual.
Accessory Structures	Guideline G	Accessory structures follow <u>setback</u> , size, height, and design limits, matching the home and protecting utilities.	Much of this proposed guideline follows the allowance under current St. George code. It also details guidelines for carriage houses as outlined in the Design Manual.
Zero Lot SF Homes	Guideline H	Zero-lot homes allow one side setback at the property line with required easements, limits, and drainage rules.	This is another self-imposed standard which would allow a zero setback on one side of the lot.
Landscaping	Guideline I	Landscaping standards must comply with Chapter 25 of the St. George City Code.	This is consistent with the Design Manual.

# PARKING REQUIREMENTS



Parking Requirements			
Guideline	Letter	Proposal	Staff Comments
<b>Parking Placement</b>	Guideline A	On-street parking (including diagonal) permitted; parking lots generally not allowed on frontages except corner lots with screening.	This is generally consistent with the Design manual and with City Code which states, <i>“On-street parking is encouraged in all traditional neighborhood forms in order to create a buffer between car traffic and pedestrians, and to introduce traffic calming friction to thoroughfares.”</i> <sup>41</sup>
<b>Access</b>	Guideline B	Off-street parking accessed via lane/alley (preferred) or driveway; tandem parking allowed in garages per unit.	This is consistent with city code and the design manual.
<b>Garages</b>	Guideline C	Alley garages: 5' setback from alley. Uncovered spaces: min 9'x18' to count as parking.	This is allowed per code and the design manual.
<b>Alleyways</b>	Guideline D	No front or side-loaded garages are being proposed.	N/A
<b>Spaces Required</b>	Guideline E	1 bedroom – 1 space 2 bedroom – 1.5 spaces 3+ bedroom – 2 spaces SF – 2 spaces/home Commercial – 1 per 325 ft <sup>2</sup> gross floor area.	Under the Design Manual, commercial requires two spaces per 1,000 ft <sup>2</sup> floor area. All else is consistent.

# ARCHITECTURAL EXAMPLES (SF)



2025 ARMLS

# ARCHITECTURAL EXAMPLES

SF ATTACHED  
(TOWNHOMES)



SMALL SCALE  
MULTIFAMILY

# ARCHITECTURAL EXAMPLES (COMMERCIAL)



# RECOMMENDATION

**Staff recommends approval of the application for Rusty Cliffs zone change from RE-12.5 (Residential Estates, 12,500 ft<sup>2</sup> minimum lot size) and G&G (Gravel and Grazing) to PD-TNZ with the following conditions:**

- 1. That the number of units associated with the project is limited to 380 as shown on the land use plan.**
- 2. That a preliminary plat is submitted for review and approval by the Planning Commission.**
- 3. That any units or group of units that are not single-family will be required to seek approval of a Planned Development Amendment (PD amendment)**
- 4. That a site plan that meets the requirements of city code and development standards is applied for and approved prior to construction.**
- 5. That architectural guideline C as found in the Design Manual is followed as written.**

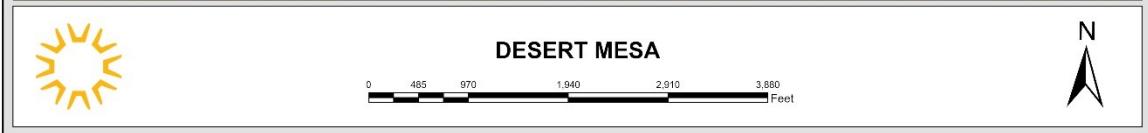
# MOTION

**“I move that we forward a positive recommendation to the City Council for the Rusty Cliffs zone change as presented, Case No. 2025-ZC-009, based on the findings and subject to the conditions listed in the staff report (and as modified by the following...).”**

PLANNING COMMISSION AGENDA REPORT:

12/09/2025

<b>Desert Mesa Zone Change</b> Zone Change (Case No. 2025-ZC-021)		
<b>Request:</b>	Consider a request to change the City Zoning Map property that is currently zoned AVI (Airport Vicinity Industrial), ASBP (Airport Supporting Business Park), and OS (Open Space). The applicant is proposing to change the zone to C-2 (Highway Commercial).	
<b>Applicant:</b>	Desert Canyons Development, Inc.	
<b>Representative:</b>	Curt Gordon	
<b>Location:</b>	Generally located directly north of Southern Parkway at approximately 2600 East	
<b>General Plan:</b>	PD (Planned Development)	
<b>Existing Zoning:</b>	AVI (Airport Vicinity Industrial), ASBP (Airport Supporting Business Park), and OS (Open Space)	
<b>Surrounding Zoning:</b>	North	AVI (Airport Vicinity Industrial)
	South	None
	East	OS (Open Space)
	West	PD-C (Planned Development Commercial)
<b>Land Area:</b>	Approximately 27 Acres	



**BACKGROUND:**

The subject property is currently zoned AVI (Airport Vicinity Industrial), ASBP (Airport Supporting Business Park), and OS (Open Space) as it was designated in the Desert Canyon Master Plan. This application is to change the zone to C-2 (Highway Commercial). The proposal is consistent with the surrounding uses.

Please see all the zoning requirements below:

Zoning Requirements			
Regulation	Section Number	Proposal	Staff Comments
<b>Setbacks</b>	10-8B-2	All setbacks are shown as required in the code.	The required setbacks will be: Front: 20' Side: 10' Rear: 10'
<b>Pedestrian Circulation Plan</b>		There is no submitted site plan	Staff will review the finalized site plan to ensure the circulation is adequate.
<b>Height and Elevation</b>	10-8B-2	There is no current site submitted,	The C-2 zone allows for a 50' height. The applicant will be required to comply with the maximum heights allowed.
<b>Phasing Plan</b>		No Proposed phases	N/A.
<b>Landscape/ Amenity Plan</b>	10-8B-3	There is no current landscape plan.	Staff will review the finalized site plan to make sure street tree policies and the amenities required and landscape areas are compliant with code.
<b>Utilities</b>	10-8B-3	None shown	All utilities will be required to be underground, and all transformer equipment must be screened. We will ensure this is completed during site plan approval process.
<b>Signs</b>	9-13	No signage has been provided.	The applicants will be required to acquire a sign permit when they are ready to install signage.
<b>Lighting</b>	10-8B-3	No photometric plan has been provided.	Photometric plans are required at site plan review.

PC 2025-ZC-021  
Desert Mesa Zone Change  
Zoning Map Amendment

<b>Parking</b>	10-19-5	There is no current site submitted	N/A
----------------	---------	------------------------------------	-----

**RECOMMENDATION ZONE CHANGE:**

Staff recommends approval of this Zone Change with the following conditions:

1. The applicant will need to submit a fully designed site plan and comply with all the requirements of the C-2 (Commercial) zoning code at the time of development.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with conditions.
3. Recommend denial.
4. Continue the proposed zone change to a later date.

**POSSIBLE MOTION:**

“I move that we forward a positive recommendation to the City Council of the Desert Mesa Zone Change, case no. 2025-ZC-021, with the condition in the staff report.”

**FINDINGS FOR APPROVAL:**

1. The proposed zoning is consistent with the general plan designations on the property.
2. That approval of the zoning map amendment is in the best interest of the health, safety and welfare of the citizens of St. George.

## **Exhibit A**

### **Applicant Narrative**

## **Desert Mesa at Desert Canyons – Zone Change Application Narrative**

### **Background**

Desert Mesa is a triangular area of land (about 30 acres) located at the north east quadrant of the future Southern Parkway interchange # 5. Desert Mesa is within the boundary of the Desert Canyons Master Plan. The parcel is bisected by Flowers Way (under construction). Flowers way will connect with the future interchange #5 and the Southern Hills community via Southern Hills Parkway. It lies within parcel SG-5-3-34-139. The current zoning is ASBP, AVI and OS. The general / Land Use Plan designation is PD.

### **Current Condition**

Construction of Flowers Way is in progress as part of a cooperative roadway improvement cost-share agreement between Desert Canyons and the City. The roadway improvement project has received full approval, including grading, roadway plans, and hillside permits. Due to these permits, the majority of the area within this application has already been graded. Concurrently, UDOT is advancing the design of Interchange 5, linking Southern Parkway to Southern Hills Parkway and Flowers Way.

### **Zone Change Proposal**

In light of UDOT and the City's plans for Interchange #5 design and construction, as well as the city requested realignment of Flowers Way from its original alignment, the applicant has concluded that a C-2 zoning designation is the most compatible land use for this location. Therefore, this proposal seeks to change the current zoning from ASBP, AVI, and Open Space to C-2.

The realignment of Flowers Way necessitates the rezoning of 2.02 acres of existing Open Space. This specific acreage is being replaced by designating new Open Space areas in other parts of the Desert Canyons Master Plan, resulting in no change to the overall quantity of Open Space. The attached zoning chart shows these revised Master Plan designations.

## **Exhibit B**

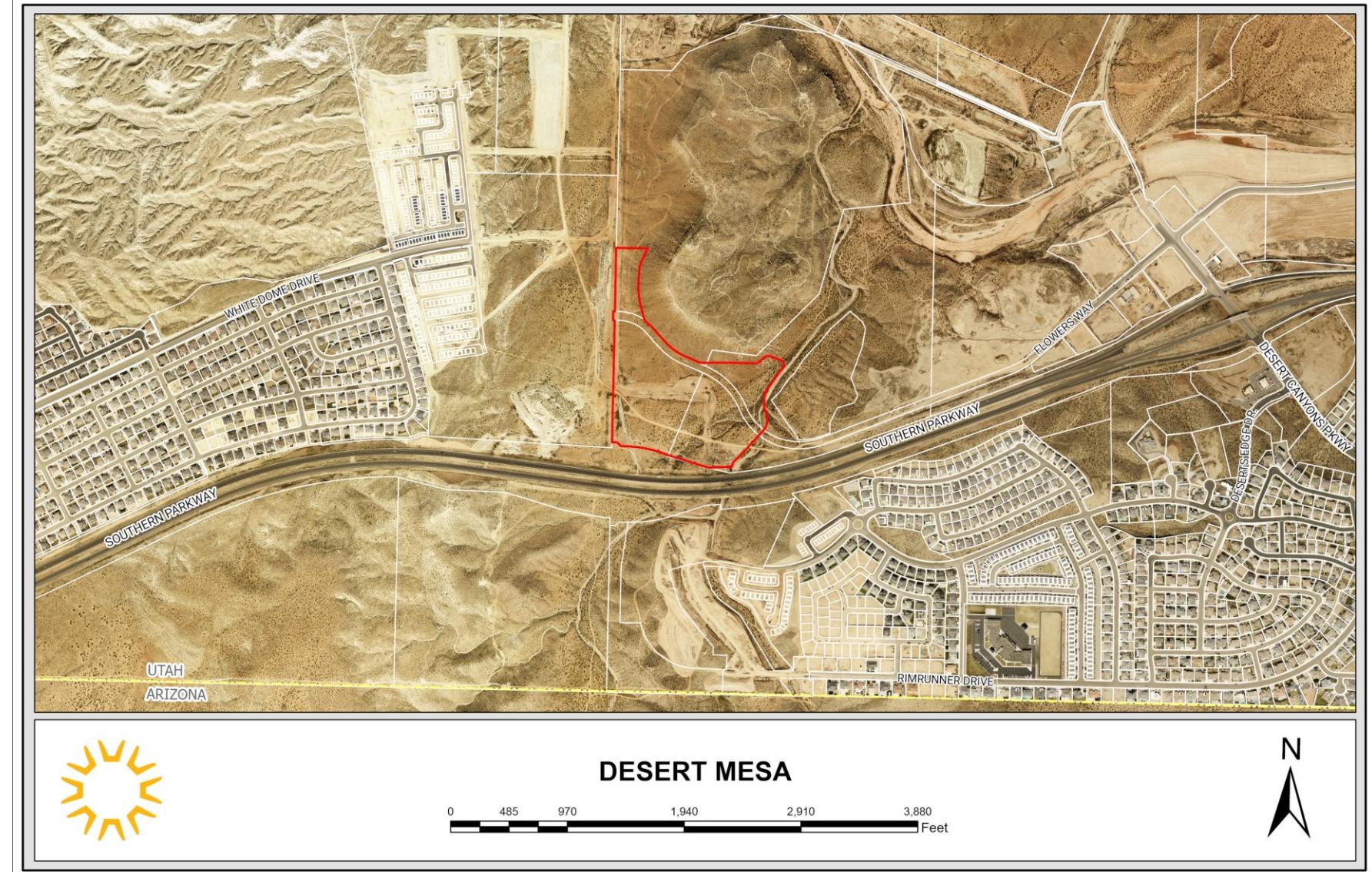
### **PowerPoint Presentation**

# Desert Mesa Rezone

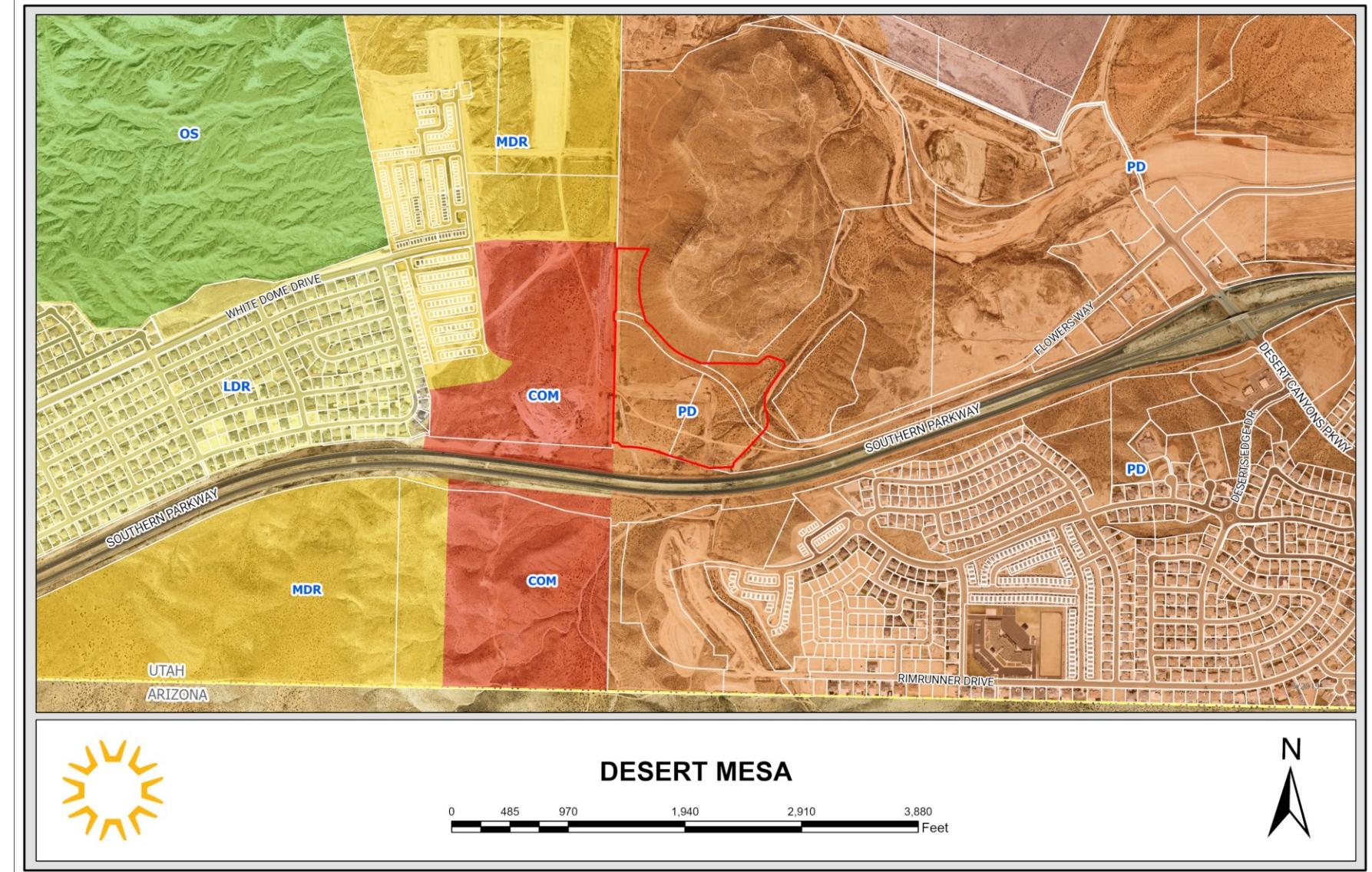
2025-ZC-021



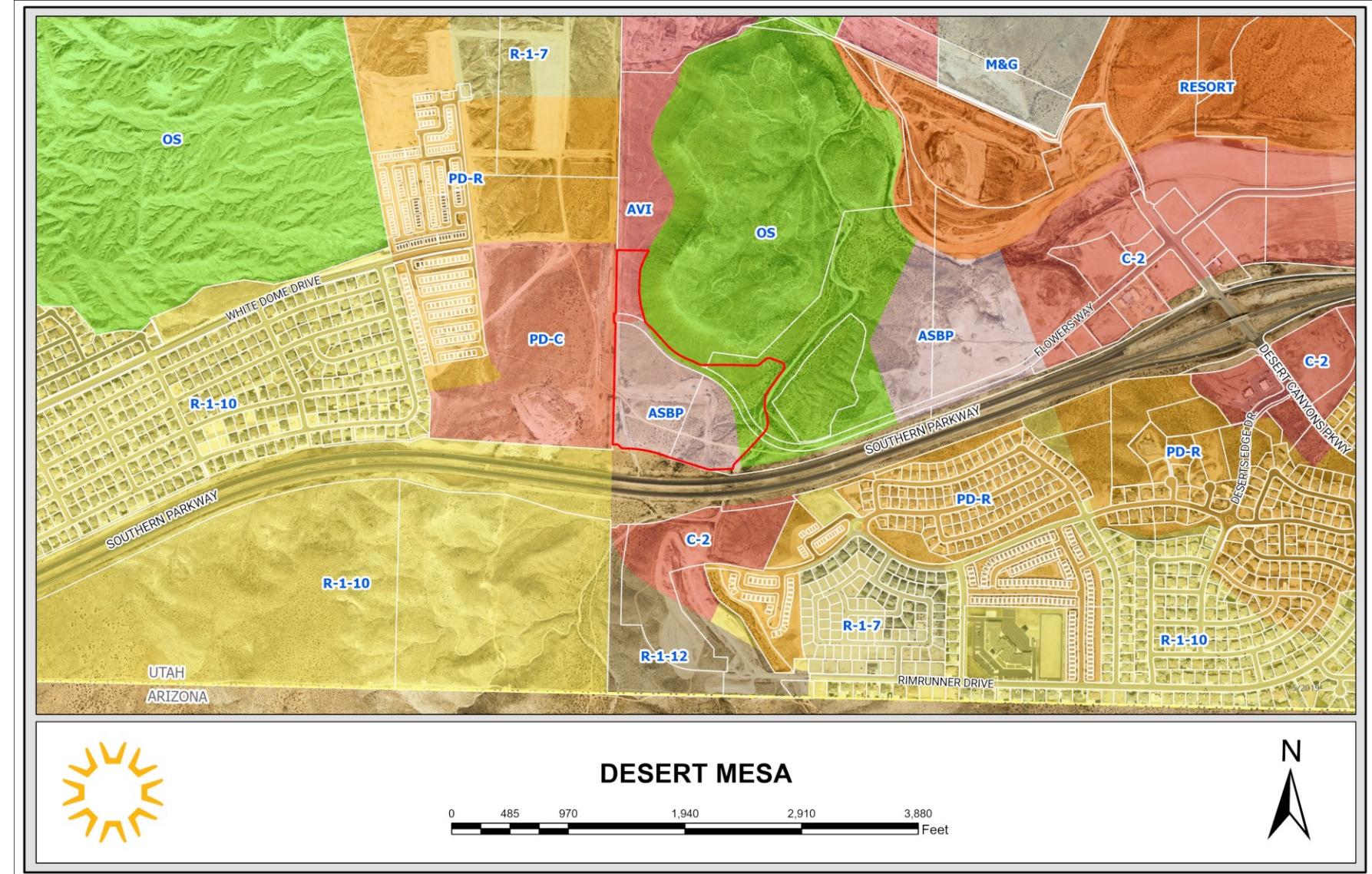
# Aerial Map



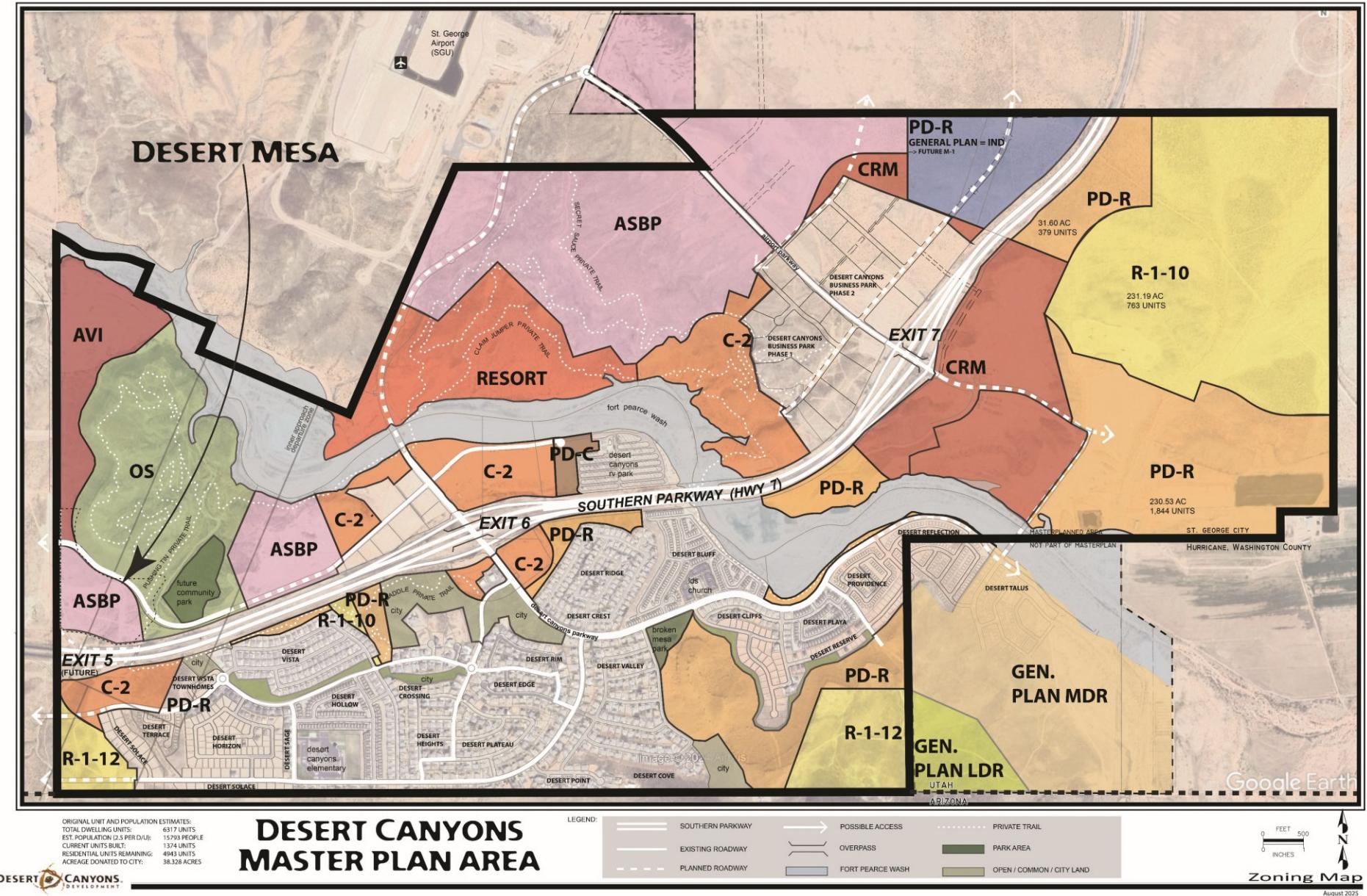
# Land Use Map



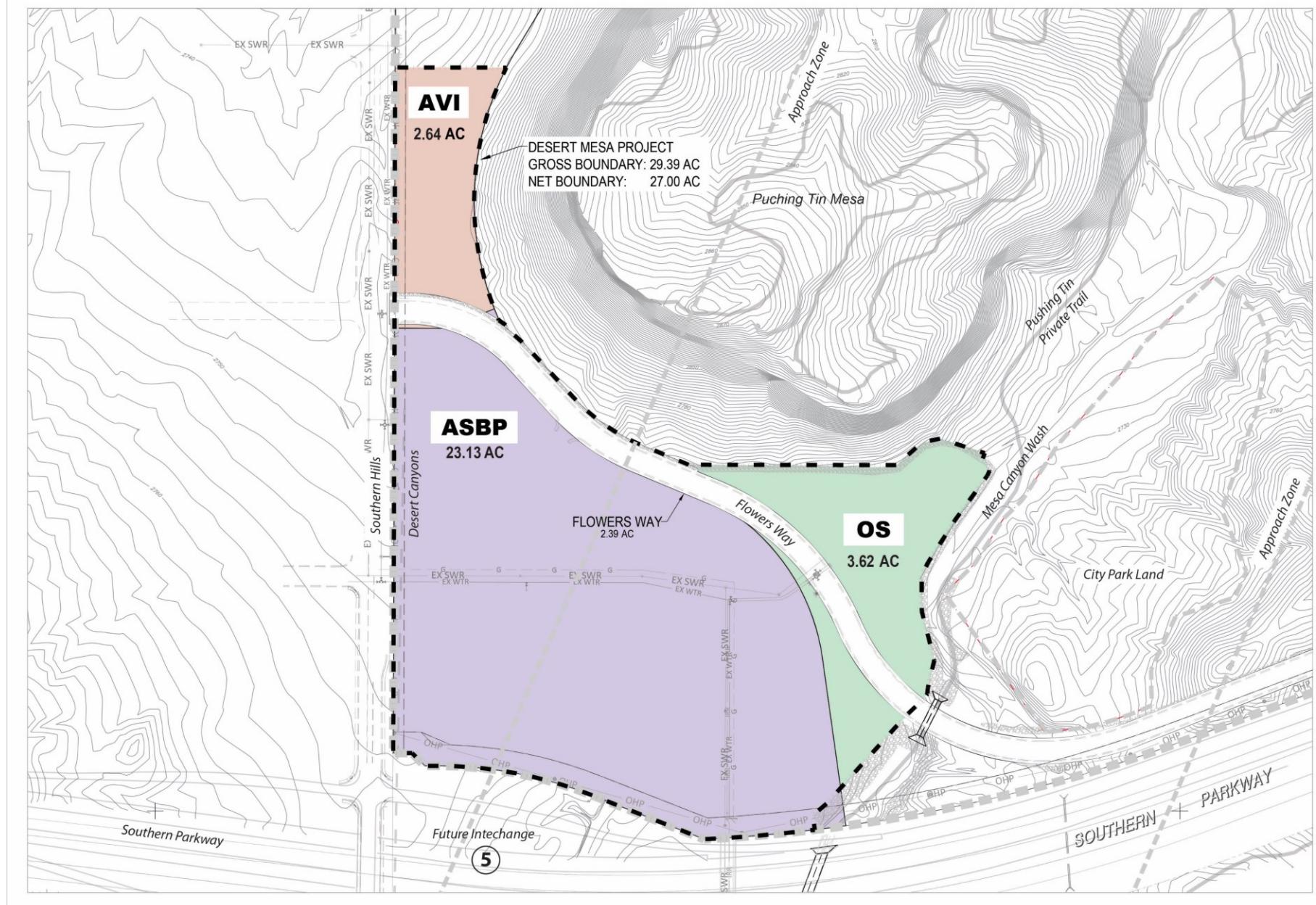
# Zoning Map



# Master Plan



# Current Zoning



# DESERT MESA EXISTING ZONING

11/11/2025



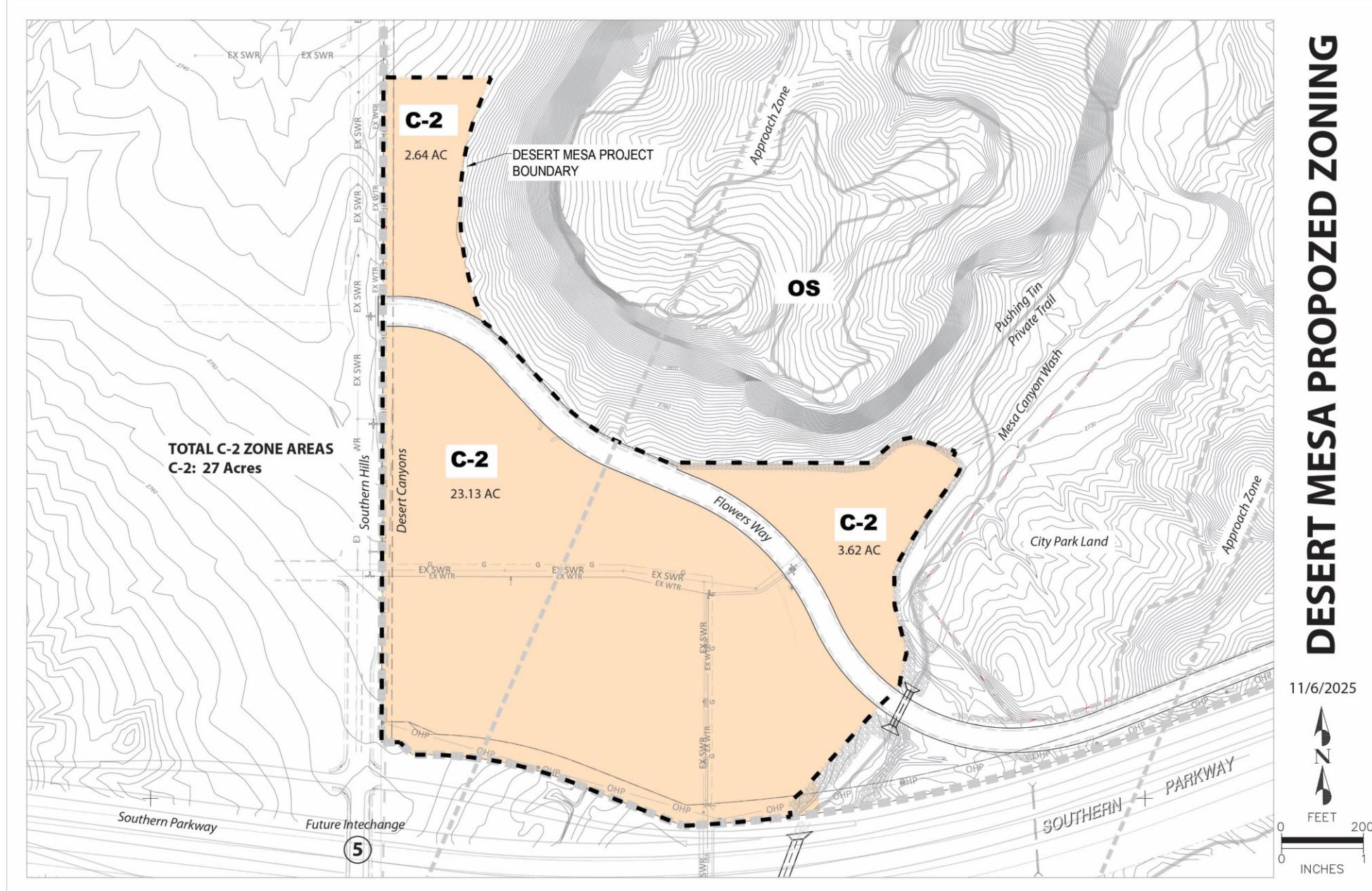
FEET

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INCHES

# Proposed Zoning





## PLANNING COMMISSION AGENDA REPORT: 12/09/2025

<b>The Hidden Jewel – Green Valley Mall and Professional Plaza</b> Planned Development Amendment (Case No. 2025-PDA-032)		
<b>Request:</b>	Consider a request to amend an approved PD-C (Planned Development Commercial) to revise the Green Valley Mall and Professional Plaza permitted use list.	
<b>Applicant:</b>	Old Gold Enterprises LLC	
<b>Representative:</b>	Keena McArthur	
<b>Location:</b>	Located at the corner of Valley View Drive and Dixie Drive	
<b>General Plan:</b>	COM (Commercial)	
<b>Existing Zoning:</b>	PD-C (Planned Development Commercial)	
<b>Surrounding Zoning:</b>	North	R-1-10 (Single Family Residential 10,000 SF min lot size)
	South	R-3 (Multiple-Family Residential Zone)
	East	R-3 (Multiple-Family Residential Zone) and R-1-10 (Single Family Residential 10,000 SF min lot size)
	West	R-1-8 (Single Family Residential 8,000 SF min lot size) and PD-R (Planned Development Residential)
<b>Land Area:</b>	Approximately 2.74 acres	



**BACKGROUND:**

On November 15, 1984, the City Council approved a zone change request establishing the Green Valley Mall and Professional Plaza PD-C (Planned Development Commercial) zone. This approval included the Administrative Professional (AP) use list. On May 2, 1985, the City Council approved revisions to the permitted use list, introducing the C-1 (Commercial) use list to allow additional commercial activities within the PD-C.

This proposed amendment would add “Antique store”, “Furniture Sales (used)”, and “Thrift shop/secondhand store/consignment store (no outside storage and no drop-off of items during the hours the business is closed)” as permitted retail shop uses within the Green Valley Mall and Professional Plaza PD-C zone. Parking and buildings will remain the same.

**Proposed Changes:**

The proposed changes are in blue and underlined.

<b>Administrative Professional</b>	<b>AP</b>
Accessory structure, to any of the listed uses	P
Child care center	P
City facility	P
Communication transmission facilities, including wireless, primary	PS
Communication transmission facilities, including wireless, primary, height over 50'	C
Hospital	P
Medical and biological laboratory/research	P
Medical office	P
Mortuary	P
Nursing home	P
Office, professional	P
Pharmacy	P
Personal care service	P
Public utility facilities, primary	PS
Religious facility	P
School, public or charter	P

<b>Commercial</b>	<b>C-1</b>
Financial, medical and professional services	P
Restaurant	P
Office	P
Religious facility	P
Child care center	P
Communication transmission facilities, including wireless, primary, height over 50'	C
Permanent cosmetics, a secondary use to an establishment employing cosmetologist(s)/barber(s),	P

aesthetician(s), electrologist(s), or nail technician(s) licensed by the state under 58-11a-101 et seq., Utah Code Annotated, 1953, as amended, excluding tattoo establishments and home occupations	
Personal care service	P
Personal instruction service	P
City, all facilities	P
<b><u>Retail shops:</u></b>	
<a href="#">Antique Store</a>	P
<a href="#">Furniture (used)</a>	P
<a href="#">Thrift shop/secondhand store/consignment store (no outside storage and no drop off of items during the hours the business is closed)</a>	P

**RECOMMENDATION:**

Staff recommends approval of the application for the proposed Green Valley Mall and Professional Plaza use list with no conditions.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with conditions.
3. Recommend denial of the request.
4. Continue the proposed PD amendment to a later date.

**POSSIBLE MOTION:**

"I move that we forward a positive recommendation to the City Council for the PD amendment for the Green Valley Mall and Professional Plaza Use List as presented, case No. 2025-PDA-032, based on the findings in the staff report."

**FINDINGS FOR APPROVAL:**

1. The proposed uses are appropriate for a PD-C zone, which is intended to allow for a customized development that supports a unique mix of uses.
2. The proposed uses are consistent with the General Plan policy which encourages commercial uses in appropriate locations to increase convenience and reduce the need for cross-town travel.

**Exhibit A**

**PowerPoint Presentation**



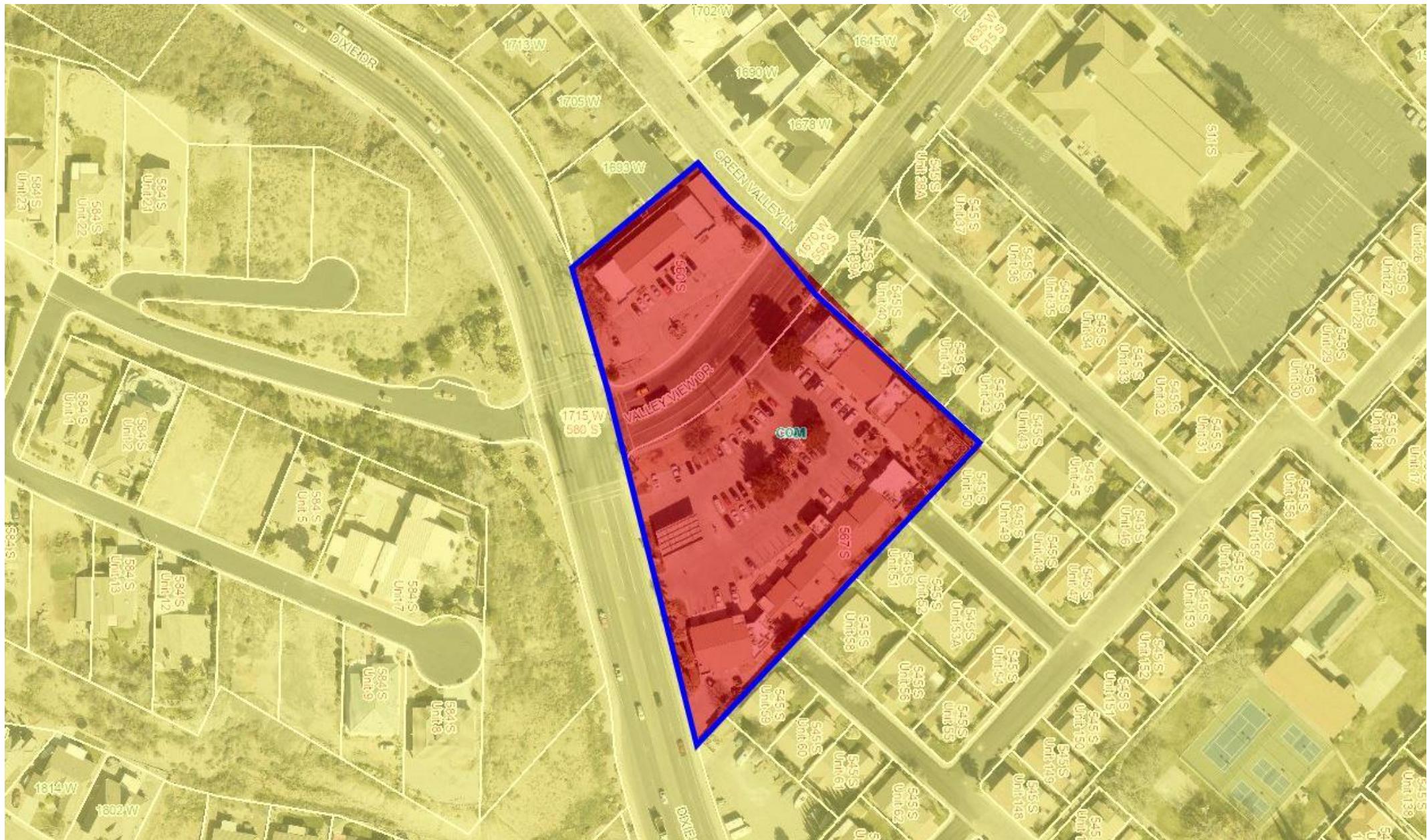
# Green Valley Mall and Professional Plaza Use List

Planned Development  
Amendment  
2025-PDA-032

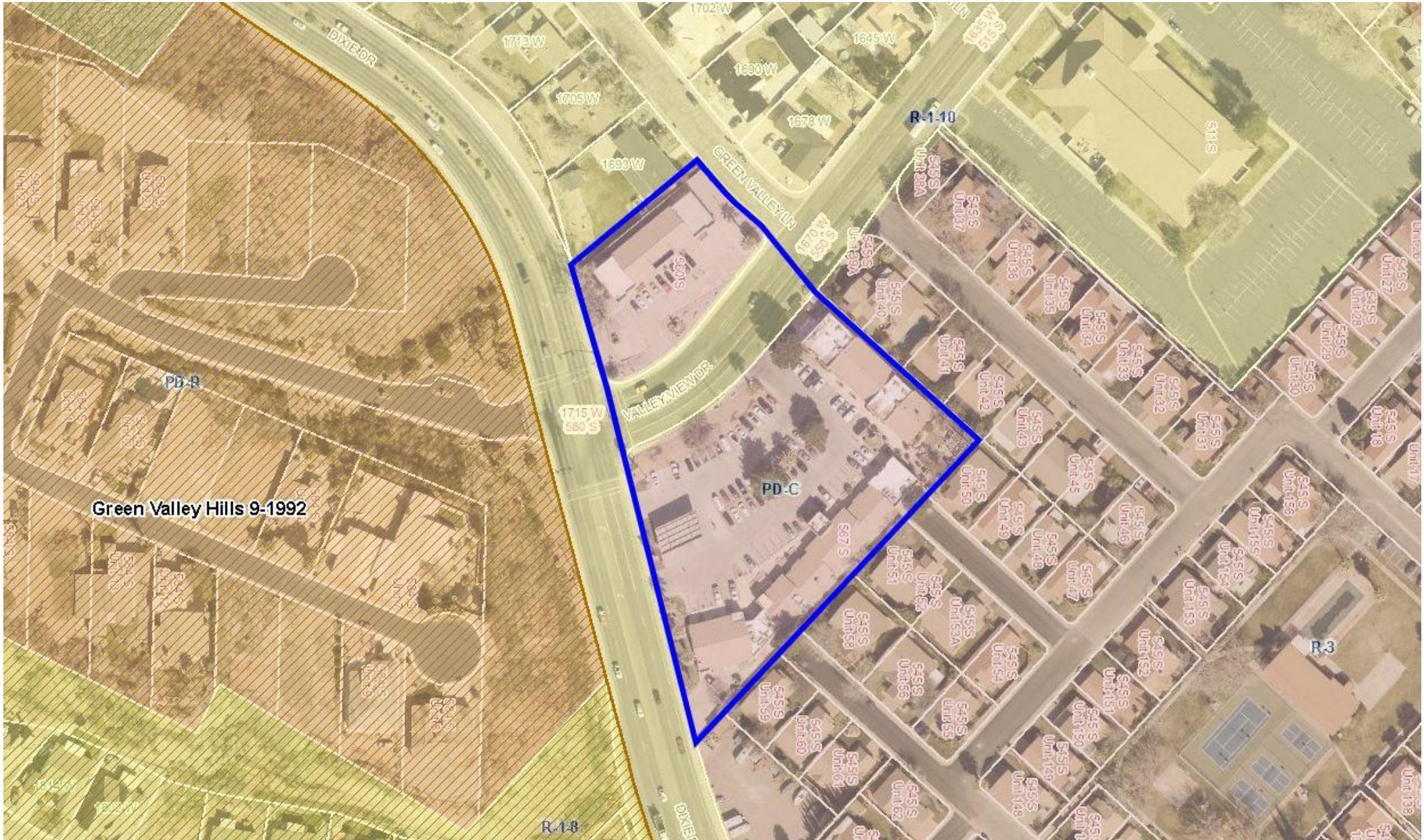
# Aerial Map



# Land Use Map



# Zoning Map



# Use Lists

Administrative Professional	AP
Accessory structure, to any of the listed uses	P
<u>Child care center</u>	P
City facility	P
Communication transmission facilities, including wireless, primary	PS
Communication transmission facilities, including wireless, primary, height over 50'	C
Hospital	P
Medical and biological laboratory/research	P
Medical office	P
Mortuary	P
Nursing home	P
Office, professional	P
Pharmacy	P
Personal care service	P
Public utility facilities, primary	PS
Religious facility	P
School, public or charter	P

Commercial	C-1
Financial, medical and professional services	P
Restaurant	P
Office	P
Religious facility	P
<u>Child care center</u>	P
Communication transmission facilities, including wireless, primary, height over 50'	C
Permanent cosmetics, a secondary use to an establishment employing cosmetologist(s)/barber(s), aesthetician(s), electrologist(s), or nail technician(s) licensed by the state under 58-11a-101 et seq., Utah Code Annotated, 1953, as amended, excluding tattoo establishments and home occupations	P
Personal care service	P
Personal instruction service	P
City, all facilities	P
<b><u>Retail shops:</u></b>	
<u>Antique Store</u>	P
<u>Furniture (used)</u>	P
<u>Thrift shop/secondhand store/consignment store (no outside storage and no drop off of items during the hours the business is closed)</u>	P



PLANNING COMMISSION AGENDA REPORT: 04/22/2025

**Kachina Cliffs Phase 1 Lot 24 Amended Development Agreement**  
(Case No. 2025-DAA-004)

<b>Request:</b>	Consider approval of original development agreement for Kachina Cliffs Phase 1 and Phase 2 final plat amendment for the purpose of allowing additional disturbance of "Hillside Slope Area – No Disturbance" on Lot 24 of Kachina Cliffs Phase 1.
<b>Applicant:</b>	Pride Point Construction
<b>Representative:</b>	Ben Shakespeare
<b>Location:</b>	2912 N Chinle Circle
<b>Area Affected:</b>	"Hillside Slope Area – No Disturbance" on Lot 24 of Kachina Cliffs Phase 1



**BACKGROUND:**

The Developer disturbed area on Kachina Cliffs Ph 1 Lot 24 designated as "Hillside Slope Area – No Disturbance" by constructing a retaining wall and excavating for a future swimming pool within this area. A Development Agreement was entered into on June 19, 2025 (document number 20250021196) to offset the disturbed area on lot 24, in exchange for property from lot 38 of Kachina Cliffs Phase 2, which is owned by Developer and designated as developable area and add this area to the "No Build – No Disturbance" area.

However, the area disturbed on lot 24 is greater than previous Development Agreement allowed.

The purpose of this amended agreement is to allow the Developer to exchange property from Kachina Cliffs Phase 1 Lot 24 "Hillside Slope Area – No Disturbance" with undisturbed developable property from Kachina Cliffs Phase 2 Lot 38 to be designated as "No Build – No Disturb" area.

**RECOMMENDATION:**

Staff recommends approval of this development agreement amendment as written.

**ALTERNATIVES:**

1. Recommend approval as presented.
2. Recommend approval with conditions.
3. Recommend denial.
4. Continue the proposed amended development agreement to a specific date.

**POSSIBLE MOTION:**

"I move we forward a positive recommendation to the City Council for the Kachina Cliffs Phase 1 Lot 24 Amended Development Agreement, case number 2025-DAA-004, as recommended by staff and based on the findings found in the staff report."

**FINDINGS FOR APPROVAL:**

1. The development agreement has followed the required approval process, including a recommendation and public hearing from the Planning Commission, according to Utah State Code 10-9a-532.

**Exhibit A**  
**Development Agreement Amendment**

When Recorded Return to:

St. George City Attorney  
175 North 200 East  
St. George, Utah 84770  
SG-KCAE-1-24 and  
SG-KCAE-2-38

**(KACHINA CLIFFS PHASE 1 LOT 24 & Phase 2, Lot 38)  
FIRST AMENDMENT TO THE DEVELOPMENT AGREEMENT**

THIS AMENDED DEVELOPMENT AGREEMENT ("Amended Agreement") is entered into this 20 day of November 20 25, ("Effective Date") by and between Pridepoint Construction LC, a Utah domestic liability company and/or assigns ("Developer") for land to be included in or affected by the project located or described as Kachina Cliffs Ph 1 Lot 24 (2912 N. Chinle Cir) and Kachina Cliffs Phase 2 Lot 38, and the City of St. George, a municipal corporation of the State of Utah and political subdivision of the State of Utah ("City") by and through the City Council as the legislative body. Developer and the City are individually referred to herein as a "Party" or collectively as the "Parties".

**RECITALS**

A. Developer owns or controls approximately 1.35 acres of real property located within the jurisdictional limits of the City of St. George, Utah known as Kachina Cliffs Phase 1, Lot 24, which is more particularly described in **Exhibit A**, on which Developer has for the second time, wrongfully initiated development which disturbs restricted land which was designated as non-disturbable land, and proposes in exchange for the disturbance, an equivalent portion of newly restricted property located on a parcel known as Kachina Cliffs Phase 2 Lot 38 ("Project").

B. Developer acknowledges that the terms of this Amended Agreement represent a substantial change to the intensity of the use from the original Development Agreement and is considered a substantial amendment under Section 2.8 to the original Development Agreement which was adopted by Ordinance 2025-042. Developer and City entered into the Development Agreement as a means to document the Developer's violation of the non-disturb areas of Lot 24 within the recorded Kachina Cliff's Phase 1 Plat (entry no. 00874179). Developer is entering into this Amended Agreement for the purpose of setting forth the terms and conditions of the City's permission to mitigate additionally wrongfully disturbed area which occurred after entering into the Development Agreement. Developer has disturbed area on Lot 24 designated as "Hillside Slope Area – No Disturbance" as stated on the final plat for Kachina Cliffs Phase 1, by constructing additional retaining walls, water channels, and by filling in non-disturbable land to create additional yard area. To offset the additional disturbed area on Lot 24, above and beyond that indicated in the original Development Agreement, Developer seeks to exchange additional property on lot 38 of Kachina Cliffs Phase 2, which is owned by Developer and designated as developable area and add this area to the "No Build – No Disturb Areas" shown on the final plat for Kachina Cliffs Phase 2 (entry no. 20060004997). The exchange of disturbed

land on Lot 24 for land on Lot 38 that is undisturbed and designated as developable shall require that the final plats for Kachina Cliffs Phase 1 and Kachina Cliffs Phase 2 be amended to reflect these proposed changes.

C. Developer had prepared and received preliminary approval for the amended Phase 1 and Phase 2 plats as part of the original Development Agreement but did not finalize those plats nor record those amended plats, and with the disturbance of additional lands, those plat approvals are now null and void.

D. Developer has proposed, and the City has accepted the revised exchange of wrongfully disturbed property from Lot 24 shown on the final plat of Kachina Cliffs Phase 1 as "Hillside Slope Area – No Disturbance" for a portion of undisturbed area of Lot 38 designated as developable area on the final plat of Kachina Cliffs Phase 2 and add this area to the "No Build – No Disturb Area" on said final plat. The exchanged properties are depicted in **Exhibit B** which is attached hereto ("Development Plan").

E. The City and Developer have also agreed to additional terms and conditions set forth herein as a penalty for the violation of the original Development Agreement.

F. The City, acting pursuant to its authority under UTAH CODE § 10-20-101, et seq. and its ordinances, resolutions, and regulations and in furtherance of its land use policies, has made certain determinations with respect to the proposed Project, and, in the exercise of its legislative discretion, has elected to approve this Agreement.

G. Developer has accepted the conditions of approval and the terms set forth in this Agreement and has agreed to abide by each and every term.

## **AGREEMENT**

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, the parties agree as follows:

### **SECTION 2: APPROVED USE, DENSITY, GENERAL CONFIGURATION AND DEVELOPMENT STANDARDS AFFECTING THE PROJECT**

- 2.1 **The Property.** The legal description of the Properties contained within the Project boundaries, and which is subject to this Agreement is attached hereto as **Exhibit A** and incorporated by reference herein. No additional property may be added to this description for the purposes of this Amended Agreement except by written amendment to this Amended Agreement executed and approved by Developer and the City.
- 2.2 **Approved Use, Density & Configuration.** All of the wrongfully disturbed land on lot 24 of the final plat of Kachina Cliffs Phase 1 shown as "Hillside Slope Area – No Disturbance" shall be amended to developable area on an amended Phase 1 plat and

exchanged for a portion of lot 38 designated as developable area on an amended final plat for Kachina Cliffs Phase 2 and add such portion of lot 38 to the “No Build – No Disturb Areas” shown on an amended final plat for lot 38 of Kachina Cliffs Phase 2. The exchange is depicted in **Exhibit B. DEVELOPER, ITS SUCCESSORS AND ASSIGNS SHALL COMPLY WITH ALL APPLICABLE BUILDING, ZONING AND LAND USE REGULATIONS OF THE CITY AND SHALL NOT FURTHER DISTURB OR DEVELOP ANY PROPERTY DEPICTED AS A NO BUILD – NO DISTURB AREA.** The exchange areas shall not alter the density of the development within Kachina Cliffs Phases 1 and 2. The proposed changes on lot 24 and lot 38 shall be reflected on the amended final plats for Kachina Cliffs Phase 1 and Kachina Cliffs Phase 2 which must be approved and recorded simultaneously with this Agreement.

2.2.1 Should Developer further engage in any violation of this Amended Agreement, or the original Development Agreement, the City may take any action necessary to prevent any further development by the Developer within the City of St. George and may further exercise any and all remedies available to them for civil or criminal liability and/or damages.

2.3 **Development Plan.** Developer shall amend the final plat for Kachina Cliffs Phase 1 to remove the wrongfully disturbed area of lot 24 from the “Hillside Slope Area – No Disturbance” designation shown on the final plat and designate this area as developable area on lot 24. Developer shall also amend the amended final plat for Kachina Cliffs Phase 2 to remove the proposed exchange area on lot 38, currently designated as developable area, and add this area to the “No Build – No Disturb Areas” on lot 38 of the final plat for Kachina Cliffs Phase 2. **NO BUILDING OR DEVELOPMENT PERMITS SHALL BE ISSUED NOR ANY CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION ISSUED FOR LOT 24 UNTIL THIS AMENDED DEVELOPMENT AGREEMENT AND AMENDED PLATS HAVE BEEN RECORDED.** The amended final plats for Kachina Cliffs Phase 1 and Kachina Cliffs phase 2 shall be amended simultaneously with this Amended Agreement to reflect the proposed changes on lot 24 and lot 38, respectively.

2.4 **Specific Design Conditions.**

2.4.1 Once an appropriate building permit is obtained, Developer shall ensure that all constructed retaining walls on lot 24 of Kachina Cliffs Phase 1 as described above in section 2.3 be painted or stained a color that matches the natural color of the surrounding areas with rock facades where appropriate that blend into the natural environment. The Developer shall submit to the Director for approval, all paint colors, and facades covers for the constructed walls. The intent of this condition is to ensure that the aesthetic of the retaining walls blend with the natural colors of the surrounding landscape. The City shall review the proposed materials submitted and notify the Developer of its approval or any required modifications within fifteen (15) business days from the receipt of the submission. The City may, at its discretion, request revisions to the color selection to ensure compliance with the City’s aesthetic guidelines for the project. The Developer may not proceed with painting or facing the retaining walls until the City provides written approval of the proposed color and materials.

2.4.2 Developer shall remove any fill that was added to Lot 24 to create additional yard area and shall restore the land to its original natural state.

2.5 **Compliance with City Design and Construction Standards.** Developer acknowledges and agrees that unless expressly stated otherwise in this Amended Agreement, nothing in this Amended Agreement shall be deemed to relieve Developer from the obligation to comply with all other provisions of the original Development Agreement, applicable laws, and requirements of the City necessary for development of the Project, including the payment of fees and compliance with the City's design and construction standards.

2.6 **Compliance with PUD.** Developer acknowledges and agrees that nothing in this Amended Agreement shall be deemed to relieve it from the obligation to comply with the Planned Unit Development as presented and approved by the St. George City Council.

2.7 **Conflicts.**

2.7.1 To the extent there is any ambiguity in or conflict with the provisions of this Amended Agreement, the more specific provision or language shall take precedence over more general provisions or language.

2.7.2 The City has reviewed the Code, General Plan, and Rezone Ordinance and has determined that Developer has substantially complied with the provisions thereof and hereby finds that the Project is consistent with the purpose and intent of the relevant provisions of the City Code and General Plan and the PD-R Zone. The parties further agree that the omission of a limitation or restriction herein shall not relieve Developer of the necessity of complying with all applicable City Ordinances and Resolutions not in conflict with the provisions of this Agreement, along with all applicable state and federal laws.

2.8 **Amendments.**

2.8.1 **Substantial Amendments.** Unless otherwise addressed or allowed in this Amended Agreement, any amendment to this Amended Agreement that alters or modifies a Term, creates a substantive change to the text of this Amended Agreement, alters the approved development or Development Plan in a manner not provided for herein, alters the Allowed Uses, increases the approved Density, or results in a material increase in the intensity of use shall be considered a Substantial Amendment and shall be processed as a legislative land use regulation consistent with the requirements of the City Code and the Utah Code. Any change to (i) the requirement of any material amenity described herein that is available to the public; (ii) provisions for reservation and dedication of necessary or substantial portions of land; or (iii) a substantive change to the terms of this Agreement; or (iv) any approved mechanism that imposes financial obligations on Developer or the property owners within Project (including a substantive increase in the assessments through any association of owners within the Project) shall be deemed a "Substantial Amendment". Substantial Amendments shall be in writing, approved by Ordinance, and recorded with the Washington City Recorder.

2.8.2 **Administrative Amendments.** Unless otherwise provided by law, all amendments to this Amended Agreement that are not Substantial Amendments shall be deemed "Administrative Amendments" and, when approved, shall be approved, and executed by the Director. The City Council hereby designates the Director as the authorized administrative authority and empower that official to make all final Administrative Amendment decisions. Administrative Amendments shall be reflected in a written approval by the Director which shall be recorded with the Washington City Recorder.

2.8.3 **Effect of Amendment.** Any amendment to this Amended Agreement shall be operative only as to those specific portions of this Agreement expressly subject to the amendment, with all other terms and conditions remaining in full force and effect without interruption.

2.9 Additional Terms.

2.9.1 As a penalty for the violation of the terms and conditions of the original development agreement, Developer has agreed to pay all legal fees incurred by the City of St. George in the matter of Hans R. Graff et. al. v. City of St. George, Fifth District Court case number 250500524. As of the date of this Amended Agreement, those fees total five thousand six hundred ninety-four dollars (\$5,694.00). Those fees shall be paid in full within 30 days of the execution of this Amended Agreement.

#### ADDITIONAL TERMS

**Development Agreement Remains in Effect.** The terms and conditions of the original Development Agreement between the parties, not otherwise amended, modified, terminated or superseded herein, or in conflict with the terms and provisions set forth herein, shall remain in full force and effect hereafter. With respect to any conflicting provisions, this Amendment shall govern.

**All General Provisions Incorporated.** The Parties agree that all other miscellaneous and general provisions of the original Development Agreement, are incorporated as if fully set forth herein and apply in full force to this Amendment.

IN WITNESS WHEREOF, this Agreement has been executed by the Mayor, acting by and through the City Council pursuant to Ordinance No. XX, authorizing such execution, and by a duly authorized representative of Developer as of the above-stated date.

*[signatures to follow]*

[CITY SIGNATURE PAGE]

CITY of ST. GEORGE:

---

**Michele Randall, Mayor**

**ATTEST:**

[seal]

---

**Christina Fernandez, City Recorder**

APPROVED AS TO FORM:  
St. George City Attorney

By: \_\_\_\_\_  
Jami R. Brackin, Deputy City Attorney

STATE OF UTAH )  
COUNTY OF WASHINGTON ) : ss.

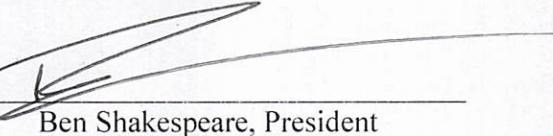
The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2025, by Mayor Michele Randall as authorized.

**NOTARY PUBLIC**

Residing at: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

[DEVELOPER SIGNATURE PAGE]

Developer:  
Pridepoint Construction LC

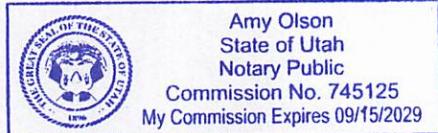
By:   
Ben Shakespeare, President

STATE OF UTAH )  
: ss.  
COUNTY OF WASHINGTON )

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of November, 2025, by Ben Shakespeare the President (title) of Pridepoint Construction (Developer).

NOTARY PUBLIC

Amy Olson



Residing at:  
My Commission Expires:

09/15/2029

## EXHIBIT A

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### LEGAL DESCRIPTION

Parcel Numbers: LOT 24 SG-KCAE-1-24 LOT 38 SG-KCAE-2-38

#### Legal Description:

Lot 24: ALL OF LOT 24 OF KACHINA CLIFFSPHASE 1- ENTRADA AT SNOW CANYON AS RECORDED AND ON FILE IN THE OFFICE OF THE RECORDER FOR WASHINGTON COUNTY, UTAH, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 23 OF "KACHINA CLIFFSPHASE 1- ENTRADA AT SNOW CANYON" SUBDIVISION, SAID POINT ALSO BEING NORTH  $1^{\circ}16'04''$ EAST, 1842.63 FEET AND EAST, 917.91 FEET FROM THE SOUTH  $\frac{1}{4}$  CORNER OF SECTION 3, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SALT LAKE BASE AND MERIDIAN; RUNNING THENCE SOUTH  $11^{\circ}50'02''$ EAST, 178.98 FEET ALONG THE EAST BOUNDARY LINE OF SAID SUBDIVISION; THENCE SOUTH  $84^{\circ}48'12''$ WEST, 233.80 FEET TO THE RIGHT-OF-WAY LINE OF "CHINLE CIRCLE" PRIVATE STREET, SAID POINT BEING ON THE ARC OF A 225.00 FOOT RADIUS CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS NORTH  $78^{\circ}07'21''$ WEST; THENCE RUNNING ALONG SAID RIGHT-OF-WAY LINE IN THE FOLLOWING THREE COURSES; NORtherly, 12.51 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $3^{\circ}11'04''$ TO THE POINT OF A 100.00 FOOT RADIUS REVERSE CURVE, THE RADIUS POINT OF WHICH BEARS SOUTH  $81^{\circ}18'26''$ EAST; THENCE NORTHEASTERLY, 61.25 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $35^{\circ}05'37''$ TO THE POINT OF A 50.00 FOOT RADIUS CURVE, THE RADIUS POINT OF WHICH BEARS NORTH  $46^{\circ}12'49''$ ; THENCE NORtherly, 60.14 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $68^{\circ}54'49''$ ; THENCE NORTH  $64^{\circ}52'22''$ EAST, 174.60 FEET TO THE POINT OF BEGINNING.

Lot 38: ALL OF LOT 38, OF "KACHINA CLIFFSPHASE 2 - ENTRADA AT SNOW CANYON AMENDED" AS RECORDED AND ON FILE IN THE OFFICE OF THE RECORDER FOR WASHINGTON COUNTY, STATE OF UTAH, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 37, OF "KACHINA CLIFFSPHASE 2-ENTRADA AT SNOW CANYON AMENDED" SUBDIVISION, SAID POINT ALSO BEING NORTH  $1^{\circ}16'04''$ EAST, 438.13 FEET, AND EAST, 1669.39 FEET FROM THE SOUTH  $\frac{1}{4}$  CORNER OF SECTION 3, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SALT LAKE BASE AND MERIDIAN; RUNNING THENCE SOUTH  $28^{\circ}11'28''$ EAST, 180.63 FEET; THENCE SOUTH  $59^{\circ}21'18''$ WEST, 141.00 FEET; THENCE NORTH  $39^{\circ}01'27''$ WEST, 201.945 FEET TO THE RIGHT-OF-WAY LINE OF "MAGATSU DRIVE" PRIVATE STREET, SAID POINT BEING ON THE ARC OF A 475.00 FOOT RADIUS CURVE TO THE RIGHT, THE RADIUS POINT OF SAID CURVE BEARS SOUTH  $27^{\circ}57'59''$ EAST; THENCE ALONG SAID RIGHT-OF-WAY LINE IN THE FOLLOWING TWO COURSES; NORTHEASTERLY, 31.98 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $3^{\circ}51'26''$ TO THE POINT OF TANGENCY; THENCE NORTH  $65^{\circ}53'27''$ EAST, 147.25 FEET TO THE POINT OF BEGINNING.

**EXHIBIT B**

Change to Lot 24

Change to Lot 38



**ST. GEORGE PLANNING COMMISSION MINUTES  
November 18, 2025, 5:00 P.M.  
CITY COUNCIL CHAMBERS**

## PRESENT:

**Planning Commission Chair Austin Anderson**  
**Planning Commission Member Brandon Anderson**  
**Planning Commission Member Ben Rogers**  
**Planning Commission Member Terri Draper**  
**Planning Commission Member Lori Chapman**  
**Planning Commission Member Nathan Fisher**  
**Planning Commission Member Kelly Casey**

**EXCUSED:**

**STAFF MEMBERS PRESENT:**

**City Deputy Attorney Jami Bracken  
Community Development Director Carol Winner  
Water Services Director Scott Taylor  
Assistant Public Works Director Wes Jenkins  
Planner Brenda Hatch  
Planner Dan Boles  
Planner Brian Dean  
Development Office Supervisor Angie Jessop**

**OTHERS PRESENT:**

**Applicant Rock Jeffries  
Applicant Tom Drake  
Applicant Wes Davis  
Applicant Steve Beesley**

## CALL TO ORDER:

Planning Commission Chair Anderson called the meeting to order and welcomed all in attendance. The Pledge of Allegiance to the Flag was led by Commission Member Anderson.

Link to call to order and flag salute: 00:00:25

Link to call for disclosures 00:01:00

Commission Member Anderson recused himself on Item #2

Commission Member Rogers recused himself on Item #2 and #3

**ITEM 1**

## **ZONE CHANGE-1037 W 1050 N Rezone – PUBLIC HEARING**

Consider a request for a zone change from RE-37.5 (Residential Estates, 37,500 ft<sup>2</sup> minimum lot size) and R-3 (Multi-Family) and C-3 (General Commercial) to PD-C (Planned Development Commercial) on approximately 1.0 acre. The property is generally located southeast of 1050 North and 1020 West. The applicant is Baseco of Nevada Southern Utah, and the representative is David Gomez. Case No. 2025-ZC-016 (Staff – Dan Boles)

1  
2 Agenda Packet [\[Page 3\]](#)  
3

4 Link to Presentation by Dan Boles [00:01:30](#)  
5

6 Link to question by Commission Chair Anderson and discussion [00:04:42](#)  
7

8 Link to discussion with Commission Members and Assistant Public Works Director Wes  
9 Jenkins [00:05:58](#)

10 Link to public hearing [00:09:14](#)  
11

12 Link to comment by Gary Welch [00:09:30](#)  
13

14 Link to comment by Sandra Sandberg [00:11:54](#)  
15

16 Link to comment by Doug Sorensen [00:14:22](#)  
17

18 Public Hearing Closed  
19

20 Link to comment by applicants Tom Drake and Rock Jeffries [00:16:05](#)  
21

22 Link to question by Commission Member Draper with applicants [00:17:22](#)  
23

24 Link to question by Commission Member Rogers with applicants [00:18:05](#)  
25

26 Link to discussion by Commission Members [00:19:30](#)  
27

28 Link to motion [00:23:28](#)  
29

30 **MOTION:**  
31

32 A motion was made by Planning Commission Member Anderson to forward a  
33 positive recommendation to City Council for the zone change to PD-C on the  
34 property at 1037 West 1050 North, along with Staff's findings.  
35

36 **SECOND:**  
37

38 The motion was seconded by Planning Commission Member Fisher.  
39

40 **VOTE:**  
41

42 Commission Chair Anderson called for a vote, as follows:  
43

44 Planning Commission Chair Anderson – aye  
45 Planning Commission Member Anderson –aye  
46 Planning Commission Member Fisher – aye  
47 Planning Commission Member Casey – aye  
48 Planning Commission Member Chapman – aye  
49 Planning Commission Member Rogers –aye  
50 Planning Commission Member Draper –aye

51 The vote was unanimous. Motion carries.  
52

53

1 **ITEM 2**2 **ZONE CHANGE- 311 West Mixed Use – PUBLIC HEARING**3 Consider a request to amend the City Zoning Map from C-4 (Central Business  
4 District) to PD-MU (Planned Development Mixed Use) on approximately 1.28 acres  
5 to allow for a new mixed-use project. The applicant is Rosenberg Associates, and  
6 the representative is Jared Bates. Case No. 2025-ZC-020 (Staff – Brenda Hatch)7  
8 Agenda Packet [\[Page 14\]](#)  
910 Link to Presentation by Brenda Hatch [00:24:45](#)  
1112 Link to discussion between Commission Members and Ms. Hatch [00:31:29](#)  
1314 Link to public hearing [00:32:49](#)  
1516 Public Hearing Closed  
1718 Link to discussion by Commission Members and applicants Wes Davis and Steve  
19 Beesley [00:33:20](#)  
2021 Link to discussion between Commission Members [00:34:50](#)  
2223 Link to motion [00:37:00](#)  
2425 **MOTION:**26 A motion was made by Planning Commission Member Draper to forward a  
27 positive recommendation on this item to City Council to amend the zoning  
28 map from C-4 to PD-MU and to allow for the height restriction change, as per  
29 the findings in the report from the City Staff.  
3031 **SECOND:**32 The motion was seconded by Planning Commission Member Casey.  
3334 **VOTE:**35 Commission Chair Anderson called for a vote, as follows:  
3637 Planning Commission Chair Anderson – aye  
38 Planning Commission Member Anderson –recused  
39 Planning Commission Member Fisher – aye  
40 Planning Commission Member Casey – aye  
41 Planning Commission Member Chapman – aye  
42 Planning Commission Member Rogers –recused  
43 Planning Commission Member Draper –aye  
4445 The vote was unanimous. Motion carries.  
4647 Link to comment by Commission Member Chapman [00:37:36](#)  
4849  
50  
51  
52  
53

1 **ITEM 3**2 **PLANNED DEVELOPMENT AMENDMENT-Utah First Credit Union Sun River- PUBLIC**  
3 **HEARING**

4 Consider a request for a Planned Development Amendment to the Atkinville  
5 Interchange Area Zone Plan, Planned Development Commercial (PD-C) zone. The  
6 applicant is seeking approval of the design and site plan for a new credit union of  
7 approximately 3,420 square feet and 22 feet in height. The request also includes  
8 an amendment to the Sun River Commons Master Sign Plan to include two  
9 monument signs to the site. The property is generally located at the corner of  
10 Pioneer Road and Bluegrass Way. The applicant is Civil Science, and the  
11 representative is Brandee Walker. Case No. 2025-PDA-031 (Staff – Brian Dean)

12     Agenda Packet [\[Page 40\]](#)13     Link to Presentation by Brian Dean [00:38:00](#)14     Link to discussion between Commission Members and Mr. Dean [00:42:23](#)15     Link to discussion between Commission Members and Assistant City Attorney Jami  
16     Bracken and Community Development Director Carol Winner [00:45:17](#)17     Link to public hearing [00:47:19](#)

18     Public Hearing Closed

19     Link to discussion by Commission Members [00:47:58](#)20     Link to motion [00:48:08](#)21 **MOTION:**

22     A motion was made by Planning Commission Member Fisher to recommend  
23     approval to City Council, this item #3, an amendment to Planned  
24     Development, adopting the findings of the Staff and adding two signs, as  
25     requested, with the conditions placed on them already in the staff report.

26 **SECOND:**

27     The motion was seconded by Planning Commission Member Chapman.

28 **VOTE:**

29     Commission Chair Anderson called for a vote, as follows:

30     Planning Commission Chair Anderson – aye  
31     Planning Commission Member Anderson –aye  
32     Planning Commission Member Fisher – aye  
33     Planning Commission Member Casey – aye  
34     Planning Commission Member Chapman – aye  
35     Planning Commission Member Rogers –recused  
36     Planning Commission Member Draper –aye

37     The vote was unanimous. Motion carries.

1 **ITEM 4**2 **HILLSIDE DEVELOPMENT PERMIT -Banded Hills Hillside Revision –**3 Consider a request for a Hillside Development Permit for modifications to the  
4 approved location of the rock fall hazard line approved with the original Hillside  
5 Permit. The applicant is RS Custom Homes, and the representative is Ryan Shaw.  
6 Case No. 2025-HS-011 (Staff – Dan Boles)7       Agenda Packet [\[Page 65\]](#)8       Link to Presentation by Assistant Public Works Director Wes Jenkins [00:48:57](#)9       Link to discussion between Commission Members [00:53:39](#)10      Link to motion [00:56:00](#)11 **MOTION:**12       A motion was made by Planning Commission Member Chapman to approve  
13       Item #7 with Staff recommendations.14 **SECOND:**

15       The motion was seconded by Planning Commission Member Rogers.

16 **VOTE:**

17       Commission Chair Anderson called for a vote, as follows:

18       Planning Commission Chair Anderson – aye  
19       Planning Commission Member Anderson – aye  
20       Planning Commission Member Fisher – aye  
21       Planning Commission Member Casey – aye  
22       Planning Commission Member Chapman – aye  
23       Planning Commission Member Rogers –aye  
24       Planning Commission Member Draper –aye

25       The vote was unanimous. Motion carries.

26 **ITEM 5**27 **GENERAL PLAN AMENDMENT Adoption of the Water Element of the General Plan-  
28 PUBLIC HEARING**29 Consider a request to adopt a comprehensive general plan update to add a Water  
30 Use and Preservation Element to the General Plan. The applicant is City of St  
31 George, and the representative is Carol Winner. Case No. 2025-GPA-016 (Staff –  
32 Carol Winner)33       Agenda Packet [\[Page 84\]](#)34       Link to Presentation by Carol Winner [00:56:30](#)35       Link to Presentation by Water Services Director Scott Taylor [00:58:00](#)36       Link to discussion between Commission Members and Mr. Taylor [01:26:21](#)37       Link to public hearing [01:28:50](#)

1  
2 Link to comment by Lisa Aedo [01:29:00](#)  
3  
4  
5

6 Public Hearing Closed  
7  
8

9 Link to motion [01:31:00](#)  
10  
11

12 **MOTION:**

13 A motion was made by Planning Commission Member Draper to recommend  
14 approval of this amendment to the General Plan.  
15  
16

17 **SECOND:**

18 The motion was seconded by Planning Commission Member Rogers.  
19  
20

21 **VOTE:**

22 Commission Chair Anderson called for a vote, as follows:  
23  
24

25 Planning Commission Chair Anderson – aye  
26 Planning Commission Member Anderson –aye  
27 Planning Commission Member Fisher – aye  
28 Planning Commission Member Casey – aye  
29 Planning Commission Member Chapman – aye  
30 Planning Commission Member Rogers –aye  
31 Planning Commission Member Draper –aye  
32  
33

34 The vote was unanimous. Motion carries.  
35  
36

37 **ITEM 6**

38 **ZONE REGULATION AMENDMENT City Standard Specifications Section 4- PUBLIC**  
39 **HEARING –**

40 **Consider a request to amend Standard Specification Section 4 Construction  
41 Standards to address an overall update to Section 4 including, revisions to Table  
42 4.3 (Minimum Roadway Structural Requirements) for Major Collector roadways  
43 and larger, Road base gradation allowances for acceptance limits and suspension  
44 limits, revisions to Table 4.6 (Master Grading Bands) to meet target tolerances for  
45 aggregate gradation, removal of the Chip Seal and Slurry Seal sections and an  
46 update to the Standard Drawing 170 – Trench Backfill and Repair Detail in section  
47 4 of City Standards and Specifications. The applicant is City of St George, and the  
48 representative is Wes Jenkins. Case No. 2025-ZRA-014 (Staff – Wes Jenkins)**

49  
50 Agenda Packet [\[Page 119\]](#)  
51  
52

53 Link to Presentation by Wes Jenkins [01:31:45](#)  
54  
55

56 Link to public hearing [01:49:17](#)  
57  
58

59 Public Hearing Closed  
60  
61

62 Link to motion [01:49:43](#)  
63  
64

65 **MOTION:**

66 A motion was made by Planning Commission Member Rogers to forward a  
67  
68

1 positive recommendation for Item #6.  
2

3 **SECOND:**

4 The motion was seconded by Planning Commission Member Chapman.  
5

6 **VOTE:**

7 Commission Chair Anderson called for a vote, as follows:  
8

9 Planning Commission Chair Anderson – aye  
10 Planning Commission Member Anderson –aye  
11 Planning Commission Member Fisher – aye  
12 Planning Commission Member Casey – aye  
13 Planning Commission Member Chapman – aye  
14 Planning Commission Member Rogers –aye  
15 Planning Commission Member Draper –aye  
16

17 The vote was unanimous. Motion carries.  
18

19 **APPROVAL OF MINUTES:**

20 Consider a request to approve the meeting minutes from the October 28, 2025,  
21 meeting.  
22

23 Agenda Packet [\[Page 289\]](#)  
24

25 Link to motion [01:50:10](#)  
26

27 **MOTION:**

28 A motion was made by Planning Commission Member Rogers to approve minutes of  
29 October 28, 2025, meeting.  
30

31 **SECOND:**

32 The motion was seconded by Planning Commission Member Chapman.  
33

34 **VOTE:**

35 Commission Chair Anderson called for a vote, as follows:  
36

37 Planning Commission Chair Anderson – aye  
38 Planning Commission Member Anderson -aye  
39 Planning Commission Member Fisher – aye  
40 Planning Commission Member Casey – aye  
41 Planning Commission Vice Chair Chapman –aye  
42 Planning Commission Member Rogers – aye  
43 Planning Commission Member Draper- aye  
44

45 The vote was unanimous and the motion carried.  
46

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53

1 **CITY COUNCIL ITEMS:**2 *Carol Winner, the Community Development Director, will report on items heard at the*  
3 *November 6, 2025, City Council Meeting.*4 1. Desert Canyons Addition 2 – BD  
5 2. Planetboys Commercial -DB  
6 3. Desert Corner Zone Change – BH  
7 4. White Cliffs -BD  
8 5. White Dome Townhomes – BH  
9 6. Title 3-2W Temp Parking Lot Business Amendment -BD10 **ADJOURN:**11 Link to motion: [01:59:09](#)12 **MOTION:**

13 A motion was made by Planning Commission Member Fisher to adjourn.

14 **SECOND:**

15 The motion was seconded by Planning Commission Member Rogers.

16 **VOTE:**

17 Commission Chair Anderson called for a vote, as follows:

18 Planning Commission Chair Anderson – aye  
19 Planning Commission Member Anderson – aye  
20 Planning Commission Member Fisher – aye  
21 Planning Commission Member Casey – aye  
22 Planning Commission Member Chapman – aye  
23 Planning Commission Member Rogers – aye  
24 Planning Commission Member Draper – aye

25 The vote was unanimous, and the motion carries.

26 /s/

27 Angie Jessop, Development Services