

HOOPER CITY
PLANNING COMMISSION AGENDA
DECEMBER 11, 2025, 7:00PM
COUNCIL CHAMBERS
5580 W. 4600 S.
Hooper, UT 84315

Notice is hereby given that the Hooper City Planning Commission will hold a work meeting and their regularly scheduled meeting on Thursday, December 11, 2025, starting at 7:00pm at the Hooper Municipal Building located at 5580 W 4600 S Hooper, UT 84315.

Work Meeting – 6:30pm

1. Discussion on Agenda Items

Regular Meeting – 7:00pm

1. Meeting Called to Order
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Reverence
3. Consent Items
 - a. Motion – Approval of minutes dated November 13, 2025
4. Action Items
 - a. Conditional Use Permit Request for Cody Benson for an oversized structure totaling 2,400 sq ft located at 3221 S 5325 W
 - i. Enter a public hearing to receive public input on request.
 - ii. Close the public hearing and proceed with the regular meeting.
 - iii. Planning Commission Discussion and/or Motion on request
 - b. Conditional Use Permit Request for Elizabeth Silva for an oversized structure totaling 2,100 sq ft located at 5517 S 6800 W
 - i. Enter a public hearing to receive public input on request.
 - ii. Close the public hearing and proceed with the regular meeting.
 - iii. Planning Commission Discussion and/or Motion on request
 - c. Final approval for Kimball Estates Subdivision located at Parcel # 09-077-0018 for MRK3 Group LLC
5. Citizen Comment (*Resident(s) attending this meeting will be allotted 3 minutes to express a concern about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
6. Adjournment

Morghan Yeoman

Morghan Yeoman, City Recorder

**Please see notes regarding public comments and public hearings*

In compliance with the American with Disabilities Act, persons needing special accommodations, including auxiliary communicative aids and services, for this meeting should notify the city recorder at 801-732-1064 or admin@hoopercity.com at least 48 hours prior to the meeting.

CERTIFICATE OF POSTING

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Hooper City limits on this 11th day of December, 2025 at Hooper City Hall, on the City Hall Notice Board, on the Utah State Public Notice Website, and at <https://www.hoopercity.com/meetings>.

***NOTES REGARDING PUBLIC COMMENT AND PUBLIC HEARINGS**

- A. Time is made available for anyone in the audience to address the City Council during public comment and through public hearings.
 - a. When a member of the audience addresses the council, they will come to the podium and state their name.
 - b. Each person will be allotted three (3) minutes for their remarks/questions.
 - c. The City Recorder will inform the speaker when their allotted time is up.

***CONFLICT OF INTEREST**

As per Utah State Code §67-16-9; Public officers and employees cannot have personal investments in a business entity that would create a substantial conflict between their private interests and public duties. This also applies to board members.



HOOPER CITY
PLANNING COMMISSION MEETING MINUTES
THURSDAY, NOVEMBER 13, 2025, 7:00PM
COUNCIL CHAMBERS
5580 W. 4600 S.
Hooper, UT 84315

The Hooper City Planning Commission held a work meeting at 6:00pm and their regular meeting at 7pm on November 13, 2025, at the Hooper City Civic Center located at 5580 W. 4600 S, Hooper, UT 84315.

PLANNING COMMISSION MEMBERS' PRESENT:

Jase McCormick
Amanda Prince
Travis Bates
Blake Cevering
Sheldon Greener
Gene Larsen

COMMISSION MEMBERS EXCUSED:

Bryce Widdison

CITY STAFF & CITY COUNCIL PRESENT:

Jamee Johnston – Deputy City Recorder
Malcolm Jenkins – City Planner
Matt Wilson – City Attorney

6:00PM WORK MEETING

1. Discussion on Agenda Items

The Planning Commission held a work session where they discussed agenda items and had a discussion on Flag Lots with David Reed, Weber County Deputy Chief/Fire Marshal.

7:00PM REGULAR MEETING

1. Meeting Called to Order

At 7:00pm Commissioner McCormick called the meeting to order.

2. Opening Ceremony

a. Pledge of Allegiance

Commissioner Larsen led in the Pledge of Allegiance.

b. Reverence

Commissioner Prince offered reverence.

3. Consent Items

a. Motion – Approval of minutes dated August 14, 2025

Commissioner Prince spoke on a date correction.
Correction was made.

COMMISSIONER GREENER MOTIONED TO APPROVE THE MINUTES DATED AUGUST 14, 2025, WITH A DATE CHANGE. COMMISSIONER BATES SECONDED THE MOTION. VOTING AS FOLLOWS:

<u>COMMISSIONER:</u>	<u>VOTE:</u>
MCCORMICK	AYE
PRINCE	AYE
BATES	AYE
CEVERING	AYE
GREENER	AYE
LARSEN	AYE

MOTION APPROVED.

b. Motion – Approval of minutes dated October 9, 2025

No corrections.

COMMISSIONER BATES MOTIONED TO APPROVE THE MINUTES DATED OCTOBER 09, 2025, WITH NO CHANGES. COMMISSIONER PRINCE SECONDED THE MOTION. VOTING AS FOLLOWS:

<u>COMMISSIONER:</u>	<u>VOTE:</u>
MCCORMICK	AYE
PRINCE	AYE
BATES	AYE
CEVERING	AYE
GREENER	AYE
LARSEN	AYE

MOTION APPROVED.

4. Action Items

a. Discussion: Creating TRC Checklist.

Malcolm Jenkins, the City Planner, presented the newly drafted subdivision application checklist noting changes and important steps.

Malcolm and the Planning Commission went through the TRC checklist; with discussions on ordinances and review cycle, concerns regarding the requirement for applicants to provide adjoining property owners information, traffic studies for minor subdivisions, and adding a disclosure on the bottom of the checklist.

5. Citizen Comment

(Resident(s) attending this meeting will be allotted 3 minutes to express a concern about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.)

None

6. Adjournment

AT APPROXIMATELY 7:28 PM, COMMISSIONER GREENER MOTIONED TO ADJOURN THE MEETING. COMMISSIONER PRINCE SECONDED THE MOTION. VOTING AS FOLLOWS:

<u>COMMISSIONER:</u>	<u>VOTE:</u>
MCCORMICK	AYE
PRINCE	AYE
BATES	AYE
CEVERING	AYE
GREENER	AYE
LARSEN	AYE
MOTION PASSED.	

Date Approved: _____

Jamee Johnston, Deputy City Recorder

1 Hooper City
5580 W. 4600 S.
Hooper, UT 84315
Office 801-732-1064

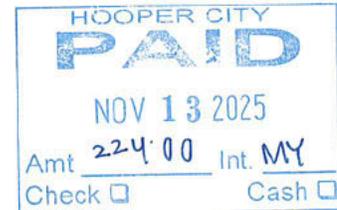
24.00
Fee: \$200.00
Date Submitted 10-23-25

Conditional Use Permit: Oversized Structure

Print Applicant Name: Cody Wayne Benson
Address: 3221 S 5325 W, Hooper
Phone #: [REDACTED]
Day Time Phone #: [REDACTED] Email: [REDACTED]

Provide site plan drawings including all of the following: (Site plan must be to scale).

- Map of property showing adjacent streets
- Building dimensions and distance from other structure
- Distance from property lines. (The drip edge must be at least 5 feet from property lines. If you are on a corner lot or have easements attached to your property it may be more than the 5 feet.)
- List any easements on property
- Roof pitch, roof height, roofing material and drip line distance to other structure and property lines
- Concept drawing of what structure will look like
- Building materials
- Driveway materials
- Landscaping design



Total Sq. footage of Structure: 2400 sq ft
Height of Structure: Peak 22' 1 1/2"

- What will the structure be used for? Storing cars and trailers
 - Will any plumbing be installed in the structure? Yes No
 - Will any electricity be installed in the structure? Yes No
 - Will structure be used for a business? Yes No
- If yes, have you applied for a business license with Hooper City? Yes No

Explain: _____
❖ The State requires all property owners within 600 feet from your parent property (front, sides and back) to be notified. There will be an additional fee of \$1.00 for every notice that is sent out.

Please address these issues on the back of this application.

Traffic problems	Safety issues	Noise	Parking
Fencing	Pollution	Odors	Design
Business operation	Use of structure	Easements	

I hereby certify that the above information is accurate to the best of my knowledge. I certify that I will comply with all state and local requirements before and after building this structure. I understand that if conditional use does not start within (12) months and also if the conditional use is discontinued for (12) consecutive months, the Conditional Use Permit will expire. If my conditional use changes I will notify Hooper City for a Conditional Use Permit review. I or a representative will be present at the Planning Commission Meeting.

Signature: Cody Wayne Benson Date: 10/23/2025

Approval Date: _____ Disapproval Date: _____

Planning Commission Chairman

Comments/Conditions: _____

Completed application, fee and all other documents must be submitted three weeks before a Planning Commission Meeting which is the 2nd Thursday of the month unless otherwise specified.

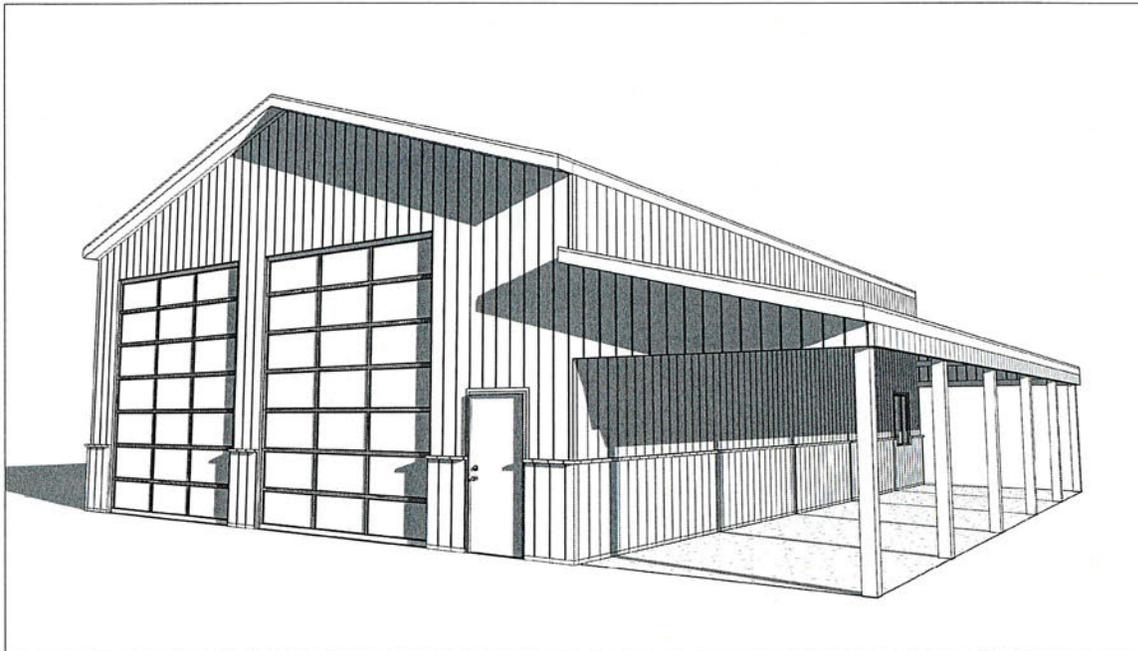
ROPER BUILDINGS

CODY BENSON BUILDING

DATE:
10/17/2025

DRAWING INDEX

A0	Title Page
A1	Foundation Plan
A2	First Floor Plan
A3	Framing Plans
A4	Roof Plan
A5	Elevations
A6	Panel Layouts
A7	Details
A8	Details
A9	Details
A10	Engineering Notes
A11	Engineering Notes



BUILDING INFORMATION

BUILDING INFORMATION:
 DIMENSIONS: 36' x 50' = 1,800 ft²
 LEAN 1 DIMENSIONS: 12' x 50' = 600 ft²
 TOTAL SQUARE FOOTAGE: 2,400 ft²

SITE INFORMATION:
 ADDRESS:
 3221 S. 5325 W.
 Hooper, UT 84315

USAGE:
 Residential Accessory



STRUCTURAL ONLY

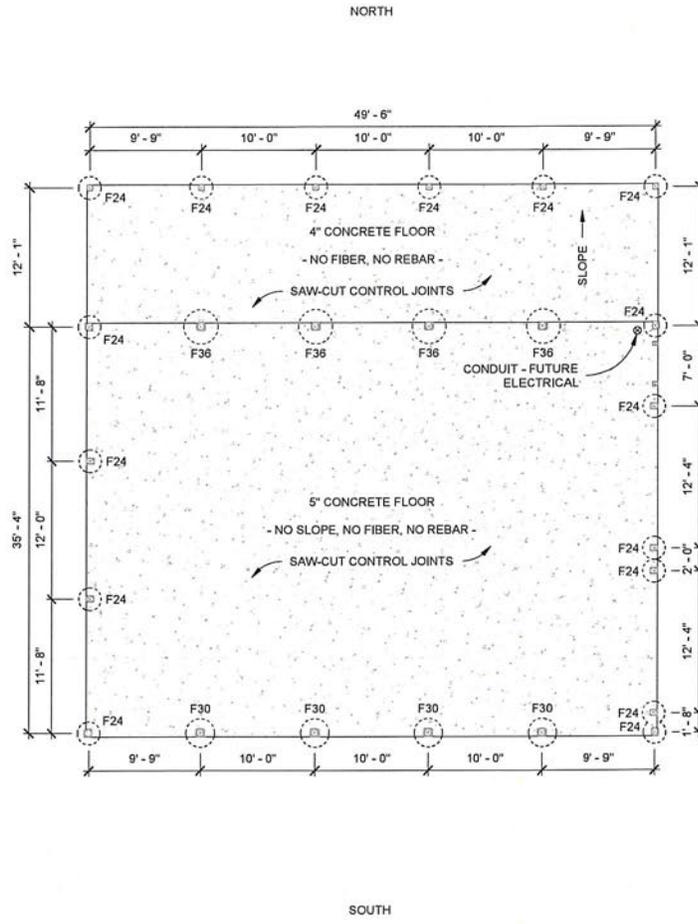
GENERAL INFO.

GIRTS: COMMERCIAL
 CLEAR HEIGHT: 15' - 0"
 CONCRETE THICKNESS: 5"

CONTACT

ROPER BUILDINGS /
 DMLP RESOURCES
 PHONE: (801) 689-3630

WEST



FOUNDATION PLAN
1/8" = 1'-0"

SOUTH

PIERS			
Count	Type	Diameter	Depth
16	F24	24"	36"
4	F30	30"	36"
4	F36	36"	36"

EAST
(FRONT OF BUILDING)

ROPER BUILDINGS /
DMLP RESOURCES
(801) 689-3630

CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315

Scale: 1/8" = 1'-0"
Drawn by: JDJ
Job: BENSON
Sheet Size: B
17" x 11"
Foundation Plan



STRUCTURAL ONLY

A1

Date: 10/17/2025

DOORS				
Mark	Count	Type	Width	Height
1	2	INSULATED O.H.D.	12'-0"	14'-0"
2	1	M.D.	3'-0"	6'-8"

WINDOWS					
Mark	Count	Type	Width	Height	Sill Height
A	1	SLIDER	4'-0"	4'-0"	3'-4"
B	3	PICTURE ABOVE	6'-0"	2'-0"	12'-0"

NORTH

INSULATION		
ROOF	WALLS	ROLLS
2' CLOSED CELL SPRAY FOAM	R19	-

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CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315

EAST
(FRONT OF BUILDING)



STRUCTURAL ONLY

Scale: 1/8" = 1'-0"

Drawn by: JDJ

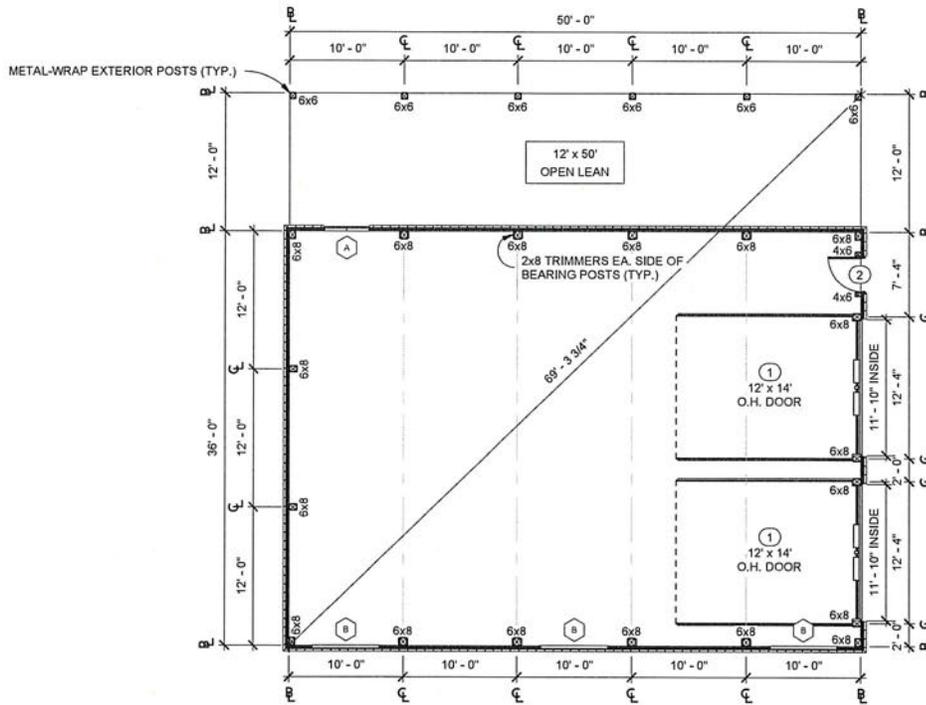
Job: BENSON

Sheet Size: B
17" x 11"

First Floor Plan

A2

Date: 10/17/2025



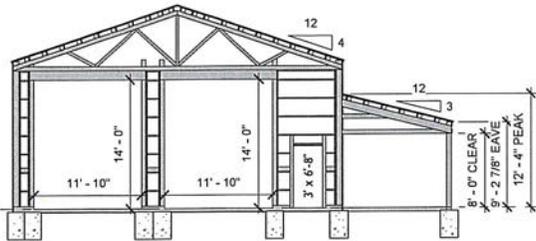
WEST

SOUTH

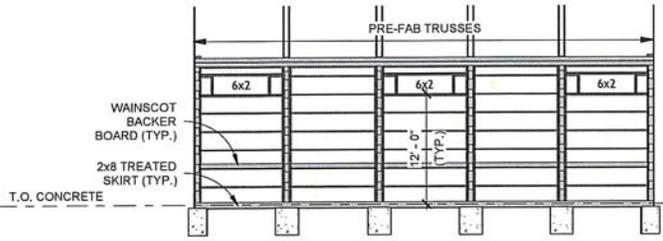
FLOOR PLAN
1/8" = 1'-0"

COUNT	SAWN	OPTIONS	
		LAMINATED TRIAD	TITAN TIMBER
6	6x6 HF	(4) PLY 2x6	(3) PLY 2x6
18	6x8 HF	(4) PLY 2x8	(3) PLY 2x8

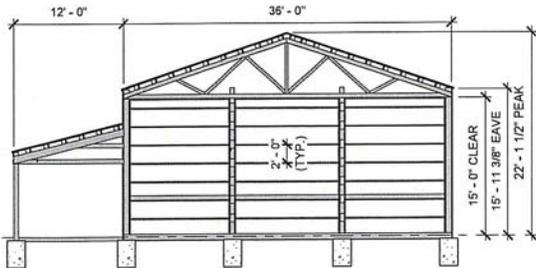
NOTES:
1. EMBED POST INTO CONCRETE PIER. SEE ENGINEER DETAIL.
2. WALLS: COMMERCIAL GIRTS, 29 GA. STEEL PANEL.
3. ALL POSTS ARE TREATED HF #1 UNLESS OTHERWISE SPECIFIED.
4. DOORS AND WINDOWS WITHOUT DIMENSIONS ARE CENTERED IN BAYS OR FRAMED NEXT TO THE CLOSEST POST.



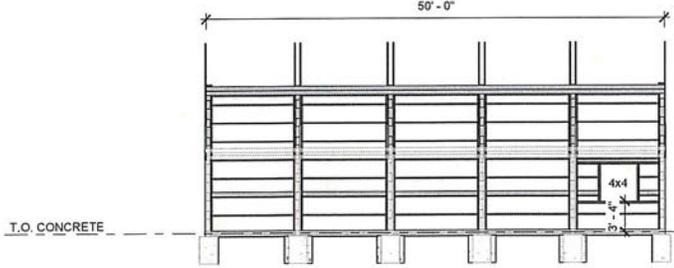
1 EAST GIRT
1" = 10'-0"



2 SOUTH GIRT
1" = 10'-0"



3 WEST GIRT
1" = 10'-0"



4 NORTH GIRT
1" = 10'-0"



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CODY BENSON BUILDING

3221 S. 5325 W.
Hooper, UT 84315

Scale: 1" = 10'-0"

Drawn by: JDJ

Job: BENSON

Sheet Size: B
17" x 11"

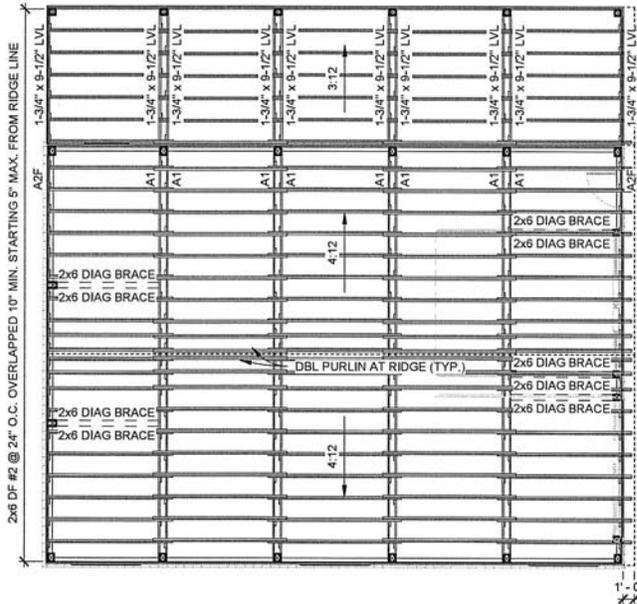
Framing Plans

A3

Date: 10/17/2025

WEST

NORTH



1'-0"

SOUTH

ROOF PLAN
1/8" = 1'-0"

INSULATION		
ROOF	WALLS	ROLLS
2" CLOSED CELL SPRAY FOAM	R19	-

EAST

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DMIP RESOURCES
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CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315



STRUCTURAL ONLY

ROOF FRAMING NOTES:
4:12 MAIN ROOF PITCH
3:12 LEAN ROOF PITCH

• PURLINS: 2x6 DF #2 @ 24" O.C. OVERLAPPED
10" MIN. STARTING 5" MAX. FROM RIDGE LINE.
• ALL PURLINS ARE SINGLE PURLINS UNLESS
OTHERWISE NOTED.

Scale: 1/8" = 1'-0"

Drawn by: JDJ

Job: BENSON

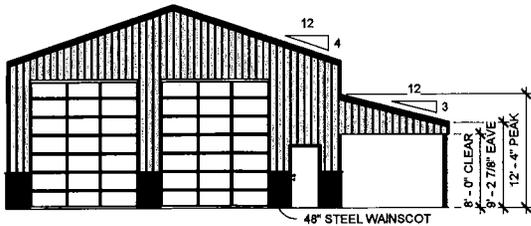
Sheet Size: B

17' x 11'

Roof Plan

A4

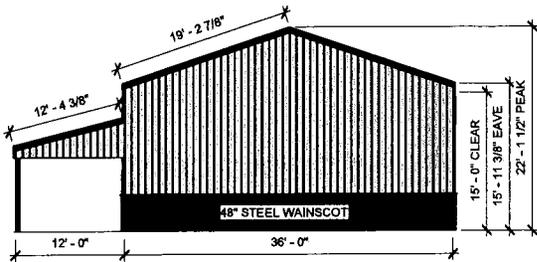
Date: 10/17/2025



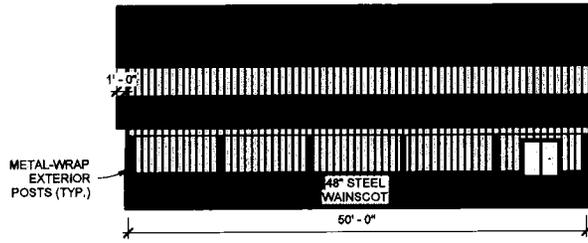
① EAST ELEVATION
1" = 10'-0"



② SOUTH ELEVATION
1" = 10'-0"



③ WEST ELEVATION
1" = 10'-0"



④ NORTH ELEVATION
1" = 10'-0"

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CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315

Scale: 1" = 10'-0"

Drawn by: JDJ

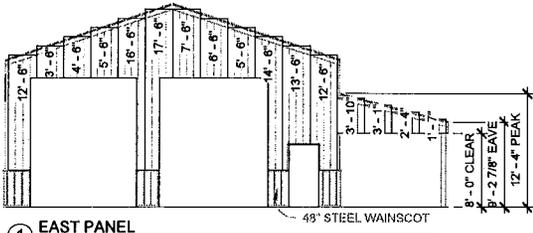
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Sheet Size: B
17" x 11"

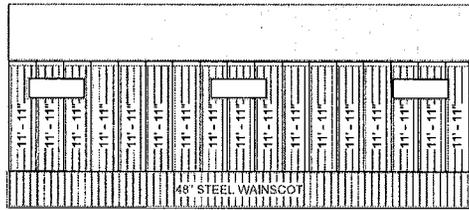
Elevations

A5

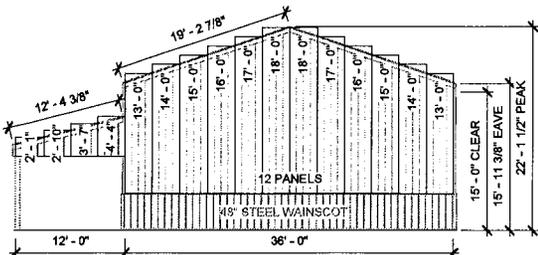
Date: 10/17/2025



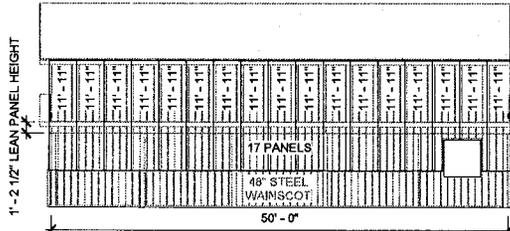
① EAST PANEL
1" = 10'-0"



② SOUTH PANEL
1" = 10'-0"



③ WEST PANEL
1" = 10'-0"



④ NORTH PANEL
1" = 10'-0"

PANEL SCHEDULE

Quantity	Panel Size
1	1' - 7"
1	2' - 1"
1	2' - 4"
1	2' - 10"
1	3' - 1"
1	3' - 6"
1	3' - 7"
1	3' - 10"
1	4' - 4"
1	4' - 6"
2	5' - 6"
1	6' - 6"
1	7' - 6"
34	11' - 11"
2	12' - 6"
2	13' - 0"
1	13' - 6"
2	14' - 0"
1	14' - 6"
2	15' - 0"
2	16' - 0"
1	16' - 6"
2	17' - 0"
1	17' - 6"
2	18' - 0"

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CODY BENSON BUILDING

3221 S. 5325 W.
Hooper, UT 84315

Scale: 1" = 10'-0"

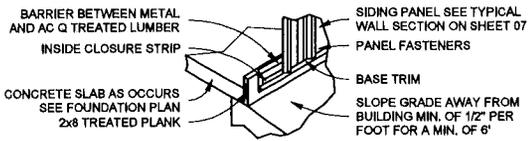
Drawn by: JDJ

Job: BENSON

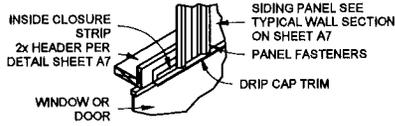
Sheet Size: B
17" x 11"

Panel Layouts

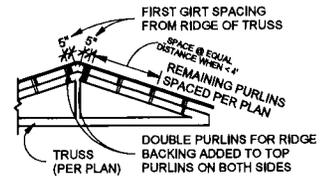
A6



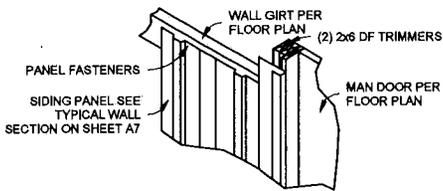
① **BASE GUARD FLASHING**
N.T.S.



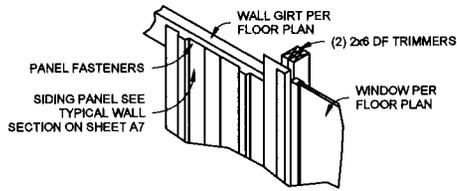
② **WINDOW/DOOR HEADER FLASHING**
N.T.S.



③ **T.O. ROOF DETAIL**
N.T.S.



④ **MAN DOOR JAMB FLASHING**
N.T.S.



⑤ **WINDOW JAMB FLASHING**
N.T.S.

ROPER BUILDINGS/
DMLP RESOURCES
(801) 689-3630

CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315

Scale: As Indicated

Drawn by: JDJ

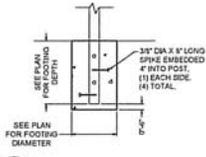
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Sheet Size: B
17" x 11"

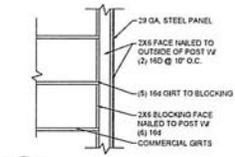
Details

A7

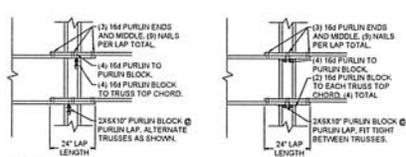
Date: 10/17/2025



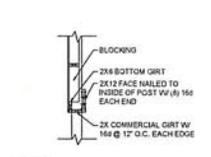
1 24'-30" DIA FOOTING
NTS



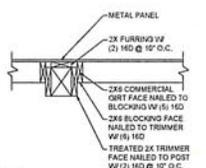
2 CORNER BLOCKING
NTS



3 PURLIN LAP -OR- PURLIN LAP
NTS

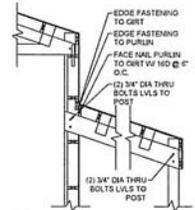


4 NON BEARING GARAGE HDR
NTS

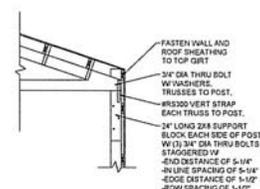


5 SECTION AT POST
NTS

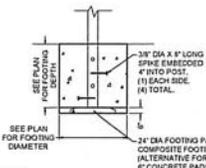
6 NOT APPLICABLE
NTS



7 OFFSET LEAN SECTION
NTS



8 3/4" THRU BOLT TRUSS SUPPORT ALTERNATIVE
NTS



9 36"-42" DIA FOOTING
NTS

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(801) 689-3630

CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315



Scale:
Drawn by: JDJ
Job: BENSON
Sheet Size: B
17" x 11"
Details
A8

Date: 10/17/2025

Scale:

Drawn by: JDJ

Job: BENSON

Sheet Size: B
17" x 11"

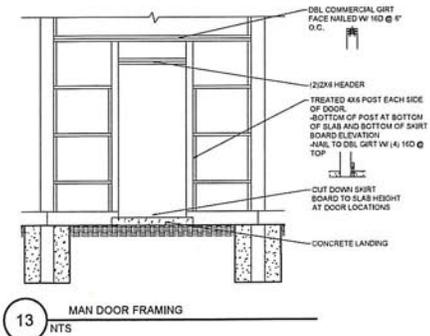
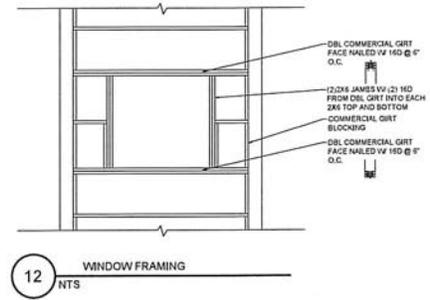
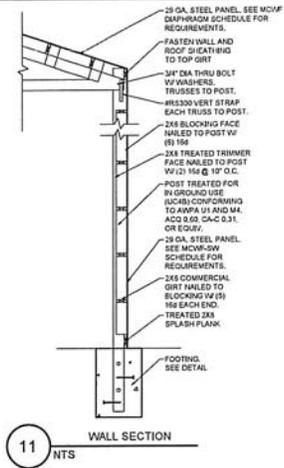
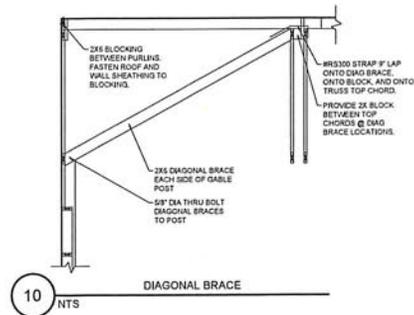
Details

A9



STRUCTURAL ONLY

Date: 10/17/2025



DESIGN CRITERIA:

RISK CATEGORY: 1
 DESIGN RISK CATEGORY: I
 SNOW LOAD IMPORTANCE FACTOR (I_s): 0.8
 SEISMIC IMPORTANCE FACTOR (I_e): 1.0

SEISMIC LOADS

S: 0.42
 C_v: 0.91
 S_{ds}: 1.32
 S_{dh}: 1.2
 R: 5.5 (SHEAR WALLS) OR 1.5 (CANTILEVER SYSTEM)
 SITE CLASS: D (ASSUMED)
 SOC:

WIND LOADS

V (3 SEC GUST): 105 MPH
 EXPOSURE CATEGORY: C
 ELEVATION: 4218 FT

SNOW LOADS

W: 47 PSF
 W_s: 0 PSF
 C_e: 1.0
 C_d: 1.2
 C_g: 0.94
 P_f: 30 PSF
 P_s: 30 PSF

DEAD LOADS

ROOF: 3 PSF (TRUSSES, FURLINS, 29 GA PANELS)
 FLOOR: 10 PSF (JOISTS, OSB FLOORING)
 WALLS: 3 PSF (POSTS, GIRTS, 29 GA PANELS)
 CONCRETE: 145 PSF

LIVE LOADS

FLOOR: 40 PSF
 DECK: 60 PSF

SOIL LOADS AND VALUES ASSUMED:

SOIL BEARING CAPACITY: 1500 psf
 ACTIVE PRESSURE: 20 PCF
 PASSIVE PRESSURE: 250 PCF
 AT-REST PRESSURE: 60 PCF
 LATERAL BEARING CAPACITY: 500 PSF/FT (IBC 1806.1.106.2 & 1094.3.4)
 *SEE NOTES FOR SOIL ASSUMPTIONS AS FOUND IN THE CONCRETE FOOTINGS & FOUNDATIONS SECTION. THIS PAGE *ENGINEER ASSUMES STABLE SOIL CONDITIONS. IF THERE ARE ANY GLOBAL STABILITY CONCERNS, A GEOTECHNICAL REPORT IS REQUIRED. **VALUES ASSUMED ARE FOR FOOTINGS AND FOUNDATIONS PLACED IN NATIVE SOIL CONDITIONS.

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION WORK SHALL FOLLOW THE STANDARDS FOUND IN THE INTERNATIONAL BUILDING CODE (IBC 2021), INTERNATIONAL RESIDENTIAL CODE (IRC 2021) AND THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS 2018).
- THE ENGINEER DRAWINGS PROVIDED HEREIN WERE COMPLETED USING THE PROFESSIONAL STANDARD OF CARE REQUIRED BY THE GOVERNING MUNICIPALITY AND/OR STATE. THESE DRAWINGS, HOWEVER, DO NOT AND CAN NOT PROVIDE EVERY EXPLICIT ELEMENT OR CONDITION OF THE STRUCTURE. AS SUCH, CONTRACTOR SHALL PROVIDE INDUSTRY STANDARD GOOD CARE AND PRACTICE FOR MISCELLANEOUS ELEMENTS NOT SHOWN ON PLANS AND SHALL CONTACT ENGINEER FOR FURTHER INFORMATION IF REQUIRED.
- STRUCTURAL ENGINEERING PROVIDED HEREIN ASSUMES FINAL CONSTRUCTED CONCRETE. CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF UNFINISHED STRUCTURE DURING ALL STAGES OF CONSTRUCTION. CONSTRUCTION LOADS SHALL NOT EXCEED DESIGN LIVE LOADS SHOWN IN DESIGN CRITERIA. CONTRACTOR SHALL PROVIDE BRACING OR SHORING AS NECESSARY TO SUPPORT UNFINISHED STRUCTURE.
- WHITE PINE ENGINEERING (WPE) ASSUMES NO LIABILITY FOR THE MEANS AND METHODS OF CONSTRUCTION PRACTICES. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS OF CONSTRUCTION AND FOR JOBSITE SAFETY PER OSHA REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING APPROVAL AND ANY NECESSARY PERMITS FROM THE GOVERNING MUNICIPALITY PRIOR TO BEGINNING OF CONSTRUCTION.
- ANY OBSERVATIONS PROVIDED BY WPE DURING CONSTRUCTION SHALL BE CONSIDERED OBSERVATION LIMITED TO THE SCOPE REQUESTED, AND NOT FULL INSPECTIONS OR APPROVAL. THE GOVERNING MUNICIPALITY SHALL BE SOLELY RESPONSIBLE FOR INSPECTIONS AND APPROVAL OF FINAL CONSTRUCTION.
- CONTRACTOR SHALL INFORM ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND CONDITIONS ASSUMED ON THESE PLANS (E.G. DIMENSIONS, MATERIALS, ASSUMED LOADS, ETC.).
- SHOP DRAWINGS FOR ANY PREMANUFACTURED STRUCTURAL ELEMENTS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONSTRUCTION AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD TO REVIEW IF DIMENSIONS OR OTHER ASPECTS OF SHOP DRAWINGS DIFFER FROM THOSE ON THESE PLANS.

CONCRETE FOOTINGS, FOUNDATIONS, AND SLABS

NOTES:

- CONCRETE SHALL MEET REQUIREMENTS OUTLINED IN THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-19).
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM ALL FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 IN WITHIN THE FIRST 10 FT DISTANCE FROM THE BUILDING.
- IMPERVIOUS SURFACES (I.E. CONCRETE, ASPHALT) SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- CONTRACTOR SHALL DAMP PROOF ALL CONCRETE WALLS THAT RETAIN EARTH OR HAVE ENCLOSED USABLE SPACES BY PLACING A BITUMINOUS COATING ON BELOW GRADE EXTERIOR SECTIONS OF FOUNDATION WALL OR WITH ANOTHER APPROVED DAMP PROOFING METHOD AS OUTLINED IN R405 OF THE IRC.
- FOUNDATION DRAINAGE SYSTEM IS NOT REQUIRED IF BACKFILLED WITH WELL-DRAINING BACKFILL OR SAND-GRAVEL MIXTURE SOLES OF GROUP I SOILS OF THE UNIFIED SOILS CLASSIFICATION SYSTEM AS SHOWN IN TABLE R405.1 OF THE IRC.
- ALL CONCRETE WALLS THAT RETAIN EARTH AND ANY FOUNDATION WALLS THAT ENCLOSE USABLE AREAS WITH GROUP II-GROUP IV SOILS OF THE UNIFIED SOILS CLASSIFICATIONS SYSTEM AS SHOWN IN TABLE R405.1 OF THE IRC SHALL HAVE A FOUNDATION DRAIN INSTALLED CONSISTING OF A PERFORATED DRAIN PIPE NOT LESS THAN 1" BEYOND THE OUTSIDE EDGE OF THE FOOTINGS AND 6" ABOVE THE TOP OF FOOTING WITH A GRAVEL DRAIN WRAPPED IN AN APPROVED FILTER FABRIC.
- ANY FOUNDATION WALLS THAT ENCLOSE USABLE SPACE WITH A HIGH WATER TABLE OR OTHER SEVERE GROUND WATER CONDITIONS SHALL BE WATERPROOFED AS REQUIRED IN SECTION R405.2 OF THE IRC.
- WPE ASSUMES STABLE SOIL CONDITIONS. CONTACT ENGINEER IF SOIL CONDITIONS DIFFER FROM THOSE ASSUMED. SEE DESIGN CRITERIA FOR ASSUMED VALUES. THESE VALUES SHALL BE REPLACED BY DATA INCLUDED IN A SITE SPECIFIC GEOTECHNICAL REPORT IF AVAILABLE.
- CRUSHED ROCK OR GRAVEL FILL WITH RELATIVELY LOW AMOUNTS OF FINES MAY BE USED TO BRING BOTTOM OF FOOTINGS OR SLABS UP TO GRADE WITH A MAXIMUM GRAVEL FILL DEPTH OF 7". GRAVEL OR CRUSHED ROCK FILLS SHALL BE COMPACTED USING A VIBRATORY PLATE COMPACTOR.
- ANY FILL SOILS OR GRAVEL FILL DEEPER THAN 2" THAT SUPPORT FOOTINGS AND FOUNDATIONS SHALL BE DESIGNED BY A LICENSED GEOTECHNICAL ENGINEER. FILL SOILS SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.
- WHERE QUANTIFIABLE DATA OR OBSERVATIONS INDICATE EXPANSIVE, COMPRESSIBLE, SHFITING, OR OTHER QUESTIONABLE SOIL CHARACTERISTICS OR GEOTECHNICAL HAZARDS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SITE SPECIFIC GEOTECHNICAL STUDY TO DETERMINE SOIL CHARACTERISTICS OF THE SITE.
- FROST DEPTH OF FOOTINGS AND MINIMUM FREEBOARD OF FOUNDATION WALLS SHALL BE MET AS SPECIFIED ON SHEET S1.0. NO FOOTINGS IN UNCONDITIONED SPACE SHALL BE CONSTRUCTED SHALLOWER THAN THE MINIMUM FROST DEPTH.
- CONCRETE SHALL BE MECHANICALLY VIBRATED WHEN PLACED TO AVOID HONEYCOMBING ALONG FORMS AND TO ALLOW CONCRETE TO FREELY FLOW AROUND REINFORCEMENT.
- CONCRETE SHALL NOT BE DROPPED MORE THAN 5' MAXIMUM DURING PLACEMENT.
- CONCRETE FOR FOUNDATION WALLS SHALL CURE A MINIMUM OF 7 DAYS AND HAVE INTERIOR SLAB INSTALLED PRIOR TO ANY BACKFILL. FOUNDATION WALLS 6" IN HEIGHT AND ABOVE DESIGNED FOR TOP SUPPORT. CONTRACTOR SHALL INSTALL FLOOR OR ROOF DIAPHRAGM PRIOR TO BACKFILL AND SHALL NOT COMPACT ANY BACKFILL PLACED AROUND THESE WALLS.
- ALL FOUNDATIONS SHALL HAVE 6" MIN. EXPOSED ABOVE GRADE.
- CONTRACTOR SHALL ROUGHEN COOLD JOINT BETWEEN FOOTING AND WALL TO A MINIMUM OF 1/4".
- ALL SLABS ON GRADE SHALL HAVE CONTROL JOINTS IN SLAB AT 15' O.C. MAXIMUM SPACING.
- ALL CONCRETE SLABS ON GRADE SHALL BE A MINIMUM OF 4" THICK ON 4" PLATE COMPACTED GRAVEL OR OTHER APPROVED FREE DRAINING MATERIAL.
- REINFORCING STEEL IN CONCRETE SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SECTION ENTITLED "REINFORCING STEEL".
- ALL REINFORCEMENT IN CONCRETE SHALL BE PROPERLY TIED AND SECURED PRIOR TO POURING CONCRETE IN SUCH A WAY THAT REINFORCEMENT REMAINS IN DESIGNED LOCATION. VERTICAL REINFORCING STEEL FOR MASONRY CONSTRUCTION MAY BE FLOATED INTO PLACE.
- ALL REINFORCEMENT THAT ARE CAST IN PLACE SHALL BE SECURELY PLACED IN THE FORMS (I.E. STRAPS, BOLTS, SLEEVE, ETC.).
- REINFORCEMENT IN FOUNDATION WALLS SHALL BE CENTERED IN WALL UNLESS OTHERWISE NOTED ON PLANS.
- ENGINEER ASSUMES 2500 PSI CONCRETE STRENGTH IN STRUCTURAL CONCRETE. THEREFORE CONCRETE FOR FOOTINGS, FOUNDATION WALLS, AND SLABS ON GRADE CAN BE EXEMPT FROM SPECIAL INSPECTIONS ACCORDING TO EXEMPTIONS LISTED IN SECTION 1705.3 IN THE IBC UNLESS NOTED OTHERWISE.

CONCRETE SPECIFICATIONS

STRUCTURAL ELEMENT	MIN. COMPRESSIVE STRENGTH (PSI)	AIR CONTENT	W/C RATIO
FOUNDATION WALLS AND FOOTINGS, NOT EXPOSED TO WEATHER	3000 PSI	5%-7% ⁽¹⁾	.55
SLABS (EXCLUDING GARAGE SLABS)	3000 PSI	5%-7% ⁽¹⁾	.55
WALLS EXPOSED TO WEATHER	3000 PSI	5%-7%	.45
SLABS EXPOSED TO WEATHER (INCLUDING GARAGE AND SUSP. SLABS)	3500 PSI	5%-7%	.45

NOTES TO TABLE ABOVE:

- AIR ENTRAINMENT ONLY REQUIRED IN CONCRETE NOT EXPOSED TO WEATHER IF EXPOSED TO FREEZE/THAW DURING CONSTRUCTION PROCESS.
- FC IS CONCRETE COMPRESSIVE STRENGTH AT 28-DAYS
- PORTLAND CEMENT TYPE III
- FC IS CONCRETE COMPRESSIVE STRENGTH AT 28-DAYS
- W/C RATIO BASED ON ALL CEMENTITIOUS AND SUPPLEMENTARY CEMENTITIOUS MATERIAL IN CONCRETE MIXTURE
- MAXIMUM MAXIMUM AGGREGATE SIZE OF 3/4" AND SHALL CONFORM TO ASTM C33
- CONCRETE MIXTURE MAY HAVE A MAXIMUM OF 25% BY MASS OF FLY ASH OR OTHER NATURAL POZZOLANS CONFORMING TO ASTM C618
- SEE SECTION R404.1.3.3.4 (IRC 2021) FOR SLUMP REQUIREMENTS. SLUMP OF CONCRETE SHALL BE ADEQUATE TO PROVIDE WORKABILITY AROUND REINFORCEMENT.

ANCHOR BOLTS

NOTES:

- ANCHORING OF BOLT PLATES TO FOUNDATION SHALL FOLLOW SECTION 2304.3 (IBC 2021)
- ANCHOR BOLTS SHALL BE A MINIMUM OF 1/2" DIAMETER X 10" LONG. 1/2" BOLTS @ 32" O.C. ANCHOR BOLTS SHALL BE GRADE ASST AND SHALL HAVE 7" MINIMUM EMBEDMENT IN CONCRETE. SEE SHEAR WALL SCHEDULE FOR SHEAR WALL SPECIFIC ANCHOR BOLT SPACING.
- ANCHOR BOLTS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE BOLT PLATE.
- EACH SECTION OF FOUNDATION WALL SHALL HAVE A MINIMUM OF (2) ANCHOR BOLTS (ONE ON EACH END). PROVIDE EDGE ANCHOR BOLTS WITHIN FIRST FOOT OF FOUNDATION SECTION WHEN STEPPED.
- PROVIDE 3" X 3" X 1/2" PLATE WASHER FOR EACH ANCHOR BOLT. DIAGONALLY BOTTED HOLE IN PLATE WASHER ALLOWED TO BE 1/4" WIDER THAN ANCHOR BOLT DIAMETER NOT TO EXCEED 1 1/2" IF A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND NUT.
- 1/4" DIA. X 7" LONG SIMPSON TITAN HD BOLTS @ SPACING MATCHING SHEAR WALL SCHEDULE MAY BE SUBSTITUTED FOR ANCHOR BOLT SPECIFICATION ABOVE.

REINFORCING STEEL:

NOTES:

- PLACEMENT OF REINFORCING STEEL SHALL MEET REQUIREMENTS OF CHAPTER 25 OF ACI 318-19.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60 (F_y = 60 KSI).
- REINFORCING STEEL SHALL NOT BE WELDED UNLESS SPECIFIED ON THE PLANS. REINFORCING STEEL THAT IS WELDED SHALL BE ASTM A706 GRADE 60.
- REINFORCING WELDED WARE FABRIC SHALL CONFORM TO ASTM STANDARD A-185.
- ALL REINFORCING STEEL DIMENSIONS SHALL BE TO CENTER OF BAR UNLESS DIMENSION IS SPECIFIED AS "CLEAR" OR "CLR" IN WHICH CASE THE DIMENSION IS TO EDGE OF REBAR.
- EDGE DISTANCE, HOOK AND BEND RADIUS, AND REBAR LAP LENGTHS SHALL MEET THE FOLLOWING REQUIREMENTS ON THIS SHEET AND THE REQUIREMENTS IN THE ACI 318.
- REINFORCING IN FOUNDATION WALLS AND AROUND OPENINGS SHALL MEET REQUIREMENTS OF THE FOUNDATION SCHEDULE SHOWN ON S1.0 AND THE UTM ANCHORING TO THE CODE 15A-3-104.
- ON CENTER (O.C.) SPACING SHOWN ON PLANS SHALL BE MAXIMUM SPACING ALLOWABLE.
- BAR SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS (4L) TO MEET DEVELOPMENT LENGTH. DEVELOPMENT LENGTH ASSUMES UNEXPOSED REBAR AND NORMAL WEIGHT CONCRETE. CONTACT ENGINEER FOR OTHER CONDITIONS IF NEEDED.

REBAR CONCRETE COVERAGE DISTANCES

EXPOSURE CONDITION	BAR SIZE OR MEMBER	REBAR CLR DISTANCE (MIN.)
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	ANY	3"
EXPOSED TO WEATHER	#5 AND SMALLER	1-1/2"
	#6 AND LARGER	2"
	#14 AND # 18, SLABS, JOISTS, AND WALLS	1-1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	#11 AND SMALLER, SLABS, JOISTS, AND WALLS	3/4"
	ALL SIZE BARS, BEAMS, COLUMNS, AND TENSION TIES	1-1/2"

NOTES TO TABLE ABOVE:

- SEE TABLE 20.3.1.3.1 ACI 318-19
- ALL SLAB ON GRADE REINFORCEMENT SHALL BE CENTERED IN SLAB UNLESS NOTED OTHERWISE

STANDARD HOOK GEOMETRY OF DEFORMED BARS IN TENSION (SEE ACI 318-19 TABLE 25.3.1 FOR ALL BAR SIZES AND REQUIREMENTS)

TYPE OF HOOK	BAR SIZE	MIN. INSIDE DIAMETER	STRAIGHT EXTENSION MIN. (4L)	TYPE OF HOOK
90° HOOK	#3-#8	6d	12d	
180° HOOK	#3-#8	6d	GREATER OF 4d and 2'.	

STANDARD HOOK GEOMETRY FOR STIRRUPS, TIES AND HOOPS (SEE ACI 318-19 TABLE 25.3.2 FOR ALL BAR SIZES AND REQUIREMENTS)

TYPE OF HOOK	BAR SIZE	MIN. INSIDE DIAMETER	STRAIGHT EXTENSION MIN. (4L)	TYPE OF HOOK
90° HOOK	#3-#8	4d	GREATER OF 4d and 3"	
135° HOOK	#3-#8	4d	GREATER OF 4d and 3"	
180° HOOK	#3-#8	4d	GREATER OF 4d and 3"	

NOTES TO TABLE ABOVE:

- AT ANGLE STRAIGHT EXTENSION IS ALLOWABLE BUT DOES NOT INCREASE ANCHORAGE CAPACITY
- MINIMUM DEVELOPMENT LENGTH SHALL BE 40 BAR DIAMETERS (4L)

ROPER BUILDINGS / DMLP RESOURCES
(801) 689-3630

CODY BENSON BUILDING
3221 S. 5325 W.
Hooper, UT 84315

Scale: _____
 Drawn by: JDJ
 Job: BENSON
 Sheet Size: B
 17" x 11"
 Engineering Notes
A10

STRUCTURAL ONLY

Date: 10/17/2025

MINIMUM NAILING SCHEDULE (IBC 2304.10.2)

No.	BUILDING ELEMENT	No.	SIZE	SPACING	LOCATION
1.1	BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	1/4"	8d	-	EACH END, TOWARD
1.2	BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL, TOP PLATE, TO RAFTER OR TRUSS	1/2"	16d	-	END NAIL
1	STUD TO STUD (NOT AT BRACED WALL PANELS)	-	16d	24" O.C.	FACE NAIL
2	STUD TO STUD AND BUTTING STUDS AT INTERSECTING WALL CORNERS AT BRACED WALL PANELS	-	16d	12" O.C.	FACE NAIL
10	BUILT-UP HEADERS 12" TO 2" HEADEN	-	16d	12" O.C.	EACH EDGE, FACE NAIL
11	CONTINUOUS HEADER TO STUD	1/8"	8d	-	TOWARD
12	TOP PLATE TO TOP PLATE	-	16d	16" O.C.	FACE NAIL
13	TOP PLATE TO TOP PLATE, AT END JOINTS (MINIMUM 24" LAP SPACE LENGTH EACH SIDE OF END JOINT)	1/2"	16d	-	EACH SIDE OF END JOINT, FACE NAIL
14	BOTTOM PLATE TO JOIST, RM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACE WALL PANELS)	-	16d	12" O.C.	FACE NAIL
15	BOTTOM PLATE TO JOIST, RM JOIST, BAND JOIST, OR BLOCKING AT BRACE WALL PANELS	1/2"	16d	16" O.C.	FACE NAIL
16	STUD TO TOP OR BOTTOM PLATE	1/2"	16d	-	END NAIL
17	TOP PLATES, LAPPS AT CORNERS AND INTERSECTIONS	1/2"	16d	-	FACE NAIL
21	JOIST TO SILL, TOP PLATE, OR GIRDER	1/4"	8d	-	TOWARD
22	RM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL, OR OTHER FRAMING BELOW	-	8d	4" O.C.	TOWARD
23	BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	1/2"	16d	12" O.C.	FACE NAIL
24	JOIST TO BAND JOIST OR RM JOIST	1/2"	16d	-	END NAIL
25	BRIDGING OR BLOCKING TO JOIST, RAFTER, OR TRUSS	1/2"	8d	-	EACH END, TOWARD

FRAMING

- NOTES:**
1. FULL HEIGHT SOLID BLOCKING REQUIRED AT ALL BEARING POINTS OF TRUSSES, RAFTERS, AND JOISTS.
 2. WALLS SHALL BE BALLOON FRAMED (CONTINUOUS STUDS FROM FOUNDATION TO ROOF) EXCEPT WHERE LATERALLY SUPPORTED BY A FLOOR OR ROOF DIAPHRAGM.
 3. ALL LUMBER SHALL MEET PLANS SPECIFICATIONS AND BE GRADED AND STAMPED BY AN APPROVED AGENCY (E.G. APA, WPA, ETC.)
 4. BEAMS ON PLAN ARE SIZED AS A MINIMUM, LARGER SIZES AND HIGHER GRADES MAY REPLACE MEMBERS ON PLAN.
 5. FLOOR BEAMS MAY BE FLUSH MOUNTED OR DRIP BEAMS.
 6. BEAMS CONSISTING OF (1) OR MORE PLYS. SHALL BE FASTENED WITH (2) ROWS OF 1/2" DIA THRU BOLTS @ 12" O.C. 2" FROM TOP AND 2" FROM BOTTOM OF BEAM.
 7. HOLES FOR BOLTS SHALL BE A MINIMUM OF 1/2" TO A MAXIMUM OF 1/4" LARGER THAN THE BOLT DIAMETER. A STANDARD CUT WASHER SHALL BE PROVIDED BETWEEN THE WOOD AND THE BOLT HEAD AND BETWEEN THE WOOD AND THE NUT.
 8. LEAD HOLES FOR LAG SCREWS SHALL BE BORED AS FOLLOWS:
 - A) THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK.
 - B) THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 40%-70% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION. THE LARGER PERCENTILE SHALL APPLY TO LAG SCREWS OF GREATER DIAMETERS.
 9. POSTS AND WALLS SHALL BE CENTERED ON CONTINUOUS AND SPOT FOOTINGS U.N.O.
 10. SQUASH BLOCKING AND LOWER COLUMNS SHALL BE PROVIDED TO CARRY ALL COLUMN LOADS TO FOOTINGS AND FOUNDATIONS.
 11. SQUASH BLOCKING AND LOWER COLUMNS SHALL BE ALIGNED WITH AND MATCH UPPER COLUMN SIZE U.N.O.
 12. BUILT UP 2X COLUMNS SHALL BE FACE NAILED TOGETHER WITH 16d @ 4" O.C. STAGGERED EACH PLY.
 13. ENGINEERED WOOD RM BOARDS SHALL CONFORM TO ANS/APA PER U.N.O. OR SHALL BE EVALUATED IN ACCORDANCE WITH ASTM D1975.
 14. WHERE THE DELT TOP PLATE LAP AND NAILING REQUIREMENTS PER ICC308A, 10.2.1, IS ARE NOT MET, PROVIDE PC1616 W/ 12" LAP MIN.
 15. WOOD CONSTRUCTION CONNECTORS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

TRUSS AND JOIST

- NOTES:**
1. PRE-MANUFACTURED TRUSSES SHALL FOLLOW LAYOUT SHOWN ON PLANS. ANY CHANGES IN TRUSS LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 2. CONTRACTOR AND MANUFACTURER SHALL VERIFY CEILING HEIGHTS, TRAYS, WALLS, AND STEPS PRIOR TO CONSTRUCTION.
 3. MULTI PLY TRUSSES OR JOISTS SHALL BE FASTENED PER MANUFACTURER'S SPECIFICATIONS.
 4. TRUSSES AND JOISTS SHALL BE BRACED PER MANUFACTURER.
 5. PROVIDE WEB STIFFENERS ON JOISTS (WHEN REQUIRED BY MANUFACTURER).
 6. NO ALTERATIONS OF TRUSSES OR JOISTS ARE ALLOWED WITHOUT APPROVAL FROM MANUFACTURER.
 7. PROVIDE HURRICANE TIE EACH END OF EVERY ROOF TRUSS/RAFTER TO TOP PLATE.
 8. #12 OR #10 FOR STANDARD TRUSSES AND BEVELED RAFTERS #81 OR #10A FOR ATTIC AND TALL HELL TRUSSES.
 9. #WPA FOR NON BEVELED RAFTERS.

STEEL

- NOTES:**
1. WALL COLUMNS SHALL COMPLY WITH ASTM A992 AND HAVE Fy=50 KSI MIN. AND Fu=65 KSI MIN.
 2. IBS RECTANGULAR SECTIONS SHALL COMPLY WITH ASTM A500 GRADE C AND HAVE Fy=50 KSI MIN. AND Fu=65 KSI MIN.
 3. C AND S SECTION SHALL COMPLY WITH ASTM A36 AND HAVE Fy=36 KSI MIN. AND Fu=58 KSI MIN.
 4. ALL WELDS ARE 1/4" FILLET CONFORMING TO THE REQUIREMENTS IN AWS D1.1 WITH AN ELECTRODE E6010 KSI U.N.O.
 5. ALL STRUCTURAL STEEL BOLTS SHALL COMPLY WITH A307 GRADE A AND HAVE Fy=48 KSI AND Fu=70 KSI ALSO.
 6. ALL WIDE FLANGE BEAMS SHALL HAVE 3" WEB STIFFENER EACH SIDE AT BEARING LOCATIONS U.N.O.
 7. WHERE ELEVATING NUTS ARE USED UNDER BASE PLATES, NON SHRINK GROUT SHALL FILL THE VOID BETWEEN CONCRETE AND STEEL. GROUT SHALL BE RATED FOR 5000 PSI MIN.
 8. WOOD NAILS ON BEAMS SHALL BE 2X OR 3X W/ 1/2" DIA BOLTS SPACED AT 32" O.C. MIN.

EPOXY

- NOTES:**
1. EPOXY SHALL BE SIMPSON SET-30 U.N.O. OR EQUIVALENT
 2. DRILL AND CLEAN HOLE PER MANUFACTURER SPECIFICATIONS
 3. HOLE SHALL BE FREE OF DUST, DEBRIS, AND STANDING WATER PRIOR TO EPOXY INSTALLATION.

OSB DIAPHRAGM SHEATHING SCHEDULE

LOCATION	NOMINAL THICKNESS	SPAN RATIO	EDGE NAILING	FIELD NAILING	PLF
ROOF W/ DESIGN SNOW LOAD UP TO 10 PSF (FRAMING MEMBERS @ 24" O.C.)	7/16"	24/16	6 @ 12" O.C.	6 @ 12" O.C.	170
ROOF W/ DESIGN SNOW LOAD UP TO 180 PSF (FRAMING MEMBERS @ 16" O.C.)	7/16"	24/16	6 @ 12" O.C.	6 @ 12" O.C.	170
ROOF W/ DESIGN SNOW LOAD UP TO 120 PSF	1/2"	40/20	10 @ 12" O.C.	10 @ 12" O.C.	214
FLOOR	3/4" TONGUE AND GROOVE	40/24	10 @ 12" O.C.	10 @ 12" O.C.	214

- NOTES TO TABLE ABOVE:**
1. ROOF AND FLOOR FRAMING MEMBERS SHALL BE PLACED NO FURTHER THAN 24" O.C.
 2. NAILS SHALL BE CARBON STEEL, SMOOTH SHANK COMMON OR GALVANIZED BOX. GALVANIZED NAILS SHALL BE HOT-DIPPED OR MECHANICALLY DEPOSITED.
 3. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH WITH THE SURFACE OF THE SHEATHING.
 4. STRUCTURAL PANELS SHALL BE APA APPROVED, EXPOSURE 1, AND MEET THE REQUIREMENTS OF USDOC PS 2.
 5. FLOOR SHEATHING SHALL BE GLUED TO FRAMING MEMBERS PRIOR TO NAILING WITH AN ADHESIVE CONFORMING TO APA SPECIFICATIONS.
 6. STRENGTH AXIS (LONG DIRECTION) OF PANELS SHALL BE ORIENTED PERPENDICULAR TO FRAMING MEMBERS AND END JOISTS SHALL BE STAGGERED.
 7. NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE EDGES OF PANELS.
 8. 1 1/2" LONG 16 GAUGE STAPLES WITH 7/16" CROWN MAY BE SUBSTITUTED FOR 8d NAILS AT HALF THE SPACING FOR 7/16" PANELS ONLY. CROWNS MUST BE INSTALLED PARALLEL TO FRAMING MEMBERS.
 9. PANELS SHALL NOT BE LESS THAN 4"X EXCEPT AT BOUNDARIES AND CHANGES BY FRAMING WHERE MINIMUM PANEL DIMENSION SHALL BE 24" UNLESS ALL EDGES OF THE UNDERLINED PANELS ARE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.

METAL CLAD WOOD FRAMED DIAPHRAGM SCHEDULE

LOCATION	CEATHING	FIELD FASTENERS	END FASTENERS	STITCH FASTENERS	HFBA ASSEMBLY	PLF
ROOF W/ DESIGN SNOW LOAD UP TO 112 PSF (FRAMING MEMBERS @ 24" O.C.)	29 GAUGE PANELS	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#10 X 1 1/2" LONG SCREW @ 9" O.C.	NONE	#0	118
ROOF W/ DESIGN SNOW LOAD UP TO 200 PSF (FRAMING MEMBERS @ 16" O.C.)	29 GAUGE PANELS	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#10 X 1 1/2" LONG SCREW @ 9" O.C.	NONE	#0	116
ROOF W/ DESIGN SNOW LOAD UP TO 112 PSF (FRAMING MEMBERS @ 24" O.C.)	29 GAUGE PANELS	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#12 X 1/2" LONG SCREW @ 4" O.C.	#17	219

- NOTES TO TABLE ABOVE:**
1. ALL ROOFS SHALL FOLLOW FASTENING FOR ASSEMBLY #0 U.N.O.
 2. FURRING SHALL BE 2X8 TOP RUNNING AND LAPPED @ 24" O.C.
 3. FIELD AND END FASTENERS SHALL BE PLACED IN THE FLAT.
 4. STRUCTURAL PANELS SHALL BE 29 GAUGE STEEL (FABRIL GRANORIS 3 OR EQUIVALENT)

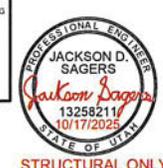
LOCATIONS REQUIRING NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD

- NOTES:**
1. WOOD JOIST/SFLOORS CLOSER THAN 18" AND WOOD GIRDERS CLOSER THAN 12" TO EXPOSED GROUND IN CRAWL SPACES OR UNCAVATED AREAS WITHIN THE PERIMETER OF THE BUILDING FOUNDATION.
 2. WOOD FRAMING MEMBERS IN CONTACT WITH THE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH.
 3. WOOD FRAMING MEMBERS AND FURRING STRIPS IN DIRECT CONTACT WITH MASONRY OR CONCRETE.
- *WOOD USED IN THE LOCATIONS SPECIFIED SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED IN ACCORDANCE WITH ANS/APA U.N.O.
- *FASTENERS INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. STAPLES SHALL BE OF STAINLESS STEEL. FASTENERS OTHER THAN NAILS, STAPLES, TIMBER NAILS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL.
- **IN GROUND POSTS SHALL BE TREATED TO THE UC-4B CLASSIFICATION, CONFORMING TO ANS/APA U1 AND M1, (ACO 3.50, CAC 0.31, OR EQUIVALENT)

METAL CLAD WOOD FRAMED SHEAR WALL SCHEDULE

MARK	GIRT SPACING	FIELD FASTENERS	END FASTENERS	STITCH FASTENERS	HFBA ASSEMBLY	PLF
M5W1	24"	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#10 X 1 1/2" LONG SCREW @ 4" O.C.	NONE	#2	148
M5W2	32"	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#10 X 1 1/2" LONG SCREW @ 4" O.C.	NONE	N/A	108
M5W3	36"	#10 X 1 1/2" LONG SCREW @ 12" O.C.	#10 X 1 1/2" LONG SCREW @ 4" O.C.	NONE	#1	100
M5W4	24"	#10 X 1 1/2" LONG SCREW @ 9" O.C.	#10 X 1 1/2" LONG SCREW @ 4" O.C.	#12 X 1/2" LONG SCREW @ 9" O.C.	#3	240

- NOTES TO TABLE ABOVE:**
1. ALL WALLS SHALL FOLLOW FASTENING FOR MSW-1MSW4 U.N.O.
 2. GIRTS SHALL BE 2X8 MIN.
 3. SPLASH PLANK SHALL BE TREATED 2X8
 4. STRUCTURAL PANELS SHALL BE 29 GAUGE STEEL (FABRIL GRANORIS 3 OR EQUIVALENT)
 5. PANELS SHALL EXTEND FROM SPLASH PLANK TO TOP GIRT





CODY BENSON
 3221 S 5325 W HOOPER UT 84315
 PARCEL: 15-728-0011
 PH: 720-331-4565

CONTRACTOR
 ROPER BUILDINGS
 LIC: 5988440-5501
 PH: 801-689-3630



30'
 SCALE

Notes:

1. Drainage to be maintained on lot.
2. Grade to slope away from structure at 5%.
3. Material to be dropped off on site without disruption to traffic.
4. A portable toilet, dumpster and concrete washout will be on site during construction.
5. Project construction to adhere to all codes and ordinances adopted by Hooper City.

Hooper City
5580 W. 4600 S.
Hooper, UT 84315
Office 801-732-1064

□ Fee: \$200.00
Date Submitted _____

Conditional Use Permit: Oversized Structure

Print Applicant Name: Silva Family Revocable Trust / Elizabeth Silva
Address: 5517 S 6800 W, Hooper, UT 84315
Phone #: [REDACTED]
Day Time Phone #: _____ Email: esilva5555@gmail.com

- Provide site plan drawings including all of the following:** (Site plan must be to scale).
- Map of property showing adjacent streets
 - Building dimensions and distance from other structure
 - Distance from property lines. (The drip edge must be at least 5 feet from property lines. If you are on a corner lot or have easements attached to your property it may be more than the 5 feet.)
 - List any easements on property
 - Roof pitch, roof height, roofing material and drip line distance to other structure and property lines
 - Concept drawing of what structure will look like
 - Building materials
 - Driveway materials
 - Landscaping design

Total Sq. footage of Structure: 2100 SF
Height of Structure: 22' 3 7/8"

- What will the structure be used for? Detached Garage / Storage
- Will any plumbing be installed in the structure? Yes _____ No
- Will any electricity be installed in the structure? Yes No _____
- Will structure be used for a business? Yes _____ No
- If yes, have you applied for a business license with Hooper City? Yes _____ No _____

Explain: _____
❖ The State requires all property owners within 600 feet from your parent property (front, sides and back) to be notified. There will be an additional fee of \$1.50 for every notice that is sent out.

Please address these issues on the back of this application.

Traffic problems	Safety issues	Noise	Parking
Fencing	Pollution	Odors	Design
Business operation	Use of structure	Easements	

I hereby certify that the above information is accurate to the best of my knowledge. I certify that I will comply with all state and local requirements before and after building this structure. I understand that if conditional use does not start within (12) months and also if the conditional use is discontinued for (12) consecutive months, the Conditional Use Permit will expire. If my conditional use changes I will notify Hooper City for a Conditional Use Permit review. I or a representative will be present at the Planning Commission Meeting.

Signature: [Signature] Date: 11/11/25

Approval Date: _____ Disapproval Date: _____
Planning Commission Chairman

Comments/Conditions: _____

Completed application, fee and all other documents must be submitted 30 days before a Planning Commission Meeting which is the 2nd Thursday of the month unless otherwise specified.

DRAWING NOTES

DESIGN CODE: 2021 IBC.
 USE GROUP: U
 CONSTRUCTION TYPE VB
 DESIGN CATEGORY: RISK CATEGORY I – LOW RISK

SEISMIC CRITERIA:
 DESIGN CATEGORY D
 SOIL SITE CLASS D (ASSUMED)
 R = 2.5 (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)
 SS= 1.03g, S1= 0.36g; SDS= 0.79g, SD1= 0.53g
 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE
 BASE SHEAR= 000 LBS

WIND LOAD:
 ULTIMATE WIND DESIGN SPEED: 105 MPH 3 SEC. GUST
 TERRAIN EXPOSURE C

FROST DEPTH: 30 IN
 SITE ELEVATION: 4230 FT

SNOW LOAD:
 GROUND SNOW LOAD: 33 PSF
 ROOF DESIGN SNOW LOAD: 30 PSF MAIN; 31 PSF LEAN

DEAD LOADS:
 ROOF 4 PSF
 WALLS 5 PSF

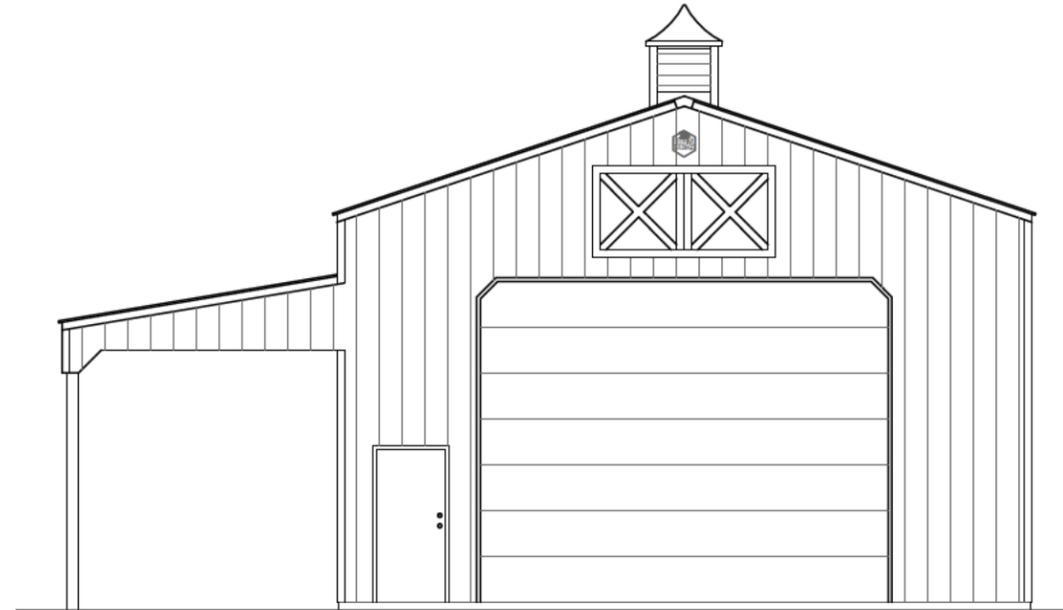
ROOF LIVE LOAD: 20 PSF

CONCRETE FOUNDATION NOTES:
 1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY:
 1.1. FOOTINGS: 2500 PSI MINIMUM
 1.2. SLABS ON GRADE: 2500 PSI REQ'D, 3500 PSI RECOMMEND
 2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.
 3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.
 4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.
 5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

SOILS AND EXCAVATION:
 6. NO SOILS REPORT PROVIDED – STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.
 7. ALLOWABLE BEARING PRESSURE: 1500 PSF
 8. NATIVE MATERIAL SURROUNDING FOOTINGS TO BE DISTURBED MINIMALLY DURING EXCAVATION.
 9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS.
 10. ALL BACKFILLING SHALL BE DONE WITH GRANULAR FREE-DRAINING MATERIAL. EXISTING SITE MATERIAL MAY BE USED IF FREE FROM CLAY SOILS AND ANY CONSTRUCTION DEBRIS. COMPACT ALL BACKFILL MATERIAL IN 8 INCH LIFTS TO 95% OF MODIFIED PROCTOR DENSITY.
 11. SLOPE FINISHED GROUND AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES VERTICAL IN 10 FEET HORIZONTAL.

BEEHIVE BUILDINGS

ELIZABETH SILVA BUILDING



BUILDING INFORMATION	CONTRACTOR	DRAFTING & ENGINEERING	DRAWING INDEX		PRELIMINARY NOT FOR PERMIT
SITE INFORMATION: ADDRESS: 5517 SOUTH 6800 WEST HOOPER, UTAH BUILDING INFORMATION: DIMENSIONS: 30' x 50' TOTAL SQUARE FOOTAGE: 2100 S.F. MAIN BUILDING: 1500 S.F. LEANS: 600 S.F.	BEEHIVE BUILDINGS CONTACT: TRESSA ROBERTS TRESSA@BEEHIVEBUILDINGS.COM PHONE: 801-821-9921 	MOUNTAIN POINT ENGINEERING CONTACT: DEREK LLOYD DEREK@MOUNTAINPOINTENGINEERING.COM PHONE: 801-450-5332 	SHEET	DESCRIPTION	
			00	COVER SHEET	
			01	FOUNDATION PLAN	
			02	FLOOR PLAN	
			03	ROOF PLAN	
			04	ELEVATIONS	
			05	GIRT PLAN	
			06	PANEL LAYOUT	
			07-09	DETAIL SHEETS	
			10	ELECTRICAL PLAN	

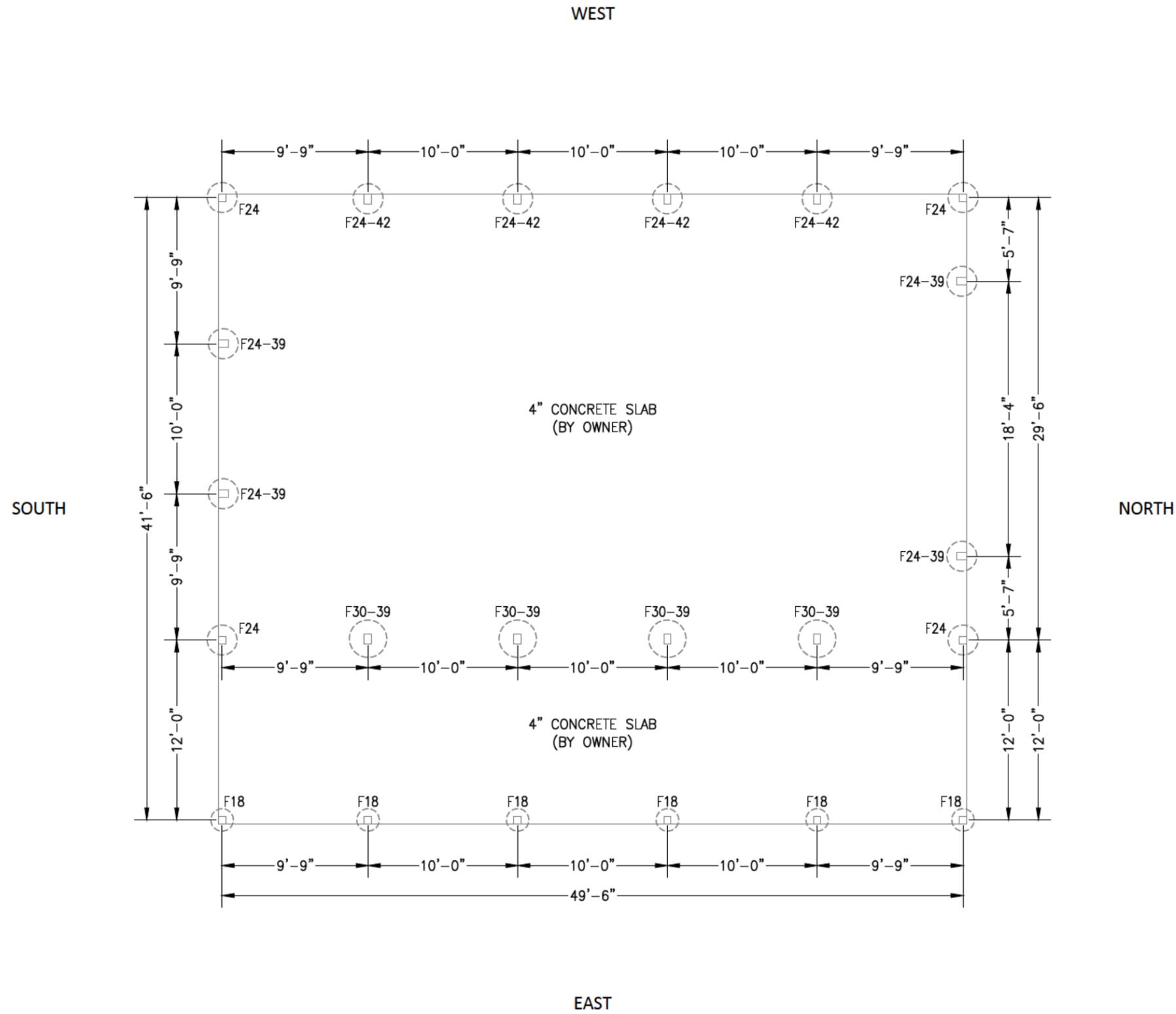
**PRELIMINARY
NOT FOR PERMIT**

ENGINEER STAMP



FOUNDATION PLAN

**ELIZABETH SILVA BUILDING
HOOPER, UTAH**



- PIERS:
- F18: 18" DIA X 36" DEEP CONCRETE PIER (24" DIA OK)
 - F24: 24" DIA x 36" DEEP CONCRETE PIER
 - F24-39: 24" DIA x 39" DEEP CONCRETE PIER
 - F24-42: 24" DIA x 42" DEEP CONCRETE PIER
 - F30-39: 30" DIA x 39" DEEP CONCRETE PIER

CONCRETE AREA: 2100 S.F.

PROJECT
B551

SCALE
1/8" = 1'-0"

DATE
11/10/2025

SHEET
01

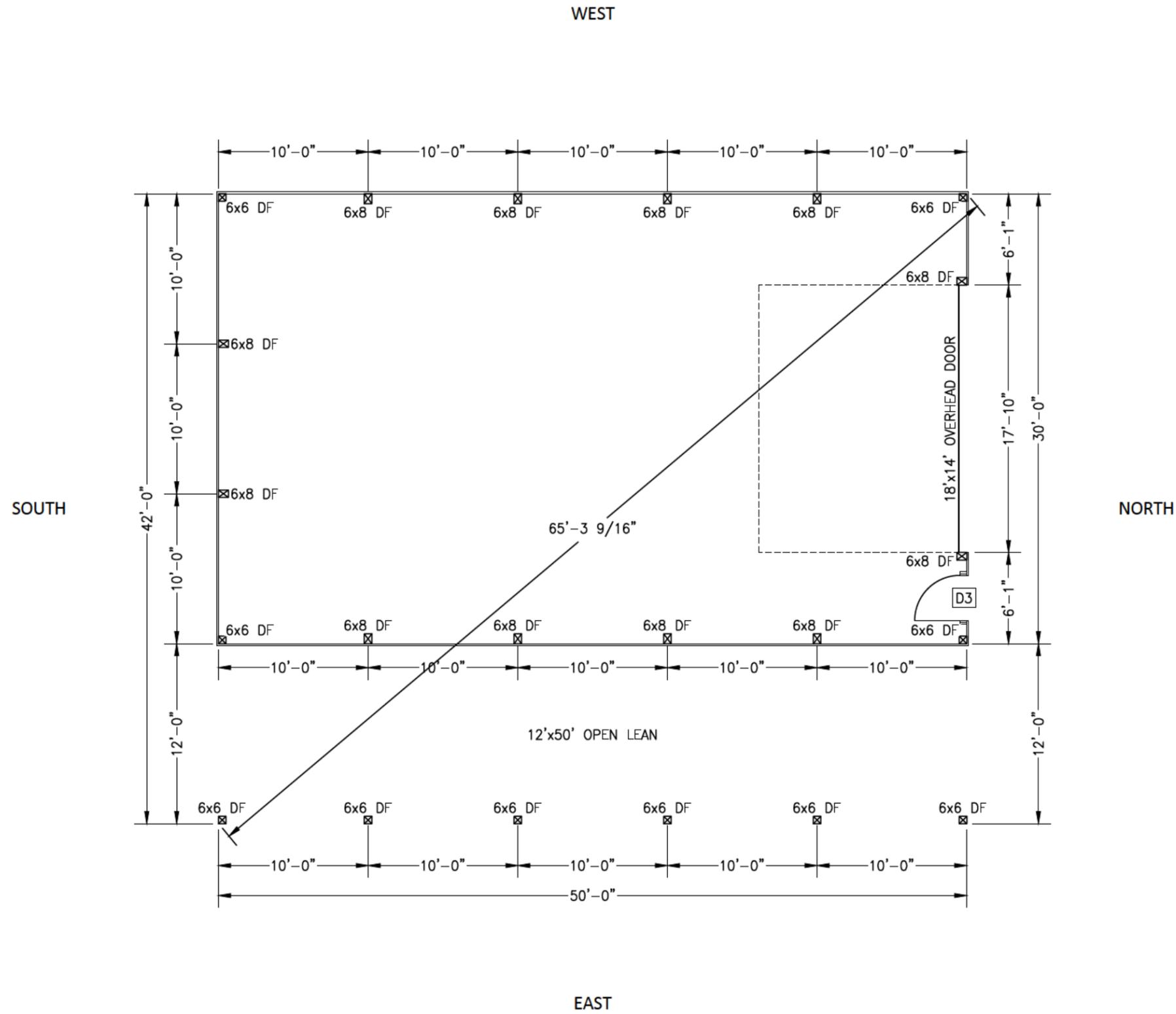
**PRELIMINARY
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ENGINEER STAMP



FLOOR PLAN

**ELIZABETH SILVA BUILDING
HOOPER, UTAH**



NOTES:

1. 6x6 DF: 6x6 DF-L #2 TREATED POST.
2. 6x8 DF: 6x8 DF-L #2 TREATED POST.
3. EMBED POST INTO CONCRETE PIER. SEE DETAIL ON SHEET 08.
4. ROOF: 29 GA STEEL PANEL
5. WALLS: STANDARD GIRTS, 29 GA STEEL PANEL
6. WINDOWS AND WALK DOORS ARE ADJACENT TO OR CENTERED BETWEEN POSTS UNLESS NOTED OTHERWISE.

DOOR SCHEDULE				
MARK	COUNT	WIDTH	HEIGHT	DESCRIPTION
D3	1	3'-0"	6'-8"	FLUSH PANEL

PROJECT
B551

SCALE
1/8" = 1'-0"

DATE
11/10/2025

SHEET
02

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP



ROOF PLAN

ELIZABETH SILVA BUILDING
HOOPER, UTAH

PROJECT
B551

SCALE
1/8" = 1'-0"

DATE
11/10/2025

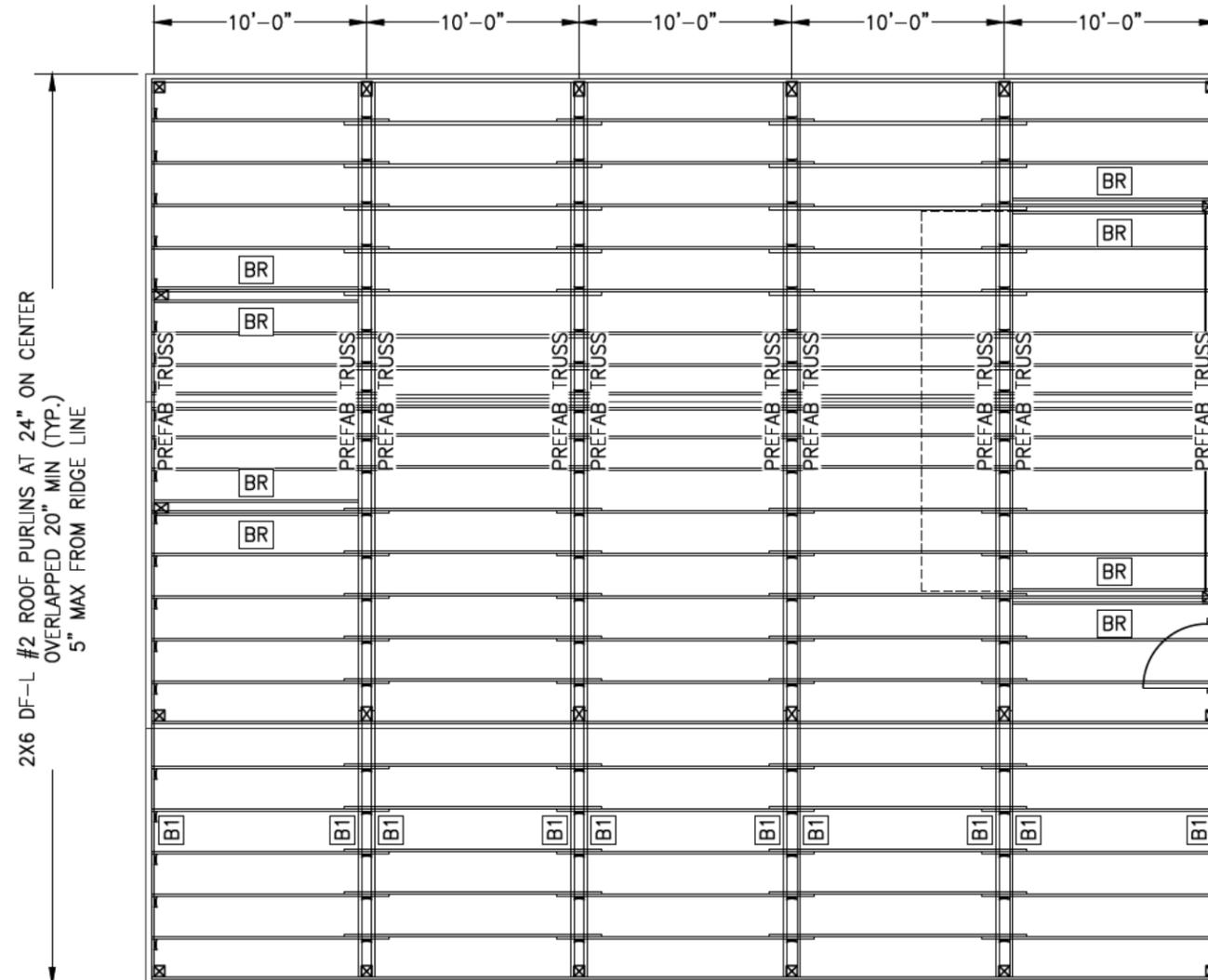
SHEET
03

SOUTH

WEST

NORTH

EAST



BR 2x6 DIAGONAL BRACE

BEAMS:
B1: 1-3/4"x9-1/4" LVL

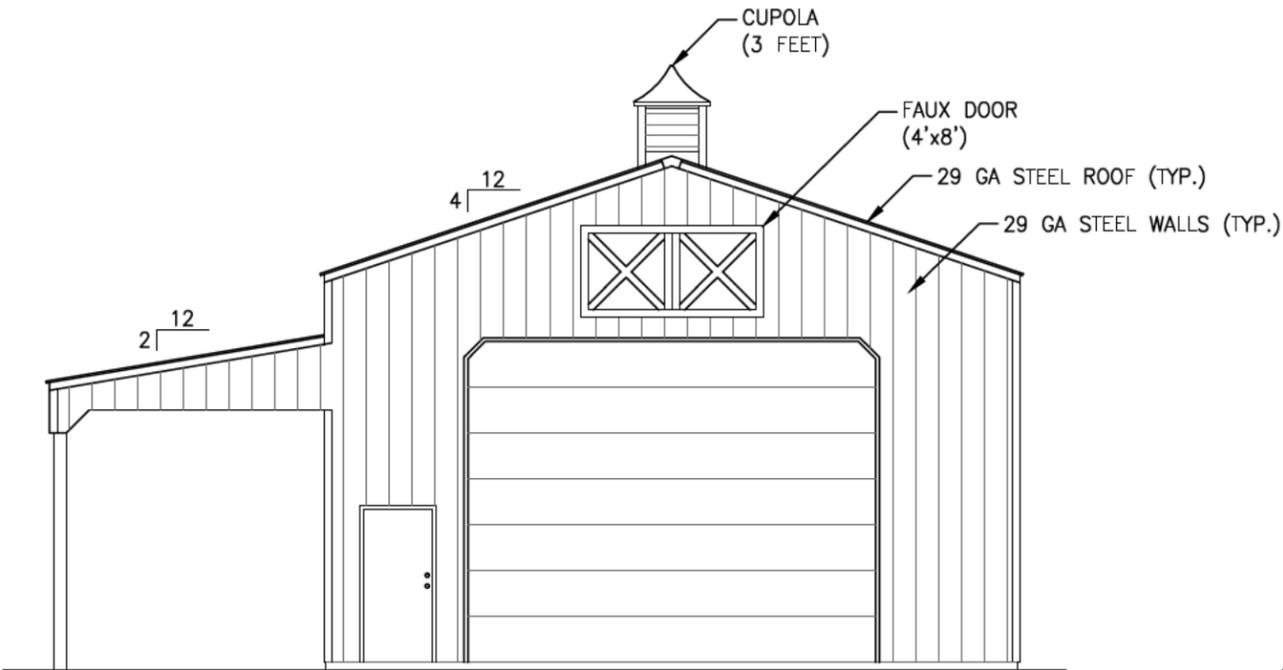
NOTES:

1. TRUSSES WILL BE DEFERRED PER IBC 107.3.4.1 AND WILL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF UTAH.
2. PROVIDE TRUSS BOTTOM CHORD BRACING PER TRUSS MANUFACTURER'S SPECIFICATIONS.

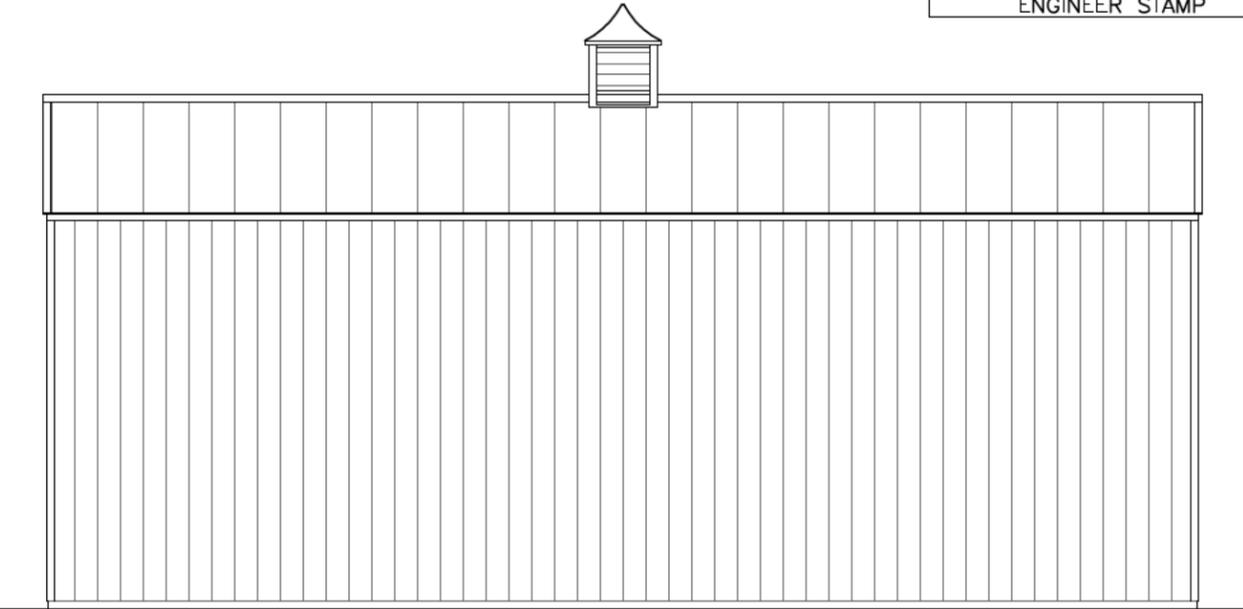
NOTES:
 1. WALL AREA: XX SF (EXCLUDING TRIM, WINDOWS, AND DOORS)

PRELIMINARY
NOT FOR PERMIT

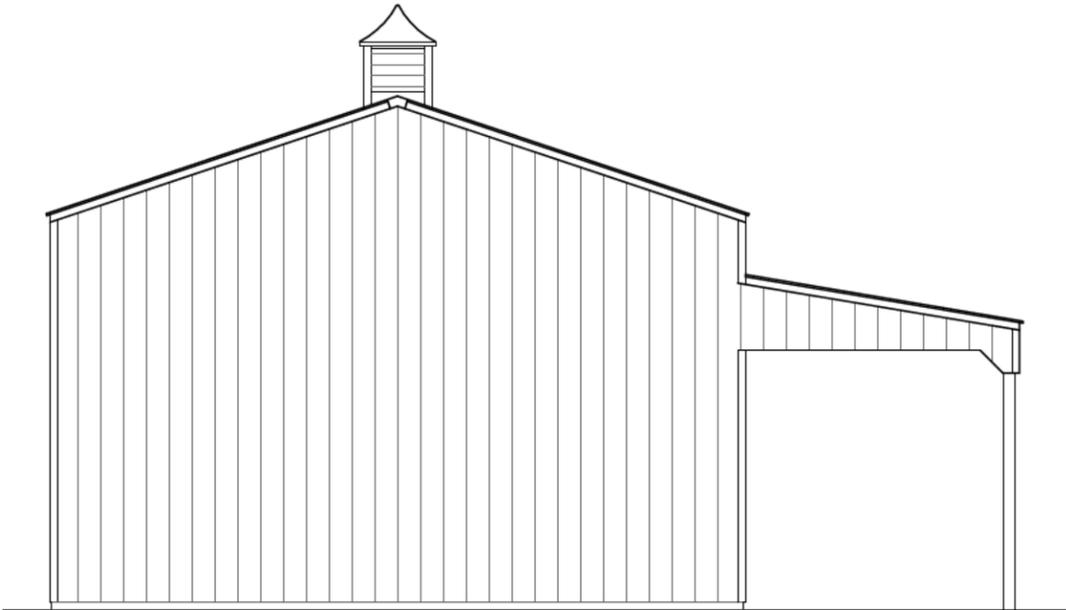
ENGINEER STAMP



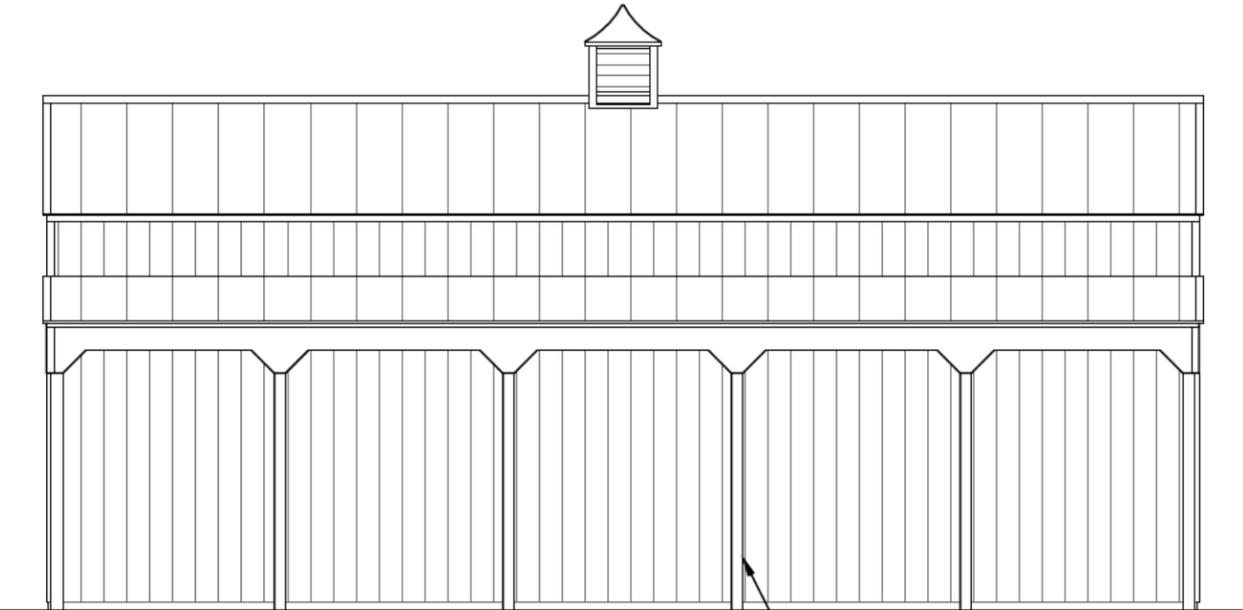
GABLE END ELEVATION - NORTH



SIDE ELEVATION - WEST



GABLE END ELEVATION - SOUTH



LEAN POSTS: METAL WRAP

SIDE ELEVATION - EAST

ELEVATIONS

ELIZABETH SILVA BUILDING
 HOOPER, UTAH

PROJECT
 B551

SCALE
 1/8" = 1'-0"

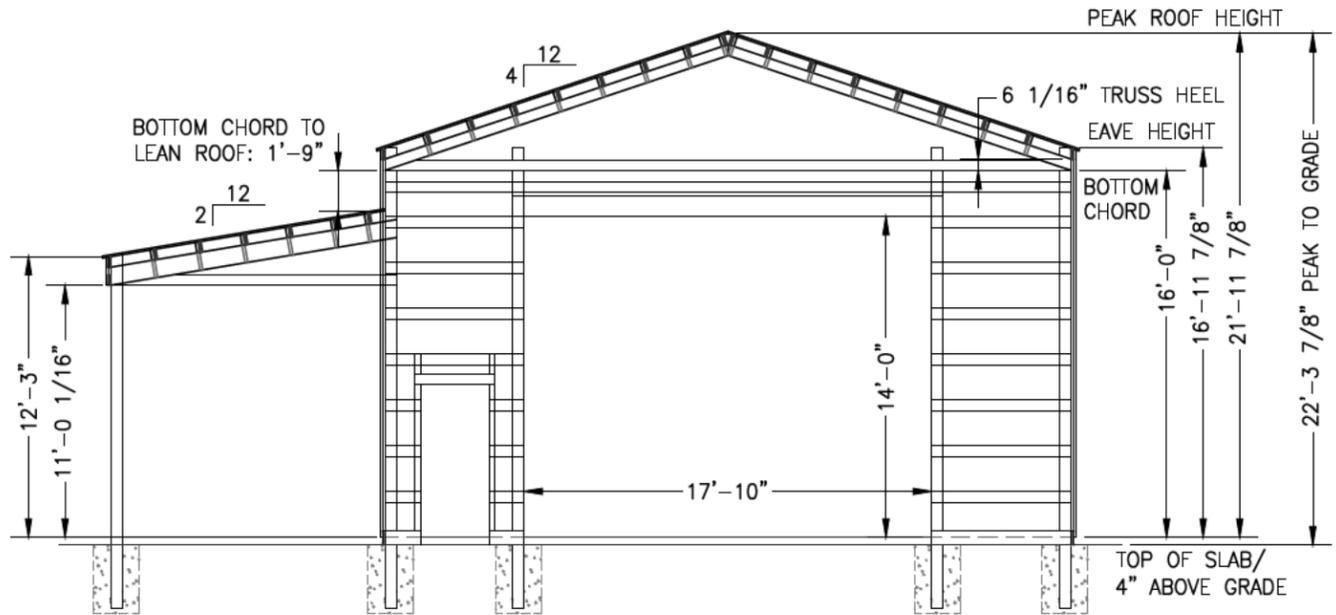
DATE
 11/10/2025

SHEET
 04

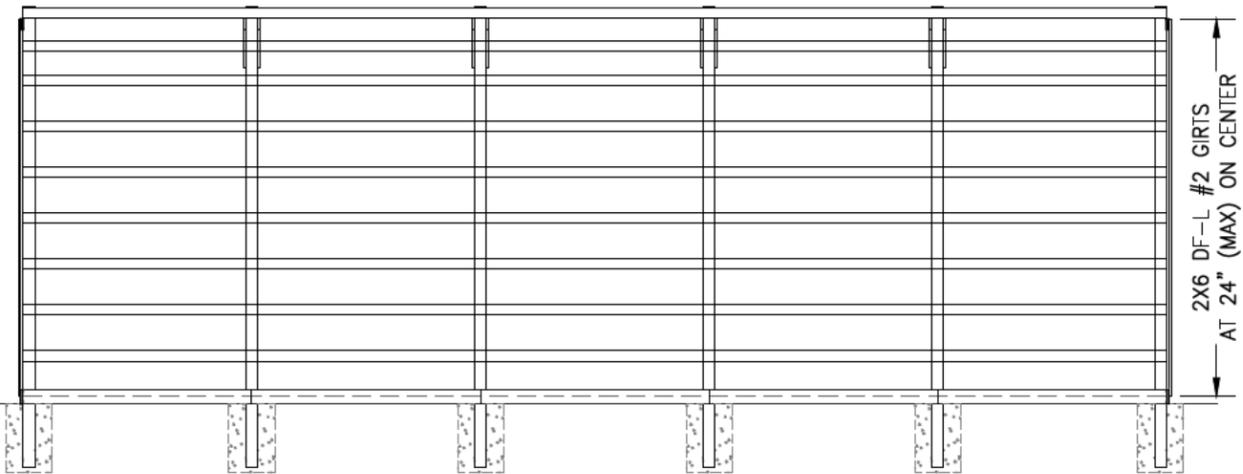
NOTES:
 1. TRUSS HEEL SHOWN AT 6-3/16" ON THESE PLANS. COMPARE PLAN DIMENSIONS WITH TRUSS MANUFACTURER DRAWINGS AND ADJUST PLAN DIMENSIONS (EAVE HEIGHT, PEAK HEIGHT, PANEL LENGTHS, ETC) AS NECESSARY.

PRELIMINARY
NOT FOR PERMIT

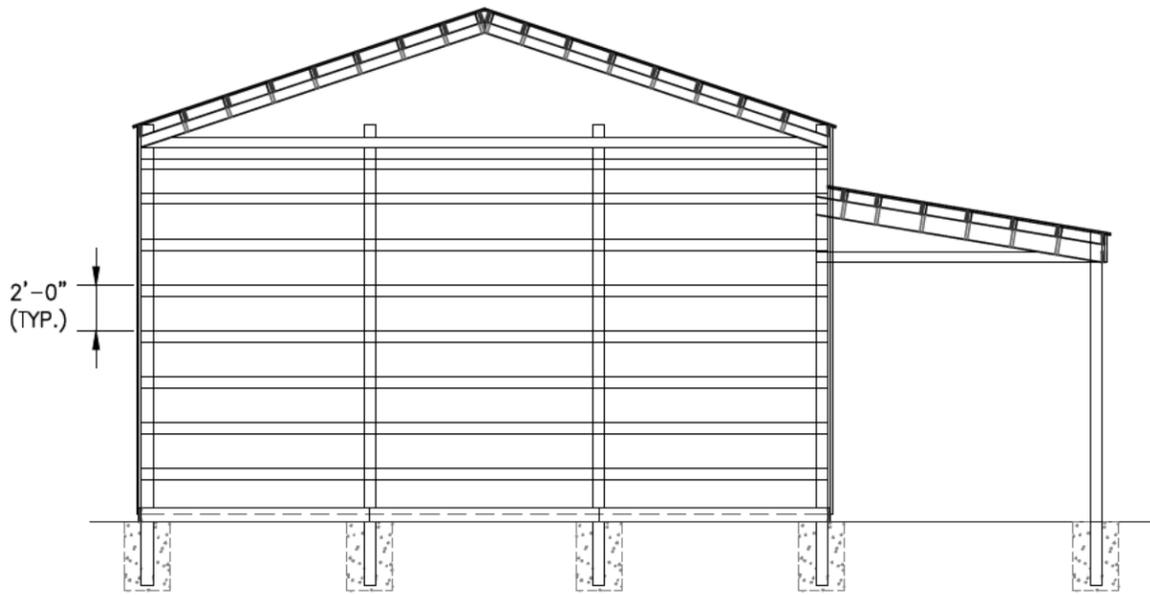
ENGINEER STAMP



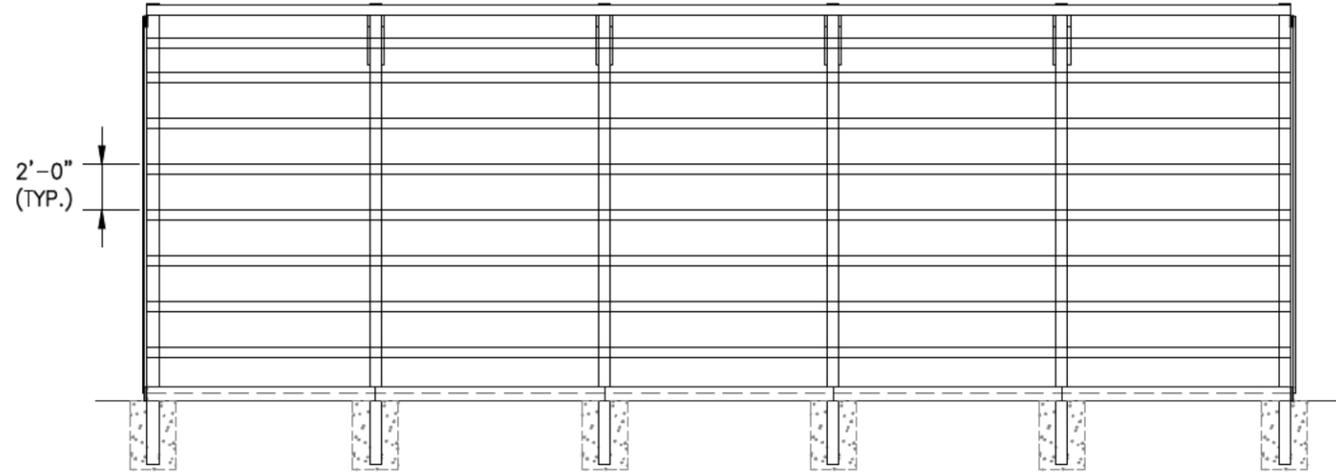
GABLE END GIRT WALL - NORTH



SIDE GIRT WALL - WEST



GABLE END GIRT WALL - SOUTH



SIDE GIRT WALL - EAST

GIRT PLAN

ELIZABETH SILVA BUILDING
 HOOPER, UTAH

PROJECT	B551
SCALE	1/8" = 1'-0"
DATE	11/10/2025
SHEET	05

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP



PANEL LAYOUT

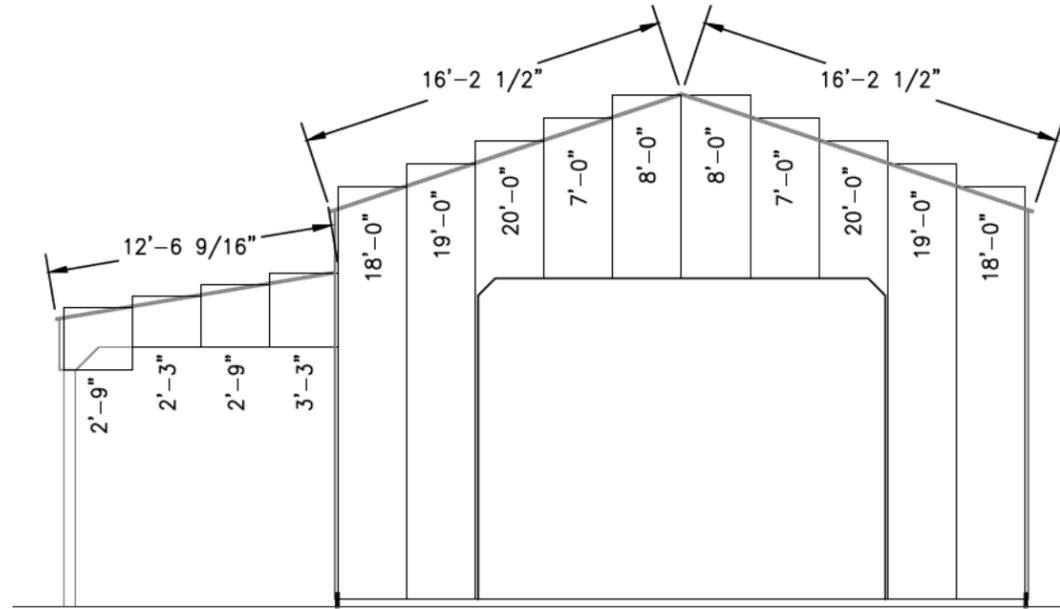
ELIZABETH SILVA BUILDING
HOOPER, UTAH

PROJECT
B551

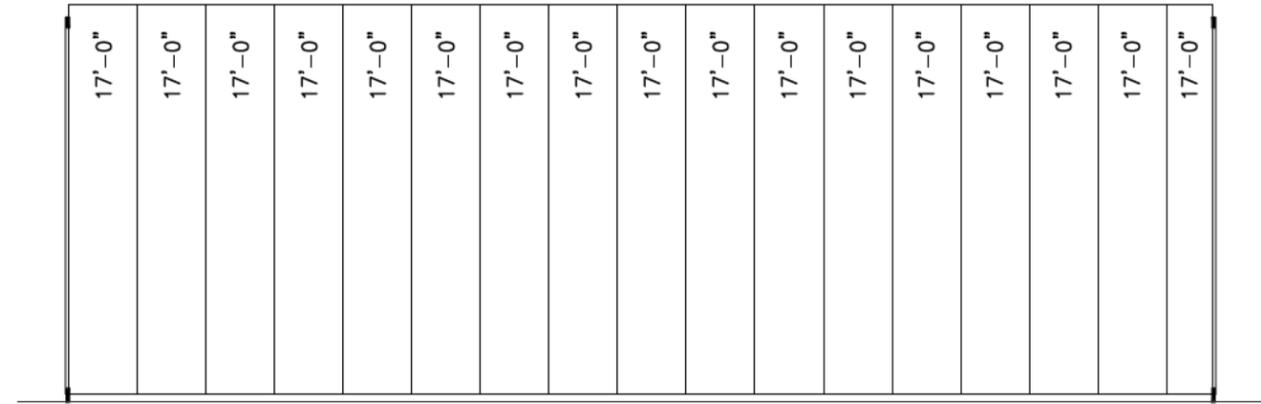
SCALE
1/8" = 1'-0"

DATE
11/10/2025

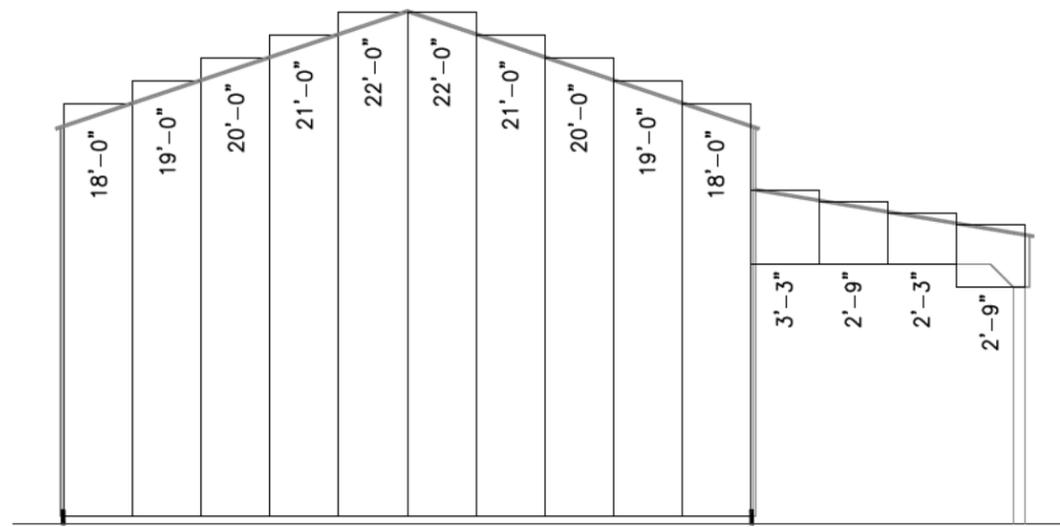
SHEET
06



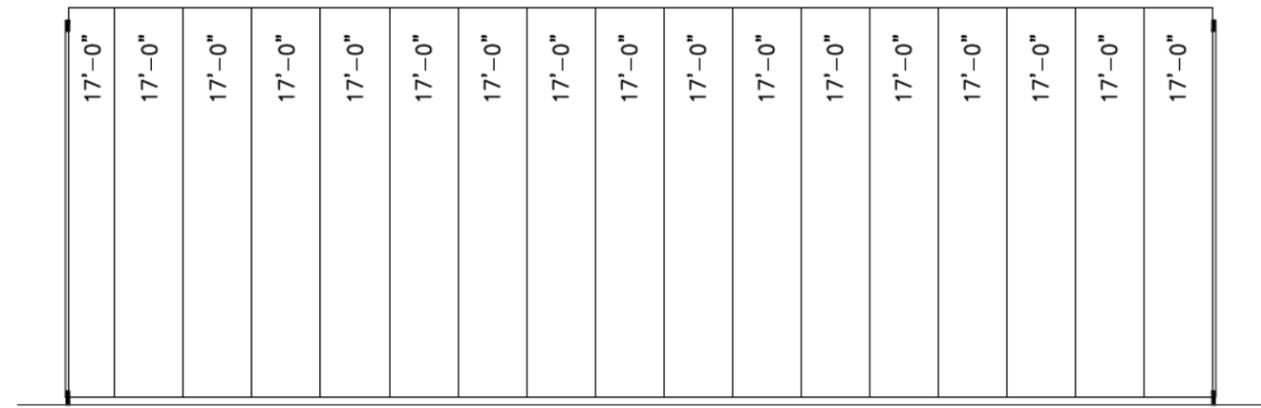
END PANEL LAYOUT - NORTH



SIDE PANEL LAYOUT - WEST



END PANEL LAYOUT - SOUTH



SIDE PANEL LAYOUT - EAST

**PRELIMINARY
NOT FOR PERMIT**

ENGINEER STAMP

DETAIL SHEET

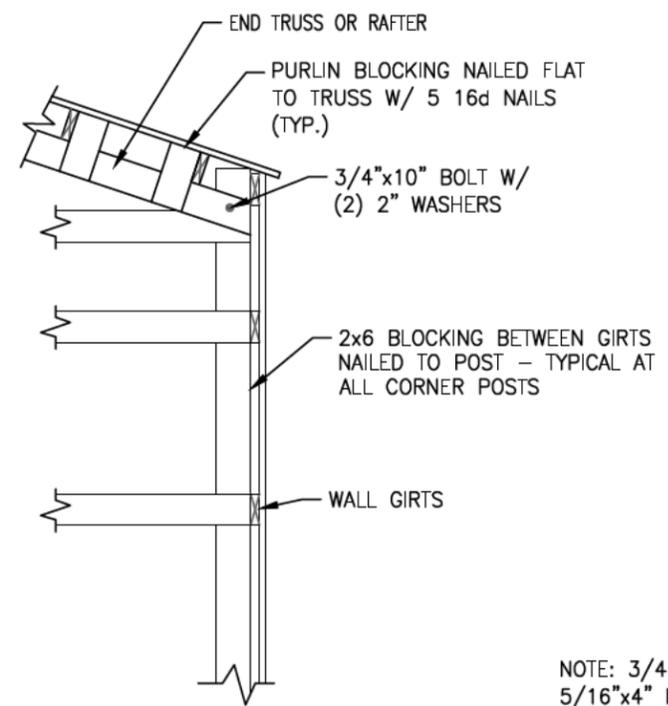
ELIZABETH SILVA BUILDING
HOOPER, UTAH

PROJECT
B551

SCALE
AS NOTED

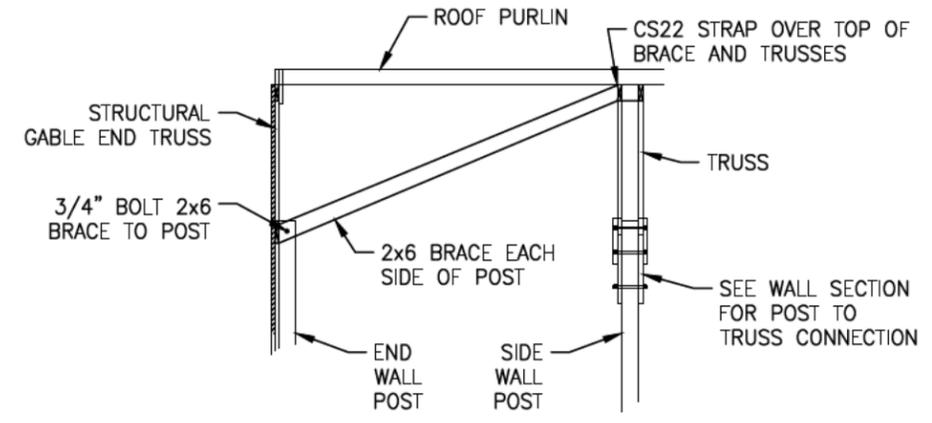
DATE
11/10/2025

SHEET
07

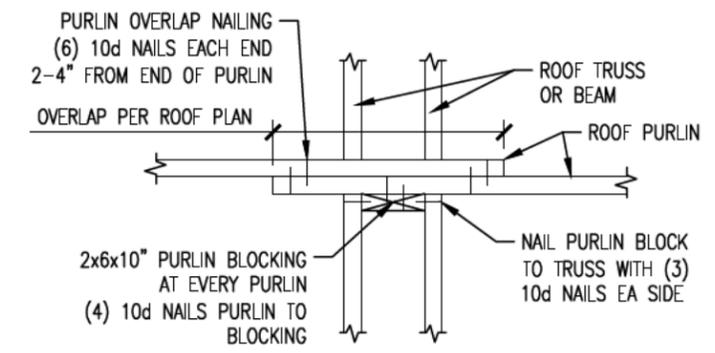


CORNER BLOCKING
NOT TO SCALE

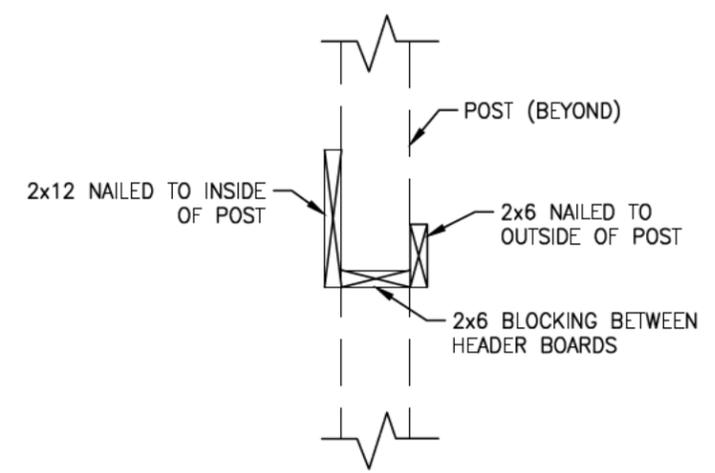
NOTE: 3/4" BOLT ALTERNATIVE: (2) 5/16"x4" POWERLAG FASTENERS (TYP. FOR CORNER BLOCKING AND POST TO TRUSS BRACE DETAILS)



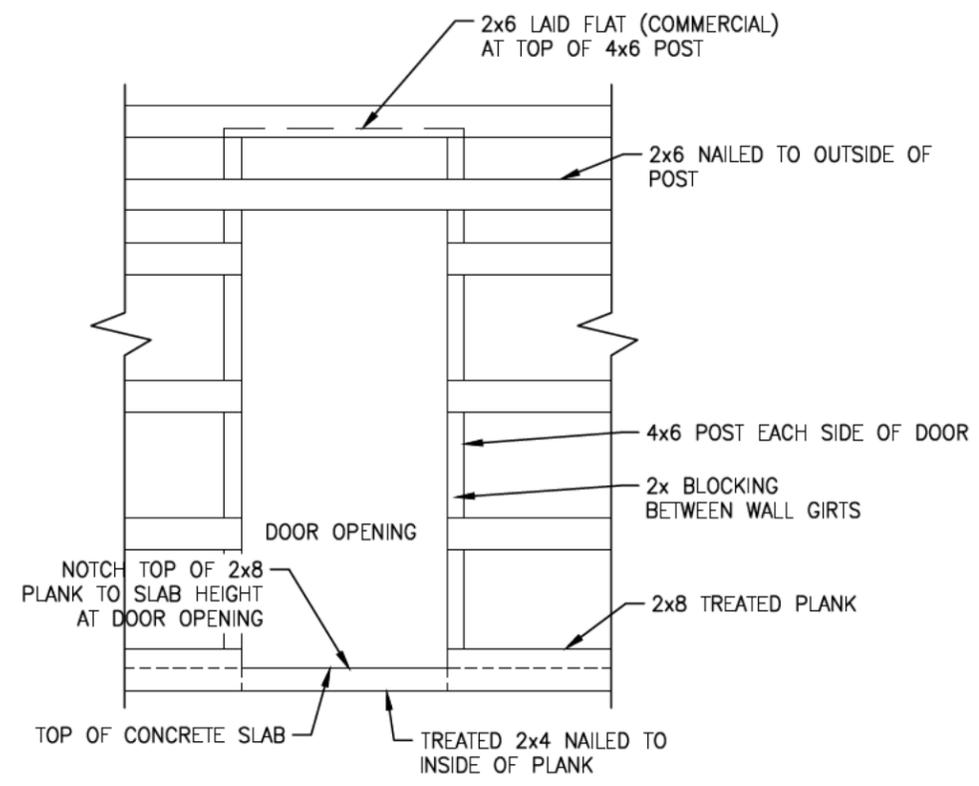
POST TO TRUSS BRACE
NOT TO SCALE



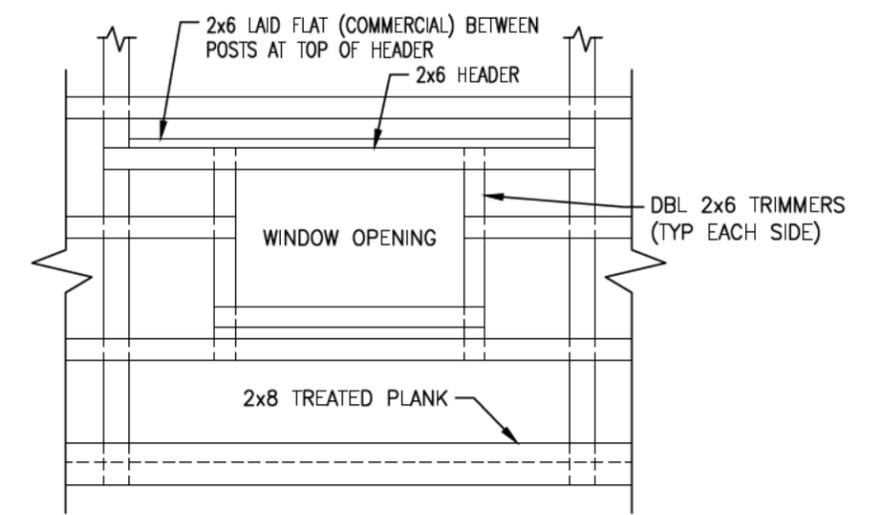
PURLIN CONNECTION
NOT TO SCALE



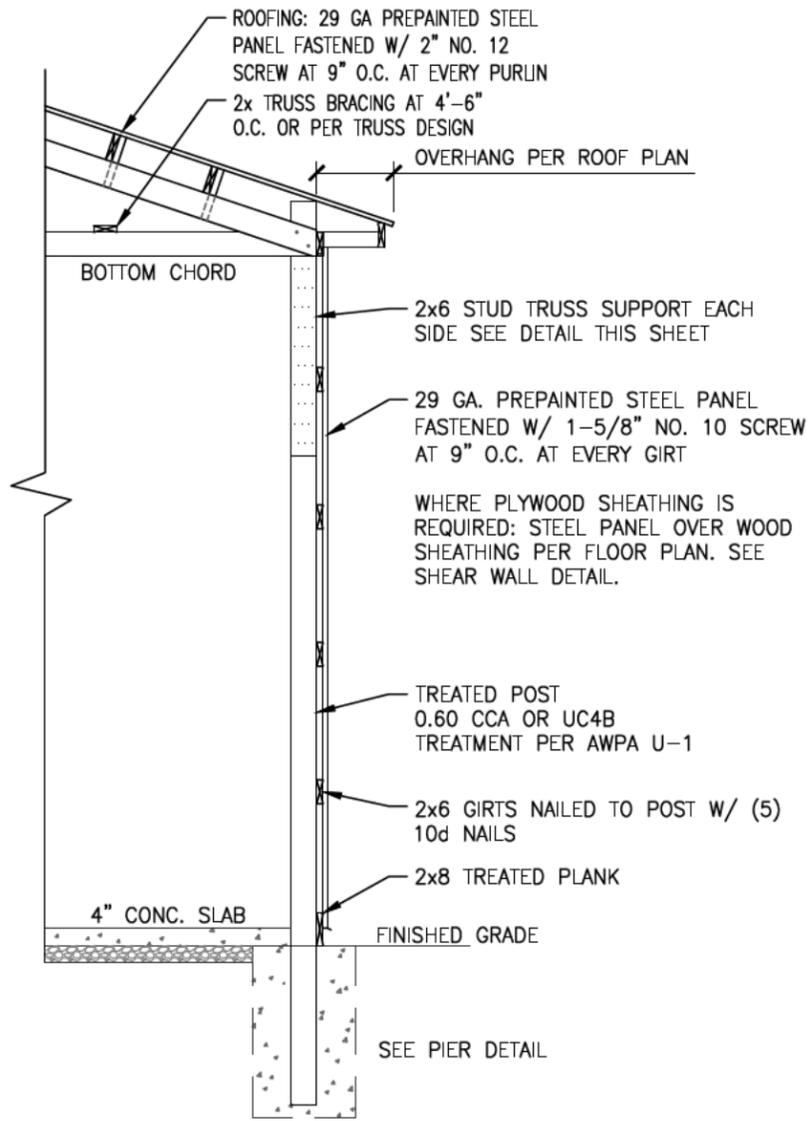
OVERHEAD DOOR HEADER
NOT TO SCALE



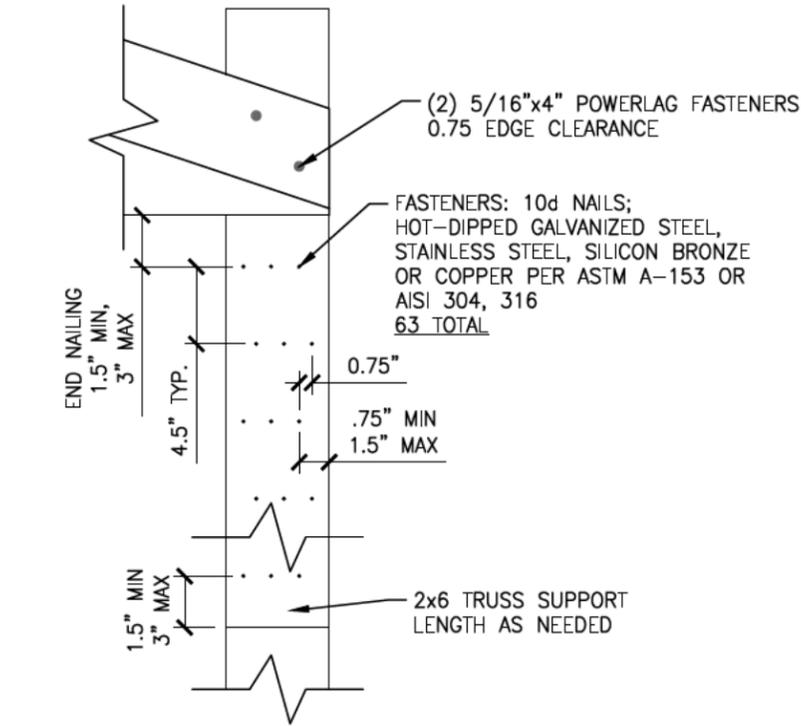
MAN DOOR OPENING
NOT TO SCALE



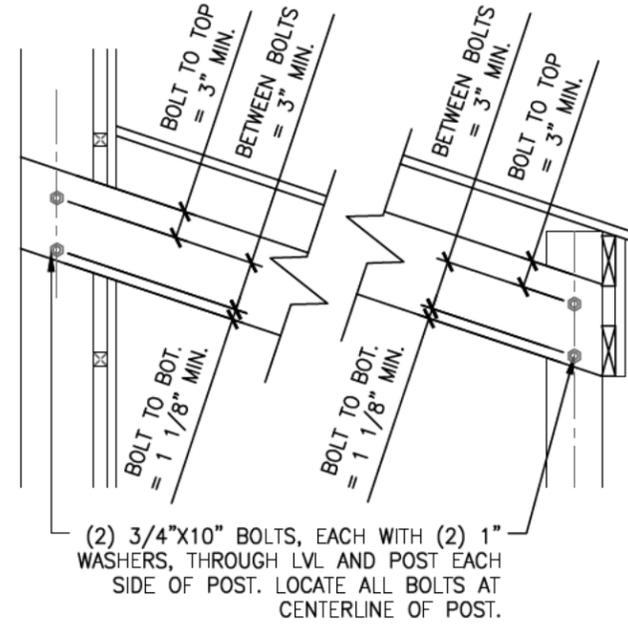
WINDOW OPENING
NOT TO SCALE



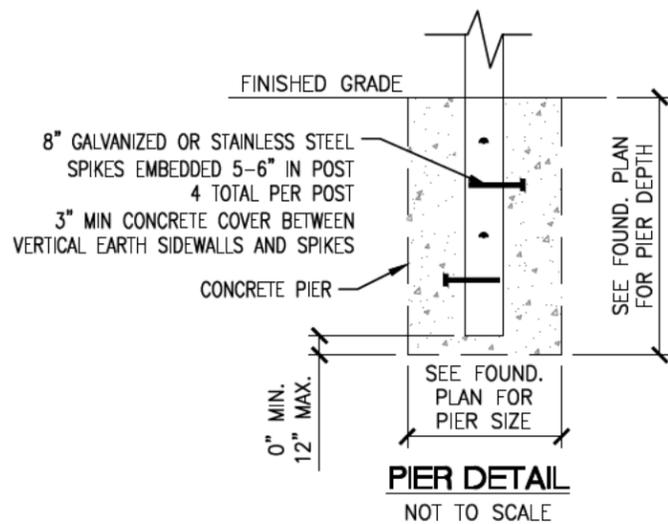
TYPICAL WALL SECTION
 NOT TO SCALE



TRUSS SUPPORT TO POST CONNECTION DETAIL
 NOT TO SCALE



LVL TO POST CONNECTION DETAIL
 NOT TO SCALE



PIER DETAIL
 NOT TO SCALE

**PRELIMINARY
 NOT FOR PERMIT**

ENGINEER STAMP



DETAIL SHEET

ELIZABETH SILVA BUILDING
 HOOPER, UTAH

PROJECT
 B551

SCALE
 AS NOTED

DATE
 11/10/2025

SHEET
 08

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP

MOUNTAIN POINT
ENGINEERING

DETAIL SHEET

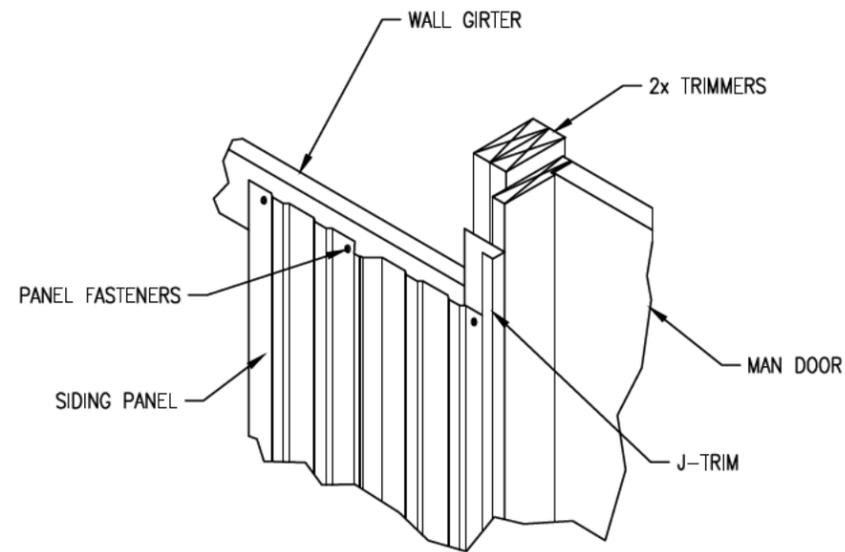
ELIZABETH SILVA BUILDING
HOOPER, UTAH

PROJECT
B551

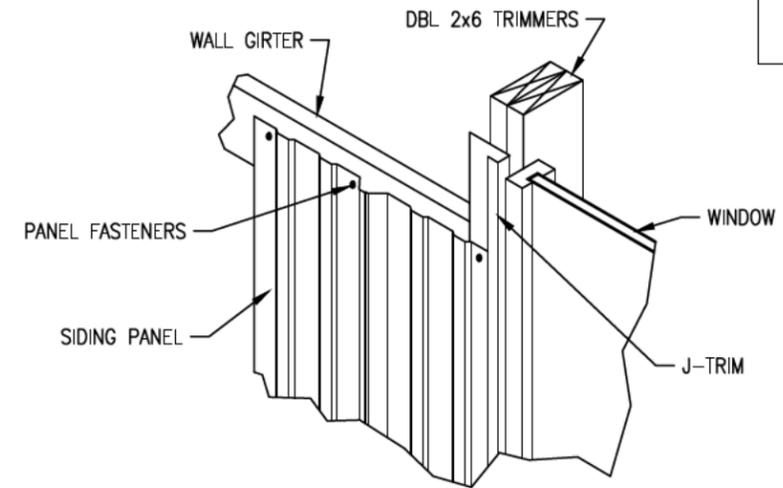
SCALE
AS NOTED

DATE
11/10/2025

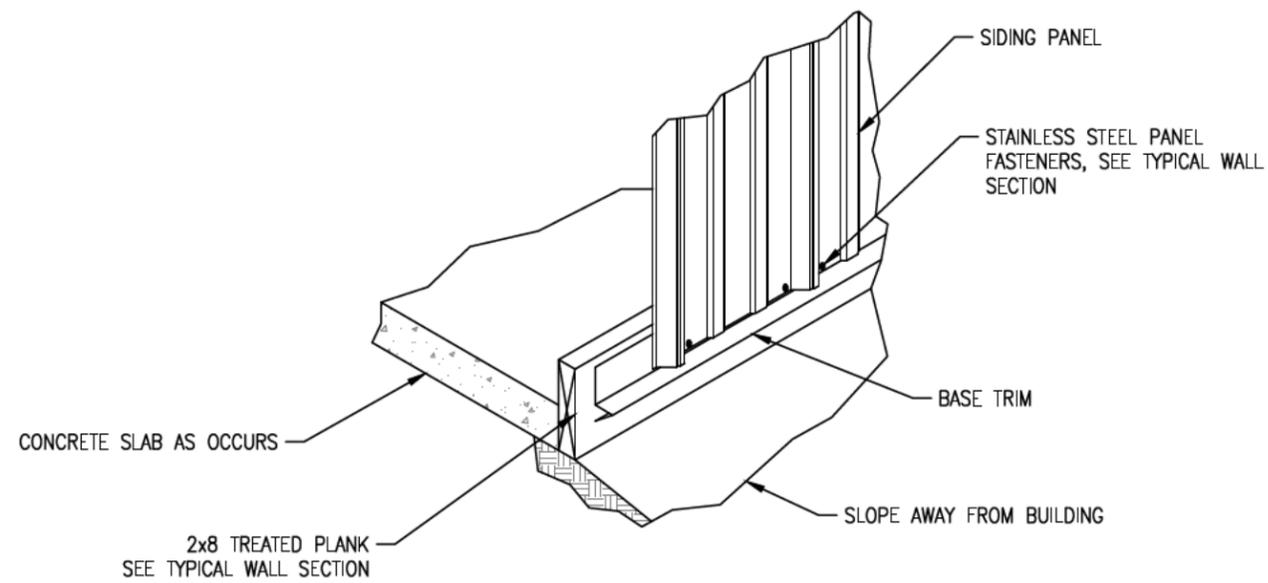
SHEET
09



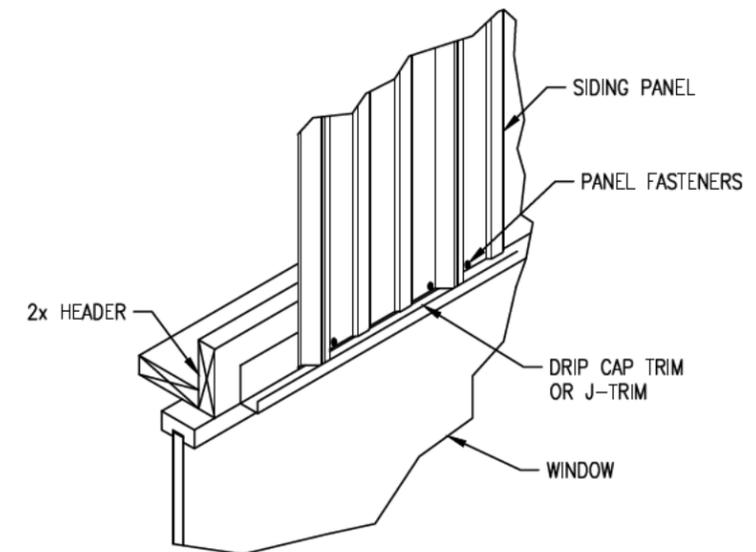
DOOR JAMB FLASHING
NOT TO SCALE



WINDOW JAMB FLASHING
NOT TO SCALE



BASE GUARD FLASHING
NOT TO SCALE



WINDOW / DOOR HEADER FLASHING
NOT TO SCALE

**PRELIMINARY
NOT FOR PERMIT**

ENGINEER STAMP

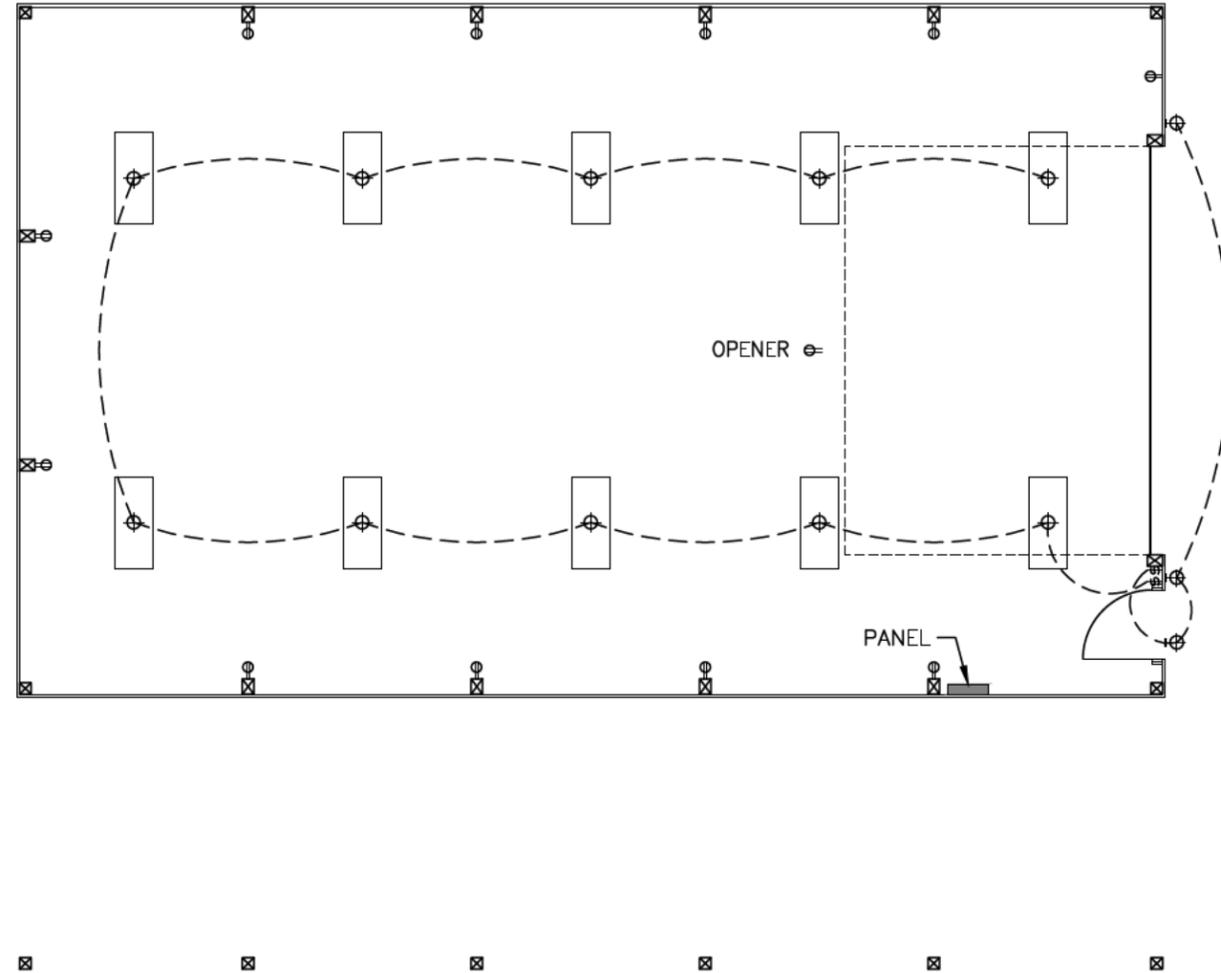


LEGEND

- ⊕ CEILING LIGHT
- ⊕ WALL MOUNTED LIGHT
- ⊕ RECESSED LIGHT
- ⊕ HIGH BAY LIGHT
- ⊕ ELECT. OUTLET (DUPLEX)
- ⊕ ELECT. SWITCH
- ⊕ 3-WAY SWITCH
- ELECTRICAL PANEL

ELECTRICAL PLAN

SOUTH



NORTH

WEST

EAST

NOTES:

1. ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE CURRENT NATIONAL ELECTRICAL CODE, AS WELL AS ANY STATE AND/OR LOCAL CODE AMENDMENTS ADOPTED AND ENFORCED AT THE TIME OF CONSTRUCTION.

**ELIZABETH SILVA BUILDING
HOOPER, UTAH**

PROJECT
B551

SCALE
1/8" = 1'-0"

DATE
11/10/2025

SHEET
10

Site Plan



Silva Family Revocable Trust/Elizabeth Silva
5517 S 6800 W
Hooper, UT 84315
Parcel #101280001

30' to South property line
24' to West
231' to East
108.25' to North
133' to dwelling

Dimensions are from footing/foundation, not wall

- Proposed Building Use: Detached Garage
- 42' x 50' 2100 SF
- Grade to Peak: 22' 37/8"
- Roof Pitch: 4/12
- Roof Material: 29 Gauge Steel
- Building Materials: treated 6x6 posts, 2x6 girts & purlins
- Wall Material: 29 Gauge Steel
- Driveway Material: Dirt
- No additional landscaping planned

Subdivision Application Checklist

This application checklist details the requirements for a complete application for subdivisions where the intended use is one or two-family residential dwellings, including townhomes and duplexes. The application process is governed by Chapter 8 of the City's municipal ordinances. This Chapter does not apply to applications or petitions for other uses.

1 _____ ✓ **An approved land use application** that describes how the property will be used after it is subdivided.

- Include citations to the specific ordinance(s) for uses permitted by right.
- Include City-issued permit for conditional uses (if applicable)
- Include City-issued variance for prohibited uses (if applicable)

2 _____ ✓ **A plat.** The plat must be drawn to scale, in detail, and in accordance with generally accepted surveying standards and the acceptable filing standards of the County Recorder's Office. The preliminary plat must include:

- a. The proposed name and general location of the subdivision, in bold letters at the top of the plat. The proposed subdivision name must be distinct from any subdivision name on a plat recorded in the County Recorder's office.
- b. True north arrow, name of City, section, range, and date.
- c. The boundaries, course, numbering, and dimensions of all proposed parcels. All lots should be consecutively numbered.
- d. The lot or unit reference numbered consecutively; block or building reference; street or site address; street name or coordinate address; acreage or square footage for all parcels, units, or lots; and length and width of the blocks and lots intended for sale.
- e. Tie to all controlling survey corners or monumentation.
- f. Contact information of the land surveyor and/or engineer who prepared the plat.
- g. Sufficient data acceptable to the City Engineer to readily determine the location, bearing and length of all lines on the plat, and to reproduce such lines upon the ground, and the location of all proposed monuments, including contours at appropriate intervals.
- h. Whether any parcel is intended by the owner to be used as a street or for any other public use, or whether any parcel is reserved or proposed for dedication for a public purpose.

- i. The location of existing streets, easements, water bodies, streams, and other pertinent features such as wetlands, buildings, parks, cemeteries, drainage ditches, irrigation ditches, fences, and bridges.
- j. The location and width of existing and proposed streets, curbs, gutters, sidewalks, easements, alleys, other public ways and easements and proposed street rights-of-way and building setback lines.
- k. 100-foot no-build setback from the centerline of the Hooper and Howard Sloughs. Where required by Land Use Authority, the “no-build” area shall be designated as “public open space” and dedicated to the City for future parks and trails.
- l. Every existing right-of-way and recorded easement located within the plat.
- m. Any known and unrecorded water conveyance facility located, entirely or partially, within or adjacent to the plat.
- n. Location and size of all proposed water, secondary water, sanitary sewer, storm sewer, irrigation or drainage ditch piping or other subsurface improvements, including detailed provisions for collecting and discharging surface water drainage.
- o. Location of percolation test pits and test logs, if septic tanks are proposed for the lots.
- p. The minimum setbacks from the front, the side and the rear property lines.
- q. The location and dimensions of all property proposed to be set aside for park or playground use, or other public or private reservation, with designation of the purpose thereof and conditions, if any, of the dedication or reservation.
- r. Notice language found in Utah Code Utah Code §17-41-403(4) is required if any portion of the subdivision is within:
 - 300 feet of an Agriculture Protection Area Utah Code 17-41-403(4)
 - 1000 feet of an Industrial Protection Area Utah Code 17-41-403(4)
 - 1000 feet of a Critical Infrastructure Materials Protection Area Utah Code 17-41-403(4)
 - 1000 feet of a Mining Protection Area Utah Code 17-41-403(4)
 - 1000 feet of a Vested Critical Infrastructure Materials Operation Utah Code 10-9a-904
- s. If the subdivision includes a condominium, the requirements found in Utah Code §57-8-13, as amended.
- t. A space for the City Engineer to sign the plat, accompanied by the following exact language: “I hereby certify that this office has examined this plat, and it is correct in accordance with information on file in this office.”

- u. A space for a member of the Land Use Authority to sign, approving the plat, and a place for the City Recorder to attest.
- v. A space for Weber-Morgan Counties Health Department to sign, approving the plat, if applicable.
- w. A space for the applicable Culinary Water District to sign, approving the plat.
- x. A space for the applicable Secondary Water Company or District to sign, approving the plat.
- y. A space for the City Attorney to sign, approving the plat.
- z. A space for a Licensed land Surveyor's Certificate. The surveyor making a plat shall certify on the plat that it conforms to these survey regulations and to all applicable state laws and that the monuments described in it have been placed as described. He shall affix his name and seal.

3_____ ✓ **Improvement Plan.** Must comply with applicable portions of 10-2E-5, 10-2F-6, 10-4A-18, and 10-6A-11, and must include:

- a. An engineer's estimate of the cost of completing the required improvements.
- b. The names, numbers, widths, lengths, bearings, and curve data on centerlines for all proposed streets, alleys, and easements (if applicable). All proposed streets shall be numbered in accordance with the City's adopted addressing system.
- c. *A traffic study.* For subdivisions with any boundary shared with a Utah Department of Transportation (UDOT) road, submit written evidence that UDOT has reviewed the subdivision plans and is in agreement with the proposed plan. Approval of the State Right-of-Way Engineer must be obtained for items such as location of curb, gutter and sidewalk, location and number of curb entrances, turning and deceleration lanes, lane striping, etc. On City streets, the approval for location and number of curb entrances must be received from the City Engineer.
- d. Grading and Drainage Study and Plan (see HCC 10-4A)
- e. *A Soils Report* for the proposed development that complies with City Standards, except in the case of a minor subdivision. Soils reports for minor subdivisions shall be submitted when required by the City Engineer.
- f. Roadway and Utility Plan and Profile Drawings [see HCC 10-8-9 (3)(e)]
- g. Fences [see HCC 10-8-9 (3)(f)]
- h. Slough Parkway Development Plan (if applicable)
- i. Proposed Phasing Plan and Utility Master Plan (if applicable)

4_____ ✓ **Required Certifications**

- a. Applicant Affidavit
- b. Owner Signatures
- c. Certification that the surveyor who prepared the plat:

- Holds a license in accordance with Utah Code 58-22
 - Either
 - Has completed a survey of the property described on the plat in accordance with state requirements and has verified all measurements; or
 - Has referenced a record of survey map of the existing property boundaries shown on the plat and verified the locations of the boundaries; and
 - Has placed monuments as represented on the plat.
- d. Final Letters of Approval from the following entities, as applicable:
- Hooper Water Improvement District or applicable culinary water district.
 - Weber-Morgan County Health Department (for subdivisions proposing on-site septic or other wastewater treatment systems)
 - Hooper Irrigation Company or applicable secondary water purveyor
 - Weber County Fire Marshall (for fire hydrant placement, fire flows, emergency vehicle access and turn around, etc)
 - Each involved utility company stating that they have reviewed the plan and are setting forth their comments concerning the extent of services and the design of utility easements.
 - Neighboring municipalities sharing a boundary.
- e. Formal, irrevocable offers for dedication to the public of streets, city uses, utilities, parks, easements, and other spaces (as applicable)
- f. If the plat is to be part of a community association, signed and binding documents conveying to the association all common areas.
- g. Any required agreements with adjacent property owners regarding boundaries, ditches, drainage, shared utilities, access, or other matters pertinent to subdivision approval.
- h. Copy of proposed codes, covenants, and restrictions (if applicable)

5 _____ ✓ **Supplemental Information**

- i. The names and addresses, and telephone numbers of all adjoining property owners of record, or the names of adjoining developments and the names of adjoining streets.
- j. Any other information that may be necessary for the meaningful review of the project. Additional information may be requested based upon the nature of the project or the site.

6 _____ ✓ **Copies**

- k. One copy of the plat drawn on Mylar for signing and recording.
- l. One 24" x 36" black on white or blue on white print of the plat for review.
- m. One 24" x 36" of black on white or blue on white print of improvement plan (including construction drawings) for review.

- n. One digital copy of the final plat and final construction drawings in AutoCAD .dwg format.
- o. An electronic copy of all documents required by this application in PDF format.

7_____ ✓ **Payment of any application**-processing fees and other fees required by the City.

KIMBALL ESTATES SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18,
TOWNSHIP 5 NORTH, RANGE 2 WEST, AND THE NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 5 NORTH, RANGE 3 WEST, SALT LAKE BASE AND MERIDIAN,
HOOPER CITY, WEBER COUNTY, UTAH
APRIL 2025

BOUNDARY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 2 WEST AND A PART OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 3 WEST, OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT NORTH 90°00'00" WEST 48.75 FEET AND SOUTH 00°19'08" WEST 352.83 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 18 (BASIS OF BEARING BEING THE WEST LINE OF SAID NORTHWEST QUARTER SOUTH 00°19'08" WEST); RUNNING THENCE SOUTH 89°40'52" EAST 384.69 FEET; THENCE NORTH 00°22'43" EAST 4.93 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID EXISTING FENCE LINE THE FOLLOWING NINE (9) COURSES: (1) SOUTH 89°02'16" EAST 31.67 FEET; (2) SOUTH 88°42'43" EAST 266.99 FEET; (3) SOUTH 88°48'20" EAST 268.28 FEET; (4) SOUTH 89°00'48" EAST 78.46 FEET; (5) SOUTH 88°48'21" EAST 71.74 FEET; (6) SOUTH 88°20'32" EAST 73.83 FEET; (7) SOUTH 89°02'25" EAST 64.78 FEET; (8) SOUTH 88°36'40" EAST 45.93 FEET; (9) NORTH 89°39'32" EAST 19.43 FEET; THENCE SOUTH 00°33'59" WEST 668.03 FEET; THENCE NORTH 89°39'23" WEST 943.32 FEET; THENCE NORTH 00°15'34" EAST 172.17 FEET; THENCE NORTH 89°43'55" WEST 359.30 FEET; THENCE NORTH 00°19'08" EAST 504.90 FEET TO THE POINT OF BEGINNING, CONTAINING 18.799 ACRES.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS KIMBALL ESTATES SUBDIVISION IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN HEREON ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; THAT ALL LOTS MEET THE REQUIREMENTS OF THE LAND USE CODE; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2025.



KLINT H. WHITNEY, PLS NO. 8227228

OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

KIMBALL ESTATES SUBDIVISION

AND HEREBY DEDICATE, GRANT AND CONVEY TO HOOPER CITY, WEBER COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY HOOPER CITY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS, AND ALSO DEDICATE AND CONVEY TO HOOPER CITY A TEMPORARY TURN AROUND EASEMENT AS SHOWN HEREON TO BE USED BY THE PUBLIC UNTIL SUCH TIME THAT THE ROAD IS EXTENDED. THE TEMPORARY TURN AROUND EASEMENT SHALL BE REVOKED AND NULLIFIED AT THE EVENT OF THE EXTENSION OF THE ROAD WITHOUT FURTHER WRITTEN DOCUMENT AND THE ENCUMBERED LAND WITHIN THE AFFECTED PROPERTY SHALL BE RELEASED FOR THE FULL AND EXCLUSIVE USE AND BENEFIT OF THE PROPERTY OWNERS.

SIGNED THIS _____ DAY OF _____, 2025.

BY:

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 20____, personally appeared before me _____ (SIGNER), whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the _____ (TITLE) of _____ (CORP/TRUST), and that said document was signed by him/her in behalf of said "Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said _____ (SIGNER) acknowledged to me that said "Corporation executed the same.

STAMP

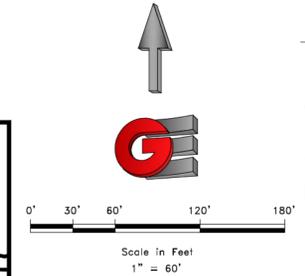
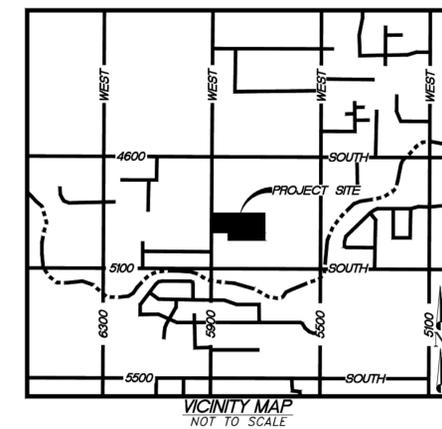
NOTARY PUBLIC

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A TWENTY ONE LOT SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY MAC BUILDERS. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING WEBER COUNTY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON. THE BASIS OF BEARING IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 WEST, OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS NORTH 89°26'19" WEST WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

- CITY ORDINANCES STATE THAT NO BASEMENTS (LOWEST FLOOR SLAB LOWER THAN EXISTING ADJACENT GRADE) ARE ALLOWED IF A PUBLIC LAND DRAIN SYSTEM ISN'T AVAILABLE TO CONNECT A FOOTING DRAIN INTO WITH A GRAVITY LAND DRAIN LATERAL. THERE IS NO PUBLIC LAND DRAIN IN 5900 WEST. THEREFORE, NO BASEMENT IS PERMITTED.
- DUE TO THE CHANGING TOPOGRAPHY OF LOTS WITHIN A SUBDIVISION DURING VARIOUS PHASES OF CONSTRUCTION FOLLOWED BY PRIVATE LOT OWNERSHIP AND LANDSCAPING, PROPER LOT GRADING IS THE RESPONSIBILITY OF THE DEVELOPER AND FUTURE LOT OWNER. LOTS MUST BE GRADED TO MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AND IN A WAY THAT WILL NOT RESULT IN A DISCHARGE OF STORM RUNOFF ONTO ADJACENT PRIVATE PROPERTY. HOOPER CITY WILL NOT BE RESPONSIBLE FOR OVERSEEING LOT DRAINAGE COMPLIANCE ON PRIVATE PROPERTY NOR WILL THE CITY BE LIABLE FOR SURFACE DRAINAGE DISPUTES BETWEEN PRIVATE PROPERTY OWNERS.

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	70.77	500.00	8.11	N86° 15' 51"E	70.71
C2	70.77	500.00	8.11	N86° 15' 51"E	70.71
C4	46.34	471.25	5.63	S87° 29' 50"W	46.32
C5	20.18	473.41	2.44	S83° 25' 58"W	20.18
C6	75.02	530.00	8.11	S86° 15' 51"W	74.95
C9	147.39	58.00	145.60	N35° 56' 22"E	110.81
C14	23.55	15.00	89.96	N44° 42' 08"W	21.21
C15	23.58	15.00	90.06	N45° 18' 22"E	21.22
C16	23.56	15.00	90.00	S45° 19' 08"W	21.21
C17	23.57	15.00	90.03	N44° 41' 41"W	21.22
C18	75.02	530.00	8.11	N86° 15' 51"E	74.95
C19	47.10	470.00	5.74	N85° 04' 48"E	47.08
C20	24.18	15.00	92.37	S45° 51' 55"E	21.65
C21	23.56	15.00	90.00	N45° 19' 06"E	21.21
C22	2.23	50.00	2.56	S1° 35' 52"W	2.23
C23	34.60	50.00	39.65	N22° 42' 02"E	33.91
C24	115.18	58.00	113.78	N14° 22' 05"W	97.17
C25	36.83	50.00	42.20	N20° 47' 08"W	36.00
C26	23.63	15.00	90.25	S44° 33' 26"E	21.26
C27	23.50	15.00	89.75	N45° 26' 34"E	21.17
C28	5.09	58.00	5.03	N39° 22' 26"W	5.09
C29	44.39	28.00	90.84	N44° 56' 57"E	39.89
C30	44.40	28.00	90.86	S44° 12' 10"E	39.89
C31	43.30	28.00	88.60	N43° 42' 30"W	39.11
C32	43.57	28.00	89.16	N45° 10' 22"E	39.31



LEGEND	
	WEBER COUNTY MONUMENT AS NOTED
	SET 24" REBAR AND CAP MARKED
	GARDNER ENGINEERING
	SUBDIVISION BOUNDARY
	LOT LINE
	ADJACENT PARCEL
	SECTION LINE
	EASEMENT
	DITCH & IRRIGATION EASEMENT

DEVELOPER: MAC BUILDERS MIKE ALVORD 735 W 2400 S SYRACUSE, UT (801) 645-2300	S1 1	COUNTY RECORDER ENTRY NO. _____ FEE PAID _____
		FILED FOR AND RECORDED _____ AT _____ IN BOOK _____ OF OFFICIAL _____ RECORDS, PAGE _____, RECORDED _____ FOR _____ COUNTY RECORDER _____ BY: _____
		CIVIL • LAND PLANNING MUNICIPAL • LAND SURVEYING 1580 W 2100S, WEST HAVEN, UT 84401 P 801.476.0202 F 801.476.0066

NORTHWEST CORNER OF SECTION 18, T5N, R2W, SLB&M

WEST 1/4 CORNER OF SECTION 18, T5N, R2W, SLB&M

NOTES

- ZONE (R.75 MEDIUM DENSITY RESIDENTIAL) CURRENT YARD SETBACKS: FRONT: 35 FEET, SIDE: 20 FEET (MIN. 40 FEET TOTAL WIDTH, WITH MIN. SIDE SETBACK REQUIREMENT OF 10 FEET) REAR: 20 FEET.
- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 49057C0425F WITH AN EFFECTIVE DATE OF NOVEMBER 30, 2023.
- AGRICULTURAL NOTE: AGRICULTURE IS THE PREFERRED USE IN THE AGRICULTURE ZONES. AGRICULTURE OPERATIONS AS SPECIFIED IN THE ZONING ORDINANCE FOR A PARTICULAR ZONE ARE PERMITTED AT ANY TIME INCLUDING THE OPERATION OF FARM MACHINERY AND NO ALLOWED AGRICULTURE USE SHALL BE SUBJECT TO RESTRICTION ON THAT IT INTERFERES WITH ACTIVITIES OF FUTURE RESIDENTS OF THIS SUBDIVISION.
- LOTS DESIGNATED WITH "R" MAY NOT BE ACCESSED FROM 5900 W

HOOPER CITY MAYOR _____
PRESENTED TO THE HOOPER CITY MAYOR THIS _____ DAY OF _____, 2025, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
SIGNED THIS _____ DAY OF _____, 2025.
HOOPER CITY MAYOR _____
HOOPER CITY RECORDER _____

HOOPER CITY ATTORNEY _____
I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE CITY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND EFFECT.
SIGNED THIS _____ DAY OF _____, 2025.
HOOPER CITY ATTORNEY _____

HOOPER CITY ENGINEER _____
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION IN FILE IN THIS OFFICE.
SIGNED THIS _____ DAY OF _____, 2025.
HOOPER CITY ENGINEER _____

HOOPER CITY COUNCIL CHAIRMAN _____
APPROVED THIS _____ DAY OF _____, 2018 BY THE HOOPER CITY COUNCIL CHAIRMAN.
SIGNED THIS _____ DAY OF _____, 2025.
HOOPER CITY COUNCIL CHAIRMAN _____

R:\2025 - MAC BUILDERS\24-320 - HOOPER BEING MAP SUBSURVEY\WORK\KIMBALL ESTATES SUBD.DWG

HELPING EACH OTHER
CREATE BETTER COMMUNITIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

J-U-B FAMILY OF COMPANIES

MEMORANDUM

DATE: November 26, 2025
TO: Kyle Davis; MAC Builders
CC: Jeffery Holley; Gardner Engineering
FROM: Public Works and Engineering
SUBJECT: Final Acceptance – Kimball Estates Subdivision

Hooper City Public Works and Engineering has completed its final review of the proposed plat and design plans for the Kimball Estates Subdivision. The final acceptance of Hooper city or J-U-B Engineers of these plans consists of recognition that the Engineer-of-Record has certified their construction plans and supporting documentation to be in compliance with the City standards and specifications. This acknowledgement shall not shift the responsibility and liability for the completeness and accuracy of the plans and supporting documentation from the Engineer-of-Record to the city or J-U-B Engineers.

It is recommended that the planning commission grant final approval.

Sincerely,

Taylor Stauffer
City Engineer