



**PARK CITY HISTORIC PRESERVATION BOARD MEETING
SUMMIT COUNTY, UTAH
December 3, 2025**

The Historic Preservation Board of Park City, Utah, will hold its regular meeting in person at the Marsac Municipal Building, City Council Chambers, at 445 Marsac Avenue, Park City, Utah 84060. Meetings will also be available online and may have options to listen, watch, or participate virtually. Zoom Link: <https://us02web.zoom.us/j/82086188552>

1. MEETING CALLED TO ORDER AT 5:00PM

2. ROLL CALL

3. MINUTES APPROVAL

- 3.A. Consideration to Approve the Historic Preservation Board Meeting Minutes from November 7, 2025

4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

5. PUBLIC COMMUNICATIONS

6. WORK SESSION

- 6.A. **Open and Public Meetings Act Training** (15 mins.)
- 6.B. **External Siding Materials in the Historic Districts** – The Historic Preservation Board Will Select Members to Participate on the Materials Advisory Committee and Provide Input to Staff on the Preliminary List of Materials. (30 mins.)
- 6.C. **Fences in Historic Residential Zoning Districts** – The Historic Preservation Board will Discuss the Location and Type of Fences Allowed in Historic Residential Zoning Districts. PL-25-06769 (30 mins.)
- 6.D. **2025 General Plan Implementation of Historic Preservation** – The Historic Preservation Board will Review the Historic Preservation Strategies and Actions Outlined in the Implementation Matrix of the 2025 General Plan and Provide Input to Staff on Prioritization of Ongoing Strategies and Near-Term. (60 mins.)

7. REGULAR AGENDA

- 7.A. **2026 Regular Meetings** – Consideration to Adopt the Historic Preservation Board Regular Meeting Dates for 2026
(A) Action
- 7.B. **939 Empire Avenue – Historic District Grant** – The Applicant Requests a \$9,805 Grant to Repair the Failing Historic Stone Retaining Wall of the Landmark Historic Site. PL-25-06703 (15 mins.)
(A) Public Hearing; (B) Action
- 7.C. **218 Sandridge Road – Request for Modification** – The Applicant Requests a

Modification to the February 7, 2024 Material Deconstruction Approval (PL-23-05692) for Material Deconstruction of the Historic 1889 and 1907 Roof Forms of a Significant Historic Structure in the Historic Residential - 1 (HR-1) Zoning District. PL-25-06745 (15 mins.)
(A) Action

8. ADJOURNMENT

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Planning Department at 435-615-5060 or planning@parkcity.gov at least 24 hours prior to the meeting.

***Parking is available at no charge for meeting attendees who park in the China Bridge parking structure.**



**PARK CITY MUNICIPAL CORPORATION
HISTORIC PRESERVATION BOARD MEETING
MARSAC MUNICIPAL BUILDING
COUNCIL CHAMBERS
445 MARSAC AVENUE
PARK CITY, SUMMIT COUNTY, UTAH
MINUTES OF NOVEMBER 17, 2025**

BOARD MEMBERS IN ATTENDANCE: Douglas Stephens - Chair, Puggy Holmgren, Dalton Gackle, John Hutchings, Lola Beatlebrox, Katie Noble (arrived at 5:04 p.m.)

EX OFFICIO MEMBERS: Rebecca Ward, Planning Director; Jacob Klopfenstein, Planner II; Chief Building Official, Dave Thacker; Mark Harrington, Senior City Attorney

1. CALL TO ORDER

Chair Douglas Stephens called the meeting to order at approximately 5:00 p.m.

2. ROLL CALL

A roll call was conducted. Board Member Randy Scott and Board Member Katie Noble were absent. All other Board Members were present at the Historic Preservation Board Meeting.

3. MINUTES APPROVAL

A. Consideration to Approve the Historic Preservation Board Meeting Minutes from October 1, 2025.

MOTION: Board Member Holmgren moved to APPROVE the Historic Preservation Board Meeting Minutes from October 1, 2025. Board Member Gackle seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

4. STAFF AND BOARD COMMUNICATIONS AND DISCLOSURES

There were no Staff or Board communications and disclosures shared.

5. PUBLIC COMMUNICATIONS

There were no public communications.

6. REGULAR AGENDA

- A. 1003 Norfolk Avenue – Request for Modification to Material Deconstruction – The Applicant Requests a Modification of the March 5, 2025, Modification of Material Deconstruction Approval (PL-25-06240) to Panelize the Exterior Walls of the Landmark Historic Structure to Construct a Rear and Basement Addition and to Repair the Foundation in the Historic Residential - 1 (HR-1) Zoning District. PL-25-06722. Application Withdrawn.**

Planning Director, Rebecca Ward, reported that the application for 1003 Norfolk Avenue was noticed for a public hearing. However, on the date that the Meeting Materials Packet was intended to be published, the applicant withdrew the application. As a result, no public hearing is needed. It was noted for the record that Board Member Noble joined the meeting.

- B. 218 Sandridge Road – Request for Modification to Material Deconstruction – The Applicant Requests a Modification to the February 7, 2024, Material Deconstruction Approval (PL-23-05692) to Reconstruct the Historic 1889 and 1907 Roof Forms of a Significant Historic Structure in the Historic Residential - 1 (HR-1) Zoning District. PL-25 06745.**

Planner II, Jacob Klopfenstein, presented the Staff Report and explained that this is a request for a Modification to Material Deconstruction at 218 Sandridge Road. The applicant is requesting a modification to the original Historic Preservation Board approval from February 7, 2024, to deconstruct and reconstruct the 1889 and 1907 era roof forms of the Significant Historic Structure. The current project involves rehabilitating and remodeling the Significant Historic Structure as well as constructing an addition and a detached accessory building at this site. Planner Klopfenstein shared a graphic supplied by the applicant that shows the additions that have been added over time. On the far-left side shown in red is the 1889 original structure. Second from the left is the 1907 addition. The other additions shown on the graphic were added in the 1940s and 1960s but are not currently being discussed.

Planner Klopfenstein shared photographs of the structure that were taken in 2021, prior to the construction that is happening at the site now. The photograph on the left shows the original portion of the historic structure, which dates back to 1889. He pointed out the 1907 roof ridge. Planner Klopfenstein next shared a photograph that shows the current state of the structure. It highlights the interior of the roof. The applicant is proposing to reconstruct the two roof forms. However, at this time, Staff does not find the applicant proposal complies with Land Management Code (“LMC”) 15-11-15 – *Reconstruction Of An Existing Historic Building Or Historic Structure*. The Chief Building Official did not find that the Historic Structure was hazardous or dangerous pursuant to Section 116.1 of the International Building Code. The Chief Building Official and Planning Staff determined that temporary framing and shoring would support the structure to allow for the repairs of those roof forms.

Information about the Historic Preservation Plan for the project was shared. Planner Klopfenstein reported that it was approved as part of the February 7, 2024, Historic Preservation Board approval. The original Historic Preservation Plan did not include provisions for the reconstruction of the 1889 and 1907 roof forms of this structure. The Historic Preservation Plan outlined a plan for preserving the structure without the use of reconstruction. The Cash Deposit Agreement that the applicant entered into requires them to comply with that Historic Preservation Plan. Staff recommended the following:

- Review the modification to reconstruct the 1889 and 1907 era roofs of the Historic Structure at 218 Sandridge Road;
- Conduct a public hearing; and
- Consider denying the proposal based on the Findings of Fact and Conclusions of Law outlined in the Draft Final Action Letter (Exhibit A).

The applicant team is present at the meeting to share additional information about the proposal. Molly Guinan from Elliott Workgroup reported that when the project started at 218 Sandridge Road, the home was occupied and seemed to be in surprisingly good condition for its age. There was an awareness that the house had been expanded upon numerous times over the 130 years and likely had questionable structural connections throughout.

There was also an awareness that the lack of foundations would need to be dealt with. Ms. Guinan explained that there was significant plant debris growing through at ground level, poor insulation, and water-damp issues that were discovered before the purchase of the home. With what was seen prior to the lengthy demolition process, there was an application submitted to remove the 1940s shed roof to be able to introduce a roof deck and flat roof dormer to gain the needed head height on the upper floor. This would also make it possible to reestablish the 1907 roof form. There was an application to remove a section of the non-historic south façade to accommodate a new entry and stair as well as point out areas where the siding sat on grade and would have to be replaced. Those were approved.

Other than those items, it was anticipated that the home exterior would remain. Based on research, it was discovered that the roofs had been replaced by previous owners, most recently in 2013. Due to the relatively good interior conditions and the modern nature of the exterior roofing materials, no one anticipated the poor build quality, lack of structure, or the level of rot and decay beneath the wall and roof cladding. After a lengthy approval process, the non-structural demolition work was started to better understand the conditions. Ms. Guinan shared some additional photographs of the home. Where the wallpaper is located, there is no structure on that wall. As for the exterior, the structure is leaning in certain areas.

A significant lack of structure was found throughout, specifically in the exterior walls and roofs. There was also insufficient structure found in the floors. When the insufficient floor build was discovered, there was an application submitted for a modification. There was approval to lower both the main and lower floors to accommodate new structure while maintaining required head height clearances. Ms. Guinan reported that when the full permit was received, there was extensive work done to secure the existing sections of the house

that were built without foundations, structure, and with questionable building practices. The team has been working diligently to secure as much as possible, starting with the primary and secondary facades of the 1889 portion. The walls of the primary 1889 one-story portion have had additional structure added and foundations poured. The secondary facades are two stories, but were added in the 1970s. Those newer structural members have helped secure the front portion and allowed the team to work without a lot of safety concerns.

As the team worked their way through the house to complete the interior demolition towards the rear tertiary façade it was apparent that there were much larger problems than originally known. At the rear of the house, there is a two-story unsecured façade with no structure, no foundation, and significant rot. These sections were built with no structure in 1907 and then expanded and stitched together in the 1940s, 1960s, and 1970s. Ms. Guinan reviewed images and explained that there is a lack of structure. The level of rot and decay is clear.

Ms. Guinan explained that the facades and roofs have been compromised with subsequent additions. As an example, the 1889 roof is now holding up the 1907 roof. The 1907 roof is being pulled down the hill due to the lack of structure and structural compromise from when the 1940s shed roof was added. In addition, the floors holding it all together are insufficiently sized. Ms. Guinan reported that the entire rear of the building is bowing out and leaning down the hill. She also noted that the bay window was never attached to the main structure. With all of the new information on the lack of structural members and the high level of decay, the Planning Department was approached to discuss some potential strategies.

Ms. Guinan reported that the request was to leave the primary and secondary facades of the front portion of the building and to remove the rear portion of the building as well as the roofs. She clarified that the rear portion is the 1907 and 1940s and 1960s sections that have been attached to the 1907 portion. There was a request to deconstruct or panelize the rear portion of the building in order to secure each section, remove and replace rotten members, and introduce both a structural system and weather proofing system that would protect the historic materials moving forward. There is a desire for the building to look the same as it does now for at least another 150 years. Ms. Guinan believes that panelization of the exterior walls would be the best practice to ensure that the historic fabric is protected and stays in the best condition. This would allow the walls to be taken down and analyzed for rot. Compromised boards could be removed and secured before reinstalling. She explained that the reinstallation would include proper waterproofing and building techniques.

There was a request made to remove and rebuild the roofs completely. Ms. Guinan explained that this is because all of the sheathing and members are rotten. In addition, the cladding on the exterior of the roof is from 2013 and is not historic. The roofs would be rebuilt to look exactly as they do now. She reported that the Planning Department asked if it would be possible to create an exoskeleton. The goal was not to panelize or deconstruct, but see if something could be created on site for the walls. Though she does not believe this is the best method, there was consultation with the full team to see if it was possible.

There is a plan that is theoretically possible, though there are still some remaining concerns. This plan was submitted to the Planning Department. Ms. Guinan explained that with this

proposal, there would be an exterior vertical bracing wall constructed and strapped to the new foundations in order to support the historic walls. This would allow the team to remove and replace the roofs and floors, and build a new wall and floor structure inside the historic exterior. Due to the level of rot and decay, as well as the lack of structural design and continuity in the existing roof structure, there is no proposal that can save the roofs in their current state. She shared photographs of the roof structures with the Board for reference.

Ms. Guinan reported that the standing seam metal was placed directly on the wood sheathing and shingles. This trapped in moisture and caused extensive damage, rot, and decay. The exterior sheathing under the standing seam metal is rotten and needs to be removed on all roof sections. The roof cladding is non-historic on all roof sections. As for the interior members, those are either rotten or notched and spliced. These are inadequate for modern building requirements and the local snow loads. This decay and lack of structural integrity occur on all roof sections. The 1907 roof form below the 1940s shed roof has been severely compromised and no longer functions as a roof or a structure. This is the same situation with the connection between the 1889 roof form, where that roof depends on the 1940s roof for stability. The level of decay makes some areas of the historic home impossible to save. Leaving rotten elements would be structurally unsound and cause significant health, safety, and welfare concerns for anyone in the building. Ms. Guinan expressed concerns about safety and outlined the risks for those working on the project.

There is a commitment to saving as much of the historic material as possible. Ms. Guinan reported that the recommendation is to panelize the walls and the rear portion of the building. It is also recommended that there be a reconstruction of the roofs. A second option is an exoskeleton with reconstruction of the roofs. Ms. Guinan asked that there be a decision made fairly soon, as there are concerns about a potential collapse when snowfall occurs.

Chair Stephens reported that the Historic Preservation Board will be discussing the original structure and the addition that was put on in 1907. He asked if there was foam insulation sprayed in those areas as well. Ms. Guinan confirmed that there is spray insulation in both the 1889 and 1907 sections. Chair Stephens stated that he has a difficult time supporting panelization. It is not something that has been done often. If there is an openness to the exoskeleton idea, it might be beneficial for the Board to discuss that proposal further. The Historic Preservation Board can determine whether panelization or an exoskeleton is best.

Chair Stephens discussed the exoskeleton proposal. He believed that what is holding the sides together right now is the floor and roof connections. The idea of the exoskeleton would be to put some framing around the outside of the house to hold it together. The proposal is either the exoskeleton or panelization, so he asked for Board Member feedback. Board Member Puggy Holmgren stated that she is not as familiar with the exoskeleton proposal, but she agrees that panelization is difficult to support. Board Member Noble agreed. The exoskeleton appears to be the most conservative approach, which is the one she would support. Board Member John Hutchings agreed with the other comments shared.

Chair Stephens asked for additional information about how the house was originally constructed. Ms. Guinan reported that there is currently exterior siding that is horizontal.

There are vertical floorboards used as interior stability against the siding and then there is wallpaper. There are some 1x1s, but none of them are continuous. The owner of the home was a builder, so it appears this was a side project. It was purchased after the 1889 portion was completed and then added onto it over the years. The 1940s section used to be a sunroom with some sort of exterior storage below. There have been many add-ons over the years. She explained that there is no foundation under the house. The front Sandridge side was resting on boulders, which have now been dug out. New foundations have been put in. At the back, there was no foundation, but there was a grade beam around. All of the plant debris grew underneath that. She noted that the lack of foundation is being corrected.

Chair Stephens wanted to understand the connection between the floor and the walls. Brent O'Keefe explained that he is with the builders on this project, Blackdog Builders. Right now, there are 2' x 4' joists that are connected, but none of them are continuous. These are nailed into the siding that was used as the structure. Chair Stephens asked how the roof is connected to the siding. Mr. O'Keefe reported that there is a 2x4 that is connected up to the ridge beam and is resting on less than an inch of the siding. There were some sporadic nails, but it is actually just resting. As for the foam, there were attempts made to spray fully.

Board Member Lola Beatlebrox asked to further review the photographs that highlight the existing conditions. Ms. Guinan discussed the photograph shown and pointed out some of the issues. Board Member Beatlebrox noted that it is impressive that this structure is still standing. There was discussion about the lean the structure has when viewed east to west.

Chief Building Official, Dave Thacker, explained that the challenge with this particular project has to do with the section of the International Building Code. That section goes into detail about determining whether a structure is safe to live in. This structure was lived in prior to construction starting. It is a challenge to go into a structure after it has been partially demolished and partially stabilized to determine whether it remains safe. The suggestion about moving toward an exoskeleton is a great idea. It makes sense and is something that has been seen on other structures. He acknowledged that there are concerns and challenges associated with the roof, especially with the support and the members that are rotting.

Chair Stephens asked if the original framing members are in the roof or if those were redone at some point. Official Thacker is not certain if those are original, but they appear to be. Chair Stephens next asked about the foam insulation. Official Thacker reported that it was newer foam. He agrees with the contractor that it was not installed in a code compliant manner as far as how it was applied to the underside. This creates moisture issues and does not allow the wood to dry thoroughly. This has resulted in rot issues. Discussions were had about the connections. Chair Stephens wanted to understand the original plan for support. Ms. Guinan explained that the original plan was to sister members on the roof structure and on the interior walls. The exoskeleton was discussed due to safety concerns.

Board Member Hutchings believed that in order to remove all of the rot, the entire roof would need to be removed. Ms. Guinan reported that there might be a handful of members in the 1889 section, but the sheathing above those members is all rotten. Chair Stephens asked

if the sheathing was over the existing cedar shingles or underneath. Ms. Guinan explained that it was both, depending on the section of the building. Additional discussions were had about the conditions. Board Member Beatlebrox asked how the exoskeleton relates to the roof sections. Chair Stephens explained that if there is not something secured around the exterior of the house, when the roof is taken off, there will be nothing to hold it all together.

Ms. Guinan reported that the exterior roof is not historic. What is seen from the outside is from 2013. However, there is historic material inside the roof that cannot be seen from the outside. That is the material that is rotten. The intention is to rebuild the roof to look the same as what is there currently. The 2013 metal roof would be removed along with anything inside that is rotten. There would then be a new roof put on to look the same. Board Member Noble asked about the material that would be used for the new roof. Ms. Guinan clarified that there would be re-roofing done with metal. The current application is to replace the roofing with a standing seam metal roof. She was thinking the color of the roof material would be dark black, but this has not been specified in the submitted application materials.

Chair Stephens stated that if there is an exoskeleton, he does not have an issue with roof removal and refabrication, given how this was constructed. He pointed out that this would remove materials that are not seen by the public. This work would not alter the look of the final product but result in a stronger product overall. However, he might feel differently about this proposal if it was coming to the Historic Preservation Board before the insulation was sprayed. If the work is done correctly, the home should last another 100 years in good condition. He expressed support for the exoskeleton proposal and the roof removal.

Board Member Hutchings asked to review the section of code to ensure there is consistency. In the past, the determination of the Chief Building Official has been an important factor in his decision-making process. He wants to understand what is different about this project. Senior City Attorney, Mark Harrington, reminded the Board to open the public hearing before final direction is provided. LMC 15-11-15 was reviewed by the Historic Preservation Board.

Planner Klopfenstein reported that LMC 15-11-15 outlines the criteria for reconstruction of an existing historic building or historic structure. For the Historic Preservation Board to approve a request for reconstruction, the Board has to find that the proposal complies with Subsection A of this code. Planner Klopfenstein reviewed the three items outlined:

- The Historic Building(s) and/or Structure(s) are found by the Chief Building Official to be hazardous or dangerous, pursuant to Section 116.1 of the International Building Code; and
- The Historic Building(s) and/or Structure(s) cannot be made safe and/or serviceable through repair; and
- The form, features, detailing, placement, orientation, and location of the Historic Building(s) and/or Structure(s) will be accurately depicted, by means of new construction, based on as-built measured drawings, historical records, and/or current or Historic photographs.

The code states that the Board has to find the project complies with all three of the criteria listed in order to approve a request for reconstruction. The Staff recommendation is to deny this proposal, because it does not comply with the first and second items in the code.

Ms. Guinan understands that the structure was safe because someone was living in the home before, but there was no way to know what was behind the walls. There are sections with no structure at all. As a result, she does not believe this would be considered a safe structure for someone to live in. Board Member Beatlebrox agreed and stated that it looks hazardous. It was pointed out that the photographs shown in the presentation are based on the current state. Those were taken after some deconstruction had taken place.

Official Thacker agreed that there are some elements that appear to be unsafe, but part of Section 116.1 of the International Building Code has to do with the determination that it can be made safe. That is the area that becomes challenging, because there are ways that most structures in these instances can be made safe. That is where the exoskeleton comes in as opposed to panelization. That is a unique way to consider preserving what is there, even though it is in a currently hazardous state based on the photographs. The roof is another challenge, because there are some members that are rotten. It is possible to state that rotten boards are likely unsafe, but there can be more discussion about the roof structure.

Official Thacker explained that the new members required to be built within the roof system need to have enough insulation to meet the current energy code criteria. The focus should be on finding a way to rebuild the roof to make sure it is safe. Board Member Hutchings is in support of removing the rotten material, but does not know how the Historic Preservation Board can approve the current application given the criteria included in the code. He wanted to know if there is an opportunity for a new determination or evaluation to be made.

Board Member Holmgren reported that the Meeting Materials Packet indicates that the structure can be made safer with temporary framing, shoring, and repair. Board Member Dalton Gackle pointed out that most of the roof materials have rotted. While the exoskeleton can help with one component, the roof seems to be a separate matter. He is not sure that legally, the Historic Preservation Board can allow for full reconstruction of the roof, but that seems to be the only path forward. Board Member Noble agreed that there seems to be a disconnect between the code and the reality of the circumstances at this property. If the Chief Building Official has not found it to be hazardous or dangerous, it is not possible for the Historic Preservation Board to move forward. What the Board wants to do and what the Board is bound to do based on the code seem to be two separate things in this case.

Board Member Gackle agrees with the official determination that the façade can be saved without needing to do a full reconstruction, but he does not necessarily agree with that determination for the roof based on what has been presented. He believes there should be two separate determinations made. Discussions were had about the code language.

Official Thacker explained that there could be other historic properties that come in for consideration of a rebuild and then once there is partial deconstruction, a request could be made for a new determination. He wants to be cautious when looking at what this

determination means. Official Thacker wondered whether the roof could be considered on a case-by-case basis for the members that can be preserved. Rather than removing the roof in its entirety, it might be possible to look at each one to determine whether sistering the roof and replacing the joist is a better approach and still meets the criteria established.

Board Member Hutchings asked if it would make sense to deny this application but allow the rotten material to be removed. Ms. Guinan pointed out that all of the rotten material has to come out, as it is unsafe to leave rotten material in the building. In addition, the 2013 roof material is not historic. It is now known that there is no structure holding up the roof. The team of professionals have thought a lot about what can be done to preserve this building. No one has come up with a solution for the roof, because the materials are rotten. If a contractor refuses to do the work because it is not safe, she wonders what will happen next.

Chair Stephens does not want to set a precedent that would create future issues. Director Ward reviewed the scope of the request. She explained that the request from the applicant is for complete reconstruction of the historic forms. There is also a proposal for the exoskeleton. For the historic materials that may be salvaged, that would be a Material Deconstruction application and review. The way that the code addresses Material Deconstruction is that the deteriorated or damaged historic features are required to be repaired rather than replaced. This would require the salvaging of the historic roof materials.

Director Ward reported that there appears to be consensus that the exoskeleton is preferred and panelization is not something the Board would consider. The exoskeleton would need to be constructed first to ensure that there is stabilization. She does not know what the timeline for that exoskeleton would look like. Ms. Guinan reported that it would move forward as quickly as possible. She explained that there are concerns that the structure will collapse.

The next Historic Preservation Board Meeting is scheduled for December 3, 2025. If there is a modification made to the request where it is not deconstruction and reconstruction proposed, but Material Deconstruction with a process in place to salvage as many of the materials as possible, then that could be evaluated after the exoskeleton is put into place. Director Ward reported that if the applicant is open to modifying the request to Material Deconstruction, it would be possible to re-notice this item before the next Board Meeting.

Ms. Guinan believed the suggestion is deconstruction while logging the members to see what could be saved. Director Ward reported that for the Material Deconstruction, there would be a review of the roof components. Ms. Guinan would like more clarity on that process. She is concerned that there is no structure in this roof, as the roof is currently being held up by siding. Though building the exoskeleton will work for the walls, it does nothing to secure the roof in the time between now and the next Historic Preservation Board Meeting. If there is a significant storm and the roof collapses, she wants to know where the liability will fall. Additional discussions were had about the safety of the roof and the materials.

Mr. O'Keefe reported that there is support for the exoskeleton keeping the sides intact, but there is uncertainty about how to keep the workers safe inside for the renovation. Once there is the exoskeleton in place, it is possible to take everything off from the inside to

reframe it. However, it is not possible to do that with the roof on, given the state of the rot. He also has concerns about attempts to salvage the material with rot. He does not want rot to be introduced to the new wood given the moisture stuck in the historic wood. Mr. O'Keefe explained that his trained workers do not feel safe in the structure currently. With the weather, there are also concerns about losing the structure if there is a large snowfall.

Chair Stephens asked if it would be possible to remove the roof, catalogue what could be used again, and then put it back in place, with the process that was previously described by Director Ward. Director Ward believed that would only exist with deconstruction. Board Member Gackle wanted to know if it would be possible to justify going against code in the interest of public safety and/or the total loss of a historic structure. Attorney Harrington believed the Chief Building Official would need to be asked whether he was willing to alter his recommendation. It is not possible to address any hypotheticals regarding liability.

Attorney Harrington stated that the Chief Building Official could be asked to partially reevaluate his recommendation or the Historic Preservation Board could consider Material Deconstruction, as described by Director Ward. Board Member Gackle thought it made sense to have a new determination made for the roof portion of the structure. He pointed out that there is so much of the roof that would need to be replaced that it would end up being fully replaced anyway. Board Member Noble explained that her concern is that the code mentions a historic building, so it relates to the safety of the historic building as a whole. The code could likely use an adjustment so a determination could be made for part of a building. For example, a determination could be made that part of a building is not safe. In this case, there is a safety issue in a portion of the building, but the code talks about the safety of an entire building. She feels that her hands are tied with the current application.

Board Member Noble asked if there is a way for this application to be for Material Deconstruction without waiting for another Historic Preservation Meeting. This was denied because it was not noticed as Material Deconstruction. The Board can process the application currently before them. Ms. Guinan reported that there have been a lot of discussions about making the building safe with an exoskeleton. The exoskeleton will preserve the walls, but the roof will still be unsafe. She finds it hard to understand the determination that the building can be made safe, because that is not the case if an exoskeleton is needed to protect the exterior and the roof is still unsafe. The only materials that have been removed so far were interior drywall. The building has not been made less safe from any of the actions taken during this process. She reiterated her safety concerns.

Ms. Guinan addressed the comments about potentially setting a precedent. There are always unknowns with buildings. If it is determined that something is unsafe without removing any materials, that is different than a contractor taking something out and making it unsafe. Although the building looked safe, there were no standard building techniques used. Board Member Holmgren asked if the exoskeleton would make the roof more stable, which was denied. Ms. Guinan explained that the roof does not have a structure under it.

Chair Stephens explained that under a Material Deconstruction application, the Board could proceed in some manner. Right now, it seems the hands of the Board are tied. Director

Ward reported that this item could be continued to the Historic Preservation Board Meeting on December 3, 2025, but it should be made clear that the exoskeleton is a requirement. The applicant has a Historic Preservation Plan that outlines the obligation to stabilize the structure and protect all of the historic materials throughout construction. Continuing this item does not delay the obligation of the applicant to immediately begin protecting the facades on the rear. Ms. Guinan reiterated that the exoskeleton will not protect the roof.

Chair Stephens explained that if the item was continued, it could be dealt with through a different process that will not create future issues. The first meeting in December is two weeks away. At that meeting, the issue of the roof could be addressed under a Material Deconstruction request. Board Member Gackle pointed out that with Material Deconstruction, it has to be worked on in place. There does not seem to be comfort in doing that due to the lack of support. The Board discussed the potential process moving forward.

Board Member Gackle wondered at what point Material Deconstruction would become reconstruction. At a certain point, it might essentially be what the applicant has proposed due to the condition of the materials. Board Member Hutchings noted that it might, but the Board is attempting to solve the problem that exists with the current code language. His assumption is that the applicant will more or less achieve the same goal, but it needs to be done under a code section that allows for it. The code section reviewed during the meeting does not allow the Historic Preservation Board to approve the current application.

The owner, Dennis Hranitzky, stated that the concern is that there is snow coming in soon. Once there is a snow load on the roof, there is a risk that the roof will collapse, with or without an exoskeleton. He understands that the Board is trying to harmonize the decision with the restrictions of the code, but he has a lot of concerns about the stability of the roof. He asked if it would be possible to remove the exterior metal, rotten shingles, and planks, and leave the framing of the roof. This would ensure that it did not accumulate the snow load.

Chair Stephens believed that it was approved under the original application. Director Ward explained that it is confirmed for the materials added in 2013. Mr. Hranitzky reported that the metal on the exterior was added in 2013, but underneath the metal on the exterior are shingles that are rotten. Underneath some of those shingles, there are rotten planks. If the shingles and the planks remain in place, they will accumulate snow as well. The question is whether it is possible to take off the metal and the rotten material, but not remove the entirety of the roof. The actual structural form could remain, and the work could proceed.

Board Member Gackle asked if the shingles would need to be considered under the Material Deconstruction application. If so, the shingles would need to remain until Material Deconstruction was voted on at the meeting on December 3, 2025. Director Ward reviewed the Final Action Letter for this property. She does not believe it addressed the 1907 or original roof form. At that time, there were proposed to be preserved and maintained throughout construction, so there would be a modification there. Ms. Guinan explained that the removal of the 2013 metal was not brought before the Board because it was not of historic consideration. The only request at that point was the removal of the 1940s roof.

Board Member Gackle wanted to know if the applicant could remove the shingles prior to the Historic Preservation Board Meeting on December 3, 2025. Chair Stephens was not sure why the applicant could not at least take it down to the original planking. Mr. Hranitzky explained that when the original application was made, no one knew that there were shingles underneath the metal roof. There was an awareness that it had been re-roofed in 2013, but there was a belief that everything underneath that had been removed.

Discussions were had about the appropriate process. Director Ward reported that the current agenda states this item is a Request for Modification to Material Deconstruction. She asked if that matches the notices that went out, which was confirmed. The Historic Preservation Board can direct Staff to issue a Final Action Letter that could be reviewed during the December 3, 2025, Historic Preservation Board Meeting on the condition that the exoskeleton be constructed first. The process was further outlined for Board Members.

Chair Stephens opened the public hearing. There were no comments. The public hearing was continued.

MOTION: Board Member Holmgren moved to CONTINUE the Request for Modification to Material Deconstruction at 218 Sandridge Road and instructed the Planning Department to Draft a Final Action Letter for Material Deconstruction, on the Condition that the Exoskeleton is Created by the Builders. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

7. ADJOURNMENT

MOTION: Board Member Holmgren moved to ADJOURN. Board Member Hutchings seconded the motion.

VOTE: The motion passed with the unanimous consent of the Board.

The Historic Preservation Board Meeting adjourned at approximately 6:44 p.m.

Historic Preservation Board Staff Report



Subject: Materials and Finishes in Historic Districts
Author: Elissa Martin, Planning Project Manager
Date: December 3, 2025
Type of Item: Work Session

Recommendation

(I) review the applications submitted by the Design Professionals who have volunteered to participate on the Historic Districts Materials Advisory Committee and select at least three individuals to serve on the Committee, (II) select up to two HPB members to participate on the Materials Advisory Committee, (III) review the preliminary list of Materials and Finishes and provide feedback to staff.

Background

The HPB conducted a work session on August 6, 2025 to discuss next steps to implement the recent amendments to the Land Management Code (LMC) [§ 15-13-2](#) and [§ 15-13-8](#), which allow alternative or non-Historic siding materials that are included on the *Master List of Non-Historic Materials and Finishes on file with the Planning Department* ("Master List") (August 6, 2025 [Packet](#), 6.A). As discussed, the "Master List" would be established with the guidance of an Advisory Committee comprised of at least three Design Professionals, two HPB members, three staff members of the Planning Department's Historic Preservation Team and the City's on-call Historic Preservation Consultant. The Materials Advisory Committee is tasked with selecting siding materials and finishes that meet baseline criteria for durability, sustainability and compatibility with Park City's Historic Districts.

Work Session

(I) Select Design Professionals and two HPB members to participate in the Materials Advisory Committee, pursuant to LMC [§ 15-11-6](#), *Additional Duties* (of the HPB), which states:

Appoint members to serve on an Advisory Committee to create a Master List of Non-Historic Materials and Finishes that may be used on non-historic Structures and additions to Historic Structures in the Historic Districts. Regularly review and periodically update the Master List of Non-Historic Materials and Finishes.

The time commitment to participate on the Advisory Committee should be no more than 6-8 hours over the course of the next 2-3 months, with the possibility of reconvening once annually to review the Master List of Materials and Finishes for potential revisions and/or additions.

Staff published an online application on the Planning Department's Historic Preservation website for Design Professionals to 'sign up' to participate on the Advisory Committee. The application link was distributed to the list of local Design Professionals that have been involved in the Materials discussions and process over the years, as well as those listed on Preservation Utah's directory of architects and designers.¹ Additionally, the City's Communications team helped spread the word by including the online application link in the Weekly City Brief, City Newsletter, social media and on the City's website. The online application asked Design Professionals to supply information about their experience and knowledge of siding materials. We received four applications from Design Professionals (See hard copy provided during meeting).

Recommended Action:

- 1) Select Design Professionals to participate on the Advisory Committee**
- 2) Select up to two members of the HPB to participate on the Advisory Committee.**

Staff will follow up with the Advisory Committee members to schedule the first meeting to begin evaluating materials and finishes that should be included on the Master List.

(II) Preliminary List of Materials

The LMC provides that "new, non-historic building Materials such as various types of metal and synthetic building materials, such as fiber cement or composite siding, shingles, and trim may be considered *if approved in the Master List of Non-Historic Materials and Finishes on file with the Planning Department. Vinyl and aluminum siding are prohibited in the Historic District, unless otherwise specified in the Master List of Non-Historic Materials and Finishes.*"

Alternatives to traditional wood siding include an array of various types of metal cladding and composite materials that can be categorized as either organic or inorganic composites. Organic composites are comprised of natural materials such as wood fibers, rice hulls, and resins for binding. Inorganic composite materials are comprised of an inorganic mineral core and polymer resins, with an acrylic cap.

According to the requirements outlined in LMC [§ 15-13-2](#) and [§ 15-13-8 Universal Regulations](#), "new, alternative or non-historic materials are evaluated by the following characteristics":

- *Longevity (50 year lifespan),*
- *energy performance,*
- *durability in this climate,*
- *Fire Resistance,*
- *environmental benefit and impact (high recycled content, locally sourced, life cycle impact, or cradle to grave impact),*

¹ <https://www.preservationutah.org/directory>

- *compatibility with the character of the Historic District.*

The above characteristics can be grouped into three overarching categories:

Durability includes the following characteristics:

- Minimum 50-year lifespan.
- Durable in Park City's climate.
- Fire Resistance rating

Sustainability includes the following characteristics:

- Energy performance.
- Locally sourced
- Recycled content (containing a minimum of 50% recycled and/or reclaimed material)
- Cradle to Grave or life cycle impact of a product.

Compatibility includes the following characteristics (pursuant to the LMC):

- For Synthetic: the material may not diminish the historic character and must appear similar in appearance and profile to historic siding.
- Synthetic materials shall be applied as traditional materials were historically; it is not appropriate to introduce artificial patterns.²
- Exterior elements must be of human scale and compatible with neighboring Historic Structures.
- New materials should reflect the character of the Historic District.³
- Materials must be compatible in scale, proportion, texture, finish, and color to Historic Structure materials.
- The dimensions of masonry units, wood siding, and other building materials shall be similar to those used historically.
- Primary siding material shall appear similar to those on Historic Structures in the streetscape or character area.
- Building Components and materials used on additions shall be similar in scale and size to those found on the historic building.⁴

Materials will be considered based on their general properties and performance measures, as opposed to specific manufacturer's products. See Exhibit A for preliminary list of materials.

² LMC [Section 15-13-8\(B\)\(4\)](#)

³ LMC [Section 15-13-8\(A\)](#)

⁴ LMC [§ 15-13-2\(B\)\(4\)\(c\)](#)

(III) Preliminary List of Finishes and Treatments for Wood Siding Pursuant to LMC [§ 15-13-8\(B\)\(5\) Paint and Color](#)

The Master List will also include various types of wood finishes and treatments that are compatible with the Historic Districts. The Advisory Committee is tasked with evaluating different types of wood finishes and treatments; a preliminary list is provided in Exhibit A. The LMC includes the following provisions regarding *Paint and Color* of wood siding:

- *Wood siding that is not painted, shall be finished with a durable stain or treatment that complements and does not distract from adjacent Historic Structures or the character area. Refer to the Master List of Non-Historic Materials and Finishes on file with the Planning Department for wood finishes and treatments that are compatible with the Historic Districts.*
- *Rustic, unfinished wood siding is generally not appropriate on primary Structures but may be appropriate on accessory structures or additions to historic buildings. A transparent or translucent weather-protective finish shall be applied to wood surfaces that were not historically painted.*
- *Low-VOC (volatile organic compound) paints and finishes should be used when possible.*

(IV) Next Steps and Timeline for Completion.

January 30th: Advisory Committee completes a draft Master List of Materials and Finishes

February 4th: HPB Work Session to review the draft list and provide feedback to Advisory Committee

February 18th: Advisory Committee finalizes the Master list

March 4th: Present final Master List to HPB for approval/ adoption

January 2027: Review and update the Master List as needed

- With the rapid pace of new siding materials being developed, the Master List of Non-Historic Materials and Finishes should be periodically reviewed and updated.
- This review is also an opportunity to ‘de-list’ a material if it does not retain its quality and compatibility over time.

Department Review

The Planning Department, Executive Department, and City Attorney’s Office reviewed this report.

Exhibits

A: List of Materials and Finishes

B: Design Professional Applicants (provided as a hard copy to Board Members)

PRELIMINARY LIST OF MATERIALS (WORKING.DRAFT)

- Wood composite and Engineered Wood:
 - Durability; resists rot, warp and pests, varies in longevity, must be installed correctly to resist moisture; susceptible to fading with prolonged exposure to UV
 - Sustainability; Often high content of recycled fibers but depending on the type of resins /binders used can have a higher carbon footprint over lifecycle due to end-of-life disposal.
 - Compatibility; comes in horizontal lap siding and vertical board and batten with natural wood grain appearance.
- Fiber cement: composite material made of cement reinforced with cellulose fibers (aka Hardie Plank)
 - Durability: not susceptible to termites or rot, thicker/denser = more resistant to impacts, non-combustible, most products have Fire Classification A1.
 - Has been known to perform poorly in Park City and is not conducive to freeze/thaw conditions
 - Sustainability; Various manufacturers use different levels of recycled content; thermal resistance also varies greatly;
 - Compatibility; siding comes in horizontal lap siding and vertical board and batten with natural wood grain appearance as well as smooth plain surface
 - Past discussions included the possibility of allowing fiber cement siding with a plain smooth surface, as opposed to 'acting' like wood grain.
- Glassfibre reinforced concrete (GFRC): made by mixing cement, fine sand, water, polymer admixtures, and alkali-resistant glass fibers
 - Durability; enhanced tensile strength and resistance to cracking, bending, and impact, ensuring long-term durability; non-combustible material; resistant to weathering.
 - Sustainability; less energy-intensive than that of traditional concrete.
 - Compatibility;
- Polyvinyl chloride (PVC) composite:
 - Durability; highly durable, resistant to rot, insects, and harsh weather conditions
 - Sustainability; PVC production relies on petroleum (ethylene from natural gas); some products are recyclable, but if not recycled, end-of-life disposal can have negative impact on environment as it is not biodegradable
 - Compatibility;
- Cellular PVC (synthetic wood):
 - Durability; requires paint which fades over time = more maintenance; resistant to moisture, rot, warp and insects

- Sustainability;
- Compatibility;
- Steel metal:
 - Durability; Fire resistant; resistance to impact varies depending on thickness; if not treated, can rust
 - Sustainability;
 - Compatibility; Metal siding was not a primary material used historically, though corrugated tin was used for roofing on historic buildings – corrugated steel could be compatible (and more durable than tin) when used as an accent, occupying a small percentage of total siding. Untreated steel may rust, resulting in a different look over time.
- Copper metal:
 - Durability; Fire resistant; resistance to impact varies depending on thickness
 - Sustainability;
 - Compatibility; Historically, copper was used sparingly and was limited to trim elements, not a primary siding material – therefore, copper should be limited to use as trim and/or accent panels, occupying a small percentage of total siding used on a façade. Final finish varies based on desired patina, timing of naturally occurring patina can be lengthy – varied end result. Certain treatments can be applied to hasten patina.

PRELIMINARY LIST OF WOOD FINISHES AND TREATMENTS

- Traditional stain
- [Shou Sugi Ban](#) – charred wood that creates a dark and textured surface
- [Acetylated wood](#) (pickled wood) – wood with a washed-out appearance that showcases its natural grain.

Historic Preservation Board Staff Report



Subject: Fences in Historic Districts
Application: PL-25-06769
Author: Lillian Zollinger, Planner III
Meredith Covey, Planner II
Date: December 3, 2025
Type of Item: Work Session

Recommendation

Conduct a work session and provide input for City Council consideration regarding fences proposed to be installed in City Right-of-Way in Historic Districts.

Background

On November 18, 2025, the City Council reviewed a property owner's request to install a Fence within the City Right-of-Way at 1304 Park Avenue, a Landmark Historic Site. Prior to the rehabilitation of the Historic Structure, a wood picket Fence was installed, shown in the image below from Google Maps:



Other examples of Fences installed in the City Right-of-Way along Park Avenue were provided to the City Council by the Engineering team:



However, the Fence proposed to replace the wood picket Fence at 1304 Park Avenue is a four-foot-tall painted cedar fence. The solid wood installation impedes visibility of the front yard and Historic Site. Additionally, because of an updated ten-foot-deep snow storage easement on the property, the Fence was proposed to be installed closer to the Historic Structure than previously installed, which would not align with the other Fences in the Right-of-Way along Park Avenue. The installed fence is shown in the photos below:





As a result, the City Council expressed concerns and requested a broader policy discussion with the Historic Preservation Board on:

- The location of Fences in the context of the Historic Structure and Streetscape;
- Snow storage easements and the location of Fences within a Streetscape;
- The types of materials and style of Fences to be allowed; and
- How to balance the impact of Fence installations on aesthetics, public safety, and snow removal in the Historic Districts ([New Business Item 1](#); [Audio](#)).

This staff report outlines (I) Regulations for Fences in Historic Districts and (II) Encroachment Agreements and Snow Storage in Historic Districts.

Analysis

The General Plan Recommends Regular Evaluation of Historic District Regulations for consistency and compatibility.

Regarding Historic Preservation, the [General Plan](#) states “Park City will protect, preserve, enhance, and celebrate the historic character of the community.” Strategies and actions to support this include:

- Strategy 5O - Evaluating the Historic District Design Regulations for consistency and potential modifications that further preservation efforts while supporting a degree of flexibility.
 - [Action](#): Evaluating streetscape standards that support walkability efforts and reinforce the historic nature of Park City’s older neighborhoods/urban form.

- Strategy 5P - Reviewing new construction for suitability and compatibility of infill development within the Historic Districts.
 - [Action](#): Analyzing the influence of site design and architecture as part of the review, including the impact of setbacks, fence height, and fence location on the streetscape and the pedestrian experience.

The Land Management Code (LMC) implements the goals and policies of the General Plan, in part to protect and enhance the Historic character.¹

1940s tax photos, courtesy of the Park City Museum, show fences installed in the Historic Districts:



¹ LMC [§ 15-1-2](#)











As these photos show, variations of Fences were installed that contributed to each site's character. However, while the type and materials range from wood picket to woven wire fences, the photos illustrate that Fence materials were installed in a way that allows visibility of the front yard and home. There are opportunities to update regulations for

Fences in the Historic Districts to improve compatibility and consistency.

(I) Regulations for Fences in Historic Districts include (a) where fences may be placed and (b) the materials and types of Fences that may be installed.

(a) Where fences may be placed.

The location, height, and design of Fences are reviewed under both the Historic District Design Regulations and the applicable Zoning District Standards. In the Historic Residential – Low Density (HRL)², Historic Residential – 1 (HR-1)³, Historic Residential – 2 (HR-2)⁴, and Historic Residential – Medium Density (HRM)⁵ Zoning Districts, Fences, walls, and retaining walls no more than four feet in height are permitted in the Front Setback and Fences no more than six feet in height are permitted in the Side and Rear Setbacks. On Corner Lots, Fences more than three feet in height are prohibited within twenty-five feet of the intersection, at back of curb. No obstruction may be placed exceeding two feet in height within the Site Distance Triangle, a triangular area within 25 feet at the intersection of two streets.

For potential exceptions to the Setback height limitations, Fences may be approved through an administrative permit to address site-specific considerations (like a substantial change in grade between two properties, steep slopes, etc.) outlined in LMC [§ 15-4-2 Fences and Retaining Walls](#).

(b) The materials and types of Fences that may be installed.

Materials and Fence types in the Historic District are regulated by LMC [Chapter 15-13 Historic District Design Regulations](#).

LMC [§ 15-13-2\(B\)\(1\)\(e\)](#) requires historic Fences to be preserved and maintained on Historic Sites. Historic fencing may be reconstructed based on photographic evidence and must match the original in design, color, texture and material.

Both Historic Residential Sites⁶ and New Residential Infill Construction⁷ allow and prohibit the following new Fences:
New fencing should reflect the style of the building to which fencing is associated when viewable from the primary public right-of-way. New wood and metal fencing should reflect traditional designs and patterns.

² LMC [§ 15-2.1-3](#)

³ LMC [§ 15-2.2-3](#)

⁴ LMC [§ 15-2.3-3](#)

⁵ LMC [§ 15-2.4-3](#)

⁶ LMC [§ 15-13-2\(B\)\(1\)\(e\)](#)

⁷ LMC [§ 15-13-8\(B\)\(1\)\(e\)](#)



Figure 1: Wood Fence



Figure 2: Welded Wire Fence



Figure 3: Metal Fence



Figure 4: Metal Fence

- **Prohibited:** Split or horizontal rail, railroad tie, or timber fencing may be located where not visible from the primary public right-of-way but should be avoided where visible from the primary public right-of-way.



Figure 5: Split-Rail Fencing is Prohibited in Historic Districts When Visible from the Right-of-Way

- **Prohibited:** Vinyl or plastic-coated fencing is not appropriate in the Historic District.



Figure 6: Vinyl and Plastic-Coated Fencing is Prohibited

- New fencing should be designed to minimize its environmental impacts. New fencing should use green material and should take into account site impacts such as shading, natural topography, and drainage.
- Drought tolerant shrubs should be considered in place of fencing or walls.
- Arbors emphasizing a fence, gate, or entry should be subordinate to the associated building(s) or structure(s) and should complement the design of the primary structure and fencing material, features, size, scale, and proportion.

Chain link Fences are prohibited Citywide.

Based on the Board's recommendation, Staff will draft updates to LMC Chapter 15-13 that could require that Fences:

- follow the historic pattern established on the street.
- be set back from the Right-of-Way no less than four feet to allow for snow storage.
- should, at Historic Sites, not shield the Structure completely, and have a distance in the slats that allow for the structure to be seen through the fence.
- should, at Historic Sites, be made of wood, metal, or a combination of wood and metal in a style seen historically. Modern materials and styles are not appropriate.

Additionally, the Planning team is issuing an RFP to illustrate the LMC, including Fences. The 2009 Design Guidelines for Park City included photos and examples to help demonstrate historic front yard setbacks and materials that contributed to the character of the Historic District and when the Design Guidelines were codified in 2019, these illustrations were not incorporated in the LMC.



(II) Encroachment Agreements and Snow Storage in Historic Districts.

Snow storage easements for roads, sidewalks, and pathways may be required as part of a plat review and many Old Town residential lots include a ten-foot-wide snow storage easement adjacent to City Right-of-Way.⁸ These snow storage easements prohibit construction of Fences in these areas, meaning new Fences, or Fences on Historic Sites that are removed and later reconstructed, must be set back at least ten feet to clear the snow storage easement area.

The Engineering and Public Works Departments provided the following information for Encroachment Agreements and snow storage:

“Park City’s Rights-of-Way are complicated. In many locations, the Right-of-Way extends significantly behind the sidewalk or gutter and well into what people perceive as their property; on Park Ave., this boundary between Public and Private property is at some people’s front doors. This means that, while typically, these homes have had fences, landscaping and perceived ownership over their front yard areas, this property is actually City-owned, but this does allow us more regulatory opportunities. As a City,

⁸ LMC [§ 15-7.3-4\(F\)](#) and [15-7.3-8\(A\)\(1\)](#)

we have a responsibility to balance property owner's desires with City needs and we look to ensure that such modifications do not compromise public safety, access, or the intended use of the space. As such, when a property owner requests to install something within this City right-of-way, they must receive formal approval from City Council (or for some types of encroachments, City Council has delegated authority to the City Engineer) for these installations. When reconstruction occurs, and we are asked to review the proposed encroachment requests, we look to balance the past uses, historic context, as well as seeking to improve upon existing conditions rather than simply replicate them. This approach allows for the property owner to continue enjoying the benefits they have previously enjoyed, while ensuring the enhancements better serve public needs, such as improved safety, accessibility, or snow management.

For example, along Park Avenue, fences, though located within the right-of-way, contribute to the historic and aesthetic character of the street. While the Engineering Department, in representing the City, has generally been willing to accept these fences as part of the neighborhood fabric, we also aim to incorporate practical improvements. One of these such improvements is a 4-foot snow storage buffer adjacent to the sidewalk. This buffer provides a designated area for snow displaced from sidewalks and streets, helping to maintain clear pedestrian pathways and reduce maintenance challenges during winter months. Without designated snow storage areas along our roadways, snow needs to be hauled to designated snow storage areas on the limits of town at significant expense.

This is being brought before HPB due to a specific project that led to the need for a wider policy discussion. 1304 Park Ave had a fence in their front yard for decades. During their addition and remodel, they removed the fence and requested encroachment permission to replace the fence upon completion of the project. Fences are not one of the encroachments that the Engineering Department has approval authority over, so this request went before Council. Council, seeing the fence was out of alignment with the other fences along Park and was of a different aesthetic design, wanted more direction from HPB about an overall policy for fences along Park Ave. before making a decision on this individual fence."

Questions for Historic Preservation Board Consideration

Does the Historic Preservation Board have input on:

- Potential updates to the LMC to clarify Fence types and materials, especially for those installed in the front yard?
- Should the City Council allow Fence installations within City Right-of-Way that may impede snow storage easements for Historic District streetscape compatibility or should snow storage easements be prioritized with the understanding that over time, as Fences are replaced, they will come into alignment?
- Materials and styles of Fences allowed for Historic Sites versus non-historic sites?

Department Review

The Planning Department, Executive Department and City Attorney's Office reviewed this report.

Historic Preservation Board Staff Report

Subject: 2025 General Plan Implementation
Authors: Historic Preservation Team
Date: December 3, 2025
Type of Item: Work Session



Recommendation

Review the on-going and near-term Strategies and Actions identified in [the 2025 General Plan](#) related to Historic Preservation and provide input on prioritization of efforts.

Summary

On September 25, 2025, the City Council adopted the 2025 General Plan—a comprehensive, community-driven framework to guide development, growth, and land use policy.¹ Grounded in four core community values—small-town feel, sense of community, natural setting, and historic character—the Plan includes a theme to **preserve community character**, protecting Park City’s history, unique look, feel, and sense of place:

We value our unique community, quality of life, and authentic character. We support a variety of options that create housing opportunities for all groups within the community. We preserve our historic districts and cultural elements and celebrate the history of Park City.

The General Plan [Implementation Matrix](#) outlines 18 Historic Preservation strategies that Staff grouped into the following categories:

- Land Management Code updates
- Research and document historic resources (including mining era and additional Park City eras)
- Protect historic resources from environmental and physical damage
- Historic District Grant Program updates
- Outreach, education, and recognition

The General Plan calls for annual review by the Historic Preservation Board and Planning Commission, with implementation recommendations forwarded to the City Council for final prioritization.

Analysis

(I) Land Management Code updates

The purpose of the *Regulations for Park City’s Historic Districts and Historic Sites* is to

¹[Packet](#), Old Business Item 2; [Minutes](#), p. 13

fulfill the policy directives provided in the General Plan and the Land Management Code (LMC):

...to meet the needs of various interests in the community by providing guidance in determining the suitability and architectural compatibility of proposed projects, while at the same time allowing for reasonable changes to individual buildings to meet current needs. For property owners, design professionals, and contractors, it provides guidance in planning projects sympathetic to the unique architectural and cultural qualities of Park City. For the Planning Department staff and the Historic Preservation Board, it offers a framework for evaluating proposed projects to ensure that decisions are not arbitrary or based on personal taste. Finally, it affords residents the benefit of knowing what to expect when a project is proposed in their neighborhood.²

Chapter 15-11 in the LMC outlines the purposes of the Historic Preservation Board:

- *To preserve the City's unique Historic character and to encourage compatible design and construction through the creation, and periodic update of comprehensive Regulations For Historic Districts And Historic Sites, Chapter 15-13;*
- *To identify as early as possible and resolve conflicts between the preservation of cultural resources and alternative land Uses;*
- *To provide input to staff, the Planning Commission and City Council towards safeguarding the heritage of the City in protecting Historic Sites, Buildings, and/or Structures;*
- *To recommend to the Planning Commission and City Council ordinances that may encourage Historic preservation;*
- *To communicate the benefits of Historic preservation for the education, prosperity, and general welfare of residents, visitors and tourists;*
- *To recommend to the City Council Development of incentive programs, either public or private, to encourage the preservation of the City's Historic resources;*
- *To administer all City-sponsored preservation incentive programs;*
- *To review and take action on all designation of Sites to the Historic Sites Inventory Applications submitted to the City; and*
- *To review and take action on material deconstruction applications for those Sites listed on the Historic Sites Inventory.*

There are 186 Significant Historic Sites and 219 Landmark Historic Sites designated on Park City's Historic Sites Inventory, for a total of 405 Historic residential and commercial Sites. Additionally, there are 12 Historic Mining Sites listed on the Historic Sites Inventory.³

² LMC [§ 15-13-1](#) Purpose and Policy

³ LMC [§ 15-11-10](#)

The Planning Department processes hundreds of land use applications in the Historic Districts for a variety of different types of projects each year, including full Historic District Design Reviews (HDDR) for the restoration of Historic Sites and alteration (additions) of Historic Sites, which can include lifting or panelization of a Historic Structure, and/or Material Deconstruction and require review and approval by the Historic Preservation Board. Additionally, full HDDR applications for additions to Historic residences and new residential infill at non-Historic Sites require review and approval of the Planning Department. Routine maintenance or minor alterations to Structures in the Historic Districts are processed through the HDDR pre-application process with a waiver letter for projects that meet certain criteria, pursuant to LMC [§ 15-11-12](#) *Historic District or Historic District Site Review*.

The 2025 General Plan Implementation Matrix identifies the following Strategies and Actions related to updating the LMC:

Strategy 5I (long-term) calls for establishing a range of options to incentivize the preservation of the documented historic resources associated with the ski era.

Strategy 5O (on-going) calls for regularly assessing and evaluating the Regulations for Historic Districts and Historic Sites in the LMC for consistency and potential modifications that further preservation efforts while supporting a degree of flexibility.

Strategy 5P (near-term) calls for refining the LMC based on periodic review of newly constructed infill projects for suitability and compatibility of infill development within the Historic Districts.

Actions to implement these strategies that are in progress or could be prioritized are outlined below:

IN PROGRESS:

Action: *Ensure regulatory consistency and up-to-date standards relative to materials and best practices for sustainability*

- ✓ On June 5, 2025, City Council adopted LMC amendments that established a new process to evaluate external siding materials used for new residential infill and additions in the Historic Districts. The new code allows alternative siding materials to be used, which are included on a Master List of non-Historic Materials and Finishes list, which will be created with the help of an Advisory Committee made up of design professionals, HPB members, the City's Historic Preservation Consultant, and planning staff. Over the past few months, staff has been coordinating with local design professionals to draft a preliminary list of materials, which will be evaluated by the Advisory Committee for durability, sustainability and compatibility with Historic Districts. An online application was published to solicit volunteers from the professional design community to participate on the Advisory Committee, to provide up-to-date standards and best practices for evaluating alternative

materials. The HPB will select Advisory Committee members during the December 3, 2025 HPB work session.

Action: *Evaluate possible improvements to new infill development regulations to ensure compatibility with historic districts*

- ✓ The June 2025 LMC Amendments also included updates to the Steep Slope Conditional Use Permit (SSCUP) requirements to ensure new residential infill development on Steep Slopes is required to be compatible with Historic Structures' massing, volume and height. The forthcoming illustrations to help clarify Historic District requirements will further improve the implementation of development regulations related to new infill development.

In processing HDDR applications, planning staff identified potential updates to the LMC Historic District regulations. For example, when applying LMC requirements to new infill development within the Historic Districts, areas of code pertaining to compatibility with historic massing, dwelling volume, building height, and roof forms can be unclear and susceptible to interpretation. One way this challenge has been addressed in the past is by including illustrations to help clarify the LMC requirements. By illustrating the code requirements, applicants and their designers may better understand the regulations and staff can better apply regulations consistently and efficiently. Efforts are currently underway to issue a Request for Proposals to hire design professionals to illustrate the Historic District regulations.

Additional opportunities to update the LMC for projects in the Historic Districts include:

- Incentives and compatible design standards for preservation of 1960s and 70s era Structures. The Historic Sites Inventory does not include sites with Structures that were built in later eras, such as the 1960s and 1970s, even though those Structures are now over 50 years old. General Plan Strategy 5A (see below section II) specifically calls for surveying Park City's Historic ski era resources to identify additional Historic Resources that may be valuable for preservation. While the General Plan identifies Strategy 5I (above) as a long-term goal, staff believes that it may be important to prioritize amendments to the LMC to incentivize the preservation of Historic ski era resources in the near term, in conjunction with ski era resources being highlighted through surveying efforts.
- Shifting details that are currently in Chapter 15-15 *Definitions* to Chapter 15-11 and updating criteria to clarify regulations for Material Deconstruction, Panelization, Lifting, Reconstructing and Demolition.

POTENTIAL PRIORITIZATION:

Action: *Evaluate updates to the LMC to support the preservation and compatible rehabilitation and/or renovation of ski era structures.*

Action: *Establish financial incentives for preserving and celebrating ski era resources and providing regulatory exceptions for ski era sites, such as flexibility of Setback requirements or parking exemptions for property owners*

that record a facade easement.

Action: *Update the LMC to require more detailed mitigation plans during construction to prevent damage to Historic resources.*

Action: *Evaluate streetscape standards to reflect the historic nature of Park City's older neighborhoods and urban form in relation to walkability.*

Action: *Explore possible LMC updates or other methods to incentivize reuse and renovation of historic structures rather than demolition.*

Action: *Consider updating the Application for Demolition and Certificate of Appropriateness for Demolition process to include requirements for deconstruction of historic structures.*

Action: *Identify issues that threaten the aesthetic experience of the districts and refine the LMC based on findings. The aesthetic experience shall be measured from the pedestrian experience at the primary street frontage.*

Action: *Analyze the influence of site design and architecture as part of the review, including the impact of setbacks, fence height, and fence location on the streetscape and the pedestrian experience.*

The Historic Preservation Team recommends prioritizing updates to the LMC to incentivize the preservation and compatible rehabilitation of ski era structures, require more detailed mitigation plans during construction, evaluate streetscape standards, and explore opportunities to incentivize reuse and renovation of Historic Structures. Staff believes prioritizing these action items would be most helpful and impactful in strengthening Historic District review processes and addressing the City's larger goals.

(II) Research and Document Historic Resources

The Planning Department currently maintains an online resource of Historic Site Inventory (HSI) Forms, which provide information on Significant and Landmark Historic Sites, when the Structures were built, who lived there, historic photographs and Sanborn insurance maps. The HSI forms are available on the Planning Department's [website](#) and are helpful for both property owners to better understand the history of their home and are also a valuable resource for staff when reviewing development applications in the Historic Districts. The HSI was updated in 2009, 2017, and 2021.

Planning staff is currently working to update the HSI forms to provide additional historical information, improve consistency of information provided, as well as provide up-to-date existing conditions of each Historic Site. Additionally, staff has already begun to create an online GIS resource to map the current HSI. This will be available as a tool for the public.

The below strategies and action items are centered around conducting surveys and research to update the knowledgebase of Park City's Historic Resources, including ski era and Olympic host legacy resources, and making that data publicly accessible through a user-friendly online platform.

- **Strategy 5A:** Develop a clear understanding of the ski era resources in Park City.
Action: Conduct a Reconnaissance Level Survey and Intensive Level Survey to document ski era resources.
Action: Collaborate with the Park City Museum to research the significance of ski-era resources in Park City and explore ways to commemorate their importance.
- **Strategy 5B:** Confirm the key resources and sites related to Park City's Olympic host legacy.
Action: Create an online resource to provide information on Park City Olympic host sites and their locations.
Action: Collaborate with the Utah Olympic Legacy Foundation or other local groups to develop a comprehensive inventory of Park City's Olympics resources and sites.
- **Strategy 5C:** Continue to document and monitor Mining Era resources, especially in Park City's residential and business districts.
Action: Identify potential Mining Era resources not currently on the Historic Site Inventory and clarify why they are not included (e.g., removal requested, insufficient documentation, etc.)
Action: Streamline the current Historic Sites inventory into an online, searchable database using GIS or other location-based tools.
Action: Update the knowledge of identified Mining Era residences with additional details to further the understanding of their importance and contribution to Park City's history .

The Historic Preservation Team recommends prioritizing Strategy 5C, to identify potential Mining Era resources not currently on the HSI, to continue the work to update the Historic Sites Inventory and create an online GIS map of current Historic Sites. In addition, staff recommends prioritizing Strategy 5A to identify key resources related to Park City's ski era history. This includes conducting a Reconnaissance Level Survey by 2026 to identify ski era resources.

As a secondary priority, the Olympic host legacy resources could be surveyed and added to the online GIS map resource.

(III) Protection of Historic Resources from Physical and Environmental Damage

The 12 Historic Mine Sites listed on Park City's Historic Sites Inventory include over 50 historic resources, across a vast amount of acreage. The Historic Mine Sites are currently maintained through a collaborative network of property owners, including the ski resorts, and non-profit organizations such as the Park City Historical Society and Museum, and Friends of Ski Mountain Mining History (FOSMMH), and the City. The Planning Department coordinates annual inspections of the Significant and Landmark Historic Mine Sites to identify potential hazards that could impact the Historic Integrity of

the Structures. There are numerous other Historic Mining Resources in Park City that could be considered valuable for preservation and protection that are not included on the HSI. Most of the Historic Mine Sites are in more remote areas surrounded by forests, which makes them vulnerable to wildfire and other environmental hazards.

Additionally, over 400 Historic residential and commercial mining era Historic Resources that make up Park City's Historic Districts are in Old Town, which is flanked by forests and dense vegetation of the adjacent hillsides. The 2025 General Plan Implementation Matrix identifies strategies and actions to protect both the Historic Mine Sites and Old Town's historic mining era resources from wildfire damage.

- **Strategy 5K:** Proactively work to protect historic mining sites and structures from both physical and environmental damage

Action: Establish an annual (or other regular recurring) wildfire mitigation process, to clear vegetation around/adjacent to historic mining sites

Action: Establish strategies to counteract and prevent vandalism of remote mining sites and structures.

- **Strategy 5M:** Proactively work to protect Old Town's historic resources from wildfire damage.

Action: Collaborate with Rocky Mountain Power on efforts to underground power lines.

Action: Prioritize Old Town and the City's historic districts for undergrounding completion.

Planning staff recommends prioritizing Strategy 5K, starting with a survey to identify Historic mining sites where existing vegetation may be a fire hazard, reviewing with the Forestry Board best clearing practices, and collaborating with partners to carry out appropriate fuel reduction surrounding Historic Mining Structures.

In addition, the Engineering, Building, and Planning Departments may begin to coordinate efforts to underground power lines in collaboration with RMP as a near-term priority.

(IV) Historic District Grant program updates and other incentives

The Historic District Grant Program underwent changes in 2019 to establish a new structure for the grant program, including identifying grant award thresholds relative to approval bodies and process. Additional changes to the program were evaluated by the HPB in 2023, including allowing applications to be reviewed throughout the year (see [May 3, 2023 Packet](#), Item 6.A.)

The 2025 General Plan calls for continuation of the grant program, exploring options for improving the program, and recommends looking into additional incentives.

- **Strategy 5H:** Continue to incentivize adaptive re-use of historic buildings.

Action: *Continue to offer the grant program, as well as research, identify, and utilize other financial incentives for historic preservation efforts or adaptive reuse.*

(V) Outreach, Education, and Recognition

Currently, the HPB recognizes exemplary Historic District projects through the annual Historic Preservation Award during Historic Preservation Month each May. The General Plan identifies several strategies and actions to increase outreach and education to highlight Historic Preservation efforts and importance, as well as ways to build on current recognition efforts:

- **Strategy 5D:** Continue to recognize preservation projects, share success stories to inspire future efforts, and provide technical resources to property owners.

Action: *Expand education, outreach, and recognition efforts by establishing an annual event designed to celebrate exemplary preservation efforts.*

Action: *Provide a regular means to educate and inform property owners about the benefits and opportunities of historic preservation.*

Action: *Showcase the sustainability of historic preservation efforts by documenting and sharing information online and, when possible, at in-person events about the estimated embodied energy, durability of materials, and passive features of structures.*

- **Strategy 5E:** Provide access to historic preservation best practices, recognizing the range and diversity of Park City's historic resources.

Action: *Partner with local and state resources to provide regular training opportunities to staff and board members to integrate best practices into the regulatory and policy framework for historic resources in Park City.*

- **Strategy 5F:** Continue to educate the community and visitors about the history and evolution of Park City.

Action: *Collaborate with resorts and Museum to create educational and promotional materials for Ski Resort and Olympic eras, and with FOSMMH, and museum to create promotional materials featuring the intersection of Park City's mine sites and resort activities.*

Action: *Integrate historic information into public art and educational resources such as the Park City Public Art Story Map.*

Action: *Create an online resource, such as a webpage or ArcGIS Story Map, to serve as a means for celebrating property owners' ongoing stewardship and preservation of the City's historic resources within the Historic Districts, to include:*

- *the purpose of the Historic District Regulations;*
- *the process for making modifications to their properties; and*
- *the resources available to support property owners in their preservation efforts.*

- **Strategy 5G:** Collaborate with the Park City Museum, Utah Historical Society, and other partners to help tell the story of less well-known aspects of Park City's history.

***Action:** Work with local and state partners to expand educational materials including through a guided walking tour, online resources, and additional forms of recognition of Park City's historic and current cultural and ethnic diversity.*

***Action:** Create a means to highlight and further recognize ethnic and cultural diversity, through plaques, awards, events.*

***Action:** Work with Park City Museum to research and explore opportunities to recognize ethnic and cultural diversity that has shaped Park City's past and present history.*

- **Strategy 5Q:** Continue to support the activation of Main Street, promoting and strengthening this area as the historic core of Park City.

***Action:** Continue to partner with the HPCA and museum to address the needs and concerns of local business owners and work to establish a cultural element in the Main Street Area through strategic partnerships. Partner with ongoing efforts to support the activation of Main Street.*

To build on this on-going effort to recognize exemplary historic preservation efforts, the HPB could consider an event or open house during Historic Preservation Month to celebrate the awarded project and other preservation efforts. The annual event would be an opportunity to educate and inform property owners about the benefits and opportunities of historic preservation. Additionally, staff recommends prioritizing the continued collaboration between the resorts and historic preservation partners, such as the Museum and FOSMMH, to create educational and promotional materials featuring the intersection of Park City's mine sites and resort activities. Specifically, the creation of a guided walking tour would be a logical next step after the completion of surveying efforts and updating the Historic Sites Inventory.



Notice of a Regular Meeting Date, Time, and Location for Meetings of the Historic Preservation Board of Park City, Utah, for 2026

The regular meetings of the Historic Preservation Board shall be held on the first Wednesday of each month at the Marsac Municipal Building, 445 Marsac Avenue, Park City, Utah, at 5:00 p.m., except when there is no quorum, no pending business or the regular meeting date falls on a holiday.

1. Notice of Possible Electronic or telephone participation:
One or more members of the Historic Preservation Board may participate electronically or telephonically pursuant to UCA § 52-4-207. Electronic meetings without an anchor location will be individually noticed in accordance with state law and local rule.
2. A written agenda will be posted on the State Public Meeting Notice website at <http://pmn.utah.gov> no later than 24 hours before each meeting, except emergencies. Meetings in addition to those specified herein will be held as circumstances require. Appropriate notice will be given for such meetings.

The 2026 meeting schedule for the above agencies is as follows:

January 7	July 1
February 4	August 5
March 4	September 2
April 1	October 7
May 6	November 4
June 3	December 2

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify planning@parkcity.gov or 435-615-5060 at least 24 hours prior to the meeting.

Levi Jensen
Planning Department
Executive Office Administrator

Historic Preservation Board Staff Report



Subject: 939 Empire Avenue
Application: PL-25-06703
Author: Elissa Martin, Planning Project Manager
Date: December 3, 2025
Type of Item: Historic District Grant Application

Recommendation

(I) Review and score the Historic District Grant Application for 939 Empire Avenue, (II) open a public hearing, and (III) determine whether a grant should be awarded.

Description

Applicant: Marylou Toly
Location: 939 Empire Avenue
Zoning District: Historic Residential-1
Adjacent Land Uses: Residential
Reason for Review: The Historic Preservation Board reviews and takes final action on historic preservation grant applications for funding requests under \$25,000.

HDDR Historic District Design Review
HDGP Historic District Grant Program
HR-1 Historic Residential-1
HSI Historic Sites Inventory
LMC Land Management Code
RDA Re-Development Area

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Summary

The Historic District Grant Application is for the repair and reconstruction of the existing stone retaining wall along the front of the home at 939 Empire Avenue, a Landmark Historic Site in the Historic Residential-1 (HR-1) Zoning District. This site was listed on the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*. The home was built within the historic period, defined as 1872 to 1929 in the district nomination, and retains its historic integrity.

The stone retaining wall, steps and path are Historic to the Site, according to the Historic Sites Inventory (HSI) form (Exhibit D). The funding request is for \$9,805, which is half the total cost to repair the stone retaining wall. See Exhibit B for the detailed scope and budget provided by the Applicant.



Figure 1: Stone retaining wall and steps at 939 Empire Avenue

Background

Since 1987, the City has awarded hundreds of thousands of dollars to rehabilitate and preserve Significant and Landmark Historic Structures and Sites through the Historic District Grant Program (HDGP), which is designed to:

Financially incentivize the Preservation, Rehabilitation, Restoration, and Reconstruction of Historic Structures and Sites to create a community that honors its past and encourages Historic Preservation.

The Board may award up to \$127,136 FY26 for both emergency and competitive grants from the funding sources below:

- Lower Park Ave RDA: \$50,000
- Main Street RDA: \$30,000
- Citywide (General Fund): \$47,136

939 Empire Avenue is within the Lower Park Ave RDA and therefore the funding for this grant would be sourced from the Lower Park Ave RDA fund, which has a balance of \$50,000 in FY26. This is the first grant application in FY26 that has been submitted and if awarded, would result in a remaining balance of \$40,195 for the Lower Park Ave RDA.

The City provides a 50% matching grant for eligible work that may include but is not limited to:

- Painting Exterior

- Repairing/restoring/replacing windows
- **Repointing masonry**
- Repairing or replacing roofs
- Electrical updating
- Upgrading mechanical systems
- Upgrading insulation
- Reconstructing Historic porches
- **Restoring Historic features**

Ineligible work includes but is not limited to:

- Acquisition costs
- New additions
- Landscaping/flatwork
- Interior remodeling/new finishes
- Interior paint

The Criteria Evaluation below was provided to the Applicant through the HDGP Application. Staff requests the Board please review and score the request prior to the public meeting and determine whether the Applicant qualifies for an award.

Criteria Evaluation	Scoring Value
Character defining historic elements of the structure and/or site will be preserved and/or restored as viewed from the primary right-of-way.	0: Non-visible historic elements will be preserved or restored 1: Few visible historic elements will be preserved or restored 2: Several visible historic elements will be preserved or restored 3: Majority of visible historic elements will be preserved or restored 4: All visible historic elements will be preserved or restored
Proposed improvements to the site will positively impact the vitality of the historic context of the neighborhood.	0: No proposed improvements 1: Minimal positive impact 2: General positive impact 3: Significant positive impact
Proposed design and scope of work uses best practices for the treatment of historic materials.	0: None 1: Insufficient 2: Average 3: Above average 4: Exceeds expectations
The historic features and elements of the structure and/or site will be enhanced by the proposed work.	0: Minimally enhanced 1: Generally enhance 2: Exceeds expectations
Proposed work facilitates reversal of non-historic elements or alterations.	0: None 1: Some 2: Exceeds expectations *Note: If no non-historic elements or alterations are present mark N/A.
Priority is given to restoration and treatment of historic materials, rather than replacing historic materials and features in-kind.	0: No priority given to restoration 1: Minimum priority given 2: Some priority given 3: General priority given 4: Exceeds expectations

Requirements for Awarded Grants

Grant recipients must accept and agree to a five-year lien with the City that is recorded against the property. If the property is sold within the five-year period, the applicant is responsible for repaying the city a pro-rated amount of the grant disbursement.

Based on public input, the Board requested Applicants be made aware of the lien requirement. Please note that in the HDGP application, the following information is provided and Applicants are required to provide their initials demonstrating they understand the terms of the HDGP:

Please review and initial the following prior to submitting your grant application:

MLT 1) I (we) understand I (we) will be required to provide copies of 1) invoices for the work, 2) proof of payment (e.g. receipts, invoices marked "paid", etc.), 3) a W-9 (grant income must be reported on income taxes), 4) a title report to confirm property legal description, and 5) photographs of the completed work. These items must be submitted to the City once the work is completed in order to begin the release of the grant monies.

MLT 2) I (we) understand I (we) will be required to sign a Historic Preservation Agreement, Trust Deed, and Trust Deed Note and record such instruments with the Summit County Recorder's Office for a term of 5 years. Following the passage of 5 years and my (our) satisfaction of the requirements of the Historic Preservation Agreement the City shall, upon written request, record a release of these documents with the Summit County Recorder's Office.

MLT 3) I (we) understand a grant award exceeding \$25,000 USD will require the recordation of a Historic Preservation Easement on my (our) property. In the event my (our) project is awarded \$25,000 USD or more, I (we) agree to provide a Historic Preservation Easement to Park City Municipal Corporation in a form acceptable to the City Attorney and agree to have such easement agreement recorded on my (our) property with the Summit County Recorder's Office.

MLT 4) I (we) understand Park City Municipal Corporation is constructing a database of current and prior grant award recipients' projects. This database may include exterior photographs of my (our) property but will not include interior photographs of the property. I (we) understand participation in this database is voluntary and (select one):

☒

AGREE TO PARTICIPATE

☐

DO NOT AGREE TO PARTICIPATE

Applicants are also provided with a draft copy of the lien for their review.

Grant Request

The Landmark Historic Site at 939 Empire Avenue, is known as the Haumann House, constructed circa 1897 and is described in the HSI Form as a one and one-half story pyramid house with a truncated hip roof. The building pad is raised approximately five feet from the finished road grade, as the lot rises slightly from front to back. The stone retaining wall runs the length of the Front Yard and is interrupted by two sets of steps leading to the main house and the north extension. The stone wall and concrete cap is deteriorated and unstable.



Figure 4: Historic photo of the Landmark Historic Site showing the original stone retaining wall and steps

On November 26, 2025, the Planning Department issued a Historic District Design Review waiver letter for the reconstruction of the retaining wall (Exhibit C). The HDDR waiver letter outlines requirements for the work to comply with standards for preservation and repair of historic retaining walls, according to Land Management Code [§ 15-13-2\(B\)\(1\)\(d\)](#) and best practices recommended by the City's Historic Preservation on-call consultant, in their November 25, 2025 Memo to the Planning Department.

The Applicant requests Historic District Grant funding to restore the historic retaining wall and steps with a total budget of \$19,611. The funding request is 50% of the total cost, which is \$9,805. The work is planned to commence in the Spring of 2026.

Department Review

The Planning Department and City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on November 19, 2025. The *Park Record* published courtesy notice on November 19, 2025.¹

¹ LMC [§ 15-1-21](#)

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The Historic Preservation Board may:

- Approve the Historic District Grant award for 939 Empire Avenue;
- Deny the Historic District Grant award for 939 Empire Avenue; or
- Request additional information and continue the discussion to a date certain.

Exhibits

A: Draft Final Action Letter

B: 939 Empire Avenue Grant Application

C: 2025 HDDR Waiver Letter

D: Historic Site Inventory Form



Planning Department

December 3, 2025

Marylou Toly

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address:	939 Empire Avenue
Zoning District:	Historic Residential-1
Application:	Historic District Grant
Project Number:	PL-25-06703
Action:	APPROVED WITH CONDITIONS (See Below)
Date of Final Action:	December 3, 2025
Project Summary:	The Applicant requests a \$9,805 Historic District Grant to repair the existing stone retaining wall at the front of the property.

Action Taken

On December 3, 2025, the Historic Preservation Board conducted a public hearing and approved a \$9,805 Historic District Grant for 939 Empire Avenue, a Landmark Historic Site, to repair the existing stone retaining wall at the front of the property, according to the following findings of fact, conclusions of law, and conditions of approval:

Findings of Fact

1. The Applicant submitted a Historic District Grant Application in Fiscal Year 2026, Quarter 1 to assist with the cost to repair the stone retaining wall at 939 Empire Avenue, a Landmark Historic Site known as the Haumann House, constructed circa 1897, during the Mining Boom era.
2. The stone retaining wall runs the length of the Front Yard and is deteriorated and unstable; according to Land Management Code § 15-13-2(B)(1)(d), Historic retaining walls shall be preserved to the greatest extent possible and Historic retaining walls should be repaired with materials that closely approximate the original.



Planning Department

3. Pursuant to the Historic District Grant Program requirements, restoring Historic features and repointing masonry are work items that are eligible for grant funding.
4. The November 26, 2025 Historic District Design Review waiver letter for the proposed work to reconstruct the retaining wall, includes requirements for the work to comply with standards for preservation and repair of historic retaining walls, according to Land Management Code § 15-13-2(B)(1)(d) and best practices recommended by the City's Historic Preservation on-call consultant, in their November 25, 2025 Memo to the Planning Department.

Conclusions of Law

1. At the December 3, 2025 Historic Preservation Board meeting, the Board determined the grant request qualifies for a Historic District Grant award.
2. On November 26, 2025, the Planning Department issued a Historic District Design Review (HDDR) waiver letter for the repair work in compliance with Land Management Code Sections 15-11-12(A)(3) *Historic District or Historic Site Review* and Section 15-13-2 *Regulations for Historic Residential Sites*.

Conditions of Approval

1. Improvements shall be completed in compliance with the Secretary of the Interior's Standards for Rehabilitation and the requirements of the HDDR Waiver Letter, dated November 26, 2025 (Attachment 1).
2. Work shall adhere to best practices and Conditions of Approval outlined in the Historic Preservation Memo, dated November 25, 2025, which is included as an attachment to the HDDR Waiver Letter.
3. The grantee shall maintain the architectural significance of the structure, retain and/or restore the historic character of the structure, preserve the structural integrity of the structure, and perform normal maintenance and repairs.
4. The grantee shall complete the work funded by the Historic District Grant within one year of approval of the grant application.
5. The Applicant shall submit a photograph of completed work to Planning Staff.
6. The grantee shall submit proof of payment to the Planning Department for disbursement of funds within 30 days of final inspection.
7. Prior to issuance of the grant, the grantee shall agree to and execute a five-year lien with the City in a form approved by the City Attorney's Office and record such lien with the Summit County Recorder's Office. Should the property be sold within the five-year period, the grantee is responsible for repaying the City a pro-



Planning Department

rated amount of the grant disbursement. If the property is sold within one year, 100% of the awarded funds shall be paid back to the City.

8. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director prior to construction.

If you have questions, concerns, or comments, please contact elissa.martin@parkcity.gov, 435-699-7741.

Sincerely,

Douglas Stephens, Historic Preservation Board Chair

HISTORIC DISTRICT GRANT PACKET

**FISCAL YEAR 2026
QUARTER ONE**

JULY 1, 2025 – SEPTEMBER 30, 2025

THIS APPLICATION CYCLE IS NOT RETROACTIVE FOR WORK ALREADY COMPLETED.

**INFORMATION GUIDE
AND APPLICATION**

HISTORIC DISTRICT COMPETITIVE GRANT INFORMATION GUIDE

MISSION STATEMENT:

The Historic District Grant Program is designed to financially incentivize the Preservation, Rehabilitation, and Restoration of Historic Structures and Sites designated on the City's Historic Sites Inventory to create a community that honors its past and encourages Historic Preservation.

ELIGIBILITY:

Property owners of Significant or Landmark Historic Sites on Park City's Historic Sites Inventory may apply for a 50% matching competitive grant. Eligible work may include interior and/or exterior repair, Preservation, Rehabilitation, or Restoration, including Historic Architectural features and structural elements, as well as mechanical systems.

Depending on the existing conditions and specific project scope, some examples of eligible work include, but are not limited to:

- Repairing/Restoring/replacing windows
- Repointing masonry
- Repairing or replacing roofs
- Painting exterior
- Electrical updating*
- Upgrading mechanical systems
- Upgrading insulation
- Reconstructing Historic porches
- Restoring Historic features

Ineligible Work includes, but is not limited to:

- Acquisition costs
- New additions
- Landscaping/flatwork
- Interior remodeling/new finishes
- Interior paint

EMERGENCY GRANT

Property owners may apply for an emergency grant up to \$5,000 for Emergency Repair Work defined in the Land Management Code as:

- *Work requiring prompt approval because of an imminent threat to the safety or welfare of the public or to the structure or site. The scope of the approval for emergency repair work shall only be to the extent related to stabilizing or repairing the emergency situation.**

**The approvals for emergency repair work shall be limited to the scope of the emergency work.*

COMPETITIVE GRANT

Property owners may apply for a competitive grant of up to 50% of the cost to preserve, rehabilitate, or restore a Historic Structure:

- **Preservation:** *The act or process of applying measures necessary to sustain the existing form, integrity, and materials of a Historic Property. Work, including preliminary measures to protect and stabilize the Property, generally focuses upon ongoing maintenance and repair of Historic materials and features rather than extensive replacement and new construction.*
- **Rehabilitation:** *The act or process of making possible a compatible Use for a Property through repair, alterations, and additions while preserving those portions or features which convey its Historical, cultural, or architectural values.*
- **Restoration:** *The act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of removal of features from other periods in its history and Reconstruction of missing features from the restoration period.*

Application:

Applications may be submitted to the Planning Department June 25, 2025 through September 30, 2025. Applications are submitted for Historic Preservation Board for review at their next regularly scheduled meeting, held on the first Wednesday of each month in Park City Council Chambers, 445 Marsac Avenue.

Work proposed to be completed with grant funds must be completed within one year of approval.

Submit paper applications to the Planning Department in City Hall at 445 Marsac Avenue, Park City, Utah 84060.

Mailed applications shall be addressed as follows:

Park City Municipal Corporation
ATTN: Park City Planning Department
PO Box 1480
Park City, UT 84060

Email applications to planning@parkcity.org. Note we cannot accept emails 8MB or larger. Larger files must be sent through a file sharing service

Please review and initial the following prior to submitting your grant application:

MLT 1) I (we) understand I (we) will be required to provide copies of 1) invoices for the work, 2) proof of payment (e.g. receipts, invoices marked "paid", etc.), 3) a W-9 (grant income must be reported on income taxes), 4) a title report to confirm property legal description, and 5) photographs of the completed work. These items must be submitted to the City once the work is completed in order to begin the release of the grant monies.

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☒ **AGREE TO PARTICIPATE**
☐ **DO NOT AGREE TO PARTICIPATE**

HISTORIC DISTRICT COMPETITIVE GRANT APPLICATION

For Office Use Only

ADMINISTRATIVE REVIEW

PROJECT PLANNER

APPLICATION #

APPROVED

DATE RECEIVED

AMOUNT

EXPIRATION

DENIED

BLDG PERMIT

PROJECT INFORMATION

NAME:

MARYLOU TOLY

ADDRESS:

[REDACTED]

TAX ID:

OR

SUBDIVISION:

OR

SURVEY:

LOT #:

BLOCK #:

APPLICANT INFORMATION

NAME:

Marylou Toly

MAILING

ADDRESS:

[REDACTED]

PHONE #:

EMAIL:

[REDACTED]

APPLICANT REPRESENTATIVE INFORMATION

NAME:

[REDACTED]

N/A

PHONE #:

() -

EMAIL:

PRIMARY

ADDRESS:

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

SUBMITTAL REQUIREMENTS

1. Completed and signed **Historic District Grant Application**.
2. Written **Project Description** describing the proposed scope of work, detailed specifications, and reason for applying for a Historic District Grant.
3. Submittal of a **Cost Estimate** for the proposed work.
4. **Breakdown of Proposed Work and Estimated Costs** of the proposed eligible improvements (page 6).
5. **Proposed Timeline** of the proposed project (page 8).
6. **Historic District Design Review** approval letter. Please contact the Planning Department if this has not been completed. The grant application will not be accepted without this approval letter.
7. Schematic, conceptual **Drawings** as they apply to the proposed project. This may include but is not limited to site plans, elevations, and floor plans.
8. **Color Photographs** of existing conditions. Include a general view of the building and setting, including the building in the context of the streetscape; the front; perspective view showing front façade and one side, and rear façade and one side; detailed view of affected work area.

BREAKDOWN OF ESTIMATED COSTS

(SEE ATTACHMENT)

SCOPE OF WORK	OWNER'S PORTION	CITY'S PORTION	ESTIMATED TOTAL COST
Permits	4175	4175	8350
General Condition	475	475	950
Direct project cost	135	135	270
Demolition	297	297	594
Earth work	416	416	833
Concrete	833	833	1667
Stone work	3256	3256	6513
Contingency	505	505	1011
Insurance	71	71	142
Precast Cap	1420	1420	2841
Minor remaining	727	727	1454
Gravel remaining	800	800	1601
Total	\$ 9805⁵⁰	\$ 9805⁵⁰	\$ 19,611

Grant Request: \$ 9805⁵⁰ (Up to 50% of Total Cost Reimbursable)
Match: \$ 9805⁵⁰ (Applicant's Contribution)
Total Project Budget: \$ 19611,00 (Grant Request + Local Match)
Match Source: Applicant
Match Type: _____

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

PROPOSED TIMELINE (Work must be completed within one year of approval of a grant award)

- Begin May of 2026
- 3 week timeline

(SEE ATTACHED)

ACKNOWLEDGMENT OF RESPONSIBILITY

This is to certify that I am making an application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am a party whom the City should contact regarding any matter pertaining to this application.

I have read and understood the instructions supplied by Park City for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I understand that my application is not deemed complete until a Project Planner has reviewed the application and has notified me that it has been deemed complete.

I will keep myself informed of the deadlines for submission of material and the progress of this application. I understand that a staff report will be made available for my review three days prior to any public hearings or public meetings. This report will be on file and available at the Planning Department in the Marsac Building.

I further understand that additional fees may be charged for the City's review of the proposal. Any additional analysis required would be processed through the City's consultants with an estimate of time/expense provided prior to an authorization with the study.

Signature of Applicant: _____

Name of Applicant: _____

Mary Lou Tolyn

Mailing Address: _____

Phone: _____

Email: _____

Type of Application: _____

Historic Grant Application

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action. I further affirm that I am aware of the City policy that no application will be accepted nor work performed for properties that are tax delinquent.

Name of Owner: _____

Mary Lou Tolyn

Mailing Address: _____

Street Address/ Legal Description of Subject Property: _____

Signature: _____

Mary Lou Tolyn

Date: _____

9-23-25

1. If you are not the fee owner attach a copy of your authorization to pursue this action provided by the fee owner.
2. If a corporation is fee titleholder, attach copy of the resolution of the Board of Directors authorizing the action.
3. If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.
4. If a Home Owner's Association is the applicant then the representative/president must attach a notarized letter stating they have notified the owners of the proposed application. A vote should be taken prior to the submittal and a statement of the outcome provided to the City along with the statement that the vote meets the requirements set forth in the CC&Rs.

Please note that this affirmation is not submitted in lieu of sufficient title evidence. You will be required to submit a title opinion, certificate of title, or title insurance policy showing your interest in the property prior to Final Action.

If you have questions regarding the requirements on this application or submittal process, please email planning@parkcity.org or call 435-615-5060.

Estimate

PROJECT: 939 Empire Avenue
LOCATION: Park City, Utah
Building Area: 12
DATE: September 18, 2025



Item-Code	Description	9/18/2025
01010	Permits, City Fees, Testing By Owner if Required	\$0
01200	General Conditions	\$950
01500	Direct Project Cost	\$270
02050	Demolition	\$594
02200	Earthwork	\$833
03310	Concrete	\$1,667
04210	Stonework	\$6,513
Subtotal		\$10,825
Contingency		\$1,011
Insurance		\$142
General Contractor Fee		\$1,737
Total Budget Estimate		\$13,715
Add Alternates		
1	Remove, crush and remake the remaining precast cap that is damaged	Add \$2,841
2	Minor repair to remaining wall	Add \$1,454
3	Grout remaining wall of the repaired wall	Add \$1,601
Adjusted Total if Adds are to be included		\$19,611

Scope of Work

Assumption have been made to complete this estimate
 Per Description and Photos Provided
 Base bid is for 10 feet of the end of the wall shown in the picture
 Alternate Adds are for the remaining length of the 1 wall, all other walls, stairs, etc are not included.
 Dismanteling of exisitng stone and precast is included
 Excavation and foundation preperation for foundation under repaired area only
 New foundation under repaired wall area with rebar is included
 Cleaning, and re-using stone in wall and setting to look like the existing from exterior view
 Installing stone in the current industry method from behind to increase longevity
 Rebar and wire reinforcement is included in reconstruction
 Crushing the existing precast caps for aggregate that will be used in the new caps is included
 Wall is a landscape type repair and is not a engineered retaining wall
 Part time supervision is included
 Schedule is proposed at 3 weeks
 Permits if required are not included in this proposal

Complete Contracting Company * 5457 West 11000 North, Suite 250, Highland, Utah 84003 * P:801-756-7000 F:801-756-2900

Detailed Scope

01010	Permits, City Fees, Testing	Quantity	Unit	Price	Total
	By Owner - NIC	1	LS	0.00	\$0
	Sub Total				\$0
01200	General Conditions	Quantity	Unit	Price	Total
	General Conditions	1	LS	949.69	\$950
	Sub Total				\$950
01500	Direct Project Cost	Quantity	Unit	Price	Total
	Direct Project Costs	1	LS	269.50	\$270
	Sub Total				\$270
02050	Demolition	Quantity	Unit	Price	Total
	Remove Existing Precast Cap	0.25	MD	475.00	\$119
	Remove Stone Back to Solid Area	1.00	MD	475.00	\$475
	Sub Total				\$594
02200	Earthwork	Quantity	Unit	Price	Total
	Hand Dig for Small Foundation	1.00	MD	475.00	\$475
	Install Gravel Bedding	20.00	SF	6.00	\$120
	Backfill Footing	0.50	MD	475.00	\$238
	Sub Total				\$833
03310	Concrete	Quantity	Unit	Price	Total
	New Wall Slab Footing w/ Rebar	2.22	CY	750.00	\$1,667
	Sub Total				\$1,667
04210	Stonework	Quantity	Unit	Price	Total
	Clean Mortar From Stone	0.50	MD	475.00	\$238
	Crush Existing Cap for Precast Mix	1.00	MD	475.00	\$475
	Remake Precast Caps From Existing	4.00	EA	250.00	\$1,000
	Install Mortar Based Stone	4.00	CD	1,200.00	\$4,800
	Sub Total				\$6,513

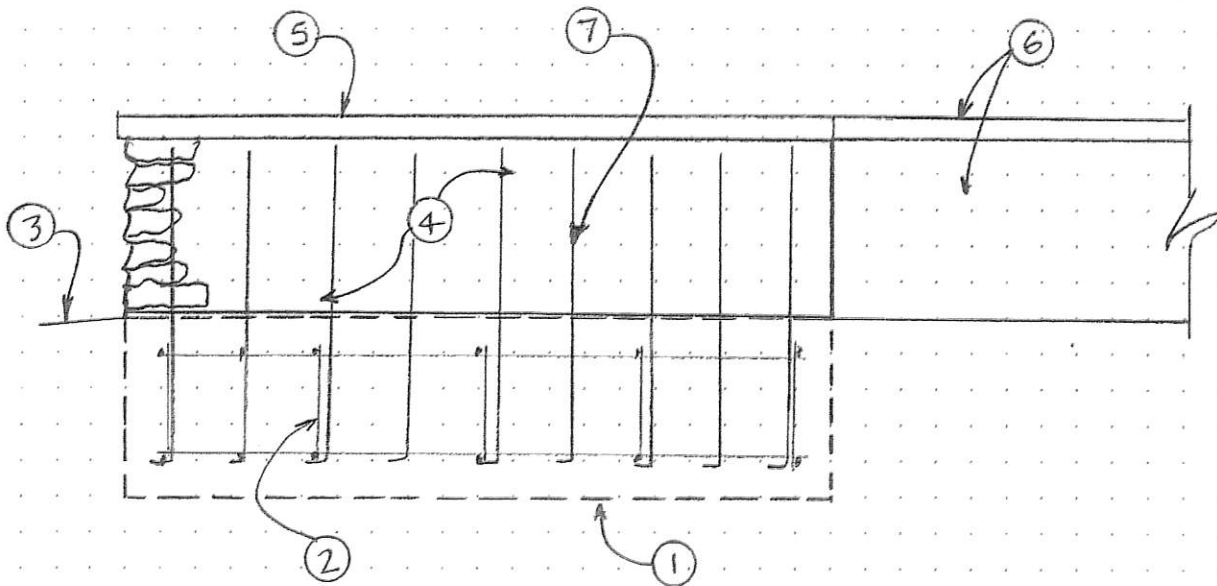
Complete Contracting Company * 5457 West 11000 North, Suite 250, Highland, Utah 84003 * P:801-756-7000 F:801-756-2900







9-19-25



REPAIRED WALL ELEVATION

N.T.S.

1. WALL FOOTING
2. REBAR FOR FOOTING
3. GRADE
4. STONE WALL
5. PRECAST CAP
6. EXISTING WALL
7. REBAR FOR STONE WALL REINFORCEMENT



Planning Department

November 26, 2025

Mary Lou Toly

Re: Historic District Design Review Waiver Letter
Property Address: 939 Empire Avenue
Zoning District: Historic Residential-1
Historic Significance: Landmark Site
PL-25-06757

Planning staff reviewed the Historic District Design Review (HDDR) Pre-Application for 939 Empire Avenue, a Landmark Historic Site in the Historic Residential-1 Zoning District to:

- Repair and reconstruct the Historic stone retaining wall along the front of the property.

The home, referred to as the Haumann House, was built circa 1897 during the historic Mining Boom Era (1872 to 1929). The stone retaining wall, steps, and path in the front yard are Historic according to the Historic Sites Inventory form.





Planning Department

Pursuant to Land Management Code (LMC) § 15-13-2(A)(6), “[d]eteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in appearance, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.”

The Applicant demonstrated that the stone wall and concrete cap are unstable and deteriorated. The Applicant proposes to reconstruct the retaining wall using salvaged materials and replacing missing or damaged stones with masonry that matches the existing stone type and caps. The reconstructed stone retaining wall be reinforced using methods recommended by the City’s historic preservation consultant (Attachment 1).

Following the review of project plans, planning staff determined the proposed work is minor, having little or no negative impact on the historic character of the surrounding neighborhood, the Historic District, or the Historic Structure. Pursuant to LMC § 15-11-12(A)(3), the project is not required to complete the full HDDR process. However, adherence to the following standards is required:

- Compliance with LMC §15-13-2, *Regulations for Historic Residential Sites*:
 - The historic stone shall be preserved and protected.
 - The height, setback, and dimensions of the historic retaining wall and stones shall be maintained.
 - The historic retaining wall shall be repaired with materials that closely approximate the original. Replace only those portions of the historic retaining wall that have deteriorated beyond repair.
 - When repair of deteriorated stone is not feasible, the replacement must reuse the existing stone to the greatest extent possible, and otherwise match the original in color, shape, size, material, and design.
 - To abate retaining wall failure, improve drainage behind the retaining wall so water drains away from the wall.
 - Repair and preserve historic stone and mortar.
 - Maintain the stone in its natural finish. It is not appropriate to paint, stain, or plaster over stone.



Planning Department

- Work shall adhere to best practices outlined in the Historic Preservation Memo, dated November 25, 2025 (Attachment 1), including Conditions of Approval:
 - **Structural Alignment:** Wall must be vertical or slightly sloped toward retained grade. Confirm 6" of compacted gravel aggregate below concrete. Confirm rebar installation.
 - **Material Consistency:** Replacement stone and mortar must match existing in type, size, and finish.
 - **Drainage Integrity:** Confirm installation of free-draining gravel and filter fabric.
 - **Craftsmanship:** Stones placed in running bond pattern; joints uniform and stable. Mortar retains its historic profile.
 - **Stability:** No loose or unstable stones.
 - **Documentation:** Provide photographic record of removal, foundation preparation, and reconstruction.
 - **Inspection:** Recommend inspection prior to backfilling and upon completion by the City.
- The proposed work requires a Building Permit through the Building Department and Final Inspection by both the Building and Planning Departments.
- Modifications to the project require a modification application submittal to the Planning Department, payment of application fee, review for compliance with required standards, and Planning and Building Department approval.
- This HDDR Waiver Letter and approval shall expire one year following the date of this letter at 5:00 PM (MT).

Please contact Elissa Martin, at elissa.martin@parkcity.gov or at 435-699-7741 with questions.

Sincerely,

Signed by:

Rebecca Ward

Rebecca Ward, Planning Director

CC: Elissa Martin

Attachment 1: Historic Preservation Best Practices Memo

HISTORIC SITE FORM - HISTORIC SITES INVENTORY

PARK CITY MUNICIPAL CORPORATION (10-08)

1 IDENTIFICATION

Name of Property: **Harry W. Haumann House**

Address: 939 EMPIRE AVE

AKA:

City, County: Park City, Summit County, Utah

Tax Number: SA-308

Current Owner Name: TOLY MARY LOU WHEELWRIGHT

Parent Parcel(s):

Current Owner Address: PO BOX 489; PARK CITY, UT 84060-0489

Legal Description (include acreage): N1/2 LOT 8 & ALL LOTS 9,10 & 11 BLOCK 29 SNYDERS ADDITION TO PARK CITY CONT 0.15 AC

2 STATUS/USE

Property Category

- ☒ building(s), main
- ☐ building(s), attached
- ☐ building(s), detached
- ☐ building(s), public
- ☐ building(s), accessory
- ☒ structure(s), wall

Evaluation*

- ☒ Landmark Site
- ☐ Significant Site
- ☐ Not Historic

Reconstruction

- Date:
- Permit #:
- ☐ Full ☐ Partial

Use

Original Use: Residential
Current Use: Residential

*National Register of Historic Places: ☐ ineligible ☒ eligible
☒ listed (date:7/12/1984 - Mining Boom Era Residences Thematic District)

3 DOCUMENTATION

Photos: Dates

- ☒ tax photo: c. 1940
- ☒ prints: 1983, 1995 & 2006
- ☐ historic: c.

Drawings and Plans

- ☐ measured floor plans
- ☐ site sketch map
- ☐ Historic American Bldg. Survey
- ☐ original plans:
- ☐ other:

Research Sources (check all sources consulted, whether useful or not)

- ☐ abstract of title
- ☐ tax card
- ☐ original building permit
- ☐ sewer permit
- ☒ Sanborn Maps
- ☐ obituary index
- ☐ city directories/gazetteers
- ☐ census records
- ☐ biographical encyclopedias
- ☐ newspapers
- ☒ city/county histories
- ☐ personal interviews
- ☐ Utah Hist. Research Center
- ☐ USHS Preservation Files
- ☐ USHS Architects File
- ☐ LDS Family History Library
- ☐ Park City Hist. Soc/Museum
- ☐ university library(ies):
- ☐ other:

Bibliographical References (books, articles, interviews, etc.) Attach copies of all research notes and materials.

Blaes, Dina & Beatrice Lufkin. "Final Report." Park City Historic Building Inventory. Salt Lake City: 2007.
Carter, Thomas and Goss, Peter. *Utah's Historic Architecture, 1847-1940: a Guide*. Salt Lake City, Utah: University of Utah Graduate School of Architecture and Utah State Historical Society, 1991.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1998.
Roberts, Allen. "Final Report." Park City Reconnaissance Level Survey. Salt Lake City: 1995.
Roper, Roger & Deborah Randall. "Residences of Mining Boom Era, Park City - Thematic Nomination." National Register of Historic Places Inventory, Nomination Form. 1984.

4 ARCHITECTURAL DESCRIPTION & INTEGRITY

Building Type and/or Style: Pyramid form / Victorian-vernacular style

No. Stories: 1 ½

Additions: ☐ none ☐ minor ☒ major (describe below) Alterations: ☐ none ☒ minor ☐ major (describe below)

Number of associated outbuildings and/or structures: ☐ accessory building(s), # ____; ☒ structure(s), # __1__.

Researcher/Organization: Preservation Solutions/Park City Municipal Corporation Date: 12-2008

General Condition of Exterior Materials:

- ☒ Good (Well maintained with no serious problems apparent.)
- ☐ Fair (Some problems are apparent. Describe the problems.):
- ☐ Poor (Major problems are apparent and constitute an imminent threat. Describe the problems.):
- ☐ Uninhabitable/Ruin

Materials (The physical elements that were combined or deposited during a particular period of time in a particular pattern or configuration. Describe the materials.):

Site: A stone retaining wall with concrete cap spans the frontage of the lot and has two breaks on the north and south to accommodate steps from the finished road grade to the building pad level. The wall appears in every photograph available of the home, but shows breaks at different places depending on where the steps were placed over time. Also, the condition of the wall is somewhat deteriorated.

Foundation: Unknown. Most historic homes in Park City were constructed with wooden sill foundation, but many were upgraded in the early twentieth century. Vertical wood cladding is obscuring the foundation. The 1995 photograph shows what appears to be a newer pier under the perimeter of the porch.

Walls: The exterior walls are clad in wood non-beveled (drop-novelty) siding. The siding is in good condition.

Roof: The roof is sheathed in asphalt shingles.

Windows/Doors: Windows on the main façade include large fixed-pane casement windows with multi-pane transom windows and single-pane double-hung sash windows. The main door appears to be original.

Essential Historical Form: ☒ Retains ☐ Does Not Retain, due to:

Location: ☒ Original Location ☐ Moved (date _____) Original Location:

Design (The combination of physical elements that create the form, plan, space, structure, and style. Describe additions and/or alterations from the original design, including dates--known or estimated--when alterations were made): The site has been altered from the 1983 NR nomination, excerpted below:

This house is a one and one half story frame pyramid house with a truncated hip roof. It is a variant of the basic four-room pyramid house. It is larger, one and one half stories instead of one, runs deeper on the lot, and has been fancied up with pent corners and a decorative porch. The porch has lathe turned piers, a spindle band and a geometric balustrade. Dormers project from the south and east sides of the building. Typical of the pyramid house and its variants is the symmetrical facade with a door slightly off center between two windows. The windows on the facade have broad single panes with leaded glass transom windows. All other windows are the one over one double hung sash type. An extension was added to the north side of 939 Empire between 1900 and 1907, according to the Sanborn Insurance maps. It has clipped gables, a porch spanning the facade, and a pent northeast corner. The door and broad single pane window on the facade were matched with those on the original section. The extension is set back, attached to the northwest corner of the house. Despite the extension the original integrity of the main block has been maintained. In style, materials and scale, the extension was built to complement the original section, and the setback minimizes its visual impact.

The geometric balustrade has been replaced by elements that appear to be based more on what is visible in the c. 1940 tax photo. Decorative fan brackets on the pent corners, visible in the tax photo, were not restored. The porch on the north extension, also visible in the c. 1940 tax photo, has been restored.

Setting (The physical environment--natural or manmade--of a historic site. Describe the setting and how it has changed over time.): The building sits on approximately .15 acres on a building pad raised approximately 5 feet from the finished road grade. The lot rises slightly from front to back. Vegetation includes lawn, small planting beds at the perimeter of the house and in the side yards. The rear yard includes large evergreen and deciduous trees. A stone retaining wall runs the length of the lot and is interrupted by two sets of steps leading to the main house and the north extension. The stone wall, capped with concrete, is deteriorated. Also, like most of the historic houses in Park

City, the overall setting is a compact streetscape with narrow side yards and other homes of similar scale within close proximity.

Workmanship (The physical evidence of the crafts of a particular culture or people during a given period in history. Describe the distinctive elements.): The distinctive elements that define this as a typical Park City mining era house are the simple methods of construction, the use of non-beveled (drop-novelty) wood siding, the plan type or form (pyramid), the simple roof form, the informal landscaping, the restrained ornamentation, and the plain finishes.

Feeling (Describe the property's historic character.): The physical elements of the site, in combination, convey a sense of life in a western mining town of the late nineteenth and early twentieth centuries.

Association (Describe the link between the important historic era or person and the property.): The Pyramid house is one of the three most common house types built in Park City during the mining era.

This site was listed on the National Register of Historic Places in 1984 as part of the *Park City Mining Boom Era Residences Thematic District*. It was built within the historic period, defined as 1872 to 1929 in the district nomination, and retains its historic integrity. As a result, it meets the criteria set forth in LMC Chapter 15-11 for designation as a Landmark Site.

5 SIGNIFICANCE

Architect: ☒ Not Known ☐ Known: (source:)

Date of Construction: c. 1897¹

Builder: ☒ Not Known ☐ Known: (source:)

The site must represent an important part of the history or architecture of the community. A site need only be significant under one of the three areas listed below:

1. Historic Era:

- ☒ Settlement & Mining Boom Era (1868-1893)
- ☐ Mature Mining Era (1894-1930)
- ☐ Mining Decline & Emergence of Recreation Industry (1931-1962)

Park City was the center of one of the top three metal mining districts in the state during Utah's mining boom period of the late nineteenth and early twentieth centuries, and it is one of only two major metal mining communities that have survived to the present. Park City's houses are the largest and best-preserved group of residential buildings in a metal mining town in Utah. As such, they provide the most complete documentation of the residential character of mining towns of that period, including their settlement patterns, building materials, construction techniques, and socio-economic make-up. The residences also represent the state's largest collection of nineteenth and early twentieth century frame houses. They contribute to our understanding of a significant aspect of Park City's economic growth and architectural development as a mining community.²

2. Persons (Describe how the site is associated with the lives of persons who were of historic importance to the community or those who were significant in the history of the state, region, or nation):

3. Architecture (Describe how the site exemplifies noteworthy methods of construction, materials or craftsmanship used during the historic period or is the work of a master craftsman or notable architect):

6 PHOTOS

Digital color photographs are on file with the Planning Department, Park City Municipal Corp.

¹Utah State Historical Society, Structure/Site Form, 1984.

² From "Residences of Mining Boom Era, Park City - Thematic Nomination" written by Roger Roper, 1984.

- Photo No. 1:** East elevation (primary façade). Camera facing west, 2006.
Photo No. 2: Southeast oblique. Camera facing northwest, 1995.
Photo No. 3: Northeast oblique. Camera facing southwest, 1983.
Photo No. 4: Southeast oblique. Camera facing northwest, c. 1940 tax photo.



Structure/Site Information Form

1
IDENTIFICATIONStreet Address: 939 Empire
Park City, Summit County, Utah

UTM: 12 457620 4499570

Name of Structure: Harry W. Haumann House

T. R. S.

Present Owner: Mary Lou Toly

Owner Address: P.O. Box 14, Park City, Utah 84060

Year Built (Tax Record):

Effective Age:

Tax #: SA 308

Legal Description

Kind of Building:

North half Lot 8 and all Lots 9, 10, 11, and 23 Block 29, Snyder's Addition to Park City Survey and all that part of Lot 24 Block 29 Snyder's Addition on the Northerly side of Crescent Tramway and distant along said tram 5 feet from center also 1 foot from Northerly side of barn which stands on Southerly side Lot 24. Less than one acre.

2
STATUS/USE

Original Owner: Harry W. Haumann

Construction Date: c.1897

Demolition Date:

Original Use: Residence

Present Use:

Building Condition:

Integrity:

Preliminary Evaluation:

Final Register Status:

☐ Excellent☐ Site☐ Unaltered☒ Significant☐ Not of the☐ National Landmark☐ District☒ Good☐ Ruins☒ Minor Alterations☐ Contributory

Historic Period

☐ National Register☐ Multi-Resource☐ Deteriorated☐ Major Alterations☐ Not Contributory☐ State Register☐ Thematic3
DOCUMENTATION

Photography:

Date of Slides: 1983

Slide No.:

Date of Photographs: 1983

Photo No.:

Views: ☐ Front ☐ Side ☐ Rear ☐ OtherViews: ☐ Front ☐ Side ☐ Rear ☐ Other

Research Sources:

☒ Abstract of Title☒ Sanborn Maps☒ Newspapers☐ U of U Library☒ Plat Records/Map☐ City Directories☐ Utah State Historical Society☐ BYU Library☒ Tax Card & Photo☐ Biographical Encyclopedias☐ Personal Interviews☐ USU Library☐ Building Permit☒ Obituary Index☐ LDS Church Archives☐ SLC Library☐ Sewer Permit☒ County & City Histories☐ LDS Genealogical Society☒ Other Census Records

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

1910 Census Records. Summit County, Park City Precinct, p. 170-A.

Street Address: 939 Empire

Site No:

Architect/Builder: Unknown

Building Materials: Wood

Building Type/Style: Pyramid House

Description of physical appearance & significant architectural features:
(Include additions, alterations, ancillary structures, and landscaping if applicable)

This house is a one and one half story frame pyramid house with a truncated hip roof. It is a variant of the basic four room pyramid house. It is larger, one and one half stories instead of one, runs deeper on the lot, and has been fancied up with pent corners and a decorative porch. The porch has lathe turned piers, a spindle band and a geometric balustrade. Dormers project from the south and east sides of the building. Typical of the pyramid house and its variants is the symmetrical facade with a door slightly off center between two windows. The windows on the facade have broad single panes with leaded glass transom windows. All other windows are the one over one double hung sash type.

An extension was added to the north side of 939 Empire between 1900 and 1907, according to the Sanborn Insurance maps. It has clipped gables, a porch spanning the facade, and a pent northeast corner. The door and broad single pane window on the facade were matched with those on the original section. The extension is set back, attached to the northwest corner of the house. Despite the extension the original integrity of the main block has been maintained. In style, materials and scale, the extension was built to complement the original section, and the setback minimizes its visual impact.

Statement of Historical Significance:

Construction Date: c. 1897

Built c. 1897, the Harry W. Haumann House at 939 Empire is architecturally significant as one of 69 extant pyramid houses in Park City, 28 of which are included in this nomination. Of the 28 being nominated, 11 are true pyramid houses and 17 are variants of the basic type. This house is one of the variants of the pyramid houses. The pyramid house is one of the three most common house types built during the early period of Park City's mining boom era, and significantly contributes to the character of the residential area. It appeared early on, but survived with variations longer than the other two types.

This house was built between 1889 and 1900, as indicated by Sanborn Insurance Maps, having probably been built in 1897 for Harry W. Haumann and his wife. The property was purchased in November of 1896 by Haumann from the Park City Townsite Corporation, and soon after granted a trust deed, apparently to secure financing for the construction of this house. A \$300 mortgage with the J.C. Weeter Lumber Company in December of 1897 also suggests that the house was built at that time. Haumann, about whom nothing is known, owned the property until 1901, when he sold it to Arthur R. Weeter, who was married that same year.

Arthur R. Weeter was apparently the younger brother of John C. Weeter (843 Norfolk), whose lumber company (J.C. Weeter Lumber Company) was in business in Park City during the 1890s. In addition to sharing the same unusual last name, both men were born in Pennsylvania and both were engaged in the lumber business. Arthur was born in 1877 and probably came to Park City in the mid-to-late 1890s to work in his brother's lumber business. After that business closed its doors, Arthur helped organize the Summit Lumber Company in
(See continuation sheet)

939 Empire
History continued:

1900, and he was listed in the 1910 census records as a lumber company salesman. The 1910 census records also show him as being the owner/occupant of this house, which was referred to as 937 Empire at that time. His wife, Mattie L., whom he had married in 1901, was also listed as a resident of this house.

The physical appearance of this house is very similar to that of John C. Weeter's house at 843 Norfolk, which is accountable by the fact that the J.C. Weeter Lumber Company was involved in its construction. It is also a possibility, though remote, that this house was built for Arthur Weeter, who may have wanted a home like his brother's. Since the house was built by 1900 and Weeter did not own the property until 1901, the only explanation for that assumption would be that perhaps the 1901 purchase date of the property by Weeter was the date that the deed was filed, but that the actual transaction between Haumann and Weeter had occurred some time earlier. Weeter did have the large addition on the north of this house built between 1900 and 1907, as indicated by the Sanborn Insurance Maps. That addition was apparently intended for use as an apartment, since the 1910 census records show Edward B. Carnan, his wife Margaret, and their seven-year-old son as renting a portion of the Weeter's house. The Weeters owned this house until 1912, then apparently left the area.

Subsequent owners of this house include F.D. Halm (1912-22), Clyde Peter Paul (1922-34), and H.V. Pederson (1934-61).



Harry W. Haumann House

939 Empire

Park City, Summit County, Utah

Northeast corner

Photo by Debbie Temme, October 1983

Negative: Utah State Historical Society





Historic Preservation Board Staff Report



Subject: 218 Sandridge Road
A Significant Historic Site
Application: PL-25-06745
Author: Jacob Klopfenstein, Planner II
Date: December 3, 2025
Type of Item: Modification

Recommendation

(I) Review the requested modification to the Historic Preservation Board's approval for 218 Sandridge Road, a Significant Historic Site, for Material Deconstruction of the 1889- and 1907-era roofs of the Structure and (II) consider approving the modification based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the draft Final Action Letter (Exhibit A).

Description

Applicant: Dennis Hranitzky
Molly Guinan, Applicant Representative

Location: 218 Sandridge Road
A Significant Historic Site

Zoning District: Historic Residential – 1 (HR-1)

Adjacent Land Uses: Residential, Public Right-of-Way (ROW)

Reason for Review: The Historic Preservation Board reviews requests for Material Deconstruction for Sites designated on the Park City Historic Sites Inventory.¹

HDDR	Historic District Design Review
HPB	Historic Preservation Board
HR-1	Historic Residential – 1
LMC	Land Management Code
ROW	Right-of-Way
SFD	Single-Family Dwelling

Terms that are capitalized as proper nouns throughout this staff report are defined in LMC [§ 15-15-1](#).

Background

The [Historic Site Form](#) indicates the original Significant Historic Structure at 218 Sandridge Road was constructed c. 1895 and is a cross-wing type house or T/L

¹ LMC [15-11-12.5\(A\)\(2\)](#)

cottage, which was one of the three main house types constructed during the Mature Mining Era (1894-1930) of Park City. Several additions modified the structure in 1900, the 1940s, and the 1960s, but the Structure has retained its Historic form:

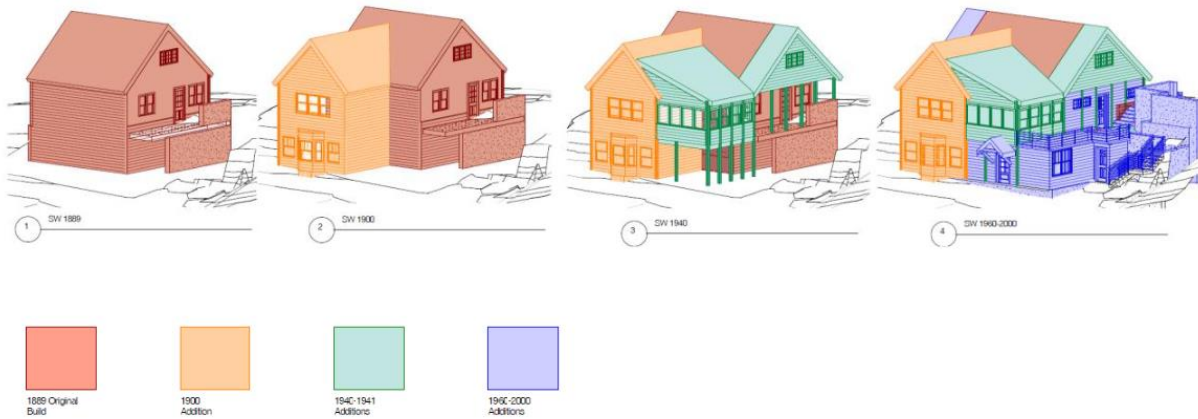


Figure 1: Applicant's illustration showing various additions to the Historic Structure at 218 Sandridge Road.

On November 1, 2023, the Historic Preservation Board approved in part, and continued in part, the applicant's Material Deconstruction request ([November 1, 2023 Historic Preservation Board Packet](#), Item 5.D; [Meeting Minutes](#) p. 13-21). The Board unanimously approved the Material Deconstruction of the 1941 roofline, which will restore the 1907 roofline.² The Board continued the Applicant's Material Deconstruction request of 200 square feet of the 1889 roof form to January 3, 2024 ([Minutes](#), p. 13-21). The Board then continued the discussion again to February 7, 2024.

On February 7, 2024, the Board approved the applicant's Material Deconstruction request to remove 48 square feet of 1940s-era siding on the southern façade of the building and to remove 64 square feet of the 1889 Roof Form ([February 7, 2024 Historic Preservation Board Packet](#), Item 6.B; [Meeting Minutes](#), pp. 8-17). As part of the approval, the Board determined that the removal of the 1889 roof material does not negatively impact the historic roof form and held its earlier finding that the removal of the 1941 addition's roof restores the roofline of the 1907 addition (see Exhibit C, 2024 Material Deconstruction Final Action Letter). The Board included the November 1, 2023 decision to approve the applicant's Material Deconstruction of the 1941 roofline, which restored the 1907 roofline, in the February 7, 2024 Final Action Letter.

On January 6, 2025, the Applicant entered into a Cash Deposit Agreement in accordance with the City preservation policy outlined in LMC [§ 15-11-9](#) to ensure protection of Historic materials throughout construction and compliance with the approved Historic Preservation Plan (Exhibit G).

² This roofline is depicted in a 1907 Sanborn Fire Insurance map. The exact year when this roof form was added to 218 Sandridge is unknown, so it is alternately referred to as the 1900s-era roofline and 1907 roofline in previous documents and this report.

On September 8, 2025, the City issued Building Permit #25-0638 for 218 Sandridge.

In October 2025, the Applicant filed a Modification application to:

- Remove the Historic 1907 roof form and reconstruct it with proper structuring and new standing seam-metal roofing, salvaging all possible salvageable Historic Materials, and
- Remove the Historic 1889 roof form and reconstruct it with proper structuring and new standing seam-metal roofing, salvaging all possible salvageable Historic Materials.

The Applicant indicated that the exterior roof materials of the Historic Structure were replaced with standing-seam metal roofing around 2013, and there are no longer any Historic materials on the exterior of the roof. However, some of the interior wood framing of the roof is Historic material.



Figure 2: Applicant's photo showing deteriorated roof structure on the Significant Historic Structure at 218 Sandridge Road in October 2025.



Figure 3: Applicant's photos showing west wall of the Historic 1907 addition at 218 Sandridge in October 2025.

On November 17, 2025, the Historic Preservation Board conducted a public hearing and continued the Applicant's Material Deconstruction request to December 3, 2025 ([Meeting Packet](#), Item 6B; [Meeting Recording](#)). The Applicant initially requested approval for the full deconstruction of the roofs. Staff did not find that the Applicant's initial request complied with LMC [§ 15-11-15](#) *Reconstruction Of An Existing Historic Building Or Historic Structure*. Board members discussed with the Applicant and recommended that a Material Deconstruction request reviewed by the board under LMC [§ 15-11-12.5](#) would be more appropriate for the Applicant to pursue moving forward.

Please see Exhibit B for the Applicant's Material Deconstruction plans and narrative.

Analysis

(I) The Material Deconstruction proposal for the 1889 and 1907 roof forms of the Historic Structure complies, as conditioned, with Land Management Code Section 15-11-12.5 *Historic Preservation Board Review For Material Deconstruction*.

The Applicant seeks a modification to the February 7, 2024 Historic Preservation Board Material Deconstruction approval (Exhibit C) for Material Deconstruction of the Historic 1889 and 1907 roof forms.

LMC [§ 15-15-1](#) defines Material Deconstruction or Dismantling as: "The disassembly of structures for the purpose of salvaging and reusing as many of the construction materials or building components. In some cases, deconstruction or dismantling may be used to remove non-historic materials from a historic site or structure or to remove those historic construction materials or building components that are beyond repair."

The Applicant proposes Material Deconstruction of the 1889 and 1907 roof forms, salvaging and reusing as many of the construction materials or building components as possible.

The Applicant indicated that the exterior roof materials are not Historic, but some of the interior framing and beams are Historic. Condition of Approval 3 requires that the City Historic Preservation consultant is present at the Site during the Material Deconstruction of the roof forms to evaluate Historic materials that are to be protected and retained within the final construction.

Pursuant to LMC [§ 15-11-12.5](#), the Historic Preservation Board analyzes proposals for Material Deconstruction involving Historic Sites for compliance with LMC [§ 15-13-2](#) *Regulations For Historic Residential Sites*.

Relevant standards are outlined below with staff analysis:

<i>LMC § 15-13-2 Requirement</i>	<i>Analysis</i>
LMC § 15-13-2(A)(3): The historic exterior	Condition of Approval recommended:

features of a building should be retained and preserved.	<p>The Applicant proposes replacing the non-Historic standing seam metal roof on the 1889 and 1907 roof forms and protecting Historic materials within the roofs and salvaging Historic material within the roof forms. The Applicant does not propose any additional changes to Historic exterior materials except for the changes approved by the Historic Preservation Board on February 7, 2024 (see Exhibit C).</p> <p>Condition of Approval 3 requires the Applicant to protect and preserve all original Historic Materials that are found to be salvageable within the roof forms.</p>
<p>LMC § 15-13-2(A)(6): Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in appearance, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.</p>	<p>Conditions of Approval recommended: The Applicant proposes replacing the non-Historic standing seam metal roof on the 1889 and 1907 roof forms and protecting and preserving salvageable historic material within the roof forms.</p> <p>Condition of Approval 3 requires the Applicant to reuse all original Historic Materials that are found to be salvageable. Condition of Approval 4 requires that any replacement materials shall match the original in appearance, dimension, texture, material, and finish.</p>
<p>LMC § 15-13-2(A)(10): New construction such as new additions, exterior alterations, repairs, upgrades, etc., should not destroy historic materials, features, and spatial relationships that characterize the historic site or historic building.</p>	<p>Conditions of Approval recommended: The Applicant does not propose exterior alterations that would destroy Historic materials. Condition of Approval 4 requires that any replacement materials shall match the original in appearance, dimension, texture, material, and finish.</p>
<p>LMC § 15-13-2(B)(2)(e)(1): Avoid removing or obstructing a historic building's elements and materials when installing gutters and downspouts.</p>	<p>Condition of Approval recommended: Condition of Approval 5 prohibits the Applicant from obstructing Historic elements of the Structure when installing gutters and downspouts for the roof.</p>

LMC § 15-13-2(B)(2)(e)(2): When new gutters are needed, the most appropriate design for hanging gutters is half round. Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the right-of-way.	Condition of Approval recommended: Condition of Approval 6 requires the Applicant to use half-round gutters and visually minimize downspouts.
LMC § 15-13-2(B)(2)(e)(3): Water from gutters and downspouts shall drain away from the historic structure.	Condition of Approval recommended: Condition of Approval 7 requires the Applicant to design gutters and downspouts such that water drains away from the Historic Structure.
LMC § 15-13-2(B)(2)(f)(1): Maintain and preserve historic chimneys and their decorative features as they are important character-defining features of historic structures.	Complies: The Applicant proposes salvaging and reconstructing an exterior chimney above the Historic 1907 roof form.
LMC § 15-13-2(B)(2)(f)(3): Repairs to chimneys shall be made so as to retain historic materials and design.	Condition of Approval recommended: The Applicant proposes salvaging and reconstructing an exterior chimney above the Historic 1907 roof form. Condition of Approval 4 requires that any replacement materials shall match the original in appearance, dimension, texture, material, and finish.
LMC § 15-13-2(B)(2)(f)(4): Chimneys shall not be covered with non-historic materials.	Complies: The Applicant proposes salvaging and reconstructing the chimney using the original Historic Materials.
LMC § 15-13-2(B)(2)(f)(5): New chimneys and stove pipes shall be of a size, scale, and design that are appropriate to the character and style of the historic structure.	The Applicant does not propose any new chimneys or stovepipes as part of the proposed roof reconstruction.

Other conditions of approval regarding previous conditions of approval, modifications, inspections, and expiration of approval are outlined in the Draft Final Action Letter (Exhibit A).

Department Review

The Planning Department, Executive Department, and City Attorney's Office reviewed this report.

Notice

Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on October 29, 2025. Staff mailed courtesy notice to property owners within 300 feet on October 31, 2025. The *Park Record* published courtesy notice on November 1, 2025.³

The Historic Preservation Board opened and closed the public hearing for the modification request on November 17, 2025 and continued the item to December 3, 2025.

Public Input

Staff did not receive any public input at the time this report was published.

Alternatives

The Historic Preservation Board may:

- Approve the modification request for 218 Sandridge Road based on the Findings of Fact, Conclusions of Law, and Conditions of Approval outlined in the Draft Final Action Letter (Exhibit A),
- Deny the modification for 218 Sandridge Road and direct staff to draft Findings for the denial, or
- Request additional information and continue the discussion to a date certain or uncertain.

Exhibits

- A: Draft Final Action Letter
- B: Applicant's Narrative and Plans
- C: 2024 Material Deconstruction Final Action Letter
- D: 2024 Historic District Design Review Final Action Letter
- E: 218 Sandridge Plat Amendment
- F: Structural Engineer Determination for 218 Sandridge
- G: Historic Preservation Plan for 218 Sandridge

³ LMC [§ 15-1-21](#)



Planning Department

December 3, 2025

Molly Guinan
Elliott Work Group

CC: Dennis Hranitzky

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address: 218 Sandridge Road

Zoning District: Historic Residential – 1 (HR-1)

Application: Modification to Historic District Design Review

Project Number: PL-25-06745

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: December 3, 2025

Project Summary: The Applicant requests a Modification to the Historic District Design Review (HDDR) for Material Deconstruction of the 1889- and 1907-era roofs of the Significant Historic Structure.

Action Taken

On November 17, 2025, the Historic Preservation Board conducted a public hearing and continued the request to December 3, 2025. On December 3, 2025, the Board approved the Modification to the Historic District Design Review according to the following findings of fact, conclusions of law, and conditions of approval.

Procedural History

1. 218 Sandridge Road is a Significant Historic Site on Park City's Historic Sites inventory.
2. On November 1, 2023, the Historic Preservation Board approved the Material Deconstruction of the 1941 roofline of the Historic Structure.
3. On February 7, 2024, the Historic Preservation Board approved the applicant's Material Deconstruction request to remove 48 square feet of 1940s-era siding on



Planning Department

the southern façade of the building and to remove 64 square feet of the 1889 roof form.

4. On January 6, 2025, the Applicant entered into a Cash Deposit Agreement in accordance with the City preservation policy outlined in LMC Section 15-11-9 to ensure protection of Historic materials throughout construction and compliance with the approved Historic Preservation Plan.
5. On September 8, 2025, the City issued Building Permit #25-0638 for 218 Sandridge.
6. On October 28, 2025, the Applicant filed a Modification application to:
 - a. Remove the Historic 1907 roof form and reconstruct it with proper structuring and new standing seam-metal roofing, salvaging all possible salvageable Historic Materials, and
 - b. Remove the Historic 1889 roof form and reconstruct it with proper structuring and new standing seam-metal roofing, salvaging all possible salvageable Historic Materials.
7. On November 17, 2025, the Historic Preservation Board conducted a public hearing and continued the Applicant's Material Deconstruction request to December 3, 2025.
 - a. The Applicant initially requested approval for the full deconstruction of the roofs. Staff did not find that the Applicant's initial request complied with LMC § 15-11-15 Reconstruction Of An Existing Historic Building Or Historic Structure.
 - b. Board members discussed with the Applicant and recommended that a Material Deconstruction request reviewed by the board under LMC § 15-11-12.5 would be more appropriate for the Applicant to pursue moving forward.

Findings of Fact

1. The Material Deconstruction proposal to reconstruct the 1889 and 1907 roof forms of the Historic Structure complies, as conditioned, with Land Management Code Section 15-11-12.5 *Historic Preservation Board Review For Material Deconstruction*.
 - a. The Applicant seeks a modification to the February 7, 2024 Historic Preservation Board Material Deconstruction approval (Exhibit C) for Material Deconstruction of the Historic 1889 and 1907 roof forms.
 - b. Pursuant to LMC § 15-11-12.5, the Historic Preservation Board analyzes proposals for Material Deconstruction involving Historic Sites for



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compliance with LMC § 15-13-2 *Regulations For Historic Residential Sites*. These standards are outlined below with staff analysis:

2.

<i>LMC § 15-13-2 Requirement</i>	<i>Analysis</i>
LMC § 15-13-2(A)(3): The historic exterior features of a building should be retained and preserved.	<p>The Applicant proposes replacing the non-Historic standing seam metal roof on the 1889 and 1907 roof forms and protecting Historic materials within the roofs and salvaging Historic material within the roof forms. The Applicant does not propose any additional changes to Historic exterior materials except for the changes approved by the Historic Preservation Board on February 7, 2024 (see Exhibit C).</p> <p>Condition of Approval 3 requires the Applicant to protect and preserve all original Historic Materials that are found to be salvageable within the roof forms.</p>
LMC § 15-13-2(A)(6): Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in appearance, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.	<p>The Applicant proposes replacing the non-Historic standing seam metal roof on the 1889 and 1907 roof forms and protecting and preserving salvageable historic material within the roof forms.</p> <p>Condition of Approval 3 requires the Applicant to reuse all original Historic Materials that are found to be salvageable. Condition of Approval 4 requires that any replacement materials shall match the original in appearance, dimension, texture, material, and finish.</p>
LMC § 15-13-2(A)(10): New construction	The Applicant does not propose exterior



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such as new additions, exterior alterations, repairs, upgrades, etc., should not destroy historic materials, features, and spatial relationships that characterize the historic site or historic building.	alterations that would destroy Historic materials. Condition of Approval 4 requires that any replacement materials shall match the original in appearance, dimension, texture, material, and finish.
LMC § 15-13-2(B)(2)(e)(1): Avoid removing or obstructing a historic building's elements and materials when installing gutters and downspouts.	Condition of Approval 5 prohibits the Applicant from obstructing Historic elements of the Structure when installing gutters and downspouts for the roof.
LMC § 15-13-2(B)(2)(e)(2): When new gutters are needed, the most appropriate design for hanging gutters is half round. Downspouts shall be located away from architectural features and shall be visually minimized when viewed from the right-of-way.	Condition of Approval 6 requires the Applicant to use half-round gutters and visually minimize downspouts.
LMC § 15-13-2(B)(2)(e)(3): Water from gutters and downspouts shall drain away from the historic structure.	Condition of Approval 7 requires the Applicant to design gutters and downspouts such that water drains away from the Historic Structure.
LMC § 15-13-2(B)(2)(f)(1): Maintain and preserve historic chimneys and their decorative features as they are important character-defining features of historic structures.	The Applicant proposes salvaging and reconstructing an exterior chimney above the Historic 1907 roof form.
LMC § 15-13-2(B)(2)(f)(3): Repairs to chimneys shall be made so as to retain historic materials and design.	<p>The Applicant proposes salvaging and reconstructing an exterior chimney above the Historic 1907 roof form.</p> <p>Condition of Approval 4 requires that any replacement materials shall match the original in appearance, dimension, texture, material, and finish.</p>
LMC § 15-13-2(B)(2)(f)(4): Chimneys	The Applicant proposes salvaging and



Planning Department

shall not be covered with non-historic materials.	reconstructing the chimney using the original Historic Materials.
LMC § 15-13-2(B)(2)(f)(5): New chimneys and stove pipes shall be of a size, scale, and design that are appropriate to the character and style of the historic structure.	The Applicant does not propose any new chimneys or stovepipes as part of the proposed roof reconstruction.

3. Staff published notice on the City's website and the Utah Public Notice website and posted notice to the property on October 29, 2025. Staff mailed courtesy notice to property owners within 300 feet on October 31, 2025. The Park Record published courtesy notice on November 1, 2025.
4. The Historic Preservation Board opened and closed the public hearing for the modification request on November 17, 2025 and continued the item to December 3, 2025.

Conclusions of Law

1. The proposal complies, as conditioned, with Land Management Code Section 15-11-12.5 *Historic Preservation Board Review For Material Deconstruction*.
2. The proposal complies, as conditioned, with Land Management Code Section 15-13-2 *Regulations For Historic Residential Sites*.

Conditions of Approval

1. The Applicant shall implement a temporary framing and shoring exoskeleton to brace the walls of the Structure from the exterior prior to the Material Deconstruction of the roof forms.
2. The Applicant shall reconstruct the Historic 1889 and 1907 roof forms in the same Historic location, form, and dimensions on the Historic Structure.
3. The Applicant shall protect and preserve all original Historic Materials that are found to be salvageable within the roof forms. The City Historic Preservation consultant shall be present at the Site during the Material Deconstruction of the roof forms to evaluate Historic materials that are to be protected and retained within the final construction.
4. Any replacement materials shall match the original in appearance, dimension, texture, material, and finish.



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5. Obstructing or damaging any Historic elements of the Structure when installing gutters and downspouts for the reconstructed roof is prohibited.
6. The Applicant shall use half-round gutters and visually minimize downspouts from the public Right-of-Way.
7. The Applicant shall design gutters and downspouts such that water drains away from the Historic Structure.
8. All previous Conditions of Approval applicable to this project, including but not limited to Conditions of Approval from the Historic District Design Review (PL-23-05692), Material Deconstruction (PL-23-05692), Steep Slope Conditional Use Permit (PL-24-06059), and Plat Amendment (PL-24-06076) Final Action Letters for 218 Sandridge Road remain in effect.
9. The proposed work requires a Building Permit or revision to a Building Permit.
10. The proposed work requires a Final Inspection by both the Building and Planning Departments.
11. Modifications to the project require a modification application submittal to the Planning Department, payment of application fee, review for compliance with required standards, and Planning and Building Department approval.
12. This Historic Preservation Board approval shall expire one year following the date of this letter at 5:00 PM (MT). The Applicant shall obtain a Building Permit for the proposed work prior to that date. If a Building Permit for the proposed work is not approved before that date, this approval shall be voided, and the Applicant will be required to submit a new Modification application to pursue the proposed work.

If you have questions or concerns regarding this Final Action Letter, please call (385) 481-2037 or email jacob.klopfenstein@parkcity.gov.

Sincerely,

Douglas Stephens, Chair
Historic Preservation Board

CC: Jacob Klopfenstein

November 26, 2025

PCMC Planning Department
445 Marsac Ave
Park City, UT 84060

Dear Planning Department,

We are applying for a modification of our February 7th 2024, Historic Preservation Board approved application for Material Deconstruction.

The previous modification sought approval for reconstruction of the 1889 and 1907 roof forms. Following continued on-site review and interior demolition, it was determined that the structural integrity of the roofs and facade is nonexistent. During this process, it was discovered that the exterior walls contain no studs, leaving less than an inch of material for the roofs to bear on/attach to. Roof members were found to be extensively rotted due to an unsafe assembly in which spray foam insulation had been applied directly to the roof members on the interior, with standing seam metal attached on the exterior. This configuration trapped moisture and caused the structural members and non structural members to rot. If not removed, this rot poses a significant health and safety risk to anyone on the building site for risk of collapse and any future occupants due to the presence of toxic materials.

Additionally, structural roof members were found to be cut through, notched, or otherwise compromised due to multiple prior additions constructed using unsafe and/or non standard building methods. These deficiencies further diminish the structural capacity of the roof. With winter storms approaching, the unheated and weakened roof is now vulnerable to collapse under snow loads, which could cause irreparable damage to the historic structure. Based on these findings, the structural engineer, architect, and contractor concluded that the roofs need to be completely removed.

In the previous meeting, the Historic Preservation Board reviewed our application for modification of Material Deconstruction to Reconstruct the 1889 and 1907 roofs. They determined that the request for reconstruction does not comply with LMC 15-11-15 (a), as the Chief Building Official had not found the historic structure to be hazardous or dangerous pursuant to Section 116.1 of the International Building Code. As a result, the roofs were not deemed eligible for Reconstruction.

We are now applying for Material Deconstruction to allow full re-roofing, including removal and replacement of all non-historic features, all compromised members due to rot or member modification, as well as structural upgrades to the historic roof structure. Our proposed plan includes:

1. Removal of all non-historic standing seam metal across the entire roof.
2. Removal and replacement of rotted and compromised members in the 1889 and 1907 roof sections with new, code-compliant structural material.
3. Retention of historic roof members that are found to be sound in their composition and structural capabilities.
4. Installation of new standing seam metal roofing matching the existing roof in appearance, dimension, form, location and finish.

While the roof forms and locations are historic, they have undergone significant interior and exterior modifications over their lifespan. Interior roof members have been cut, removed, and replaced over time, and the exterior has been re-roofed, most notably in 1993 and 2013. All currently visible roofs are standing seam metal, and non-historic. The proposed removal and replacement of non-historic standing seam metal is allowable under Planning Director review per:

LMC 15-11-12.5(A)(1)(a)(1) Re-Roof, and

LMC 15-11-12.5(A)(1)(b) Removing or Replacing Non-Historic Features.

Further, the removal of interior rotted and/or compromised historic roof members to perform structural upgrades is allowed under Historic Preservation Board review per:

LMC 15-11-12.5(A)(2)(a) Removal of Historic Material to Accommodate New Additions, New Construction, or Structural Upgrades.

Our proposal also complies with LMC Chapter 15-13 Regulations for Historic Districts and Historic Sites, specifically LMC 15-13-2(A)(6), which states:

“Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in appearance, dimension, texture, material, and finish.”

“The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition.”

Exhibit A (Rot Photo Sheets) documents that the Historic roof materials and structural members are no longer safe, serviceable, or repairable.

In addition to the requested Material Deconstruction of the roof forms, we propose constructing an exoskeleton to support the historic siding. At present, the historic walls are largely unsupported. The exoskeleton will stabilize and support the historic walls while new structural elements are constructed. This strategy protects the exterior facades while the roof is removed from the exterior to ensure safety for workers.

This request meets the following code requirement as follows:

Per LMC 15-11-12.5 Historic Preservation Board Review For Material Deconstruction

A. All Applications for Material Deconstruction involving any Building(s) (main, attached, detached, or public, Accessory Buildings and/or Structures designated to the Historic Sites Inventory as Landmark or Significant shall be subject to review and approval, approval with conditions, or denied by the following Review Authorities:

1. The Planning Director or his/her designee shall review the following:

a. Routine Maintenance, including, but not limited to:

(1) Re-Roof;

(2) Chimney repair;

(3) Foundation repair; or

(4) Replacement or repair of the following:

(A) Historic wood features;

(B) Door or Window replacement; and

(C) Historic Site Features.

b. Removing or Replacing Non-Historic Features.

2. The Historic Preservation Board shall review the following:

a. Removal of Historic Material to Accommodate New Additions, New Construction, or Structural Upgrades.

Prior to issuance of a Building Permit for any Material Deconstruction work, the Review Authority shall review the proposed plans for compliance with Chapter 15-13 Regulations For Historic Districts and Historic Sites.

Per LMC 15-13 Regulations for Historic Districts and Historic Sites

15-13-2 Regulations for Historic Residential Sites

A. Universal Regulations

6. Deteriorated or damaged historic features and elements should be repaired rather than replaced. Where the severity of deterioration or existence of structural or material defects requires replacement, the feature or element should match the original in appearance, dimension, texture, material, and finish. The applicant must demonstrate the severity of deterioration or existence of defects by showing that the historic materials are no longer safe and/or serviceable and cannot be repaired to a safe and/or serviceable condition. If deteriorated or damaged beyond repair and significant

operational energy savings can be demonstrated through a professionally calculated energy model, historic features may be replaced with energy efficient features that are similar in appearance, dimension, texture, material and finish.

Given the documented structural failures, hazardous conditions, and the urgent need to protect both the historic structure and those working within it, we request approval of this modification to our Material Deconstruction application.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "M. J. Elliott", written in a cursive style.

Elliott Workgroup

Dennis Hranitzky

Hranitzky Residence

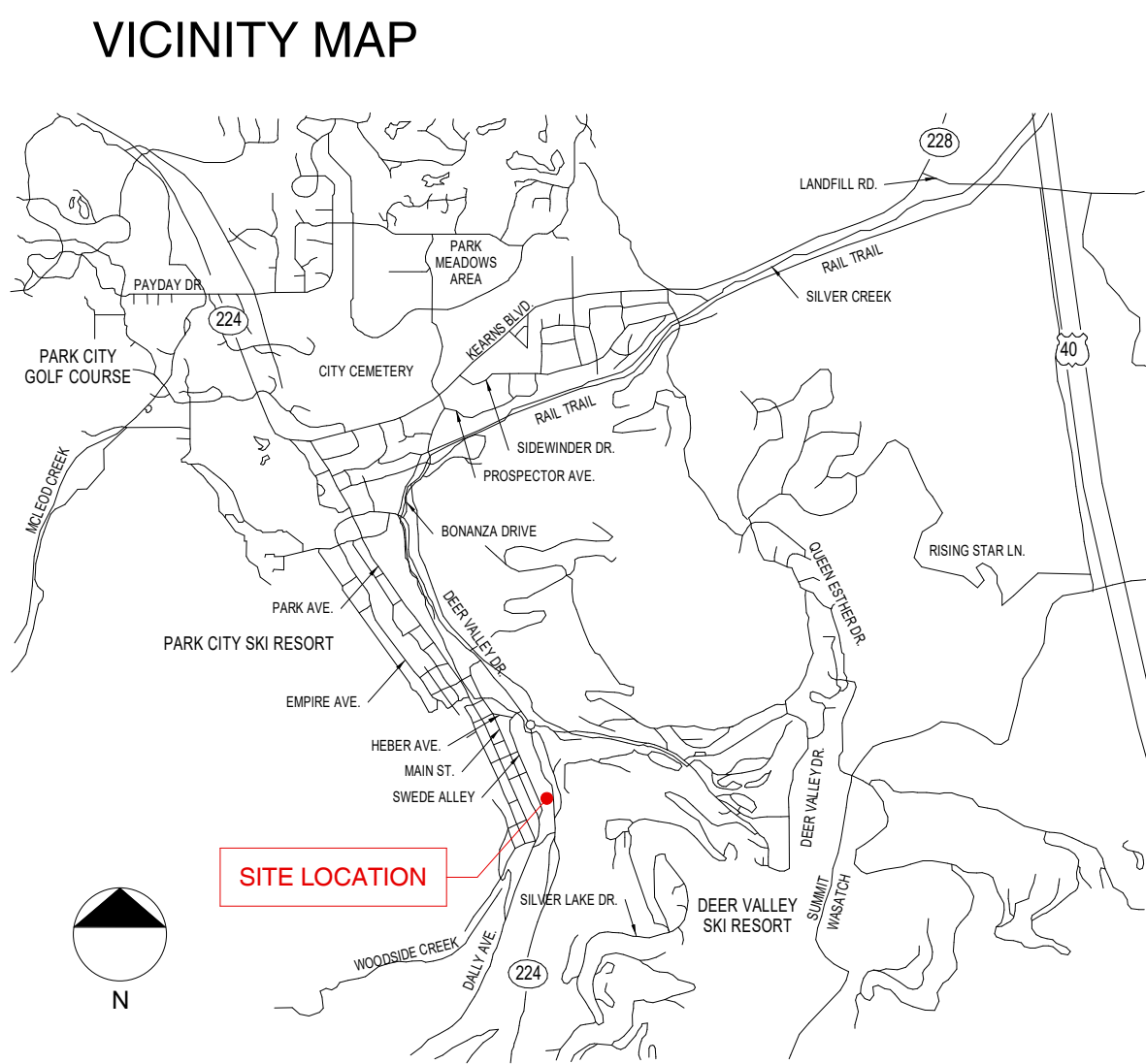
218 Sandridge Road
Park City, UT 84060

Hranitzky Residence

Construction Documents

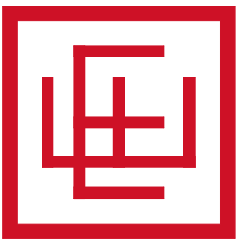
2024.07.02

EWG Project # 2022.092



ELLIOTT WORKGROUP LLC

1441 West Ute Blvd, Suite 100
Park City, Utah 84098
435-649-0092 or 801-415-1839
elliottworkgroup.com



Hranitzky Residence

Construction Documents
2024.07.02

Dennis Hranitzky
Hranitzky Residence

218 Sandridge Road
Park City, UT 84060
SSCUP
Hranitzky Residence

PROJECT CONTACT INFORMATION

OWNER	ARCHITECT	BUILDER
Dennis Hranitzky PO Box 683849 Park City, UT 84068 917.405.6777 Contact: Dennis Hranitzky	ELLIOTT WORKGROUP 1441 W. Ute Blvd., Suite 100 Park City, UT 84098 801.415.1839 Contact: Molly Guinan	Blackdog Builders 4376 N Forestdale Dr. Unit 1 Park City, UT 84098 435.649.5252 Contact: Ben Akers Brent O'Keefe
CIVIL ENGINEER	INTERIOR DESIGN	LANDSCAPE ARCHITECTURE
Allterra Utah, LLC 463 Scenic Heights Road Francis, Utah 84036 435.640.4200 Contact: Charles Galati	Eddie Lee Inc. 150 West 25th Street, Suite 1203 New York, NY 10001 212.868.3385 Contact: Eddie Lee	ELLIOTT WORKGROUP 1441 W. Ute Blvd., Suite 100 Park City, UT 84098 801.415.1839 Contact: Sid Ostergaard
STRUCTURAL ENGINEER	PLUMBING ENGINEER MECHANICAL ENGINEER	ELECTRICAL ENGINEER
Mission Structural 7222 S. Christalee Ct. West Jordan, Utah 84084 801.979.1774 Contact: Courtney Fleming	Name Address City, State Zip 801.415.1839 Contact: Person	Name Address City, State Zip 801.415.1839 Contact: Person

SERVICE CONTACTS

Rocky Mountain Power 201 South Main St, Suite 2300 Salt Lake City, UT 84111 (866) 870.3419	Old Town Post Office 450 Main St Park City, Ut (800) 275.8777
Comcast Service Center 1890 Bonanza Dr, Suite 101 Park City, UT 84098 (435) 649.4020	Questar Gas P.O. Box 45360 Salt Lake City, UT 84145 (800) 323.5517
Park City Fire District 730 W Bitner Road Park City, UT 84098 (435) 940-2500	Snyderville Basin Water Reclamation District 2800 Homestead Rd Park City,UT84098 (435)649-7993
Park City Municipal Corp 445 Marsac Avenue Park City, UT 84060 (435) 658.9471	Summit County 60 N. Main Street Coalville, UT 84017 (435) 336.3200
Park City School District 2700 Kearns Blvd. Park City, UT 84060 (435) 645.5600	Qwest Phone Company Salt Lake City, UT (800) 922.7387
Century Link 4160 Atkinson Road Park City, UT 84098 (435) 645.5600	Utah Division of Water Quality 288 North 1460 West Salt Lake City, UT 84116 (801) 536.4300

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A-902	Reflected Ceiling Plan Level 3

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SHEET TITLE

Cover Sheet

G-001

1. Refer to Sheet G-002, G-003 & G-004 for General Project Notes.
2. Before Digging or Trenching, Contact "Blue Stakes" to Locate Underground Utilities.
3. L.O.D. (Limits of Disturbance) shall be Defined by the Area Contained within All Property Lines of the Site and shall Also Include Driveway and Areas of Utility Connection within Right-Of-Way. Total L.O.D. Area is Approximately 5835 sq ft.
4. Building is not Located within the Flood Hazard Zone as Defined by FEMA.
5. Surface Water shall Drain Away from the House at All Points. Direct Drainage Water to the Street on an Approved Drainage Course but not onto Neighboring Properties. The Grade shall Fall a Minimum of 6 inches within the First 10 Feet. -IRC R401.3
6. Refer to Site Survey on Sheet C-001 for Reference Information.
7. Scope of Work is Limited to Building Project Area. See Proposed Site Plan AS-002.
8. Refer to Area Plan Sheet G-002 for Additional Building Square Footage Analysis.

Architectural Elevation 100' - 0" = USGS 7160.7' (Final Site Plan)

Note: USGS Aligns with Approved Final Site Plan Elevations. There is a +4'-6" Difference as Referenced in the Alliance Engineering Field Survey.

Arch. 100'-0" = 7153 (Final Site Plan) = xxxx (Civil Engineering)

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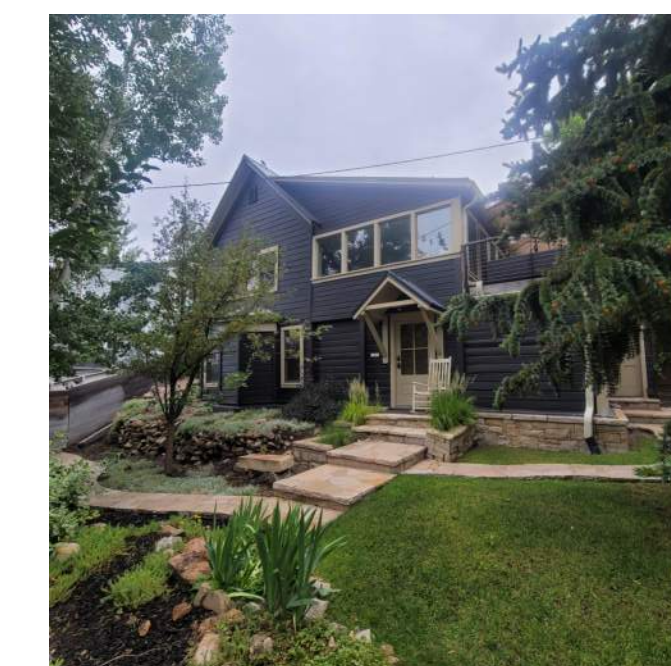
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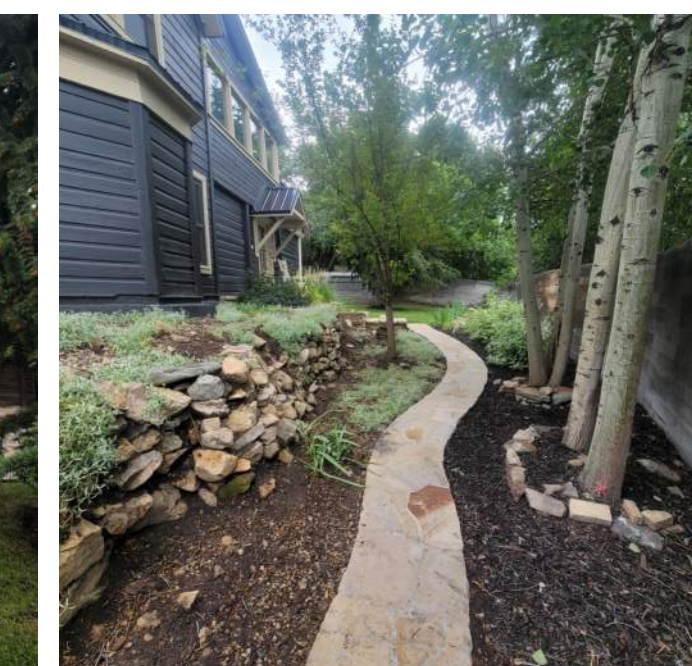
A Existing Retaining Wall - Steep Slope on South Side.



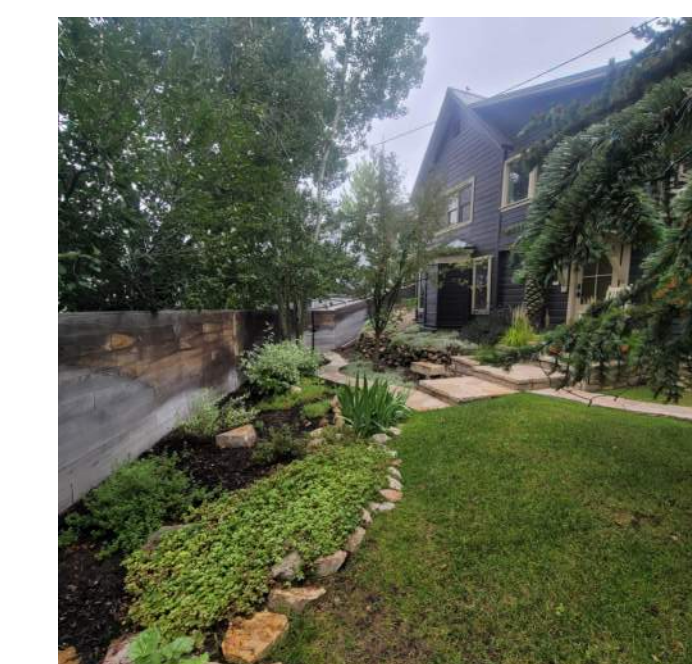
B Existing Landscape - South Side of House and Site.



C Existing Landscape - West Yard



D Existing Landscape - West Yard



E Existing Landscape - West Yard

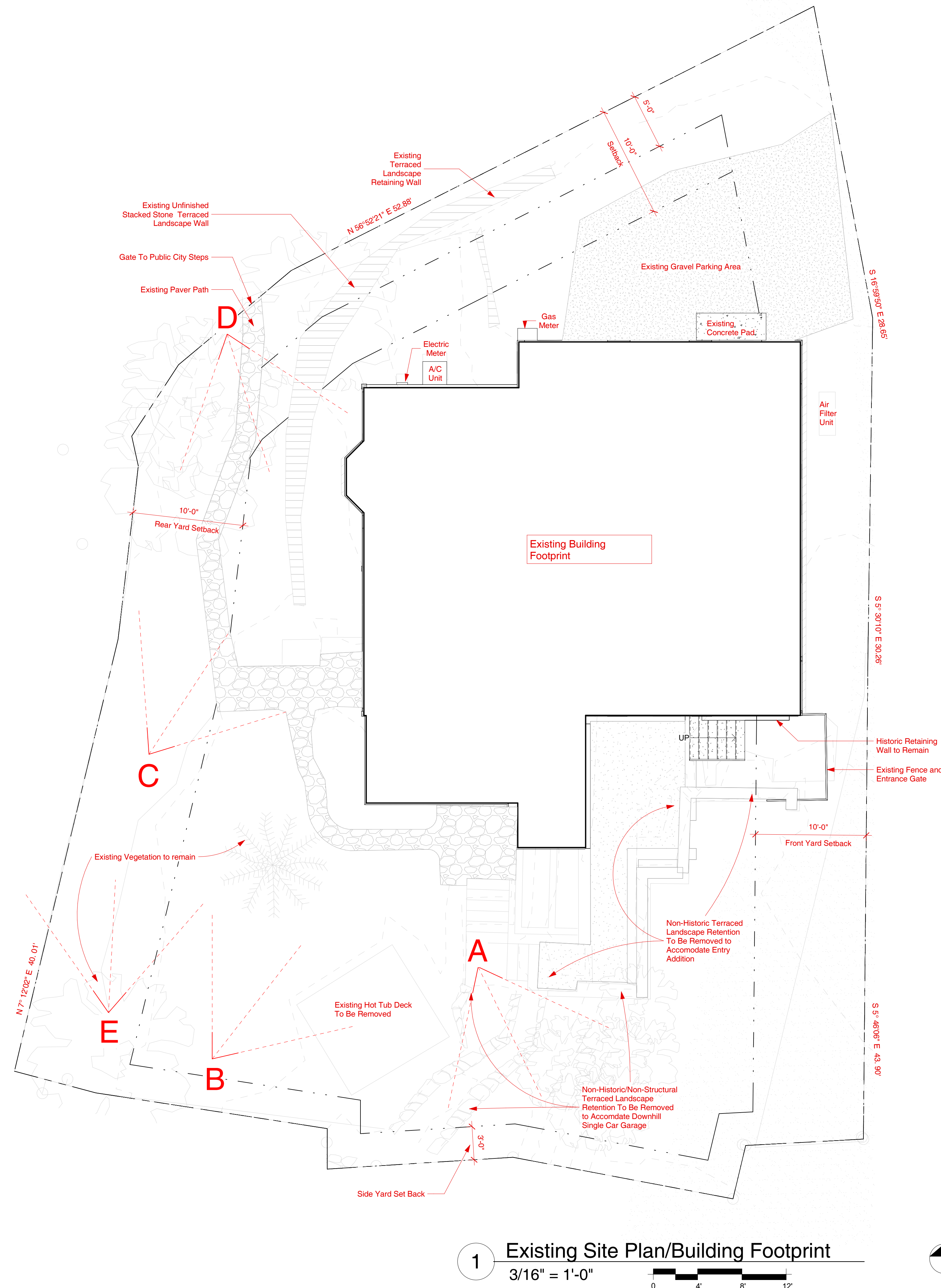
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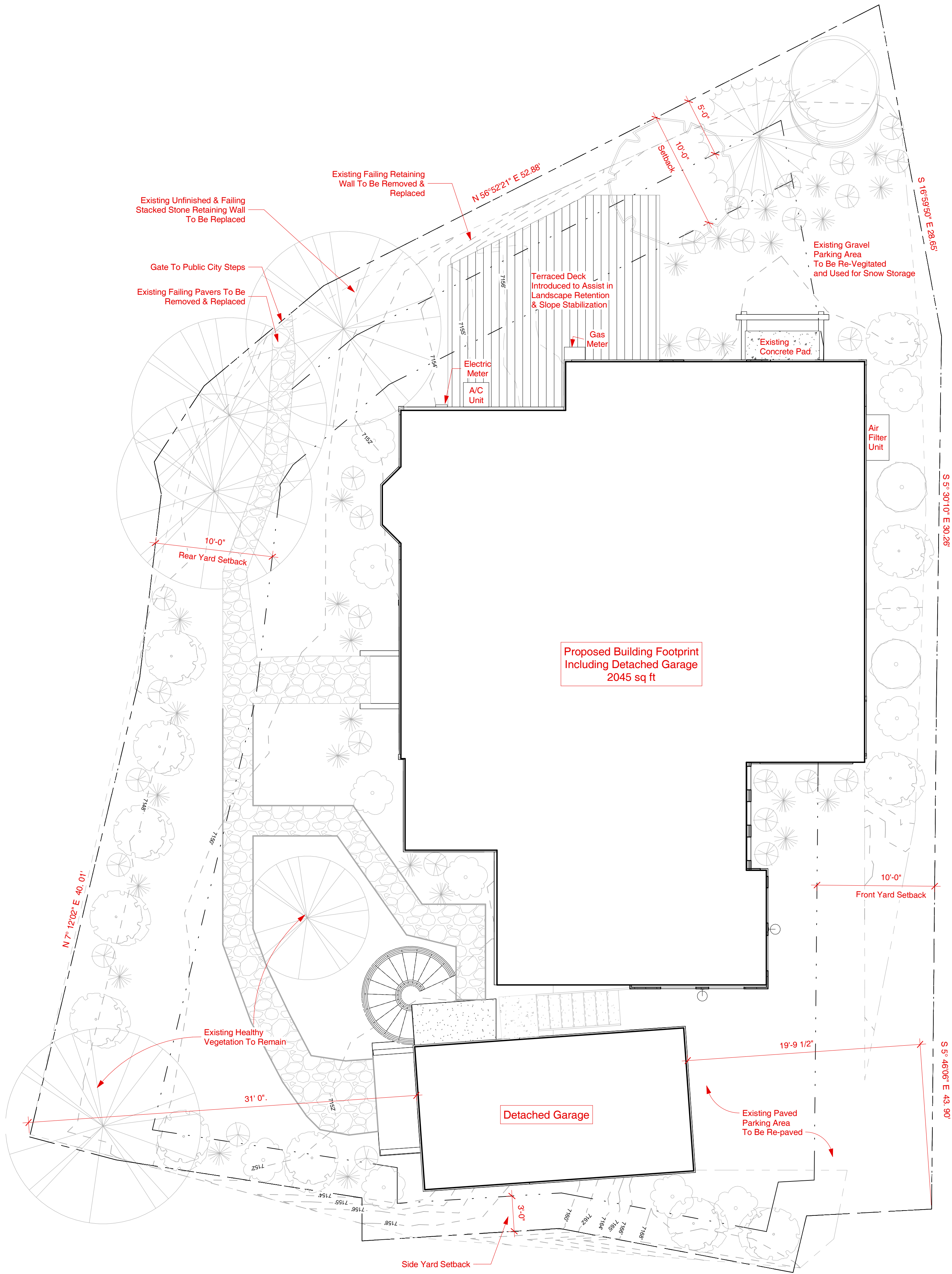
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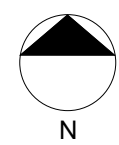
Existing Site Plan

AS-001





1 Proposed Site Plan/Building Footprint
3/16" = 1'-0"



Key -Native/Water Wise Plants

TREES
Amur Maple

Quaking Aspen

Colorado Blue Spruce

Bigtooth Maple

SHRUBS
Russian Sage
-Little Lace

Silver Creeping Willow

Western Sand Cherry
-Pawnee Buttes

Yellow Shrubby Cinquefoil
-Little Pot of Gold

Alpine Currant

GRASSES
Dwarf Tufted Hairgrass
-Pixie Fountain
-Little Blue Stem
-Carousel
-Prairie Blues

Boulders

Perennials to be interspersed
with design at next stage.

Vegetation is Shown for Planning
Purposes and is Aspirational. Number
and Types of Plants May Vary Based
on Final Landscape Design
Recommendations from Landscape
Architect, Geotech, Civil Engineer, and
Client Preferences. Final Landscape
Design Will Be Submitted with
Construction Documents.

General Notes - Site Plan

1. Refer to Sheet G-002, G-003 & G-004 for General Project Notes.
2. Before Digging or Trenching, Contact 'Blue Stakes' to Locate Underground Utilities.
3. L.O.D. (Limits of Disturbance) shall be Defined by the Area Contained within All Property Lines of the Site and shall Also Include Driveway and Areas of Utility Connection within Right-Of-Way. Total L.O.D. Area is Approximately 5835 sq ft.
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6. Refer to Site Survey on Sheet C-001 for Reference Information.
7. Scope of Work is Limited to Building Project Area.
8. Refer to Area Plan Sheet G-002 for Additional Building Square Footage Analysis.

Datum Reference

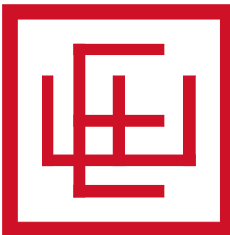
Architectural Elevation 100' - 0" = USGS 7160.7' (Final Site Plan)

Note: USGS Aligns with Approved Final Site Plan Elevations. There is a +4'-6" Difference as Referenced in the Alliance Engineering Field Survey.

Arch. 100'-0" = 7153 (Final Site Plan) = xxxx (Civil Engineering)

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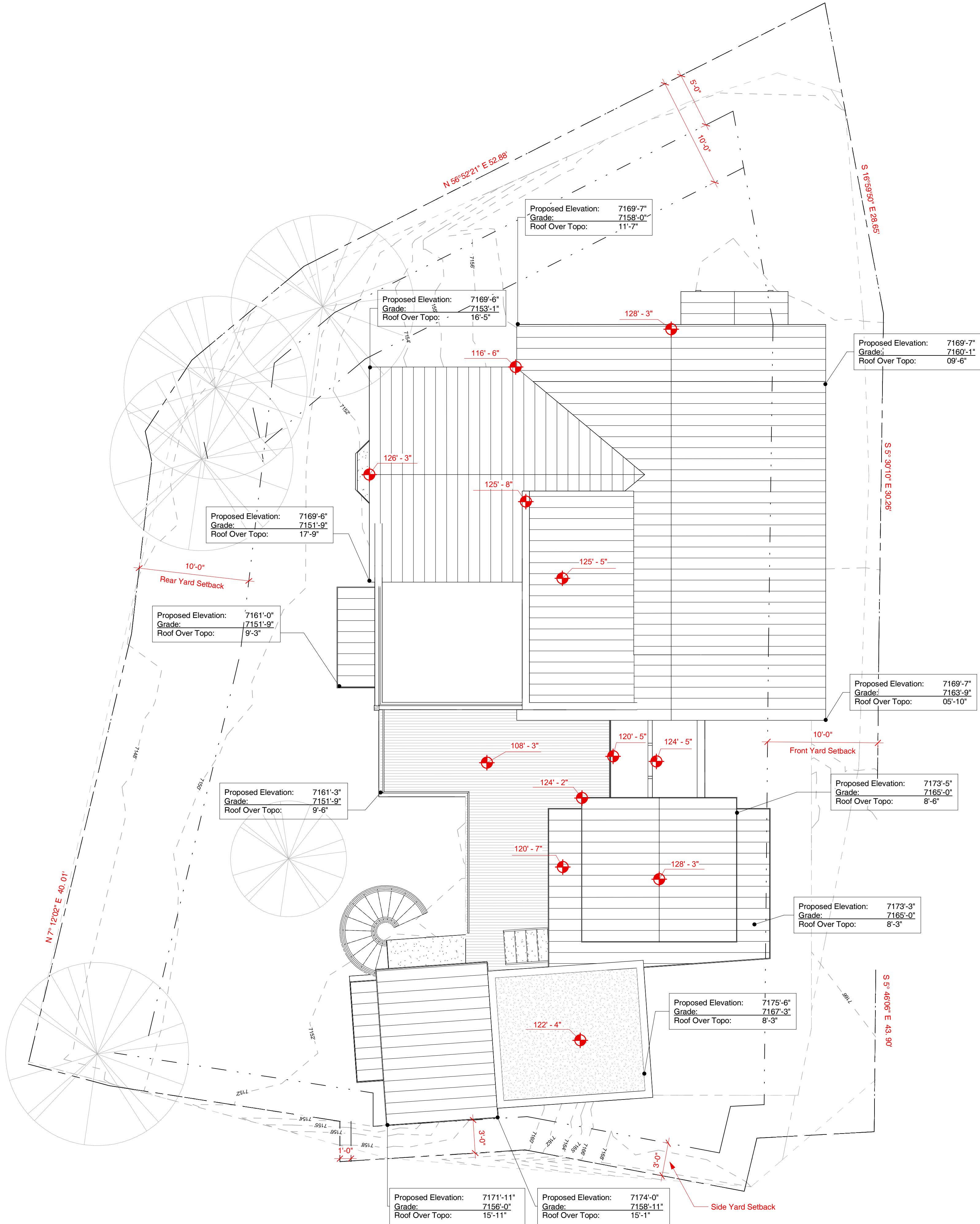
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SHEET TITLE

Proposed Site Plan

AS-002



General Notes - Site Plan

1. Refer to Sheet G-002, G-003 & G-004 for General Project Notes.
2. Before Digging or Trenching, Contact 'Blue Stakes' to Locate Underground Utilities.
3. L.O.D. (Limits of Disturbance) shall be Defined by the Area Contained within All Property Lines of the Site and shall Also Include Driveway and Areas of Utility Connection within Right-Of-Way. Total L.O.D. Area is Approximately 5835 sq ft.
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6. Refer to Site Survey on Sheet C-001 for Reference Information.
7. Scope of Work is Limited to Building Project Area, See Proposed Site Plan AS-002.
8. Refer to Area Plan Sheet G-002 for Additional Building Square Footage Analysis.

Datum Reference

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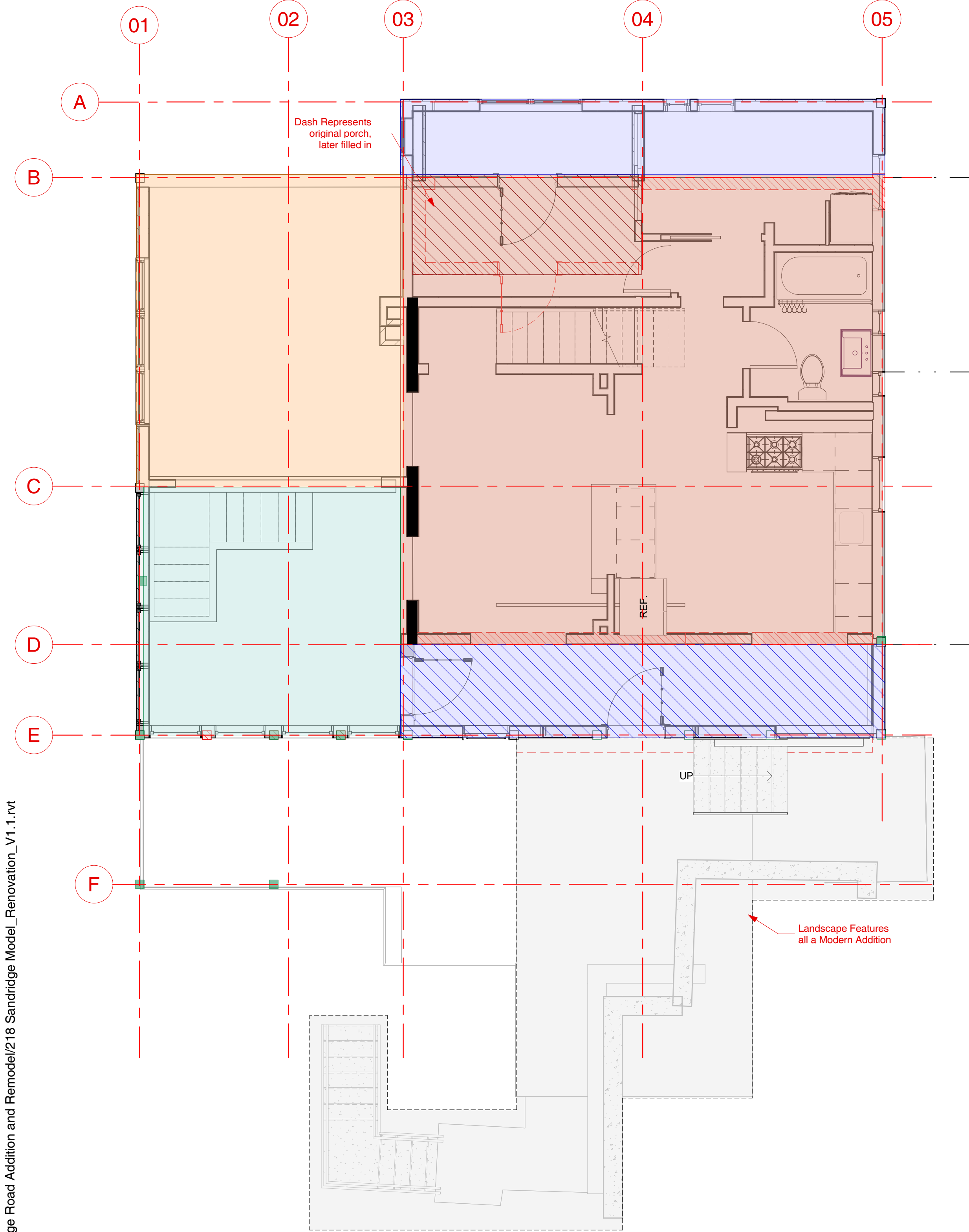
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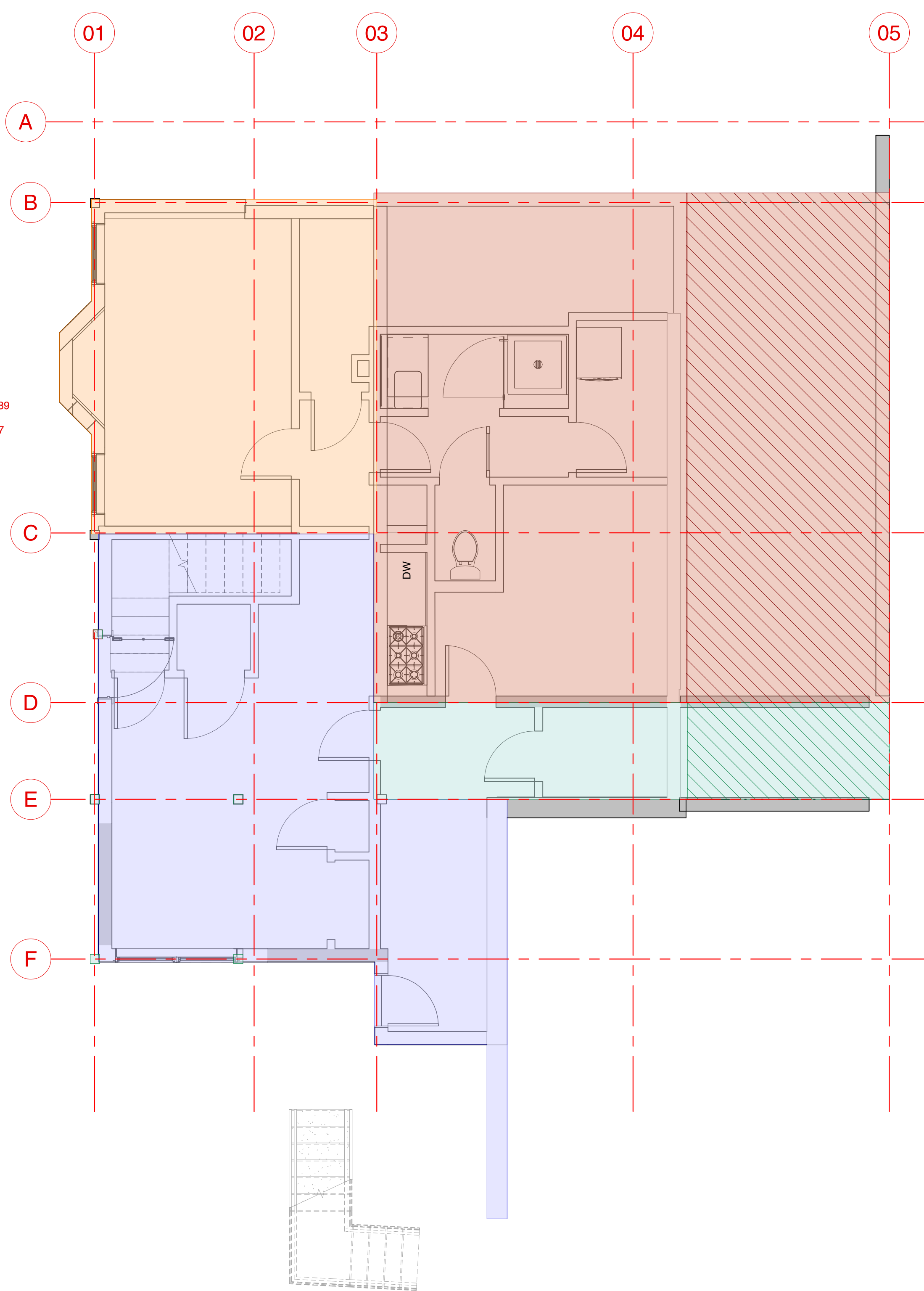
SHEET TITLE

Proposed Roof Over Topo

AS-003



2 Existing Level 1 - Historic Timeline
1/4" = 1'-0"



1 Existing Basement - Historic Timeline
1/4" = 1'-0"

Legend

1t

101

Window Tag- Refer To Window Schedule

Room name

101

Door Tag- Refer To Door Schedule

Room name

101

Room Name And Number- Refer To Room Finish Schedule

Spot Elevation Marker

Spot Elevation Marker

Edge Of Roof Above

Edge Of Roof Above

General Notes - Plan

1. Refer to Sheet G-002 for Architectural Notes.

2. Unless Noted Otherwise, Wall Dimensions are to Face of Stud and Face of Concrete/Cmu.

3. Refer to Electrical, Mechanical & Plumbing Sheets for Additional Information and Requirements.

4. See Structural Plans for Additional Information, Details and Requirements.

5. Provide Blocking or other Approved Method for Support at All Locations of Tv. Outlets to Accommodate Mounting of Flat Panel Televisions. Coordinate with Interior Elevations and Electrical Plans.

6. Coordinate Kitchen Equipment and Layouts with Mechanical, Electrical & Plumbing Plans. Provide Required Blocking for Fixtures and Casework.

7. Coordinate Utility Connections with Civil Drawings.

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1889 Crawl space

1889

1900

1940/41

1940/41 Crawl space

1960-2000

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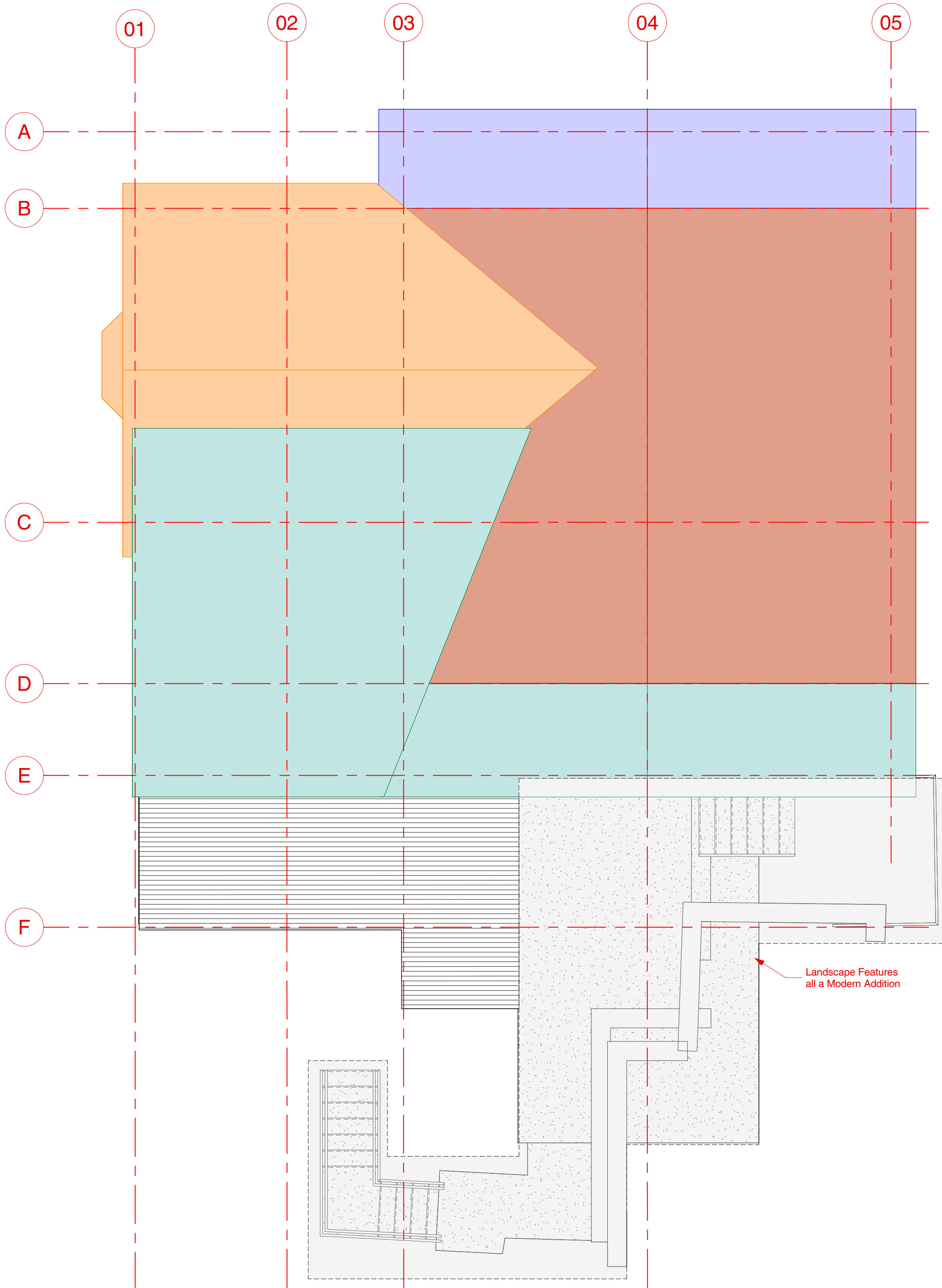
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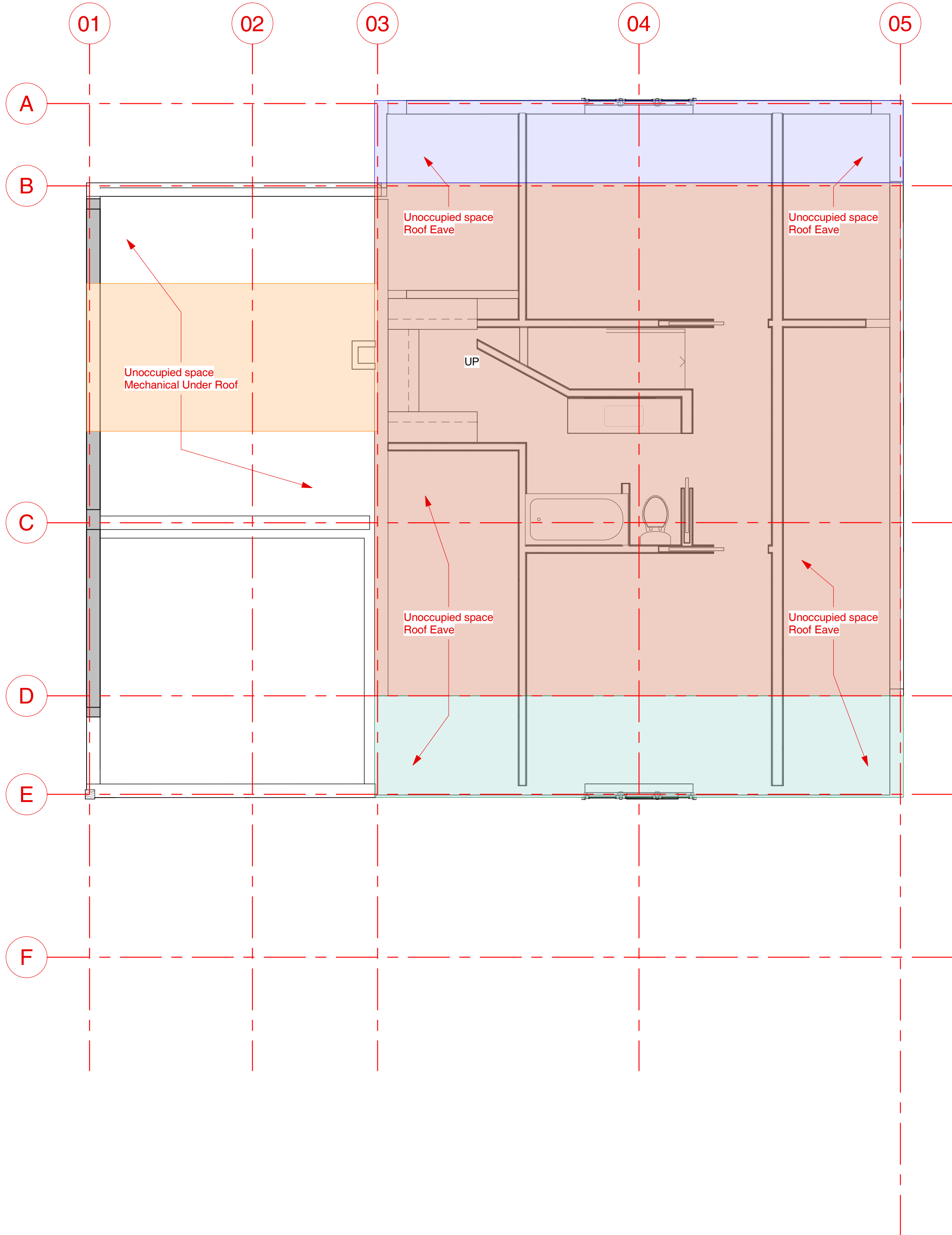
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Existing Floor Plan

AX-100



2 Existing Roof
1/4" = 1'-0"



1 Existing Level 2 - Historical Timeline
1/4" = 1'-0"



Legend

- 11 Window Tag- Refer To Window Schedule
- 101 Door Tag- Refer To Door Schedule
- Room name 101 Room Name And Number- Refer To Room Finish Schedule
- Spot Elevation Marker
- Edge Of Roof Above

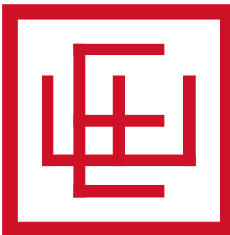
General Notes - Plan

- Refer to Sheet G-002 for Architectural Notes.
- Unless Noted Otherwise, Wall Dimensions are to Face of Stud and Face of Concrete/Cmu.
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- See Structural Plans for Additional Information, Details and Requirements.
- Provide Blocking or other Approved Method for Support at All Locations of Tv. Outlets to Accommodate Mounting of Flat Panel Televisions. Coordinate with Interior Elevations and Electrical Plans.
- Coordinate Kitchen Equipment and Layouts with Mechanical, Electrical & Plumbing Plans. Provide Required Blocking for Fixtures and Casework.
- Coordinate Utility Connections with Civil Drawings.

	1889
	1900
	1940/41
	1960-2000

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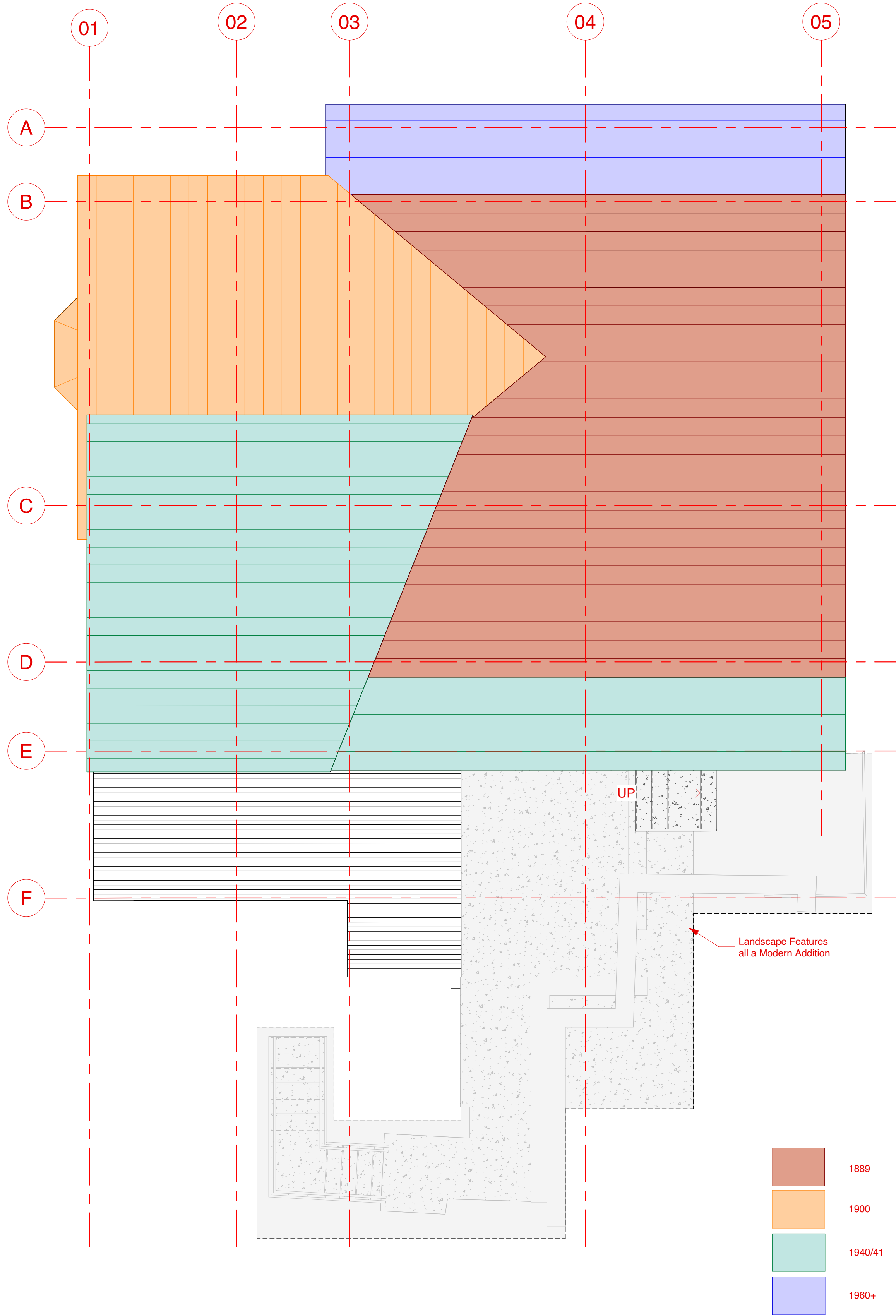
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Existing Floor Plan

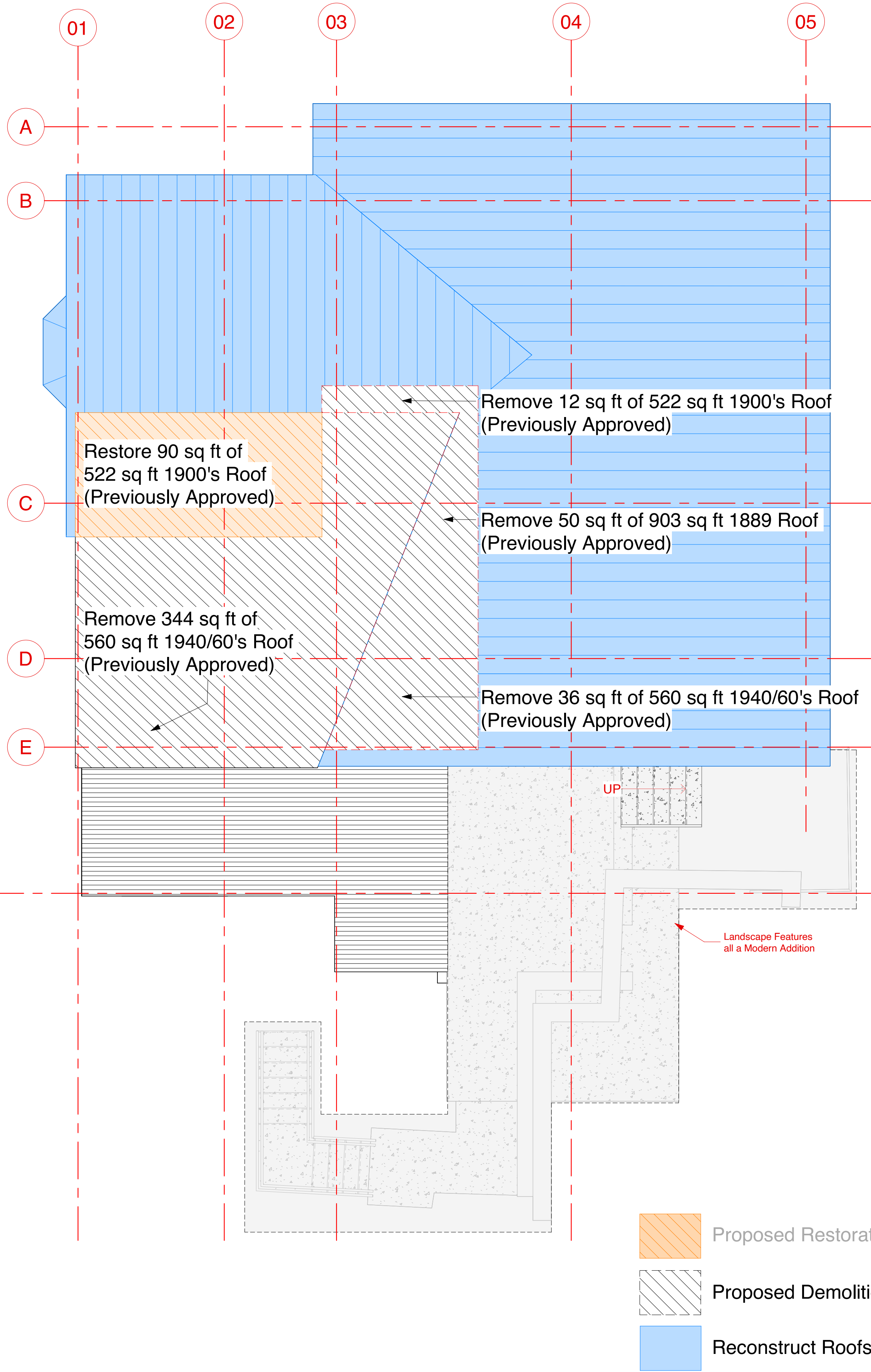
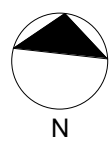
AX-101

Autodesk Docs://22-092 Sandridge Road Addition and Remodel/218 Sandridge Model_Renovation_CD.rvt

11/10/2025 2:10:43 PM



2 Existing Roof Historic Timeline
1/4" = 1'-0"



1 Existing Roof Historic Proposed changes
1/4" = 1'-0"

- ### General Notes - Roof
- Ice & Water Shield (CCW-300Ht, or Owner Approved Equal) under All Standing-Seam Roofs. Do not install within 3'0" of any Ridge. Vent-Use 15# Felt (Lapped over Ice & Water Shield) in these Areas. Double Layer of Underlayment on All 3:12 Roofs
 - The Net Free Ventilating Area shall not be less than 1/150 of the Area of Space Ventilated (50% of Required Ventilation at Ridge & 50% at Soffit).
 - Non Vented Roof for Cathedral Ceilings, See Sections and Insulation Requirements for R-49 Roof.
 - Final Colors & Materials to be Approved by Architect Prior to Commencement of Work.
 - Chimney, See Details. Field Coordinate Direct Vent Fireplace Flue.
 - All Vents, Flues & Exhaust Pipes Penetrating Roof should be Ganged Together and Located in Chimney (Where Possible, Coord. With Architect).
 - See Electrical Roof Plan for Heat Cable Locations and Requirements.
 - Roof Drain/Downspouts to be Heat Taped. Provide GFCI Electrical Connection.

Keynotes -

LBB	Line of Building Below
CH	Chimney
PMD	Prefinished Metal Downspout, Coord. w/Arch.
PMG	Prefinished Metal Gutter, Coord. w/Arch.
RRV	Rigid Ridge Vent Under Asphalt Shingles
RL	Ridge Line
DS	Downspout
RD	Roof Drain
ORD	Overflow Roof Drain
EF	Exhaust Fan
MAU	Makeup Air Unit
SC	Scupper

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Roof Legend

10° / 12°	Roof Slope
~	Heat Cable, Refer to Specifications
1t	Roof Tag, Refer to AE-601

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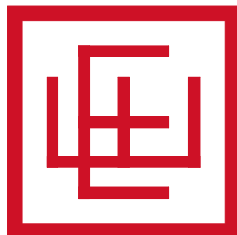
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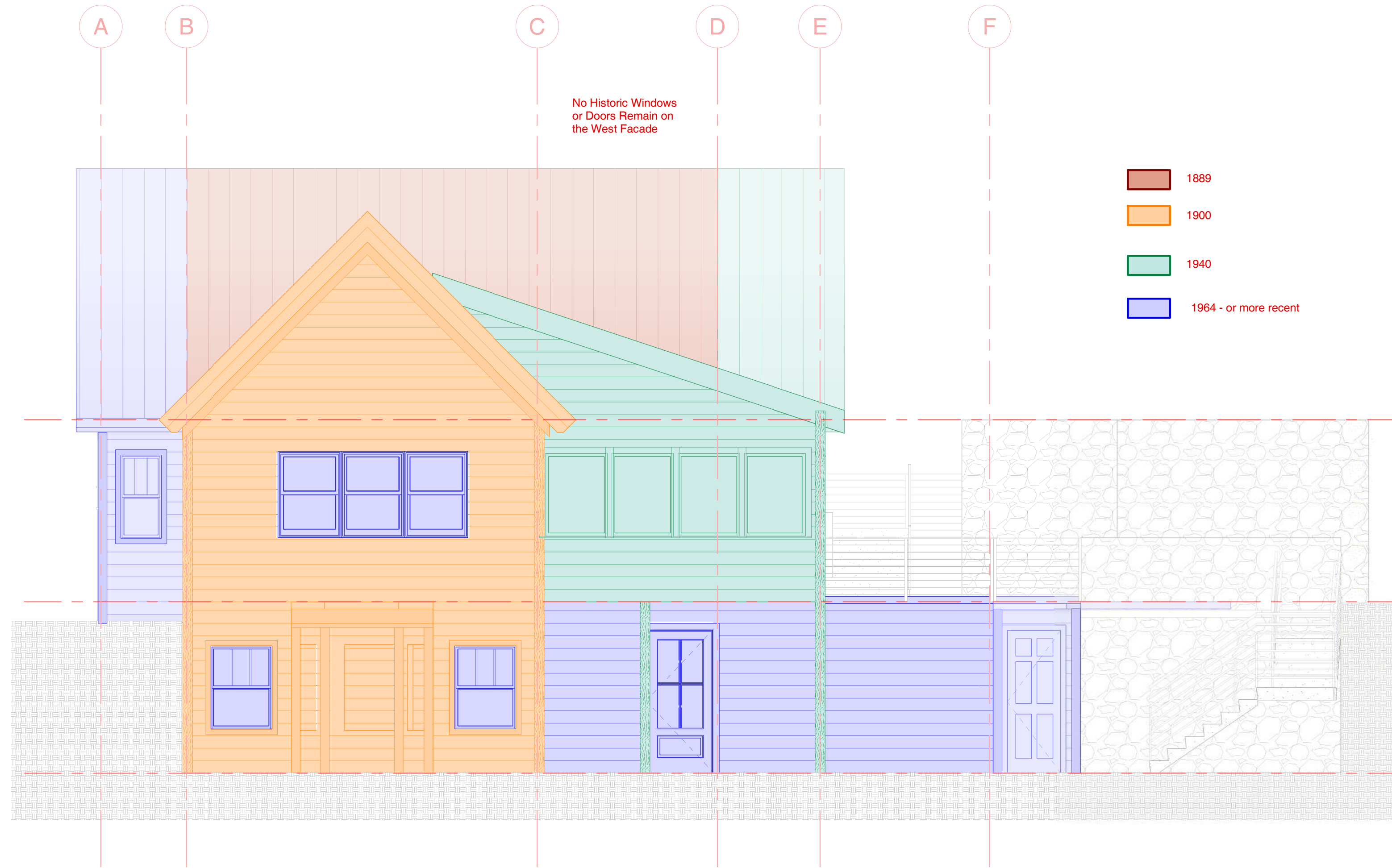
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Historic Timeline-Roof

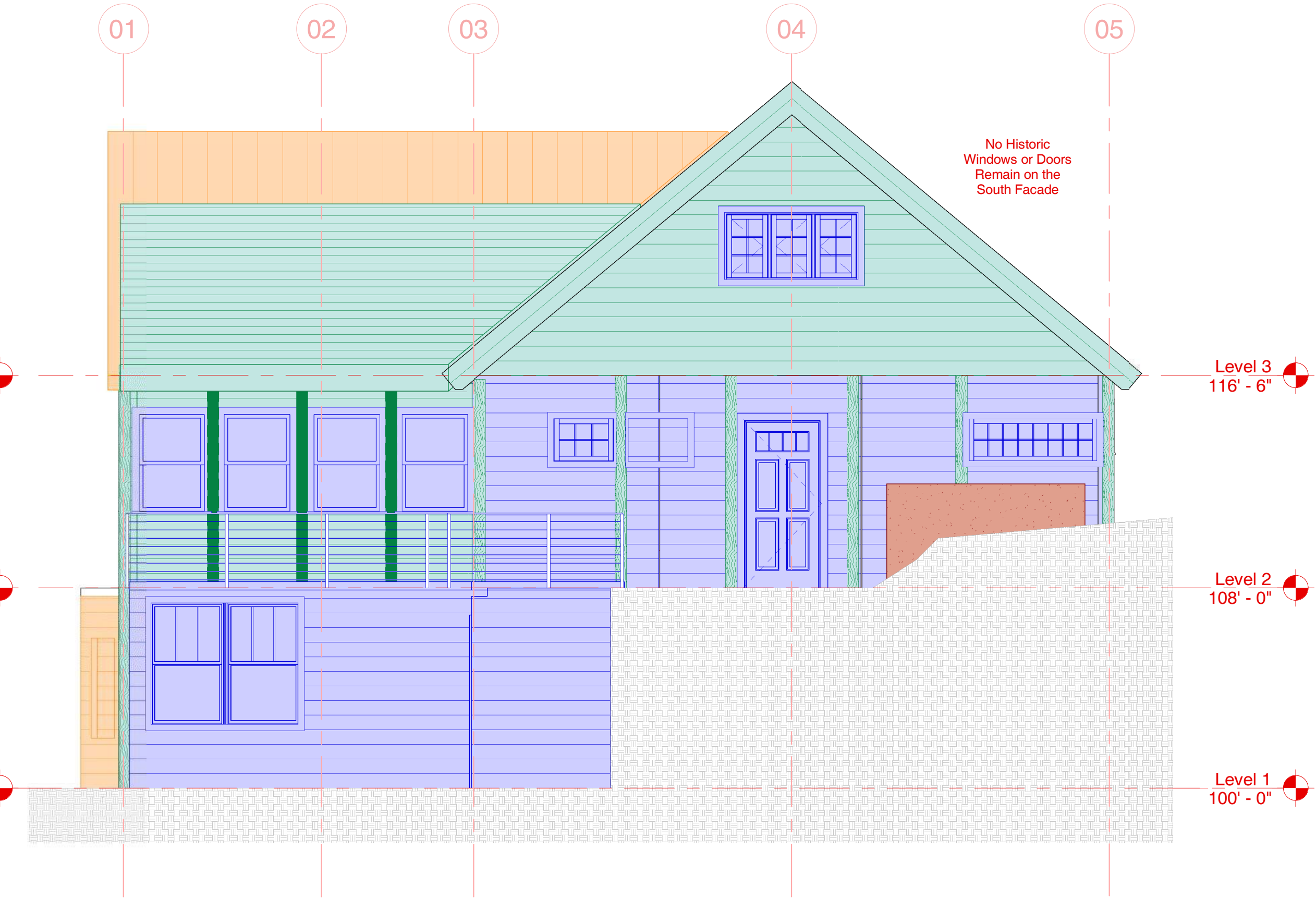
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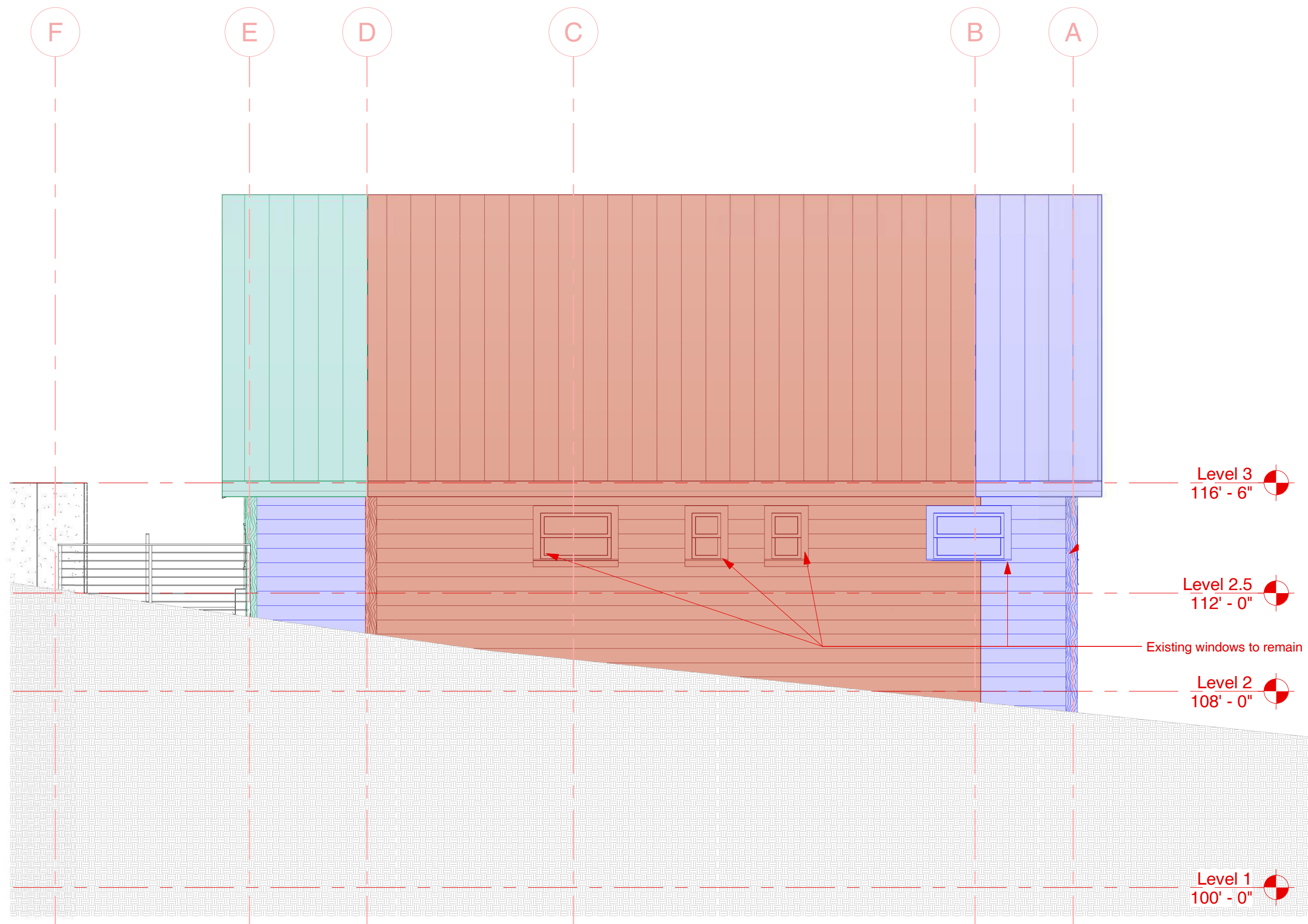
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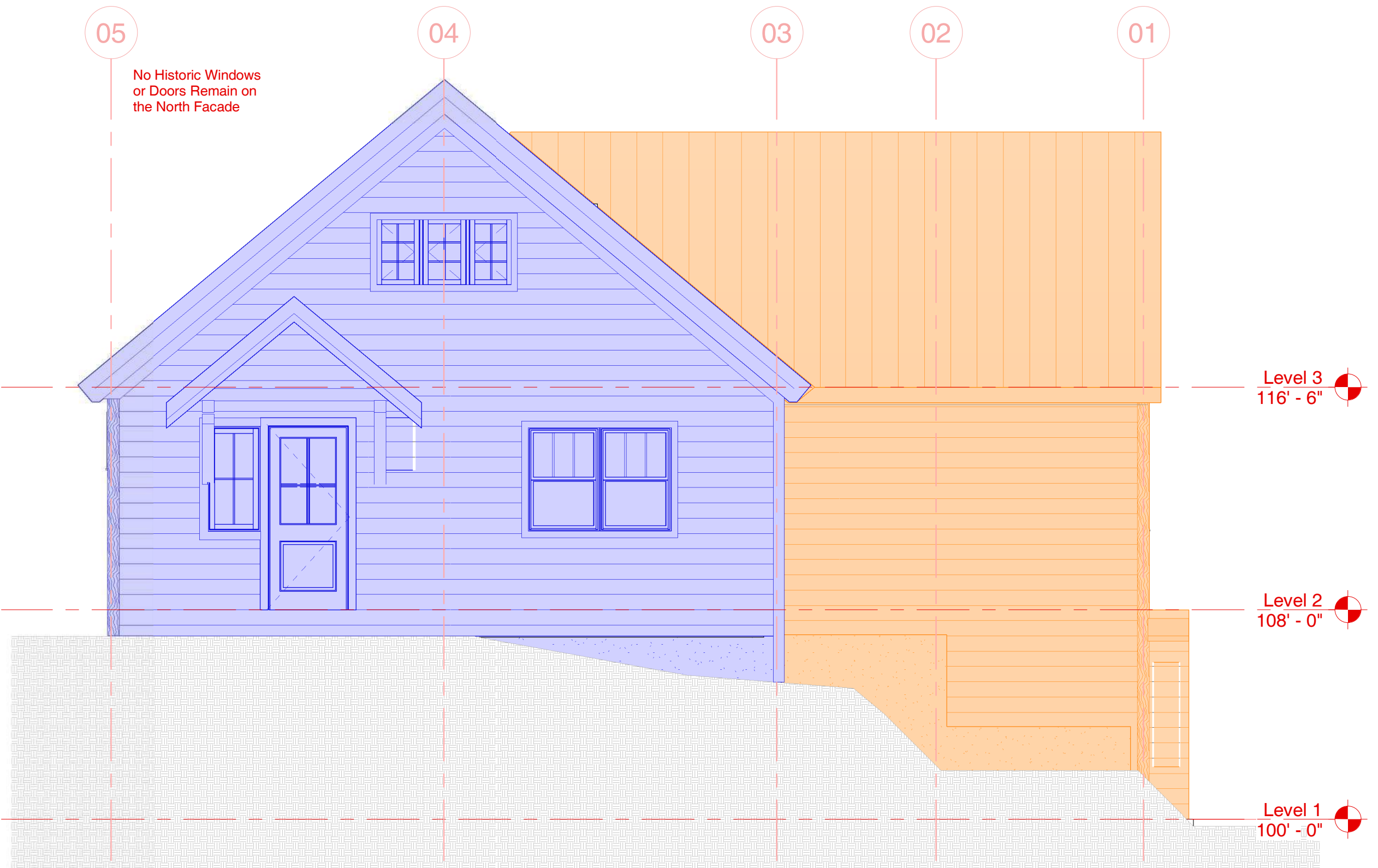
4 Elevation West Existing
1/4" = 1'-0"



3 Elevation South Existing
1/4" = 1'-0"



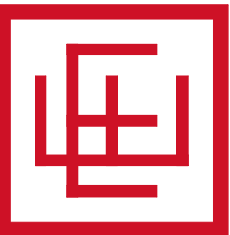
2 Elevation East Existing
1/4" = 1'-0"



1 Elevation North Existing
1/4" = 1'-0"

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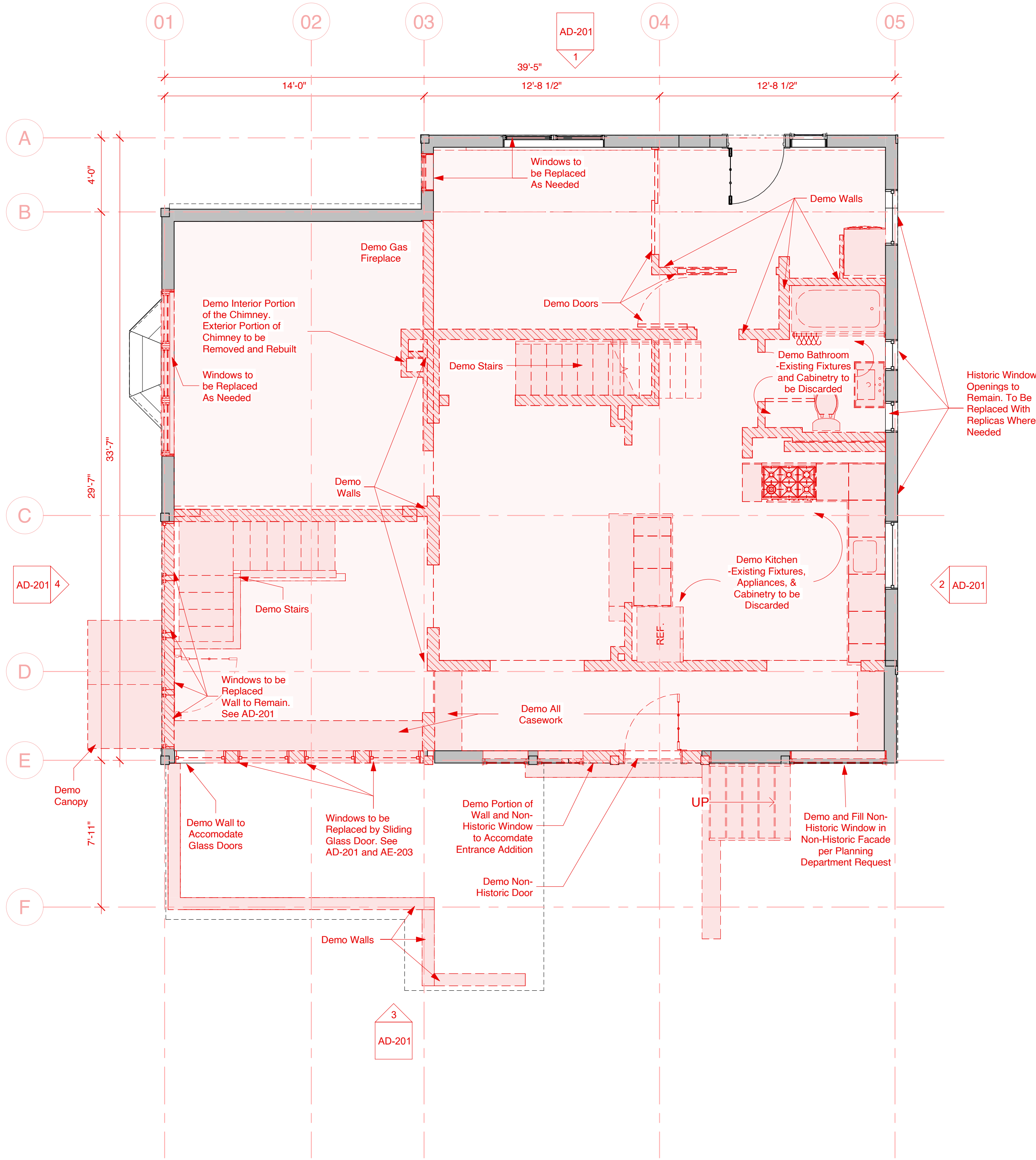
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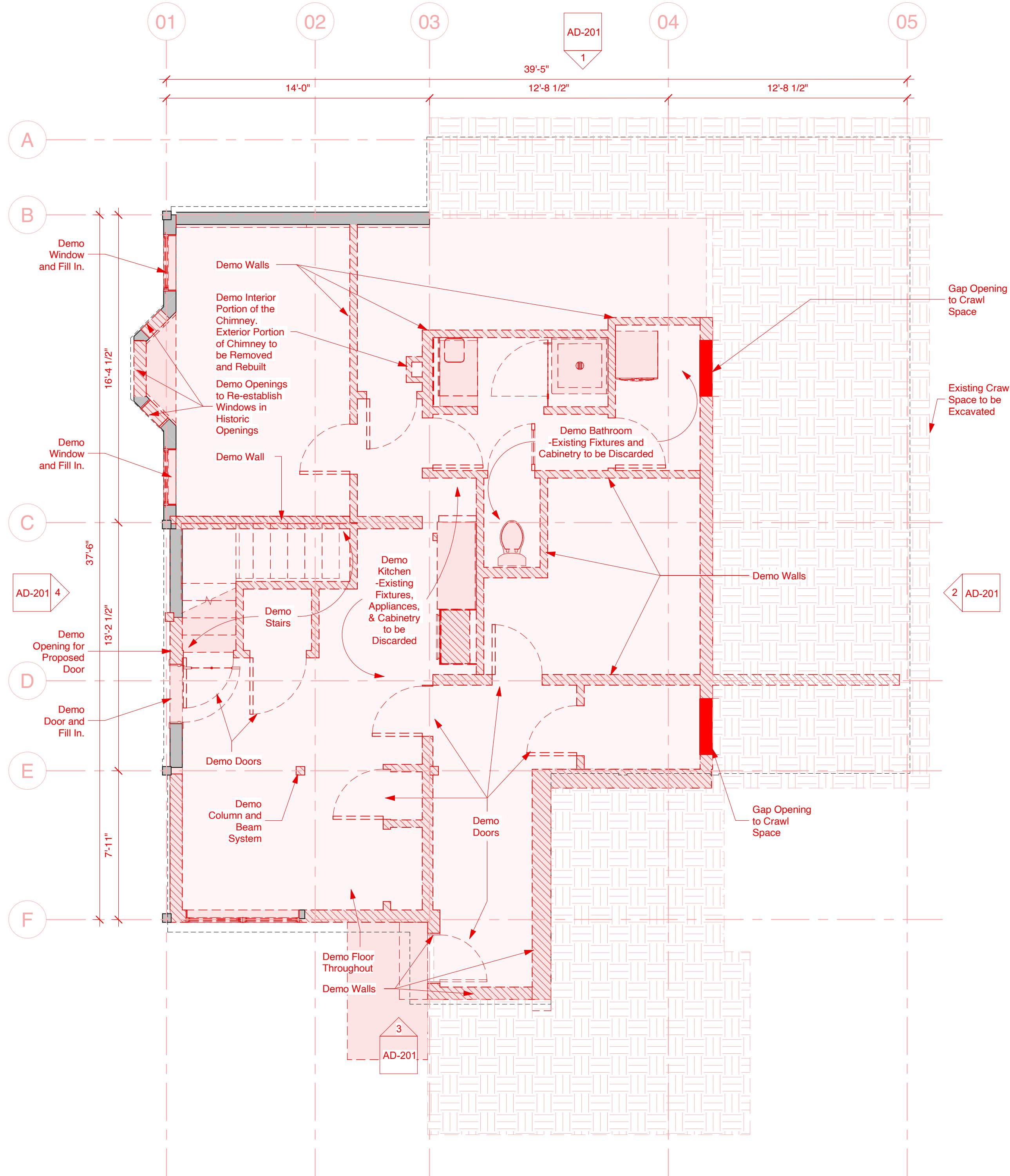
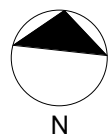
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Elevations Existing

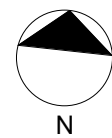
A-200



2 Proposed Demo Plan Level 2
1/4" = 1'-0"



1 Proposed Demo Plan Level 1
1/4" = 1'-0"



Legend

- Window Tag- Refer To Window Schedule
- Door Tag- Refer To Door Schedule
- Room Name And Number- Refer To Room Finish Schedule
- Spot Elevation Marker
- Edge Of Roof Above

General Notes - Plan

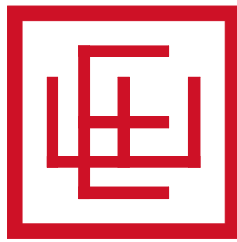
- No Exterior Demo to be Performed Without Architectural Consultation

Demo Key

- Existing Building Elements to Remain.
- Existing Building Elements to Remain.
- Existing Building Elements to be Removed.
- Existing Building Elements to be Removed.
- Existing Floor Surfaces to be Removed.
- Reconstruct Roofs Beyond Repair

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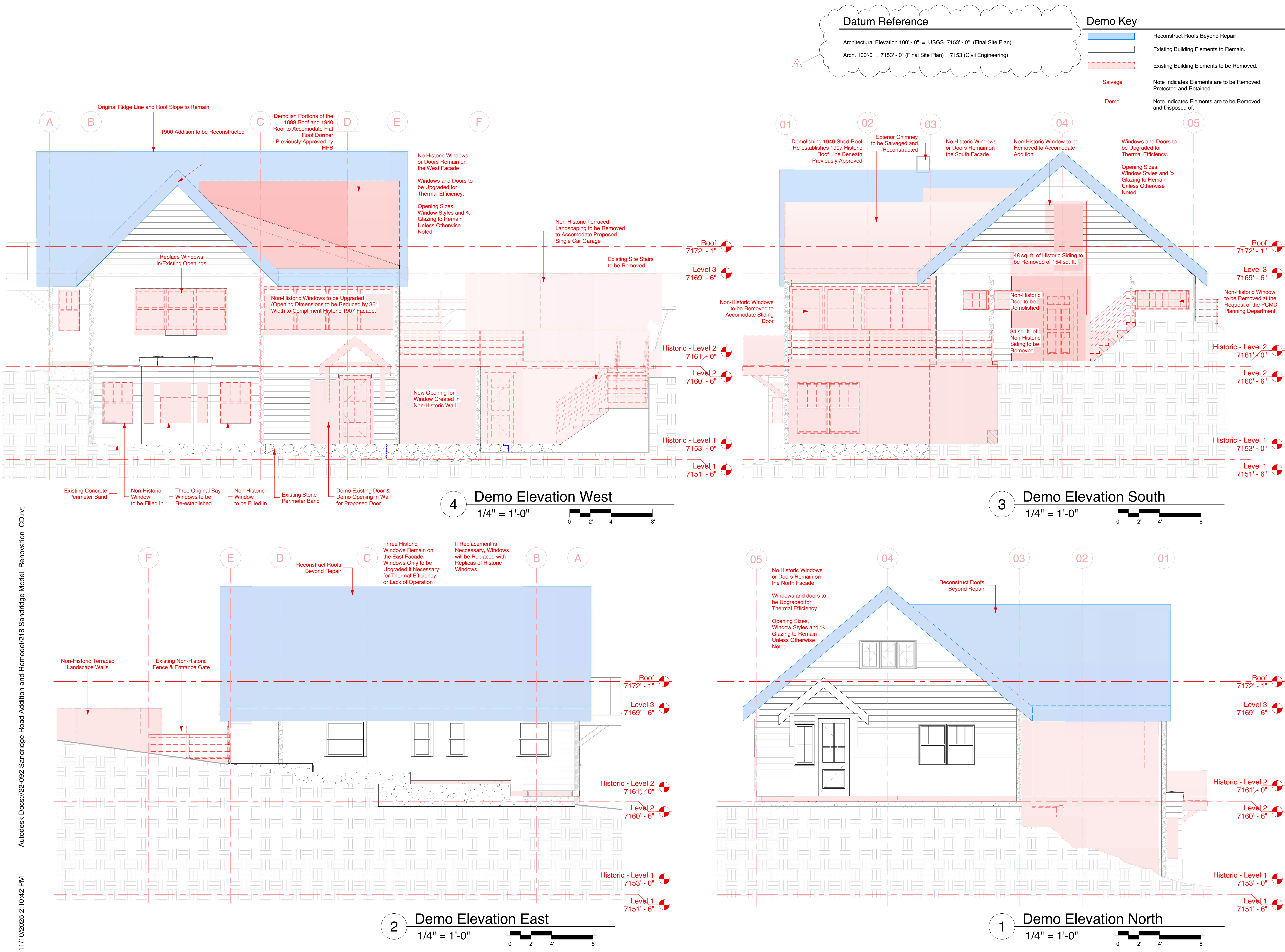
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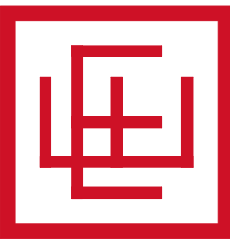
Proposed Demolition Floor Plan

AD-100



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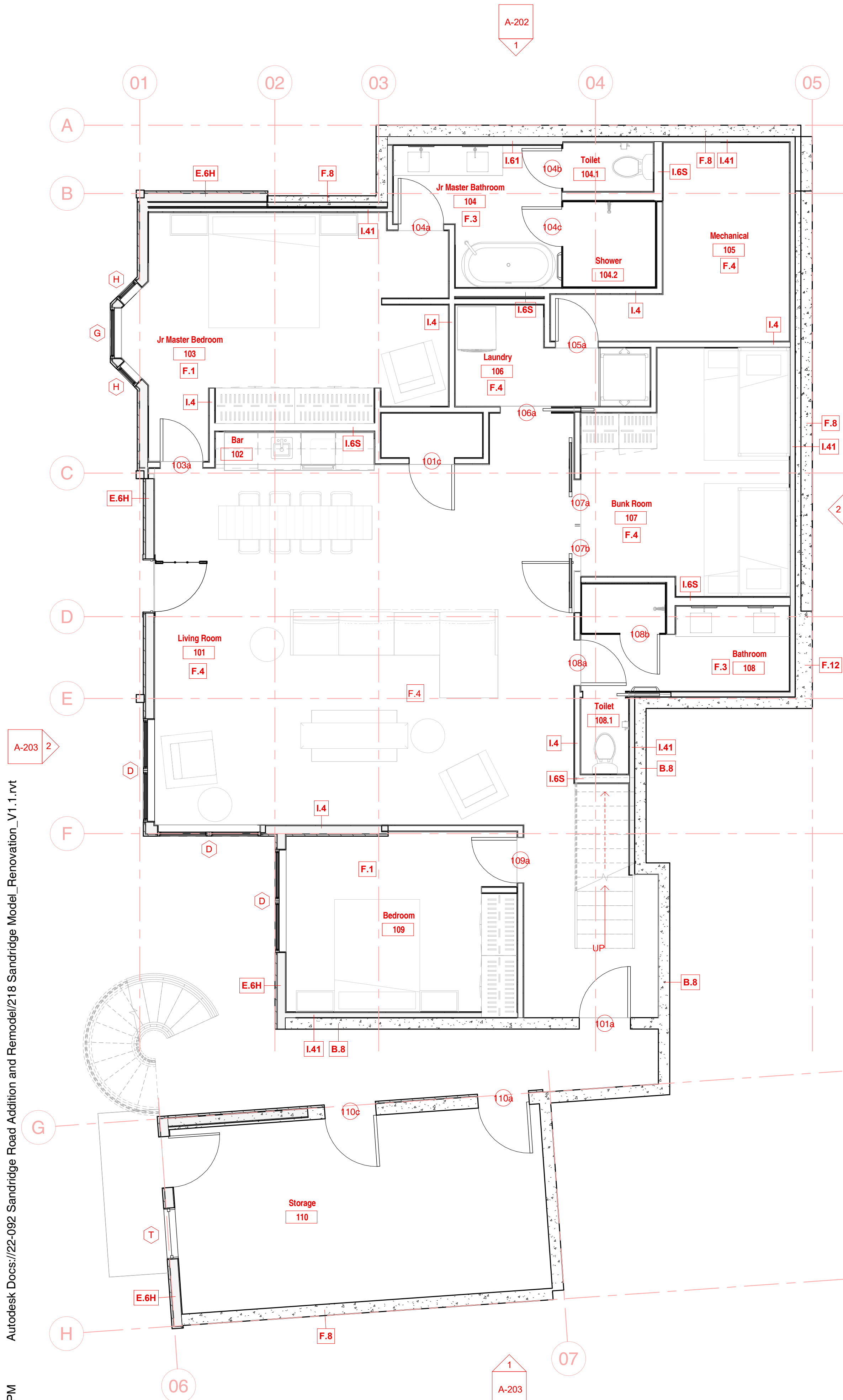
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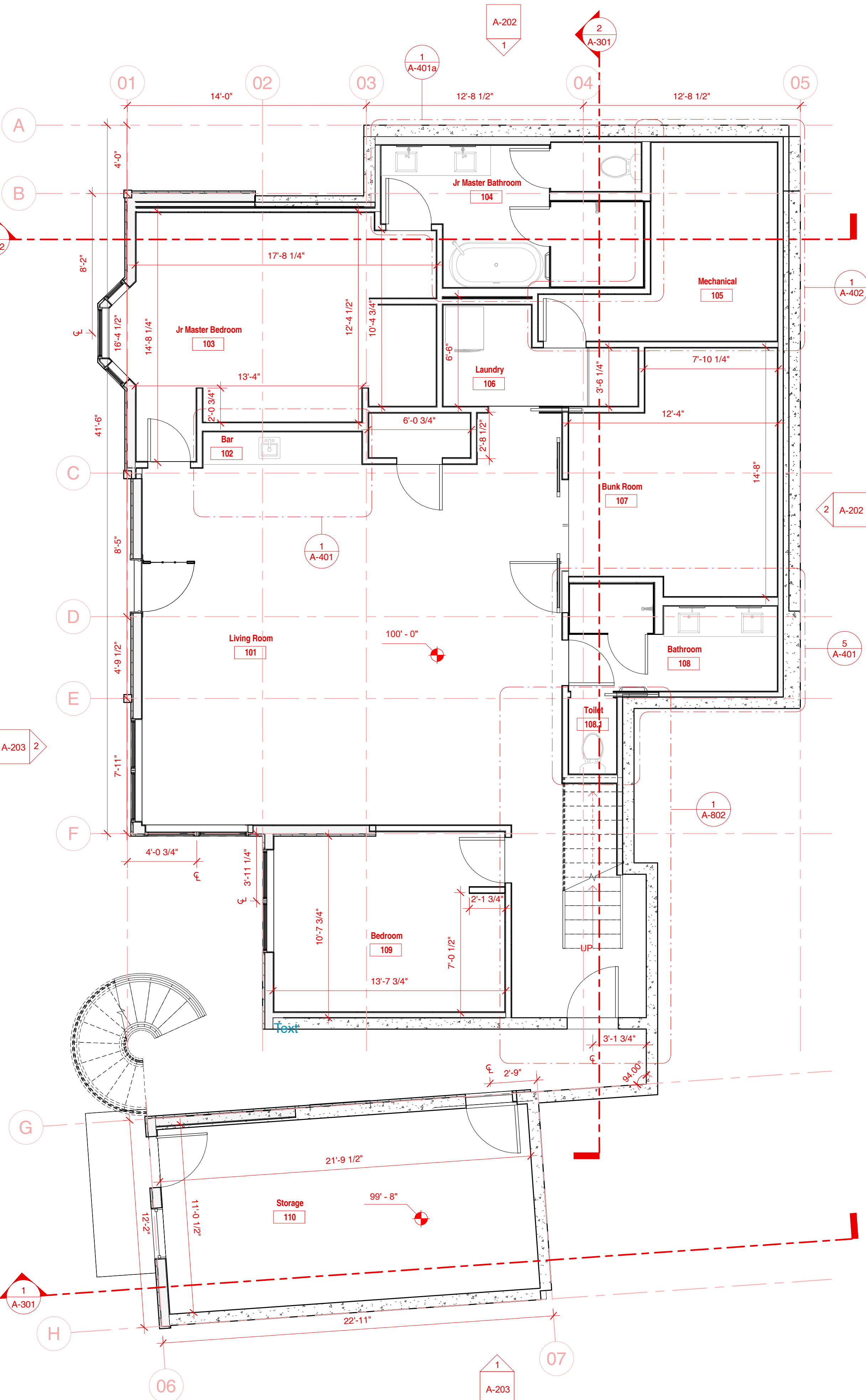
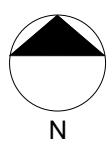
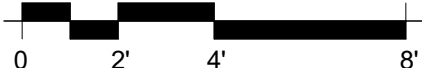
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Demo Elevations

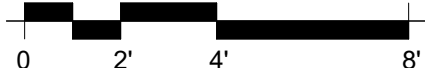
AD-201



2 Proposed Reference Plan Level 1
1/4" = 1'-0"



1 Proposed CD Plan Level 1
1/4" = 1'-0"



Legend

- Window Tag- Refer To Window Schedule
- Door Tag- Refer To Door Schedule
- Room name
Room Name And Number- Refer To Room Finish Schedule
- Spot Elevation Marker
- Edge Of Roof Above

General Notes - Plan

- Refer to Sheet G-002 for Architectural Notes.
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- Coordinate Kitchen Equipment and Layouts with Mechanical, Electrical & Plumbing Plans. Provide Required Blocking for Fixtures and Casework.
- Coordinate Utility Connections with Civil Drawings.

Wall Types

	F.12 Foundation - 12" Concrete
	F.8 Foundation - 8" Concrete
	B.8 Basic - 8" Concrete
	E.6H Ext Wood 2x6 GWB/Siding Horizontal U356 1hr2
	E.6V Ext Wood 2x6 GWB/Siding Vertical U356 1hr
	I.6S Int Wood 2x6 1/2" GWB/GWB STC 37
	I.6 Int Wood 2x6 1/2" GWB/GWB U317 45 min
	I.61 Int Wood 2x6 GWB (One Side)
	I.4 Int Wood 2x4 GWB/GWB FR
	I.41 Int Wood 2x4 GWB (One Side)

Windows

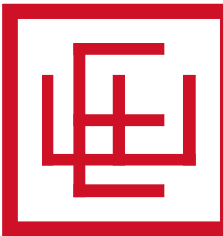
Mark	Type	Width	Height
A	Double Hung with Trim	3' - 0"	2' - 0"
B	Window-Double_Hung-Marvin-Essential	2' - 0"	4' - 0"
C	Fixed with Trim	3' - 0"	4' - 0"
D	Window-Double_Hung-Marvin-Essential-MultiW_1	6' - 0"	4' - 11 1/2"
E	Window-Double_Hung-Marvin-Essential-MultiW_1	5' - 5 1/2"	3' - 11 1/2"
F	Window_Casement-1-Wide_Kolbe	2' - 0"	4' - 0"
G	Window-Double_Hung-Marvin-Essential	3' - 0"	4' - 0"
H	Window-Double_Hung-Marvin-Essential	1' - 6"	4' - 0"
I	Fixed with Trim	3' - 0"	2' - 0"
J	Window-Double_Hung-Marvin-Ciad_Ultimate-Multi	2' - 11 3/8"	4' - 0 3/8"
JJ	Fixed	2' - 0"	5' - 0"
K	Window-Awning-1Wx1H_Kolbe	5' - 3"	1' - 10"
L	Double Hung with Trim	1' - 4"	2' - 0"
M	Fixed with Trim	3' - 0"	7' - 0"
N	Window_Casement-3-Wide_Kolbe	5' - 4"	2' - 8"
O	Fixed with Trim	3' - 0"	3' - 0"
P	Window_Casement-1-Wide_Kolbe	2' - 6"	1' - 10"
PP	Fixed	2' - 0"	3' - 0"
Q	Double Hung with Trim	2' - 9"	4' - 0"
T	Double Hung with Trim	3' - 0"	4' - 0"
TT	Fixed with Trim	3' - 0"	1' - 6"

Doors

Mark	Description	Door Width	Door Height	Mark	Finish Description
101a		3' - 0"	7' - 0"	F.1	Carpet
101c		2' - 8"	7' - 0"	F.2	Concrete Floor
103a		2' - 6"	7' - 0"	F.3	Floor Tile
104a		2' - 8"	7' - 0"	F.4	Wood Floor
104b		2' - 4"	6' - 8"	F.5	Vinyl Tile
104c		2' - 4"	6' - 8"	F.6	Wall Tile
105a		2' - 6"	7' - 0"		
106a	Bathroom / Closet	3' - 0"	7' - 0"		
107a		2' - 8"	7' - 0"		
107b		2' - 8"	7' - 0"		
108a		2' - 8"	7' - 0"		
108b		2' - 4"	6' - 8"		
108c	Bathroom / Closet	2' - 6"	7' - 0"		
109a		2' - 8"	6' - 8"		
110a		3' - 0"	7' - 0"		
110c		3' - 0"	6' - 8"		
201a	Commercial Stile and Rail Wood French Door	3' - 0"	7' - 0"		
201b		6' - 0"	7' - 0"		
201c		6' - 0"	7' - 0"		
201d		2' - 6"	6' - 8"		
201e		2' - 6"	6' - 8"		
201f		2' - 6"	6' - 8"		
201g	6 Panel Door	2' - 6"	6' - 8"		
201h	Commercial Stile and Rail Wood French Door	3' - 0"	7' - 0"		
201i		0"	0"		
201j		0"	0"		
202a		2' - 8"	7' - 0"		
203a		2' - 6"	7' - 0"		
203b		2' - 4"	6' - 8"		
204a		2' - 8"	7' - 0"		
205a		2' - 8"	7' - 0"		
207a	Commercial Stile and Rail Wood French Door	3' - 0"	7' - 0"		
207b		8' - 0"	8' - 0"		
301a		2' - 6"	6' - 8"		
301b		6' - 0"	7' - 0"		
302a	Bathroom / Closet	3' - 0"	7' - 0"		
303a	Bathroom / Closet	3' - 0"	7' - 0"		

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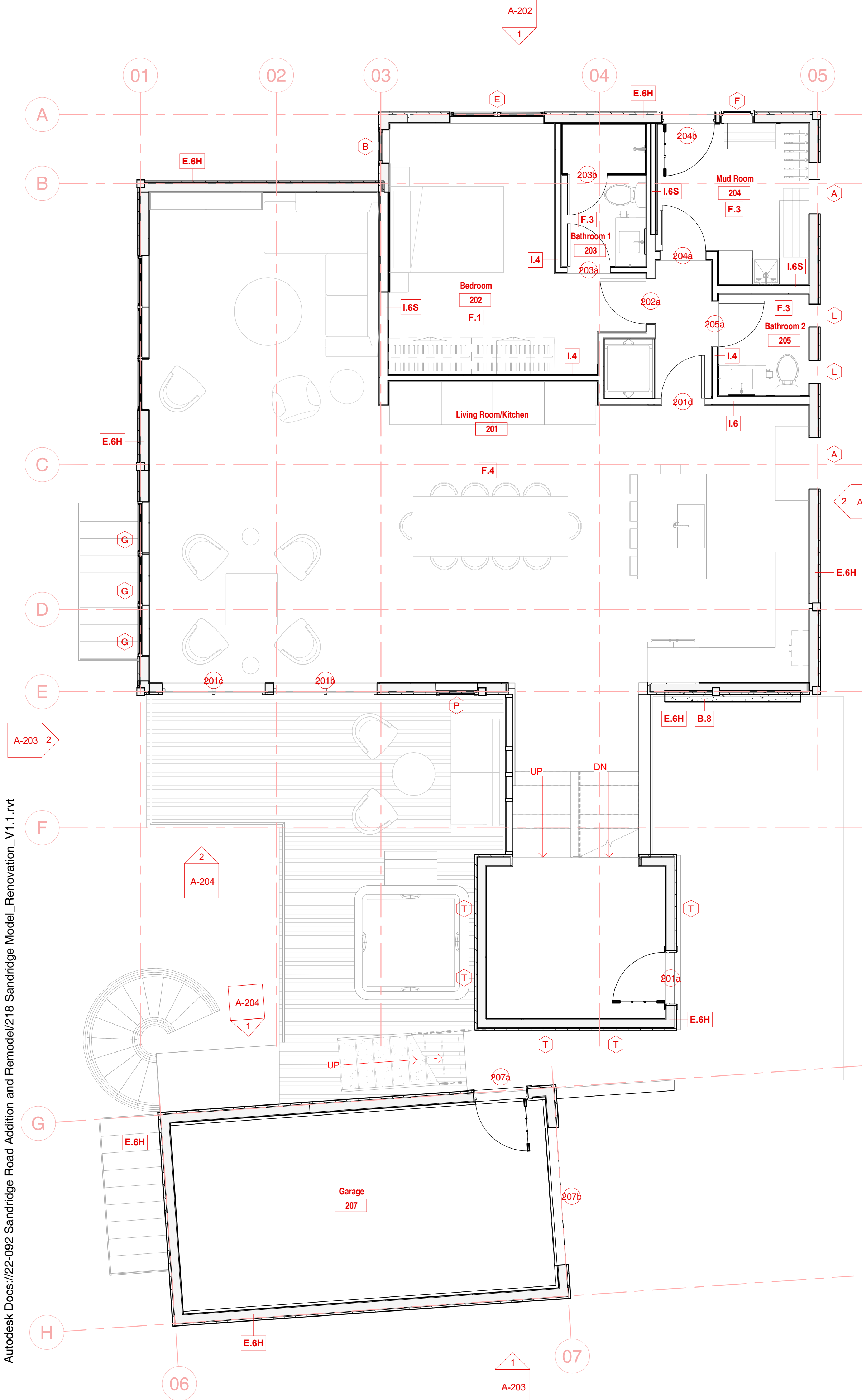
Rev. Date Description

ISSUE DATE: 25.11.10.
OWNER PROJECT NO: .
CONTRACT NO: .
DRAWN BY: MJG
CHECKED BY: LH
DESIGNED BY: MJG
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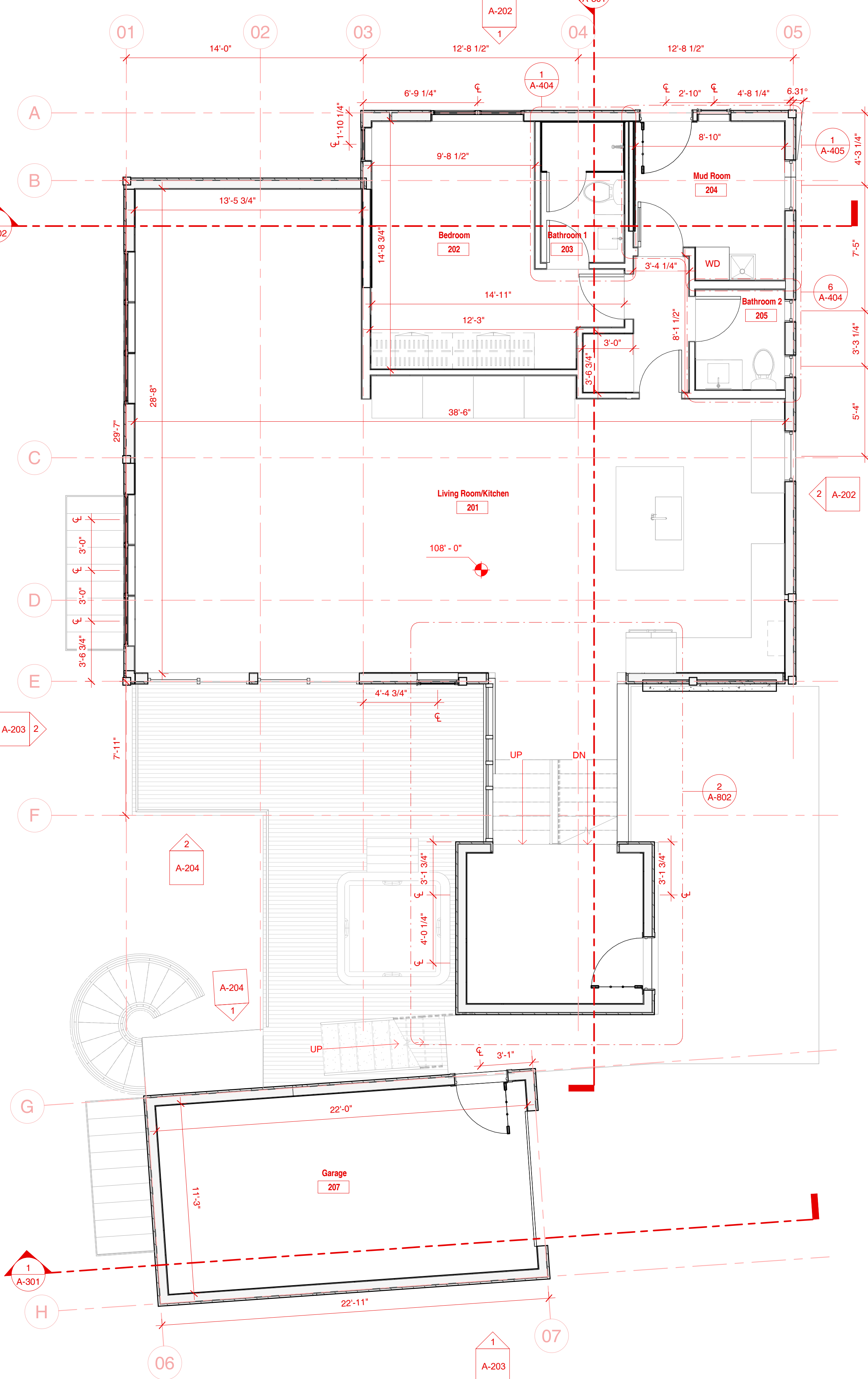
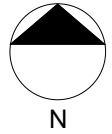
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Proposed Floor Plan Level 1

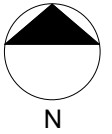
AE-100



2 Proposed Reference Plan Level 2
1/4" = 1'-0"



1 Proposed CD Plan Level 2
1/4" = 1'-0"



Legend	
	Window Tag- Refer To Window Schedule
	Door Tag- Refer To Door Schedule
	Room Name And Number- Refer To Room Finish Schedule
	Spot Elevation Marker
	Edge Of Roof Above

- General Notes - Plan
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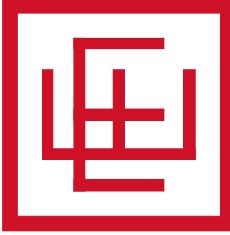
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	E.6V Ext Wood 2x6 GWB/Siding Vertical U356 1hr
	I.6S Int Wood 2x6 1/2" GWB/GWB STC 37
	I.6 Int Wood 2x6 1/2" GWB/GWB U317 45 min
	I.61 Int Wood 2x6 GWB (One Side)
	I.4 Int Wood 2x4 GWB/GWB FR
	I.41 Int Wood 2x4 GWB (One Side)

Windows		
Mark	Type	Width Height
A	Double Hung with Trim	3' - 0" 2' - 0"
B	Window-Double_Hung-Marvin-Essential	2' - 0" 4' - 0"
C	Fixed with Trim	3' - 0" 4' - 0"
D	Window-Double_Hung-Marvin-Essential-MultiW_1	6' - 0 4' - 11 1/2"
E	Window-Double_Hung-Marvin-Essential-MultiW_1	5' - 5 3' - 11 1/2"
F	Window_Casement-1-Wide_Kolbe	2' - 0" 4' - 0"
G	Window-Double_Hung-Marvin-Essential	3' - 0" 4' - 0"
H	Window-Double_Hung-Marvin-Essential	1' - 6" 4' - 0"
I	Fixed with Trim	3' - 0" 2' - 0"
J	Window-Double_Hung-Marvin-Clad_Ultimate-Multi	2' - 11 3/8" 4' - 0 3/8"
JJ	Fixed	2' - 0" 5' - 0"
K	Window-Awning-1Wx1H_Kolbe	5' - 3" 1' - 10"
L	Double Hung with Trim	1' - 4" 2' - 0"
M	Fixed with Trim	3' - 0" 7' - 0"
N	Window_Casement-3-Wide_Kolbe	5' - 4" 2' - 8"
O	Fixed with Trim	3' - 0" 3' - 0"
P	Window_Casement-1-Wide_Kolbe	2' - 6" 1' - 10"
PP	Fixed	2' - 0" 3' - 0"
Q	Double Hung with Trim	2' - 9" 4' - 0"
T	Double Hung with Trim	3' - 0" 4' - 0"
TT	Fixed with Trim	3' - 0" 1' - 6"

Doors		Floor Finishes	
Mark	Description	Door Width Height	Finish Mark Description
101a		3' - 0" 7' - 0"	F.1 Carpet
101c		2' - 8" 7' - 0"	F.2 Concrete Floor
103a		2' - 6" 7' - 0"	F.3 Floor Tile
104a		2' - 8" 7' - 0"	F.4 Wood Floor
104b		2' - 4" 6' - 8"	F.5 Vinyl Tile
104c		2' - 4" 6' - 8"	F.6 Wall Tile
105a		2' - 6" 7' - 0"	
106a	Bathroom / Closet	3' - 0" 7' - 0"	
107a		2' - 8" 7' - 0"	
107b		2' - 8" 7' - 0"	
108a		2' - 8" 7' - 0"	
108b		2' - 4" 6' - 8"	
108c	Bathroom / Closet	2' - 6" 7' - 0"	
109a		2' - 8" 6' - 8"	
110a		3' - 0" 7' - 0"	
110c		3' - 0" 6' - 8"	
201a	Commercial Stile and Rail Wood French Door	3' - 0" 7' - 0"	
201b		6' - 0" 7' - 0"	
201c		6' - 0" 7' - 0"	
201d		2' - 6" 6' - 8"	
201e		2' - 6" 6' - 8"	
201f		2' - 6" 6' - 8"	
201g	6 Panel Door	2' - 6" 6' - 8"	
201h	Commercial Stile and Rail Wood French Door	3' - 0" 7' - 0"	
201i		0" 0"	
201j		0" 0"	
202a		2' - 8" 7' - 0"	
203a		2' - 6" 7' - 0"	
203b		2' - 4" 6' - 8"	
204a		2' - 8" 7' - 0"	
205a		2' - 8" 7' - 0"	
207a	Commercial Stile and Rail Wood French Door	3' - 0" 7' - 0"	
207b		8' - 0" 8' - 0"	
301a		2' - 6" 6' - 8"	
301b		6' - 0" 7' - 0"	
302a	Bathroom / Closet	3' - 0" 7' - 0"	
303a	Bathroom / Closet	3' - 0" 7' - 0"	
303c		2' - 6" 7' - 0"	

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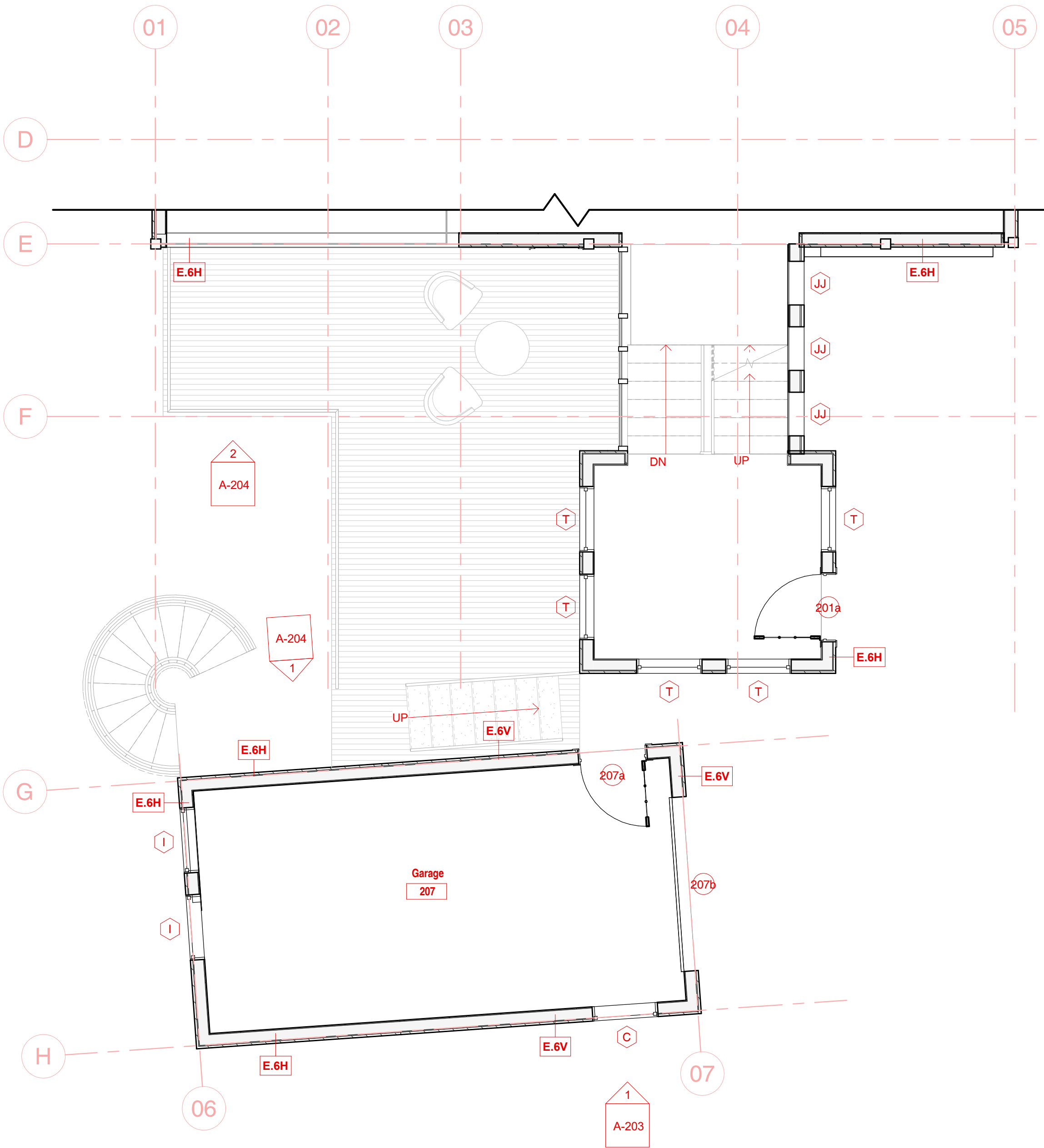
Rev.	Date	Description
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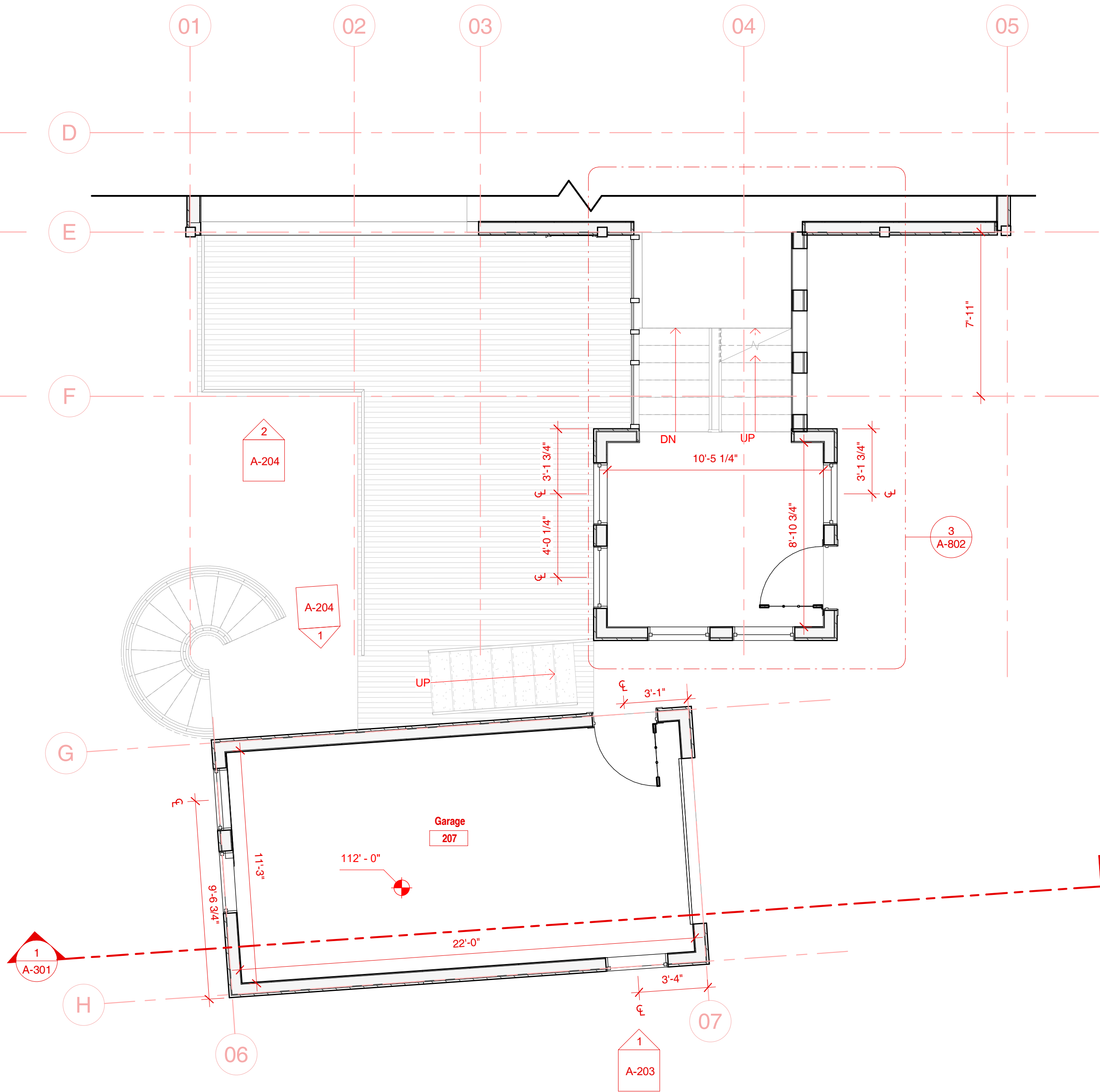
SHEET TITLE

Proposed Floor Plan Level 2

AE-101



2 Proposed Reference Plan Level 2.5
1/4" = 1'-0"



1 Proposed CD Plan Level 2.5
1/4" = 1'-0"

Legend

- Window Tag- Refer To Window Schedule
- Door Tag- Refer To Door Schedule
- Room Name
Room Name And Number- Refer To Room Finish Schedule
- Spot Elevation Marker
- Edge Of Roof Above

General Notes - Plan

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Wall Types

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	B.8 Basic - 8" Concrete
	E.6H Ext Wood 2x6 GWB/Siding Horizontal U356 1hr2
	E.6V Ext Wood 2x6 GWB/Siding Vertical U356 1hr
	I.6S Int Wood 2x6 1/2" GWB/GWB STC 37
	I.6 Int Wood 2x6 1/2" GWB/GWB U317 45 min
	I.61 Int Wood 2x6 GWB (One Side)
	I.4 Int Wood 2x4 GWB/GWB FR
	I.41 Int Wood 2x4 GWB (One Side)

Windows

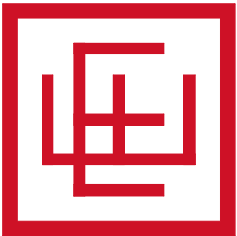
Mark	Type	Width	Height
A	Double Hung with Trim	3' - 0"	2' - 0"
B	Window-Double_Hung-Marvin-Essential	2' - 0"	4' - 0"
C	Fixed with Trim	3' - 0"	4' - 0"
D	Window-Double_Hung-Marvin-Essential-MultiW_1	6' - 0	4' - 11 1/2"
E	Window-Double_Hung-Marvin-Essential-MultiW_1	5' - 5 1/2"	3' - 11 1/2"
F	Window_Casement-1-Wide_Kolbe	2' - 0"	4' - 0"
G	Window-Double_Hung-Marvin-Essential	3' - 0"	4' - 0"
H	Window-Double_Hung-Marvin-Essential	1' - 6"	4' - 0"
I	Fixed with Trim	3' - 0"	2' - 0"
J	Window-Double_Hung-Marvin-Clad_Ultimate-Multi	2' - 11 3/8"	4' - 0 3/8"
JJ	Fixed	2' - 0"	5' - 0"
K	Window-Awning-1Wx1H_Kolbe	5' - 3"	1' - 10"
L	Double Hung with Trim	1' - 4"	2' - 0"
M	Fixed with Trim	3' - 0"	7' - 0"
N	Window_Casement-3-Wide_Kolbe	5' - 4"	2' - 8"
O	Fixed with Trim	3' - 0"	3' - 0"
P	Window_Casement-1-Wide_Kolbe	2' - 6"	1' - 10"
PP	Fixed	2' - 0"	3' - 0"
Q	Double Hung with Trim	2' - 9"	4' - 0"
T	Double Hung with Trim	3' - 0"	4' - 0"
TT	Fixed with Trim	3' - 0"	1' - 6"

Doors

Mark	Description	Door Width	Door Height	Mark	Finish Description
101a		3' - 0"	7' - 0"	F.1	Carpet
101c		2' - 8"	7' - 0"	F.2	Concrete Floor
102a		2' - 6"	7' - 0"	F.3	Floor Tile
102b		2' - 8"	7' - 0"	F.4	Wood Floor
102c		2' - 4"	6' - 8"	F.5	Vinyl Tile
102d		2' - 4"	6' - 8"	F.6	Wall Tile
102e		2' - 6"	7' - 0"		
102f		3' - 0"	7' - 0"		
102g	Bathroom / Closet	2' - 8"	7' - 0"		
102h		2' - 8"	7' - 0"		
102i		2' - 8"	7' - 0"		
102j		2' - 4"	6' - 8"		
102k	Bathroom / Closet	2' - 6"	7' - 0"		
102l		2' - 8"	6' - 8"		
102m		3' - 0"	7' - 0"		
102n		3' - 0"	6' - 8"		
102o		3' - 0"	7' - 0"		
102p	Commercial Stile and Rail	3' - 0"	7' - 0"		
102q	Wood French Door	6' - 0"	7' - 0"		
102r		6' - 0"	7' - 0"		
102s		2' - 6"	6' - 8"		
102t		2' - 6"	6' - 8"		
102u		2' - 6"	6' - 8"		
102v		2' - 6"	6' - 8"		
102w	6 Panel Door	2' - 6"	6' - 8"		
102x	Commercial Stile and Rail	3' - 0"	7' - 0"		
102y	Wood French Door	0"	0"		
102z		0"	0"		
102aa		2' - 8"	7' - 0"		
102ab		2' - 6"	7' - 0"		
102ac		2' - 4"	6' - 8"		
102ad		2' - 8"	7' - 0"		
102ae		2' - 8"	7' - 0"		
102af	Commercial Stile and Rail	3' - 0"	7' - 0"		
102ag	Wood French Door	8' - 0"	8' - 0"		
102ah		2' - 6"	6' - 8"		
102ai		6' - 0"	7' - 0"		
102aj	Bathroom / Closet	3' - 0"	7' - 0"		
102ak	Bathroom / Closet	3' - 0"	7' - 0"		
102al		3' - 0"	7' - 0"		
102am		2' - 6"	7' - 0"		

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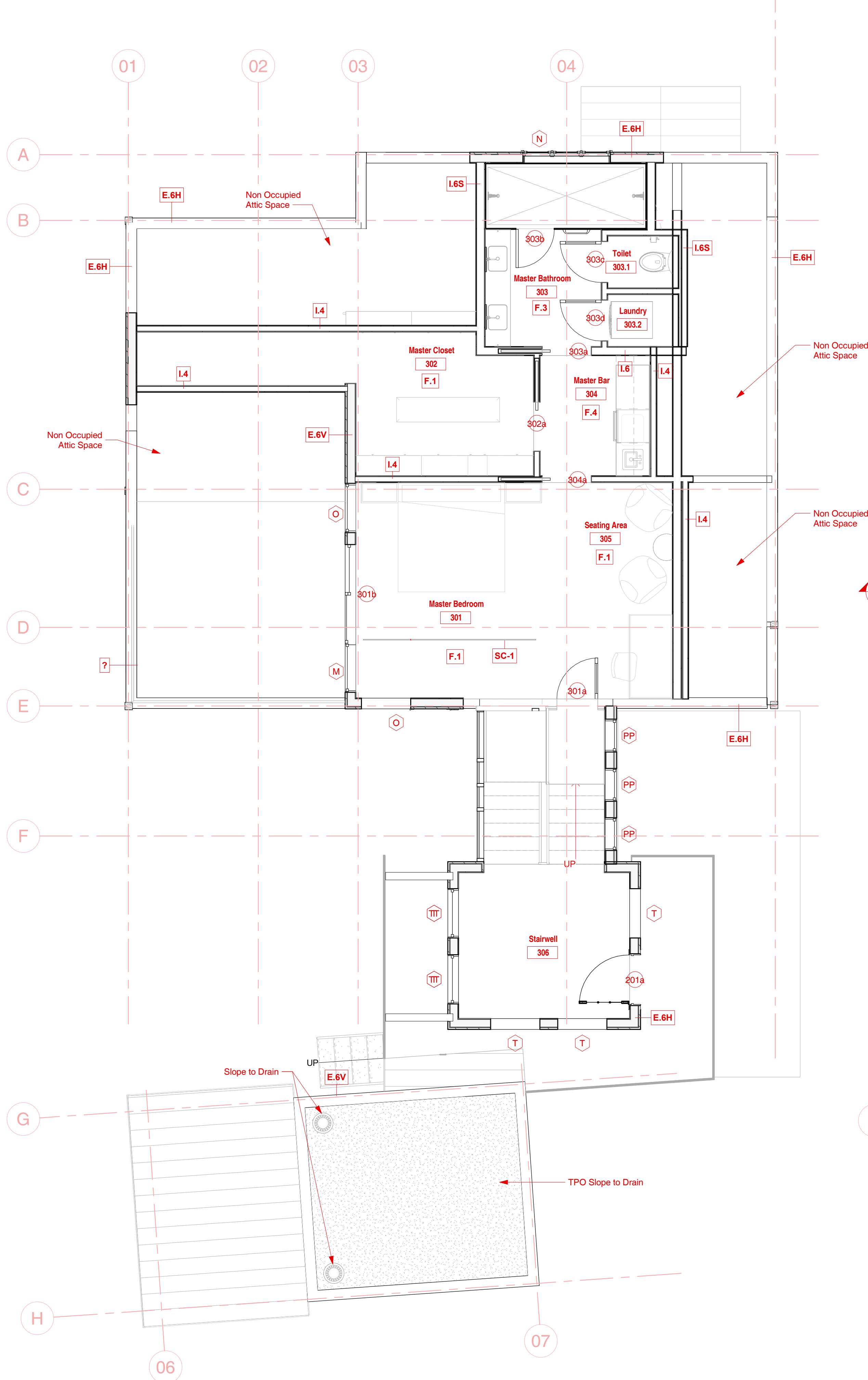
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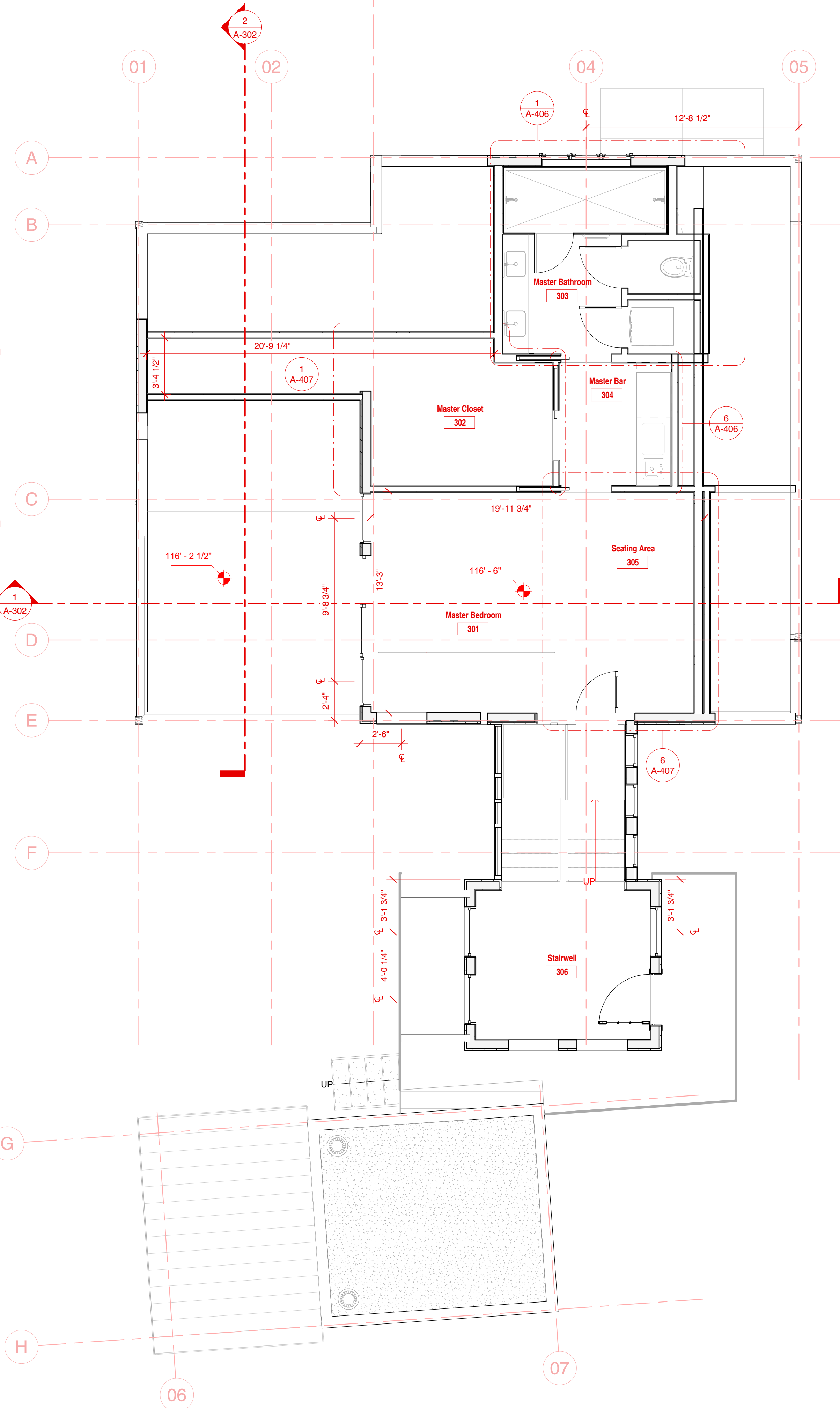
SHEET TITLE

Proposed Floor Plan Level
2.5

AE-102



2 Proposed Reference Plan Level 3
1/4" = 1'-0"



1 Proposed CD Plan Level 3
1/4" = 1'-0"



Legend

- Window Tag- Refer To Window Schedule
- Door Tag- Refer To Door Schedule
- Room name
Room Name And Number- Refer To Room Finish Schedule
- Spot Elevation Marker
- Edge Of Roof Above

General Notes - Plan

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Windows

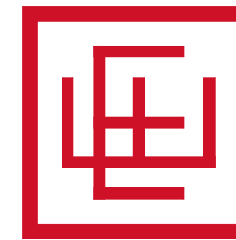
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C	Fixed with Trim	3' - 0"	4' - 0"
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F	Window_Casement-1-Wide_Kolbe	2' - 0"	4' - 0"
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H	Window-Double_Hung-Marvin-Essential	1' - 6"	4' - 0"
I	Fixed with Trim	3' - 0"	2' - 0"
J	Window-Double_Hung-Marvin-Clad_Ultimate-Multi	2' - 11 3/8"	4' - 0 3/8"
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104c		2' - 4"	6' - 8"	F.6	Wall Tile
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106a	Bathroom / Closet	3' - 0"	7' - 0"		
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107b		2' - 8"	7' - 0"		
108a		2' - 8"	7' - 0"		
108b		2' - 4"	6' - 8"		
108c	Bathroom / Closet	2' - 6"	7' - 0"		
109a		2' - 8"	6' - 8"		
110a		3' - 0"	7' - 0"		
110c		3' - 0"	6' - 8"		
201a	Commercial Stile and Rail Wood French Door	3' - 0"	7' - 0"		
201b		6' - 0"	7' - 0"		
201c		6' - 0"	7' - 0"		
201d		2' - 6"	6' - 8"		
201e		2' - 6"	6' - 8"		
201f		2' - 6"	6' - 8"		
201g	6 Panel Door	2' - 6"	6' - 8"		
201h	Commercial Stile and Rail Wood French Door	3' - 0"	7' - 0"		
201i		0"	0"		
201j		0"	0"		
202a		2' - 8"	7' - 0"		
203a		2' - 6"	7' - 0"		
203b		2' - 4"	6' - 8"		
204a		2' - 8"	7' - 0"		
205a		2' - 8"	7' - 0"		
207a	Commercial Stile and Rail Wood French Door	3' - 0"	7' - 0"		
207b		8' - 0"	8' - 0"		
301a		2' - 6"	6' - 8"		
301b		6' - 0"	7' - 0"		
302a	Bathroom / Closet	3' - 0"	7' - 0"		
303a	Bathroom / Closet	3' - 0"	7' - 0"		
303c		2' - 6"	7' - 0"		

ELLIOTT WORKGROUP LLC

1441 West Ute Blvd, Suite 100
Park City, Utah 84098
435-649-0092 or 801-415-1839
elliottworkgroup.com



Dennis Hranitzky
Hranitzky Residence
218 Sandridge Road
Park City, UT 84060
SSCUP
Hranitzky Residence

Rev. Date Description

ISSUE DATE: 25.11.10.
OWNER PROJECT NO: .
CONTRACT NO: .
DRAWN BY: MJG
CHECKED BY: LH
DESIGNED BY: MJG
EWG PROJECT NO: 2022.092
COPYRIGHT: Elliott Workgroup, LLC

SHEET TITLE

Proposed Floor Plan Level 3

AE-103

8. See Electrical Roof Plan for Heat Cable Locations and Requirements.

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elliottworkgroup.com

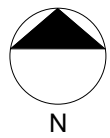
 Heat Cable

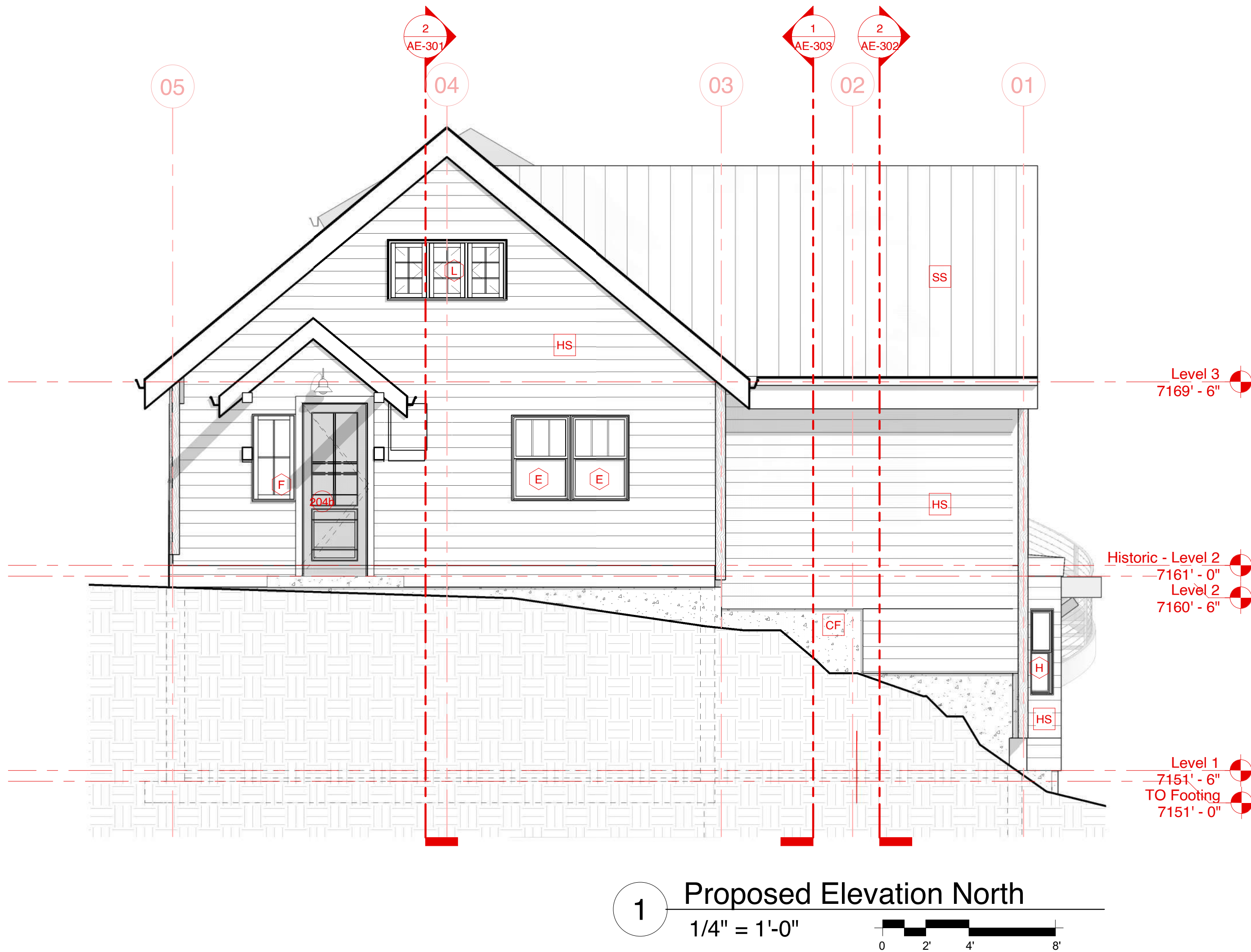
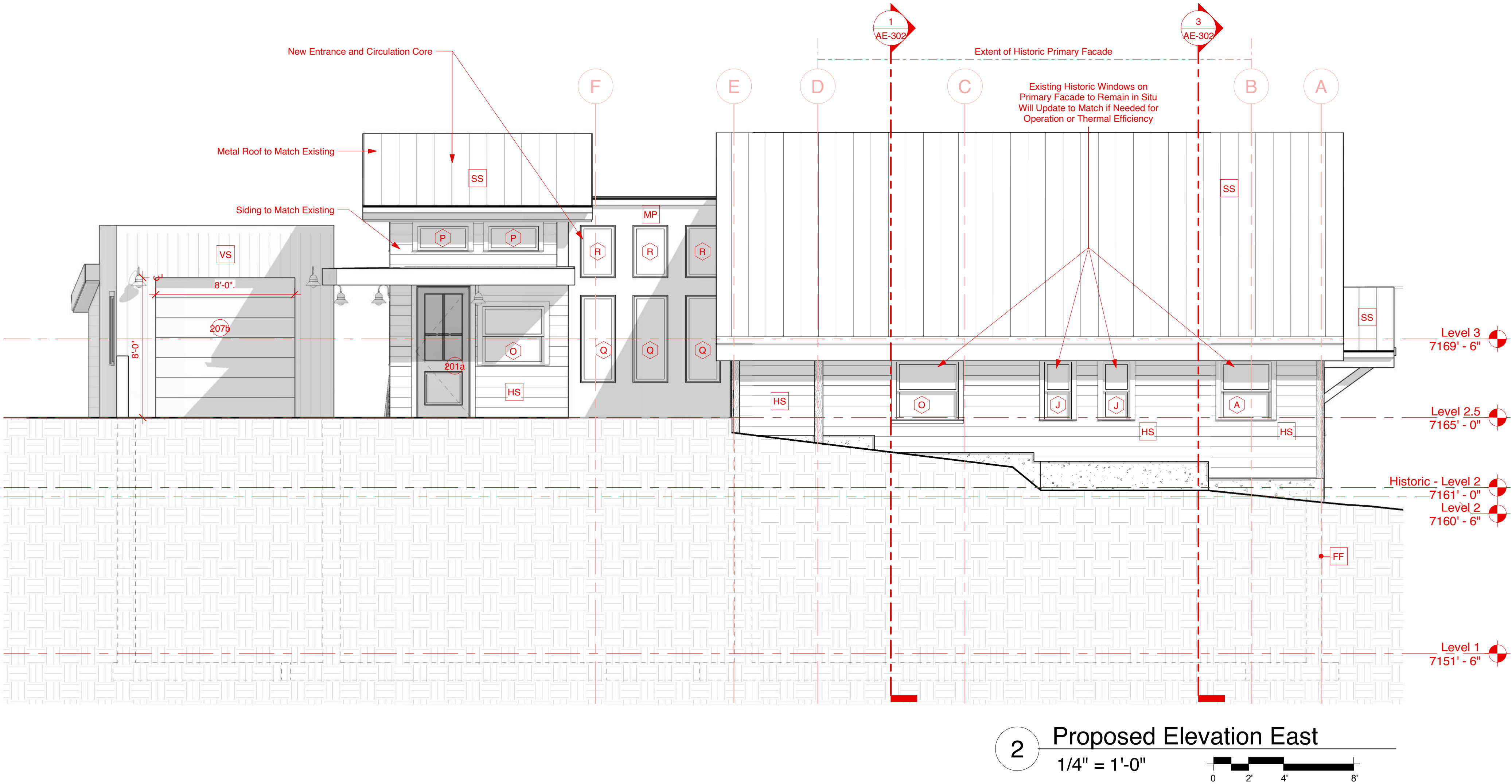
Hranitzky Residence

F.1	Carpet
F.2	Concrete Floor
F.3	Floor Tile
F.4	Wood Floor
F.5	Vinyl Tile
F.6	Wall Tile

Proposed Roof Plan

AE-104





General Notes - Elevations

- See Electrical for Exterior Lighting.
- Height of Chimney, Mechanical Features are Approximate Coordinate Actual Heights with Architect.
- Final Colors & Materials to be Approved by Architect Prior to Commencement of Work.
- All Exposed Roof Penetration shall be "Ganged" Together & Located in Chimney Structure (Coordinate with Architect if not Possible).
- Existing Historic Windows on Primary Facade to Remain in Situ. If Windows Require Removal due to Operation or Thermal Efficiency, Updated Windows Must Match Existing.

Datum Reference

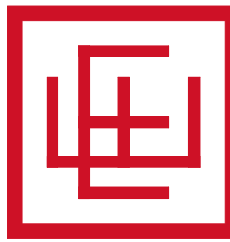
Architectural Elevation 100' - 0" = USGS 7153' (Final Site Plan)
Arch. 100'-0" = 7153 (Final Site Plan) = 7153 (Civil Engineering)

Keynotes - Elevations

- HS Horizontal Siding, to Match Existing
- VS Vertical Siding
- SS Standing Seam Metal Roof, to Match Existing
- CF Concrete Foundation
- MP Metal Panel
- MR 36" Metal Railing
- FF Dashed Line Represents Foundations Below Grade
- BC Brushed Concrete

ELLIOTT WORKGROUP LLC

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435-649-0092 or 801-415-1839
elliottworkgroup.com



Dennis Hranitzky

Hranitzky Residence

218 Sandridge Road
Park City, UT 84060

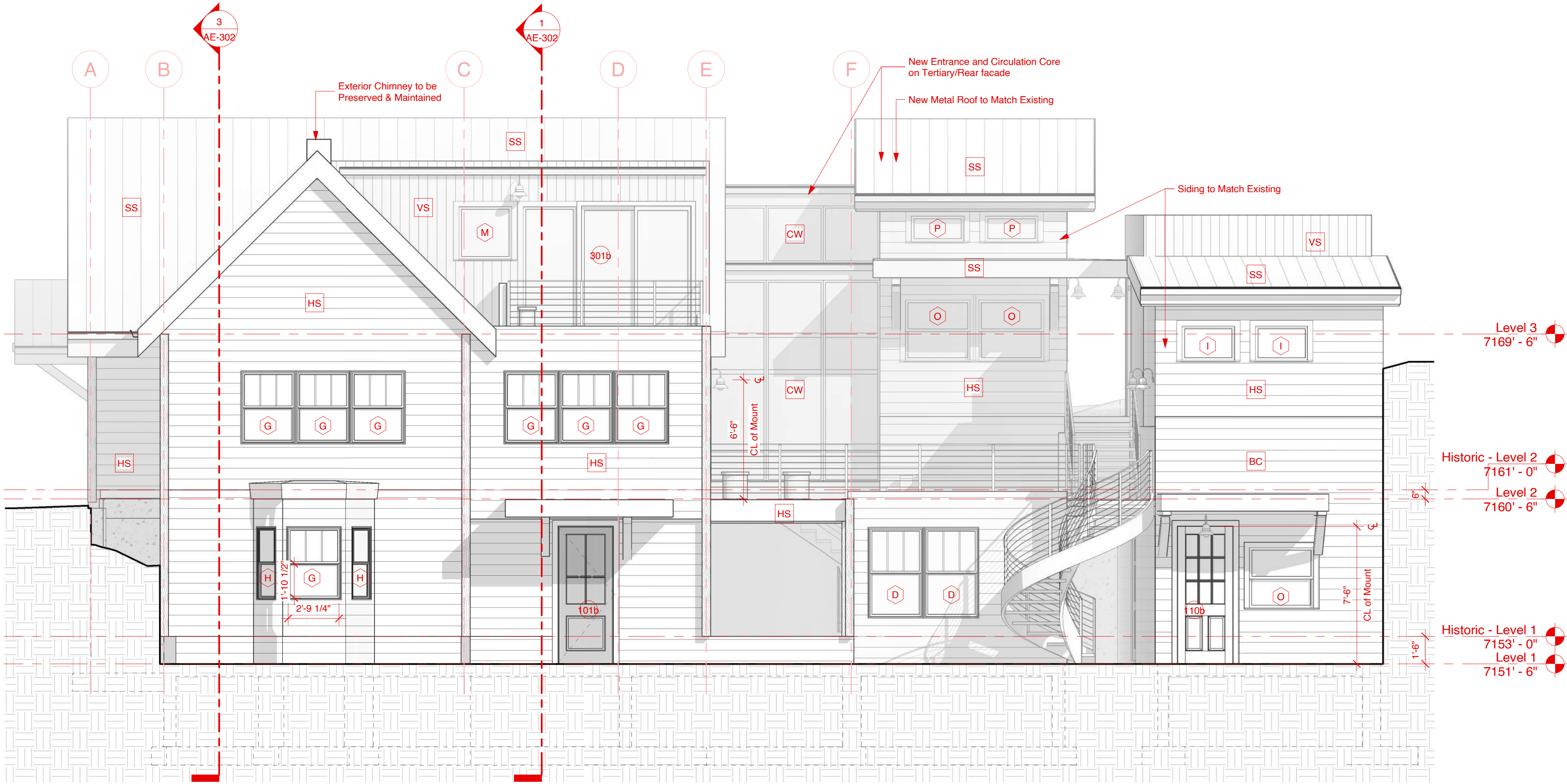
Rev.	Date	Description
1	09.09.25	Update Per Existing Conditions

ISSUE DATE: 25.11.10.
OWNER PROJECT NO: .
CONTRACT NO: .
DRAWN BY: LH
CHECKED BY: EJE
DESIGNED BY: MJG
EWG PROJECT NO: 2022.092
COPYRIGHT: Elliott Workgroup, LLC

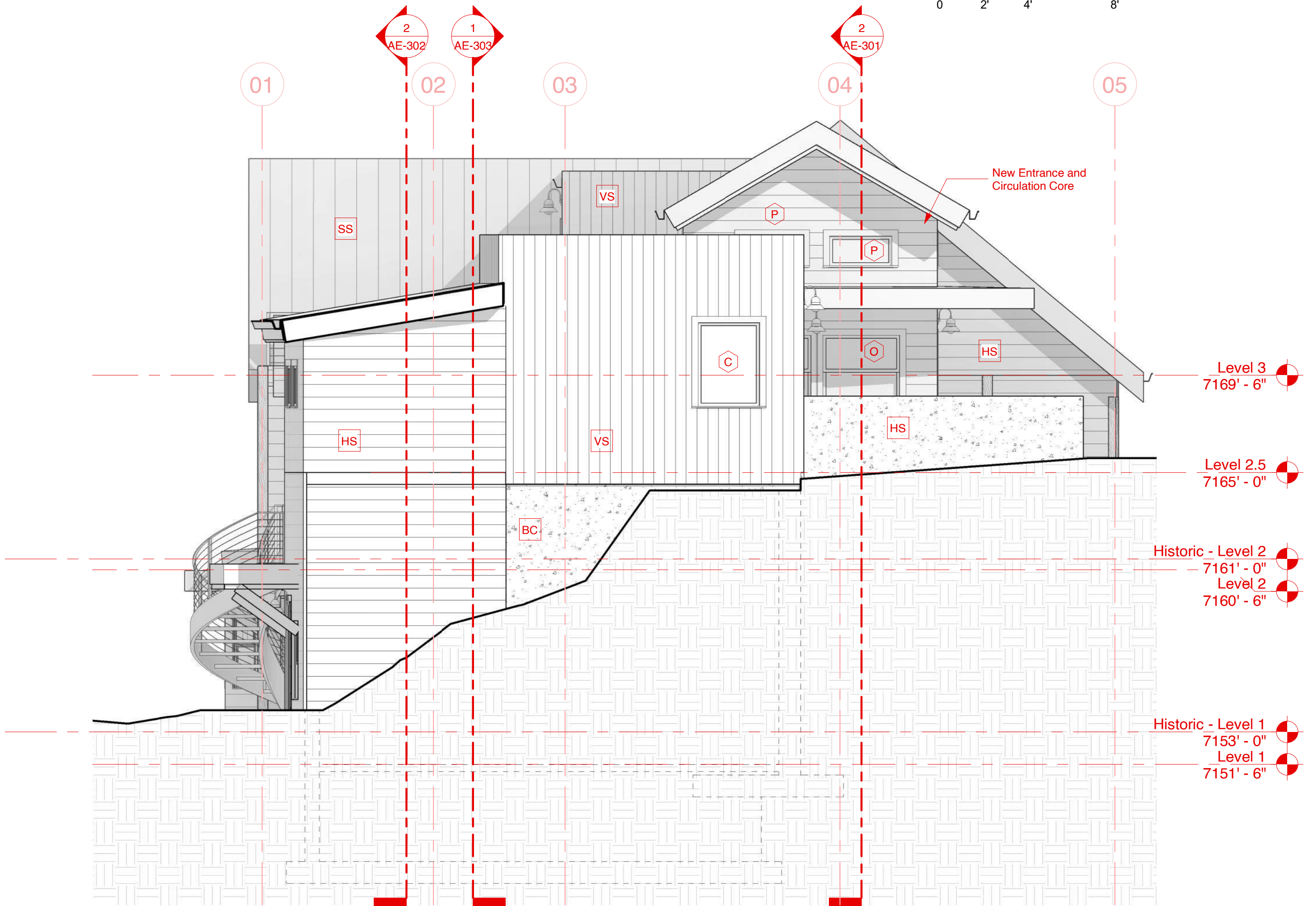
SHEET TITLE

Proposed Elevations North /
East

AE-201



2 Proposed Elevation West
1/4" = 1'-0"



1 Proposed Elevation South
1/4" = 1'-0"

General Notes - Elevations

- See Electrical for Exterior Lighting.
- Height of Chimney, Mechanical Features are Approximate Coordinate Actual Heights with Architect.
- Final Colors & Materials to be Approved by Architect Prior to Commencement of Work.
- All Exposed Roof Penetration shall be "Ganged" Together & Located in Chimney Structure (Coordinate with Architect if not Possible).
- Existing Historic Windows on Primary Facade to Remain in Situ. If Windows Require Removal due to Operation or Thermal Efficiency, Updated Windows Must Match Existing.

Datum Reference

Architectural Elevation 100' - 0" = USGS 7153' (Final Site Plan)
Arch. 100'-0" = 7153 (Final Site Plan) = 7153 (Civil Engineering)

Keynotes - Elevations

- HS Horizontal Siding, to Match Existing
- VS Vertical Siding
- SS Standing Seam Metal Roof, to Match Existing
- CF Concrete Foundation
- MP Metal Panel
- MR 36" Metal Railing
- FF Dashed Line Represents Foundations Below Grade
- BC Brushed Concrete

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435-649-0092 or 801-415-1839
elliottworkgroup.com



Dennis Hranitzky

Hranitzky Residence

218 Sandridge Road
Park City, UT 84060

Rev.	Date	Description
1	09.09.25	Update Per Existing Conditions

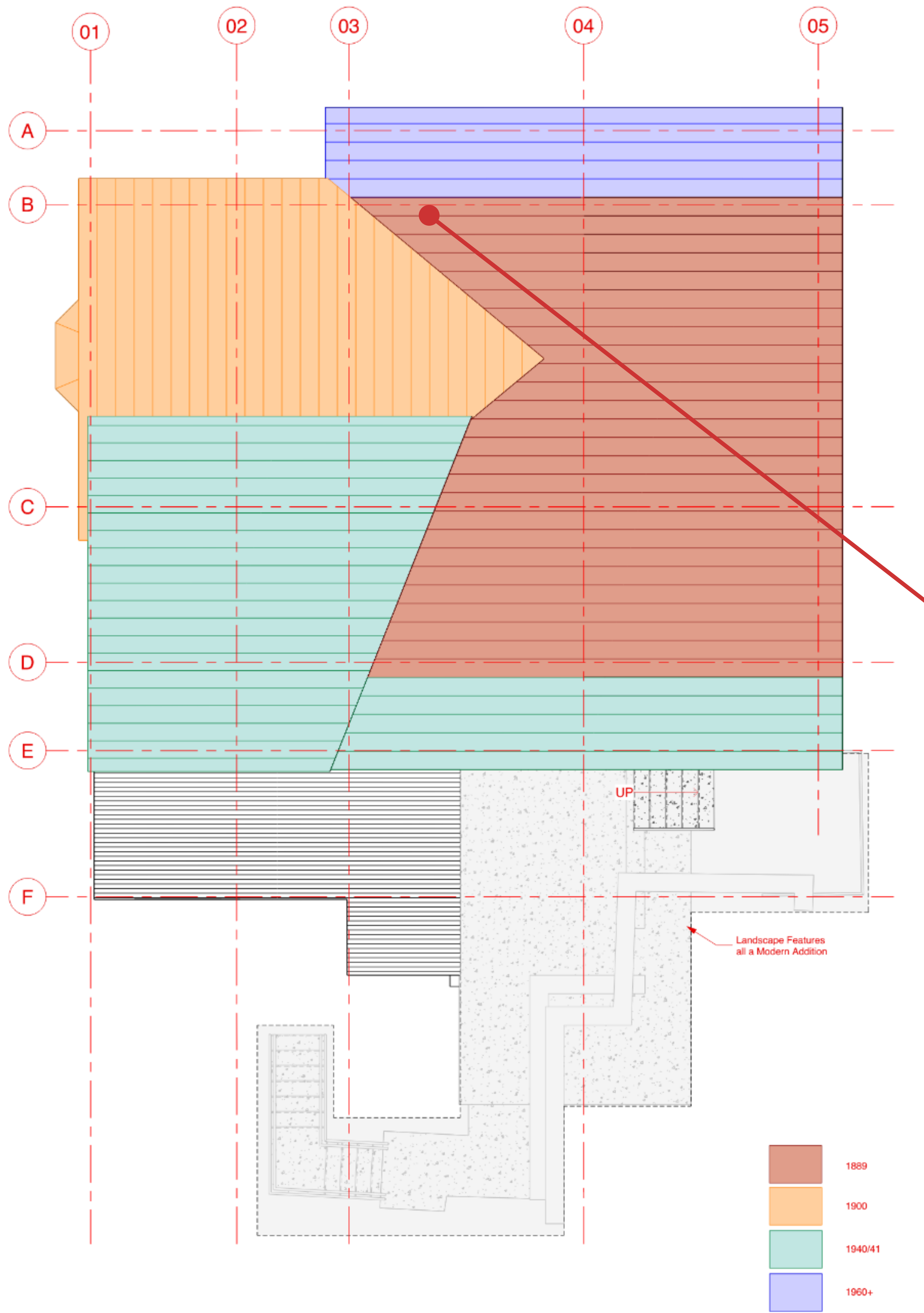
ISSUE DATE: 25.11.10.
OWNER PROJECT NO: .
CONTRACT NO: .
DRAWN BY: LH
CHECKED BY: EJE
DESIGNED BY: MJG
EWG PROJECT NO: 2022.092
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SHEET TITLE

Proposed Elevations South /
West

AE-202

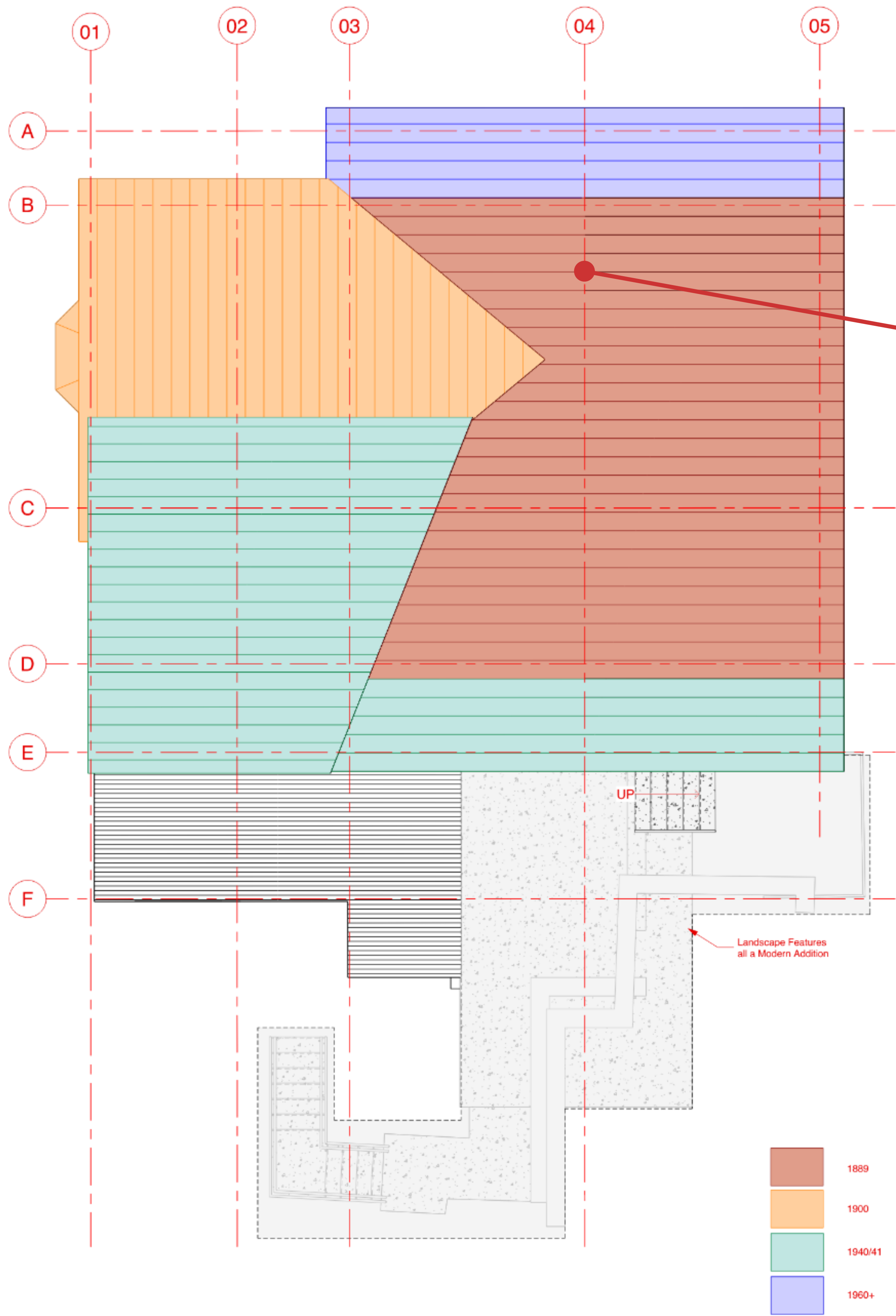
Examples of Rot in 1889 Roof Structure



2 Existing Roof Historic Timeline
1/4" = 1'-0"



Examples of Rot in 1889 Roof Structure



Roof joists do not run continuous



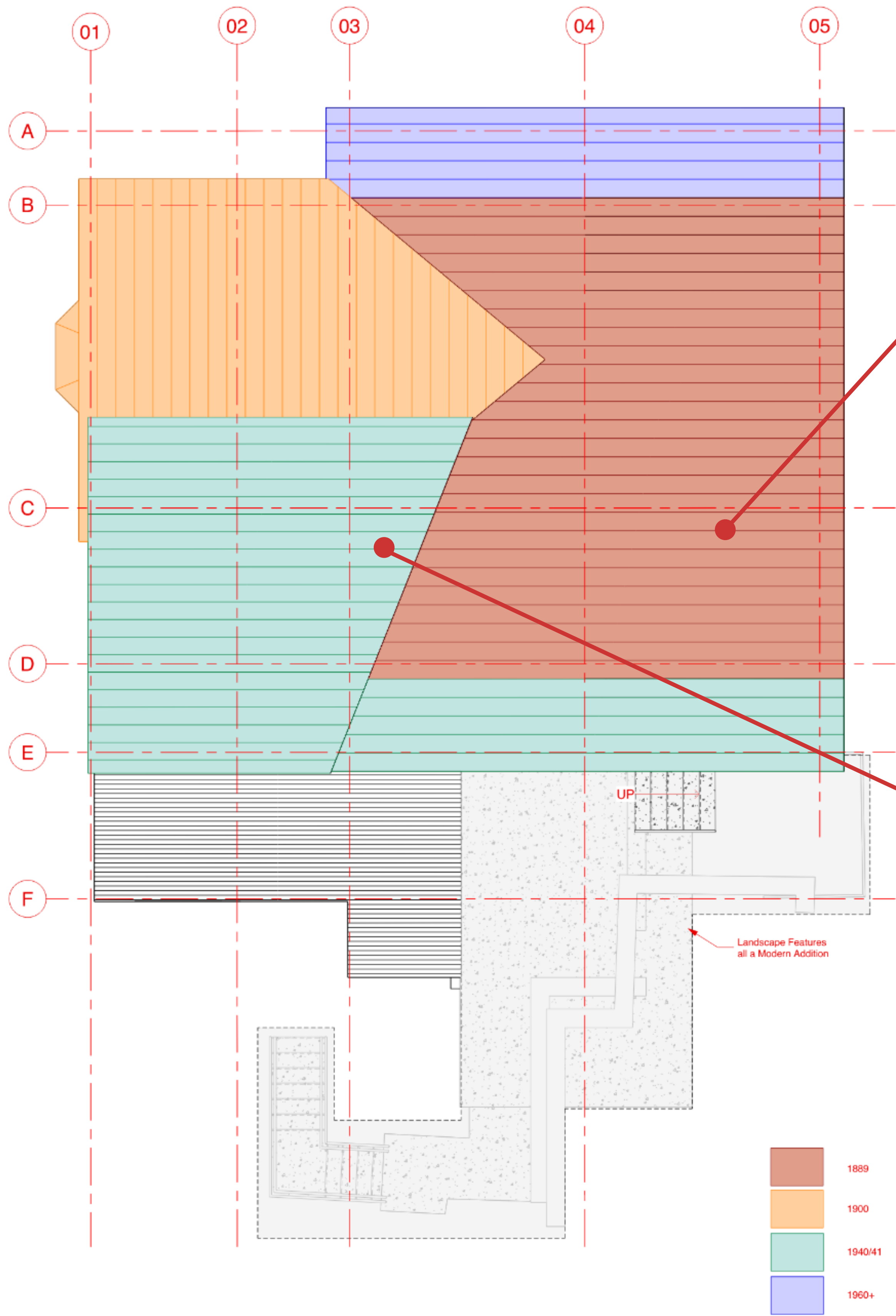
Ridge beam completely rotted through the length of the house

Spray foam has trapped moisture between roof and the roof planks, causing rot

2 Existing Roof Historic Timeline
1/4" = 1'-0"



Examples of Rot in 1889 Roof Structure



Roof planks rotting from leaking roof

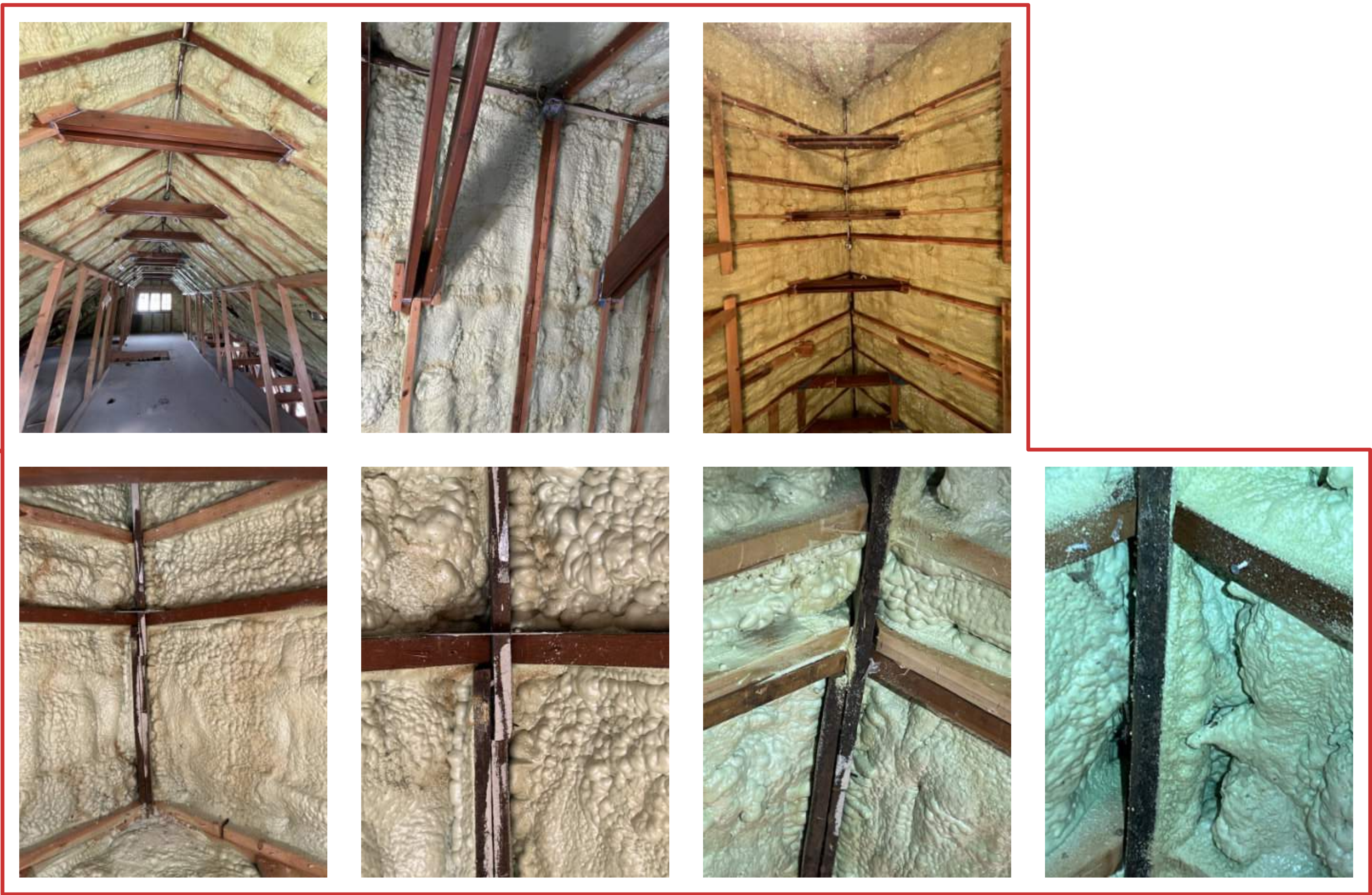
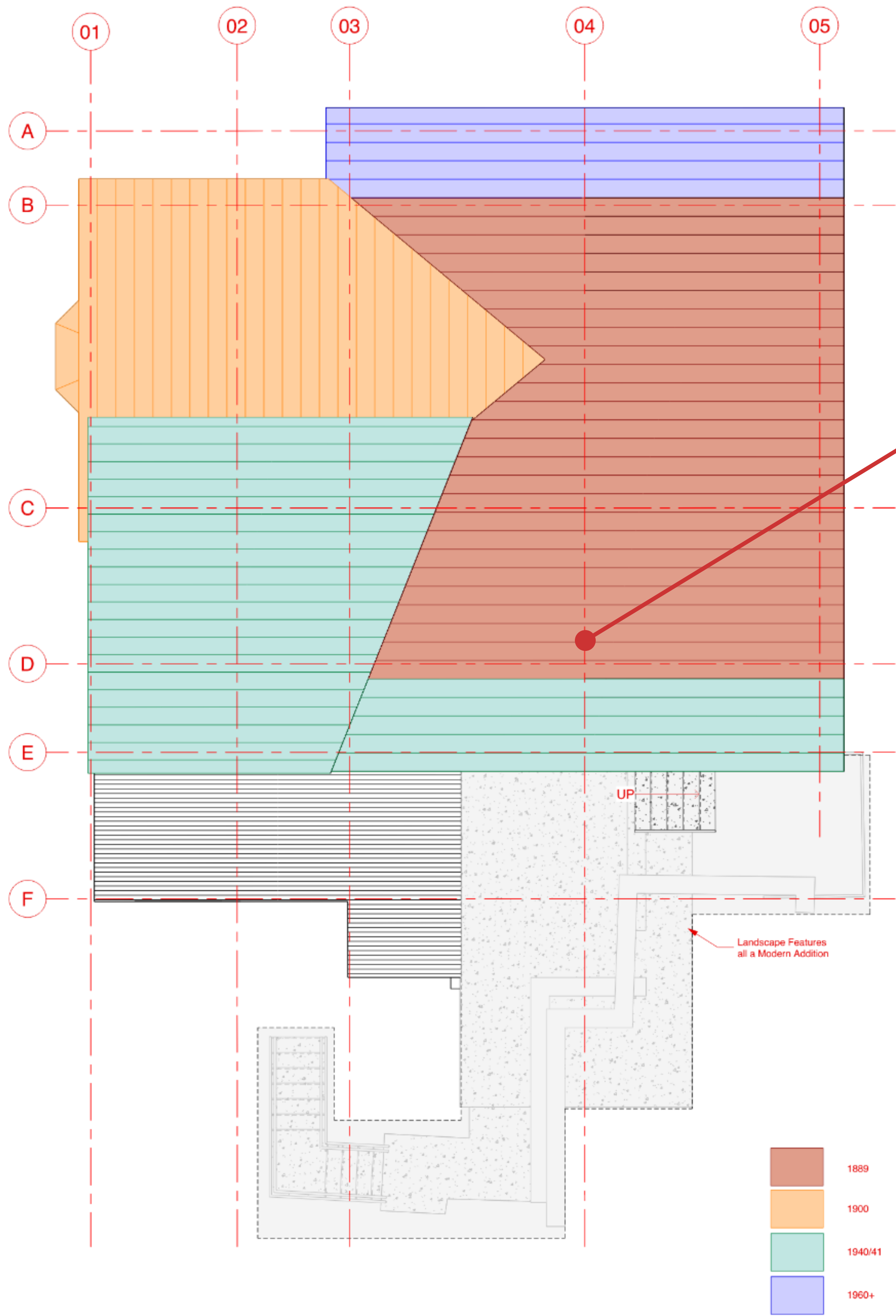


Incomplete and improper framing

2 Existing Roof Historic Timeline
1/4" = 1'-0"



Examples of Rot in 1889 Roof Structure

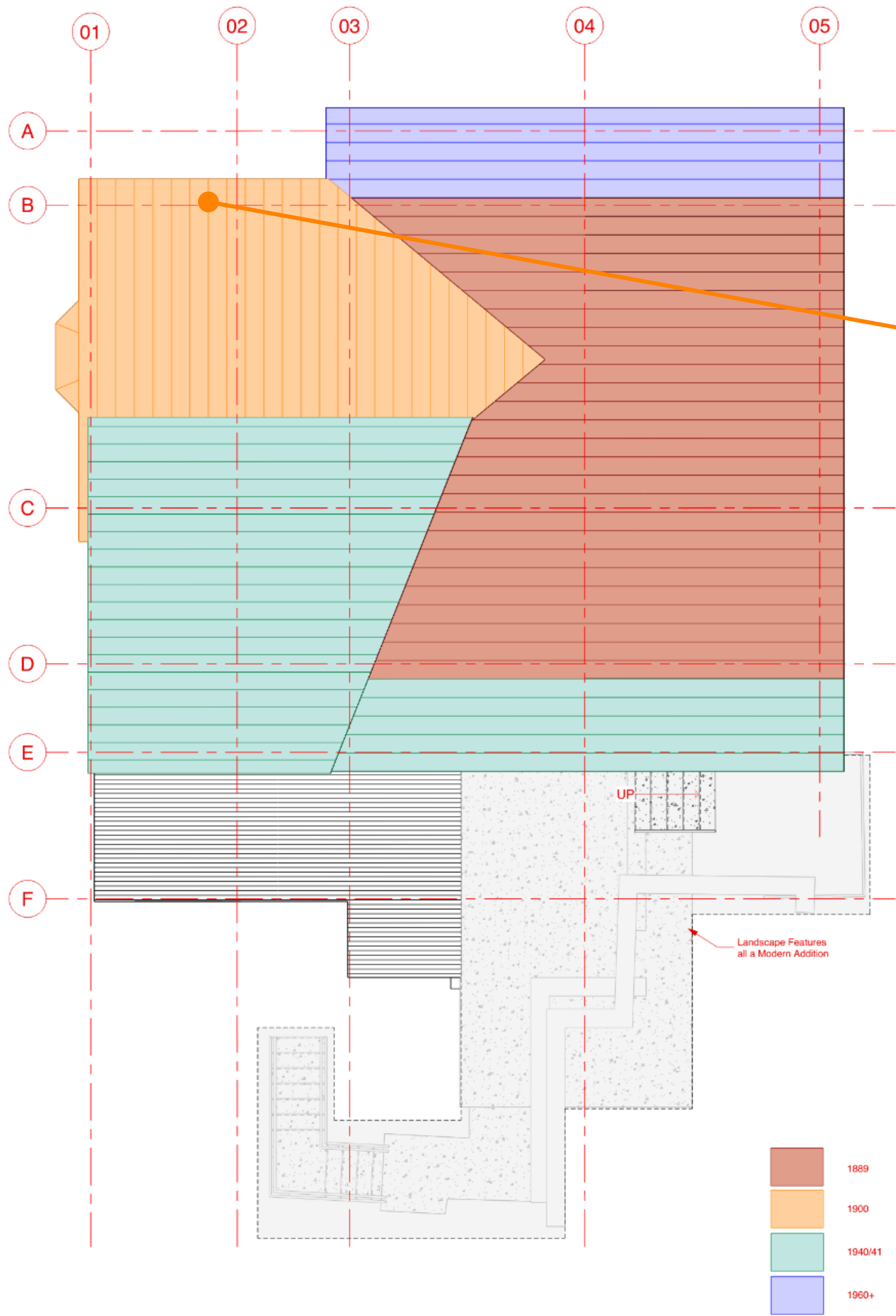


Ridge beam completely rotted through the length of the house

2 Existing Roof Historic Timeline
1/4" = 1'-0"



Examples of Rot in 1907 Roof Structure

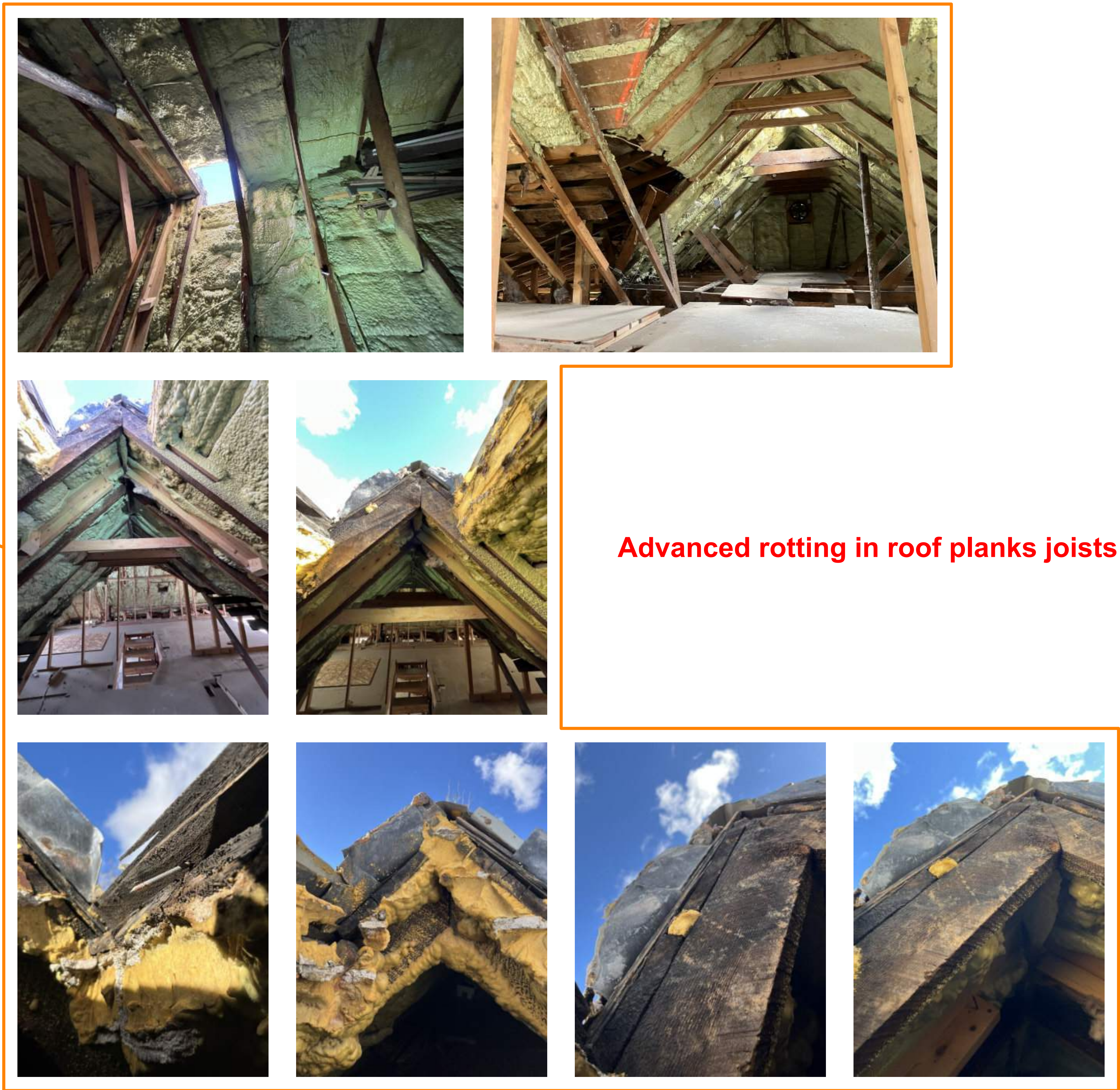
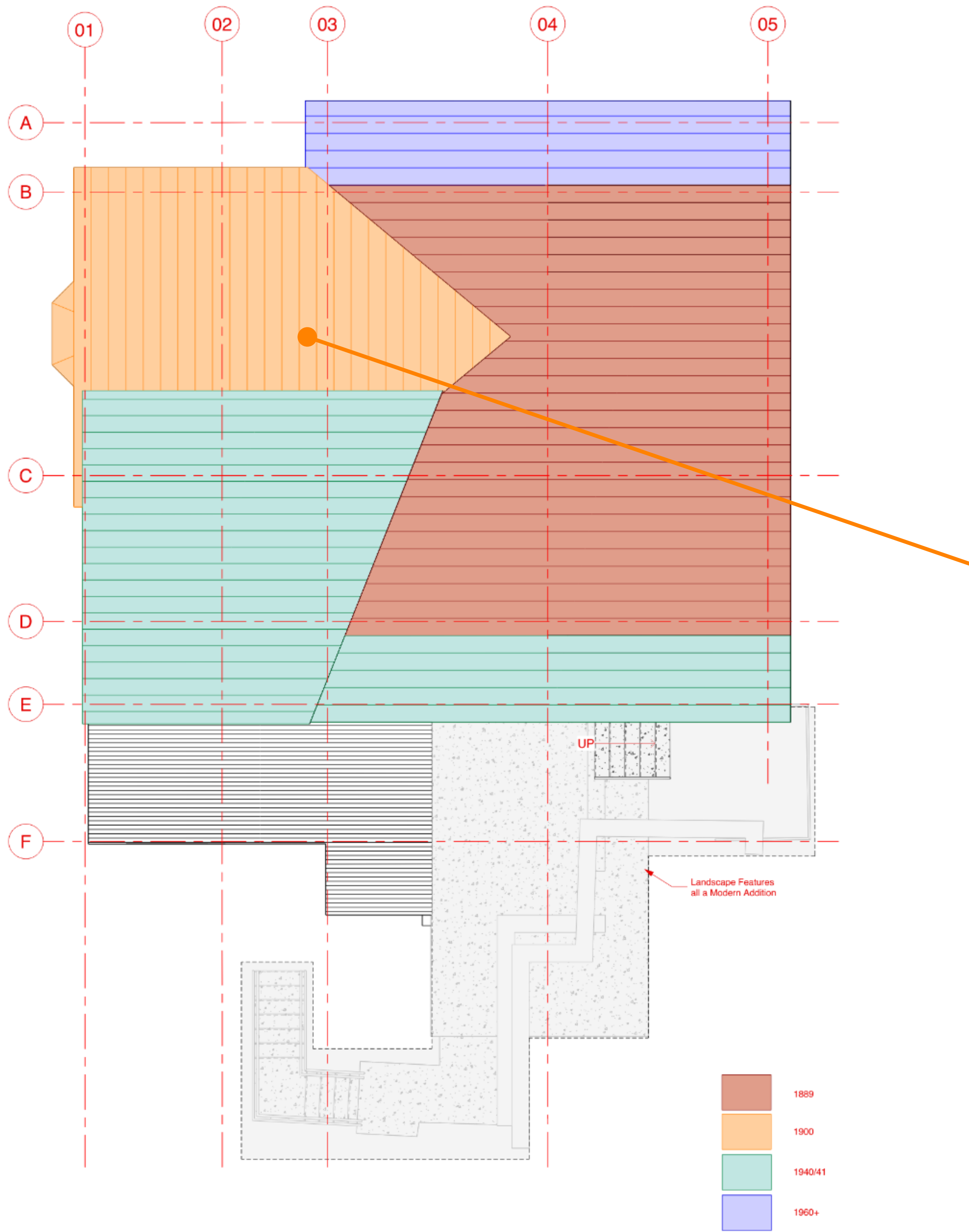


Roof is resting on less than an inch of wall

2 Existing Roof Historic Timeline
1/4" = 1'-0"



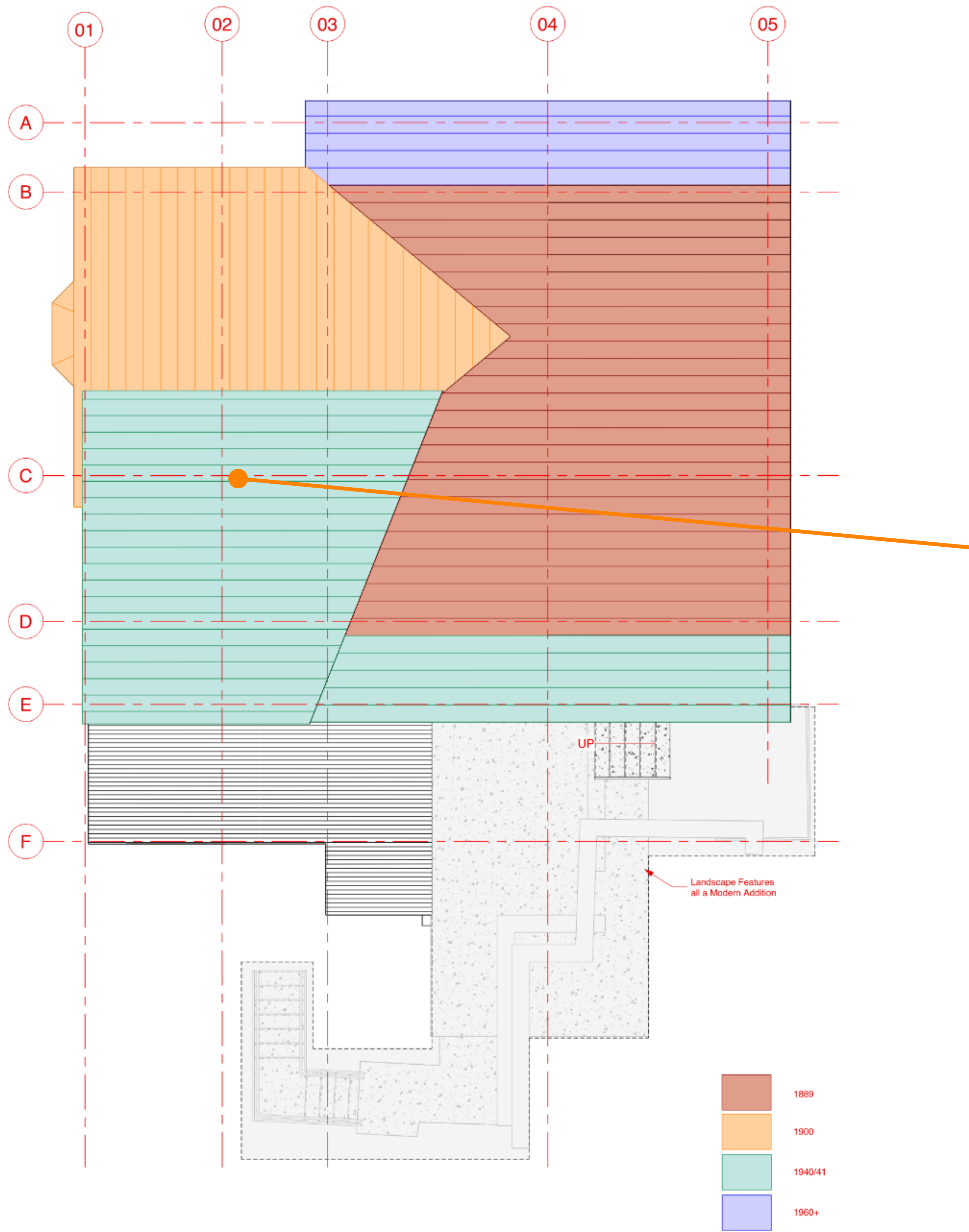
Examples of Rot in 1907 Roof Structure



2 Existing Roof Historic Timeline
1/4" = 1'-0"

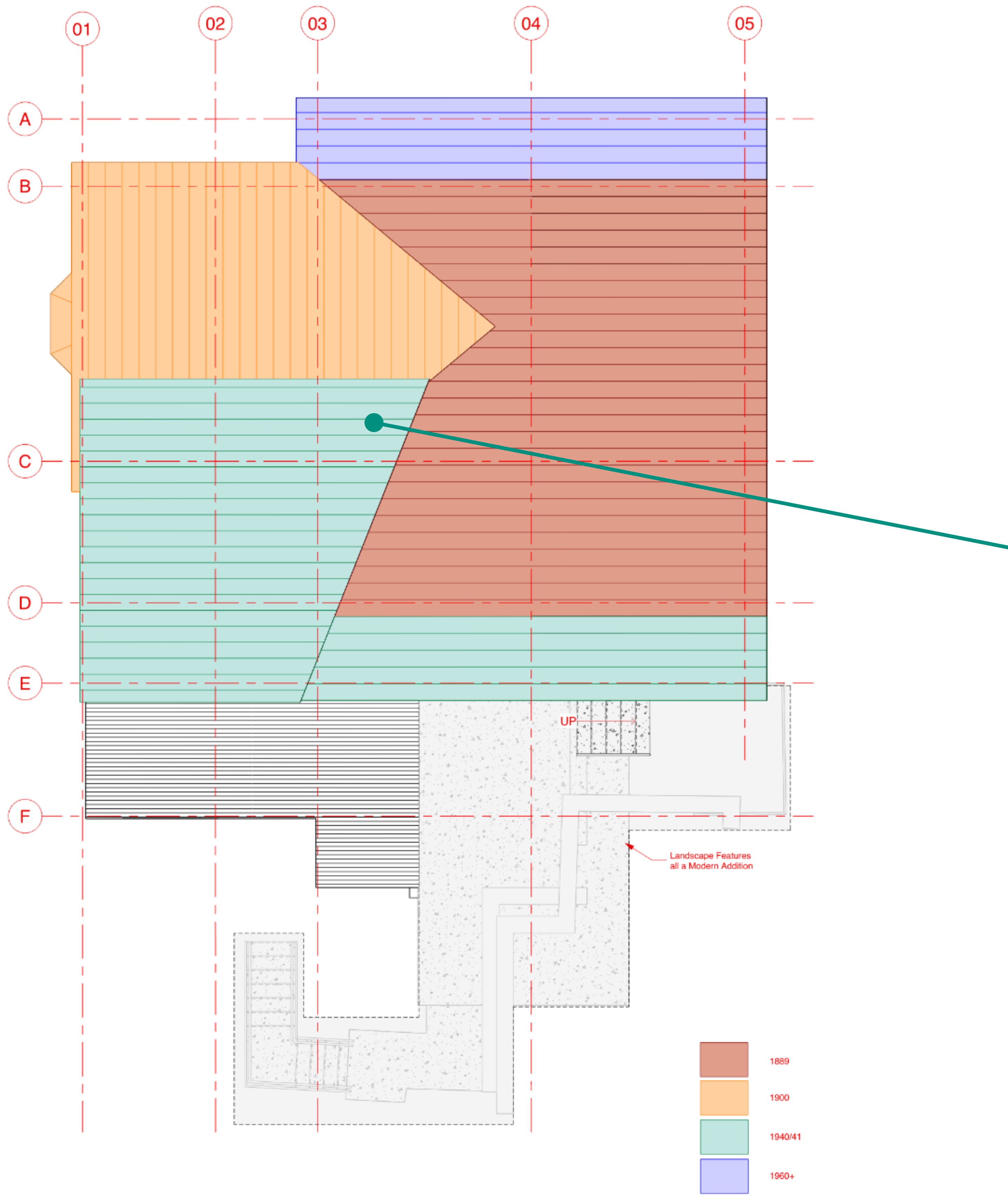


Examples of Rot in 1907 Roof Structure



Advanced rotting paired with improper framing

Examples of Rot in 1940's Roof Structure

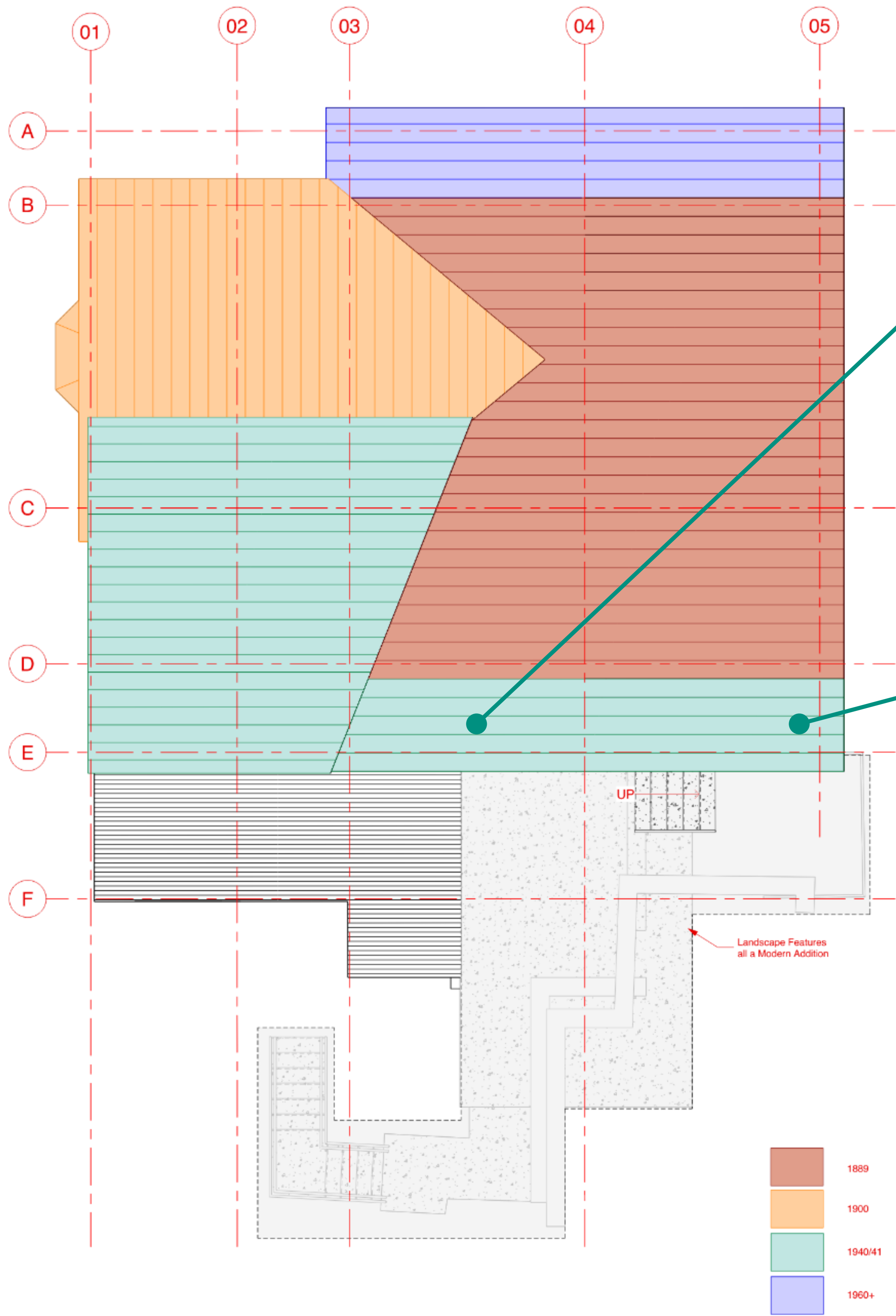


Incomplete and improper framing

2 Existing Roof Historic Timeline
1/4" = 1'-0"



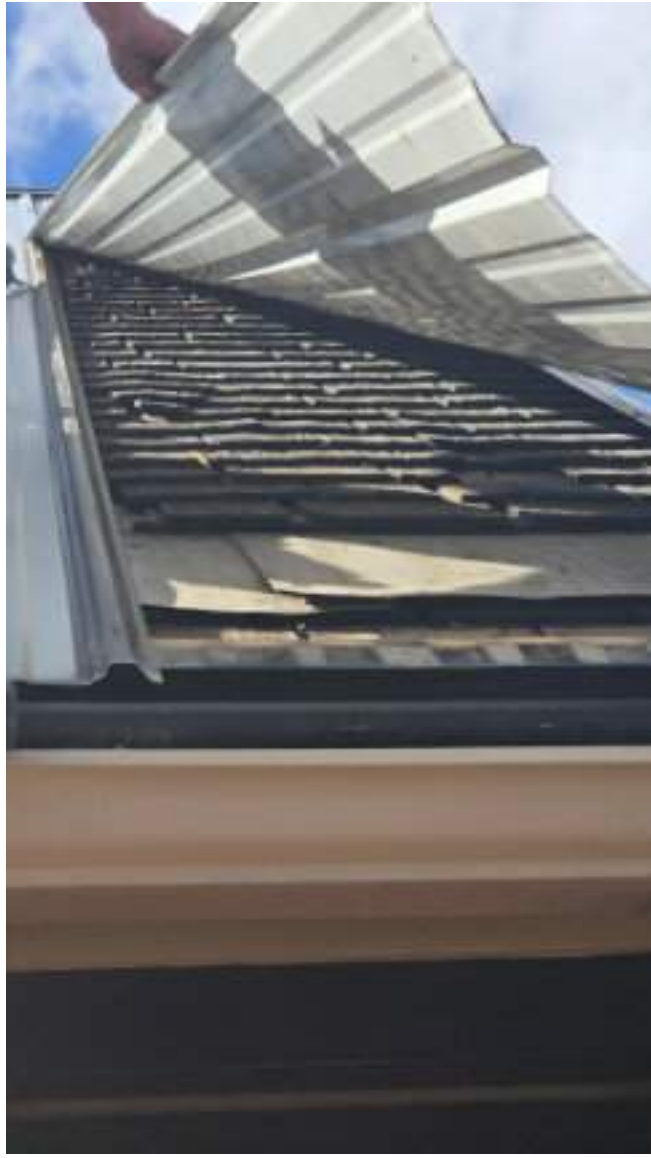
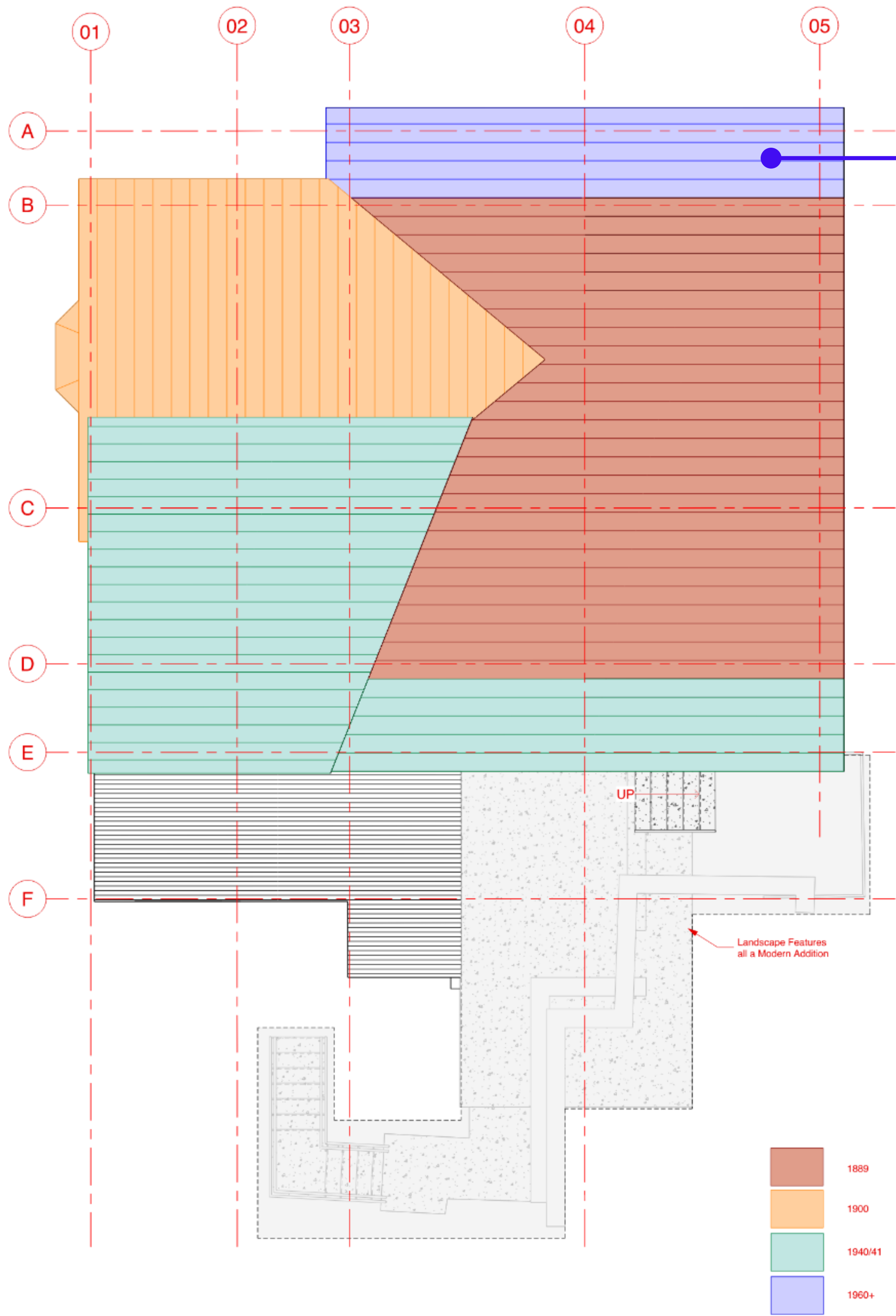
Examples of Rot in 1940's Roof Structure



2 Existing Roof Historic Timeline
1/4" = 1'-0"



Examples of Rot in 1960's Roof Structure



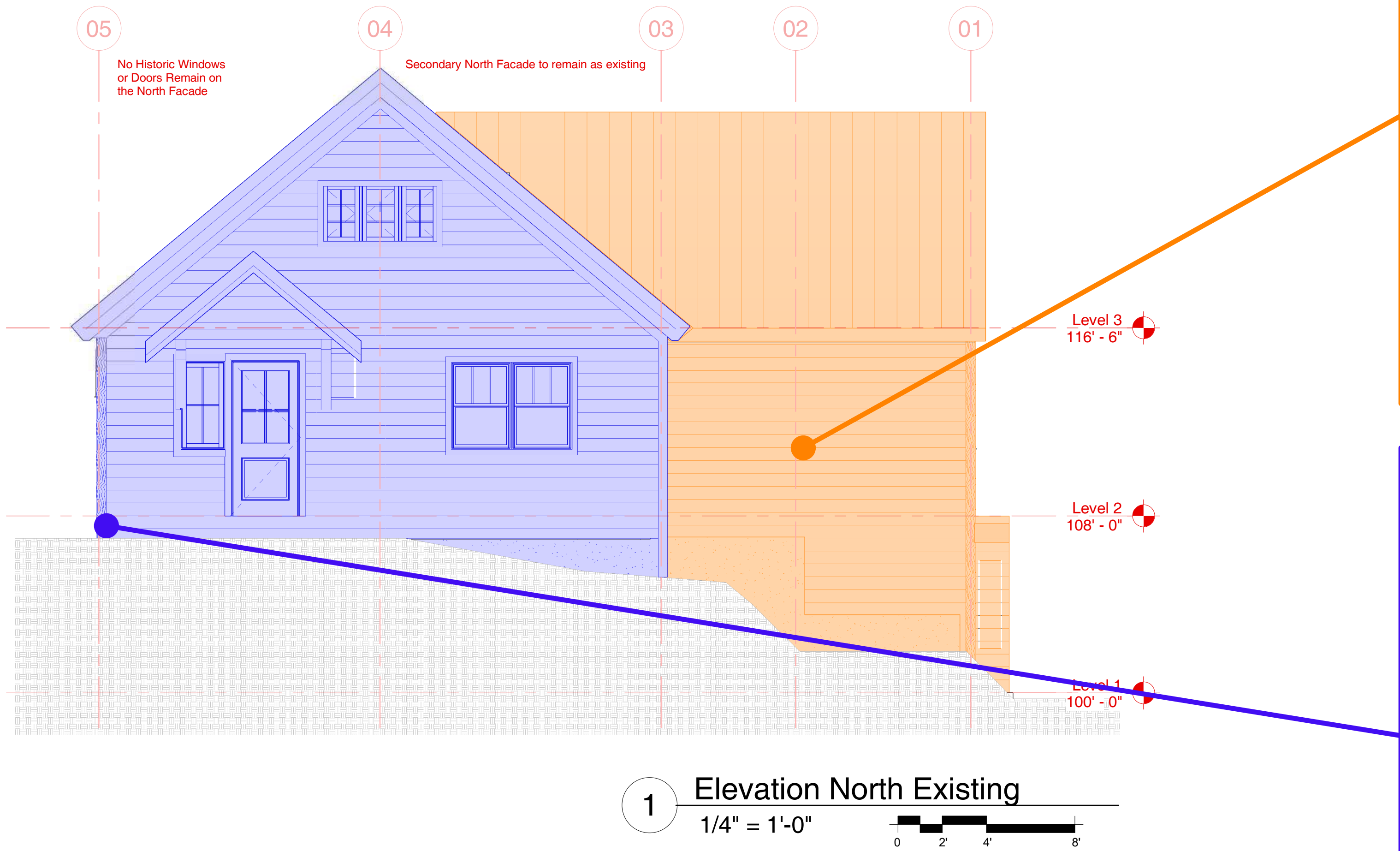
Corrugated metal roof is leaking, trapping moisture between original shingles and spray foam. Wood shingles and planks are rotten and very brittle.

Shingles are very intermittent and not continuous across the entirety of the roof.

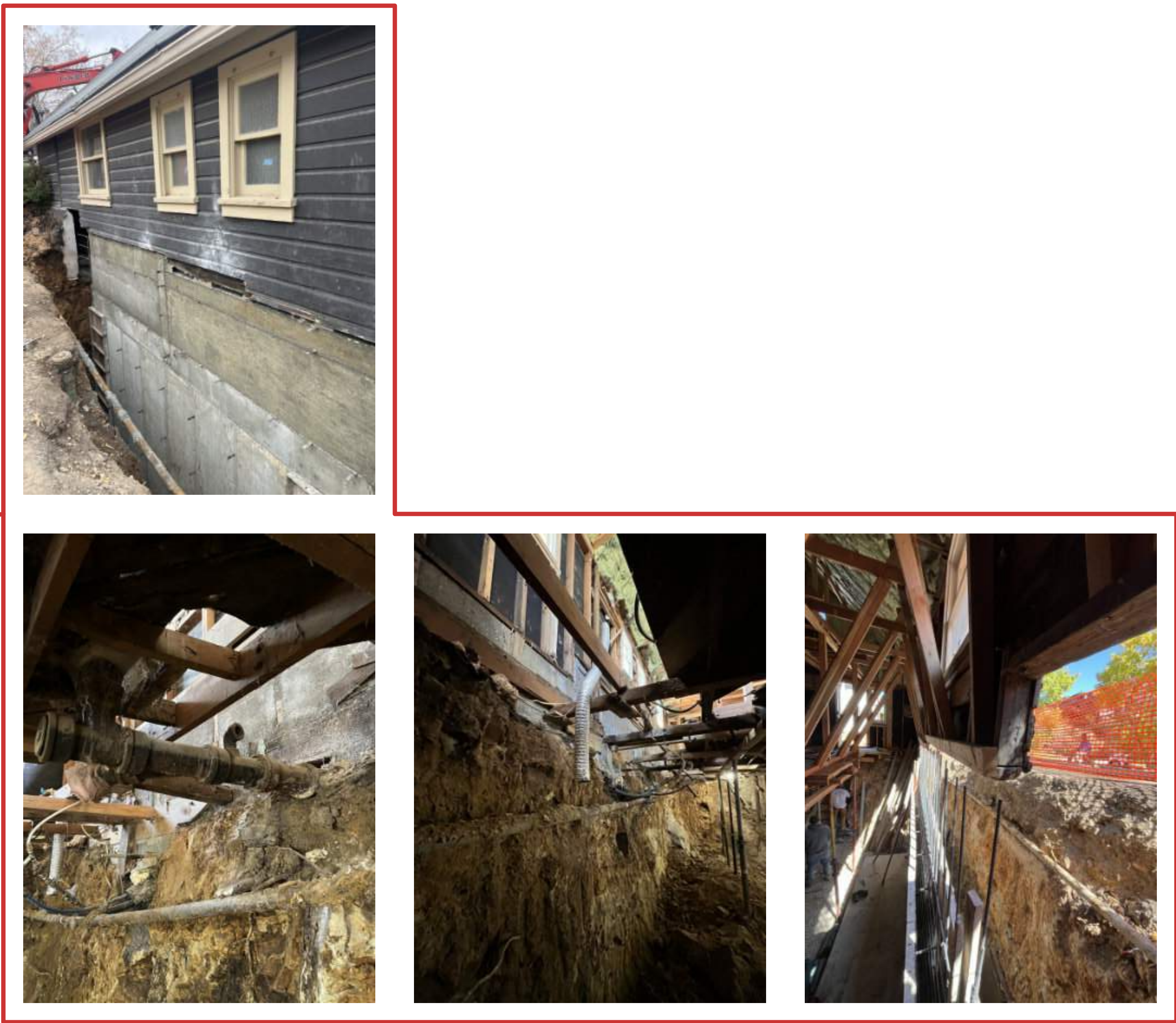
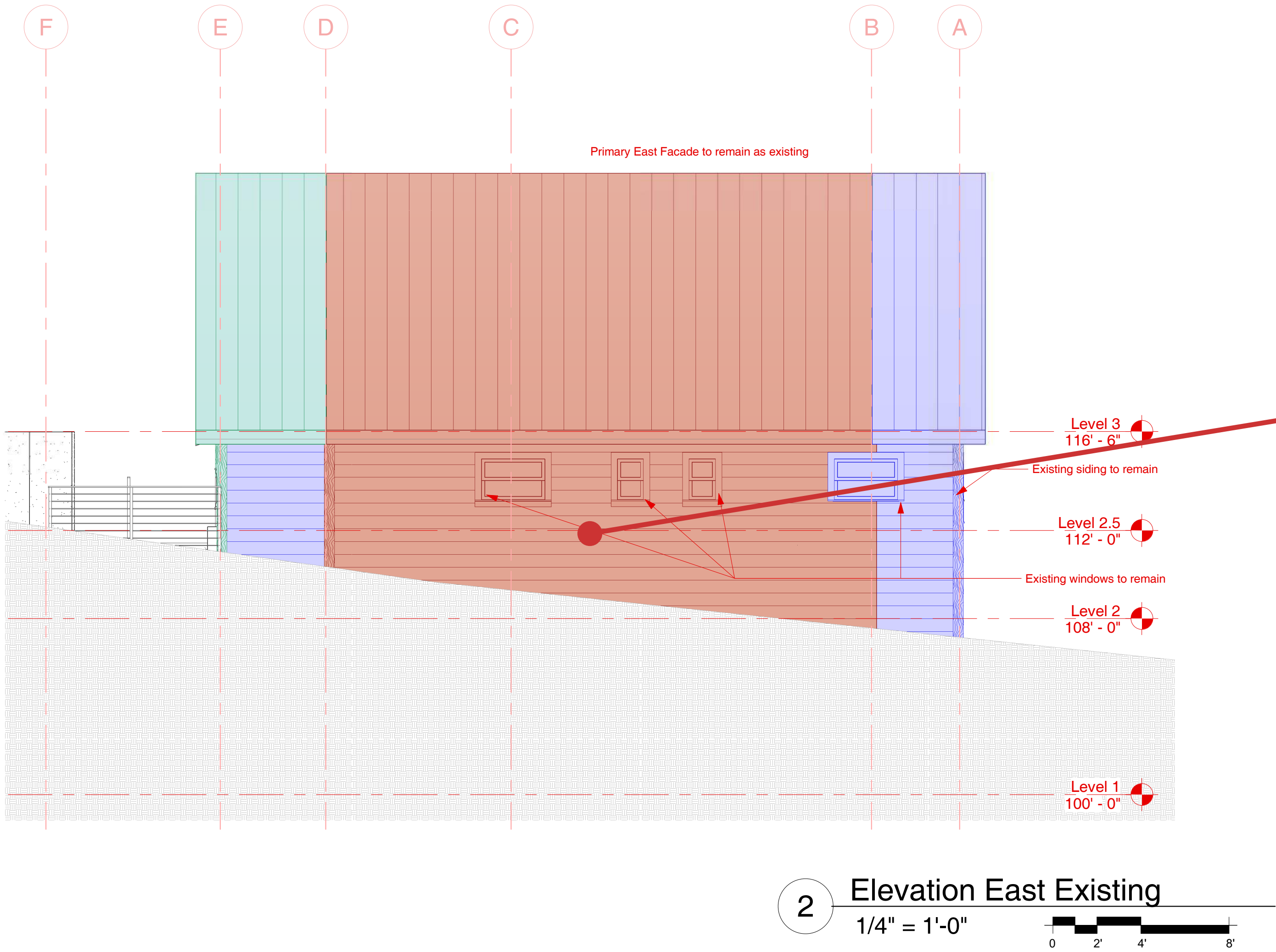
2 Existing Roof Historic Timeline
1/4" = 1'-0"



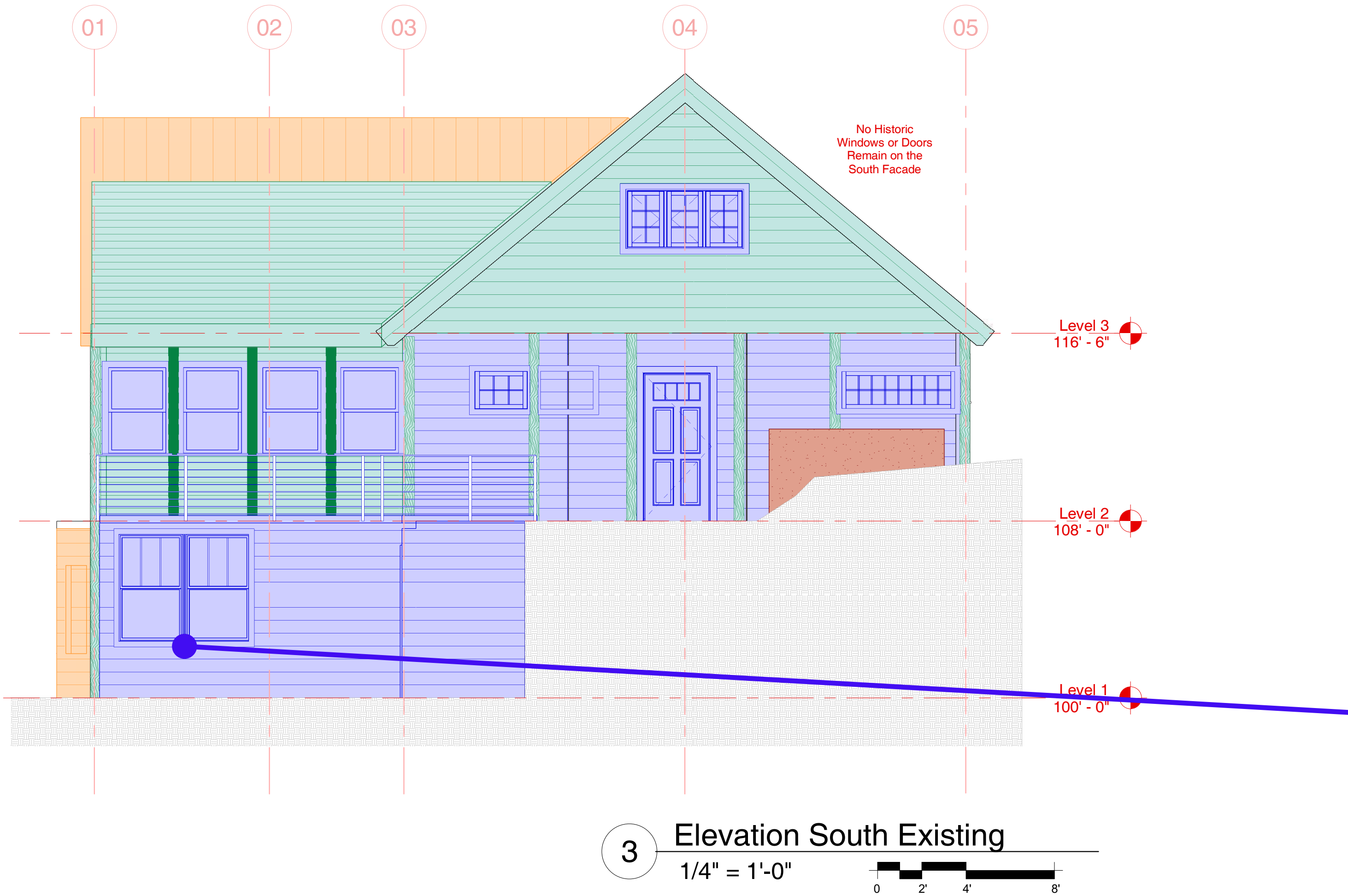
Examples of Rot in North Wall



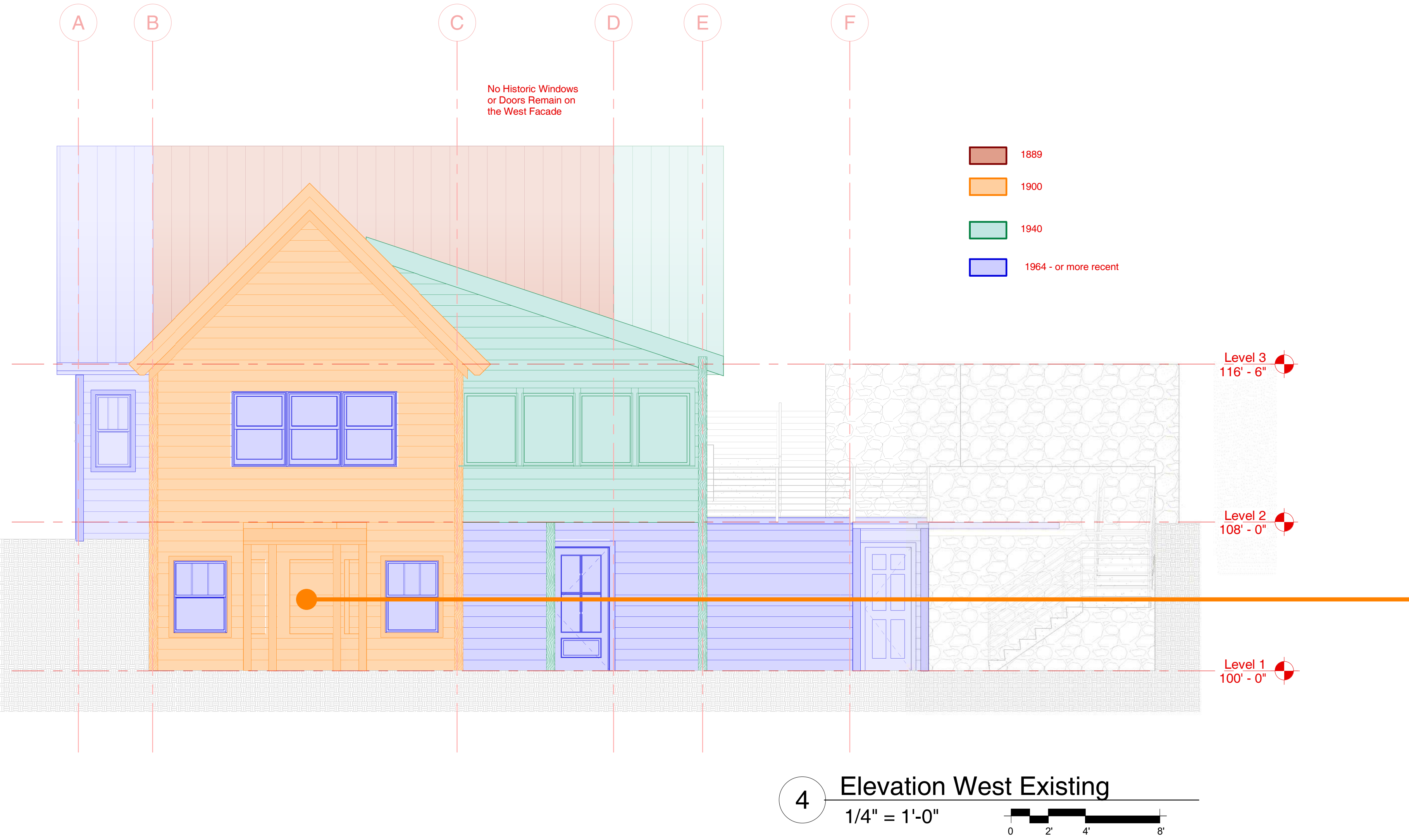
Examples of Rot in East Wall



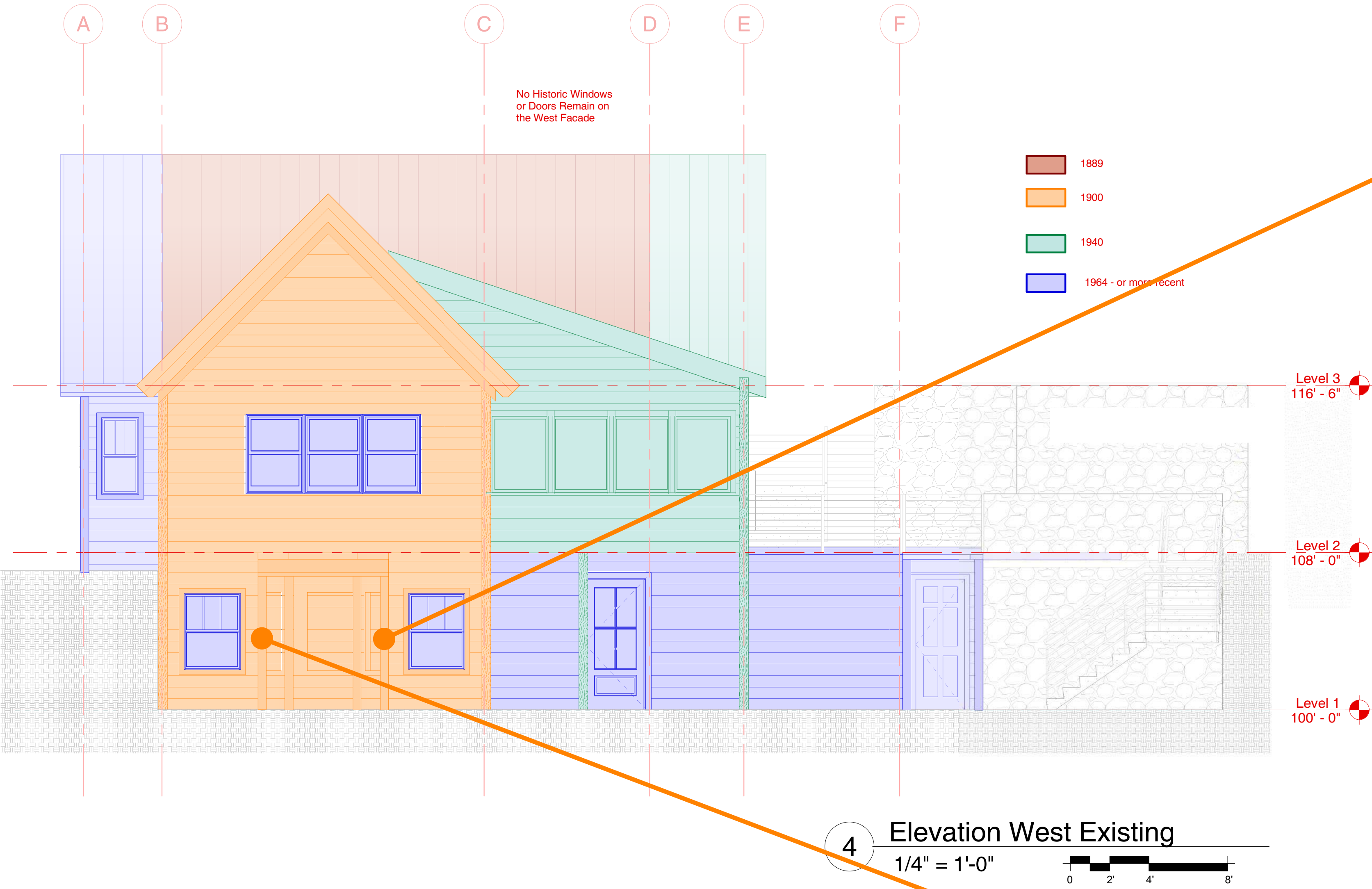
Examples of Rot in South Wall



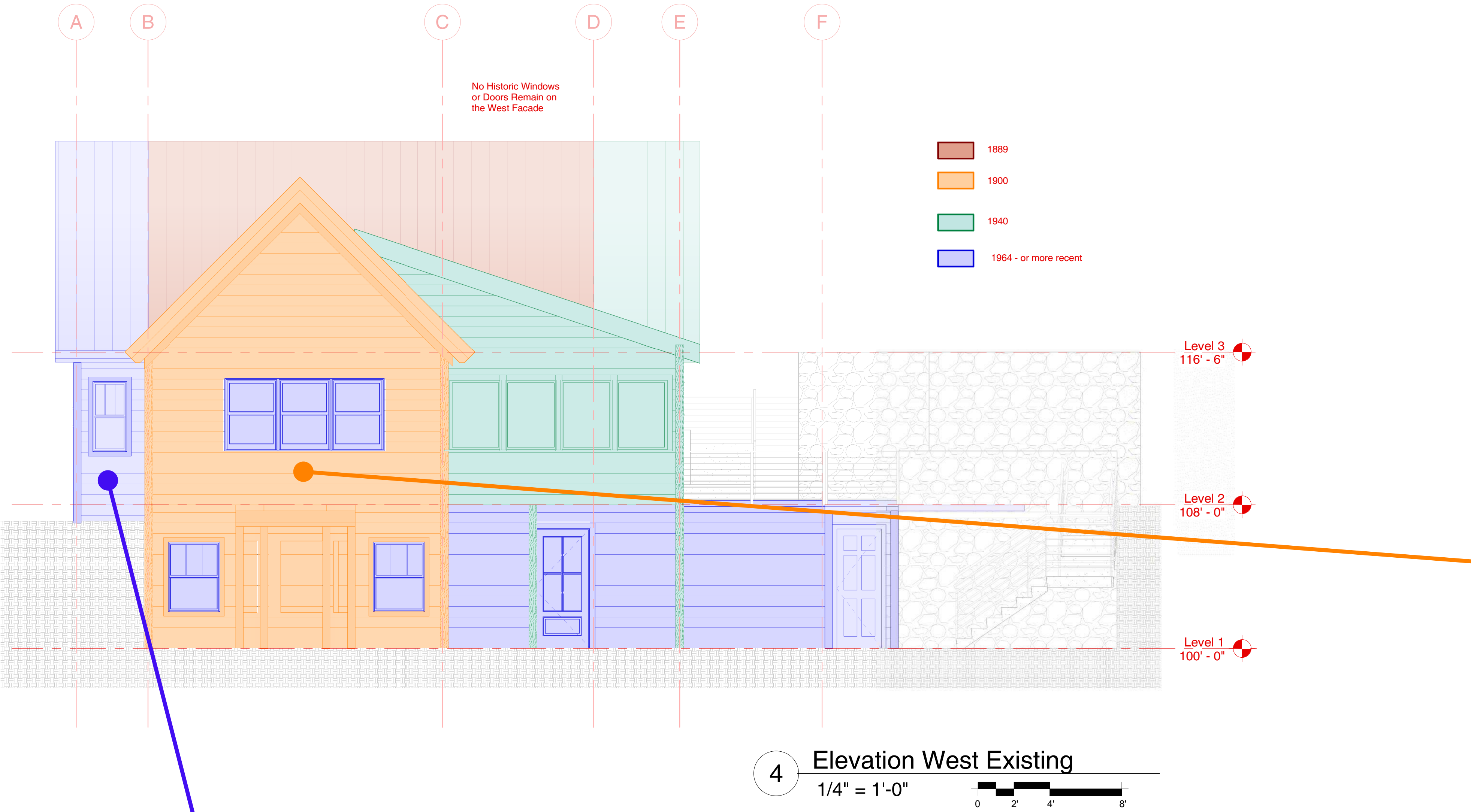
Examples of Rot in West Wall

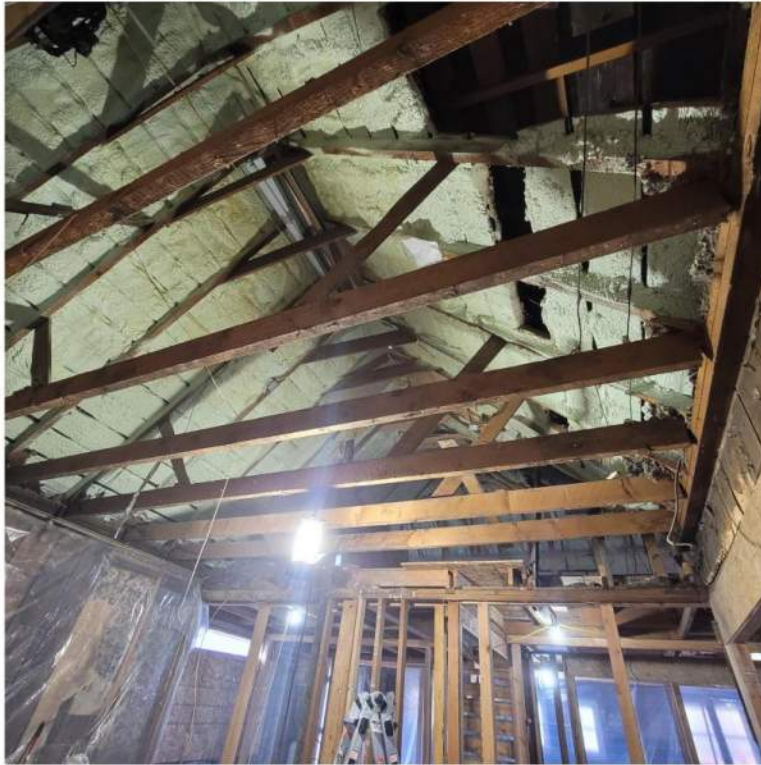


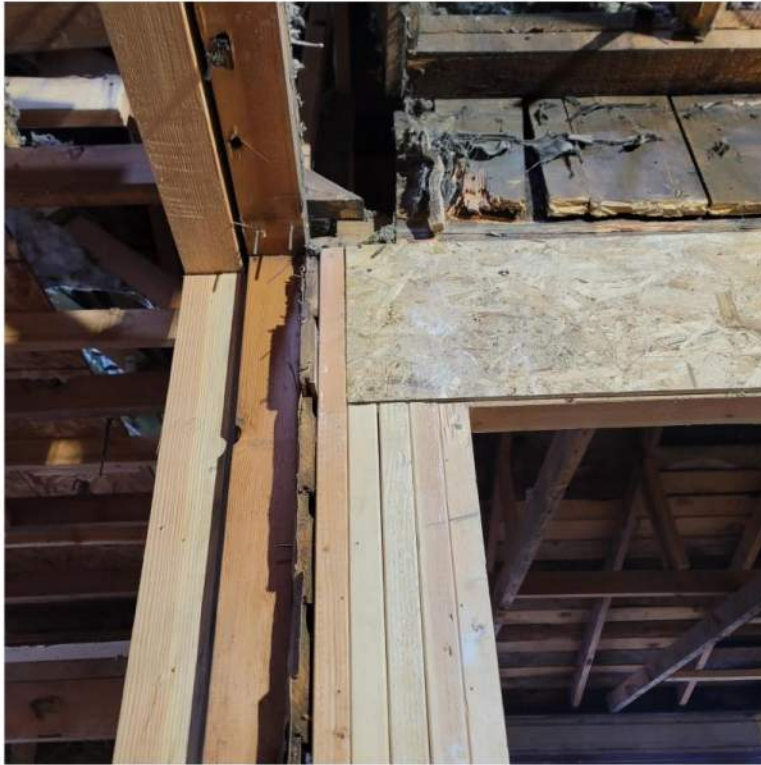
Examples of Rot in West Wall



Examples of Rot in West Wall









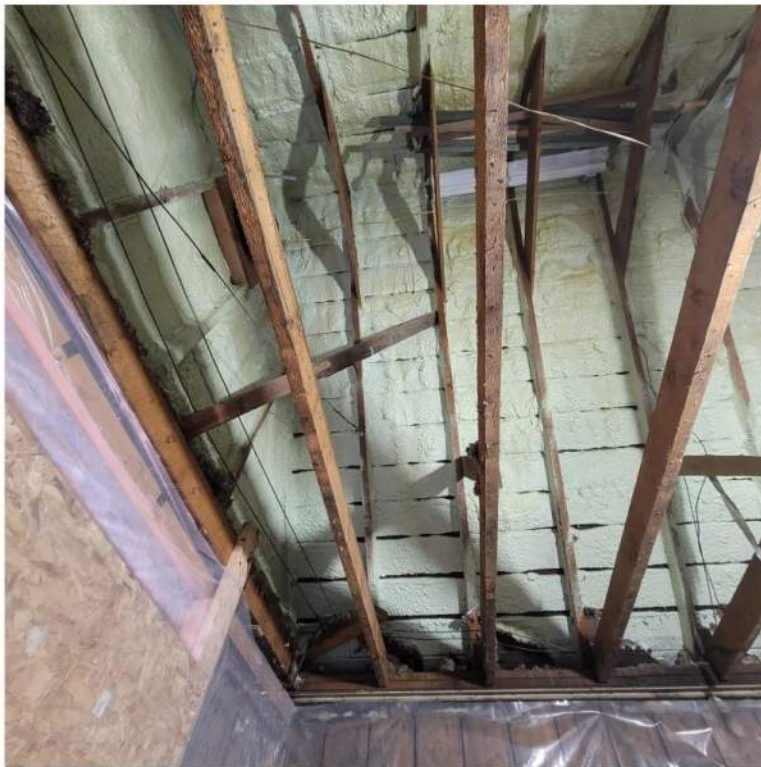
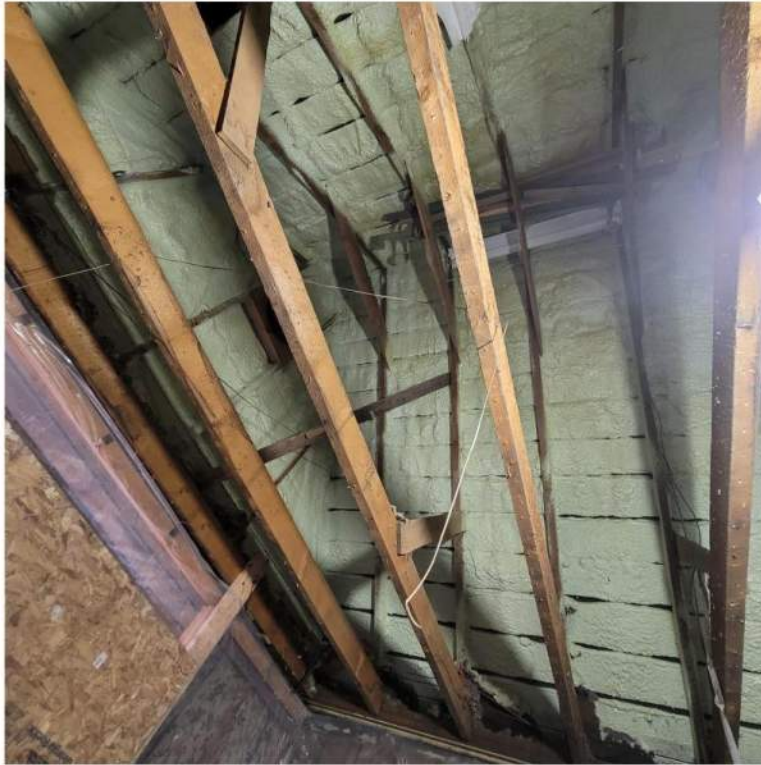


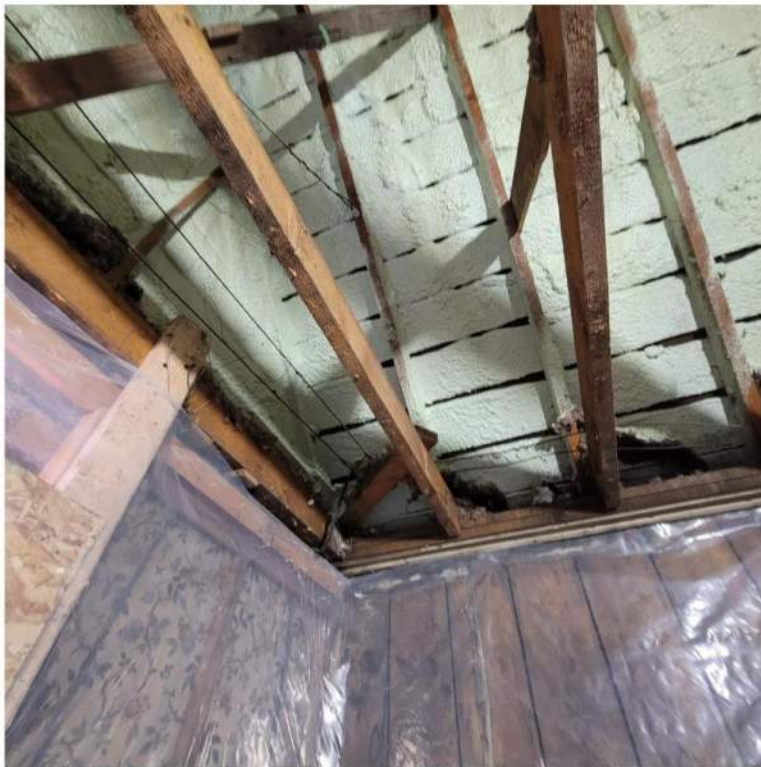








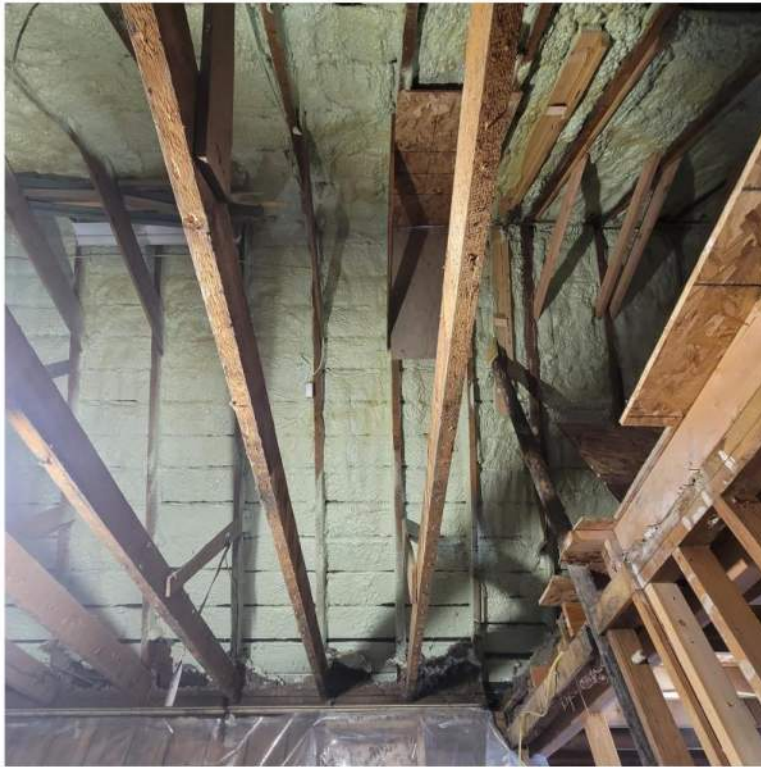


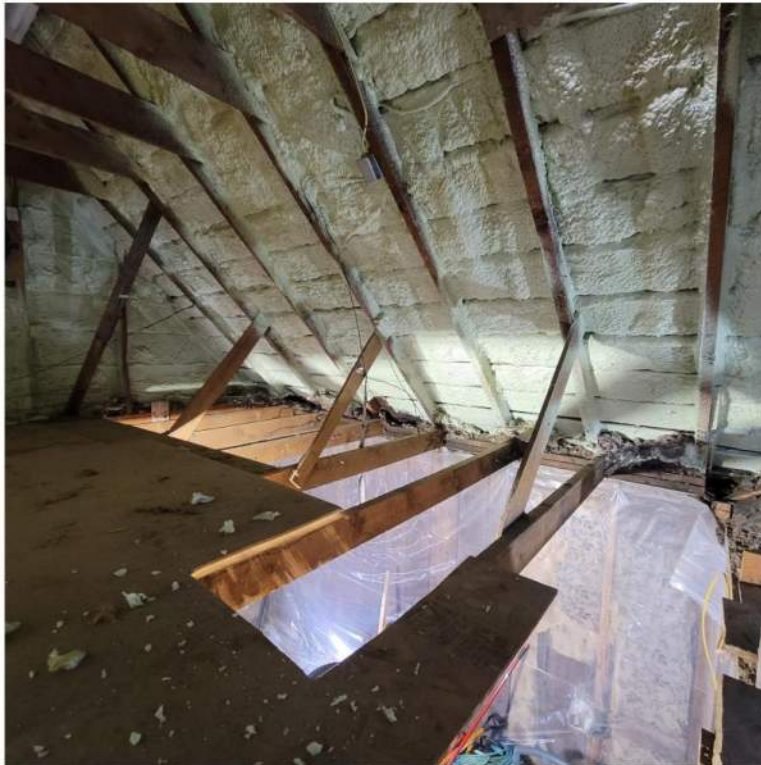
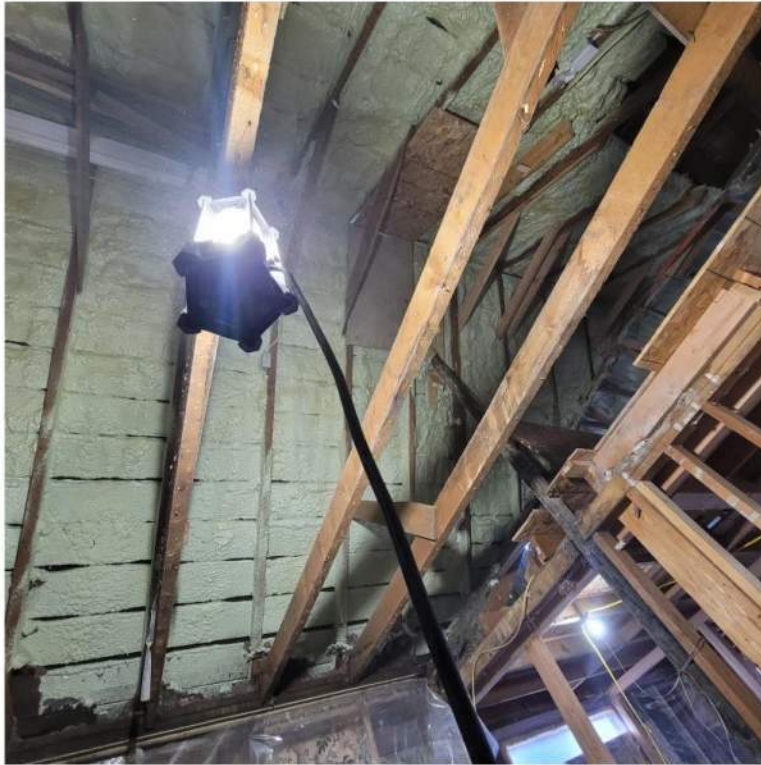




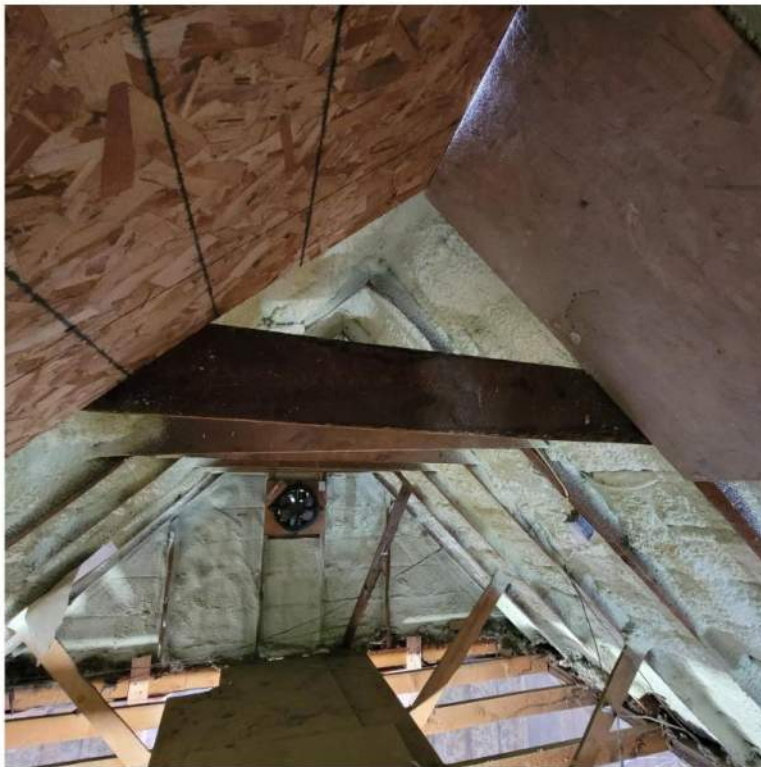




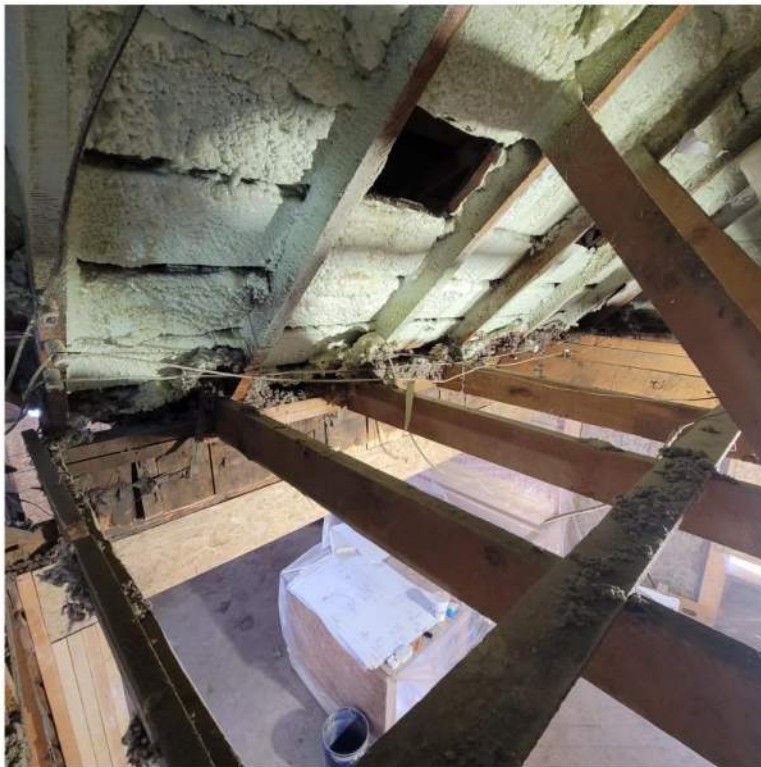












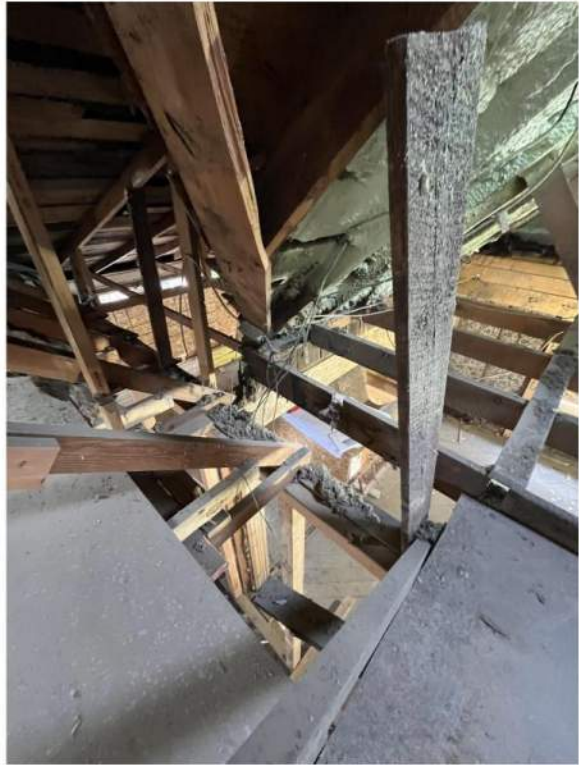








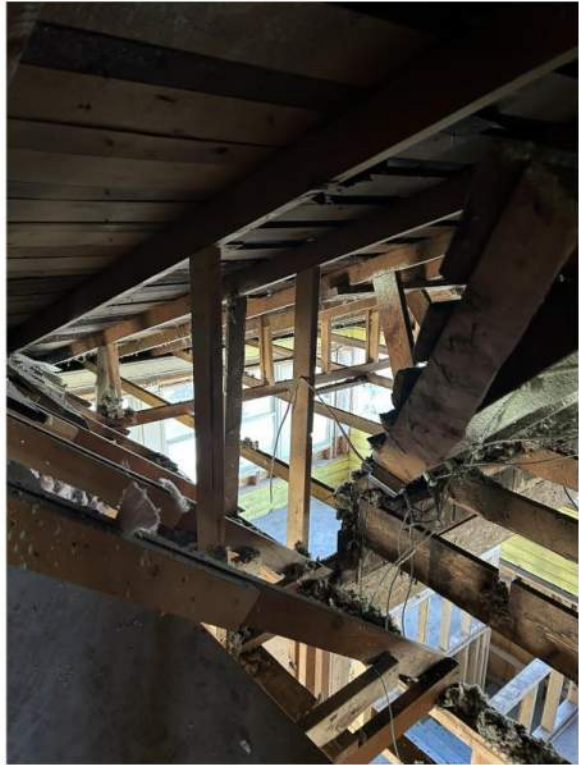




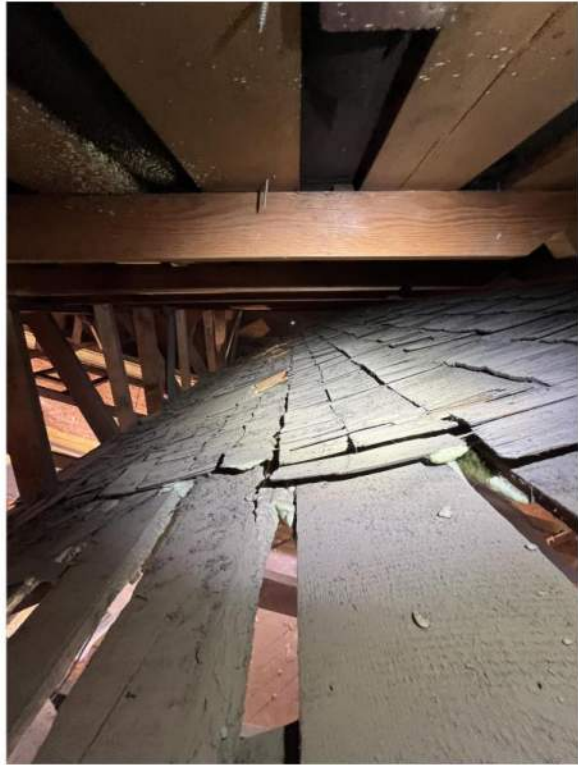




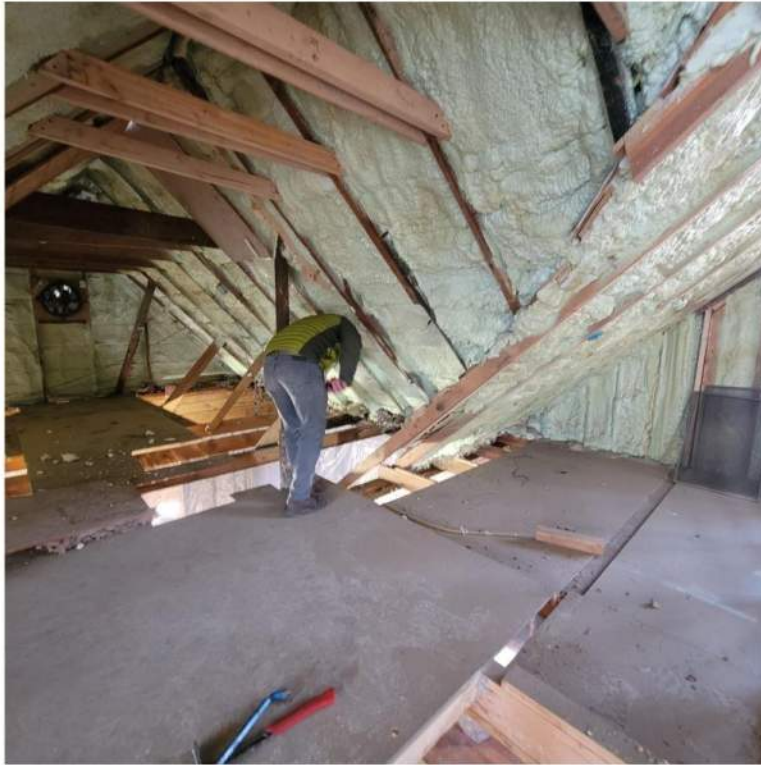








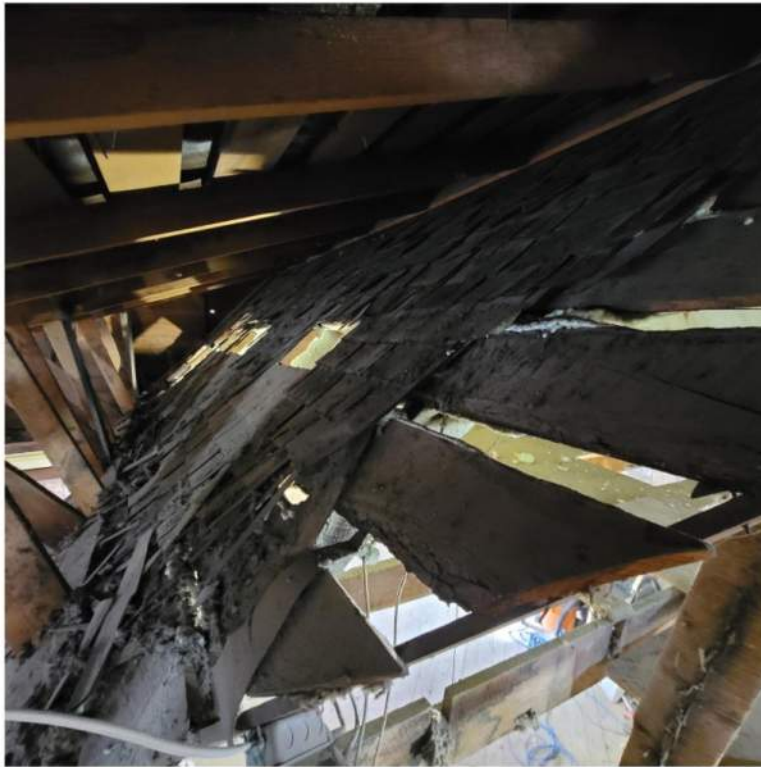




















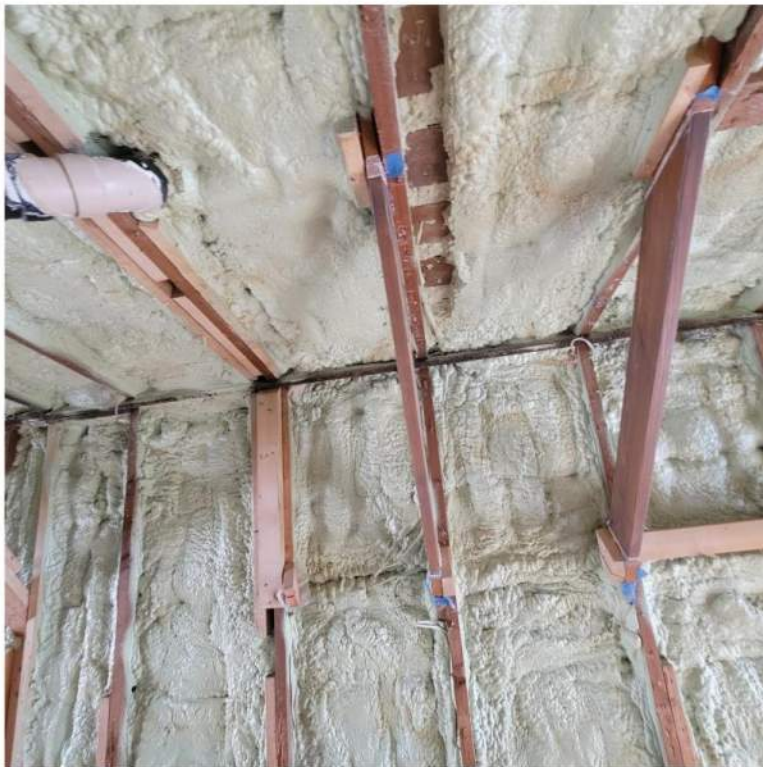




































Planning Department

February 7, 2024

Molly Guinan
Elliott Work Group
(435)-649-0092
mguinan@elliottworkgroup.com

CC: Dennis Hranitzky

NOTICE OF HISTORIC PRESERVATION BOARD ACTION

Description

Address:	218 Sandridge Road
Zoning District:	Historic Residential – 1
Application:	Material Deconstruction
Project Number:	PL-23-05692
Action:	The Historic Preservation Board approved the Material Deconstruction of 48 square feet of 1940's siding from the southern elevation and 64 square feet of the 1889 Roof Form subject to the Conditions of Approval herein.
Date of Final Action:	February 7, 2024
Project Summary:	The Applicant Seeks Approval for Material Deconstruction for of a 1941 Roof Form, 64 square feet of an 1889 Roof Form, and 48 square feet of 1940s Siding to Accommodate a Proposed Addition.

Action Taken

On November 1, 2023, the Historic Preservation Board conducted a public hearing and approved the Material Deconstruction for the 1941 roof form at 218 Sandridge Road and continued discussion of Material Deconstruction of 64 square feet of the 1889 roof form, replacement of fifteen windows, and approximately 48 square feet of 1940s siding on the southern facade to a later date. On February 7, 2024, the Historic Preservation Board conducted a public hearing and **approved the Material Deconstruction of 48 square feet of 1940s siding on the southern façade and approved the proposed Material Deconstruction for 64 square feet of the 1889 roof form** based on the



Planning Department

Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. The property is located at 218 Sandridge Road in the Historic Residential – 1 (HR-1) Zoning District. The property is a metes and bounds parcel.
2. The Site is designated a Significant Historic Site on Park City's Historic Sites Inventory.
3. The house first appears on the 1889 Sanborn Fire Insurance Map as a simple, hall-parlor style house with a half-width front porch facing north.
4. The 1900 Sanborn Fire Insurance Map shows an addition to the west with a projecting bay window overlooking the public stairs which run along the northwestern property line of the site and provide passage from Sandridge Road to Swede Alley.
5. The 1941 Sanborn Fire Insurance Map shows another addition to the 1900 construction which projects to the south. This addition came flush to the edge of the rear porch.
6. On May 31, 2023, the applicant submitted a complete Historic District Design Review (HDDR) application to the Planning Department for modifications to and the construction of an addition to the Significant Historic Structure.
7. Park City recognizes three significant historical periods within the historic districts: Settlement & Mining Boom Era (1868-1893), Mature Mining Era (1894 – 1930), and Mining Decline & Emergence of Recreation Industry (1931-1962).
8. Park City does not recognize one historical period as more significant than another. Property owners may elect to restore a Historic Structure to one period of significance rather than another.
9. The proposed removal of the 1941 addition's roof restores the roofline of the 1907 addition.
10. The proposed modification of 64 square feet of 1889 roof does not negatively impact the historic Roof Form.
11. The Historic Preservation Board conducted a public hearing on November 1, 2023.
12. Following a public hearing held on November 1, 2023, the Historic Preservation Board approved the Material Deconstruction of the 1941 addition's roof form.
13. Following a public hearing held on February 7, 2024, the Historic Preservation Board approved the Material Deconstruction of 48 square feet of 1940s siding



Planning Department

from the southern facade and denied the Material Deconstruction of 64 square feet of the 1889 roof form.

Conclusions of Law

1. The proposal to remove the 1941 roof form to accommodate a rooftop deck complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.
2. The proposal to modify approximately 64 square feet of the 1889 roof form to accommodate a flat roof projection complies with the Land Management Code requirements pursuant to LMC § 15-11-12.5 Historic Preservation Board Review for Material Deconstruction.

Conditions of Approval

1. Final building plans and construction details shall reflect substantial compliance with the plans approved by the Historic Preservation Board on February 7, 2024, for the Material Deconstruction of the 1941 addition and 48 square feet of 1940s siding to accommodate a rooftop deck. Any changes, modifications, or deviations from the approved design that have not been approved in advance by the Planning and Building Departments may result in a stop work order.
2. The applicant is responsible for notifying the Planning and Building Departments prior to making any changes to the approved plans.
3. Any changes, modifications, or deviations from the approved scope of work shall be submitted in writing for review and approval/denial in accordance with the applicable standards by the Planning Director or their Designee prior to construction.
4. The applicant shall obtain Historic District Design Review approval from the Planning Director, or their Designee, prior to submitting a building permit.
5. The applicant shall provide the City with a Financial Guarantee, in accordance with LMC § 15-11-19, to be recorded with the Summit County Recorder's Office prior to submitting a building permit.
6. A Soils Report completed by a geotechnical engineer as well as a temporary shoring plan, if applicable, will be required at the time of building permit application.
7. Historic materials removed from the Structure that are salvageable or in otherwise good condition shall be used to repair/replace irreparable materials on the Site.



Planning Department

8. The Applicant shall obtain Subdivision approval to create a Lot of record and record the amended plat prior to submitting for a building permit.
9. The Applicant shall mitigate the visual impact of the proposed construction and proposed guard railing.

If you have questions or concerns regarding this Final Action Letter, please contact Caitlyn Tubbs at (435)-615-5063 or email caitlyn.tubbs@parkcity.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Randy Scott", written over a horizontal line.

Randy Scott, Chair
Park City Historic Preservation Board

CC: Caitlyn Tubbs, AICP
Senior Historic Preservation Planner



Planning Department

November 7, 2024

Molly Guinan
Elliott Work Group
mguinan@elliottworkgroup.com

CC: Dennis Hranitzky

NOTICE OF PLANNING DEPARTMENT ACTION

Description

Address: 218 Sandridge Road

Zoning District: Historic Residential – 1

Application: Historic District Design Review

Project Number: PL-23-05692

Action: APPROVED WITH CONDITIONS (See Below)

Date of Final Action: November 7, 2024

Project Summary: The Applicant Proposes a Remodel and Addition of the Single-Family Dwelling Including a Detached, Two-Story, 556-Square-Foot Accessory Building and A 334-Square-Foot Addition and Transitional Element.

Action Taken

On November 7, 2024, the Planning Director Designee APPROVED the Historic District Design Review for 218 Sandridge Road based on the Findings of Fact, Conclusions of Law, and Conditions of Approval:

Findings of Fact

1. 218 Sandridge Road is a Single-Family Dwelling in the Historic Residential – 1 (HR-1) Zoning District.
2. The Site is designated a Significant Historic Site on Park City's Historic Sites Inventory.



Planning Department

3. The house first appears on the 1889 Sanborn Fire Insurance Map as a simple, hall-parlor style house with a half-width front porch facing north.
4. On May 31, 2023, the applicant submitted a complete Historic District Design Review (HDDR) application to the Planning Department for modifications to and the construction of an addition to the Significant Historic Structure.
5. The proposed removal of the 1941 addition's roof restores the roofline of the 1907 addition.
6. The proposed modification of 64 square feet of 1889 roof does not negatively impact the historic Roof Form.
7. Following a public hearing held on November 1, 2023, the Historic Preservation Board approved the Material Deconstruction of the 1941 addition's roof form.
8. Following a public hearing held on February 7, 2024, the Historic Preservation Board approved the Material Deconstruction of 48 square feet of 1940s siding from the southern facade and denied the Material Deconstruction of 64 square feet of the 1889 roof form.
9. On June 26, 2024 the Planning Commission conducted a public hearing and approved the Plat Amendment request for 218 Sandridge Road. The Plat was recorded with Summit County on October 29, 2024.
10. On August 14, 2024, the Planning Commission conducted a public hearing and approved the Steep Slope Conditional Use Permit for 218 Sandridge Road.
11. Additions and renovations to Historic Residential Sites are reviewed for compliance with Land Management Code Section 15-13-2 *Regulations For Historic Residential Sites*.
12. Analysis from the November 7, 2024 Administrative Public Hearing Staff Report is incorporated herein.
13. On October 23, 2024 staff published notice on the City's website and posted notice to the property. Staff mailed courtesy notice to property owners within 100 feet on October 23, 2024.

Conclusions of Law

1. The proposal complies with the Historic Preservation Board's February 7, 2024 Material Deconstruction Findings of Fact, Conclusions of Law and Conditions of Approval.
2. The proposal complies with the Planning Commission's June 26, 2024 Plat Amendment Findings of Fact, Conclusions of Law and Conditions of Approval.



Planning Department

3. The proposal complies with the Planning Commission's August 14, 2024 Steep Slope Conditional Use Permit Findings of Fact, Conclusions of Law and Conditions of Approval.
4. The proposal, as conditioned, complies with Land Management Code Section 15-13-2 *Regulations For Historic Residential Sites*.

Conditions of Approval

1. The Applicant shall protect all vegetation not approved for removal during construction. Any vegetation removed or damaged during construction shall be replaced. Any Significant Vegetation removed or damaged during construction requires replacement on Site and shall comply with Municipal Code of Park City Chapter 11-21 *Utah Wildland -Urban Interface Code*.
2. The Applicant shall submit a detailed landscaping and irrigation plan demonstrating compliance with LMC Section 15-5-5(N) to the Planning Department for review and approval prior to Building Permit issuance.
3. The Applicant shall submit detailed storm water and drainage mitigation plans to the Engineering Department for review and approval prior to Building Permit issuance.
4. The new driveway shall not exceed 10 feet in width. The Applicant shall incorporate additional landscaping adjacent to the proposed driveway to minimize the visual impacts of the new driveway and provide separation between the driveway and other adjacent uses
5. The new driveway shall be constructed out of a textured or pour paving material.
6. Pursuant to LMC Section 15-2.2-3(K), the applicant shall obtain Chief Building Official approval for proposed snow release plans for the Site. The Applicant shall provide adequate snow storage for the new driveway on site and shall obtain Engineering Department approval for proposed snow storage areas prior to Building Permit issuance.
7. Drainage infrastructure, including gutters and downspouts, shall be configured so that water drains away from the Historic Structure. New hanging gutters shall be half round, and downspouts shall be located away from architectural features and be visually minimized from the public Right-of Way. Drainage shall also be improved behind retaining walls, so water drains away from the walls to abate retaining wall failure.
8. Any mechanical, utility, or service equipment shall be fully screened from view from the public right-of-way and shall be located on tertiary facades of the




Planning Department

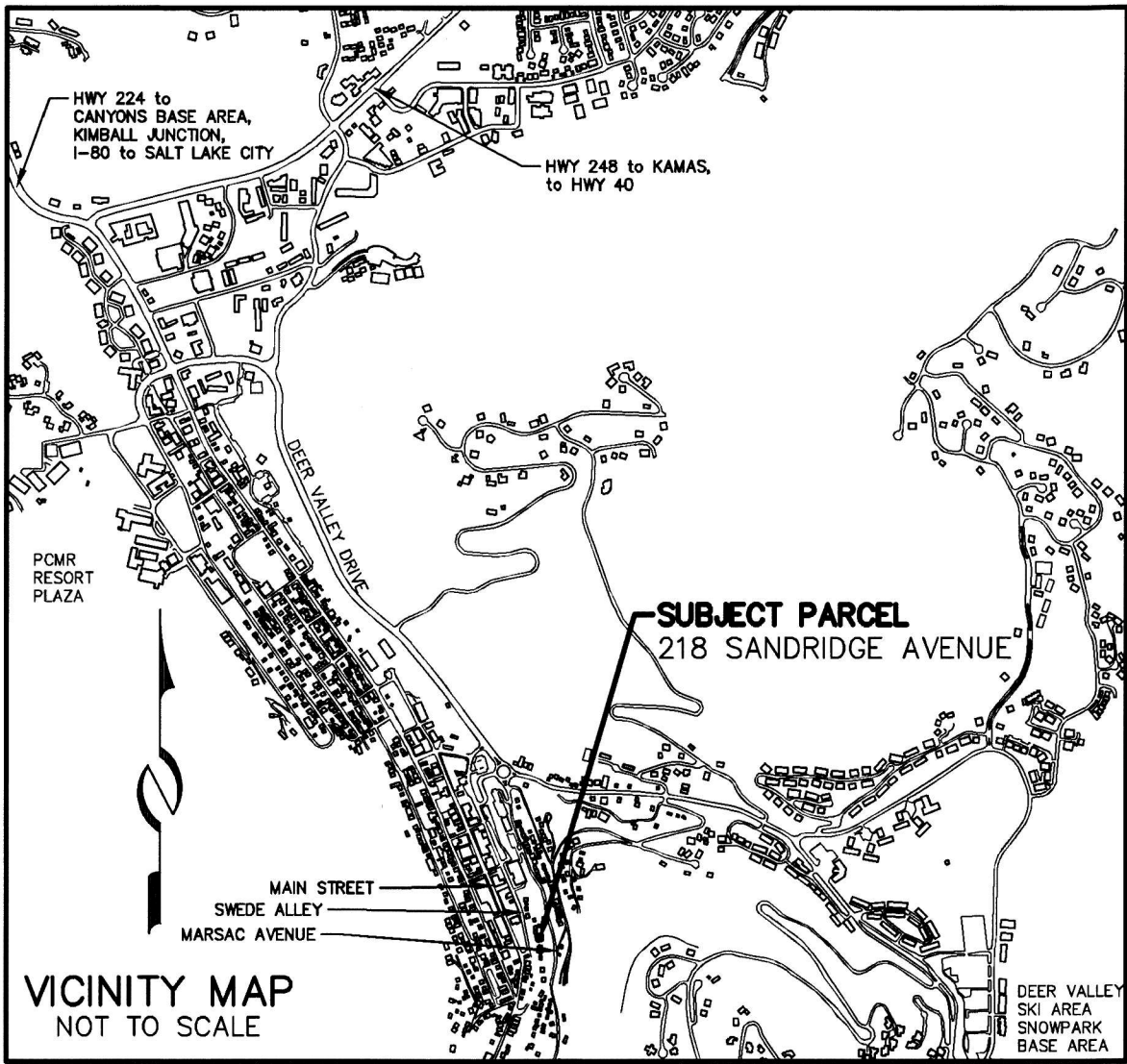
- Historic Structure. Building elements of the Historic Structure shall not be removed or obstructed when installing mechanical systems and equipment.
9. Garage doors shall not exceed 9 feet in width by 9 feet in height. Glazing on garage doors shall be limited to no more than 30% of the garage door.
 10. New decks shall be constructed out of wood and be self-supporting.
 11. Significant Vegetation removed for the proposed Accessory Building shall be replaced on the Site and shall comply with Municipal Code of Park City Chapter 11-21 *Utah Wildland -Urban Interface Code*.
 12. Pursuant to LMC Section 15-4-2, new retaining walls shall not exceed 6 feet within any Rear or Side Setbacks or 4 feet within any Front Setback. New retaining walls shall be constructed out of simple board-formed concrete, stone, or another historic material. Stone or concrete retaining walls shall not be painted, stained, or plastered over.
 13. All new siding shall be wood and shall be painted opaque.
 14. New windows shall be wood or aluminum-clad wood and shall maintain a 2:1 height to width ratio. Any new glazing shall match the visual appearance of historic glazing and/or be clear. Metallic, frosted, tinted, stained, textured and reflective finishes are prohibited.
 15. New decks within the Rear or Side Setback shall be no greater than 30 inches above Final Grade and shall be located at least 1 foot from the property line. Decks within the Front Setback shall be no more than 10 feet wide and shall project no more than 3 feet into the Front Setback.
 16. The landscape terrace on the northwest side of the Historic Structure shall be at-grade and shall not be attached to the Historic Structure. The landscape terrace shall be constructed of wood, brick, or another compatible historic material and shall be fully screened from public Rights-of-Way.

If you have questions or concerns regarding this Final Action Letter, please contact Jacob Klopfenstein at 385-481-2037 or jacob.klopfenstein@parkcity.org.

Sincerely,


Elissa Martin
Planning Director Designee

CC: Jacob Klopfenstein



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 26°56'04" E	7.71'
L2	N 43°45'13" E	13.27'
L4	S 80°34'58" W	10.85'
L5	S 70°13" W	4.95'
L6	N 85°37'21" W	20.21'
L7	S 80°03'58" W	16.81'
L8	N 5°48'16" W	3.65'
L9	N 87°31'31" W	21.18'
L12	N 81°26'33" W	7.80'
L11	N 0°21'15" E	15.86'
L13	N 18°37'05" W	2.77'

LEGAL DESCRIPTION

PARCEL 1

BEGINNING AT A POINT DUE SOUTH 210.37 FEET AND DUE EAST 327.83 FEET FROM THE NORTHEAST CORNER OF LOT 16, BLOCK 12, PARK CITY SURVEY, PARK CITY UTAH, AND THENCE RUNNING NORTH 26°56'04" EAST 7.71 FEET ALONG THE SOUTH EASTERLY HAND RAILING OF AN EXISTING WOODEN STAIRWAY; THENCE NORTH 43°45'13" EAST 13.27 FEET; THENCE NORTH 56°52'21" EAST 52.88 FEET TO THE WESTERLY EDGE OF SAND RIDGE ROAD; THENCE SOUTH 16°59'50" EAST 28.65 FEET; THENCE SOUTH 5°02'33" EAST 34.13 FEET; THENCE SOUTH 07°17'37" WEST 45.44 FEET; THENCE NORTH 85°50'10" WEST 21.5 FEET TO AN EXISTING FENCE CORNER; THENCE NORTH 85°50'10" WEST 39.39 FEET; THENCE NORTH 01°51'09" WEST 56.72 FEET ALONG THE TOP OF AN EXISTING ROCK RETAINING WALL TO THE POINT OF BEGINNING.

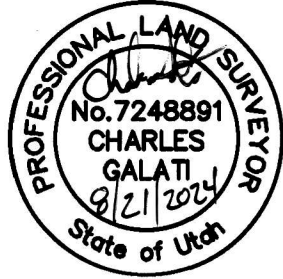
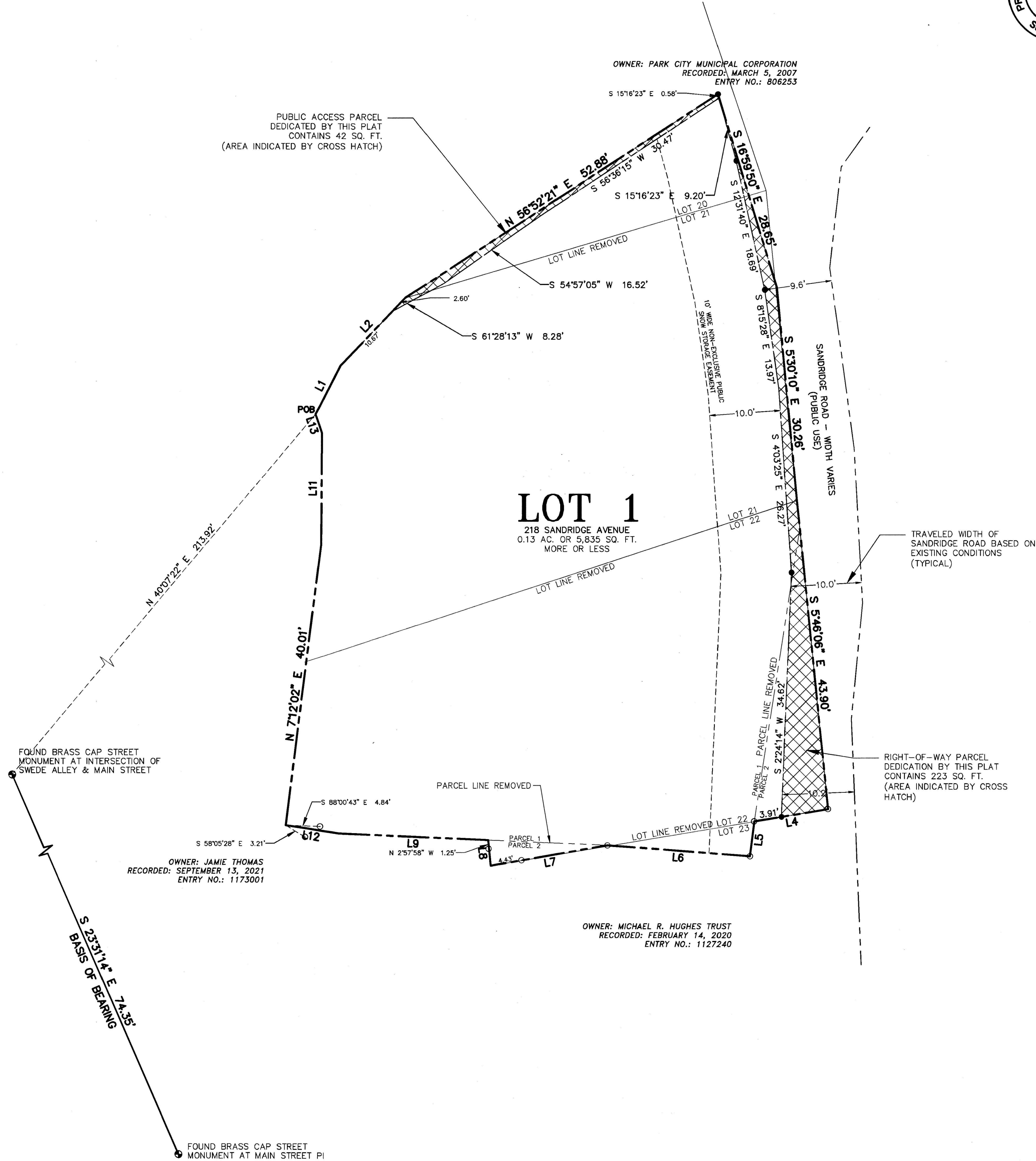
LESS AND EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL OF LAND:

BEGINNING AT A POINT DUE SOUTH 210.37 FEET AND DUE EAST 327.83 FEET FROM THE NORTHEAST CORNER OF LOT 16, BLOCK 12, PARK CITY SURVEY AND RUNNING THENCE NORTH 26°56'04", EAST ALONG THE SOUTHEASTERLY HAND RAILING OF AN EXISTING WOODEN STAIRWAY (7.71 FEET); THENCE NORTH 43°45'13" EAST 13.27 FEET; THENCE NORTH 56°52'21" EAST 52.88 FEET TO THE WESTERLY EDGE OF SANDRIDGE AVENUE; THENCE SOUTH 16°59'50" EAST 28.65 FEET; THENCE SOUTH 5°02'33" EAST 29 FEET MORE OR LESS TO THE SOUTHERLY LOT LINE OF LOT 21, BLOCK 72, PARK CITY SURVEY; THENCE EAST 4 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF SAID LOT 21; THENCE NORTH 5°47' WEST 52.2 FEET; THENCE NORTH 19°43' WEST 18 FEET MORE OR LESS, TO A POINT 26 FEET NORTH OF SOUTHERLY LOT LINE OF LOT 20, BLOCK 72; THENCE WESTERLY 17 FEET MORE OR LESS, ALONG THE NORTHERLY PROPERTY LINE TO THE INTERSECTION WITH THE WESTERLY PROPERTY LINE OF A PARCEL CONVEYED TO TRINIDAD M. JARAMILLO AND RECORDED IN BOOK M-229, PAGE 126-C IN THE OFFICIAL RECORDS OF THE SUMMIT COUNTY RECORDER'S OFFICE; THENCE SOUTH 28° EAST 11 FEET MORE OR LESS, TO THE SOUTHEAST CORNER OF SAID JARAMILLO PROPERTY; THENCE SOUTH 53° WEST ALONG A WOODEN STAIRWAY 63 FEET; THENCE SOUTH 39°03' WEST 6 FEET MORE OR LESS TO A PROPERTY LINE; THENCE SOUTH 13°35'30" EAST 23 FEET MORE OR LESS, THENCE NORTH 1°51'09" NORTH 18 FEET MORE OR LESS TO THE POINT OF BEGINNING.

(TAX SERIAL NO. PC-597)

PARCEL 2

THE EAST HALF OF LOT 22, BLOCK 72, MILLSITE PARK CITY LESS, THE FOLLOWING DESCRIBED PARCEL: A PART OF TRACT BEGINNING AT A POINT DUE SOUTH 210.37 FEET AND DUE EAST 327.83 FEET FROM THE NORTHEAST CORNER OF LOT 16, BLOCK 12, PARK CITY SURVEY; AND THENCE RUNNING NORTH 26°56'04" EAST ALONG THE SOUTH EASTERLY HAND RAILING OF AN EXISTING WOODEN STAIRWAY; THENCE NORTH 43°45'13" EAST 13.27 FEET; THENCE NORTH 56°52'21" EAST 52.88 FEET TO THE WESTERLY EDGE OF SAND RIDGE ROAD; THENCE SOUTH 16°59'50" EAST 28.65 FEET; THENCE SOUTH 5°02'33" EAST 34.13 FEET; THENCE SOUTH 7°17'37" WEST 45.44 FEET; THENCE NORTH 85°50'10" WEST 21.5 FEET TO AN EXISTING FENCE CORNER; THENCE NORTH 85°50'10" WEST 39.39 FEET; THENCE NORTH 1°51'09" WEST 56.72 FEET ALONG THE TOP OF AN EXISTING ROCK RETAINING WALL TO THE POINT OF BEGINNING.



SURVEYOR'S CERTIFICATE

I, Charles Galati, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold license number 7248891 in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act, I further certify that I have completed a survey and have referenced a record of survey map of the existing property boundaries in accordance with Section 17-23-17 and have verified the boundary locations and have placed monuments as represented on the plat. I do further certify that by authority of the owners, I have subdivided said property into a single lot with rights-of way, hereafter to be known as 218 SANDRIDGE AVENUE PLAT AMENDMENT.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL BY THESE PRESENTS that the undersigned is the owner of the above described tract of land, and hereby causes the same to be combined into a lot and rights-of-way as set forth to be hereafter known as 218 SANDRIDGE AVENUE PLAT AMENDMENT and do hereby dedicate to the public all rights-of-way shown on this plat as intended for public use.

In witness whereof, the undersigned set his/her hand this 23rd day of August, 2024.

By: DENNIS H. HRANITZKY, OWNER

ACKNOWLEDGEMENT

STATE OF Utah)
COUNTY OF Salt Lake)

On this 23rd day of August, 2024, DENNIS H. HRANITZKY personally appeared before me, whose identity is personally known to me or proven on the basis of satisfactory evidence.

Notary Public

Diane Olson
Printed Name

Residing in: Salt Lake Co.

My commission expires: 8/8/2027

Commission No. 732213

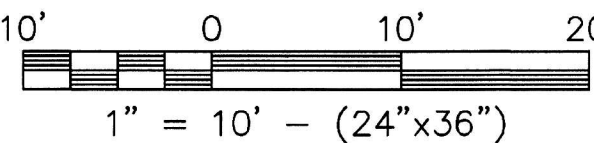


NOTES

- This plat amendment is subject to the Conditions of Approval in the Final Action Letter dated June 26, 2024 on file with the Planning Department (PL-24-06076).
- See Record of Survey S-10675 performed by Alliance Engineering, recorded September 10, 2021 on file and of record in the Office of the Summit County Recorder.
- The Maximum building footprint is 2,048 Square Feet.

LEGEND

- To be set upon recordation of plat 5/8" rebar w/cap "ALLTERRA UTAH" (Unless noted otherwise)
- Found Monument (As-Noted)
- Found Street Monument (As-Noted)



8/21/24 SHEET 1 OF 1

PROFESSIONAL LAND SURVEYING
AND CONSULTING
ALLTERRA
UTAH, LLC

435-640-4200
463 SCENIC HEIGHTS ROAD, FRANCIS, UTAH 84006

218 SANDRIDGE AVENUE PLAT AMENDMENT
AMENDING A PORTION OF LOTS 20, 21, 22 & 23, BLOCK 72, PARK CITY AMENDED SURVEY

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 16,
TOWNSHIP 2 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

SNYDERVILLE BASIN WATER RECLAMATION DISTRICT	PLANNING COMMISSION	ENGINEER'S CERTIFICATE	APPROVAL AS TO FORM	COUNCIL APPROVAL AND ACCEPTANCE	CERTIFICATE OF ATTEST	PUBLIC SAFETY ANSWERING POINT APPROVAL	RECORDED
REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS 26 DAY OF August, 2024 BY: <i>John Rees</i> SNYDERVILLE BASIN WATER RECLAMATION DISTRICT	APPROVED BY THE PARK CITY PLANNING COMMISSION THIS 26TH DAY OF JUNE, 2024 BY: <i>Sam</i> CHAIR	I FIND THIS PLAT TO BE IN ACCORDANCE WITH INFORMATION ON FILE IN MY OFFICE THIS 8 DAY OF October, 2024 BY: <i>John Rees</i> PARK CITY ENGINEER	APPROVED AS TO FORM THIS 15 DAY OF October, 2024 BY: <i>Michael Hughes</i> PARK CITY ATTORNEY	APPROVAL AND ACCEPTANCE BY THE PARK CITY COUNCIL THIS 16 DAY OF October, 2024 BY: <i>John Rees</i> MAYOR	I CERTIFY THIS PLAT WAS APPROVED BY THE PARK CITY PLANNING COMMISSION THIS 26TH DAY OF JUNE, 2024 BY: <i>Michelle Kellogg</i> PARK CITY RECORDER	APPROVED THIS 29th DAY OF October, 2024 BY: <i>John Rees</i> SUMMIT COUNTY GIS COORDINATOR	STATE OF UTAH, COUNTY OF SUMMIT, AND FILED AT THE REQUEST OF COALITION TITLE AGENCY FEE \$52.00 RECORDED TIME 8:42 PM DATE 10/29/24 ENTRY NO. 1224940

218 SANDRIDGE AVENUE PLAT AMENDMENT



November 10, 2025

Elliott Workgroup
Attn: Molly Guinan
1441 W Ute Blvd
Park City, UT 84098

Reference: 218 Sandridge Road, Park City, UT 84060
Subject: Physical Conditions Report – Revision No.1

I would like to explain the necessary structural modifications for the project.

The existing roof joists are inadequate for current snow loads and require removal and replacement. This will also facilitate the introduction of a ridge beam, which cannot be achieved through repair methods per code 15-11-15. A ridge beam is essential to stabilize the roof and eliminate the thrust force contributing to the bowing of the historic walls.

The insufficient roof framing has led to outward bowing of the existing walls, particularly in the 1900 and 1940 sections. This currently presents a safety concern for project personnel and requires shoring. Furthermore, sections of the existing wall framing in the 1900 and 1940 sections are rotted and must be removed and replaced.

Additionally, the ceiling joists are improperly notched at the historic walls and are not adequately connected to them for stabilization. These members are insufficient, cut short, and notched beyond code allowance, thus requiring removal and replacement as repairs are not feasible per code 15-11-15.

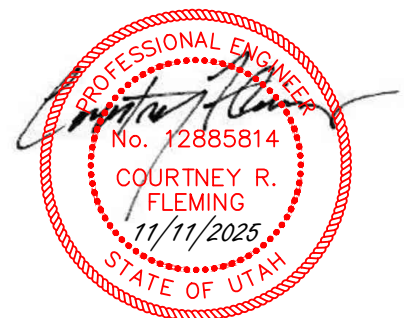
With the proposed shoring of the historic walls, as detailed in the attached document, a new structural wall will be installed along the inside face of the historic wall assembly. This new wall location alters the connection point of the existing roof. Deeper rafters are needed to utilize this new wall assembly and will be designed to withstand current snow loads. To bring the wall to code and effectively use the new structural system, the roof will need to be reframed.

Thank you for your attention to these critical structural concerns.

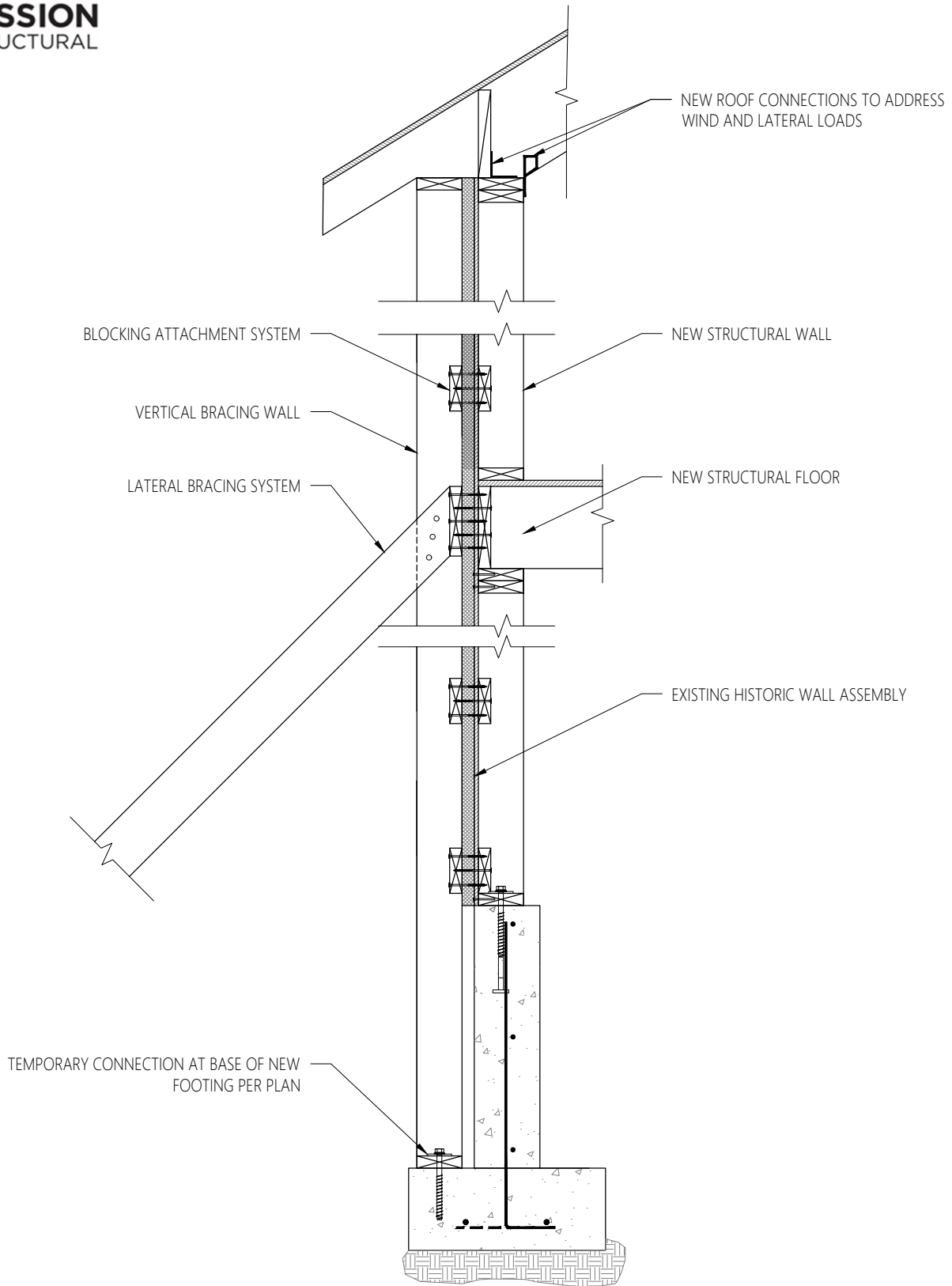
Sincerely,



Courtney Fleming, PE
Principal Consultant



Expressed Limitation: Mission Structural provides professional engineering services, within the limits prescribed by the Client, with the usual diligence and competence of the engineering profession. No other warranty or representation, either expressed or implied, is included or intended in proposals, contracts, or reports prepared by Mission Structural. The observation of this structure is limited to those items thought to be pertinent to the distress and is not represented to be a complete evaluation of the structure. The recommendations are intended to be practical measures with a reasonable probability of successfully controlling the distress, but no assurance is possible.



PARK CITY MUNICIPAL CORPORATION
PLANNING DEPARTMENT
445 MARSAC AVE - PO BOX 1480
PARK CITY, UT 84060
(435) 615-5060



HISTORIC PRESERVATION PLAN

For Use with the *Historic District/Site Design Review Application*

For Official Use Only

PLANNER: _____ APPLICATION #: _____
DATE RECEIVED: _____
PLANNING DIRECTOR _____ CHIEF BUILDING OFFICIAL _____
APPROVAL DATE/INITIALS: _____ APPROVAL DATE/INITIALS: _____

PROJECT INFORMATION

☐ LANDMARK

☒ SIGNIFICANT

DISTRICT: _____

NAME: Hranitzky Residence
ADDRESS: 218 Sandridge Road
Park City, UT 84060

TAX ID: PC-597 Account 0023410 OR
SUBDIVISION: _____ OR
SURVEY: _____ LOT #: 16 22 BLOCK #: 12 72

APPLICANT INFORMATION

NAME: Molly Guinan
PHONE #: [REDACTED] FAX #: () -
EMAIL: [REDACTED]

If you have questions regarding the requirements on this application or process please contact a member of the Park City Planning Staff at (435) 615-5060 or visit us online at www.parkcity.org. Updated 10/2014.

INSTRUCTIONS FOR HISTORIC PRESERVATION PLAN

The purpose of the HISTORIC PRESERVATION PLAN is to provide a detailed description of the proposed project, including the scope of work, methods/techniques being considered, and the potential impacts and/or benefits to Park City's historic resources. The Planning Department is authorized to require a Historic Preservation Plan as a condition of approving an application for a building project that affects a historic structure, site or object. The Planning Director and the Chief Building Official, or their designees, must approve the Historic Preservation Plan.

It is important to address the condition of each element, feature, or space of a historic site and/or structure as identified by the Physical Conditions Report.

Please note the following:

- 1. Multiple Buildings and/or Structures.** For Historic District Design Reviews (HDDR) that include more than one (1) structure, please complete an individual Physical Conditions Report for each structure on the site.
- 2. Scope of Work.** Summarize the impacts the proposed project will have on each of the elements/features identified by the Physical Conditions Report. If the project proposes a negative impact on any character-defining feature, explain why it is unavoidable and what measures are proposed to mitigate the adverse affects.
- 3. Construction Issues.** Following the format of the Physical Condition Report, summarize the work being proposed for each feature. Provide reference to or excerpts from the Physical Condition Report if needed to supplement the work summaries. Address the treatments being considered and the methods and techniques being proposed.

According to the *Design Guidelines for Historic Districts and Historic Sites* the four treatments for historic sites include:

- **Preservation.** If you want to stabilize a building or structure, retain most or all of its historic fabric, and keep it looking the way it does now, you will be preserving it. Preservation is the first treatment to consider and it emphasizes conservation, maintenance and repair.
 - **Rehabilitation.** If you want to update a building for its current or a new use, you will be rehabilitating it. Rehabilitation, the second treatment, also emphasizes retention and repair of historic materials, though replacement is allowed because it is assumed that the condition of existing materials is poor.
 - **Restoration.** If you want to take a building back to an earlier time by removing later features, you will be restoring it. Restoration, the third treatment, centers on retaining materials from the most significant period in the property's history. Because changes in a site convey important information about the development history of that site and its structures, restoration is less common than the previous treatments.
 - **Reconstruction.** If you want to bring back a building that no longer exists or cannot be repaired, you will be reconstructing it. Reconstruction, the fourth treatment, is used to recreate a non-surviving building or one that exists now, but is extremely deteriorated and unsalvageable. Reconstruction is rarely recommended.
- 4. Conditions Evaluation.** The scope of work for those features/elements identified as fair or poor in the Physical Conditions Report require a more comprehensive approach to its deteriorated condition. Please provide specific details outlining your scope of work.
 - 5. References.** Specific conditions should be addressed using recognized preservation methods. It may be helpful to reference the National Park Service's Preservation Briefs in order to specify

recognized preservation methods for features/elements such as wood windows, porches, and masonry chimneys. These and other features are described in the Preservation Briefs, available online at: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

Site Design

Use this section should describe the scope of work and preservation treatment for landscape features such as stone retaining walls, hillside steps, and fencing. Existing landscaping and site grading as well as parking should also be documented. Use supplemental pages if necessary.

Home at 5500 S. Paved Steps, Stone Retaining Walls, Fencing, Existing Landscaping, Parking

This involves: ☐ Preservation ☒ Restoration
☒ Reconstruction ☒ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

There will be a full new landscape design to pull the new design into the landscape design. The design will introduce a new garage which will be placed where the existing stone retaining walls are currently failing. There will be new terraced landscaping/decks/planting introduced in the area between the new garage and existing structure. Paved steps, Paving will be replaced with new walkways. Parking on South side of building will lead into new single car garage.

Structure

Use this section to describe scope of work and preservation treatment for the general structural system of the building including floor and ceiling systems as well as the roof structure. Supplemental pages should be used to describe additional elements and features.

Home at 5500 S. Paved Steps, Stone Retaining Walls, Fencing, Existing Landscaping, Parking

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Roof

Use this section to describe the proposed scope of work and preservation treatment for the roofing system, flashing, drainage such as downspouts and gutters, skylights, chimneys, and other rooftop features. Use supplemental pages if necessary.

Element/Feature: Structural Systems

This involves: ☒ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

There will be multiple structural changes to the house as the proposed design will remove existing stairs to create more cohesive floor plates. A structural engineer will assess the need for reconstruction or restoration of foundations. We would like to remove the chimney from within the building envelope (where it is currently leaning and structurally compromised) and will work with a structural engineer to develop an approach if the exterior of the chimney is required to stay.

Chimney

Use this section to describe the proposed scope of work and preservation treatment for any existing chimneys. One box should be devoted to each existing chimney. Supplemental pages should be used to describe additional elements and features.

Element/Feature: Chimneys

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

See above

Exterior Walls

Use this section to describe the proposed scope of work and preservation treatment for the exterior wall construction, finishes, and masonry. Please describe the scope of work for each individual exterior wall, use supplemental pages if necessary.

Element/Fixture	Siding
-----------------	--------

This involves: ☐ Preservation ☒ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Replace any damaged siding.

Element/Fixture

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

--

Foundation

Use this section to describe the proposed scope of work and preservation treatment for the foundation including its system, materials, perimeter foundation drainage, and other foundation-related features. Use supplemental pages if necessary.

Element/Feature: Foundation

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☒ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Fix and seal foundation issues

Porches

Use this section to describe the proposed scope of work and preservation treatment for all porches. Address decorative features including porch posts, brackets, railing, and floor and ceiling materials.

Element/Feature:

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Doors

Use this section to describe the proposed scope of work and preservation treatment for all exterior doors, door openings, and door parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior door, use supplemental pages if necessary.

Element/Feature: **Doors**

This involves: ☐ Preservation ☐ Restoration
☒ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Replace damaged doors with new doors to compliment the character of the historic doors where appropriate.

Element/Feature:

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Windows

Use this section to describe the proposed scope of work and preservation treatment for all exterior windows, window openings, and windows parts referenced in the Door Survey of the Physical Conditions Report. Please describe the scope of work for each individual exterior window, use supplemental pages if necessary.

Element/Feature Windows

This involves: ☐ Preservation ☐ Restoration
☒ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Replace windows with new efficient windows where appropriate. Replace windows with a window style to match existing historic window style.

Element/Feature

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Mechanical System, Utility Systems, Service Equipment & Electrical

Use this section to describe proposed scope of work and preservation treatment for items such as the existing HVAC system, ventilation, plumbing, electrical, and fire suppression systems. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: **N/A**

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Replace damaged doors with new doors to compliment the character of the historic doors where appropriate.

Additions

Use this section to describe the proposed scope of work for any additions. Describe the impact and the preservation treatment for any historic materials. Supplemental pages should be used to describe additional elements and features. Use supplemental pages if necessary.

Element/Feature: **addition of a detached single car garage and circulation connector**

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Additions have been designed to compliment the historic structure. Where appropriate (on the detached garage) new siding will be matched to existing historic siding. Where historic meets new circulation connector, we will apply a material and height change to accent the historic and minimize impact of new connector. At roof level a flat roof dormer is proposed and will sit below current most historic roof line. We will implement a material change to show that flat roof dormer is an addition.

4. PROJECT TEAM

List the individuals and firms involved in designing and executing the proposed work. Include the names and contact information for the architect, designer, preservation professional, contractor, subcontractors, specialized craftspeople, specialty fabricators, etc...

Provide a statement of competency for each individual and/or firm listed above. Include a list or description of relevant experience and/or specialized training or skills.

Will a licensed architect or qualified preservation professional be involved in the analysis and design alternatives chosen for the project? Yes or No. If yes, provide his/her name.

Will a licensed architect or other qualified professional be available during construction to ensure the project is executed according to the approved plans? Yes or No. If yes, provide his/her name.

5. SITE HISTORY

Provide a brief history of the site to augment information from the Historic Site Form. Include information about uses, owners, and dates of changes made (if known) to the site and/or buildings. Please list all sources such as permit records, current/past owner interviews, newspapers, etc. used in compiling the information.

6. FINANCIAL GUARANTEE

The Planning Department is authorized to require that the Applicant provide the City with a financial Guarantee to ensure compliance with the conditions and terms of the Historic Preservation Plan. (See Title 15, LMC Chapter 11-9) Describe how you will satisfy the financial guarantee requirements.

7. ACKNOWLEDGMENT OF RESPONSIBILITY

I have read and understand the instructions supplied by Park City for processing this form as part of the Historic District/Site Design Review application. The information I have provided is true and correct to the best of my knowledge.

Signature of Applicant: _____  _____ Date: Aug 28 2023

Name of Applicant: Molly Guinan

Supplemental Sheets

Supplemental Page ____ of ____

Supplemental pages should be used to describe the scope of work and preservation treatment for any additional elements and features not previously described in this packet.

Element/Feature:

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature:

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

Element/Feature

This involves: ☐ Preservation ☐ Restoration
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Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:

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Element/Feature:

This involves: ☐ Preservation ☐ Restoration
☐ Reconstruction ☐ Rehabilitation

Based on the condition and deficiencies outlined in the Physical Conditions Report, please describe in detail the proposed work:



November 27, 2025

Elliott Workgroup
Attn: Molly Guinan
1441 W Ute Blvd
Park City, UT 84098

Reference: 218 Sandridge Road, Park City, UT 84060
Subject Assessment of Roof and Wall Structural Conditions

During our evaluation, we identified significant issues with the existing roof framing system that have a direct impact on the project's scope. The original plan was to reinforce all current roof framing members by attaching new structural elements to the existing framework. This strategy relied heavily on the assumption that the original members maintained adequate structural integrity.

However, after demolition work commenced, it was revealed that the existing roof framing is structurally compromised. This deterioration is attributed to both material degradation (as illustrated in Figure 1 and 2) and improper framing techniques that were employed throughout the building's history (see Figure 3, 4 and 5). The combined effects of these deficiencies have undermined the reliability of the roof framing.

Further investigation confirmed that the current roof joists do not meet the requirements for present-day snow loads, making them unsafe for use during ongoing construction activities (refer to Figure 6 and supplemental calculations). As a result, removal and replacement of these joists is necessary for worker safety. This replacement will also allow for the installation of a ridge beam, which is not feasible through repair alone as stipulated by code 15-11-15. The inclusion of a ridge beam is vital for stabilizing the roof and eliminating the thrust force responsible for the outward bowing of the historic walls.

As noted, the inadequacy of the roof framing has led to the outward bowing of the structure's walls, most notably within the 1900 and 1940 sections (see Figure 7). This situation poses a safety risk to personnel on site and requires immediate bracing. In addition, portions of the existing wall framing in these areas are rotted and will need to be removed and replaced to restore structural integrity.



We also observed that the ceiling joists have been improperly notched (see Figure 5 and Figure 8) at the historic wall locations and are not sufficiently connected to these walls for stabilization. Many of these members are undersized, cut short, and exceed allowable notching per code, making repairs infeasible. Therefore, in accordance with code 15-11-15, these members must be removed and replaced.

To address the deficiencies identified in the historic wall sections, temporary bracing will be installed for the existing walls, as illustrated in Figure 9. This bracing will ensure safety and stability during construction. Following the installation of the bracing, a new structural wall will be constructed along the interior side of the original wall assembly. Positioning the new wall in this manner will enable the safe removal of the compromised roof framing members.

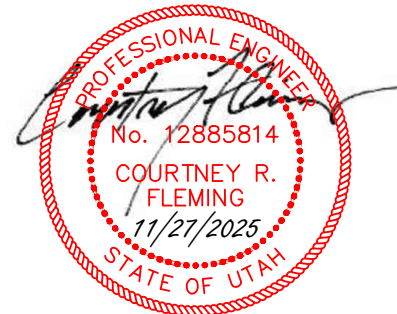
To comply with current building codes and to adequately support anticipated snow loads, the replacement roof system will utilize deeper rafters (see Figure 6). These rafters will be specifically designed to meet all current snow load requirements. Full compliance with applicable codes and proper integration of the new structural wall will require complete reframing of the roof. This comprehensive approach ensures both the immediate safety of construction personnel and the long-term structural integrity of the building.

Thank you for your attention to these critical structural concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Courtney Fleming'.

Courtney Fleming, PE
Principal Consultant



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Figure 1- Deterioration at Ridge Boards



Figure 2 - Deterioration of Ridge Board



Figure 3 - Improper Frame Example 2



Figure 4 - Improper Framing Example 2



Figure 5 - Improper Framing Example 3, Including Deterioration

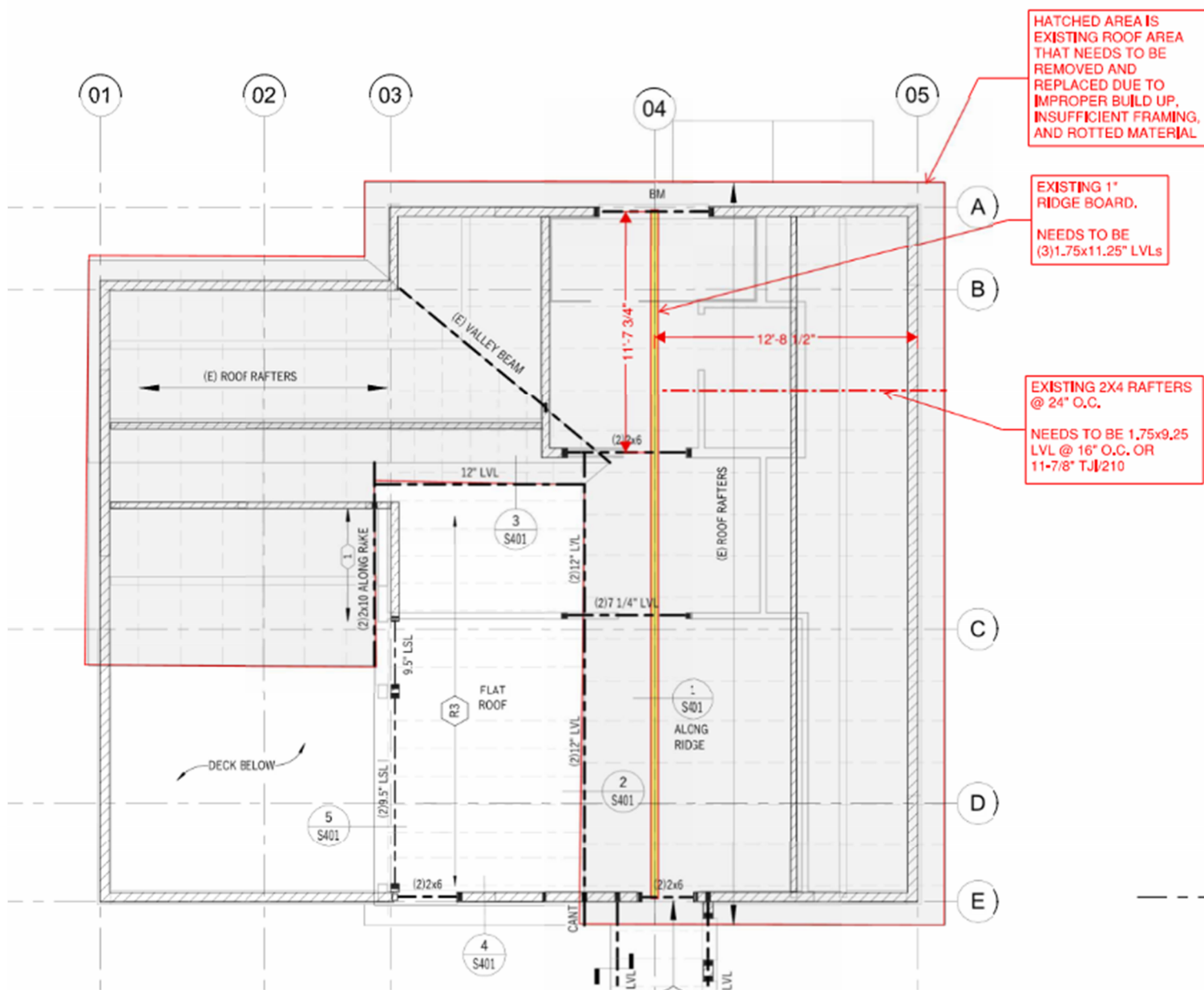


Figure 6 - Existing Framing vs. Needed Framing



Figure 7 - Bowing of Wall



Figure 8 - Notched Ceiling Joists

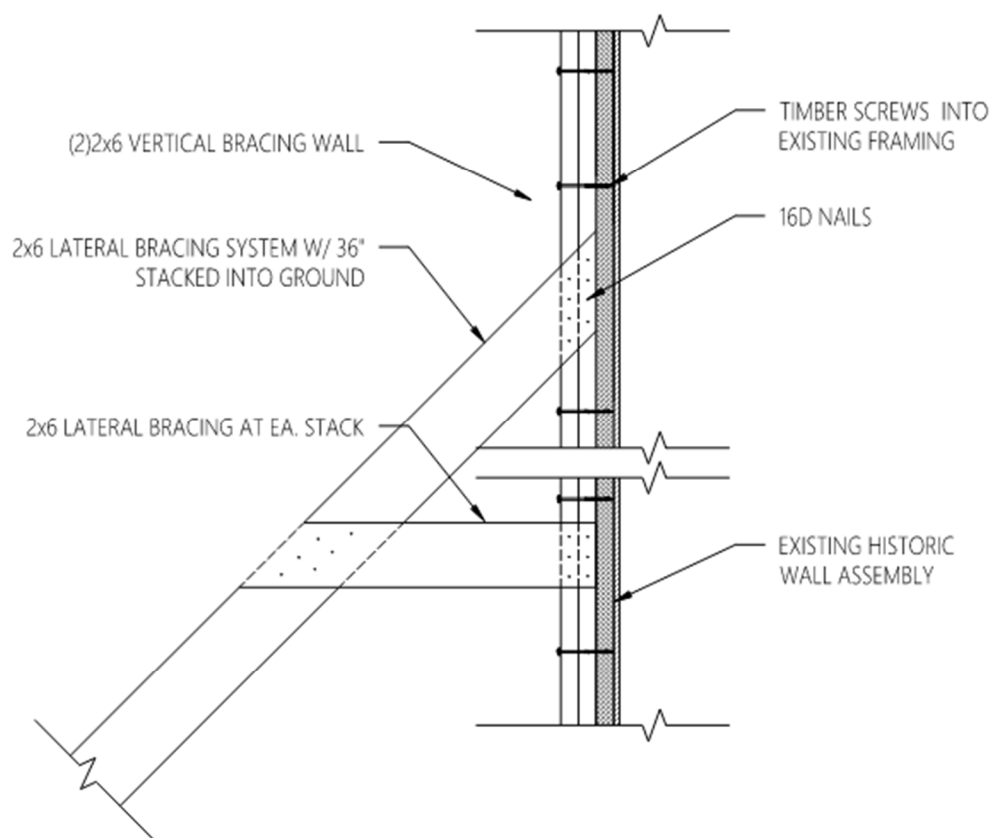


Figure 9 - Historic Wall Bracing

SUPPLEMENTAL CALCS

Multiple Simple Beam

Project File: Sandridge.ec6

LIC#: KW-06018773, Build:20.25.11.18

Mission Structural

(c) ENERCALC, LLC 1982-2025

Description : 218 Physical Conditions

Wood Beam Design : Existing Rafters - Not Code Compliant

Code References

Governing Code : IBC 2021

Referenced Design Standard(s) : NDS 2018

Load Combination Set : ASCE 7-16

BEAM Size : **2x4, Sawn, Fully Braced**

Using Allowable Stress Design with ASCE 7-16 Load Combinations, Major Axis Bending

Wood Species : Douglas Fir-Larch

Wood Grade : No.2

Fb - Tension	750.0 psi	Fc - Prll	700.0 psi	Fv	170.0 psi	Ebend- xx	1,300.0 ksi	Density	31.210 pcf
Fb - Compr	750.0 psi	Fc - Perp	625.0 psi	Ft	475.0 psi	Eminbend - xx	470.0 ksi		

Applied Loads

Unif Load: D = 0.0150 S = 0.10 k/ft, Trib= 2.0 ft

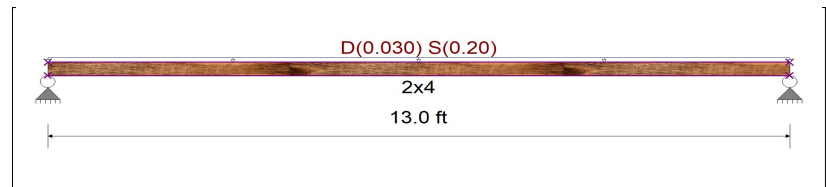
Design Summary

Max fb/Fb Ratio = **14.716 : 1**
 fb : Actual : 19,038.37 psi at 6.500 ft in Span # 1
 Fb : Allowable : 1,293.75 psi
 Load Comb : +D+S

Max fv/FvRatio = **2.097 : 1**
 fv : Actual : 410.06 psi at 12.740 ft in Span # 1
 Fv : Allowable : 195.50 psi
 Load Comb : +D+S

Max Reactions (k)	D	Lr	L	S	W	E	H
Left Support	0.20			1.30			
Right Support	0.20			1.30			

FAILURE: RATIO NOT TO EXCEED 1:1



Max Deflections

Transient Downward	18.547 in	Total Downward	21.329 in
Ratio	8 <0	Ratio	7 <240
LC: S Only		LC: +D+S	
Transient Upward	0.000 in	Total Upward	0.000 in
Ratio	9999	Ratio	9999
LC:		LC:	

Wood Beam Design : Code compliant rafter

Code References

Governing Code : IBC 2021

Referenced Design Standard(s) : NDS 2018

Load Combination Set : ASCE 7-16

BEAM Size : **1.75x9.25, Microllam LVL, Fully Braced**

Using Allowable Stress Design with ASCE 7-16 Load Combinations, Major Axis Bending

Wood Species : iLevel Truss Joist

Wood Grade : MicroLam LVL 2.0 E

Fb - Tension	2,600.0 psi	Fc - Prll	2,510.0 psi	Fv	285.0 psi	Ebend- xx	2,000.0 ksi	Density	42.010 pcf
Fb - Compr	2,600.0 psi	Fc - Perp	750.0 psi	Ft	1,555.0 psi	Eminbend - xx	1,016.54 ksi		

Applied Loads

Unif Load: D = 0.0150 S = 0.10 k/ft, Trib= 1.330 ft

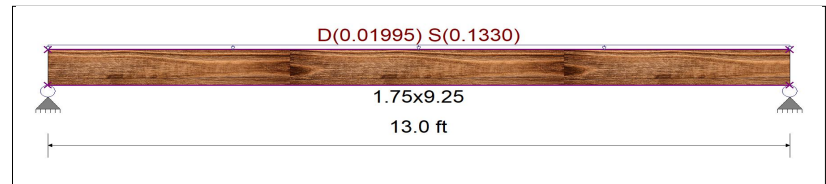
Design Summary

Max fb/Fb Ratio = **0.502 : 1**
 fb : Actual : 1,553.66 psi at 6.500 ft in Span # 1
 Fb : Allowable : 3,097.74 psi
 Load Comb : +D+S

Max fv/FvRatio = **0.249 : 1**
 fv : Actual : 81.68 psi at 12.263 ft in Span # 1
 Fv : Allowable : 327.75 psi
 Load Comb : +D+S

Max Reactions (k)	D	Lr	L	S	W	E	H
Left Support	0.13			0.86			
Right Support	0.13			0.86			

RATIO COMPLIANCE



Max Deflections

Transient Downward	0.372 in	Total Downward	0.428 in
Ratio	419	Ratio	364
LC: S Only		LC: +D+S	
Transient Upward	0.000 in	Total Upward	0.000 in
Ratio	9999	Ratio	9999
LC:		LC:	

SUPPLEMENTAL CALCS

Multiple Simple Beam

Project File: Sandridge.ec6

LIC#: KW-06018773, Build:20.25.11.18

Mission Structural

(c) ENERCALC, LLC 1982-2025

Wood Beam Design : Existing Ridge Board - Not Code Compliant

Code References

Governing Code : IBC 2021
 Referenced Design Standard(s) : NDS 2018
 Load Combination Set : ASCE 7-16

BEAM Size : **1.0 X 7.250, Sawn, Fully Braced**

Using Allowable Stress Design with ASCE 7-16 Load Combinations, Major Axis Bending

Wood Species : Douglas Fir-Larch

Wood Grade : No.2

Fb - Tension	750.0 psi	Fc - Prll	700.0 psi	Fv	170.0 psi	Ebend- xx	1,300.0 ksi	Density	31.210 pcf
Fb - Compr	750.0 psi	Fc - Perp	625.0 psi	Ft	475.0 psi	Eminbend - xx	470.0 ksi		

Applied Loads

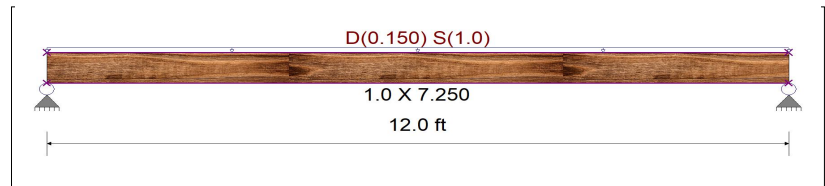
Unif Load: D = 0.0150, S = 0.10 k/ft, Trib= 10.0 ft

Design Summary

Max fb/Fb Ratio = **27.396 : 1**
 fb : Actual : 28,354.82 psi at 6.000 ft in Span # 1
 Fb : Allowable : 1,035.00 psi
 Load Comb : +D+S
 Max fv/FvRatio = **6.572 : 1**
 fv : Actual : 1,284.83 psi at 11.400 ft in Span # 1
 Fv : Allowable : 195.50 psi
 Load Comb : +D+S
 Max Reactions (k)

D	Lr	L	S	W	E	H
0.90			6.00			
0.90			6.00			

FAILURE: RATIO NOT TO EXCEED 1:1



Max Deflections

Transient Downward	11.361 in	Total Downward	13.066 in
Ratio	12 <0	Ratio	11 <240
LC: S Only		LC: +D+S	
Transient Upward	0.000 in	Total Upward	0.000 in
Ratio	9999	Ratio	9999
LC:		LC:	

Wood Beam Design : Code Compliant ridge

Code References

Governing Code : IBC 2021
 Referenced Design Standard(s) : NDS 2018
 Load Combination Set : ASCE 7-16

BEAM Size : **3-1.75x11.25, Microllam LVL, Fully Braced**

Using Allowable Stress Design with ASCE 7-16 Load Combinations, Major Axis Bending

Wood Species : iLevel Truss Joist

Wood Grade : MicroLam LVL 2.0 E

Fb - Tension	2600 psi	Fc - Prll	2510 psi	Fv	285 psi	Ebend- xx	2000 ksi	Density	42.01 pcf
Fb - Compr	2600 psi	Fc - Perp	750 psi	Ft	1555 psi	Eminbend - xx	1016.535 ksi		

Applied Loads

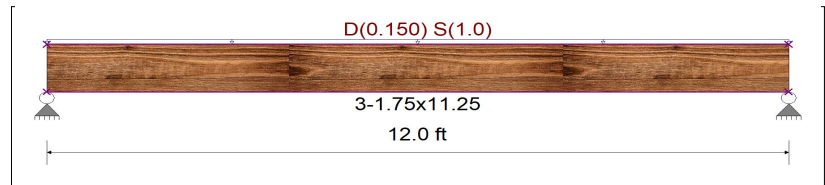
Unif Load: D = 0.0150, S = 0.10 k/ft, Trib= 10.0 ft

Design Summary

Max fb/Fb Ratio = **0.744 : 1**
 fb : Actual : 2,243.05 psi at 6.000 ft in Span # 1
 Fb : Allowable : 3,016.36 psi
 Load Comb : +D+S
 Max fv/FvRatio = **0.453 : 1**
 fv : Actual : 148.37 psi at 11.080 ft in Span # 1
 Fv : Allowable : 327.75 psi
 Load Comb : +D+S
 Max Reactions (k)

D	Lr	L	S	W	E	H
0.90			6.00			
0.90			6.00			

RATIO COMPLIANCE



Max Deflections

Transient Downward	0.376 in	Total Downward	0.433 in
Ratio	382	Ratio	332
LC: S Only		LC: +D+S	
Transient Upward	0.000 in	Total Upward	0.000 in
Ratio	9999	Ratio	9999
LC:		LC:	