

**HOOPER CITY**  
**PLANNING COMMISSION AGENDA**  
**DECEMBER 11, 2025, 7:00PM**  
COUNCIL CHAMBERS  
5580 W. 4600 S.  
Hooper, UT 84315

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Notice is hereby given that the Hooper City Planning Commission will hold a work meeting and their regularly scheduled meeting on Thursday, December 11, 2025, starting at 7:00pm at the Hooper Municipal Building located at 5580 W 4600 S Hooper, UT 84315.

**Work Meeting – 6:30pm**

1. Discussion on Agenda Items

**Regular Meeting – 7:00pm**

1. Meeting Called to Order
2. Opening Ceremony
  - a. Pledge of Allegiance
  - b. Reverence
3. Consent Items
  - a. Motion – Approval of minutes dated November 13, 2025
4. Action Items
  - a. Conditional Use Permit Request for Cody Benson for an oversized structure totaling 2,400 sq ft located at 3221 S 5325 W
    - i. Enter a public hearing to receive public input on request.
    - ii. Close the public hearing and proceed with the regular meeting.
    - iii. Planning Commission Discussion and/or Motion on request
  - b. Conditional Use Permit Request for Elizabeth Silva for an oversized structure totaling 2,100 sq ft located at 5517 S 6800 W
    - i. Enter a public hearing to receive public input on request.
    - ii. Close the public hearing and proceed with the regular meeting.
    - iii. Planning Commission Discussion and/or Motion on request
  - c. Final approval for Kimball Estates Subdivision located at Parcel # 09-077-0018 for MRK3 Group LLC
5. Citizen Comment (*Resident(s) attending this meeting will be allotted 3 minutes to express a concern about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
6. Adjournment

*Morghan Yeoman*

Morghan Yeoman, City Recorder

*\*Please see notes regarding public comments and public hearings*

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In compliance with the American with Disabilities Act, persons needing special accommodations, including auxiliary communicative aids and services, for this meeting should notify the city recorder at 801-732-1064 or admin@hoopercity.com at least 48 hours prior to the meeting.

**CERTIFICATE OF POSTING**

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Hooper City limits on this 11th day of December, 2025 at Hooper City Hall, on the City Hall Notice Board, on the Utah State Public Notice Website, and at <https://www.hoopercity.com/meetings>.

**\*NOTES REGARDING PUBLIC COMMENT AND PUBLIC HEARINGS**

- A. Time is made available for anyone in the audience to address the City Council during public comment and through public hearings.
  - a. When a member of the audience addresses the council, they will come to the podium and state their name.
  - b. Each person will be allotted three (3) minutes for their remarks/questions.
  - c. The City Recorder will inform the speaker when their allotted time is up.

**\*CONFLICT OF INTEREST**

As per Utah State Code §67-16-9; Public officers and employees cannot have personal investments in a business entity that would create a substantial conflict between their private interests and public duties. This also applies to board members.



**HOOPER CITY**  
**PLANNING COMMISSION MEETING MINUTES**  
**THURSDAY, NOVEMBER 13, 2025, 7:00PM**  
COUNCIL CHAMBERS  
5580 W. 4600 S.  
Hooper, UT 84315

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The Hooper City Planning Commission held a work meeting at 6:00pm and their regular meeting at 7pm on November 13, 2025, at the Hooper City Civic Center located at 5580 W. 4600 S, Hooper, UT 84315.

PLANNING COMMISSION MEMBERS' PRESENT:

Jase McCormick  
Amanda Prince  
Travis Bates  
Blake Cevering  
Sheldon Greener  
Gene Larsen

COMMISSION MEMBERS EXCUSED:

Bryce Widdison

CITY STAFF & CITY COUNCIL PRESENT:

Jamee Johnston – Deputy City Recorder  
Malcolm Jenkins – City Planner  
Matt Wilson – City Attorney

**6:00PM WORK MEETING**

1. Discussion on Agenda Items

The Planning Commission held a work session where they discussed agenda items and had a discussion on Flag Lots with David Reed, Weber County Deputy Chief/Fire Marshal.

**7:00PM REGULAR MEETING**

1. Meeting Called to Order

At 7:00pm Commissioner McCormick called the meeting to order.

2. Opening Ceremony

a. Pledge of Allegiance

Commissioner Larsen led in the Pledge of Allegiance.

b. Reverence

Commissioner Prince offered reverence.

3. Consent Itemsa. Motion – Approval of minutes dated August 14, 2025

Commissioner Prince spoke on a date correction.

Correction was made.

**COMMISSIONER GREENER MOTIONED TO APPROVE THE MINUTES DATED AUGUST 14, 2025, WITH A DATE CHANGE. COMMISSIONER BATES SECONDED THE MOTION. VOTING AS FOLLOWS:**

<u>COMMISSIONER:</u>	<u>VOTE:</u>
MCCORMICK	AYE
PRINCE	AYE
BATES	AYE
CEVERING	AYE
GREENER	AYE
LARSEN	AYE

**MOTION APPROVED.**

b. Motion – Approval of minutes dated October 9, 2025

No corrections.

**COMMISSIONER BATES MOTIONED TO APPROVE THE MINUTES DATED OCTOBER 09, 2025, WITH NO CHANGES. COMMISSIONER PRINCE SECONDED THE MOTION. VOTING AS FOLLOWS:**

<u>COMMISSIONER:</u>	<u>VOTE:</u>
MCCORMICK	AYE
PRINCE	AYE
BATES	AYE
CEVERING	AYE
GREENER	AYE
LARSEN	AYE

**MOTION APPROVED.**

4. Action Itemsa. Discussion: Creating TRC Checklist.

Malcolm Jenkins, the City Planner, presented the newly drafted subdivision application checklist noting changes and important steps.

Malcolm and the Planning Commission went through the TRC checklist; with discussions on ordinances and review cycle, concerns regarding the requirement for applicants to provide adjoining property owners information, traffic studies for minor subdivisions, and adding a disclosure on the bottom of the checklist.

5. Citizen Comment

*(Resident(s) attending this meeting will be allotted 3 minutes to express a concern about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.)*

None

6. Adjournment

**AT APPROXIMATELY 7:28 PM, COMMISSIONER GREENER MOTIONED TO ADJOURN THE MEETING. COMMISSIONER PRINCE SECONDED THE MOTION. VOTING AS FOLLOWS:**

<b><u>COMMISSIONER:</u></b>	<b><u>VOTE:</u></b>
MCCORMICK	AYE
PRINCE	AYE
BATES	AYE
CEVERING	AYE
GREENER	AYE
LARSEN	AYE
<b>MOTION PASSED.</b>	

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Date Approved: \_\_\_\_\_

\_\_\_\_\_  
Jamee Johnston, Deputy City Recorder



Hooper City  
5580 W. 4600 S.  
Hooper, UT 84315  
Office 801-732-1064

24.00  
Fee: \$200.00  
Date Submitted 10-23-25

## Conditional Use Permit: Oversized Structure

Print Applicant Name: Cody Wayne Benson

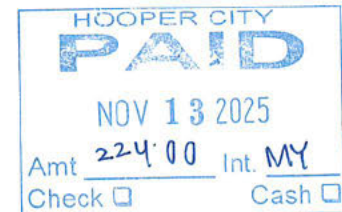
Address: 3221 S 5325 W, Hooper

Phone #: [REDACTED]

Day Time Phone #: [REDACTED] Email: [REDACTED]

☐ Provide site plan drawings including all of the following: (Site plan must be to scale).

- Map of property showing adjacent streets
- Building dimensions and distance from other structure
- Distance from property lines. (The drip edge must be at least 5 feet from property lines. If you are on a corner lot or have easements attached to your property it may be more than the 5 feet.)
- List any easements on property
- Roof pitch, roof height, roofing material and drip line distance to other structure and property lines
- Concept drawing of what structure will look like
- Building materials
- Driveway materials
- Landscaping design



Total Sq. footage of Structure: 2400 sq ft

Height of Structure: Peak 22' 1 1/2"

- ☐ What will the structure be used for? Storing cars and trailers
- ☐ Will any plumbing be installed in the structure? Yes No ☒ X
- ☐ Will any electricity be installed in the structure? Yes ☒ X No
- ☐ Will structure be used for a business? Yes No ☒ X
- If yes, have you applied for a business license with Hooper City? Yes No ☒ X

Explain:

- ❖ The State requires all property owners within 600 feet from your parent property (front, sides and back) to be notified. There will be an additional fee of \$1.00 for every notice that is sent out.

Please address these issues on the back of this application.

Traffic problems	Safety issues	Noise	Parking
Fencing	Pollution	Odors	Design
Business operation	Use of structure	Easements	

I hereby certify that the above information is accurate to the best of my knowledge. I certify that I will comply with all state and local requirements before and after building this structure. I understand that if conditional use does not start within (12) months and also if the conditional use is discontinued for (12) consecutive months, the Conditional Use Permit will expire. If my conditional use changes I will notify Hooper City for a Conditional Use Permit review. I or a representative will be present at the Planning Commission Meeting.

Signature: Cody Wayne Benson Date: 10/23/2025

\*\*\*\*\*

Approval Date: Disapproval Date: Planning Commission Chairman

Comments/Conditions:

Completed application, fee and all other documents must be submitted three weeks before a Planning Commission Meeting which is the 2nd Thursday of the month unless otherwise specified.

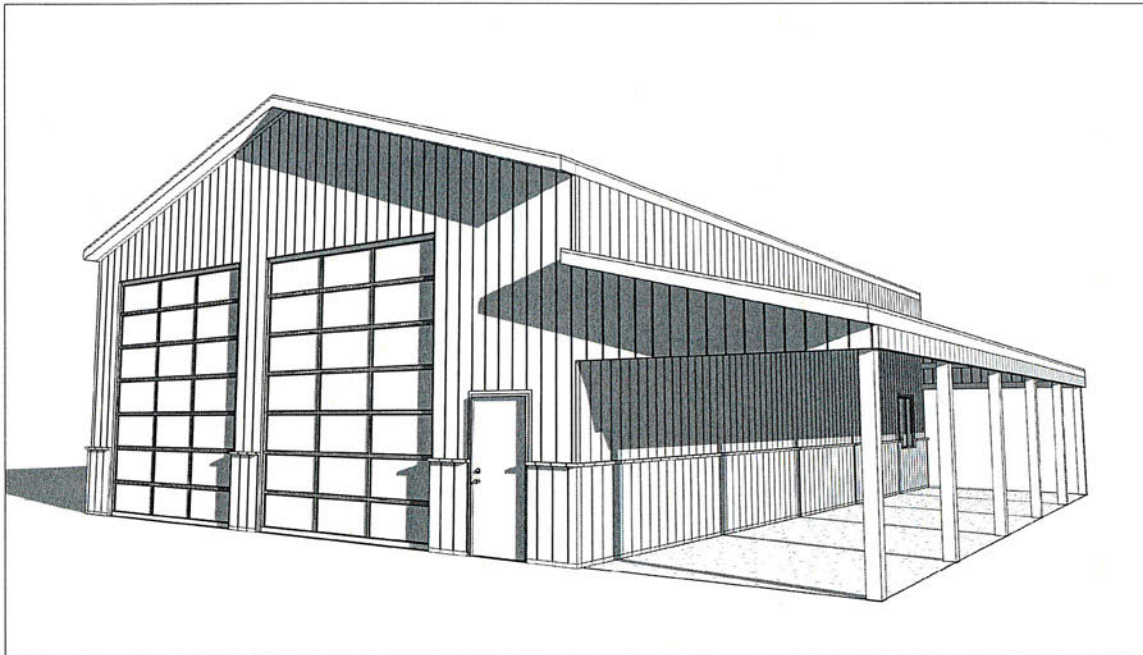
# ROPER BUILDINGS

## CODY BENSON BUILDING

DATE:  
10/17/2025

### DRAWING INDEX

A0	Title Page
A1	Foundation Plan
A2	First Floor Plan
A3	Framing Plans
A4	Roof Plan
A5	Elevations
A6	Panel Layouts
A7	Details
A8	Details
A9	Details
A10	Engineering Notes
A11	Engineering Notes



### CONTACT

ROPER BUILDINGS /  
DMLP RESOURCES  
PHONE: (801) 689-3630

### BUILDING INFORMATION

**BUILDING INFORMATION:**  
DIMENSIONS: 36' x 50' = 1,800 ft<sup>2</sup>  
LEAN 1 DIMENSIONS: 12' x 50' = 600 ft<sup>2</sup>  
TOTAL SQUARE FOOTAGE: 2,400 ft<sup>2</sup>

**SITE INFORMATION:**  
ADDRESS:  
3221 S. 5325 W.  
Hooper, UT 84315

**USAGE:**  
Residential Accessory

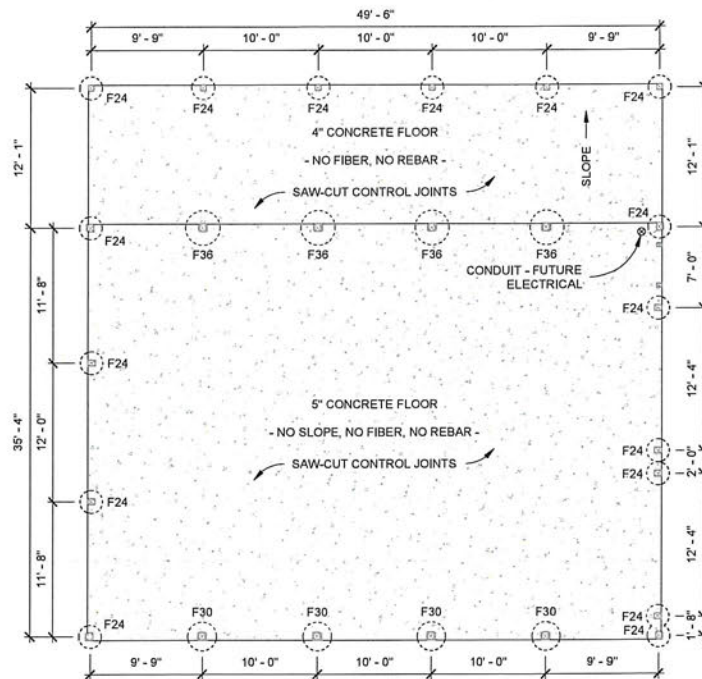


STRUCTURAL ONLY

### GENERAL INFO.

GIRTS: COMMERCIAL  
CLEAR HEIGHT: 15' - 0"  
CONCRETE THICKNESS: 5"

WEST



NORTH

SOUTH

PIERS			
Count	Type	Diameter	Depth
16	F24	24"	36"
4	F30	30"	36"
4	F36	36"	36"

EAST  
(FRONT OF BUILDING)

FOUNDATION PLAN  
1/8" = 1'-0"



STRUCTURAL ONLY

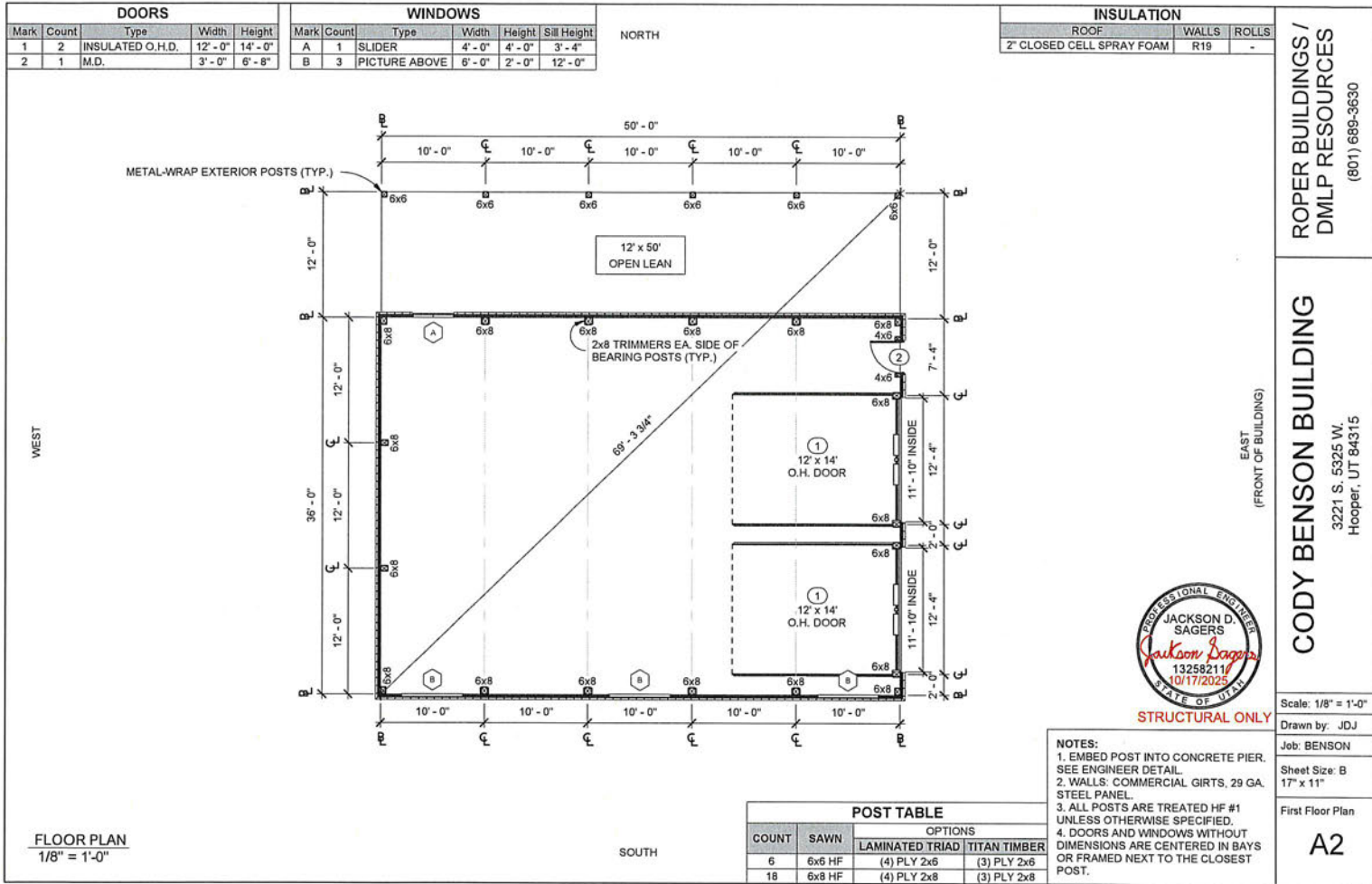
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CODY BENSON BUILDING  
3221 S. 5325 W.  
Hooper, UT 84315

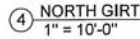
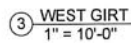
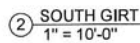
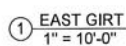
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Drawn by: JDJ  
Job: BENSON  
Sheet Size: B  
17" x 11"

Foundation Plan  
A1

Date: 10/17/2025







STRUCTURAL ONLY

PROPER BUILDINGS /  
DMLP RESOURCES  
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CODY BENSON BUILDING

3221 S. 5325 W.  
Hooper, UT 84315

Scale: 1" = 10'-0"

Drawn by: JD.

Job: BENSON

Sheet Size: B  
17" x 11"

### Framing Plans

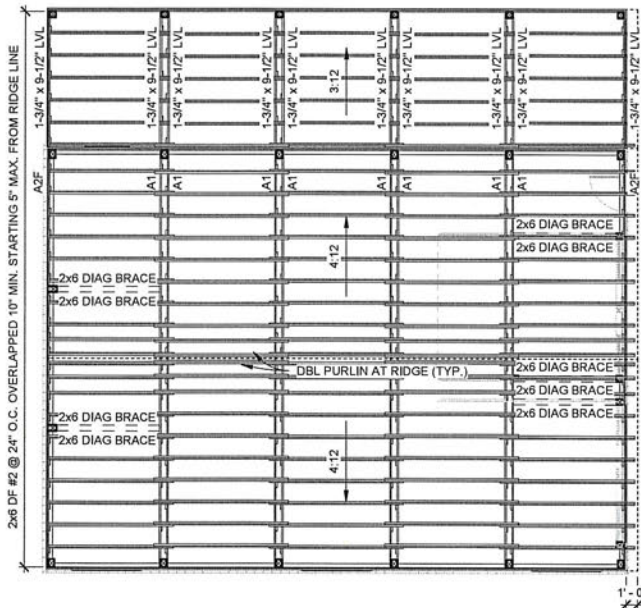
A3

Date: 10/17/2025

WEST

ROOF PLAN  
1/8" = 1'-0"

NORTH



1' - 0"

SOUTH

INSULATION

ROOF	WALLS	ROLLS
2" CLOSED CELL SPRAY FOAM	R19	-

EAST



STRUCTURAL ONLY

ROOF FRAMING NOTES:  
4:12 MAIN ROOF PITCH  
3:12 LEAN ROOF PITCH

- PURLINS: 2x6 DF #2 @ 24" O.C. OVERLAPPED 10" MIN. STARTING 5" MAX. FROM RIDGE LINE.
- ALL PURLINS ARE SINGLE PURLINS UNLESS OTHERWISE NOTED.

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CODY BENSON BUILDING  
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Scale: 1/8" = 1'-0"

Drawn by: JDJ

Job: BENSON

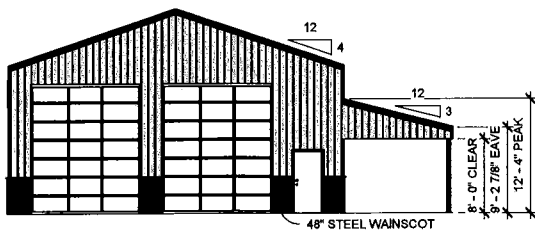
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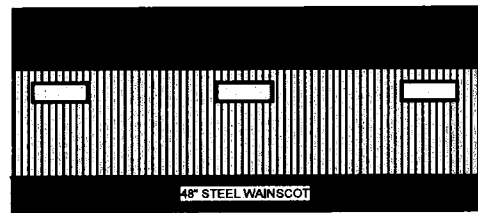
Roof Plan

A4

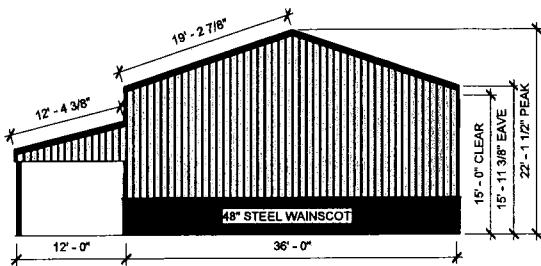
Date: 10/17/2025



① EAST ELEVATION  
1" = 10'-0"

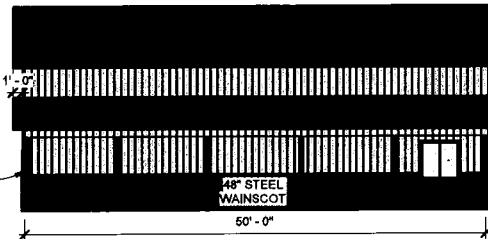


② SOUTH ELEVATION  
1" = 10'-0"



③ WEST ELEVATION  
1" = 10'-0"

METAL-WRAP  
EXTERIOR  
POSTS (TYP.)



④ NORTH ELEVATION  
1" = 10'-0"

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Hooper, UT 84315

Scale: 1" = 10'-0"

Drawn by: JDJ

Job: BENSON

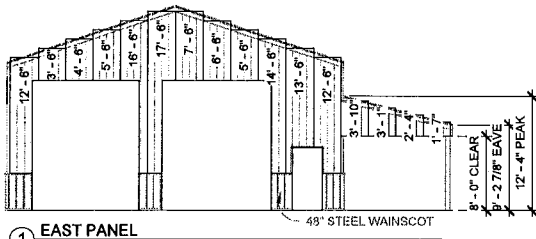
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Elevations

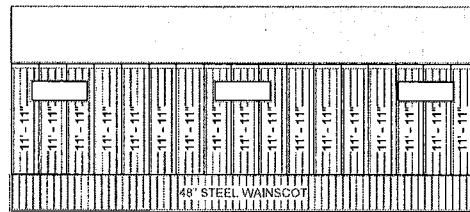
A5

Date: 10/17/2025

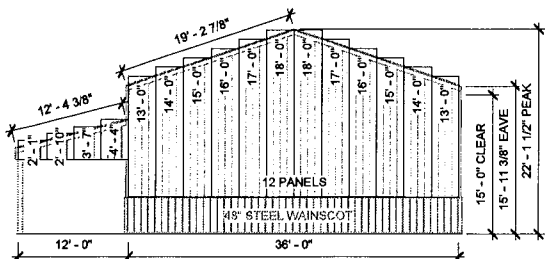




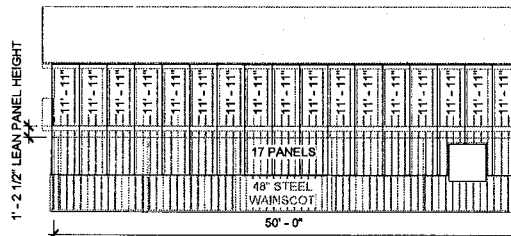
① EAST PANEL  
1" = 10'-0"



② SOUTH PANEL  
1" = 10'-0"



③ WEST PANEL  
1" = 10'-0"



④ NORTH PANEL  
1" = 10'-0"

# PANEL SCHEDULE

Quantity	Panel Number
1	1' - 7"
1	2' - 4"
1	2' - 10"
1	3' - 1"
1	3' - 6"
1	3' - 7"
1	3' - 10"
1	4' - 4"
1	4' - 6"
2	5' - 6"
1	7' - 6"
34	11' - 11"
2	12' - 6"
2	13' - 0"
1	13' - 6"
2	14' - 0"
1	14' - 6"
2	15' - 0"
2	16' - 0"
1	16' - 6"
2	17' - 0"
1	17' - 6"
2	18' - 0"

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## CODY BENSON BUILDING

3221 S. 5325 W.  
Hooper, UT 84315

Scale: 1" = 10'-0"

Drawn by: JDJ

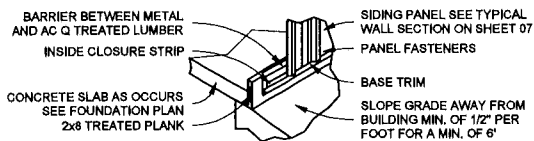
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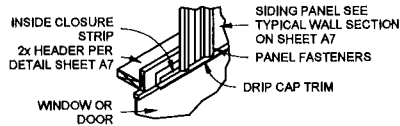
Panel Layouts

A6

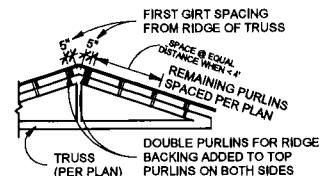
Date: 10/17/2025



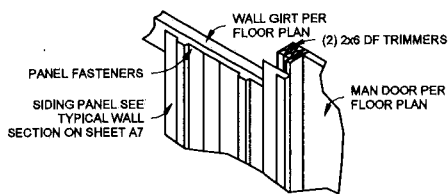
① BASE GUARD FLASHING  
N.T.S.



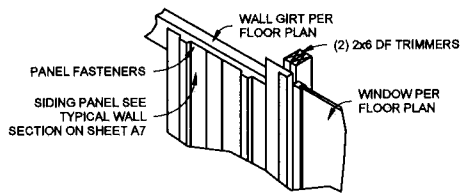
② WINDOW/DOOR HEADER FLASHING  
N.T.S.



③ T.O. ROOF DETAIL  
N.T.S.



④ MAN DOOR JAMB FLASHING  
N.T.S.



⑤ WINDOW JAMB FLASHING  
N.T.S.

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DMLP RESOURCES  
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CODY BENSON BUILDING  
3221 S. 5325 W.  
Hooper, UT 84315

Scale: As Indicated

Drawn by: JDJ

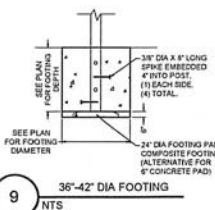
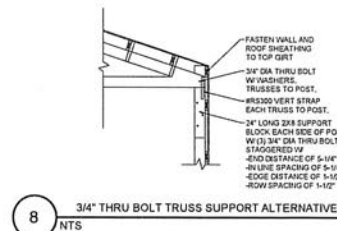
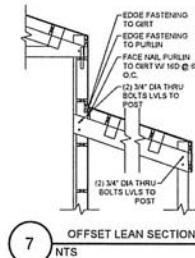
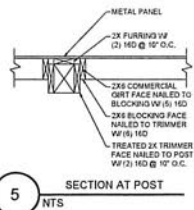
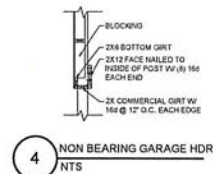
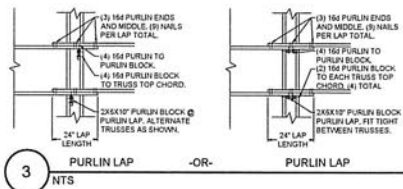
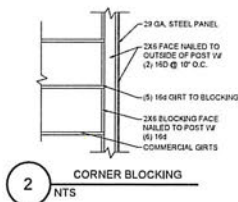
Job: BENSON

Sheet Size: B  
17" x 11"

Details

A7

Date: 10/17/2025



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CODY BENSON BUILDING  
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Hooper, UT 84315

Scale:  
Drawn by: JDJ  
Job: BENSON  
Sheet Size: B  
17" x 11"  
Details

A8



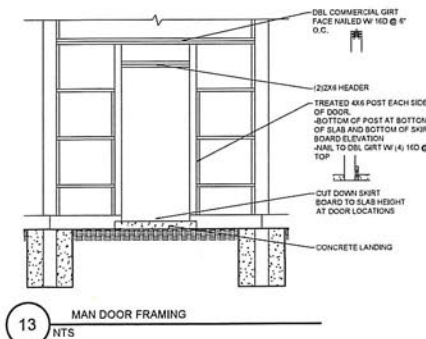
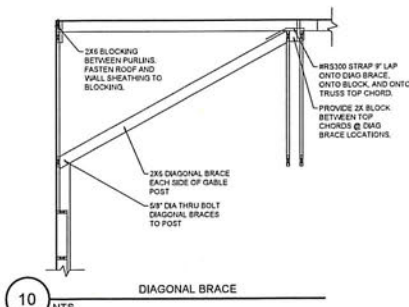
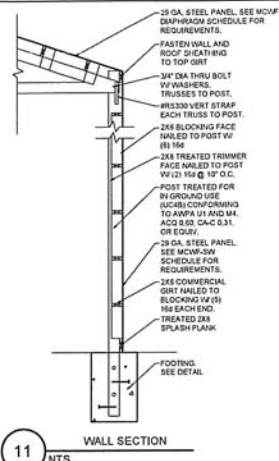
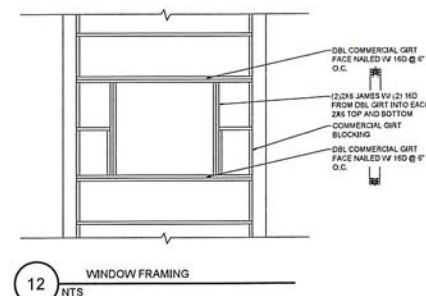
STRUCTURAL ONLY

Date: 10/17/2025



STRUCTURAL ONLY

Date: 10/17/2025







## FRAMING

**NOTES:**

1. ALL TRUSS/ROOFING REQUIREMENTS SHALL BE AT ALL BEARING POINTS OF TRUSSES, RAFTERS, AND JOIST.
2. WALLS SHALL BE BALLOON FRAMED CONTINUOUS STUDS SUPPORTED BY A FLOOR OR ROOF TRUSS SYSTEM. STUDS SHALL BE 2" X 6" OR LARGER AND STAMPED BY AN APPROVED WOOD LABEL (WPA, WLEC, ETC.)
3. STUDS IN WALLS SHALL BE MINIMUM 16" ON CENTER AND 16" OR HIGHER GRADES MAY REPLACE MEMBERS IN LARGER WALLS.
4. STUDS IN ROOF SHALL BE MINIMUM 16" ON CENTER AND 16" OR HIGHER GRADES MAY REPLACE MEMBERS IN ROOF.
5. BEAMS CONSISTING OF (4) OR MORE PLIES SHALL BE MAXIMUM 10' FROM BOTTOM OF BEAM.
6. BEAMS SHALL BE MINIMUM OF 1/2" TO THE PERIMETER OF 1/4" LARGER THAN THE JOIST DETERMINED, A STANDARD CUT LUMBER BEAM SHALL BE 1/2" LARGER THAN THE JOIST DETERMINED, AND BEAMS SHALL BE LAPPED BETWEEN THE WOOD AND THE NUT.
7. ALL BEAMS SHALL BE MINIMUM 16" ON CENTER AND 16" OR HIGHER GRADES MAY REPLACE MEMBERS AS FOLLOWS:
  - a. THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK AND SHALL BE 1/2" DEEPER THAN THE SHANK.
  - b. THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER EQUAL TO 40%+7% OF THE SHANK DIAMETER AND A EQUAL AT LEAST 1/2" DEEPER THAN THE SHANK.
  - c. THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER, THE LARGER PERCENTILE SHANK DIAMETER, TO ALL LOG SCREWS.
8. ALL STUDS SHALL BE MINIMUM 16" ON CENTER AND 16" OR HIGHER GRADES MAY REPLACE MEMBERS AS FOLLOWS:
  - a. POSTS AND WALLS SHALL BE CENTERED ON CONTINUOUS STUDS.
  - b. STUDS IN WALLS SHALL BE MINIMUM 16" ON CENTER AND 16" OR HIGHER GRADES MAY REPLACE MEMBERS AS FOLLOWS:
    - i. SQUARE BLOCKING AND LOWER COLUMNS SHALL BE PROVIDED TO SUPPORT STUDS IN WALLS.
    - ii. SQUARE BLOCKING AND LOWER COLUMNS SHALL BE ALIGNED WITH STUDS IN WALLS.
  - c. 1" BUILT UP 2X COLUMNS SHALL BE FACE NAIL TOGETHER W/ 16D.

2. COLLARS SHALL SUPPORT FULL WIDTH OF BEAM ENDS.

3. ALL TRUSS JOINTS SHALL CONFORM TO ASTM D7122.

4. PIR OR JAIL SHALL BE EVALUATED IN ACCORDANCE WITH ASTM D7122.

5. WHERE THE DEB. TOP OF TRUSS JOINTS SHALL MEET THE REQUIREMENTS PER THE TRUSS MANUFACTURER'S SPECIFICATIONS.

6. WOOD CONNECTIONS SHALL BE INSTALLED PER THE TRUSS MANUFACTURER'S SPECIFICATIONS.

**TRUSS AND JOIST**

1. PRE-MANUFACTURED TRUSSES SHALL FOLLOW LAYOUT SHOWN ON PLANS. ANY CHANGES IN TRUSS LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE TRUSS MANUFACTURER. THE CONTRACTOR AND MANUFACTURER SHALL VERIFY CARRYING CAPACITY OF TRUSS AND JOIST. TRUSSES SHALL BE FASTENED PER MANUFACTURER'S SPECIFICATIONS.

2. TRUSS AND JOIST SHALL BE SPACED PER MANUFACTURER.

3. PROVIDE WOOD STEPPERS ON JOISTS WHEN REQUIRED BY MANUFACTURER.

4. NO ALTERATION OF TRUSSES OR JOISTS ARE ALLOWED WITHOUT APPROVAL FROM MANUFACTURER.

5. PROVIDE NAILING AND BRACING AT END OF EVERY ROOF TRUSS/RAFTER TO TOP PLATE.

6. 2X6 OR 8H1 FOR STANDARD TRUSSES AND BEVELS RAFTERS.

**STEEL** FOR NON BEVELLED RAFTERS

**NOTES**

1. W/ SECTIONS SHALL COMPLY W/ ASTM A992 AND HAVE Fy=50 KSI MIN. AND Fu=65 KSI MIN.

2. HSS RECTANGULAR SECTIONS SHALL COMPLY W/ ASTM A500 GRADE B AND HAVE Fy=50 KSI MIN. AND Fu=65 KSI MIN.

3. C AND I SECTION SHALL COMPLY W/ ASTM A36 AND HAVE Fy=36 KSI MIN. AND Fu=58 KSI MIN.

4. ALL WELDS ARE 1/4" FILLET CONFORMING TO THE REQUIREMENTS IN AWS D1.1 W/ AN ELECTRODE E60XX70 KSI U.N.O.

5. ALL STRUCTURAL STEEL BOLTS SHALL COMPLY W/ A307 GRADE A AND HAVE Fy=45 KSI AND Fw=72 KSI U.N.O.

6. ALL MID-PLATE BEAMS SHALL HAVE 3/4" V/O STIFFENER EACH

7. WHERE LEVELING NUTS ARE USED UNDER BASE PLATES, NON SHRINK GROUT SHALL FILL THE VOID BETWEEN CONCRETE AND STEEL GROUT SHALL BE RATED FOR 1000 PSI MIN.

8. WOOD NAILERS OR BRACKS SHALL BE 2X OR 3X W/ 1/2" DIA BOLTS SPACED AT 32" O.C. MIN.

**EPOXY**

NOTES:

1. EPOXY SHALL BE SAMPSON SET-30 U.N.O. -OR- EQUIVALENT

2. DRILL AND CLEAN HOLE PER MANUFACTURERS SPECIFICATIONS.

3. HOLE SHALL BE FREE OF DUST, DEBRIS, AND STANDING WATER PRIOR TO EPOXY INSTALLATION.

**NOTES TO TABLE ABOVE**

1. ROOF AND FLOOR FRAMING MEMBERS SHALL BE PLACED NO FURTHER THAN 2R OF JOIST, GIRDERS, OR CONCRETE FLOOR. SMOOTH SHANK CORNERS OR GALVANIZED BARS GALVANIZED NAILS SHALL BE HOT-DIPPED OR MECHANICALLY DEPOSITED.

2. FRAMING MEMBERS SHALL BE PLACED TO THE REAR OF THE NAIL FLUSH WITH THE SURFACE OF SHEATHING.

3. STRUCTURES SHALL BE PROTECTED FROM EXPOSURE TO AND WITHIN THE REQUIREMENTS OF UDCOS P.2.

4. FLOOR SHEATHING SHALL BE GLUED TO FRAMING MEMBERS PRIOR TO NAILING W/ 16D NAILS. JOIST AND GIRDER FRAMING SHALL BE SPECIFICATED.

5. STRENGTH AXIS (LONG DIRECTION) OF PANELS SHALL BE ORIENTED PERPENDICULAR TO FRAMING MEMBERS.

6. NAILS SHALL BE LOCATED AT LEAST 3" FROM THE EDGES OF PANELS.

7. NAILS SHALL BE PLACED AT LEAST 12" FROM THE EDGES OF PANELS. 16D NAILS AT HALF THE SPACING FOR 7/8" PANELS ONLY. CROWN Nails BE INSTALLED PARALLEL TO FRAMING MEMBERS.

8. PANELS SHALL NOT BE LESS THAN 4"X3" EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM PANEL DIMENSION SHALL BE 2" UNLESS ALL EDGES OF THE USED PANELS ARE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS.

9. BLOTTING.

**NOTES TO TAKE OFF:**

1. WOOD JOIST SPACING TO FOLLOW FASTENING FOR ASSEMBLY/PSI U.N.O.

2. PURLINS SHALL BE 2X8 TOP FLANGING AND LAPPED AT 24" O.C.

3. FIELD AND END FASTENING TO FOLLOW FASTENING FOR ASSEMBLY/PSI U.N.O.

4. STRUCTURAL PANELS SHALL BE 25 GAUGE STEEL (FABRIK GRANDIRIS 3OR EQUIVALENT)

**LOCATIONS REQUIRED NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD**

**NOTES:**

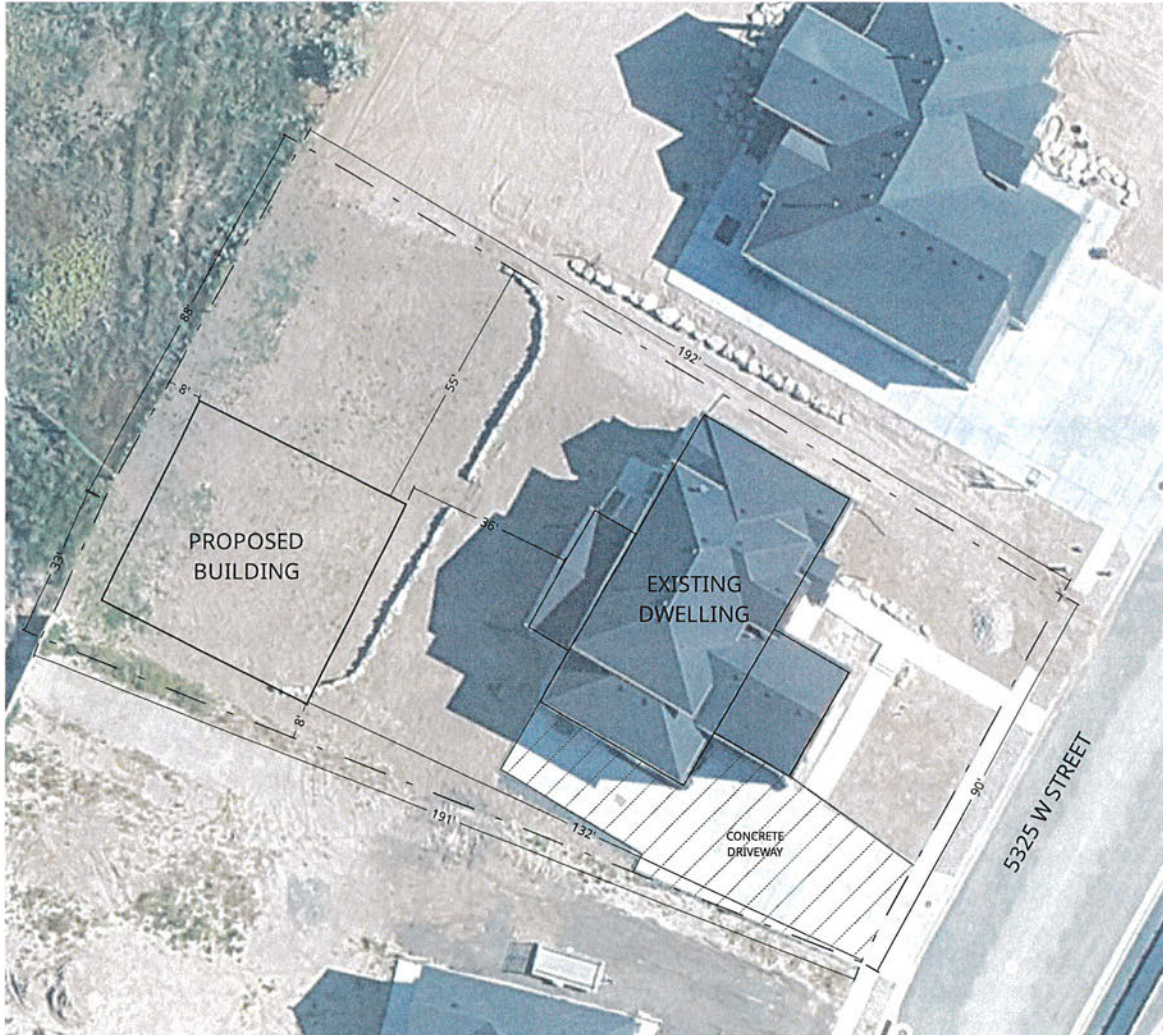
1. WOOD JOIST/SFLOORS CLOSER THAN 18" AND WOOD GIRDERS CLOSER THAN 12" TO EXPOSED GROUND IN CRAWL SPACES OR UNCAVEKATED AREAS WITHIN THE PERIMETER OF THE BUILDING FOOTPRINT.

2. WOOD FRAMING MEMBERS IN CONTACT W/ THE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH.

3. MEMBERS IN CONTACT WITH EXTERIOR ARE TO BE DIRECT CONTACT W/

	<p><b>CODY BENSON BUILDING</b></p> <p>3221 S. 5325 W. Hooper, UT 84315</p>	<p><b>ROPER BUILDINGS / DMLP RESOURCES</b></p> <p>(801) 689-3630</p>
	<p>Scale:</p> <p>Drawn by: JDJ</p> <p>Job: BENSON</p> <p>Sheet Size: B 17" x 11"</p> <p>Engineering Notes</p>	

<p><b>CODY BENSON BUILDING</b></p> <p>3221 S. 5325 W. Hooper, UT 84315</p>	<p><b>ROPER BUILDINGS / DMLP RESOURCES</b></p> <p>(801) 689-3630</p>
	<p><b>Scale:</b></p>
	<p><b>Drawn by:</b> JDJ</p>
	<p><b>Job:</b> BENSON</p>
	<p><b>Sheet Size:</b> B 17" x 11"</p>
<p><b>Engineering Notes</b></p>	



CODY BENSON  
3221 S 5325 W HOOPER UT 84315  
PARCEL: 15-728-0011  
PH: 720-331-4565

CONTRACTOR  
ROPER BUILDINGS  
LIC: 5988440-5501  
PH: 801-689-3630



30'  
SCALE

Notes:

1. Drainage to be maintained on lot.
2. Grade to slope away from structure at 5%.
3. Material to be dropped off on site without disruption to traffic.
4. A portable toilet, dumpster and concrete washout will be on site during construction.
5. Project construction to adhere to all codes and ordinances adopted by Hooper City.



Hooper City  
5580 W. 4600 S.  
Hooper, UT 84315  
Office 801-732-1064

□ Fee: \$200.00  
Date Submitted \_\_\_\_\_

### Conditional Use Permit: Oversized Structure

Print Applicant Name: Silva Family Revocable Trust / Elizabeth Silva

Address: 5517 S 6800 W, Hooper, UT 84315

Phone #: [REDACTED]

Day Time Phone #: \_\_\_\_\_ Email: esilva5555@gmail.com

□ **Provide site plan drawings including all of the following:** (Site plan must be to scale).

- Map of property showing adjacent streets
- Building dimensions and distance from other structure
- Distance from property lines. (The drip edge must be at least 5 feet from property lines. If you are on a corner lot or have easements attached to your property it may be more than the 5 feet.)
- List any easements on property
- Roof pitch, roof height, roofing material and drip line distance to other structure and property lines
- Concept drawing of what structure will look like
- Building materials
- Driveway materials
- Landscaping design

Total Sq. footage of Structure: 2100 SF

Height of Structure: 22' 3 7/8"

- ✓ What will the structure be used for? Detached Garage / Storage
- ✓ Will any plumbing be installed in the structure? Yes \_\_\_\_\_ No ✓
- ✓ Will any electricity be installed in the structure? Yes ✓ No \_\_\_\_\_
- ✓ Will structure be used for a business? Yes \_\_\_\_\_ No ✓
- If yes, have you applied for a business license with Hooper City? Yes \_\_\_\_\_ No \_\_\_\_\_

Explain: \_\_\_\_\_

- ❖ The State requires all property owners within 600 feet from your parent property (front, sides and back) to be notified. There will be an additional fee of \$1.50 for every notice that is sent out.

**Please address these issues on the back of this application.**

Traffic problems	Safety issues	Noise	Parking
Fencing	Pollution	Odors	Design
Business operation	Use of structure	Easements	

I hereby certify that the above information is accurate to the best of my knowledge. I certify that I will comply with all state and local requirements before and after building this structure. I understand that if conditional use does not start within (12) months and also if the conditional use is discontinued for (12) consecutive months, the Conditional Use Permit will expire. If my conditional use changes I will notify Hooper City for a Conditional Use Permit review. I or a representative will be present at the Planning Commission Meeting.

Signature: [Signature]

Date: 11/18/25

\*\*\*\*\*

Approval Date: \_\_\_\_\_

Disapproval Date: \_\_\_\_\_

\_\_\_\_\_  
Planning Commission Chairman

Comments/Conditions: \_\_\_\_\_

Completed application, fee and all other documents must be submitted 30 days before a Planning Commission Meeting which is the 2nd Thursday of the month unless otherwise specified.

DRAWING NOTES

DESIGN CODE: 2021 IBC.  
USE GROUP: U  
CONSTRUCTION TYPE VB  
DESIGN CATEGORY: RISK CATEGORY I – LOW RISK

SEISMIC CRITERIA:  
DESIGN CATEGORY D  
SOIL SITE CLASS D (ASSUMED)  
R = 2.5 (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)  
SS= 1.03g, S1= 0.36g; SDS= 0.79g, SD1= 0.53g  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE  
BASE SHEAR= 000 LBS

WIND LOAD:  
ULTIMATE WIND DESIGN SPEED: 105 MPH 3 SEC. GUST  
TERRAIN EXPOSURE C

FROST DEPTH: 30 IN  
SITE ELEVATION: 4230 FT

SNOW LOAD:  
GROUND SNOW LOAD: 33 PSF  
ROOF DESIGN SNOW LOAD: 30 PSF MAIN; 31 PSF LEAN

DEAD LOADS:  
ROOF 4 PSF  
WALLS 5 PSF

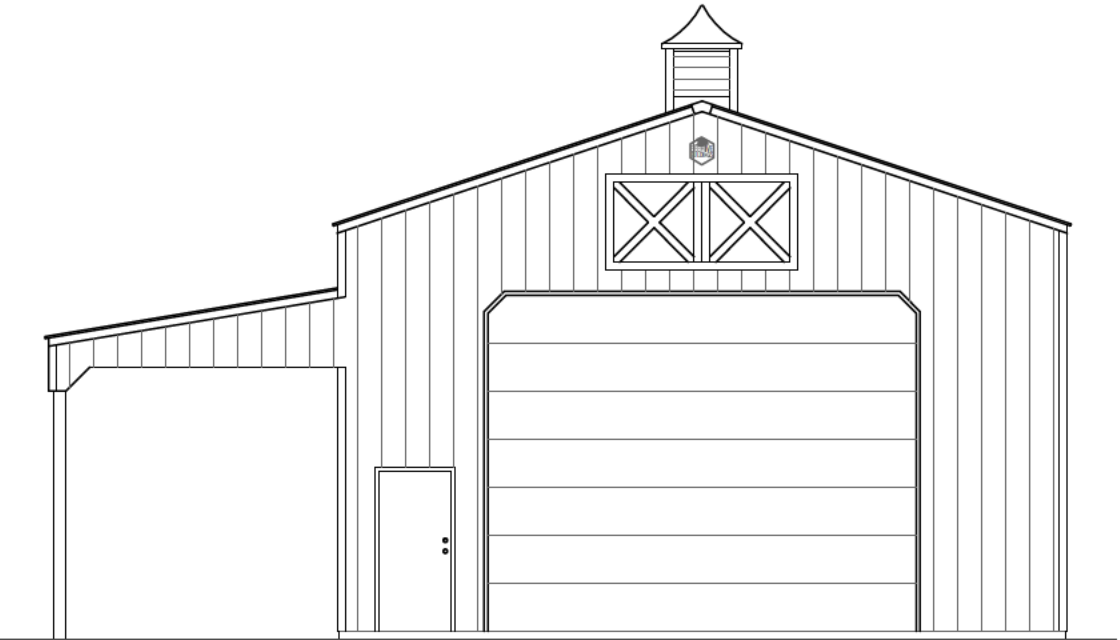
ROOF LIVE LOAD: 20 PSF



CONCRETE FOUNDATION NOTES:  
1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY:  
1.1. FOOTINGS: 2500 PSI MINIMUM  
1.2. SLABS ON GRADE: 2500 PSI REQ'D, 3500 PSI RECOMMEND  
2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.  
3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.  
4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.  
5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

SOILS AND EXCAVATION:  
6. NO SOILS REPORT PROVIDED – STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.  
7. ALLOWABLE BEARING PRESSURE: 1500 PSF  
8. NATIVE MATERIAL SURROUNDING FOOTINGS TO BE DISTURBED MINIMALLY DURING EXCAVATION.  
9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS.  
10. ALL BACKFILLING SHALL BE DONE WITH GRANULAR FREE-DRAINING MATERIAL. EXISTING SITE MATERIAL MAY BE USED IF FREE FROM CLAY SOILS AND ANY CONSTRUCTION DEBRIS. COMPACT ALL BACKFILL MATERIAL IN 8 INCH LIFTS TO 95% OF MODIFIED PROCTOR DENSITY.  
11. SLOPE FINISHED GROUND AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES VERTICAL IN 10 FEET HORIZONTAL.

BEEHIVE BUILDINGS

ELIZABETH SILVA BUILDING



BUILDING INFORMATION	CONTRACTOR	DRAFTING & ENGINEERING	DRAWING INDEX		PRELIMINARY NOT FOR PERMIT  ENGINEER STAMP  DATE 11/10/2025
<div><div>SITE INFORMATION:</div><div>ADDRESS: 5517 SOUTH 6800 WEST HOOPER, UTAH</div><div>BUILDING INFORMATION:</div><div>DIMENSIONS: 30' x 50' TOTAL SQUARE FOOTAGE: 2100 S.F. MAIN BUILDING: 1500 S.F. LEANS: 600 S.F.</div></div>	<div>BEEHIVE BUILDINGS</div> <div>CONTACT: TRESSA ROBERTS TRESSA@BEEHIVEBUILDINGS.COM PHONE: 801-821-9921</div> <div></div>	<div>MOUNTAIN POINT ENGINEERING</div> <div>CONTACT: DEREK LLOYD DEREK@MOUNTAINPOINTENGINEERING.COM PHONE: 801-450-5332</div> <div></div>	SHEET	DESCRIPTION	
			00	COVER SHEET	
			01	FOUNDATION PLAN	
			02	FLOOR PLAN	
			03	ROOF PLAN	
			04	ELEVATIONS	
			05	GIRT PLAN	
			06	PANEL LAYOUT	
			07-09	DETAIL SHEETS	
			10	ELECTRICAL PLAN	

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ENGINEER STAMP



FOUNDATION PLAN

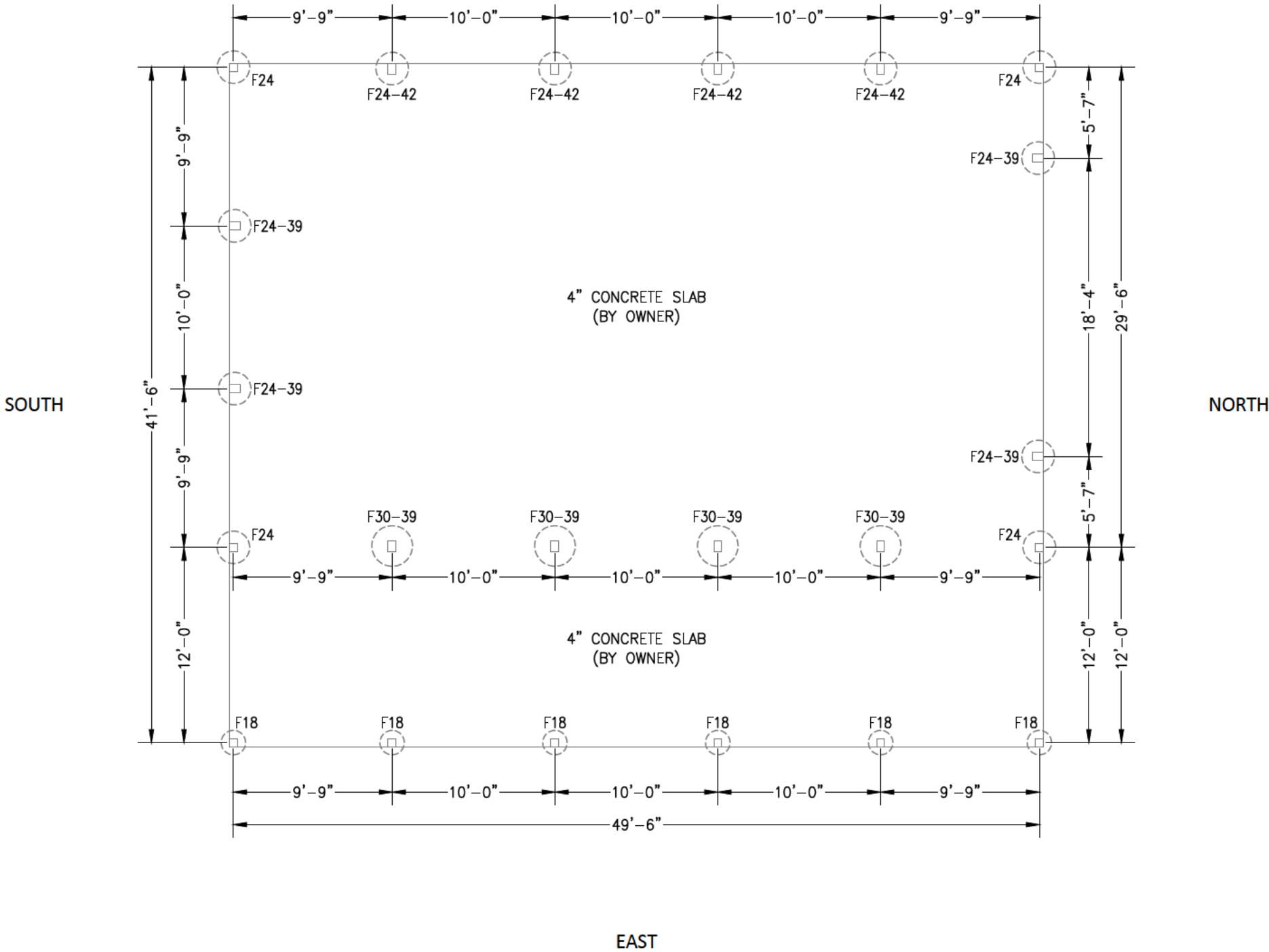
ELIZABETH SILVA BUILDING  
HOOPER, UTAH

PROJECT  
B551

SCALE  
1/8" = 1'-0"

DATE  
11/10/2025

SHEET  
01



- PIERS:
- F18: 18" DIA X 36" DEEP CONCRETE PIER (24" DIA OK)
  - F24: 24" DIA x 36" DEEP CONCRETE PIER
  - F24-39: 24" DIA x 39" DEEP CONCRETE PIER
  - F24-42: 24" DIA x 42" DEEP CONCRETE PIER
  - F30-39: 30" DIA x 39" DEEP CONCRETE PIER

CONCRETE AREA: 2100 S.F.

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FLOOR PLAN

ELIZABETH SILVA BUILDING  
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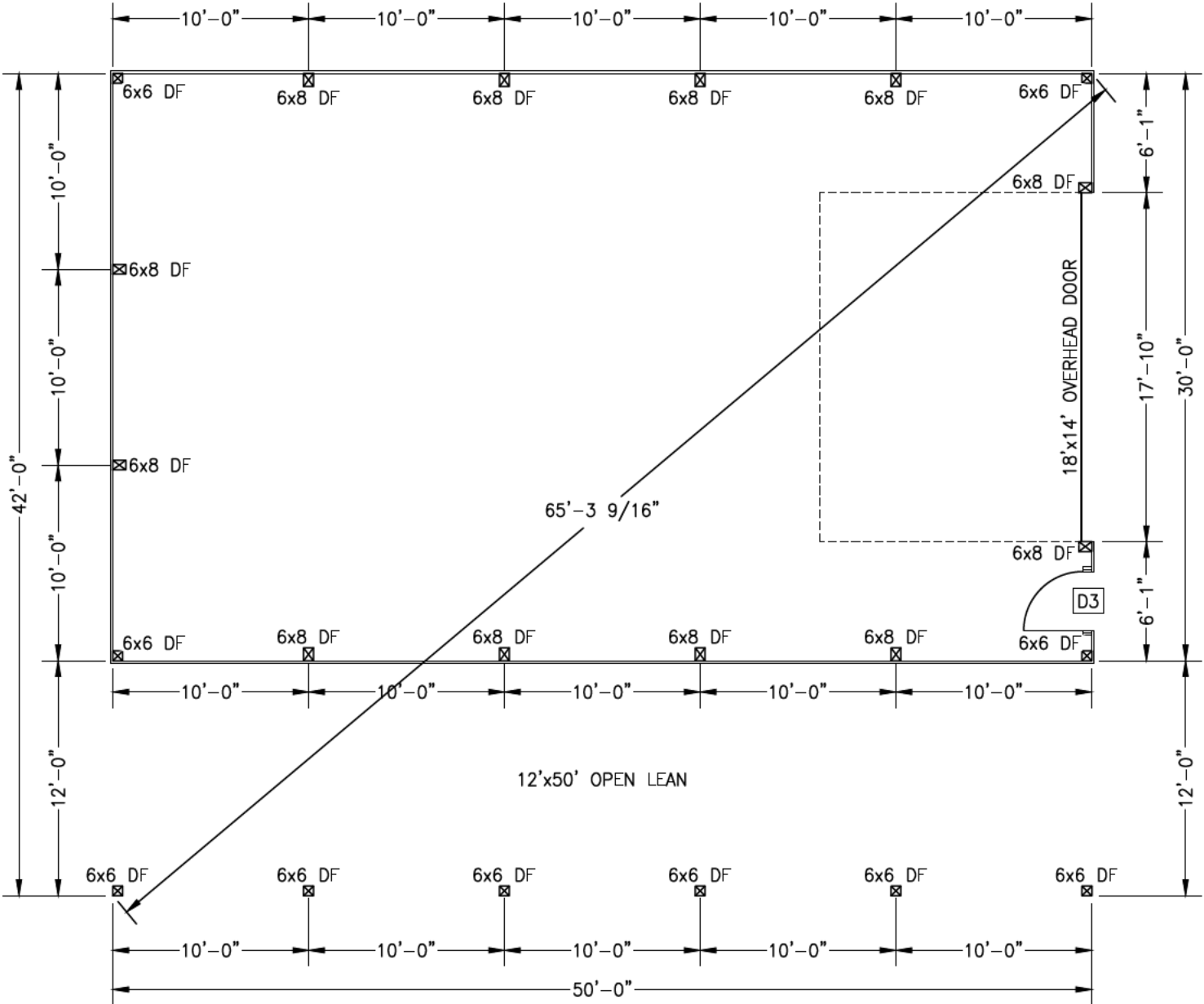
SCALE  
1/8" = 1'-0"

DATE  
11/10/2025

SHEET  
02

SOUTH

NORTH



- NOTES:
1. 6x6 DF: 6x6 DF-L #2 TREATED POST.
  2. 6x8 DF: 6x8 DF-L #2 TREATED POST.
  3. EMBED POST INTO CONCRETE PIER. SEE DETAIL ON SHEET 08.
  4. ROOF: 29 GA STEEL PANEL
  5. WALLS: STANDARD GIRTS, 29 GA STEEL PANEL
  6. WINDOWS AND WALK DOORS ARE ADJACENT TO OR CENTERED BETWEEN POSTS UNLESS NOTED OTHERWISE.

DOOR SCHEDULE				
MARK	COUNT	WIDTH	HEIGHT	DESCRIPTION
D3	1	3'-0"	6'-8"	FLUSH PANEL

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ROOF PLAN

ELIZABETH SILVA BUILDING  
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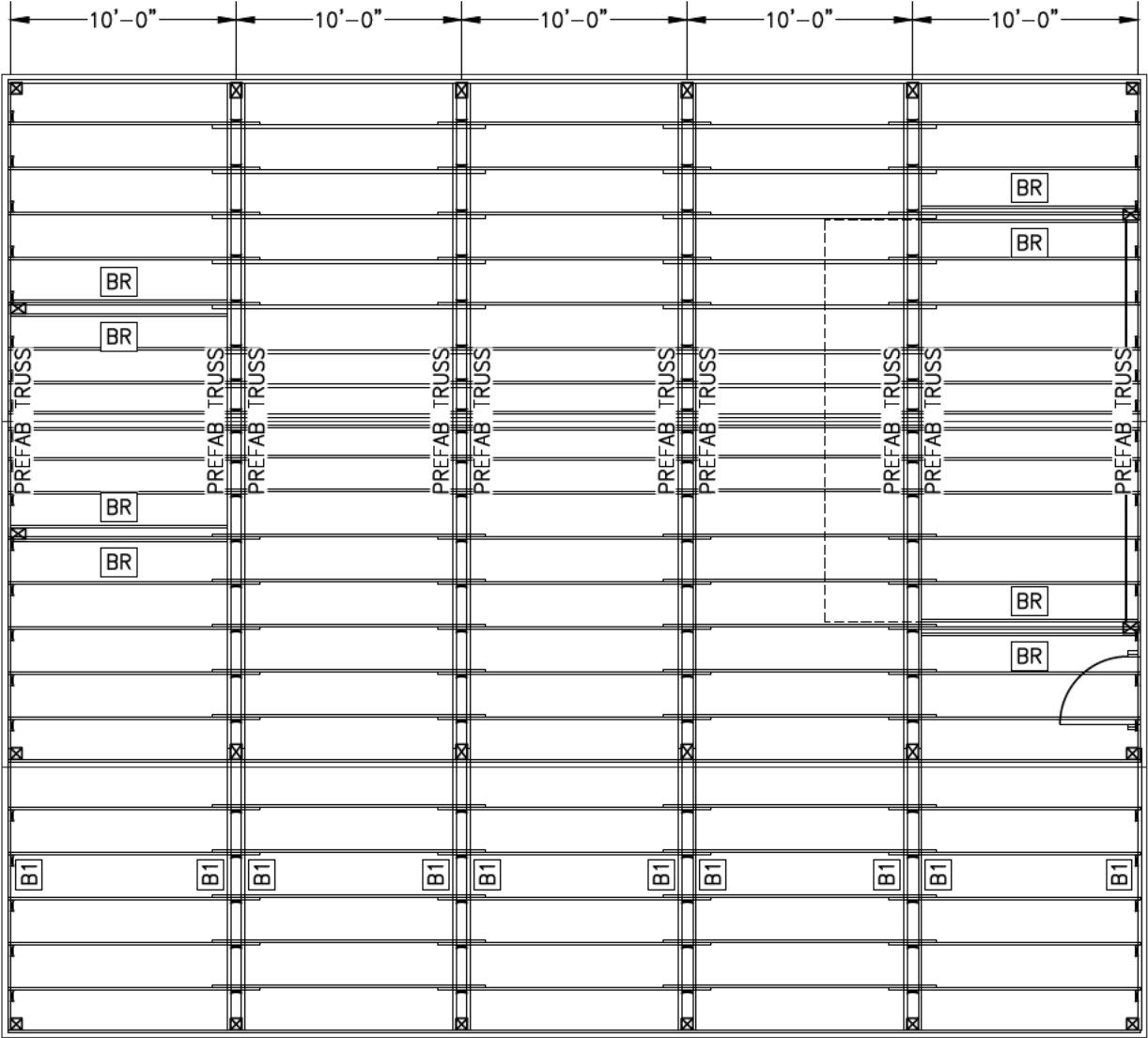
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1/8" = 1'-0"

DATE  
11/10/2025

SHEET  
03

SOUTH

2X6 DF-L #2 ROOF PURLINS AT 24" ON CENTER  
OVERLAPPED 20" MIN (TYP.)  
5" MAX FROM RIDGE LINE



NORTH

BR 2x6 DIAGONAL BRACE

BEAMS:  
B1: 1-3/4"x9-1/4" LVL

- NOTES:
- TRUSSES WILL BE DEFERRED PER IBC 107.3.4.1 AND WILL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF UTAH.
  - PROVIDE TRUSS BOTTOM CHORD BRACING PER TRUSS MANUFACTURER'S SPECIFICATIONS.

WEST

EAST

NOTES:  
1. WALL AREA: XX SF (EXCLUDING TRIM, WINDOWS,  
AND DOORS)

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NOT FOR PERMIT

ENGINEER STAMP



ELEVATIONS

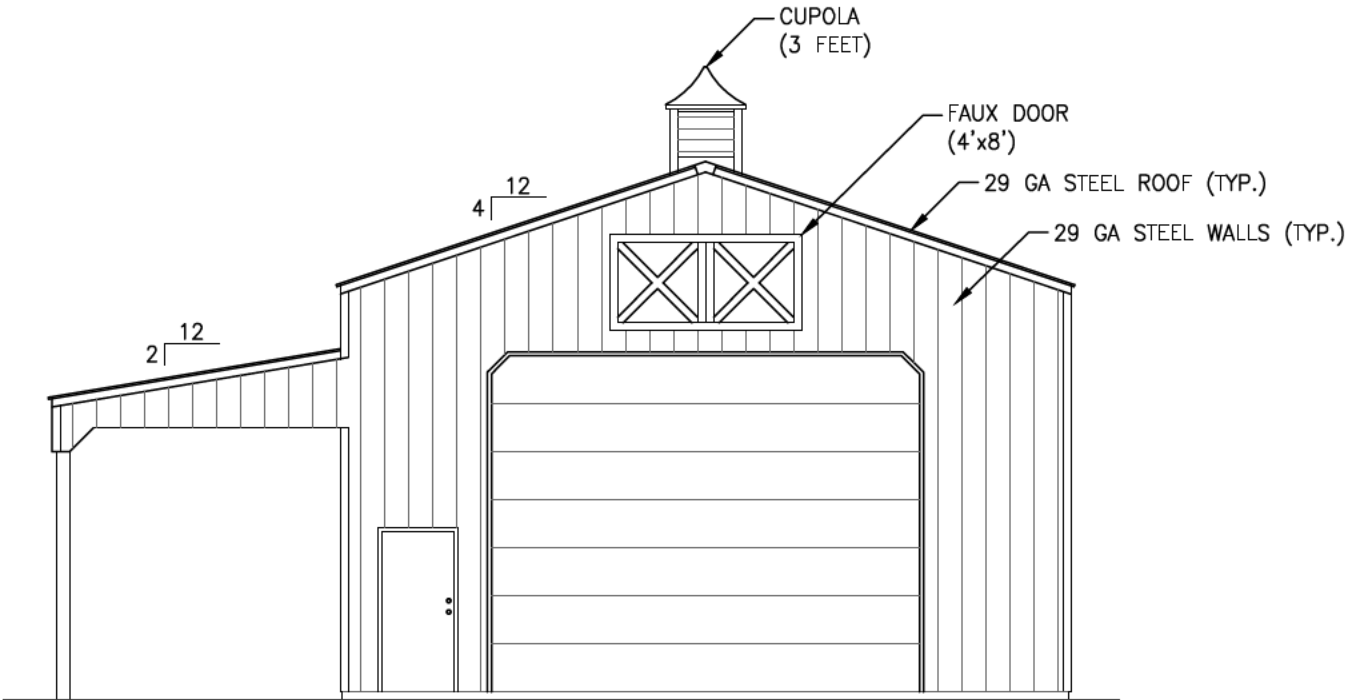
ELIZABETH SILVA BUILDING  
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PROJECT  
B551

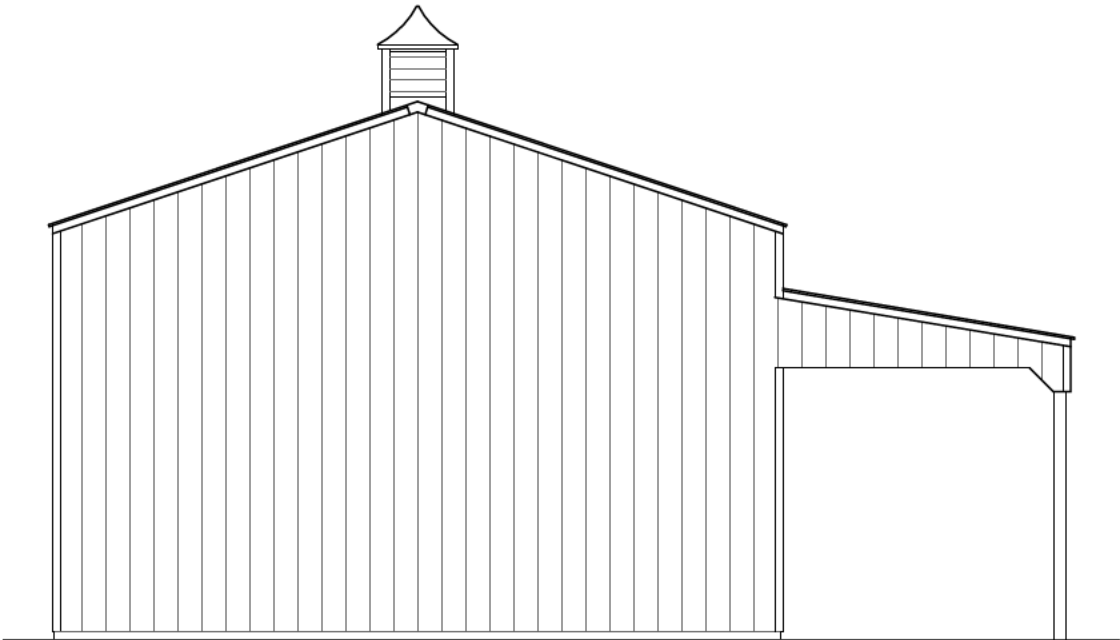
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DATE  
11/10/2025

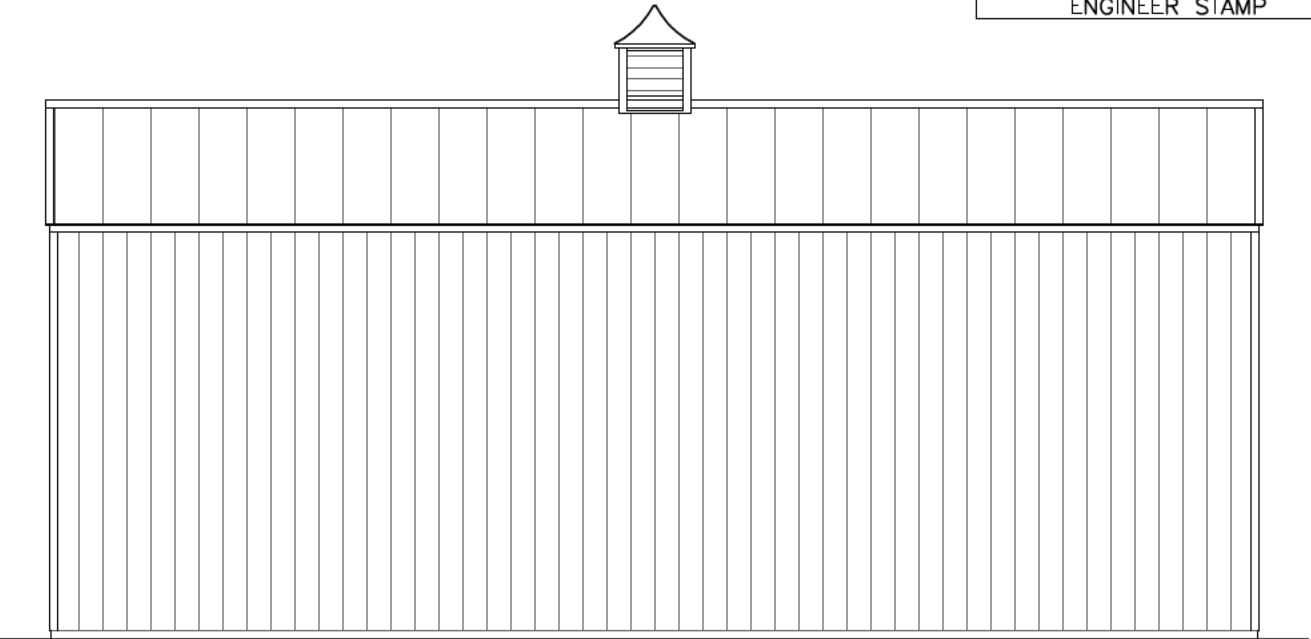
SHEET  
04



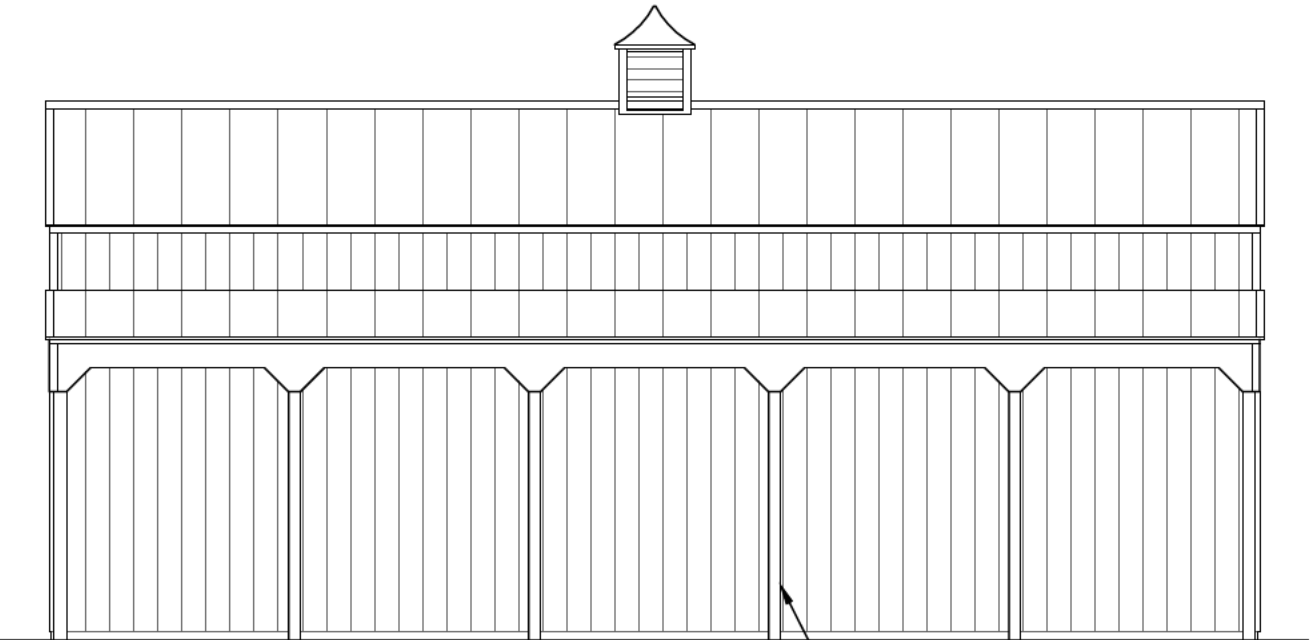
GABLE END ELEVATION - NORTH



GABLE END ELEVATION - SOUTH



SIDE ELEVATION - WEST



SIDE ELEVATION - EAST

NOTES:  
1. TRUSS HEEL SHOWN AT 6-3/16" ON THESE PLANS. COMPARE PLAN DIMENSIONS WITH TRUSS MANUFACTURER DRAWINGS AND ADJUST PLAN DIMENSIONS (EAVE HEIGHT, PEAK HEIGHT, PANEL LENGTHS, ETC) AS NECESSARY.

PRELIMINARY  
NOT FOR PERMIT

ENGINEER STAMP



GIRT PLAN

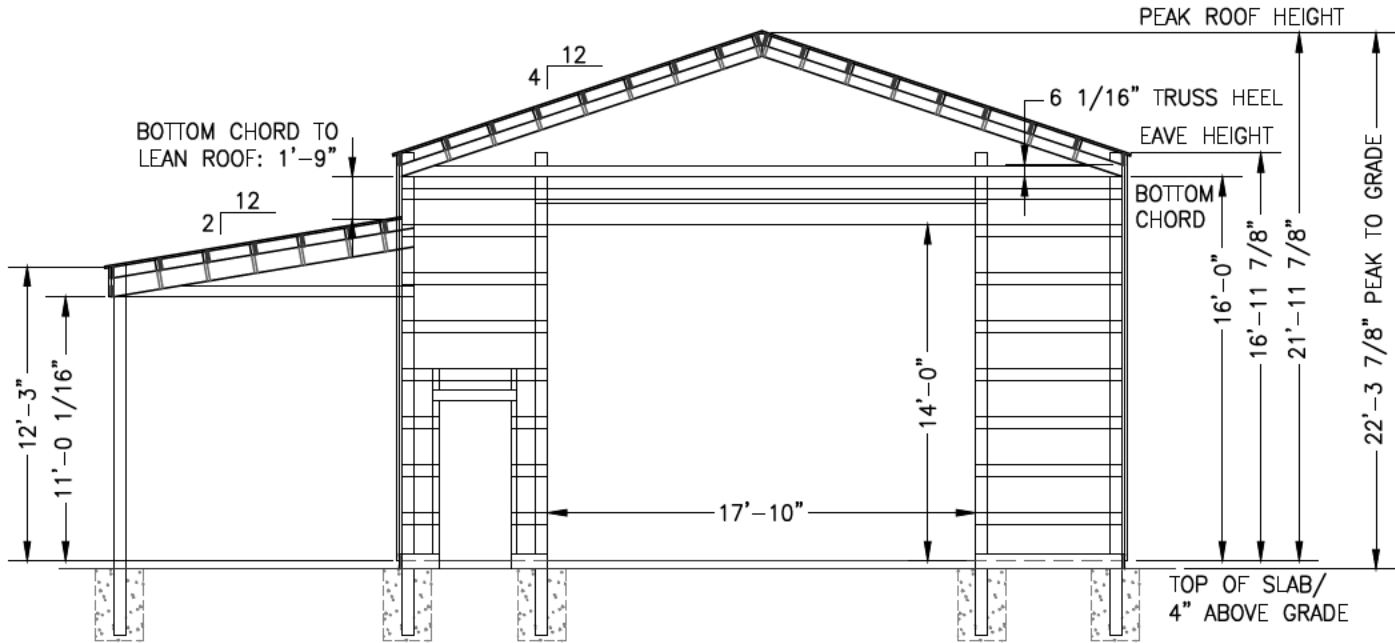
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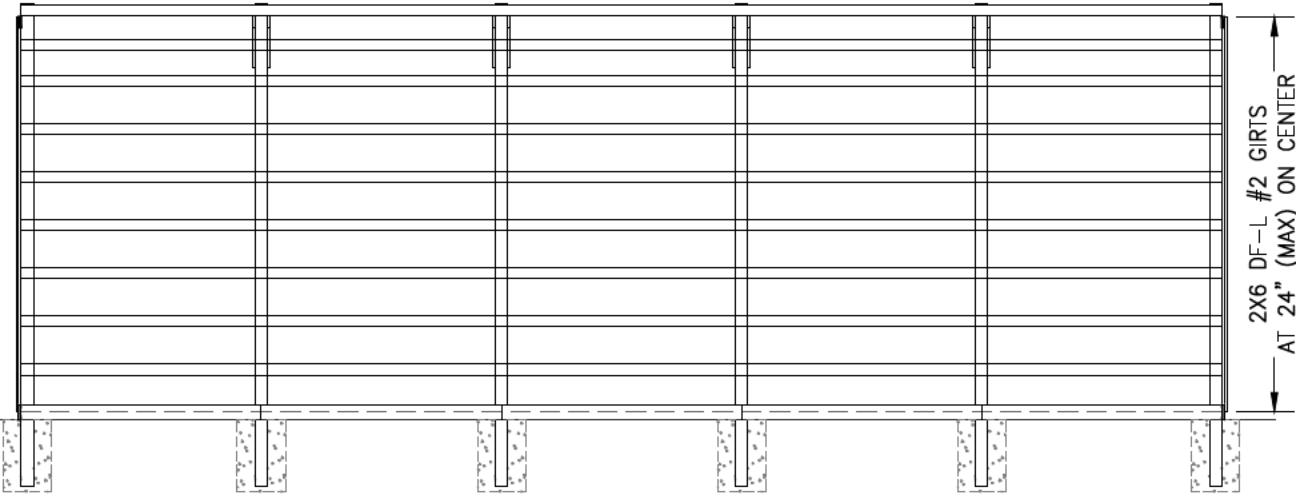
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DATE  
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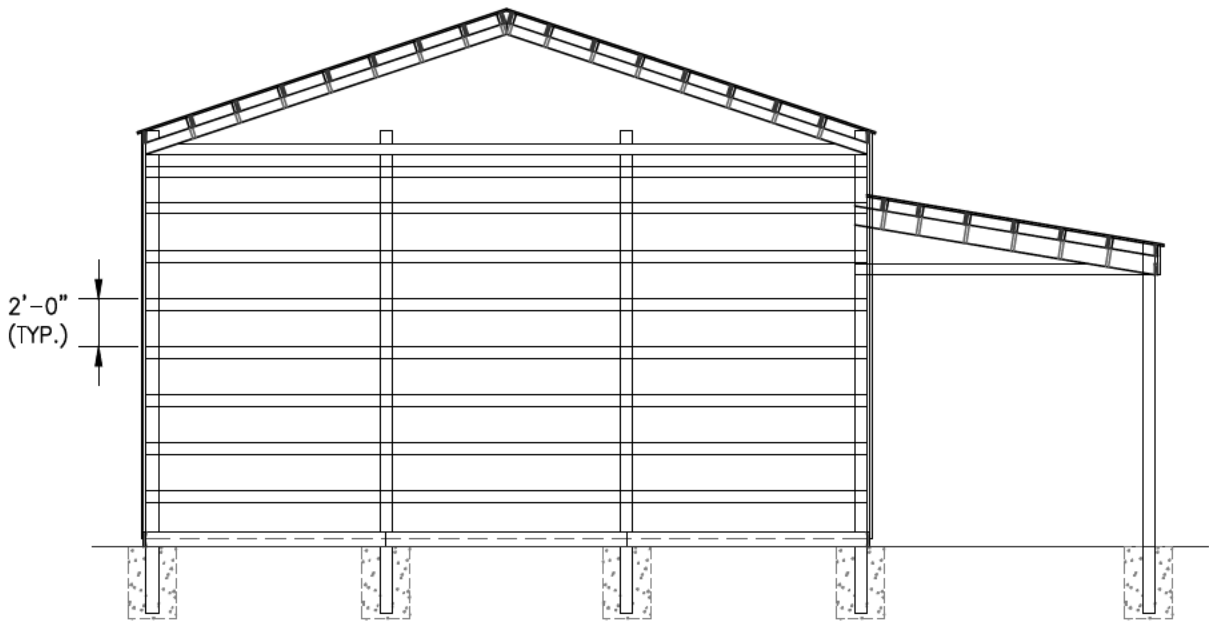
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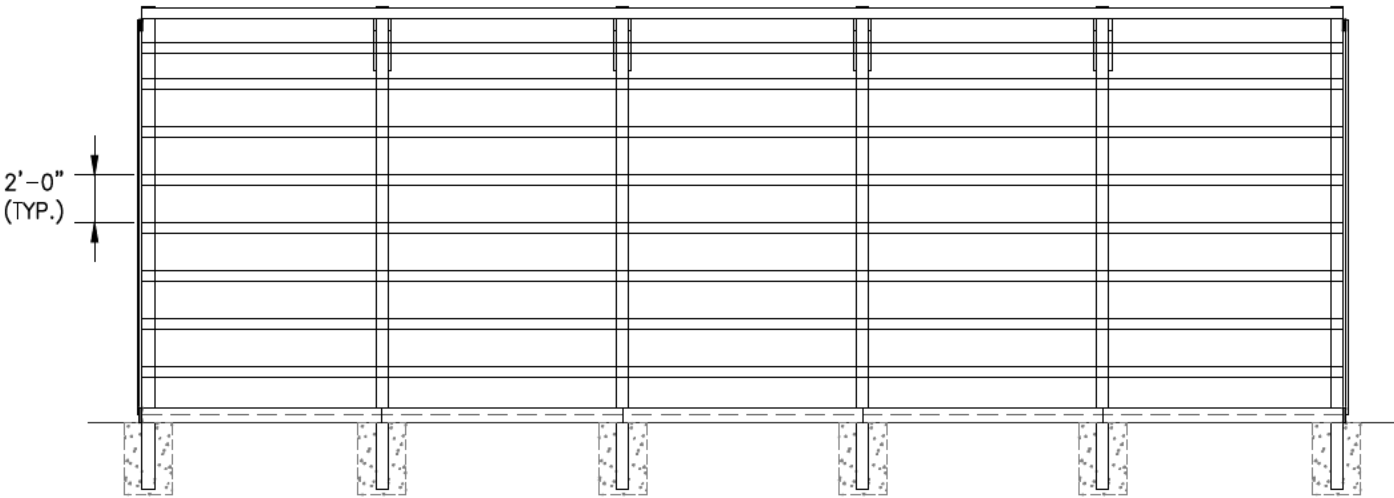
GABLE END GIRT WALL - NORTH



SIDE GIRT WALL - WEST

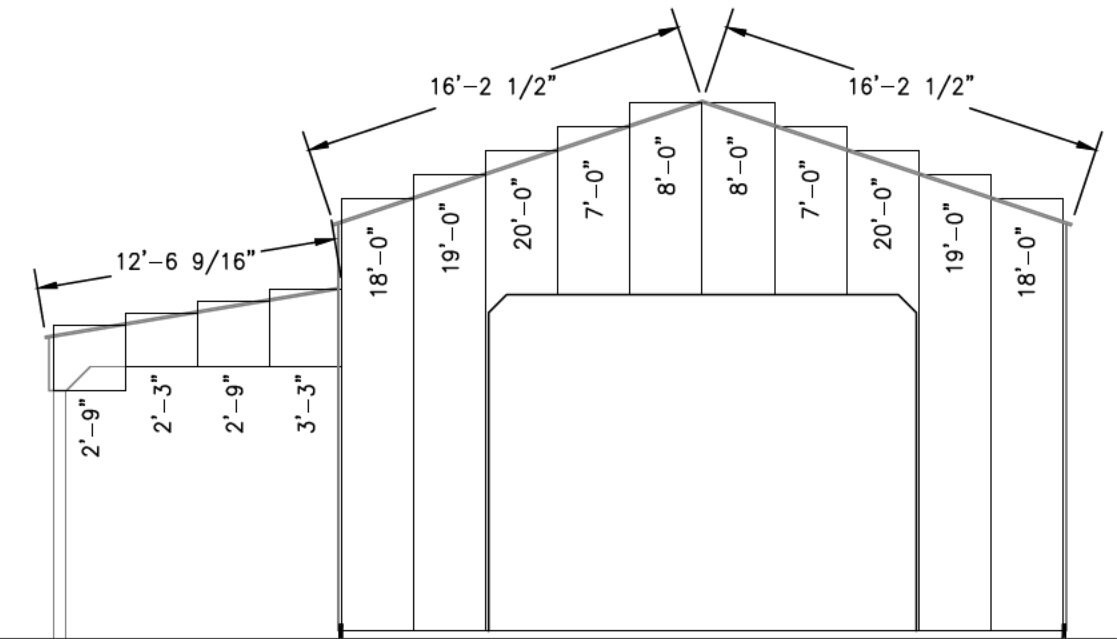


GABLE END GIRT WALL - SOUTH

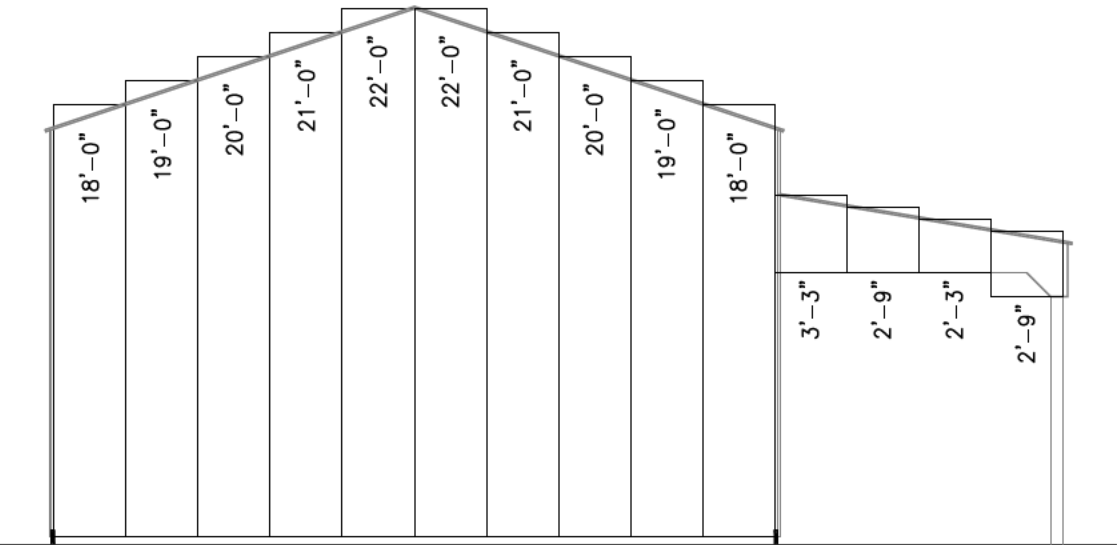


SIDE GIRT WALL - EAST

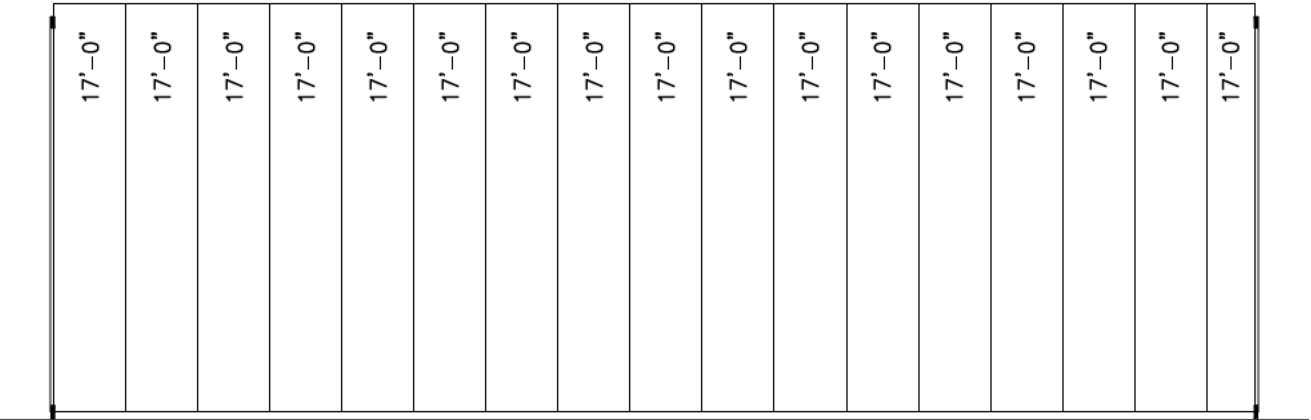




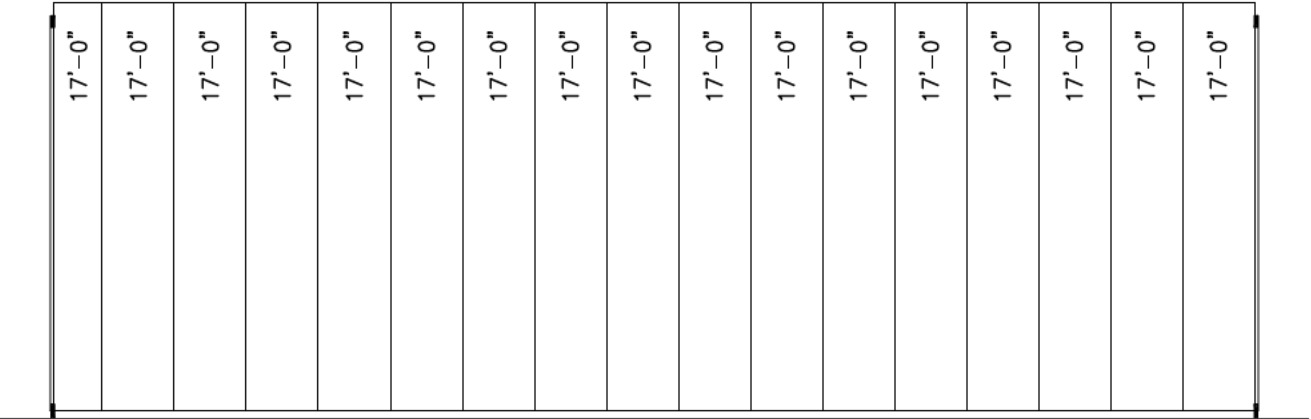
END PANEL LAYOUT - NORTH



END PANEL LAYOUT - SOUTH



SIDE PANEL LAYOUT - WEST



SIDE PANEL LAYOUT - EAST

PRELIMINARY  
NOT FOR PERMIT

ENGINEER STAMP



PANEL LAYOUT

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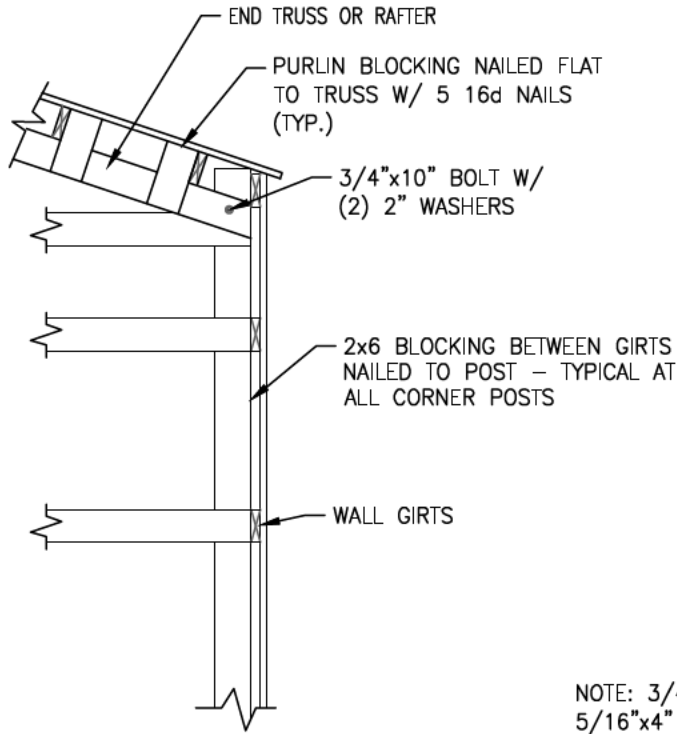
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DATE  
11/10/2025

SHEET  
06

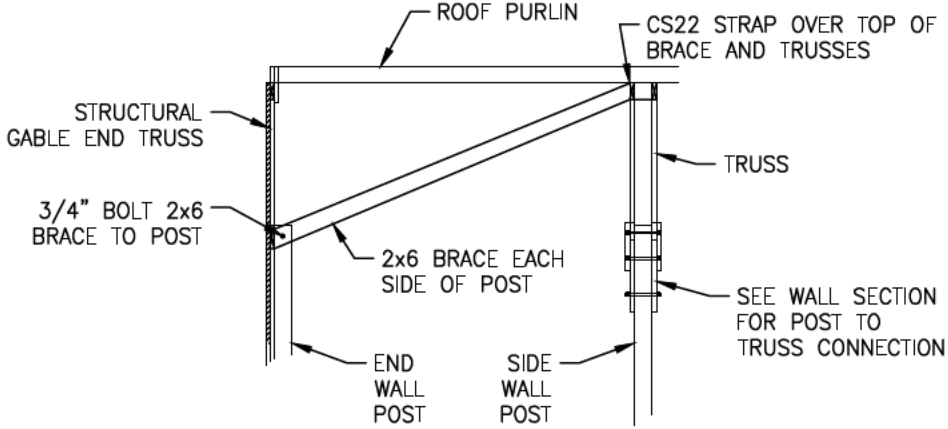
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ENGINEER STAMP

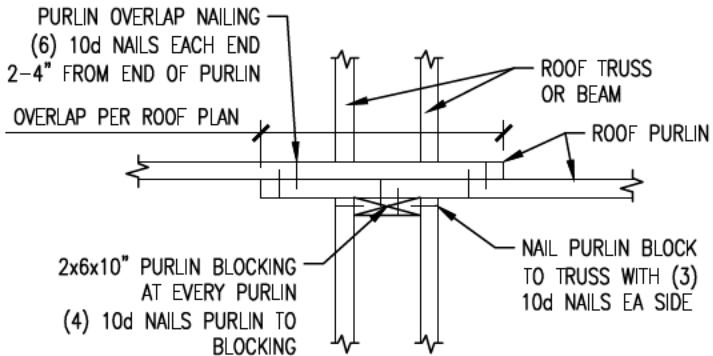


CORNER BLOCKING  
NOT TO SCALE

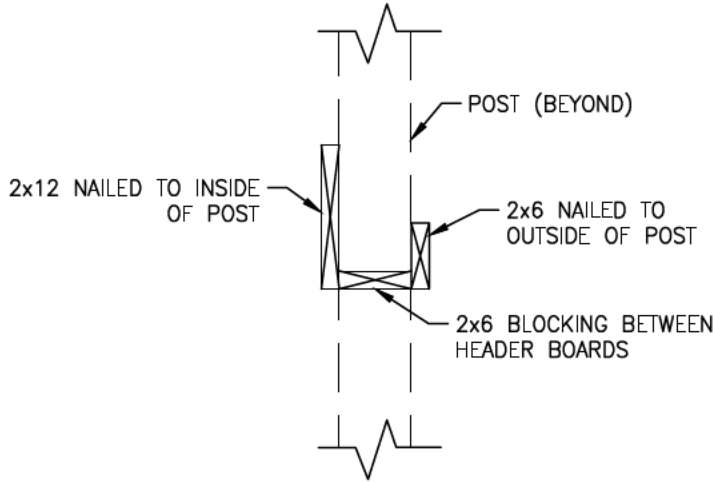
NOTE: 3/4" BOLT ALTERNATIVE: (2) 5/16"x4" POWERLAG FASTENERS (TYP. FOR CORNER BLOCKING AND POST TO TRUSS BRACE DETAILS)



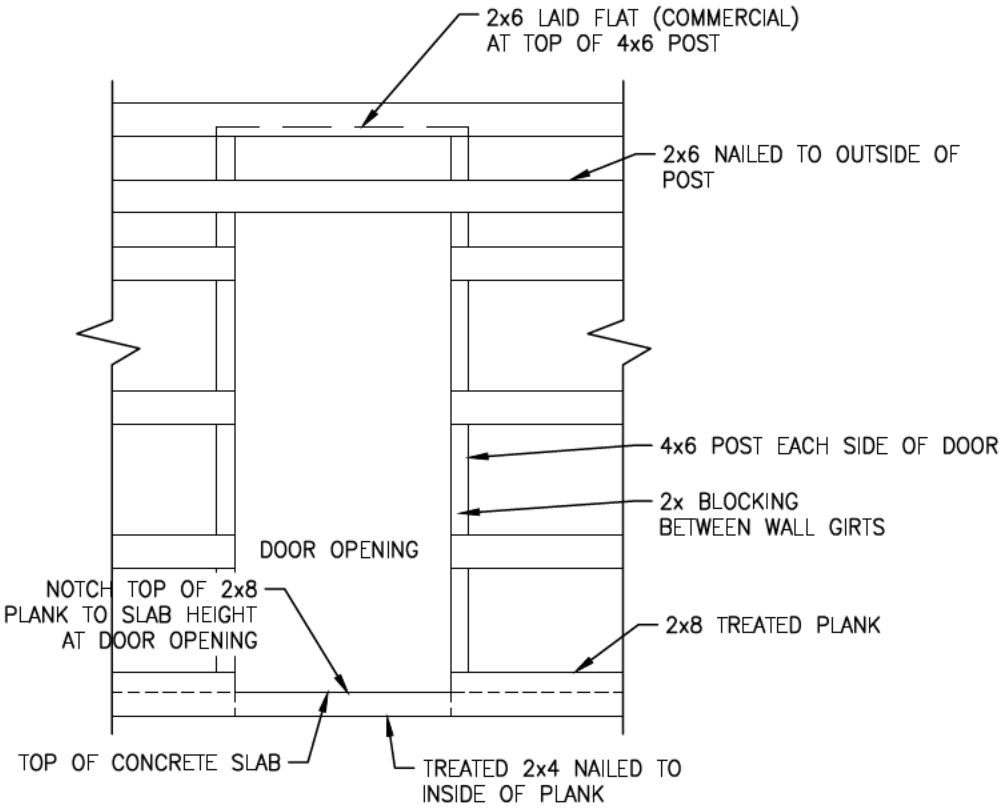
POST TO TRUSS BRACE  
NOT TO SCALE



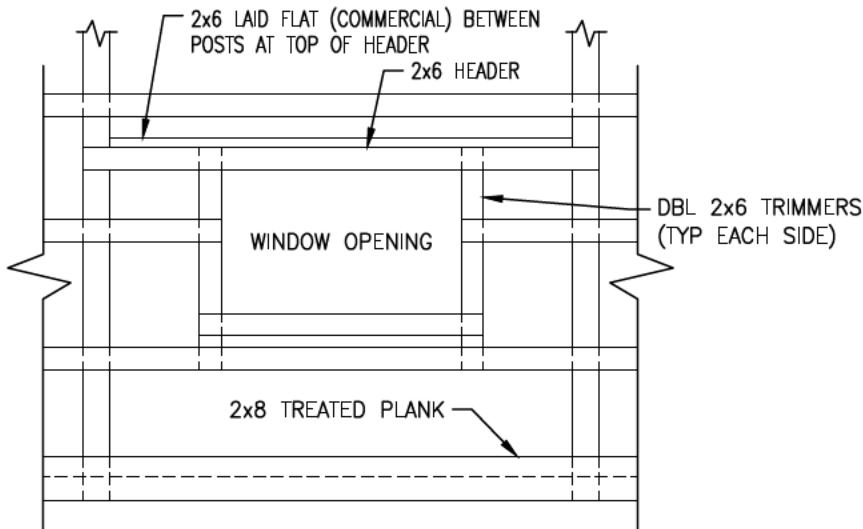
PURLIN CONNECTION  
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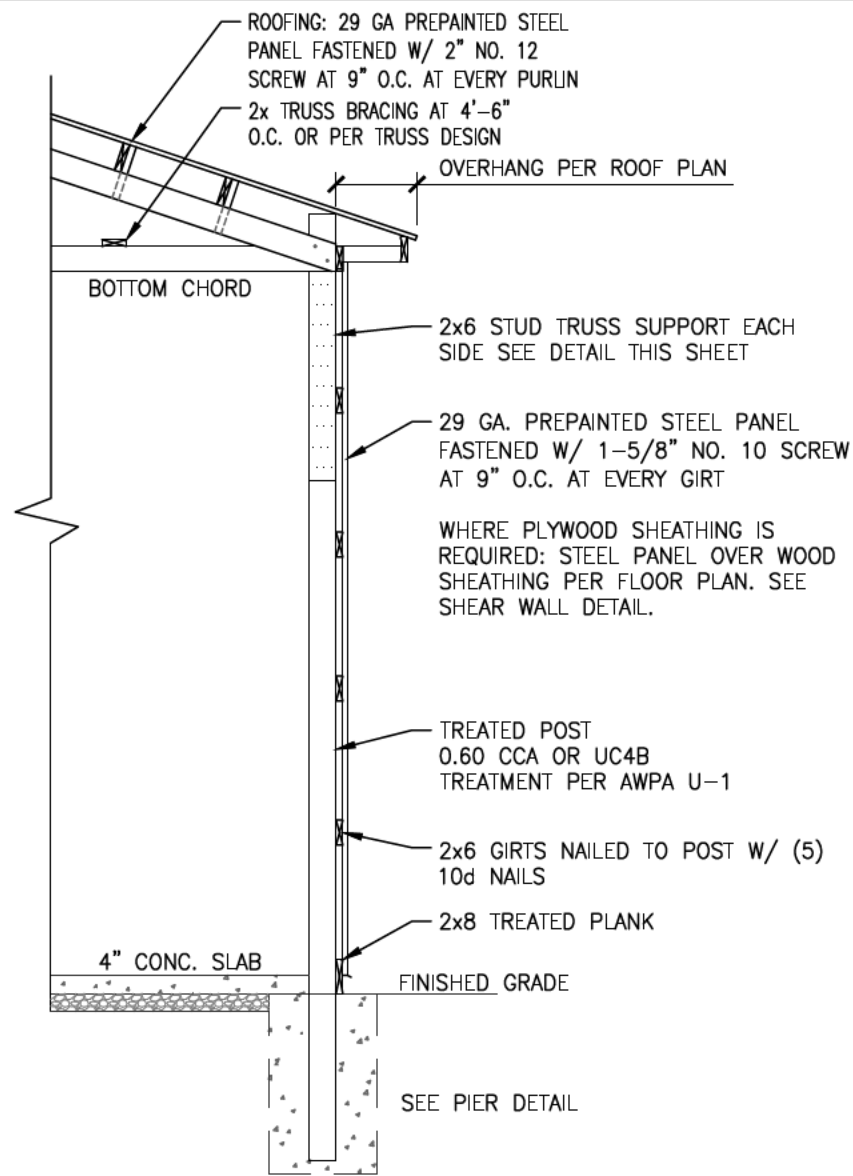
OVERHEAD DOOR HEADER  
NOT TO SCALE



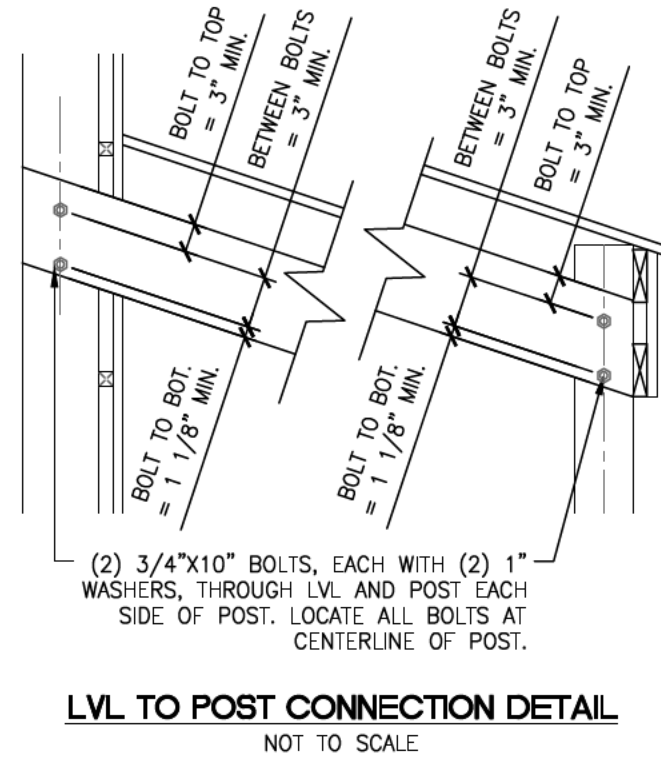
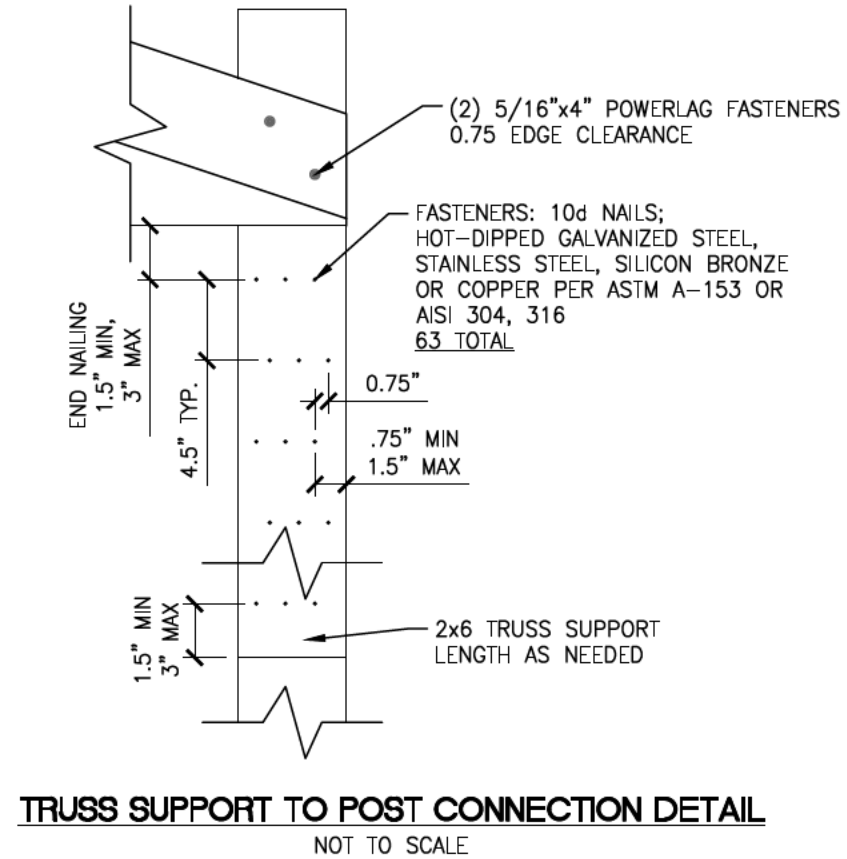
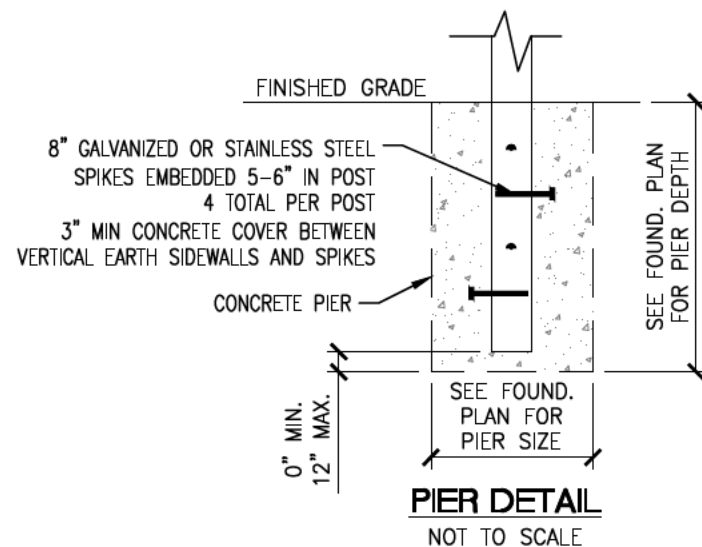
MAN DOOR OPENING  
NOT TO SCALE



WINDOW OPENING  
NOT TO SCALE



**TYPICAL WALL SECTION**  
NOT TO SCALE



**PRELIMINARY  
NOT FOR PERMIT**

ENGINEER STAMP

**MOUNTAIN POINT  
ENGINEERING**

**DETAIL SHEET**

**ELIZABETH SILVA BUILDING**  
HOOPER, UTAH

PROJECT  
**B551**

SCALE  
AS NOTED

DATE  
11/10/2025

SHEET  
**08**

PRELIMINARY  
NOT FOR PERMIT

ENGINEER STAMP

MOUNTAIN POINT  
ENGINEERING

DETAIL SHEET

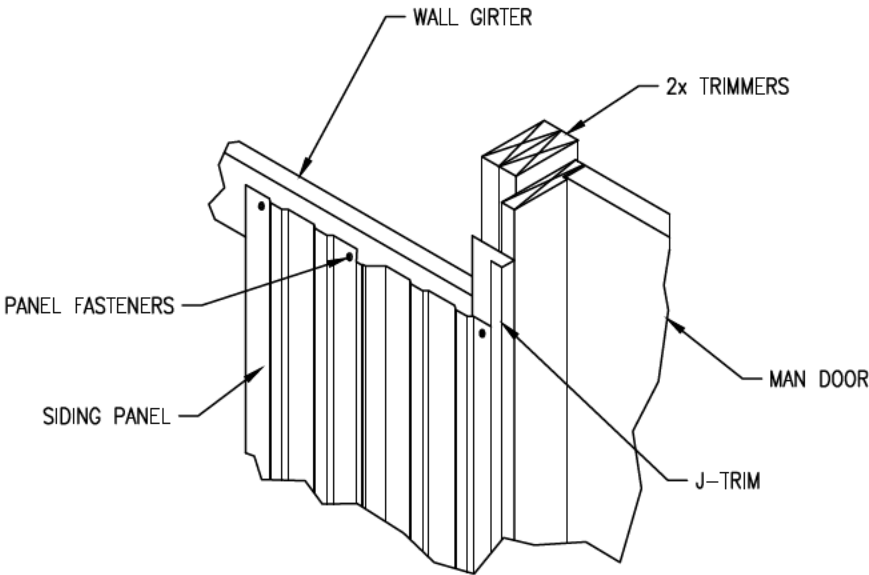
ELIZABETH SILVA BUILDING  
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PROJECT  
B551

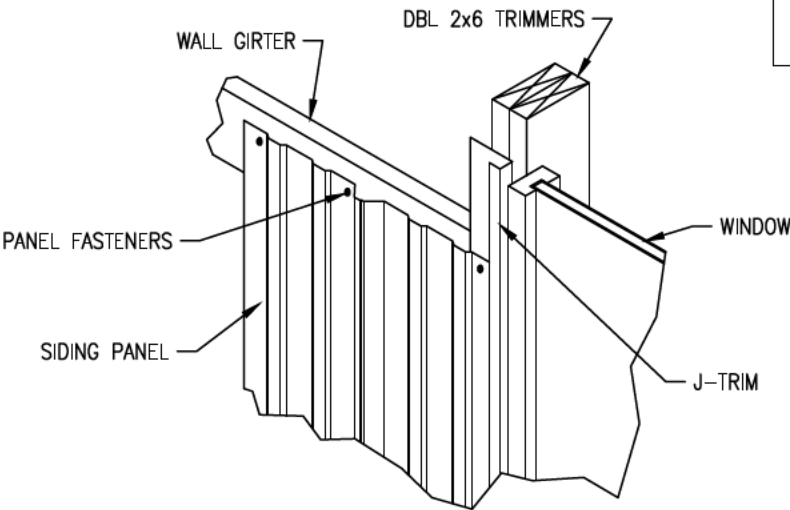
SCALE  
AS NOTED

DATE  
11/10/2025

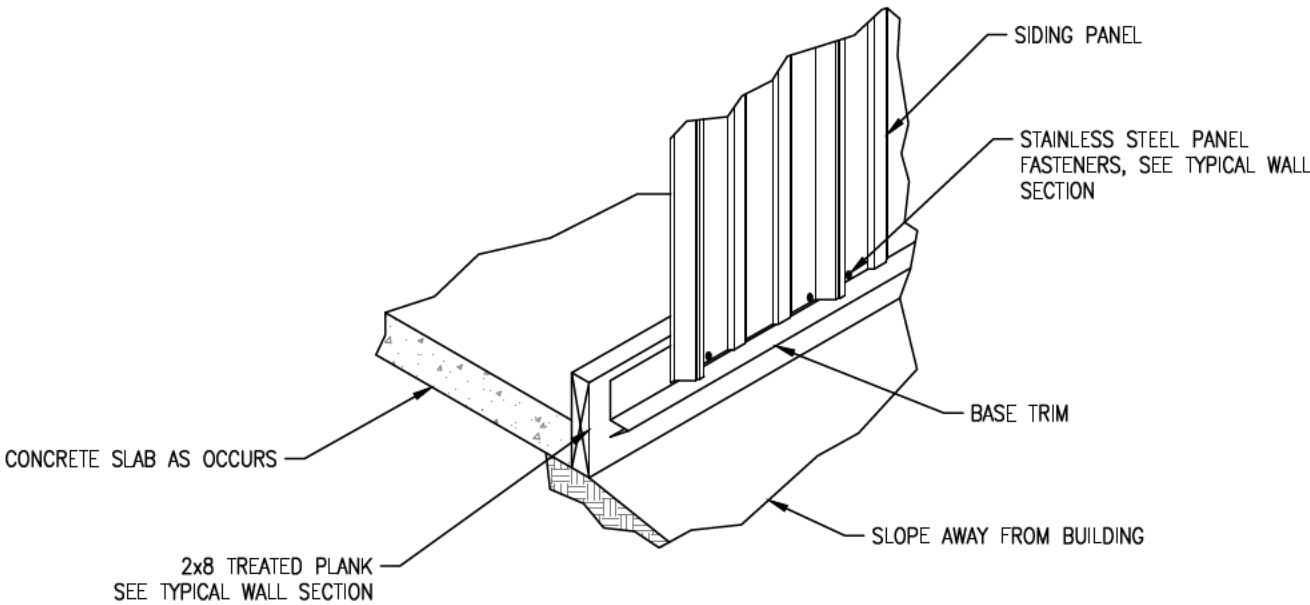
SHEET  
09



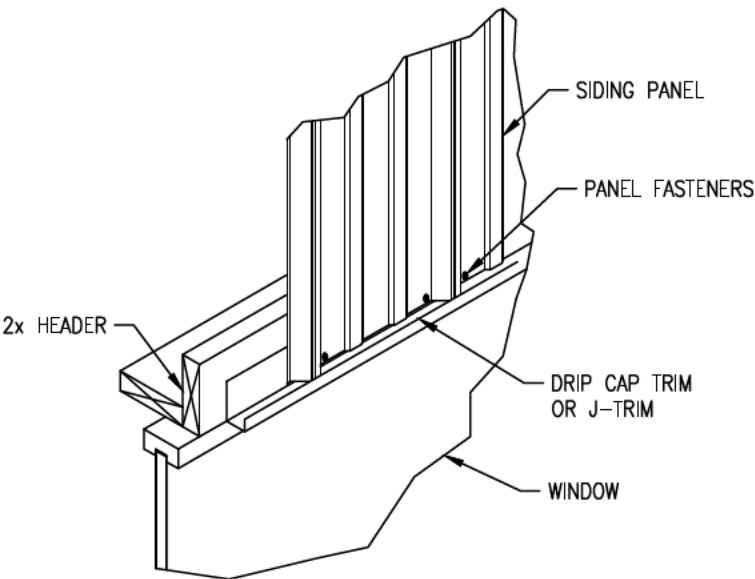
**DOOR JAMB FLASHING**  
NOT TO SCALE



**WINDOW JAMB FLASHING**  
NOT TO SCALE



**BASE GUARD FLASHING**  
NOT TO SCALE



**WINDOW / DOOR HEADER FLASHING**  
NOT TO SCALE

PRELIMINARY  
NOT FOR PERMIT

ENGINEER STAMP



LEGEND

- ⊕ CEILING LIGHT
- ⊕ WALL MOUNTED LIGHT
- RECESSED LIGHT
- ⊕ HIGH BAY LIGHT
- ⊕ ELECT. OUTLET (DUPLEX)
- ⊕ ELECT. SWITCH
- ⊕ 3-WAY SWITCH
- ELECTRICAL PANEL

ELECTRICAL PLAN

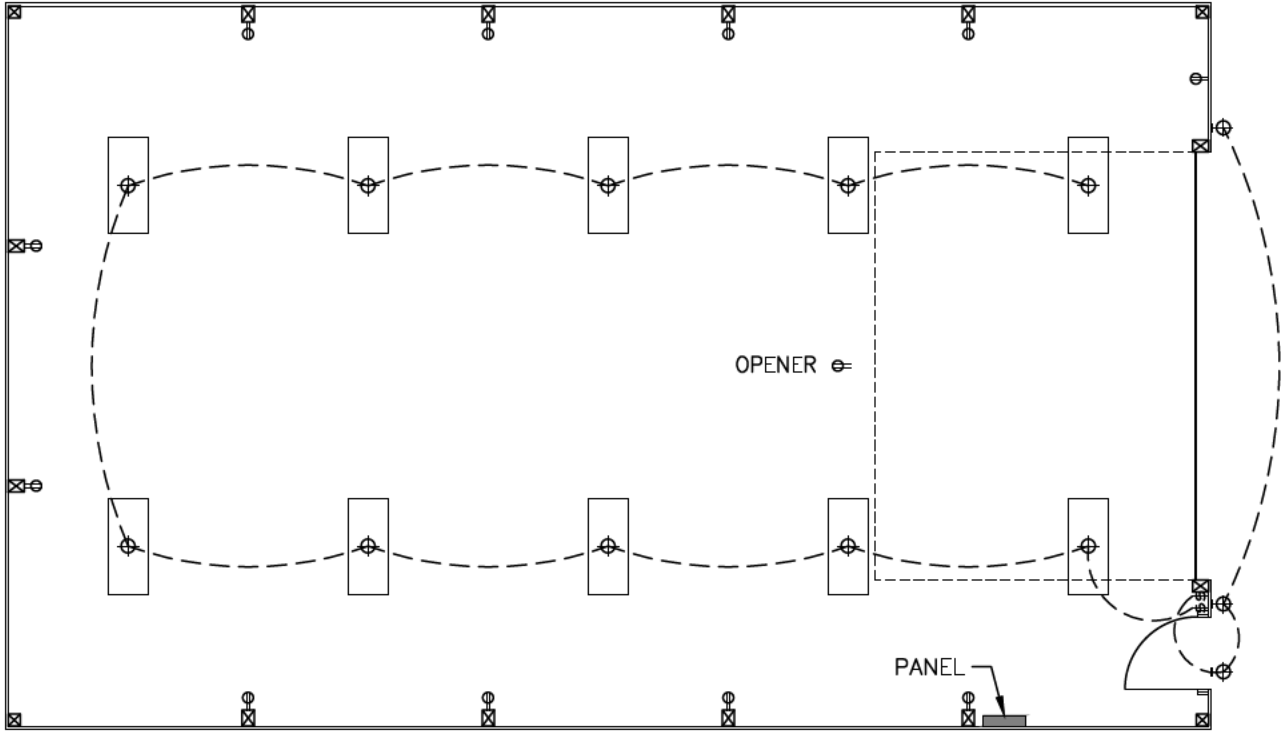
ELIZABETH SILVA BUILDING  
HOOPER, UTAH

PROJECT  
B551

SCALE  
1/8" = 1'-0"

DATE  
11/10/2025

SHEET  
10



- NOTES:
- ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.
  - ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE CURRENT NATIONAL ELECTRICAL CODE, AS WELL AS ANY STATE AND/OR LOCAL CODE AMENDMENTS ADOPTED AND ENFORCED AT THE TIME OF CONSTRUCTION.

# Site Plan



Silva Family Revocable Trust/Elizabeth Silva  
 5517 S 6800 W  
 Hooper, UT 84315  
 Parcel #101280001

30' to South property line  
 24' to West  
 231' to East  
 108.25' to North  
 133' to dwelling

Dimensions are from footing/foundation, not wall

- Proposed Building Use: Detached Garage
- 42' x 50' 2100 SF
- Grade to Peak: 22' 37/8"
- Roof Pitch: 4/12
- Roof Material: 29 Gauge Steel
- Building Materials: treated 6x6 posts, 2x6 girts & purlins
- Wall Material: 29 Gauge Steel
- Driveway Material: Dirt
- No additional landscaping planned

## Subdivision Application Checklist

This application checklist details the requirements for a complete application for subdivisions where the intended use is one or two-family residential dwellings, including townhomes and duplexes. The application process is governed by Chapter 8 of the City's municipal ordinances. This Chapter does not apply to applications or petitions for other uses.

1 ☒ **An approved land use application** that describes how the property will be used after it is subdivided.

- Include citations to the specific ordinance(s) for uses permitted by right.
- Include City-issued permit for conditional uses (if applicable)
- Include City-issued variance for prohibited uses (if applicable)

2 ☒ **A plat.** The plat must be drawn to scale, in detail, and in accordance with generally accepted surveying standards and the acceptable filing standards of the County Recorder's Office. The preliminary plat must include:

- a. The proposed name and general location of the subdivision, in bold letters at the top of the plat. The proposed subdivision name must be distinct from any subdivision name on a plat recorded in the County Recorder's office.
- b. True north arrow, name of City, section, range, and date.
- c. The boundaries, course, numbering, and dimensions of all proposed parcels. All lots should be consecutively numbered.
- d. The lot or unit reference numbered consecutively; block or building reference; street or site address; street name or coordinate address; acreage or square footage for all parcels, units, or lots; and length and width of the blocks and lots intended for sale.
- e. Tie to all controlling survey corners or monumentation.
- f. Contact information of the land surveyor and/or engineer who prepared the plat.
- g. Sufficient data acceptable to the City Engineer to readily determine the location, bearing and length of all lines on the plat, and to reproduce such lines upon the ground, and the location of all proposed monuments, including contours at appropriate intervals.
- h. Whether any parcel is intended by the owner to be used as a street or for any other public use, or whether any parcel is reserved or proposed for dedication for a public purpose.



- i. The location of existing streets, easements, water bodies, streams, and other pertinent features such as wetlands, buildings, parks, cemeteries, drainage ditches, irrigation ditches, fences, and bridges.
- j. The location and width of existing and proposed streets, curbs, gutters, sidewalks, easements, alleys, other public ways and easements and proposed street rights-of-way and building setback lines.
- k. 100-foot no-build setback from the centerline of the Hooper and Howard Sloughs. Where required by Land Use Authority, the “no-build” area shall be designated as “public open space” and dedicated to the City for future parks and trails.
- l. Every existing right-of-way and recorded easement located within the plat.
- m. Any known and unrecorded water conveyance facility located, entirely or partially, within or adjacent to the plat.
- n. Location and size of all proposed water, secondary water, sanitary sewer, storm sewer, irrigation or drainage ditch piping or other subsurface improvements, including detailed provisions for collecting and discharging surface water drainage.
- o. Location of percolation test pits and test logs, if septic tanks are proposed for the lots.
- p. The minimum setbacks from the front, the side and the rear property lines.
- q. The location and dimensions of all property proposed to be set aside for park or playground use, or other public or private reservation, with designation of the purpose thereof and conditions, if any, of the dedication or reservation.
- r. Notice language found in Utah Code Utah Code §17-41-403(4) is required if any portion of the subdivision is within:
  - 300 feet of an Agriculture Protection Area Utah Code 17-41-403(4)
  - 1000 feet of an Industrial Protection Area Utah Code 17-41-403(4)
  - 1000 feet of a Critical Infrastructure Materials Protection Area Utah Code 17-41-403(4)
  - 1000 feet of a Mining Protection Area Utah Code 17-41-403(4)
  - 1000 feet of a Vested Critical Infrastructure Materials Operation Utah Code 10-9a-904
- s. If the subdivision includes a condominium, the requirements found in Utah Code §57-8-13, as amended.
- t. A space for the City Engineer to sign the plat, accompanied by the following exact language: “I hereby certify that this office has examined this plat, and it is correct in accordance with information on file in this office.”

- u. A space for a member of the Land Use Authority to sign, approving the plat, and a place for the City Recorder to attest.
- v. A space for Weber-Morgan Counties Health Department to sign, approving the plat, if applicable.
- w. A space for the applicable Culinary Water District to sign, approving the plat.
- x. A space for the applicable Secondary Water Company or District to sign, approving the plat.
- y. A space for the City Attorney to sign, approving the plat.
- z. A space for a Licensed land Surveyor's Certificate. The surveyor making a plat shall certify on the plat that it conforms to these survey regulations and to all applicable state laws and that the monuments described in it have been placed as described. He shall affix his name and seal.

3\_\_\_\_\_ ✓ **Improvement Plan.** Must comply with applicable portions of 10-2E-5, 10-2F-6, 10-4A-18, and 10-6A-11, and must include:

- a. An engineer's estimate of the cost of completing the required improvements.
- b. The names, numbers, widths, lengths, bearings, and curve data on centerlines for all proposed streets, alleys, and easements (if applicable). All proposed streets shall be numbered in accordance with the City's adopted addressing system.
- c. *A traffic study.* For subdivisions with any boundary shared with a Utah Department of Transportation (UDOT) road, submit written evidence that UDOT has reviewed the subdivision plans and is in agreement with the proposed plan. Approval of the State Right-of-Way Engineer must be obtained for items such as location of curb, gutter and sidewalk, location and number of curb entrances, turning and deceleration lanes, lane striping, etc. On City streets, the approval for location and number of curb entrances must be received from the City Engineer.
- d. Grading and Drainage Study and Plan (see HCC 10-4A)
- e. *A Soils Report* for the proposed development that complies with City Standards, except in the case of a minor subdivision. Soils reports for minor subdivisions shall be submitted when required by the City Engineer.
- f. Roadway and Utility Plan and Profile Drawings [see HCC 10-8-9 (3)(e)]
- g. Fences [see HCC 10-8-9 (3)(f)]
- h. Slough Parkway Development Plan (if applicable)
- i. Proposed Phasing Plan and Utility Master Plan (if applicable)

4\_\_\_\_\_ ✓ **Required Certifications**

- a. Applicant Affidavit
- b. Owner Signatures
- c. Certification that the surveyor who prepared the plat:

- Holds a license in accordance with Utah Code 58-22
  - Either
  - Has completed a survey of the property described on the plat in accordance with state requirements and has verified all measurements; or
  - Has referenced a record of survey map of the existing property boundaries shown on the plat and verified the locations of the boundaries; and
  - Has placed monuments as represented on the plat.
- d. Final Letters of Approval from the following entities, as applicable:
- Hooper Water Improvement District or applicable culinary water district.
  - Weber-Morgan County Health Department (for subdivisions proposing on-site septic or other wastewater treatment systems)
  - Hooper Irrigation Company or applicable secondary water purveyor
  - Weber County Fire Marshall (for fire hydrant placement, fire flows, emergency vehicle access and turn around, etc)
  - Each involved utility company stating that they have reviewed the plan and are setting forth their comments concerning the extent of services and the design of utility easements.
  - Neighboring municipalities sharing a boundary.
- e. Formal, irrevocable offers for dedication to the public of streets, city uses, utilities, parks, easements, and other spaces (as applicable)
- f. If the plat is to be part of a community association, signed and binding documents conveying to the association all common areas.
- g. Any required agreements with adjacent property owners regarding boundaries, ditches, drainage, shared utilities, access, or other matters pertinent to subdivision approval.
- h. Copy of proposed codes, covenants, and restrictions (if applicable)

5 \_\_\_\_\_ ✓ **Supplemental Information**

- i. The names and addresses, and telephone numbers of all adjoining property owners of record, or the names of adjoining developments and the names of adjoining streets.
- j. Any other information that may be necessary for the meaningful review of the project. Additional information may be requested based upon the nature of the project or the site.

6 \_\_\_\_\_ ✓ **Copies**

- k. One copy of the plat drawn on Mylar for signing and recording.
- l. One 24" x 36" black on white or blue on white print of the plat for review.
- m. One 24" x 36" of black on white or blue on white print of improvement plan (including construction drawings) for review.

- n. One digital copy of the final plat and final construction drawings in AutoCAD .dwg format.
- o. An electronic copy of all documents required by this application in PDF format.

7\_\_\_\_\_ ✓ **Payment of any application**-processing fees and other fees required by the City.



# KIMBALL ESTATES SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18,  
TOWNSHIP 5 NORTH, RANGE 2 WEST, AND THE NORTHEAST QUARTER OF SECTION 13,  
TOWNSHIP 5 NORTH, RANGE 3 WEST, SALT LAKE BASE AND MERIDIAN,  
HOOPER CITY, WEBER COUNTY, UTAH  
APRIL 2025

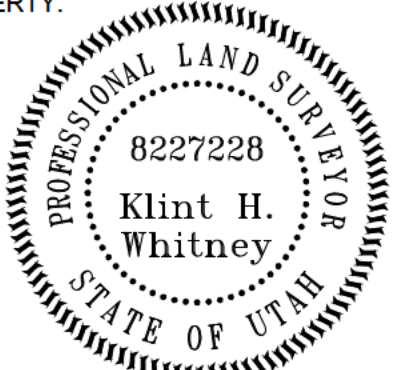
## BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 2 WEST AND A PART OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 3 WEST, OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT NORTH 90°00'00" WEST 48.75 FEET AND SOUTH 00°19'08" WEST 352.83 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 18 (BASIS OF BEARING BEING THE WEST LINE OF SAID NORTHWEST QUARTER SOUTH 00°19'08" WEST); RUNNING THENCE SOUTH 89°40'52" EAST 384.69 FEET; THENCE NORTH 00°22'43" EAST 4.93 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID EXISTING FENCE LINE THE FOLLOWING NINE (9) COURSES: (1) SOUTH 89°02'16" EAST 31.67 FEET; (2) SOUTH 88°42'43" EAST 266.99 FEET; (3) SOUTH 88°48'20" EAST 268.28 FEET; (4) SOUTH 89°00'48" EAST 78.46 FEET; (5) SOUTH 88°48'21" EAST 71.74 FEET; (6) SOUTH 88°20'32" EAST 73.83 FEET; (7) SOUTH 89°02'25" EAST 64.78 FEET; (8) SOUTH 88°36'40" EAST 45.93 FEET; (9) NORTH 89°39'32" EAST 19.43 FEET; THENCE SOUTH 00°33'59" WEST 668.03 FEET; THENCE NORTH 89°39'23" WEST 943.32 FEET; THENCE NORTH 00°15'34" EAST 172.17 FEET; THENCE NORTH 89°43'55" WEST 359.30 FEET; THENCE NORTH 00°19'08" EAST 504.90 FEET TO THE POINT OF BEGINNING. CONTAINING 18.799 ACRES.

## SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREFTER TO BE KNOWN AS KIMBALL ESTATES SUBDIVISION IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_, 2025.



KLINT H. WHITNEY, PLS NO. 8227228

## OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

### KIMBALL ESTATES SUBDIVISION

AND HEREBY DEDICATE, GRANT AND CONVEY TO HOOPER CITY, WEBER COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY HOOPER CITY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS, AND ALSO DEDICATE, GRANT AND CONVEY TO HOOPER CITY A TEMPORARY TURN AROUND EASEMENT AS SHOWN HEREON TO BE USED BY THE PUBLIC UNTIL SUCH TIME THAT THE ROAD IS EXTENDED. THE TEMPORARY TURN AROUND EASEMENT SHALL BE REVOKED AND NULLIFIED AT THE EVENT OF THE EXTENSION OF THE ROAD WITHOUT FURTHER WRITTEN DOCUMENT AND THE ENCUMBERED LAND WITHIN THE AFFECTED PROPERTY SHALL BE RELEASED FOR THE FULL AND EXCLUSIVE USE AND BENEFIT OF THE PROPERTY OWNERS.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_, 2025.

BY: \_\_\_\_\_

## ACKNOWLEDGEMENT

STATE OF UTAH )  
COUNTY OF WEBER )

On this \_\_\_\_ day of \_\_\_\_, 20\_\_, personally appeared before me \_\_\_\_ (SIGNER), whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the \_\_\_\_ (TITLE) of \_\_\_\_ (CORP/TRUST), and that said document was signed by him/her in behalf of said "Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said \_\_\_\_ (SIGNER) acknowledged to me that said "Corporation executed the same.

STAMP

NOTARY PUBLIC

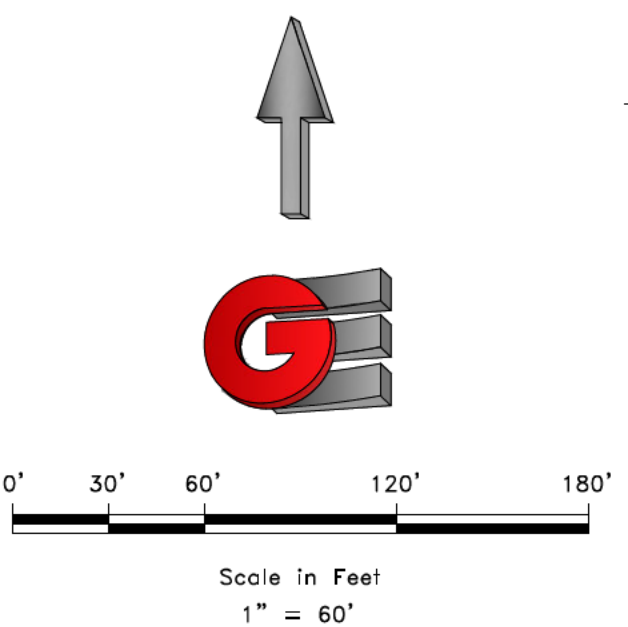
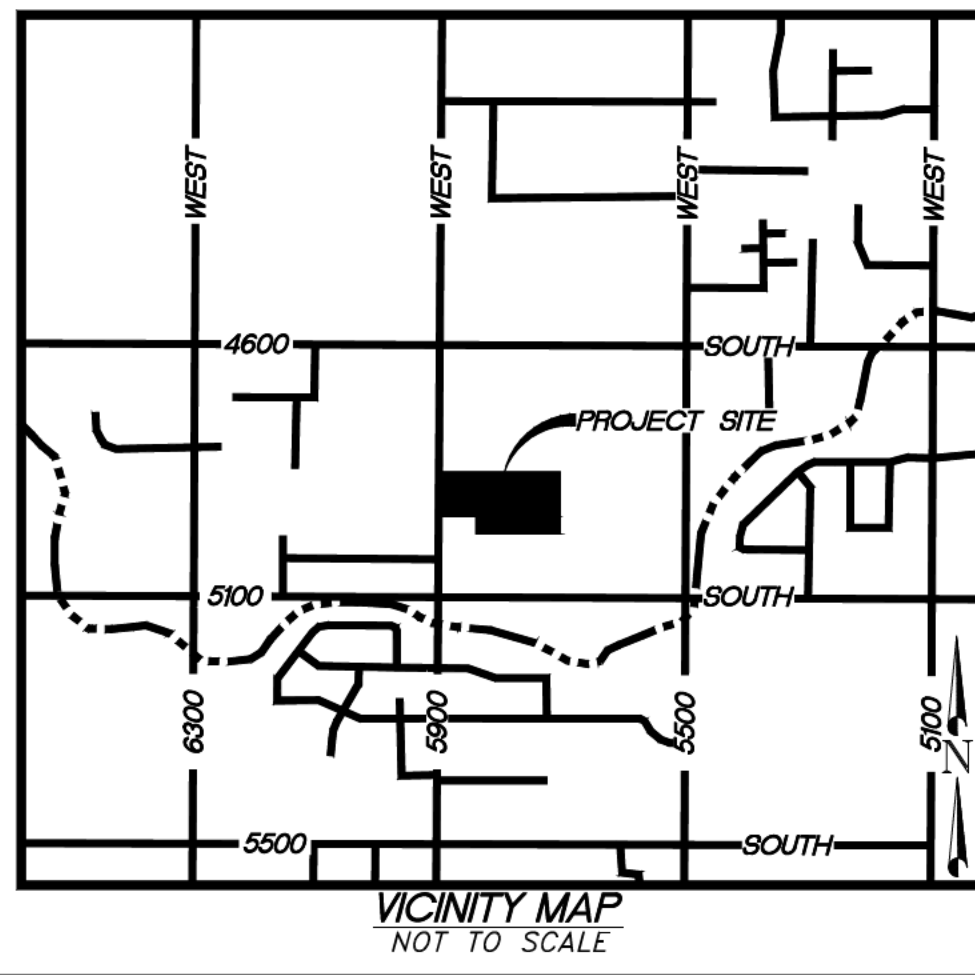
## NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A TWENTY ONE LOT SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY MAC BUILDERS. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING WEBER COUNTY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON. THE BASIS OF BEARING IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 WEST, OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS NORTH 89°26'19" WEST WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

5. CITY ORDINANCES STATE THAT NO BASEMENTS (LOWEST FLOOR SLAB LOWER THAN EXISTING ADJACENT GRADE) ARE ALLOWED IF A PUBLIC LAND DRAIN SYSTEM ISN'T AVAILABLE TO CONNECT A FOOTING DRAIN INTO WITH A GRAVITY LAND DRAIN LATERAL. THERE IS NO PUBLIC LAND DRAIN IN 5900 WEST. THEREFORE, NO BASEMENT IS PERMITTED.

6. DUE TO THE CHANGING TOPOGRAPHY OF LOTS WITHIN A SUBDIVISION DURING VARIOUS PHASES OF CONSTRUCTION FOLLOWED BY PRIVATE LOT OWNERSHIP AND LANDSCAPING, PROPER LOT GRADING IS THE RESPONSIBILITY OF THE DEVELOPER AND FUTURE LOT OWNER. LOTS MUST BE GRADED TO MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AND IN A WAY THAT WILL NOT RESULT IN A DISCHARGE OF STORM RUNOFF ONTO ADJACENT PRIVATE PROPERTY. HOOPER CITY WILL NOT BE RESPONSIBLE FOR OVERSEEING LOT DRAINAGE COMPLIANCE ON PRIVATE PROPERTY NOR WILL THE CITY BE LIABLE FOR SURFACE DRAINAGE DISPUTES BETWEEN PRIVATE PROPERTY OWNERS.

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	
C1	70.77	500.00	8.11	N86° 15' 51"E	70.71	
C2	70.77	500.00	8.11	N86° 15' 51"E	70.71	
C4	46.34	471.25	5.63	S87° 29' 50"W	46.32	
C5	20.18	473.41	2.44	S83° 25' 58"W	20.18	
C6	75.02	530.00	8.11	S86° 15' 51"W	74.95	
C9	147.39	58.00	145.60	N35° 56' 22"E	110.81	
C14	23.55	15.00	89.96	N44° 42' 08"W	21.21	
C15	23.58	15.00	90.06	N45° 18' 22"E	21.22	
C16	23.56	15.00	90.00	S45° 19' 08"W	21.21	
C17	23.57	15.00	90.03	N44° 41' 41"W	21.22	
C18	75.02	530.00	8.11	N86° 15' 51"E	74.95	
C19	47.10	470.00	5.74	N85° 04' 48"E	47.08	
C20	24.18	15.00	92.37	S45° 51' 55"E	21.65	
C21	23.56	15.00	90.00	N45° 19' 06"E	21.21	
C22	2.23	50.00	2.56	S1° 35' 52"W	2.23	
C23	34.60	50.00	39.65	N22° 42' 02"E	33.91	
C24	115.18	58.00	113.78	N14° 22' 05"W	97.17	
C25	36.83	50.00	42.20	N20° 47' 08"W	36.00	
C26	23.63	15.00	90.25	S44° 33' 26"E	21.26	
C27	23.50	15.00	89.75	N45° 26' 34"E	21.17	
C28	5.09	58.00	5.03	N39° 22' 26"W	5.09	
C29	44.39	28.00	90.84	N44° 56' 57"E	39.89	
C30	44.40	28.00	90.86	S44° 12' 10"E	39.89	
C31	43.30	28.00	88.60	N43° 42' 30"W	39.11	
C32	43.57	28.00	89.16	N45° 10' 22"E	39.31	



## LEGEND

- WEBER COUNTY MONUMENT AS NOTED
- SET 24" REBAR AND CAP MARKED
- GARDNER ENGINEERING
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- SECTION LINE
- EASEMENT
- DITCH & IRRIGATION EASEMENT

DEVELOPER:  
MAC BUILDERS  
MIKE ALVORD  
735 W 2400 S  
SYRACUSE, UT  
(801) 645-2300

S1  
1

## COUNTY RECORDER

ENTRY NO. \_\_\_\_ FEE PAID \_\_\_\_  
FILED FOR AND RECORDED \_\_\_\_  
AT \_\_\_\_ IN BOOK \_\_\_\_ OF OFFICIAL  
RECORDS, PAGE \_\_\_\_ RECORDED  
FOR \_\_\_\_  
COUNTY RECORDER  
BY: \_\_\_\_



**GARDNER  
ENGINEERING**  
CIVIL • LAND PLANNING  
MUNICIPAL • LAND SURVEYING  
1580 W 2100S, WEST HAVEN, UT 84401  
P 801.476.0202 F 801.476.0066

NORTHWEST CORNER  
OF SECTION 18, T5N,  
R2W, SLB&M

SMITH, RHONDA J.  
090770033

MELVIN R. ANDERSON & NINA F.  
ANDERSON FAMILY TRUST  
090770019

CRAIG &  
CONNIE ALLEN  
090770020

HIGLEY, DAN L.  
090770012

SLOSAR, MATTHEW  
& LAURA M.  
McCALLEN  
090770013

WEST 1/4 CORNER  
OF SECTION 18,  
T5N, R2W, SLB&M

## NOTES

- ZONE (R.75 MEDIUM DENSITY RESIDENTIAL) CURRENT YARD SETBACKS: FRONT: 35 FEET, SIDE: 20 FEET (MIN. 40 FEET TOTAL WIDTH, WITH MIN. SIDE SETBACK REQUIREMENT OF 10 FEET) REAR: 20 FEET.
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 49057C0425F WITH AN EFFECTIVE DATE OF NOVEMBER 30, 2023.
- AGRICULTURAL NOTE: AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURE ZONES. AGRICULTURE OPERATIONS AS SPECIFIED IN THE ZONING ORDINANCE FOR A PARTICULAR ZONE ARE PERMITTED AT ANY TIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO ALLOWED AGRICULTURE USE SHALL BE SUBJECT TO RESTRICTION ON THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THIS SUBDIVISION.
- LOTS DESIGNATED WITH "R" MAY NOT BE ACCESSED FROM 5900 W

### HOOPER CITY MAYOR

PRESENTED TO THE HOOPER CITY MAYOR THIS  
DAY OF \_\_\_\_, 2025, AT WHICH TIME THIS  
SUBDIVISION WAS APPROVED AND ACCEPTED.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_, 2025.

HOOPER CITY MAYOR

HOOPER CITY RECORDER

### HOOPER CITY ATTORNEY

I HAVE EXAMINED THE FINANCIAL  
GUARANTEE AND OTHER DOCUMENTS  
ASSOCIATED WITH THIS SUBDIVISION  
PLAT AND IN MY OPINION THEY CONFORM  
WITH THE CITY ORDINANCE APPLICABLE  
THERE TO AND NOW IN FORCE AND  
EFFECT.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_, 2025.

HOOPER CITY ATTORNEY

### HOOPER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS  
EXAMINED THIS PLAT AND IT IS CORRECT  
IN ACCORDANCE WITH INFORMATION IN  
FILE IN THIS OFFICE.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_, 2025.

HOOPER CITY ENGINEER

### HOOPER CITY COUNCIL CHAIRMAN

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_,  
2018 BY THE HOOPER CITY COUNCIL  
CHAIRMAN.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_, 2025.

HOOPER CITY COUNCIL CHAIRMAN



**HELPING EACH OTHER**  
CREATE BETTER COMMUNITIES



THE  
LANGDON  
GROUP



GATEWAY  
MAPPING  
INC.

J-U-B FAMILY OF COMPANIES

## MEMORANDUM

DATE: November 26, 2025  
TO: Kyle Davis; MAC Builders  
CC: Jeffery Holley; Gardner Engineering  
FROM: Public Works and Engineering  
SUBJECT: Final Acceptance – Kimball Estates Subdivision

---

Hooper City Public Works and Engineering has completed its final review of the proposed plat and design plans for the Kimball Estates Subdivision. The final acceptance of Hooper city or J-U-B Engineers of these plans consists of recognition that the Engineer-of-Record has certified their construction plans and supporting documentation to be in compliance with the City standards and specifications. This acknowledgement shall not shift the responsibility and liability for the completeness and accuracy of the plans and supporting documentation from the Engineer-of-Record to the city or J-U-B Engineers.

It is recommended that the planning commission grant final approval.

Sincerely,

Taylor Stauffer  
City Engineer